



City of Hamilton

HAMILTON MUNICIPAL HERITAGE COMMITTEE

Meeting #: 19-001
Date: February 21, 2019
Time: 12:00 p.m.
Location: Room 264, 2nd Floor, City Hall
71 Main Street West

Loren Kolar, Legislative Coordinator (905) 546-2424 ext. 2604

1. CEREMONIAL ACTIVITIES

2. APPROVAL OF AGENDA

(Added Items, if applicable, will be noted with *)

3. DECLARATIONS OF INTEREST

4. APPROVAL OF MINUTES OF PREVIOUS MEETING

4.1 December 13, 2018

5. COMMUNICATIONS

6. DELEGATION REQUESTS

6.1 Delegation Request from Sonja De Pauw, respecting Item 9.2, Heritage Permit Application HP2018-046, Under Park V of the Ontario Heritage Act, for the Erection of a Single Detached Dwelling at 47 Markland Street, Hamilton (Ward 2) (PED18214)

7. CONSENT ITEMS

8. PUBLIC HEARINGS / DELEGATIONS

9. STAFF PRESENTATIONS

9.1 St. Mark's Rehabilitation: Phase 2 Update

- 9.2 Heritage Permit Application HP2018-046, Under Part V of the Ontario Heritage Act, for the Erection of a Single Detached Dwelling at 47 Markland Street, Hamilton (Ward 2) (PED18214)

10. DISCUSSION ITEMS

- 10.1 2019 HMHC Heritage Recognition Awards & Celebration (no copy)
- 10.2 2019 Heritage Days, Hamilton City Hall (February 23 - February 24, 2019)
- 10.3 Year-End Reports from Working Group of the Hamilton Municipal Heritage Committee
 - 10.3.a Inventory and Research Working Group Year-End Report

11. MOTIONS

- 11.1 Dunnington-Grubb Gardens, 1000 Main Street East

12. NOTICES OF MOTION

13. GENERAL INFORMATION / OTHER BUSINESS

- 13.1 Buildings and Landscapes (no copy)

13.1.a Endangered Buildings and Landscapes (RED)

(Red = Properties where there is a perceived immediate threat to heritage resources through: demolition; neglect; vacancy; alterations, and/or, redevelopment)

- (i) Tivoli, 108 James Street North, Hamilton (D) – A. Johnson
- (ii) Andrew Sloss House, 372 Butter Road West, Ancaster (D) – M. McGaw
- (iii) Century Manor, 100 West 5th Street, Hamilton (D) – K. Garay
- (iv) Beach Canal Lighthouse (D) – J. Partridge
- (v) 18-22 King Street East, Hamilton (R)(NOI) – K. Stacey
- (vi) 24-28 King Street East, Hamilton (R)(NOI) – K. Stacey
- (vii) 1 St. James Place, Hamilton (D) – K. Stacey
- (viii) 2 Hatt Street, Dundas (R) – K. Stacey
- (ix) James Street Baptist Church, 96 James Street South, Hamilton (D) – A. Denham-Robinson
- (x) Dunnington-Grubb Gardens, 1000 Main Street East (within Gage Park) – D. Beland

13.1.b Buildings and Landscapes of Interest (YELLOW)

(Yellow = Properties that are undergoing some type of change, such as a change in ownership or use, but are not perceived as being immediately threatened)

- (i) Delta High School, 1284 Main Street East, Hamilton (D) – D. Beland
- (ii) St. Giles United Church, 85 Holton Avenue South (L) – D. Beland
- (iii) 2251 Rymal Road East, Stoney Creek (R) – C. Dimitry
- (iv) Former Valley City Manufacturing, 64 Hatt Street, Dundas – K. Stacey
- (v) St. Joseph's Motherhouse, 574 Northcliffe Avenue, Dundas (R) (ND) - K. Stacey
- (vi) Copley Building, 104 King Street West; 56 York Blvd., and 63-76 MacNab Street North (NOI)– G. Carroll
- (vii) 1021 Garner Road East, Ancaster (Lampman House) (NOI)– M. McGaw

13.1.c Heritage Properties Update (GREEN)

(Green = Properties whose status is stable)

(i) The Royal Connaught Hotel, 112 King Street East, Hamilton (R) – T. Ritchie

(ii) Auchmar, 88 Fennell Avenue West, Hamilton (D) – K. Garay

(iii) Jimmy Thompson Pool, 1099 King Street E., Hamilton (R) – T. Ritchie

(iv) Treble Hall, 4-12 John Street North, Hamilton (R) – T. Ritchie

(v) 104 King Street West, Dundas (Former Post Office) – K. Stacey

13.1.d Heritage Properties Update (BLACK)

(Black = Properties that HMHC have no control over and may be demolished)

(i) Auchmar Gate House, Claremont Lodge 71 Claremont Drive (R) – K. Garay

14. PRIVATE AND CONFIDENTIAL

15. ADJOURNMENT



Hamilton

**HAMILTON MUNICIPAL HERITAGE COMMITTEE
MINUTES 18-010
12:00 p.m.
December 13, 2018
Room 264, 2nd Floor
Hamilton City Hall
71 Main Street West**

Present: W. Arndt, G. Carroll, R. Sinclair, A. Denham-Robinson (Chair), D. Beland, C. Dmitry, K. Garay, T. Ritchie, K. Stacey

**Absent with
Regrets:** Councillor M. Pearson, M. McGaw and T. Wallis

THE FOLLOWING ITEMS WERE REFERRED TO THE PLANNING COMMITTEE FOR CONSIDERATION:

1. Inventory and Research Working Group Meeting Notes - October 29, 2018 (Item 7.2)

(i) Ferguson Pumping Station (Item 1)

(Ritchie/Beland)

That the Ferguson Pumping Station, 231 Ferguson Avenue, Hamilton, Ontario be Designated under Part IV of the Ontario Heritage Act and further be added to the Staff Work Plan.

(ii) Jimmy Thompson Pool (Item 2)

(Ritchie/Beland)

That the Jimmy Thompson Pool, 1099 King Street, East, Hamilton, Ontario be Designated under Part IV of the Ontario Heritage Act and further be added to the Staff Work Plan.

CARRIED

FOR INFORMATION:

(a) CEREMONIAL ACTIVITY (Added Item 1)

The Chair announced that Jeremy Parsons, Cultural Heritage Planner will be leaving the City of Hamilton on December 20, 2018. Miranda Brunton was introduced as the new Cultural Heritage Planner.

(b) CHANGES TO THE AGENDA (Item 2)

The Clerk advised the Committee of the following changes:

(i) ADDED COMMUNICATIONS (Item 5)

- *5.1 Correspondence from the Mark Giavedoni respecting the Heritage Designation at 374 Jerseyville Road, Ancaster

(ii) ADDED CONSENT ITEMS (Item 7)

- *7.5 Policy and Design Working Group Meeting Notes - November 19, 2018
- *7.6 Heritage Permit Review Sub-Committee Minutes - November 20, 2018
- *7.7 Inventory and Research Working Group Meeting Notes - November 26, 2018

(iii) ITEM WITHDRAWN

- *7.5 Policy and Design Working Group Meeting Notes - November 19, 2018

Item is withdrawn as it is a duplicate of Item 7.3

(Stacey/Beland)

That the Agenda for the December 13, 2018 Hamilton Municipal Heritage Committee be approved, as amended.

CARRIED

(c) DECLARATIONS OF INTEREST (Item 3)

There were no declarations of interest.

(d) APPROVAL OF MINUTES OF PREVIOUS MEETING (Item 3)

(i) September 13 (Item 3.1)

(Arndt/Ritchie)

That the Minutes of the September 13, 2018 meeting of the Hamilton Municipal Heritage Committee be approved, as presented.

CARRIED

(e) DELEGATION REQUEST (Item 4)

(i) Carol Priamo, Beasley Neighbourhood Association, respecting a proposed Heritage Education Package (for today's meeting) (Item 4.1)

(Garay/Sinclair)

That the delegation request from Carol Priamo, Beasley Neighbourhood Association, respecting a proposed Heritage Education Package, be approved, for today's meeting.

CARRIED

(f) COMMUNICATION (Item 5)

(i) Correspondence from the Mark Giavedoni respecting the Heritage Designation at 374 Jerseyville Road, Ancaster (Added Item 5.1)

(Ritchie/Carroll)

That the Correspondence from the Mark Giavedoni respecting the Heritage Designation at 374 Jerseyville Road, Ancaster, be received.

CARRIED

(g) DELEGATION (Item 6)

(i) Carol Priamo, Beasley Neighbourhood Association, respecting a proposed Heritage Education Package (for today's meeting) (Item 6.1)

Carol Priamo, Beasley Neighbourhood Association, addressed the committee respecting a proposed Heritage Education Package, with the aid of a PowerPoint presentation.

(Stacey/Ritchie)

That the presentation from Carol Priamo, Beasley Neighbourhood Association, respecting a proposed Heritage Education Package, be approved, for today's meeting.

CARRIED

The presentation is available at www.hamilton.ca

(h) CONSENT ITEMS (Item 7)

- (i) Inventory and Research Working Group Meeting Notes - September 24, 2018 (Item 7.1)**

(Sinclair/Ritchie)

That the Inventory and Research Working Group Meeting Notes of September 24, 2018, be received.

CARRIED

- (ii) Policy and Design Working Group Meeting Notes - November 19, 2018 (Item 7.3)**

(Arndt/Garay)

That the Policy and Design Working Group Meeting Notes of November 19, 2018, be received.

CARRIED

- (iii) Hamilton Community Heritage Fund Loan Program - 31-33 Melville Street, Dundas (PED18201) (Ward 13) (Item 7.4)**

(Arndt/Stacey)

That Report PED18201, respecting the Hamilton Community Heritage Fund Loan Program - 31-33 Melville Street, Dundas, be received.

CARRIED

- (iv) Heritage Permit Review Sub-Committee Minutes - November 20, 2018 (Added Item 7.6)**

(Beland/Dmitry)

That the Heritage Permit Review Sub-Committee Minutes of November 20, 2018, be received.

CARRIED

- (v) Inventory and Research Working Group Meeting Notes - November 26, 2018 (Added Item 7.7)**

(Sinclair/Stacey)

That the Inventory and Research Working Group Meeting Notes of September 24, 2018, be received.

CARRIED

(i) NOTICE OF MOTION (Item 12)

W. Arndt introduced the following Notice of Motion:

(i) Dunnington-Grubb Gardens, 1000 Main Street East (Added Item 12.1)

WHEREAS, the Hamilton Municipal Heritage Committee has received verbal updates from a members of the committee; and

WHEREAS, the property known as Gage Park is currently on staff's work plan for Designation

THEREFORE BE IT RESOLVED

- (a) That the HMHC recommends that Gage Park remain as a historic passive Victorian park;
- (b) That the preservation and conservation of DG Gardens continue;
- (c) That the HMHC recommends that Gage Park continue to be used for educational programs geared towards youth, post-secondary students and potential tourism programs;
- (d) That the HMHC support "non-financial" initiatives of the FOGP and the DG Foundation;
- (e) That City staff continue their engagement with the FOGP and DG Foundation; and
- (f) That this Notice of Motion be referred to Legal Services, as well as Planning and Economic Development staff to determine any legal implications to this recommendation.

(j) GENERAL INFORMATION/OTHER BUSINESS (Item 13)

(i) Buildings and Landscapes (Item 13.1)

(Arndt/Garay)

That the following updates be received:

- (a) Endangered Buildings and Landscapes (RED):
(Red = Properties where there is a perceived immediate threat to heritage resources through: demolition; neglect; vacancy; alterations, and/or, redevelopment)**

- (i) Tivoli, 108 James Street North, Hamilton (D) – M. McGaw

No report.

- (ii) Andrew Sloss House, 372 Butter Road West, Ancaster (D) – M. McGaw

No report.

- (iii) Century Manor, 100 West 5th Street, Hamilton (D) – K. Garay

No report

- (iv) Beach Canal Lighthouse (D) – J. Partridge

No report.

- (v) 18-22 King Street East, Hamilton (R)(NOI) – K. Stacey

No report.

- (vi) 24-28 King Street East, Hamilton (R)(NOI) – K. Stacey

No report.

- (vii) 1 St. James Place, Hamilton (D) – K. Stacey

No report

- (viii) 2 Hatt Street, Dundas (R) – K. Stacey

No report.

- (ix) James Street Baptist Church, 96 James Street South, Hamilton (D) – A. Denham-Robinson

No report

- (x) Dunnington-Grubb Gardens, 1000 Main Street East (within Gage Park) – D. Beland

For further disposition on this item, refer to Item (i)(i)

**(b) Buildings and Landscapes of Interest (YELLOW):
(Yellow = Properties that are undergoing some type of change, such as a change in ownership or use, but are not perceived as being immediately threatened)**

- (i) Delta High School, 1284 Main Street East, Hamilton (D) – D. Beland

No report.

- (ii) St. Giles United Church, 85 Holton Avenue South (L) – D. Beland

No report.

- (iii) 2251 Rymal Road East, Stoney Creek (R) – C. Dimitry

No report.

- (iv) Former Valley City Manufacturing, 64 Hatt Street, Dundas – K. Stacey

No report.

- (v) St. Joseph's Motherhouse, 574 Northcliffe Avenue, Dundas (R) (ND) - K. Stacey

No report.

- (vi) Copley Building, 104 King Street West; 56 York Blvd., and 63-76 MacNab Street North (NOI)– G. Carroll

No report.

- (vii) 1021 Garner Road East, Ancaster (Lampman House) (NOI)– M. McGaw

No report.

**(c) Heritage Properties Update (GREEN):
(Green = Properties whose status is stable)**

- (i) The Royal Connaught Hotel, 112 King Street East, Hamilton (R) – T. Ritchie

No report.

- (ii) Auchmar, 88 Fennell Avenue West, Hamilton (D) – K. Garay

No report.

- (iii) Jimmy Thompson Pool, 1099 King Street E., Hamilton (R) – T. Ritchie

No report.

- (iv) Treble Hall, 4-12 John Street North, Hamilton (R) – T. Ritchie

No report.

- (v) 104 King Street West, Dundas (Former Post Office) – K. Stacey

No report.

(d) Heritage Properties Update (black):
(Black = Properties that HMHC have no control over and may be demolished)

- (i) Auchmar Gate House, Claremont Lodge 71 Claremont Drive (R) – K. Garay

No report.

CARRIED

(i) ADJOURNMENT (Item 13)

(Arndt/Sinclair)

That, there being no further business, the Hamilton Municipal Heritage Committee, be adjourned at 1:20 p.m.

CARRIED

Respectfully submitted,

Alissa Denham-Robinson, Chair
Hamilton Municipal Heritage Committee

Loren Kolar
Legislative Coordinator
Office of the City Clerk

Form: Request to Speak to Committee of Council

Submitted on Thursday, February 7, 2019 - 12:04 pm

==Committee Requested==

Committee: Advisory/Sub-Committee

Name of Sub-Committee: Heritage Committee

==Requestor Information==

Name of Individual: Sonja De Pauw

Name of Organization:

Contact Number: [REDACTED]

Email Address: [REDACTED]

Mailing Address:

[REDACTED]

Reason(s) for delegation request:

Property owner Sonja De Pauw and architect Sandy McIntosh are requesting permission to make a brief presentation regarding heritage permit application HP2018-046, for a new residence planned at 47 Markland St. The application will be on the agenda for the February 12th, 12 pm meeting of the Heritage Committee.

Will you be requesting funds from the City? No

Will you be submitting a formal presentation? Yes



CITY OF HAMILTON - ST. MARKS COMMUNITY CENTRE PHASE 2 - ADAPTIVE RE-USE AND RESTORATION

115 HUNTER STREET WEST, HAMILTON, ON

PROJECT NO. 15 - 1091

LANDSCAPE
OMC
270 SHERMAN AVENUE NORTH
SUITE 315-MILL, HAMILTON, ON L8L 6N4
T 905-681-7604
F 905-681-2944

CIVIL, STRUCTURAL, MECHANICAL & ELECTRICAL
MANTECON PARTNERS
15 FOUNDRY STREET
DUNDAS, ONTARIO L9H 2V6
T 905-648-0373
F 905-648-6847

ARCHITECTURAL
ATA ARCHITECTS INC.
211 LAKESHORE ROAD EAST 360 DUFFERIN STREET, SUITE 103
OAKVILLE ONTARIO L6J 1H7 TORONTO ONTARIO M6K 1Z8
T 905-849-6986
F 905-849-4369

DRAWING LIST				
#	SHEET NAME	ISSUED FOR SPA	ISSUED FOR PERMIT	ISSUED FOR TENDER
ARCHITECTURAL DRAWINGS				
A000	COVERSHEET & DRAWING LIST	X		
A001	OBC MATRICES, NOTES + LEGEND	X (OPTIONAL)		
A002	SCHEDULES			
A003	SCHEDULES			
A100	SITE PLAN & KEY PLAN	X		
A200	OVERALL BASEMENT PLAN	X		
A210	GROUND FLOOR PLAN	X		
A211	ORIGINAL CHURCH - FLOOR PLAN			
A212	PHASE 2 ADDITION - FLOOR PLAN			
A215A	GROUND FLOOR FINISH PLAN - OPTION A			
A215B	GROUND FLOOR FINISH PLAN - OPTION B			
A220	ROOF PLAN			
A300	NEW ADDITION- NORTH & SOUTH ELEVATIONS	X		
A301	NEW ADDITION- EAST AND WEST ELEVATIONS	X		
A310	PRELIMINARY RENDERINGS	X		
A400	BUILDING SECTIONS			
A401	BUILDING SECTIONS			
A402	WALL SECTIONS			
A403	WALL SECTIONS			
A404	WALL SECTIONS			
A405	WALL SECTIONS			
A600	PLAN SECTION DETAILS			
A601	SECTION DETAILS			
A602	SECTION DETAILS			
A603	SECTION DETAILS			

SURVEY DRAWING				
16-M-10	CITY OF HAMILTON SURVEY - PUBLIC WORKS DIVISION (2016)	X		
62R-1327	CITY OF HAMILTON SURVEY - PART OF LOTS 2 & 3 REGISTERED PLAN 46			

CIVIL DRAWINGS				
C0.0	GENERAL NOTES	X		
C1.0	SITE SERVICING PLAN	X		
C2.0	SITE GRADING & SEDIMENT AND EROSION CONTROL PLAN	X		

STRUCTURAL DRAWINGS				
NA				

MECHANICAL DRAWINGS				
NA				

ELECTRICAL DRAWINGS				
NA				

LANDSCAPE DRAWINGS				
NA				

	SECTION HEAD	CJ	CONTROL JOINT
	CALLOUT HEAD	AL	ALUMINUM
	DOOR TAG	HM	HOLLOW METAL
	ENTRY ARROW	AN	ANODIZE
	FLOOR TAG	PT	PAINT
	GRID BUBBLE	FIN	FINISH
	LEVEL TAG	F.R.	FIRE RATING
	MATERIAL TAG	GWG	GEORGIAN WIRED GLASS
	ROOF TAG	TEMP	TEMPERED
	ROOM NAME TAG	WM	POSSIBLE WATER METER LOCATION
	WALL TAG	RWL	RAIN WATER LEADER
	WINDOW TAG		
	ELEVATION MARKER		

ANNOTATION LEGEND	
	1 : 50

GENERAL NOTES

- ALL CONSTRUCTION TO MEET THE 2012 ONTARIO BUILDING CODE AND ALL APPLICABLE CODES.
- INSPECT SITE CONDITIONS PRIOR TO QUOTING ON NEW WORK AND REPORT ANY DISCREPANCIES.
- ENSURE THAT ALL CONSTRUCTION MATERIALS, METHODS OF INSTALLATION AND TEMPORARY BRACING, COMPLY WITH REQUIREMENTS OF ALL AUTHORITIES HAVING JURISDICTION.
- SITE VERIFY ALL DIMENSIONS AND MAKE MODIFICATIONS TO SUIT EXISTING SITE CONDITIONS.
- MAKE GOOD ALL AREAS DISTURBED OR DAMAGED DURING CONSTRUCTION WHETHER SHOWN ON DRAWINGS OR NOT.
- THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ANY AND ALL STRUCTURAL, MECHANICAL, ELECTRICAL, SITE SERVICING AND LANDSCAPE DRAWINGS. REFER TO THESE DRAWINGS FOR EXACT LOCATION OF FINISHED FITTINGS.
- COORDINATE STRUCTURAL, MECHANICAL, ELECTRICAL & LANDSCAPE WORK TO ENSURE THAT THE PARTS OF THE WORK COME TOGETHER PROPERLY.
- REPORT ALL CONTEMPLATED DEVIATIONS FROM THE DRAWINGS PRIOR TO MAKING CHANGES.
- PROVIDE CUTTING, PATCHING AND REMEDIAL WORK IN ORDER TO ENSURE PARTS OF THE WORK COME TOGETHER PROPERLY.
- ARRANGE FOR INSPECTIONS REQUIRED BY LOCAL BUILDING, PLUMBING, HYDRO, GAS, ETC., AUTHORITIES DURING CONSTRUCTION AND FOR OCCUPANCY.
- PROVIDE STRAPPING FOR WALLS AND BLOCKING AS REQUIRED & AS DETAILED.
- DRAWINGS ARE NOT TO BE USED FOR CONSTRUCTION UNLESS LABELLED, "FOR CONSTRUCTION."

REVISION		
NUMBE	DAT	REMARK
02	2018 12 13	ISSUED FOR CMA TO CITY OF HAMILTON
01	2018 08 30	ISSUED FOR SITE PLAN APPROVAL

CONTRACTOR IS TO CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON THE PROJECT AND REPORT ANY DISCREPANCIES TO THE ARCHITECT BEFORE PROCEEDING WITH THE WORK. DRAWINGS ARE NOT TO BE SCALED.

CONTRACT DOCUMENTS ARE THE COPYRIGHT OF THE CONSULTANTS AND SHALL NOT BE USED OR REPRODUCED WITHOUT AUTHORIZATION. DOCUMENTS ARE TO BE RETURNED UPON COMPLETION OF THE PROJECT.

ATA ARCHITECTS
ATA ARCHITECTS INC.
OAKVILLE OFFICE:
211 LAKESHORE ROAD EAST,
OAKVILLE ONTARIO L6J 1H7
TORONTO OFFICE:
360 DUFFERIN STREET, SUITE 103
TORONTO, ONTARIO M6K 1Z8
T 905-849-6986 F 905-849-4369
E admin@ataarchitectsinc.com
www.ataarchitectsinc.ca



PROJECT
CITY OF HAMILTON
ST. MARK'S CHURCH
PHASE 2 RENOVATION
115 HUNTER STREET WEST,
HAMILTON, ON

DRAWING
COVERSHEET & DRAWING LIST

DRAWN
FN

SCALE
1 : 50

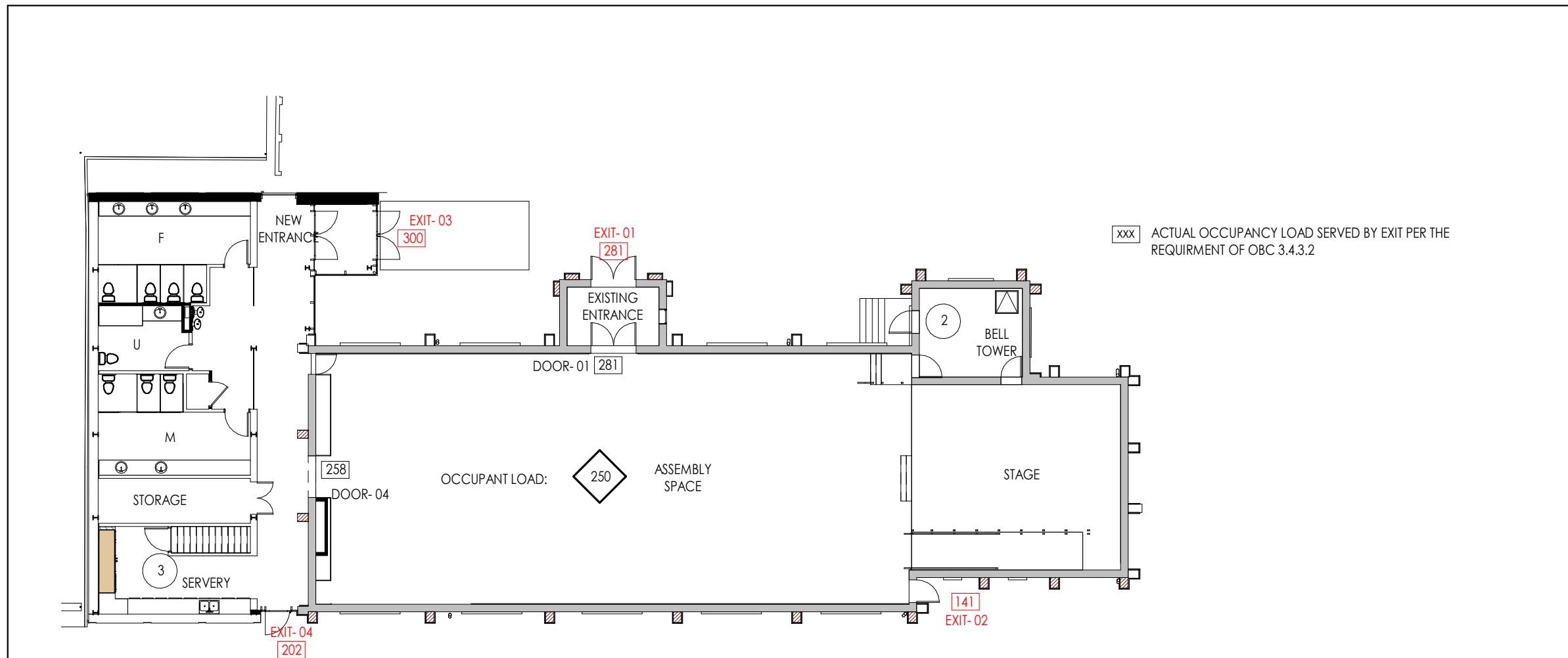
DAT
2017 03 06

CHECKED
MWB

PROJECT
15 - 1091

DRAWING

A000



2 A001 OBC- RATIONAL FOR EXIT OCCUPANCY LOAD PER 3.4.3.2
1:200

Item	Column 1 Number of Persons of Each Sex	Column 2 Minimum Number of Water Closets for Males	Column 3 Minimum Number of Water Closets for Females
1.	1 - 25	1	1
2.	26 - 50	1	2
3.	51 - 75	2	3
4.	76 - 100	2	4
5.	101 - 125	3	5
6.	126 - 150	3	6
7.	151 - 175	4	7
8.	176 - 200	4	8
9.	201 - 250	5	9
10.	251 - 300	5	10
11.	301 - 350	6	11
12.	351 - 400	6	12
13.	Over 400	7 plus 1 for each additional increment of 200 males in excess of 400	13 plus 1 for each additional increment of 100 females in excess of 400

WASHROOM FACILITIES CALCULATION PER O.B.C. TABLE 3.7.4.3.A.

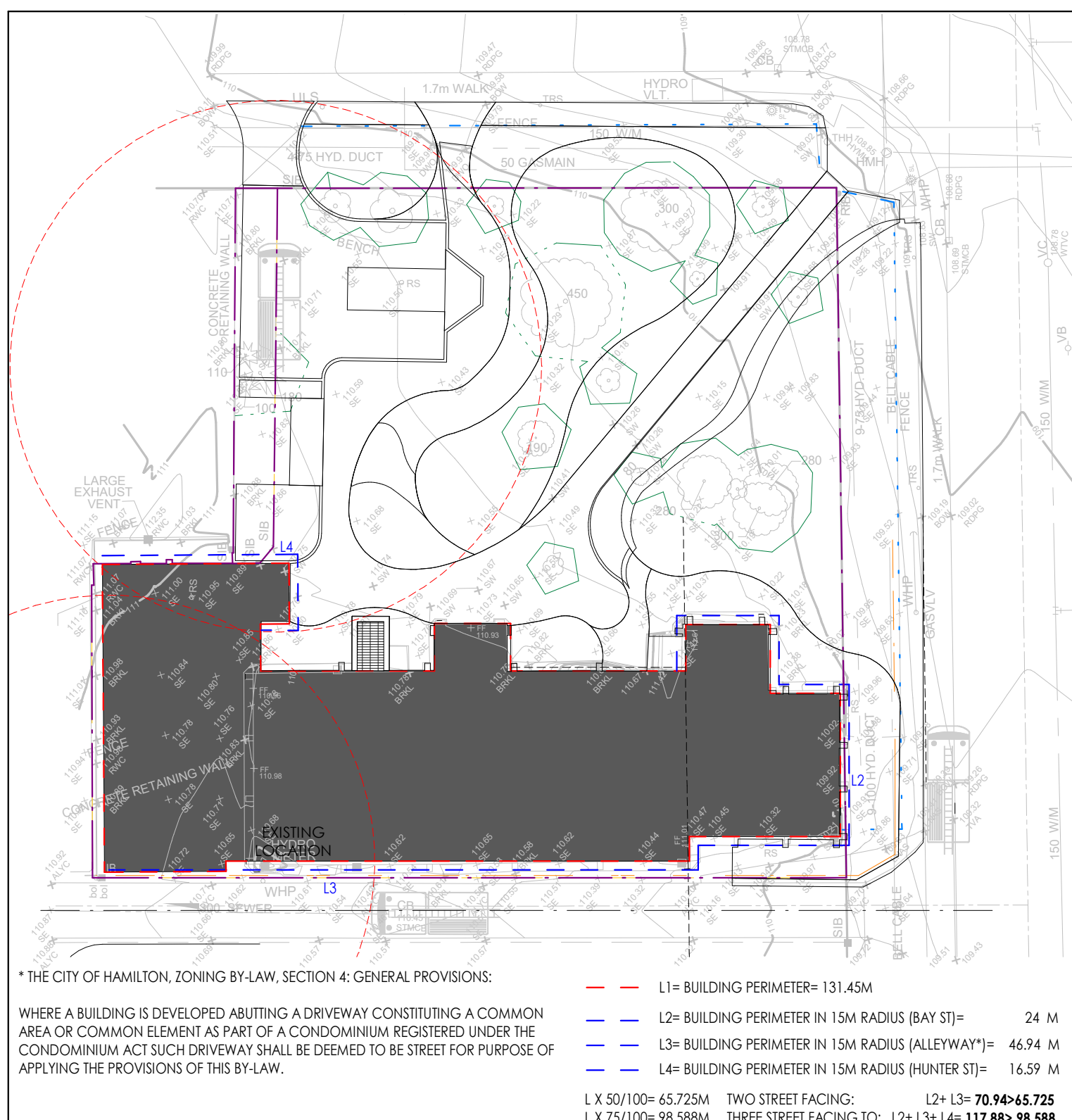
OCCUPANCY	TOTAL NO. OF OCCUPANTS	NO. OF FEMALE OCCUPANT	NO. OF WASHROOM FIXTURE REQUIRED FOR FEMALE	NO. OF MALE OCCUPANT	NO. OF WASHROOM FIXTURE REQUIRED FOR MALE
POSTED SIGN AT FRONT ENTRANCE TO RESTRICT MAX. OCCUPANCY AT 250	250	125	5 (4 WC + UNIVERSAL)	125	3 (3 WC)

AREAS NOT INCLUDED IN OCCUPANCY CALCULATION:
(NOT INCLUDING WASHROOMS, HORIZONTAL & VERTICAL CIRCULATION SPACES, M/E + SERVICES, STORAGE, and TOWER(2+3))

LEGEND

SYMBOL	DESCRIPTION
xxx.xx m2	ROOM AREA PER SQUARE METRES
250	POSTED SIGN AT FRONT ENTRANCE TO RESTRICT MAX. OCCUPANCY AT 250
3	KITCHEN (SERVERY) ROOM OCCUPANT LOAD AT 9.30 m2 PER PERSON = 25/ 9.30 = 3
2	OFFICE (BELL TOWER) ROOM OCCUPANT LOAD AT 9.30 m2 PER PERSON = 19/ 9.30 = 2
443	SPACES WITH NON-FIXED SEATING ROOM OCCUPANT LOAD AT 0.75 m2 PER PERSON = 3325M / 0.75 = 443 NOT APPLICABLE
349	SPACES WITH NON-FIXED SEATS AND TABLES ROOM OCCUPANT LOAD AT 0.75 m2 PER PERSON = 332/ 0.75 = 349 NOT APPLICABLE
630	SPACES WITH STANDING ROOM OCCUPANT LOAD AT 0.40 m2 PER PERSON = 332/ 0.40 = 830 NOT APPLICABLE

2 A0.2 GROUND LEVEL - OCCUPANT LOAD, WASHROOM FACILITIES CALCULATION AND RATIONAL FOR EXITING
1:200



1 A001 OBC- RATIONALE FOR FACING STREET PER 3.2.2.10 (4)
1:300

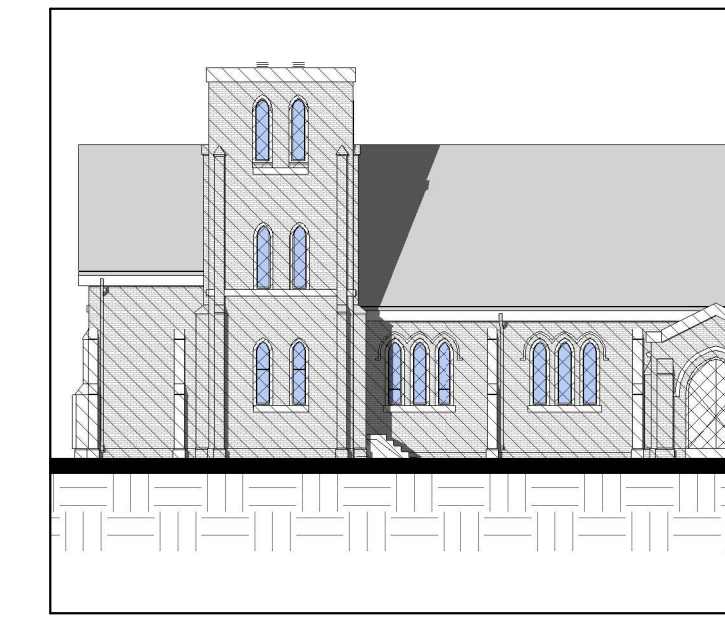
* THE CITY OF HAMILTON, ZONING BY-LAW, SECTION 4: GENERAL PROVISIONS:
WHERE A BUILDING IS DEVELOPED ABUTTING A DRIVEWAY CONSTITUTING A COMMON AREA OR COMMON ELEMENT AS PART OF A CONDOMINIUM REGISTERED UNDER THE CONDOMINIUM ACT SUCH DRIVEWAY SHALL BE DEEMED TO BE STREET FOR PURPOSE OF APPLYING THE PROVISIONS OF THIS BY-LAW.

L1= BUILDING PERIMETER= 131.45M
L2= BUILDING PERIMETER IN 15M RADIUS (BAY ST)= 24 M
L3= BUILDING PERIMETER IN 15M RADIUS (ALLEYWAY)= 46.94 M
L4= BUILDING PERIMETER IN 15M RADIUS (HUNTER ST)= 16.59 M

L X 50/100= 45.725M TWO STREET FACING: L2+ L3= 70.94+45.725
L X 75/100= 98.588M THREE STREET FACING TO: L2+ L3+ L4= 117.80+ 45.725



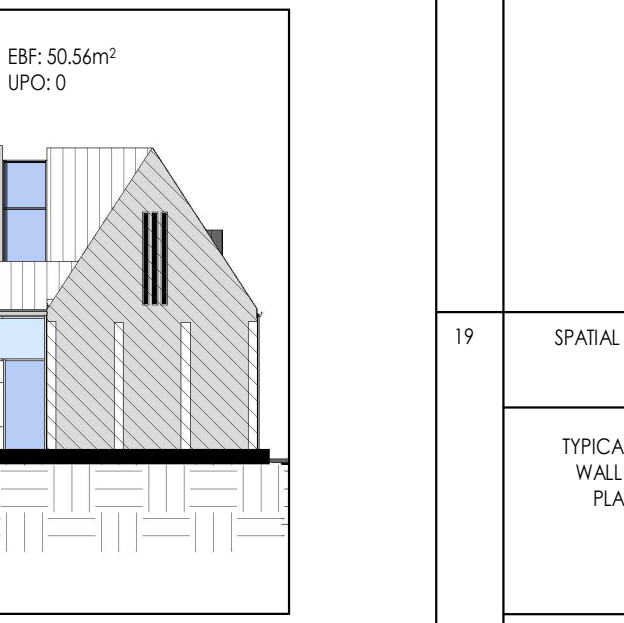
3 A001 UPO- EAST ELEVATION
1:250



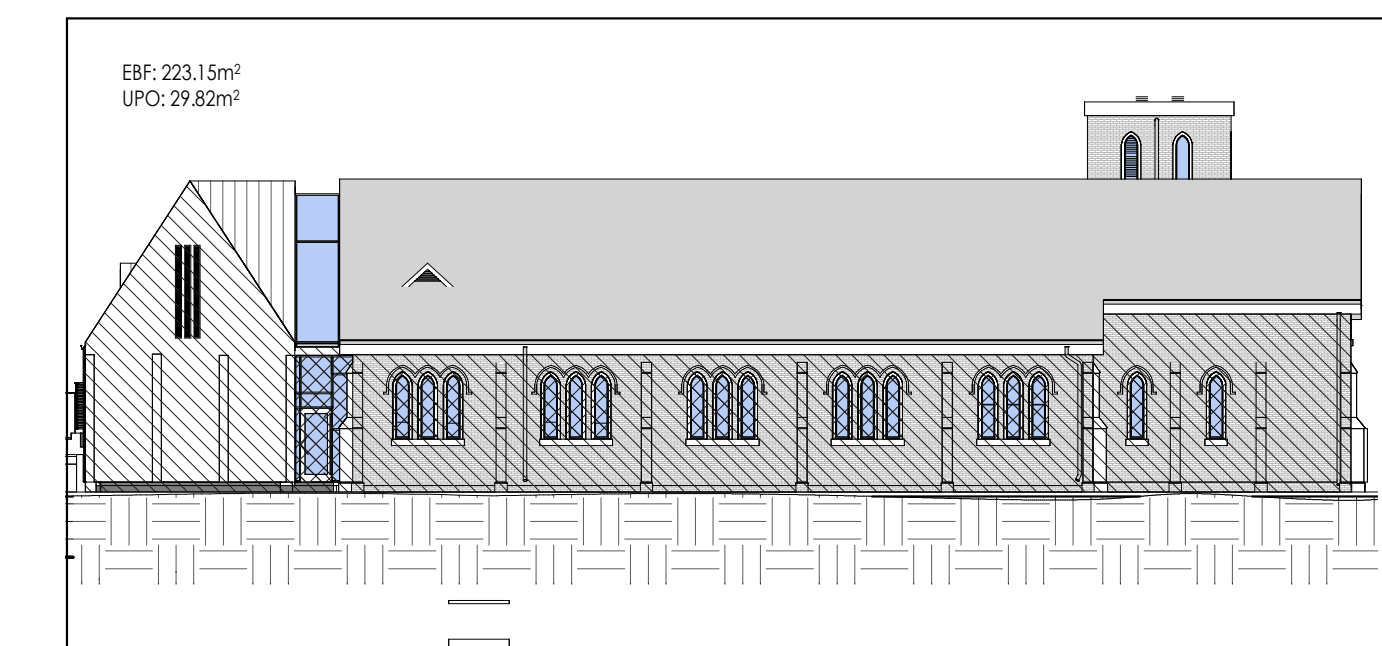
4 A001 UPO- NORTH ELEVATION- PART 01
1:250



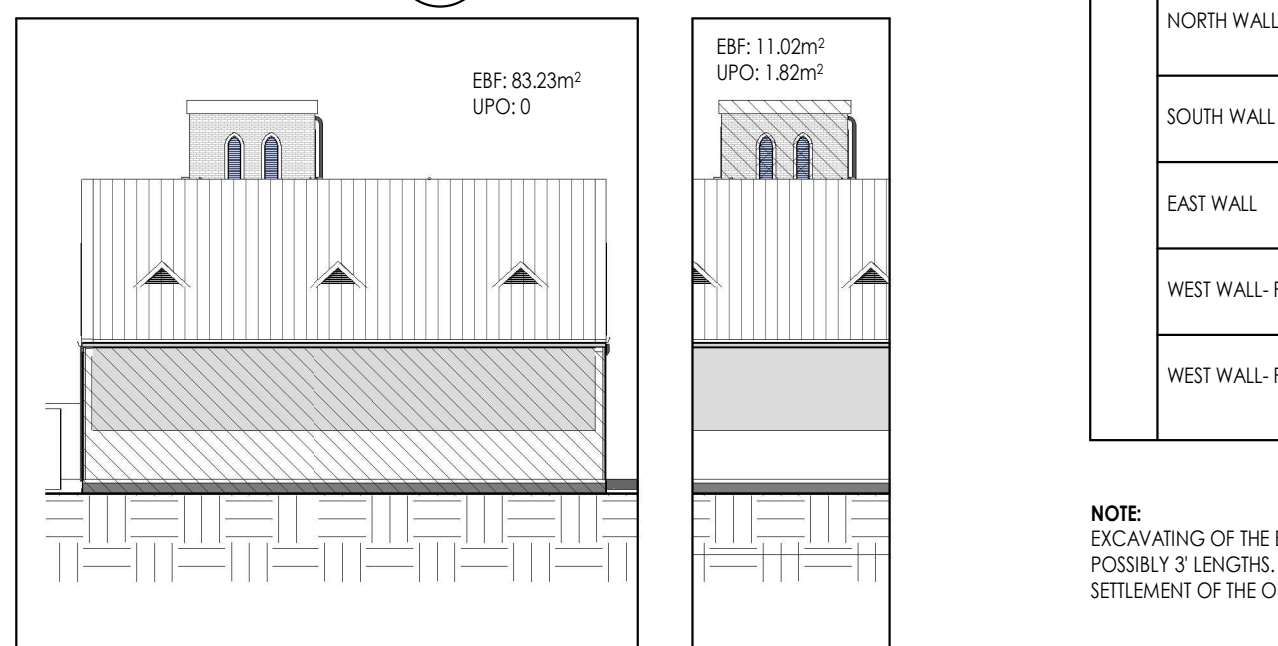
7 A001 UPO- NORTH ELEVATION- PART 02
1:250



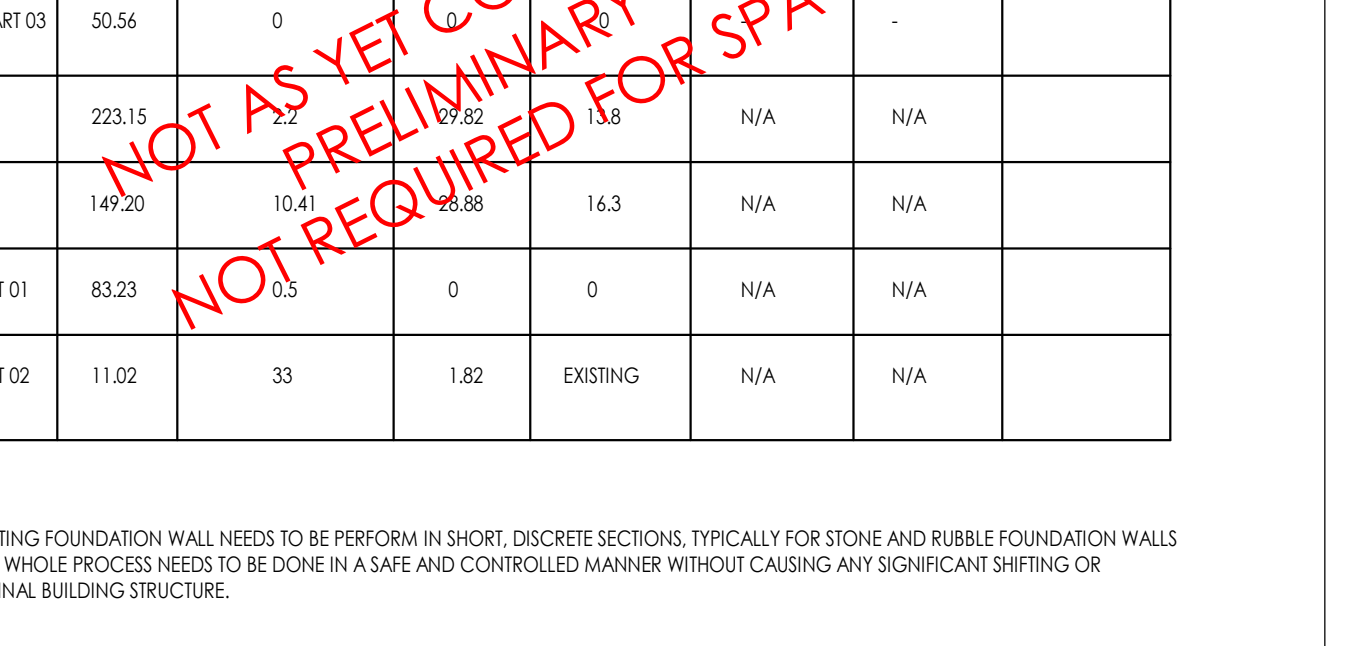
8 A001 UPO- NORTH ELEVATION- PART 03
1:250



5 A001 UPO- SOUTH ELEVATION
1:250



6 A001 UPO- WEST ELEVATION- PART 01
1:250



9 A001 UPO- WEST ELEVATION- PART 02
1:250

PROJECT SUMMARY:
THIS BUILDING PERMIT APPLICATION IS FOR THE PHASE 1 RENOVATION OF THE EXISTING ST. MARK'S CHURCH (1 STOREY + BASEMENT) DESIGNATED HERITAGE PROPERTY.
THE GOAL AT THE END OF THE PHASE 1 RENOVATION IS TO ENSURE: (a) ALL REQUIRED STRUCTURAL REPAIRS ARE COMPLETE, (b) ALL BASIC SERVICES (INCLUDING WATER SUPPLY, SANITARY, SWM, GAS, ELECTRICAL/HYDRO) ARE CONNECTED, (c) THE BUILDING HAS MINIMAL/SUFFICIENT HEATING & LIGHTING, and (d) THE MAJORITY (IF NOT ALL) OF THE RESTORATION WORK TO THE EXISTING BRICK (SOLID WALLS), WINDOWS AND DOORS ARE COMPLETED.
AT THE END OF PHASE 1 THERE WILL BE NO (PUBLIC) OCCUPANCY OF THE BUILDING - THE PROJECT WILL THEN MOVE FORWARD TO PHASE 2 FOLLOWED BY PHASE 3. PERMIT APPLICATION (AS WELL AS ANY MUNICIPAL REQUIREMENTS) WILL BE MADE FOR THESE FUTURE PHASES.

ITEM	ONTARIO'S 2012 BUILDING CODE DATA MATRIX - PART 11 - RENOVATION OF EXISTING BUILDING	OBC REFERENCE
11.1	EXISTING BUILDING CLASSIFICATION DESCRIBE EXISTING USE: ASSEMBLY OCCUPANCY GROUP - A DIVISION 2 CONSTRUCTION INDEX: N/A HAZARD INDEX: N/A <input checked="" type="checkbox"/> NOT APPLICABLE (NO CHANGE OF MAJOR OCCUPANCY)	11.2.1 11.1.2.1.1A 11.1.2.1.1B TO N
11.2	ALTERATION TO EXISTING BUILDING IS: BASIC RENOVATION <input checked="" type="checkbox"/> EXTENSIVE RENOVATION <input type="checkbox"/>	11.3.3.1 11.3.3.2
11.3	REDUCTION IN PERFORMANCE LEVEL STRUCTURAL BY INCREASE IN OCCUPANCY <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES BY CHANGE OF MAJOR OCCUPANCY <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES PLUMBING <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES SEWAGE SYSTEM <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES	11.4.2.1 11.4.2.2 11.4.2.3 11.4.2.4 11.4.2.5
11.4	COMPENSATING CONSTRUCTION: STRUCTURAL <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES (EXPLAIN) INCREASE IN OCCUPANCY LOAD <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES (EXPLAIN) CHANGE OF MAJOR OCCUPANCY <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES (EXPLAIN) PLUMBING <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES (EXPLAIN) SEWAGE SYSTEM <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES (EXPLAIN)	11.4.3.2 11.4.3.3 11.4.3.4 11.4.3.5 11.4.3.6
11.5	COMPLIANCE ALTERNATIVES PROPOSED: <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES (EXPLAIN)	11.5.1
11.6	ALTERNATIVE MEASURES PROPOSED: <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES (EXPLAIN)	11.5.2

PROJECT SUMMARY:
THIS BUILDING PERMIT APPLICATION IS FOR THE PHASE 2 RENOVATION OF THE EXISTING ST. MARK'S CHURCH (1 STOREY + BASEMENT) DESIGNATED HERITAGE PROPERTY, WHICH IS AN ADDITION TO EXISTING BUILDING.

ITEM	ONTARIO'S 2012 BUILDING CODE DATA MATRIX PART 3 OR 9	OBC REFERENCE
1	PROJECT DESCRIPTION: <input type="checkbox"/> CHANGE OF USE <input checked="" type="checkbox"/> NEW <input checked="" type="checkbox"/> ADDITION <input type="checkbox"/> ALTERATION	11.1 to 11.4 1.1.2[A] 9.10.1.3
2	MAJOR OCCUPANCY(S) GROUP A DIVISION 2	3.1.2.1.(1) 9.10.2
3	BUILDING AREA (m2) TOTAL BUILDING 1 EXISTING 367.5 m2 NEW 162.6 m2 TOTAL 530.1 m2	1.4.1.2[A] 1.4.1.2[A]
4	GROSS AREA (m2) EXISTING L1: 334.9 m2 NEW 35.2 m2 L2: 0 m2 NEW 0 m2 TOTAL 370.1 m2	1.4.1.2[A] 1.4.1.2[A]
5	NUMBER OF STOREYS ABOVE GRADE 1 BELOW GRADE 1	1.4.2.1 [A] & 3.2.1.1
6	NUMBER OF STREETS/FIRE FIGHTER ACCESS 3	3.2.2.10 & 3.2.5
7	BUILDING CLASSIFICATION GROUP A, DIVISION 2, 1 STOREY/ GROUP A, DIVISION 2, UP TO 2 STOREY	3.2.2.28 3.2.2.25
8	SPRINKLER SYSTEM PROPOSED <input type="checkbox"/> ENTIRE BUILDING <input type="checkbox"/> SELECTED COMPARTMENT <input type="checkbox"/> SELECTED FLOOR AREAS <input type="checkbox"/> BASEMENT <input type="checkbox"/> IN LIEU OF ROOF RATING <input checked="" type="checkbox"/> NOT REQUIRED	3.2.2.20-.83 3.2.1.5 3.2.2.17 INDEX
9	STANDPIPE - REQUIRED <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	3.2.9.1
10	FIRE ALARM REQUIRED <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	3.2.4
11	WATER SUPPLY IS ADEQUATE <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO	3.2.5.7
12	HIGH BUILDING <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	3.2.6
13	CONSTRUCTION RESTRICTIONS ACTUAL CONSTRUCTION <input type="checkbox"/> COMBUSTIBLE PERMITTED <input type="checkbox"/> COMBUSTIBLE <input type="checkbox"/> NON-COMBUSTIBLE REQUIRED <input type="checkbox"/> NON-COMBUSTIBLE <input checked="" type="checkbox"/> BOTH	3.2.2.20-.83 9.10.6
15	OCCUPANT LOAD BASED ON DESIGN OF BUILDING (REFER TO 2 / A0.2)	3.1.17.1 9.9.1.3
16	BARRIER-FREE DESIGN <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO (EXPLAIN) (AT END OF PHASE 3) (AT END OF PHASE 1)	3.8 3.3.1.2 & 3.3.1.9
17	HAZARDOUS SUBSTANCES <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	9.10.1.3[4]
18	REQUIRED FIRE RESISTANCE RATING HORIZONTAL ASSEMBLIES FRR (HOURS) FLOOR 0 HOUR ROOF 0 HOUR MEZZANINE N/A HOUR FRR OF SUPPORTING MEMBERS LISTED DESIGN NO. OR DESCRIPTION (SG-2) FLOOR 0 HOUR ROOF 0 HOUR MEZZANINE N/A HOUR	3.2.2.20-.83 8.3.2.1.4 9.10.8 9.10.9
19	SPATIAL SEPARATION TYPICAL UNIT WALL (SEE PLAN) AREA OF EBF (M2) LD (M) U.P.O. (M2) PROPOSED % U.P.O. OBC TABLE 3.2.3.1.C. FRR (HOURS)	3.2.3. 9.10.14.

