



City of Hamilton
COMMITTEE OF ADJUSTMENT
AGENDA

Meeting #: 20-08
Date: August 6, 2020
Time: 1:00 p.m.
Location: Room 264, 2nd Floor, City Hall
71 Main Street West

Jamila Sheffield, Secretary Treasurer (905) 546-2424 ext. 3935

	Pages
1. PREVIOUSLY TABLED	
2. RURAL	
2.1 1:15 p.m.DN/A-20:87236 Old Guelph Rd., Dundas (Ward 13) Agent Lisa Cockwell - Owner Luis Santurio	5
2.2 1:20 p.m.DN/A-20:883 Janis Court, Dundas (Ward 13) Agent J.H. Cohoon Eng. c/o B. Wybenga Owner Susan Frasson	23
2.3 1:25 p.m.FL/A-20:1297 Greenwood Court, Flamborough (Ward 13) Owner Ronald Nicholson	37
2.4 1:30 p.m.FL/A-20:89182 11th Con. Rd. E., Flamborough (Ward 15) Agent SMPL Design c/o Lindsey Bruce Owner Tyler Porteous	69
2.5 1:35 p.m.GL/A-20:908010 Dickenson Rd. W., Glanbrook (Ward 11) Agent Len Angelici Design Inc. Owner Gianni Smerilli	77

2.6	1:40 p.m.SC/A-20:91267 Upper Centennial Pkwy., Stoney Creek (Ward 9) Agent Fothergill Planning	91
2.7	1:45 p.m.SC/A-20:130381 Mud St. E., Stoney Creek (Ward 9) Agent A-Team Alfonso Alaimo - Owner Pasquale Caterini	103
3.	URBAN	
3.1	1:50 p.m.HM/A-20:115210 Bond St. N., Hamilton (Ward 1) Owner Karen Schmidt	125
3.2	1:55 p.m.HM/A-20:12269 Melbourne St. (Ward 1) SMPL Design c/o Lindsey Bruce Owner Dan Corcoran	139
3.3	2:00 p.m.HM/A-20:124801 King St. W. (Ward 1) Agent Sam Esposito - Owner 1649626 Ontario Inc.	149
3.4	2:05 p.m.HM/A-20:12054 Robins Ave.(Ward 4) Agent Katerina Semenova Owner Nikolas Wagner	185
3.5	2:10 p.m.HM/A-19:4622782 Barton St. E., Hamilton (Ward 2) Agent AJ Clarke & Associates Franz Kloibhofer Owner LJM Developments Inc.	201
3.6	2:15 p.m.HM/B-20:33225 Sherman Ave. S. (Ward 3) Agent FIJ Law David Merrovici Owner Peter Martin	227
3.7	2:20 p.m.HM/A-20:117302 Cumberland Ave. (Ward 3) Agent UrbanSolutions Matt Johnston Owner Gateway Solutions Charles Wah	245
3.8	2:25 p.m.HM/A-20:12311 Fairleigh Ave. N. (Ward 3) Agent Ken Bekendam Owner Inderjit Sian	259
3.9	3:00 p.m.SC/B-20:34860 Queenston Rd. (Ward 5) Agent GSP Sarah Knoll Owner Silver Creek Business Park	279

3.10 3:05 p.m.HM/A-20:119352 Beach Blvd. (Ward 5) 297
Agent Carol Tsang Owner Linda Chick

4. SUBURBAN

4.1 3:10 p.m.HM/A-20:116988 Concession S., Hamilton (Ward 6) 315
Owner Alan and Laurie Hurman

4.2 3:15 p.m.HM/B-20:35 386 East 25th St. (Ward 7) 329
Agent AJ Clarke & Associates Stephen Fraser Owner 2628934 Ontario Inc.

4.3 3:15 p.m.HM.A.20.126386 East 25th St. (Ward 7) 365
Agent AJ Clarke & Associates Stephen Fraser Owner 2628934 Ontario Inc.

4.4 3:20 p.m.HM.A.20.12873 Salem Ave. (Ward 7) 393
Agent Darren Voros Owner 9681833 Canada Inc. c/o Darren Voros

4.5 3:25 p.m.SC/A-20:127 20 Sauvignon Cres. (Ward 10) 403
Agent 5000933 Ontario Inc. Owner UrbanCore Developments

4.6 3:30 p.m.AN/B-20:3646 Roselawn Ave. (Ward 12) 415
Agent Gerry Gatto Owner Justin Devries

4.7 3:35 p.m.AN/B-20:37 657 Mohawk Rd. (Ward 12) 429
Agent UrbanSolutions c/o Matt Johnston Owner Peter Montour

4.8 3:35 p.m.AN/A-20:131657 Mohawk Rd. (Ward 12) 445
Agent UrbanSolutions c/o Matt Johnston Owner Peter Montour

4.9 3:40 p.m.AN/A-20:6753 Bittern St., Ancaster (Ward 12) 457
Agent Abcott Construction Owner 1622189 Ontario Inc.

5. CLOSED

6. ADJOURNMENT



Hamilton

COMMITTEE OF ADJUSTMENT

City Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5
 Telephone (905) 546-2424, ext. 4221, 3935 Fax (905) 546-4202
 E-mail: cofa@hamilton.ca

NOTICE OF PUBLIC HEARING
Minor Variance

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
- Applicant/agent on file, or
- Person likely to be interested in this application

APPLICATION NO.: DN/A-20:87

APPLICANTS: Owner: Luis Sanurio
 Agent: Lisa Cockwell

SUBJECT PROPERTY: Municipal address **236 Old Guelph Rd., Dundas**

ZONING BY-LAW: Zoning By-law 3581-86, as Amended by By-law 4066-93

ZONING: RU/S-58 (Rural) district

PROPOSAL: To permit a 24 square metre 1-storey addition to the rear of an existing single detached dwelling notwithstanding that:

1. An addition to a legally existing single detached dwelling is not permitted in the RU/S-58 zone.
2. A minimum lot area of 0.19 hectares (1923 square metres) shall be permitted instead of the minimum lot area of 0.8 hectares (8000 square metres) required.

NOTE:

1. The rear deck noted on plans has not been reviewed for zoning compliance as insufficient details were provided for a full zoning review. Should the rear yard deck not be in compliance with Dunas Zoning By-law 3581-86, further variances will be required.

This application will be heard by the Committee as shown below:

DATE: Thursday, August 6th, 2020
TIME: 1:15 p.m.
PLACE: Via video link or call in (see attached sheet for details)
To be streamed at www.hamilton.ca/committeeofadjustment for viewing purposes only

PUBLIC INPUT

Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

Orally: If you would like to speak to this item at the hearing you may do so via video link or by calling in. Please see attached page for complete instructions, including deadlines for registering to participate.

DN/A-20:87

Page 2

MORE INFORMATION

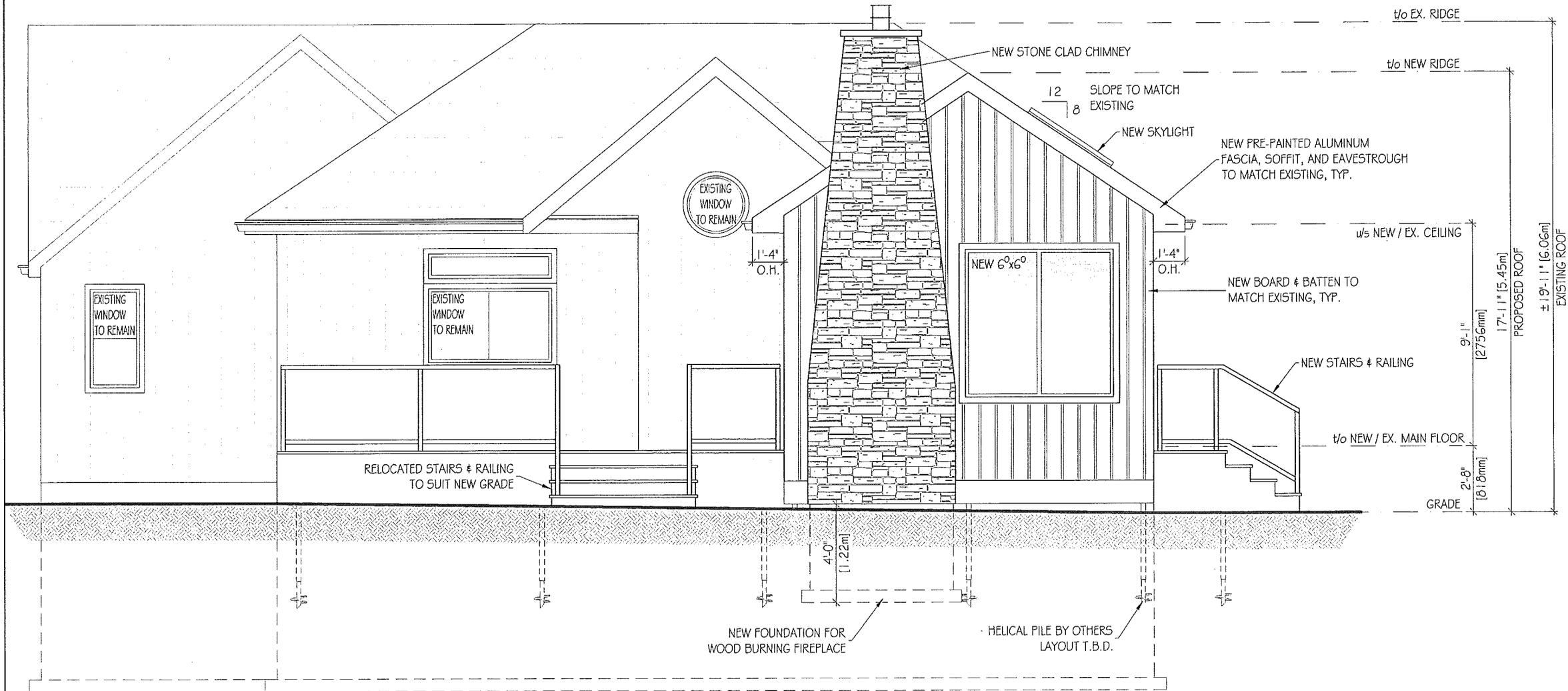
For more information on this matter, including access to drawings illustrating this request:

- Visit www.hamilton.ca/committeeofadjustment
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935
- Email Committee of Adjustment staff at cofa@hamilton.ca

DATED: July 21st, 2020

Jamila Sheffield,
Secretary-Treasurer
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public.



**THIS DRAWING IS NOT
TO BE USED AS PART OF A
BUILDING PERMIT
APPLICATION**

**THIS DRAWING IS FOR
DISCUSSION PURPOSES
ONLY**

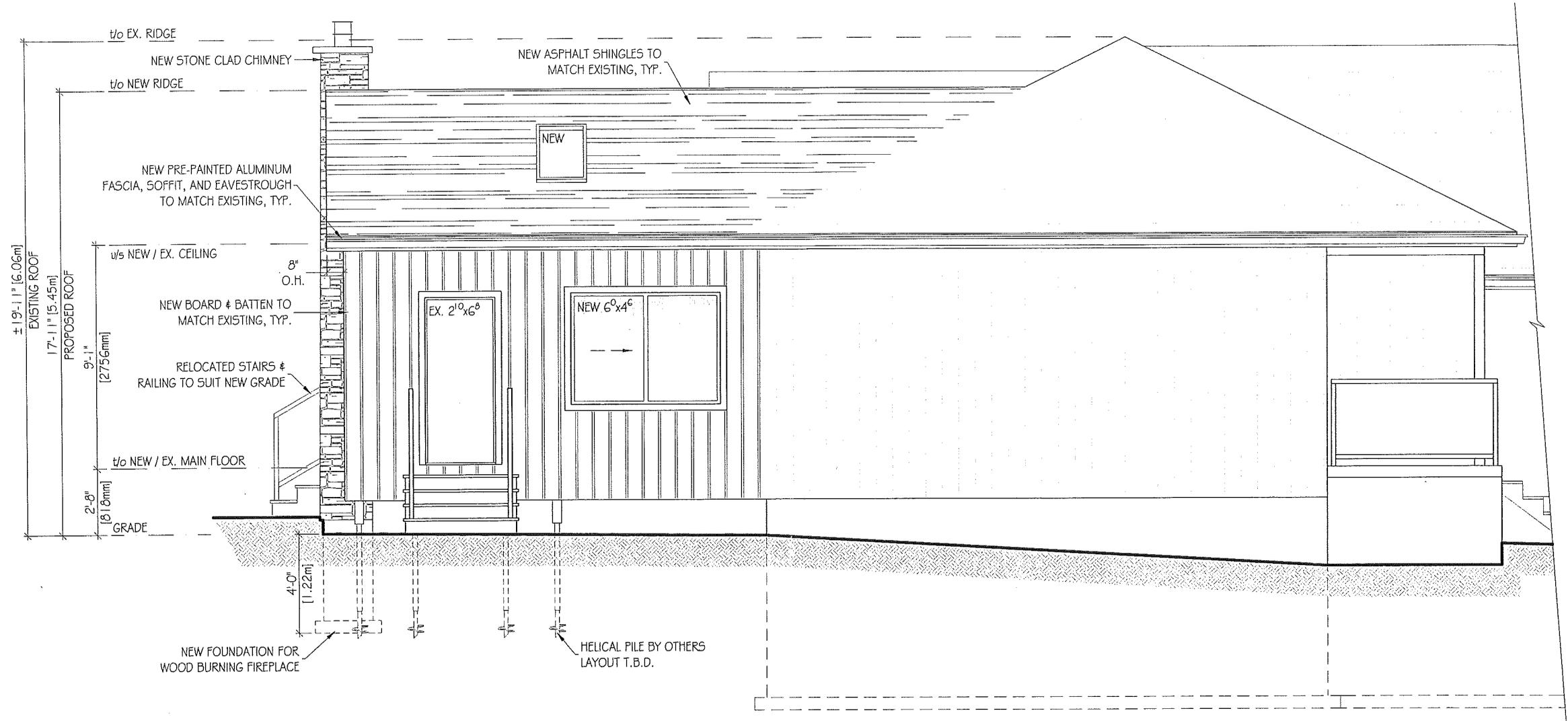
CHARLES LINSEY & ASSOCIATES LIMITED

37 MAIN STREET SOUTH, TEL: (905) 548-7607
PO Box 1479 INFO@CHARLESLINSEY.COM
WATERDOWN, ON L0R 2H0 WWW.CHARLESLINSEY.COM

client	HOME OWNER
project	236 OLD GUELPH ROAD DUNDAS, ONTARIO PROJECT No. XX-XXX

REV.	DESCRIPTION	DATE
0	FOR MINOR VARIANCE APPLICATION	FEB. 26/20

title	REAR (WEST) ELEVATION
drawn	G.D.
checked	C.L.&A.
date	FEBRUARY 2020
scale	1/4" = 1'-0"
revision number	0
drawing number	3



THIS DRAWING IS NOT TO BE USED AS PART OF A BUILDING PERMIT APPLICATION

THIS DRAWING IS FOR DISCUSSION PURPOSES ONLY

CHARLES LINSEY

& ASSOCIATES LIMITED

37 MAIN STREET SOUTH, TEL: (905) 548-7607
 PO Box 1479, INFO@CHARLESLINSEY.COM
 WATERDOWN, ON LOR 2H0, WWW.CHARLESLINSEY.COM

REV.	DESCRIPTION	DATE
0	FOR MINOR VARIANCE APPLICATION	FEB. 26/20

client	HOME OWNER		title	PARTIAL SIDE (SOUTH) ELEVATION	
project	236 OLD GUELPH ROAD DUNDAS, ONTARIO PROJECT No. XX-XXX		drawn	G.D.	checked C.L.&A.
			date	FEBRUARY 2020	scale 1/4" = 1'-0"
			revision number	0	drawing number 4



Hamilton

Planning and Economic Development Department
Planning Division

Committee of Adjustment
City Hall
5th floor 71 Main Street West
Hamilton, Ontario L8P 4Y5

Phone (905) 546-2424 ext.4221
Fax (905) 546-4202

PLEASE FILL OUT THE FOLLOWING PAGES AND
RETURN TO THE CITY OF HAMILTON PLANNING
DEPARTMENT.

RECEIVED

MAR 3 2020

FOR OFFICE USE ONLY.

APPLICATION NO. DN/A-20-87 DATE APPLICATION RECEIVED COM OF ADJUSTMENT

PAID _____ DATE APPLICATION DEEMED COMPLETE _____

SECRETARY'S SIGNATURE _____

CITY OF HAMILTON
COMMITTEE OF ADJUSTMENT
HAMILTON, ONTARIO

The Planning Act

Application for Minor Variance or for Permission

The undersigned hereby applies to the Committee of Adjustment for the City of Hamilton under Section 45 of the *Planning Act*, R.S.O. 1990, Chapter P.13 for relief, as described in this application, from the Zoning By-law.

1. Name of Owner LUIS SANTURIO Telephone N



3. Name of Agent LISA COCKWELL Telephone N



Note: Unless otherwise requested all communications will be sent to the agent, if any.

5. Names and addresses of any mortgagees, holders of charges or other encumbrances:

N/A

_____ Postal Code _____

_____ Postal Code _____

6. Nature and extent of relief applied for:
Applying to allow for an addition measuring 253.1ft² [23.5m²] to an existing single family dwelling

7. Why it is not possible to comply with the provisions of the By-law?
No additions are permitted to a legally existing Single Detached Dwelling in a RU/S-58 zone

8. Legal description of subject lands (registered plan number and lot number or other legal description and where applicable, street and street number):
236 OLD GUELPH ROAD, DUNDAS (PLEASANT VIEW)
RU/S-58 RURAL ZONE / EXCEPTION ZONE

9. PREVIOUS USE OF PROPERTY
- Residential _____ Industrial _____ Commercial _____
- Agricultural _____ Vacant _____
- Other _____
- 9.1 If Industrial or Commercial, specify use

- 9.2 Has the grading of the subject land been changed by adding earth or other material, i.e. has filling occurred?
 Yes _____ No _____ Unknown _____
- 9.3 Has a gas station been located on the subject land or adjacent lands at any time?
 Yes _____ No _____ Unknown _____
- 9.4 Has there been petroleum or other fuel stored on the subject land or adjacent lands?
 Yes _____ No _____ Unknown _____
- 9.5 Are there or have there ever been underground storage tanks or buried waste on the subject land or adjacent lands?
 Yes _____ No _____ Unknown _____
- 9.6 Have the lands or adjacent lands ever been used as an agricultural operation where cyanide products may have been used as pesticides and/or sewage sludge was applied to the lands?
 Yes _____ No _____ Unknown _____
- 9.7 Have the lands or adjacent lands ever been used as a weapon firing range?
 Yes _____ No _____ Unknown _____
- 9.8 Is the nearest boundary line of the application within 500 metres (1,640 feet) of the fill area of an operational/non-operational landfill or dump?
 Yes _____ No _____ Unknown _____
- 9.9 If there are existing or previously existing buildings, are there any building materials remaining on site which are potentially hazardous to public health (eg. asbestos, PCB's)?
 Yes _____ No _____ Unknown _____

9.10 Is there any reason to believe the subject land may have been contaminated by former uses on the site or adjacent sites?
 Yes No Unknown

9.11 What information did you use to determine the answers to 9.1 to 9.10 above?
OWNER KNOWLEDGE AND GOOGLE MAPS

9.12 If previous use of property is industrial or commercial or if YES to any of 9.2 to 9.10, a previous use inventory showing all former uses of the subject land, or if appropriate, the land adjacent to the subject land, is needed.

Is the previous use inventory attached? Yes No

ACKNOWLEDGEMENT CLAUSE

I acknowledge that the City of Hamilton is not responsible for the identification and remediation of contamination on the property which is the subject of this Application – by reason of its approval to this Application.

MARCH-11-2020
 Date



Signature Property Owner

LUIS F. SANTORIO
 Print Name of Owner

10. Dimensions of lands affected:
 Frontage 45.72m
 Depth 42.06m
 Area 1923.1m²
 Width of street 6.75m

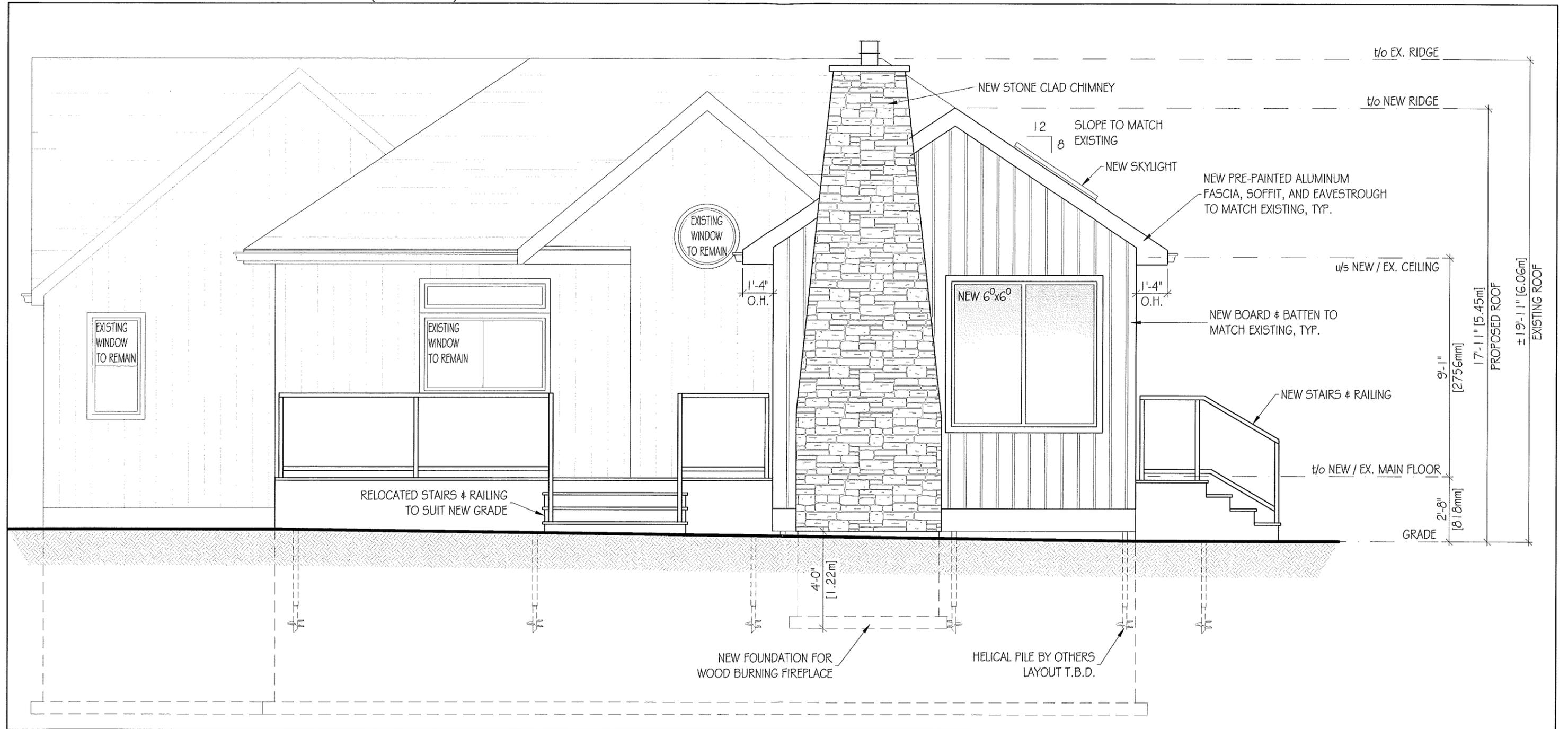
11. Particulars of all buildings and structures on or proposed for the subject lands:
 (Specify ground floor area, gross floor area, number of stories, width, length, height, etc.)
 Existing: GROUND FLOOR AREA = 154.1m², GROSS FLOOR AREA = 284.8m²

(1) STOREY, 5.8m HEIGHT, 13.7m x 17.04m
EXISTING SHED = 2.74m x 4.27m, 2.3m HEIGHT

Proposed: GROUND FLOOR AREA = 177.6m²
GROSS FLOOR AREA = 308.3m²
ADDITION = (1) STOREY, 5.5m HEIGHT, 4.57m x 5.49m

12. Location of all buildings and structures on or proposed for the subject lands;
 (Specify distance from side, rear and front lot lines)
 Existing: EXISTING DWELLING: FRONT 10.18m, REAR 14.52m
SIDE (SOUTH) 10.03m, SIDE (NORTH) 21.92m
EXISTING SHED: REAR 2.08m, SIDE (SOUTH) 5.89m

Proposed: PROPOSED ADDITION: FRONT 27.22m, REAR 9.35m
SIDE (SOUTH) 10.03m, SIDE (NORTH) 31.12m



**THIS DRAWING IS NOT
TO BE USED AS PART OF A
BUILDING PERMIT
APPLICATION**

**THIS DRAWING IS FOR
DISCUSSION PURPOSES
ONLY**

CHARLES LINSEY

& ASSOCIATES LIMITED

37 MAIN STREET SOUTH, TEL: (905) 548-7607
PO Box 1479, INFO@CHARLESLINSEY.COM
WATERDOWN, ON L0R 2H0, WWW.CHARLESLINSEY.COM

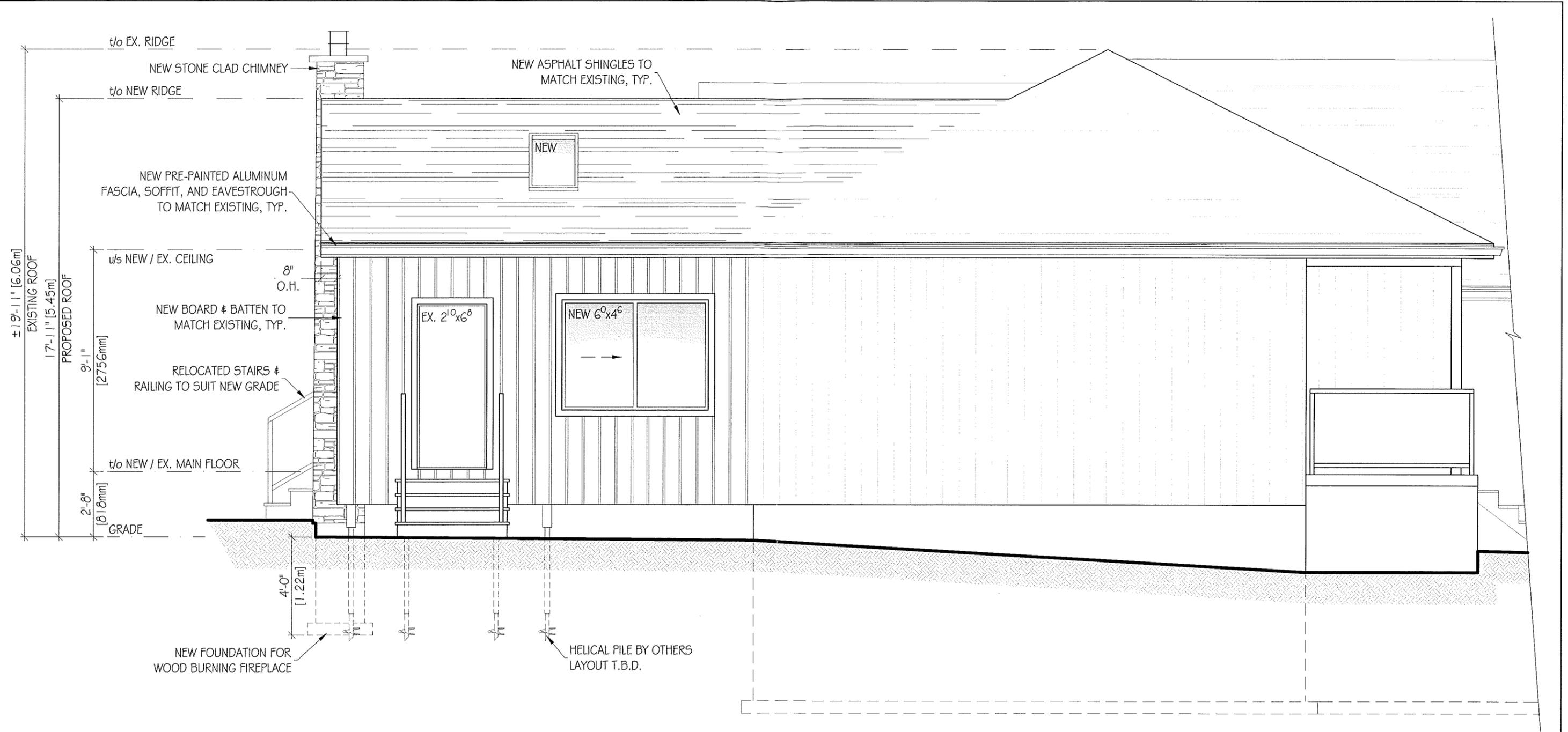
client
HOME OWNER

project
**236 OLD GUELPH ROAD
DUNDAS, ONTARIO**
PROJECT No. XX-XXX

REV.	DESCRIPTION	DATE
0	FOR MINOR VARIANCE APPLICATION	FEB. 26/20

title
REAR (WEST) ELEVATION

drawn	G.D.	checked	C.L.&A.
date	FEBRUARY 2020	scale	1/4" = 1'-0"
revision number	0	drawing number	3



**THIS DRAWING IS NOT
TO BE USED AS PART OF A
BUILDING PERMIT
APPLICATION**

**THIS DRAWING IS FOR
DISCUSSION PURPOSES
ONLY**

CHARLES LINSEY

& ASSOCIATES LIMITED

37 MAIN STREET SOUTH, TEL: (905) 549-7607
 PO Box 1479, INFO@CHARLESLINSEY.COM
 WATERDOWN, ON L0R 2H0, WWW.CHARLESLINSEY.COM

client	HOME OWNER
project	236 OLD GUELPH ROAD DUNDAS, ONTARIO PROJECT No. XX-XXX

REV.	DESCRIPTION	DATE
0	FOR MINOR VARIANCE APPLICATION	FEB. 26/20

title		PARTIAL SIDE (SOUTH) ELEVATION	
drawn	G.D.	checked	C.L.&A.
date	FEBRUARY 2020	scale	1/4" = 1'-0"
revision number	0	drawing number	4

CHARLES LINSEY

& ASSOCIATES LIMITED

37 MAIN STREET SOUTH,
PO BOX 1479
WATERDOWN, ON L0R 2H0

TEL: (905) 548-7607
INFO@CHARLESLINSEY.COM
WWW.CHARLESLINSEY.COM



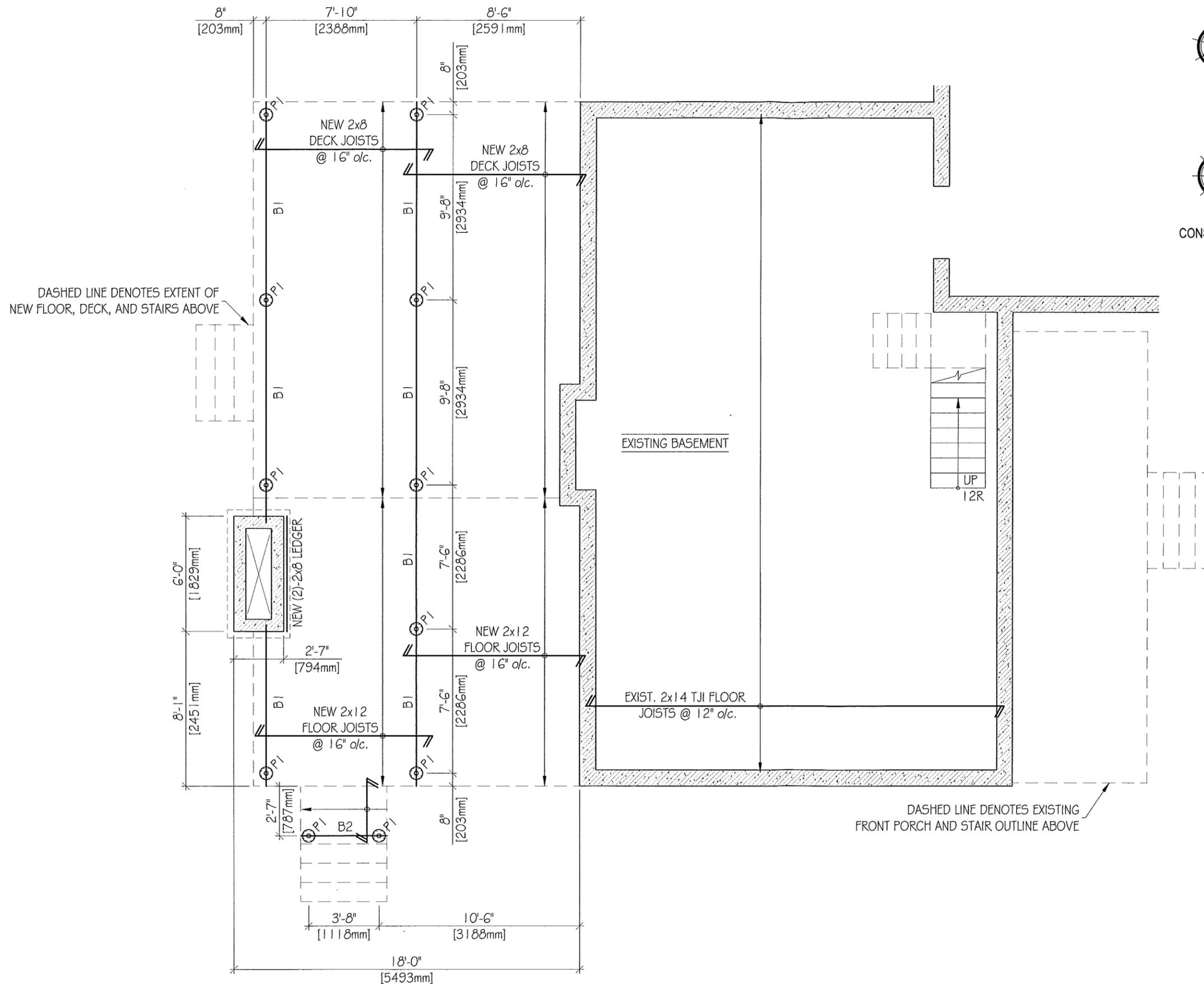
TRUE



CONSTRUCTION

**THIS DRAWING IS NOT
TO BE USED AS PART OF A
BUILDING PERMIT
APPLICATION**

**THIS DRAWING IS FOR
DISCUSSION PURPOSES
ONLY**



REV.	DESCRIPTION	DATE
0	FOR MINOR VARIANCE APPLICATION	FEB. 26/20

client
HOME OWNER

project
**236 OLD GUELPH ROAD
DUNDAS, ONTARIO**
PROJECT No. XX-XXX

title
PARTIAL FOUNDATION PLAN

drawn	G.D.	checked	C.L.&A.
date	FEBRUARY 2020	scale	3/16" = 1'-0"
revision number	0	drawing number	6

CHARLES LINSEY

& ASSOCIATES LIMITED

37 MAIN STREET SOUTH,
PO BOX 1479
WATERDOWN, ON LOR 2H0

TEL: (905) 548-7607
INFO@CHARLESLINSEY.COM
WWW.CHARLESLINSEY.COM



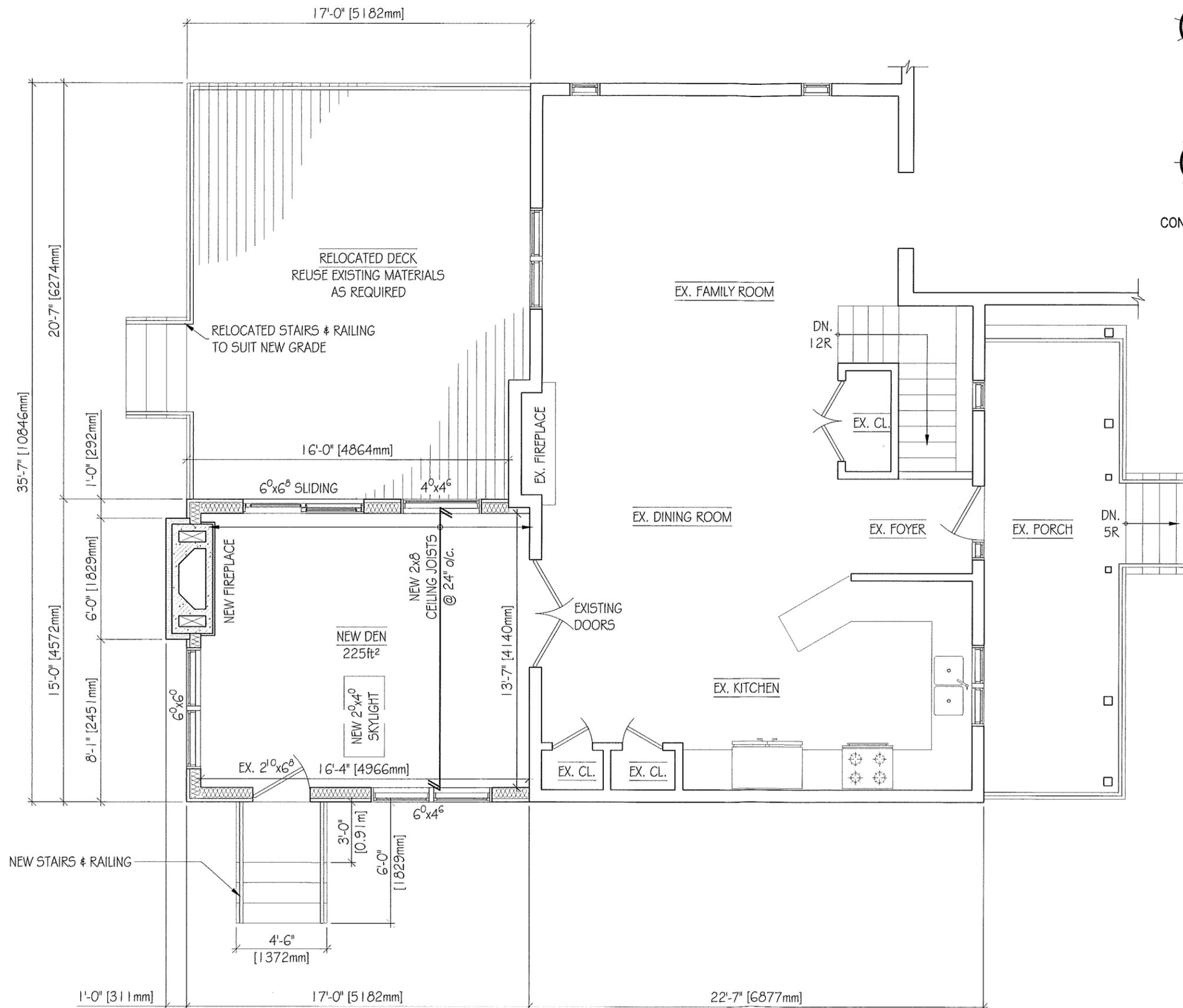
TRUE



CONSTRUCTION

**THIS DRAWING IS NOT
TO BE USED AS PART OF A
BUILDING PERMIT
APPLICATION**

**THIS DRAWING IS FOR
DISCUSSION PURPOSES
ONLY**



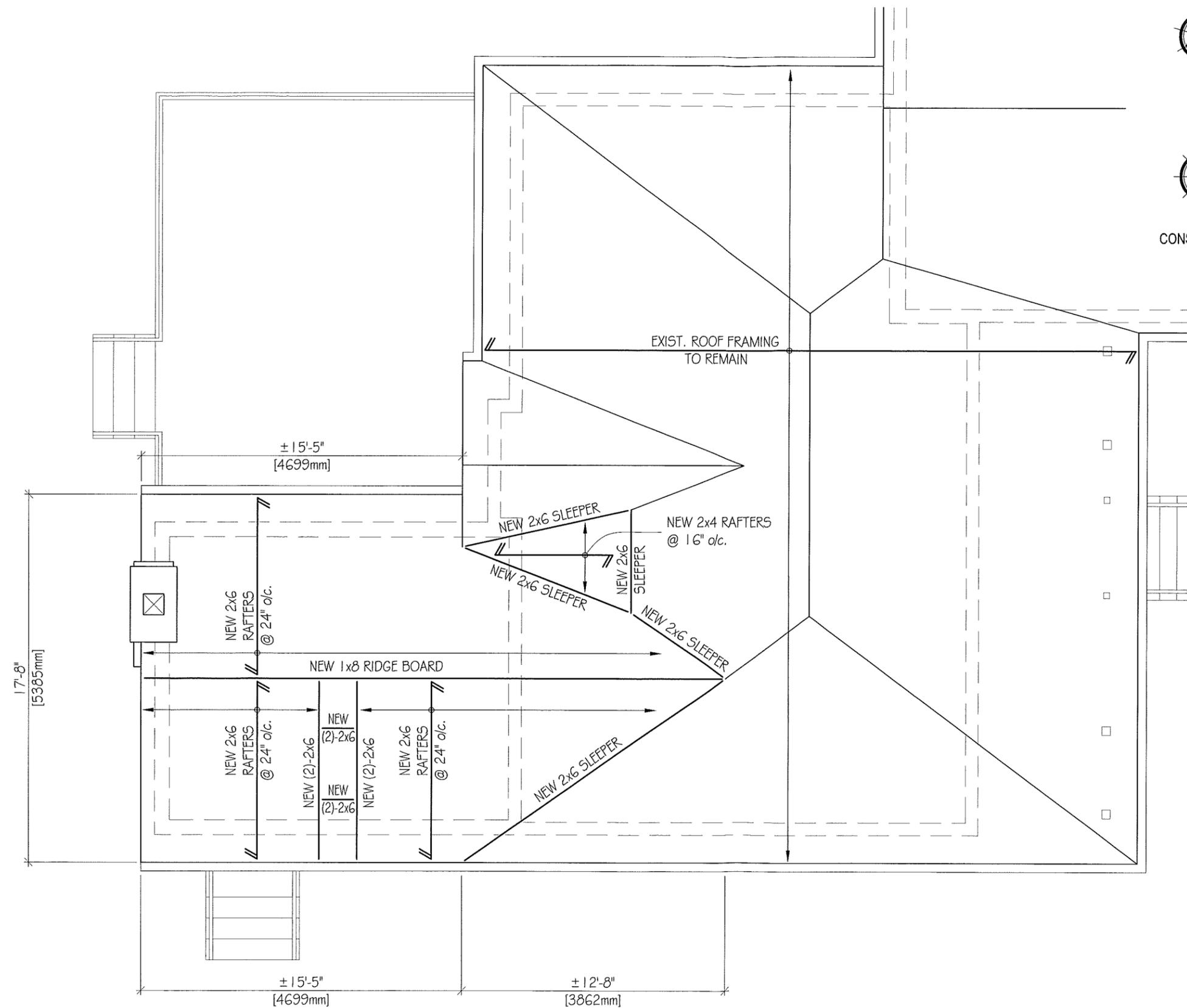
REV.	DESCRIPTION	DATE
0	FOR MINOR VARIANCE APPLICATION	FEB. 26/20

client
HOME OWNER

project
**236 OLD GUELPH ROAD
DUNDAS, ONTARIO**
PROJECT No. XX-XXX

title
PARTIAL MAIN FLOOR PLAN

drawn	G.D.	checked	C.L.&A.
date	FEBRUARY 2020	scale	3/16" = 1'-0"
revision number	0	drawing number	7



TRUE



CONSTRUCTION

CHARLES LINSEY

& ASSOCIATES LIMITED

37 MAIN STREET SOUTH,
PO BOX 1479
WATERDOWN, ON LOR 2H0

TEL: (905) 548-7607
INFO@CHARLESLINSEY.COM
WWW.CHARLESLINSEY.COM

**THIS DRAWING IS NOT
TO BE USED AS PART OF A
BUILDING PERMIT
APPLICATION**

**THIS DRAWING IS FOR
DISCUSSION PURPOSES
ONLY**

REV.	DESCRIPTION	DATE
0	FOR MINOR VARIANCE APPLICATION	FEB. 26/20

client
HOME OWNER

project
**236 OLD GUELPH ROAD
DUNDAS, ONTARIO
PROJECT No. XX-XXX**

title
PARTIAL ROOF FRAMING PLAN

drawn	G.D.	checked	C.L.&A.
date	FEBRUARY 2020	scale	3/16" = 1'-0"
revision number	0	drawing number	8

CHARLES LINSEY

& ASSOCIATES LIMITED

37 MAIN STREET SOUTH,
PO BOX 1479
WATERDOWN, ON LOR 2H0

TEL: (905) 548-7607
INFO@CHARLESLINSEY.COM
WWW.CHARLESLINSEY.COM



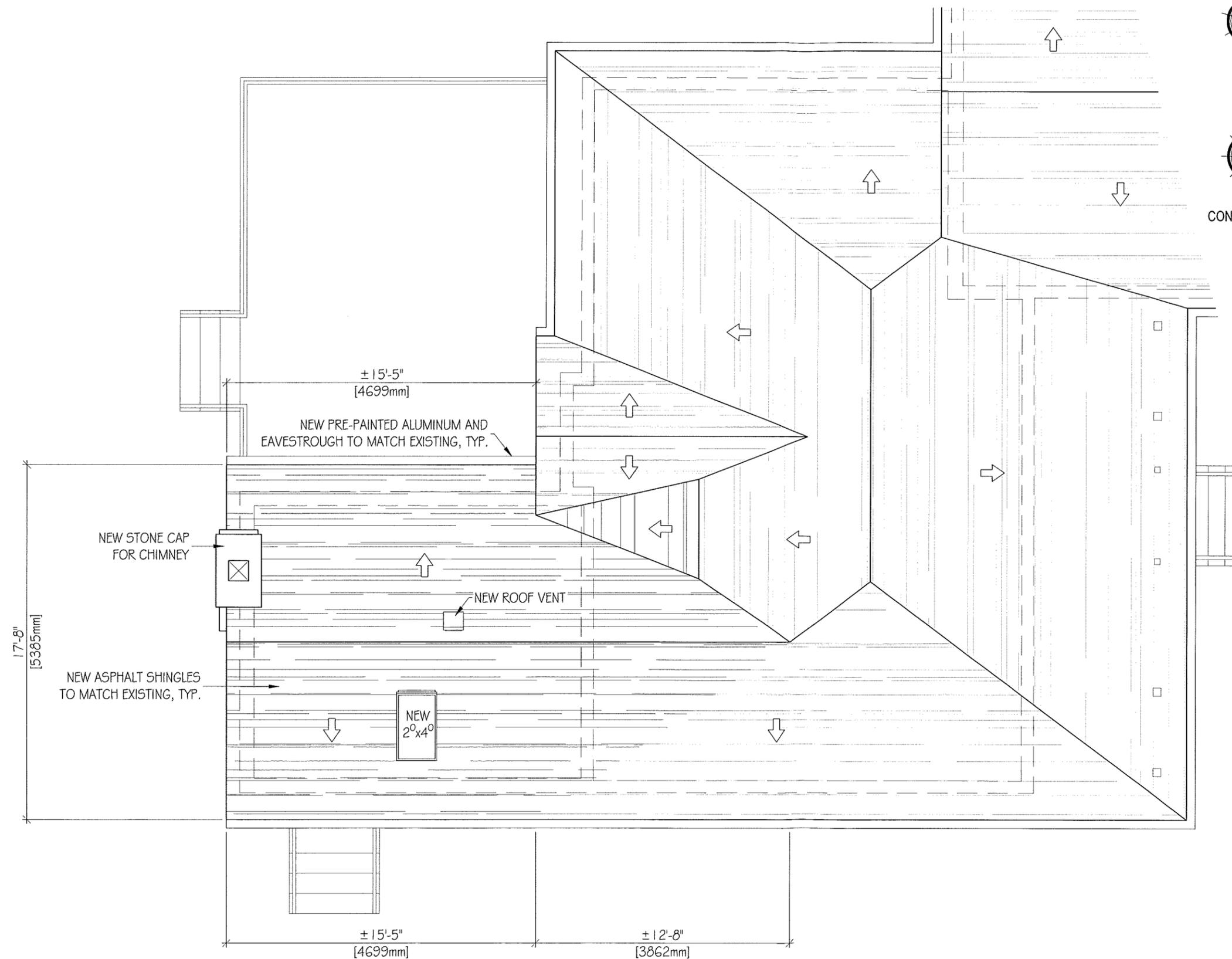
TRUE



CONSTRUCTION

**THIS DRAWING IS NOT
TO BE USED AS PART OF A
BUILDING PERMIT
APPLICATION**

**THIS DRAWING IS FOR
DISCUSSION PURPOSES
ONLY**



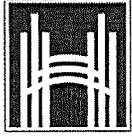
REV.	DESCRIPTION	DATE
0	FOR MINOR VARIANCE APPLICATION	FEB. 26/20

client
HOME OWNER

project
**236 OLD GUELPH ROAD
DUNDAS, ONTARIO
PROJECT No. XX-XXX**

title
PARTIAL ROOF PLAN

drawn	G.D.	checked	C.L.&A.
date	FEBRUARY 2020	scale	3/16" = 1'-0"
revision number	0	drawing number	9



Hamilton

COMMITTEE OF ADJUSTMENT

City Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5
 Telephone (905) 546-2424, ext. 4221, 3935 Fax (905) 546-4202
 E-mail: cofa@hamilton.ca

NOTICE OF PUBLIC HEARING
Minor Variance

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
 - Applicant/agent on file, or
 - Person likely to be interested in this application
-

APPLICATION NO.: DN/A-20:88

APPLICANTS: Owner: Susan Frasson
 Agent: J.H. Cohoon Engineering

SUBJECT PROPERTY: Municipal address **3 Janis Crt., Dundas**

ZONING BY-LAW: Zoning By-law 3581-86, as Amended

ZONING: R2 (Single-Detached Residential) district

PROPOSAL: To permit the construction of a new one (1) storey detached accessory structure to be located in the rear yard of an existing single-detached dwelling notwithstanding that;

1. A minimum side yard setback of 0.9 m shall be provided instead of the minimum required 2.0 m side yard setback; and
2. A minimum rear yard setback of 0.9 m shall be provided instead of the minimum required 2.0 m rear yard setback; and

This application will be heard by the Committee as shown below:

DATE: Thursday, August 6th, 2020

TIME: 1:20 p.m.

PLACE: Via video link or call in (see attached sheet for details)

To be streamed at www.hamilton.ca/committeeofadjustment for viewing purposes only

PUBLIC INPUT

Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

Orally: If you would like to speak to this item at the hearing you may do so via video link or by calling in. Please see attached page for complete instructions, including deadlines for registering to participate.

DN/A-20:88

Page 2

MORE INFORMATION

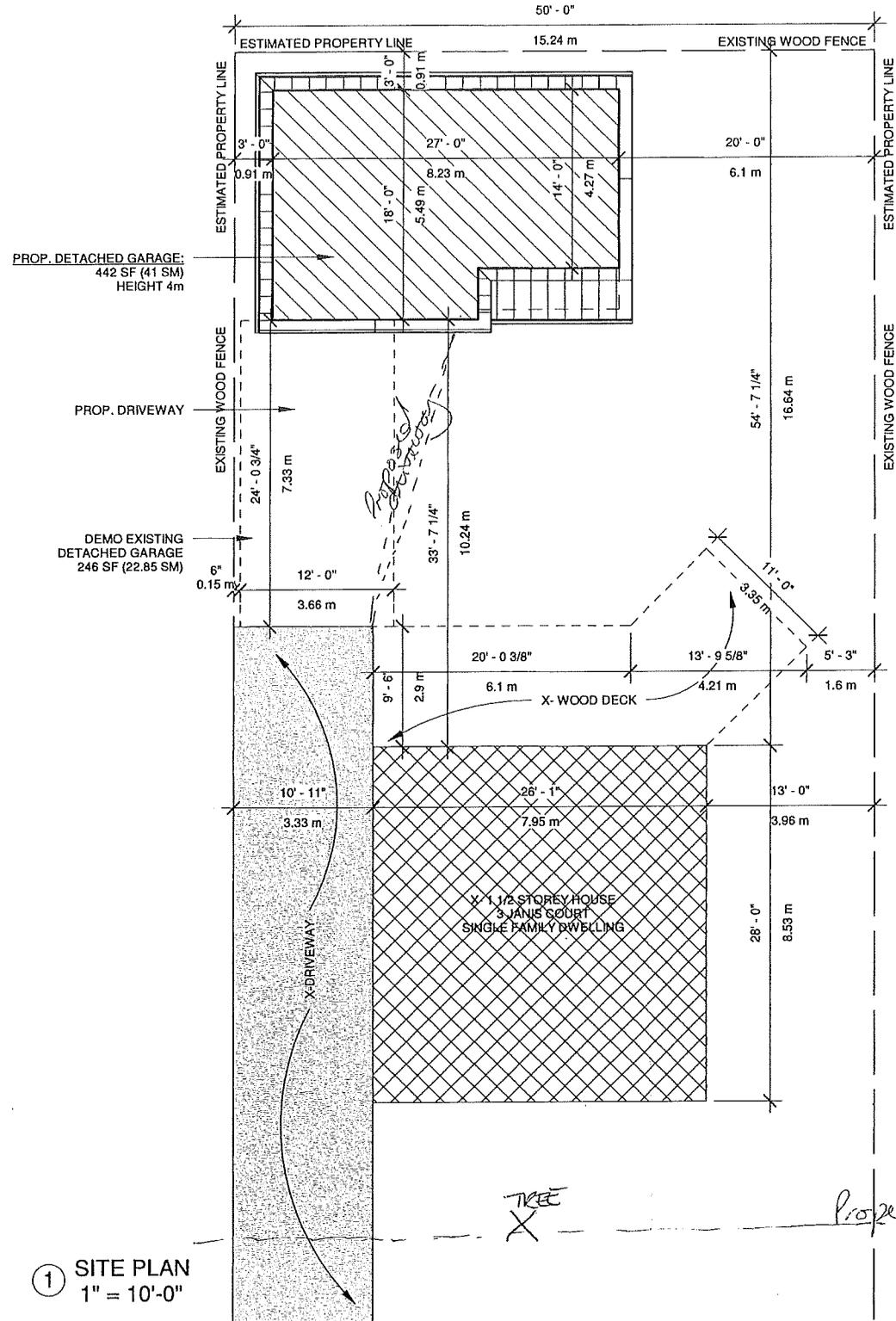
For more information on this matter, including access to drawings illustrating this request:

- Visit www.hamilton.ca/committeeofadjustment
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935
- Email Committee of Adjustment staff at cofa@hamilton.ca

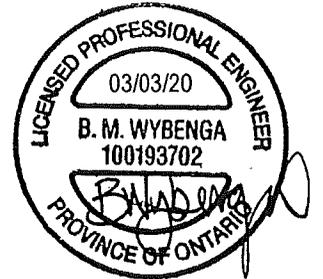
DATED: July 21st, 2020

Jamila Sheffield,
Secretary-Treasurer
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public.