NOTE:
EXCAVATING OF THE EXISTING FOUNDATION WILL NEED TO BE PERFORM IN SHORT, DISCRETE SECTIONS, TYPICALLY FOR STONE AND RUBBLE FOUNDATION WALLS POSSIBLY 3' LENGTHS. THE WHOLE PROCESS NEEDS TO BE DONE IN A SAFE AND CONTROLLED MANNER WITHOUT CAUSING ANY SIGNIFICANT SHIFTING OR SETTLEMENT OF THE ORIGINAL BUILDING STRUCTURE.

REVISION

NUMBE	DAT	REMARK
02	2018 12 13	ISSUED FOR COA TO CITY OF HAMILTON
01	2018 08 30	ISSUED FOR SITE PLAN APPROVAL

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E admin@ataarchitectsinc.com
www.ataarchitectsinc.ca
SEP 1/18



PROJECT
CITY OF HAMILTON
ST. MARK'S CHURCH
PHASE 2 RENOVATION
115 HUNTER STREET WEST,
HAMILTON, ON

DRAWING	DATE	BY
OBC MATRICES, NOTES + LEGEND		
DRAWN		FN
SCALE		As indicated
DAT		2017 03 06
CHECKED		MWB
PROJECT		15 - 1091
DRAWING		

A001

PRELIMINARY

ROOM SCHEDULE table with columns: NUMBER, NAME, AREA, PERIMETER, WALL FINISH (NORTH, EAST, SOUTH, WEST), FLOOR FINISH, BASE FINISH, CEILING FINISH, COMMENTS.

DOOR SCHEDULE PHASE 2 table with columns: DOOR#, ROOM TYPE, ROOM NUMBER, NOMINAL (HEIGHT, WIDTH), DOORS (TYPE, MAT, FN), FRAME (MAT, FN, F.R.), GLAZING (OWD, TEMP, TO OPEN, WATER, LEAK, WIND, THRESHOLD, DEADBOLT, DOOR SWEEP, PANIC DEVICE, LOCK SET, EGRESS STOP, WALL STOP, KICK PLATE, PUSH/PULL, CRUISE FOOT, BIPARTITION), COMMENTS.

MILLWORK MATERIAL SUMMARY table with columns: CODE, DESCRIPTION.

MATERIAL SUMMARY table with columns: CODE, DESCRIPTION.

NOTE: - ALL MILLWORK ARE TO BE MANUFACTURED BY IKEA. - CONTRACTOR TO INCLUDE THE SUPPLY, DELIVERY & INSTALLATION...

PT-1 - PORCELAIN FLOOR TILE: Manufacturer: _____ Series: _____ Grout: _____ NOTE: _____ FOR LOCATION: _____ FOLLOW ALL MANUFACTURER INSTALLATION GUIDELINES Pattern: _____

PT-1 PAINT FINISH: Manufacturer: _____ Series: _____ Colour: _____ NOTE: _____ FOR LOCATION: _____

PT-2 PAINT FINISH: Manufacturer: _____ Series: _____ Colour: _____ NOTE: _____ FOR LOCATION: _____

PT-3 PAINT FINISH: Manufacturer: _____ Series: _____ Colour: _____ NOTE: _____ FOR LOCATION: _____

PT-4 PAINT FINISH: Manufacturer: _____ Series: _____ Colour: _____ NOTE: _____ FOR LOCATION: _____

PT-5 PAINT FINISH: Manufacturer: _____ Series: _____ Colour: _____ NOTE: _____ FOR LOCATION: _____

CI-1 CARPET TILE TYPE 01: Manufacturer: _____ Series: _____ Colour: _____ Size: _____ Note: _____ FOR LOCATION: _____ FOLLOW ALL MANUFACTURER INSTALLATION GUIDELINES

WD-1 HERITAGE WOOD PANEL: Manufacturer: _____ Series: _____ Colour: _____

M01 - IKEA SEBZELI: Manufacturer: _____ Style: _____ Colour: _____ Location: _____

M02 - CORNER BASE CABINET: Manufacturer: _____ Style: _____ Colour: _____ Location: _____

M03 - SOLID SURFACE - COUNTERTOP AND BACKSPLASH: Manufacturer: _____ Style: _____ Colour: _____ Location: _____

DRAWER HARDWARE - IKEA: Manufacturer: _____ Ref: _____ Colour/Fin: _____

DOOR HINGE HARDWARE - IKEA: Manufacturer: _____ Ref: _____ Colour/Fin: _____

MILLWORK 1:50

EQUIPMENT table with columns: CODE, EQUIPMENT, PROVIDED BY.

RB-1 RUBBER BASEBOARD: Manufacturer: JOHNSONITE Series: _____ Size: 4" Colour: 40 BLACK FOR LOCATION - REFER TO A2.3 MAXIMUM LENGTHS TO BE USED

TB-1 TILE BASEBOARD: Manufacturer: STONETILE Series: KJURSAAL Colour: RAVEN Grout: TO MATCH TILE Size: REFER TO DRAWING Note: MAXIMUM LENGTHS TO BE USED FOR LOCATION - REFER TO A2.3 & A10.3

M-06 - STONE VENEER TYPE 01: Manufacturer: PERMACON Series: BEONSTONE/ ELEMENT Colour: CARBO GREY Grout: NA- DRY FT Size: STANDARD SIZE FOR LOCATION - REFER TO A10.2 FOLLOW ALL MANUFACTURER INSTALLATION GUIDELINES Pattern: STACKED/ DIR FT Contact: DAVE McDONALD C: 2892186394

M-08 - CERAMIC SURFACE APPLIED COATING: Manufacturer: PERMACON Series: FINE HISTORIC MIX PLASTER/STUCCO TO BE USED (ARCH TO CONFIRM COLOUR) Colour: ON FIBER MESH Grout: ON 19MM (3/4") PLYWOOD SHEATHING ON METAL STUDS

NOTE:

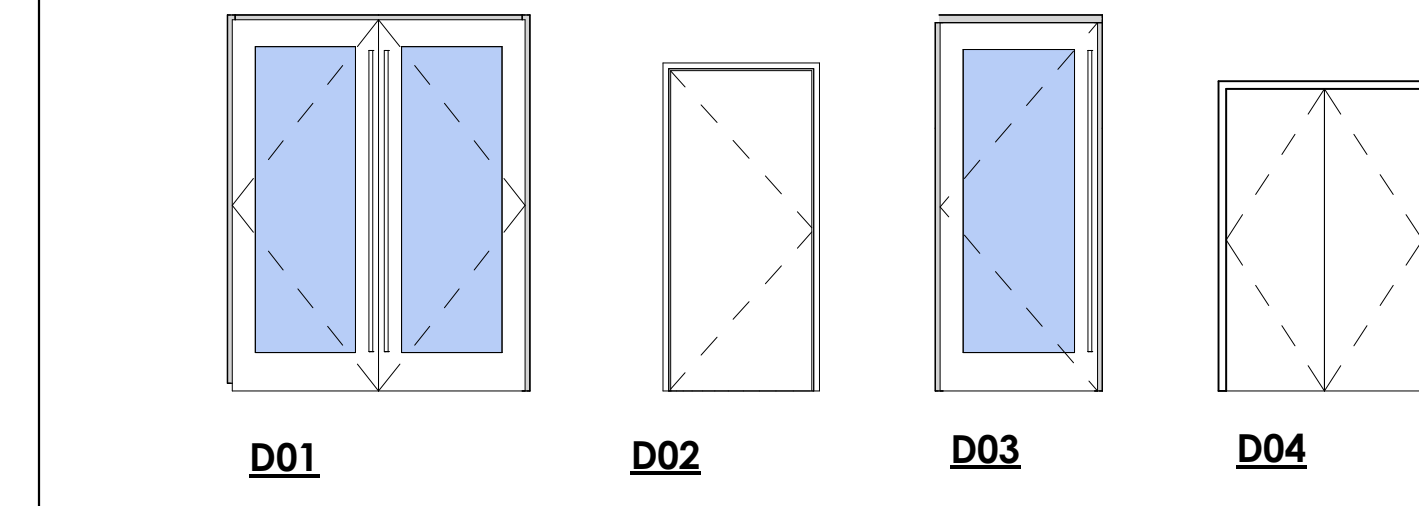
E01 - 48" REFRIGERATOR: Manufacturer: _____ Style: _____ Colour: _____ Location: _____

E02 - 30" BUILT-IN WALL OVEN: Manufacturer: _____ Style: _____ Colour: _____ Location: _____

E05 - SINGLE BAY KITCHEN FAUCET: Manufacturer: _____ Style: _____ Colour: _____ Location: _____

SERVERY EQUIPMENT 1:50

MATERIAL FINISHES (FLOOR, WALL, BASE AND PAINT) NTS



NOT AS YET COMPLETED

NOT AS YET COMPLETED

NOT AS YET COMPLETED

REVISIONS table with columns: NUMBER, DATE, REMARKS.

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ATA ARCHITECTS INC. logo and contact information: 211 LANESBORO ROAD EAST, OAKVILLE, ONTARIO L6A 1H7. TORONTO OFFICE: 350 DUFFERIN STREET, SUITE 103 TORONTO, ONTARIO M6K 1Z8. T 905 849 6986 F 905 849 4369 E admin@ataarchitectsinc.com www.ataarchitectsinc.ca SEALS

PROJECT TITLE: CITY OF HAMILTON ST. MARK'S CHURCH PHASE 2 RENOVATION 115 HUNTER STREET WEST, HAMILTON, ON

DRAWING TITLE: SCHEDULES

DRAWN BY: Author

SCALE: 1:50

DATE: 2017 03 06

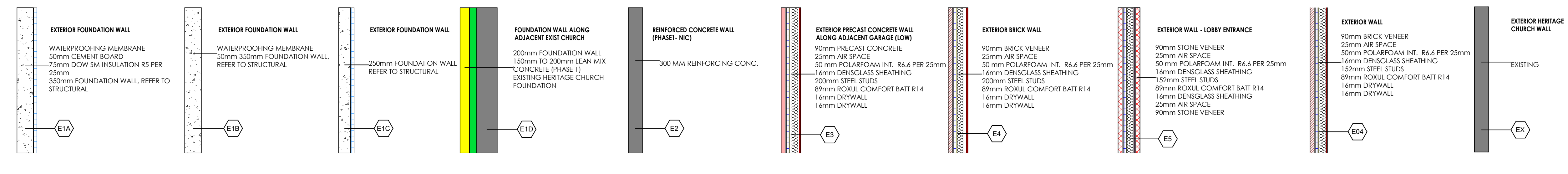
CHECKED BY: Checker

PROJECT NUMBER: 15 - 1091

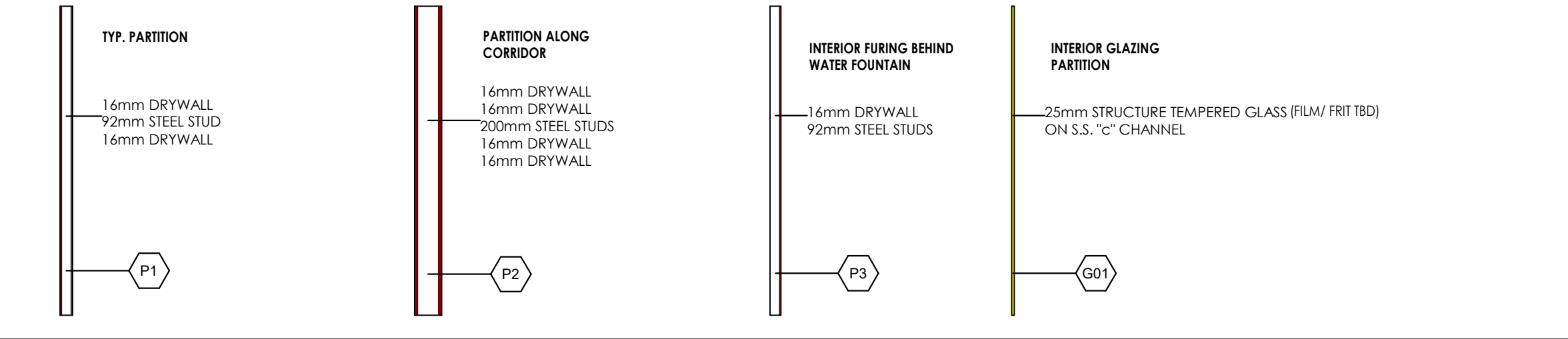
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PRELIMINARY

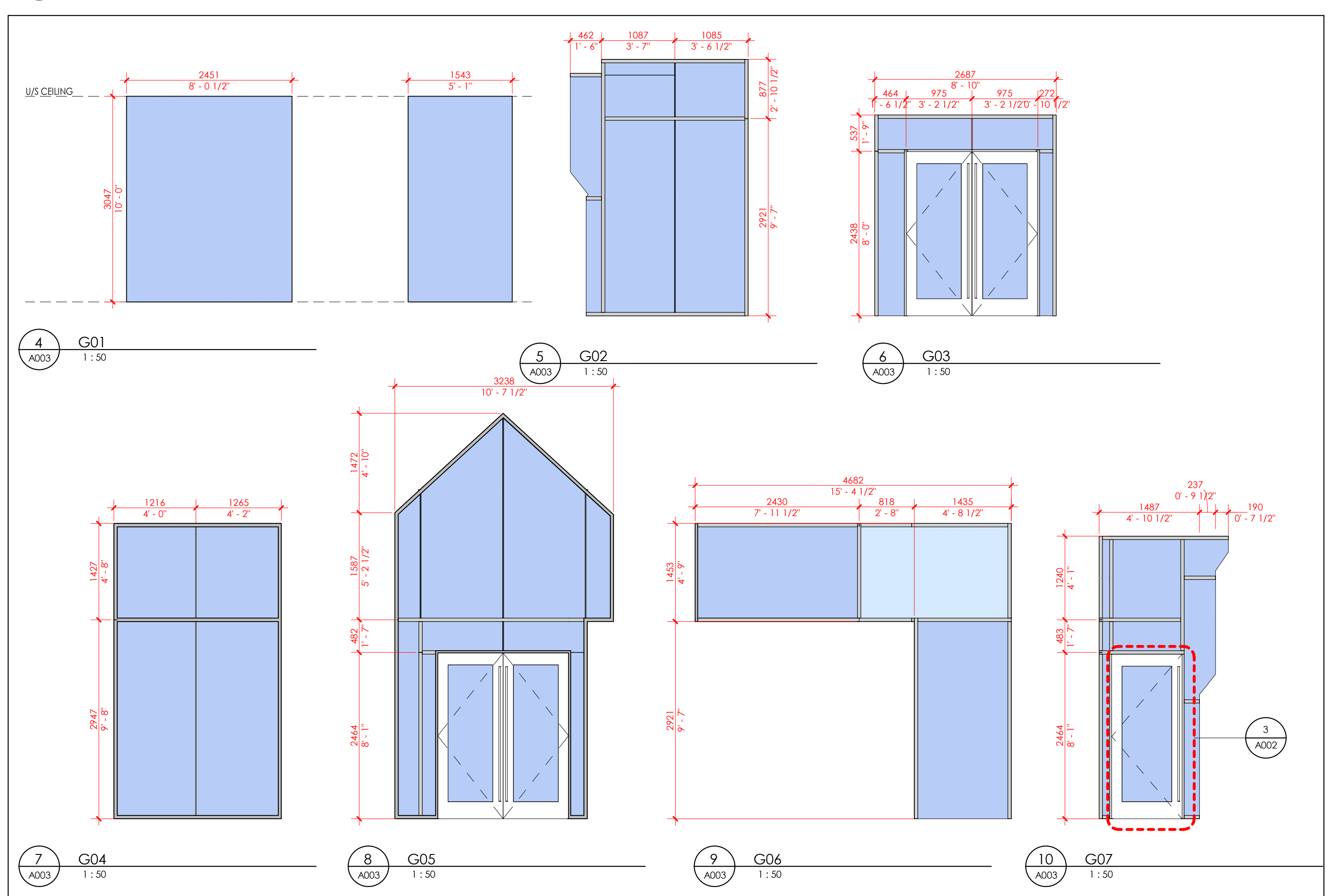
EXTERIOR WALL ASSEMBLIES



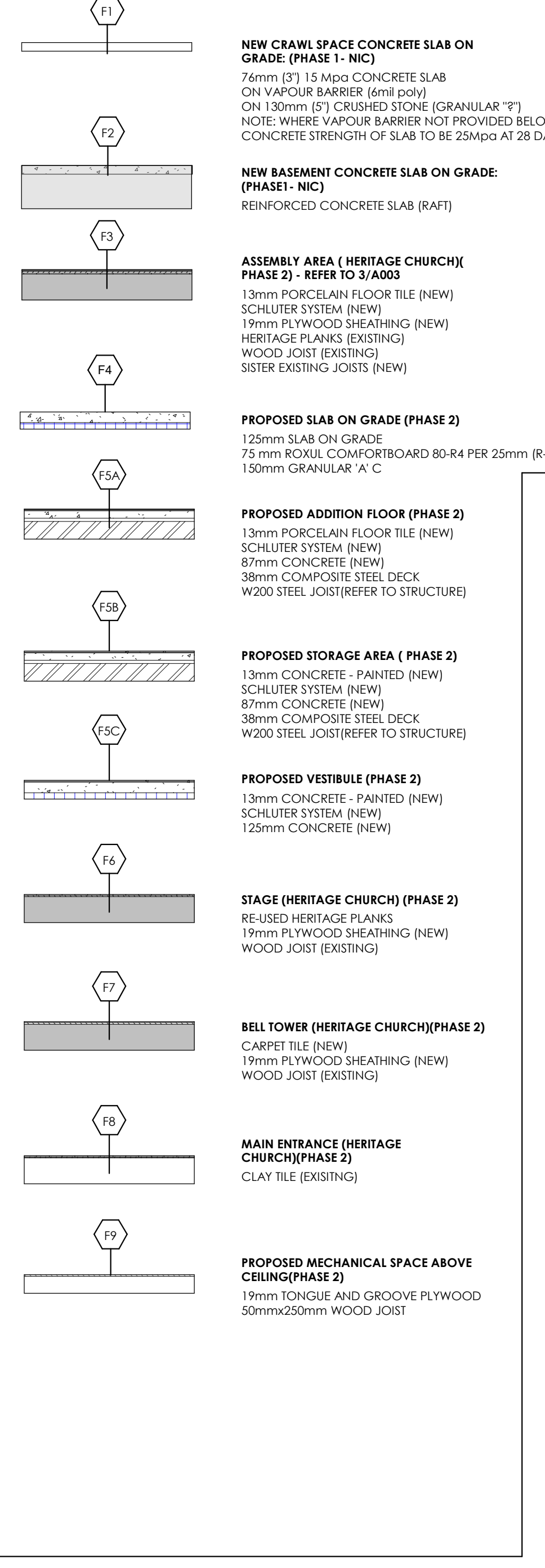
INTERIOR WALL PARTITIONS



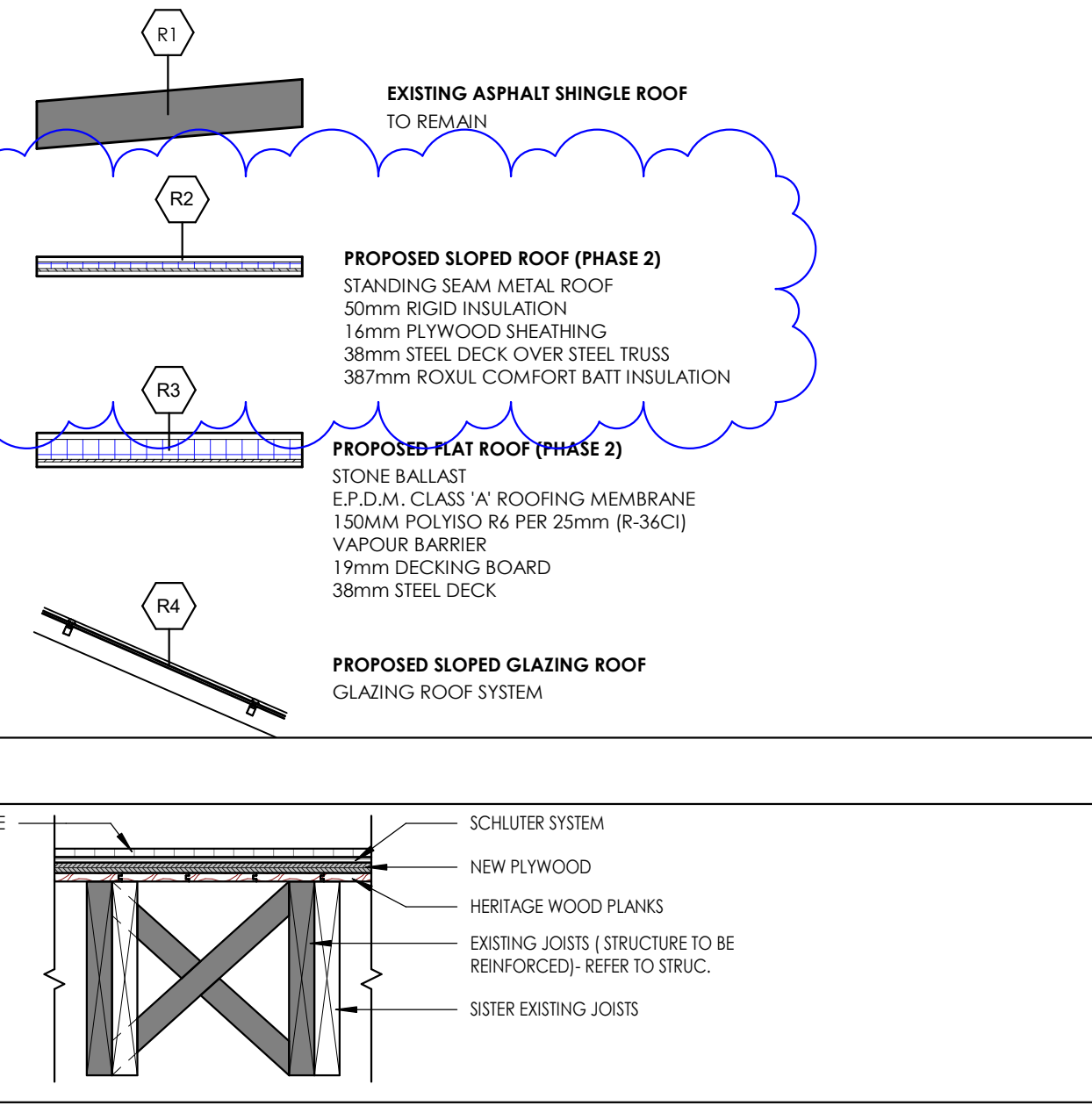
1 WALL ASSEMBLIES - PHASE 2



FLOOR ASSEMBLIES:



ROOF ASSEMBLIES:



3 F3: FLOORING IN ASSEMBLY AREA

CONSULTANT:		ATA ARCHITECTS INC. 211 LAKESHORE ROAD EAST OAKVILLE, ONTARIO L6J 1H7	
NAME OF PROJECT:		ST. MARKS CHURCH - RENOVATION PHASE 2	
LOCATION:		115 HUNTER STREET WEST, HAMILTON, ONTARIO	
ONTARIO'S 2012 BUILDING CODE SB-10 - TABLE S8.5.5 - CLIMATE ZONE 5			
ITEM	BUILDING ENVELOPE ELEMENT	REQUIRED BY SB-10	PROPOSED
1	ROOF	INSULATION ENTIRELY ABOVE DECK	R-35.0 ci 230 mm TOPROCK DD R3.8 PER 25mm (THEREFORE R= 35 ci)
	ATTIC AND OTHER	R-40	184mm + 203mm COMFORTBATT R28+R32 (THEREFORE R= 40)
2	WALLS ABOVE GRADE	STEEL FRAMED	R-13 + R-12 ci 89 mm ROXUL COMFORT BATT R14 FOR STEEL STUDS (THEREFORE R= 14) + 50 mm POLARFOAM INT. R6.6 PER 25mm (THEREFORE R= 13.2 ci)
3	WALLS BELOW GRADE	BELOW GRADE WALL	R-15 ci 75 mm DOW SM INSULATION R5 PER 25mm (THEREFORE R= 15 ci)
4	FLOOR	MASS	R-16.4 ci 100 mm DOW SM INSULATION R5 PER 25mm (THEREFORE R= 20 ci)
5	SLAB-ON-GRADE	HEATED	R-10 FULL SLAB 75 mm ROXUL COMFORTBOARD 80 R4 PER 25mm (THEREFORE R= 12)
6	OPAQUE DOORS	SWINGING	U-0.45
6	VERT. FENESTRATION- 0% - 40% OF WALL	FENESTRATION	
		ASSEMBLY	REQUIRED BY SB-10
		PROPOSED	
7	SKYLIGHT- 0% - 3% OF ROOF	MAX. U-VALUE	MAX. SHGC
		MIN. V1/SHGC	SHGC
		V1/SHGC	N/A

NOTE: ALL ASSEMBLY DESIGNS MUST MEET SB-10

TOTAL E & F: ---- m2
TOTAL GLAZED AREA: ---- m2
GLAZING: ---- %

2 FLOOR AND ROOF ASSEMBLIES - PHASE 2

OBC - SB-10

REVISIONS		
NUMBER	DATE	REMARKS
02	2018 12 13	ISSUED FOR COIA TO CITY OF HAMILTON
01	2018 08 30	ISSUED FOR SITE PLAN APPROVAL

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SEALS

PROJECT TITLE	
CITY OF HAMILTON ST. MARK'S CHURCH PHASE 2 RENOVATION 115 HUNTER STREET WEST, HAMILTON, ON	
DRAWING TITLE	SCHEDULES
DRAWN BY	Author
SCALE	As indicated
DATE	2017 03 06
CHECKED BY	Checker
PROJECT NUMBER	15 - 1091
DRAWING NUMBER	A003

FILE NO. SPA-18-169
 UNDERTAKING
 RE: 115 HUNTER ST W (FORMERLY 130 BAY STS)

I, (WE) _____ THE OWNER(S) OF THE LAND,
 HEREBY UNDERTAKE AND AGREE WITHOUT RESERVATION,
 (A) TO COMPLY WITH ALL THE CONTENTS OF THIS PLAN AND DRAWING AND NOT TO VARY THEREFROM;
 (B) TO PERFORM THE FACILITIES, WORKS OR MATTERS MENTIONED IN SECTION 41(7)(A) OF THE PLANNING ACT SHOWN ON THIS PLAN AND DRAWINGS IN ACCORDANCE WITH THE CONDITIONS OF APPROVAL AS SET OUT IN THE LETTER OF APPROVAL DATED _____;
 (C) TO MAINTAIN THE SATISFACTION OF THE CITY AND AT MY (OUR) SOLE RISK AND EXPENSE, ALL OF THE FACILITIES, WORKS OR MATTERS MENTIONED IN SECTION 41(7)(B) OF THE SAID ACT, SHOWN IN THIS PLAN AND DRAWING, INCLUDING REMOVAL OF SNOW FROM ACCESS RAMPS AND DRIVEWAYS, PARKING AND LOADING AREAS AND WALKWAYS; AND,
 (D) IN THE EVENT THAT THE OWNER DOES NOT COMPLY WITH THE PLAN DATED _____, THE OWNER AGREES THAT THE CITY MAY ENTER THE LAND AND DO THE REQUIRED WORKS, AND FURTHER THE OWNER AUTHORIZES THE CITY TO USE THE SECURITY FILED TO OBTAIN COMPLIANCE WITH THIS SITE PLAN.
 (E) CAUTION: NOTWITHSTANDING CURRENT SURFACE CONDITIONS, THE PROPERTY HAS BEEN DETERMINED TO BE AN AREA OF ARCHAEOLOGICAL POTENTIAL. ALTHOUGH AN ARCHAEOLOGICAL ASSESSMENT IS NOT REQUIRED BY THE CITY OF HAMILTON, THE PROPONENT IS CAUTIONED THAT DURING DEVELOPMENT ACTIVITIES, SHOULD DEEPLY BURIED ARCHAEOLOGICAL MATERIALS BE FOUND ON THE PROPERTY THE ONTARIO MINISTRY OF TOURISM, CULTURE AND SPORT (MTCOS) SHOULD BE NOTIFIED IMMEDIATELY (416.314.7143). IN THE EVENT THAT HUMAN REMAINS ARE ENCOUNTERED DURING CONSTRUCTION, THE PROPONENT SHOULD IMMEDIATELY CONTACT BOTH MTCOS AND REGISTRAR OR DEPUTY REGISTRAR OF THE CEMETERIES REGULATION UNIT OF THE MINISTRY OF SMALL BUSINESS AND CONSUMER SERVICES (416.326.8392).
 (F) THAT THE OWNER AGREES TO AFFIX THE PHYSICAL MUNICIPAL NUMBER (115) TO THE BUILDING IN A MANNER THAT IS VISIBLE FROM THE STREET, OR A SIGN NEAR THE FRONT ENTRANCE WITH EITHER THE MUNICIPAL NUMBER (115) OR FULL ADDRESS (115 HUNTER STREET WEST).

DATED THIS _____ DAY OF _____ 20____

WITNESS (SIGNATURE) _____ OWNER(S) SIGNATURE _____
 WITNESS (SIGNATURE) _____ OWNER(S) SIGNATURE _____
 ADDRESS OF WITNESS _____

CART DIMENSIONS: PER CITY OF HAMILTON - WASTE COLLECTION DESIGN REQUIREMENTS - APPENDIX 2 - FINAL DESIGN FOR SHED STILL TO BE DETERMINED
 BUILDING "B" - STORAGE SHED
 FRONT SETBACK: 11.9m (39ft)
 EAST SETBACK: 31.07m (101.95ft)
 WEST SETBACK: 0.41m (1.45ft)
 REAR SETBACK: 21.92m (72.25ft)

BICYCLE STORAGE (6 TOTAL)
 1.43
 1.57
 1.52
 1.43
 1.57
 1.52

RIVER ROCK
 111.07
 111.07
 111.07

OUTLINE OF PROPOSED ADDITION



WORKING DRAWINGS IN PROGRESS

2 Site
 A100 1:125

- NOTES**
- ALL WORK INVOLVED IN THE CONSTRUCTION, RELOCATION, REPAIR OF MUNICIPAL SERVICES FOR THE PROJECT SHALL BE TO THE SATISFACTION OF THE DIRECTOR OF PLANNING AND CHIEF PLANNER, PLANNING AND ECONOMIC DEVELOPMENT DEPARTMENT.
 - FIRE ROUTE SIGNS AND 3-WAY FIRE HYDRANTS SHALL BE ESTABLISHED TO THE SATISFACTION OF THE CITY FIRE DEPARTMENT AND AT THE EXPENSE OF THE OWNER. MAIN DRIVEWAY DIMENSIONS AT THE PROPERTY LINE BOUNDARIES ARE PLUS OR MINUS 7.5 M UNLESS OTHERWISE STATED.
 - ALL DRIVEWAYS FROM PROPERTY LINES FOR THE FIRST 7.5 M SHALL BE WITHIN 5% MAXIMUM GRADE, THEREAFTER, ALL DRIVEWAYS SHALL BE WITHIN 10% MAXIMUM GRADES.
 - THE APPROVAL OF THIS PLAN DOES NOT EXEMPT THE OWNER'S BONDED CONTRACTOR FROM THE REQUIREMENTS TO OBTAIN THE VARIOUS PERMITS/APPROVALS NORMALLY REQUIRED TO COMPLETE A CONSTRUCTION PROJECT, SUCH AS, BUT NOT LIMITED TO THE FOLLOWING:
 - BUILDING PERMIT
 - SEWER AND WATER PERMITS
 - ROAD CUT PERMITS
 - RELOCATION OF SERVICES
 - APPROACH APPROVAL PERMITS
 - ENCROACHMENT AGREEMENTS (IF REQUIRED)
 - COMMITMENTS OF ADJUSTMENT
 - ABANDONED ACCESSES MUST BE REMOVED AND THE CURB AND BOULEVARD RESTORED WITH SOD AT THE OWNER'S EXPENSE TO THE SATISFACTION OF THE TRAFFIC ENGINEERING SECTION, PUBLIC WORKS DEPARTMENT.
 - FOR VISIBILITY TRIANGLES AT THE VEHICULAR ACCESS POINTS, THE FOLLOWING NOTE TO BE PROVIDED: "5.0 METRE BY 5.0 METRE VISIBILITY TRIANGLES IN WHICH THE MAXIMUM HEIGHT OF ANY OBJECTS OR MATURE VEGETATION IS NOT TO EXCEED A HEIGHT OF 0.70 METRES ABOVE THE CORRESPONDING PERPENDICULAR CENTRELINE ELEVATION OF THE ADJACENT STREET."
 - ALL SIGNS MUST COMPLY WITH SIGN BY-LAW NO. 10-119.
 - ALL FENCES MUST COMPLY WITH FENCE BY-LAW NO. 10-142.
 - A MINIMUM OF 12 M SEPARATION MUST BE PROVIDED WITHIN THE CITY'S ROAD ALLOWANCE AREA BETWEEN DRIVEWAYS, A FENCE AND ANY POLE, UTILITY, FIRE HYDRANT, TREE, SIGN, ETC. ANY COSTS FOR TRAFFIC SIGN OR UTILITY RELOCATION ARE THE SOLE RESPONSIBILITY OF THE APPLICANT/OWNER.
 - THIS DEVELOPMENT IS ELIGIBLE FOR MUNICIPAL WASTE COLLECTION SERVICE SUBJECT TO MEETING THE CITY'S REQUIREMENTS.
 - UNION GAS HAS SERVICE LINES RUNNING WITHIN THE AREA WHICH MAY NOT BE AFFECTED BY DEVELOPMENT. SHOULD THE SITE PLAN IMPACT THE SERVICES IT MAY BE NECESSARY TO RELOCATE THE LINES, ANY SERVICE RELOCATION WOULD BE AT THE COST OF THE PROPERTY OWNER.

L1= BUILDING PERIMETER= 131.45M L X 50/100= 65.725M L X 75/100= 98.588M
 L2= BUILDING PERIMETER IN 15M RADIUS (BAY ST)= 24 M
 L3= BUILDING PERIMETER IN 15M RADIUS (ALLEYWAY)= 46.94 M
 L4= BUILDING PERIMETER IN 15M RADIUS (HUNTER ST)= 16.59 M

TWO STREET FACING: L2+ L3= 70.94+45.725
 THREE STREET FACING TO: L2+ L3+ L4= 117.88+ 98.588

* THE CITY OF HAMILTON, ZONING BY-LAW, SECTION 4: GENERAL PROVISIONS:
 WHERE A BUILDING IS DEVELOPED ABUTTING A DRIVEWAY CONSTITUTING A COMMON AREA OR COMMON ELEMENT AS PART OF A CONDOMINIUM REGISTERED UNDER THE CONDOMINIUM ACT SUCH DRIVEWAY SHALL BE DEEMED TO BE STREET FOR PURPOSE OF APPLYING THE PROVISIONS OF THIS BY-LAW.

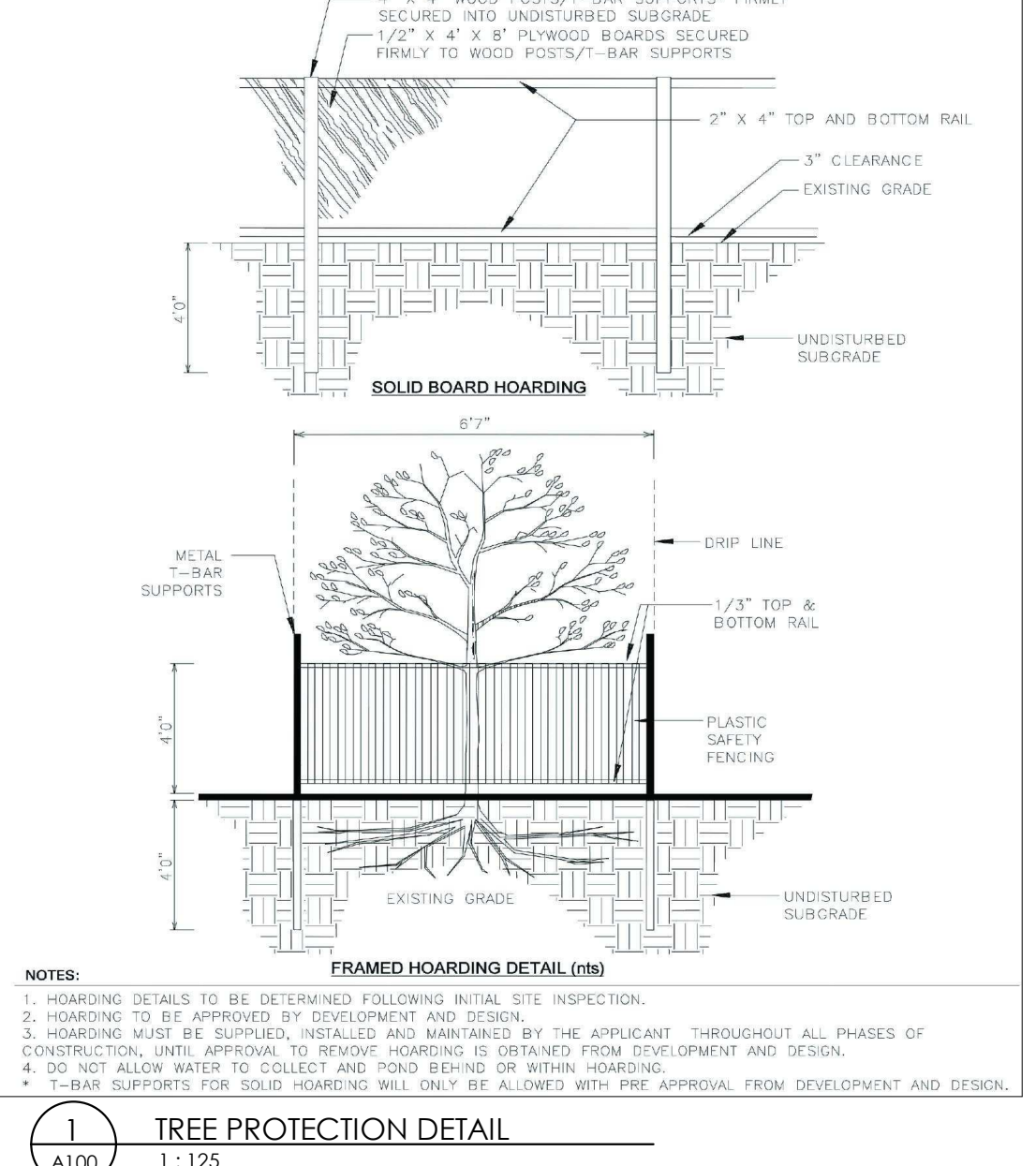
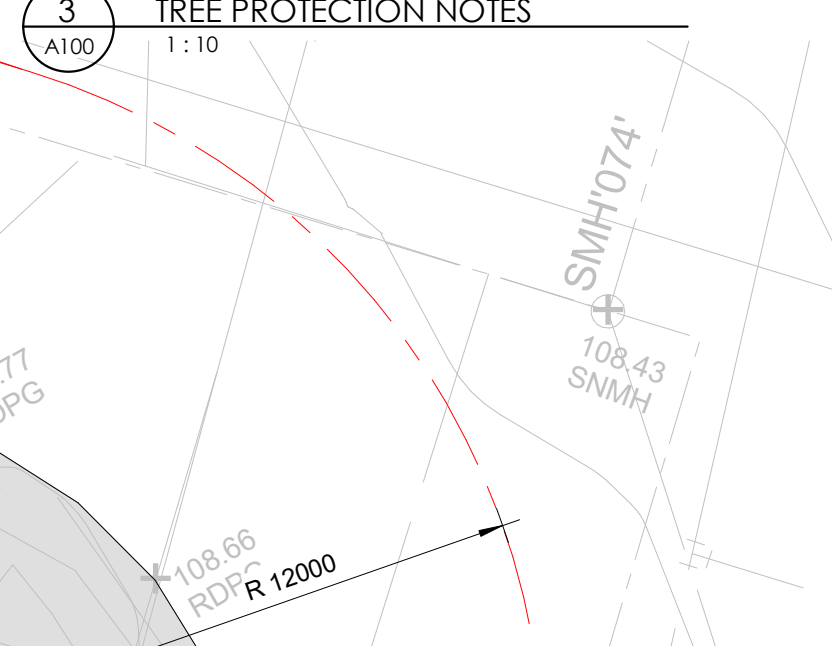
OBC- RATIONAL FOR STREET FACING PER 3.2.2.10

ALECTRA UTILITIES

- RELOCATION, MODIFICATION, OR REMOVAL OF ANY EXISTING HYDRO FACILITIES, SHALL BE AT THE OWNERS EXPENSE.
- DO NOT EXCAVATE WITHIN 2 M OF HYDRO POLE OR ANCHORS.
- EXCAVATION WITHIN 1 M OF UNDERGROUND HYDRO PLANT IS NOT PERMITTED UNLESS APPROVAL IS GRANTED BY AN ALECTRA UTILITIES REPRESENTATIVE AND IS PRESENT TO PROVIDE DIRECT SUPERVISION. COST ASSOCIATED WITH THIS TASK SHALL BE AT THE OWNER'S EXPENSE.
- ALECTRA UTILITIES MUST BE CONTACTED IF REMOVAL, ISOLATION OR RELOCATION OF EXISTING PLANT IS REQUIRED. ALL COST ASSOCIATED WITH THIS WORK WILL BE AT THE OWNERS EXPENSE.

GENERAL NOTE:
 LANDSCAPE SHOWN IS PRELIMINARY.
 LANDSCAPE PLAN WILL BE SUBMITTED AT LATER DATE

- TREE PROTECTION RECOMMENDATIONS:**
- INSTALL HOARDING FOR SUBSEQUENT MUNICIPAL REVIEW/APPROVAL.
 - HOARDING MAY BE MOVED TEMPORARILY TO PROVIDE ACCESS FROM PROTECTED AREAS TO AVOID PULLING AND BREAKING OF ROOTS OF TREES TO REMAIN.
 - PRUNING, IF REQUIRED, SHOULD BE DONE PRIOR TO CONSTRUCTION AND IN ACCORDANCE WITH CURRENT ARBORICULTURAL PRACTICES.
 - STORAGE OF ANY MATERIALS, FILL, VEHICLES/EQUIPMENT, AND DISPOSAL OF LIQUIDS IS NOT PERMITTED WITHIN 1M OF PROTECTED AREAS.
 - EXCAVATION IN CLOSE PROXIMITY TO PROTECTED AREAS ARE TO BE UNDERTAKEN WITH A CERTIFIED ARBORIST PRESENT.
 - ROOTS ENCOUNTERED DUE TO EXCAVATION ARE TO BE CUT WITH A CLEAN SHARP BLADE. TEARING AND BIRPING OF ROOTS IS NOT PERMITTED.
 - HYDROLOGING IS RECOMMENDED AS THE PREFERRED METHOD FOR EXCAVATION WITHIN 1M OF PROTECTED AREAS.
 - EXPOSED ROOTS ARE TO BE COVERED IMMEDIATELY WITH MULCH OR TOPSOIL AND WATERED THOROUGHLY. A LIGHT COLOURED TARPULIN MAY ALSO BE USED TO PREVENT FOOT DESICCATION.
 - DEEP ROOT FERTILIZER (3:1:1) FOLLOWING BACKFILLING.
 - TREES SHOULD BE RE-ASSESSED PERIODICALLY IN ORDER TO MAINTAIN AN UP TO DATE UNDERSTANDING OF HEALTH AND STRUCTURE.



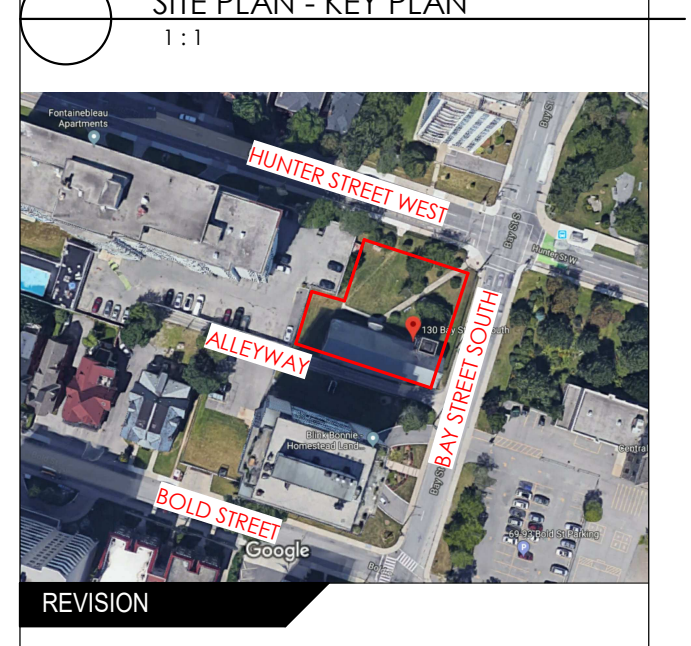
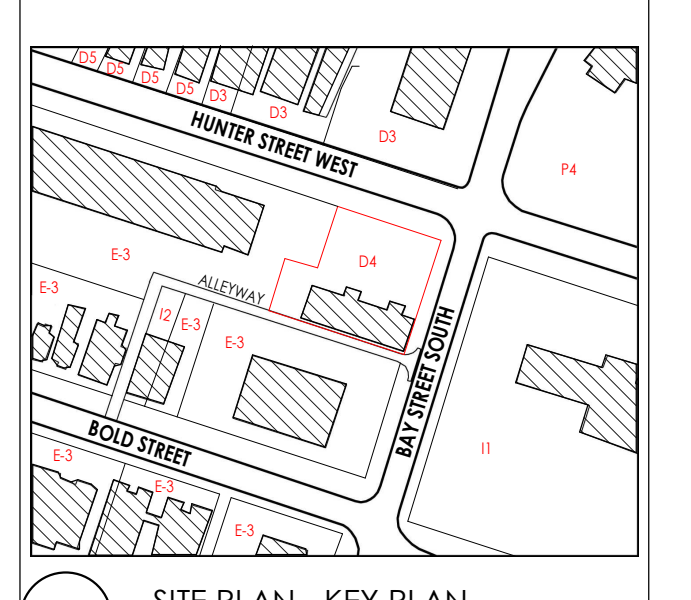
SITE STATISTICS

SITE LOCATION	115 Hunter St W, Hamilton, ON L8P 3H5 (Formerly, 130 Bay St)
LOCATION OF APPLICATION	HAMILTON, ON
DESCRIPTION	ST. MARK'S CHURCH PHASE 2 RENOVATION ADAPTIVE RE-USE + RESTORATION TO COMMUNITY CENTRE
WARD	2
PROPOSED LAND USE	COMMUNITY CENTRE
ZONING CLASSIFICATION	THE CURRENT ZONING: A/S1443 (PARK ZONE & PLACE OF WORSHIP/OFFICE) DOWNTOWN COMMERCIAL ZONE/NEIGHBOURHOOD PARK ZONE D4/P1

PROPERTY
 NOTE: BUILDING "A" REFERS TO THE DESIGNATED HERITAGE CHURCH + PROPOSED PH2 ADDITION
 BUILDING "B" REFERS TO STORAGE SHED

DETAILS OF DEVELOPMENT	REQUIRED/ PERMITTED	PROVIDED
TOTAL LOT		
LOT AREA	N/A	1475.6 sqm (15883 sqft)
LOT FRONTAGE MAX.	N/A	HUNTER ST W 33.8 m (110.9 ft)
FRONT YARD MAX. DEPTH	2.0 M FOR FIRST STOREY	FROM HUNTER ST W
SIDE YARD DEPTH	N/A	BUILDING "A" - EXISTING 24.052 m (78.9 ft)
		BUILDING "A" - PH2 ADDITION 21.15 m (69.4 ft)
		BUILDING "B" 11.90 m (39.0 ft)
REAR YARD DEPTH	10.5m	EAST SIDE FROM BAY ST
		BUILDING "A" - EXISTING -0.18 m (-0.6 ft)
		BUILDING "A" + PH2 ADDITION -0.18 m (-0.6 ft) BUILDING "B" 31.07 m (101.95 ft)
HARD LANDSCAPE (SIDEWALKS, CURBS, ASPHALT)	N/A	365.6 sqm (3935.3 sqft)
		24.8%
SOFT LANDSCAPE (GREEN)	N/A	566.7 sqm (6100sqft)
		38.4 %

BUILDING		
BUILDING AREA (FOOTPRINT)	N/A	BUILDING "A" 530.5 sqm (5710 sqft)- 35.9% BUILDING "B" 12.8 sqm (137.8 sqft)- 0.9% TOTAL 543.3 sqm (5848.0 SQFT)- 36.8%
	N/A	L1- BUILDING "A" - EXISTING 334.9 sqm (3605 sqft) L1- BUILDING "A" + PH2 ADDITION 35.2 sqm (379 sqft) L1- TOTAL 370.1 sqm (3984 sqft) L1- BUILDING "B" 0 L1- TOTAL 370.1 sqm (3984 sqft)
GROSS FLOOR AREA	N/A	L0- BUILDING "A" - EXISTING 0 sqm (0 ft) L0- BUILDING "A" + PH2 ADDITION 0 sqm (0 ft) L0- TOTAL 0 sqm (0 ft) L0- BUILDING "B" 0 sqm (0 ft) L0- TOTAL 0 sqm (0 ft)
	N/A	L1- BUILDING "A" - EXISTING 367.5 sqm (3956 sqft) L1- BUILDING "A" + PH2 ADDITION 163.0 sqm (1754.5 sqft) L1- TOTAL 530.5 sqm (5706.0 sqft) L1- BUILDING "B" 12.8 sqm (137.8 sqft) L1- TOTAL 543.3 sqm (5848.0 sqft) L0- BUILDING "A" - EXISTING(FULL) 168 sqm (1808 sqft) 186.3 sqm (2005 sqft) L0- BUILDING "A" + PH2 ADDITION(FULL) 96.4 sqm (1038 sqft) L0- BUILDING "A" + PH2 ADDITION(CRAWL) 61.7 sqm (664 sqft) L0- TOTAL* 326.1 sqm (3510 sqft) L0- BUILDING "B" 0
FLOOR AREA	N/A	367.5 sqm (3956 sqft) 163.0 sqm (1754.5 sqft) 530.5 sqm (5706.0 sqft) 12.8 sqm (137.8 sqft)
LOT COVERAGE MAX.	N/A	36.8%
BUILDING HEIGHT MIN.	7.5 M ALONG STREET LINE	BUILDING "A" 10.0 m (32.8 ft) T/O EXISTING TOWER 12.5m (40.8ft) BUILDING "B" STORAGE SHED WILL NOT EXCEED 4.0M IN HEIGHT AS PER SECTION 18(4) (ii) OF HAMILTON ZONING BY-LAW 6593
NO. OF STOREYS	N/A	1 ABOVE GRADE
PARKING	N/A	2 NEW TEMPORARY PARKING SPACES (1 BARRIER FREE + 1 REGULAR) + NEW DRIVEWAY
BICYCLE	N/A	6 BICYCLE STORAGE SPACES



REVISION

NUMBE	DAT	REMARK
02	2018 12 13	ISSUED FOR COA TO CITY OF HAMILTON
01	2018 08 30	ISSUED FOR SITE PLAN APPROVAL

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PROJECT
 CITY OF HAMILTON
 ST. MARK'S CHURCH
 PHASE 2 RENOVATION
 115 HUNTER STREET WEST,
 HAMILTON, ON
 SPA-18-169

DRAWING
 SITE PLAN & KEYPLAN

DRAWN
 FN

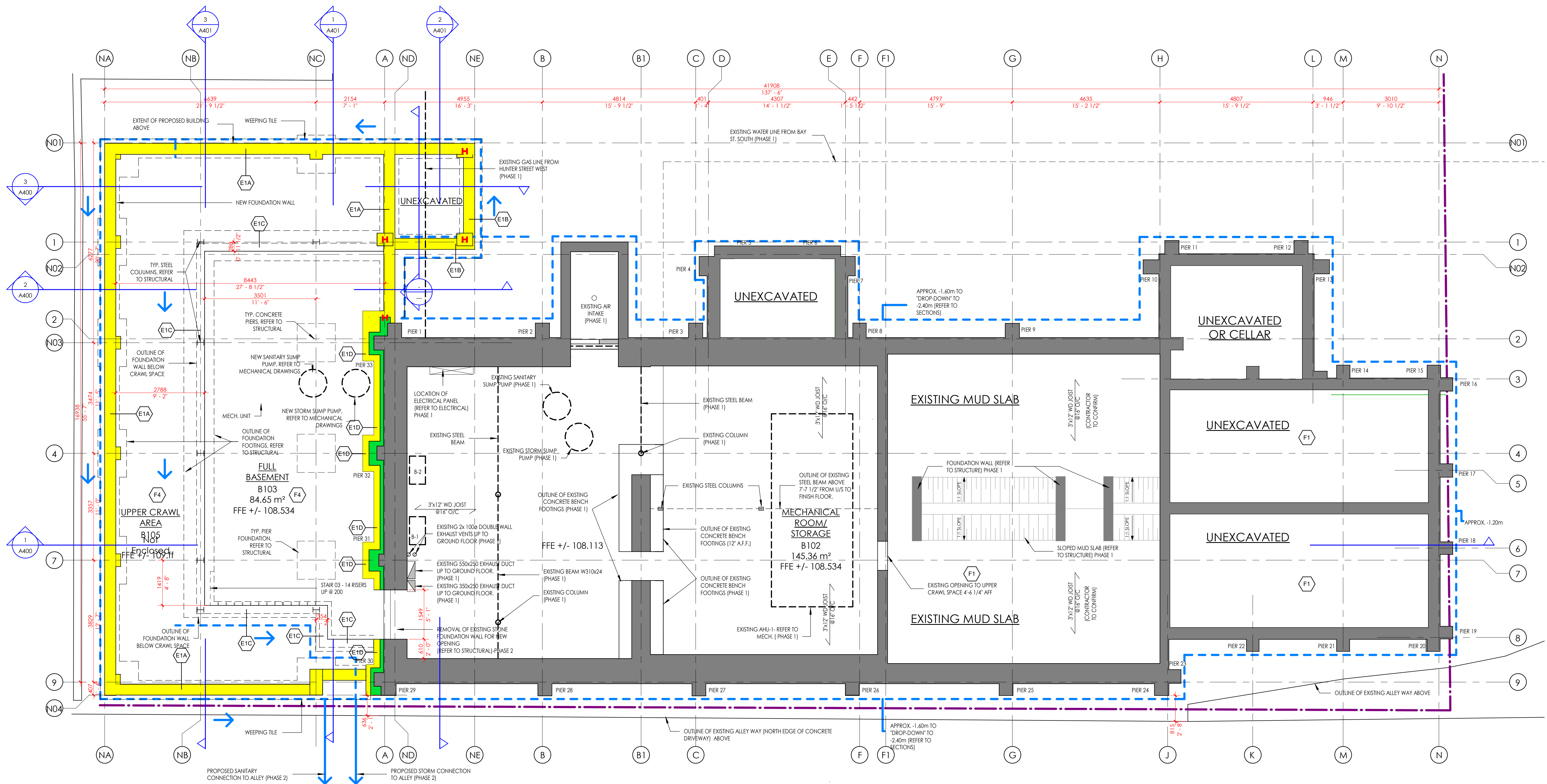
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PROJECT
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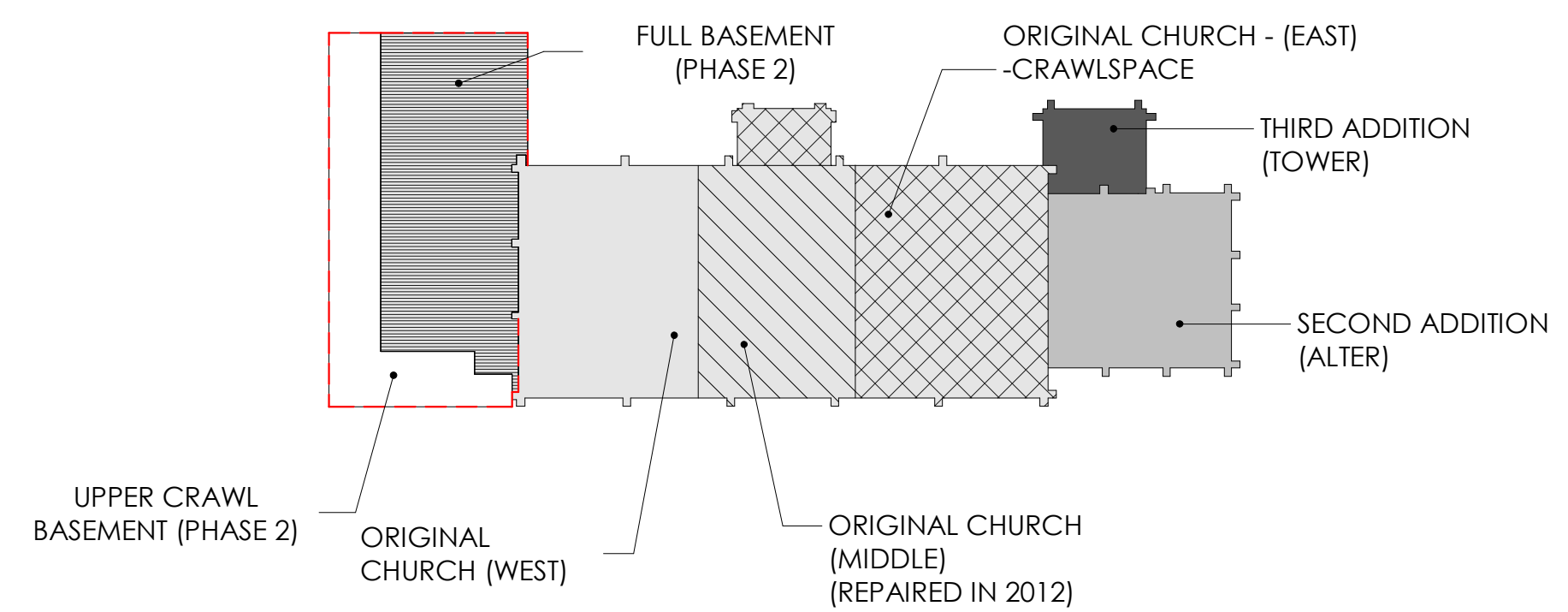
DRAWING
 A100



- NEW FOUNDATION WALLS (PHASE 2)
REFER TO STRUCTURAL
- EXISTING FOUNDATION WALLS
- REINFORCING OF EXISTING FOUNDATION (PHASE 1)
(REFER TO STRUCTURAL)
- NEW WEEPING TILE
2% POSITIVE DRAINAGE SLOPE TO STORMWATER MAIN
(REFER TO CIVIL)

1 OVERALL BASEMENT PLAN
A200 1:65

WORKING DRAWINGS IN PROGRESS



KEY PLAN - BASEMENT
1:300

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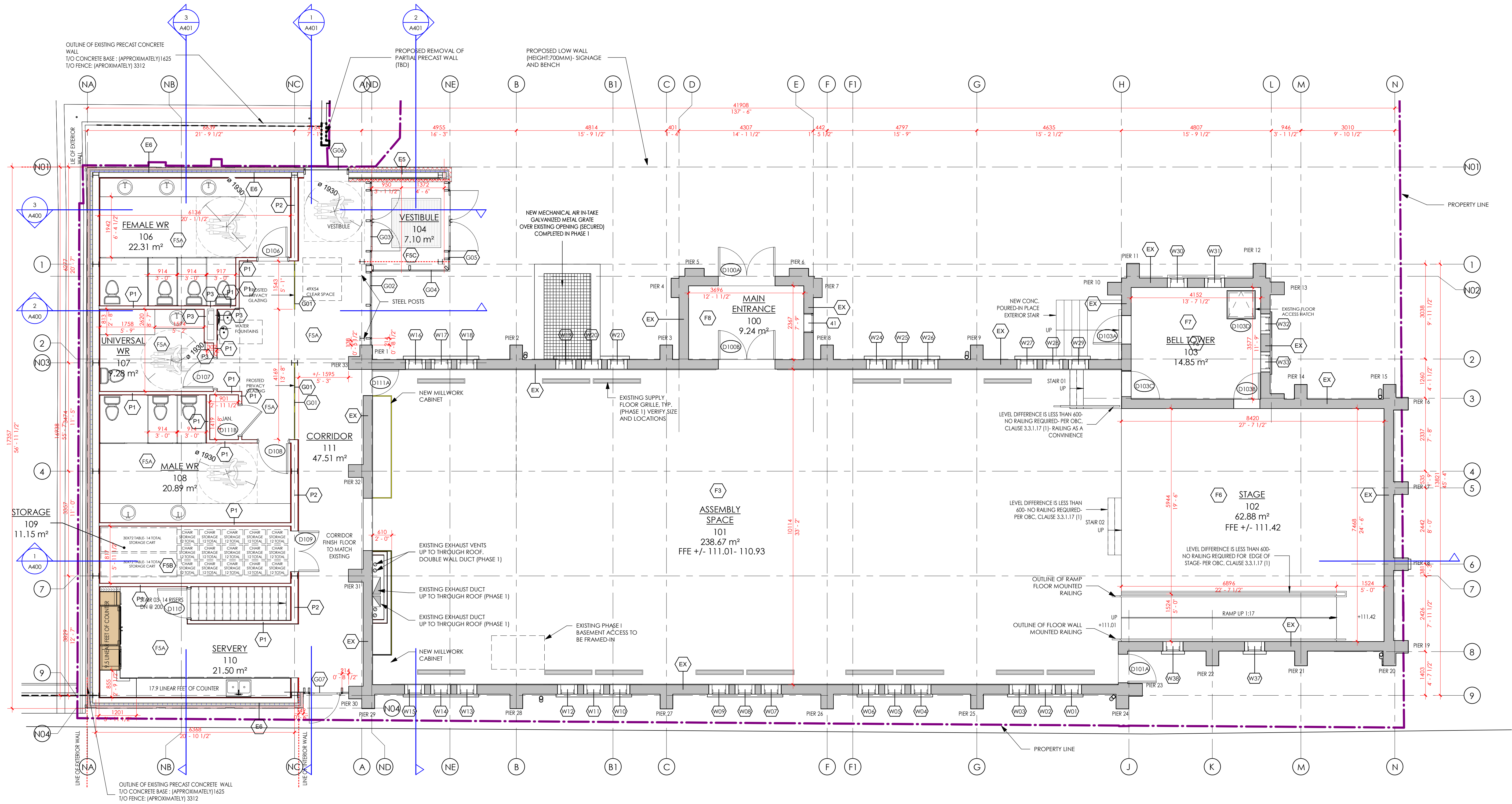


PROJECT
 CITY OF HAMILTON
 ST. MARK'S CHURCH
 PHASE 2 RENOVATION
 115 HUNTER STREET WEST,
 HAMILTON, ON

DRAWING	
	OVERALL BASEMENT PLAN
DRAWN	
	FN
SCALE	
	As indicated
DAT	
	2017 03 06
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	MWB
PROJECT	
	15 - 1091
DRAWING	

A200

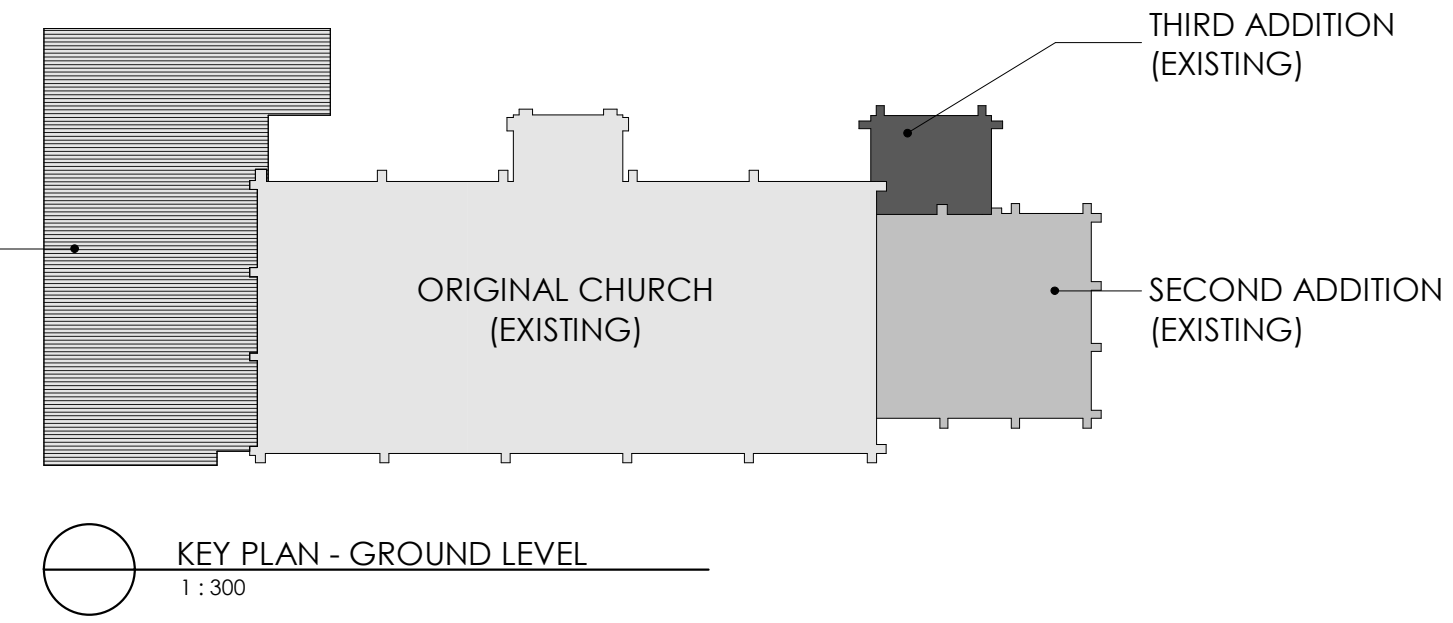
C:\Users\alvenc\Documents\15150000\St.Marks Church Phase 2_jm\A200.rvt
2018-10-18 02:02:56 PM



- NEW CONSTRUCTION (PHASE 2)
- EXISTING WALLS
- DEMOLITION
- OUTLINE OF PROPOSED FULL BASEMENT BELOW LEVEL 0 (PHASE 2)

1 GROUND LEVEL
A210 1:65

WORKING DRAWINGS IN PROGRESS



REVISION		
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PROJECT
**CITY OF HAMILTON
ST. MARK'S CHURCH
PHASE 2 RENOVATION**
115 HUNTER STREET WEST,
HAMILTON, ON

DRAWING
GROUND FLOOR PLAN

DRAWN
FN

SCALE
As indicated

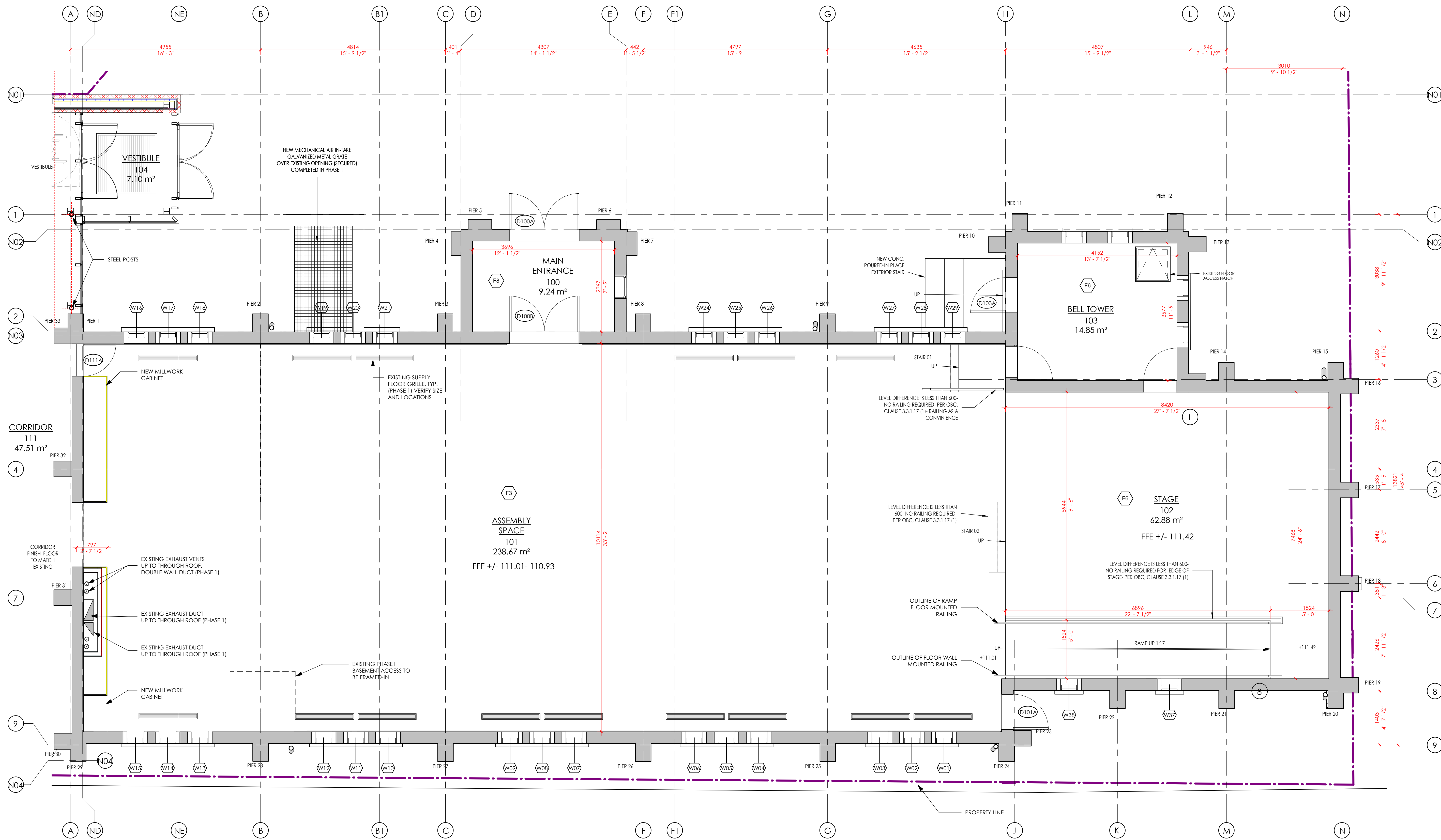
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2017 03 06

CHECKED
MWB

PROJECT
15 - 1091

DRAWING

A210



CORRIDOR
111
47.51 m²

CORRIDOR FINISH FLOOR TO MATCH EXISTING

EXISTING EXHAUST VENTS UP TO THROUGH ROOF, DOUBLE WALL DUCT (PHASE 1)

EXISTING EXHAUST DUCT UP TO THROUGH ROOF (PHASE 1)

EXISTING EXHAUST DUCT UP TO THROUGH ROOF (PHASE 1)

NEW MILLWORK CABINET

EXISTING PHASE I BASEMENT ACCESS TO BE FRAMED-IN

NEW MECHANICAL AIR IN-TAKE GALVANIZED METAL GRATE OVER EXISTING OPENING (SECURED) COMPLETED IN PHASE 1

EXISTING SUPPLY FLOOR GRILLE, TYP. (PHASE 1) VERIFY SIZE AND LOCATIONS

LEVEL DIFFERENCE IS LESS THAN 600- NO RAILING REQUIRED- PER OBC, CLAUSE 3.3.1.17 (1)

OUTLINE OF RAMP FLOOR MOUNTED RAILING

OUTLINE OF FLOOR WALL MOUNTED RAILING

LEVEL DIFFERENCE IS LESS THAN 400- NO RAILING REQUIRED FOR EDGE OF STAGE- PER OBC, CLAUSE 3.3.1.17 (1)

PROPERTY LINE

AREA OF NEW CONSTRUCTION (PHASE 2)

THIRD ADDITION (EXISTING)

ORIGINAL CHURCH (EXISTING)

SECOND ADDITION (EXISTING)

REVISION		
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PROJECT
CITY OF HAMILTON
ST. MARK'S CHURCH
PHASE 2 RENOVATION
115 HUNTER STREET WEST,
HAMILTON, ON

DRAWING
ORIGINAL CHURCH - FLOOR PLAN

DRAWN
Author

SCALE
As indicated

DAT
2017 03 06

CHECKED
Checker

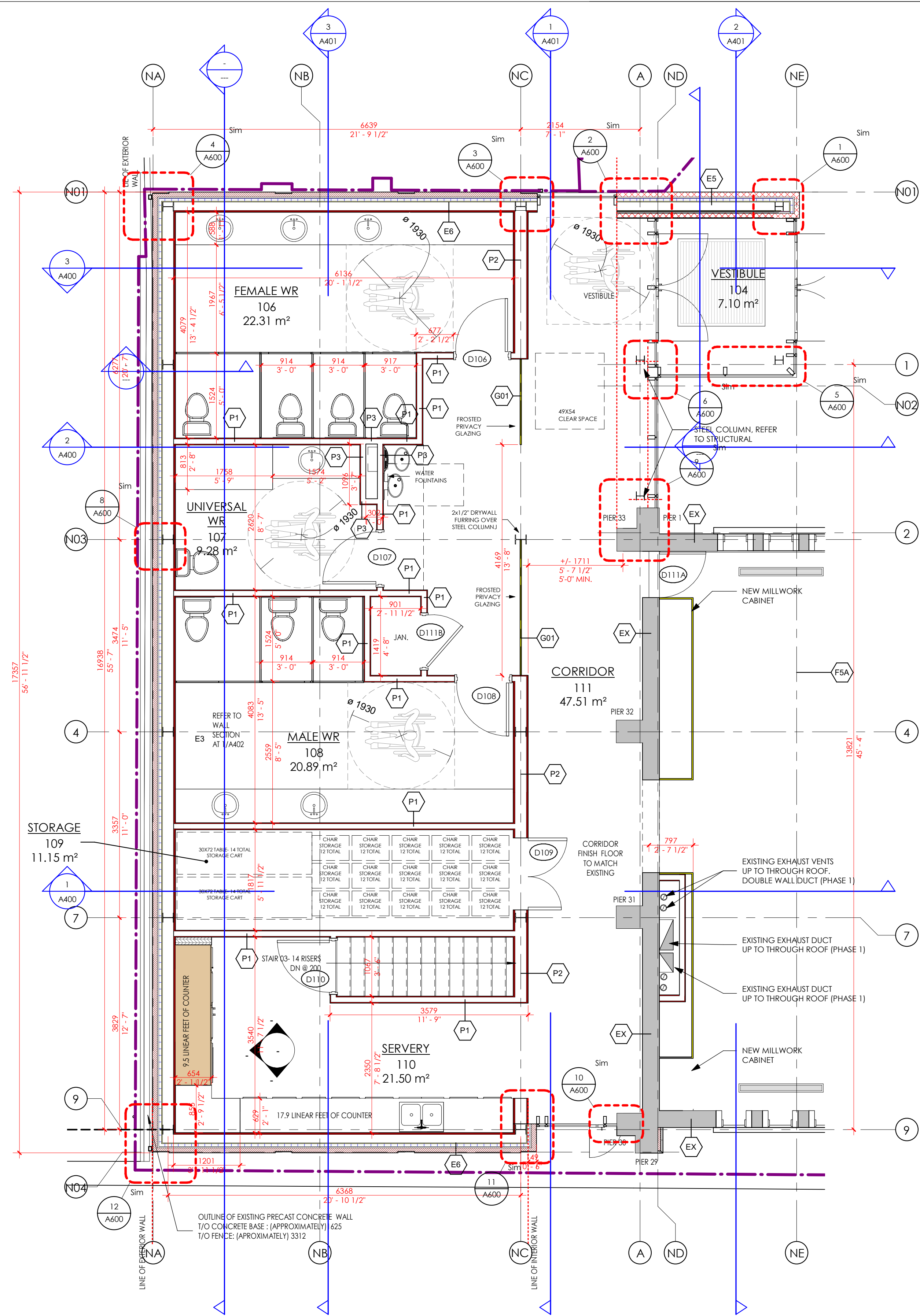
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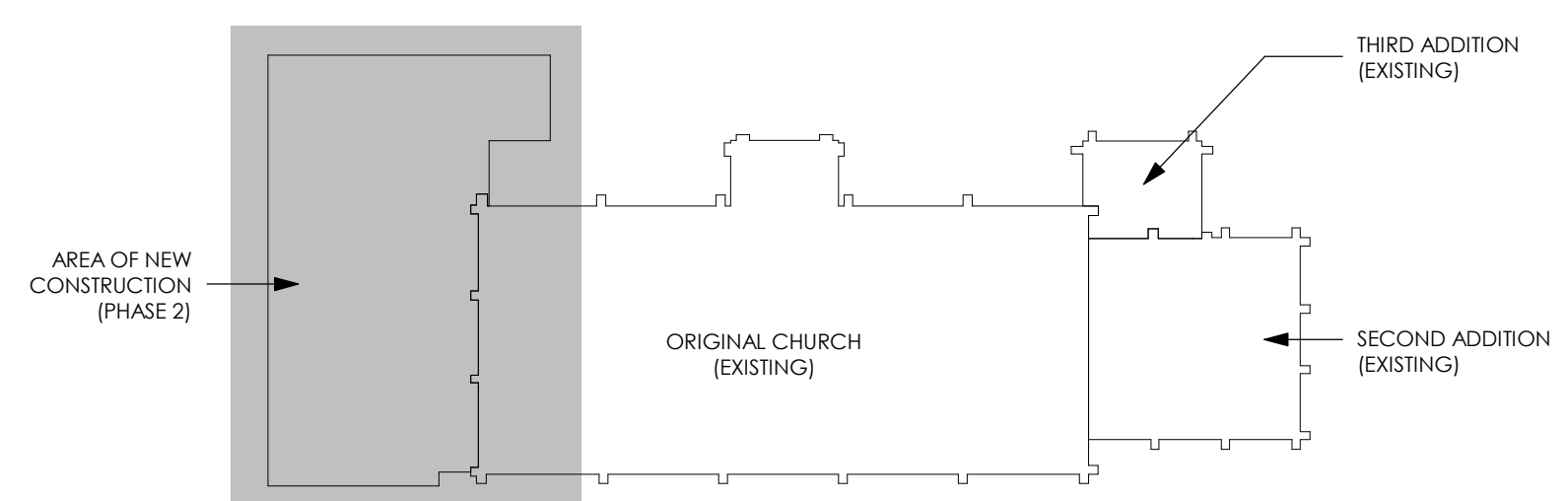
A211

1 ORIGINAL CHURCH - FLOOR PLAN
A211 1:50

KEY PLAN - ASSEMBLY AREA
1:300



1 A212 PHASE 2 ADDITION - FLOOR PLAN
1:50



KEY PLAN - PHASE 2 ADDITION
1:300

REVISION		
NUMBE	DAT	REMARK
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CITY OF HAMILTON
ST. MARK'S CHURCH
PHASE 2 RENOVATION
115 HUNTER STREET WEST,
HAMILTON, ON

DRAWING
PHASE 2 ADDITION - FLOOR PLAN

DRAWN
Author

SCALE
As indicated

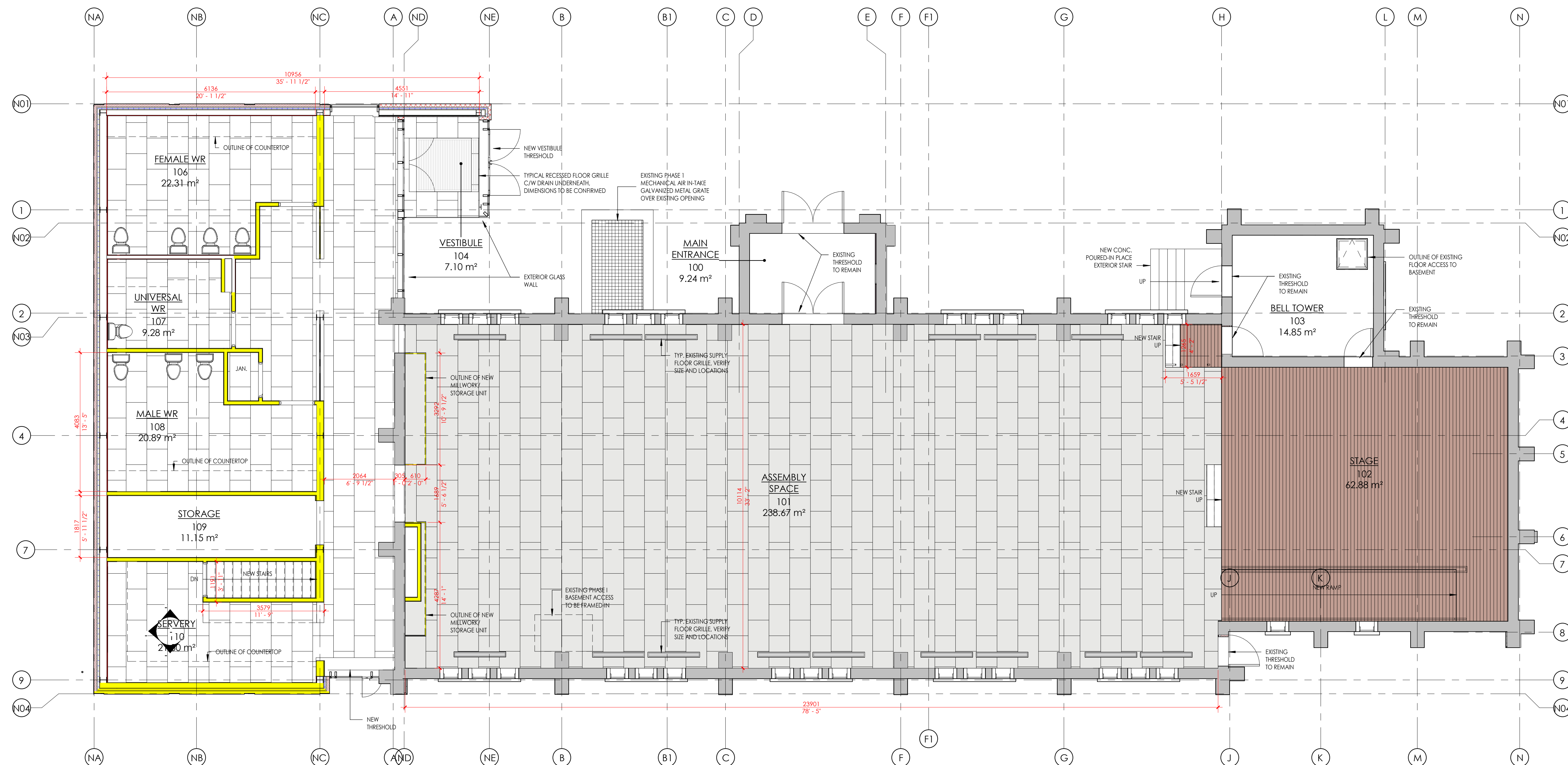
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PROJECT
15 - 1091

DRAWING

A212



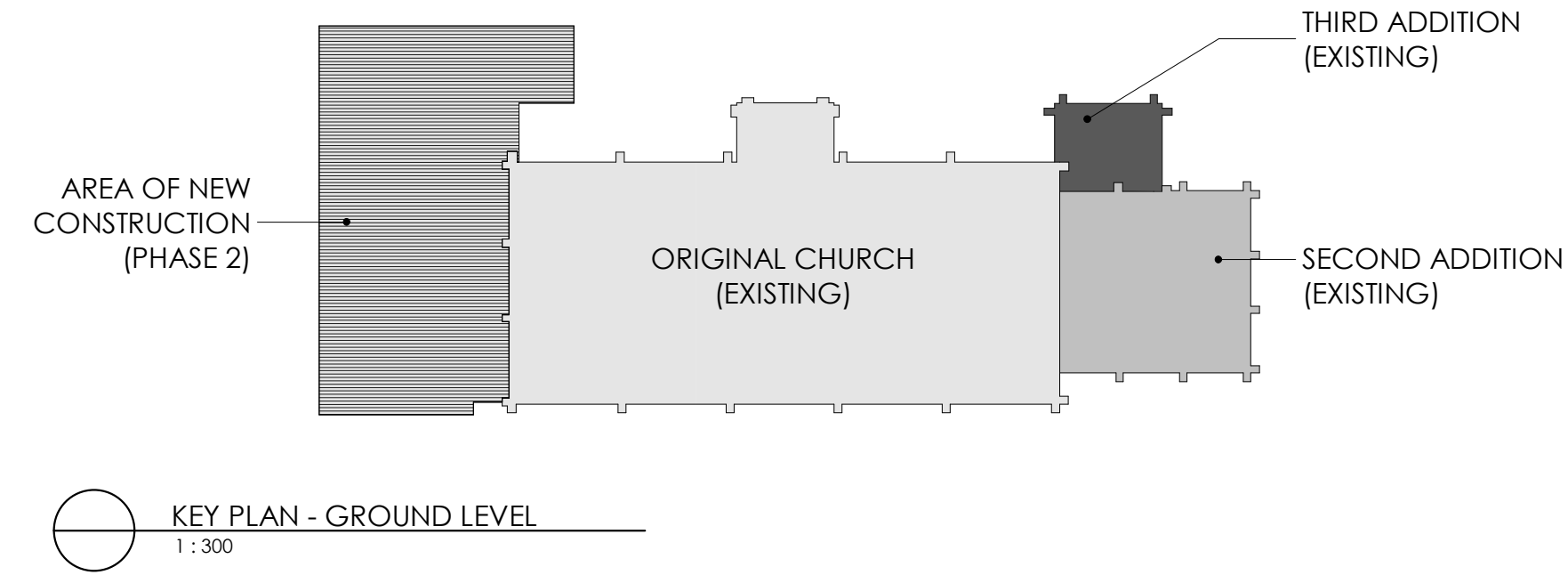
1 GROUND FLOOR FINISH PLAN-A
A215A 1:65

FLOOR FINISH LEGEND
1:50

- F01 - RUNNING BOND - 24x36 TILE FLOOR
- F02 - RE-USED EXISTING HERITAGE WOOD PLANKS
- F03 - CARPET TILES
- F04 - TO BE DETERMINED
- F05 - PAINTED CONCRETE

WALL TYPE LEGEND
1:1

- NEW CONSTRUCTION (PHASE 2)
- EXISTING WALLS
- DEMOLITION
- OUTLINE OF PROPOSED FULL BASEMENT BELOW LEVEL 0 (PHASE 2)
- OUTLINE OF DOORS, COUNTERTOPS AND MILLWORK



REVISION		
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PHASE 2 RENOVATION
115 HUNTER STREET WEST,
HAMILTON, ON

DRAWING
GROUND FLOOR FINISH PLAN - OPTION A

DRAWN
Author

SCALE
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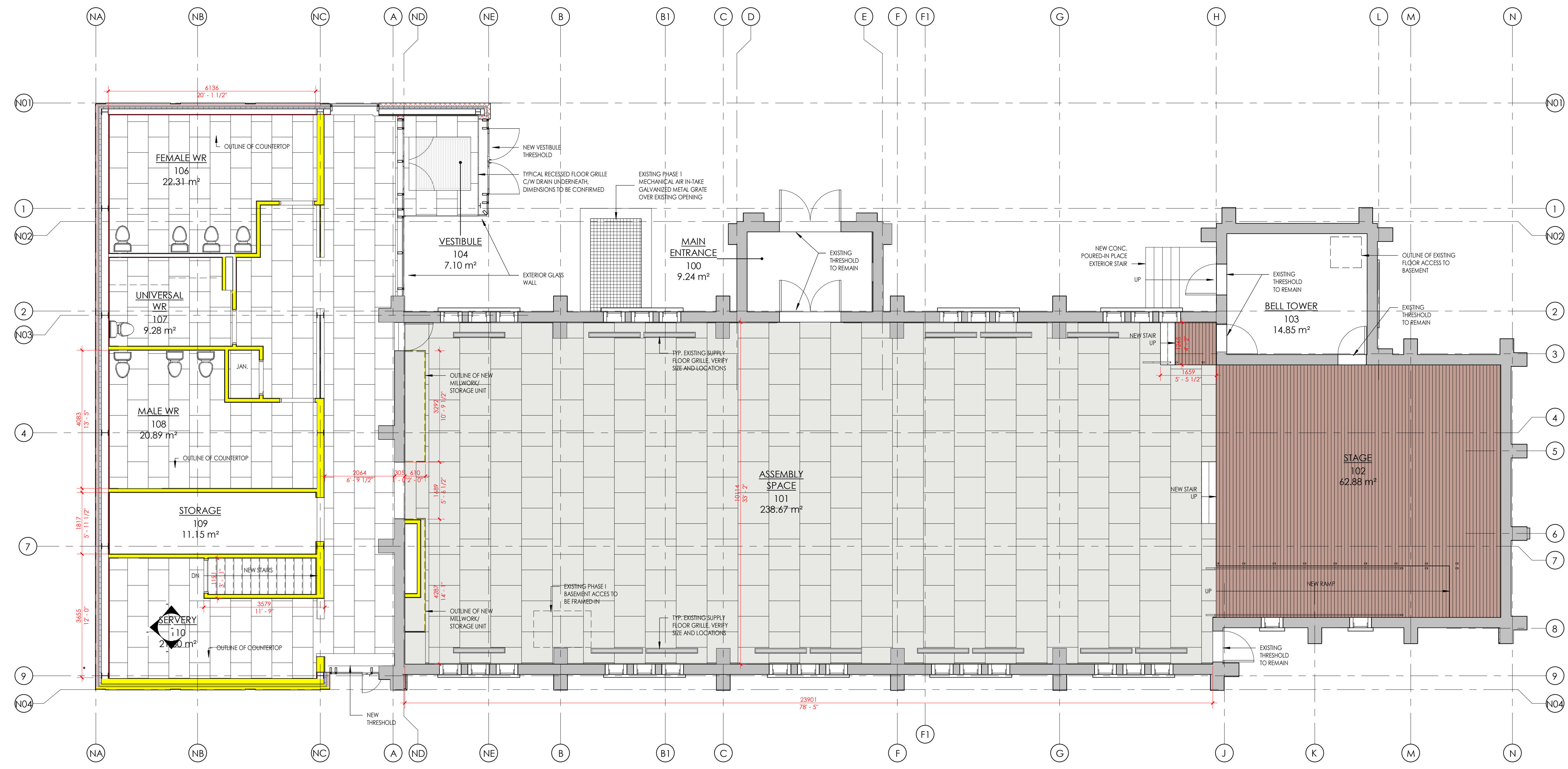
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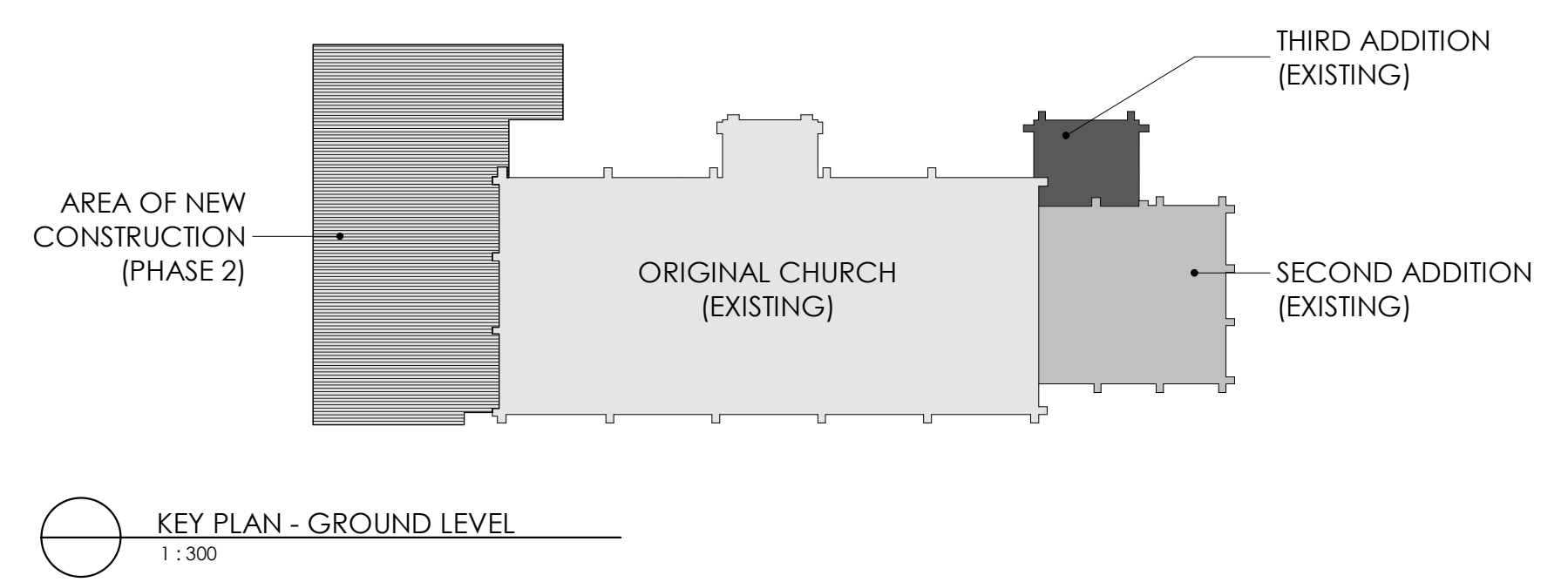
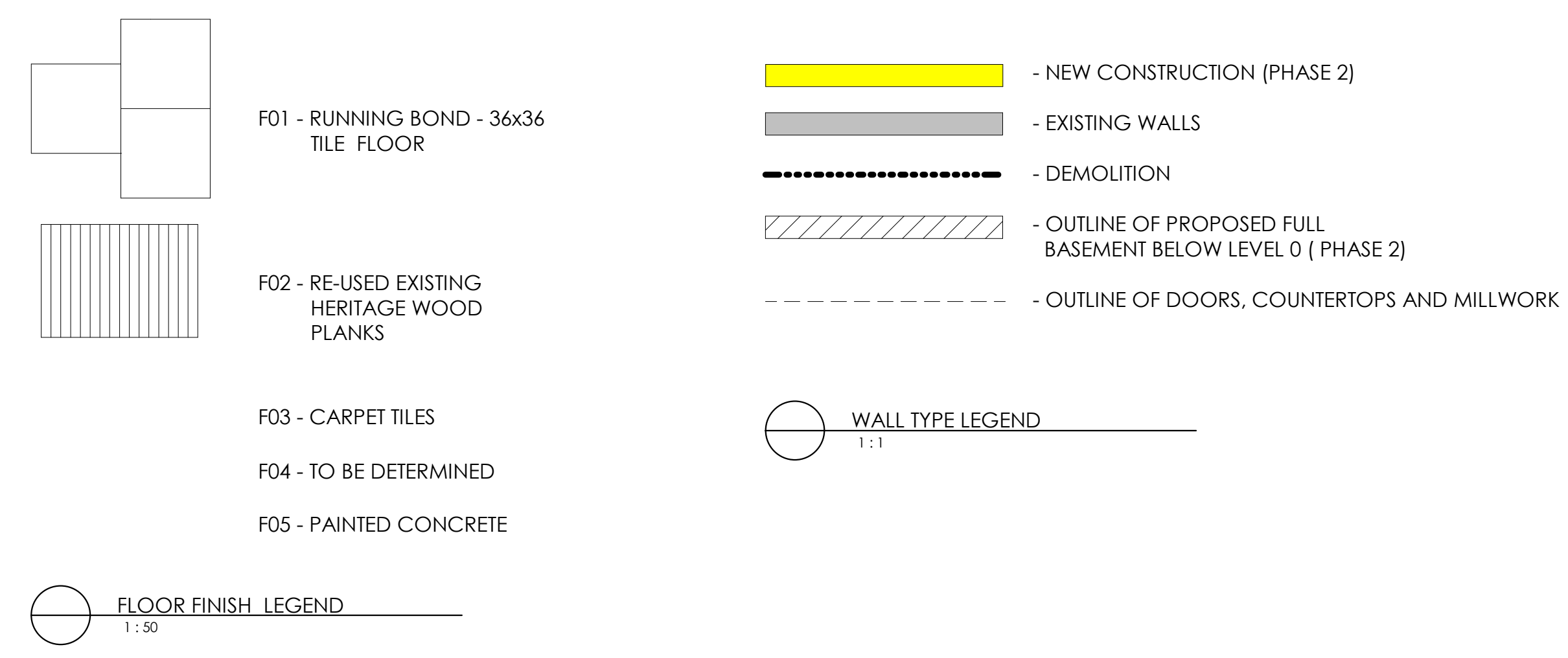
PROJECT
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DRAWING

A215A



1 GROUND FLOOR FINISH PLAN-B
A215B 1:65



REVISION		
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PROJECT
CITY OF HAMILTON
ST. MARK'S CHURCH
PHASE 2 RENOVATION
115 HUNTER STREET WEST,
HAMILTON, ON

DRAWING
GROUND FLOOR FINISH PLAN - OPTION B

DRAWN
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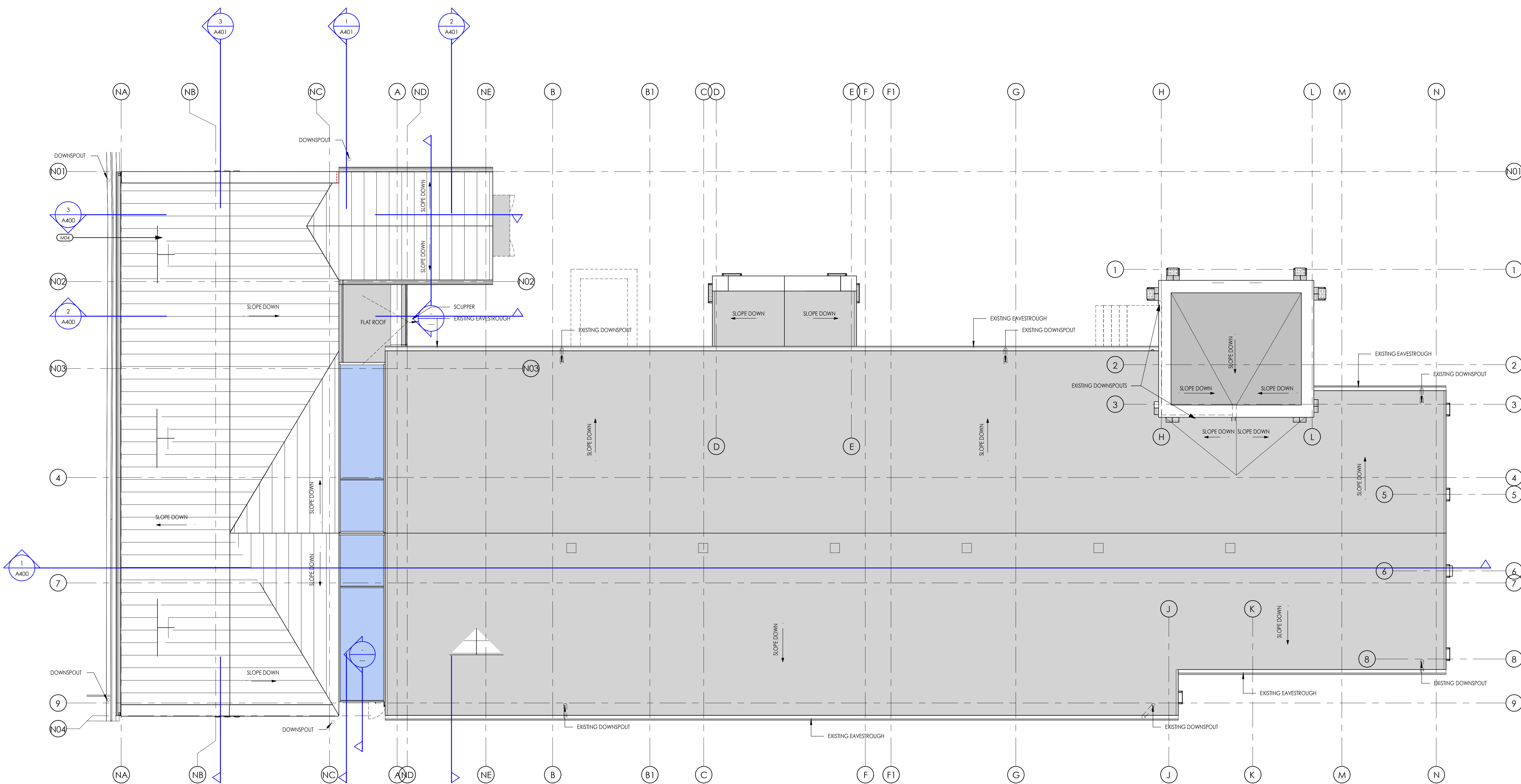
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PROJECT
15 - 1091

DRAWING

A215B



WORKING DRAWINGS IN PROGRESS

MATERIAL SUMMARY	
CODE	DESCRIPTION
M01	RUNNING BOND - IRON SPOT AT FIELD
M02	STACKED BOND - IRON SPOT AT PER LOCATIONS RECESSED
M03	CURTAIN WALL FRAMING (BLACK) WITH CLEAR GLASS
M04	METAL ROOFING
M05	ALUMINUM FASCIA EAVES, DOWNSPOUTS (TO MATCH ROOF COLOUR)
M06	MECH. LOUVER - COLOR TBD

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PROJECT
 CITY OF HAMILTON
 ST. MARK'S CHURCH
 PHASE 2 RENOVATION
 115 HUNTER STREET WEST,
 HAMILTON, ON

DRAWING
 ROOF PLAN

DRAWN
 Author

SCALE
 1 : 65

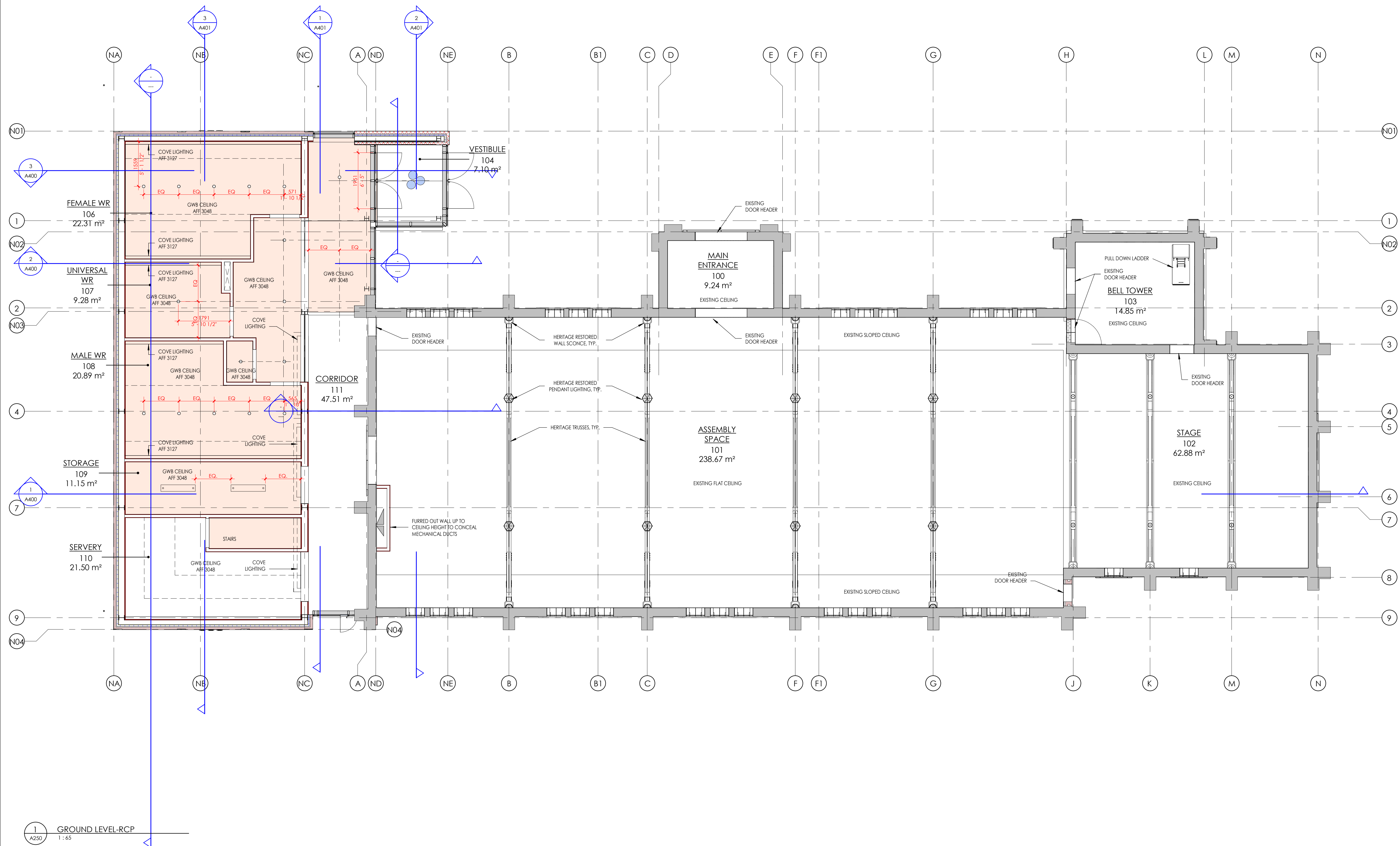
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PROJECT
 15 - 1091

DRAWING

A220



1 GROUND LEVEL-RCP
A250 1:65

REVISION		
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PROJECT
 CITY OF HAMILTON
 ST. MARK'S CHURCH
 PHASE 2 RENOVATION
 115 HUNTER STREET WEST,
 HAMILTON, ON

DRAWING
 GROUND FLOOR- RCP

DRAWN
 F.N.