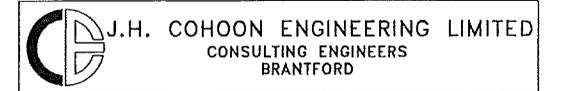


① SITE PLAN
1" = 10'-0"



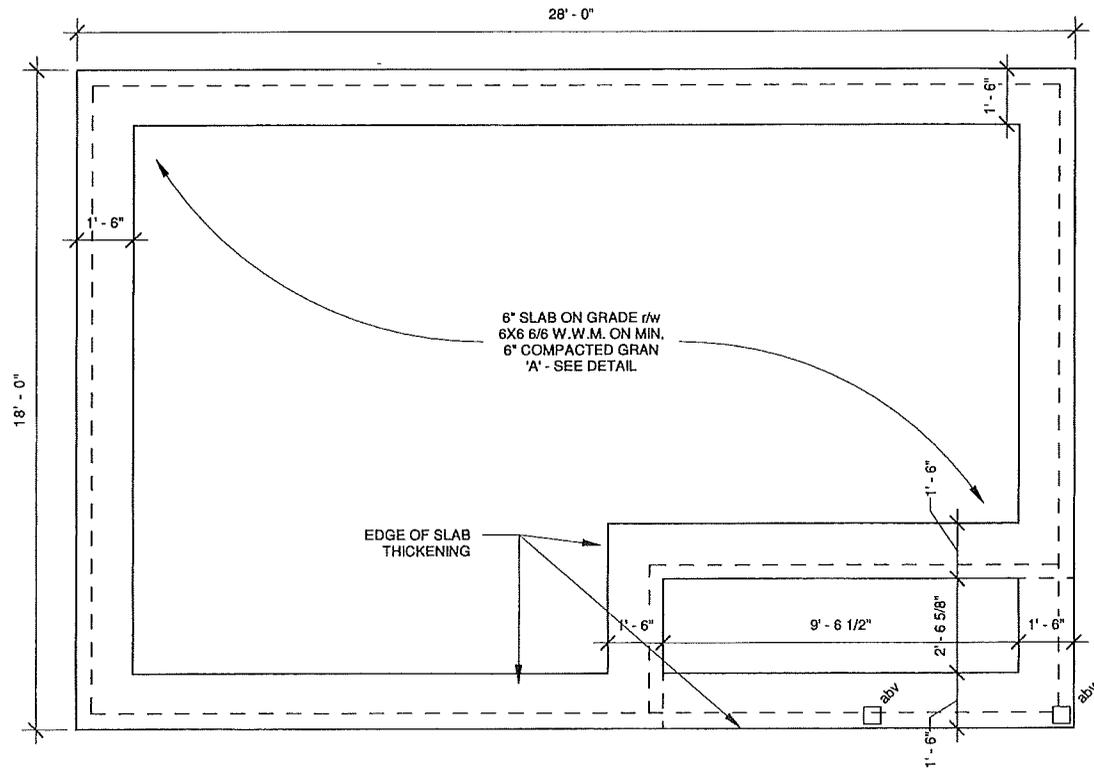
PROPOSED ACCESSORY GARAGE

3 JANIS COURT DUNDAS, ON.

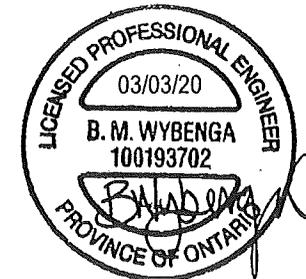
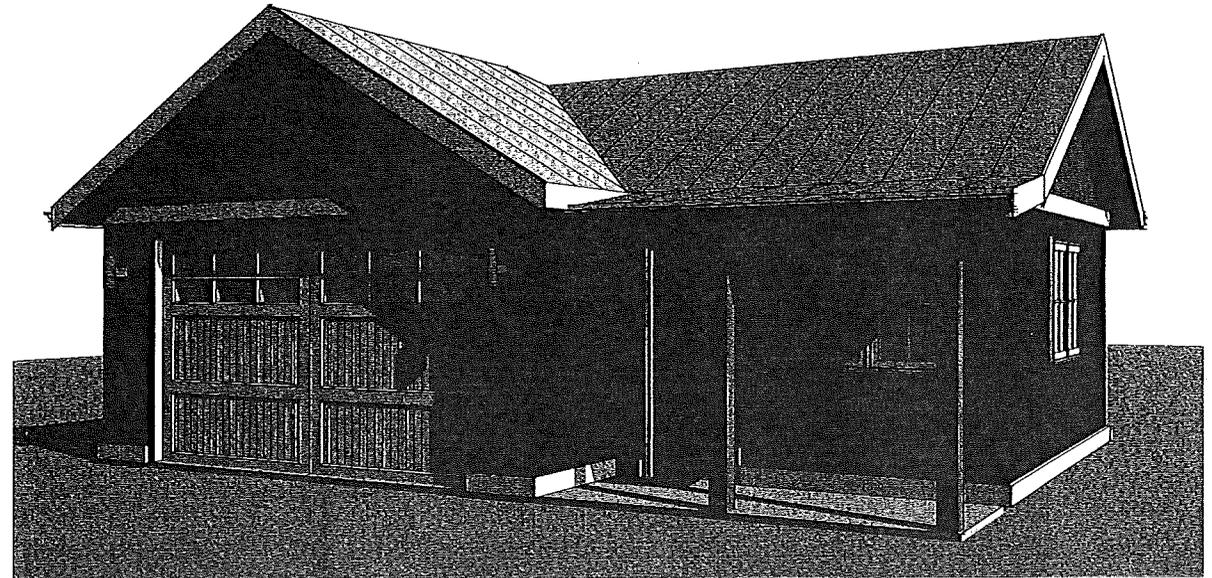


CLIENT: CHRIS FRASSON
SCALE: AS SHOWN
DESIGN: B.M.W.
DATE: 11/13/19

JOB: 13842
DRAWN: B.M.W.
CHECKED: B.M.W.
DWG No.: A5



① FTG
1/4" = 1'-0"



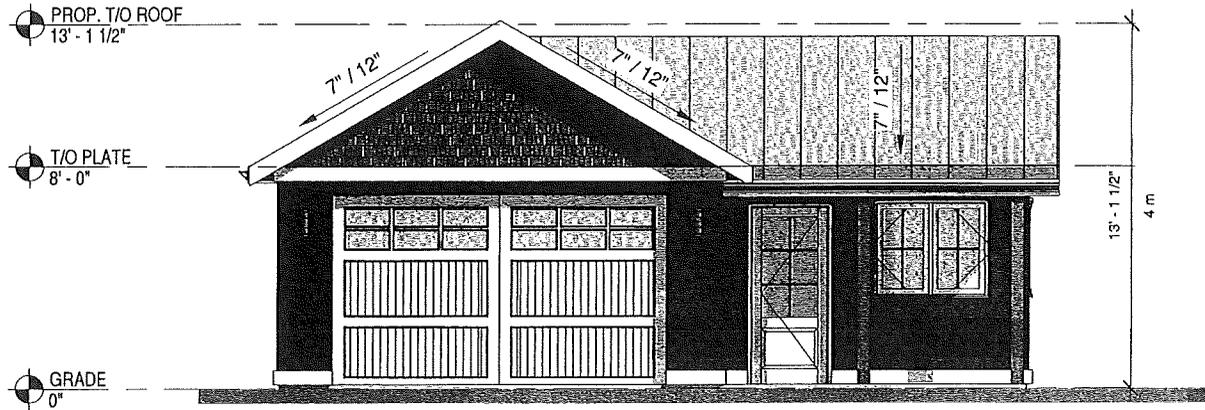
PROPOSED ACCESSORY GARAGE

3 JANIS COURT DUNDAS, ON.

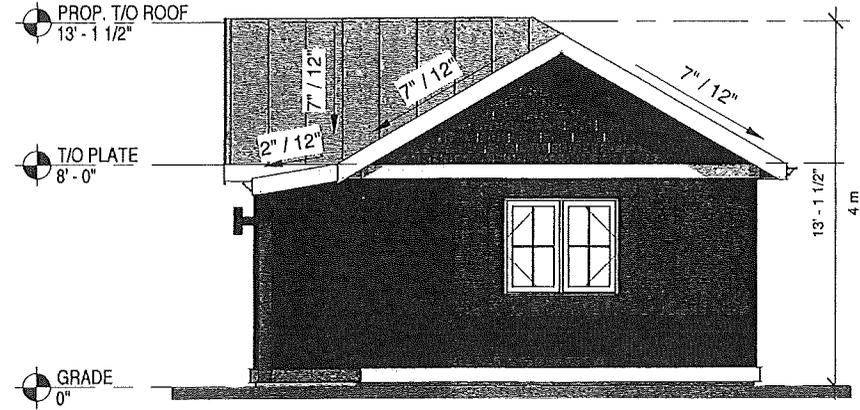
J.H. COHOON ENGINEERING LIMITED
CONSULTING ENGINEERS
BRANTFORD

CLIENT: CHRIS FRASSON
SCALE: AS SHOWN
DESIGN: B.M.W.
DATE: 11/13/19

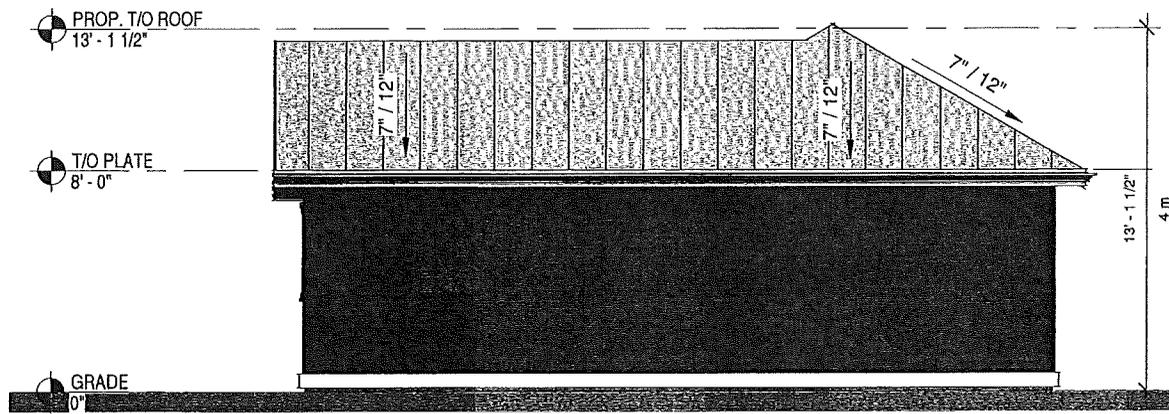
JOB: 13842
DRAWN: B.M.W.
CHECKED: B.M.W.
DWG No.: A4



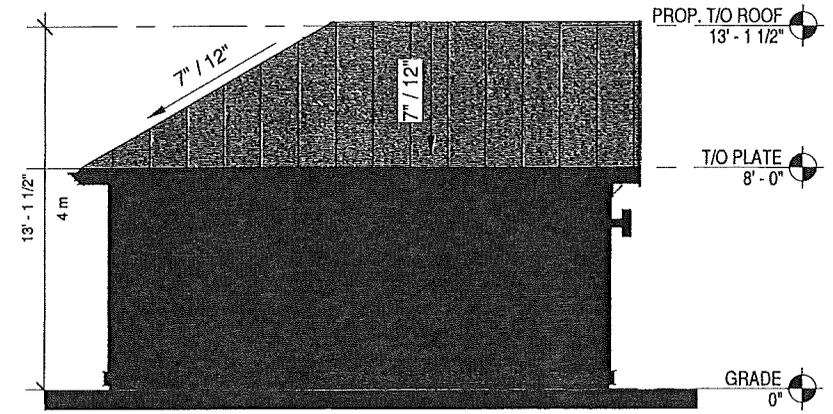
③ FRONT
3/16" = 1'-0"



② SIDE (RIGHT)
3/16" = 1'-0"



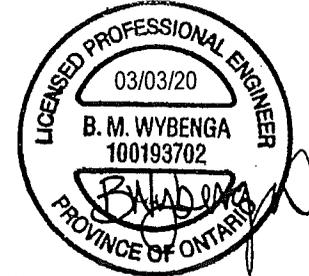
① BACK
3/16" = 1'-0"



④ SIDE (LEFT)
3/16" = 1'-0"

WINDOW SCHEDULE		
Type Mark	Rough Opening	
	Width	Height
AA	4' - 0"	3' - 5"

DOOR SCHEDULE		
Door Type	Door Size	Finish
		Comments
A	36" x 96"	1 WIDE EXTERIOR DOOR
B	144" x 84"	1 WIDE GARAGE DOOR



PROPOSED ACCESSORY GARAGE

3 JANIS COURT DUNDAS, ON.



CLIENT: CHRIS FRASSON
SCALE: AS SHOWN
DESIGN: B.M.W.
DATE: 11/13/19

JOB: 13842
DRAWN: B.M.W.
CHECKED: B.M.W.
DWG No.: A2



Hamilton

Planning and Economic Development Department
Planning Division

Committee of Adjustment
City Hall
5th floor 71 Main Street West
Hamilton, Ontario L8P 4Y5

Phone (905) 546-2424 ext.4221
Fax (905) 546-4202

PLEASE FILL OUT THE FOLLOWING PAGES AND
RETURN TO THE CITY OF HAMILTON PLANNING
DEPARTMENT.

RECEIVED

MAR 1 2020

COM OF ADJ

FOR OFFICE USE ONLY.

APPLICATION NO. DN/A-20:88 DATE APPLICATION RECEIVED _____

PAID _____ DATE APPLICATION DEEMED COMPLETE _____

SECRETARY'S SIGNATURE _____

CITY OF HAMILTON
COMMITTEE OF ADJUSTMENT
HAMILTON, ONTARIO

The Planning Act

Application for Minor Variance or for Permission

The undersigned hereby applies to the Committee of Adjustment for the City of Hamilton under Section 45 of the *Planning Act*, R.S.O. 1990, Chapter P.13 for relief, as described in this application, from the Zoning By-law.

- 1. Name of Owner SUSAN FRASSON Telephone No _____
- 2. _____
- 3. Name of Agent BRENT WYBENGA Postal C _____
J. H. COHOON ENGINEERING Telephone No _____
- 4. _____

* send sign

Note: Unless otherwise requested all communications will be sent to the agent, if any.

- 5. Names and addresses of any mortgagees, holders of charges or other encumbrances:
CIBC
WATERDOWN Postal Code _____
- _____ Postal Code _____

6. Nature and extent of relief applied for:

• Provided side yard setback 0.91m (3'-0"), which is closer than 2.0m As per bylaw

• Provided Rear Yard setback 0.91m (3'-0"), which is closer than 2.0m As per bylaw

7. Why it is not possible to comply with the provisions of the By-law?

Small lot ~~to~~ Garage takes up too much back yard space - existing garage 0.15m side yard - not conforming

8. Legal description of subject lands (registered plan number and lot number or other legal description and where applicable, street and street number):

PLAN 897 LOT 10

3 JAWIS CRT, DUNDAS

9. PREVIOUS USE OF PROPERTY

Residential Industrial Commercial

Agricultural Vacant

Other _____

9.1 If Industrial or Commercial, specify use

N/A

9.2 Has the grading of the subject land been changed by adding earth or other material, i.e. has filling occurred?

Yes No Unknown

9.3 Has a gas station been located on the subject land or adjacent lands at any time?

Yes No Unknown

9.4 Has there been petroleum or other fuel stored on the subject land or adjacent lands?

Yes No Unknown

9.5 Are there or have there ever been underground storage tanks or buried waste on the subject land or adjacent lands?

Yes No Unknown

9.6 Have the lands or adjacent lands ever been used as an agricultural operation where cyanide products may have been used as pesticides and/or sewage sludge was applied to the lands?

Yes No Unknown

9.7 Have the lands or adjacent lands ever been used as a weapon firing range?

Yes No Unknown

9.8 Is the nearest boundary line of the application within 500 metres (1,640 feet) of the fill area of an operational/non-operational landfill or dump?

Yes No Unknown

9.9 If there are existing or previously existing buildings, are there any building materials remaining on site which are potentially hazardous to public health (eg. asbestos, PCB's)?

Yes No Unknown

9.10 Is there any reason to believe the subject land may have been contaminated by former uses on the site or adjacent sites?

Yes No Unknown

9.11 What information did you use to determine the answers to 9.1 to 9.10 above?

- ESTABLISHED EXISTING RESIDENTIAL AREA IN DUNDAS
- NO HISTORICAL RECORDS OF THE ABOVE

9.12 If previous use of property is industrial or commercial or if YES to any of 9.2 to 9.10, a previous use inventory showing all former uses of the subject land, or if appropriate, the land adjacent to the subject land, is needed.

Is the previous use inventory attached? Yes No

ACKNOWLEDGEMENT CLAUSE

I acknowledge that the City of Hamilton is not responsible for the identification and remediation of contamination on the property which is the subject of this Application – by reason of its approval to this Application.

March 13 / 20
Date



Signature Property Owner

SUGAN FRASSON
Print Name of Owner

10. Dimensions of lands affected:

Frontage 15.24m
 Depth 30m
 Area 457.2m²
 Width of street 6.0m

11. Particulars of all buildings and structures on or proposed for the subject lands: (Specify ground floor area, gross floor area, number of stories, width, length, height, etc.)

Existing: X House - 1 1/2 storey ~ 6.3m x 6.6m
X Deck - 10m x 3m
(Demo) X GARAGE - 7.33m x 3.6m

Proposed: GARAGE ~ 8.23 x 5.49 (Approx) AREA - 41m²
Ht. 4m
1

12. Location of all buildings and structures on or proposed for the subject lands; (Specify distance from side, rear and front lot lines)

Existing: X House REAR - 16.64m (Demo) X GARAGE - REAR - 5.49m
 FRONT - 5.9m FRONT - 15.9m
 SIDE - 3.33m / 3.96m SIDE 0.15m / 10.5m

Proposed: GARAGE REAR - 0.91m
 SIDE - 0.91m / 6.1m
 FRONT - 24.67m

13. Date of acquisition of subject lands:
FEB 2017
14. Date of construction of all buildings and structures on subject lands:

15. Existing uses of the subject property: RESIDENTIAL / SFD
WALKWAY
16. Existing uses of abutting properties: RESIDENTIAL / SFD
17. Length of time the existing uses of the subject property have continued:
Always Residential
18. Municipal services available: (check the appropriate space or spaces)
 Water _____ ✓ _____ Connected _____ ✓
 Sanitary Sewer _____ ✓ _____ Connected _____ ✓
 Storm Sewers _____
19. Present Official Plan/Secondary Plan provisions applying to the land:
Neighbourhoods - ~~Urban~~ Urban Hamilton
official plan
20. Present Restricted Area By-law (Zoning By-law) provisions applying to the land:
R2 Single Detached Residential
3581-86 Dundas
21. Has the owner previously applied for relief in respect of the subject property?
 Yes No
- If the answer is yes, describe briefly.

22. Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?
~~Yes~~ No

23. The applicant shall attach to each copy of this application a plan showing the dimensions of the subject lands and of all abutting lands and showing the location, size and type of all buildings and structures on the subject and abutting lands, and where required by the Committee of Adjustment such plan shall be signed by an Ontario Land Surveyor.

NOTE: It is required that two copies of this application be filed with the secretary-treasurer of the Committee of Adjustment together with the maps referred to in Section 5 and be accompanied by the appropriate fee in cash or by cheque made payable to the City of Hamilton.

GENERAL NOTES

1. UNDER NO CIRCUMSTANCES ARE THESE DRAWINGS TO BE SCALED.
2. ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH THE LATEST VERSION OF THE ONTARIO BUILDING CODE (OBC) INCLUDING ALL THE LATEST STANDARDS REFERENCED WITHIN.
3. ALL DRAWINGS ARE THE PROPERTY OF THE ENGINEER AND SHALL NOT BE REPRODUCED IN WHOLE OR IN PART WITHOUT WRITTEN CONSENT.
4. CONTRACTOR/STEEL FABRICATOR IS REQUIRED TO FIELD MEASURE THE STRUCTURE PRIOR TO FABRICATION. ANY DISCREPANCIES SHALL BE REPORTED TO THE ENGINEER.
5. CONTRACTOR TO CHECK AND VERIFY ALL STRUCTURAL DIMENSIONS BEFORE COMMENCING WORK AND TO REPORT ANY DISCREPANCIES TO THE ENGINEER. FAILURE TO DO SO WILL CAUSE FORFEIT TO ANY CLAIM.
6. PROVIDE ADEQUATE TEMPORARY SHORING AS REQUIRED DURING DEMOLITION OF STRUCTURAL WALLS AND COMPONENTS. ANY AND ALL RESULTING DAMAGE SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
7. PROVIDE LINTELS OVER ALL OPENINGS, INCLUDING THOSE FROM MECHANICAL AND ELECTRICAL.
8. CARBON MONOXIDE DETECTORS ARE REQUIRED ADJACENT TO EACH SLEEPING AREA, AS PER O.B.C. 9.33.4.
9. SMOKE ALARMS SHALL BE LOCATED AS PER O.B.C. 9.10.19.2. SMOKE ALARMS SHALL BE WIRED SO THAT WHEN THE ALARM SOUNDS, ALL ALARMS SOUND AS PER O.B.C. 9.10.19.4.
10. WHERE DOWNSPOUTS ARE PROVIDED AND NOT CONNECTED TO A SEWER, DOWNSPOUT EXTENSIONS SHALL BE PROVIDED TO CARRY RAINWATER AWAY FROM THE BUILDING IN A MANNER THAT WILL PREVENT SOIL EROSION AS PER O.B.C. 9.26.18.2.
11. THE UNOBSTRUCTED ATTIC VENT AREA SHALL BE NOT LESS THAN 1/300 OF THE INSULATED CEILING AREA. O.B.C. 9.26.5.1.

DESIGN LOADS

- | | |
|--|---------------|
| 1. GROUND SNOW (S _s) / RAIN (S _r): | 1.1 / 0.4 kPa |
| 2. MAXIMUM ROOF SNOW (S): | 1.28 kPa |
| 3. ROOF DEAD LOAD (D): | 1.0 kPa |
| 4. WIND (q ₅₀): | 0.46 kPa |

LUMBER NOTES

1. ALL SAWN LUMBER TO BE S.P.F. No. 2 GRADE or BETTER AND CONFORM TO CSA-0141.
2. ALL ENGINEERED BUILT UP BEAMS ARE TO BE LVL'S (GRADE 2.0x10⁶ PSI). REPLACEMENT WITH A HIGHER GRADE IS NOT ALWAYS A SUITABLE EQUIVALENT. CONTACT ENGINEER FOR EQUIVALENT.
3. ALL LUMBER EXPOSED TO THE EXTERIOR IS TO BE PRESSURE TREATED U.O.N.
4. CONNECT 2"x6" WOOD PLATE TO TOP OF ALL STEEL BEAMS AS PER THE TYPICAL DETAILS.
5. TRUSS DESIGN TO BE IN ACCORDANCE WITH PART 4 OF THE O.B.C. PROVIDE HOLD DOWN CLIPS AT ALL TRUSSES, WHICH ARE TO BE DESIGNED BY THE ROOF TRUSS ENGINEERS.
6. ROOF SHEATHING TO BE 12 mm (1/2") PLYWOOD (MINIMUM) T&G, NAILED W/ 10D NAILS AT 6" C/C ALONG EDGES.
7. FLOOR SHEATHING TO BE 19 mm (3/4") PLYWOOD (MINIMUM) T&G, GLUED AND SCREWED.
8. WALL SHEATHING TO BE 12 mm (1/2") ORIENTED STRAND BOARD (OSB) (MINIMUM), NAILED W/ 10D NAILS AT 6" C/C ALONG EDGES.
9. PROVIDE SOLID BLOCKING BETWEEN JOISTS BELOW ALL BEARING WALLS WHICH ARE PERPENDICULAR TO THE JOISTS.
10. PROVIDE APPROVED BLOCKING OR BRIDGING AT 2000 mm (7'-0") O/C MAX. FOR FLOOR JOISTS.
11. TYPICAL BEARING WALL IS 2"x6" @ 16" O/C MIN. U.O.N.
12. ALL LUMBER BEAMS ARE TO BE SUPPORTED ON LUMBER POSTS (U.N.O) WITH EQUAL NUMBER OF LAMINATIONS.
13. ALL BUILT-UP POSTS ARE TO BE CONSTRUCTED CONTINUOUSLY TO THE FOUNDATION WITH SOLID TRANSFER BLOCKING AT EACH FLOOR.
14. WOOD IS NOT TO BEAR DIRECTLY ON CONCRETE/MASONRY, PROVIDE PRESSURE TREATED, POLY, OR SILL GASKET BETWEEN CONCRETE/MASONRY AND WOOD SILL PLATE.
15. ALL JOISTS SHOULD HAVE A MINIMUM OF 40 mm (1 1/2") OF BEARING U.O.N. BY MANUFACTURER.
16. ALL LUMBER BEAMS SHOULD HAVE A MINIMUM OF 75 mm (3") BEARING.
17. BUILT UP POSTS SHALL BE NAILED TOGETHER @ 150 mm (6") O/C STAGGERED U.O.N.
18. PROVIDE TIMBER BUILT-UP LINTELS OVER DOOR AND WINDOW OPENINGS IF NOT INDICATED ON DRAWING:

OPENING < 7'-0" - (2-PLY) 2"x10"
 OPENING < 10'-0" - (3-PLY) 2"x10"

FOUNDATION NOTES

1. ALL FOOTINGS TO BEAR ON NATIVE UNDISTURBED SOIL HAVING A SAFE BEARING CAPACITY OF 1577 P.S.F.
2. PROVIDE 4'-0" MINIMUM OF FROST COVER FOR ALL EXTERIOR FOOTINGS.
3. ALL REINFORCING STEEL TO BE 400W AND SHALL CONFORM TO CSA-G30.18-M92.
4. ALL PIERS TO BE POURED INTEGRALLY WITH FOUNDATION WALLS.
5. PROVIDE 8" DEEP DOOR BUCKS AT ALL EXTERIOR DOOR LOCATIONS.
6. CONTRACTOR TO NOTIFY ENGINEER PRIOR TO THE PLACEMENT OF CONCRETE FOR:
 - A. VERIFICATION OF SOIL BEARING CAPACITY
 - B. INSPECTION OF REINFORCING

STRUCTURAL STEEL NOTES

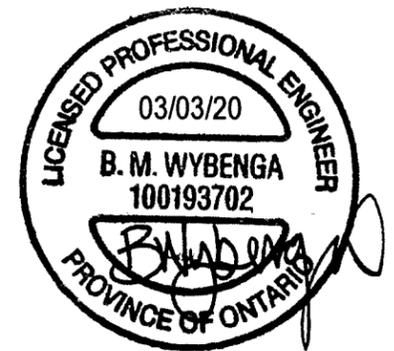
1. STRUCTURAL STEEL DESIGN MUST CONFORM TO CSA S16.
2. STRUCTURAL STEEL W SECTIONS AND COLUMNS SHALL CONFORM TO ASTM A992 U.O.N.
3. STRUCTURAL STEEL CHANNELS, HSS, & ANGLES MUST CONFORM TO CSA G40.21, GRADE 350W U.O.N.
4. ALL STRUCTURAL STEEL PLATE SHALL CONFORM TO CSA G40.21, GRADE 300W, CLASS C U.O.N.
5. BOLTED CONNECTIONS SHALL BE MADE OF ASTM A3125 GRADE A325 U.O.N.
6. ANCHOR BOLTS SHALL CONFORM TO ASTM A307 U.O.N.
7. ALL WELDING TO CONFORM TO C.W.B. APPROVED PROCEDURES. ALL WELDING TO BE CARRIED OUT BY WELDERS CERTIFIED BY THE C.W.B., EMPLOYED BY A FIRM CERTIFIED IN DIVISION 1 or 2.
8. ALL STRUCTURAL STEEL EXPOSED TO WEATHER SHALL BE HOT-DIPPED GALVANIZED IN ACCORDANCE WITH CSA G164 U.O.N.
9. TOUCH UP ALL FIELD WELDS BY APPLYING MIN. OF 2 COATS OF ZINC RICH PAINT.
10. ALL STRUCTURAL STEEL SHALL RECEIVE A MINIMUM OF ONE COAT OF SHOP PRIMER.
11. DO NOT SPLICE OR CUT OPENING IN STRUCTURAL STEEL WITHOUT THE ENGINEER'S APPROVAL.

CONCRETE & REINFORCING NOTES

1. ALL CONCRETE WORK SHALL CONFORM TO THE LATEST REQUIREMENTS OF CSA A23.1, A23.2 & A23.3.
2. REINFORCING SHALL CONFORM TO CSA G30.18, GRADE 400W, F_y=400 MPa
3. WELDED WIRE MESH & WELDED WIRE FABRIC SHALL CONFORM TO CSA G30.5, F_y=450 MPa & HAVE A MINIMUM LAP OF 150 MM (6") AT JOINTS U.O.N.
4. ALL REINFORCING LAP SPLICES SHALL CONFORM TO THE LATEST CSA STANDARD A23.3 & ALL BARS SPLICES TO BE CLASS 'B' TENSION U.O.N.
5. CRACK CONTROL SHOULD BE PLACED ALONG THE CENTRE OF THE LENGTH AND WIDTH OF AREA AND PLACED NO MORE THAN 14'-0" O/C. PROVIDE JOINT FILLER IN CONTROL JOINTS.
6. ALL CONCRETE COVER SHALL CONFORM TO CSA A23.1 AND THE FOLLOWING BELOW U.O.N.
 - A. CONCRETE CAST AGAINST EARTH: 75 MM (3")
 - B. EXTERIOR BEAMS, SLABS, COLUMNS/PIERS AND WALLS: 40 MM (1.5")
 - C. INTERIOR BEAMS & COLUMNS/PIERS: 30 MM (1.25")
 - D. INTERIOR SLABS: 25 MM (1")

STRUCTURAL SCHEDULE

	<u>WOOD LINTELS:</u>	
L1	2-PLY - 2X8	
L2	3-PLY - 2X8	
	<u>BEAMS/RAFTERS/JOISTS:</u>	
B1	4-PLY 2.0E LVL 1 3/4" x 9 1/2", PROVIDE 2 ROWS OF SDS SCREWS E/S 1/4"x6" LG. @ 12" O.C - SEE DETAIL	
B2	3-PLY P.T 2X6 B.U. WOOD BEAM	
R1	2X6 ROOF RAFTERS @ 16" O/C c/w 2X4 COLLAR TIES AND 2X6 CL. JOISTS @ 16" O/C	
R2	P.T. 2X6 RAFTERS OVER PORCH	
	<u>WOOD BUILT UP POSTS / COLUMNS:</u>	
P2	2 PLY - 2"x6" P3	3 PLY - 2"x6"
P4	4 PLY - 2"x6" P5	
COL.1	4X4 P.T WOOD POST FASTEN TO BEAM AND CONC. FOUNDATION (BOT.) W/ 4X4 GLAV. POST ANCHOR	



PROPOSED ACCESSORY GARAGE

3 JANIS COURT

DUNDAS, ON.

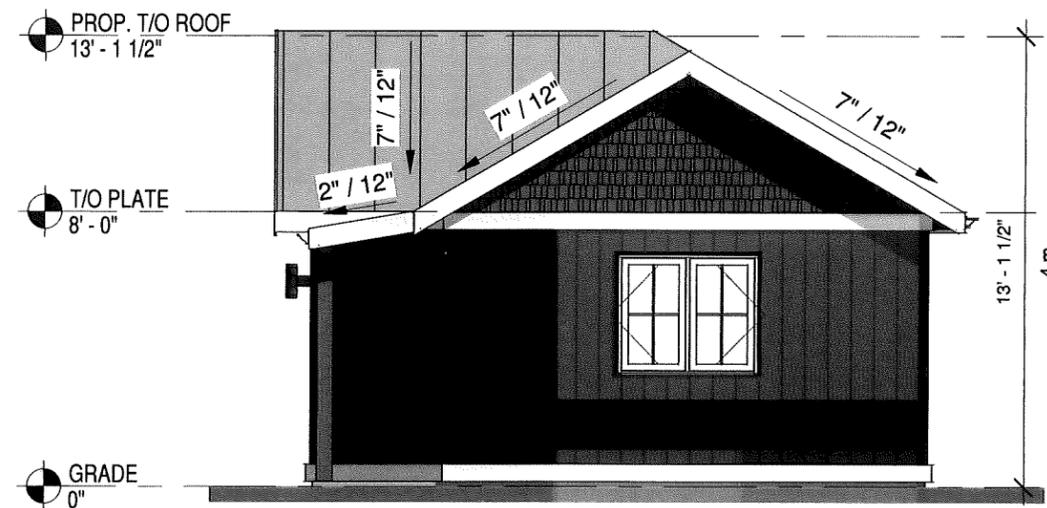


CLIENT: CHRIS FRASSON
 SCALE: AS SHOWN
 DESIGN: B.M.W.
 DATE: 11/13/19

JOB: 13842
 DRAWN: B.M.W.
 CHECKED: B.M.W.
 DWG No.: A1



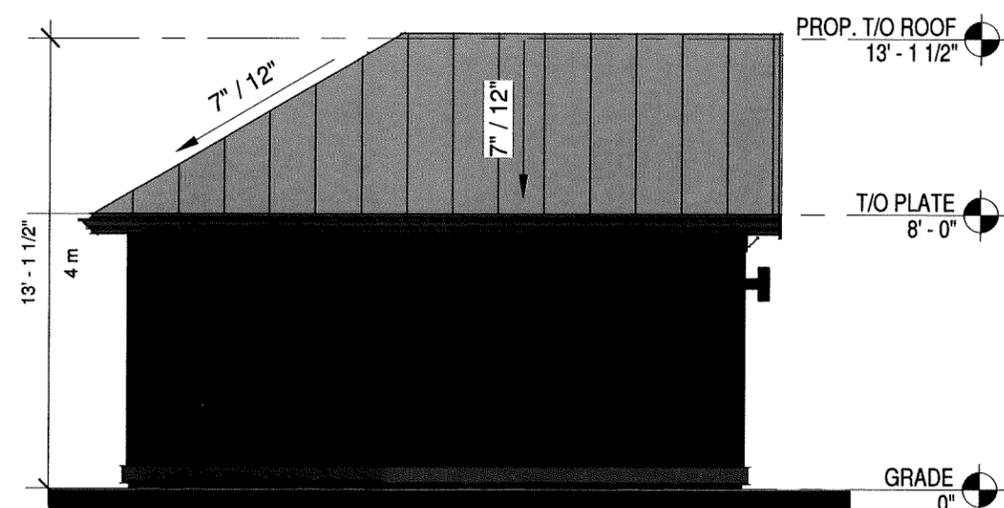
③ FRONT
3/16" = 1'-0"



② SIDE (RIGHT)
3/16" = 1'-0"



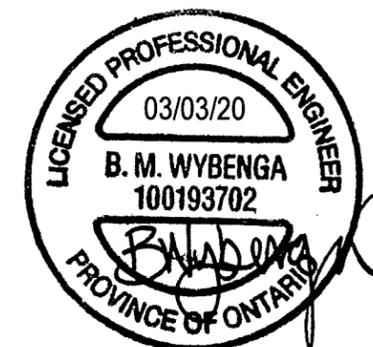
① BACK
3/16" = 1'-0"



④ SIDE (LEFT)
3/16" = 1'-0"

WINDOW SCHEDULE		
Type Mark	Rough Opening	
	Width	Height
AA	4' - 0"	3' - 5"

DOOR SCHEDULE		
Door Type	Door Size	Finish
		Comments
A	36" x 96"	1 WIDE EXTERIOR DOOR
B	144" x 84"	1 WIDE GARAGE DOOR



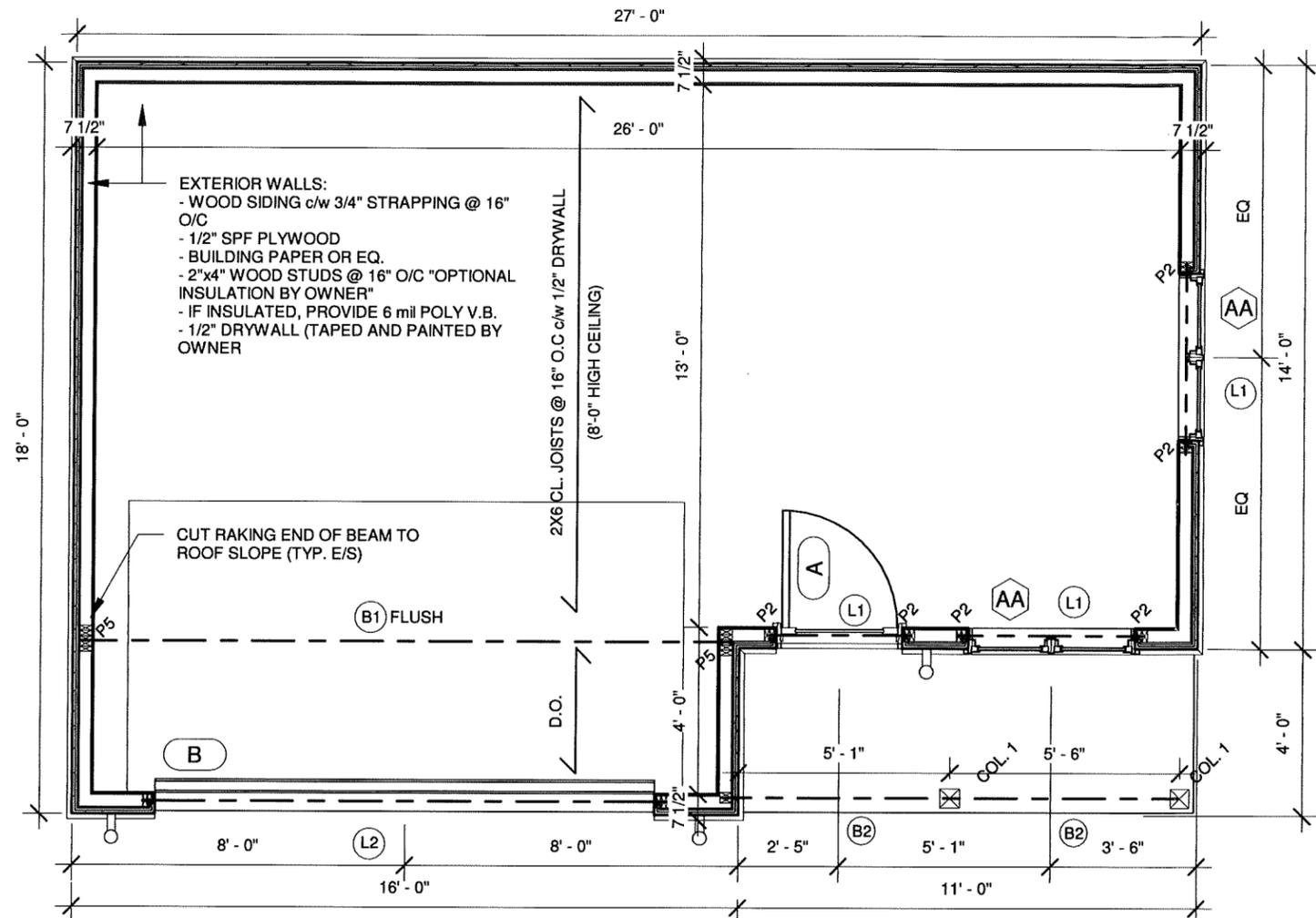
PROPOSED ACCESSORY GARAGE

3 JANIS COURT DUNDAS, ON.

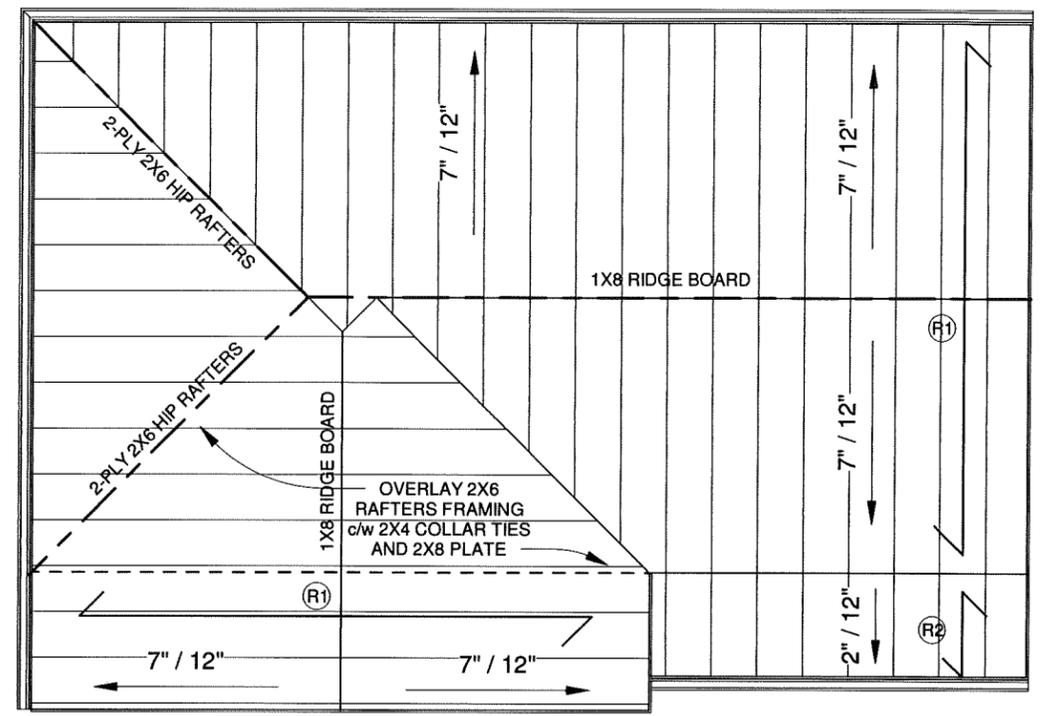


CLIENT: CHRIS FRASSON
SCALE: AS SHOWN
DESIGN: B.M.W.
DATE: 11/13/19

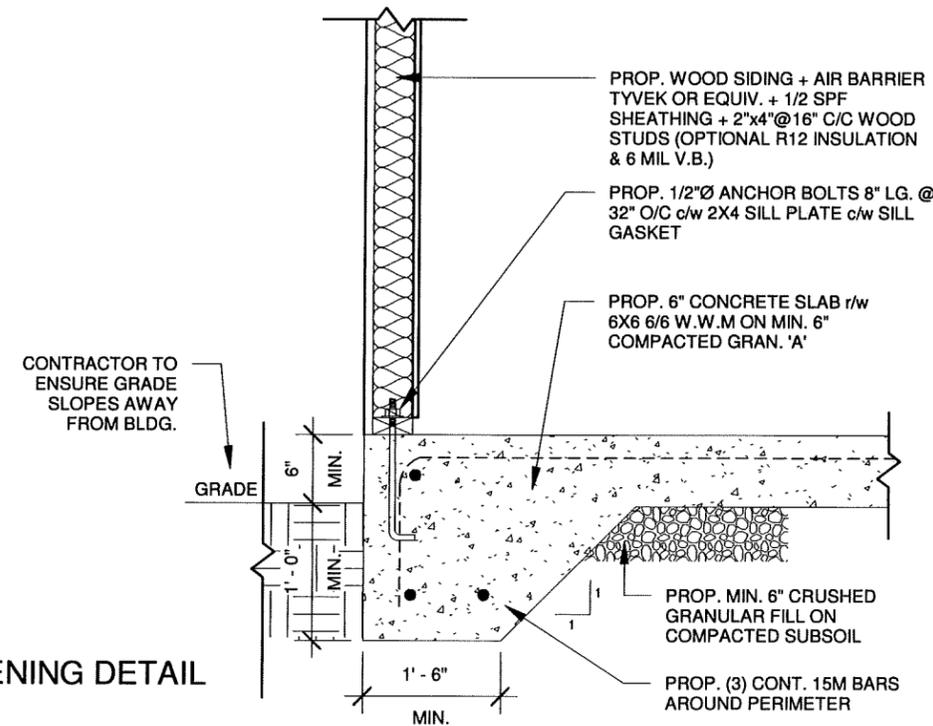
JOB: 13842
DRAWN: B.M.W.
CHECKED: B.M.W.
DWG No.: A2



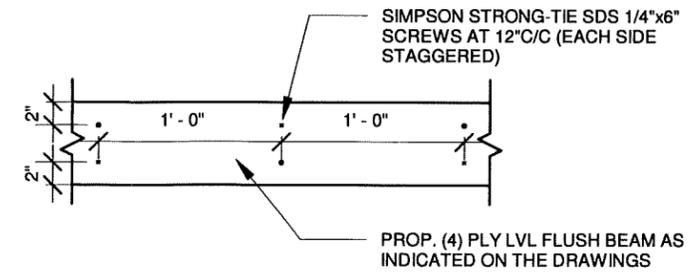
① GRADE
1/4" = 1'-0"



③ T/O PLATE
3/16" = 1'-0"



② SLAB THICKENING DETAIL
3/4" = 1'-0"



④ 4-PLY LVL DETAIL
3/4" = 1'-0"



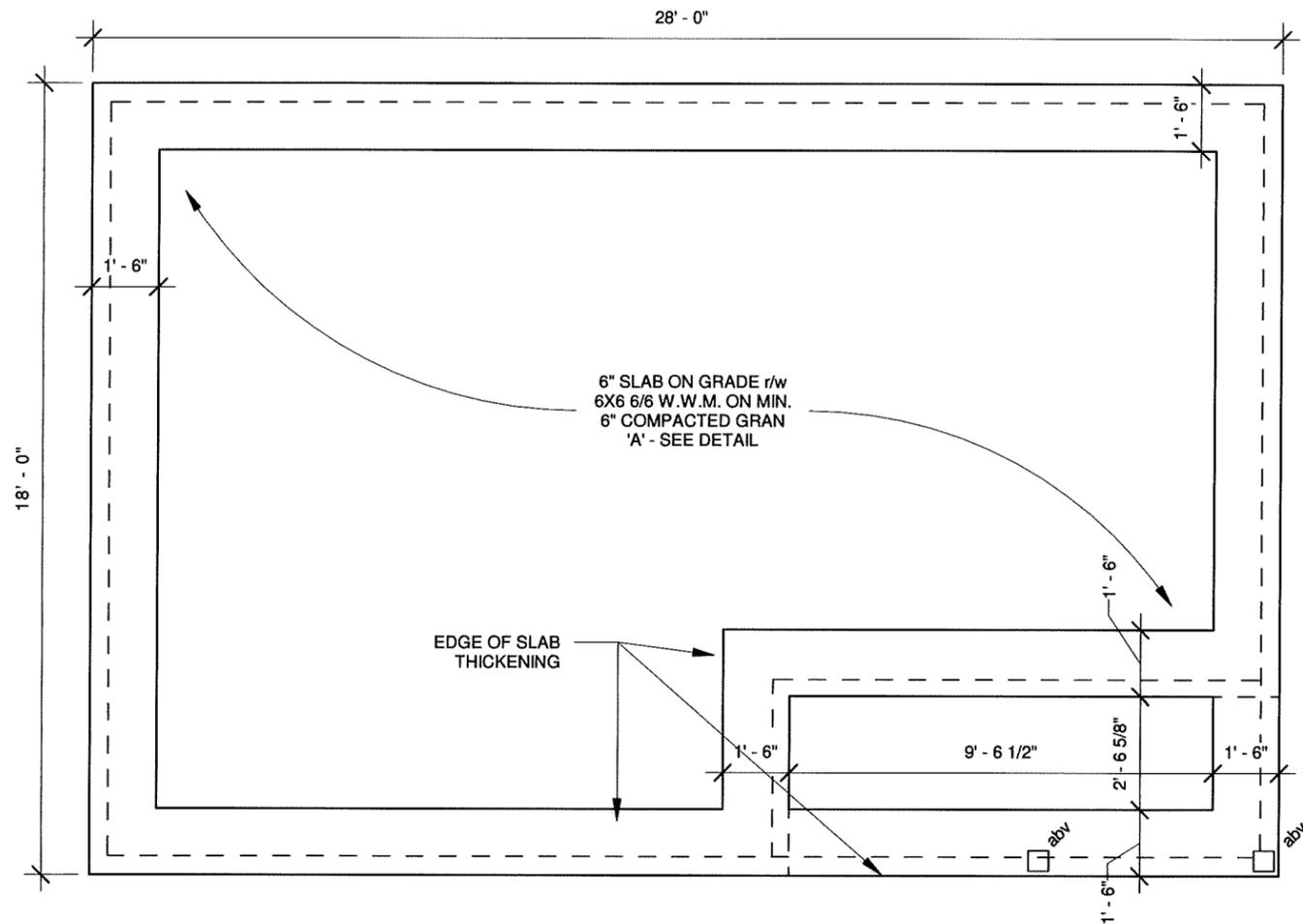
PROPOSED ACCESSORY GARAGE

3 JANIS COURT DUNDAS, ON.

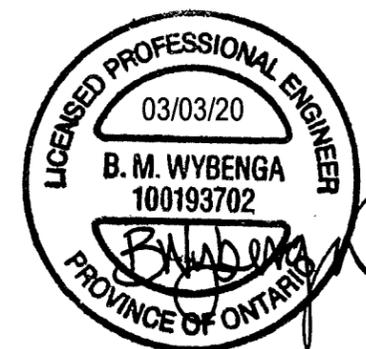
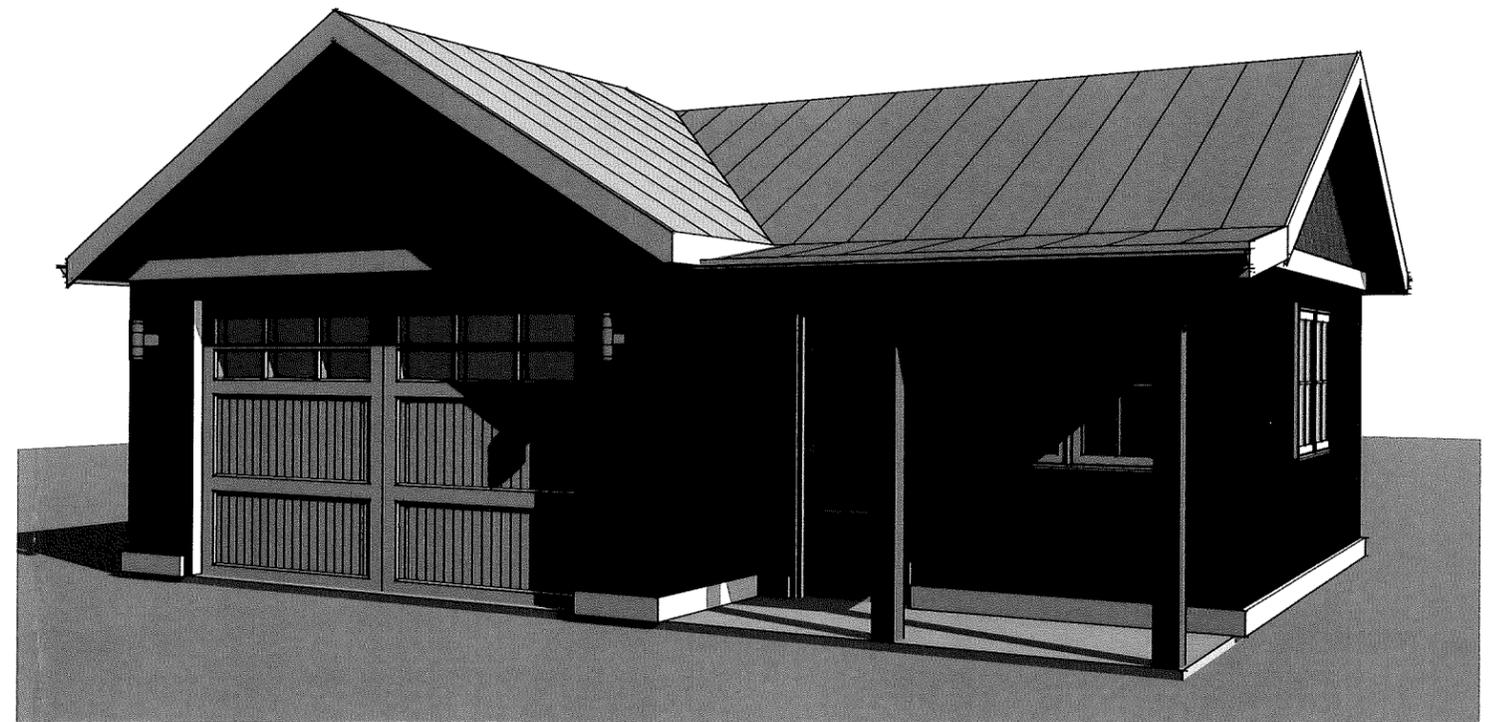
J.H. COHOON ENGINEERING LIMITED
CONSULTING ENGINEERS
BRANTFORD

CLIENT: CHRIS FRASSON
SCALE: AS SHOWN
DESIGN: B.M.W.
DATE: 11/13/19

JOB: 13842
DRAWN: B.M.W.
CHECKED: B.M.W.
DWG No.: A3



① FTG
1/4" = 1'-0"



PROPOSED ACCESSORY GARAGE

3 JANIS COURT DUNDAS, ON.

J.H. COHOON ENGINEERING LIMITED
CONSULTING ENGINEERS
BRANTFORD

CLIENT: CHRIS FRASSON
SCALE: AS SHOWN
DESIGN: B.M.W.
DATE: 11/13/19

JOB: 13842
DRAWN: B.M.W.
CHECKED: B.M.W.
DWG No.: A4



Hamilton

COMMITTEE OF ADJUSTMENT

City Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5
 Telephone (905) 546-2424, ext. 4221, 3935 Fax (905) 546-4202
 E-mail: cofa@hamilton.ca

NOTICE OF PUBLIC HEARING
Minor Variance

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
- Applicant/agent on file, or
- Person likely to be interested in this application

APPLICATION NO.: FL/A-20:129

APPLICANTS: Owner: Ron Nicholson & Lisa Singh

SUBJECT PROPERTY: Municipal address **7 Greenwood Crt., Flamborough**

ZONING BY-LAW: Zoning By-law 05-200, as Amended

ZONING: S1 (Settlement Residential) district

PROPOSAL: To permit the construction of a new deck in the rear yard of the existing single detached dwelling notwithstanding that;

1. A minimum 3.0m setback shall be permitted from the rear lot line instead of the minimum 6.0m setback required.

This application will be heard by the Committee as shown below:

DATE: Thursday, August 6th, 2020

TIME: 1:25 p.m.

PLACE: Via video link or call in (see attached sheet for details)

To be streamed at www.hamilton.ca/committeeofadjustment for viewing purposes only

PUBLIC INPUT

Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

Orally: If you would like to speak to this item at the hearing you may do so via video link or by calling in. Please see attached page for complete instructions, including deadlines for registering to participate.

MORE INFORMATION

For more information on this matter, including access to drawings illustrating this request:

- Visit www.hamilton.ca/committeeofadjustment

FL/A-20:129
Page 2

- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935
- Email Committee of Adjustment staff at cofa@hamilton.ca

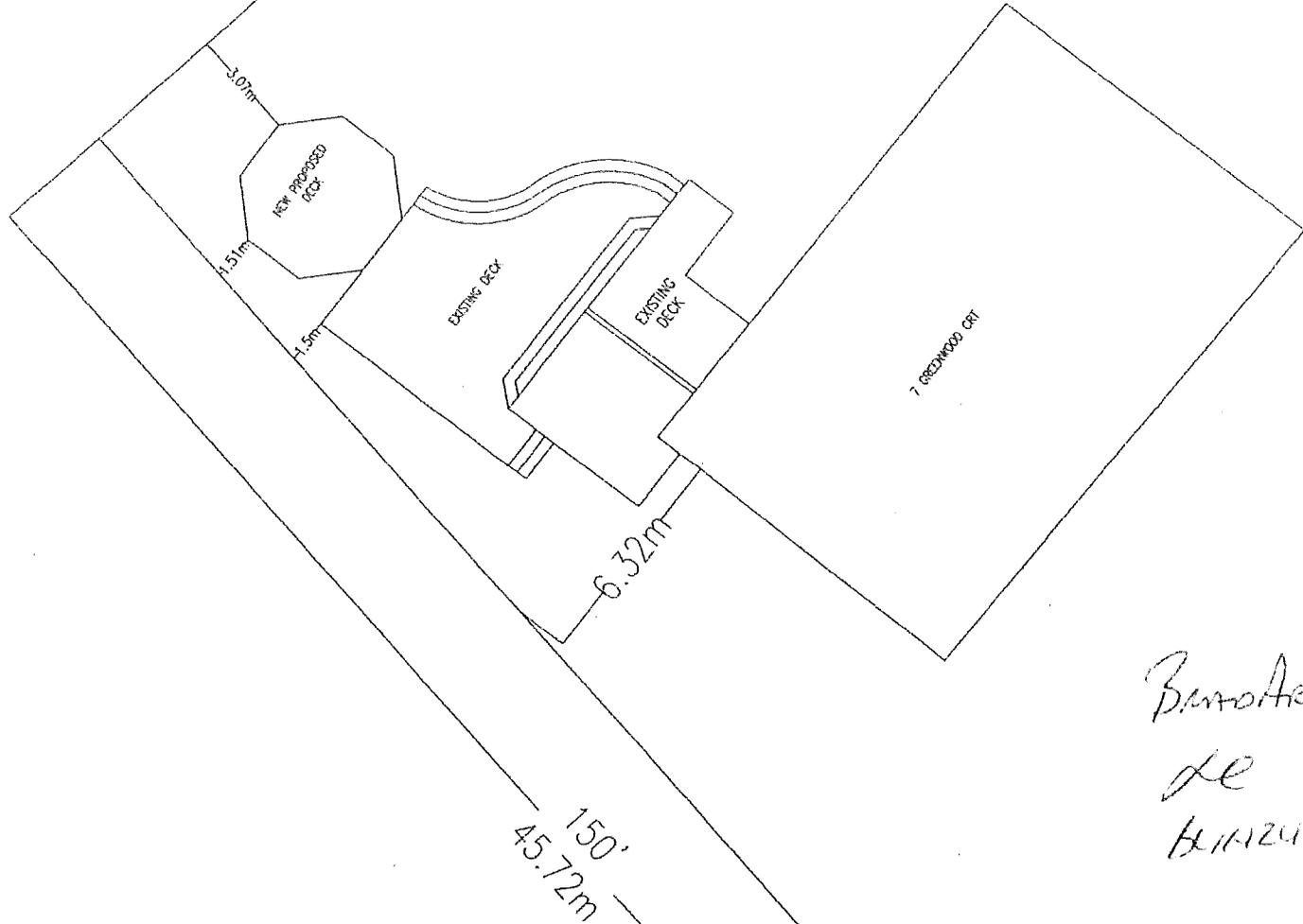
DATED: July 21st, 2020

Jamila Sheffield,
Secretary-Treasurer
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public.