SCALE
 1:65

DAT
 2017 03 06

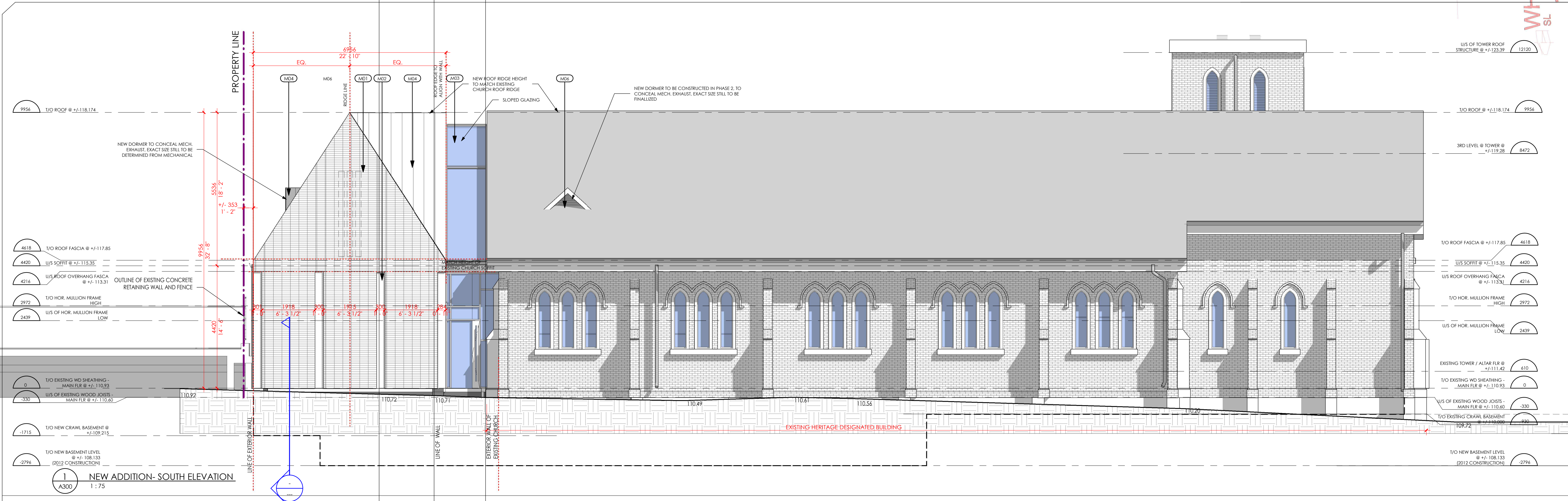
CHECKED
 M.B.

PROJECT
 15 - 1091

DRAWING

A250

WHP SL
+100' BOW
+109.5' RD/PG



MATERIAL SUMMARY	
CODE	DESCRIPTION
M01	RUNNING BOND - IRON SPOT AT FIELD
M02	STACKED BOND - IRON SPOT AT PIER LOCATIONS RECESSED
M03	CURTAIN WALL FRAMING (BLACK) WITH CLEAR GLASS
M04	METAL ROOFING
M05	ALUMINUM FASCIA EAVES, DOWNSPOUTS (TO MATCH ROOF COLOUR)
M06	MECH. LOUVER - COLOR TBD

REVISION		
NUMBE	DAT	REMARK
02	2018 12 13	ISSUED FOR C&A TO CITY OF HAMILTON
01	2018 08 30	ISSUED FOR SITE PLAN APPROVAL

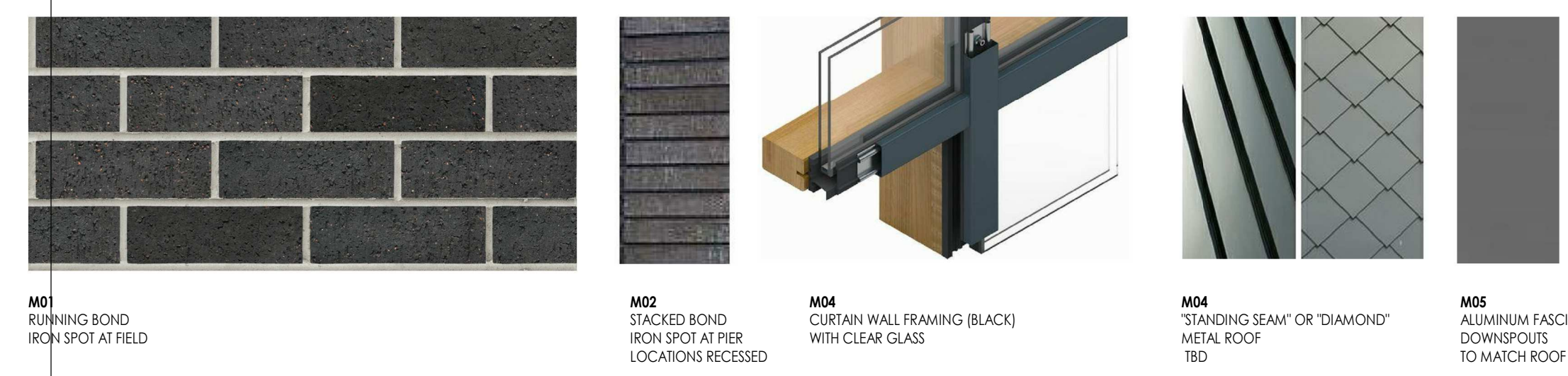
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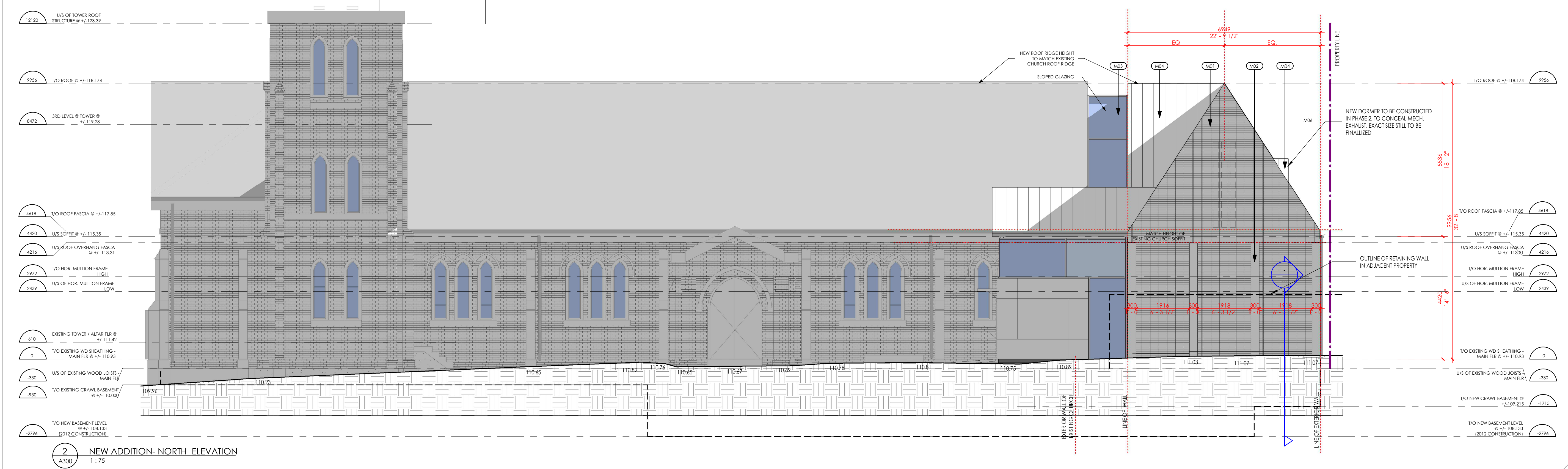
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SEP 1/10



WORKING DRAWINGS IN PROGRESS



PROJECT
CITY OF HAMILTON
ST. MARK'S CHURCH
PHASE 2 RENOVATION
115 HUNTER STREET WEST,
HAMILTON, ON

DRAWING
NEW ADDITION- NORTH & SOUTH ELEVATIONS

DRAWN
FN

SCALE
1 : 75

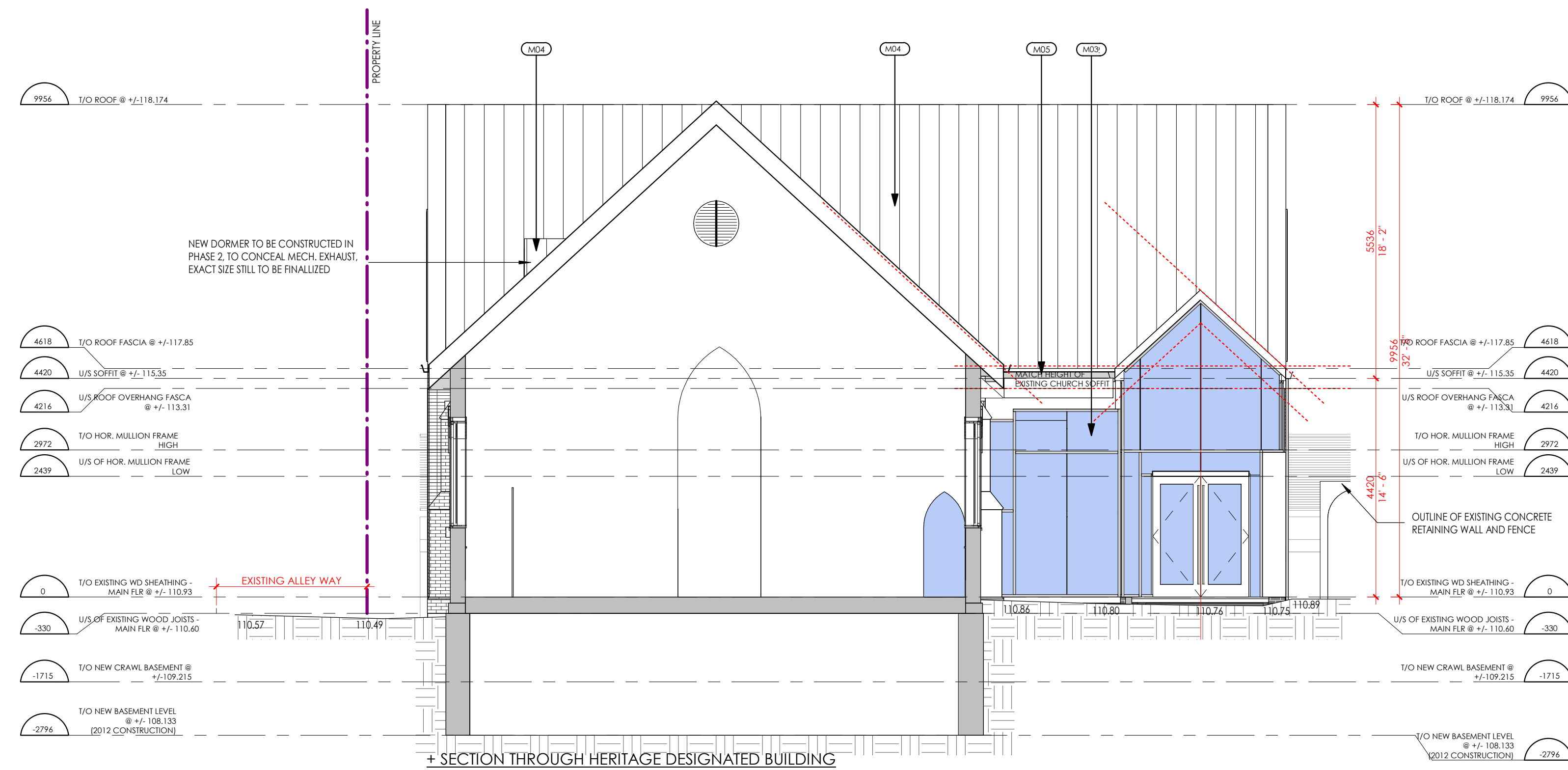
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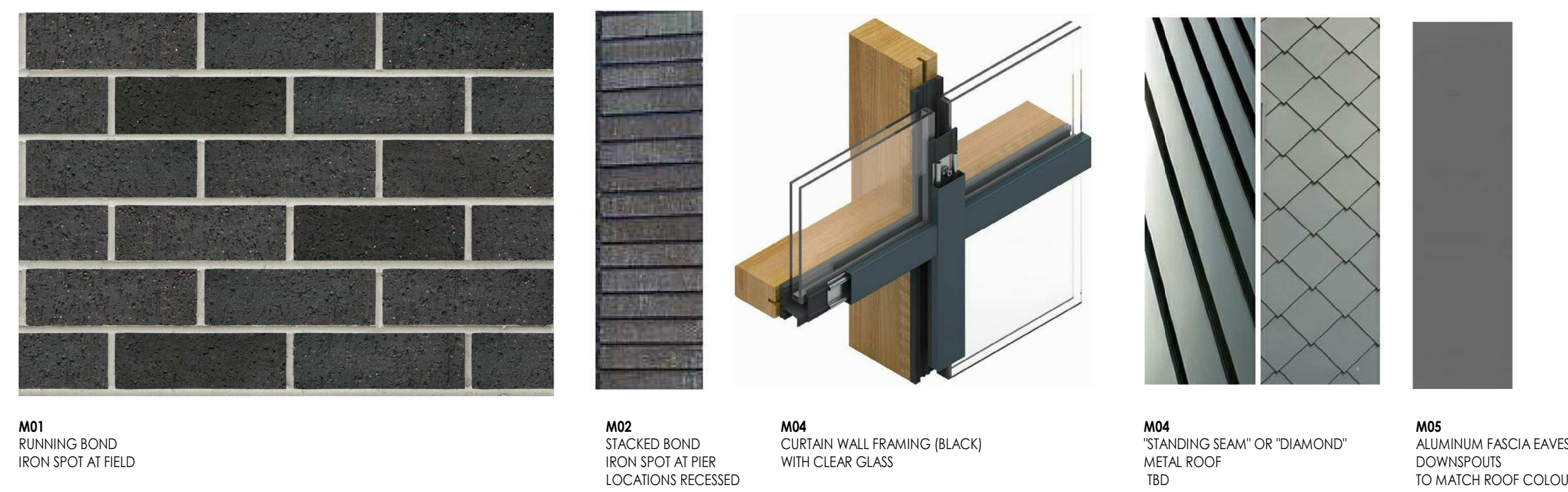
PROJECT
15 - 1091

DRAWING

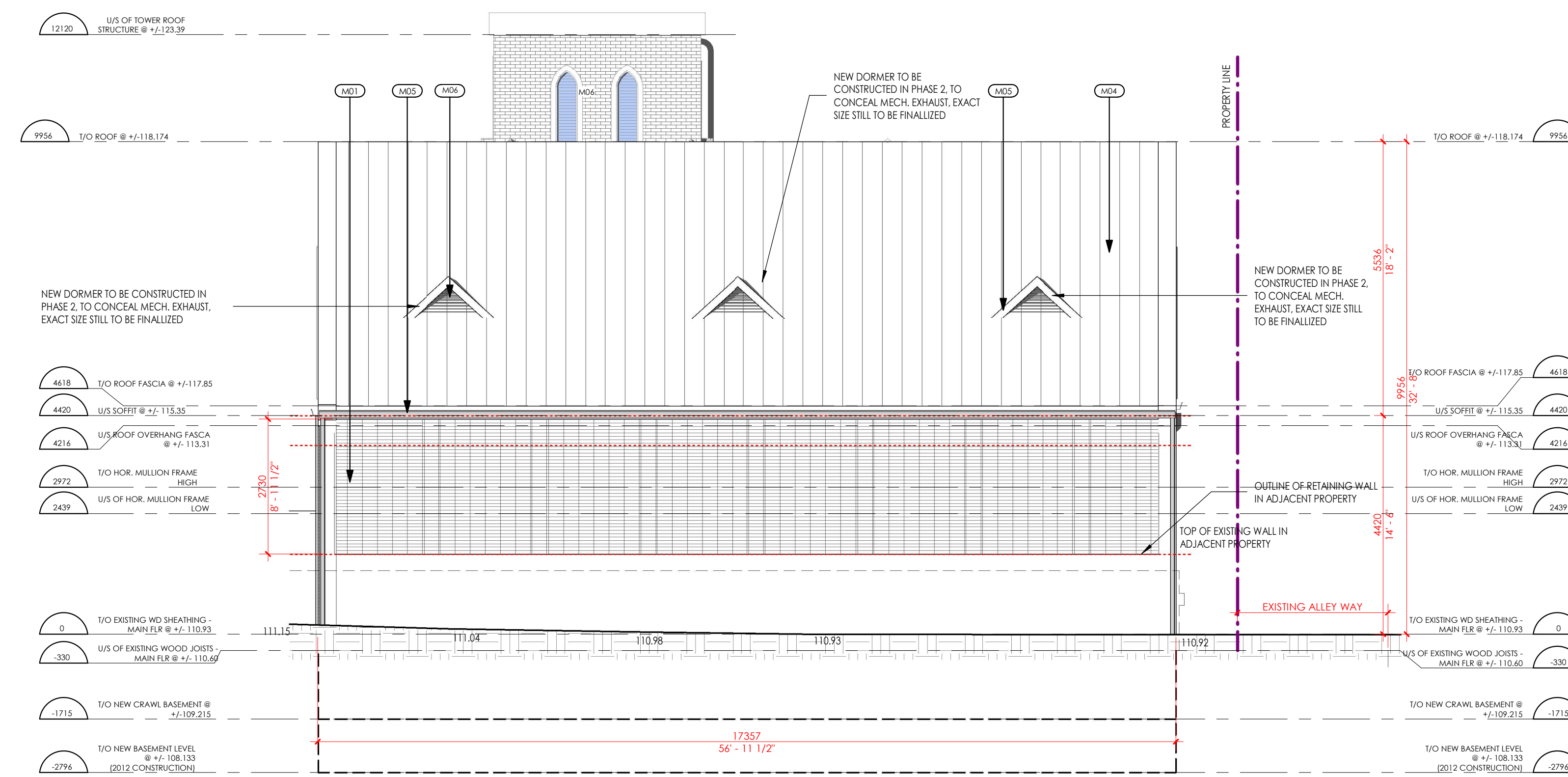
A300



1 NEW ADDITION- EAST ELEVATION
1:75



WORKING DRAWINGS IN PROGRESS



2 NEW ADDITION- WEST ELEVATION
1:75

MATERIAL SUMMARY	
CODE	DESCRIPTION
M01	RUNNING BOND - IRON SPOT AT FIELD
M02	STACKED BOND - IRON SPOT AT PIER LOCATIONS RECESSED
M03	CURTAIN WALL FRAMING (BLACK) WITH CLEAR GLASS
M04	METAL ROOFING
M05	ALUMINUM FASCIA EAVES, DOWNSPOUTS (TO MATCH ROOF COLOUR)
M06	MECH. LOUVER - COLOR TBD

REVISION		
NUMBE	DAT	REMARK
02	2018 12 13	ISSUED FOR CoA TO CITY OF HAMILTON
01	2018 08 30	ISSUED FOR SITE PLAN APPROVAL

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PROJECT
CITY OF HAMILTON
ST. MARK'S CHURCH
PHASE 2 RENOVATION
115 HUNTER STREET WEST,
HAMILTON, ON

DRAWING
NEW ADDITION- EAST AND WEST ELEVATIONS

DRAWN
FN

SCALE
1:75

DAT
2017 03 06

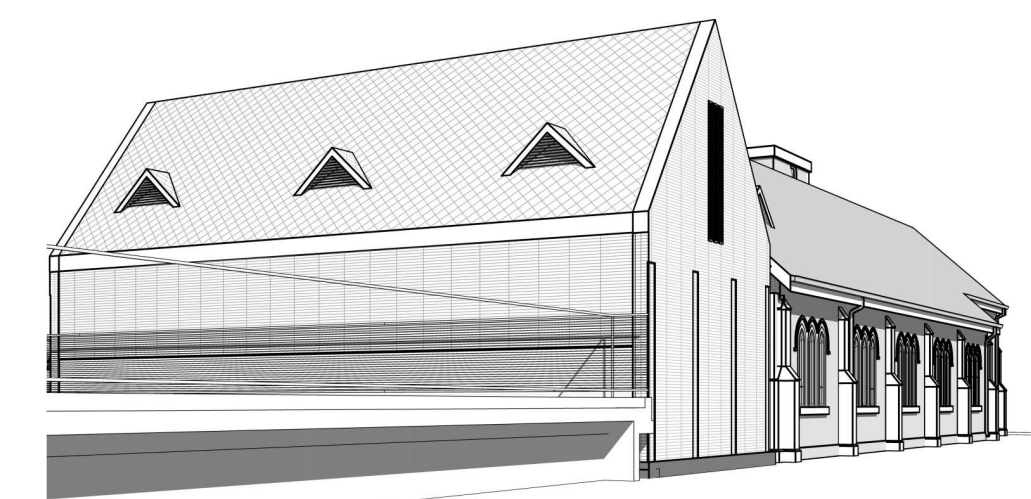
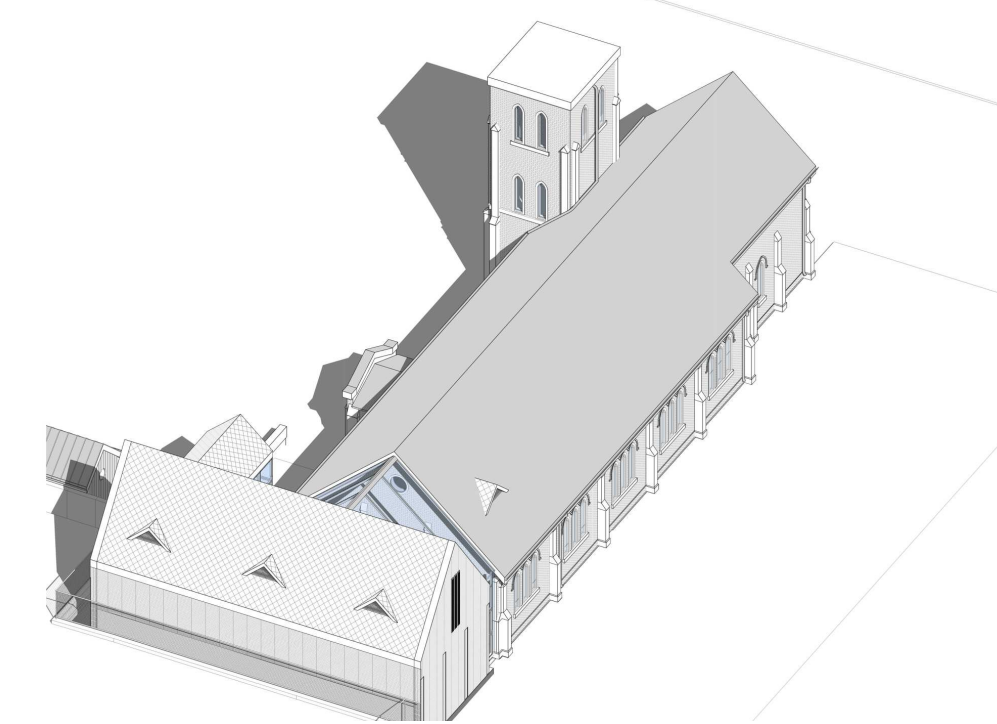
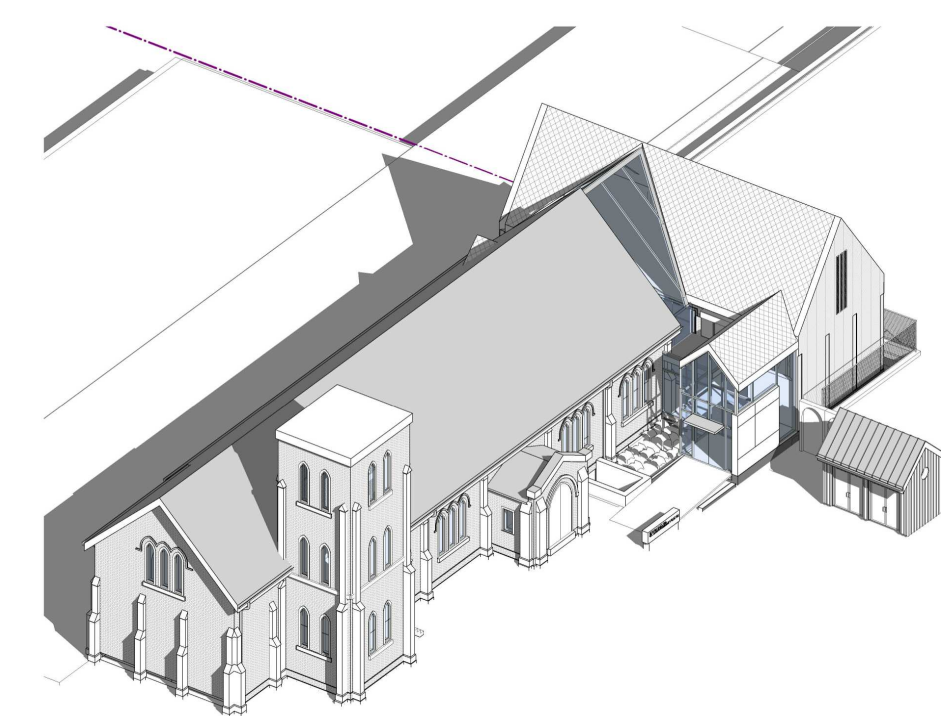
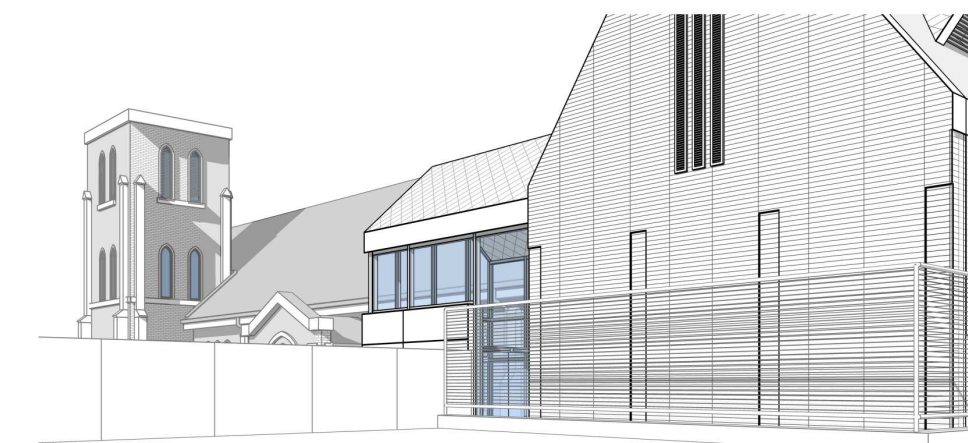
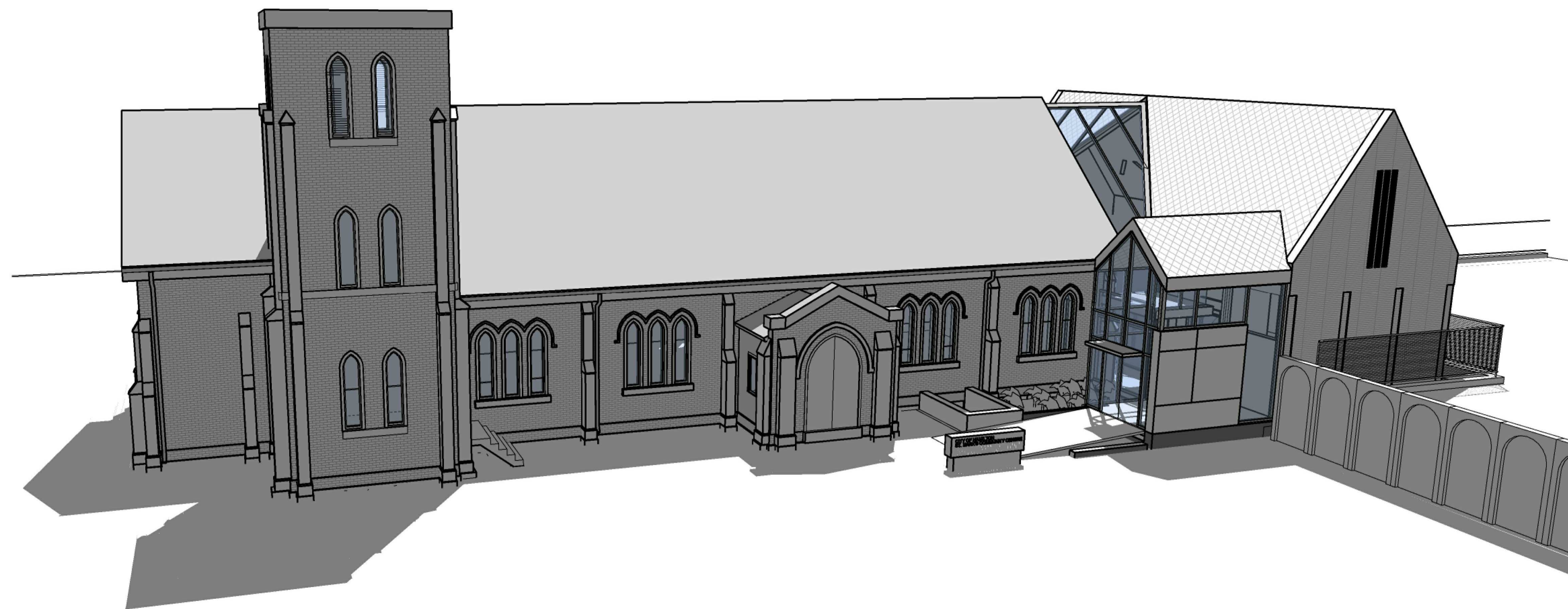
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PROJECT
15 - 1091

DRAWING

A301

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2018-10-18 8:43:42 PM



REVISION		
NUMBE	DAT	REMARK
02	2018 12 13	ISSUED FOR CoA TO CITY OF HAMILTON
01	2018 08 30	ISSUED FOR SITE PLAN APPROVAL

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PROJECT
 CITY OF HAMILTON
 ST. MARK'S CHURCH
 PHASE 2 RENOVATION
 115 HUNTER STREET WEST,
 HAMILTON, ON

DRAWING
 PRELIMINARY RENDERINGS

DRAWN
 JO

SCALE

DAT
 2017 03 06

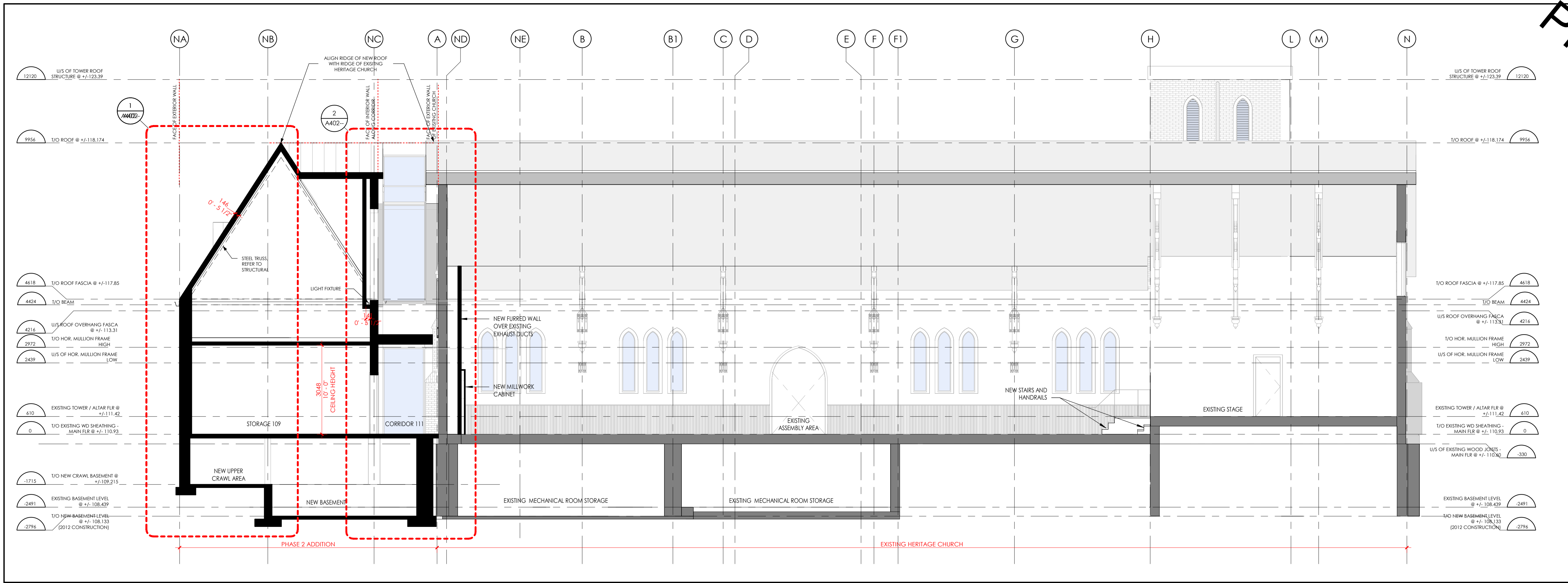
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PROJECT
 15 - 1091

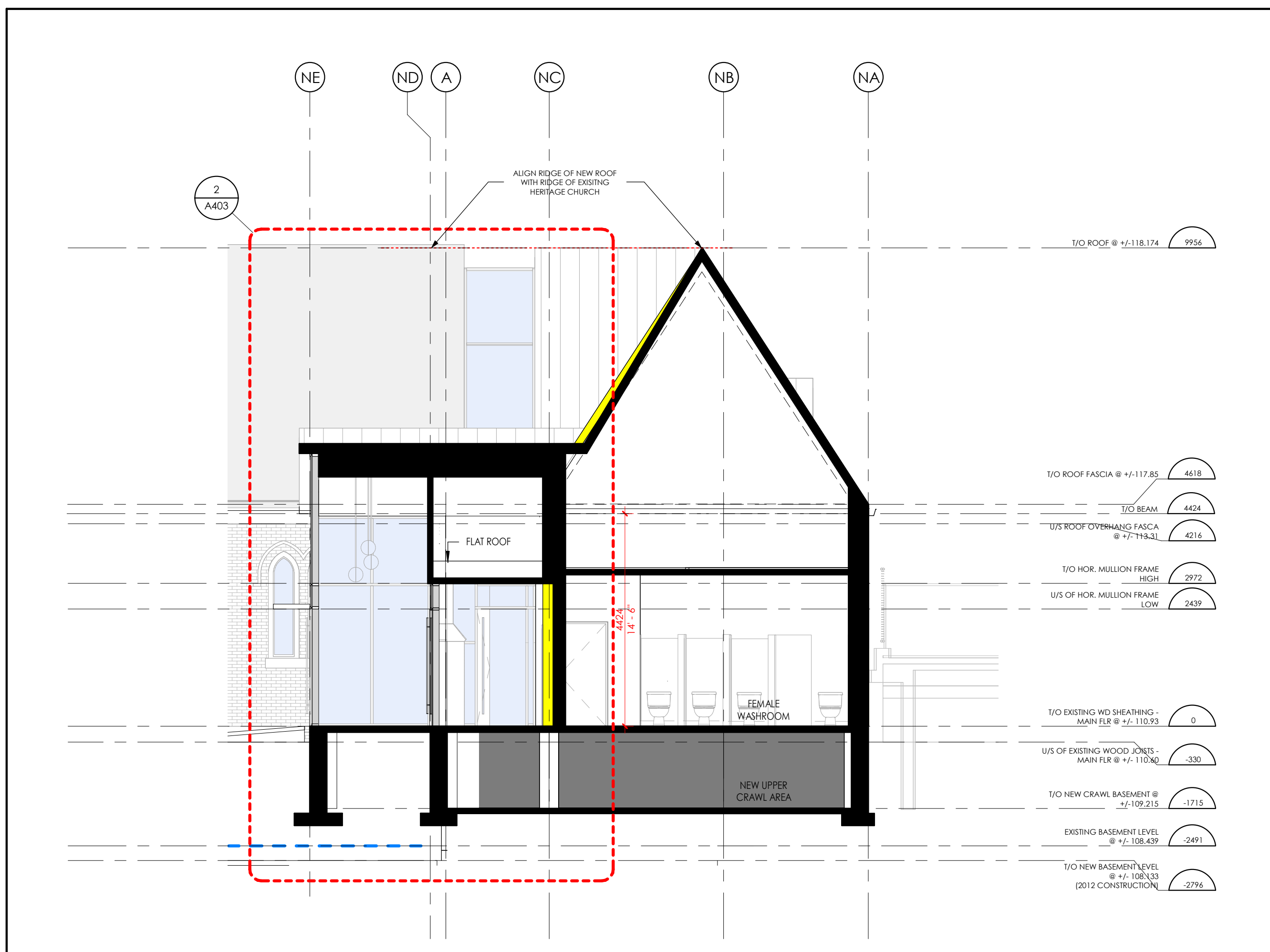
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A310

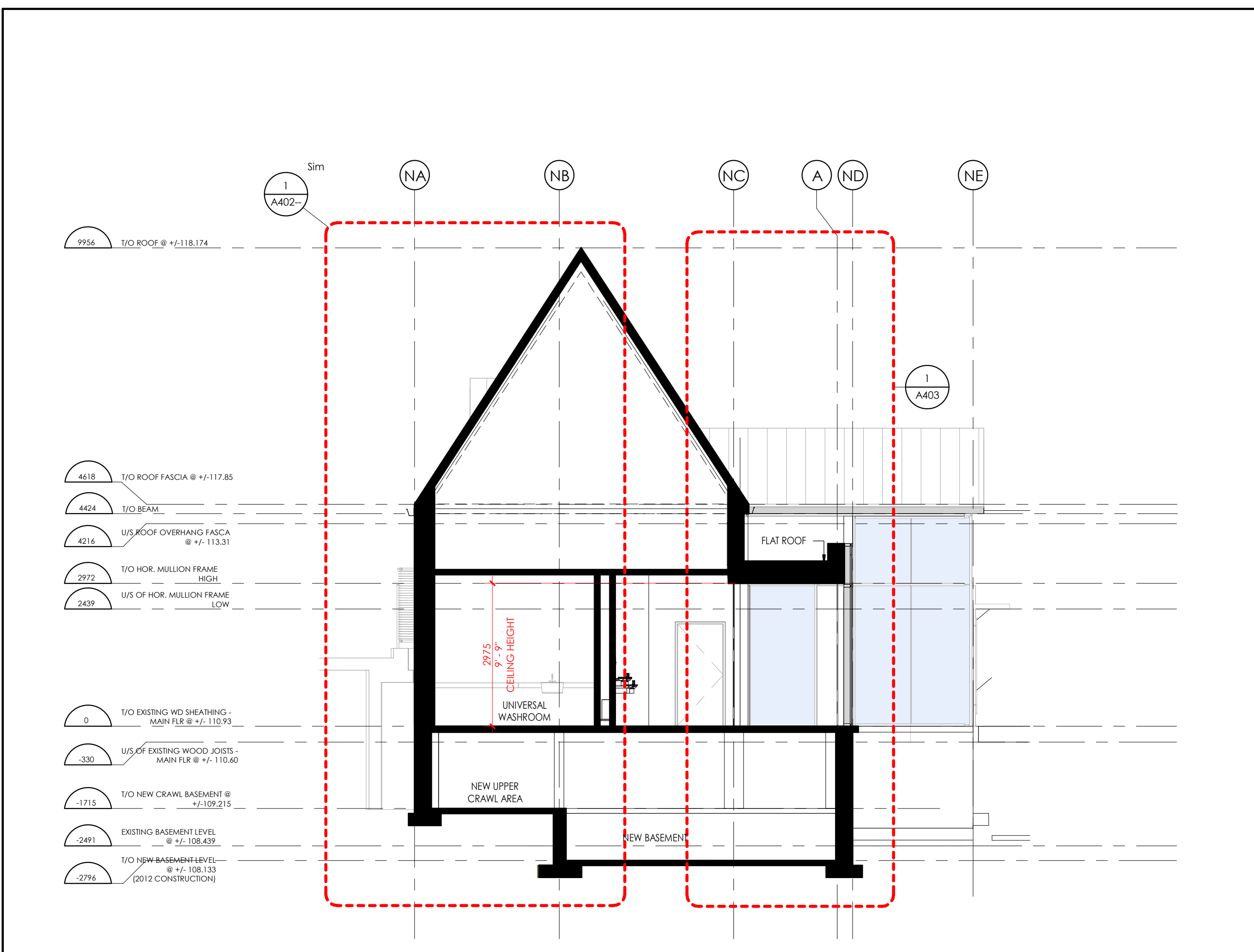
PRELIMINARY



1 BUILDING SECTION - 1
A400 1:75



3 BUILDING SECTION - 3
A400 1:75



2 BUILDING SECTION - 2
A400 1:75

REVISION		
NUMBE	DAT	REMARK
01	2018 08 30	ISSUED FOR SITE PLAN APPROVAL

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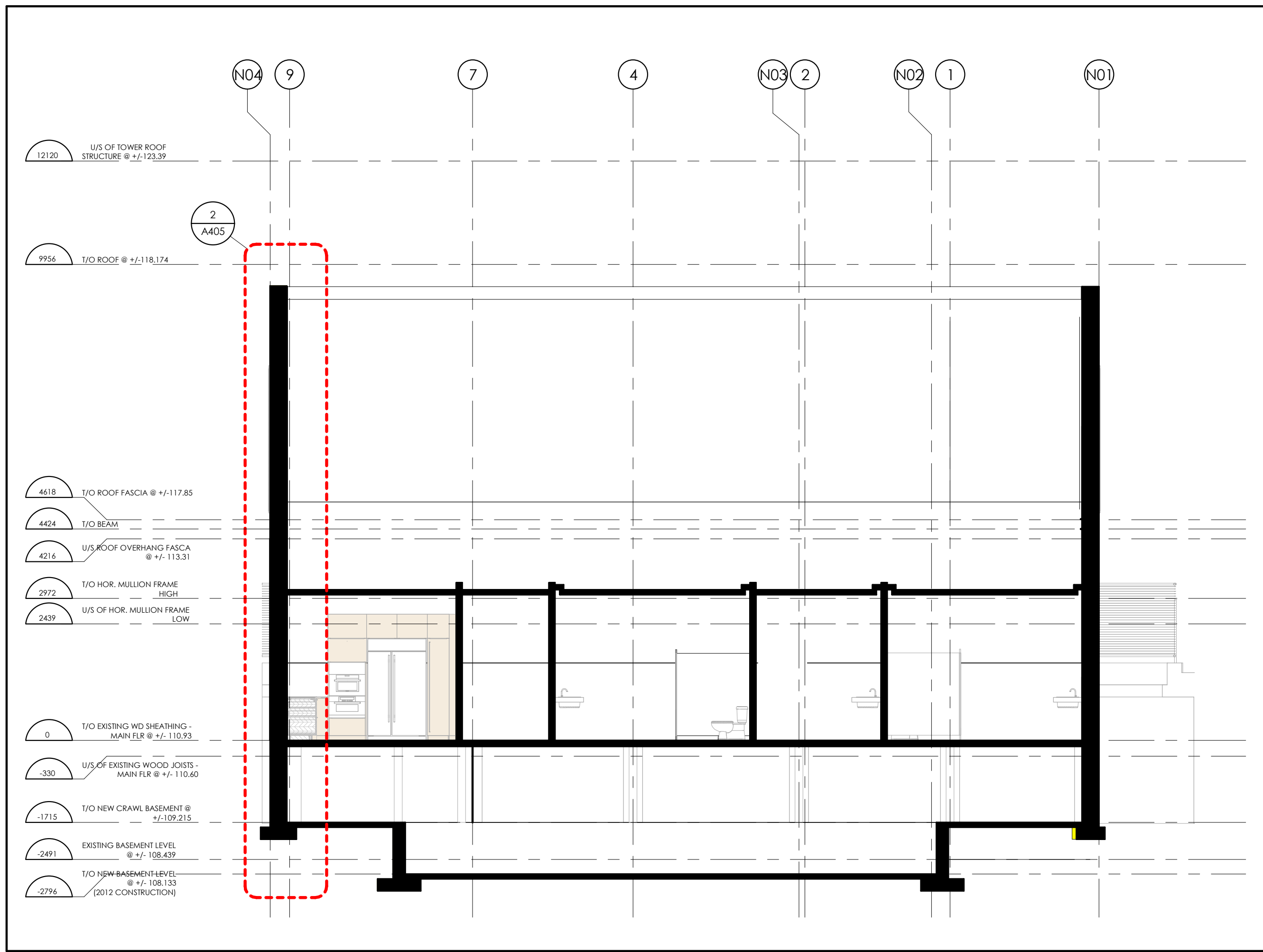
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PROJECT
CITY OF HAMILTON
ST. MARK'S CHURCH
PHASE 2 RENOVATION
115 HUNTER STREET WEST,
HAMILTON, ON

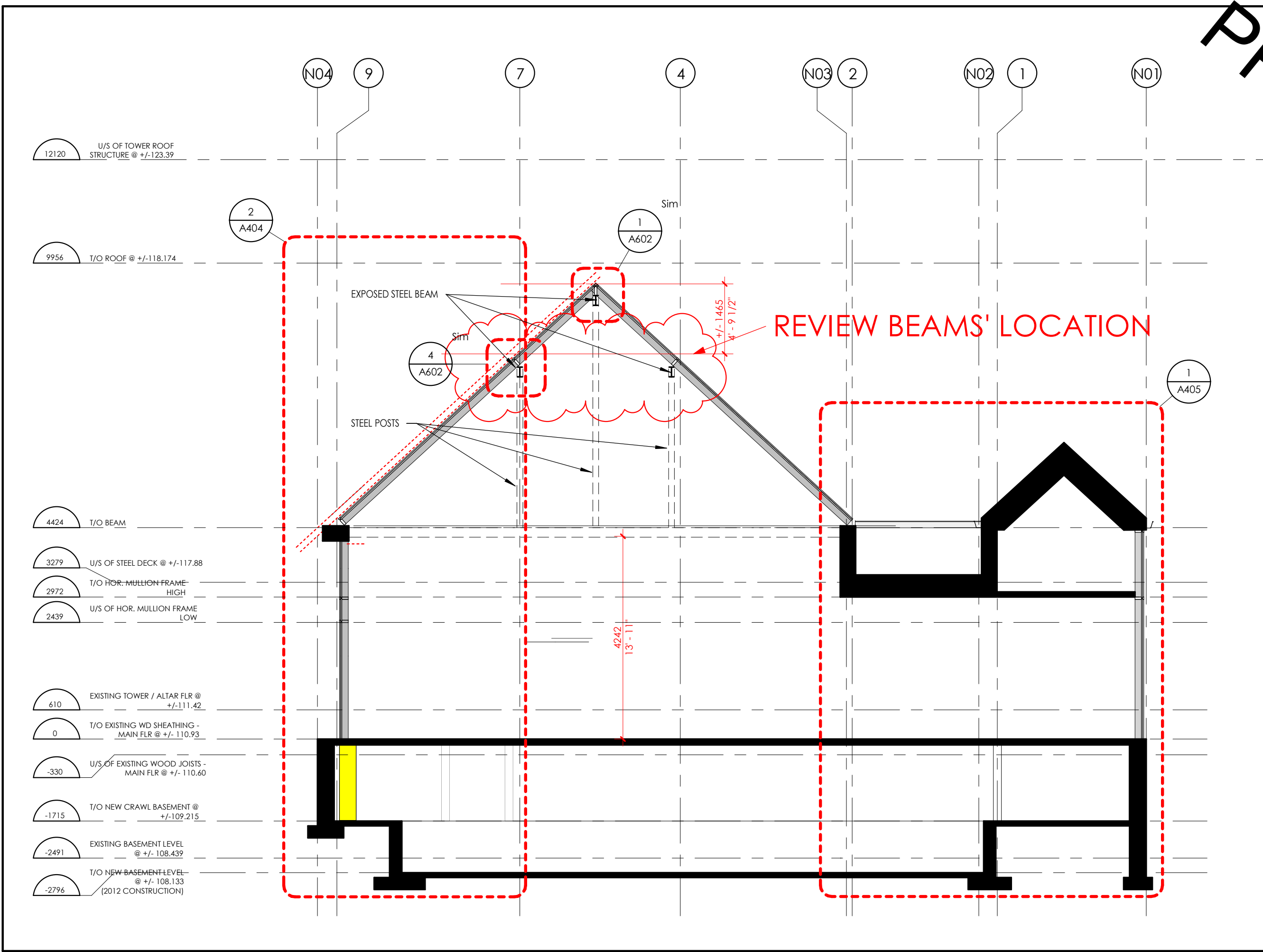
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BUILDING SECTIONS	Author
SCALE	1:75
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PROJECT	15 - 1091
DRAWING	