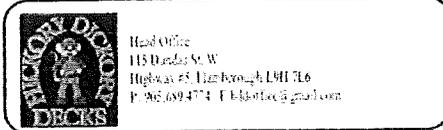
1 Site Plan

1 Scale: 1/16" = 1'



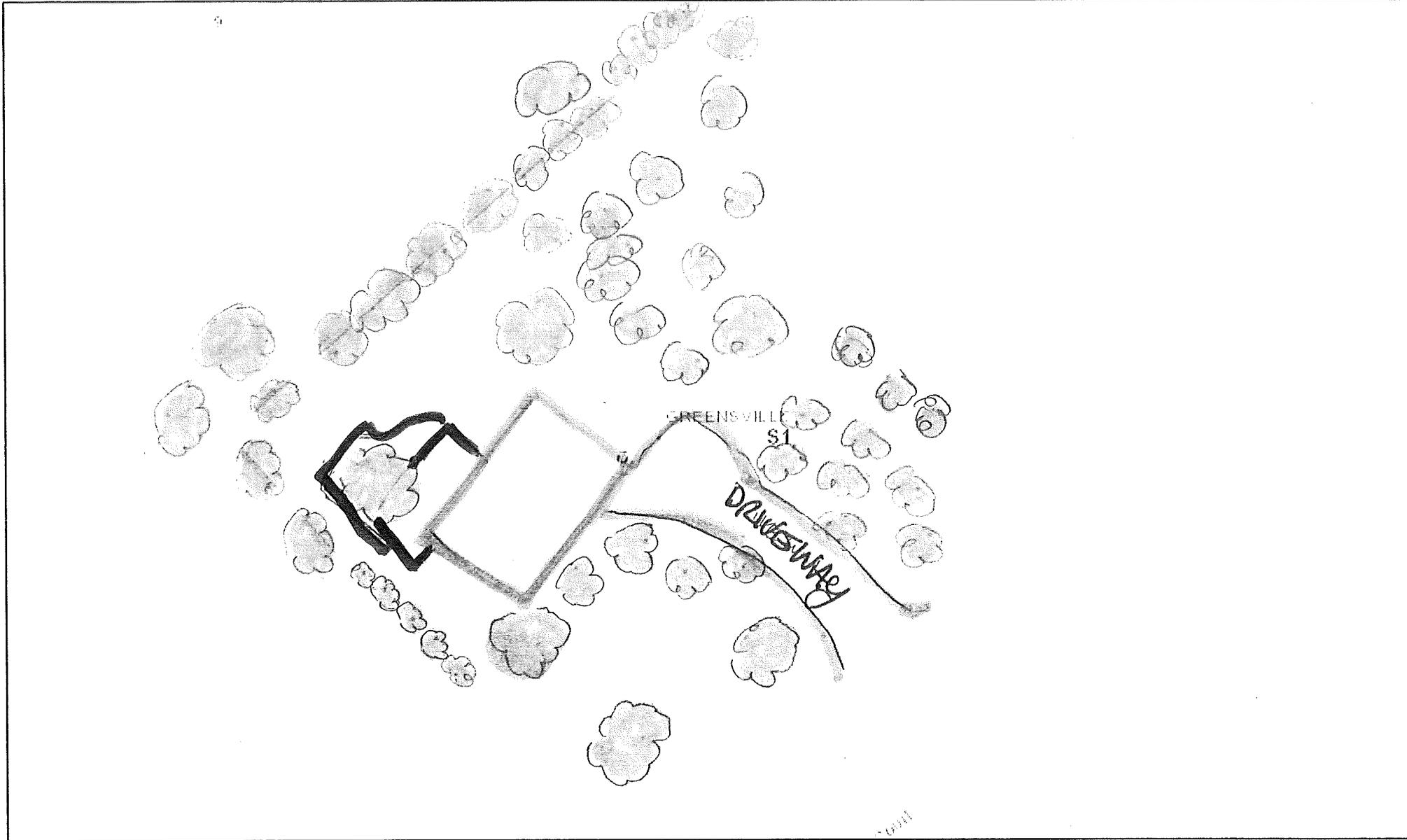
Joel Delleman
de
11/21/17

COPYRIGHT 2006 HICKORY DICKORY DECKS



Project: **Ron Nicholson**
 Job address: **7 Greenwood Court, Flamborough L9H 4X1**

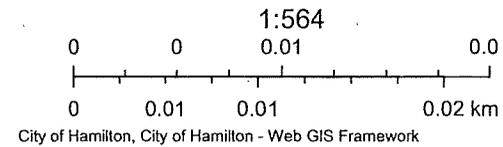
Drawing by: Joel Delleman	Drawing No: D1
Date drawn: November 21, 2017	



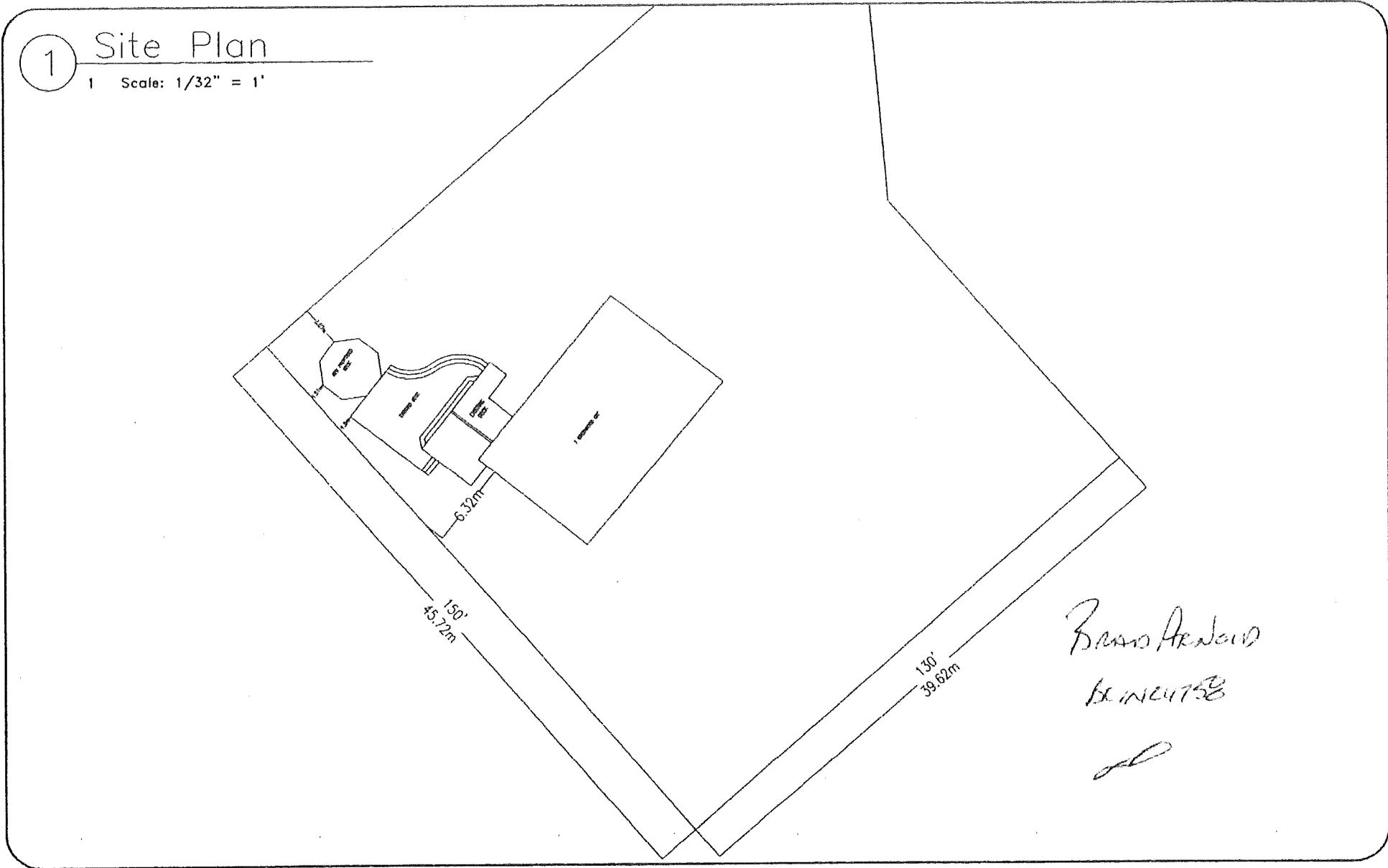
6/11/2020, 2:43:03 PM

- Ward Boundary
- Community Boundary
- City Boundary
- Rural Settlement Areas
- Property Parcels
- Zoning Boundaries
- Council Approved - Zoning Boundaries

TREES
Existing Deck



The City of Hamilton is not liable for any damages resulting from
This product is for informational purposes and may not have been prepared for, or be suitable for legal, engineering, or surveyi



COPYRIGHT 2006 HICKORY DICKORY DECKS

Ron Nicholson
BEINCHTSE
[Signature]



Head Office
 115 Dundas St. W.
 Highway #5, Scarborough, ON M1V 4Y6
 P: 905-669-4774 info@office@hdd.com

Project: **Ron Nicholson**

Job address: **7 Greenwood Court, Flamborough L9H 4X1**

Drawing by: Joel Delleman	Drawing No: D1
Date drawn: November 21, 2017	

Google Maps

↓ 9 BAYVIEW AVE



Imagery ©2020 First Base Solutions, Map data ©2020 10 m



Hamilton

Planning and Economic Development Department
Planning Division

Committee of Adjustment
City Hall
5th floor 71 Main Street West
Hamilton, Ontario L8P 4Y5

Phone (905) 546-2424 ext. 4221
Fax (905) 546-4202

RECEIVED
JUN 24 2020

PLEASE FILL OUT THE FOLLOWING PAGES AND
RETURN TO THE CITY OF HAMILTON PLANNING
DEPARTMENT.

COM OF ADJUSTMT

FOR OFFICE USE ONLY.	
APPLICATION NO. <u>FL/A. 20: 129</u>	DATE APPLICATION RECEIVED <u>JUNE 24/20</u>
PAID _____	DATE APPLICATION DEEMED COMPLETE _____
SECRETARY'S SIGNATURE _____	

CITY OF HAMILTON
COMMITTEE OF ADJUSTMENT
HAMILTON, ONTARIO

The Planning Act

Application for Minor Variance or for Permission

The undersigned hereby applies to the Committee of Adjustment for the City of Hamilton under Section 45 of the *Planning Act*, R.S.O. 1990, Chapter P.13 for relief, as described in this application, from the Zoning By-law.

- Name of Owner Ron Nicholson / Lisa Singh Telephone No.
-
- Name of Agent N/A Telephone No. _____
FAX NO. _____ E-mail address. _____
- Address _____
Postal Code _____

Note: Unless otherwise requested all communications will be sent to the agent, if any.

- Names and addresses of any mortgagees, holders of charges or other encumbrances:
TD Canada Trust, 938 King Street West, Hamilton, ON
Postal Code L8S1K8
Postal Code _____

6. Nature and extent of relief applied for:
Relief on rear setback from 6M to 3M - S1 of 05-200

7. Why it is not possible to comply with the provisions of the By-law?
Not able to modify deck design to stay within the rear set back requirement

8. Legal description of subject lands (registered plan number and lot number or other legal description and where applicable, street and street number):
Registered Plan#1036, Greenwood Heights Lot 13
7 Greenwood Court, Dundas, ON L9H4X1

9. PREVIOUS USE OF PROPERTY
 Residential Industrial _____ Commercial _____
 Agricultural _____ Vacant _____
 Other _____
- 9.1 If Industrial or Commercial, specify use
N/A
- 9.2 Has the grading of the subject land been changed by adding earth or other material, i.e. has filling occurred?
 Yes _____ No _____ Unknown
- 9.3 Has a gas station been located on the subject land or adjacent lands at any time?
 Yes _____ No Unknown _____
- 9.4 Has there been petroleum or other fuel stored on the subject land or adjacent lands?
 Yes _____ No Unknown _____
- 9.5 Are there or have there ever been underground storage tanks or buried waste on the subject land or adjacent lands?
 Yes _____ No Unknown _____
- 9.6 Have the lands or adjacent lands ever been used as an agricultural operation where cyanide products may have been used as pesticides and/or sewage sludge was applied to the lands?
 Yes _____ No Unknown _____
- 9.7 Have the lands or adjacent lands ever been used as a weapon firing range?
 Yes _____ No Unknown _____
- 9.8 Is the nearest boundary line of the application within 500 metres (1,640 feet) of the fill area of an operational/non-operational landfill or dump?
 Yes _____ No Unknown _____

9.9 If there are existing or previously existing buildings, are there any building materials remaining on site which are potentially hazardous to public health (eg. asbestos, PCB's)?

Yes No Unknown

9.10 Is there any reason to believe the subject land may have been contaminated by former uses on the site or adjacent sites?

Yes No Unknown

9.11 What information did you use to determine the answers to 9.1 to 9.10 above?

Based on knowledge of neighbours who have lived next door since the house was built
and on discussions with the previous home owner

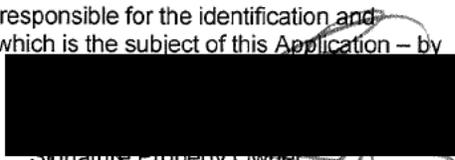
9.12 If previous use of property is industrial or commercial or if YES to any of 9.2 to 9.10, a previous use inventory showing all former uses of the subject land, or if appropriate, the land adjacent to the subject land, is needed.

Is the previous use inventory attached? Yes No

ACKNOWLEDGEMENT CLAUSE

I acknowledge that the City of Hamilton is not responsible for the identification and remediation of contamination on the property which is the subject of this Application – by reason of its approval to this Application.

6/5/2020
Date



Signature Property Owner

Ron Nicholson / Lisa Singh

Print Name of Owner

10. Dimensions of lands affected:

Frontage 130'
Depth 150'
Area 21,258 sq ft; 4.9 acres
Width of street 12'

11. Particulars of all buildings and structures on or proposed for the subject lands: (Specify ground floor area, gross floor area, number of stories, width, length, height, etc.)

Existing: House - 2 stories; 43' x 27'; 901 sq ft ground floor; 1800 gross sq ft; height 21'

Deck (existing) - irregular 480 sq feet; 30' X 25' (see drawings)

Proposed: House - no change

Deck- add 3rd level (see drawings) 14' x 14' octagon 164 sq ft

12. Location of all buildings and structures on or proposed for the subject lands; (Specify distance from side, rear and front lot lines)

Existing: House - front 70'; rear 35'; right side 60'; left side 20'

Existing Deck - front 105'; rear 22'; right side 120'; left side 6'

Proposed: _____
 Deck - Rear 10'; Side 6'

13. Date of acquisition of subject lands:
 1963

14. Date of construction of all buildings and structures on subject lands:
 House 1964/1965; Deck 2017

15. Existing uses of the subject property: _____
 Residential

16. Existing uses of abutting properties: _____
 Residential

17. Length of time the existing uses of the subject property have continued:
 60+ years

18. Municipal services available: (check the appropriate space or spaces)
 Water No - well _____ Connected _____
 Sanitary Sewer No - septic _____ Connected _____
 Storm Sewers No _____

19. Present Official Plan/Secondary Plan provisions applying to the land:
 N/A

20. Present Restricted Area By-law (Zoning By-law) provisions applying to the land:
 S1 of 05-200 Residential 12.3.3(e) regulation

21. Has the owner previously applied for relief in respect of the subject property?
 Yes No
 If the answer is yes, describe briefly.

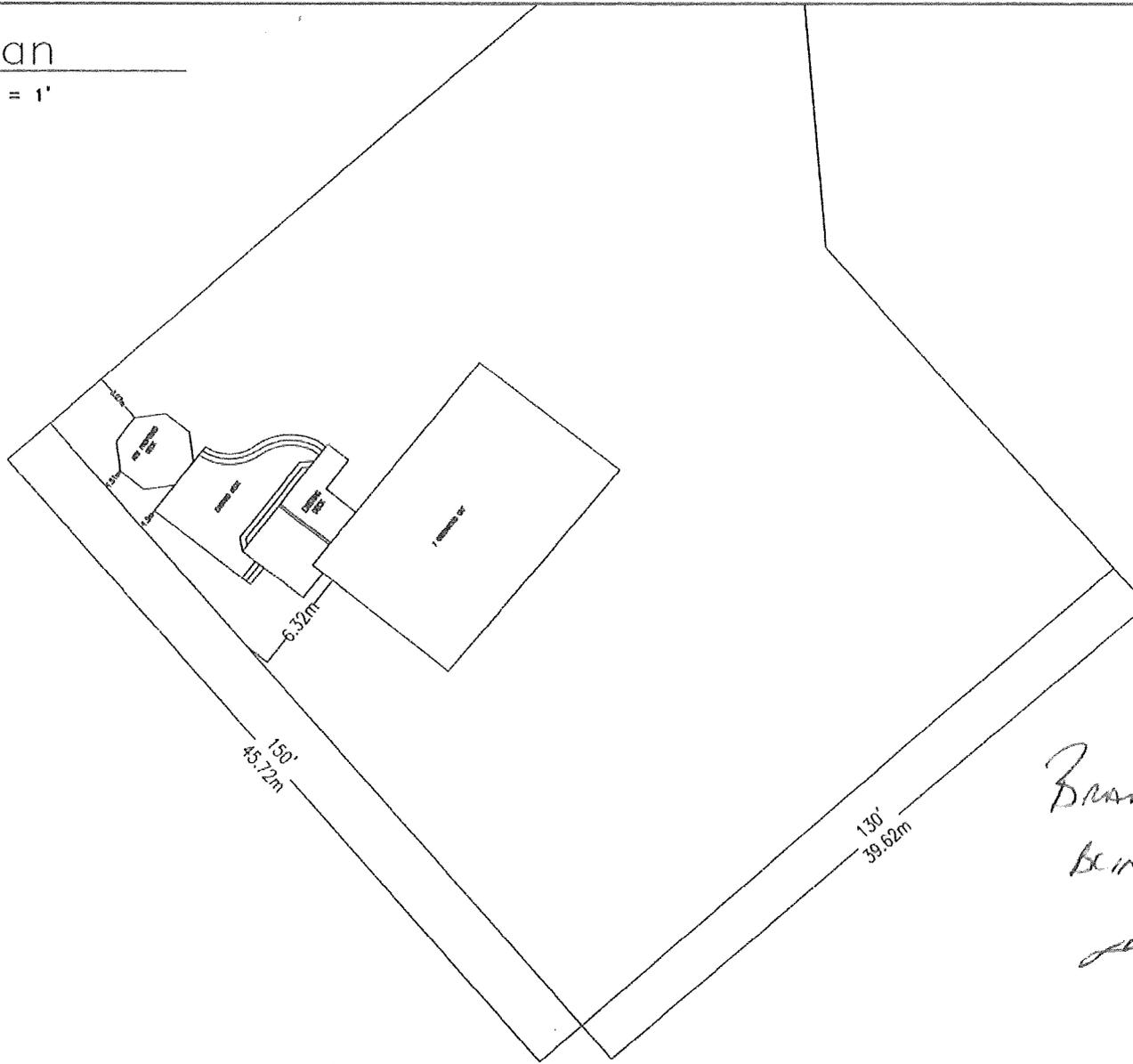
22. Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?
 Yes No

23. The applicant shall attach to each copy of this application a plan showing the dimensions of the subject lands and of all abutting lands and showing the location, size and type of all buildings and structures on the subject and abutting lands, and where required by the Committee of Adjustment such plan shall be signed by an Ontario Land Surveyor.

NOTE: It is required that two copies of this application be filed with the secretary-treasurer of the Committee of Adjustment together with the maps

1 Site Plan

Scale: 1/32" = 1'



BRAD ARLOW
BEINCHTSE
[Signature]



Head Office
 115 Dundas St. W
 Highway #5, Flamborough L9H 7L6
 P: 905 689-4774 E: hddoffice@gmail.com

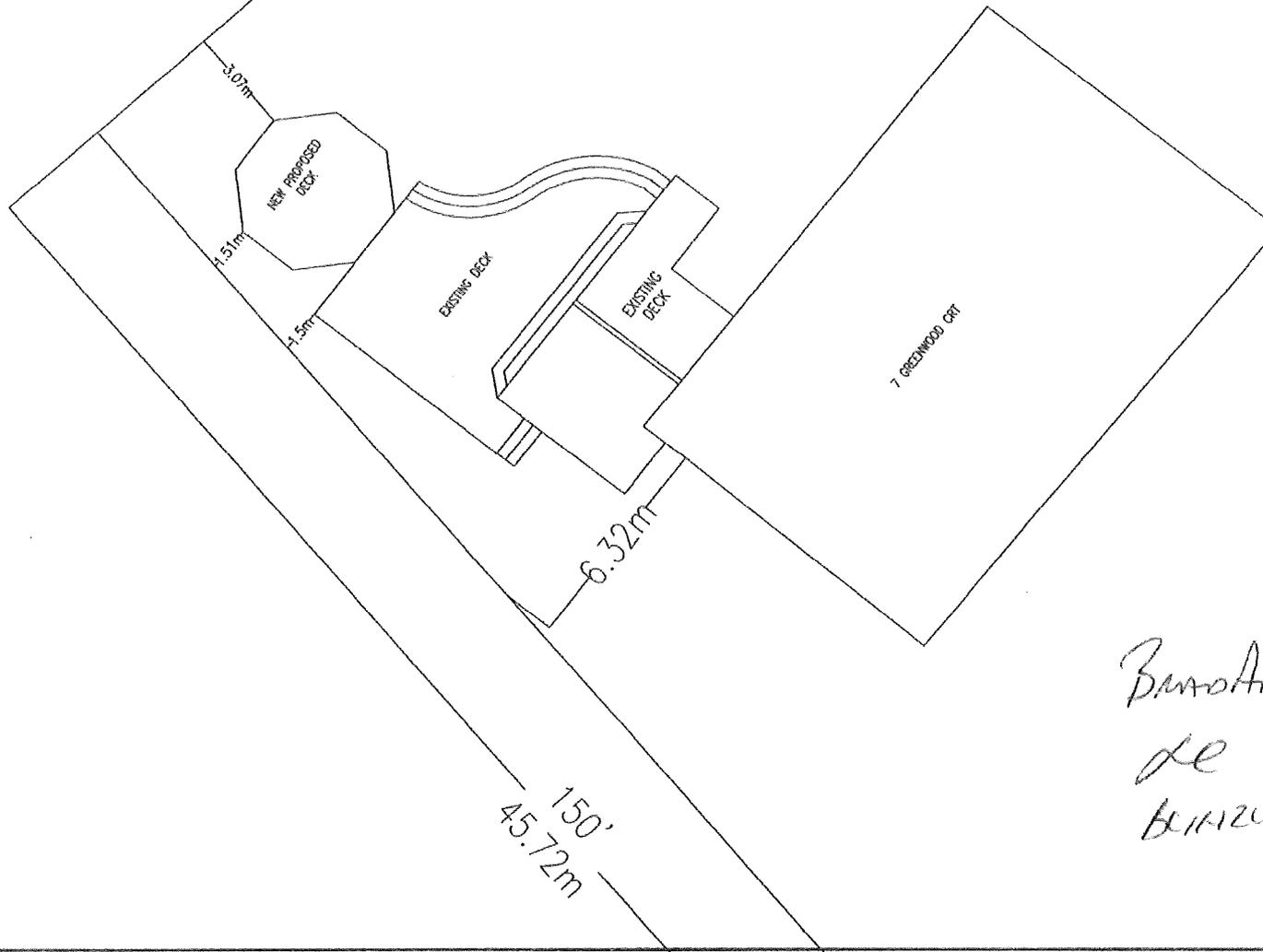
Project: **Ron Nicholson**

Job address: **7 Greenwood Court, Flamborough L9H 4X1**

Drawing by: Joel Delleman	Drawing No: D1
Date drawn: November 21, 2017	

1 Site Plan

Scale: 1/16" = 1'



Barbara Arnold
de
61124758



Head Office
 115 Dundas St. W.
 Highway #5, Flamborough L9H 7L6
 P: 905.689.4774 E: info@office@gmail.com

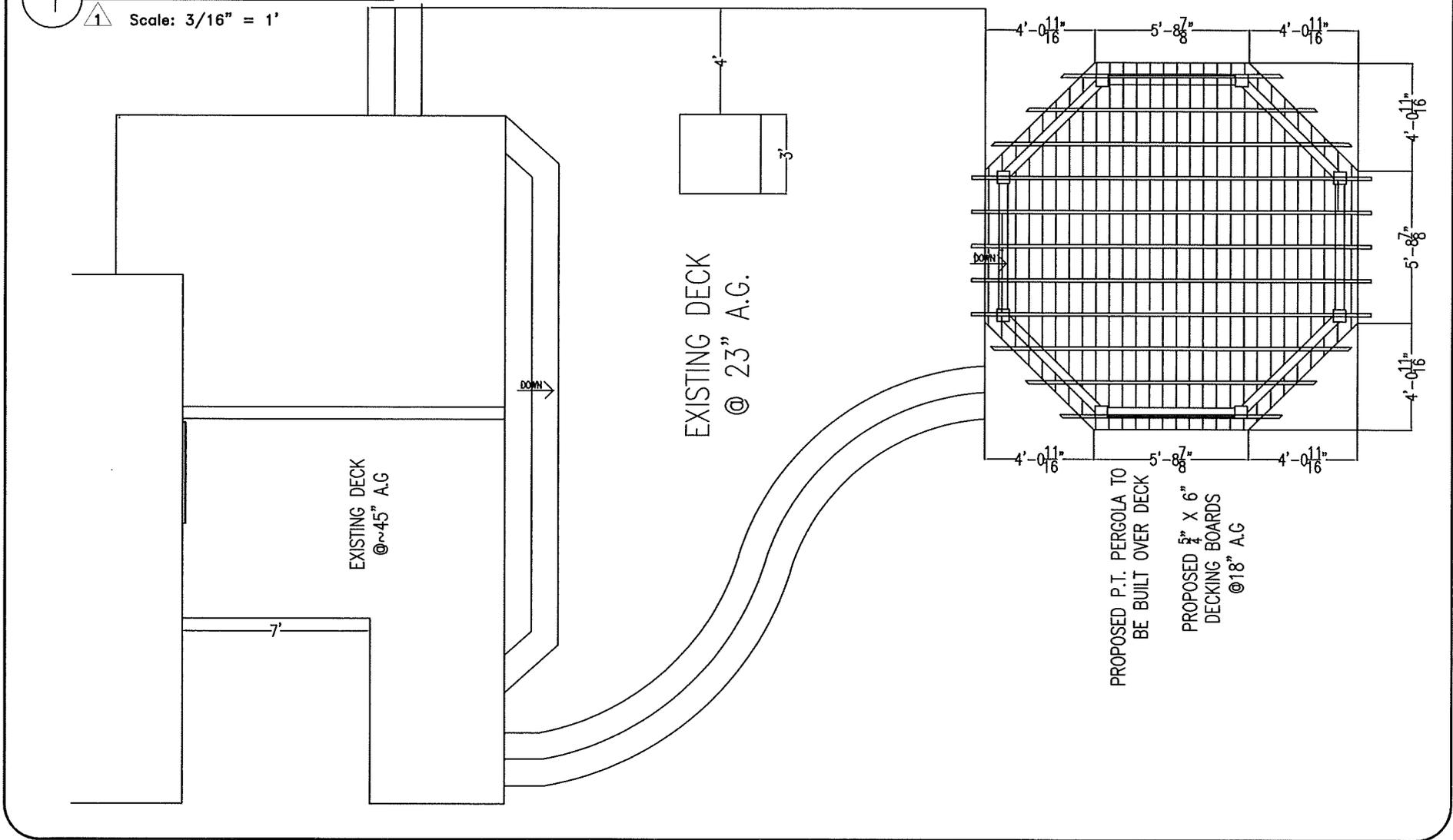
Project:	Ron Nicholson
Job address:	7 Greenwood Court, Flamborough L9H 4X1

Drawing by:	Joel Delleman
Date drawn:	November 21, 2017

Drawing No:	D1
-------------	----

1 DECK Plan

Scale: 3/16" = 1'



COPYRIGHT 2006 HICKORY DICKORY DECKS

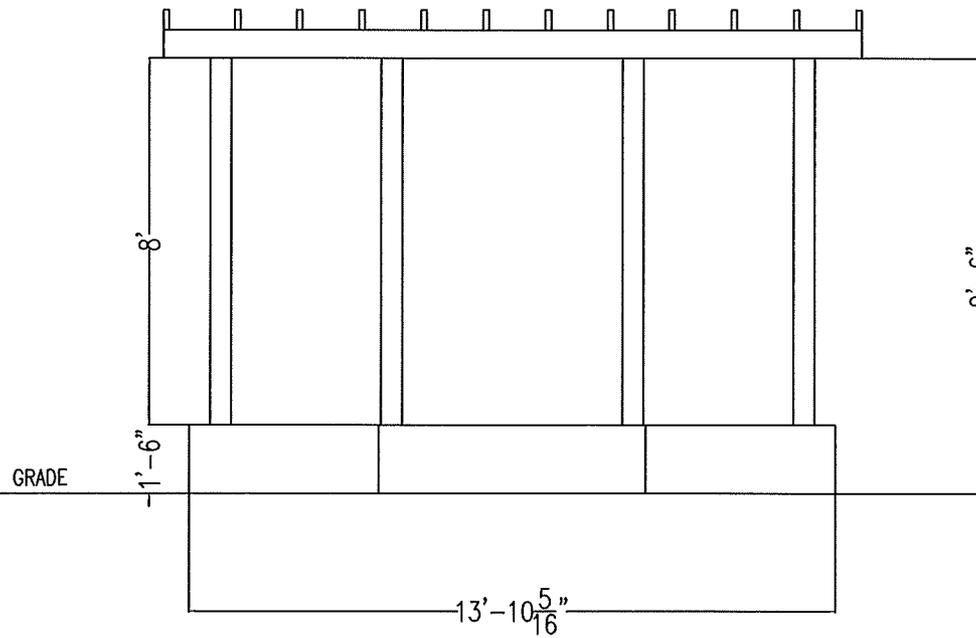


Head Office
115 Dundas St. W.
Highway #5, Flamborough L9H 7L6
P: 905.689.4774 E: hddoffice@gmail.com

Project: Ron Nicholson
Job address: 7 Greenwood Court, Flamborough L9H 4X1

Drawing by: Joel Delleman
Date drawn: November 21, 2017

Drawing No: D1



1 Deck Elevation Plan

Scale: 1/4" = 1'

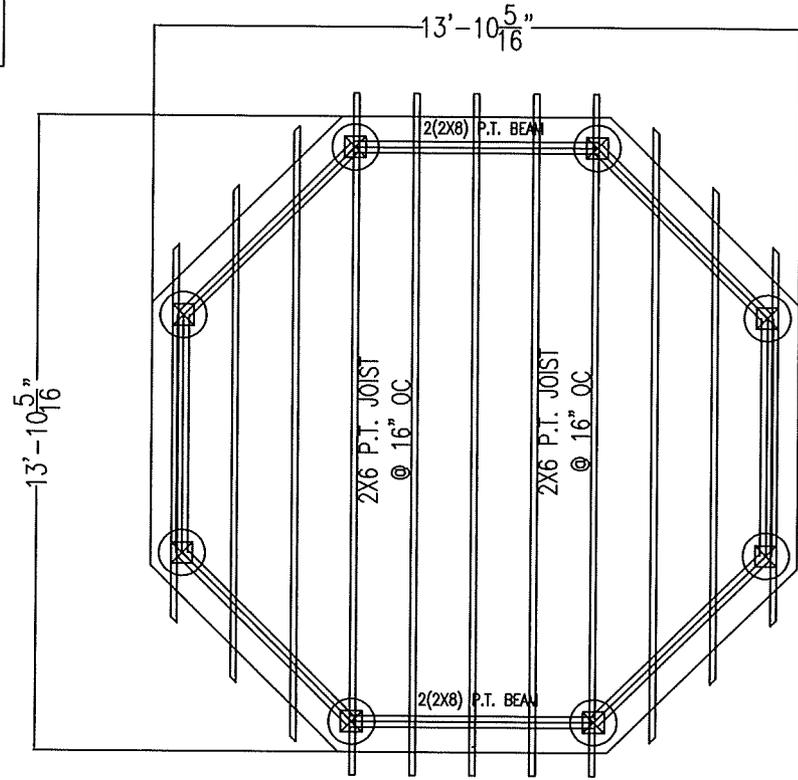
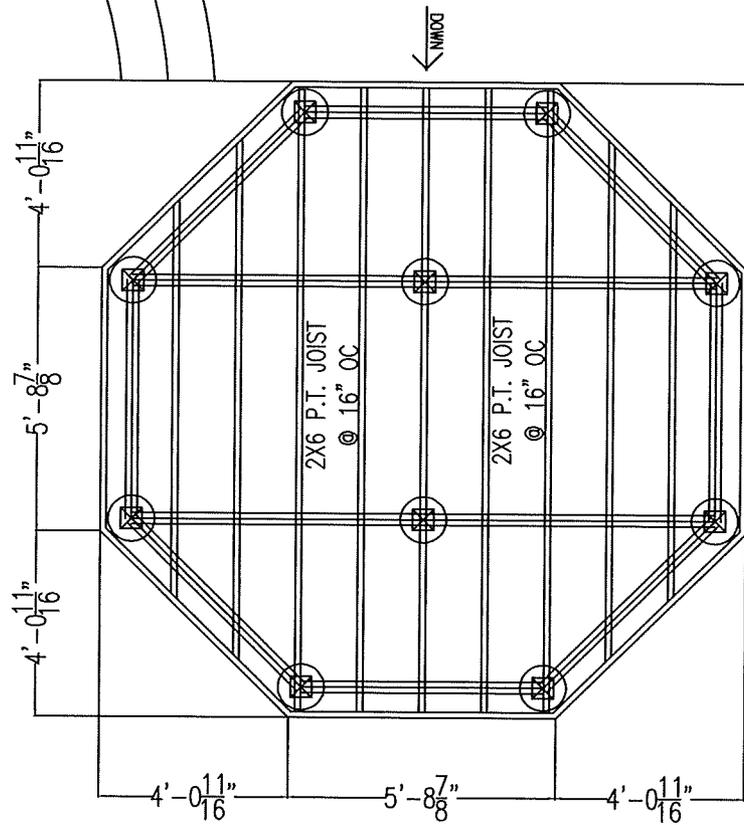


Head Office
115 Dundas St. W.
Highway #5, Flamborough L9H 7L6
P: 905.689.4774 E:hddoffice@gmail.com

Project: Ron Nicholson

Job address: 7 Greenwood Court, Flamborough L9H 4X1

Drawing by Joel Delleman	Drawing No: D1.1
Date drawn: November 21, 2017	



⊠ 6x6 P.T. POST ON 12" CONCRETE SONOTUBE (4' BELOW GRADE)

1 SUBSTRUCTURE Plan

Scale: 1/4" = 1'

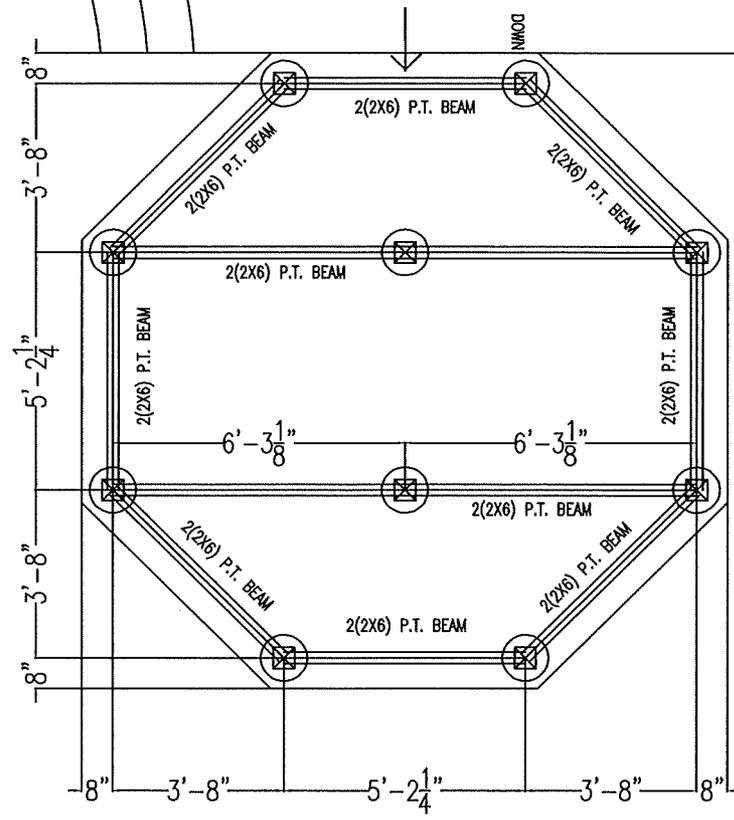


Head Office
115 Dundas St. W.
Highway #5, Flamborough L9H 7L6
P: 905.689.4774 E: hddoffice@gmail.com

Project:	Ron Nicholson
Job address:	7 Greenwood Court, Flamborough L9H 4X1

Drawing by:	Joel Delleman	Drawing No:	D2
Date drawn:	November 21, 2017		

COPYRIGHT 2006 HICKORY DICKORY DECKS



⊠ 6x6 P.T. POST ON 12" CONCRETE SONOTUBE (4' BELOW GRADE)

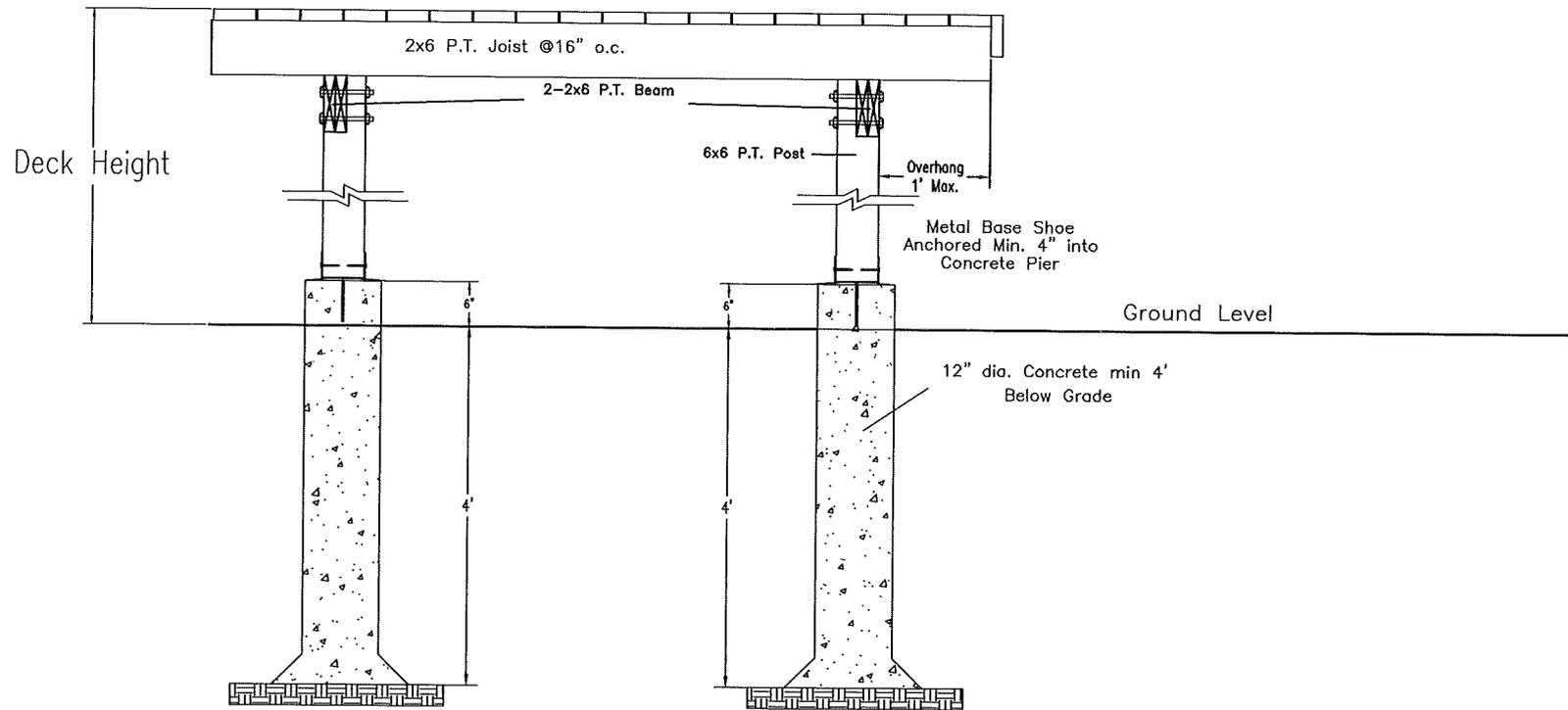
1 Foundation Plan
 Scale: 1/4" = 1'

HICKORY DICKORY DECKS
 Head Office
 115 Dundas St. W.
 Highway #5, Flamborough L9H 7L6
 P: 905.689.4774 E: hddoffice@gmail.com

Project: **Ron Nicholson**
 Job address: **7 Greenwood Court, Flamborough L9H 4X1**

Drawing by: **Joel Delleman**
 Date drawn: **November 21, 2017**
 Drawing No: **D3**

Sectional View



1 DETAILS SECTION
 Scale: 1/2" = 1'



Head Office
 115 Dundas St. W.
 Highway #5, Flamborough L9H 7L6
 P. 905.689.4774 E: hddoffice@gmail.com

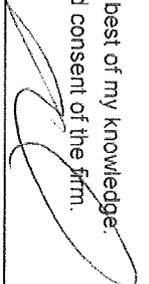
Project: Ron Nicholson

Job address: 7 Greenwood Court, Flamborough L9H 4X1

Drawing by Joel Delleman	Drawing No: D4
Date drawn: November 21, 2017	

Schedule 1: Designer Information

Use one form for each individual who reviews and takes responsibility for design activities with respect to the project.

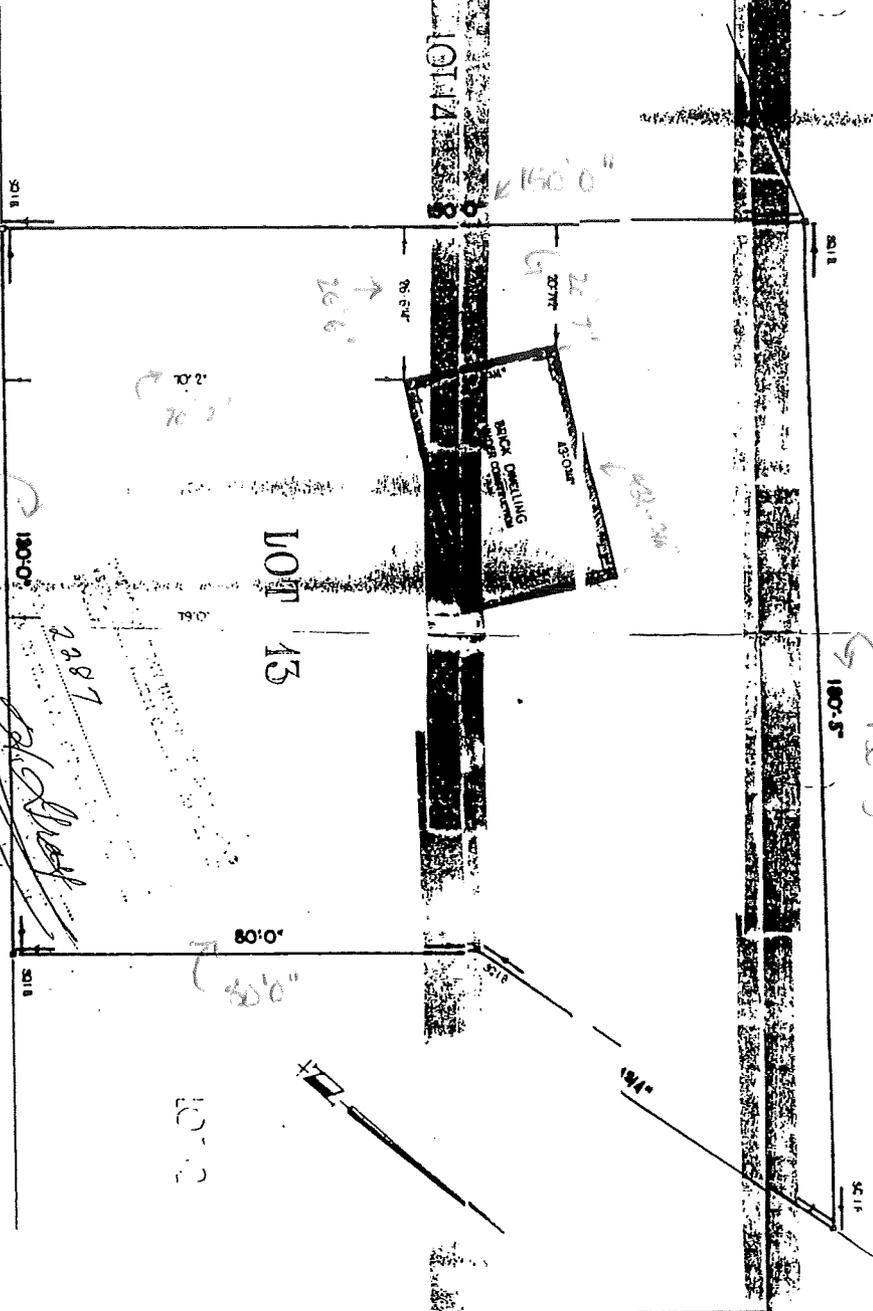
A. Project Information				Unit no.	Lot/con.
Building number, street name 7 Greenwood Ct		Postal code L9H 4X1	Plan number/ other description		
Municipality Flamborough					
B. Individual who reviews and takes responsibility for design activities					
Name Brad Arnold		Firm Hickory Dicky Decks			
Street address 115 DUNDAS ST WEST					
Municipality FLAMBOROUGH	Postal code L9H7L6	Province ON	E-mail BARNOLD@DECKS.CA	Lot/con.	
Telephone number (905) 689-4774	Fax number (905) 689-9753	Cell number ()			
C. Design activities undertaken by individual identified in Section B. [Building Code Table 3.5.2.1. of Division C]					
House Small Buildings Large Buildings Complex Buildings	HVAC – House Building Services Detection, Lighting and Power Fire Protection	Building Structural Plumbing – House Plumbing – All Buildings On-site Sewage Systems			
Description of designer's work Rear yard Deck					
D. Declaration of Designer					
I, <u>Brad Arnold</u>				declare that (choose one as appropriate):	
		(print name)			
I review and take responsibility for the design work on behalf of a firm registered under subsection 3.2.4. of Division C, of the Building Code. I am qualified, and the firm is registered, in the appropriate classes/categories.					
Individual BCIN: _____					
Firm BCIN: _____					
I review and take responsibility for the design and am qualified in the appropriate category as an "other designer" under subsection 3.2.5. of Division C, of the Building Code.					
Individual BCIN: <u>24758</u>					
Basis for exemption from registration: _____					
The design work is exempt from the registration and qualification requirements of the Building Code.					
Basis for exemption from registration and qualification: _____					
I certify that:					
1. The information contained in this schedule is true to the best of my knowledge.					
2. I have submitted this application with the knowledge and consent of the firm.					
Date <u>November 23rd, 2017</u>		Signature of Designer 			

NOTE:

1. For the purposes of this form, "individual" means the "person" referred to in Clause 3.2.4.7(1) (c) of Division C, Article 3.2.5.1. of Division C, and all other persons who are exempt from qualification under Subsections 3.2.4. and 3.2.5. of Division C.
2. Schedule 1 is not required to be completed by a holder of a license, temporary license, or a certificate of practice, issued by the Ontario Association of Architects. Schedule 1 is also not required to be completed by a holder of a license to practise, a limited license to practise, or a certificate of authorization, issued by the Association of Professional Engineers of Ontario.

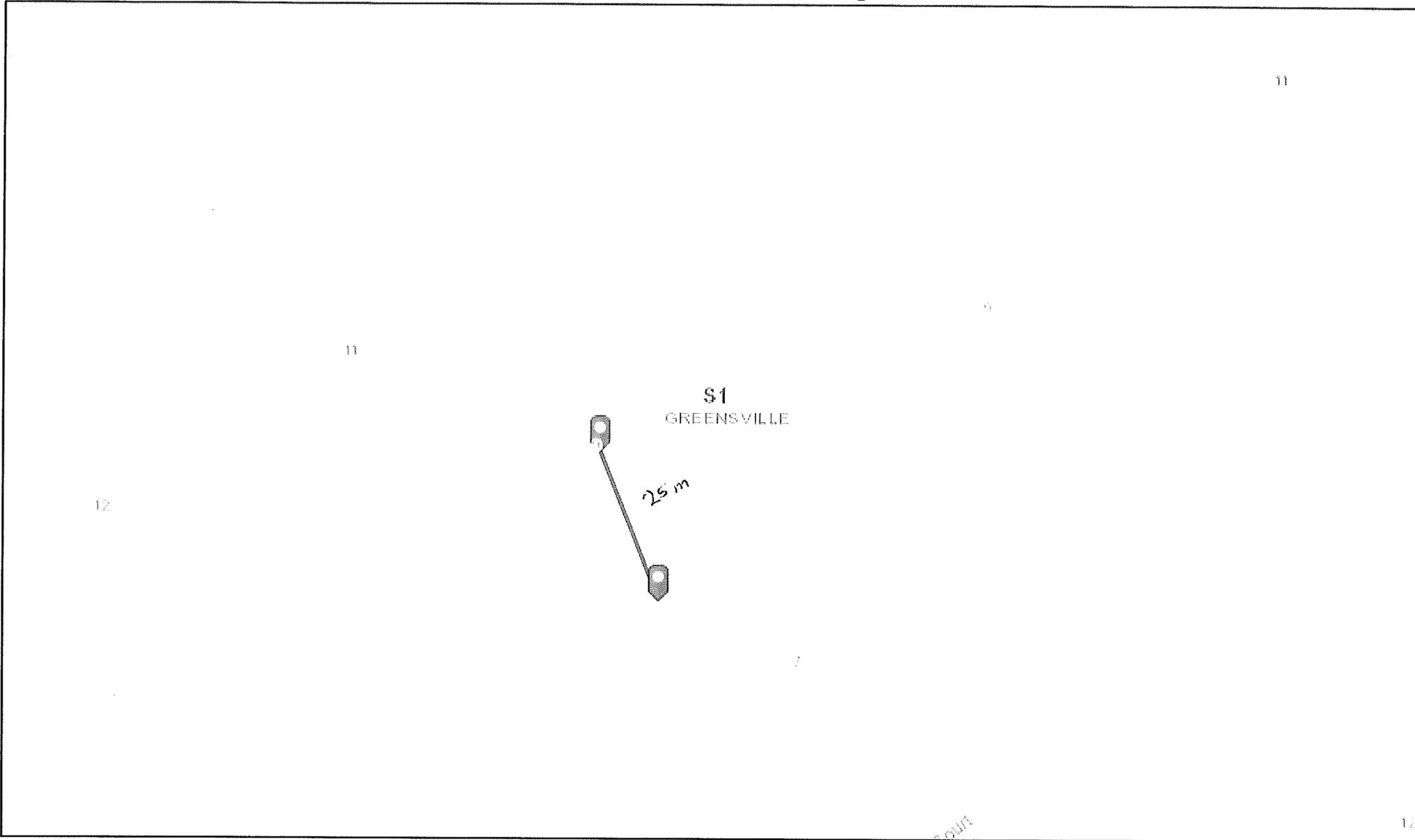
PLAN
 SHOWING
LOT 13
 IN
GLENWOOD HEIGHTS
 REGISTERED PLAN No 1036
 IN THE
TOWNSHIP OF WEST FLAMBOROUGH
 SCALE 1"=20'

GREENWOOD COURT



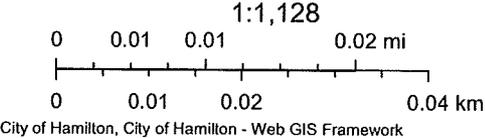
1300' 0"
2287
Back Opening
Back Opening

Mackay & Mackay & Peters
 ENGINEERS & SURVEYORS
 100-100, DUNDAS ST. W.
 TORONTO, ONTARIO
[Signature]
 ONSHORE LAND SURVEYOR
 AUGUST 9 1963



5/24/2020, 3:18:56 PM

- Ward Boundary
- Community Boundary
- City Boundary
- Rural Settlement Areas
- Property Parcels
- Zoning Boundaries
- Council Approved - Zoning Boundaries



The City of Hamilton is not liable for any damages resulting from
 This product is for informational purposes and may not have been prepared for, or be suitable for legal, engineering, or surveyi



Picture from existing deck
To show existing greenery
To right is site for proposed new deck
To left is 9 Bayview



Picture from existing deck
To show existing greenery
To right is site for proposed new deck
To left is 9 Bayview



Picture from existing deck

Site for proposed new deck



Neighboring property - Front yard of 9 Bayview
starts beyond the tree line
House is 25 meters from fence and 28 meters
from proposed deck
House is 20' to 25' higher in elevation than proposed deck



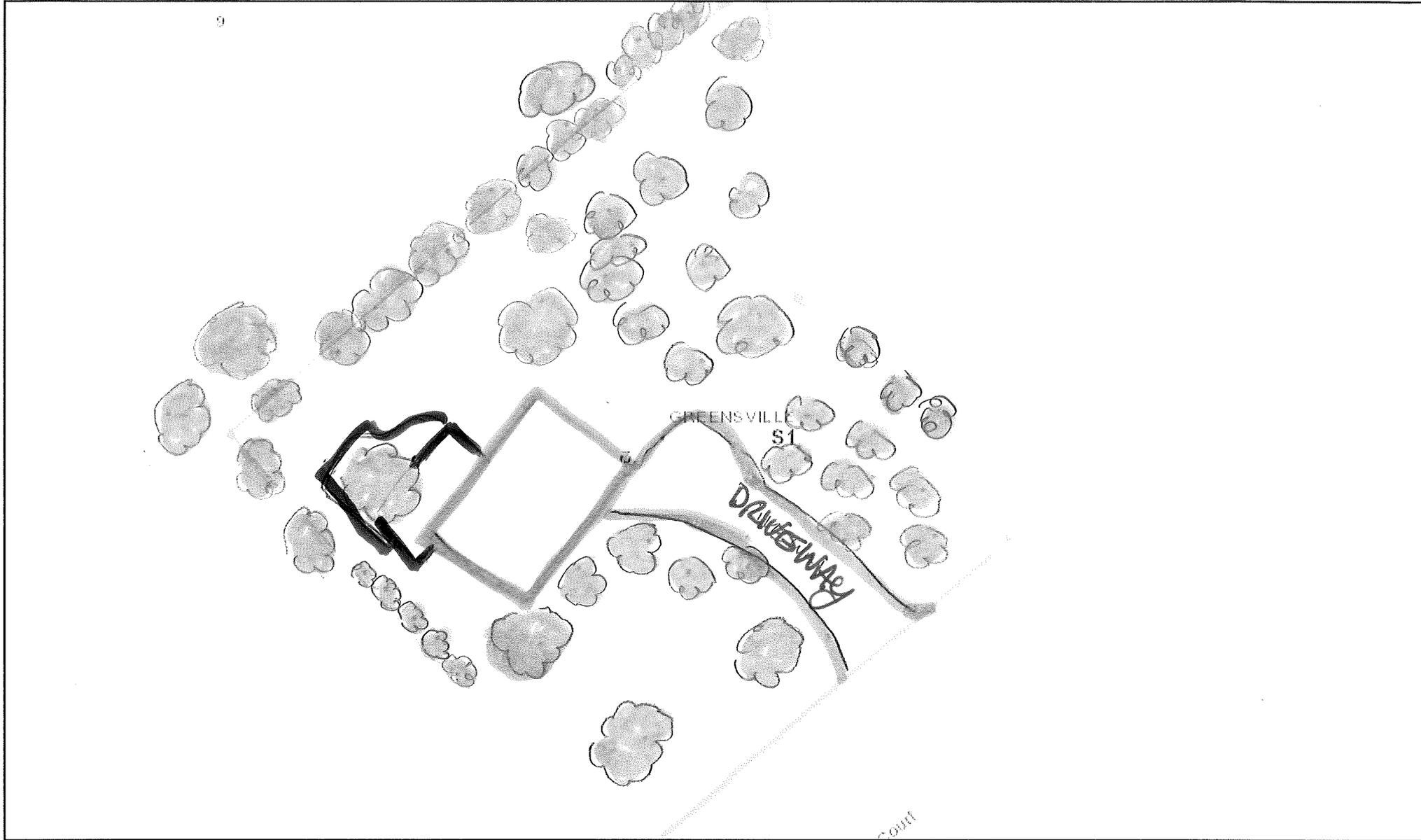
Neighboring property - Front yard of 9 Bayview
starts beyond the tree line
House is 25 meters from fence and 28 meters
from proposed deck
House is 20' to 25' higher in elevation than proposed deck

Google Maps

↓ 9 BAY VIEW AVE



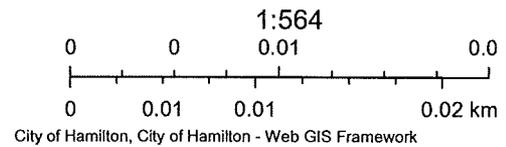
Imagery ©2020 First Base Solutions, Map data ©2020 10 m

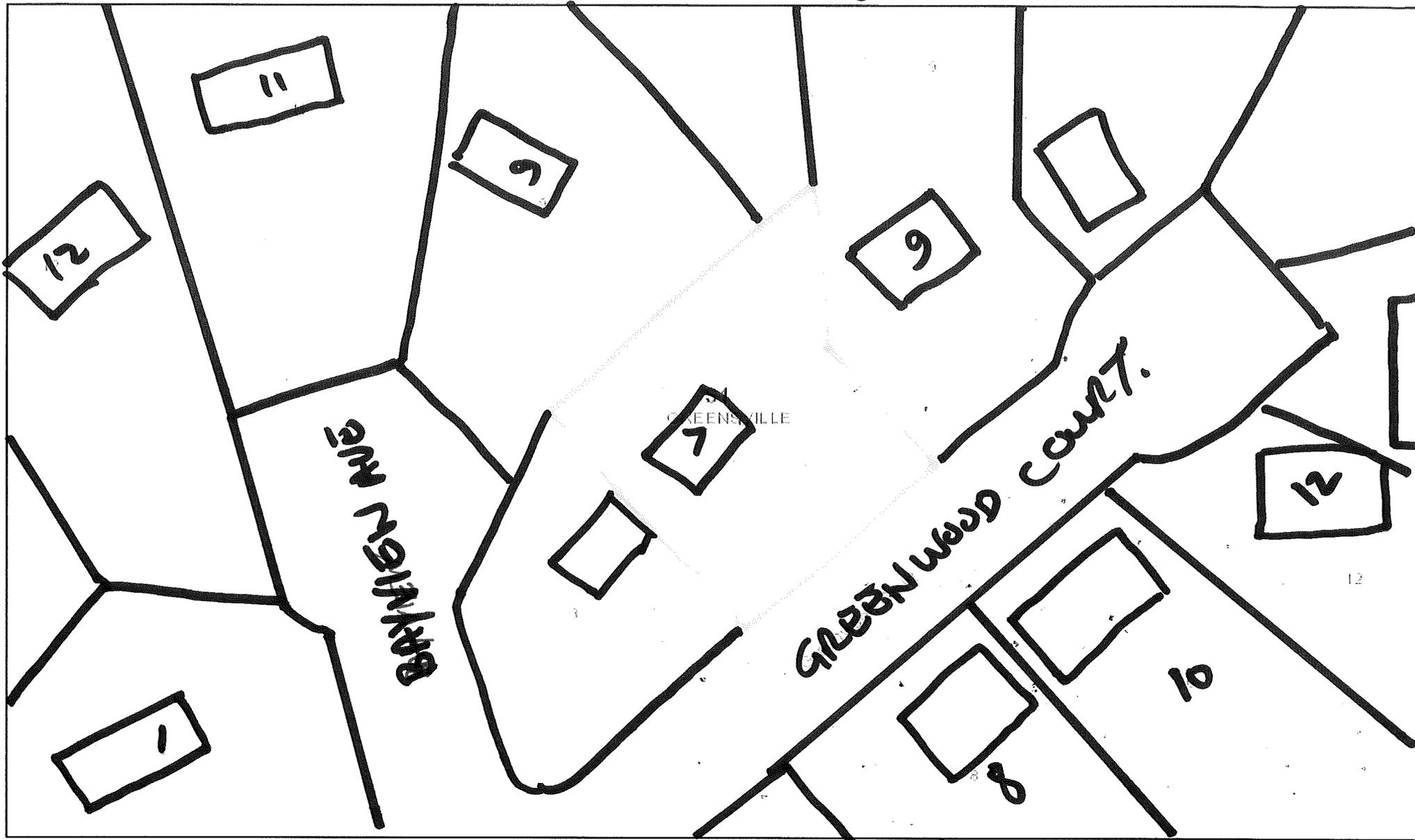


6/11/2020, 2:43:03 PM

- Ward Boundary
- Community Boundary
- City Boundary
- Rural Settlement Areas
- Property Parcels
- Zoning Boundaries
- Council Approved - Zoning Boundaries

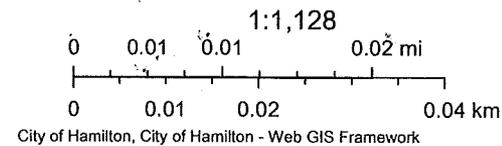
TREES
Existing Deck



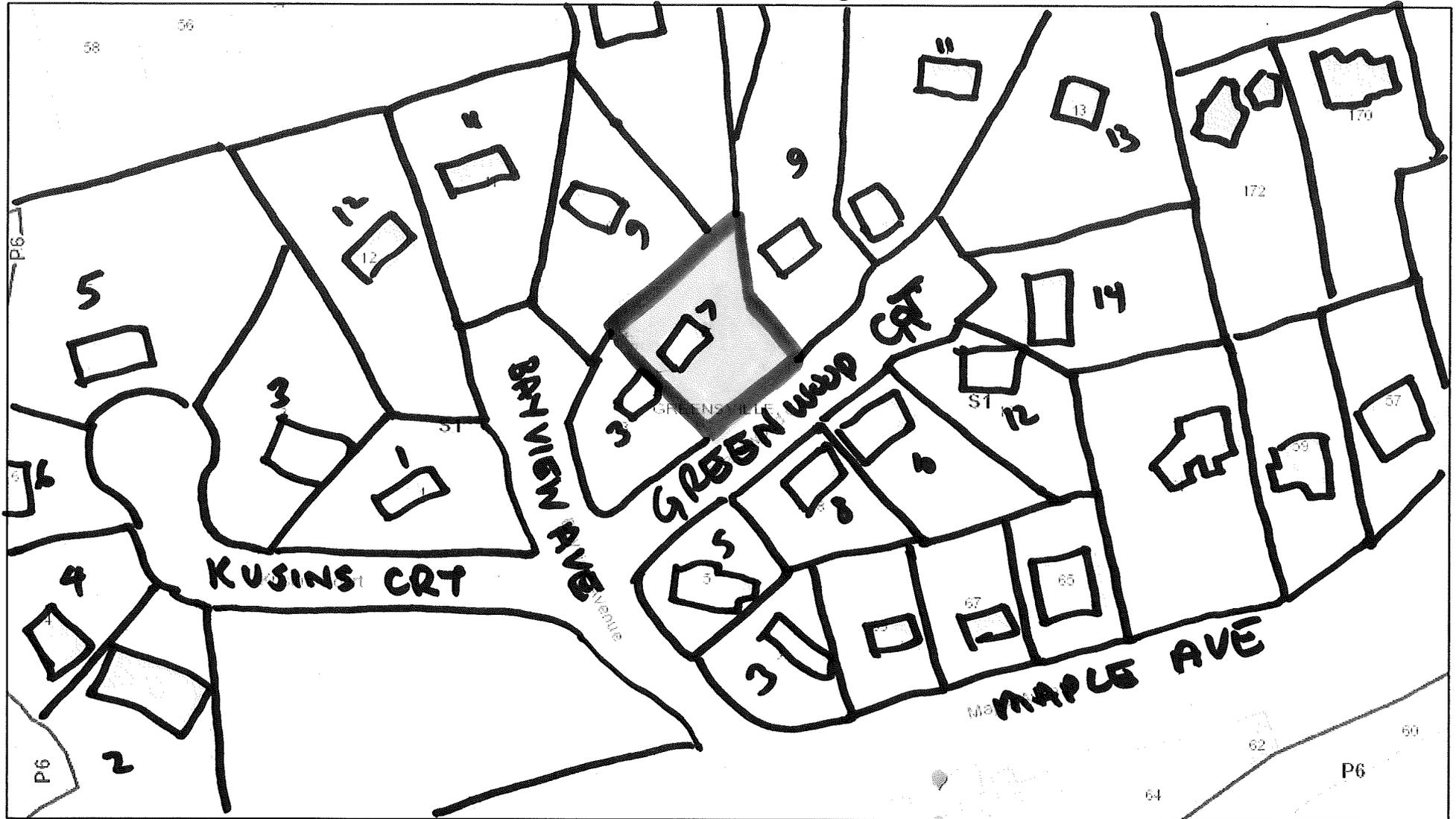


6/11/2020, 2:39:39 PM

- Ward Boundary
- Community Boundary
- City Boundary
- Rural Settlement Areas
- Property Parcels
- Zoning Boundaries
- Council Approved - Zoning Boundaries

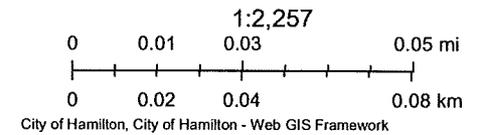


Interactive Zoning



6/11/2020, 2:42:10 PM

-  Committee of Adjustment
-  Ward Boundary
-  Community Boundary
-  City Boundary
-  Rural Settlement Areas
-  Property Parcels
-  Zoning Boundaries
-  Council Approved - Zoning Boundaries



The City of Hamilton is not liable for any damages resulting from the use of, or This product is for informational purposes and may not have been prepared for, or be suitable for legal, engineering, or surveying purposes.

Dennis and Jennifer Rowley
9 Bayview Ave
Dundas, Ontario
L9H 4W9
905 627 4236

June 3rd, 2020

Attention: Committee of Adjustment
City Hall
5th Floor 71 Main Street West
Hamilton, ON L8P 4Y5

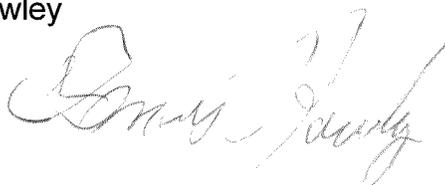
Re: Application for minor variance – 7 Greenwood Court, Dundas, ON

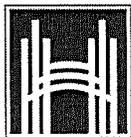
We have reviewed the request for minor variance related to 7 Greenwood Court, Dundas, ON. We understand that the homeowners, Ron Nicholson and Lisa Singh, are requesting a variance from the existing rear setback provision of 6 meters to a proposed setback of 3 meters for a new deck.

Our front yard adjoins the back yard of 7 Greenwood Court. Our house is 25 meters from the fence line, 28 meters from the proposed deck and approximately 20' to 25' higher in elevation than the proposed deck. There is existing greenery that provides some privacy from the proposed deck. We feel that the proposed deck will not impede the enjoyment of our property and, as such, are in support of the minor variance.

Regards,

Dennis and Jennifer Rowley

A handwritten signature in cursive script, appearing to read "Dennis Rowley". The signature is written in black ink and is positioned below the typed name.



Hamilton

COMMITTEE OF ADJUSTMENT

City Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5
 Telephone (905) 546-2424, ext. 4221, 3935 Fax (905) 546-4202
 E-mail: cofa@hamilton.ca

NOTICE OF PUBLIC HEARING
Minor Variance

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
 - Applicant/agent on file, or
 - Person likely to be interested in this application
-

APPLICATION NO.: FL/A-20:89

APPLICANTS: Owner: Tyler Porteous
 Agent: SMPL Design Studio c/o Lindsey Bruce

SUBJECT PROPERTY: Municipal address **182 11th Con. Rd. E., Flamborough**

ZONING BY-LAW: Zoning By-law 05-200, as Amended

ZONING: P7, P8, A2 (Conservation/Hazard Land - Rural, Rural) district

PROPOSAL: To permit the construction of an 88.10 square metre addition to an existing single detached dwelling, notwithstanding that:

1. A maximum expansion of 44 percent of the gross floor area of an existing building or structure shall be permitted, allowing a gross floor area expansion of 88.10 square metres, instead of the permitted maximum expansion of 10 percent of the gross floor area of an existing building or structure, allowing a maximum gross floor area expansion of 16.38 square metres.

NOTE:

1. No elevation drawings or floor plans were included as part of this application. Further variances may be required if compliance with Hamilton Zoning By-law 05-200 is not possible.
2. Specific details regarding permitted yard encroachments were included as part of this application. Further variances may be required if compliance with Hamilton Zoning By-law 05-200 is not possible.
3. Construction of the proposed addition is subject to the issuance of a building permit in the normal manner. Be advised that Ontario Building Code regulations may require specific setbacks and construction types.

This application will be heard by the Committee as shown below:

DATE: Thursday, August 6th, 2020

TIME: 1:30 p.m.

PLACE: Via video link or call in (see attached sheet for details)

To be streamed at www.hamilton.ca/committeeofadjustment for viewing purposes only

FL/A-20:89
Page 2

PUBLIC INPUT

Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

Orally: If you would like to speak to this item at the hearing you may do so via video link or by calling in. Please see attached page for complete instructions, including deadlines for registering to participate.

MORE INFORMATION

For more information on this matter, including access to drawings illustrating this request:

- Visit www.hamilton.ca/committeeofadjustment
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935
- Email Committee of Adjustment staff at cofa@hamilton.ca

DATED: July 21st, 2020

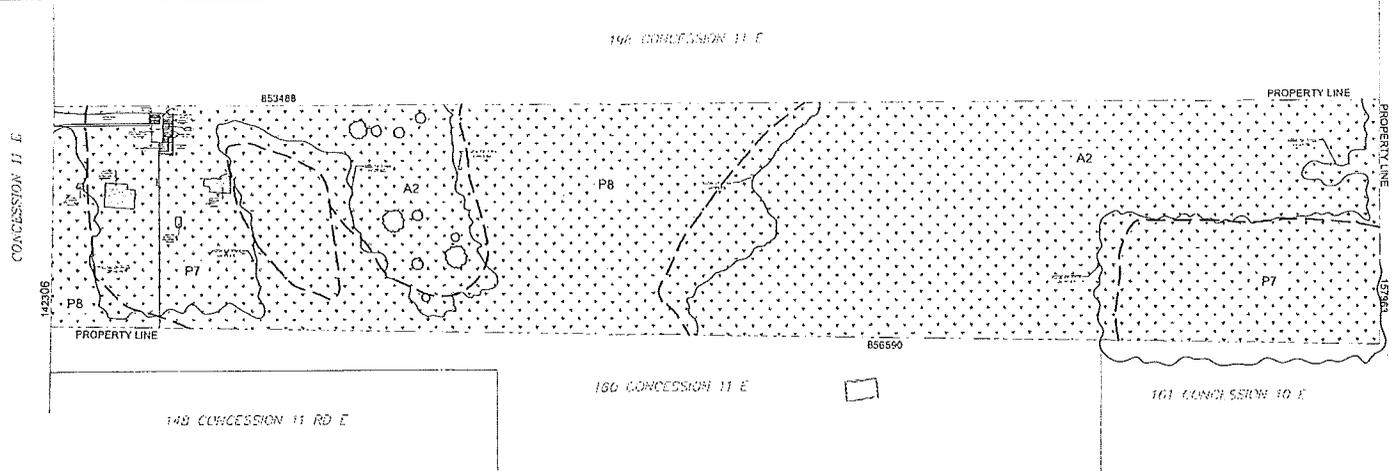
Jamila Sheffield,
Secretary-Treasurer
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public.

LOT STATISTICS
 182 Concession 11 E
 Zoning Designation - A2,P7,P8 (05-200)
 Front Yard: Required 10m; Existing 62.38m (OK)
 Rear Yard: Required 10m; (OK)
 North Side Yard: Required 3m; Proposed 4.69m (OK)
 South Side Yard: Required 3m; Proposed 114.45m (OK)
 Floor Area Ratio: Allowed Existing + 10% (16.38m²);
 Proposed 44% (68.10m²) (VARIANCE)

note:
 all dimensions shown in millimeters unless noted otherwise

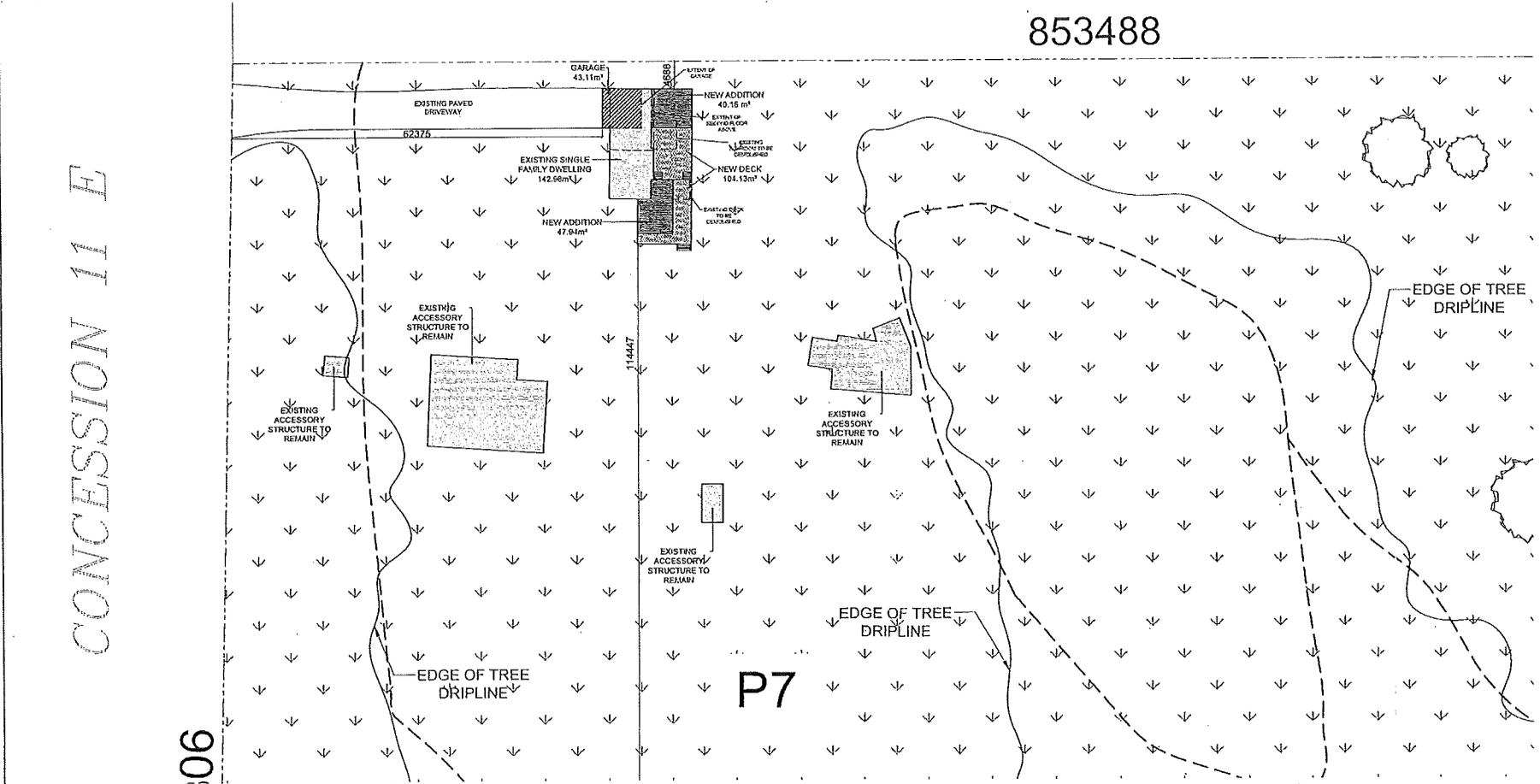
EXISTING
 PROPOSED
 GARAGE
 DECK / BALCONY
 LANDSCAPE



DO NOT SCALE DRAWINGS
 Note:
 1) Consultant to check all dimensions, specifications, and materials shall be responsible for reporting any discrepancy to the engineer and/or client.
 2) These plans are intended to be the property of the designer and shall be returned upon request. These plans must not be used in any other location without the written approval of the designer.
 3) All work to be in accordance with the Ontario Building Code.

SMPDL DESIGN STUDIO
 sustainable, modern, practical, livable
 Architectural Design Services
 www.smpdesignstudio.com

1 Proposed Site Plan
 Scale: NTS



Drawing Submissions:

Date:	Type:
February 3, 2020	As Found
February 24, 2020	Concept

182 Concession 11 E,
 Hamilton, Ontario

Reviewed By: JT
 Drawn By: KC, HA
 Plot Date:

Page
SP1.01

Site Plan

2 Proposed Site Plan
 Scale 1:500



Hamilton

Planning and Economic Development Department
Planning Division

Committee of Adjustment
City Hall
5th floor 71 Main Street West
Hamilton, Ontario L8P 4Y5

Phone (905) 546-2424 ext.4221
Fax (905) 546-4202

PLEASE FILL OUT THE FOLLOWING PAGES AND
RETURN TO THE CITY OF HAMILTON PLANNING
DEPARTMENT.

FOR OFFICE USE ONLY.	
APPLICATION NO. <u>FL/A. 20:89</u>	DATE APPLICATION RECEIVED <u>Mar. 13/20</u>
PAID _____	DATE APPLICATION DEEMED COMPLETE _____
SECRETARY'S SIGNATURE _____	

CITY OF HAMILTON
COMMITTEE OF ADJUSTMENT
HAMILTON, ONTARIO

The Planning Act

Application for Minor Variance or for Permission

The undersigned hereby applies to the Committee of Adjustment for the City of Hamilton under Section 45 of the *Planning Act*, R.S.O. 1990, Chapter P.13 for relief, as described in this application, from the Zoning By-law.

1. Name of Owner Tyler Porteous Telephone No. _____



3. Name of Agent SMPL DESIGN STUDIO Telephone No _____



Note: Unless otherwise requested all communications will be sent to the agent, if any.

5. Names and addresses of any mortgagees, holders of charges or other encumbrances:

Postal Code _____

Postal Code _____

6. Nature and extent of relief applied for:

Floor Area Ratio - allowed 10% addition
- proposed 44% addition

7. Why it is not possible to comply with the provisions of the By-law?

Size of existing dwelling and available addition
space required

8. Legal description of subject lands (registered plan number and lot number or other legal description and where applicable, street and street number):

Lot 9 Con 10 E FAMBOROUGH

182 CONCESSION 11 E, HAMILTON

9. PREVIOUS USE OF PROPERTY

Residential Industrial Commercial
 Agricultural Vacant
 Other _____

9.1 If Industrial or Commercial, specify use

9.2 Has the grading of the subject land been changed by adding earth or other material, i.e. has filling occurred?

Yes No Unknown

9.3 Has a gas station been located on the subject land or adjacent lands at any time?

Yes No Unknown

9.4 Has there been petroleum or other fuel stored on the subject land or adjacent lands?

Yes No Unknown

9.5 Are there or have there ever been underground storage tanks or buried waste on the subject land or adjacent lands?

Yes No Unknown

9.6 Have the lands or adjacent lands ever been used as an agricultural operation where cyanide products may have been used as pesticides and/or sewage sludge was applied to the lands?

Yes No Unknown

9.7 Have the lands or adjacent lands ever been used as a weapon firing range?

Yes No Unknown

9.8 Is the nearest boundary line of the application within 500 metres (1,640 feet) of the fill area of an operational/non-operational landfill or dump?

Yes No Unknown

9.9 If there are existing or previously existing buildings, are there any building materials remaining on site which are potentially hazardous to public health (eg. asbestos, PCB's)?

Yes No Unknown

9.10 Is there any reason to believe the subject land may have been contaminated by former uses on the site or adjacent sites?

Yes No Unknown

9.11 What information did you use to determine the answers to 9.1 to 9.10 above?

owner history

9.12 If previous use of property is industrial or commercial or if YES to any of 9.2 to 9.10, a previous use inventory showing all former uses of the subject land, or if appropriate, the land adjacent to the subject land, is needed.

Is the previous use inventory attached? Yes No

ACKNOWLEDGEMENT CLAUSE

I acknowledge that the City of Hamilton is not responsible for the identification and remediation of contamination on the property which is the subject of this Application – by reason of its approval to this Application.

2020-03-13
Date


Signature Property Owner

X Jordan Potoczny
Print Name of Owner
Ryan Potoczny

10. Dimensions of lands affected:

Frontage ~ 144m
Depth ~ 867m
Area ~ 32ac
Width of street _____

11. Particulars of all buildings and structures on or proposed for the subject lands: (Specify ground floor area, gross floor area, number of stories, width, length, height, etc.)

Existing: single family dwelling - 192.98m²
garage - 43.11m²

Proposed: single family dwelling - addition to existing
building addition = 88.10m²

12. Location of all buildings and structures on or proposed for the subject lands; (Specify distance from side, rear and front lot lines)

Existing: front - 62m
rear - 796m
sides - 4.69m + 121m

Proposed: front - 62m
rear - 790m
sides - 4.69 + 114.45m

13. Date of acquisition of subject lands:
2020
14. Date of construction of all buildings and structures on subject lands:
1950's
15. Existing uses of the subject property:
low density Residential
16. Existing uses of abutting properties:
low density Residential / Agricultural
17. Length of time the existing uses of the subject property have continued:
70 +
18. Municipal services available: (check the appropriate space or spaces)
 Water _____ Connected _____
 Sanitary Sewer _____ Connected _____
 Storm Sewers _____
19. Present Official Plan/Secondary Plan provisions applying to the land:
Rural / Agricultural
20. Present Restricted Area By-law (Zoning By-law) provisions applying to the land:
A2, P7, P8
21. Has the owner previously applied for relief in respect of the subject property?
 Yes No
 If the answer is yes, describe briefly.

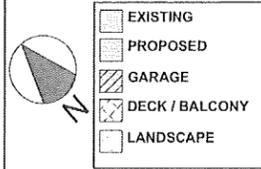
22. Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?
 Yes No
23. The applicant shall attach to each copy of this application a plan showing the dimensions of the subject lands and of all abutting lands and showing the location, size and type of all buildings and structures on the subject and abutting lands, and where required by the Committee of Adjustment such plan shall be signed by an Ontario Land Surveyor.

NOTE: It is required that two copies of this application be filed with the secretary-treasurer of the Committee of Adjustment together with the maps referred to in Section 5 and be accompanied by the appropriate fee in cash or by cheque made payable to the City of Hamilton.

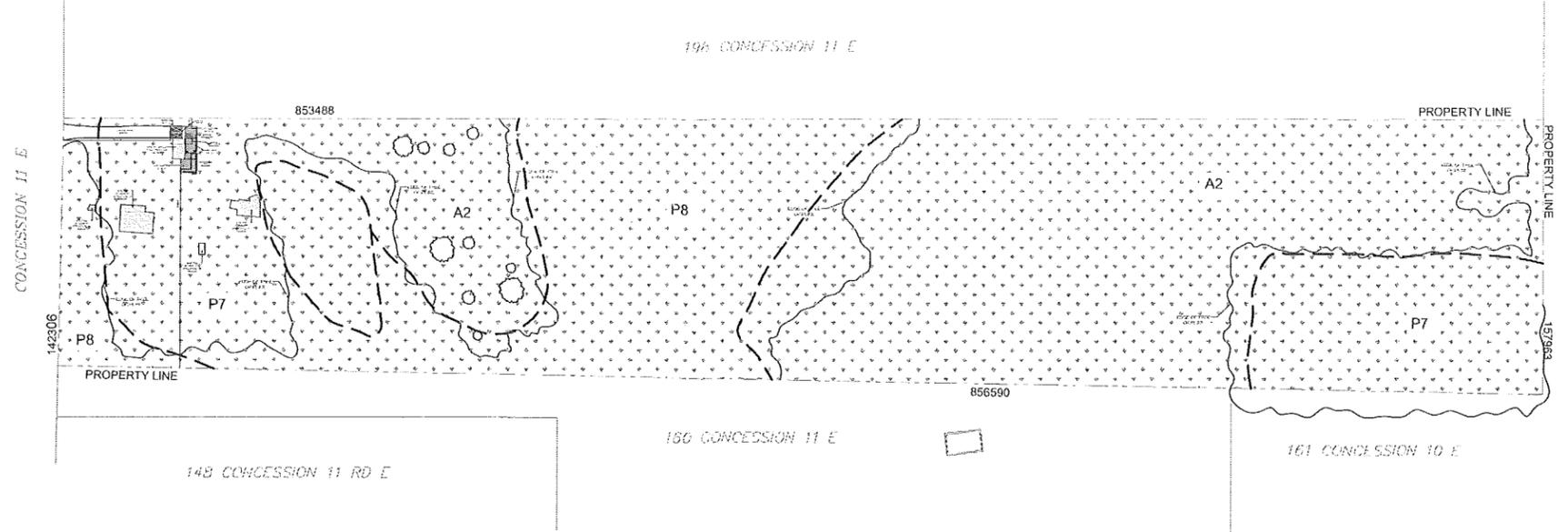
LOT STATISTICS
 182 Concession 11 E
 Zoning Designation - A2,P7,P8 (05-200)

Front Yard: Required 10m; Existing 62.38m (OK)
 Rear Yard: Required 10m; (OK)
 North Side Yard: Required 3m; Proposed 4.69m (OK)
 South Side Yard: Required 3m; Proposed 114.45m (OK)

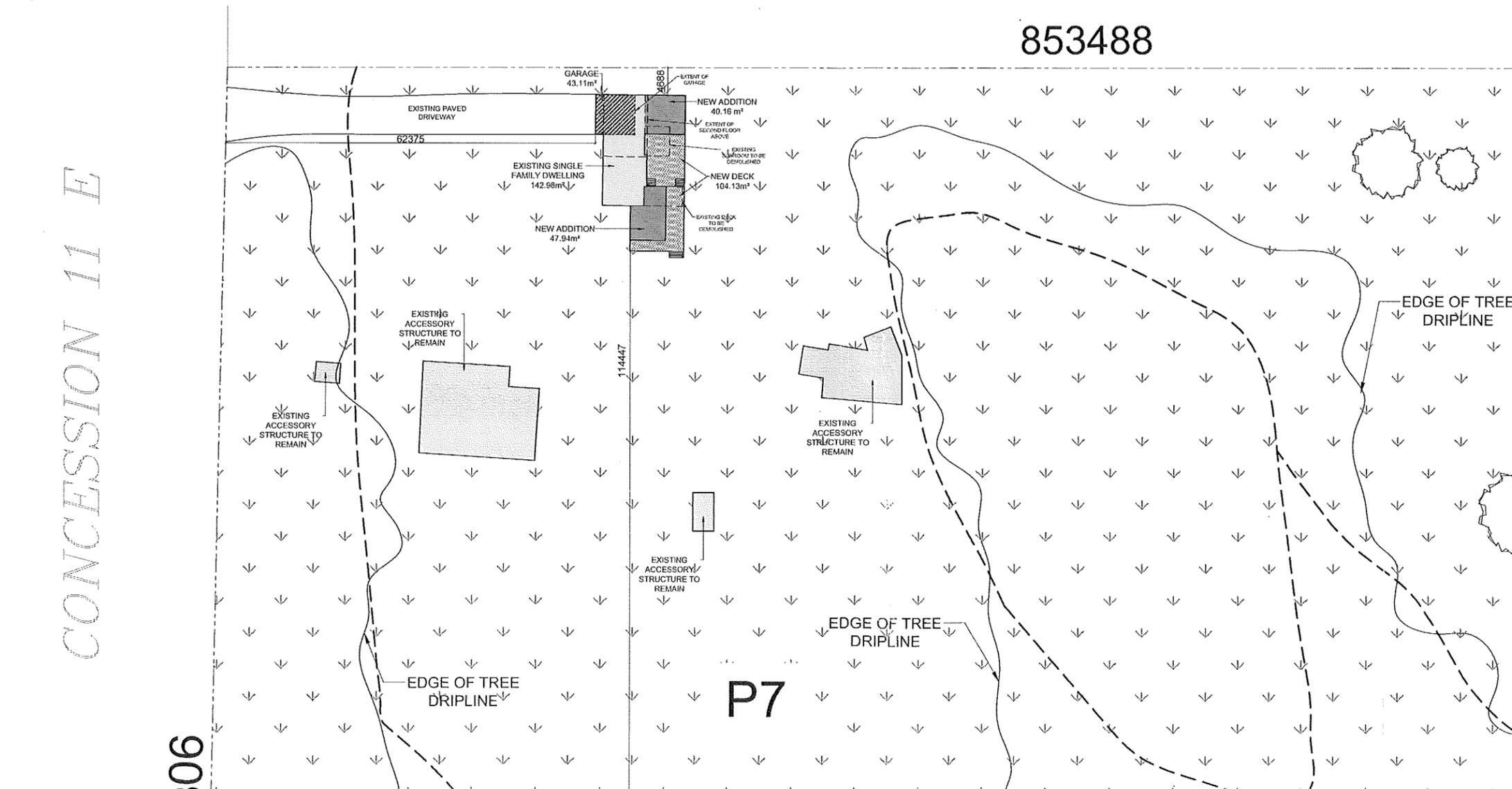
Floor Area Ratio: Allowed Existing + 10% (16.38m²);
 Proposed 44% (88.10m²) (VARIANCE)



note:
 all dimensions shown in millimeters unless noted otherwise



1 Proposed Site Plan
 Scale: NTS



2 Proposed Site Plan
 Scale 1:500

DO NOT SCALE DRAWINGS

Note:
 1) Contractor to check all dimensions, specifications, set on site and shall be responsible for reporting any discrepancy to the engineer and/or designer.
 2) These plans are to remain and the property of the designer and must be returned upon request. These plans must not be used in any other location without the written approval of the designer.
 3) All works to be in accordance with the Ontario Building Code.

smp | l DESIGN STUDIO
 sustainable, modern, practical, livable

Architectural Design Services

www.smpdesignstudio.com

Drawing Submissions:

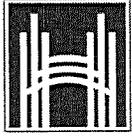
Date:	Type:
February 3, 2020	As Found
February 24, 2020	Concept

182 Concession 11 E,
 Hamilton, Ontario

Reviewed By: JT
 Drawn By: KC, HA
 Plot Date:

Page
SP1.01

Site Plan



Hamilton

COMMITTEE OF ADJUSTMENT

City Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5
 Telephone (905) 546-2424, ext. 4221, 3935 Fax (905) 546-4202
 E-mail: cofa@hamilton.ca

NOTICE OF PUBLIC HEARING
Minor Variance

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
- Applicant/agent on file, or
- Person likely to be interested in this application

APPLICATION NO.: GL/A-20:90

APPLICANTS: Owner: Gianni & Julia Smerilli
 Agent: Len Angelici Design

SUBJECT PROPERTY: Municipal address 8010 Dickenson Rd., Glanbrook

ZONING BY-LAW: Zoning By-law 05-200, as Amended

ZONING: A2 & P7 (Rural & Conservation/Hazard Lands) district

PROPOSAL: To permit the construction of a one-storey, 110m² addition to the east side of the existing single detached dwelling, a covered front porch and a new covered rear porch, along with a 92.0m² accessory structure in the rear yard notwithstanding that:

1. A front yard setback of 2.4m shall be provided instead of the minimum required 10.0m front yard setback.
2. A building height of 6.5m shall be provided for the accessory building instead of the maximum permitted building height of 6.0m for accessory buildings.
3. A gravel access driveway shall be provided whereas the by-law requires an access driveway to be either asphalt or concrete for a minimum of 10.0m extending from the street.

NOTES:

1. A variance has also been requested to permit the projection of the proposed covered front porch. However, Section 4.6(d) permits a porch to encroach into a yard not more than half the distance of the required front yard. As such, the location of the proposed covered front porch will comply provided that variance #1 is granted.
2. A portion of the rear yard is zoned 'P7' (Conservation/Hazard Land). Be advised that the Hamilton Zoning By-law 05-200 prohibits new buildings from being within 7.5m of the boundary of a 'P7' zone. Insufficient information has been provided in order to determine zoning compliance. Further variances may be required if any new construction is proposed within 7.5m of the P7 zone.
3. One (1) parking space is required to be provided for the single detached dwelling. Each parking space shall be at least 3.0m in width and 5.8m in length and shall be provided in accordance with Section 5 of Hamilton Zoning By-law 05-200. Parking Details have not been provided to determine zoning compliance.

GL/A-20:90
Page 2

This application will be heard by the Committee as shown below:

DATE: Thursday, August 6th, 2020
TIME: 1:35 p.m.
PLACE: Via video link or call in (see attached sheet for details)
To be streamed at www.hamilton.ca/committeeofadjustment for viewing purposes only

PUBLIC INPUT

Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

Orally: If you would like to speak to this item at the hearing you may do so via video link or by calling in. Please see attached page for complete instructions, including deadlines for registering to participate.

MORE INFORMATION

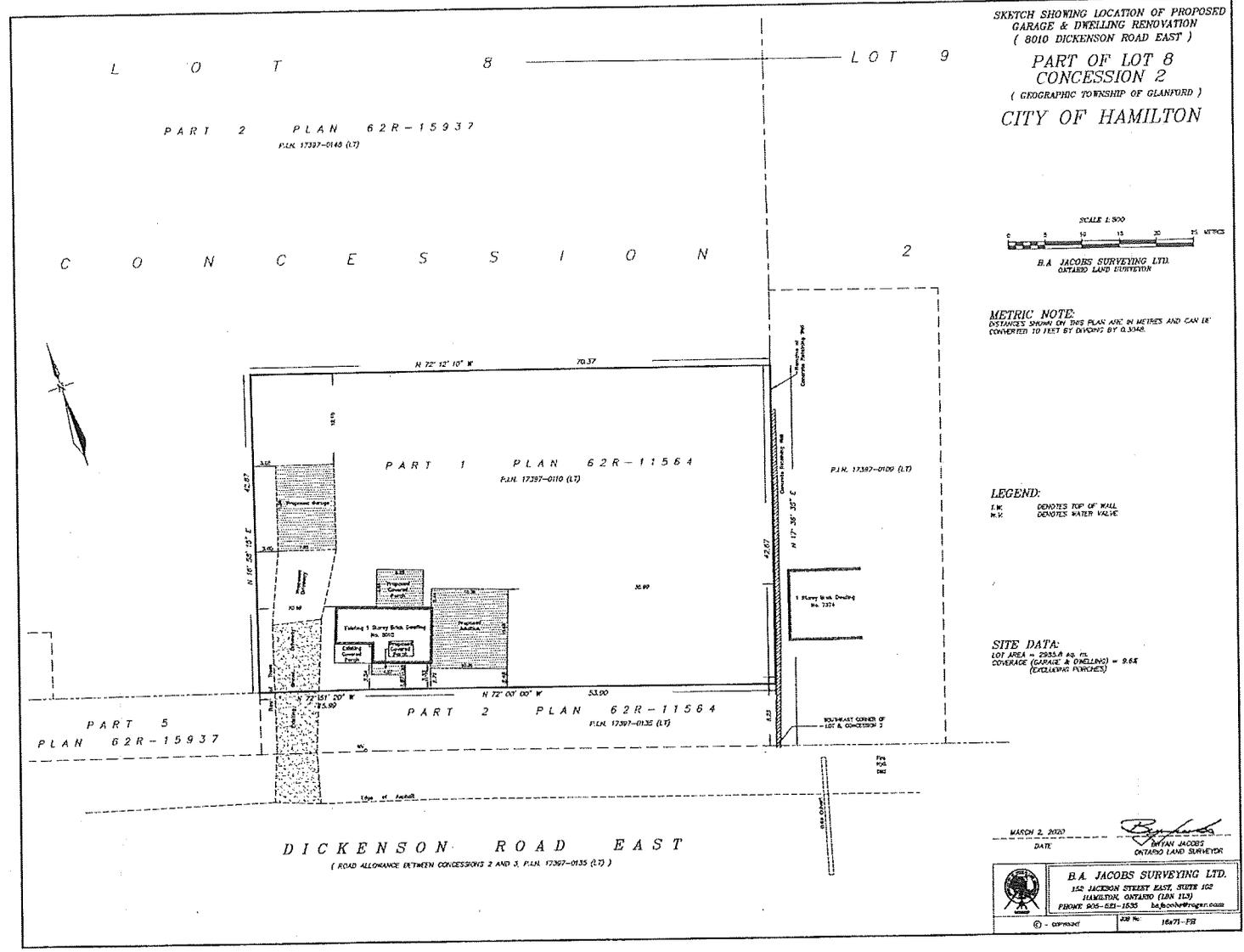
For more information on this matter, including access to drawings illustrating this request:

- Visit www.hamilton.ca/committeeofadjustment
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935
- Email Committee of Adjustment staff at cofa@hamilton.ca

DATED: July 21st, 2020

Jamila Sheffield,
Secretary-Treasurer
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public.





Hamilton

Planning and Economic Development Department
Planning Division

Committee of Adjustment
City Hall
5th floor 71 Main Street West
Hamilton, Ontario L8P 4Y5

Phone (905) 546-2424 ext.4221
Fax (905) 546-4202

PLEASE FILL OUT THE FOLLOWING PAGES AND
RETURN TO THE CITY OF HAMILTON PLANNING
DEPARTMENT.

FOR OFFICE USE ONLY.	
APPLICATION NO. <u>GL/A-20:90</u>	DATE APPLICATION RECEIVED <u>Mar-13</u>
PAID _____	DATE APPLICATION DEEMED COMPLETE _____
SECRETARY'S SIGNATURE _____	

CITY OF HAMILTON
COMMITTEE OF ADJUSTMENT
HAMILTON, ONTARIO

The Planning Act

Application for Minor Variance or for Permission

The undersigned hereby applies to the Committee of Adjustment for the City of Hamilton under Section 45 of the *Planning Act*, R.S.O. 1990, Chapter P.13 for relief, as described in this application, from the Zoning By-law.

- Name of Owner GIANNI & JULIA SMERILLI Telephone No.
-
- Name of Agent LEN ANGELICI DESIGN Telephone No.
-

Note: Unless otherwise requested all communications will be sent to the agent, if any.

- Names and addresses of any mortgagees, holders of charges or other encumbrances:

Postal Code _____

Postal Code _____

6. Nature and extent of relief applied for:
FRONT SETBACK ENCROACHMENT ALONG
ENTIRE FRONT OF DWELUNG
FRONT SETBACK ENCROACHMENT OF PROPOSED
ADDITION AND PROPOSED FRONT PORCH
7. Why it is not possible to comply with the provisions of the By-law?
THE EXISTING DWELUNG DOES NOT
COMPLY WITH ~~THE~~ THE REQUIRED SETBACK
8. Legal description of subject lands (registered plan number and lot number or other legal description and where applicable, street and street number):
8010 DICKENSON RDE, MOUNT HOPE
PLAN 02B-11504
9. PREVIOUS USE OF PROPERTY
- Residential Industrial Commercial
Agricultural Vacant
Other _____
- 9.1 If Industrial or Commercial, specify use

- 9.2 Has the grading of the subject land been changed by adding earth or other material, i.e. has filling occurred?
Yes No Unknown
- 9.3 Has a gas station been located on the subject land or adjacent lands at any time?
Yes No Unknown
- 9.4 Has there been petroleum or other fuel stored on the subject land or adjacent lands?
Yes No Unknown
- 9.5 Are there or have there ever been underground storage tanks or buried waste on the subject land or adjacent lands?
Yes No Unknown
- 9.6 Have the lands or adjacent lands ever been used as an agricultural operation where cyanide products may have been used as pesticides and/or sewage sludge was applied to the lands?
Yes No Unknown
- 9.7 Have the lands or adjacent lands ever been used as a weapon firing range?
Yes No Unknown
- 9.8 Is the nearest boundary line of the application within 500 metres (1,640 feet) of the fill area of an operational/non-operational landfill or dump?
Yes No Unknown
- 9.9 If there are existing or previously existing buildings, are there any building materials remaining on site which are potentially hazardous to public health (eg. asbestos, PCB's)?
Yes No Unknown

9.10 Is there any reason to believe the subject land may have been contaminated by former uses on the site or adjacent sites?

Yes No Unknown

9.11 What information did you use to determine the answers to 9.1 to 9.10 above?

DISCUSSION WITH PROPERTY OWNER
AND TITLE OF PROPERTY.

9.12 If previous use of property is industrial or commercial or if YES to any of 9.2 to 9.10, a previous use inventory showing all former uses of the subject land, or if appropriate, the land adjacent to the subject land, is needed.

Is the previous use inventory attached? Yes No

ACKNOWLEDGEMENT CLAUSE

I acknowledge that the City of Hamilton is not responsible for the identification and remediation of contamination on the property which is the subject of this Application – by reason of its approval to this Application.

03/12/2020
Date

X 

Signature Property Owner

GIANNI SMERILLI
Print Name of Owner

10. Dimensions of lands affected:

Frontage 69.89m
Depth 42.67m
Area 2985.8m²
Width of street 28.35 (WIDENED)

11. Particulars of all buildings and structures on or proposed for the subject lands: (Specify ground floor area, gross floor area, number of stories, width, length, height, etc.)

Existing: GROUND FLR AREA: 100.17m²
GROSS FLR AREA: 87.83m²
STORIES - 1 WIDTH - 13.21m LENGTH - 7.57m²
HEIGHT - 6.4m
Proposed: GROUND FLR AREA: 245.52m²
GROSS FLR AREA: 195.73m²
STORIES - 1 WIDTH 23.32m length 10.62m
HEIGHT - 7.32m

12. Location of all buildings and structures on or proposed for the subject lands: (Specify distance from side, rear and front lot lines)

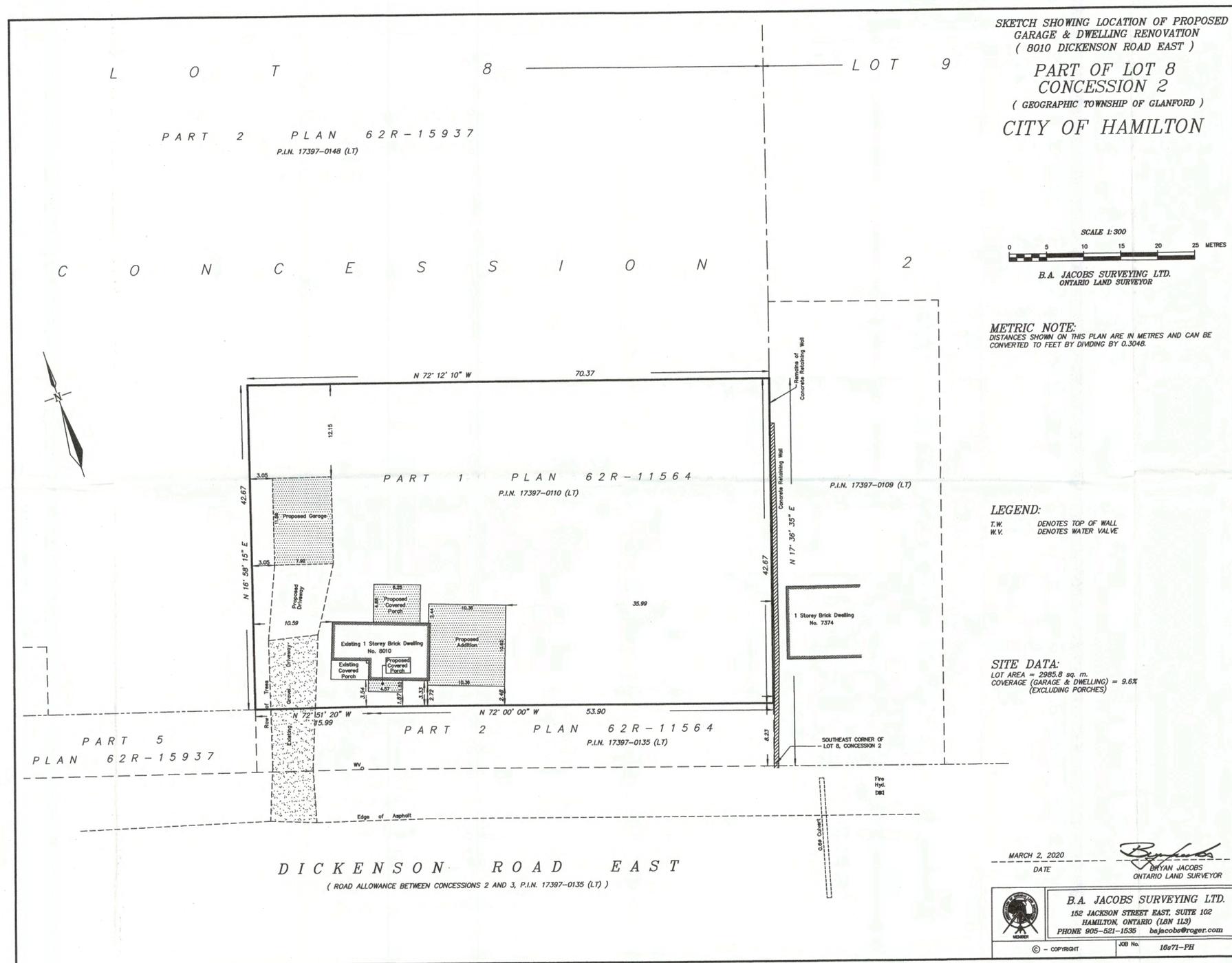
Existing: <u>FRONT DWELLING - 3.33m</u>	PROPOSED GARAGE: <u>LEFT SIDE: 3.05m</u> <u>REAR 12.15</u>
<u>FRONT PORCH - 3.54m</u>	
<u>LEFT SIDE 10.59m</u>	
<u>RIGHT SIDE - 46.35m</u>	
Proposed: <u>ADDITION FRONT - 2.48m</u>	
<u>FRONT PORCH ADDITION 1.87m</u>	
<u>RIGHT SIDE - 35.99m</u>	
<u>LEFT SIDE - 10.59m</u>	

13. Date of acquisition of subject lands:
MAY 2011
14. Date of construction of all buildings and structures on subject lands:
~~XXXX~~ UNKNOWN
15. Existing uses of the subject property: RESIDENTIAL DWELLING
SINGLE FAMILY
16. Existing uses of abutting properties: RESIDENTIAL
17. Length of time the existing uses of the subject property have continued:
~~XXXX~~ UNKNOWN
18. Municipal services available: (check the appropriate space or spaces)
 Water Connected
 Sanitary Sewer _____ Connected _____
 Storm Sewers _____
19. Present Official Plan/Secondary Plan provisions applying to the land:

20. Present Restricted Area By-law (Zoning By-law) provisions applying to the land:
A2
21. Has the owner previously applied for relief in respect of the subject property?
 Yes No
 If the answer is yes, describe briefly.

22. Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?
 Yes No
23. The applicant shall attach to each copy of this application a plan showing the dimensions of the subject lands and of all abutting lands and showing the location, size and type of all buildings and structures on the subject and abutting lands, and where required by the Committee of Adjustment such plan shall be signed by an Ontario Land Surveyor.

NOTE: It is required that two copies of this application be filed with the secretary-treasurer of the Committee of Adjustment together with the maps referred to in Section 5 and be accompanied by the appropriate fee in cash or by cheque made payable to the City of Hamilton.



SKETCH SHOWING LOCATION OF PROPOSED GARAGE & DWELLING RENOVATION (8010 DICKENSON ROAD EAST)
PART OF LOT 8 CONCESSION 2
 (GEOGRAPHIC TOWNSHIP OF GLANFORD)
CITY OF HAMILTON

SCALE 1:300
 0 5 10 15 20 25 METRES
 B.A. JACOBS SURVEYING LTD.
 ONTARIO LAND SURVEYOR

METRIC NOTE:
 DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

LEGEND:
 T.W. DENOTES TOP OF WALL
 W.V. DENOTES WATER VALVE

SITE DATA:
 LOT AREA = 2985.8 sq. m.
 COVERAGE (GARAGE & DWELLING) = 9.6%
 (EXCLUDING PORCHES)

MARCH 2, 2020
 DATE

Bryan Jacobs
 BRYAN JACOBS
 ONTARIO LAND SURVEYOR

B.A. JACOBS SURVEYING LTD.
 152 JACKSON STREET EAST, SUITE 102
 HAMILTON, ONTARIO (L7M 1L5)
 PHONE 905-521-1536 ba.jacobs@roger.com

© - COPYRIGHT JOB No. 16a71-PH



Hamilton

COMMITTEE OF ADJUSTMENT

City Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5
 Telephone (905) 546-2424, ext. 4221, 3935 Fax (905) 546-4202
 E-mail: cofa@hamilton.ca

NOTICE OF PUBLIC HEARING
Minor Variance

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
 - Applicant/agent on file, or
 - Person likely to be interested in this application
-

APPLICATION NO.: SC/A-20:91

APPLICANTS: Owner: 2354538 Ontario Inc.
 Agent: Ed Fothergill

SUBJECT PROPERTY: Municipal address **267 Upper Centennial Pkwy.,
 Stoney Creek**

ZONING BY-LAW: Zoning By-law 05-200, as Amended by By-law 17-240

ZONING: C7, 315 and H83 (Arterial Commercial (C7)) district

PROPOSAL: To permit the construction of a commercial shopping centre in order to facilitate Site Plan File No. DA-19-101 notwithstanding that:

1. A maximum front yard setback shall not be required instead of the maximum required 6.0m front yard.
2. A maximum building setback shall not be required from the Mud Street West street line, the Upper Centennial Parkway street line and the street line at the hypotenuse of the daylight triangle at the corner of Mud Street West and Upper Centennial Parkway instead of the maximum building setback of 6.0m.
3. A landscape/planting strip having a minimum width of 1.2m shall be provided adjacent to every portion of any lot line that abuts any zone other than a commercial or industrial zone, except for points of ingress and egress, instead of the requirement that a landscape strip having a minimum width of 3.0 shall be provided adjacent to every portion of any lot line that abuts any zone other than a commercial or industrial zone.
4. A planting strip having a minimum width of 1.2m shall be provided adjacent to the northerly rear lot line abutting a Residential (R1) zone, except for points of ingress and egress, instead of the requirement that Where a property lot line abuts a property lot line within a Residential Zone or an Institutional Zone and not a Laneway, a minimum 1.5 metre wide Planting Strip shall be provided and maintained
5. A minimum 1.2m planting strip shall be provided along the north rear lot line abutting a Residential (R1) zone, except for points of ingress and egress, instead of the requirement that for a Motor Vehicle Gas Bar, a minimum 3.0m planting strip shall be required abutting a Residential Zone or Institutional zone lot line, except for points of ingress and egress.

SC/A-20:91

Page 2

6. No visual barrier shall be required along the entire northerly rear lot line abutting the Residential "R1" zone instead of the requirement that a visual barrier shall be required along any lot line abutting a Residential Zone or Institutional Zone property line in accordance with the requirements of Section 4.19 of Hamilton Zoning By-law No. 05-200.
7. No visual barrier shall be required along the entire northerly rear lot line abutting the Residential "R1" zone instead of the requirement where a parking lot is situated on a lot which abuts a Residential Zone, Settlement Residential (S1) Zone, Downtown D5 or Downtown D6 Zone, a visual barrier shall be provided and maintained along that portion of the lot line that abuts a Residential Zone, Settlement Residential (S1) Zone, Downtown D5 Zone or Downtown D6 Zone in accordance with Section 4.19 of Hamilton Zoning By-law No. 05-200.
8. A loading space shall not be required to be screened from view by a visual barrier instead of the requirement that a loading space shall be screened from view by a Visual Barrier in accordance with Section 4.19 of Hamilton Zoning By-law No. 05-200.
9. No maximum gross floor area shall be provided for accessory Retail uses to a Motor Vehicle Gas Bar instead of the maximum permitted gross floor area of 175m² for accessory Retail uses to a Motor Vehicle Gas Bar.
10. No short term bicycle parking spaces shall be provided for the Car Wash building and Buildings CRU 3 (285 Upper Centennial Pkwy) and CRU 8 (263 Upper Centennial Pkwy) and a minimum five (5) short term bicycle parking spaces shall be provided for each of Buildings CRU 1 (267 Upper Centennial Pkwy), CRU 4/5 (293 Upper Centennial Pkwy) and CRU 6 (277 Upper Centennial Pkwy) instead of the short term bicycle parking spaces as required by the bicycle parking regulations of Section 5.7 c) of Hamilton Zoning By-law No. 05-200.
11. The drive-through facility stacking lanes for CRU 4/5 (293 Upper Centennial Pkwy) shall be permitted to be located between the streets and the building instead of the requirement that no drive-through facility stacking lane shall be permitted between the street and the building, except where other buildings on the same lot occupy the space between the drive-through facility and a street.
12. A minimum 1.2m planting strip shall be provided along the north rear lot line abutting the "R1" zone, except for points of ingress and egress, instead of the requirement where a landscaped area occupies the space between a Drive-Through Facility and a Residential Zone or an Institutional Zone property line a minimum 3.0 metre planting strip shall be provided and maintained along that portion of the lot line that abuts a Residential Zone or Institutional Zone property line or lot containing a residential use.
13. No visual barrier shall be required along the entire northerly rear lot line abutting the Residential "R1" zone instead of the requirement that where a landscaped area occupies the space between a Drive-Through Facility and a Residential Zone or an Institutional Zone property line, in addition to Section 4.19, a minimum 1.8 metre solid visual barrier shall be provided and maintained along that portion of the property line that abuts Residential Zone or Institutional Zone property line or a lot containing a residential use.
14. The outdoor commercial patios for CRU 2 (279 Upper Centennial Pkwy) and CRU 7 (Upper Centennial Pkwy) shall be permitted in all yards instead of the requirement where only the rear lot line abuts a Residential Zone, Downtown D5 or Downtown D6 Zone or the lot is separated from the Residential Zone, Downtown D5 or Downtown D6 Zone by a laneway, an outdoor patio shall be permitted in the front yard.

SC/A-20:91

Page 3

NOTE:

- i) This development also includes lands known municipally as 14 Mud Street West and 297 – 363 Upper Centennial Pkwy.
- ii) The variance are necessary to facilitate Site Plan File No. DA-19-101.
- iii) No short-term bicycle parking spaces are required for Buildings CRU 2 (279 Upper Centennial Pkwy) and CRU 7 (275 Upper Centennial Pkwy) as they are intended to contain Restaurants and have a gross floor area less than 450m2.

This application will be heard by the Committee as shown below:

DATE: Thursday, August 6th, 2020
TIME: 1:40 p.m.
PLACE: Via video link or call in (see attached sheet for details)
To be streamed at www.hamilton.ca/committeeofadjustment for viewing purposes only

PUBLIC INPUT

Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

Orally: If you would like to speak to this item at the hearing you may do so via video link or by calling in. Please see attached page for complete instructions, including deadlines for registering to participate.

MORE INFORMATION

For more information on this matter, including access to drawings illustrating this request:

- Visit www.hamilton.ca/committeeofadjustment
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935
- Email Committee of Adjustment staff at cofa@hamilton.ca

DATED: July 21st, 2020

Jamila Sheffield,
 Secretary-Treasurer
 Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public.



Hamilton

Planning and Economic Development Department
Planning Division

Committee of Adjustment
City Hall
5th floor 71 Main Street West
Hamilton, Ontario L8P 4Y5

Phone (905) 546-2424 ext.4221
Fax (905) 546-4202

PLEASE FILL OUT THE FOLLOWING PAGES AND
RETURN TO THE CITY OF HAMILTON PLANNING
DEPARTMENT.

FOR OFFICE USE ONLY.	
APPLICATION NO. <u>SC/A-20:91</u>	DATE APPLICATION RECEIVED <u>Mar. 8/20</u>
PAID _____	DATE APPLICATION DEEMED COMPLETE _____
SECRETARY'S SIGNATURE _____	

CITY OF HAMILTON
COMMITTEE OF ADJUSTMENT
HAMILTON, ONTARIO

The Planning Act

Application for Minor Variance or for Permission

The undersigned hereby applies to the Committee of Adjustment for the City of Hamilton under Section 45 of the *Planning Act*, R.S.O. 1990, Chapter P.13 for relief, as described in this application, from the Zoning By-law.

1. Name of Owner 2354538 ONTARIO INC. Telephone No. _____



3. Name of Agent ED FOTHERGILL, FOTHERGILL PLANNING & DEVELOPMENT INC. Telephone No. _____



Note: Unless otherwise requested all communications will be sent to the agent, if any.

5. Names and addresses of any mortgagees, holders of charges or other encumbrances:

NO MORTGAGES

_____ Postal Code _____

BELL EASEMENT - FOR FUTURE ACCESS

5099 CREEKBANK ROAD, BUILDING D, FLOOR 6 Postal Code L4W 5N2

MISSISSAUGA, ON

6. Nature and extent of relief applied for:

SEE ATTACHED SUMMARY.

7. Why it is not possible to comply with the provisions of the By-law?

VARIANCES ARE REQUIRED TO SATISFY CONDITIONS OF SITE PLAN APPROVAL

FILE DA-19-101

8. Legal description of subject lands (registered plan number and lot number or other legal description and where applicable, street and street number):

267 UPPER CENTENNIAL PARKWAY

9. PREVIOUS USE OF PROPERTY

Residential Industrial Commercial
 Agricultural Vacant
 Other _____

9.1 If Industrial or Commercial, specify use

RESTAURANT

9.2 Has the grading of the subject land been changed by adding earth or other material, i.e. has filling occurred?

Yes No Unknown

9.3 Has a gas station been located on the subject land or adjacent lands at any time?

Yes No Unknown GAS STATION TO SOUTH

9.4 Has there been petroleum or other fuel stored on the subject land or adjacent lands?

Yes No Unknown GAS STATION TO SOUTH

9.5 Are there or have there ever been underground storage tanks or buried waste on the subject land or adjacent lands?

Yes No Unknown

9.6 Have the lands or adjacent lands ever been used as an agricultural operation where cyanide products may have been used as pesticides and/or sewage sludge was applied to the lands?

Yes No Unknown

9.7 Have the lands or adjacent lands ever been used as a weapon firing range?

Yes No Unknown

9.8 Is the nearest boundary line of the application within 500 metres (1,640 feet) of the fill area of an operational/non-operational landfill or dump?

Yes No Unknown TERRAPURE

9.9 If there are existing or previously existing buildings, are there any building materials remaining on site which are potentially hazardous to public health (eg. asbestos, PCB's)?

Yes No Unknown

9.10 Is there any reason to believe the subject land may have been contaminated by former uses on the site or adjacent sites?

Yes ___ No x Unknown ___

9.11 What information did you use to determine the answers to 9.1 to 9.10 above?

OWNER

9.12 If previous use of property is industrial or commercial or if YES to any of 9.2 to 9.10, a previous use inventory showing all former uses of the subject land, or if appropriate, the land adjacent to the subject land, is needed.

Is the previous use inventory attached? Yes ___ No ___

ACKNOWLEDGEMENT CLAUSE

I acknowledge that the City of Hamilton is not responsible for the identification and remediation of contamination on the property which is the subject of this Application – by reason of its approval to this Application.

March 12 / 20
Date



Signature Property Owner

JOHN SAVIDIS

Print Name of Owner

10. Dimensions of lands affected:

Frontage	<u>96.79 m</u>	<u>(Mud Street)</u>
Depth	<u>196 m</u>	
Area	<u>1.67 ha</u>	
Width of street	<u>UNKNOWN</u>	

11. Particulars of all buildings and structures on or proposed for the subject lands: (Specify ground floor area, gross floor area, number of stories, width, length, height, etc.)

Existing: NONE

Proposed: SEE ATTACHED SITE PLAN

12. Location of all buildings and structures on or proposed for the subject lands; (Specify distance from side, rear and front lot lines)

Existing: NONE

Proposed: SEE ATTACHED SITE PLAN



**Application for Minor Variance
267 Upper Centennial Parkway**

List of Variances

The requested variances to satisfy Condition 10 of Site Plan Application DA-19-101 include the following:

- A 1.8 metre landscape strip shall be provided on the north side yard, west of the access driveway abutting the Residential "R1" Zone and Neighbourhood Development "ND" Zone whereas Section d) vi) of the site specific (C7, 315) Zone of Zoning By-law 05-200 requires a 3.0 metre landscape strip.
- A 1.8 metre planting strip shall be provided on the north side yard, west of the access driveway abutting the Residential "R1" Zone whereas Section 10.7.4c) of Zoning By-law No. 05-200 requires a 3.0 metre planting strip abutting any Residential Zone or Institutional Zone.
- The drive-through facility stacking lane for CRU4/5 (293 Upper Centennial Parkway Unit 1 and 2) shall be permitted between the street and the building whereas Section 4.25c) of Zoning By-law 05-200 does not permit a drive-through stacking lane between the street and building.
- The outdoor commercial patios for building CRU2 and building CRU7 shall be permitted outside of the front yard whereas Section 4.20c)ii) of Zoning By-law 05-200 requires a commercial patio to be located in the front yard.

FPD

FOTHERGILL PLANNING & DEVELOPMENT INC.

62 DAFFODIL CRES. • HAMILTON, ON L9K 1E1 • PHONE: (905) 577-1077 • FAX: (905) 546-0545 • E-MAIL: edf@nas.net

March 13, 2020

Scott Baldry, Secretary Treasurer
Committee of Adjustment
Planning & Economic Development Department
71 Main Street West, 5th Floor
Hamilton, Ontario L8P 4Y5

Dear Scott:

Re: Application for Minor Variance
267 Upper Centennial Parkway - Mr. John Savidis

Please find enclosed an application for a minor variance to implement conditions of a site plan application which was approved February 26, 2020 under File DA-19-101. The variances requested reflect those outlined in Special Condition 10 of the site plan approval and are attached with the application.

Attached with the application, please find enclosed the following:

1. Two (2) completed copies of the application form, including one with original signature with attached summary of requested variances and site plan drawing.
2. Cheque made payable to the City of Hamilton in the amount of **\$3302.00**.
3. Two (2) large copies of approved site plan drawing prepared by Sam Esposito Architects Inc. dated March 9, 2020.
4. Reduced copies of site plan drawing.

We look forward to the application being brought forward to the first available meeting of the Committee of Adjustment.

Sincerely,

FOTHERGILL PLANNING & DEVELOPMENT INC.