A400

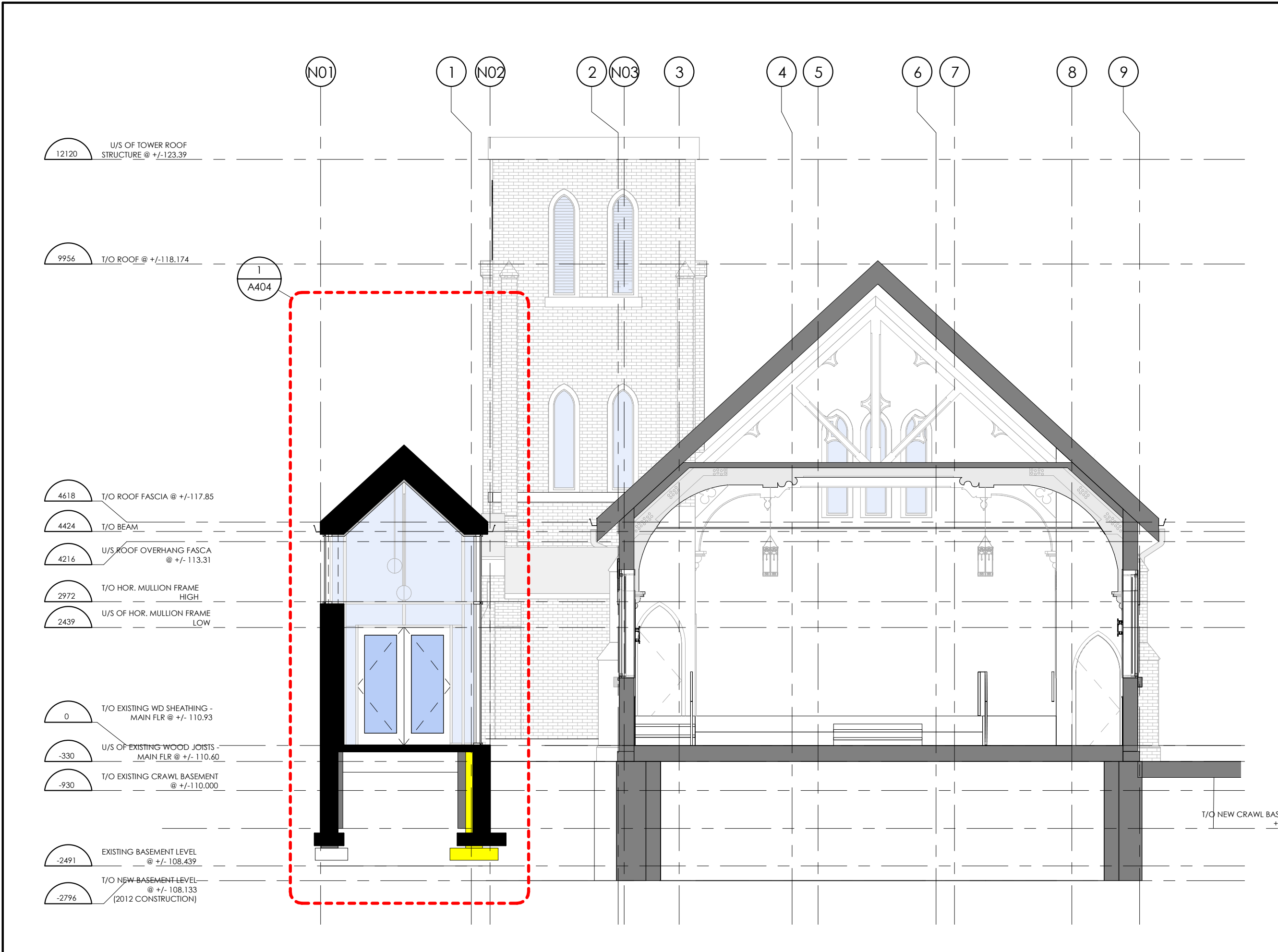
PRELIMINARY



3 BUILDING SECTION - 6
A401 1:75



1 BUILDING SECTION - 5
A401 1:75



2 BUILDING SECTION - 4
A401 1:75

REVISION		
NUMBE	DAT	REMARK
02	2018 12 13	ISSUED FOR CoA TO CITY OF HAMILTON
01	2018 08 30	ISSUED FOR SITE PLAN APPROVAL

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PROJECT
CITY OF HAMILTON
ST. MARK'S CHURCH
PHASE 2 RENOVATION
115 HUNTER STREET WEST,
HAMILTON, ON

DRAWING
BUILDING SECTIONS

DRAWN
Author

SCALE
1:75

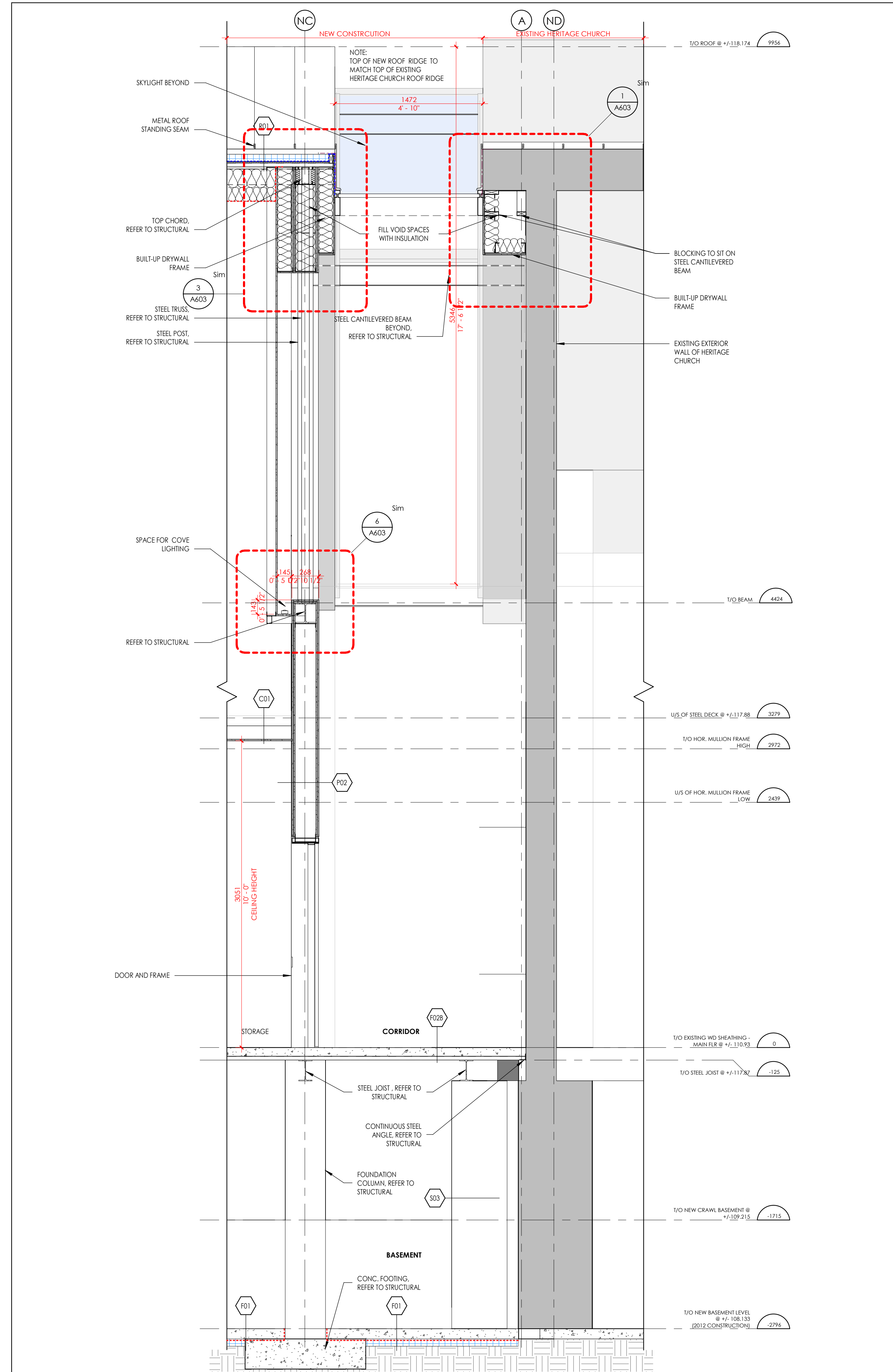
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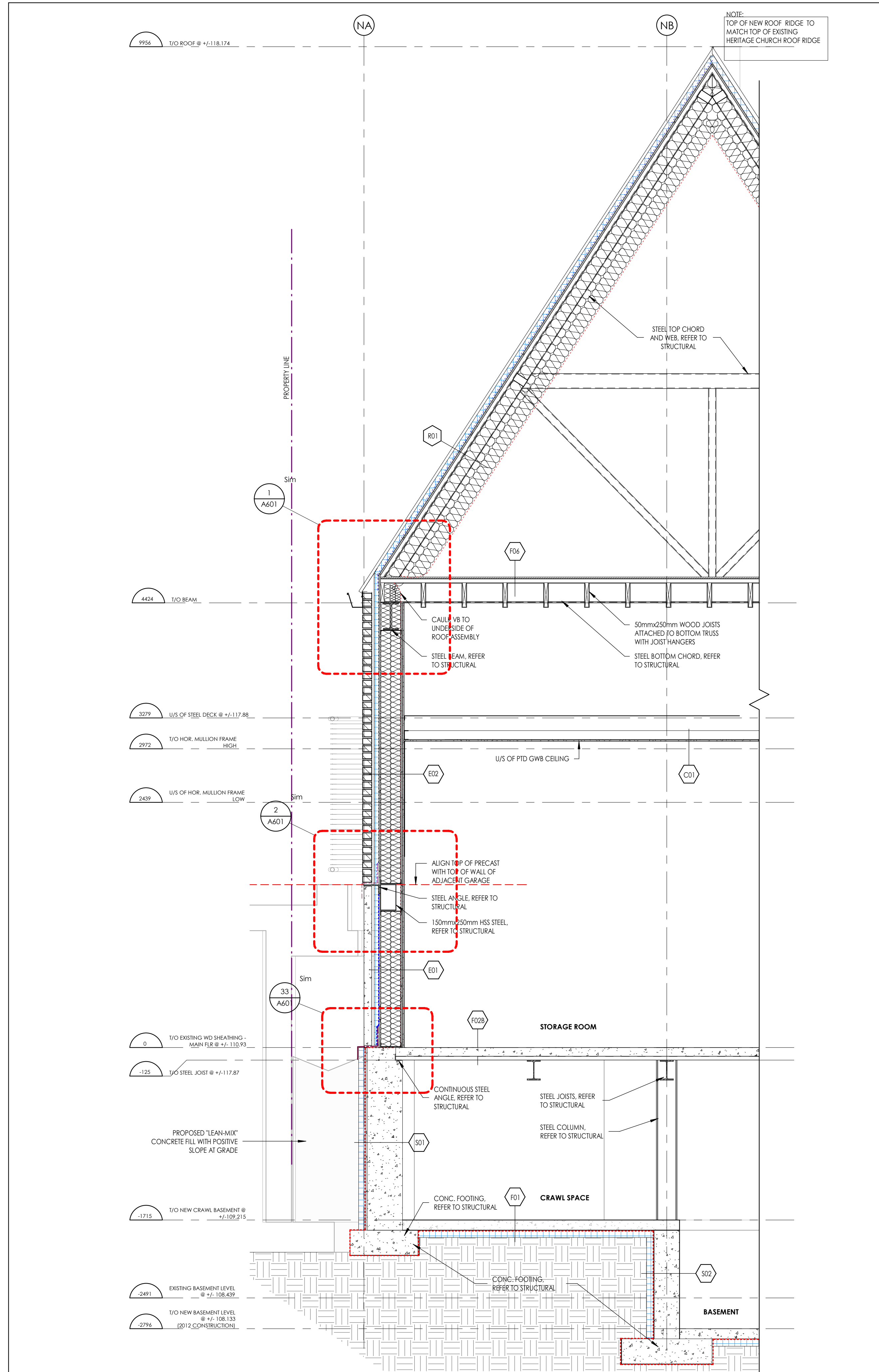
PROJECT
15 - 1091

DRAWING

A401



2 WALL SECTION - 2
1 : 25



1 WALL SECTION - 1
1 : 25

REVISION		
NUMBE	DAT	REMARK
02	2018 12 13	ISSUED FOR CoA TO CITY OF HAMILTON
01	2018 08 30	ISSUED FOR SITE PLAN APPROVAL

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PROJECT
CITY OF HAMILTON
ST. MARK'S CHURCH
PHASE 2 RENOVATION
115 HUNTER STREET WEST,
HAMILTON, ON

DRAWING
WALL SECTIONS

DRAWN
Author

SCALE
1 : 25

DAT
2017 03 06

CHECKED
Checker

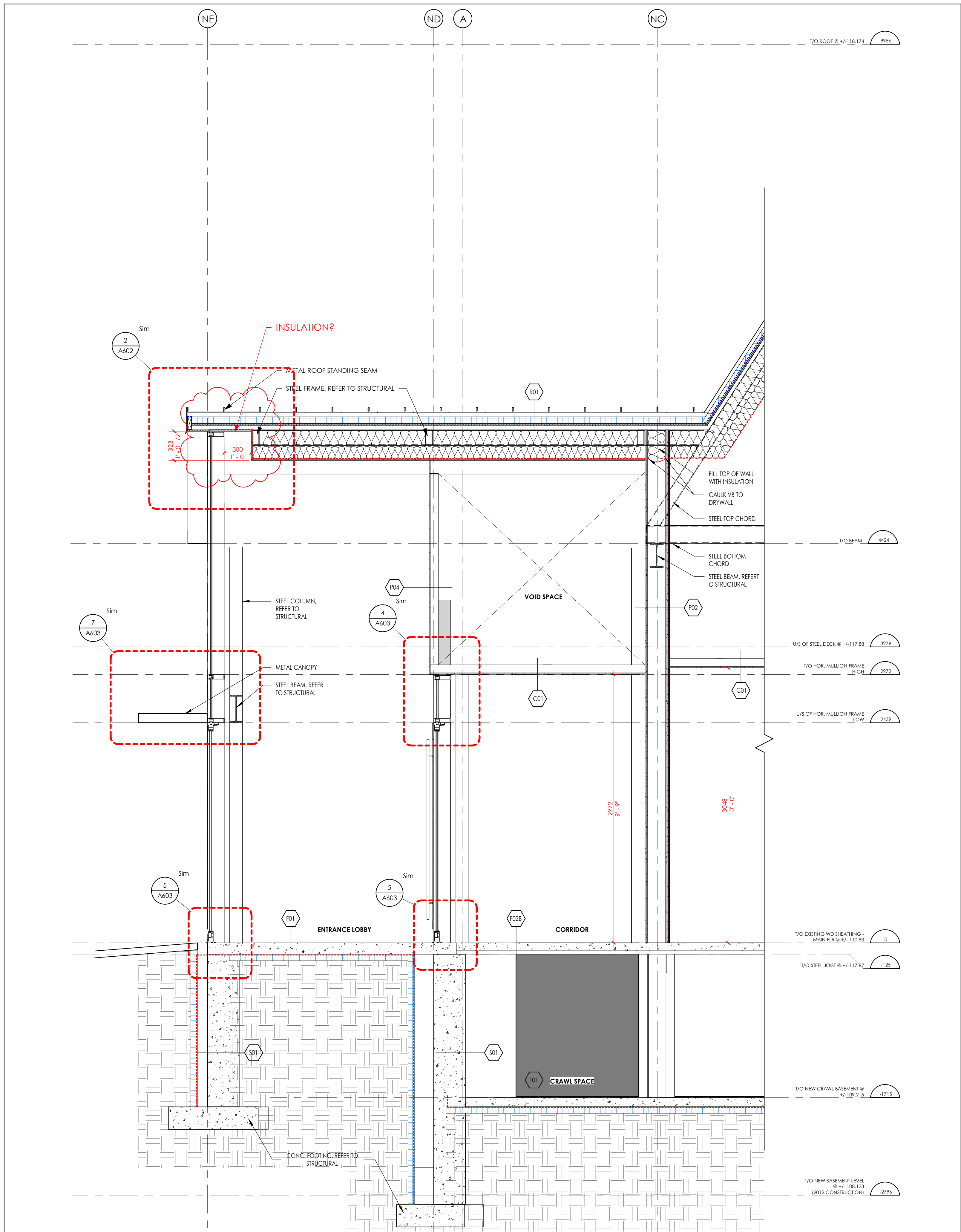
PROJECT
15 - 1091

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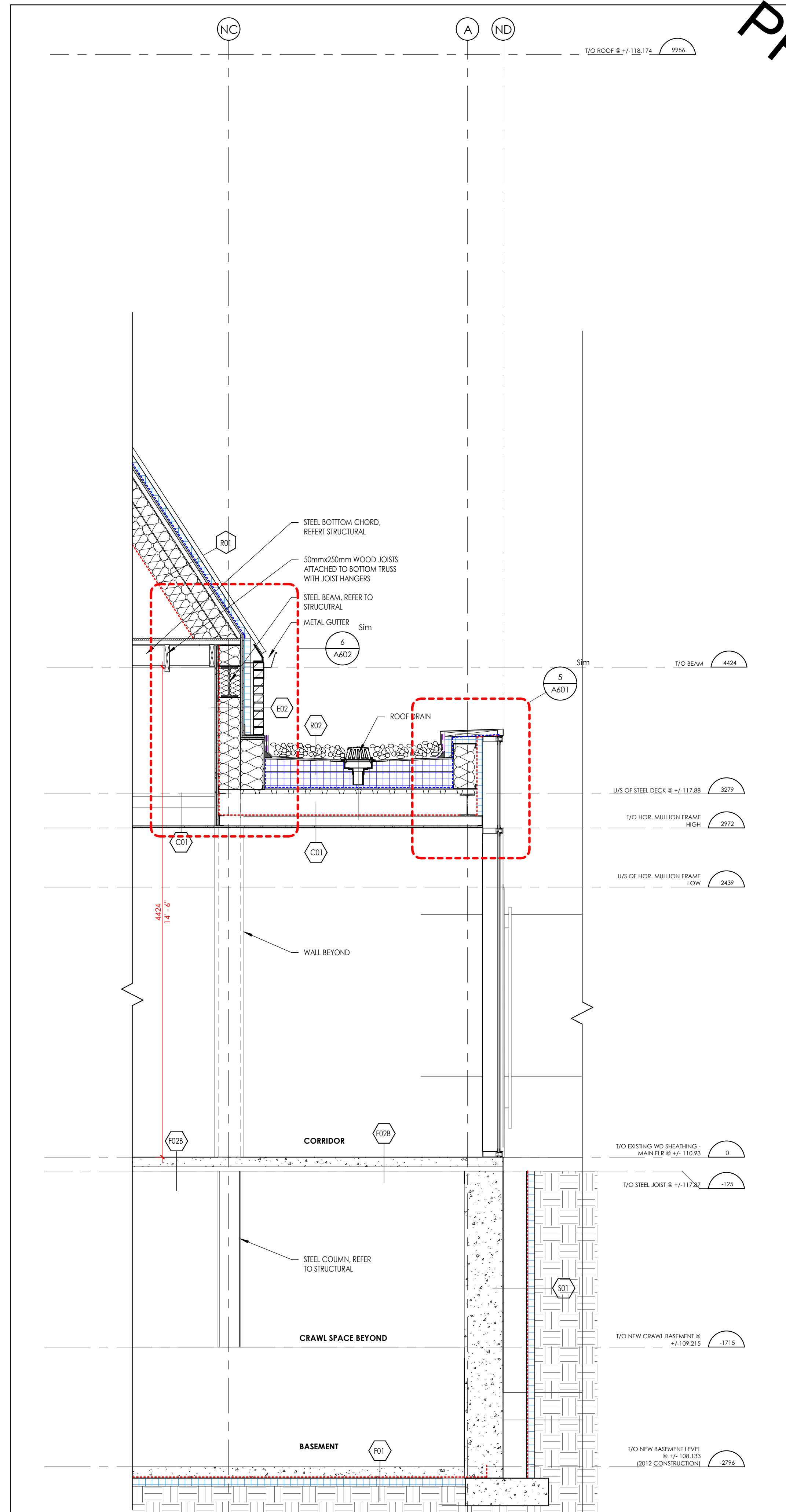
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2018-10-18 8:49:25 PM

PRELIMINARY



2 WALL SECTION - 4
A403 1:25



1 WALL SECTION - 3
A403 1:25

REVISION		
NUMBE	DAT	REMARK
02	2018 12 13	ISSUED FOR CoA TO CITY OF HAMILTON
01	2018 08 30	ISSUED FOR SITE PLAN APPROVAL

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PROJECT
CITY OF HAMILTON
ST. MARK'S CHURCH
PHASE 2 RENOVATION
115 HUNTER STREET WEST,
HAMILTON, ON

DRAWING
WALL SECTIONS

DRAWN
Author

SCALE
1 : 25

DAT
2017 03 06

CHECKED
Checker

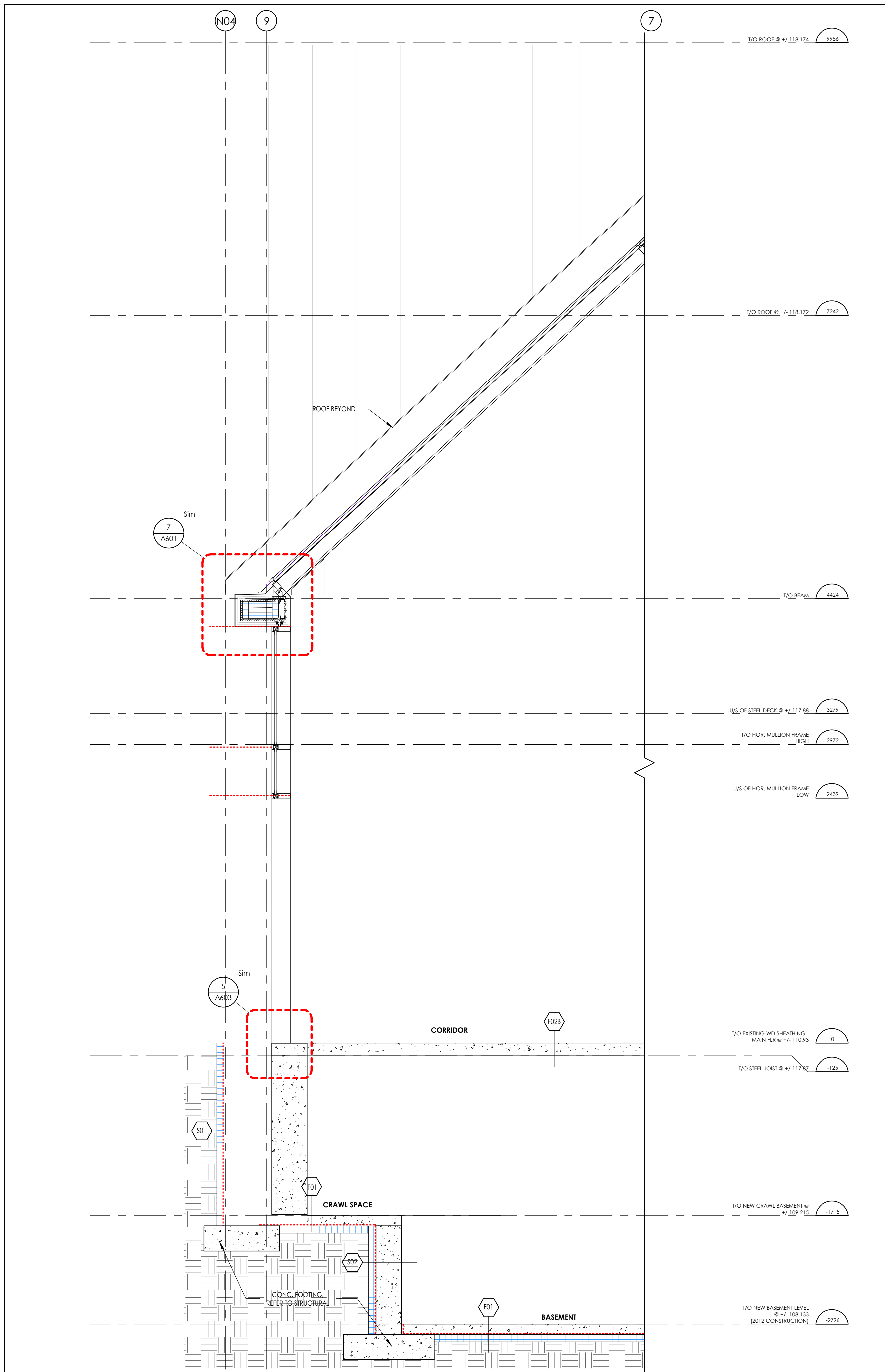
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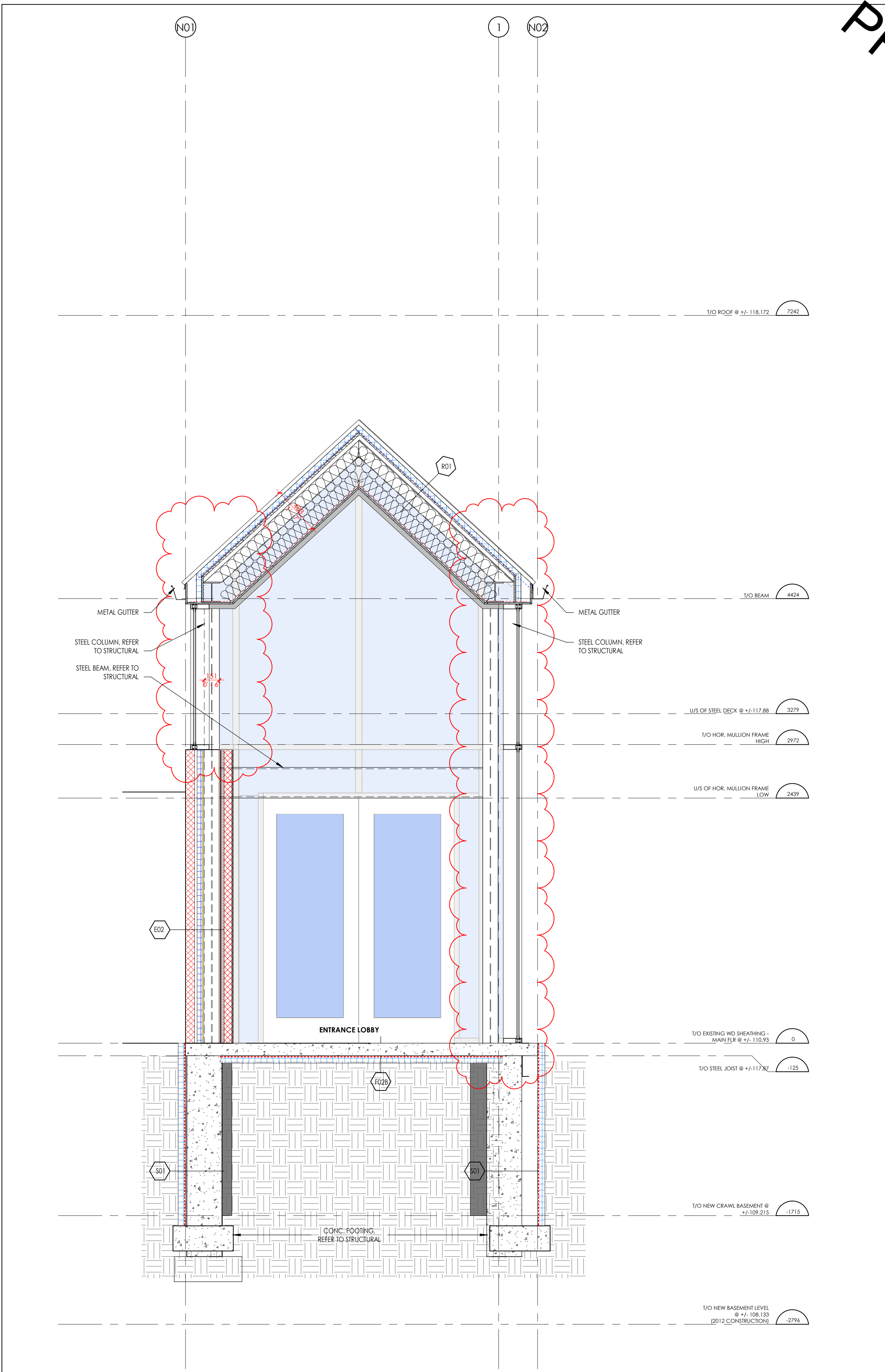
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PRELIMINARY



2 WALL SECTION - 6
A404 1:25



1 WALL SECTION - 5
A404 1:25

REVISION		
NUMBE	DAT	REMARK
02	2018 12 13	ISSUED FOR CDA TO CITY OF HAMILTON
01	2018 08 30	ISSUED FOR SITE PLAN APPROVAL

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SEP 15/18

PROJECT
CITY OF HAMILTON
ST. MARK'S CHURCH
PHASE 2 RENOVATION
115 HUNTER STREET WEST,
HAMILTON, ON

DRAWING
WALL SECTIONS

DRAWN
Author

SCALE
1 : 25

DAT
2017 03 06

CHECKED
Checker

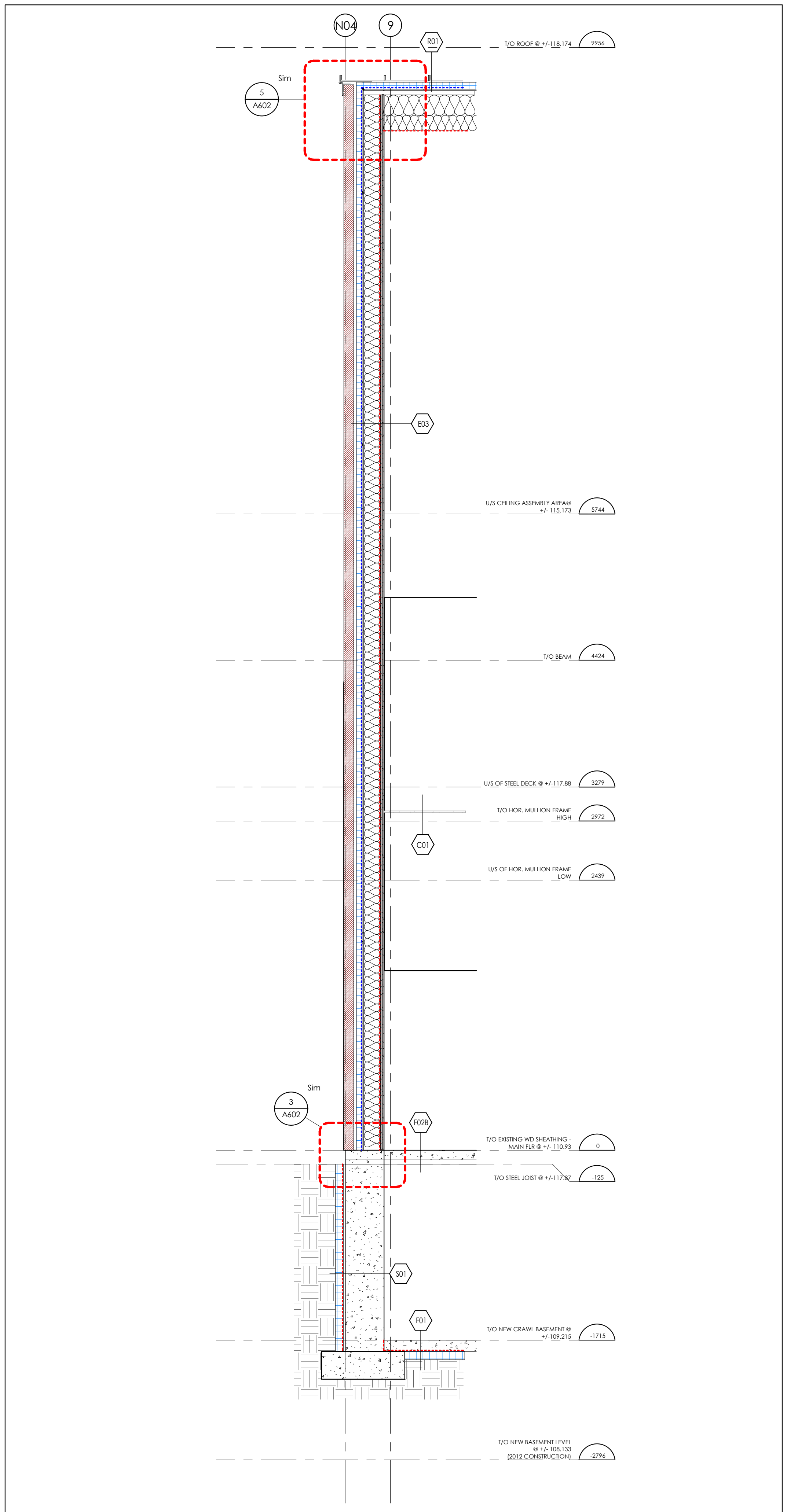
PROJECT
15 - 1091

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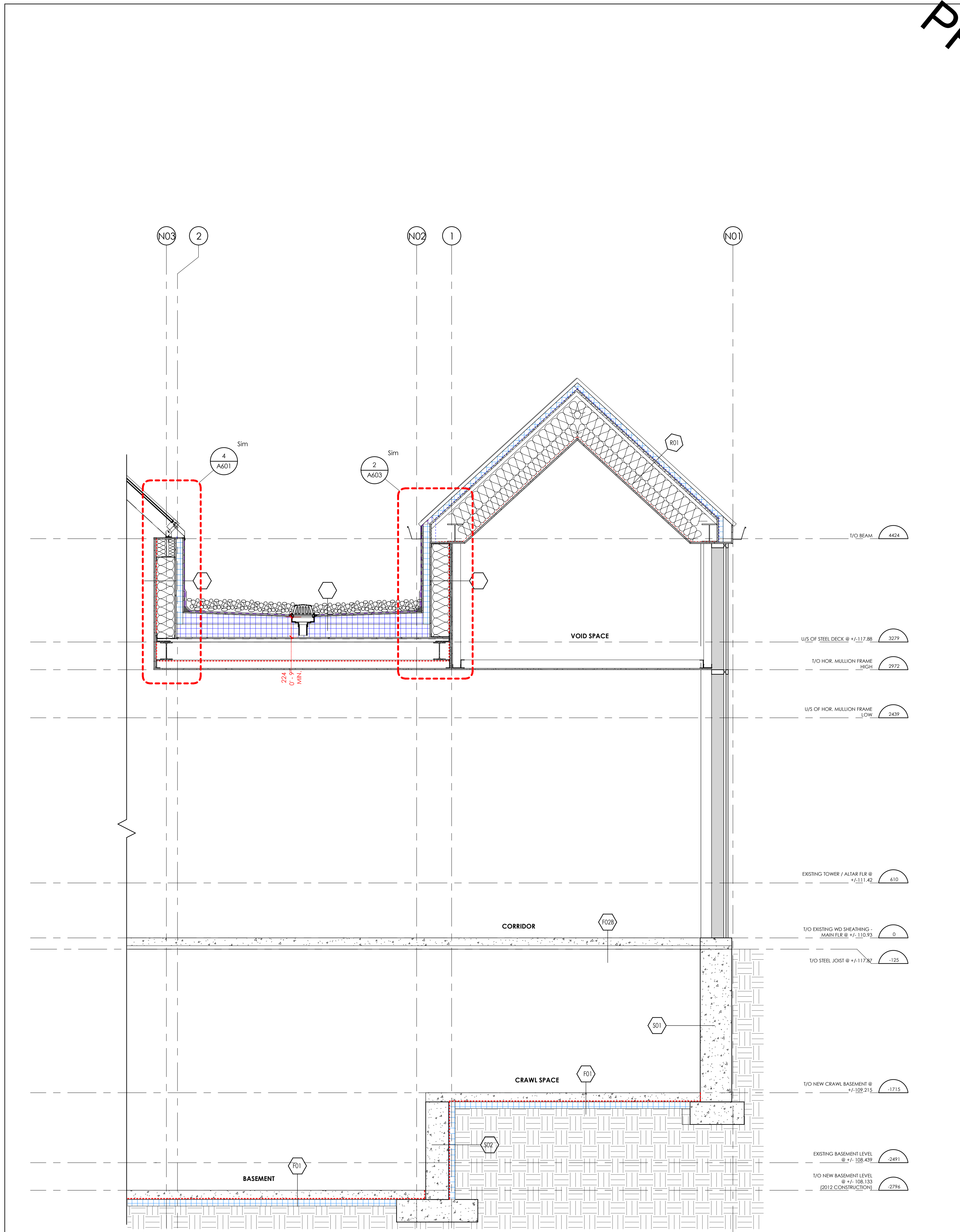
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PRELIMINARY



2 WALL SECTION - 8
A405 1:25



1 WALL SECTION - 7
A405 1:25

REVISION		
NUMBE	DAT	REMARK
02	2018 12 13	ISSUED FOR CoA TO CITY OF HAMILTON
01	2018 08 30	ISSUED FOR SITE PLAN APPROVAL

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PROJECT
CITY OF HAMILTON
ST. MARK'S CHURCH
PHASE 2 RENOVATION
115 HUNTER STREET WEST,
HAMILTON, ON

DRAWING
WALL SECTIONS

DRAWN
Author

SCALE
1 : 25

DAT
2017 03 06

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Checker

PROJECT
15 - 1091

DRAWING

A405

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2018-12-13 8:44:03 PM

PRELIMINARY



REVISION		
NUMBE	DAT	REMARK
02	2018 12 13	ISSUED FOR CoA TO CITY OF HAMILTON
01	2018 08 30	ISSUED FOR SITE PLAN APPROVAL

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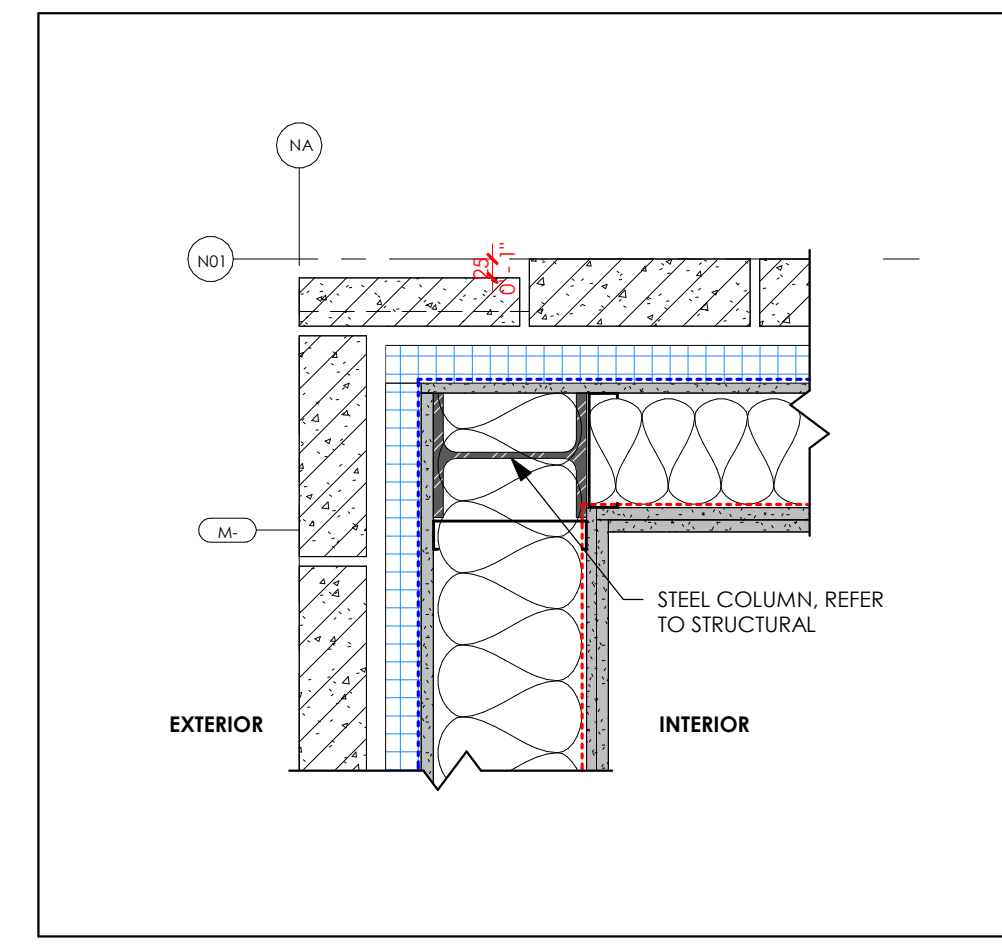
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 E admin@ataarchitectsinc.com
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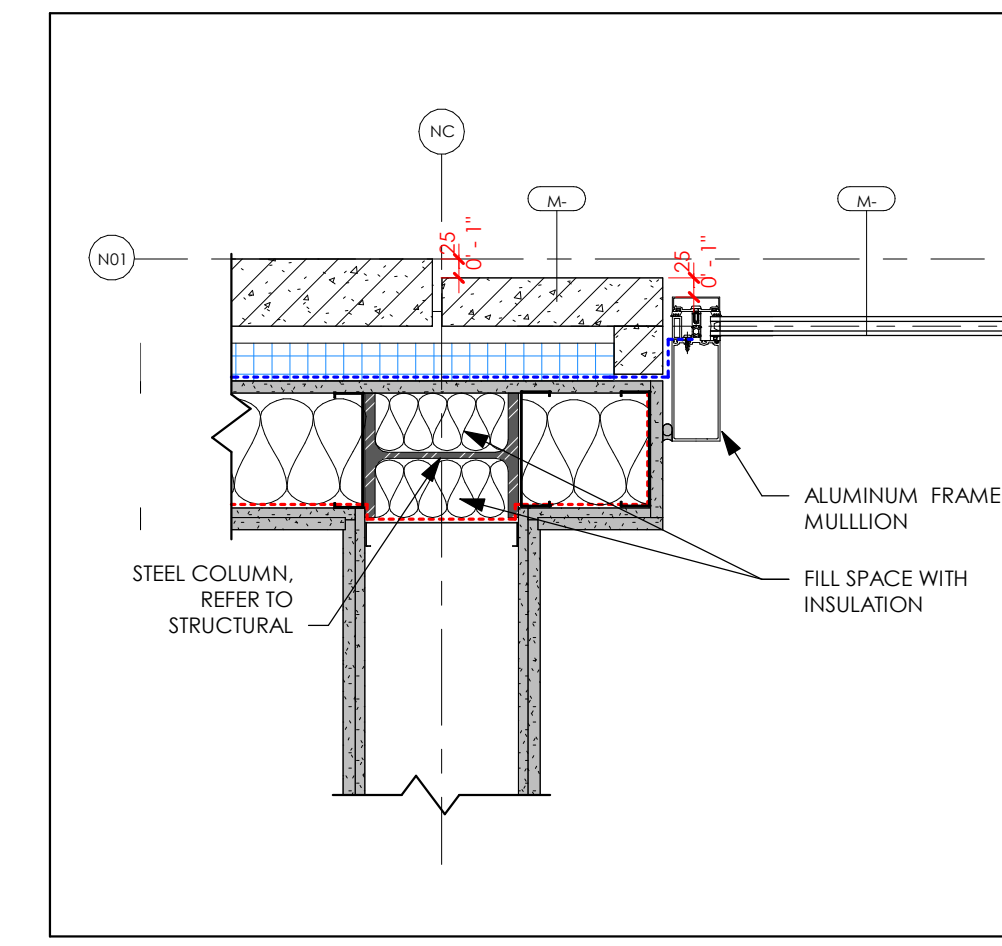
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DRAWING	INTERIOR RENDERINGS
DRAWN	AA
SCALE	
DAT	2017 03 06
CHECKED	MWB
PROJECT	15 - 1091
DRAWING	

A410

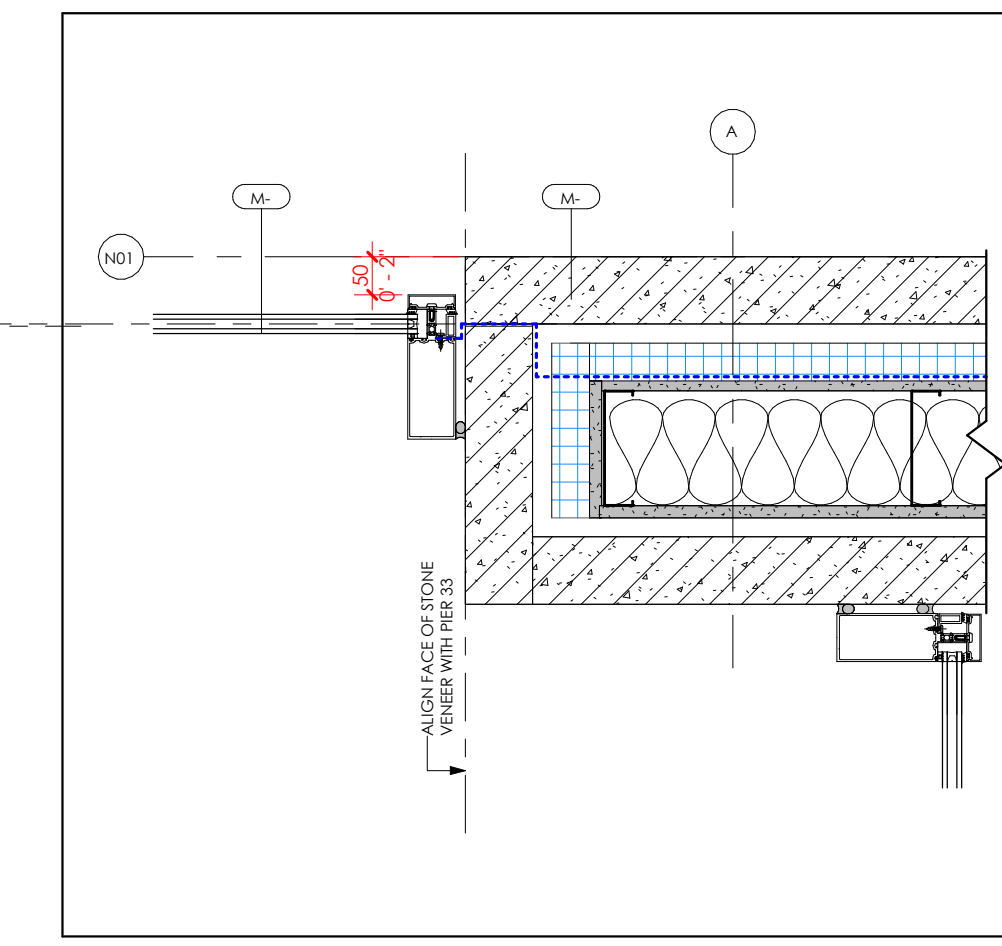
PRELIMINARY



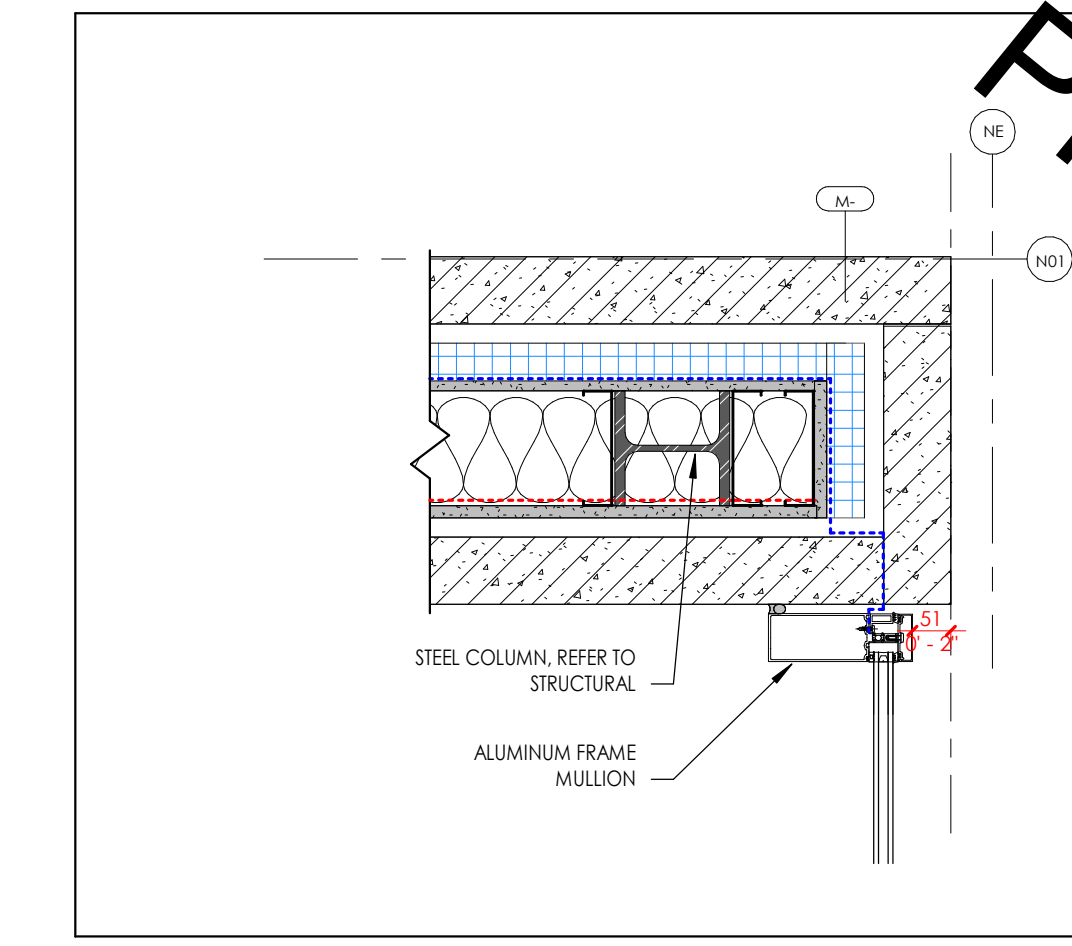
4 PLAN SECTION - COLUMN @ GRID N01, NA
A600 1:10



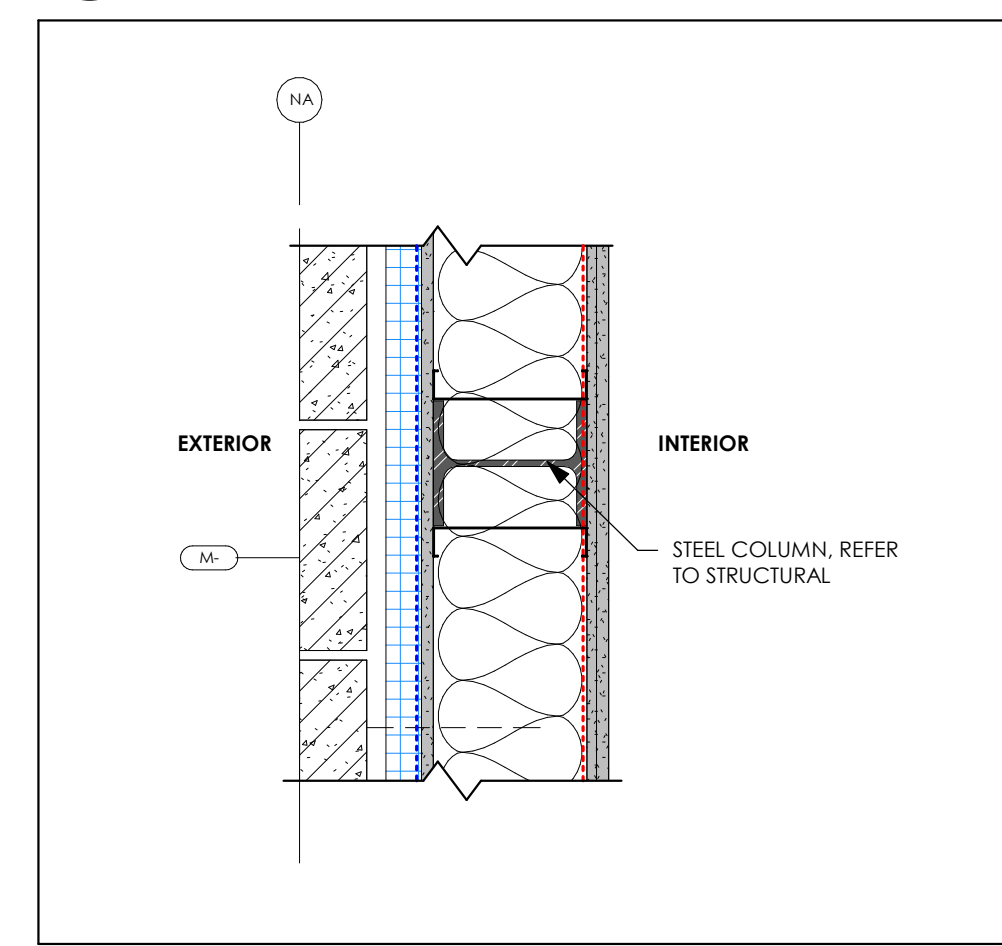
3 PLAN SECTION - COLUMN @ GRID N01, NC
A600 1:10



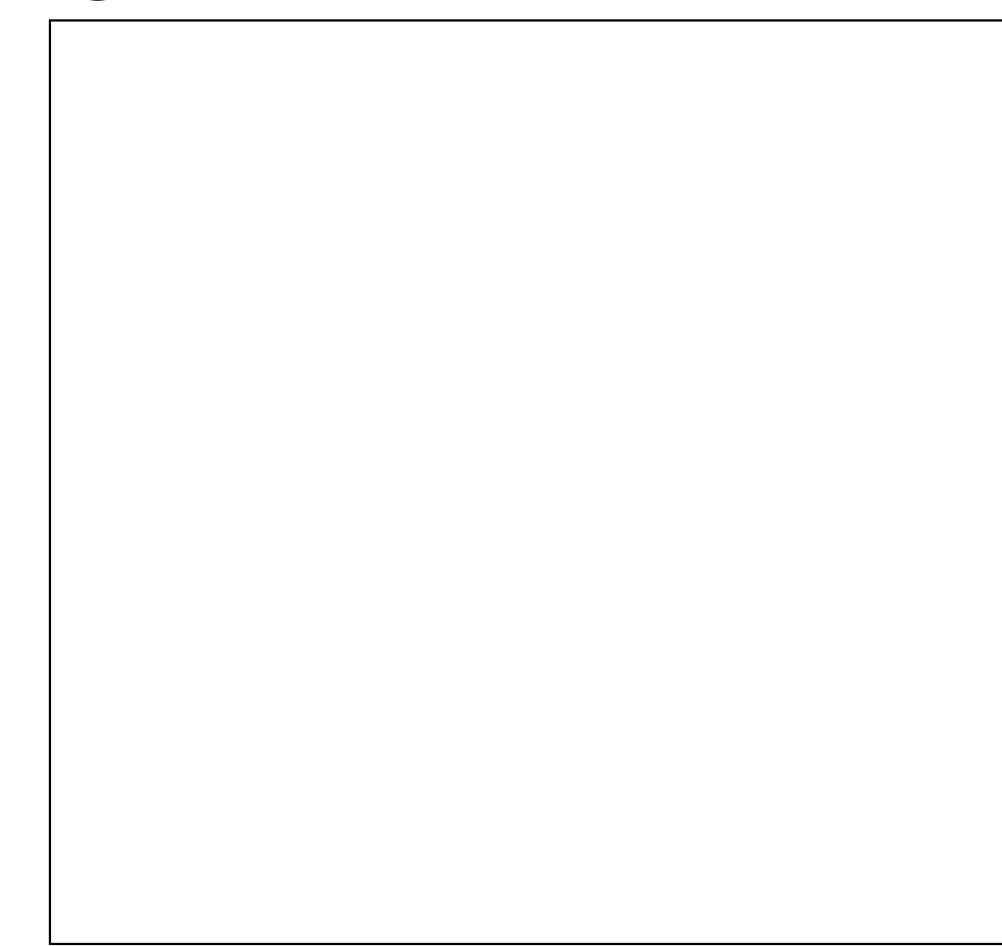
2 PLAN SECTION - COLUMN @ GRID N01, A
A600 1:10



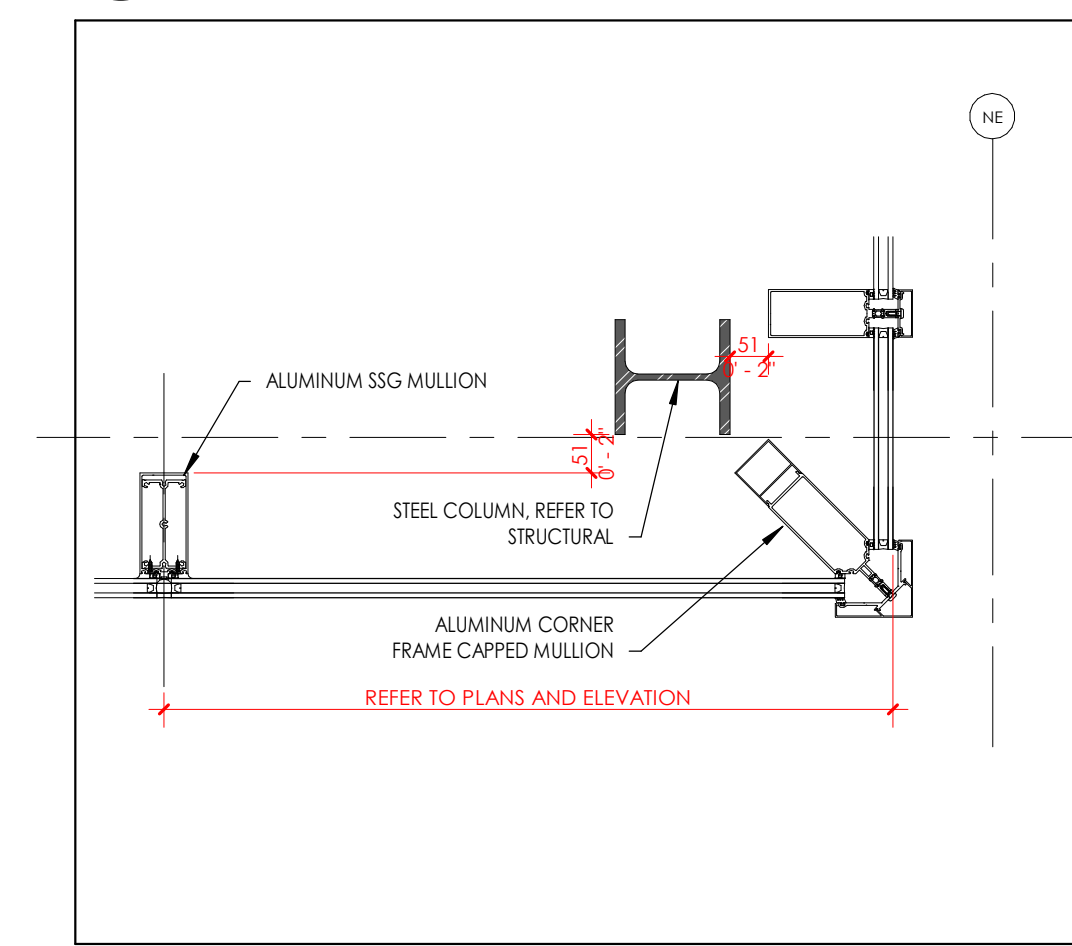
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A600 1:10



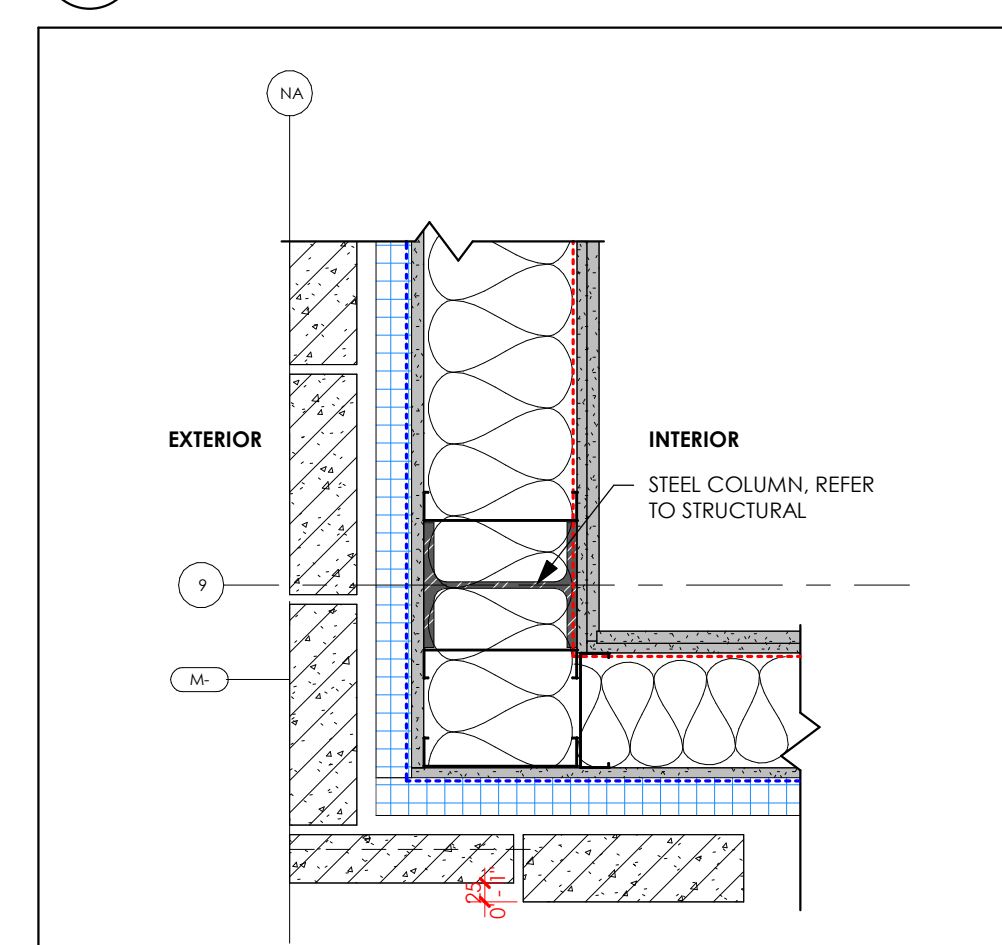
8 PLAN SECTION - COLUMN ALONG GRID NA, TYP.
A600 1:10



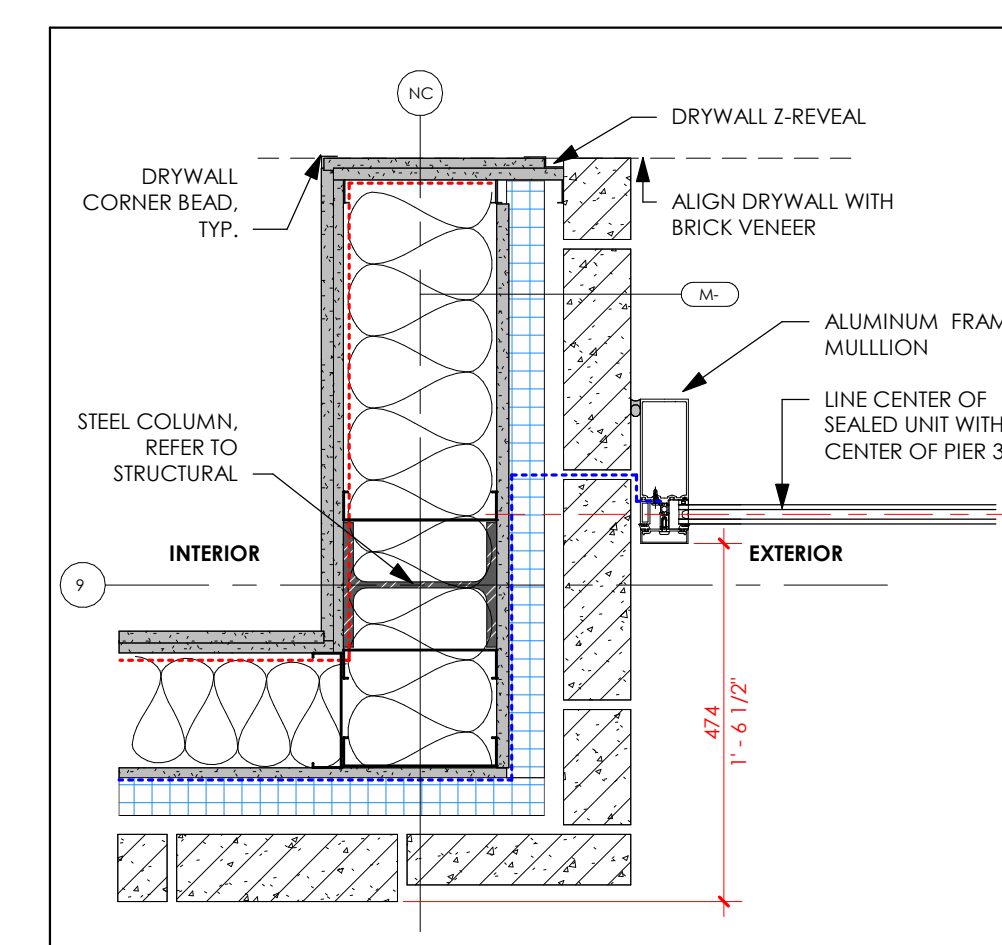
6 PLAN SECTION - COLUMN @ GRID NC, A
A600 1:10



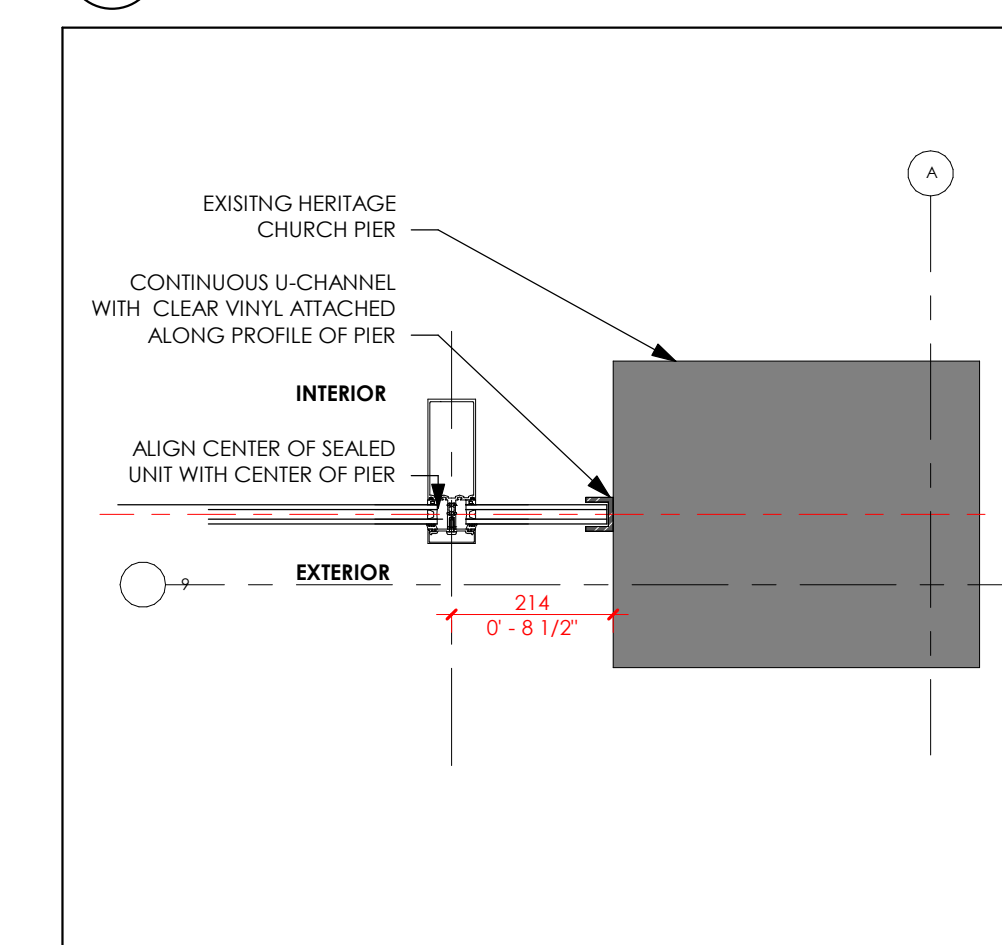
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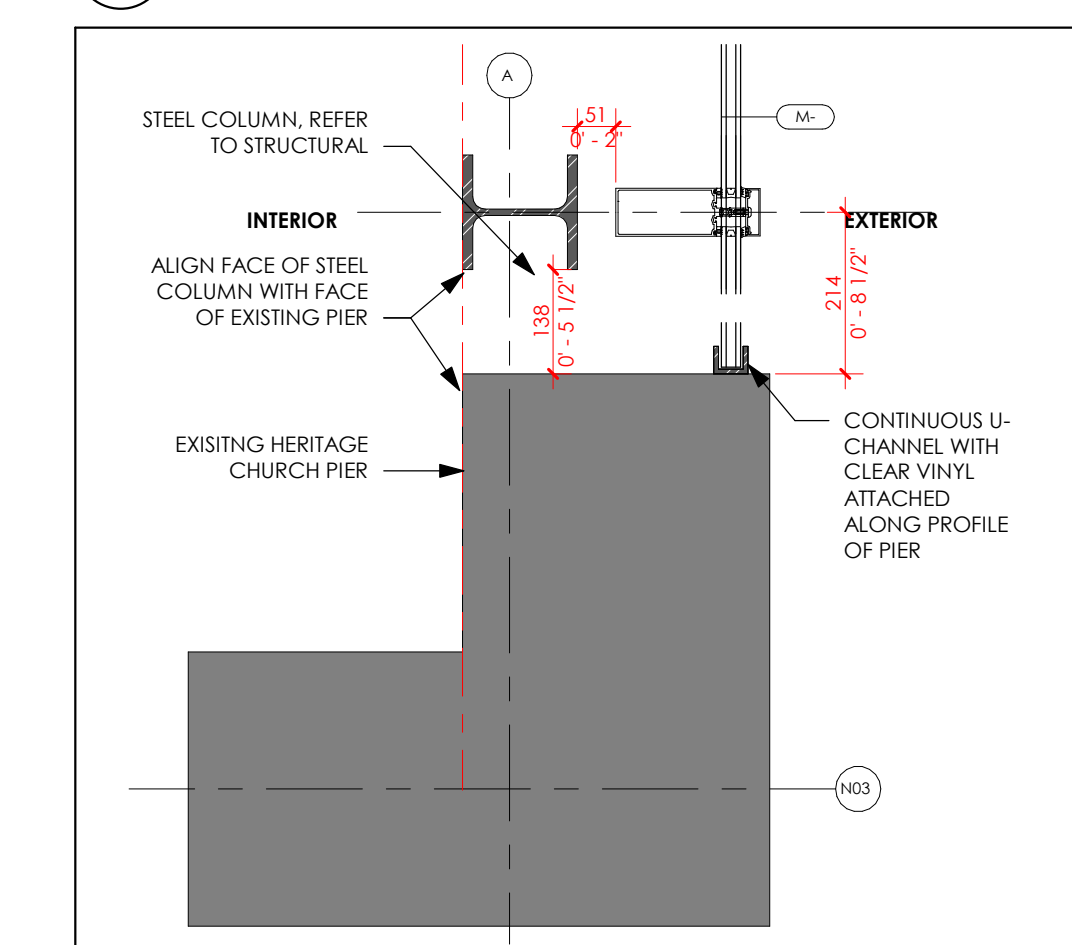
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9 PLAN SECTION - COLUMN @ GRID N03, A
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PROJECT
CITY OF HAMILTON
ST. MARK'S CHURCH
PHASE 2 RENOVATION
115 HUNTER STREET WEST,
HAMILTON, ON

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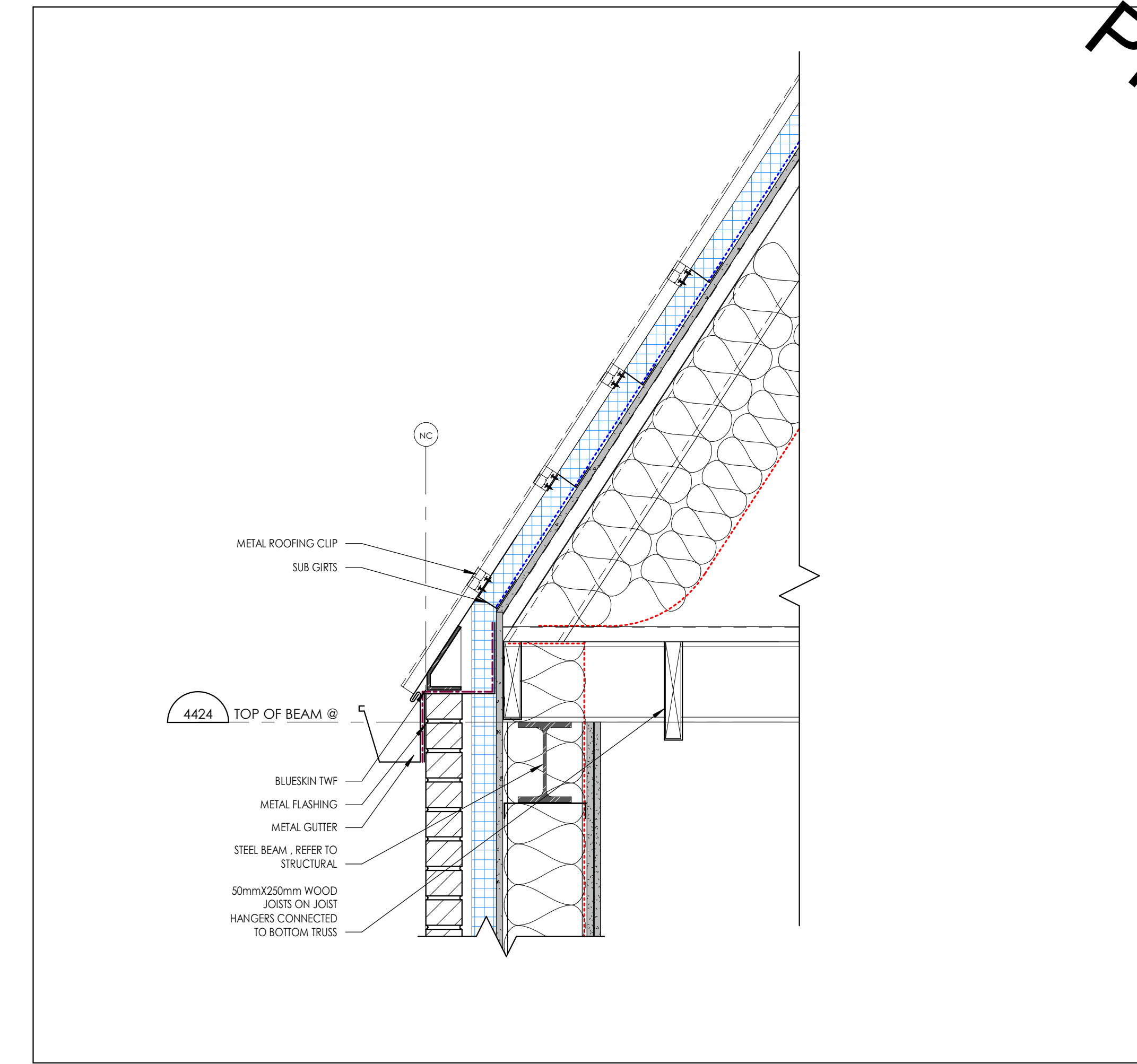
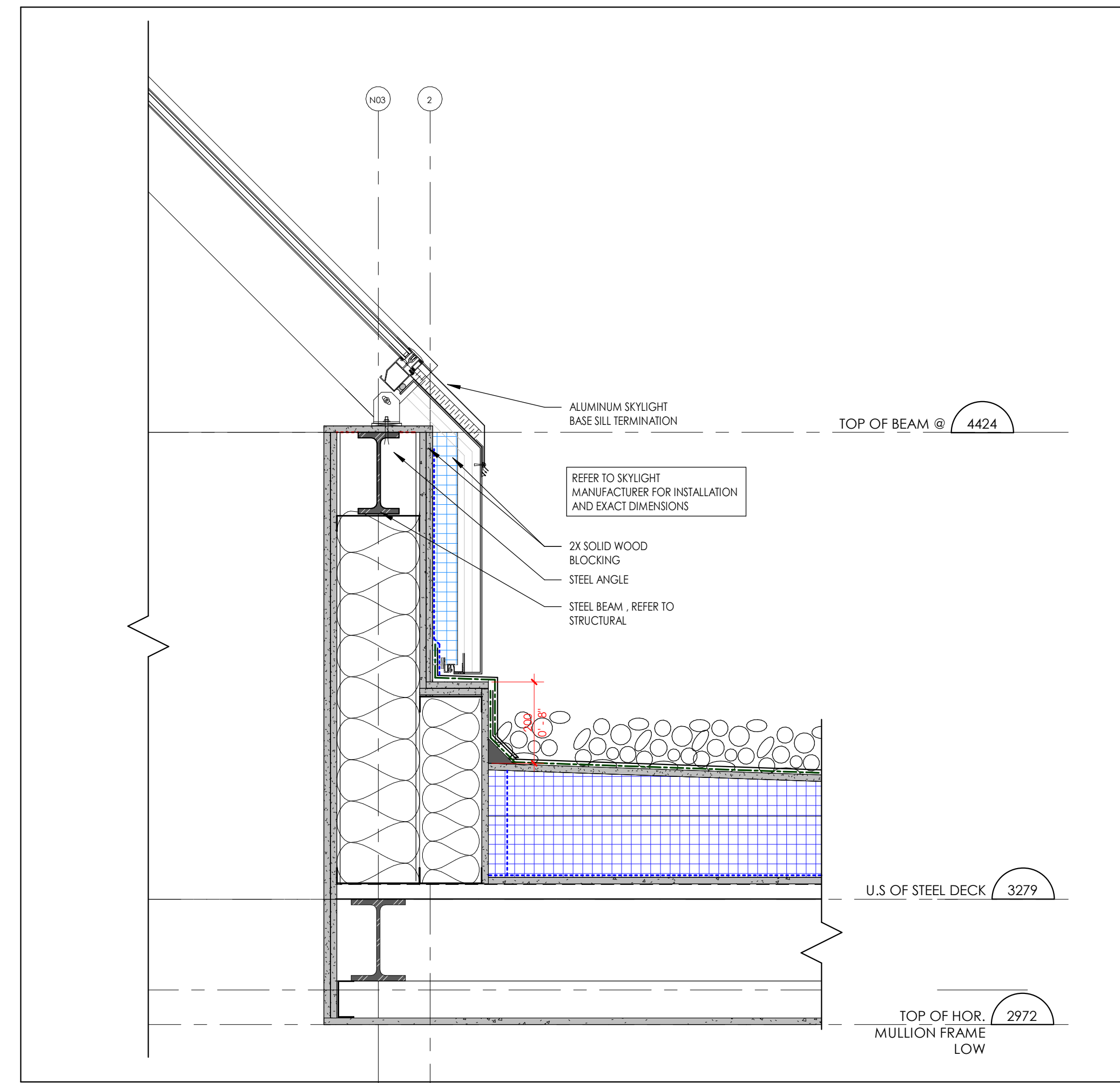
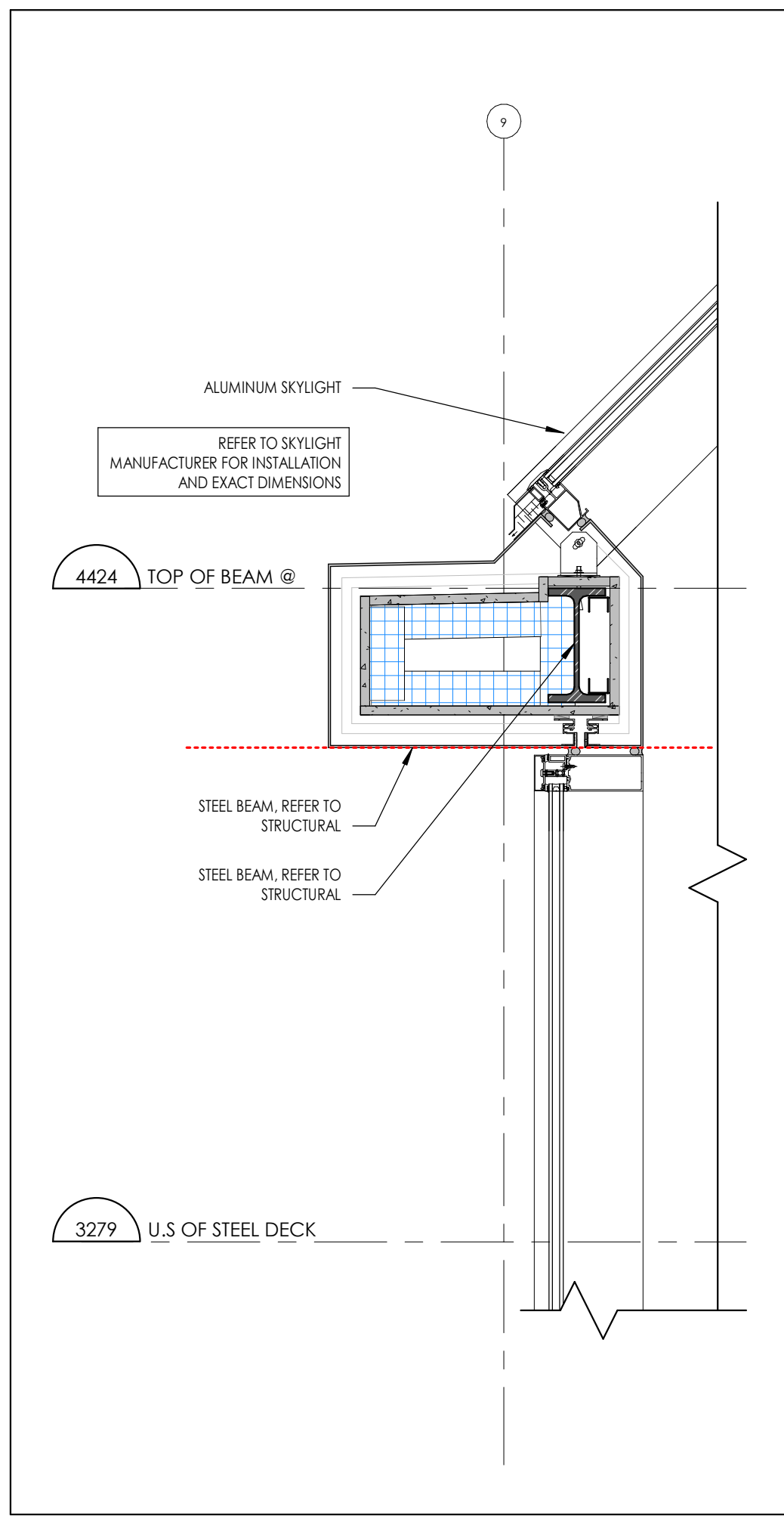
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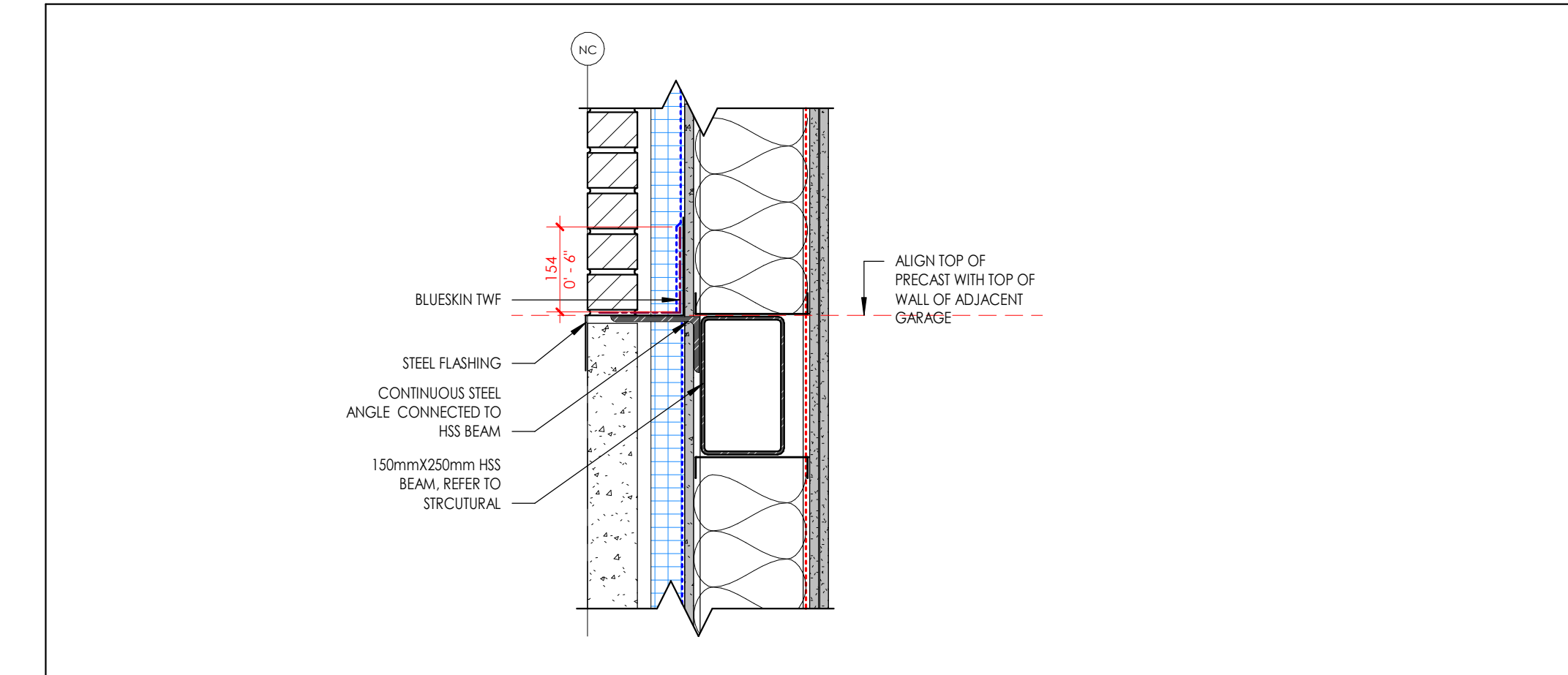
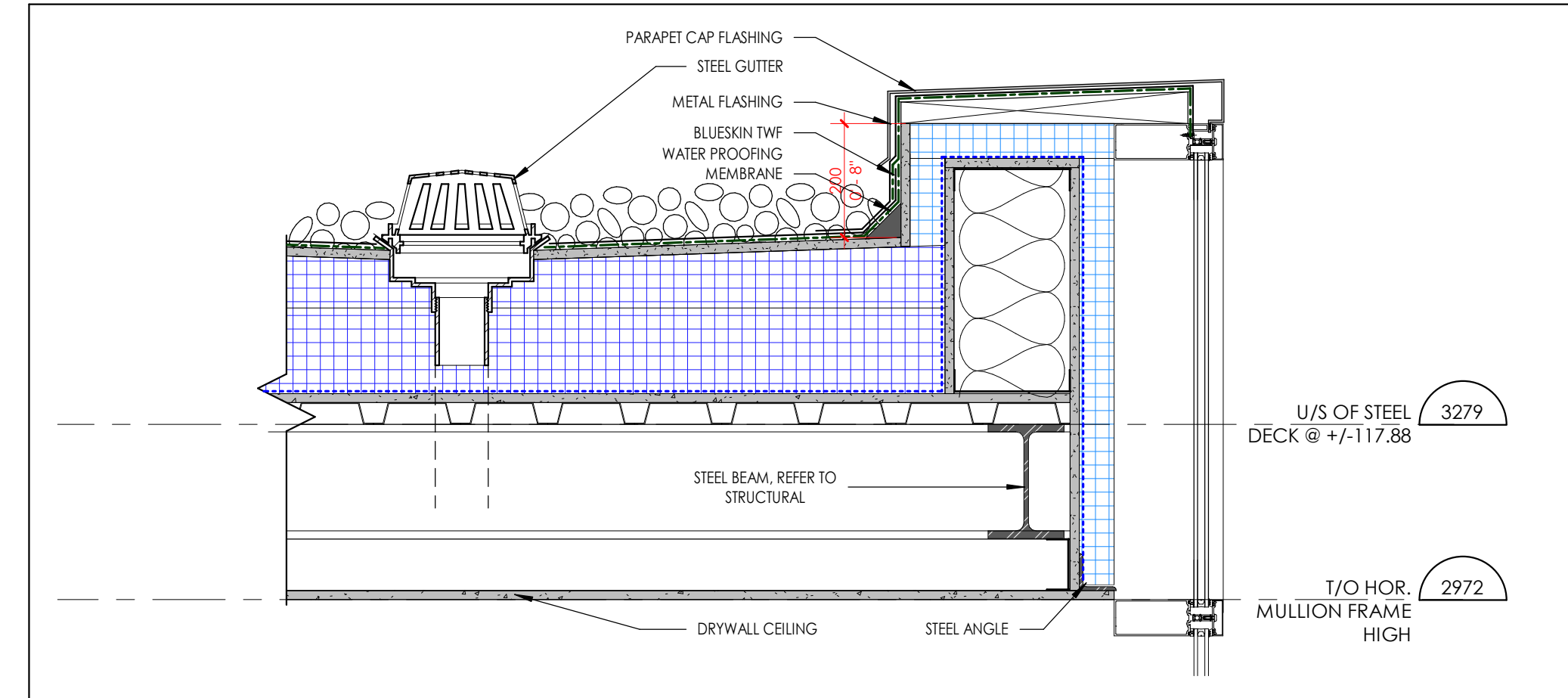
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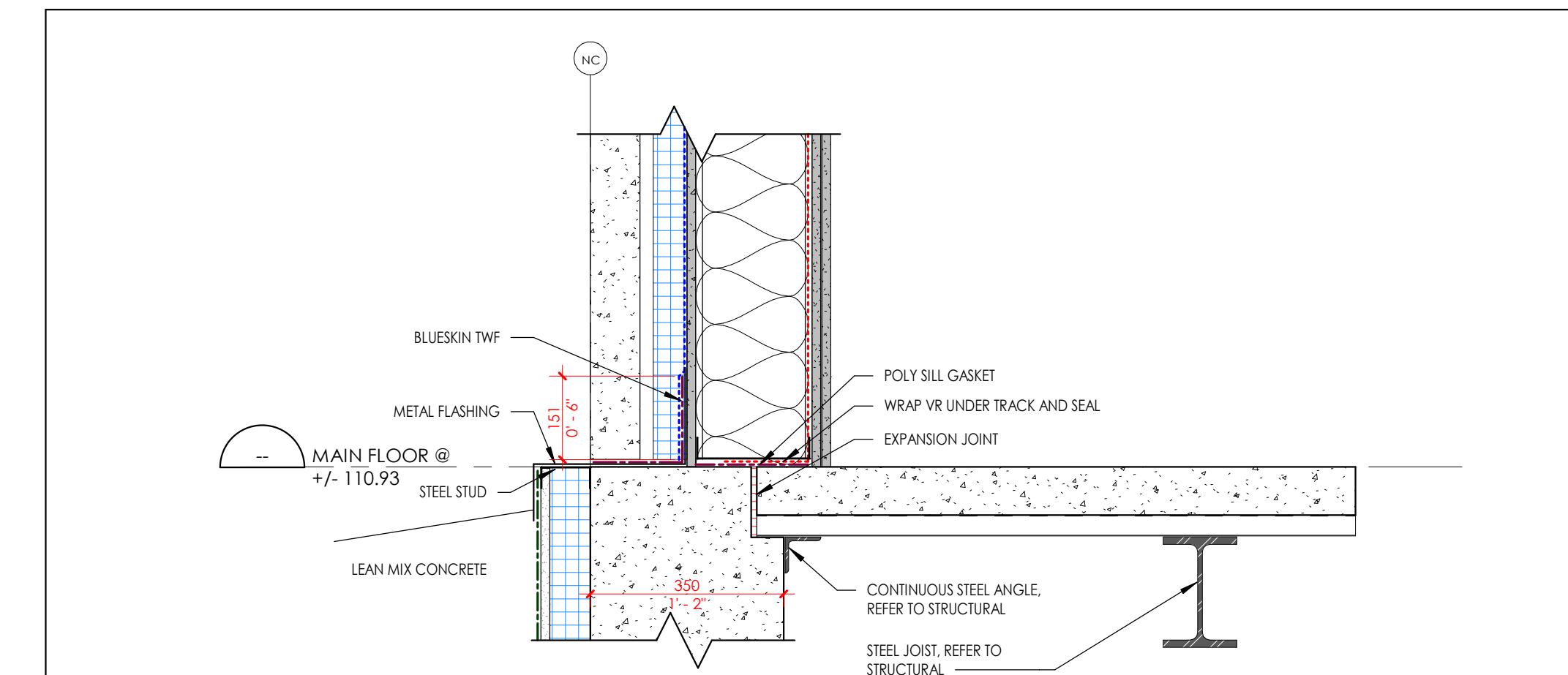
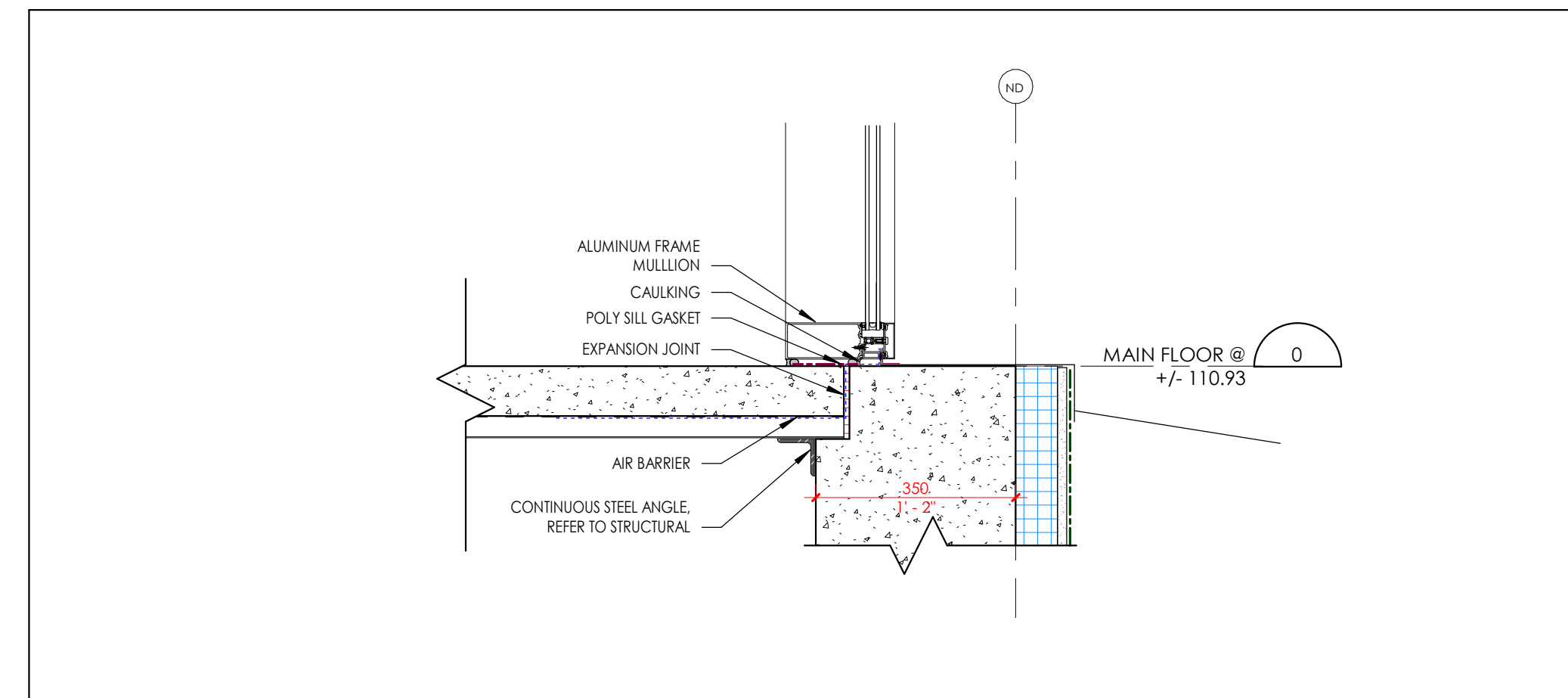
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2 SECTION DETAIL 2 A601 1:10



6 SECTION DETAIL 7 A601 1:10

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REVISION		
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PROJECT CITY OF HAMILTON ST. MARK'S CHURCH PHASE 2 RENOVATION 115 HUNTER STREET WEST, HAMILTON, ON

DRAWING SECTION DETAILS

DRAWN Author

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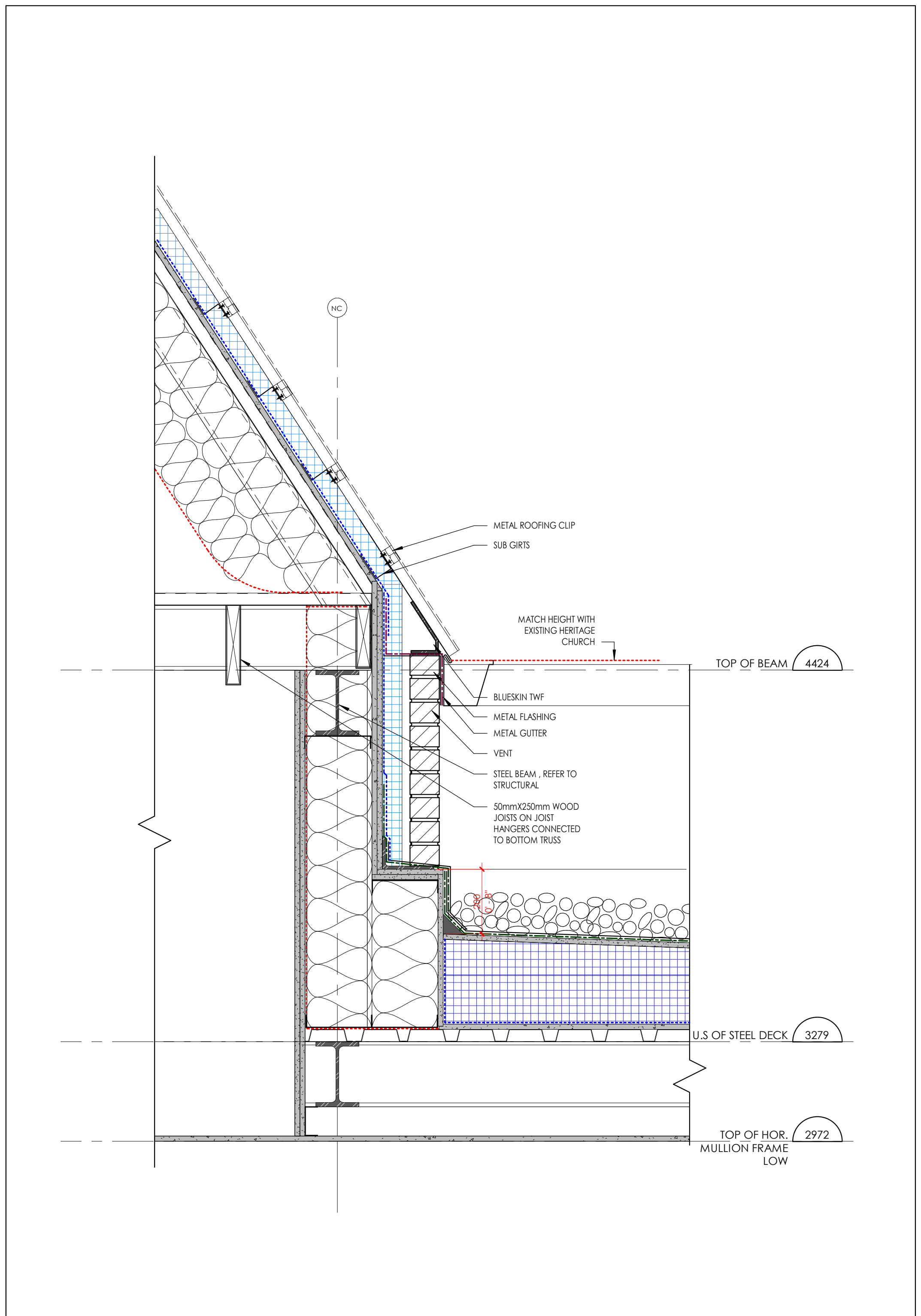
PROJECT 15 - 1091