E.J. Fothergill, MCIP, RPP
President

cc. John Savidis, Marko Juricic, Sam Esposito, Jeniffer Milburn



Hamilton

COMMITTEE OF ADJUSTMENT

City Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5
 Telephone (905) 546-2424, ext. 4221, 3935 Fax (905) 546-4202
 E-mail: cofa@hamilton.ca

NOTICE OF PUBLIC HEARING
Minor Variance

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
 - Applicant/agent on file, or
 - Person likely to be interested in this application
-

APPLICATION NO.: SC/A-20:130

APPLICANTS: Owner: Mary & Pasquale Caterini
 Agent: Alfonso Alaimo

SUBJECT PROPERTY: Municipal address **381 Mud St. E., Stoney Creek**

ZONING BY-LAW: Zoning By-law 05-200, as Amended

ZONING: S1 (Settlement Residential) district

PROPOSAL: To permit the construction of a new Single Detached Dwelling and a 12.192m (40'0") x 18.288m (60'0") one (1) storey accessory building which includes a 4.572m (15'0") x 18.288m (60'0") roofed-over porch (covered patio) notwithstanding that:

1. A minimum easterly side yard of 1.2m shall be provided for the proposed single detached dwelling instead of the minimum required side yard of 3.0m.
2. A maximum parking space size shall not be required instead of the existing regulation requiring a maximum parking space size of 3.0m wide x 6.0m long.
3. A maximum accessory building lot coverage of 223m² shall be permitted for all accessory buildings instead of the maximum lot coverage of 97m² for all accessory buildings.
4. A maximum accessory building height of 7.8m shall be permitted and a maximum height of 5.5m shall be permitted to the underside of any fascia eaves, overhang or the lower ends of the roof joists, rafters or trusses for the proposed accessory building instead of the requirement that buildings accessory to a residential use shall have a maximum building height of 5.0 metres and the maximum height of the underside of any fascia eaves, overhang or the lower ends of the roof joists, rafters or trusses shall be 3.0 metres.

NOTE:

- i) Pursuant to Variance # 3 above, the roofed-over porch (covered patio) attached to the 40' x 60' accessory building is not included in the lot coverage determination.
- ii) Pursuant to Variance # 3 above, the Agent has indicated that the existing dwelling, existing detached garage and existing two sheds are intended to be demolished once the proposed single detached dwelling and 40' x 60' detached garage are constructed. If the existing detached garage and existing two sheds are not demolished, a further variance shall be required as the total lot coverage for all accessory buildings will exceed 223m².
- iii) The Agent has indicated that the existing driveway is to be removed with demolition of the existing dwelling, existing detached garage and existing two sheds. If this driveway is not removed, a further variance shall be necessary in order to allow two (2) driveways as a maximum of one (1) driveway is permitted.

.../2

SC/A-20:130

Page 2

- iv) The Agent has indicated that the proposed accessory building will be used for residential purposes only. The accessory building shall not be used for commercial or industrial uses or for human habitation.

This application will be heard by the Committee as shown below:

DATE: Thursday, August 6th, 2020
TIME: 1:45 p.m.
PLACE: Via video link or call in (see attached sheet for details)
To be streamed at www.hamilton.ca/committeeofadjustment
for viewing purposes only

PUBLIC INPUT

Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

Orally: If you would like to speak to this item at the hearing you may do so via video link or by calling in. Please see attached page for complete instructions, including deadlines for registering to participate.

MORE INFORMATION

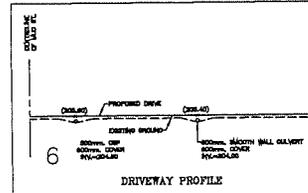
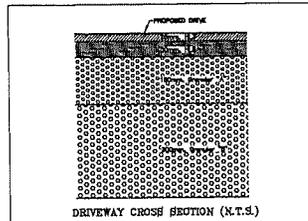
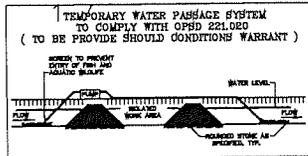
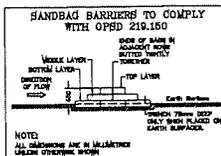
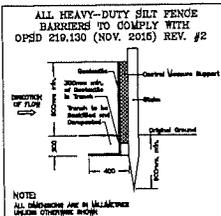
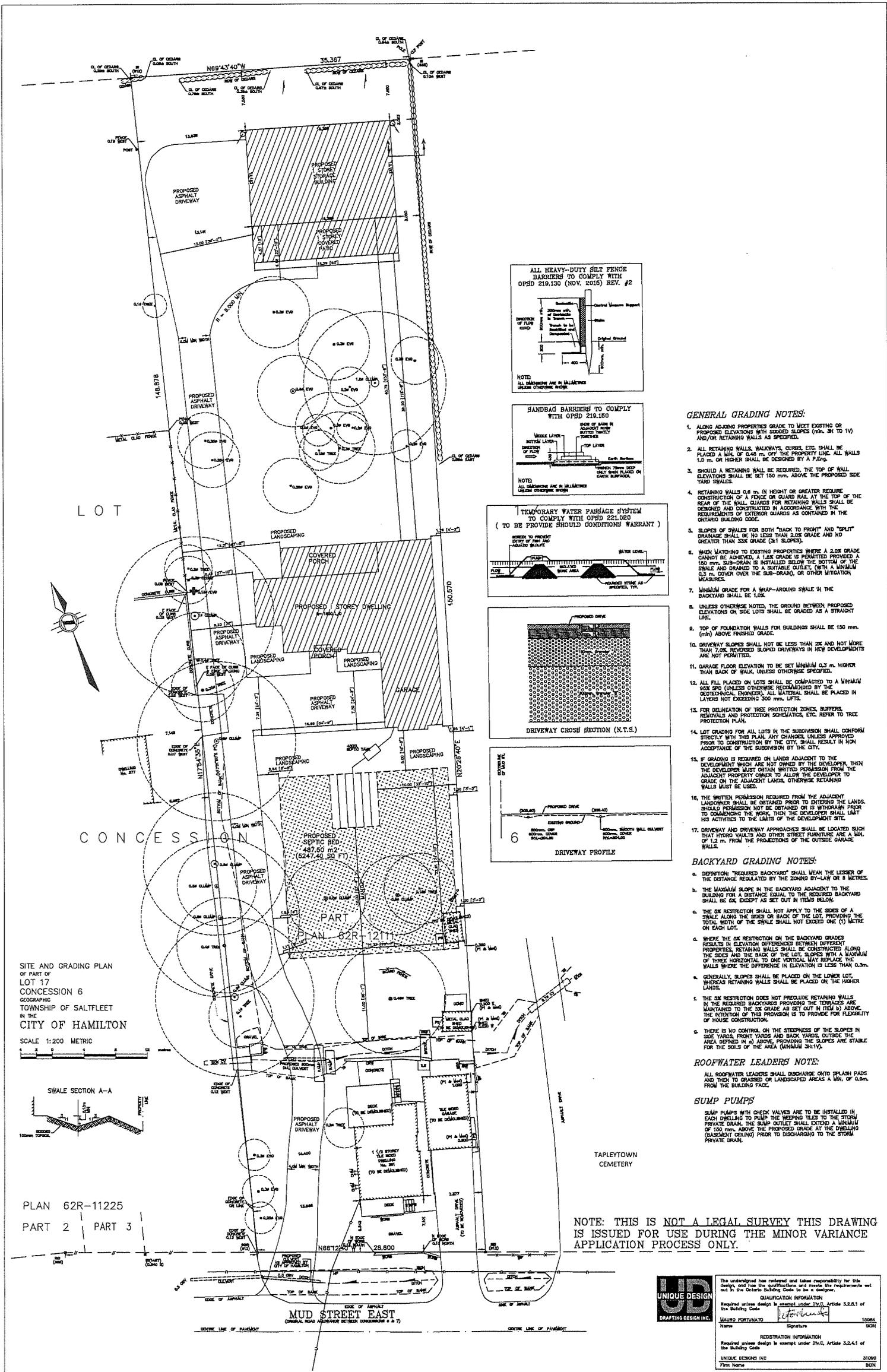
For more information on this matter, including access to drawings illustrating this request:

- Visit www.hamilton.ca/committeeofadjustment
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935
- Email Committee of Adjustment staff at cofa@hamilton.ca

DATED: July 21st, 2020

Jamila Sheffield,
 Secretary-Treasurer
 Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public.



GENERAL GRADING NOTES:

1. ALONG ADJOINING PROPERTIES GRADE TO MEET EXISTING OR PROPOSED ELEVATIONS WITH SLOPED SLOPES (MIN. 3% TO 1%) AND/OR RETAINING WALLS AS SPECIFIED.
2. ALL RETAINING WALLS, WALLWAYS, CURBS, ETC. SHALL BE PLACED A MIN. OF 0.45 M. OFF THE PROPERTY LINE. ALL WALLS 1.0 M. OR HIGHER SHALL BE DESIGNED BY A P.E.P.A.
3. SHOULD A RETAINING WALL BE REQUIRED, THE TOP OF WALL ELEVATIONS SHALL BE SET 150 MM. ABOVE THE PROPOSED SIDE YARD SWALES.
4. RETAINING WALLS 0.6 M. IN HEIGHT OR GREATER REQUIRE CONSTRUCTION OF A FENCE OR GUARD RAIL AT THE TOP OF THE REAR OF THE WALL. GUARDS FOR RETAINING WALLS SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH THE REQUIREMENTS OF EXISTING CODES AS CONTAINED IN THE ONTARIO BUILDING CODE.
5. SLOPES OF SWALES FOR BOTH "BACK TO FRONT" AND "SPLIT" DRAINAGE SHALL BE NO LESS THAN 2% GRADE AND NO GREATER THAN 3% GRADE (2:1 SLOPES).
6. WHEN MATCHING TO EXISTING PROPERTIES WHERE A 2% GRADE CANNOT BE ACHIEVED, A 1% GRADE IS PERMITTED PROVIDED A 150 MM. SUB-DRAIN IS INSTALLED BELOW THE BOTTOM OF THE SWALE AND DRAINED TO A SUITABLE OUTLET, WITH A MINIMUM 0.3 M. COVER OVER THE SUB-DRAIN, OR OTHER MITIGATION MEASURES.
7. MINIMUM GRADE FOR A WRAP-AROUND SWALE IN THE BACKYARD SHALL BE 1.0%.
8. UNLESS OTHERWISE NOTED, THE GROUND BETWEEN PROPOSED ELEVATIONS ON SIDE LOTS SHALL BE GRADED AS A STRAIGHT LINE.
9. TOP OF FOUNDATION WALLS FOR BUILDINGS SHALL BE 150 MM. (MIN.) ABOVE FINISHED GRADE.
10. DRIVEWAY SLOPES SHALL NOT BE LESS THAN 2% AND NOT MORE THAN 7.0% REVERSED SLOPED DRIVEWAYS IN NEW DEVELOPMENTS ARE NOT PERMITTED.
11. GARAGE FLOOR ELEVATION TO BE SET MINIMUM 0.3 M. HIGHER THAN BACK OF WALK, UNLESS OTHERWISE SPECIFIED.
12. ALL FILL PLACED ON LOTS SHALL BE COMPACTED TO A MINIMUM 95% SD (UNLESS OTHERWISE RECOMMENDED BY THE GEOTECHNICAL ENGINEER). ALL MATERIAL SHALL BE PLACED IN LAYERS NOT EXCEEDING 300 MM. LIFTS.
13. FOR DELINEATION OF TREE PROTECTION ZONES, BUFFERS, REMOVALS AND PROTECTION SCHEDULES, ETC. REFER TO TREE PROTECTION PLAN.
14. LOT GRADING FOR ALL LOTS IN THE SUBDIVISION SHALL CONFORM STRICTLY WITH THIS PLAN. ANY CHANGES, UNLESS APPROVED PRIOR TO CONSTRUCTION BY THE CITY, SHALL RESULT IN NON-ACCEPTANCE OF THE SUBDIVISION BY THE CITY.
15. IF GRADING IS REQUIRED ON LANDS ADJACENT TO THE DEVELOPMENT WHICH ARE NOT OWNED BY THE DEVELOPER, THEN THE DEVELOPER MUST OBTAIN WRITTEN PERMISSION FROM THE ADJACENT PROPERTY OWNER TO ALLOW THE DEVELOPER TO GRADE ON THE ADJACENT LANDS, OTHERWISE RETAINING WALLS MUST BE USED.
16. THE WRITTEN PERMISSION REQUIRED FROM THE ADJACENT LANDOWNER SHALL BE OBTAINED PRIOR TO ENTERING THE LANDS. SHOULD PERMISSION NOT BE OBTAINED OR IS WITHDRAWN PRIOR TO COMMENCING THE WORK, THEN THE DEVELOPER SHALL LIMIT HIS ACTIVITIES TO THE LIMITS OF THE DEVELOPMENT SITE.
17. DRIVEWAY AND DRIVEWAY APPROACHES SHALL BE LOCATED SUCH THAT HYDRO VALVES AND OTHER STREET FURNITURE ARE A MIN. OF 1.2 M. FROM THE PROJECTIONS OF THE OUTSIDE GARAGE WALLS.

BACKYARD GRADING NOTES:

- a. DEFINITION: "REQUIRED BACKYARD" SHALL MEAN THE LESSER OF THE DISTANCE REGULATED BY THE ZONING BY-LAW OR 8 METRES.
- b. THE MAXIMUM SLOPE IN THE BACKYARD ADJACENT TO THE BUILDING FOR A DISTANCE EQUAL TO THE REQUIRED BACKYARD SHALL BE 0% EXCEPT AS SET OUT IN ITEMS BELOW.
- c. THE 0% RESTRICTION SHALL NOT APPLY TO THE SIDES OF A SWALE ALONG THE SIDES OR BACK OF THE LOT, PROVIDED THE TOTAL WIDTH OF THE SWALE SHALL NOT EXCEED ONE (1) METRE ON EACH LOT.
- d. WHERE THE 0% RESTRICTION ON THE BACKYARD GRADES RESULTS IN ELEVATION DIFFERENCES BETWEEN DIFFERENT PROPERTIES, RETAINING WALLS SHALL BE CONSTRUCTED ALONG THE SIDES AND THE BACK OF THE LOT, SLOPES WITH A MAXIMUM OF THREE HORIZONTAL TO ONE VERTICAL MAY REPLACE THE WALLS WHERE THE DIFFERENCE IN ELEVATION IS LESS THAN 0.3m.
- e. GENERALLY, SLOPES SHALL BE PLACED ON THE LOWER LOT, WHEREAS RETAINING WALLS SHALL BE PLACED ON THE HIGHER LANDS.
- f. THE 0% RESTRICTION DOES NOT PRECLUDE RETAINING WALLS IN THE REQUIRED BACKYARD PROVIDED THE TERRACES ARE MAINTAINED TO THE 0% GRADE AS SET OUT IN ITEM (a) ABOVE. THE INTENTION OF THIS PROVISION IS TO PROVIDE FOR FLEXIBILITY OF HOUSE CONSTRUCTION.
- g. THERE IS NO CONTROL ON THE STEEPNESS OF THE SLOPES IN SIDE YARDS, FRONT YARDS AND BACK YARDS, OUTSIDE THE AREA DEFINED IN (a) ABOVE, PROVIDED THE SLOPES ARE STABLE FOR THE SOILS OF THE AREA (MINIMUM 3%).

ROOFWATER LEADERS NOTE:

ALL ROOFWATER LEADERS SHALL DISCHARGE ONTO SPLASH PADS AND THEN TO GRASSED OR LANDSCAPED AREAS A MIN. OF 0.6m. FROM THE BUILDING FACE.

SUMP PUMPS

SUMP PUMPS WITH CHECK VALVES ARE TO BE INSTALLED IN EACH DWELLING TO PUMP THE WEEPING TIES TO THE STORM PRIVATE DRAIN. THE SUMP OUTLET SHALL EXTEND A MINIMUM OF 150 MM. ABOVE THE PROPOSED GRADE AT THE DWELLING (BASEMENT CEILING) PRIOR TO DISCHARGING TO THE STORM PRIVATE DRAIN.



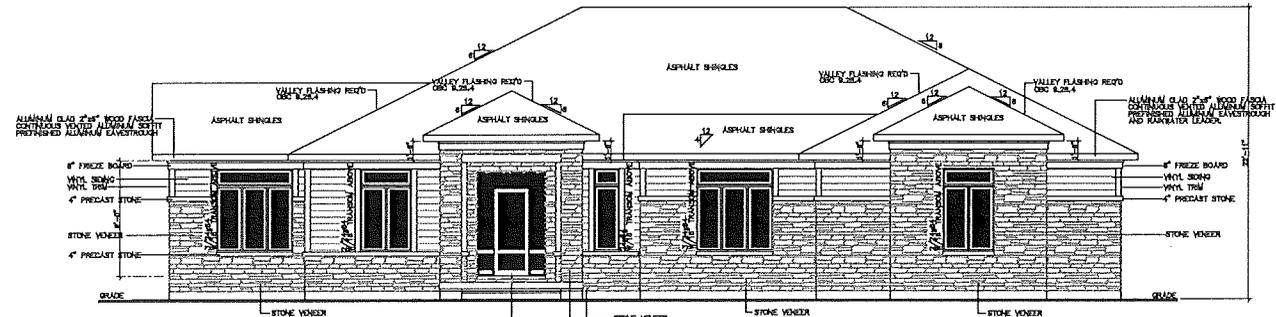
The undersigned has reviewed and takes responsibility for the design and has the professional seal and number of registration set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
 Required unless design is exempt under Div. C, Article 3.3.2.1 of the Building Code

MAJOR INFORMATION
 Name: MAURO FORTUNATO
 Signature: [Signature]
 10084 BCLN

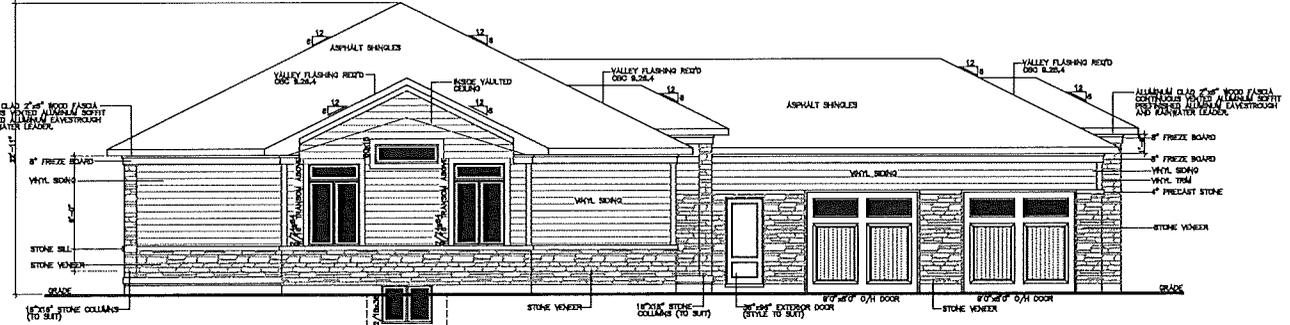
REGISTRATION INFORMATION
 Required unless design is exempt under Div. C, Article 3.3.2.1 of the Building Code

UNIQUE DESIGN INC. 31090
 Firm Name BCLN

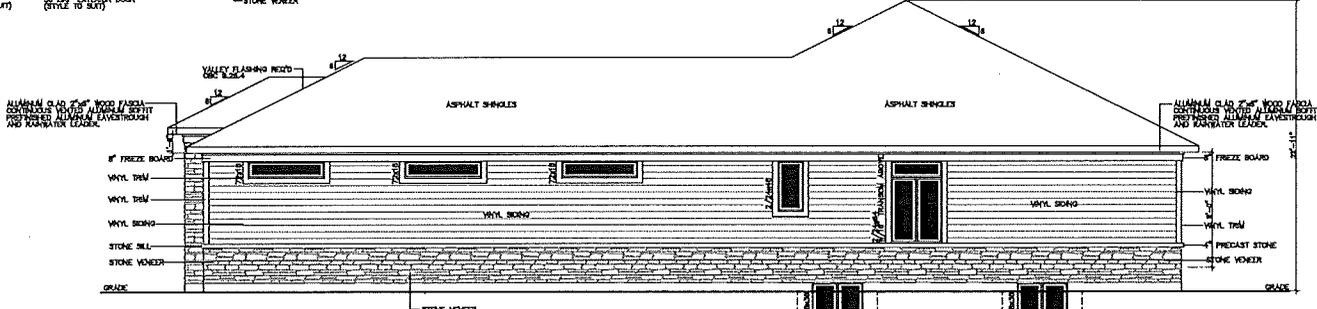


FRONT ELEVATION

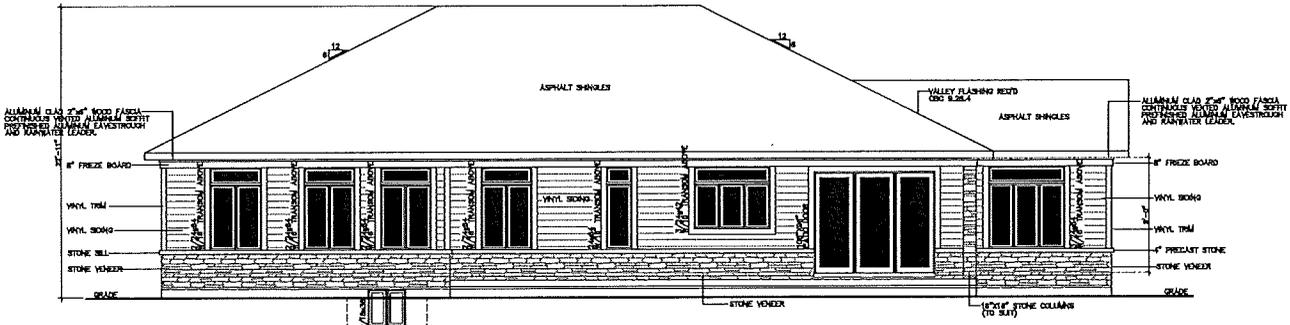
IT SHALL BE THE RESPONSIBILITY OF THE BUILDER TO HAVE ALL GRADING AND SERVICES CHECKED AND VERIFIED. PROPOSED GRADE LINE AS INDICATED ARE FOR REFERENCE ONLY AND DO NOT REPRESENT EXISTING OR PROPOSED GRADING CONDITIONS.



LEFT ELEVATION



RIGHT ELEVATION



REAR ELEVATION

EED - PACKAGE 'A1'

COMPLIANCE PACKAGE #1-13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100, 101, 102, 103, 104, 105, 106, 107, 108, 109, 110, 111, 112, 113, 114, 115, 116, 117, 118, 119, 120, 121, 122, 123, 124, 125, 126, 127, 128, 129, 130, 131, 132, 133, 134, 135, 136, 137, 138, 139, 140, 141, 142, 143, 144, 145, 146, 147, 148, 149, 150, 151, 152, 153, 154, 155, 156, 157, 158, 159, 160, 161, 162, 163, 164, 165, 166, 167, 168, 169, 170, 171, 172, 173, 174, 175, 176, 177, 178, 179, 180, 181, 182, 183, 184, 185, 186, 187, 188, 189, 190, 191, 192, 193, 194, 195, 196, 197, 198, 199, 200, 201, 202, 203, 204, 205, 206, 207, 208, 209, 210, 211, 212, 213, 214, 215, 216, 217, 218, 219, 220, 221, 222, 223, 224, 225, 226, 227, 228, 229, 230, 231, 232, 233, 234, 235, 236, 237, 238, 239, 240, 241, 242, 243, 244, 245, 246, 247, 248, 249, 250, 251, 252, 253, 254, 255, 256, 257, 258, 259, 260, 261, 262, 263, 264, 265, 266, 267, 268, 269, 270, 271, 272, 273, 274, 275, 276, 277, 278, 279, 280, 281, 282, 283, 284, 285, 286, 287, 288, 289, 290, 291, 292, 293, 294, 295, 296, 297, 298, 299, 300, 301, 302, 303, 304, 305, 306, 307, 308, 309, 310, 311, 312, 313, 314, 315, 316, 317, 318, 319, 320, 321, 322, 323, 324, 325, 326, 327, 328, 329, 330, 331, 332, 333, 334, 335, 336, 337, 338, 339, 340, 341, 342, 343, 344, 345, 346, 347, 348, 349, 350, 351, 352, 353, 354, 355, 356, 357, 358, 359, 360, 361, 362, 363, 364, 365, 366, 367, 368, 369, 370, 371, 372, 373, 374, 375, 376, 377, 378, 379, 380, 381, 382, 383, 384, 385, 386, 387, 388, 389, 390, 391, 392, 393, 394, 395, 396, 397, 398, 399, 400, 401, 402, 403, 404, 405, 406, 407, 408, 409, 410, 411, 412, 413, 414, 415, 416, 417, 418, 419, 420, 421, 422, 423, 424, 425, 426, 427, 428, 429, 430, 431, 432, 433, 434, 435, 436, 437, 438, 439, 440, 441, 442, 443, 444, 445, 446, 447, 448, 449, 450, 451, 452, 453, 454, 455, 456, 457, 458, 459, 460, 461, 462, 463, 464, 465, 466, 467, 468, 469, 470, 471, 472, 473, 474, 475, 476, 477, 478, 479, 480, 481, 482, 483, 484, 485, 486, 487, 488, 489, 490, 491, 492, 493, 494, 495, 496, 497, 498, 499, 500, 501, 502, 503, 504, 505, 506, 507, 508, 509, 510, 511, 512, 513, 514, 515, 516, 517, 518, 519, 520, 521, 522, 523, 524, 525, 526, 527, 528, 529, 530, 531, 532, 533, 534, 535, 536, 537, 538, 539, 540, 541, 542, 543, 544, 545, 546, 547, 548, 549, 550, 551, 552, 553, 554, 555, 556, 557, 558, 559, 560, 561, 562, 563, 564, 565, 566, 567, 568, 569, 570, 571, 572, 573, 574, 575, 576, 577, 578, 579, 580, 581, 582, 583, 584, 585, 586, 587, 588, 589, 590, 591, 592, 593, 594, 595, 596, 597, 598, 599, 600, 601, 602, 603, 604, 605, 606, 607, 608, 609, 610, 611, 612, 613, 614, 615, 616, 617, 618, 619, 620, 621, 622, 623, 624, 625, 626, 627, 628, 629, 630, 631, 632, 633, 634, 635, 636, 637, 638, 639, 640, 641, 642, 643, 644, 645, 646, 647, 648, 649, 650, 651, 652, 653, 654, 655, 656, 657, 658, 659, 660, 661, 662, 663, 664, 665, 666, 667, 668, 669, 670, 671, 672, 673, 674, 675, 676, 677, 678, 679, 680, 681, 682, 683, 684, 685, 686, 687, 688, 689, 690, 691, 692, 693, 694, 695, 696, 697, 698, 699, 700, 701, 702, 703, 704, 705, 706, 707, 708, 709, 710, 711, 712, 713, 714, 715, 716, 717, 718, 719, 720, 721, 722, 723, 724, 725, 726, 727, 728, 729, 730, 731, 732, 733, 734, 735, 736, 737, 738, 739, 740, 741, 742, 743, 744, 745, 746, 747, 748, 749, 750, 751, 752, 753, 754, 755, 756, 757, 758, 759, 760, 761, 762, 763, 764, 765, 766, 767, 768, 769, 770, 771, 772, 773, 774, 775, 776, 777, 778, 779, 780, 781, 782, 783, 784, 785, 786, 787, 788, 789, 790, 791, 792, 793, 794, 795, 796, 797, 798, 799, 800, 801, 802, 803, 804, 805, 806, 807, 808, 809, 810, 811, 812, 813, 814, 815, 816, 817, 818, 819, 820, 821, 822, 823, 824, 825, 826, 827, 828, 829, 830, 831, 832, 833, 834, 835, 836, 837, 838, 839, 840, 841, 842, 843, 844, 845, 846, 847, 848, 849, 850, 851, 852, 853, 854, 855, 856, 857, 858, 859, 860, 861, 862, 863, 864, 865, 866, 867, 868, 869, 870, 871, 872, 873, 874, 875, 876, 877, 878, 879, 880, 881, 882, 883, 884, 885, 886, 887, 888, 889, 890, 891, 892, 893, 894, 895, 896, 897, 898, 899, 900, 901, 902, 903, 904, 905, 906, 907, 908, 909, 910, 911, 912, 913, 914, 915, 916, 917, 918, 919, 920, 921, 922, 923, 924, 925, 926, 927, 928, 929, 930, 931, 932, 933, 934, 935, 936, 937, 938, 939, 940, 941, 942, 943, 944, 945, 946, 947, 948, 949, 950, 951, 952, 953, 954, 955, 956, 957, 958, 959, 960, 961, 962, 963, 964, 965, 966, 967, 968, 969, 970, 971, 972, 973, 974, 975, 976, 977, 978, 979, 980, 981, 982, 983, 984, 985, 986, 987, 988, 989, 990, 991, 992, 993, 994, 995, 996, 997, 998, 999, 1000, 1001, 1002, 1003, 1004, 1005, 1006, 1007, 1008, 1009, 1010, 1011, 1012, 1013, 1014, 1015, 1016, 1017, 1018, 1019, 1020, 1021, 1022, 1023, 1024, 1025, 1026, 1027, 1028, 1029, 1030, 1031, 1032, 1033, 1034, 1035, 1036, 1037, 1038, 1039, 1040, 1041, 1042, 1043, 1044, 1045, 1046, 1047, 1048, 1049, 1050, 1051, 1052, 1053, 1054, 1055, 1056, 1057, 1058, 1059, 1060, 1061, 1062, 1063, 1064, 1065, 1066, 1067, 1068, 1069, 1070, 1071, 1072, 1073, 1074, 1075, 1076, 1077, 1078, 1079, 1080, 1081, 1082, 1083, 1084, 1085, 1086, 1087, 1088, 1089, 1090, 1091, 1092, 1093, 1094, 1095, 1096, 1097, 1098, 1099, 1100, 1101, 1102, 1103, 1104, 1105, 1106, 1107, 1108, 1109, 1110, 1111, 1112, 1113, 1114, 1115, 1116, 1117, 1118, 1119, 1120, 1121, 1122, 1123, 1124, 1125, 1126, 1127, 1128, 1129, 1130, 1131, 1132, 1133, 1134, 1135, 1136, 1137, 1138, 1139, 1140, 1141, 1142, 1143, 1144, 1145, 1146, 1147, 1148, 1149, 1150, 1151, 1152, 1153, 1154, 1155, 1156, 1157, 1158, 1159, 1160, 1161, 1162, 1163, 1164, 1165, 1166, 1167, 1168, 1169, 1170, 1171, 1172, 1173, 1174, 1175, 1176, 1177, 1178, 1179, 1180, 1181, 1182, 1183, 1184, 1185, 1186, 1187, 1188, 1189, 1190, 1191, 1192, 1193, 1194, 1195, 1196, 1197, 1198, 1199, 1200, 1201, 1202, 1203, 1204, 1205, 1206, 1207, 1208, 1209, 1210, 1211, 1212, 1213, 1214, 1215, 1216, 1217, 1218, 1219, 1220, 1221, 1222, 1223, 1224, 1225, 1226, 1227, 1228, 1229, 1230, 1231, 1232, 1233, 1234, 1235, 1236, 1237, 1238, 1239, 1240, 1241, 1242, 1243, 1244, 1245, 1246, 1247, 1248, 1249, 1250, 1251, 1252, 1253, 1254, 1255, 1256, 1257, 1258, 1259, 1260, 1261, 1262, 1263, 1264, 1265, 1266, 1267, 1268, 1269, 1270, 1271, 1272, 1273, 1274, 1275, 1276, 1277, 1278, 1279, 1280, 1281, 1282, 1283, 1284, 1285, 1286, 1287, 1288, 1289, 1290, 1291, 1292, 1293, 1294, 1295, 1296, 1297, 1298, 1299, 1300, 1301, 1302, 1303, 1304, 1305, 1306, 1307, 1308, 1309, 1310, 1311, 1312, 1313, 1314, 1315, 1316, 1317, 1318, 1319, 1320, 1321, 1322, 1323, 1324, 1325, 1326, 1327, 1328, 1329, 1330, 1331, 1332, 1333, 1334, 1335, 1336, 1337, 1338, 1339, 1340, 1341, 1342, 1343, 1344, 1345, 1346, 1347, 1348, 1349, 1350, 1351, 1352, 1353, 1354, 1355, 1356, 1357, 1358, 1359, 1360, 1361, 1362, 1363, 1364, 1365, 1366, 1367, 1368, 1369, 1370, 1371, 1372, 1373, 1374, 1375, 1376, 1377, 1378, 1379, 1380, 1381, 1382, 1383, 1384, 1385, 1386, 1387, 1388, 1389, 1390, 1391, 1392, 1393, 1394, 1395, 1396, 1397, 1398, 1399, 1400, 1401, 1402, 1403, 1404, 1405, 1406, 1407, 1408, 1409, 1410, 1411, 1412, 1413, 1414, 1415, 1416, 1417, 1418, 1419, 1420, 1421, 1422, 1423, 1424, 1425, 1426, 1427, 1428, 1429, 1430, 1431, 1432, 1433, 1434, 1435, 1436, 1437, 1438, 1439, 1440, 1441, 1442, 1443, 1444, 1445, 1446, 1447, 1448, 1449, 1450, 1451, 1452, 1453, 1454, 1455, 1456, 1457, 1458, 1459, 1460, 1461, 1462, 1463, 1464, 1465, 1466, 1467, 1468, 1469, 1470, 1471, 1472, 1473, 1474, 1475, 1476, 1477, 1478, 1479, 1480, 1481, 1482, 1483, 1484, 1485, 1486, 1487, 1488, 1489, 1490, 1491, 1492, 1493, 1494, 1495, 1496, 1497, 1498, 1499, 1500, 1501, 1502, 1503, 1504, 1505, 1506, 1507, 1508, 1509, 1510, 1511, 1512, 1513, 1514, 1515, 1516, 1517, 1518, 1519, 1520, 1521, 1522, 1523, 1524, 1525, 1526, 1527, 1528, 1529, 1530, 1531, 1532, 1533, 1534, 1535, 1536, 1537, 1538, 1539, 1540, 1541, 1542, 1543, 1544, 1545, 1546, 1547, 1548, 1549, 1550, 1551, 1552, 1553, 1554, 1555, 1556, 1557, 1558, 1559, 1560, 1561, 1562, 1563, 1564, 1565, 1566, 1567, 1568, 1569, 1570, 1571, 1572, 1573, 1574, 1575, 1576, 1577, 1578, 1579, 1580, 1581, 1582, 1583, 1584, 1585, 1586, 1587, 1588, 1589, 1590, 1591, 1592, 1593, 1594, 1595, 1596, 1597, 1598, 1599, 1600, 1601, 1602, 1603, 1604, 1605, 1606, 1607, 1608, 1609, 1610, 1611, 1612, 1613, 1614, 1615, 1616, 1617, 1618, 1619, 1620, 1621, 1622, 1623, 1624, 1625, 1626, 1627, 1628, 1629, 1630, 1631, 1632, 1633, 1634, 1635, 1636, 1637, 1638, 1639, 1640, 1641, 1642, 1643, 1644, 1645, 1646, 1647, 1648, 1649, 1650, 1651, 1652, 1653, 1654, 1655, 1656, 1657, 1658, 1659, 1660, 1661, 1662, 1663, 1664, 1665, 1666, 1667, 1668, 1669, 1670, 1671, 1672, 1673, 1674, 1675, 1676, 1677, 1678, 1679, 1680, 1681, 1682, 1683, 1684, 1685, 1686, 1687, 1688, 1689, 1690, 1691, 1692, 1693, 1694, 1695, 1696, 1697, 1698, 1699, 1700, 1701, 1702, 1703, 1704, 1705, 1706, 1707, 1708, 1709, 1710, 1711, 1712, 1713, 1714, 1715, 1716, 1717, 1718, 1719, 1720, 1721, 1722, 1723, 1724, 1725, 1726, 1727, 1728, 1729, 1730, 1731, 1732, 1733, 1734, 1735, 1736, 1737, 1738, 1739, 1740, 1741, 1742, 1743, 1744, 1745, 1746, 1747, 1748, 1749, 1750, 1751, 1752, 1753, 1754, 1755, 1756, 1757, 1758, 1759, 1760, 1761, 1762, 1763, 1764, 1765, 1766, 1767, 1768, 1769, 1770, 1771, 1772, 1773, 1774, 1775, 1776, 1777, 1778, 1779, 1780, 1781, 1782, 1783, 1784, 1785, 1786, 1787, 1788, 1789, 1790, 1791, 1792, 1793, 1794, 1795, 1796, 1797, 1798, 1799, 1800, 1801, 1802, 1803, 1804, 1805, 1806, 1807, 1808, 1809, 1810, 1811, 1812, 1813, 1814, 1815, 1816, 1817, 1818, 1819, 1820, 1821, 1822, 1823, 1824, 1825, 1826, 1827, 1828, 1829, 1830, 1831, 1832, 1833, 1834, 1835, 1836, 1837, 1838, 1839, 1840, 1841, 1842, 1843, 1844, 1845, 1846, 1847, 1848, 1849, 1850, 1851, 1852, 1853, 1854, 1855, 1856, 1857, 1858, 1859, 1860, 1861, 1862, 1863, 1864, 1865, 1866, 1867, 1868, 1869, 1870, 1871, 1872, 1873, 1874, 1875, 1876, 1877, 1878, 1879, 1880, 1881, 1882, 1883, 1884, 1885, 1886, 1887, 1888, 1889, 1890, 1891, 1892, 1893, 1894, 1895, 1896, 1897, 1898, 1899, 1900, 1901, 1902, 1903, 1904, 1905, 1906, 1907, 1908, 1909, 1910, 1911, 1912, 1913, 1914, 1915, 1916, 1917, 1918, 1919, 1920, 1921, 1922, 1923, 1924, 1925, 1926, 1927, 1928, 1929, 1930, 1931, 1932, 1933, 1934, 1935, 1936, 1937, 1938, 1939, 1940, 1941, 1942, 1943, 1944, 1945, 1946, 1947, 1948, 1949, 1950, 1951, 1952, 1953, 1954, 1955, 1956, 1957, 1958, 1959, 1960, 1961, 1962, 1963, 1964, 1965, 1966, 1967, 1968, 1969, 1970, 1971, 1972, 1973, 1974, 1975, 1976, 1977, 1978, 1979, 1980, 1981, 1982, 1983, 1984, 1985, 1986, 1987, 1988, 1989, 1990, 1991, 1992, 1993, 1994, 1995, 1996, 1997, 1998, 1999, 2000, 2001, 2002, 2003, 2004, 2005, 2006, 2007, 2008, 2009, 2010, 2011, 2012, 2013, 2014, 2015, 2016, 2017, 2018, 2019, 2020, 2021, 2022, 2023, 2024, 2025, 2026, 2027, 2028, 2029, 2030, 2031, 2032, 2033, 2034, 2035, 2036, 2037, 2038, 2039, 2040, 2041, 2042, 2043, 2044, 2045, 2046, 2047, 2048, 2049, 2050, 2051, 2052, 2053, 2054, 2055, 2056, 2057, 2058, 2059, 2060, 2061, 2062, 2063, 2064, 2065, 2066, 2067, 2068, 2069, 2070, 2071, 2072, 2073, 2074, 2075, 2076, 2077, 2078, 2079, 2080, 2081, 2082, 2083, 2084, 2085, 2086, 2087, 2088, 2089, 2090, 2091, 2092, 2093, 2094, 2095, 2096, 2097, 2098, 2099, 2100, 2101, 2102, 2103, 2104, 2105, 2106, 2107, 2108, 2109, 2110, 2111, 2112, 2113, 2114, 2115, 2116, 2117, 2118, 2119, 2120, 2121, 21

20-17220



Hamilton

Planning and Economic Development Department
Planning Division

Committee of Adjustment
City Hall
5th floor 71 Main Street West
Hamilton, Ontario L8P 4Y5

Phone (905) 546-2424 ext.4221
Fax (905) 546-4292

RECEIVED
JUN 24 2020
COM OF ADJUSTMT

PLEASE FILL OUT THE FOLLOWING PAGES AND
RETURN TO THE CITY OF HAMILTON PLANNING
DEPARTMENT.

FOR OFFICE USE ONLY.	
APPLICATION NO. <u>SC/A-20:130</u>	DATE APPLICATION RECEIVED <u>June 24/20</u>
PAID _____	DATE APPLICATION DEEMED COMPLETE _____
SECRETARY'S SIGNATURE _____	

CITY OF HAMILTON
COMMITTEE OF ADJUSTMENT
HAMILTON, ONTARIO

The Planning Act

Application for Minor Variance or for Permission

The undersigned hereby applies to the Committee of Adjustment for the City of Hamilton under Section 45 of the *Planning Act*, R.S.O. 1990, Chapter P.13 for relief, as described in this application, from the Zoning By-law.

1. Name of Owner MARY & PASQUALE CATERINI Telephone No. [REDACTED]

2. [REDACTED]

3. Name of Agent AIFONSO ALAIMO Telephone No. [REDACTED]

4. [REDACTED]

Note: Unless otherwise requested all communications will be sent to the agent, if any.

5. Names and addresses of any mortgagees, holders of charges or other encumbrances:

ROYAL BANK OF CANADA
180 WELLINGTON ST. W. Postal Code M5J 1J1

Postal Code _____

6. Nature and extent of relief applied for:

- MINOR VARIANCE FOR HOUSE SIDEYARD (REDUCE EAST SIDEYARD TO 1.25M SETBACK)
- MINOR VARIANCE TO INCREASE HEIGHT & SIZE OF UTILITY/STORAGE BUILDING (40'X60' BLDG ; 25' 3 1/2" HEIGHT)

7. Why it is not possible to comply with the provisions of the By-law?

- NEED TO MOVE THE HOUSE TO MAKE ROOM FOR DRIVEWAY & PRESERVE TREES
- CHANGE TO UTILITY/STORAGE BLDG. TO ALLOW FOR CARLIFTS & HOISTS & MAKE ROOM FOR COLLECTIBLE CAR, RV & EQUIPMENT STORAGE (IE CLASSIC CARS, ATVs, SNOWMOBILES, EQUIPMENT)

8. Legal description of subject lands (registered plan number and lot number or other legal description and where applicable, street and street number):

CON. 6 PT LOT 17 S/LT SC RP 62R1211 PART 1 IRREG
1.12 AC 94.50 FR 493.20 D
381 MUD ST. E. STONEY CREEK

9. PREVIOUS USE OF PROPERTY

Residential Industrial Commercial
 Agricultural Vacant
 Other _____

9.1 If Industrial or Commercial, specify use

9.2 Has the grading of the subject land been changed by adding earth or other material, i.e. has filling occurred?

Yes No Unknown

9.3 Has a gas station been located on the subject land or adjacent lands at any time?

Yes No Unknown

9.4 Has there been petroleum or other fuel stored on the subject land or adjacent lands?

Yes No Unknown

9.5 Are there or have there ever been underground storage tanks or buried waste on the subject land or adjacent lands?

Yes No Unknown

9.6 Have the lands or adjacent lands ever been used as an agricultural operation where cyanide products may have been used as pesticides and/or sewage sludge was applied to the lands?

Yes No Unknown

9.7 Have the lands or adjacent lands ever been used as a weapon firing range?

Yes No Unknown

9.8 Is the nearest boundary line of the application within 500 metres (1,640 feet) of the fill area of an operational/non-operational landfill or dump?

Yes No Unknown

9.9 If there are existing or previously existing buildings, are there any building materials remaining on site which are potentially hazardous to public health (eg. asbestos, PCB's)?

Yes No Unknown

9.10 Is there any reason to believe the subject land may have been contaminated by former uses on the site or adjacent sites?

Yes No Unknown

9.11 What information did you use to determine the answers to 9.1 to 9.10 above?

PROPERTY HAS BEEN USED AS PRIMARY RESIDENCE BY THE TWO PREVIOUS OWNERS. ADJACENT LANDS - RESIDENCE TO THE WEST CEMETARY TO THE EAST, FORMER FRUIT FARM/RESIDENCE TO THE NORTH

9.12 If previous use of property is industrial or commercial or if YES to any of 9.2 to 9.10, a previous use inventory showing all former uses of the subject land, or if appropriate, the land adjacent to the subject land, is needed.

Is the previous use inventory attached? Yes No

ACKNOWLEDGEMENT CLAUSE

I acknowledge that the City of Hamilton is not responsible for the identification and remediation of contamination on the property which is the subject of this Application – by reason of its approval to this Application.

March 24, 2020
Date


Signature Property Owner
PASQUALE CATERINI
MARILYN CATERINI
Print Name of Owner

10. Dimensions of lands affected:

Frontage 28.8 M
Depth 150.57 M
Area 1.12 AC. (94.5 FR 493.200)
Width of street N/A

11. Particulars of all buildings and structures on or proposed for the subject lands: (Specify ground floor area, gross floor area, number of stories, width, length, height, etc.)

Existing: EXISTING 2 STOREY HOUSE TO BE DEMOLISHED

Proposed: SINGLE RESIDENTIAL HOME 2305 sq ft BUNGALOW, SINGLE FLOOR & DETACHED ACCESSORY BLDG. (UTILITY/STORAGE GARAGE) 2400 sq. ft

12. Location of all buildings and structures on or proposed for the subject lands; (Specify distance from side, rear and front lot lines)

Existing: _____

Proposed: 65.641 m from frontage property line (S. side), 8.23 m FROM WEST property line, 1.85 m FROM EAST PROPERTY LINE, 60.581 m FROM N. PROPERTY LINE

13. Date of acquisition of subject lands:
OCTOBER 15, 2010

14. Date of construction of all buildings and structures on subject lands:
EXISTING HOME 60+ YEARS

15. Existing uses of the subject property: RESIDENTIAL

16. Existing uses of abutting properties: RESIDENTIAL, CEMETARY, RESIDENTIAL/AGRICULTURAL

17. Length of time the existing uses of the subject property have continued:
60 yrs est.

18. Municipal services available: (check the appropriate space or spaces)
Water _____ Connected _____
Sanitary Sewer _____ Connected _____
Storm Sewers _____

19. Present Official Plan/Secondary Plan provisions applying to the land:

20. Present Restricted Area By-law (Zoning By-law) provisions applying to the land:

21. Has the owner previously applied for relief in respect of the subject property?
Yes No
If the answer is yes, describe briefly.

22. Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?
Yes No

23. The applicant shall attach to each copy of this application a plan showing the dimensions of the subject lands and of all abutting lands and showing the location, size and type of all buildings and structures on the subject and abutting lands, and where required by the Committee of Adjustment such plan shall be signed by an Ontario Land Surveyor.

NOTE: It is required that two copies of this application be filed with the secretary-treasurer of the Committee of Adjustment together with the maps referred to in Section 5 and be accompanied by the appropriate fee in cash or by cheque made payable to the City of Hamilton.

Mr. Alaimo,

The minor variance application for this proposal as shown in the attached plan would not need to be circulated to our office for formal comment.

However, as you have been informed, the proposed laneway/culvert crossing and septic system installation will require a permit from our office under Ontario Regulation 161/06 as they are within our regulated area.

Please also note that the culvert size required for the crossing is **800mm** as we have specified, *not* the 300mm culvert shown on the attached plan.

Darren Kenny, B.Sc. (Hons.), CAN-CISEC

Watershed Officer, Badge # 113

Hamilton Conservation Authority

P.O. Box 81067, 838 Mineral Springs Road

Ancaster, Ontario L9G 4X1

Tel - 905-525-2181, ext. 131

darren.kenny@conservationhamilton.ca

Website - www.conservationhamilton.ca



A Healthy Watershed for Everyone

The contents of this e-mail and any attachments are intended for the named recipient(s). This e-mail may contain information that is privileged and confidential. If you have received this message in error or are not the named recipient(s), please notify the sender and permanently delete this message without reviewing, copying, forwarding, disclosing or otherwise using it or any part of it in any form whatsoever.

From: Al Alaimo [mailto:al@ateamcontracting.com]

Sent: March 18, 2020 2:21 PM

To: Kenny, Darren

Subject: 381 Mud St. East Stoney Creek Plot plan

Hi Darren,

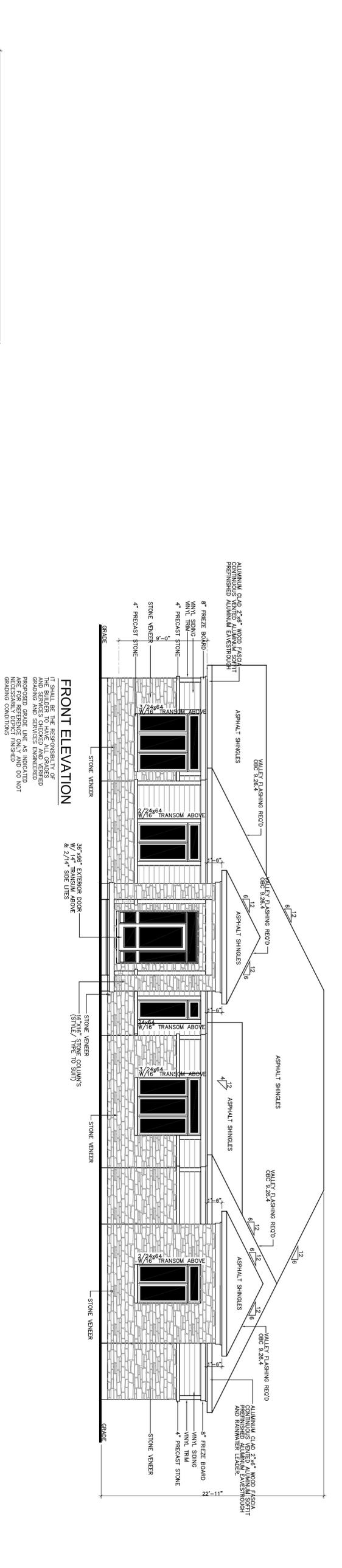
Here is the plot plan for 381 Mud St. East. Stoney Creek being submitted for minor variance. The septic bed is plotted on the drawing as requested. The minor variance application will consist of the new home to set at 1.25 meters from the east property line and a minor variance to build a 40'x60' 2400 sqft accessory building at the

back of the property and at a roof height of 25.3' high. Please review the drawing and if you have any questions please let me know.

Regards,

Al Alaimo

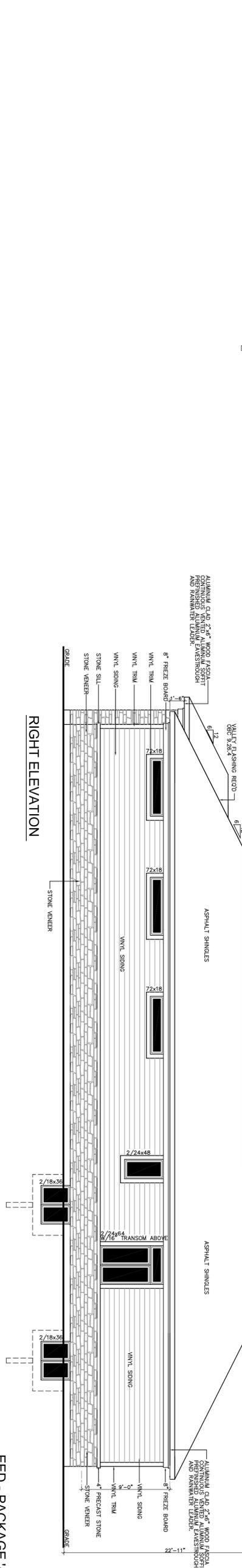
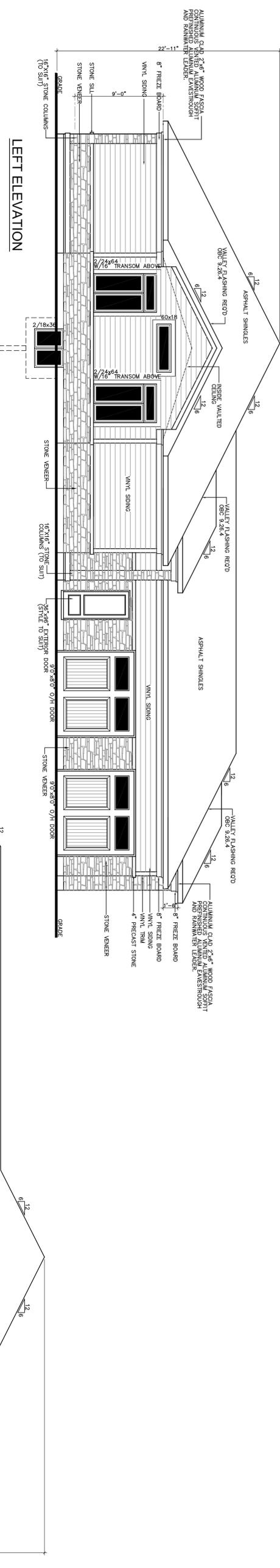
A-Team Custom Contracting Ltd.
289 775 1736



No.	DATE	DESCRIPTION
1.	02.20.20	ISSUED FOR PERMIT
2.		
3.		
4.		
5.		
6.		
7.		
8.		

THESE DRAWINGS ARE NOT TO BE SCALED. CONTRACTOR MUST CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON THE PROJECT, AND MUST REPORT ANY DISCREPANCIES TO THE DESIGNER BEFORE PROCEEDING WITH THE WORK.

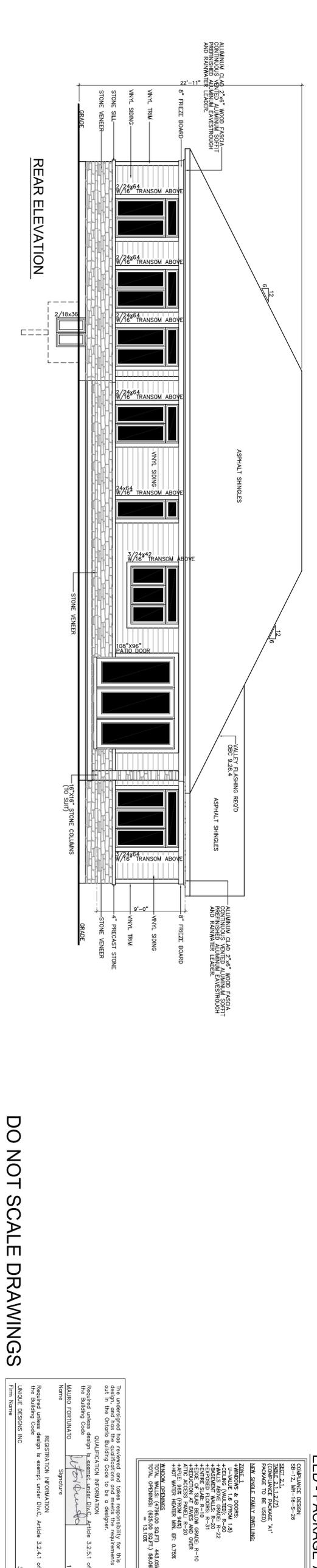
THE USE OF THIS DRAWING OR PART THEREOF IS FORBIDDEN WITHOUT THE WRITTEN APPROVAL OF THE DESIGNER.



No.	DATE	DESCRIPTION
1.	02.20.20	ISSUED FOR PERMIT
2.		
3.		
4.		
5.		
6.		
7.		
8.		

THESE DRAWINGS ARE NOT TO BE SCALED. CONTRACTOR MUST CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON THE PROJECT, AND MUST REPORT ANY DISCREPANCIES TO THE DESIGNER BEFORE PROCEEDING WITH THE WORK.

THE USE OF THIS DRAWING OR PART THEREOF IS FORBIDDEN WITHOUT THE WRITTEN APPROVAL OF THE DESIGNER.



No.	DATE	DESCRIPTION
1.	02.20.20	ISSUED FOR PERMIT
2.		
3.		
4.		
5.		
6.		
7.		
8.		

THESE DRAWINGS ARE NOT TO BE SCALED. CONTRACTOR MUST CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON THE PROJECT, AND MUST REPORT ANY DISCREPANCIES TO THE DESIGNER BEFORE PROCEEDING WITH THE WORK.

THE USE OF THIS DRAWING OR PART THEREOF IS FORBIDDEN WITHOUT THE WRITTEN APPROVAL OF THE DESIGNER.

EED - PACKAGE 'A1'

CONTRACTOR DESIGN
 SP-12-WF-16-S-28
 SHEET 211 (2/27)
 PACKAGE TO BE (ISSN)
 NEW SINGLE FAMILY DWELLING

ZONE 1
 +WINDOWS & DOORS: 1-10
 +CEILING WALLS: R-40
 +FLOOR ABOVE GRADE: R-22
 +FLOOR FLOORS: R-31
 +FLOOR OF SLAB BELOW GRADE: R-10
 +ATTIC FLOOR: R-20
 +ATTIC ROOF: R-30
 +4x4 FLOOR JOIST (FROM 4x2) FT. 0.75x
 +4x4 FLOOR JOIST (FROM 4x2) FT. 0.75x
 +4x4 FLOOR JOIST (FROM 4x2) FT. 0.75x
 TOTAL WALLS: (625.00 SQ FT) 443.00sq
 TOTAL OPENINGS: (625.00 SQ FT) 58.00sq
 TOTAL: 11.12

DO NOT SCALE DRAWINGS

The undersigned has reviewed and takes responsibility for this design and construction and meets the requirements set out in the Ontario Building Code Act, 1992 and the Ontario Building Code, 1992. Required unless design is exempt under Div. C, Article 1.2.5.1 of the Building Code.

MAURO FORTINATO
 Signature
 15084
 REGISTRATION INFORMATION
 Reduced unless design is exempt under Div. C, Article 1.2.5.1 of the Building Code
 UNIQUE DESIGNS INC
 Firm Name
 31090
 BDN

CATERINI RESIDENCE

381 MUD ST.
 HAMILTON, (ST. CRK) ONT.

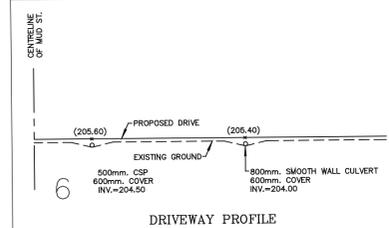
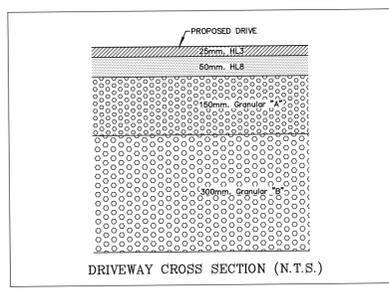
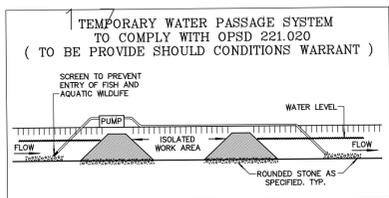
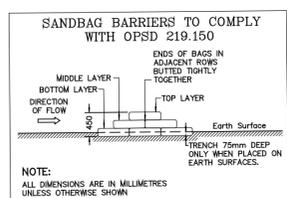
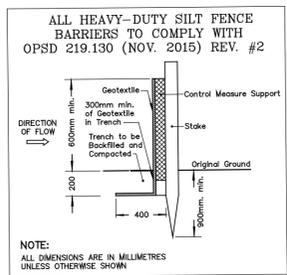
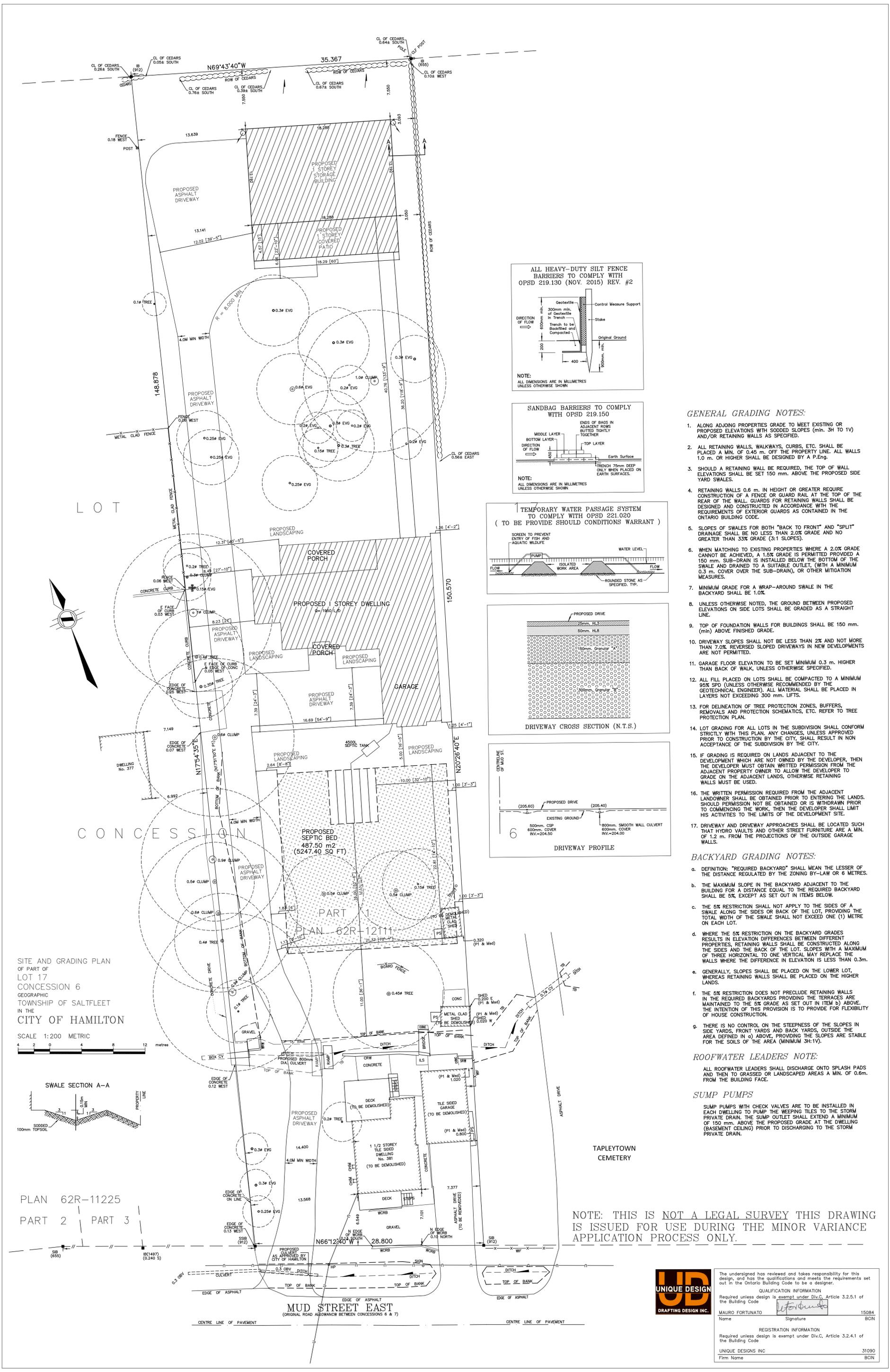
Scale: 3/16"=1'-0"

Date: 02.17.20

Job Number: 0133620

Drawn By: [Signature]

UNIQUE DESIGNS INC.
 CUSTOM HOME ELEVATIONS



- GENERAL GRADING NOTES:**
- ALONG ADJOINING PROPERTIES GRADE TO MEET EXISTING OR PROPOSED ELEVATIONS WITH SODDED SLOPES (MIN. 3H TO 1V) AND/OR RETAINING WALLS AS SPECIFIED.
 - ALL RETAINING WALLS, WALKWAYS, CURBS, ETC. SHALL BE PLACED A MIN. OF 0.45 m. OFF THE PROPERTY LINE. ALL WALLS 1.0 m. OR HIGHER SHALL BE DESIGNED BY A P.Eng.
 - SHOULD A RETAINING WALL BE REQUIRED, THE TOP OF WALL ELEVATIONS SHALL BE SET 150 mm. ABOVE THE PROPOSED SIDE YARD SWALES.
 - RETAINING WALLS 0.6 m. IN HEIGHT OR GREATER REQUIRE CONSTRUCTION OF A FENCE OR GUARD RAIL AT THE TOP OF THE REAR OF THE WALL. GUARDS FOR RETAINING WALLS SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH THE REQUIREMENTS OF EXTERIOR GUARDS AS CONTAINED IN THE ONTARIO BUILDING CODE.
 - SLOPES OF SWALES FOR BOTH "BACK TO FRONT" AND "SPILT" DRAINAGE SHALL BE NO LESS THAN 2.0% GRADE AND NO GREATER THAN 33% GRADE (3:1 SLOPES).
 - WHEN MATCHING TO EXISTING PROPERTIES WHERE A 2.0% GRADE CANNOT BE ACHIEVED, A 1.5% GRADE IS PERMITTED PROVIDED A 150 mm. SUB-DRAIN IS INSTALLED BELOW THE BOTTOM OF THE SWALE AND DRAINED TO A SUITABLE OUTLET, WITH A MINIMUM 0.3 m. COVER OVER THE SUB-DRAIN, OR OTHER MITIGATION MEASURES.
 - MINIMUM GRADE FOR A WRAP-AROUND SWALE IN THE BACKYARD SHALL BE 1.0%.
 - UNLESS OTHERWISE NOTED, THE GROUND BETWEEN PROPOSED ELEVATIONS ON SIDE LOTS SHALL BE GRADED AS A STRAIGHT LINE.
 - TOP OF FOUNDATION WALLS FOR BUILDINGS SHALL BE 150 mm. (min) ABOVE FINISHED GRADE.
 - DRIVEWAY SLOPES SHALL NOT BE LESS THAN 2% AND NOT MORE THAN 7.0% REVERSED SLOPED DRIVEWAYS IN NEW DEVELOPMENTS ARE NOT PERMITTED.
 - GARAGE FLOOR ELEVATION TO BE SET MINIMUM 0.3 m. HIGHER THAN BACK OF WALK, UNLESS OTHERWISE SPECIFIED.
 - ALL FILL PLACED ON LOTS SHALL BE COMPACTED TO A MINIMUM 95% SPD (UNLESS OTHERWISE RECOMMENDED BY THE GEOTECHNICAL ENGINEER). ALL MATERIAL SHALL BE PLACED IN LAYERS NOT EXCEEDING 300 mm. LIFTS.
 - FOR DELINEATION OF TREE PROTECTION ZONES, BUFFERS, REMOVALS AND PROTECTION SCHEMATICS, ETC. REFER TO TREE PROTECTION PLAN.
 - LOT GRADING FOR ALL LOTS IN THE SUBDIVISION SHALL CONFORM STRICTLY WITH THIS PLAN. ANY CHANGES, UNLESS APPROVED PRIOR TO CONSTRUCTION BY THE CITY, SHALL RESULT IN NON ACCEPTANCE OF THE SUBDIVISION BY THE CITY.
 - IF GRADING IS REQUIRED ON LANDS ADJACENT TO THE DEVELOPMENT WHICH ARE NOT OWNED BY THE DEVELOPER, THEN THE DEVELOPER MUST OBTAIN WRITTEN PERMISSION FROM THE ADJACENT PROPERTY OWNER TO ALLOW THE DEVELOPER TO GRADE ON THE ADJACENT LANDS, OTHERWISE RETAINING WALLS MUST BE USED.
 - THE WRITTEN PERMISSION REQUIRED FROM THE ADJACENT LANDOWNER SHALL BE OBTAINED PRIOR TO ENTERING THE LANDS. SHOULD PERMISSION NOT BE OBTAINED OR IS WITHDRAWN PRIOR TO COMMENCING THE WORK, THEN THE DEVELOPER SHALL LIMIT HIS ACTIVITIES TO THE LIMITS OF THE DEVELOPMENT SITE.
 - DRIVEWAY AND DRIVEWAY APPROACHES SHALL BE LOCATED SUCH THAT HYDRO VALUETS AND OTHER STREET FURNITURE ARE A MIN. OF 1.2 m. FROM THE PROJECTIONS OF THE OUTSIDE GARAGE WALLS.

- BACKYARD GRADING NOTES:**
- DEFINITION: "REQUIRED BACKYARD" SHALL MEAN THE LESSER OF THE DISTANCE REGULATED BY THE ZONING BY-LAW OR 6 METRES.
 - THE MAXIMUM SLOPE IN THE BACKYARD ADJACENT TO THE BUILDING FOR A DISTANCE EQUAL TO THE REQUIRED BACKYARD SHALL BE 5%, EXCEPT AS SET OUT IN ITEMS BELOW.
 - THE 5% RESTRICTION SHALL NOT APPLY TO THE SIDES OF A SWALE ALONG THE SIDES OR BACK OF THE LOT, PROVIDING THE TOTAL WIDTH OF THE SWALE SHALL NOT EXCEED ONE (1) METRE ON EACH LOT.
 - WHERE THE 5% RESTRICTION ON THE BACKYARD GRADES RESULTS IN ELEVATION DIFFERENCES BETWEEN DIFFERENT PROPERTIES, RETAINING WALLS SHALL BE CONSTRUCTED ALONG THE SIDES AND THE BACK OF THE LOT. SLOPES WITH A MAXIMUM OF THREE HORIZONTAL TO ONE VERTICAL MAY REPLACE THE WALLS WHERE THE DIFFERENCE IN ELEVATION IS LESS THAN 0.3m.
 - GENERALLY, SLOPES SHALL BE PLACED ON THE LOWER LOT, WHEREAS RETAINING WALLS SHALL BE PLACED ON THE HIGHER LANDS.
 - THE 5% RESTRICTION DOES NOT PRECLUDE RETAINING WALLS IN THE REQUIRED BACKYARDS PROVIDING THE TERRACES ARE MAINTAINED TO THE 5% GRADE AS SET OUT IN ITEM b) ABOVE. THE INTENTION OF THIS PROVISION IS TO PROVIDE FLEXIBILITY OF HOUSE CONSTRUCTION.
 - THERE IS NO CONTROL ON THE STEEPNESS OF THE SLOPES IN SIDE YARDS, FRONT YARDS AND BACK YARDS, OUTSIDE THE AREA DEFINED IN a) ABOVE, PROVIDING THE SLOPES ARE STABLE FOR THE SOILS OF THE AREA (MINIMUM 3H:1V).

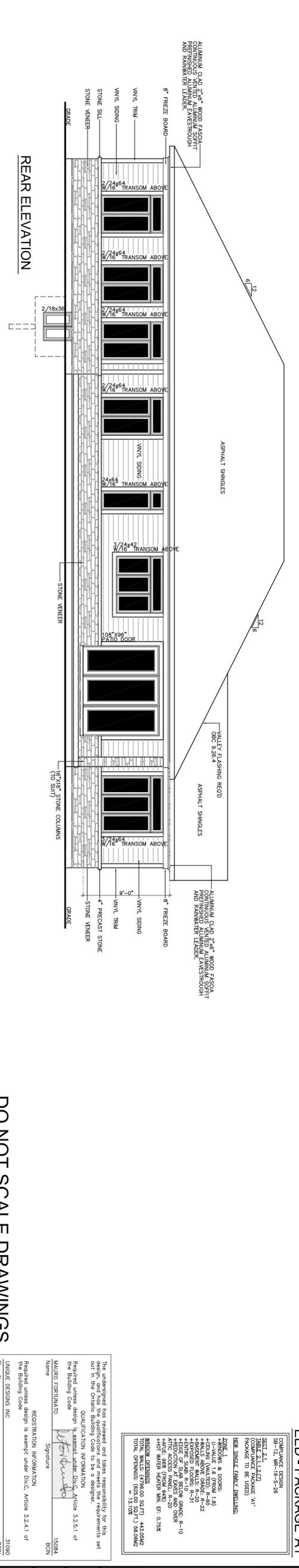
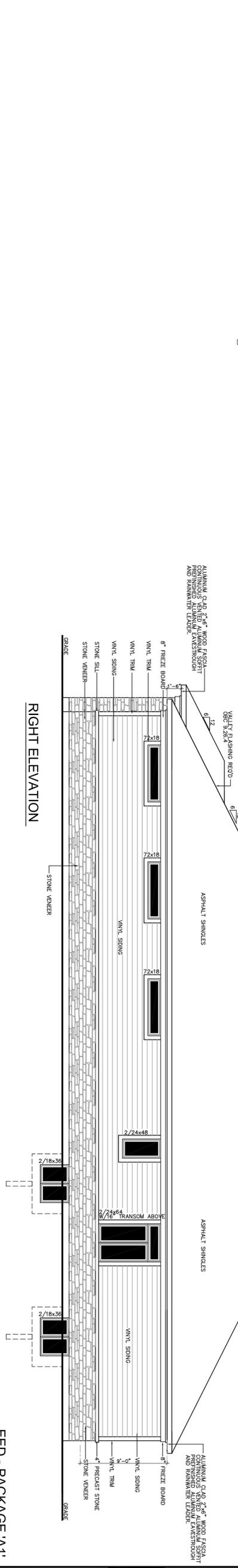
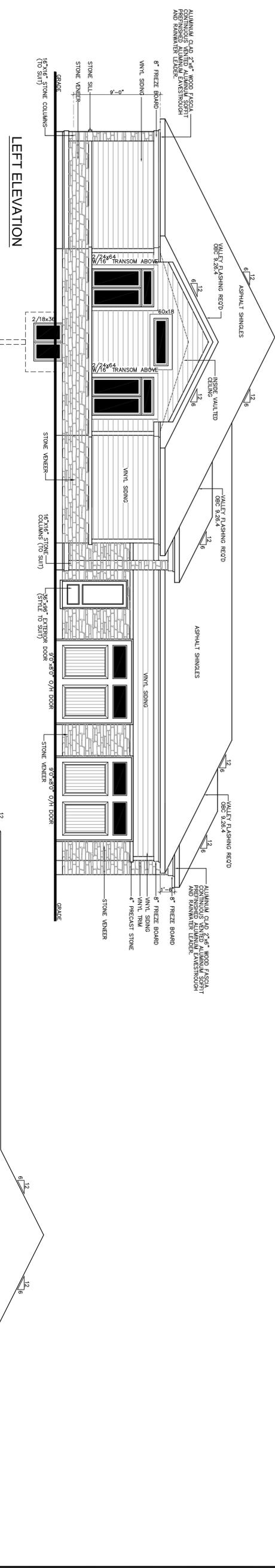
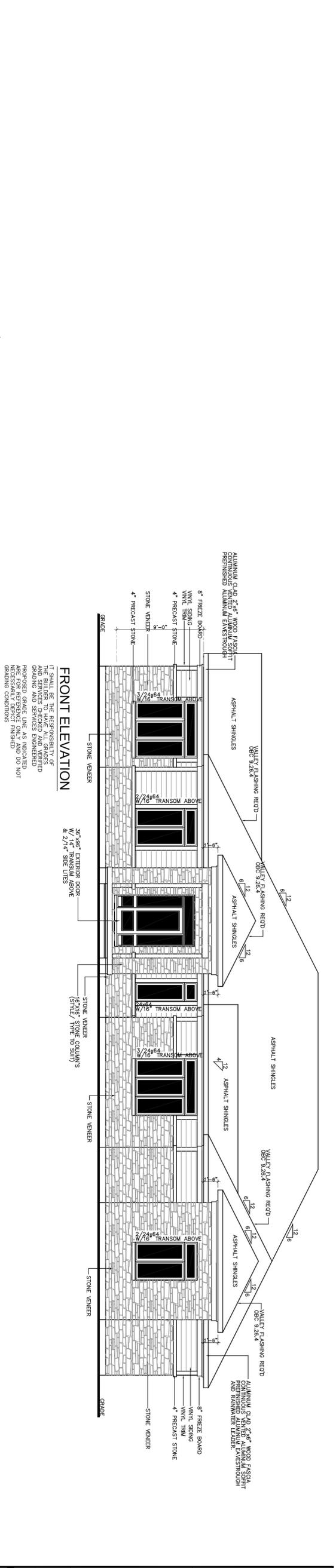
ROOFWATER LEADERS NOTE:
ALL ROOFWATER LEADERS SHALL DISCHARGE ONTO SPLASH PADS AND THEN TO GRASSED OR LANDSCAPED AREAS A MIN. OF 0.6m. FROM THE BUILDING FACE.

SUMP PUMPS
SUMP PUMPS WITH CHECK VALVES ARE TO BE INSTALLED IN EACH DWELLING TO PUMP THE WEEPING TILES TO THE STORM PRIVATE DRAIN. THE SUMP OUTLET SHALL EXTEND A MINIMUM OF 150 mm. ABOVE THE PROPOSED GRADE AT THE DWELLING (BASEMENT CEILING) PRIOR TO DISCHARGING TO THE STORM PRIVATE DRAIN.

NOTE: THIS IS NOT A LEGAL SURVEY THIS DRAWING IS ISSUED FOR USE DURING THE MINOR VARIANCE APPLICATION PROCESS ONLY.



The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.	
QUALIFICATION INFORMATION	
Required unless design is exempt under Div.C, Article 3.2.5.1 of the Building Code	
MAURO FORTUNATO	15084
Name	Signature
REGISTRATION INFORMATION	
Required unless design is exempt under Div.C, Article 3.2.4.1 of the Building Code	
UNIQUE DESIGNS INC	31090
Firm Name	BCIN



FRONT ELEVATION

IT SHALL BE THE RESPONSIBILITY OF THE BUILDER TO HAVE ALL GRADES AND SERVICES CHECKED AND VERIFIED AND TO REPORT ANY DISCREPANCIES TO THE DESIGNER BEFORE PROCEEDING. PROPOSED GRADE LINE AS INDICATED ARE FOR REFERENCE ONLY AND DO NOT GUARANTEE CONDITIONS.

EED - PACKAGE 'A1'

CONTRACTOR DESIGN
 SP-12-WF-16-S-28
 SECT. 2.1.1
 (R/S) 2.1.1.2.1.1
 (R/S) 2.1.1.2.1.2
 (R/S) 2.1.1.2.1.3
 (R/S) 2.1.1.2.1.4
 (R/S) 2.1.1.2.1.5
 (R/S) 2.1.1.2.1.6
 (R/S) 2.1.1.2.1.7
 (R/S) 2.1.1.2.1.8
 (R/S) 2.1.1.2.1.9
 (R/S) 2.1.1.2.1.10
 (R/S) 2.1.1.2.1.11
 (R/S) 2.1.1.2.1.12
 (R/S) 2.1.1.2.1.13
 (R/S) 2.1.1.2.1.14
 (R/S) 2.1.1.2.1.15
 (R/S) 2.1.1.2.1.16
 (R/S) 2.1.1.2.1.17
 (R/S) 2.1.1.2.1.18
 (R/S) 2.1.1.2.1.19
 (R/S) 2.1.1.2.1.20
 (R/S) 2.1.1.2.1.21
 (R/S) 2.1.1.2.1.22
 (R/S) 2.1.1.2.1.23
 (R/S) 2.1.1.2.1.24
 (R/S) 2.1.1.2.1.25
 (R/S) 2.1.1.2.1.26
 (R/S) 2.1.1.2.1.27
 (R/S) 2.1.1.2.1.28
 (R/S) 2.1.1.2.1.29
 (R/S) 2.1.1.2.1.30
 (R/S) 2.1.1.2.1.31
 (R/S) 2.1.1.2.1.32
 (R/S) 2.1.1.2.1.33
 (R/S) 2.1.1.2.1.34
 (R/S) 2.1.1.2.1.35
 (R/S) 2.1.1.2.1.36
 (R/S) 2.1.1.2.1.37
 (R/S) 2.1.1.2.1.38
 (R/S) 2.1.1.2.1.39
 (R/S) 2.1.1.2.1.40
 (R/S) 2.1.1.2.1.41
 (R/S) 2.1.1.2.1.42
 (R/S) 2.1.1.2.1.43
 (R/S) 2.1.1.2.1.44
 (R/S) 2.1.1.2.1.45
 (R/S) 2.1.1.2.1.46
 (R/S) 2.1.1.2.1.47
 (R/S) 2.1.1.2.1.48
 (R/S) 2.1.1.2.1.49
 (R/S) 2.1.1.2.1.50
 (R/S) 2.1.1.2.1.51
 (R/S) 2.1.1.2.1.52
 (R/S) 2.1.1.2.1.53
 (R/S) 2.1.1.2.1.54
 (R/S) 2.1.1.2.1.55
 (R/S) 2.1.1.2.1.56
 (R/S) 2.1.1.2.1.57
 (R/S) 2.1.1.2.1.58
 (R/S) 2.1.1.2.1.59
 (R/S) 2.1.1.2.1.60
 (R/S) 2.1.1.2.1.61
 (R/S) 2.1.1.2.1.62
 (R/S) 2.1.1.2.1.63
 (R/S) 2.1.1.2.1.64
 (R/S) 2.1.1.2.1.65
 (R/S) 2.1.1.2.1.66
 (R/S) 2.1.1.2.1.67
 (R/S) 2.1.1.2.1.68
 (R/S) 2.1.1.2.1.69
 (R/S) 2.1.1.2.1.70
 (R/S) 2.1.1.2.1.71
 (R/S) 2.1.1.2.1.72
 (R/S) 2.1.1.2.1.73
 (R/S) 2.1.1.2.1.74
 (R/S) 2.1.1.2.1.75
 (R/S) 2.1.1.2.1.76
 (R/S) 2.1.1.2.1.77
 (R/S) 2.1.1.2.1.78
 (R/S) 2.1.1.2.1.79
 (R/S) 2.1.1.2.1.80
 (R/S) 2.1.1.2.1.81
 (R/S) 2.1.1.2.1.82
 (R/S) 2.1.1.2.1.83
 (R/S) 2.1.1.2.1.84
 (R/S) 2.1.1.2.1.85
 (R/S) 2.1.1.2.1.86
 (R/S) 2.1.1.2.1.87
 (R/S) 2.1.1.2.1.88
 (R/S) 2.1.1.2.1.89
 (R/S) 2.1.1.2.1.90
 (R/S) 2.1.1.2.1.91
 (R/S) 2.1.1.2.1.92
 (R/S) 2.1.1.2.1.93
 (R/S) 2.1.1.2.1.94
 (R/S) 2.1.1.2.1.95
 (R/S) 2.1.1.2.1.96
 (R/S) 2.1.1.2.1.97
 (R/S) 2.1.1.2.1.98
 (R/S) 2.1.1.2.1.99
 (R/S) 2.1.1.2.1.100

The undersigned has reviewed and takes responsibility for this design and construction and meets the requirements set out in the Ontario Building Code Act and Regulations. Required unless design is exempt under Div. C, Article 1.2.5.1 of the Building Code.

MAURO FORTINATO
 Signature
 15084
 REGISTRATION INFORMATION
 Reduced unless design is exempt under Div. C, Article 1.2.5.1 of the Building Code
 UNIQUE DESIGNS INC.
 Firm Name
 31090
 BDN

DO NOT SCALE DRAWINGS

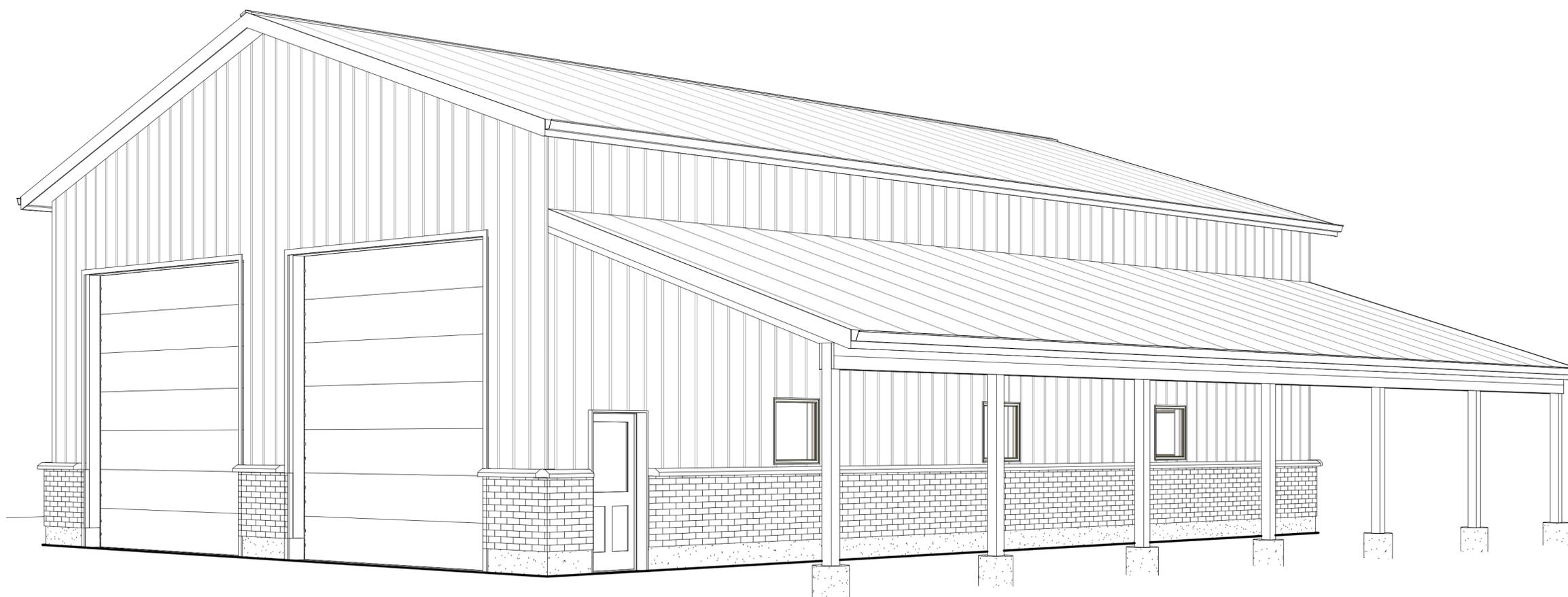
<p>CATERINI RESIDENCE</p> <p>381 MUD ST. HAMILTON, (ST. CRK) ONT.</p>		<p>UNIQUE DESIGNS INC.</p> <p>CUSTOM HOME</p> <p>ELEVATIONS</p>																												
<p>Drawn By: 02.17.20</p> <p>Date: 3/16/21=1-0"</p> <p>Scale: A1</p>	<p>Job Number: 013620</p>	<table border="1"> <thead> <tr> <th>No.</th> <th>DATE</th> <th>DESCRIPTION</th> </tr> </thead> <tbody> <tr> <td>1.</td> <td>02.20.20</td> <td>ISSUED FOR PERMIT</td> </tr> <tr> <td>2.</td> <td></td> <td></td> </tr> <tr> <td>3.</td> <td></td> <td></td> </tr> <tr> <td>4.</td> <td></td> <td></td> </tr> <tr> <td>5.</td> <td></td> <td></td> </tr> <tr> <td>6.</td> <td></td> <td></td> </tr> <tr> <td>7.</td> <td></td> <td></td> </tr> <tr> <td>8.</td> <td></td> <td></td> </tr> </tbody> </table>	No.	DATE	DESCRIPTION	1.	02.20.20	ISSUED FOR PERMIT	2.			3.			4.			5.			6.			7.			8.			<p>THESE DRAWINGS ARE NOT TO BE SCALED. CONTRACTOR MUST CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON THE PROJECT, AND MUST REPORT ANY DISCREPANCIES TO THE DESIGNER BEFORE PROCEEDING WITH THE WORK.</p> <p>THE USE OF THIS DRAWING OR PART THEREOF IS FORBIDDEN WITHOUT THE WRITTEN APPROVAL OF THE DESIGNER.</p>
No.	DATE	DESCRIPTION																												
1.	02.20.20	ISSUED FOR PERMIT																												
2.																														
3.																														
4.																														
5.																														
6.																														
7.																														
8.																														



1333 HIGHWAY #3
DUNNVILLE, ONTARIO
N1A 2W7
phone: (905) 774-4307
fax: (905) 774-1168

PAT CATERINI STORAGE BUILDING

381 MUD ST E.
STONEY CREEK, ON



THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

DESIGNER:
DEAN GLENNEY BCIN 23200
FIRM:
KLS ENGINEERING BCIN 29750

THE DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY OF THE ENGINEER TO BE USED ONLY FOR THE PROJECT FOR WHICH THEY WERE ISSUED.

COPYRIGHT 2017

LEAN-TO ADDED	2	JUNE 14/18	MD
ISSUED FOR PERMIT	1	AUG 28/17	BM
PRINTS	NO.	DATE	BY
ISSUED/REVISIONS			

PAT CATERINI
STORAGE BUILDING
381 MUD ST E.
STONEY CREEK, ON

DRAWING
TITLE

SCALE
C18-17-314

DRAWING FILE:
C:\Users\Brianna\Documents\Drawings\2017\KATERINI_PAT - STORAGE BUILDING - C18-17-314.dwg

DRAWN BY BRIANNA M	DRAWING NUMBER 51
DATE AUG 28/17	
SHEET 1 OF 5	

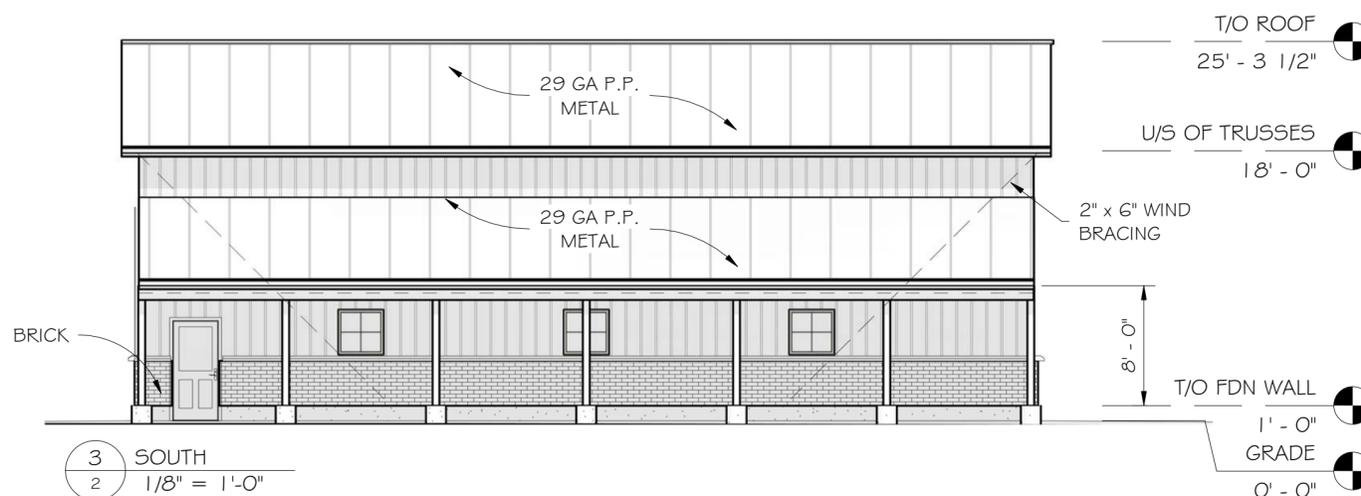
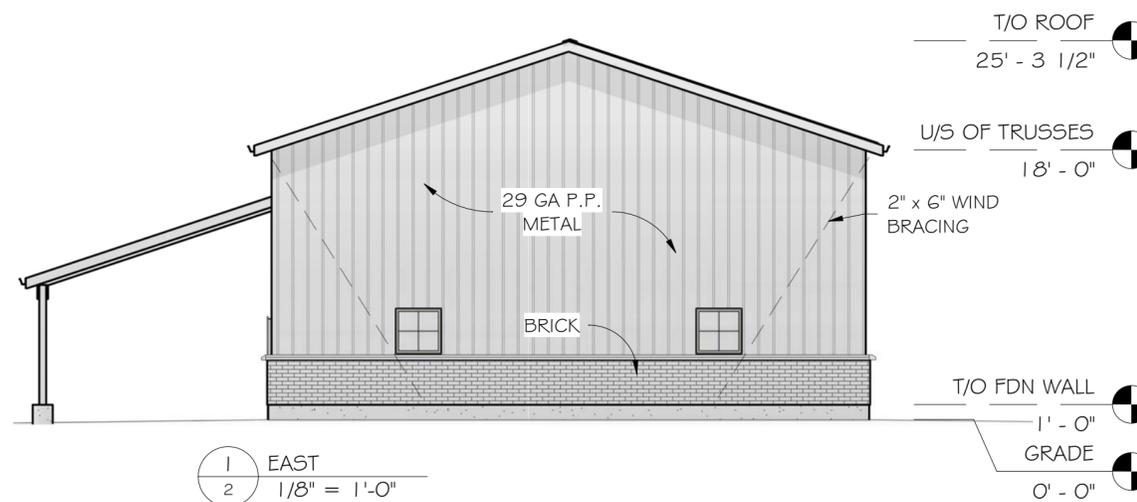
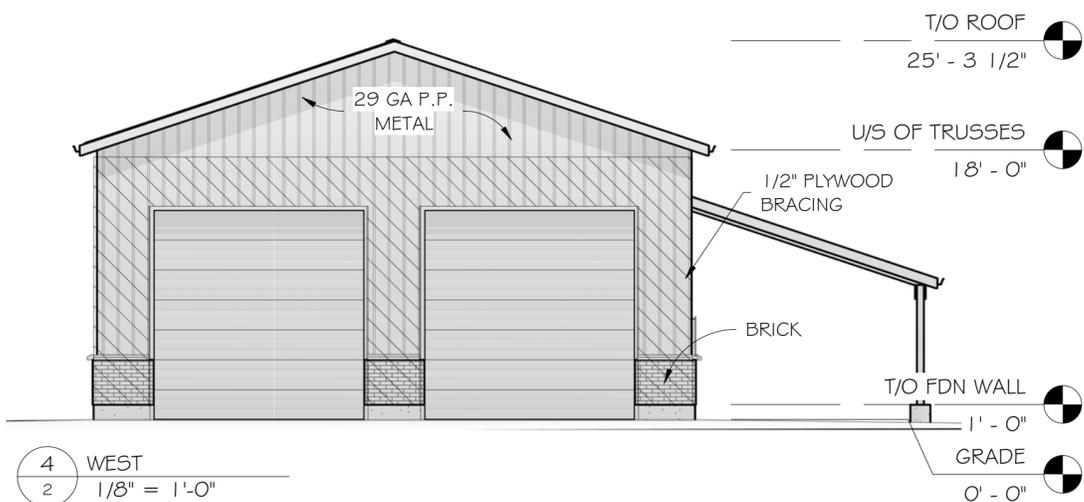
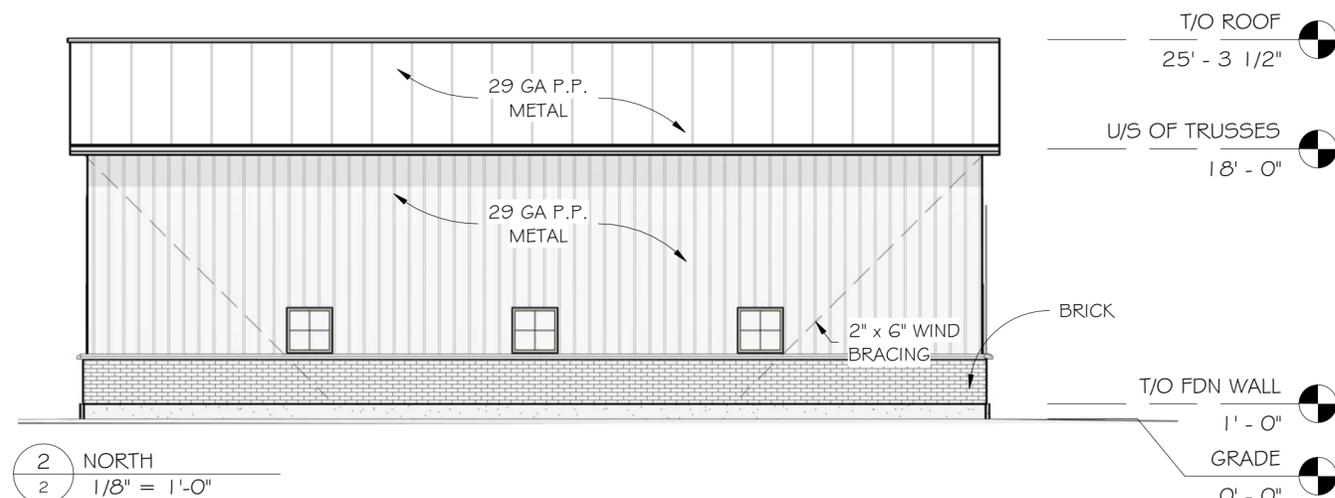
SHEET LIST	
SHEET NUMBER	SHEET NAME
1	TITLE
2	ELEVATIONS
3	FOUNDATION PLAN
4	FLOOR PLAN
5	SECTIONS & DETAILS

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

DESIGNER:
DEAN GLENNEY BCIN 23200
FIRM:
KLS ENGINEERING BCIN 29750

THE DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY OF THE ENGINEER TO BE USED ONLY FOR THE PROJECT FOR WHICH THEY WERE ISSUED.

COPYRIGHT 2017



LEAN-TO ADDED	2	JUNE 14/18	MD
ISSUED FOR PERMIT	1	AUG 28/17	BM
PRINTS	NO.	DATE	BY
ISSUED/REVISIONS			

PAT CATERINI
STORAGE BUILDING
381 MUD ST E.
STONE CREEK, ON

DRAWING
ELEVATIONS

SCALE 1/8" = 1'-0" C18-17-314

DRAWING FILE:
C:\Users\Brianna\Desktop\DRAWING FILES\Drawing\Drawing 301\PAT_CATERINI_PAT_STORAGE_BUILDING_C18-17-314-REV 2\DRAWING_PAT_STORAGE_BUILDING_C18-17-314-2.dwg

DRAWN BY
BRIANNA M
DATE
AUG 28/17
SHEET
2 OF 5

DRAWING NUMBER
52

KLS ENGINEERING LTD.

1333 HIGHWAY #3
DUNNVILLE, ONTARIO
N1A 2W7
phone: (905) 774-4307
fax: (905) 774-1168

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

DESIGNER:
DEAN GLENNEY BCIN 23200
FIRM:
KLS ENGINEERING BCIN 29750

THE DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY OF THE ENGINEER TO BE USED ONLY FOR THE PROJECT FOR WHICH THEY WERE ISSUED.

COPYRIGHT 2017

LEAN-TO ADDED	2	JUNE 14/18	MD
ISSUED FOR PERMIT	1	AUG 28/17	BM
PRINTS	NO.	DATE	BY
ISSUED/REVISIONS			

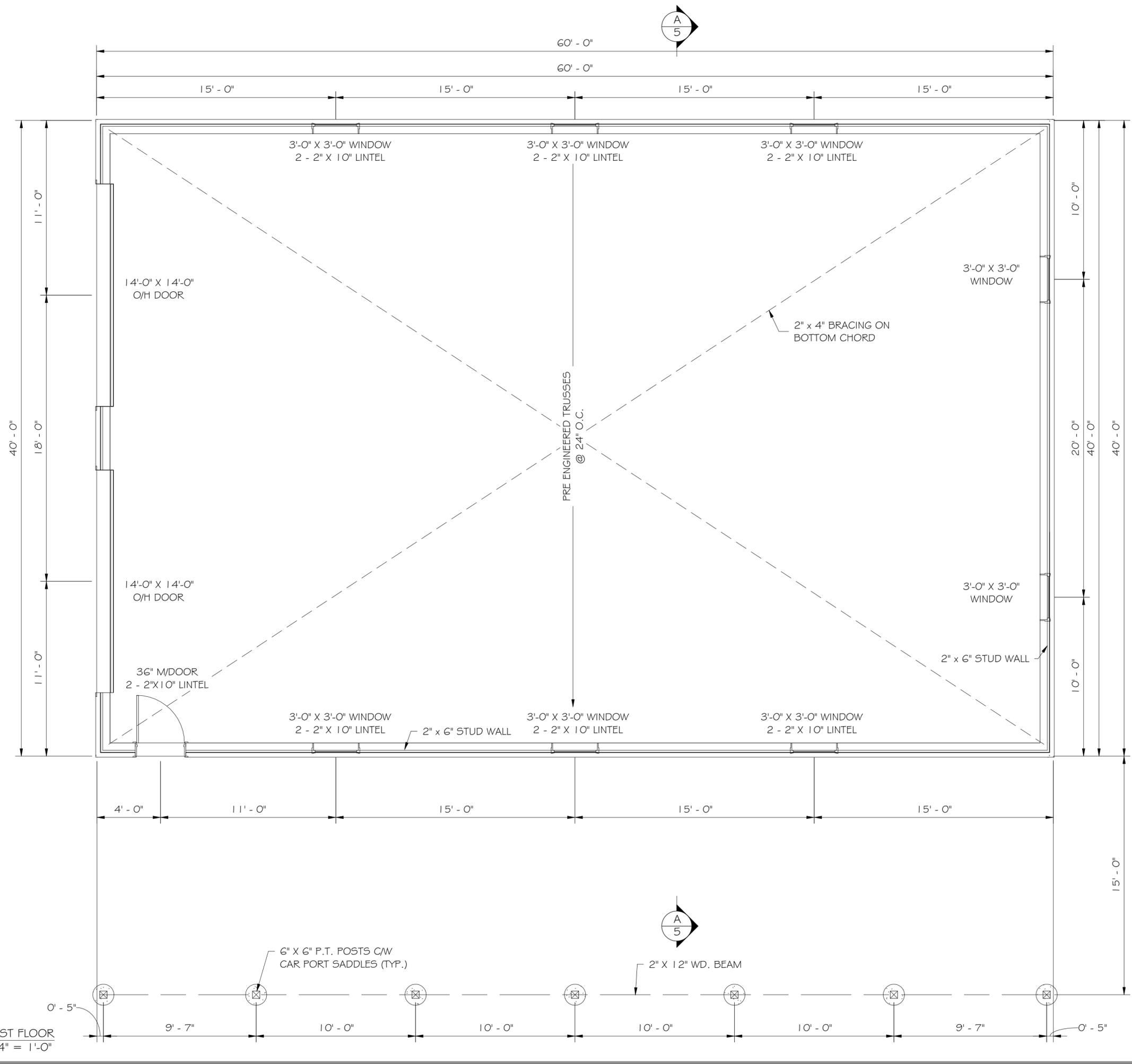
PAT CATERINI
STORAGE BUILDING
381 MUD ST E.
STONE CREEK, ON

DRAWING
FLOOR PLAN

SCALE 1/4" = 1'-0" C18-17-314

DRAWING FILE:
C:\Users\Brianna.M\Documents\DRAWING FILES\2017\2017-08-28\Drawing 301\10-CATERINI_PAT - STORAGE BUILDING - C18-17-314.dwg

DRAWN BY BRIANNA M	DRAWING NUMBER S4
DATE AUG 28/17	
SHEET 4 OF 5	



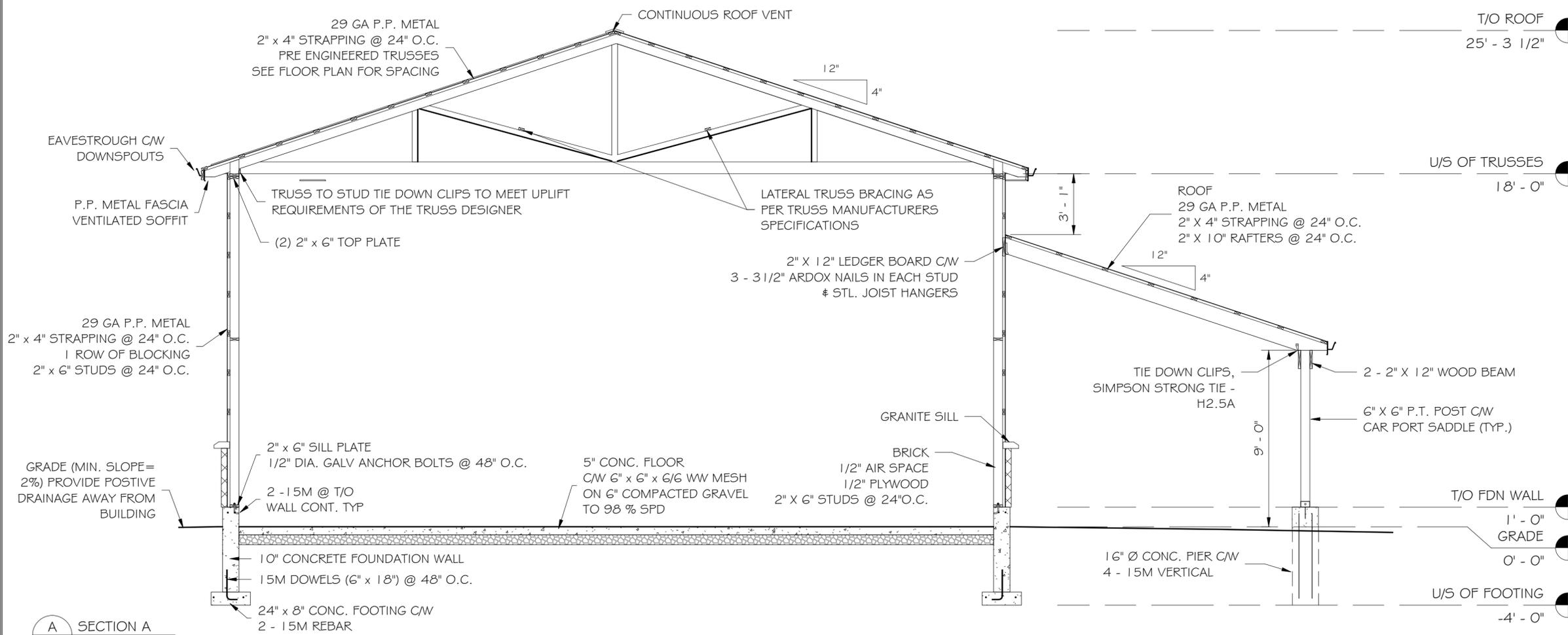
1 FIRST FLOOR
4 1/4" = 1'-0"

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

DESIGNER:
DEAN GLENNEY BCIN 23200
FIRM:
KLS ENGINEERING BCIN 29750

THE DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY OF THE ENGINEER TO BE USED ONLY FOR THE PROJECT FOR WHICH THEY WERE ISSUED.

COPYRIGHT 2017



A SECTION A
1/4" = 1'-0"

GENERAL NOTES:

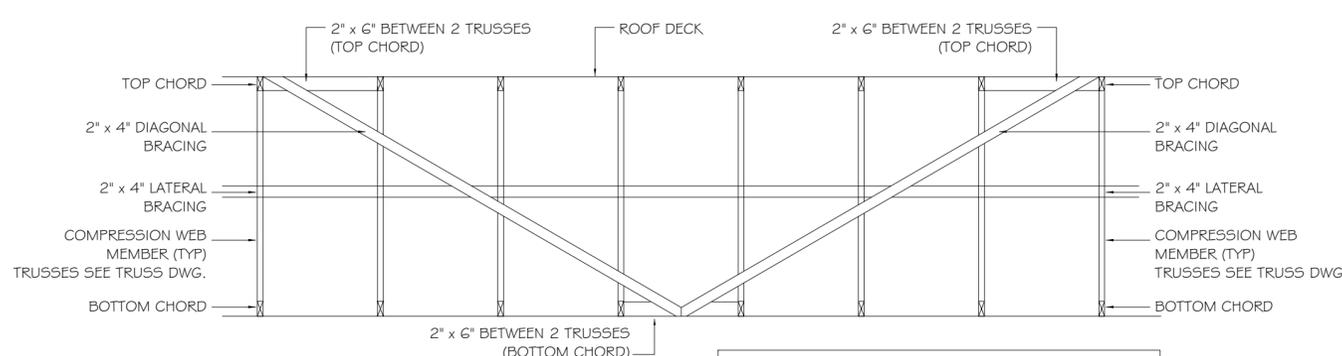
- DO NOT SCALE DRAWINGS.
- ALL DIMENSIONS TO BE VERIFIED BY CONTRACTOR
- ANY ERRORS / OMISSIONS TO BE REPORTED TO ENGINEER PRIOR TO CONSTRUCTION
- ALL WORK TO CONFORM TO O.B.C. 2012
- FIRE STOP IN CONCEALED ATTIC SPACE NOT TO EXCEED 98'-0" O.C.
- NOTIFY ENGINEER 48 HRS. IN ADVANCE FOR INSPECTION OF FOOTING EXCAVATION AND FRAMING.
- REMOVE ALL TOP-SOIL AND ORGANIC MATERIAL.
- ALL FOOTINGS TO BE ON UNDISTURBED SOIL AND MIN. OF 4'-0" BELOW LINE OF FINISHED GRADE
- SOIL BRG. CAPACITY TO SUSTAIN A MIN. 3000 P.S.F.

CONCRETE NOTES:

- ULTIMATE COMPRESSIVE STRENGTH @ 28 DAYS
- 32 MPA FOR SLAB ON GRADE
- 25 MPA FOR WALLS AND FOOTINGS
- SLUMP 3" +/- 1"
- MAX WATER CEMENT RATIO .45 (USE WATER REDUCING AGENT TO IMPROVE WORKABILITY NO WATER TO BE ADDED ON SITE) USE VIBRATORY EQUIPMENT TO ACHIEVE UNIFORM DENSITY
- AIR ENTRAINMENT 5% - 8%
- REINFORCING STEEL TO HAVE MIN. YIELD STRENGTH OF 400 MPA WITH MIN. 3" COVER
- MINIMUM SPLICE LENGTH (10M - 18") (15M - 24")

LUMBER NOTES:

- ALL LUMBER TO BE GRADE #2 OR BETTER
- LUMBER EXPOSED TO MOISTURE TO BE PRESSURE TREATED
- ALL FASTENERS IN CONTACT WITH PRESSURE TREATED MATERIAL TO BE COMPATIBLE WITH PRESSURE TREATED CHEMICALS
- ALL STEEL SIDING IN CONTACT WITH PRESSURE TREATED WOOD TO BE ISOLATED WITH A LAYER OF ICE & WATER SHIELD OR EQUAL.
- SUBMIT ENGINEERED TRUSS DRAWINGS
- TRUSS BRACING AND STRAPPING AS SPECIFIED BY ENGINEERED TRUSS DRAWING
- TRUSS TIE DOWN TO SUSTAIN UPLIFT SHOWN ON TRUSS DESIGN AND TO BE CONTINUOUS ON FOUNDATION WALL
- ALL LINTELS TO BE 2 - 2" x 10" UNLESS OTHERWISE SPECIFIED



1 VEE BRACING DETAIL
1/4" = 1'-0"

NOTE:
VEE BRACES @ 50'-0" O.C.
ON COMPRESSION MEMBERS WITH COMPRESSIVE LOADING OVER 1800 LB (SEE TRUSS DRAWING)
TRUSS BRACING IN ADDITION TO MANUFACTURERS SPECS

LEAN-TO ADDED	2	JUNE 14/18	MD
ISSUED FOR PERMIT	1	AUG 28/17	BM
PRINTS	NO.	DATE	BY
ISSUED/REVISIONS			

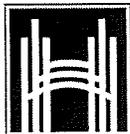
PAT CATERINI
STORAGE BUILDING
381 MUD ST E.
STONE CREEK, ON

DRAWING
SECTIONS & DETAILS

SCALE 1/4" = 1'-0" C18-17-314

DRAWING FILE:
C:\Users\Brianna\Desktop\DRAWING FILES\2018\17\314\18-17-314.dwg

DRAWN BY
BRIANNA M
DATE
AUG 28/17
SHEET
5 OF 5
DRAWING NUMBER
55



Hamilton

COMMITTEE OF ADJUSTMENT

City Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5
 Telephone (905) 546-2424, ext. 4221, 3935 Fax (905) 546-4202
 E-mail: cofa@hamilton.ca

NOTICE OF PUBLIC HEARING
Minor Variance

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
- Applicant/agent on file, or
- Person likely to be interested in this application

APPLICATION NO.: HM/A-20:115

APPLICANTS: Owner: Karen Schmidt
Agent: Jenny Bognar

SUBJECT PROPERTY: Municipal address **210 Bond St. N., Hamilton**

ZONING BY-LAW: Zoning By-law 6593, as Amended by By-law 96-125 and 19-307

ZONING: C/S-1364 and C/S-1788 (Urban Protected Residential, etc.)district

PROPOSAL: To permit the reconstruction of the existing "three seasons room" at the rear of the existing single family dwelling, notwithstanding,

1. A floor area ratio of 0.67 shall be applied, permitting a maximum gross floor area of 216.90 square metres, instead of applying the maximum permitted floor area ratio of 0.45 which permits a maximum gross floor area of 145.68 square metres; and,
2. Two (2) parking spaces shall be provided instead of providing a minimum of three (3) parking spaces which are required to be provided for a single family dwelling containing nine (9) habitable rooms.

NOTES:

1. A lot area of 323.74 square metres (0.08 acres), obtained from GISNet, has been used to calculate the proposed floor area ratio.
2. By-law 96-125 allows for the floor occupied by heating and laundry equipment to be deducted from the total gross floor area of the dwelling for the purpose of determining the maximum permitted gross floor area. Details regarding the total area deducted for the area occupied by heating and air conditioning equipment and laundry facilities have not been provided. Pursuant to Zoning Policy ZON-006, a maximum of 15.8 square metres may be deducted for the area occupied by heating and air conditioning equipment and laundry facilities. A further variance will be required if the total area deducted for heating and air conditioning equipment and laundry facilities exceeds 15.8 square metres.
3. A further variance will be required if any portion of the dwelling provides a ceiling height in excess of 4.6 metres.
4. A further variance will be required if the eave and gutter for the proposed addition encroaches greater than 0.45 metres into the required northerly side yard.

HM/A-20:115
Page 2

5. Minor variance application HM/A-19:153 was previously approved to facilitate the proposed reconstruction of the existing sunroom.

This application will be heard by the Committee as shown below:

DATE: Thursday, August 6th, 2020
TIME: 1:50 p.m.
PLACE: Via video link or call in (see attached sheet for details)
To be streamed at www.hamilton.ca/committeeofadjustment for viewing purposes only

PUBLIC INPUT

Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

Orally: If you would like to speak to this item at the hearing you may do so via video link or by calling in. Please see attached page for complete instructions, including deadlines for registering to participate.

MORE INFORMATION

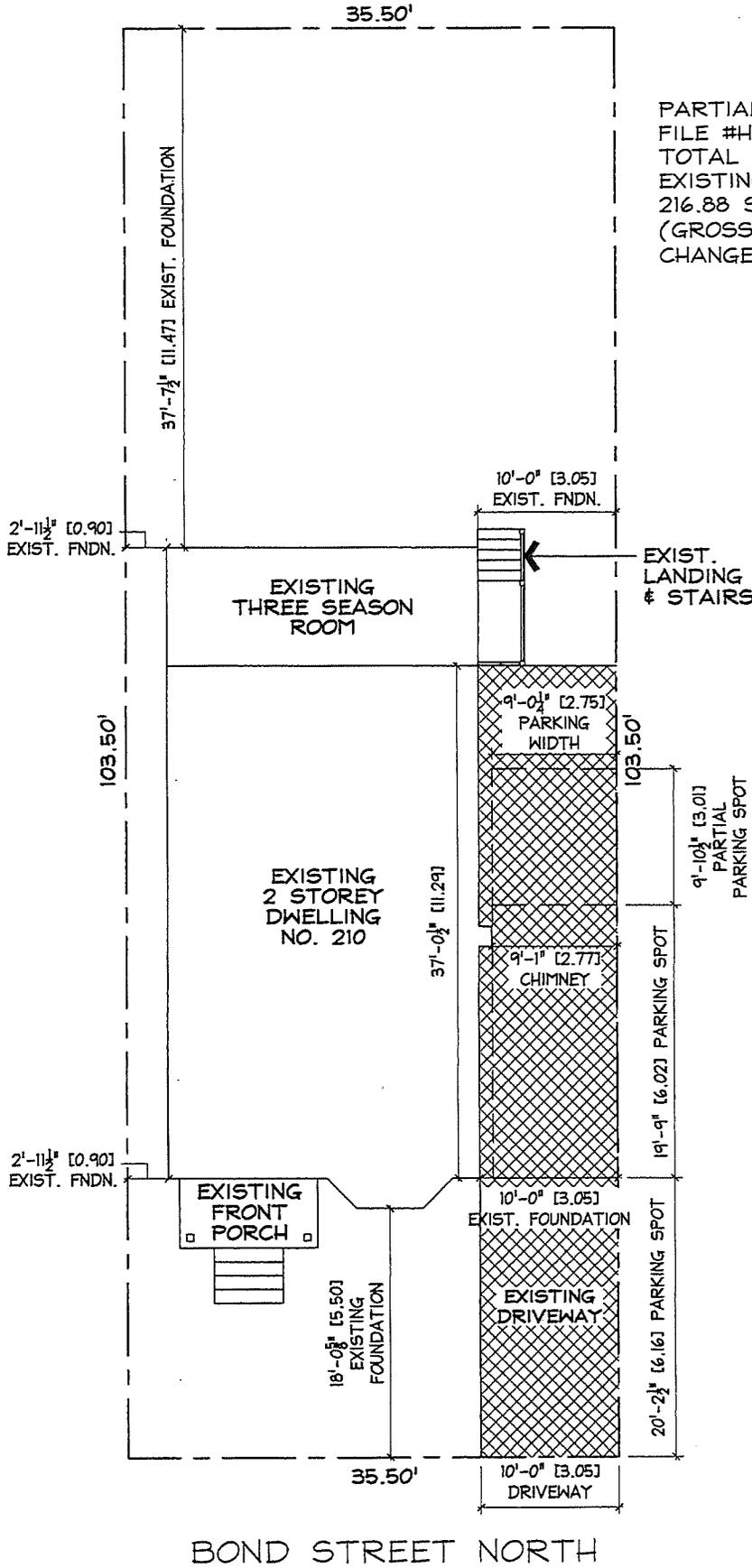
For more information on this matter, including access to drawings illustrating this request:

- Visit www.hamilton.ca/committeeofadjustment
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935
- Email Committee of Adjustment staff at cofa@hamilton.ca

DATED: July 21st, 2020

Jamila Sheffield,
Secretary-Treasurer
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public.