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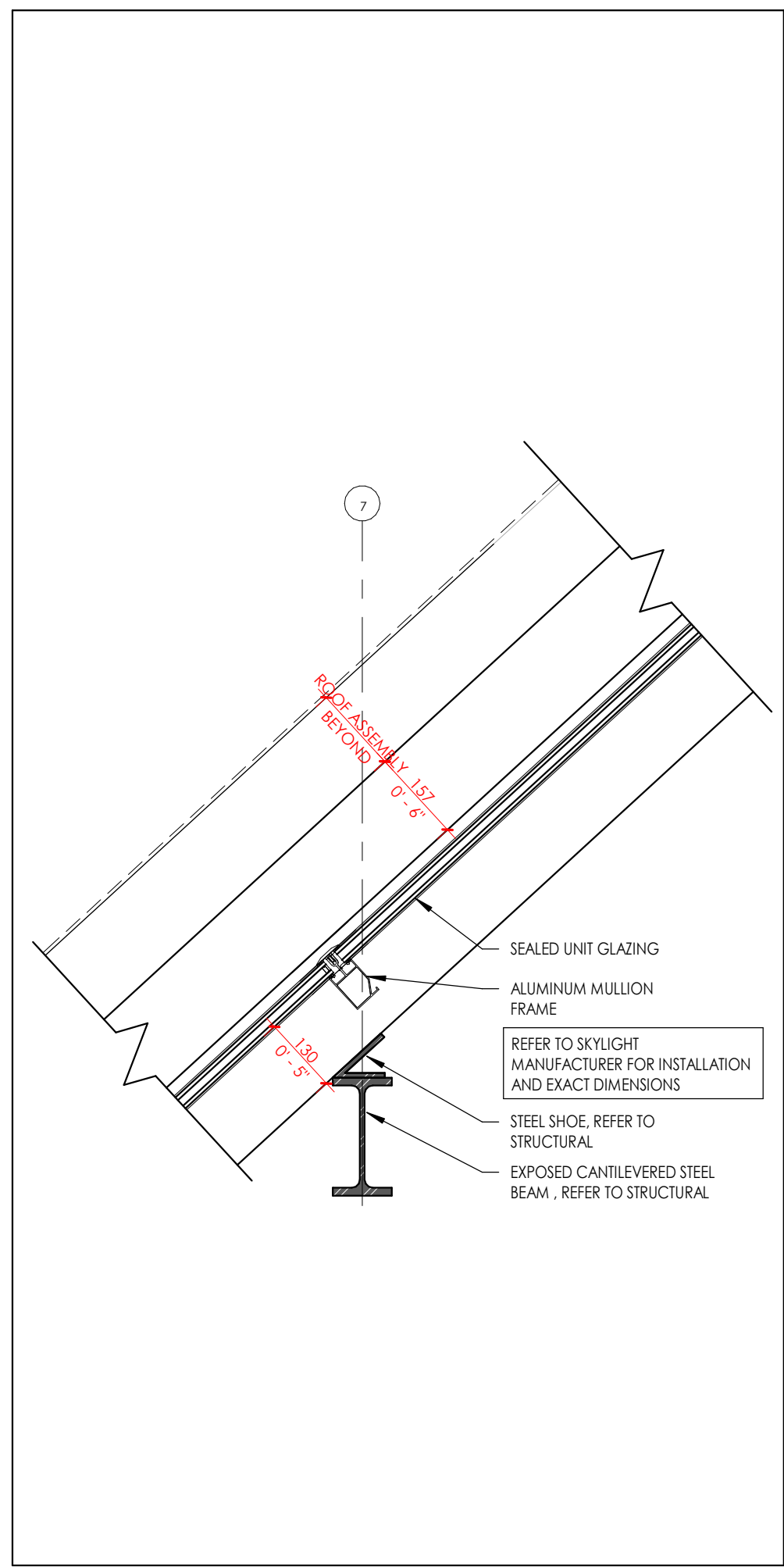
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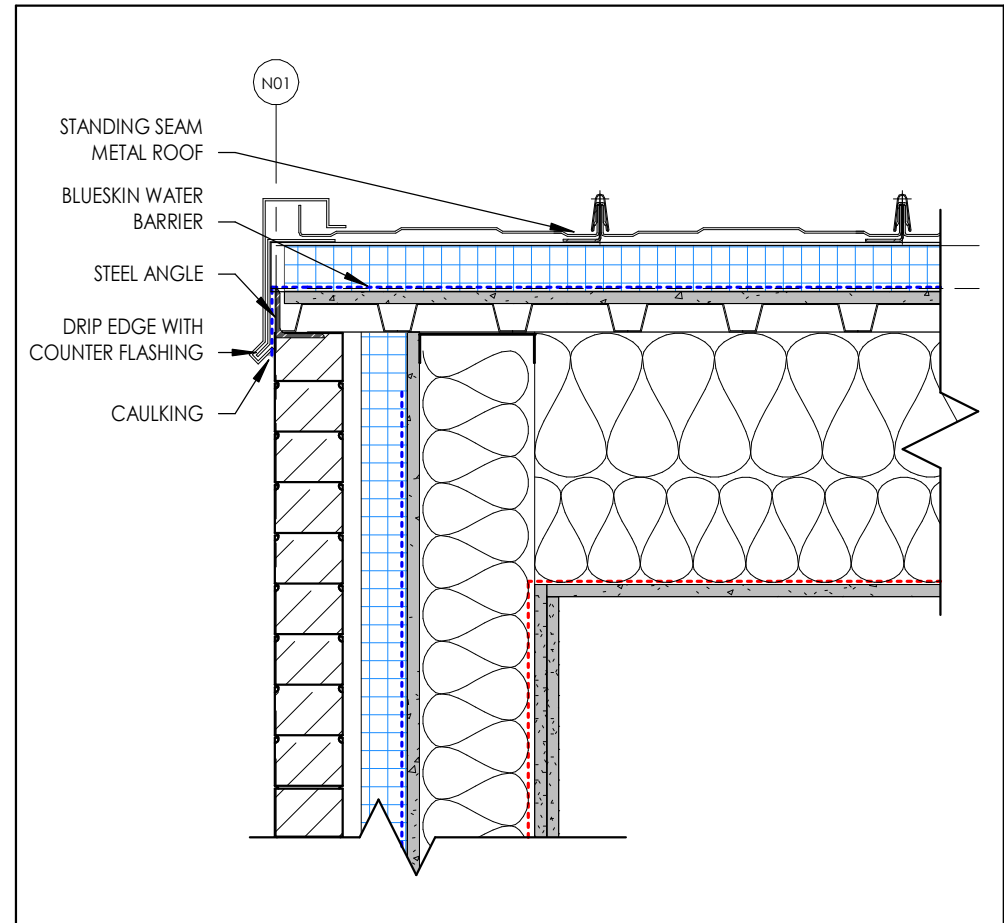
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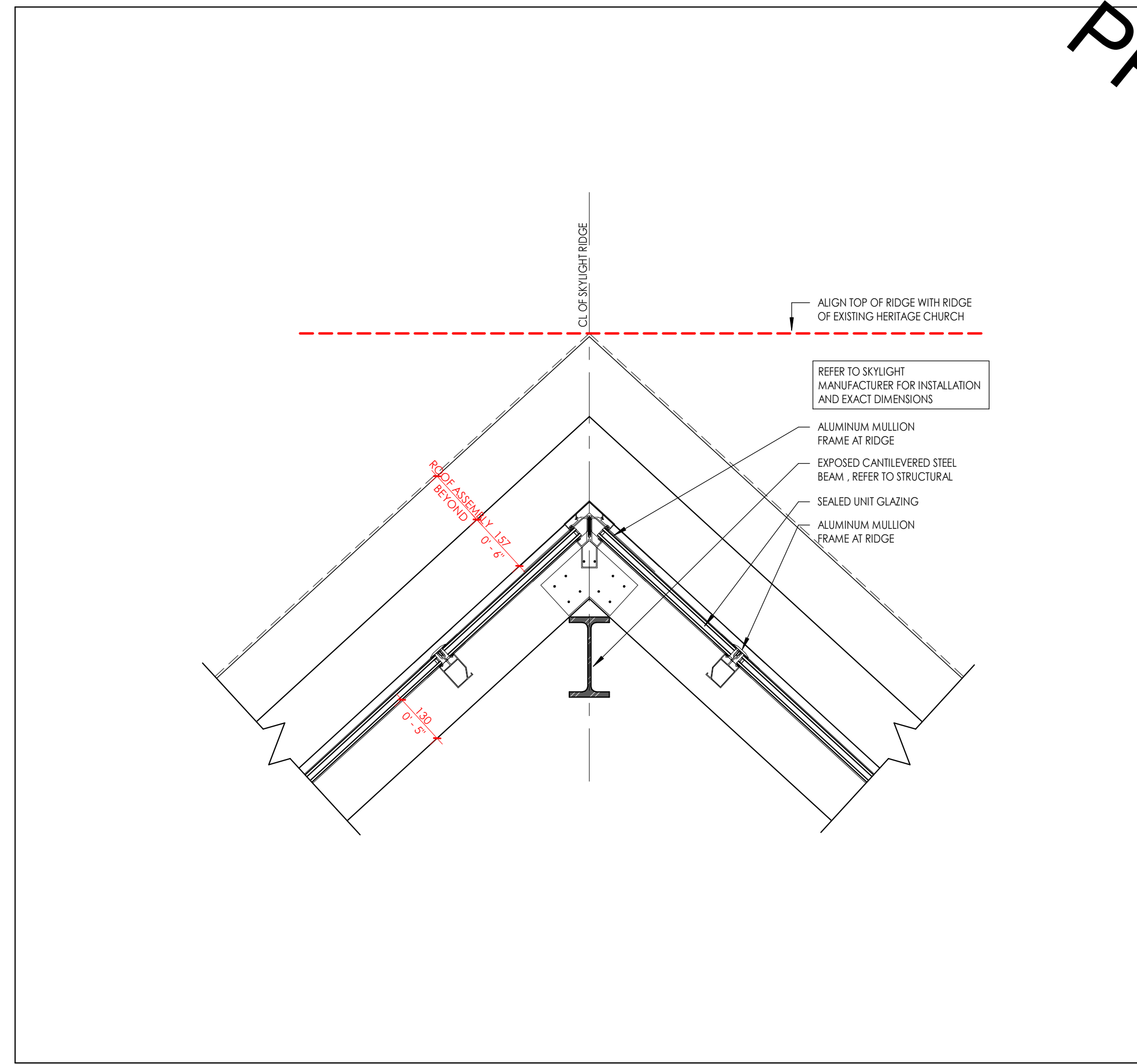
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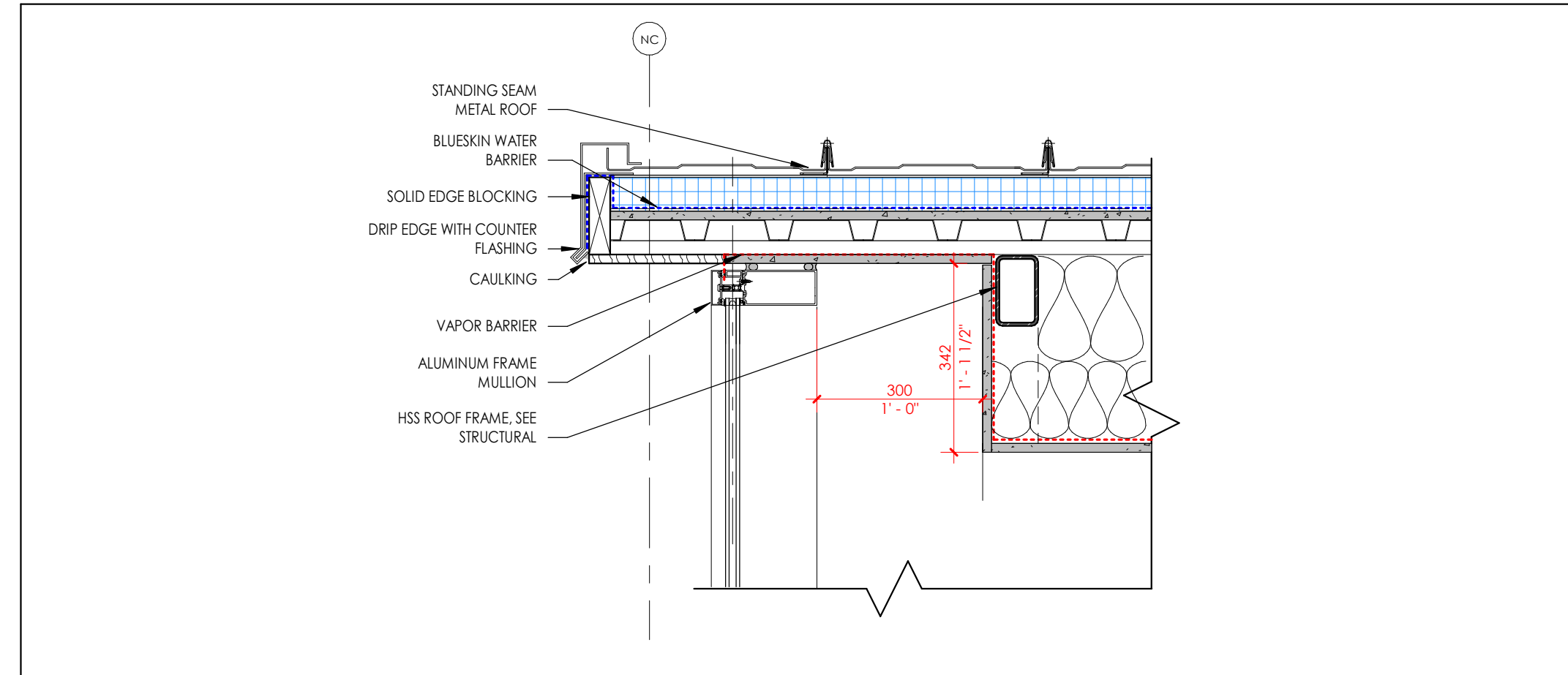
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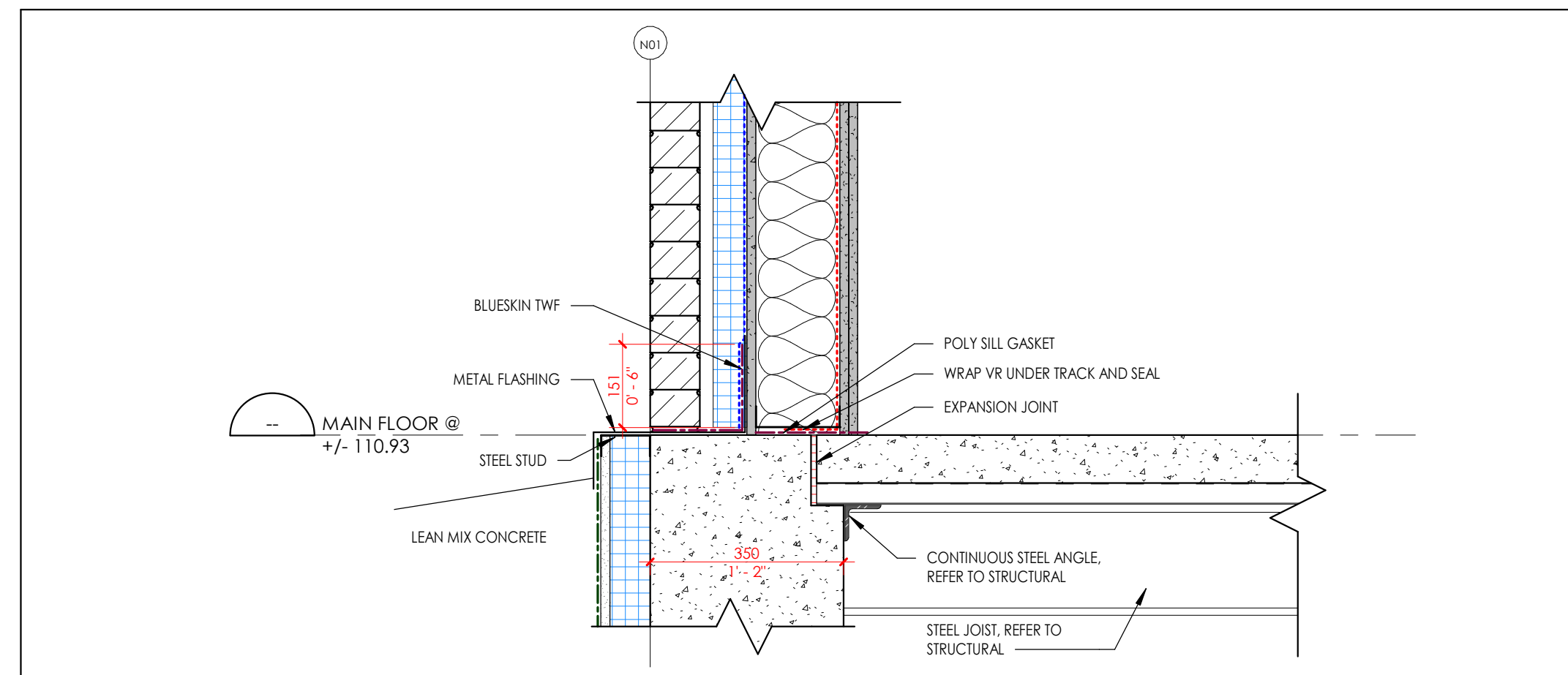
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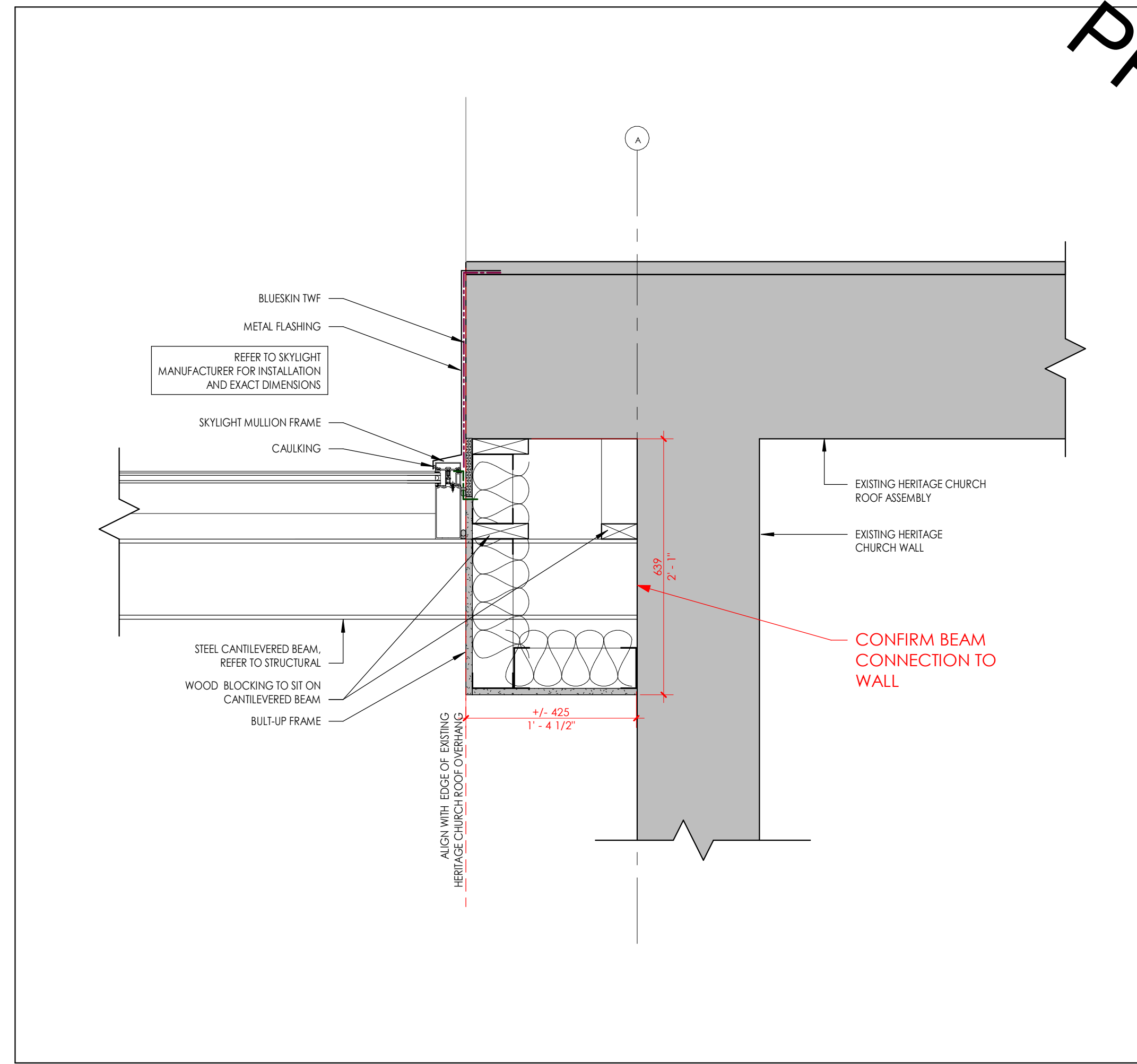
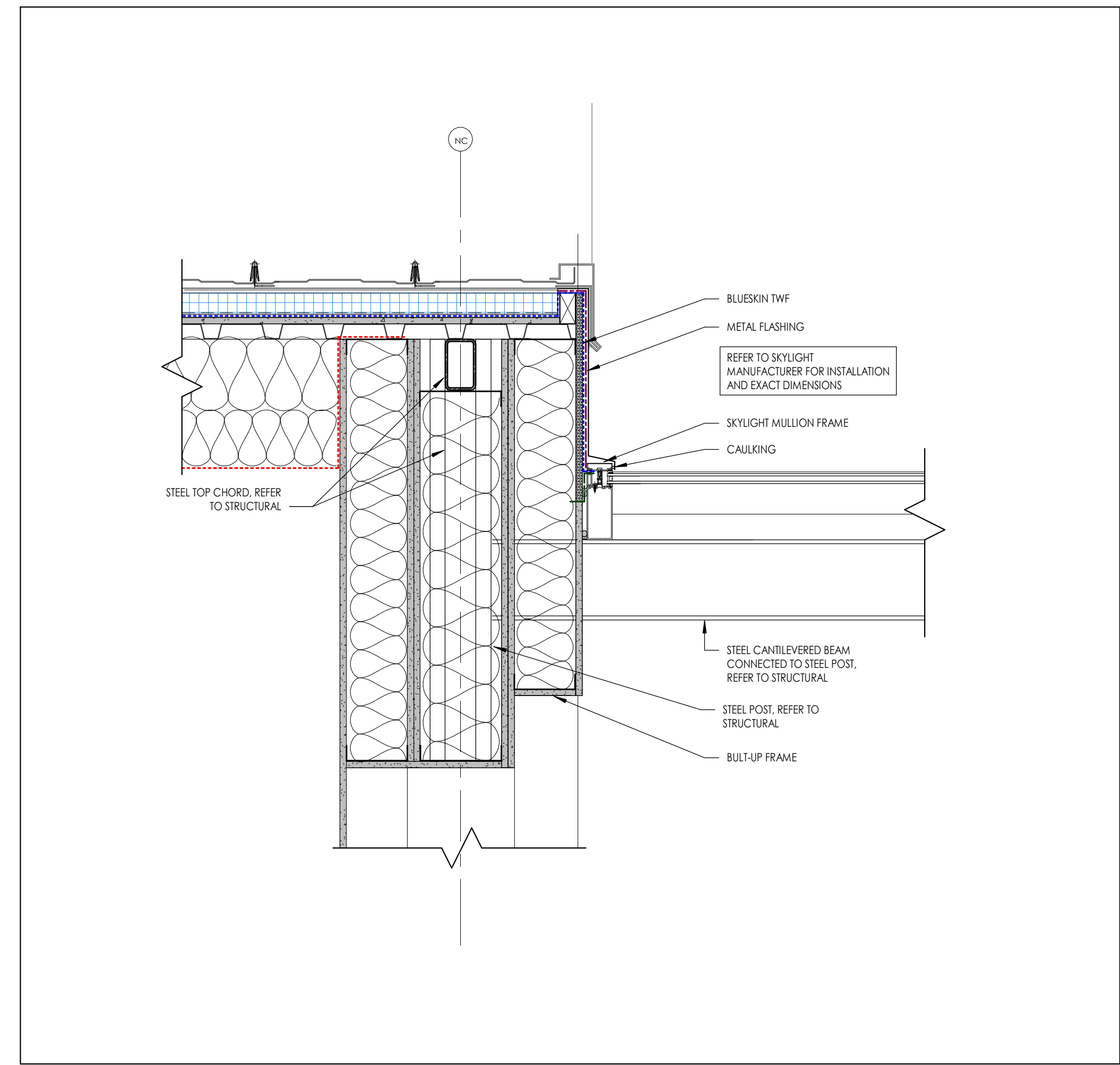
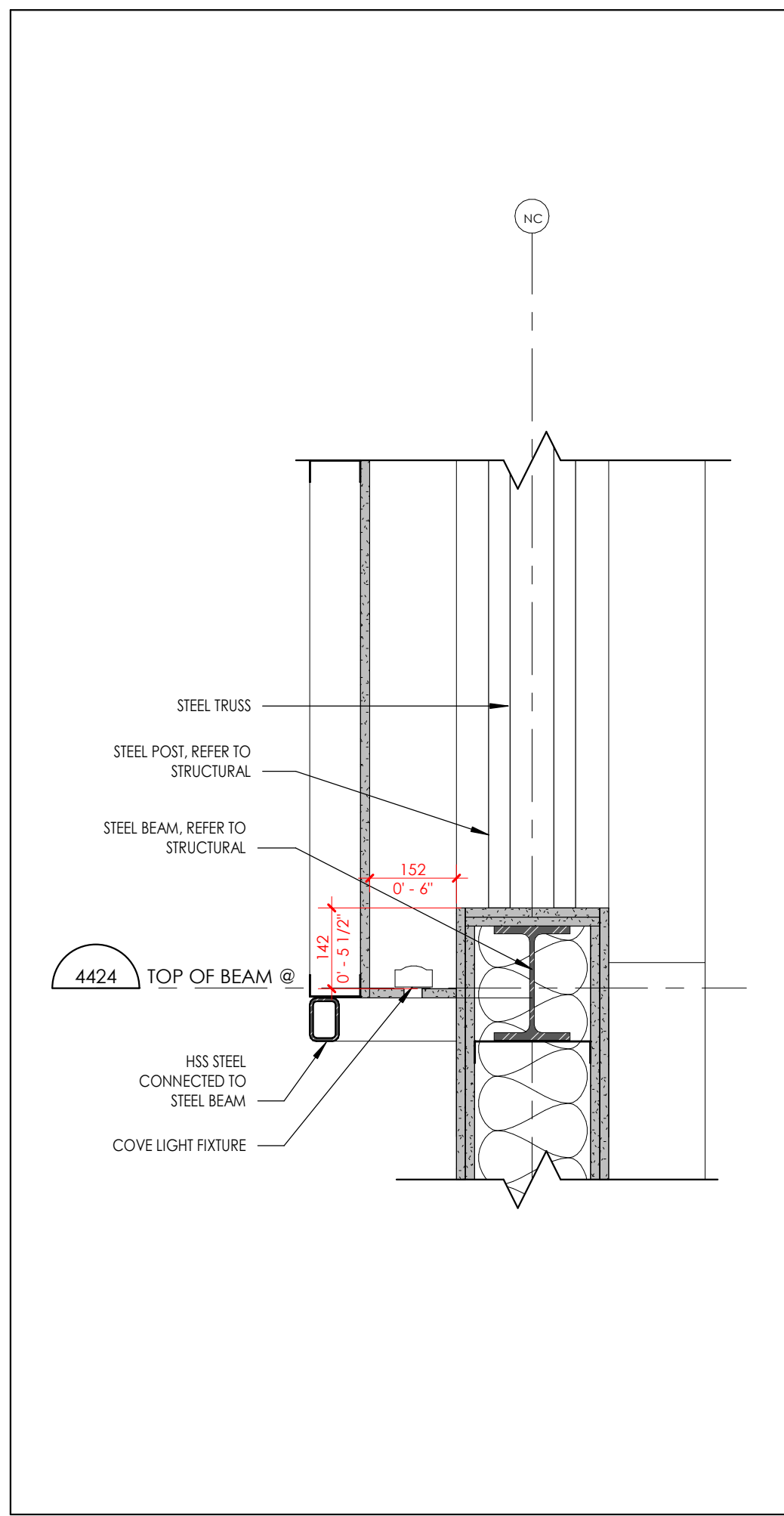
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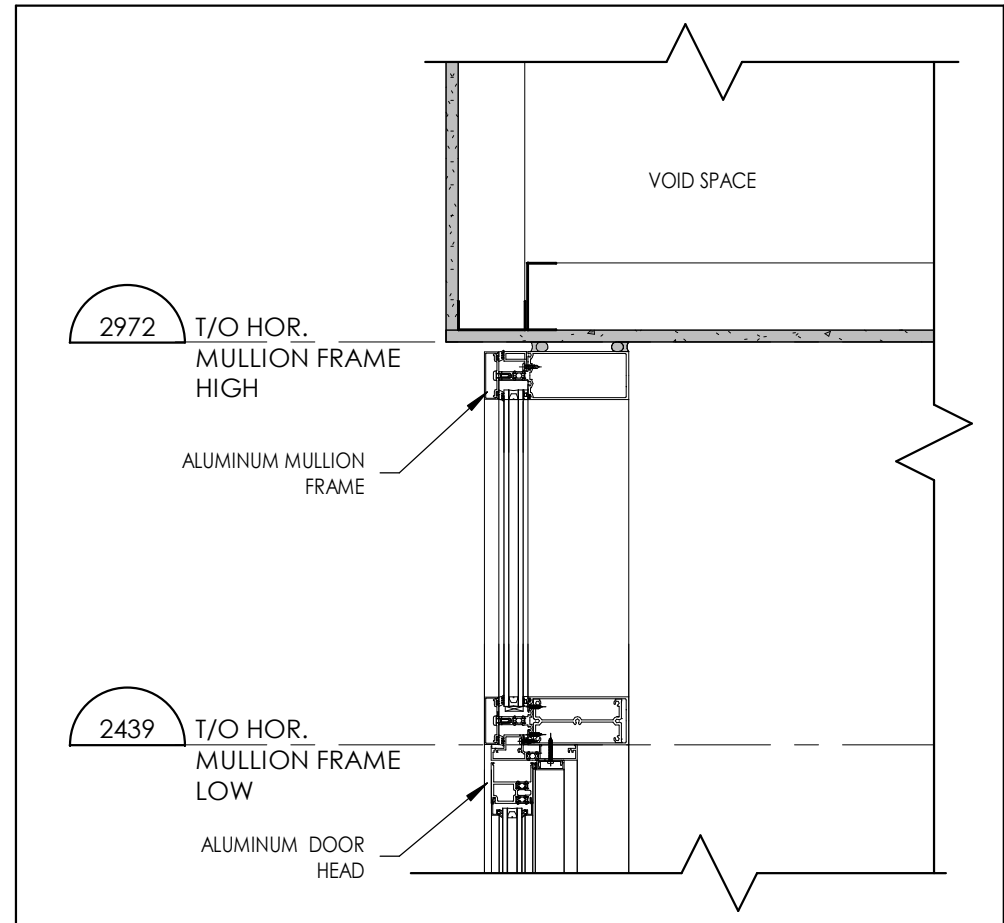
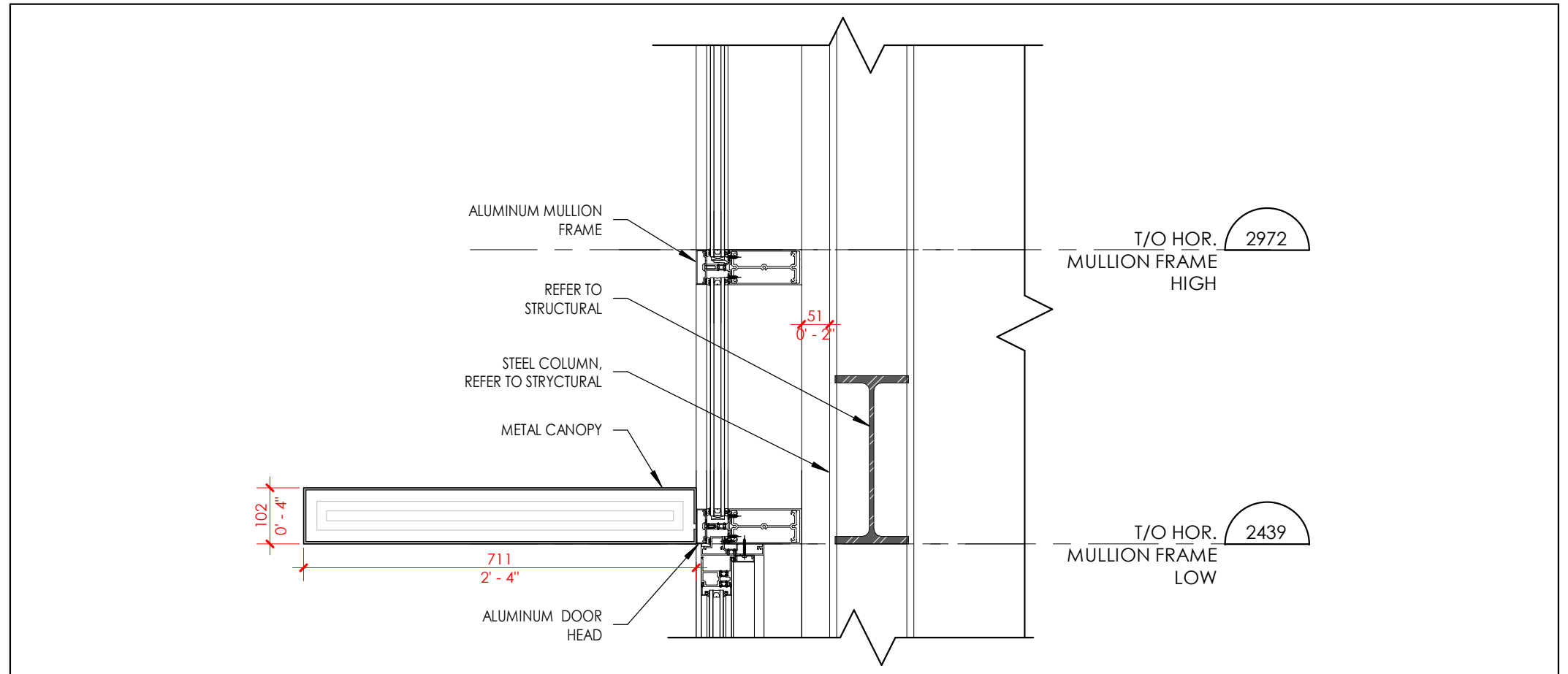
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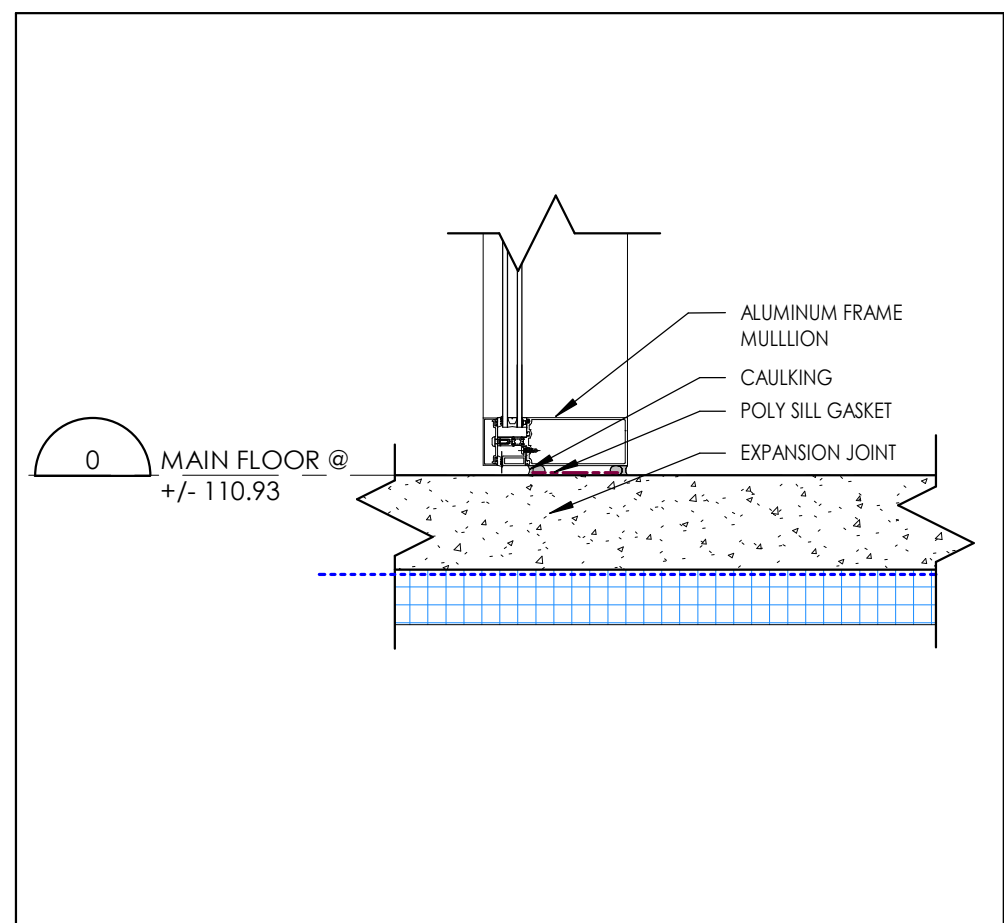
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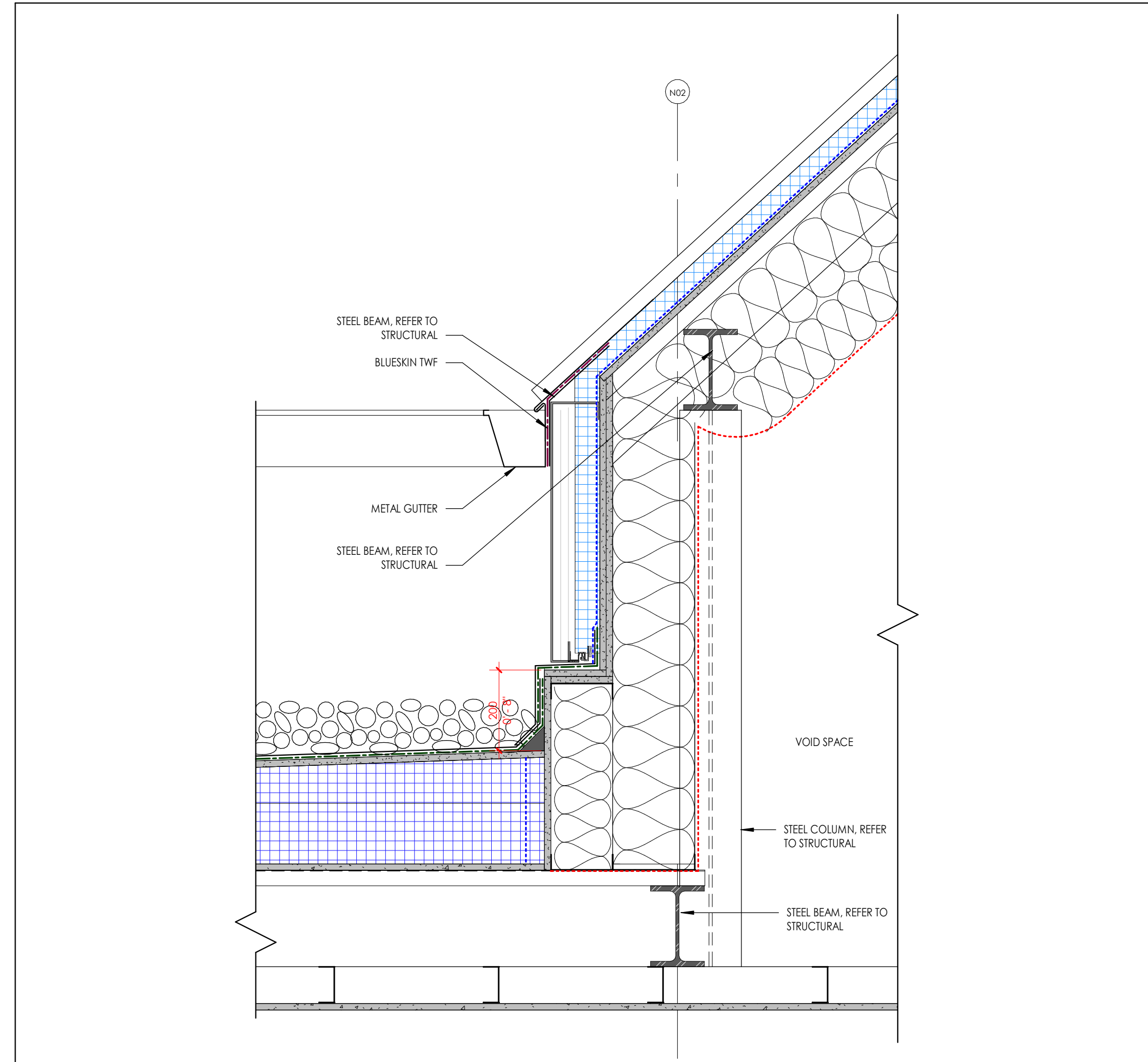


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ST. MARK'S REHABILITATION

Phase 2 Update

St. Mark's Restoration Phase 2

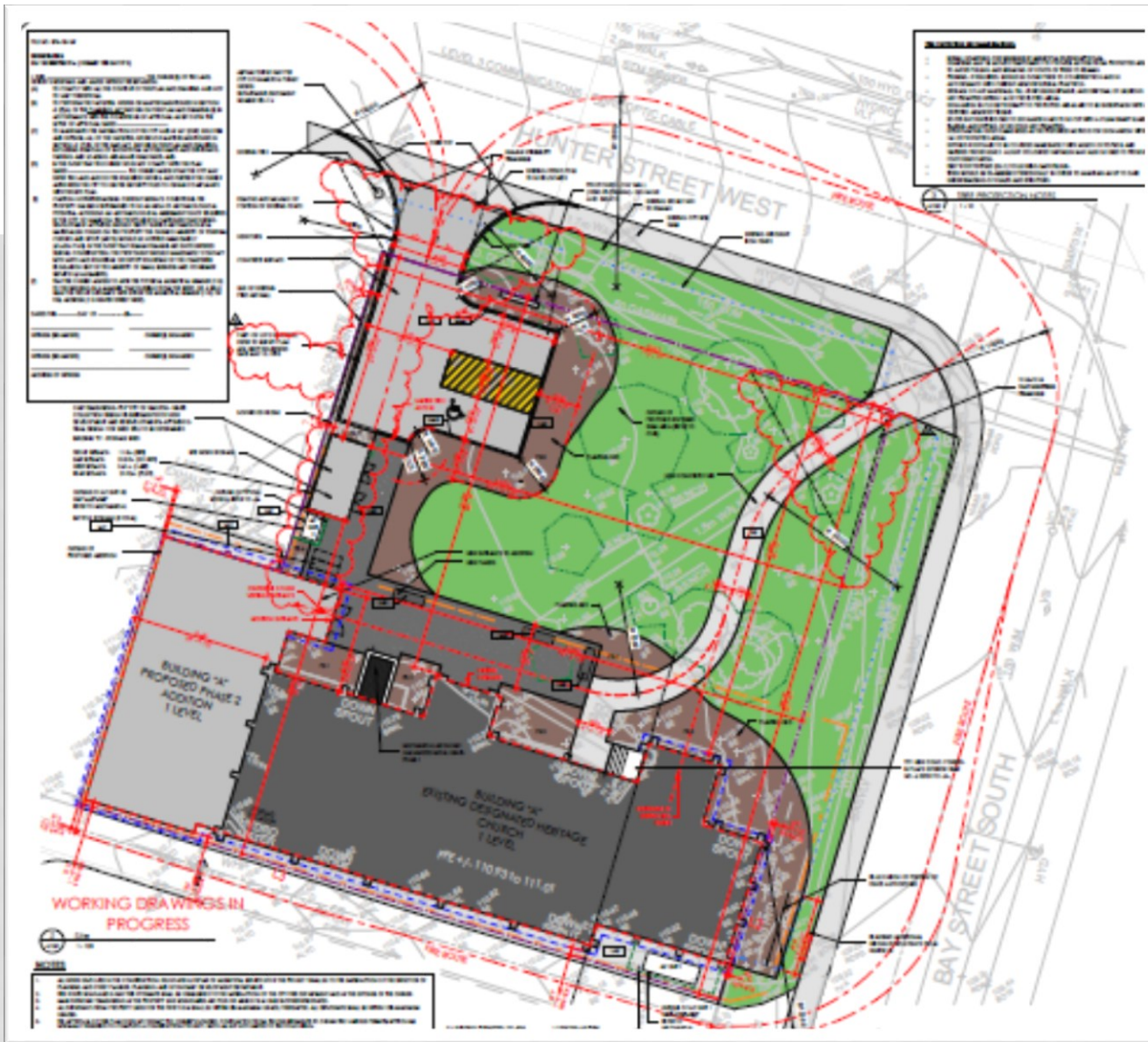


Phase 2: Scope of Work

Phase 2 includes:

- Restoration of the inside of the church
- Completion of sewer hook ups at street
- Construction of an addition on the west side of the property for bathrooms, kitchen and an accessible entrance
- Installation of cooling system and security system
- Completion of landscape improvements including parking and garden
- Estimated start of construction Q3 2019

Landscape and Garden



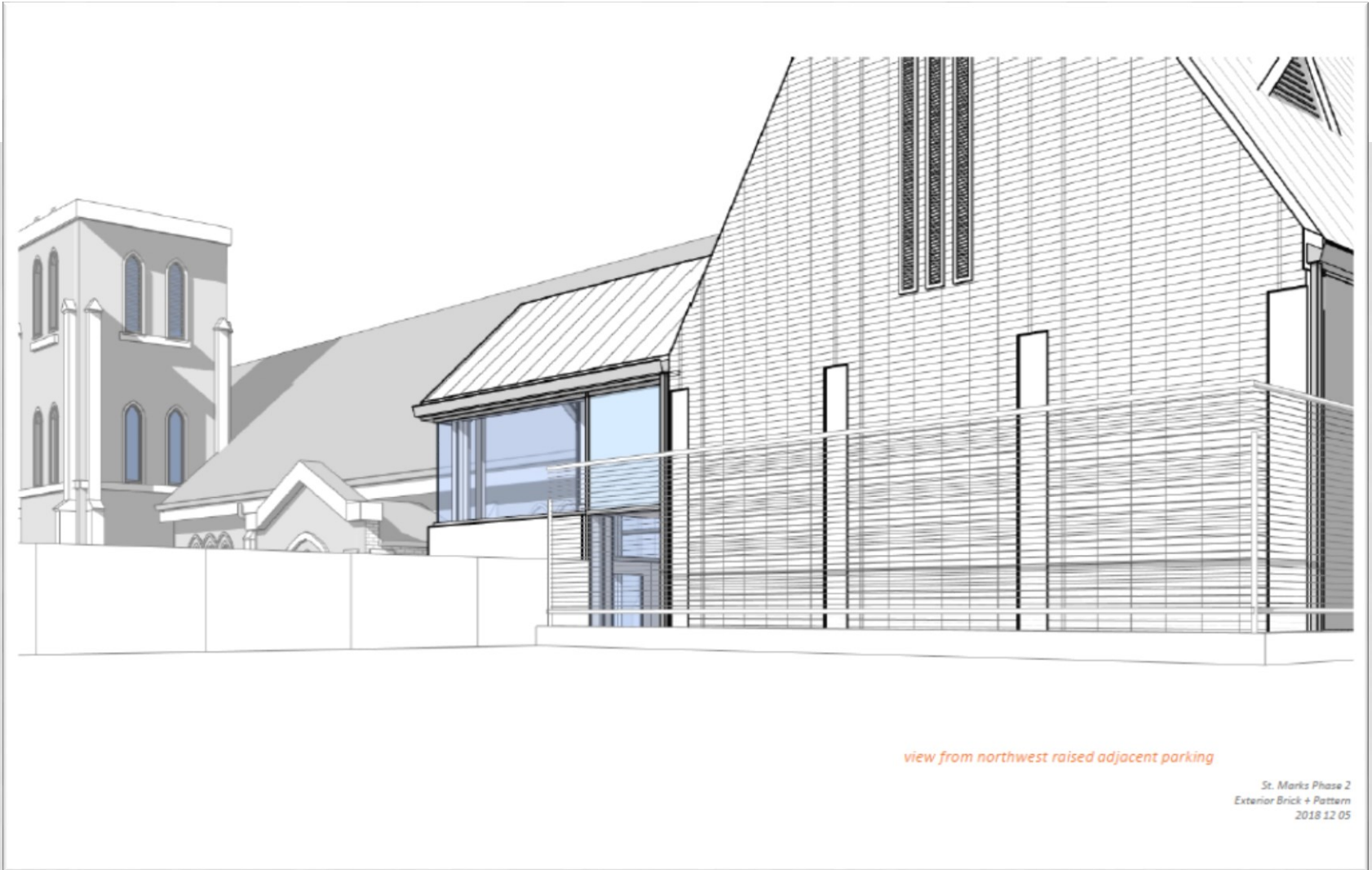
View looking west



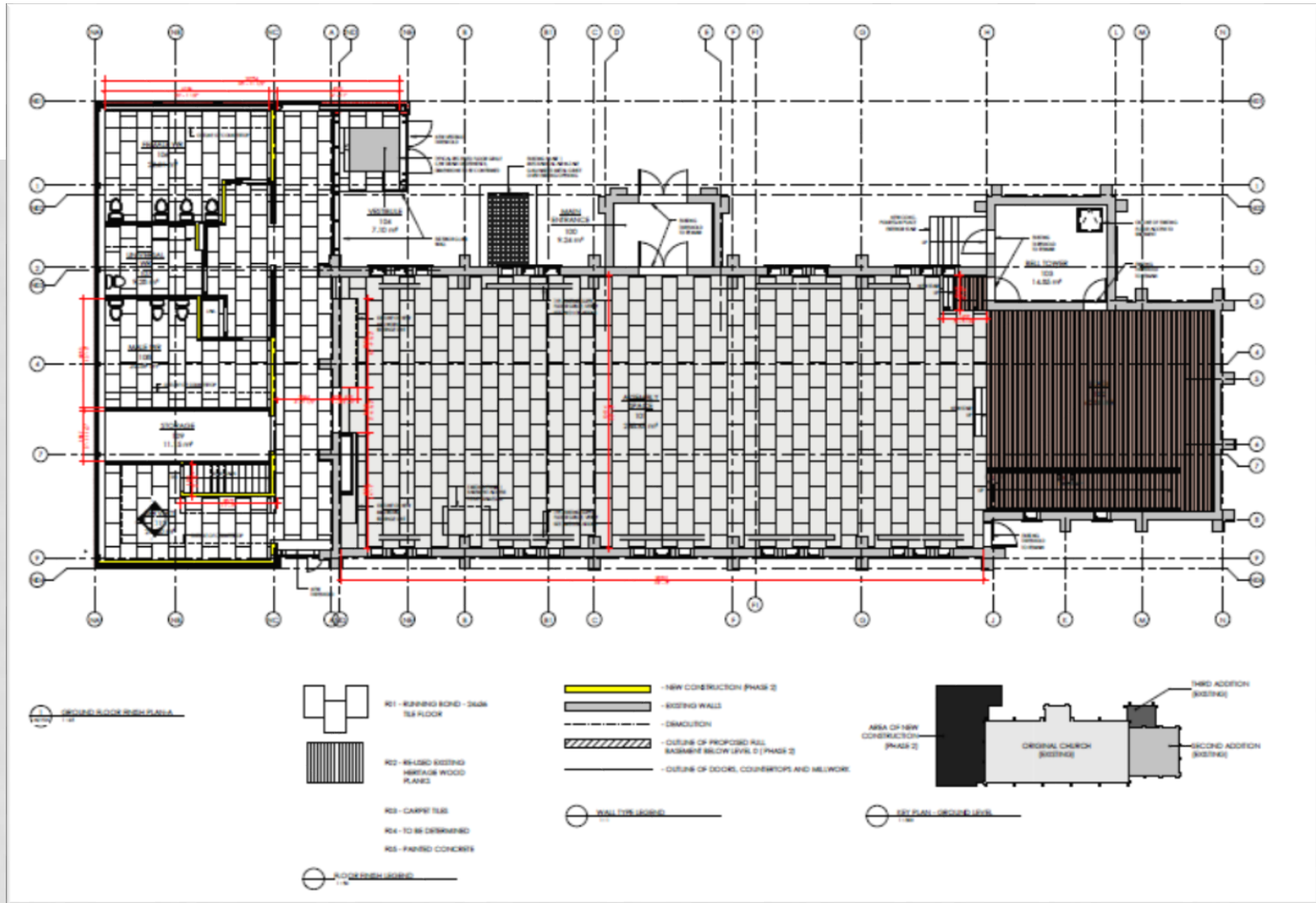
Night view looking west

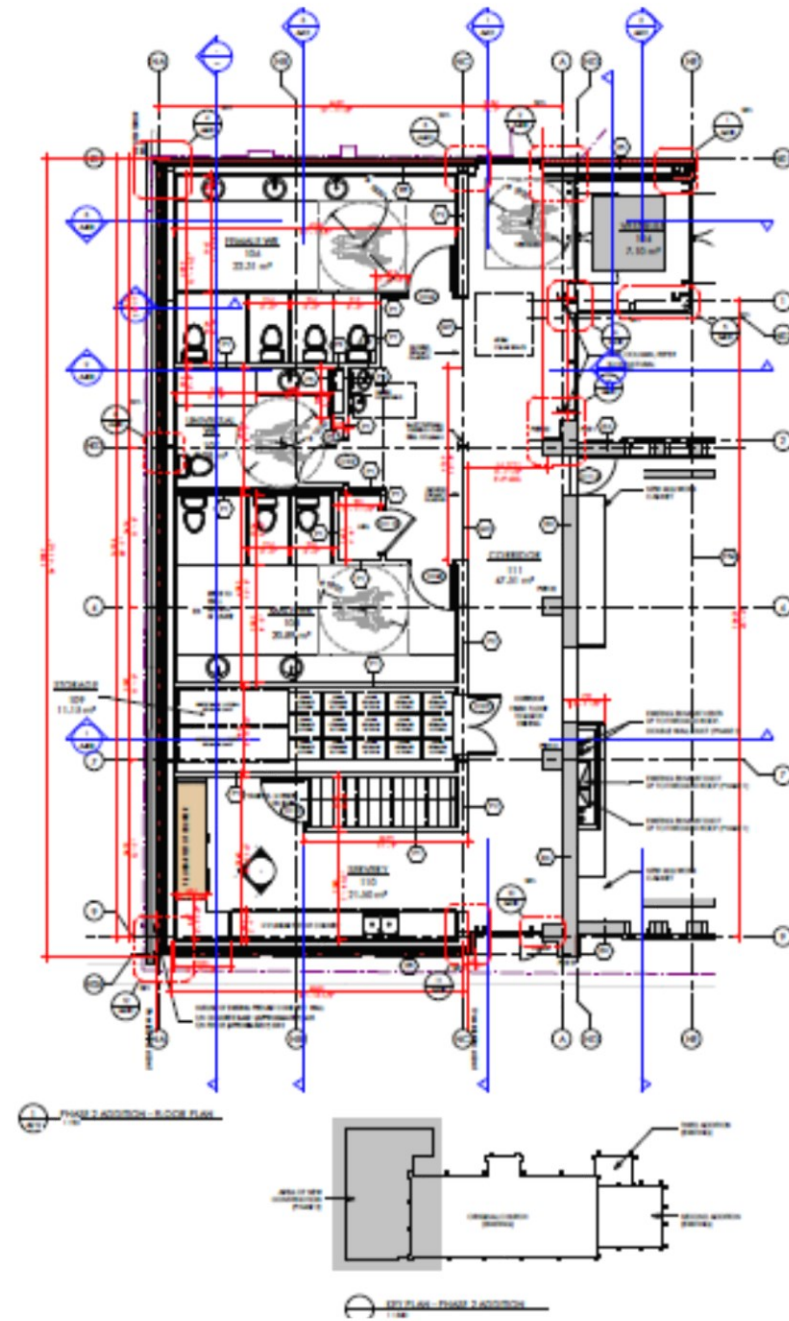


View from parking lot looking south

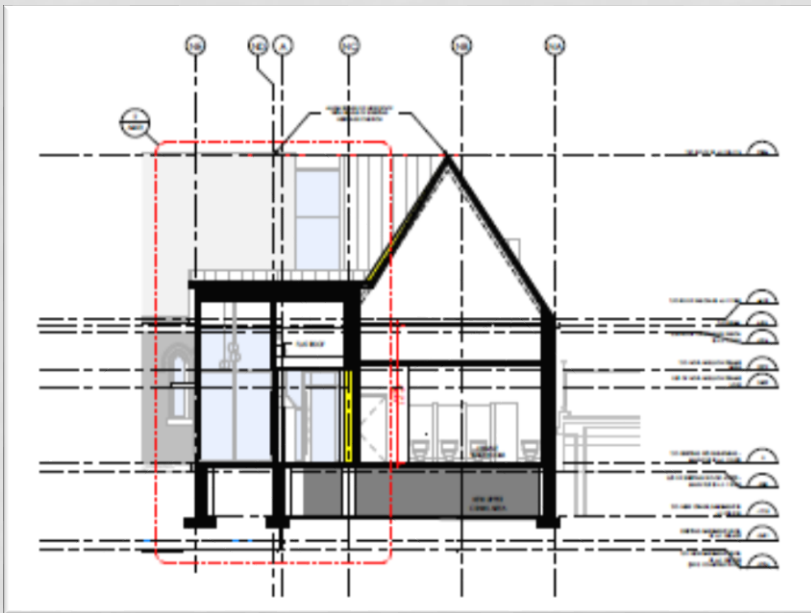
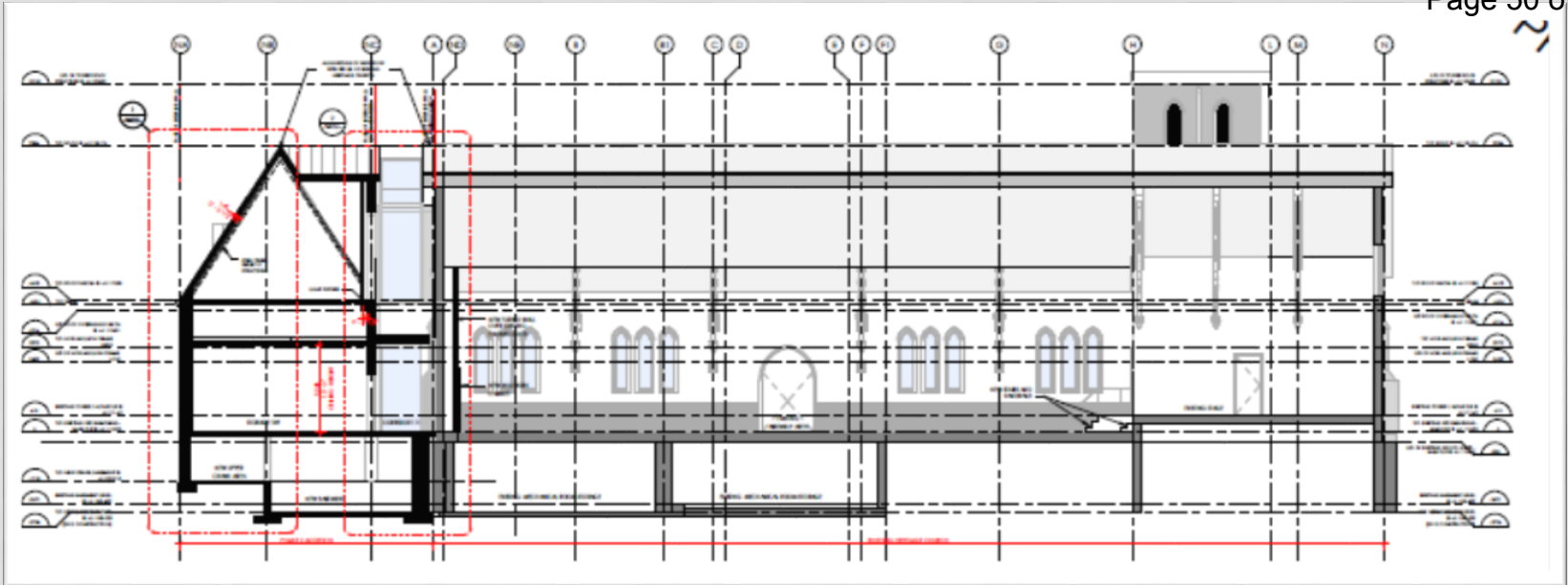