PARTIAL VARIANCES RECEIVED:
 FILE #HM/A-19:153
 TOTAL LOT AREA: 341.35 SQ. M.
 EXISTING GROSS FLOOR AREA:
 216.88 SQ. M. = 64%
 (GROSS FLOOR AREA NOT TO CHANGE)

THE SCHMIDT RESIDENCE
 210 BOND STREET NORTH
 HAMILTON, ON
 L8S 3W9

drafting + design
 ■ 193 East 43rd Street ■
 ■ Hamilton, ON ■ L8T 3C3 ■
 ■ jbdraftinganddesign@live.ca ■
 ■ 905.517.6027 ■

05.22.20 *Judy Bogar* signature required
 Jennifer Bogar reviews and takes responsibility for the design work described in this document firm bcin 103416 ■ individual bcin 33001

DATE	ISSUE DESCRIPTION
05.22.20	ISSUE FOR C. DEK.

ALL DIMENSIONS AND INFORMATION SHOWN ON THESE DRAWINGS MUST BE CHECKED AND VERIFIED IN THE FIELD AND ANY DISCREPANCIES REPORTED TO THE DESIGNER PRIOR TO CONSTRUCTION AND VERIFICATION OF ITS COMPONENTS. UNLESS LASTING CONDITIONS OR SERVICES ARE FOUND TO HAVE BEEN MET AS REQUIRED BY THE DRAWINGS, THE DESIGNER(S) OR ARCHITECT(S) SHALL BE RESPONSIBLE FOR THE DESIGNER'S AND ARCHITECT'S RESPONSIBILITY FOR ANY CHANGES MADE BY THE CONTRACTOR WITHOUT THE DESIGNER'S KNOWLEDGE AND PERMISSION.

FEATURES OF CONSTRUCTION NOT FULLY SHOWN ARE ASSUMED TO BE THE SAME CHARACTER AS THOSE NOTED FOR SIMILAR CONSTRUCTION.

UNLESS SPECIFICALLY NOTED OTHERWISE BY THE DRAWINGS, NO PROVISION HAS BEEN MADE IN THE DESIGN FOR EROSION OCCURRING DURING CONSTRUCTION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE ALL NECESSARY EROSION CONTROL SHEET PILING OR OTHER EROSION CONTROL MEASURES TO SAFEGUARD ALL EXISTING OR ADJACENT STRUCTURES AFFECTED BY THE WORK.

ALL DRAWINGS AND RELATED DOCUMENTS SHALL REMAIN THE PROPERTY AND COPYRIGHT OF J.B. DRAFTING AND DESIGN. USE LIMITED TO THE ORIGINAL DRAWING. DO NOT SCALE DRAWINGS.

SITE PLAN
 1:150

SHEET **A1** OF 4

RECEIVED
JUN 10 2020



Hamilton

Planning and Economic Development Department
Planning Division

Committee of Adjustment
City Hall
5th floor 71 Main Street West
Hamilton, Ontario L8P 4Y5

20-171431

Phone (905) 546-2424 ext.4221
Fax (905) 546-4202

**PLEASE FILL OUT THE FOLLOWING PAGES AND
RETURN TO THE CITY OF HAMILTON PLANNING
DEPARTMENT.**

FOR OFFICE USE ONLY.	
APPLICATION NO. <u>Hm/A-20:115</u>	DATE APPLICATION RECEIVED <u>June 10/20</u>
PAID _____	DATE APPLICATION DEEMED COMPLETE _____
SECRETARY'S SIGNATURE _____	

**CITY OF HAMILTON
COMMITTEE OF ADJUSTMENT
HAMILTON, ONTARIO**

The Planning Act

Application for Minor Variance or for Permission

The undersigned hereby applies to the Committee of Adjustment for the City of Hamilton under Section 45 of the *Planning Act*, R.S.O. 1990, Chapter P.13 for relief, as described in this application, from the Zoning By-law.

- Name of Owner Karen Schmidt Telephone No.
-
- Name of Agent Jenny Bognar Telephone No.
-

Note: Unless otherwise requested all communications will be sent to the agent, if any.

- Names and addresses of any mortgagees, holders of charges or other encumbrances:
First National 100 University Ave.
Suite 1200, North Tower Postal Code M5S 1V6
Toronto, Ontario
Postal Code _____

6. Nature and extent of relief applied for:

Gross Floor Area of 63.54% instead of the maximum 45%

7. Why it is not possible to comply with the provisions of the By-law?

This application is to make the existing dwelling gross floor area, legal.

No changes to the dwelling are proposed.

ALSO SEE ATTACHED

8. Legal description of subject lands (registered plan number and lot number or other legal description and where applicable, street and street number):

210 Bond Street North

9. PREVIOUS USE OF PROPERTY

Residential Industrial Commercial

Agricultural Vacant

Other _____

9.1 If Industrial or Commercial, specify use

9.2 Has the grading of the subject land been changed by adding earth or other material, i.e. has filling occurred?

Yes No Unknown

9.3 Has a gas station been located on the subject land or adjacent lands at any time?

Yes No Unknown

9.4 Has there been petroleum or other fuel stored on the subject land or adjacent lands?

Yes No Unknown

9.5 Are there or have there ever been underground storage tanks or buried waste on the subject land or adjacent lands?

Yes No Unknown

9.6 Have the lands or adjacent lands ever been used as an agricultural operation where cyanide products may have been used as pesticides and/or sewage sludge was applied to the lands?

Yes No Unknown

9.7 Have the lands or adjacent lands ever been used as a weapon firing range?

Yes No Unknown

9.8 Is the nearest boundary line of the application within 500 metres (1,640 feet) of the fill area of an operational/non-operational landfill or dump?

Yes No Unknown

9.9 If there are existing or previously existing buildings, are there any building materials remaining on site which are potentially hazardous to public health (eg. asbestos, PCB's)?

Yes No Unknown

9.10 Is there any reason to believe the subject land may have been contaminated by former uses on the site or adjacent sites?

Yes No Unknown

9.11 What information did you use to determine the answers to 9.1 to 9.10 above?

Historical knowlege of area.

9.12 If previous use of property is industrial or commercial or if YES to any of 9.2 to 9.10, a previous use inventory showing all former uses of the subject land, or if appropriate, the land adjacent to the subject land, is needed.

Is the previous use inventory attached? Yes No

ACKNOWLEDGEMENT CLAUSE

I acknowledge that the City of Hamilton is not responsible for the identification and remediation of contamination on the property which is the subject of this Application – by reason of its approval to this Application.

May 8, 2020
 Date



Signature Property Owner

Karen Schmidt
 Print Name of Owner

10. Dimensions of lands affected:

Frontage 10.82 m.
 Depth 31.55 m.
 Area 341.35 sq. m.
 Width of street _____

11. Particulars of all buildings and structures on or proposed for the subject lands: (Specify ground floor area, gross floor area, number of stories, width, length, height, etc.)

Existing: 1-1/2 stories, 6.87 m. wide x 14.58 m. length, 6.77 m. height
Ground Floor Area = 97.03 sq. m. Gross Floor Area = 216.88 sq. m.

Proposed: All to remain as is.

12. Location of all buildings and structures on or proposed for the subject lands; (Specify distance from side, rear and front lot lines)

Existing: 3.05 m. right yard setback, 0.90 m. left yard setback, 5.50 m. front yard setback,
11.47 m. rear yard setback

Proposed: All to remain as is.

13. Date of acquisition of subject lands:

April 30, 2008

14. Date of construction of all buildings and structures on subject lands:

Approx. 1946

15. Existing uses of the subject property: Single family residential

16. Existing uses of abutting properties: Residential

17. Length of time the existing uses of the subject property have continued:

Always

18. Municipal services available: (check the appropriate space or spaces)

Water x Connected x
 Sanitary Sewer x Connected x
 Storm Sewers x

19. Present Official Plan/Secondary Plan provisions applying to the land:

20. Present Restricted Area By-law (Zoning By-law) provisions applying to the land:

C/S-1788, C/S-1364

21. Has the owner previously applied for relief in respect of the subject property?

 x Yes No

If the answer is yes, describe briefly.

Received variances for side yard setback to existing 3 season room.

22. Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?

 Yes x No

23. The applicant shall attach to each copy of this application a plan showing the dimensions of the subject lands and of all abutting lands and showing the location, size and type of all buildings and structures on the subject and abutting lands, and where required by the Committee of Adjustment such plan shall be signed by an Ontario Land Surveyor.

NOTE: It is required that two copies of this application be filed with the secretary-treasurer of the Committee of Adjustment together with the maps

May 22, 2020

Supporting Document for Minor Variance Submission – 210 Bond Street North

To whom it may concern,

For this project we are submitting for a minor variance for an existing gross floor area of 64%.

This gross floor area, as well as the existing layouts and rooms in the house have been this way since the home owner purchased the dwelling in 2008.

Our hope it to reconstruct the existing three season room at the rear, in the exact same spot and the exact same size, on the existing foundation. This sunroom was originally built in 2000 and is currently causing water problems because of the skylights.

In May of 2019 we received an approved variance for the existing north side yard setback.

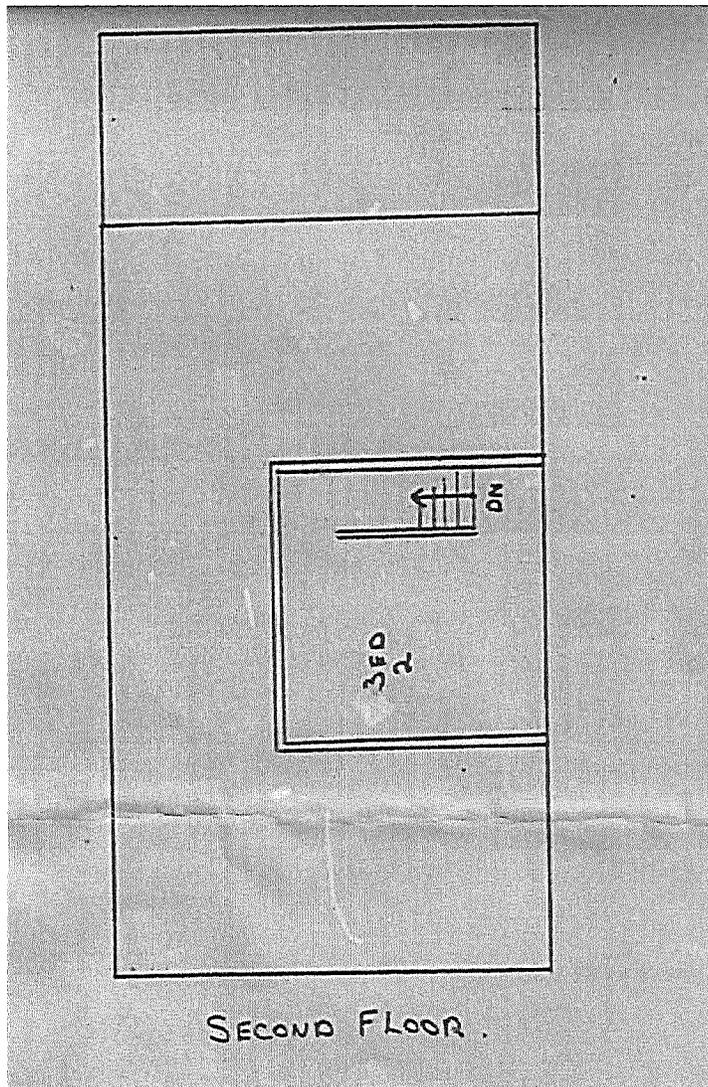
In the “Notes” section of the comments for this meeting, the city provided the following statement:

“The zoning By-law permits a maximum gross floor area ratio of 45.0% for the subject lands. Our records indicate that the existing gross floor area ratio for this property is 43.27% which also includes the subject existing sunroom. Please note, if the proposed alterations result in a gross floor area ratio greater than 45.0% further variances will be required.”

As our proposal of rebuilding the three-season room would not result in a larger gross floor area than the existing, no further investigation was taken out (measuring of the existing second floor). We had not provided a second floor layout with the application. We trusted that the city’s records were accurate.

However, they were not. A records request to obtain the existing drawings indicated that the former owner was not truthful about the state of the existing second floor area. They provided a second floor plan showing just one small room (see scan on following page), when in actuality there are two full rooms up there along with a washroom. A quick google street view (shown below) shows that their plan was not accurate and that there has always been a front window on the second floor (street view can be found as far back as 2007) (a few of the shots can be even seen with an air conditioner in it), which would indicate a room in the front of the dwelling.





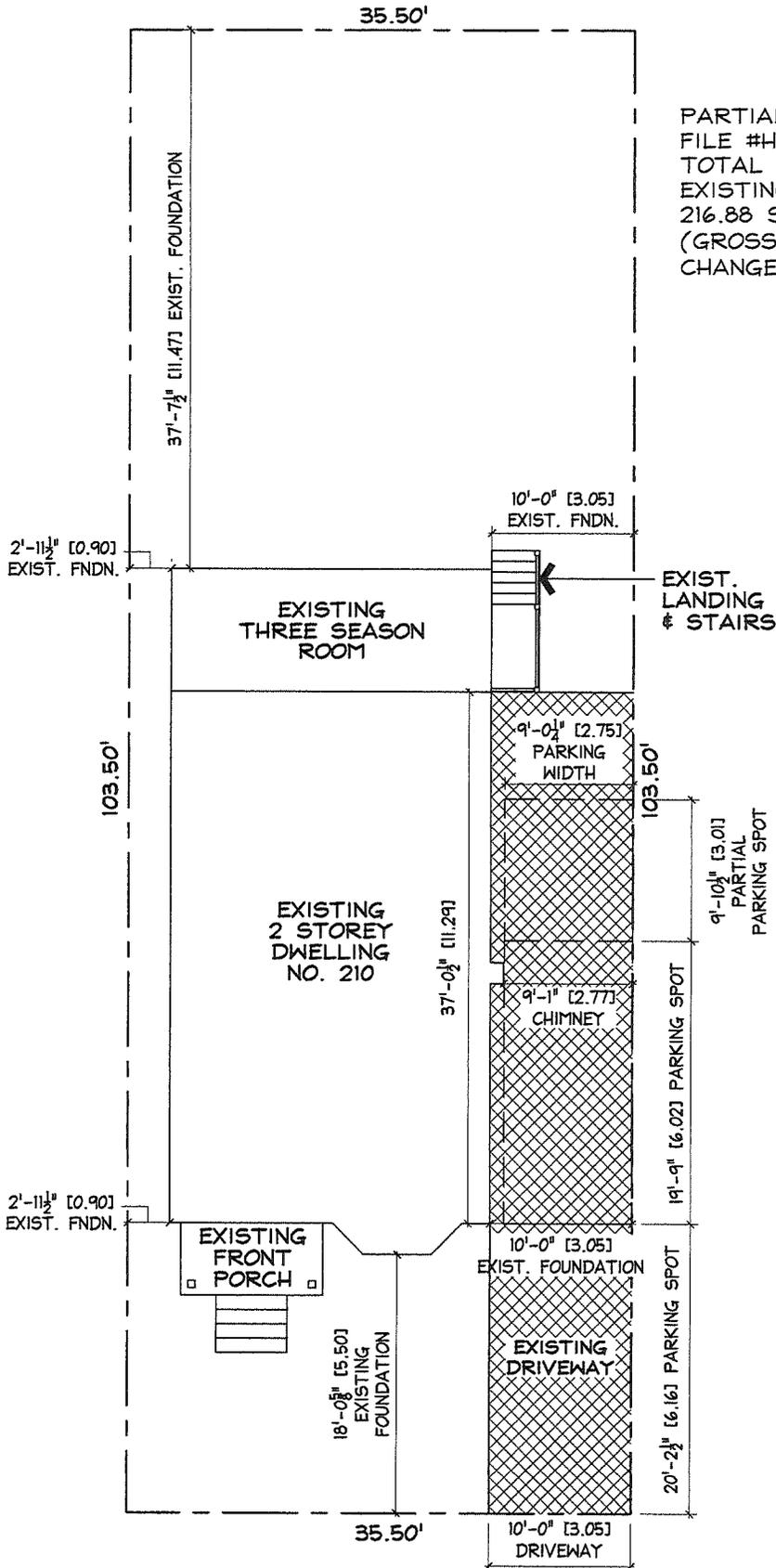
We are frustrated with the former owner's lack of honesty in this matter and feel it is important to note that the dwelling is the exact same as when the current home owner had purchased it.

It is also important to note that we would have been happy to add this variance to the first application in 2019, had the comment not stated what the city's records shown.

If they had not stated what the records were, and rather just the regulation was, then we would have done our due diligence and provided a correct drawing for the second floor, and added this variance to the first application.

If you're able to please take all this into consideration when reviewing this file, that would be greatly appreciated.

Thanks,
Jenny Bognar



PARTIAL VARIANCES RECEIVED:
 FILE #HM/A-19:153
 TOTAL LOT AREA: 341.35 SQ. M.
 EXISTING GROSS FLOOR AREA:
 216.88 SQ. M. = 64%
 (GROSS FLOOR AREA NOT TO CHANGE)

THE SCHMIDT RESIDENCE
 210 BOND STREET NORTH
 HAMILTON, ON
 L8S 3W9

drafting + design
 ■ 193 East 43rd Street ■
 ■ Hamilton, ON ■ L8T 3C3 ■
 ■ jbdraftinganddesign@live.ca ■
 ■ 905.517.6027 ■

05.22.20 *Jay Bogar* signature required
 Jennifer Bogar reviews and takes responsibility for the design work described in this document
 firm bcfn 103416 ■ individual bcfn 33001

DATE	ISSUE DESCRIPTION
05.22.20	ISSUED FOR C.A.

ALL DIMENSIONS AND INFORMATION SHOWN ON THESE DRAWINGS MUST BE CHECKED AND VERIFIED ON SITE AND ANY DISCREPANCIES REPORTED TO THE DESIGNER PRIOR TO CONSTRUCTION AND FABRICATION OF ITS COMPONENTS. SHOULD CIRCUMSTANCES BE FOUND TO VARY FROM THAT INDICATED ON THE DRAWINGS, THE DESIGNER MUST BE NOTIFIED IMMEDIATELY. THE DESIGNER IS NOT LIABLE FOR ANY CHANGES MADE BY THE CONTRACTOR WITHOUT THE DESIGNER'S KNOWLEDGE AND PERMISSION.

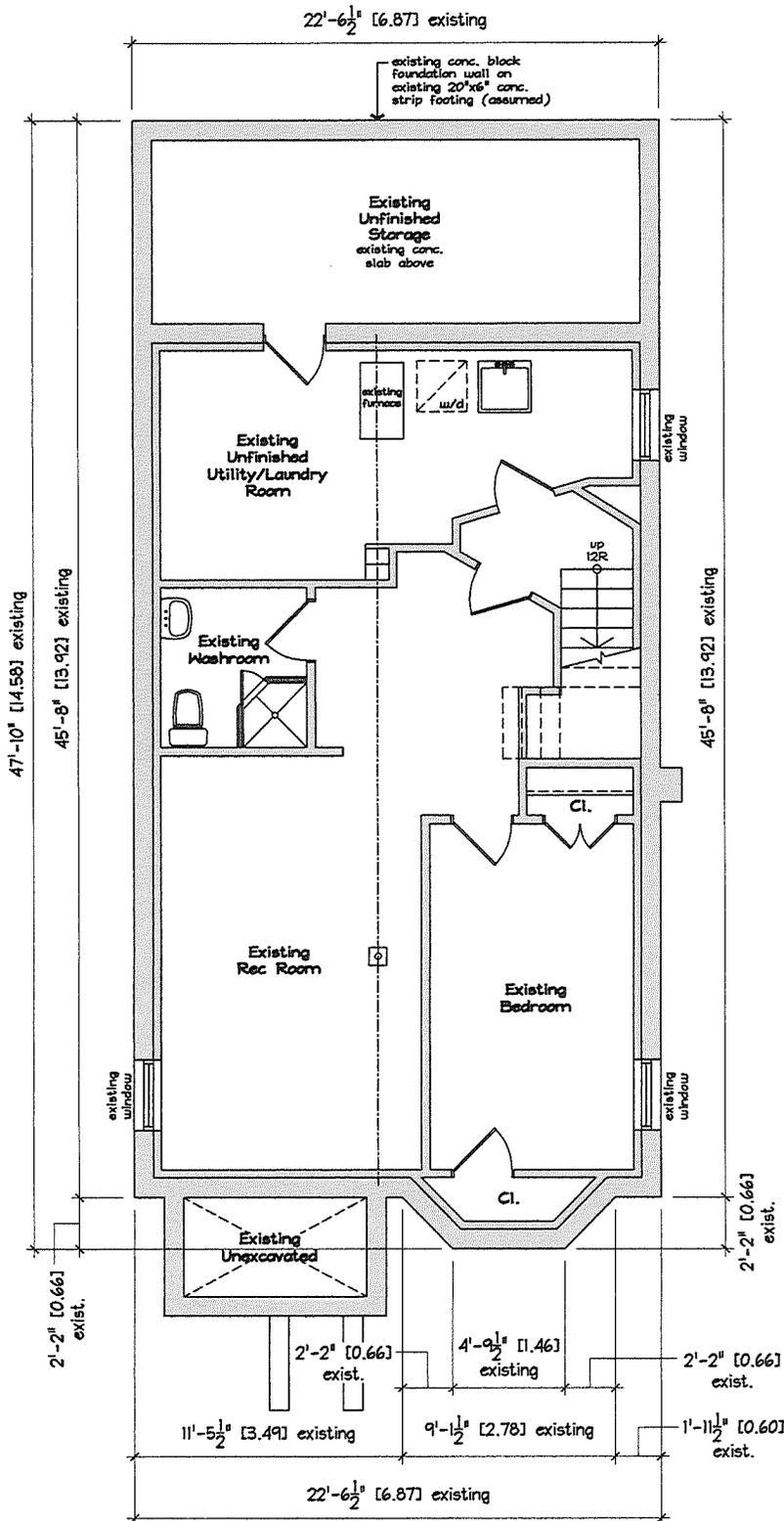
FEATURES OF CONSTRUCTION NOT FULLY SHOWN ARE ASSUMED TO BE THE SAME CHARACTER AS THOSE NOTED FOR SIMILAR CONDITIONS.

DESIGNER SPECIFICALLY NOTED DISCREPANCIES ON THE DRAWINGS AND PROVISION HAS BEEN MADE IN THE RECORD FOR CORRECTIONS OCCURRING DURING CONSTRUCTION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE ALL NECESSARY BRACING, SHORING, SHEET PILING OR OTHER TEMPORARY SUPPORTS TO SAFEGUARD ALL EXISTING OR ADJACENT STRUCTURES AFFECTED BY THIS WORK.

ALL DRAWINGS AND RELATED DOCUMENTS SHALL REMAIN THE PROPERTY AND COPYRIGHT OF JD DRAFTING AND DESIGN. USE LATEST REVISED DRAWINGS. DO NOT SCALE DRAWINGS.

SITE PLAN
 1:150

SHEET
A1
 OF 4



Basement Floor Area: 79.95 sq. m.
(not including Laundry/Utility Room)

THE SCHMIDT RESIDENCE
210 BOND STREET NORTH
HAMILTON, ON
L8S 3W9

drafting + design

193 East 43rd Street
Hamilton, ON L8T 3C3
jbdraftinganddesign@live.ca
905.517.6027

05.22.20 *Jay Bogar* signature required
Jennifer Bogar reviews and takes responsibility for the design work described in this document
firm bcin 103416 ■ individual bcin 33001

DATE	ISSUE DESCRIPTION
05.22.20	ISSUED FOR I.D.F.A.

ALL DIMENSIONS AND INFORMATION SHOWN ON THESE DRAWINGS MUST BE CHECKED AND VERIFIED ON SITE AND ANY DISCREPANCIES REPORTED TO THE ENGINEER PRIOR TO CONSTRUCTION AND FABRICATION OF ITS COMPONENTS. SHOULD SUCH DISCREPANCIES OR SERVICES BE FOUND TO VARY FROM THAT INDICATED ON THE DRAWINGS, THE ENGINEER MUST BE NOTIFIED IMMEDIATELY. THE ENGINEER IS NOT LIABLE FOR ANY CHANGES MADE BY THE CONTRACTOR WITHOUT THE ENGINEER'S KNOWLEDGE AND PERMISSION.

FEELINGS OF CONSTRUCTION NOT FULLY SHOWN ARE ASSUMED TO BE THE SAME CHARACTER AS THOSE NOTED FOR SIMILAR CONDITIONS.

UNLESS SPECIFICALLY NOTED OTHERWISE ON THE DRAWINGS, NO PROVISION HAS BEEN MADE IN THE DESIGN FOR SHORING OR BRACING DURING CONSTRUCTION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE ALL NECESSARY BRACING, SHORING, SCAFFOLD, PILING OR OTHER TEMPORARY SUPPORTS, TO MAINTAIN ALL EXISTING OR ADJACENT STRUCTURES AFFECTED BY THIS WORK.

ALL DRAWINGS AND RELATED DOCUMENTS SHALL REMAIN THE PROPERTY AND COPYRIGHT OF J.D. DRAFTING AND DESIGN LLC. LATEST REVISIONS ONLY. DO NOT SCALE DRAWINGS.

EXISTING
BASEMENT PLAN
1/8" = 1'-0"

SHEET
A2
OF 4



Hamilton

COMMITTEE OF ADJUSTMENT

City Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5
 Telephone (905) 546-2424, ext. 4221, 3935 Fax (905) 546-4202
 E-mail: cofa@hamilton.ca

NOTICE OF PUBLIC HEARING
Minor Variance

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
- Applicant/agent on file, or
- Person likely to be interested in this application

APPLICATION NO.: HM/A-20:122

APPLICANTS: Owner: Dan & Susan Corcorant
 Agent: SMPL Design Studio c/o Lindsey Bruce

SUBJECT PROPERTY: Municipal address **69 Melburne St., Hamilton**

ZONING BY-LAW: Zoning By-law 6593, as Amended

ZONING: D/S-1787 (Urban Protected Residential - One and Two Family Dwellings, Etc.) district

PROPOSAL: To permit the construction of a two (2) storey single family dwelling and accessory structure (garage), to replace an existing one (1) storey single family dwelling, notwithstanding:

1. The minimum front yard shall be 4.12 metres instead of the required minimum 6.0 metres.
2. A minimum easterly side yard width of 0.91 metres shall be permitted, instead of a minimum required easterly side yard width of ten percent of the width of the lot (1.16 metres), but no less than 0.9 metres.
3. An accessory building shall be 8.0 metres in height, instead of the requirement that no accessory building shall exceed 4.0 metres in height.

This application will be heard by the Committee as shown below:

DATE: Thursday, August 6th, 2020
TIME: 1:55 p.m.
PLACE: Via video link or call in (see attached sheet for details)
To be streamed at www.hamilton.ca/committeeofadjustment for viewing purposes only

PUBLIC INPUT

Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

Orally: If you would like to speak to this item at the hearing you may do so via video link or by calling in. Please see attached page for complete instructions, including deadlines for registering to participate.

HM/A-20:122
Page 2

MORE INFORMATION

For more information on this matter, including access to drawings illustrating this request:

- Visit www.hamilton.ca/committeeofadjustment
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935
- Email Committee of Adjustment staff at cofa@hamilton.ca

DATED: July 21st, 2020

Jamila Sheffield,
Secretary-Treasurer
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public.

DO NOT SCALE DRAWINGS

Note:
 1) Contractor to check all dimensions, specifications, ect on site and shall be responsible for reporting any discrepancy to the engineer and/ or designer.
 2) These plans are to remain and the property of the designer and must be returned upon request. These plans must not be used in any other location without the written approval of the designer.
 3) All works to be in accordance with the Ontario Building Code.

smp | u DESIGN STUDIO
 sustainable . modern . practical . livable

Architectural Design Services

www.smpdesignstudio.com

Drawing Submissions:

Date:	Type:
July 13, 2020	Minor Variance

69 Melbourne St.
 Hamilton, Ontario

Reviewed By: JT
 Drawn By: HD
 Plot Date:

Page
SP1.01

Site Plan

LOT STATISTICS

69 Melbourne Street, Hamilton, Ontario

Zoning Designation - D
 Lot Area: Minimum 360.00m²; Actual 534.56m²
 Lot Frontage: Minimum 12.00m; Actual 11.58m (EXISTING)

PROPOSED DWELLING:
 Front Yard: Required 6.00m; Proposed 4.12m (VARIANCE)
 Rear Yard: Required 7.50m; Proposed 25.99m (OK)
 West Side Yard: Required 1.20m; Proposed 1.25m (OK)
 East Side Yard: Required 1.20m; Proposed 0.91m (VARIANCE)

Number of Habitable Rooms; 8
 Parking Spaces; Required 2; Proposed 3 (OK)
 Landscaped Area in Front Yard; Required 50%(23.87 m²); Proposed 58.7%(28.05 m²) (OK)

PROPOSED GARAGE:
 Rear Yard: Required 0.45m; Proposed 2.44m (OK)
 Distance From Dwelling: Required 7.50m; Proposed 16.34m (OK)
 West Side Yard: Required 0.45m; Proposed 2.22m (OK)
 East Side Yard: Required 0.45m; Proposed 1.20m (OK)
 Height: Allowed 4.0m; Proposed 8.0m (VARIANCE)
 Lot Coverage (4.1e): Allowed (50% of rear yard [301.00m²]) 150.50m²; Proposed (19.48%) 58.63m² (OK)
 Lot Coverage (4.1v): Allowed (30% within the required rear yard & side yard [173.18m²]) 51.95m²; Proposed (23.75%) 41.14m² (OK)

NOTE:
 ALL DIMENSIONS SHOWN IN MILLIMETERS UNLESS NOTED OTHERWISE

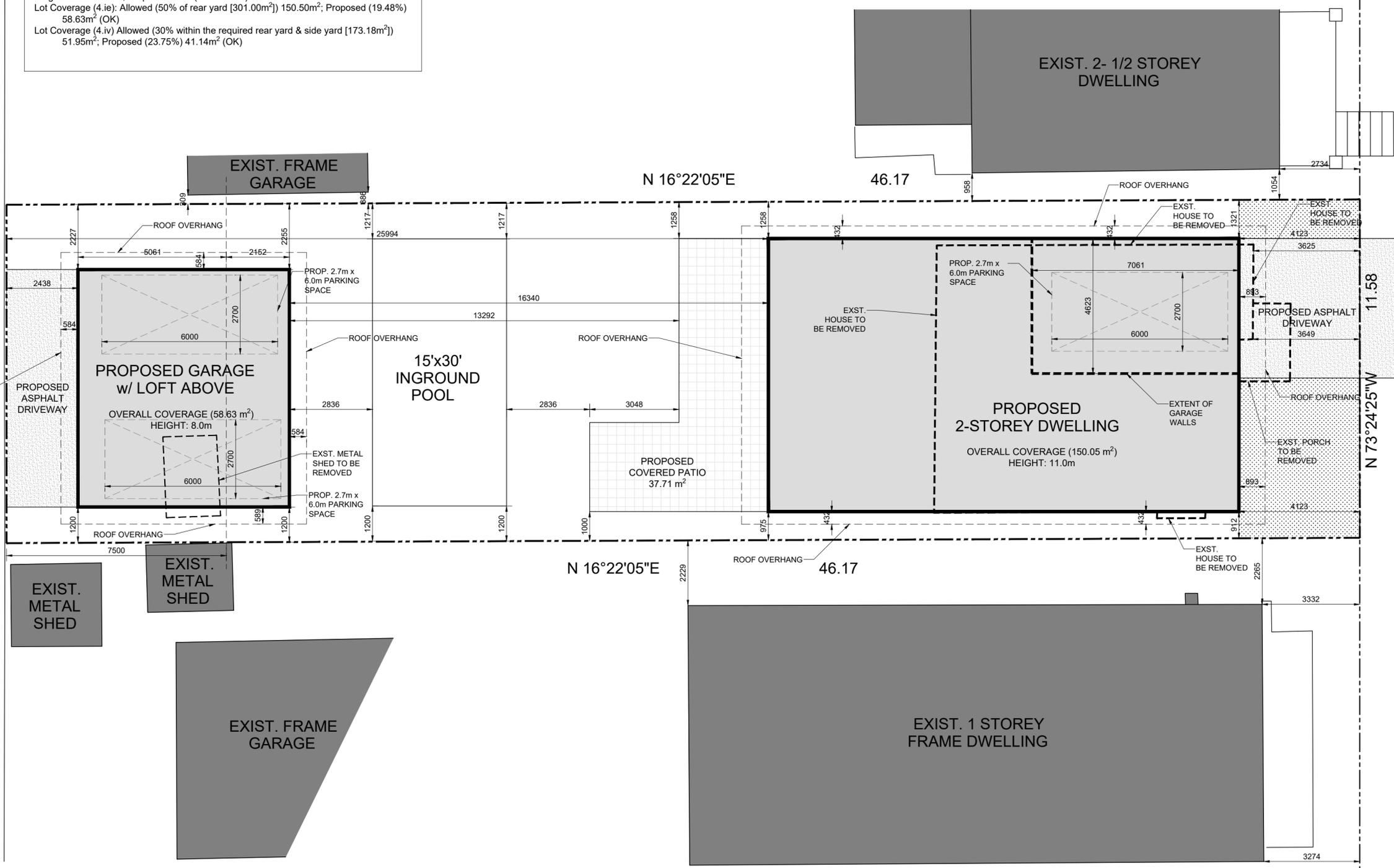
NOTE:
 ACCESSORY BUILDING SHALL NOT BE ERECTED PRIOR TO THE ERECTION OF THE PRINCIPAL BUILDING

NEW BUILD
 EXST. STRUCTURE
 PORCH/ PATIO
 DRIVEWAY
 LANDSCAPE AREA



LANEWAY
 N 73°24'25"W
 11.58

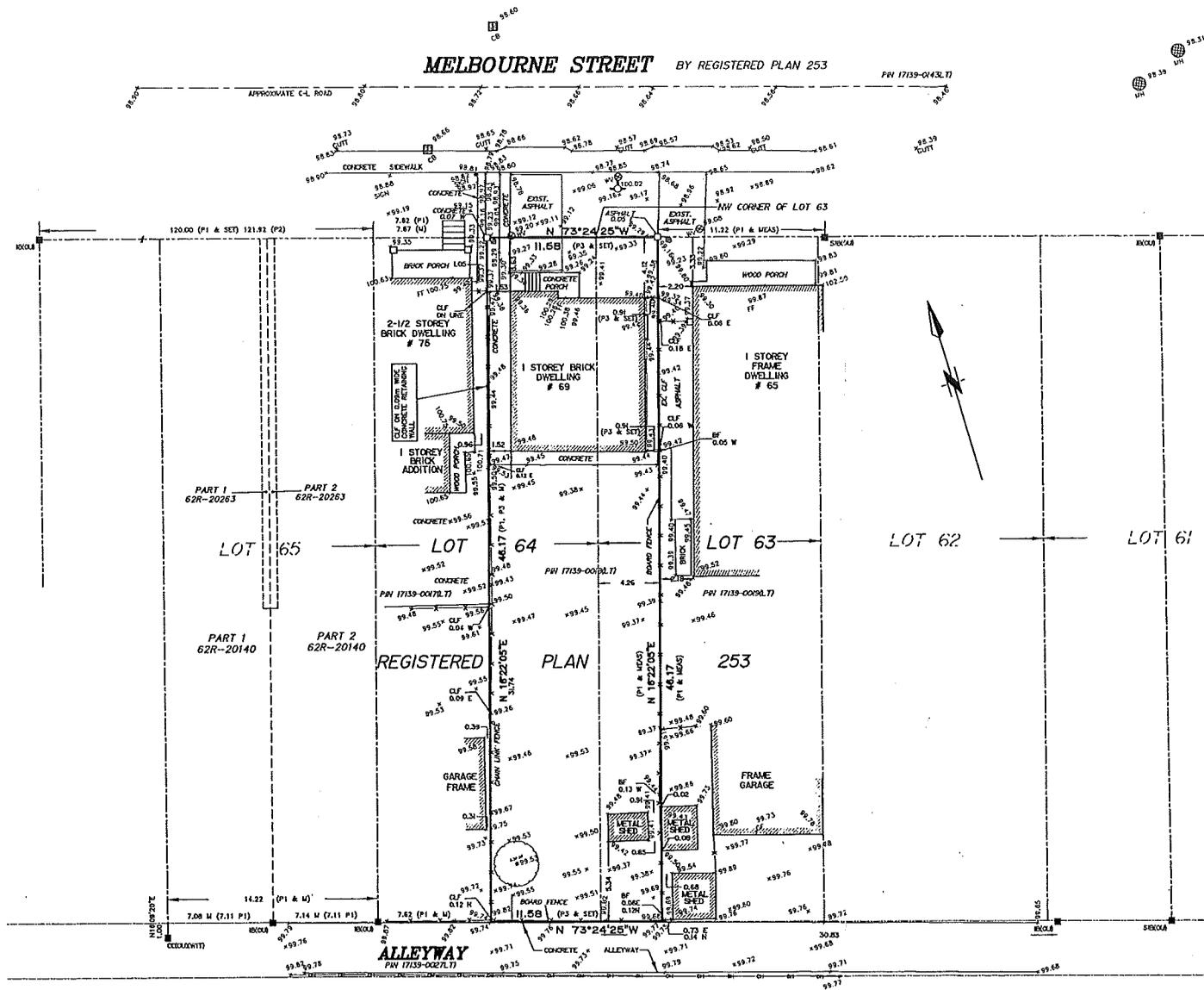
MELBOURNE STREET
 N 73°24'25"W
 11.58



TOPOGRAPHIC SURVEY OF
PART OF LOTS 63 & 64
REGISTERED PLAN 253
IN THE
CITY OF HAMILTON

SCALE 1:200
4 2 0 10 METRES

ASHENHURST NOUWENS & ASSOCIATES INC.
COPYRIGHT 2019 ©



METRIC NOTE
DISTANCES AND ELEVATIONS SHOWN ON THIS PLAN ARE IN METRES AND
CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

REGISTERED EASEMENTS AND/OR RIGHT-OF-WAY.
NONE

THIS SURVEY WAS PREPARED FOR DAN CORCORAN AND THE UNDERSIGNED ACCEPTS
NO RESPONSIBILITY FOR USE BY OTHER PARTIES.

BENCHMARK
CITY OF HAMILTON BENCHMARK No. 00119650545
HOUSE No. 173 DUNDURN STREET SOUTH, AT SOUTHEAST CORNER OF INTERSECTION OF HILL
STREET, PLATE IN NORTH BRICK WALL AT WESTERLY CORNER.
ELEVATION 100.143 m.

BEARING NOTE
BEARINGS ARE ASTROMOMIC AND ARE REFERRED TO THE SOUTHERLY LIMIT OF
MELBOURNE STREET AS SHOWN ON PLAN 62R-20140 HAVING A BEARING OF
N73°24'25"W.

- LEGEND
- DENOTES FOUND
 - DENOTES PLANTED
 - RB DENOTES IRON BAR
 - SIB DENOTES STANDARD IRON BAR
 - RB DENOTES ROUND IRON BAR
 - M DENOTES MEASURED
 - OJ DENOTES ORIGIN UNKNOWN
 - WIT DENOTES WITNESS
 - P1 DENOTES PLAN 62R-7872
 - P2 DENOTES REGISTERED PLAN 253
 - P3 DENOTES PLAN BY H.E. ASHENHURST O.L.S., DATED JULY, 1954
 - BF DENOTES BOARD FENCE
 - CLF DENOTES CHAIN LINK FENCE
 - CT DENOTES CONIFEROUS TREE
 - DT DENOTES DECIDUOUS TREE
 - FFLR DENOTES FIRST FLOOR ELEVATION
 - MF DENOTES METAL FENCE
 - MH DENOTES MANHOLE
 - OH DENOTES OVERHEAD UTILITY
 - TUHF DENOTES TOP HUT OF FIRE HYDRANT
 - WV DENOTES WATER VALVE
 - UP DENOTES UTILITY POLE
 - S24 DENOTES A. T. SCLAREN, O.L.S.
 - S12 DENOTES A. J. CLARKE, O.L.S.
 - 1213 DENOTES J. D. PETERS, O.L.S.

ASSOCIATION OF ONTARIO
LAND SURVEYORS
PLAN SUBMISSION FORM
2105414

THIS PLAN IS NOT VALID
UNLESS IT IS AN UNCORRECTED
ORIGINAL COPY
ISSUED BY THE SURVEYOR
in accordance with
Regulation 1163, Section 24(1)

SURVEYOR'S CERTIFICATE
I CERTIFY THAT:

- THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT,
THE SURVEYORS ACT, THE LAND TITLES ACT AND THE REGULATIONS MADE UNDER THEM.
- THE SURVEY WAS COMPLETED ON THE 16TH DAY OF SEPTEMBER, 2019

OCT. 15, 2019
DATE

[Signature]
HARRY GALANTZAKOS
ONTARIO LAND SURVEYOR

ASHENHURST NOUWENS & ASSOCIATES INC.
PROFESSIONAL ENGINEERS & ONTARIO LAND SURVEYORS
225 KING WILLIAM STREET, SUITE 204, HAMILTON, ONTARIO L8R 1B1
TELEPHONE: (905) 529-6316
(905) 529-4314
FAX: (905) 529-6651
e-mail: onl@AshenhurstNouwens.co

DRAWN BY W.S.	CALCD BY W.S.	CHKD BY H.K.	FILE No. 19108 TOPO
------------------	------------------	-----------------	------------------------

20-172165



Hamilton

Planning and Economic Development Department
Planning Division

Committee of Adjustment
City Hall
5th floor 71 Main Street West
Hamilton, Ontario L8P 4Y5

Phone (905) 546-2424 ext.4221
Fax (905) 546-4202

PLEASE FILL OUT THE FOLLOWING PAGES AND
RETURN TO THE CITY OF HAMILTON PLANNING
DEPARTMENT.

FOR OFFICE USE ONLY.	
APPLICATION NO. <u>HM/A-20:122</u>	DATE APPLICATION RECEIVED <u>June 15/20</u>
PAID _____	DATE APPLICATION DEEMED COMPLETE _____
SECRETARY'S SIGNATURE _____	

CITY OF HAMILTON
COMMITTEE OF ADJUSTMENT
HAMILTON, ONTARIO

The Planning Act

Application for Minor Variance or for Permission

The undersigned hereby applies to the Committee of Adjustment for the City of Hamilton under Section 45 of the *Planning Act*, R.S.O. 1990, Chapter P.13 for relief, as described in this application, from the Zoning By-law.

1. Name of Owner DAN AND SUSAN CORCORAN Telephone No _____

2. _____

3. Name of Agent SMPL DESIGN STUDIO Telephone No _____

4. _____

Note: Unless otherwise requested all communications will be sent to the agent, if any.

5. Names and addresses of any mortgagees, holders of charges or other encumbrances:

_____ Postal Code _____

_____ Postal Code _____

6. Nature and extent of relief applied for:
SIDE YARD SETBACK (HOUSE) OF 0.91m WHERE 1.2m IS REQUIRED
FRONT YARD SETBACK (HOUSE) OF 4.1m WHERE 6m IS REQUIRED
HEIGHT (GARAGE) OF 8m WHERE 4m IS ALLOWED
7. Why it is not possible to comply with the provisions of the By-law?
SIZE OF EXISTING LOT AND DESIRED SIZE OF HOME
8. Legal description of subject lands (registered plan number and lot number or other legal description and where applicable, street and street number):
LOTS 63 & 64 , REGISTERED PLAN 253 - HAMILTON
69 MELBOURNE ST, HAMILTON
9. PREVIOUS USE OF PROPERTY
 Residential Industrial Commercial
 Agricultural Vacant
 Other
- 9.1 If Industrial or Commercial, specify use
- 9.2 Has the grading of the subject land been changed by adding earth or other material, i.e. has filling occurred?
 Yes No Unknown
- 9.3 Has a gas station been located on the subject land or adjacent lands at any time?
 Yes No Unknown
- 9.4 Has there been petroleum or other fuel stored on the subject land or adjacent lands?
 Yes No Unknown
- 9.5 Are there or have there ever been underground storage tanks or buried waste on the subject land or adjacent lands?
 Yes No Unknown
- 9.6 Have the lands or adjacent lands ever been used as an agricultural operation where cyanide products may have been used as pesticides and/or sewage sludge was applied to the lands?
 Yes No Unknown
- 9.7 Have the lands or adjacent lands ever been used as a weapon firing range?
 Yes No Unknown
- 9.8 Is the nearest boundary line of the application within 500 metres (1,640 feet) of the fill area of an operational/non-operational landfill or dump?
 Yes No Unknown

- | | | |
|-----------|----------------------|--------------------|
| Proposed: | HOUSE | DETACHED GARAGE |
| | FRONT: 4.1m | FRONT: n/a |
| | REAR: 25m | REAR: 2.4m |
| | SIDES: 0.91m / 1.25m | SIDES: 1.2m / 2.2m |
13. Date of acquisition of subject lands:
APRIL 2019
14. Date of construction of all buildings and structures on subject lands:
1958
15. Existing uses of the subject property: _____
RESIDENTIAL
16. Existing uses of abutting properties: _____
RESIDENTIAL
17. Length of time the existing uses of the subject property have continued:
60+ YEARS
18. Municipal services available: (check the appropriate space or spaces)
Water YES Connected YES
Sanitary Sewer YES Connected YES
Storm Sewers YES
19. Present Official Plan/Secondary Plan provisions applying to the land:
NEIGHBOURHOODS
20. Present Restricted Area By-law (Zoning By-law) provisions applying to the land:
"D"
21. Has the owner previously applied for relief in respect of the subject property?
Yes No
If the answer is yes, describe briefly.

22. Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?
Yes No
23. The applicant shall attach to each copy of this application a plan showing the dimensions of the subject lands and of all abutting lands and showing the location, size and type of all buildings and structures on the subject and abutting lands, and where required by the Committee of Adjustment such plan shall be signed by an Ontario Land Surveyor.

NOTE: It is required that two copies of this application be filed with the secretary-treasurer of the Committee of Adjustment together with the maps

LOT STATISTICS
 69 Melbourne Street, Hamilton, Ontario
 Zoning Designation - D
 Lot Area: Minimum 360.00m²; Actual 534.56m²
 Lot Frontage: Minimum 12.00m; Actual 11.58m (EXISTING)

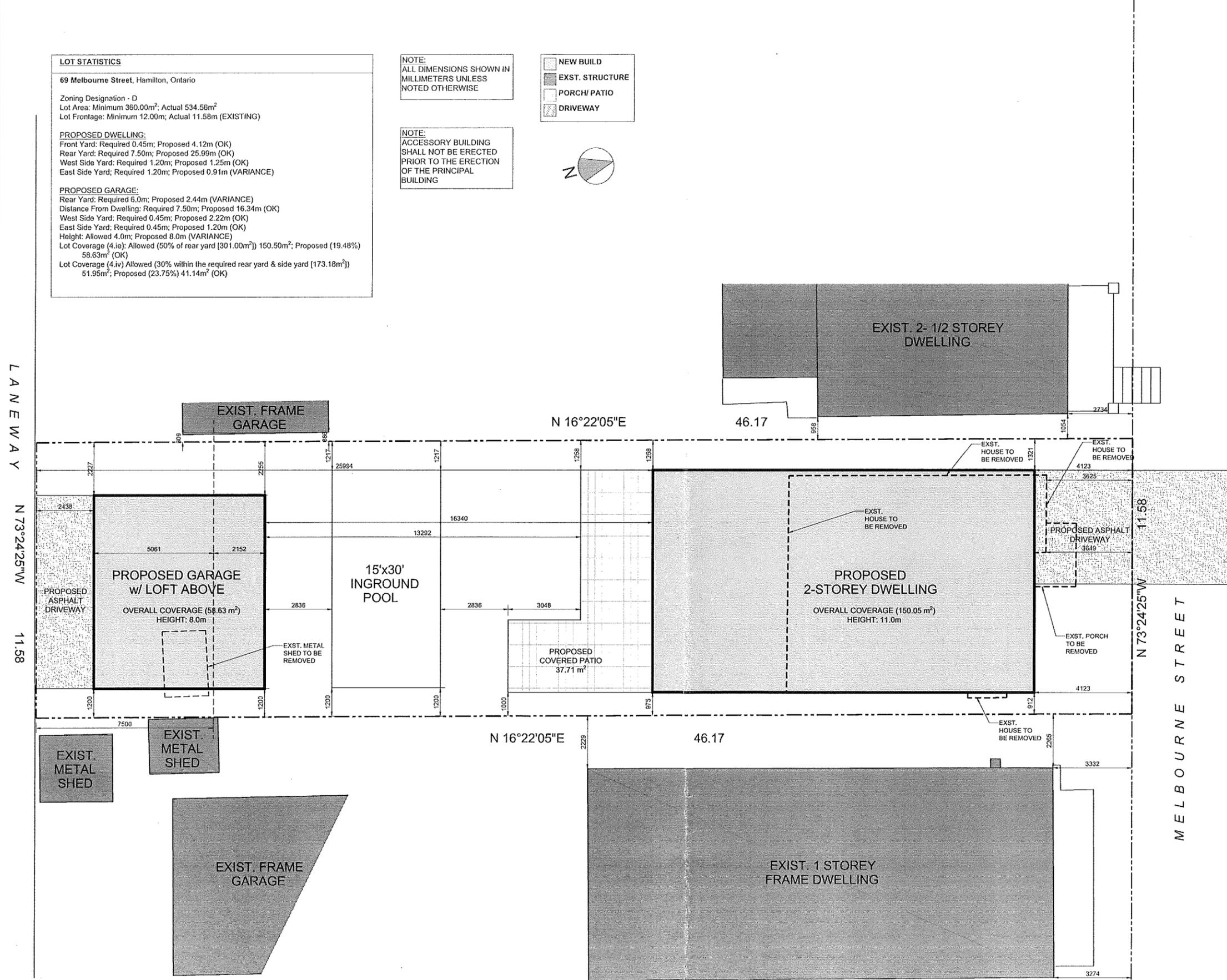
PROPOSED DWELLING:
 Front Yard: Required 0.45m; Proposed 4.12m (OK)
 Rear Yard: Required 7.50m; Proposed 25.99m (OK)
 West Side Yard: Required 1.20m; Proposed 1.25m (OK)
 East Side Yard: Required 1.20m; Proposed 0.91m (VARIANCE)

PROPOSED GARAGE:
 Rear Yard: Required 6.0m; Proposed 2.44m (VARIANCE)
 Distance From Dwelling: Required 7.50m; Proposed 16.34m (OK)
 West Side Yard: Required 0.45m; Proposed 2.22m (OK)
 East Side Yard: Required 0.45m; Proposed 1.20m (OK)
 Height: Allowed 4.0m; Proposed 8.0m (VARIANCE)
 Lot Coverage (4.1e): Allowed (50% of rear yard [301.00m²]) 150.50m²; Proposed (19.48%) 59.63m² (OK)
 Lot Coverage (4.1v): Allowed (30% within the required rear yard & side yard [173.18m²]) 51.95m²; Proposed (23.75%) 41.14m² (OK)

NOTE:
 ALL DIMENSIONS SHOWN IN MILLIMETERS UNLESS NOTED OTHERWISE

NOTE:
 ACCESSORY BUILDING SHALL NOT BE ERECTED PRIOR TO THE ERECTION OF THE PRINCIPAL BUILDING

NEW BUILD
 EXST. STRUCTURE
 PORCH/PATIO
 DRIVEWAY



DO NOT SCALE DRAWINGS
 Note:
 1) Contractor to check all dimensions, specifications, etc on site and shall be responsible for reporting any discrepancy to the engineer and/or designer.
 2) These plans are to remain and the property of the designer and must be returned upon request. These plans must not be used in any other location without the written approval of the designer.
 3) All works to be in accordance with the Ontario Building Code.

Simpli DESIGN STUDIO
 sustainable, modern, practical, livable
 Architectural Design Services
 www.smpdesignstudio.com

Drawing Submissions:

Date:	Type:
June 03, 2020	Minor Variance

69 Melbourne St.
 Hamilton, Ontario

Reviewed By: JT
 Drawn By: HD
 Plot Date:

Page
SP1.01

Site Plan

1 Proposed Site Plan
 SP1.01 Scale 1:100

HM/A.20.122

TOPOGRAPHIC SURVEY OF
PART OF LOTS 63 & 64
REGISTERED PLAN 253
 IN THE
CITY OF HAMILTON

SCALE 1 : 200


ASHENHURST NOUWENS & ASSOCIATES INC.
 COPYRIGHT 2019 ©

METRIC NOTE
 DISTANCES AND ELEVATIONS SHOWN ON THIS PLAN ARE IN METRES AND
 CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

REGISTERED EASEMENTS AND/OR RIGHT-OF-WAY.
 NONE

THIS SURVEY WAS PREPARED FOR DAN CORCORAN AND THE UNDERSIGNED ACCEPTS
 NO RESPONSIBILITY FOR USE BY OTHER PARTIES.

BENCHMARK
 CITY OF HAMILTON BENCHMARK No. 0011965U645
 HOUSE No. 173 DUNDURN STREET SOUTH, AT SOUTHEAST CORNER OF INTERSECTION OF HILL
 STREET, PLATE IN NORTH BRICK WALL AT WESTERLY CORNER.
 ELEVATION 100.143 m.

BEARING NOTE
 BEARINGS ARE ASTRONOMIC AND ARE REFERRED TO THE SOUTHERLY LIMIT OF
 MELBOURNE STREET AS SHOWN ON PLAN 62R-20140 HAVING A BEARING OF
 N73°24'25"W.

- LEGEND**
- DENOTES FOUND
 - DENOTES PLANTED
 - IB DENOTES IRON BAR
 - SIB DENOTES STANDARD IRON BAR
 - RIB DENOTES ROUND IRON BAR
 - M DENOTES MEASURED
 - OU DENOTES ORIGIN UNKNOWN
 - WT DENOTES WITNESS
 - P1 DENOTES PLAN 62R-7972
 - P2 DENOTES REGISTERED PLAN 253
 - P3 DENOTES PLAN BY H.B. ASHENHURST O.L.S., DATED JULY, 1954
 - BF DENOTES BOARD FENCE
 - CLF DENOTES CHAIN LINK FENCE
 - CT DENOTES CONIFEROUS TREE
 - DT DENOTES DECIDUOUS TREE
 - FFLR DENOTES FIRST FLOOR ELEVATION
 - MF DENOTES METAL FENCE
 - MH DENOTES MANHOLE
 - OH DENOTES OVERHEAD UTILITY
 - TFH DENOTES TOP NUT OF FIRE HYDRANT
 - WF DENOTES WOOD FRAME
 - WV DENOTES WATER VALVE
 - UP DENOTES UTILITY POLE
 - 824 DENOTES A. T. MCLAREN, O.L.S.
 - 912 DENOTES A. J. CLARKE, O.L.S.
 - 1213 DENOTES J. D. PETERS, O.L.S.

**ASSOCIATION OF ONTARIO
 LAND SURVEYORS**
 PLAN SUBMISSION FORM
2105414



THIS PLAN IS NOT VALID
 UNLESS IT IS AN EMBOSSED
 ORIGINAL COPY
 ISSUED BY THE SURVEYOR
 In accordance with
 Regulation 1026, Section 29(3)

SURVEYOR'S CERTIFICATE

I CERTIFY THAT:

1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT, THE LAND TITLES ACT AND THE REGULATIONS MADE UNDER THEM.
2. THE SURVEY WAS COMPLETED ON THE 16TH DAY OF SEPTEMBER, 2019

oct. 15 2019
 GATE

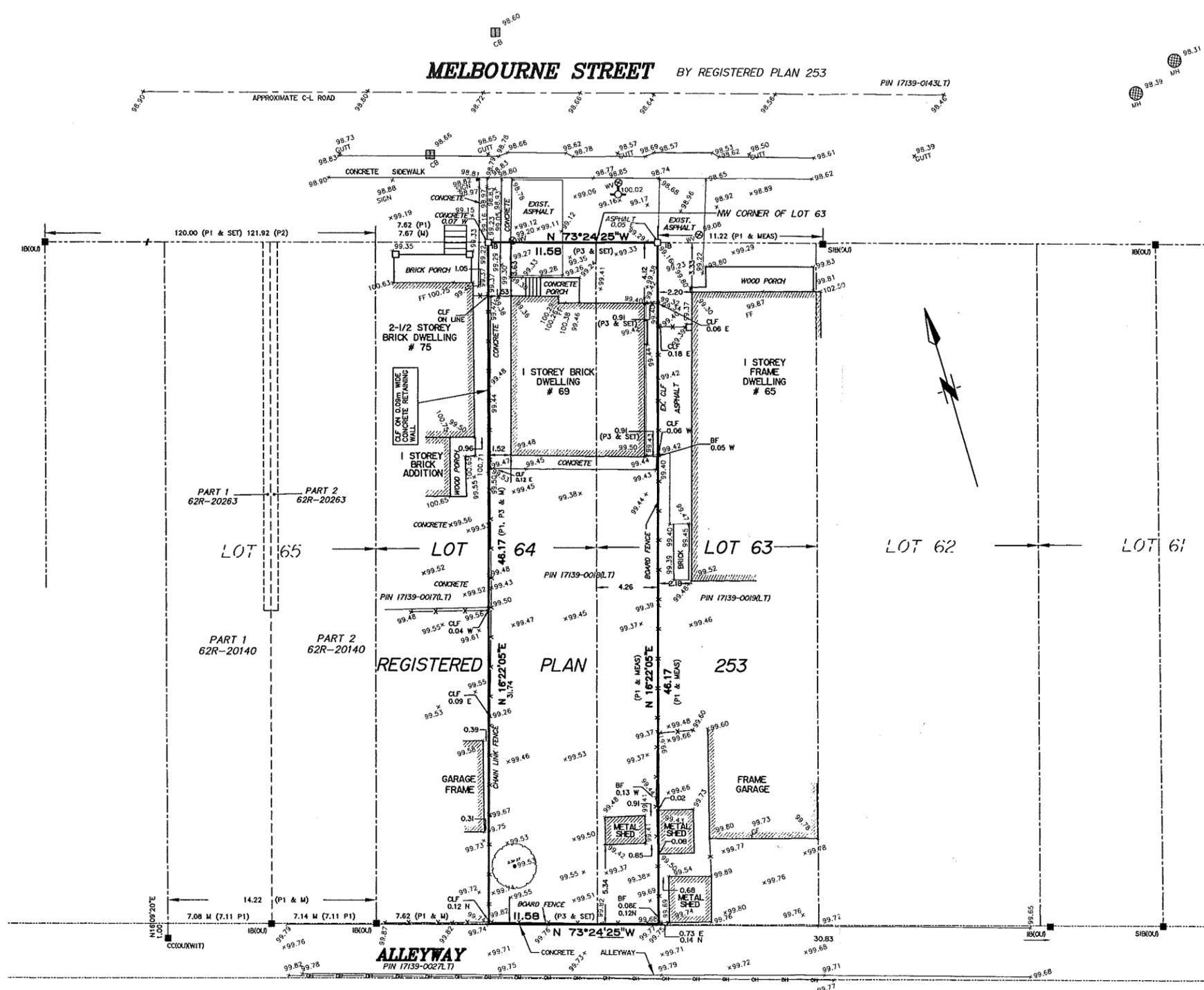

 HARRY KALANTZAKOS
 ONTARIO LAND SURVEYOR

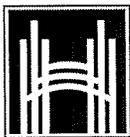
ASHENHURST NOUWENS & ASSOCIATES INC.
 PROFESSIONAL ENGINEERS & ONTARIO LAND SURVEYORS
 225 KING WILLIAM STREET, SUITE 204, HAMILTON, ONTARIO L8R 1B1
 TELEPHONE: (905) 529-6316
 (905) 529-4314
 FAX: (905) 529-6651
 e-mail: anl@AshenhurstNouwens.ca



SINCE 1956

DRAWN BY W.S.	CALC'D BY W.S.	CHK'D BY H.K.	FILE No. 19108 TOPO
------------------	-------------------	------------------	------------------------





Hamilton

COMMITTEE OF ADJUSTMENT

City Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5
 Telephone (905) 546-2424, ext. 4221, 3935 Fax (905) 546-4202
 E-mail: cofa@hamilton.ca

NOTICE OF PUBLIC HEARING
Minor Variance

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
- Applicant/agent on file, or
- Person likely to be interested in this application

APPLICATION NO.: HM/A-20:124

APPLICANTS: Owner: 1649626 Ontario Inc.
 Agent: Sam Esposto

SUBJECT PROPERTY: Municipal address 801 King St. W., Hamilton

ZONING BY-LAW: Zoning By-law 6593, as Amended by By-law 00-97

ZONING: E-H/S-1446 (Multiple Dwellings, Lodges, Clubs and Etc.) district

PROPOSAL: To permit the construction of a seven (7) storey multiple dwelling containing a total of one hundred (100) dwelling units as per related Site plan application SPA-20-003, notwithstanding that;

1. A minimum front yard depth of 5.5m shall be permitted from the Carling street front lot line instead of the minimum 6.0m front yard depth required.
2. A minimum rear yard depth of 6.1m shall be permitted instead of the minimum 9.2m rear yard depth required.
3. A maximum gross floor area of 11, 014m² shall be permitted instead of the maximum 7735.0m² gross floor area permitted by previous Committee of Adjustment decision HM/A-09:233.
4. A minimum of fifty-six (56) parking spaces shall be permitted instead of the minimum 102 parking spaces required for the one-hundred dwelling units.
5. A minimum of eleven (11) parking spaces shall be provided exclusively for visitors instead of the minimum twenty (20) visitors parking spaces required.
6. The required 1.5m wide planting strip along the easterly side lot line shall be permitted to be obstructed by an existing retaining wall and the required 1.5m wide planting strip along the westerly side lot line shall be permitted to be obstructed by a visual barrier/fence whereas the zoning By-law does not permit a required planting strip to be obstructed by retaining wall or a visual barrier.
7. A transformer shall be permitted to be located a minimum distance of 0.6m from the Carling Street front lot line instead of the minimum required 3.0m setback from front lot line.