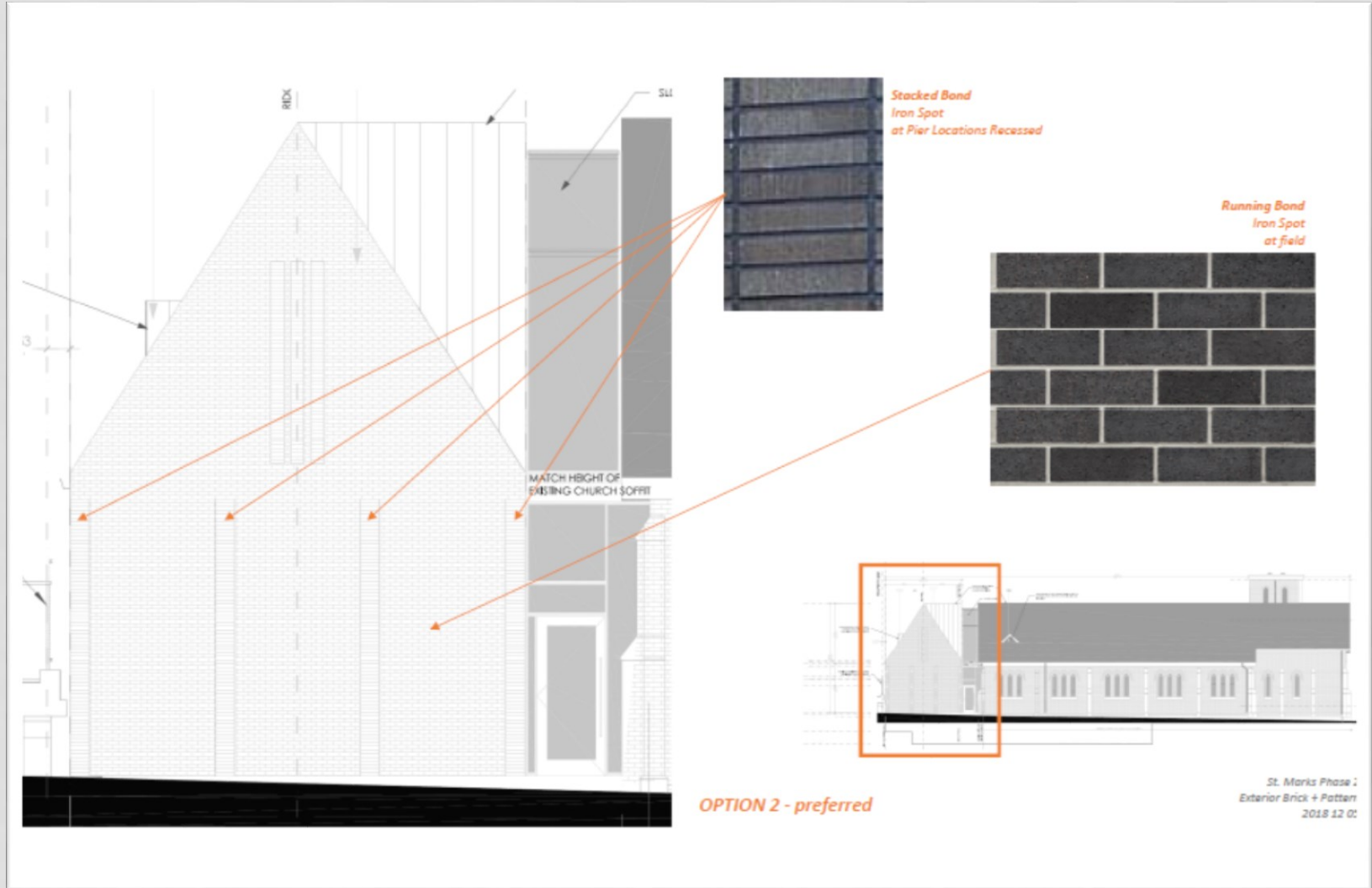
Floorplan





21





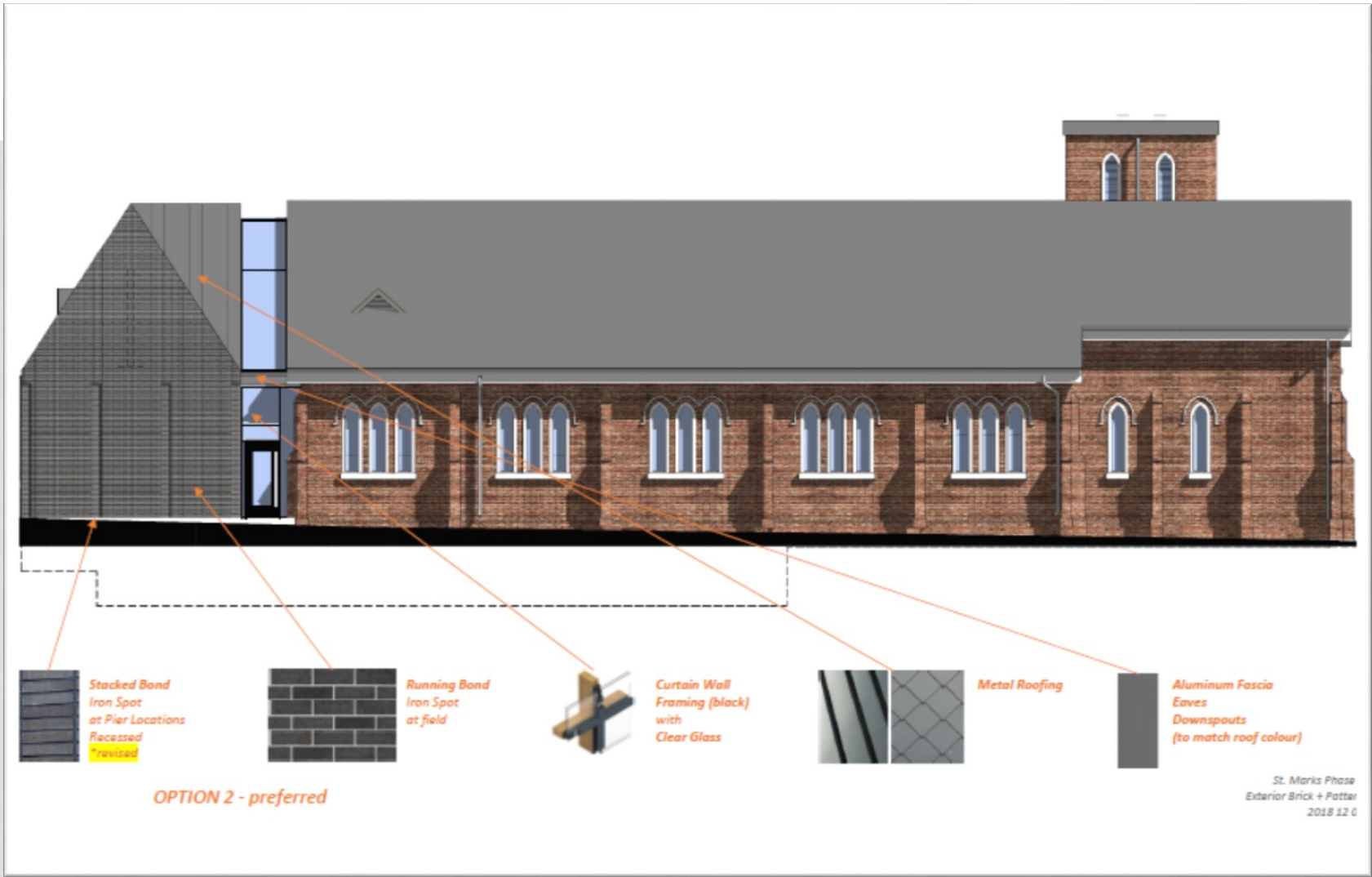
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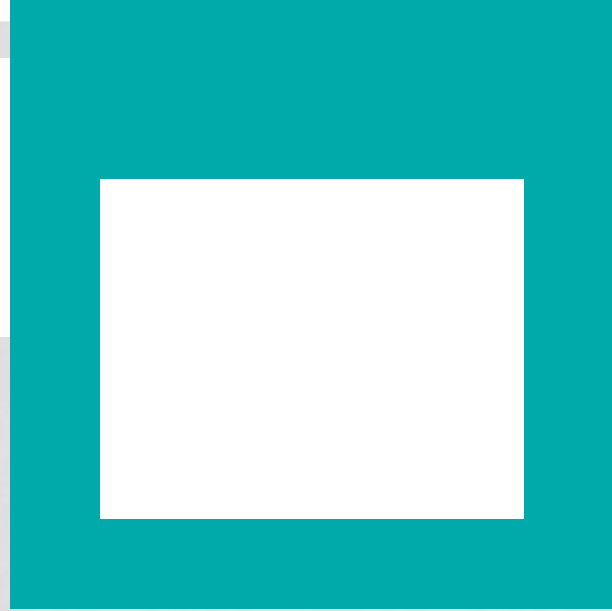


Many Available. 23" h, 12" dia



View looking north





QUESTIONS?



CITY OF HAMILTON
PLANNING AND ECONOMIC DEVELOPMENT DEPARTMENT
 Planning Division

TO:	Chair and Members Hamilton Municipal Heritage Committee
COMMITTEE DATE:	February 21, 2019
SUBJECT/REPORT NO:	Heritage Permit Application HP2018-046, Under Part V of the Ontario Heritage Act, for the erection of a single detached dwelling at 47 Markland Street, Hamilton (PED19035) (Ward 2)
WARD(S) AFFECTED:	Ward 2
PREPARED BY:	Miranda Brunton (905) 546-2424 Ext. 1202 David Addington (905) 546-2424 Ext. 1214
SUBMITTED BY:	Steve Robichaud Director, Planning and Chief Planner Planning and Economic Development Department
SIGNATURE:	

RECOMMENDATION

That Heritage Permit Application HP2018-046, for the erection of a new single detached dwelling on the designated property at 47 Markland Street, Hamilton (Durand-Markland Heritage Conservation District), as shown in Appendix "A" to Report PED19035, be **approved** subject to the following Heritage Permit conditions:

- a) That the dimensions and surfacing materials for the new driveway and any walkways, patios or other hard-surface areas visible from the street, shall be submitted, to the satisfaction and approval of the Director of Planning and Chief Planner, prior to installation;
- b) That any minor changes to the plans and elevations following approval shall be submitted, to the satisfaction and approval of the Director of Planning and Chief Planner, prior to submission as part of any application for a Building Permit; and,
- c) That construction and site alterations, in accordance with this approval, shall be completed no later than March 31, 2021. If the construction and site alterations are not completed by March 31, 2021, then this approval expires as of that date, and no alterations shall be undertaken without a new approval issued by the City of Hamilton.

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SUBJECT: Heritage Permit Application HP2018-046, Under Part V of the Ontario Heritage Act, for the erection of a single detached dwelling at 47 Markland Street, Hamilton (PED19035) (Ward 2) - Page 2 of 9

- d) That the proposed development shall comply with all of the applicable provisions of Zoning By-law No. 6593 and Minor Variance Application HM/A-18:431, to the satisfaction of the Director of Planning and Chief Planner.

EXECUTIVE SUMMARY

The subject property is proposed to be severed from the existing lot at 51 Markland Street, Hamilton. The applicant has applied to the Committee of Adjustment (CofA) to sever the property to facilitate the construction of a single detached dwelling (file # HM/B-18:159) and is scheduled to be considered on February 21, 2019 by the CofA. Should the Severance Application be approved, the severed lot will be identified as 47 Markland Street, Hamilton. The applicant is applying for the erection of a new single detached dwelling on the vacant lot. The property is designated as part of the Durand-Markland Heritage Conservation District (HCD) under Part V of the *Ontario Heritage Act* (see the location map attached as Appendix "A" to Report PED19035). A Heritage Permit is required for the alteration of any part of the property, and for the erection or demolition of any structures or buildings on the property. This application is being supported, subject to conditions, as agreed to by the applicant in discussions with staff and the Heritage Permit Review Sub-committee (HPRSC).

The Heritage Permit Application was received on December 12, 2018 and the Notice of Receipt was issued on the same day. The *Ontario Heritage Act* requires that Council make a decision on a Heritage Permit Application within 90 days of the issuance of a Notice of Receipt or within such longer period as is agreed upon by the applicant and Council. If no decision is reached within the 90 day timeframe or within the agreed upon extension, Council shall be deemed to consent to the application. The subject application's 90 day timeline will expire on March 11, 2019. The applicant has agreed to extend the review timeline an additional 30 days, until April 10, 2019.

Alternatives for Consideration – See Page 8

FINANCIAL – STAFFING – LEGAL IMPLICATIONS

Financial: N/A

Staffing: N/A

Legal: This Heritage Permit Application has been processed and considered within the context of the applicable legislation.

Section 42 of the *Ontario Heritage Act*, states that: "No owner of property situated in a heritage conservation district that has been designated by a

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municipality under this Part shall do any of the following, unless the owner obtains a permit from the municipality to do so:

1. Alter, or permit the alteration of, any part of the property, other than the interior of any structure or building on the property.
2. Erect, demolish or remove any building or structure on the property or permit the erection, demolition or removal of such a building or structure.”

Section 42 (4) of the *Ontario Heritage Act* states that:

“Within 90 days after the notice of receipt is served on the applicant under subsection (3) or within such longer period as is agreed upon by the applicant and the council, the council may give the applicant,

- (a) the permit applied for;
- (b) notice that the council is refusing the application for the permit; or
- (c) the permit applied for, with terms and conditions attached.”

With respect to the delegation of Council’s approval authority, Section 42 (16) of the *Ontario Heritage Act* states that:

“The council of a municipality may delegate by by-law its power to grant permits for the alteration of property situated in a heritage conservation district designated under this Part to an employee or official of the municipality if the council has established a municipal heritage committee and consulted with it before the delegation.”

The *Ontario Heritage Act* does not allow for the delegation of Council’s authority to consent to demolition or removal of a building or structure, nor Council’s authority to deny an application.

HISTORICAL BACKGROUND

The subject property at 47 Markland Street (see Appendix “A” to Report PED19035) is located in the Durand-Markland HCD, designated by former City of Hamilton By-law No. 94-184, approved by the Ontario Municipal Board under Part V, Section 41, of the *Ontario Heritage Act* in 2001.

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The proposed lot is vacant with low-lying vegetation and mature trees (see Appendix “B” to Report PED19035). The applicant has applied for consent to facilitate the construction of a new, two storey, single detached brick dwelling (see Appendix “C” to Report PED19035). The HPRSC of the City of Hamilton Municipal Heritage Committee (HMHC) reviewed this application on December 18, 2018. The HPRSC supported the Site Plan (see Appendix “D” of Report PED19035) and the design of the new house, subject to the conditions recommended by staff.

On December 24, 2018, the applicant submitted applications to the Committee of Adjustment to sever the property to facilitate the construction of the proposed single detached dwelling (file # HM/B-18:159) and for a minor variance (file # HM/A-18:431) to reduce the parking space length and manoeuvring space requirements of the Zoning By-law. These applications are scheduled to be considered at the February 21, 2019 meeting of the Committee of Adjustment. At the time of preparation of this report, Planning staff, in addition to other commenting Divisions, Departments and Agencies have not completed their review of the severance application. Planning staff will provide an update at the Municipal Heritage Committee as to the staff comments and recommendations to the CofA on the proposed severance.

POLICY IMPLICATIONS AND LEGISLATED REQUIREMENTS

Urban Hamilton Official Plan (UHOP)

Volume 1, Section B.3.4 - Cultural Heritage Resources Policies of the Urban Hamilton Official Plan (UHOP) states that the City shall “protect and conserve the tangible cultural heritage resources of the City, including archaeological resources, built heritage resources, and cultural heritage landscapes” (Policy B.3.4.2.1(a)). The UHOP also states the following relevant policy goal: “ensure that all new development, site alterations, building alterations, and additions are contextually appropriate and maintain the integrity of all on-site or adjacent cultural heritage resources” (Policy B.3.4.1.3). The application conforms to the relevant UHOP policies.

Durand-Markland Heritage Conservation District - Guidelines for Conservation, Design and Landscaping

The Council-adopted Durand-Markland Heritage Conservation District Conservation, Design and Landscaping Guidelines (Section 4.4 – Construction of New Buildings) specifies that the construction of new buildings in the Durand-Markland HCD area should be confined to the construction of buildings on vacant lots and that new buildings must be designed to look appropriate and to be compatible in the midst of the established neighbourhood. However, new construction should be of contemporary design sympathetic to, but not attempt to replicate, existing heritage buildings or styles

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(Sub-Section 4.4.1). Sub-Sections 4.4.2 – 4.4.9 provide detailed guidance for new construction, as follows:

“Height: Two-and a-half storey dwellings are the most dominate in the Durand-Markland HCD; however, the height of the new dwelling should maintain the building height of adjacent properties and the immediate streetscape.”

“Width: The width of new build should be proportional to the lot size and style of the building while respecting the building width and side yard spaces of adjacent properties and the immediate streetscape.”

The application meets the requirements of the Durand-Markland HCD, Design and Landscaping Guidelines.

RELEVANT CONSULTATION

Pursuant to Sub-sections 42(1) and 42(4.1) of the *Ontario Heritage Act*, the HMHC advises and assists Council on matters relating to Part V of the *Ontario Heritage Act*. At its meeting of December 18, 2018, the HPRSC considered this application, together with comments from staff and the applicant. The Sub-Committee supported the Site Plan (attached as Appendix “D” of Report PED19035), and the design of the new dwelling, subject to conditions (see Appendix “C” of Report PED19035).

ANALYSIS AND RATIONALE FOR RECOMMENDATION

A Heritage Permit Application has been submitted to permit the erection of a new two storey dwelling with driveway on a vacant lot fronting onto Markland Street.

Two key factors that are considered in the evaluation of any change affecting a heritage building, or its setting, are:

Displacement Effects - those adverse actions that result in the damage, loss or removal of valued heritage features; and,

Disruption Effects - those actions that result in detrimental changes to the setting or character of the heritage feature.

Displacement Effects:

The subject lot is currently vacant except for mature trees and a manicured garden consisting of shrubs, other low-lying vegetation and grass. The Site Plan (attached as Appendix “D” to Report PED19035) proposed as part of this application indicates that the mature tree located in the City boulevard on the west side of the proposed lot will

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SUBJECT: Heritage Permit Application HP2018-046, Under Part V of the Ontario Heritage Act, for the erection of a single detached dwelling at 47 Markland Street, Hamilton (PED19035) (Ward 2) - Page 6 of 9

remain while one mature tree located on the City boulevard on the east side of the lot will be removed. Additionally, one tree located in the east yard of the subject property will also be removed. This tree was recommended to be removed by an arborist as it is in poor health and poses a safety risk. The mature trees in the middle and rear of the property will be retained. The existing front yard and side yard manicured gardens will be removed and replaced with a side yard planting strip running along the east property line. Raised planting beds are proposed along the width of the dwelling on either side of the central walkway.

The overall displacement effects of the proposal are minimal and are not expected to have an impact on the heritage character of the streetscape.

Disruption Effects:

The new infill construction will impact the Markland streetscape and the Durand-Markland HCD through the addition of a new single detached dwelling in a previously landscaped open space. However, the proposed design and siting of the new dwelling is consistent with the character of the Durand-Markland HCD in terms of lot layout, building width, height, roof pitch and massing.

The proposed design and materials of the new dwelling will be contemporary in nature and will not replicate a style from a different historical era. The design will incorporate features that are sympathetic to the character of the area including:

- copper shingled side gable roof;
- dark grey brick façade;
- wood front door with transom and sidelight;
- stone foundation and landscape wall;
- central walkway leading to the front door;
- vertically oriented windows with radiating voussoirs and lintel; and,
- copper recessed gutters and downspout.

The style of the proposed dwelling has a simple, symmetrical Georgian appearance that does not compete with the detailed ornamentation and prominence of neighbouring homes within the Durand-Markland HCD. Similarly, the proposed height of two storeys is less than the two and a half storey neighbouring dwellings and the proposed front yard setback is equivalent to the front yard setback of the neighbouring home at 45 Markland Street. The front portion of the dwelling that is visible from the street has a rectangular plan with a width that is similar to neighbouring properties along Markland Street (see Appendix “D” to Report PED19035).

The Site Plan (attached as Appendix “D” to Report PED19035) indicates that there will be a planting strip along the eastern property line. This is a common front yard

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treatment on many of the properties along Markland Street which will be effective in providing a clear definition of the property extent from the street and in creating interest to the pedestrian environment.

It is common for existing properties along Markland Street to have driveways that are located to one side of the dwelling, leaving approximately two-thirds of the front yard width as softscaping. The softscaping is typically bisected by a central walkway leading to the front entrance. The Site Plan (attached as Appendix "D" to Report PED19035) for the subject proposal shows a 6.1 metre, two car wide driveway located along the east half of the dwelling next to a one metre central walkway. As a result, approximately half the front yard width on the east side is hardscaping.

At its meeting of December 18, 2018, the HPRSC considered the application and supported the proposed Site Plan and design of the new dwelling. The HPRSC expressed concern that the proposed two car driveway will have a significant visual impact on the character of the heritage streetscape due to the driveway width and an overall large area of grey hardscaping concentrated on the east side of the property. The HPRSC recommended that the applicant work with Staff to mitigate the impact of the paved, double car driveway at the front of the dwelling.

The applicant has met with Staff and is proposing to reduce the driveway width from 6.1 metres to 5.4 metres which is the minimum permitted in the Zoning By-law. A revised rendering of the front elevation was submitted by the applicant (attached as Appendix "E" to Report PED19035). In order to break up the concentration of hardscaping formed by the driveway and abutting pathway, the applicant is proposing to reduce the width of the front pathway to introduce additional landscaping in between the east side of the driveway and pathway. The applicant is also proposing to reduce the degree of grey tones by utilizing an asphalt surface treatment with an earth tone instead of concrete. Recommendation (a) of Report PED19035 is consistent with the HPRSC advice and recommendation.

This application is for the construction of a new dwelling on a vacant lot and requires approval by the Planning Committee and Council, as advised by the HMHC. Staff recommend that any minor changes to the plans and elevations following approval shall be submitted, to the satisfaction and approval of the Director of Planning and Chief Planner, prior to submission as part of any application for a Building Permit (see Recommendation (b)). It is also recommended that the Heritage Permit have an expiry date of March 31, 2021 (see Recommendation (c) of Report PED19035). An expiry date of two years after approval is standard on all approved Heritage Permits, and the March 31, 2021, date will reflect the expected end date of the new construction.

The construction of the proposed dwelling as presented in this application is dependent on the approval of the severance application (file # HM/B-18:159) and minor variance

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application (file # HM/A-18:431) scheduled to be considered by the Committee of Adjustment on February 21, 2019. Should either of these Committee of Adjustment applications be denied or approved with conditions that would result in changes to the subject proposal, a revised or new Heritage Permit application may be required.

Staff recommend approval of Heritage Permit Application HP2018-046, as per the recommendations of Report PED19035.

ALTERNATIVES FOR CONSIDERATION

1. Deny the Heritage Permit Application.

HMHC may advise Council to deny this application in its entirety. This is not being recommended as the application is in character with the built heritage landscape of the Durand-Markland HCD and conforms to the Durand-Markland HCD Guidelines that permit the erection of new dwellings and other site alterations which are sympathetic to the existing building fabric and maintain the character of the Durand-Markland HCD.

2. Approve the Heritage Permit Application with additional or amended conditions.

HMHC may advise Council to approve this application with additional or amended conditions of approval, as appropriate. This is not being recommended.

3. Approve the Application with No Conditions.

HMHC may advise Council to approve this application with no conditions. This alternative is not recommended, as it would prevent staff review of additional details to ensure that the application approval will result in high-quality construction and the implementation of the project design, as submitted.

ALIGNMENT TO THE 2016 – 2025 STRATEGIC PLAN

Built Environment and Infrastructure

Hamilton is supported by state of the art infrastructure, transportation options, buildings and public spaces that create a dynamic City.

Culture and Diversity

Hamilton is a thriving, vibrant place for arts, culture, and heritage where diversity and inclusivity are embraced and celebrated.

APPENDICES AND SCHEDULES ATTACHED

Appendix "A" - Location Map

Appendix "B" - Image of Subject Property

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Appendix "C" - Elevations – Submitted by Applicant, Dec. 12, 2018

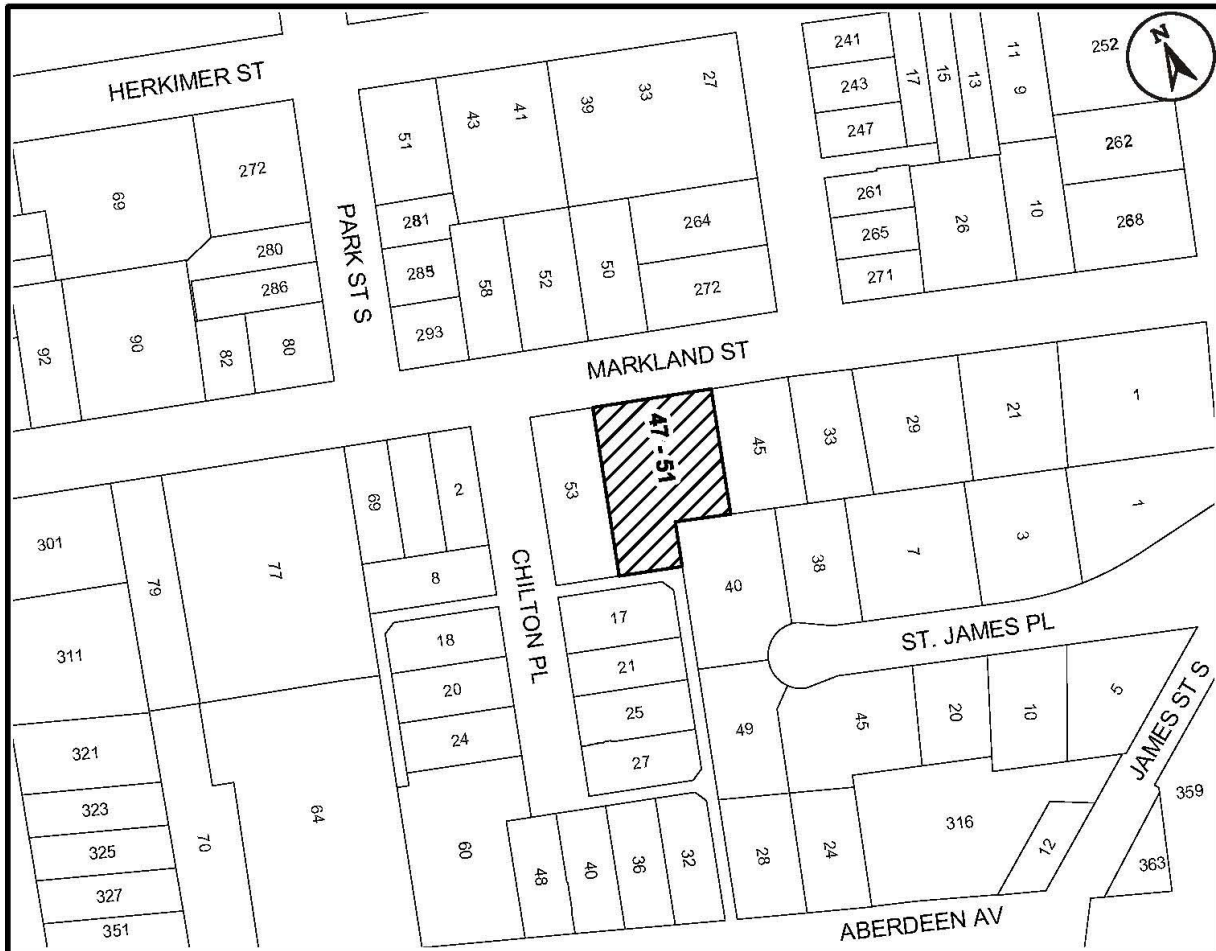
Appendix "D" - Site Plan – Submitted by Applicant, Dec. 12, 2018

Appendix "E" - Revised Front Rendering – Submitted by Applicant. Jan. 22, 2019

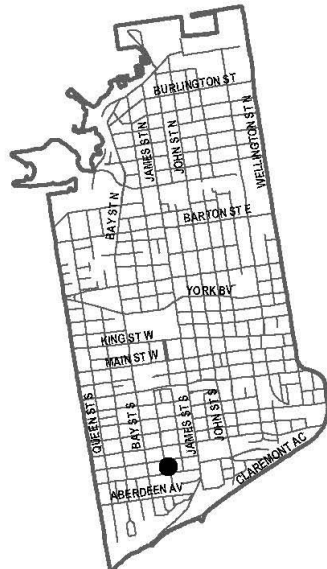
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● Site Location



Key Map - Ward 2

N.T.S. 

Location Map



PLANNING AND ECONOMIC DEVELOPMENT DEPARTMENT

File Name/Number:
HP2018-046

Date:
January 21, 2019

Appendix "A"

Scale:
N.T.S.

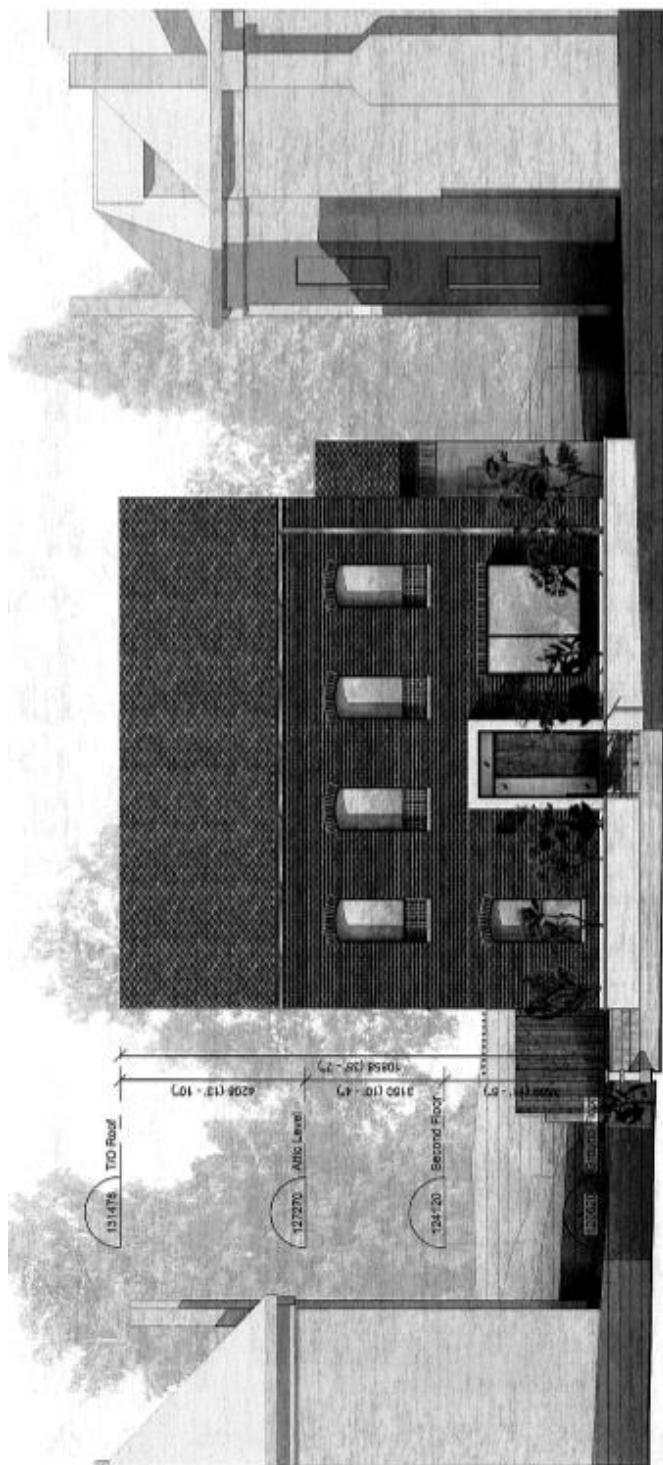
Planner/Technician:
MB/AL

Subject Property

 47 - 51 Markland Street



47 Markland Street - Vacant Lot



north exterior elevation

INSTITUTIONAL COMPLIANT
 2016 IBC MECHANICAL CODE
 2016 IBC MECHANICAL CODE
 2016 IBC MECHANICAL CODE

CPAI
 905-522-0220
 info@cpai.ca
 25 main st. suite 1800
 hamilton, ON L8P 1M1

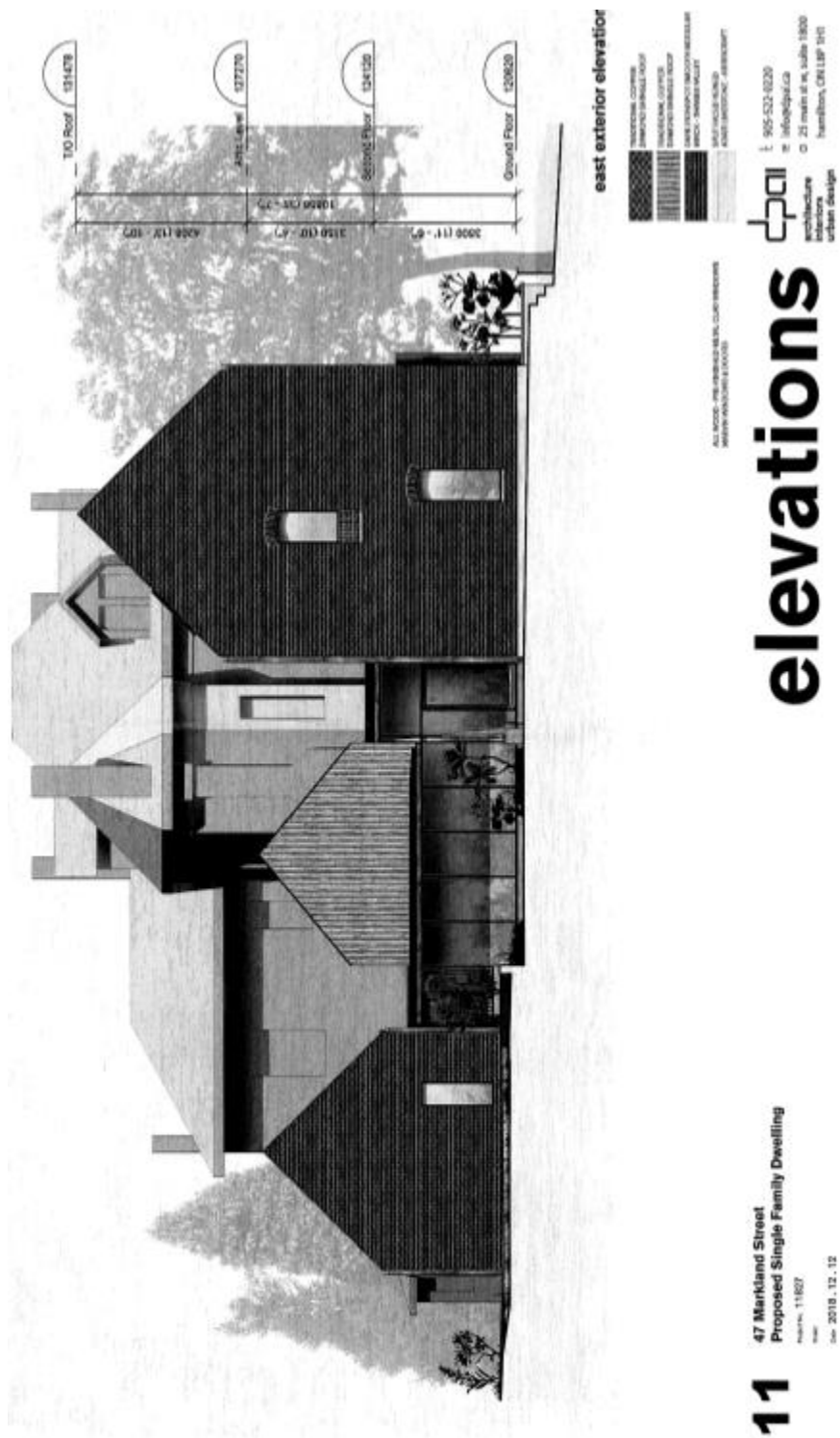
ALL WORK TO BE DONE PER LOCAL CLASH RESOLUTION AND MECHANICAL REQUIREMENTS

elevations

10 47 Markland Street
 Proposed Single Family Dwelling

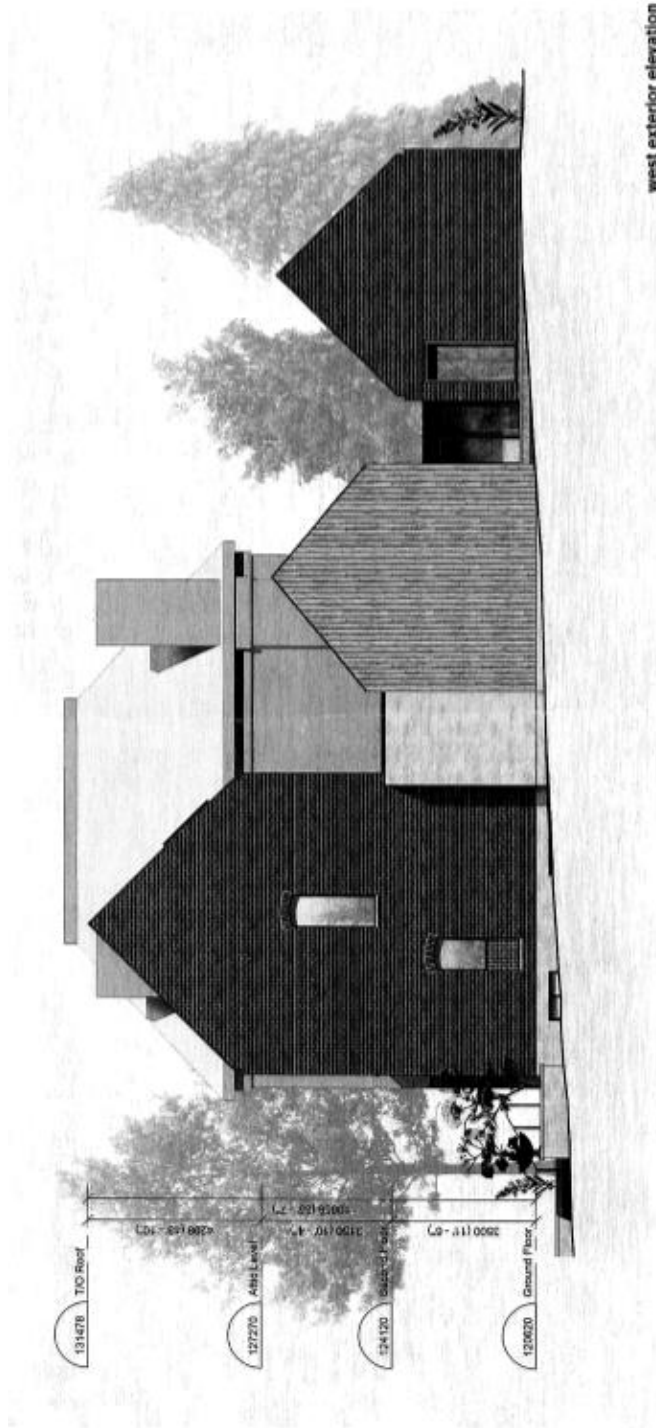
Project No. 11827
 Date: 2018-10-15

Front (North) Elevation



11 47 Markland Street
Proposed Single Family Dwelling
Project No. 11827
Date: 2018.12.12

East side Elevation



west exterior elevation

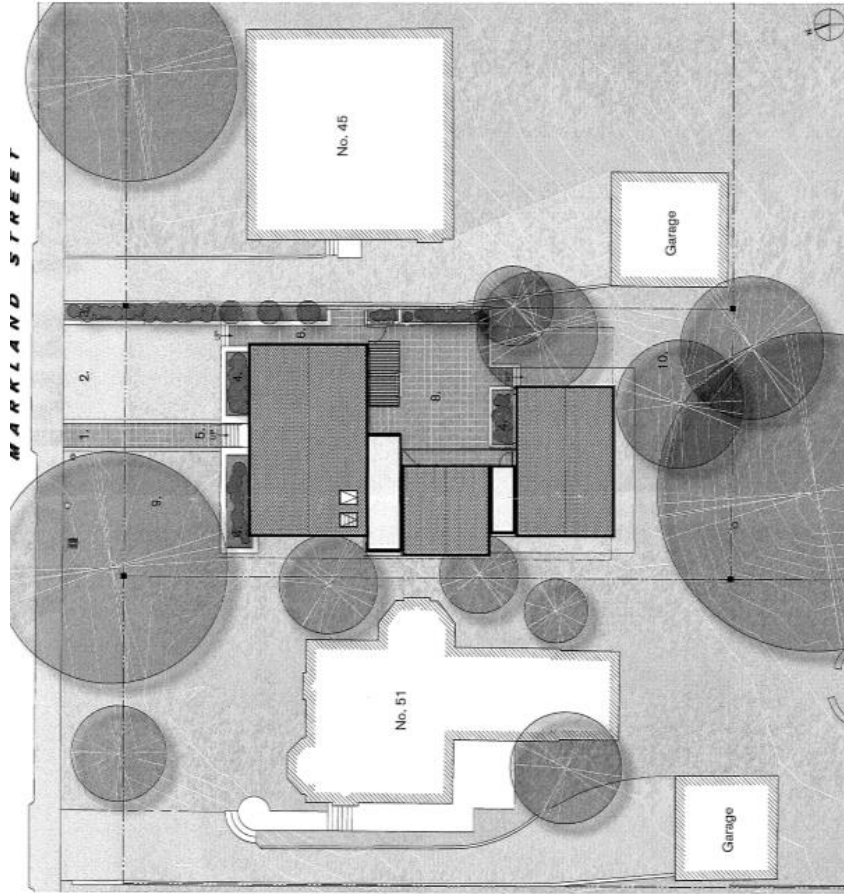
ARCHITECTURE BY
CPDI
 CONSULTING PARTNERS
 25 MAIN ST. SUITE 1800
 HAMFORD, CT 06430-1011
 TEL: 860-532-6226
 FAX: 860-532-6228
 WWW.CPDI.COM

ALL IMAGES REPRESENTATIVE CLIENT PROVISIONS
 EXCEPT WHERE SHOWN OTHERWISE

elevations

12 47 Markland Street
 Proposed Single Family Dwelling
 Project No. 11827
 Date: 08/18/18
 Rev: 2018-12-12

West Side Elevation



- Legend**
- 1. Stone Walk
 - 2. Driveway
 - 3. Planting
 - 4. Raised Planting Bed
 - 5. Formal Front Entry
 - 6. Rear Walk
 - 7. Rear Entry
 - 8. Courtyard Garden
 - 9. Front Garden
 - 10. Woodland Garden
 - 11. Garden Storage

dpa
 architecture
 urban design

t 905-522-0220
 e info@dpai.ca
 25 main st w, suite 1800
 hamilton, ON L8P 1H1

site plan

47 Markland Street
Proposed Single Family Dwelling

Project No. 11827
 Scale:
 Date 2018.12.12



Revised Front (North) Rendering



Heritage Day Awards

The annual City of Hamilton Heritage Day Awards Ceremony is a partnership between the City of Hamilton and the Hamilton-Wentworth Heritage Association. The public are welcome to attend the ceremony and heritage fair.

The City of Hamilton Tourism and Culture Division sponsors and facilitates three heritage awards presented at the event, as well as announcing the results of the Famous Hamiltonian of the Year as voted by Hamiltonians:

- The Susan E. Bennetto History Student Recognition Awards (for grades 11 & 12 students)
- The History Student of the Year Award (selected from among Bennetto recipients)
- The Reverend T. Melville Bailey Heritage Award for Lifetime Achievement

Nomination forms

[Bennetto & History Student of the Year](https://d3fpllf1m7btt3.cloudfront.net/sites/default/files/media/browser/2017-11-10/bennetto-award-form-v4.pdf) (<https://d3fpllf1m7btt3.cloudfront.net/sites/default/files/media/browser/2017-11-10/bennetto-award-form-v4.pdf>) (PDF. 294.42 KB)

[Reverend T. Melville Bailey Heritage Award](https://d3fpllf1m7btt3.cloudfront.net/sites/default/files/media/browser/2017-11-10/tm-bailey-award-form-v3.pdf) (<https://d3fpllf1m7btt3.cloudfront.net/sites/default/files/media/browser/2017-11-10/tm-bailey-award-form-v3.pdf>) (PDF 1.84 MB)

Don't forget to also cast your vote for Famous Hamiltonian of 2018

www.hamilton.ca/FamousHamiltonian ([/attractions/culture/2019-famous-hamiltonian-battle-bricks](http://www.hamilton.ca/FamousHamiltonian))

Or call 905-546-2424 x4688 to speak with staff.

Heritage Day Awards Event

Date: Saturday, February 23, 2019

Time: Awards ceremony 12:15 pm

Location: City Hall Council Chambers, 71 Main Street West.

Heritage volunteer associations interpretive displays in the foyer 10 am to 12 noon. A reception with light refreshments follows the ceremony.

Join us and help raise awareness of Hamilton's rich history and heritage, and celebrate the achievements of those who work to preserve it.

Date modified: 2018-12-20 11:36

HERITAGE DAY(S) 2019

Friday, February 23 & Saturday, February 24

TABLE RESERVATION FORM

This year displays can be set up for two days, allowing more members of the public and city staff to view them. All tables do not need to be staffed on Friday: a small band of volunteers will be available to 'man' the floor. Tables can remain in place for Saturday however it is suggested that all valuables be removed at the end of the day on Friday.

A limited number of tables are available at no charge for displays.

The tables will be set up on the 2nd floor of City Hall, outside the Council Chambers.

Tables are for current members of the Hamilton-Wentworth Heritage Association (HWWHA). Please ensure that your membership form and fee have been submitted.

Fill out this form and return it to hwheritage@gmail.com to reserve a table.

For those wishing to participate for both days setup can be done on Thursday from 4:30 to 5:30 or on Friday starting at 8:30 am. There is no free parking on Thursday or Friday.

Setup will begin at 9 am on Saturday. Free parking will be available on the second level (off Hunter Street) behind City Hall starting at 9 am.

If a member of your organization is able to assist with Heritage Day (setting up, staffing the area, take down after the event, seating guests, serving refreshments, etc.) please indicate that on this form or send an e-mail to the executive at hwheritage@gmail.com.

Name of Organization	
Contact Name	
E-mail address	
Phone number	
When can you help?	



Return this form to: HWHeritage@gmail.com

Inventory and Research Working Group Year End Review for 2018

During 2018 the Inventory/Research Working Group has continued to fulfill its mandate to review and recommend properties proposed for the City of Hamilton Register of non-designated properties of heritage/cultural interest and/or value as well as making recommendations to HMHC for staff to complete cultural heritage assessments to determine whether properties are viable candidates for designation. In support of staff, the working group has participated in a pilot of a revised Built Heritage Inventory and Preliminary Evaluation Form. All submissions now use a common format and meet the same standard for required information in support of requests for Designation or addition to the City Register.

In 2016 the HMHC requested that the Inventory/Research Working Group undertake the development of an Inventory of Significant Places of Education in the City of Hamilton. This project was deferred in the fall of 2018 in lieu of updating the Inventory of Significant Places of Worship. It is anticipated this later project will be completed in the late spring/early summer of 2019 and that approval is given by the new Hamilton Municipal Heritage Committee to complete the Significant Places of Education project.

On behalf of all the volunteers of the Inventory/Research Working Group, we very much appreciate the opportunity to contribute our time and energy over the past 4 years. It has been a rewarding experience.

Ron Sinclair
Chair
Inventory/Research Working Group

11.1

CITY OF HAMILTON M O T I O N

HMHC Date: February 21, 2019

MOVED BY COUNCILLOR

SECONDED BY COUNCILLOR

Dunnington-Grubb Gardens, 1000 Main Street East

WHEREAS, the Hamilton Municipal Heritage Committee has received a verbal update respecting the Dunnington-Grubb Gardens, and

WHEREAS, the property known as Gage Park is currently on staff’s work plan for Designation

THEREFORE BE IT RESOLVED:

- (a) That the Hamilton Municipal Heritage Committee recommends that Gage Park remain as a historic passive Victorian park;
- (b) That the preservation and conservation of Dunnington-Grubb Gardens continue;
- (c) That the Hamilton Municipal Heritage Committee recommends that Gage Park continue to be used for educational programs geared towards youth, post-secondary students and potential tourism programs;
- (d) That the Hamilton Municipal Heritage Committee support “non-financial” initiatives of the Friends of Gage Park and the Dunnington-Grubb Gardens Foundation; and
- (e) That City staff continue their engagement with the Friends of Gage Park and Dunnington-Grubb Gardens Foundation.