Notes:

These variances are necessary to facilitate Site Plan applications SPA-20-003. Previous Committee Decision HM/A-09:233, permitted a minimum of fifty-five (55) parking spaces (including ten (10) parking spaces which were exclusively devoted for visitor parking) for the original proposal consisting of 63 dwelling units. The proposed increase in the number of dwelling units to a total of one hundred (100) units, requires an additional 47

parking spaces for a total of 102 spaces to be provided on site.

.../2

HM/A-20:124

Page 2

The applicant requested a variance to permit the parking area to be located as close as 3.1m from the Carling street front lot line; however, the requested variance is not required as previous Committee Decision HM/A-09:233, permitted the surface parking area to be located as close as 1.5m from the Carling Street lot line.

No elevation plans were provided to determine compliance respecting the maximum permitted 28.5m height and nine (9) storeys. In addition, previous submitted elevation plans showed proposed balconies and canopy encroachments which are not shown on the site plan drawing. Therefore, further variances may be required.

No landscaped plan was provided to confirm that the required planting strip as defined is provided along the required easterly and westerly sides. As such, further variances may be required.

Details respecting the required visual barriers were not clearly shown on the submitted plan. In addition, a chain link fence does not meet the requirement for a visual barrier. Therefore, further variances may be required.

This application will be heard by the Committee as shown below:

DATE: Thursday, August 6th, 2020
TIME: 2:00 p.m.
PLACE: Via video link or call in (see attached sheet for details)
To be streamed at www.hamilton.ca/committeeofadjustment
for viewing purposes only

PUBLIC INPUT

Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

Orally: If you would like to speak to this item at the hearing you may do so via video link or by calling in. Please see attached page for complete instructions, including deadlines for registering to participate.

MORE INFORMATION

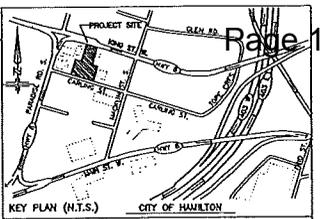
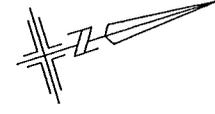
For more information on this matter, including access to drawings illustrating this request:

- Visit www.hamilton.ca/committeeofadjustment
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935
- Email Committee of Adjustment staff at cofa@hamilton.ca

Jamila Sheffield,
 Secretary-Treasurer
 Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public.

METRIC DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.



- NOTES**
- BENCHMARK: GEODETIC B.M. No. 83-U-025 INSTALLED SECONDARY SCHOOL AT NORTH-EAST CORNER OF MAIN STREET AND LONGWOOD ROAD, TABLE IN NORTH WALL, 7.83M EAST OF NORTH-WEST CORNER AT REAR SIDE ENTRANCE, 0.34M BELOW BRICK, SLIGHTLY BELOW ROAD LEVEL, ELEVATION = 89.130m.
 - BOUNDARIES AS PER DRAFT REFERENCE PLAN SURVEY BY L.G. WOODS SURVEYING INC. DATED NOVEMBER, 2019. (FILE NO. 19-1008)
 - EXISTING GROUND ELEVATIONS ARE AS SURVEYED BY L.G. WOODS SURVEYING INC. DURING OCTOBER '19. (FILE NO. 19-1008-TOPG).

- LEGEND**
- 3 (214.00) DENOTES PROPOSED FINISHED GROUND ELEVATION
 - 3 (212.00) DENOTES EXISTING GROUND ELEVATIONS AS SURVEYED BY L.G. WOODS SURVEYING INC.
 - DENOTES EXISTING GROUND CONTOUR

- ⊙ DENOTES EXISTING WATER SERVICE SHUTOFF VALVE
- U.P. DENOTES EXISTING UTILITY POLE
- DENOTES EXISTING OVERHEAD WIRES
- DENOTES EXIST. WIRE OR CHAINLINK FENCE
- DENOTES EXISTING STREET LIGHT STANDARD
- DENOTES EXISTING DECIDUOUS TREE
- ⊗ DENOTES EXIST. CONIFEROUS TREE
- HYD DENOTES EXISTING FIRE HYDRANT
- └ DENOTES TOP OF EXISTING SLOPE
- ⊕ DENOTES EXIST MONITOR WELL LOCATIONS

NO.	DATE	BY	REVISION
SCALE	1:150		DATE DECEMBER 2019
REF.			

SEAL

CONSULTANT
SIDNEY W. WOODS ENGINEERING
 334 HAIT ST., DUNDAS, ON L9H 2H9 (905)527-0775

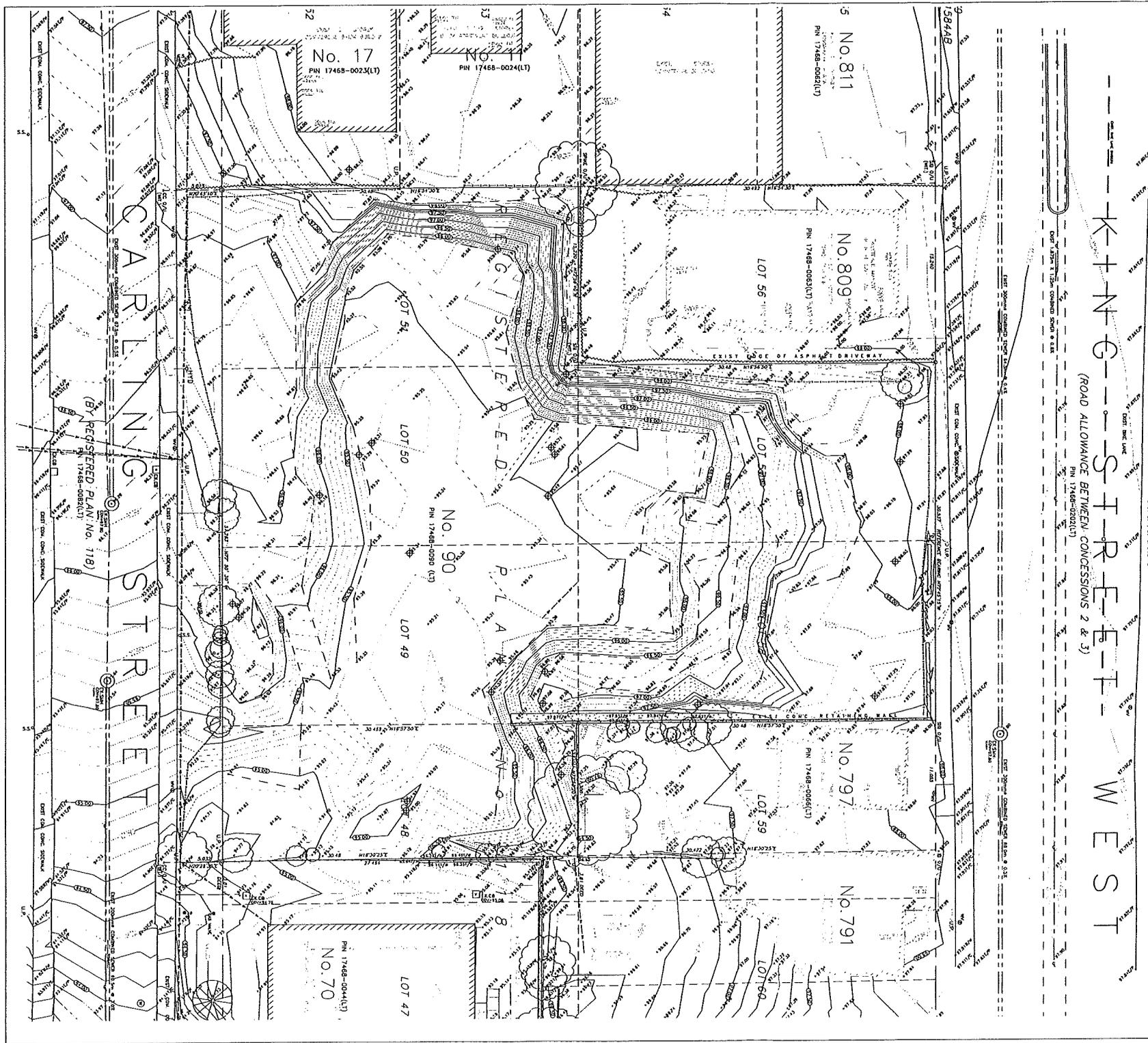
MUNICIPALITY
 CITY OF HAMILTON

OWNER
 998057 ONTARIO LTD.
 (8 HUNTS DRIVE, DUNDAS ON L9H 6J1)

TITLE
 EXISTING TOPOGRAPHY

PROJECT
 90 CARLING STREET
 PROPOSED 7-STORY BUILDING
 (LOTS NOS 49, 50, 51, 57, 58 & PART OF LOT 48
 OF REGISTERED PLAN 118)

© 2019, ALL RIGHTS RESERVED
 SHEET TOPO
 SIDNEY W. WOODS ENGINEERING (2019) INC. INDEX NO. E-1334



K I N G S T R E E T W E S T
 (ROAD ALLOWANCE BETWEEN CONCESSIONS 2 & 3)
 PIN 17468-0022(LT)

C A R L I N G S T R E E T
 (B) REGISTERED PLAN NO. 118
 PIN 17468-0024(LT)

20.172181



Hamilton

Planning and Economic Development Department
Planning Division

Committee of Adjustment
City Hall
5th floor 71 Main Street West
Hamilton, Ontario L8P 4Y5

Phone (905) 546-2424 ext.4221
Fax (905) 546-4202

**PLEASE FILL OUT THE FOLLOWING PAGES AND
RETURN TO THE CITY OF HAMILTON PLANNING
DEPARTMENT.**

FOR OFFICE USE ONLY.	
APPLICATION NO. <u>Hm/A-20:124</u>	DATE APPLICATION RECEIVED <u>June 17/20</u>
PAID _____	DATE APPLICATION DEEMED COMPLETE _____
SECRETARY'S SIGNATURE _____	

**CITY OF HAMILTON
COMMITTEE OF ADJUSTMENT
HAMILTON, ONTARIO**

The Planning Act

Application for Minor Variance or for Permission

The undersigned hereby applies to the Committee of Adjustment for the City of Hamilton under Section 45 of the *Planning Act*, R.S.O. 1990, Chapter P.13 for relief, as described in this application, from the Zoning By-law.

- Name of Owner 1649626 Ontario Inc. c/o Frank Bragagnolo Telephone No.
-
- Name of Agent Sam Esposto Telephone No.
-

Note: Unless otherwise requested all communications will be sent to the agent, if any.

- Names and addresses of any mortgagees, holders of charges or other encumbrances:
n/a

Postal Code _____

Postal Code _____

6. Nature and extent of relief applied for:
1. The Maximum Floor Area Ratio of 11,014m², and 100 units shall be provided, instead of the maximum, 7,735m², and 63 units;
 2. 56 parking spaces (11 surface spaces, and 45 underground) shall be provided, instead of the required 102;
 3. 11 parking spaces of the 56 shall be signed and used for Visitor Parking instead of the required 20;
 4. The surface parking area is setback 3.1 metres from Carling Street instead of the minimum required 6.0m;
 5. The rear yard requires a setback of 9.2m, however 6.1m is provided;
 6. The existing concrete retaining wall shall be maintained within the required planting strip;
 7. The front yard requires a setback of 6m, however 5.5m is provided from Carling St.;
 8. The transformer requires a setback of 3m, however 605mm is provided;
 9. The 1.5m wide planting strip shall not be obstructed by a visual barrier, there is a fence along the required property lines within the 1.5m planting strip.
7. Why it is not possible to comply with the provisions of the By-law?
1. Increased unit count and floor area;
 2. Lot size;
 3. not enough visitor parking;
 4. The surface parking count; HM/A-09:233 Variance 1.2m from Carling St. Lot Line.
 5. Not enough setback room;
 6. Existing concrete retaining wall;
 7. 3m ROW pushed building closer to Carling St;
 8. Transformer can only be so close to building opening;
 9. Fence is required in that area.
8. Legal description of subject lands (registered plan number and lot number or other legal description and where applicable, street and street number):
801 King St W. PLAN 118 LOTS 49 57 58 PT LOT 48 50 51 IRREG 28690.00SF 100.00FR D

9. PREVIOUS USE OF PROPERTY
- Residential Industrial Commercial
- Agricultural Vacant
- Other _____
- 9.1 If Industrial or Commercial, specify use
See attached property use list
- 9.2 Has the grading of the subject land been changed by adding earth or other material, i.e. has filling occurred?
 Yes No Unknown
- 9.3 Has a gas station been located on the subject land or adjacent lands at any time?
 Yes No Unknown
- 9.4 Has there been petroleum or other fuel stored on the subject land or adjacent lands?
 Yes No Unknown
- 9.5 Are there or have there ever been underground storage tanks or buried waste on the subject land or adjacent lands?
 Yes No Unknown
- 9.6 Have the lands or adjacent lands ever been used as an agricultural operation where cyanide products may have been used as pesticides and/or sewage sludge was applied to the lands?
 Yes No Unknown
- 9.7 Have the lands or adjacent lands ever been used as a weapon firing range?
 Yes No Unknown
- 9.8 Is the nearest boundary line of the application within 500 metres (1,640 feet) of the fill area of an operational/non-operational landfill or dump?
 Yes No Unknown

9.9 If there are existing or previously existing buildings, are there any building materials remaining on site which are potentially hazardous to public health (eg. asbestos, PCB's)?

Yes No Unknown

9.10 Is there any reason to believe the subject land may have been contaminated by former uses on the site or adjacent sites?

Yes No Unknown

9.11 What information did you use to determine the answers to 9.1 to 9.10 above?

To the best of our knowledge. Per property previous use information from Phase 1 Environmental Assessment. RSC was completed for the property.

9.12 If previous use of property is industrial or commercial or if YES to any of 9.2 to 9.10, a previous use inventory showing all former uses of the subject land, or if appropriate, the land adjacent to the subject land, is needed.

Is the previous use inventory attached? Yes No

ACKNOWLEDGEMENT CLAUSE

I acknowledge that the City of Hamilton is not responsible for the identification and remediation of contamination on the property which is the subject of this Application – by reason of its approval to this Application.

June 11th. 2020
Date


Signature Property Owner

Frank Bragagnolo
Print Name of Owner

10. Dimensions of lands affected:

Frontage 57.26m
Depth 61m
Area 2,674.3m²
Width of street Carling St ±9m, King ±20.2m, ROW streetline at 13.107m from CL

11. Particulars of all buildings and structures on or proposed for the subject lands: (Specify ground floor area, gross floor area, number of stories, width, length, height, etc.)

Existing: n/a

Proposed: _____

Ground Floor Area 1,332, Gross Floor Area: 11,014 - 1,660 = 9,354m², number of stories: 7, height: 21m AS PER CONDITIONALLY APPROVED SITE PLAN SPA-20-003

12. Location of all buildings and structures on or proposed for the subject lands; (Specify distance from side, rear and front lot lines)

Existing: n/a

Proposed: Front Yard: 5.5m (Carling St), 0m (King St.)

East Side Yard: 2.1m

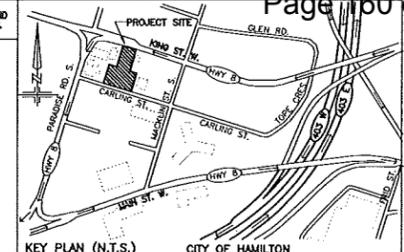
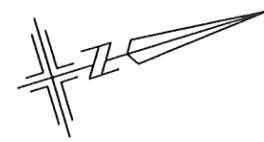
West Side Yard: 3.9m

Rear Yard: 6.1m

13. Date of acquisition of subject lands:
December 1999
14. Date of construction of all buildings and structures on subject lands:
TBD
15. Existing uses of the subject property: Vacant
16. Existing uses of abutting properties: WEST: H/S-1361 Community Shopping and Commercial, Etc.
WEST: I2 Community Institutional NORTH: C5 Exc.570 Mixed Use Medium Density EAST: C5 Exc.570, E/S-1361
SOUTH: C/S-1361, C/S-1788 Urban Protected Residential, Etc. E/S-1788
17. Length of time the existing uses of the subject property have continued:
Unknown
18. Municipal services available: (check the appropriate space or spaces)
Water _____ Connected _____
Sanitary Sewer _____ Connected _____
Storm Sewers _____
19. Present Official Plan/Secondary Plan provisions applying to the land:
Neighbourhoods (Landsdale Neighbourhood Plan: Commercial Apartment, Medium Density
Apartments and Single and Double
20. Present Restricted Area By-law (Zoning By-law) provisions applying to the land:
E-H/S-1446 Multiple Dwellings Residential Lodges Clubs
21. Has the owner previously applied for relief in respect of the subject property?
 Yes No
If the answer is yes, describe briefly.
HM/A-09:233 Variance
22. Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?
 Yes No
23. The applicant shall attach to each copy of this application a plan showing the dimensions of the subject lands and of all abutting lands and showing the location, size and type of all buildings and structures on the subject and abutting lands, and where required by the Committee of Adjustment such plan shall be signed by an Ontario Land Surveyor.

NOTE: It is required that two copies of this application be filed with the secretary-treasurer of the Committee of Adjustment together with the maps

METRIC DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048



- NOTES**
- BENCHMARK: GEODETIC B.M. No. 65-U-025 WESTDALE SECONDARY SCHOOL AT NORTH-EAST CORNER OF MAIN STREET AND LONGWOOD ROAD, TABLET IN NORTH WALL, 7.62M EAST OF NORTH-WEST CORNER AT REAR SIDE ENTRANCE, 0.3M BELOW BRICK, SLIGHTLY BELOW ROAD LEVEL. ELEVATION = 99.340m.
 - BOUNDARIES AS PER DRAFT REFERENCE PLAN SURVEY BY L.G. WOODS SURVEYING INC. DATED NOVEMBER, 2019. (FILE NO. 19-1008).
 - EXISTING GROUND ELEVATIONS ARE AS SURVEYED BY L.G. WOODS SURVEYING INC. DURING OCTOBER '19. (FILE NO. 19-1008-TOPO).

- LEGEND**
- (228.00) DENOTES PROPOSED FINISHED GROUND ELEVATION
 - x 228.00 DENOTES EXISTING GROUND ELEVATIONS AS SURVEYED BY L.G. WOODS SURVEYING INC.
 - (---) DENOTES EXISTING GROUND CONTOUR
 - ⊕ DENOTES EXISTING WATER SERVICE SHUTOFF VALVE
 - U.P. DENOTES EXISTING UTILITY POLE
 - DENOTES EXISTING OVERHEAD WIRES
 - DENOTES EXIST. WIRE OR CHAINLINK FENCE
 - DENOTES EXISTING STREET LIGHT STANDARD
 - DENOTES EXISTING DECIDUOUS TREE
 - ⊗ DENOTES EXIST. CONIFEROUS TREE
 - HYD DENOTES EXISTING FIRE HYDRANT
 - DENOTES TOP OF EXISTING SLOPE
 - ⊕ DENOTES EXIST MONITOR WELL LOCATIONS

NO	DATE	BY	REVISION
SCALE	1:150		DATE DECEMBER 2019
			REF.

SEAL

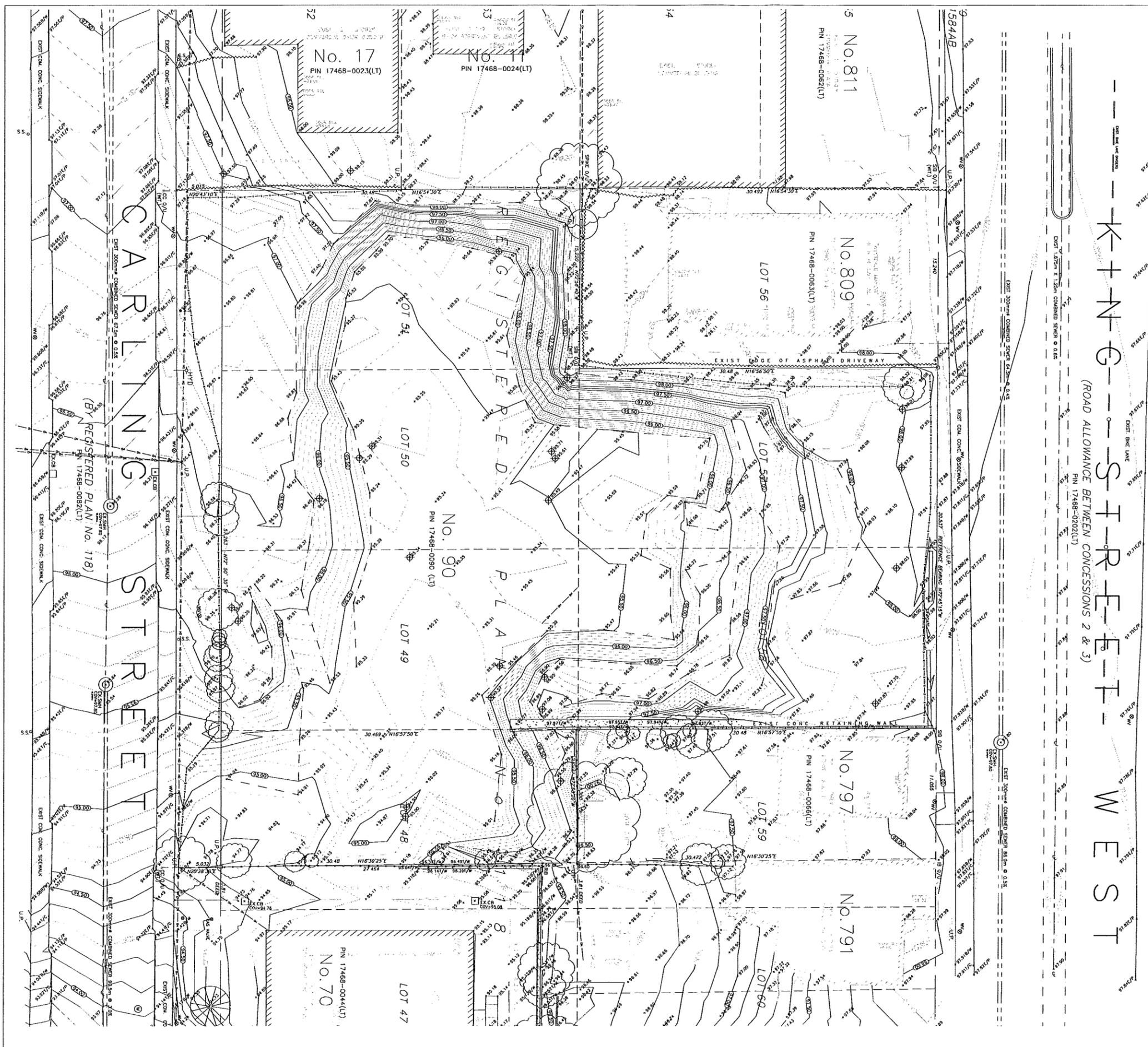
CONSULTANT
SIDNEY W. WOODS ENGINEERING
 334 HATT ST., DUNDAS, ON L9H 2H9 (905)627-0775

MUNICIPALITY
 CITY OF HAMILTON

OWNER
 998057 ONTARIO LTD.
 (8 HUNTS DRIVE, DUNDAS ON L9H 6J1)

TITLE
 EXISTING TOPOGRAPHY

PROJECT
 90 CARLING STREET
 PROPOSED 7-STORY BUILDING
 (LOTS NOS. 49, 50, 51, 57, 58 & PART OF LOT 48 OF REGISTERED PLAN 118)



KENNEDY STREET WEST
 (ROAD ALLOWANCE BETWEEN CONCESSIONS 2 & 3)

Site		
<i>Address</i>	<i>Property Use</i>	<i>Years Occupied</i>
801 King Street West	National Painting and Decorating Inc.	1955-1995, 2006-2011
	Vacant	2000
	Your Personal Cleaners	1950
	Springbank Dairy Farm	1940-1945
	Springbank Dairy	1935
	No Listing	<1930
803 King Street West	No Return	2000-2011
	Vacant	1985-1995
	Residence	1930-1980
	No Listing	<1925
80 Carling Street	No Return	2006-2011
	Residence	1955-2001
	Rogers Electric	1955—1975
	No Listing	<1950
86 Carling Street	No Return	2011
	Residence	1950-2006
	No Listing	<1945
90 Carling Street	No Return	2006-2011
	Residence	1950-2001
	No Listing	<1945

West			
Address	Property Use	Years Occupied	
809 King Street West (adjacent)	Residential	1995-2011	
	Westdale Manor	2006-2007	
	Karl Robert Manor	1990-2001	
	Apartments	1960-1985	
	No Listing	1955	
	Brown G A Enterprises	1950	
	Residential	1930-1940	
811 King Street West (adjacent)	Direct Energy	2000-2011	
	Residential	2006-2011	
	Therapy Health Care	2006-2007	
	Salon Paradise	2000	
	Quality Hearing Aids Ltd.	1995	
	Vector Marketing	1995	
	Wu Shu-Chinese Martial Arts	1995	
	Professional Respiratory Home Care Corporation	1990	
	National Pagette Ltd.	1990	
	Reap What You Sew	1990	
	No Listing	<1985	
	11 Paradise Road South (adjacent)	Donan Apartments	1960-2011
		Residential	1930-1955
17 Paradise Road South (adjacent)	Apartments	1950-2011	
	Cupe	2011	
	Liberty Tax Service	2006-2011	
	Open Sky Solutions	2006-2011	
	West Hamilton Denture Clinic	2000-2011	
	The Tax Ladies	2000	
	Pierik's Cycle Ltd.	1975-1995	
	Pierik's Sport & Cycle	1975-1980	
	Phil's Chateau Beauty Salon	1970	



Record of Site Condition
Under Part XV.1 of the Environment Protection Act

Summary

Record of Site Condition Number	222261
Date Filed to Environmental Site Registry	2016/07/14
Certification Date	2016/02/17
Current Property Use	Commercial
Intended Property Use	Residential
Certificate of Property Use Number	3445-9XQPHA
Applicable Site Condition Standards	Full Depth Generic Site Conditions Standard, with Non-potable Ground Water, Medium and Fine Textured Soil, for Residential property use, with RA
Property Municipal Address	803 KING STREET WEST, HAMILTON, ON, L8S 1M9, 801 KING STREET WEST, HAMILTON, ON, L8S 1M9, 90 CARLING STREET, HAMILTON, ON, L8S 1M9, 80 CARLING STREET, HAMILTON, ON, L8S 1M9, 86 CARLING STREET, HAMILTON, ON, L8S 1M9

Notice to Readers Concerning Due Diligence

This record of site condition (RSC) has been filed in the Environmental Site Registry to which the public has access and which contains a notice advising users of the Environmental Site Registry who have dealings with any property to consider conducting their own due diligence with respect to the environmental condition of the property, in addition to reviewing information in the Environmental Site Registry.

Contents of this Record of Site Condition

This RSC consists of this document which is available to be printed directly from the Environmental Site Registry as well as all supporting documentation indicated in this RSC to have been submitted in electronic format to the Ministry of the Environment and Climate Change.

property, in addition to reviewing information in the Environmental Site Registry.

Contents of this record of site condition

This record of site condition (RSC) consists of this document which is available to be printed directly from the Environmental Site Registry as well as all supporting documentation indicated in this record of site condition to have been submitted in electronic format to the Ministry of the Environment and Climate Change.

Part 1: Property Ownership, Property Information and Owner's Certifications**Information about the owner who is submitting or authorizing the submission of the record of site condition**

Owner name	1649626 ONTARIO INC.
Authorized person	DAVID HORWOOD
Mailing address	242 MAIN STREET EAST, HAMILTON Ontario, Canada
Postal Code	L8N 1H5
Phone	(905) 528-8956
Fax	(905) 528-9858
Email address	dh@effortrust.ca

Record of site condition property location information

Municipal address(es)	801 KING STREET WEST, HAMILTON, ON L8S 1M9 803 KING STREET WEST, HAMILTON, ON L8S 1M9 80 CARLING STREET, HAMILTON, ON L8S 1M9 86 CARLING STREET, HAMILTON, ON L8S 1M9 90 CARLING STREET, HAMILTON, ON L8S 1M9
Municipality	Hamilton
Legal description	See attached Lawyer's letter
Assessment roll number(s)	251801005502680 251801005502650 251801005407230 251801005407290 251801005407320
Property identifier number(s)	17467-0090 (LT)

Record of site condition property geographical references

Coordinate system	UTM
Datum	NAD 83
Zone	17
Easting	589,430.00
Northing	4,790,504.00

Record of site condition property use information

The following types of property uses are defined by the Regulation: Agricultural or other use, Commercial use, Community use, Industrial use, Institutional use, Parkland use, and Residential use.

Current property use	Commercial
Intended property use	Residential
Certificate of property use has been issued under section 168.6 of the Environmental Protection Act	Yes
Certificate of property use number	3445-9XQPHA

**Please see the signed statements of property owner, or agent,
or receiver at the end of this record of site condition**

The rest of this page has been left intentionally blank

Part 2: List of reports, summary of site conditions and qualified person's statements and certifications

Qualified person's information

Name	GEOFF MURRAY BELL
Type of membership under the Professional Geoscientists Act	Limited member
Membership number	1730
Qualified person's employer name	G2S ENVIRONMENTAL CONSULTING INC.
Mailing address	SUITE 411, 37 SANDIFORD DRIVE, STOUFFVILLE Ontario, L4A 7X5 Canada
Phone	(905) 766-4054
Fax	(905) 642-5999
Email address	geoffb@g2senvironmental.com

Municipal information

Local or single-tier municipality	Hamilton
-----------------------------------	----------

Ministry of the Environment and Climate Change District Office

District office	Hamilton District Office
District office address	9th floor, 119 King St. W., Hamilton ON L8P 4Y7

Phase one environmental site assessment report

Document used as the phase one environmental site assessment report and updates in submitting the record of site condition for filing

The date the last work on all of the records review, interviews and site reconnaissance components of the phase one environmental site assessment was done (refer to clause 28(1) (a) of O. Reg. 153/04)	(yyyy/mm/dd) 2016-06-10
--	----------------------------

Type of report	Report title	Date of report (yyyy/mm/dd)	Author of report	Name of consulting company
Phase one environmental site assessment	Phase I Environmental Site Assessment	2012-07-27	Steve Campbell, P. Geo., Whitney Meyer, B. Sc.	G2S ENVIRONMENTAL CONSULTING INC.
Update to phase one environmental site assessment	Phase I Environmental Site Assessment Update	2014-11-07	Geoff Bell, P. Geo. (Limited)	G2S ENVIRONMENTAL CONSULTING INC.
Update to phase one environmental site assessment	Phase One Environmental Site Assessment Update	2016-06-14	Geoff Bell, P. Geo. (Limited), Steve Campbell, P. Geo.	G2S ENVIRONMENTAL CONSULTING INC.

Reports and other documents related to the phase one environmental site assessment

Reports and other documents relied upon in certifying the information set out in section 10 of Schedule A or otherwise used in conducting the phase one environmental site assessment

Report title	Date of report (yyyy/mm/dd)	Author of report	Name of consulting company
N/A			

Phase two environmental site assessment report**Document used as the phase two environmental site assessment report and updates in submitting the record of site condition for filing**

The date the last work on all of the planning of the site investigation and conducting the site investigation components of the phase two environmental site assessment was done (refer to clause 33.5(1)(a) of O. Reg. 153/04)	(yyyy/mm/dd) 2016-02-17
---	----------------------------

Type of report	Report title	Date of report (yyyy/mm/dd)	Author of report	Name of consulting company
Phase two environmental site assessment	Supplemental Phase II Environmental Site Assessment, 801 and 803 King Street West and 80, 86 and 90 Carling Street, Hamilton, Ontario	2012-08-31	Geoff Bell P. Geo. (limited)	G2S ENVIRONMENTAL CONSULTING INC.
Update to phase two environmental site assessment	Subsurface Soil Investigation, 80, 86 and 90 Carling Street, 801 and 803 King Street West, Hamilton, Ontario	2013-11-19	Geoff Bell, P. Geo. (limited), Steve Campbell, P. Geo.	G2S ENVIRONMENTAL CONSULTING INC.
Update to phase two environmental site assessment	Supplemental Groundwater Investigation, 80, 86 and 90 Carling Street, 801 and 803 King Street West, Hamilton, Ontario	2014-12-22	Geoff Bell, P. Geo. (limited), Steve Campbell, P. Geo.	G2S ENVIRONMENTAL CONSULTING INC.
Update to phase two environmental site assessment	Delineation of Soil Impacted with Polycyclic Aromatic Hydrocarbons, 80, 86 and 90 Carling Street, 801 and 803 King Street West, Hamilton, Ontario	2016-03-04	Geoff Bell, P. Geo. (limited), Steve Campbell, P. Geo.	G2S ENVIRONMENTAL CONSULTING INC.

Reports and other documents related to the phase two environmental site assessment**Reports and other documents relied upon in making any certifications in the record of site condition for the purposes of Part IV of Schedule A or otherwise used in conducting the phase two environmental site assessment**

Report title	Date of report (yyyy/mm/dd)	Author of report	Name of consulting company
Phase II Environmental Site Assessment	2011-07-08	Frank Colozza, P. Geo.	JFM Environmental Ltd.
A Risk Assessment of 80,86 and 90 Carling Street, and 801 and 803 King Street West, Hamilton, Ontario	2013-12-31	Adam Safruk, B. Sc., M.E.S. QPra	INTRINSIK ENVIRONMENTAL SCIENCES INC.

Environmental condition

Section 41 applies?	No
Section 43.1 applies?	No

Site condition information

Certification date (yyyy/mm/dd)	2016/02/17
Total area of record of site condition property (in hectares)	0.25000
Number of any previously filed record of site condition that applies to any part of the record of site condition property	57510
Number of any previously filed transition notice that applies to any part of the record of site condition property	
Soil texture	Medium and fine
Assessment/restoration approach	Full depth generic
Site investigation includes the investigation, sampling and analysis of ground water?	Yes
Is there soil present that is sufficient to investigate, sample and analyze soil on, in or under the property in accordance with s. 6, Schedule E of O.Reg. 153/04?	Yes
Site investigation includes the investigation, sampling and analysis of soil on, in or under the property which is used in the record of site condition?	Yes
Name of the laboratory used to analyze any samples collected of soil, ground water or sediment	AGAT LABORATORY INC. ,ALS LABORATORIES AND MAXXAM
Ground water condition (potable, non-potable)	Non-potable
Applicable site condition standard	TABLE 3
Local or single-tier municipality non-potable written notification date	2016/06/06

Risk assessment information

A risk assessment has been prepared and accepted by the Director in support of this record of site condition?	Yes
Risk assessment identification number	4623-8UQP86
Risk assessment was a site specific risk assessment completed and approved in accordance with the Cleanup Guideline 1996?	No

Table 1 – Maximum contaminant concentrations compared to applicable site condition standards

Measured concentration for contaminants in soil

Contaminant name		Maximum concentration		Applicable site condition	Unit of measure
1	Trichlorobenzene, 1,2,4-	<	0.05	1.4	µg/g
2	Bromodichloromethane	<	0.05	13	µg/g
3	Bromoform	<	0.05	0.26	µg/g
4	Dibromochloromethane	<	0.05	9.4	µg/g
5	Electrical Conductivity		0.187	0.7	mS/cm
6	Sodium Adsorption Ratio		0.356	5	
7	Petroleum Hydrocarbons F3		178	1300	µg/g
8	Petroleum Hydrocarbons F4	<	50	5600	µg/g
9	Antimony	<	0.8	7.5	µg/g
10	Arsenic	<	7	18	µg/g
11	Selenium		0.6	2.4	µg/g
12	Acenaphthene	<	0.05	58	µg/g
13	Acenaphthylene	<	0.05	0.17	µg/g
14	Anthracene	<	0.05	0.74	µg/g
15	Benz[a]anthracene	<	0.05	0.63	µg/g
16	Benzo[a]pyrene	<	0.05	0.3	µg/g
17	Benzo[b]fluoranthene	<	0.05	0.78	µg/g
18	Benzo[ghi]perylene	<	0.05	7.8	µg/g
19	Benzo[k]fluoranthene	<	0.05	0.78	µg/g
20	Chrysene	<	0.05	7.8	µg/g
21	Dibenz[a h]anthracene	<	0.05	0.1	µg/g
22	Fluoranthene	<	0.05	0.69	µg/g
23	Fluorene	<	0.05	69	µg/g
24	Indeno[1 2 3-cd]pyrene	<	0.05	0.48	µg/g
25	Methylnaphthalene, 2-(1-) ***		3.39	3.4	µg/g
26	Phenanthrene	<	0.05	7.8	µg/g
27	Pyrene	<	0.05	78	µg/g
28	Barium		110	390	µg/g
29	Beryllium		0.9	5	µg/g
30	Boron (total)		12	120	µg/g
31	Cadmium	<	0.5	1.2	µg/g
32	Chromium Total		29	160	µg/g
33	Cobalt		13.9	22	µg/g
34	Copper		37	180	µg/g
35	Lead		27	120	µg/g

...Continued on next page

Table 1 – Maximum contaminant concentrations compared to applicable site condition standards**Measured concentration for contaminants in soil***Continued from previous page....*

Contaminant name	Maximum concentration	Applicable site condition	Unit of measure
36 Molybdenum	0.6	6.9	µg/g
37 Nickel	28	130	µg/g
38 Silver	< 0.2	25	µg/g
39 Thallium	< 0.4	1	µg/g
40 Uranium	0.8	23	µg/g
41 Vanadium	39	86	µg/g
42 Zinc	134	340	µg/g
43 Bromomethane	< 0.05	0.05	µg/g
44 Carbon Tetrachloride	< 0.05	0.12	µg/g
45 Chlorobenzene	< 0.05	2.7	µg/g
46 Chloroform	< 0.05	0.18	µg/g
47 Dichlorobenzene, 1,2-	< 0.05	4.3	µg/g
48 Dichlorobenzene, 1,3-	< 0.05	6	µg/g
49 Dichlorobenzene, 1,4-	< 0.05	0.097	µg/g
50 Dichlorodifluoromethane	< 0.05	25	µg/g
51 Dichloroethane, 1,1-	< 0.05	11	µg/g
52 Dichloroethane, 1,2-	< 0.05	0.05	µg/g
53 Dichloroethylene, 1,1-	< 0.05	0.05	µg/g
54 Dichloroethylene, 1,2-cis-	< 0.05	30	µg/g
55 Dichloroethylene, 1,2-trans-	< 0.05	0.75	µg/g
56 Dichloropropane, 1,2-	< 0.05	0.085	µg/g
57 Dichloropropene, 1,3-	0.05	0.083	µg/g
58 Ethylene dibromide	< 0.04	0.05	µg/g
59 Methyl Isobutyl Ketone	< 0.5	4.3	µg/g
60 Methyl tert-Butyl Ether (MTBE)	< 0.05	1.4	µg/g
61 Methylene Chloride	< 0.05	0.96	µg/g
62 Styrene	< 0.05	2.2	µg/g
63 Tetrachloroethane, 1,1,1,2-	< 0.05	0.05	µg/g
64 Tetrachloroethane, 1,1,1,2,2-	< 0.05	0.05	µg/g
65 Tetrachloroethylene	0.48	2.3	µg/g
66 Trichloroethane, 1,1,1-	< 0.05	3.4	µg/g
67 Trichloroethane, 1,1,2-	< 0.05	0.05	µg/g
68 Trichloroethylene	< 0.05	0.52	µg/g
69 Trichlorofluoromethane	< 0.05	5.8	µg/g
70 Vinyl Chloride	< 0.02	0.022	µg/g

Table 1 – Maximum contaminant concentrations compared to applicable site condition standards (Continued)

Ground water

Contaminant name	Maximum concentration	Applicable site condition	Unit of measure
1 Petroleum Hydrocarbons F1****	700	750	µg/L
2 Petroleum Hydrocarbons F3	< 100	500	µg/L
3 Petroleum Hydrocarbons F4	< 100	500	µg/L
4 Barium	114	29000	µg/L
5 Beryllium	< 0.5	67	µg/L
6 Boron (total)	25.9	45000	µg/L
7 Cadmium	< 0.2	2.7	µg/L
8 Chromium Total	6.7	810	µg/L
9 Cobalt	4.6	66	µg/L
10 Copper	3.4	87	µg/L
11 Lead	< 0.5	25	µg/L
12 Molybdenum	1.1	9200	µg/L
13 Nickel	12.2	490	µg/L
14 Silver	< 0.2	1.5	µg/L
15 Thallium	< 0.3	510	µg/L
16 Uranium	7.1	420	µg/L
17 Vanadium	1.6	250	µg/L
18 Zinc	15.7	1100	µg/L
19 Trichlorobenzene, 1,2,4-	< 50	850	µg/L
20 Ethylbenzene	290	2300	µg/L
21 Toluene	2,900	18000	µg/L
22 Xylene Mixture	2,830	4200	µg/L
23 Acetone	< 500	130000	µg/L
24 Bromomethane	< 50	56	µg/L
25 Chlorobenzene	< 50	630	µg/L
26 Dichlorobenzene, 1,2-	< 50	9600	µg/L
27 Dichlorobenzene, 1,3-	< 50	9600	µg/L
28 Dichlorobenzene, 1,4-	< 50	67	µg/L
29 Dichlorodifluoromethane	< 100	4400	µg/L
30 Dichloroethane, 1,1-	< 50	3100	µg/L
31 Dichloropropane, 1,2-	< 50	140	µg/L
32 Dichloropropene, 1,3-	< 3	45	µg/L
33 Hexane (n)	200	520	µg/L
34 Methyl Ethyl Ketone	< 500	1500000	µg/L
35 Methyl Isobutyl Ketone	< 500	580000	µg/L

...Continued on next page

Table 1 – Maximum contaminant concentrations compared to applicable site condition standards (Continued)**Ground water***Continued from previous page....*

Contaminant name	Maximum concentration		Applicable site condition	Unit of measure
	<			
36 Methyl tert-Butyl Ether (MTBE)	<	200	1400	µg/L
37 Methylene Chloride	<	500	5500	µg/L
38 Styrene	<	50	9100	µg/L
39 Tetrachloroethane, 1,1,1,2-	<	2.5	28	µg/L
40 Tetrachloroethane, 1,1,2,2-	<	2.5	15	µg/L
41 Trichloroethane, 1,1,1-	<	50	6700	µg/L
42 Trichloroethane, 1,1,2-	<	2.5	30	µg/L
43 Trichlorofluoromethane	<	100	2500	µg/L

See the attached "Table 2. Maximum contaminant concentrations compared to standards specified in a risk assessment" for standards specified in a risk assessment and comparison to maximum concentrations measured on, in or under the record of site condition property.

The rest of this page has been left intentionally blank

Remedial action and mitigation

Remediated soils

Estimated quantities of the soil, if any, originating at and remaining on the record of site condition property that have been remediated, at a location either on or off the property, to reduce the concentration of contaminants in the soil. Indicate the remediation process or processes used and the estimated amount of soil remediated by each identified process.

Soil remediation process	Estimated quantity of soil (in ground-volume in cubic metres)
No remedial actions were taken	0.0

Description of remediation

Description of any action taken to reduce the concentration of contaminants (including soil removals) on, in or under the record of site condition property.

None

Soil or sediment removed and not returned

Estimated quantities of soil or sediment, if any, removed from and not returned to the record of site condition property.

Estimated quantity of soil (in ground-volume in cubic metres)	0.0
Estimated quantity of sediment (in ground-volume in cubic metres)	0.0

Soil brought to the property

Estimated quantity of the soil, if any, being brought from another property to and deposited at the record of site condition property, not including any soil that may have originated at but been remediated off the record of site condition property and that is identified in section 28 of Schedule A.

Estimated quantity of soil brought to the property (in ground-volume in cubic metres)	0.0
---	-----

Ground water control or treatment measures

Ground water control or treatment measures that were required for the record of site condition property prior to the certification date for the purpose of submitting the record of site condition for filing.

None

Ground water control or treatment measures that are required for the record of site condition property after the certification date.

None

Estimated volume of ground water, if any, removed from and not returned to the record of site condition property.

Estimated volume of ground water (in litres)	0.0
--	-----

Other activities including risk management measures

Constructed works that prior to the certification date for the purpose of submitting the record of site condition for filing, were required to control or otherwise mitigate the release or movement of known existing contaminants at the record of site condition property.

None

Constructed works that after the certification date, are required to control or otherwise mitigate the release or movement of known existing contaminants at the record of site condition property.

None

Monitoring or Maintenance**Soil Management Measures**

Soil monitoring requirements or any requirements for care, maintenance or replacement or any monitoring or control works for known existing contaminants, if any, on the record of site condition property, after the certification date.

As outlined in the Risk Management Plan as incorporated in CPU #3445-9XQPHA.

Ground water management measures

Ground water monitoring requirements or requirements for care, maintenance or replacement of any monitoring or control works or known existing contaminants, if any, on the record of site condition property, after the certification date.

As outlined in the Risk Management Plan as incorporated in CPU #3445-9XQPHA.

Remediated or removed soil, sediment or ground water from near property boundary

Has any soil, sediment or ground water at the record of site condition property that is or was located within 3 metres of the record of site condition property boundary been remediated or removed for the purpose of remediation?

No

D Qualified person's statements and certifications

As the qualified person, I certify that:

A phase one environmental site assessment of the record of site condition property, which includes the evaluation of the information gathered from a records review, site reconnaissance, interviews, a report and any updates required, has been conducted in accordance with the regulation by or under the supervision of a qualified person as required by the regulation.

A phase two environmental site assessment of the record of site condition property, which includes the evaluation of the information gathered from planning and conducting a site investigation, a report, and any updates required, has been conducted in accordance with the regulation by or under the supervision of a qualified person as required by the regulation.

The information represents the site conditions at the sampling points at the time of sampling only and the conditions between and beyond the sampling points may vary.

As of 2016/02/17, in my opinion, based on the phase one environmental site assessment and the phase two environmental site assessment, and any confirmatory sampling, there is no evidence of any contaminants in the soil, ground water or sediment on, in or under the record of site condition property that would interfere with the type of property use to which the record of site condition property will be put, as specified in the record of site condition.

Ground water sampling has been conducted in accordance with the regulation by or under the supervision of a qualified person as required by the regulation.

I have, within the six months immediately before the submission of this record of site condition, given written notice of intention to apply non-potable ground water site condition standards to the clerk of the local municipality in which the property is located and the clerk of any upper-tier municipality in which the property is located.

As of 2016/02/17, in my opinion, based on the phase one and phase two environmental site assessments and any confirmatory sampling, the record of site condition property meets the applicable full depth generic site condition standards prescribed by section 37 of the regulation for all contaminants prescribed by the regulation in relation to the type of property use for which this record of site condition is filed, except for those contaminants (if any) specified in this record of site condition at Table 2, maximum contaminant concentrations compared to standards specified in a risk assessment.

As of 2016/02/17, the maximum known concentration of each contaminant in soil, sediment and ground water at the record of site condition property for which sampling and analysis has been performed is specified in this record of site condition at Table 1, maximum contaminant concentrations compared to applicable full depth generic site condition standards.

In relation to any contaminant excepted from the certification mentioned above as specified in the record of site condition at Table 2, maximum contaminant concentrations compared to standards specified in a risk assessment, or in relation to any other contaminant that in my opinion is likely to cause an adverse effect:

A risk assessment was prepared for the contaminant with respect to the property for which the phase two environmental site assessment was conducted.

The Director has accepted the risk assessment under clause 168.5 (1) (a) of the Act.

As of 2016/02/17, the property for which the phase two environmental site assessment was conducted meets the standards specified in the risk assessment for the contaminant.

I am a qualified person and have the qualifications required by section 5 of the regulation.

I have in place an insurance policy that satisfies the requirements of section 7 of the regulation.

I acknowledge that the record of site condition will be submitted for filing in the Environmental Site Registry, that records of site condition that are filed in the Registry are available for examination by the public and that the Registry contains a notice advising users of the Registry who have dealings with any property to consider conducting their own due diligence with respect to the environmental condition of the property, in addition to reviewing information in the Registry.

The opinions expressed in this record of site condition are engineering or scientific opinions made in accordance with generally accepted principles and practices as recognized by members of the environmental engineering or science profession or discipline practising at the same time and in the same or similar location.

or science profession or discipline practising at the same time and in the same or similar location.

I do not hold and have not held and my employer G2S ENVIRONMENTAL CONSULTING INC.

does not hold and has not held a direct or indirect interest in the record of site condition property or any property which includes the record of site condition property and was the subject of a phase one or environmental site assessment or risk assessment upon which this record of site condition is based.

To the best of my knowledge, the certifications and statements in this part of the record of site condition are true as of 2016/02/17.

By signing this record of site condition, I make no express or implied warranties or guarantees.

By checking the boxes above, and entering my membership/licence number in this submission, I, GEOFF MURRAY BELL, a qualified person as defined in section 5 of O. Reg. 153/04 am, on 2016/06/27:

- a) signing this record of site condition submission as a qualified person; and
- b) making all certifications required as a qualified person for this record of site condition.

I agree

Additional documentation provided by property owner or agent

The following documents have been submitted to the Ministry of the Environment and Climate Change as part of the record of site condition

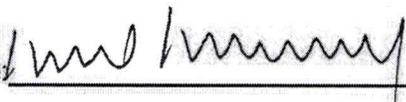
Certificate of status or equivalent for the owner
Lawyer's letter consisting of a legal description of the property
Copy of any deed(s), transfer(s) or other document(s) by which the record of site condition property was acquired
A Current plan of survey
Property specific standards
A copy of no objection statement from municipality
Area(s) of potential environmental concern
Table of current and past uses of the phase one property
Phase 2 conceptual site model
Owner or agent certification statements

8.1.2

As an owner:

1. I acknowledge that the record of site condition will be submitted for filing in the Environmental Site Registry, that records of site condition that are filed in the Registry are available for examination by the public and that the Registry contains a notice advising users of the Registry who have dealings with any property to consider conducting their own due diligence with respect to the environmental condition of the property, in addition to reviewing information in the Registry.
2. I have conducted reasonable inquiries to obtain all information relevant to this record of site condition, including information from the other current owners of the record of site condition property named in this part of the record of site condition and I have obtained all information relevant to this record of site condition of which I am aware.
3. I have disclosed all information referred to in paragraph 2 to any qualified person named in this record of site condition.
4. To my knowledge, the statements made in this part of the record of site condition are true as of June 24 2016
5. I have ensured that access to the entire property, including the phase one property, any phase two property and the record of site condition property, has been afforded to the qualified person and to persons supervised by the qualified person, for purposes of conducting the site reconnaissance.

Name of owner: 1649626 Ontario Inc.

Signature: 

Date signed: June 24 2016

Name of person signing: David Horwood

I, David Horwood am authorized to and hereby do bind 1649626 Ontario Inc.



Hamilton

COMMITTEE OF ADJUSTMENT

City Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5
 Telephone (905) 546-2424, ext. 4221, 3935 Fax (905) 546-4202
 E-mail: cofa@hamilton.ca

NOTICE OF PUBLIC HEARING **Minor Variance**

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
- Applicant/agent on file, or
- Person likely to be interested in this application

APPLICATION NO.: HM/A-20:120

APPLICANTS: Owner: Nikolas Wagner
Agent: Katerina Semenova

SUBJECT PROPERTY: Municipal address **54 Robins Ave., Hamilton**

ZONING BY-LAW: Zoning By-law 6593, as Amended

ZONING: D (Urban Protected Residential - One and Two Family Dwellings) district

PROPOSAL: To permit the construction of a full 2nd storey addition to the existing 1½ storey single family dwelling notwithstanding that;

1. A minimum front yard depth of 3.1 m shall be provided instead of the minimum required 6.0 m; and
2. A minimum northerly side yard width of 0.3 m shall be provided instead of the minimum required 1.2 m; and
3. A minimum southerly side yard width of 1.0 m shall be provided instead of the minimum required 1.2 m; and
4. Eaves and gutters shall be permitted to encroach the entire width of the northerly side lot line for the proposed second storey addition instead of the maximum permitted encroachment of one half of the required side yard.

Notes:

No details on the existing 50 % front yard landscaped area have been provided. Applicant shall ensure that the 50 % of the front yard landscaping is maintained or further variances may be required.

No details of the total number of habitable rooms (existing and proposed) have been provided with the application; therefore, if the total number of habitable rooms exceeds 8 then further variances for parking shall be required.

This application will be heard by the Committee as shown below:

DATE: Thursday, August 6th, 2020
TIME: 2:05 p.m.
PLACE: Via video link or call in (see attached sheet for details)
To be streamed at www.hamilton.ca/committeeofadjustment for viewing purposes only

HM/A-20:120

Page 2

PUBLIC INPUT

Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

Orally: If you would like to speak to this item at the hearing you may do so via video link or by calling in. Please see attached page for complete instructions, including deadlines for registering to participate.

MORE INFORMATION

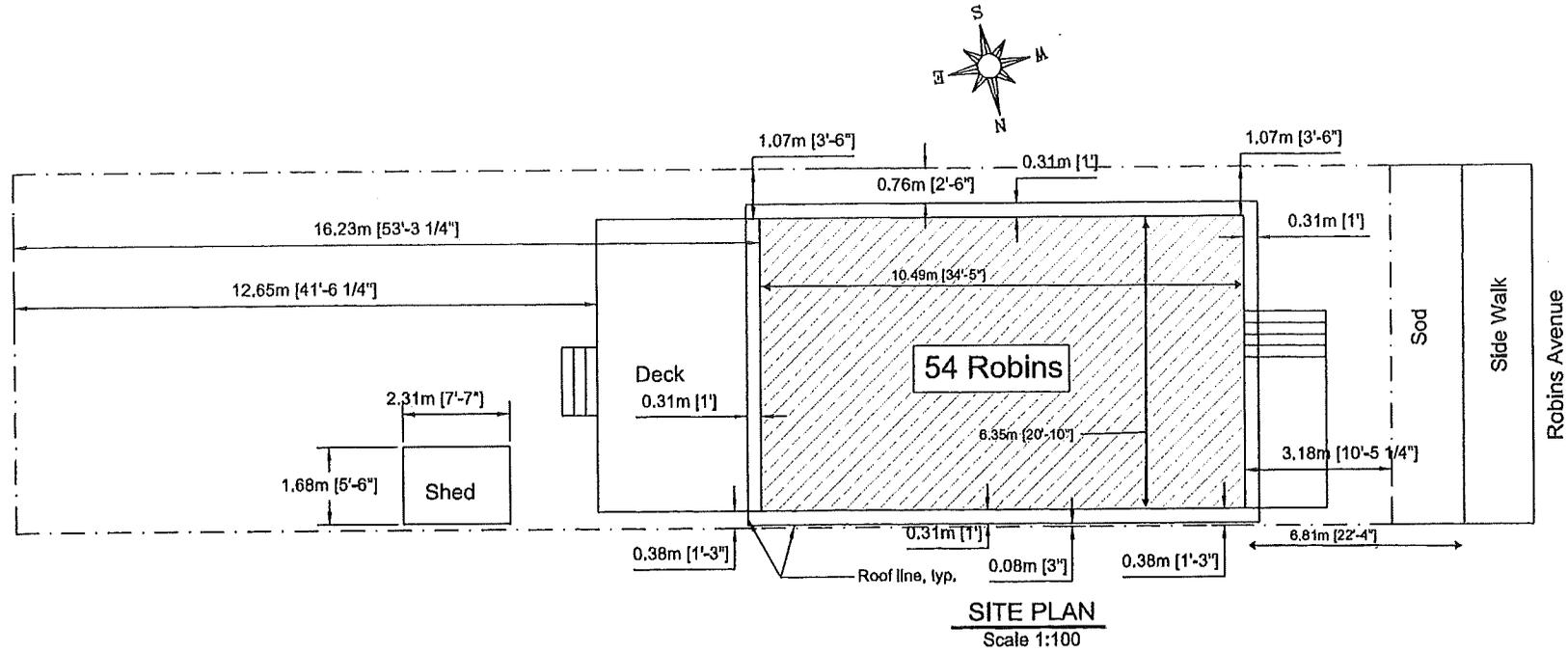
For more information on this matter, including access to drawings illustrating this request:

- Visit www.hamilton.ca/committeeofadjustment
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935
- Email Committee of Adjustment staff at cofa@hamilton.ca

DATED: July 21st, 2020

Jamila Sheffield,
Secretary-Treasurer
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public.



ZONING REQUIREMENTS:

ZONING CATEGORY: RESIDENTIAL ZONE D

BUILDING AND SITE STATISTICS

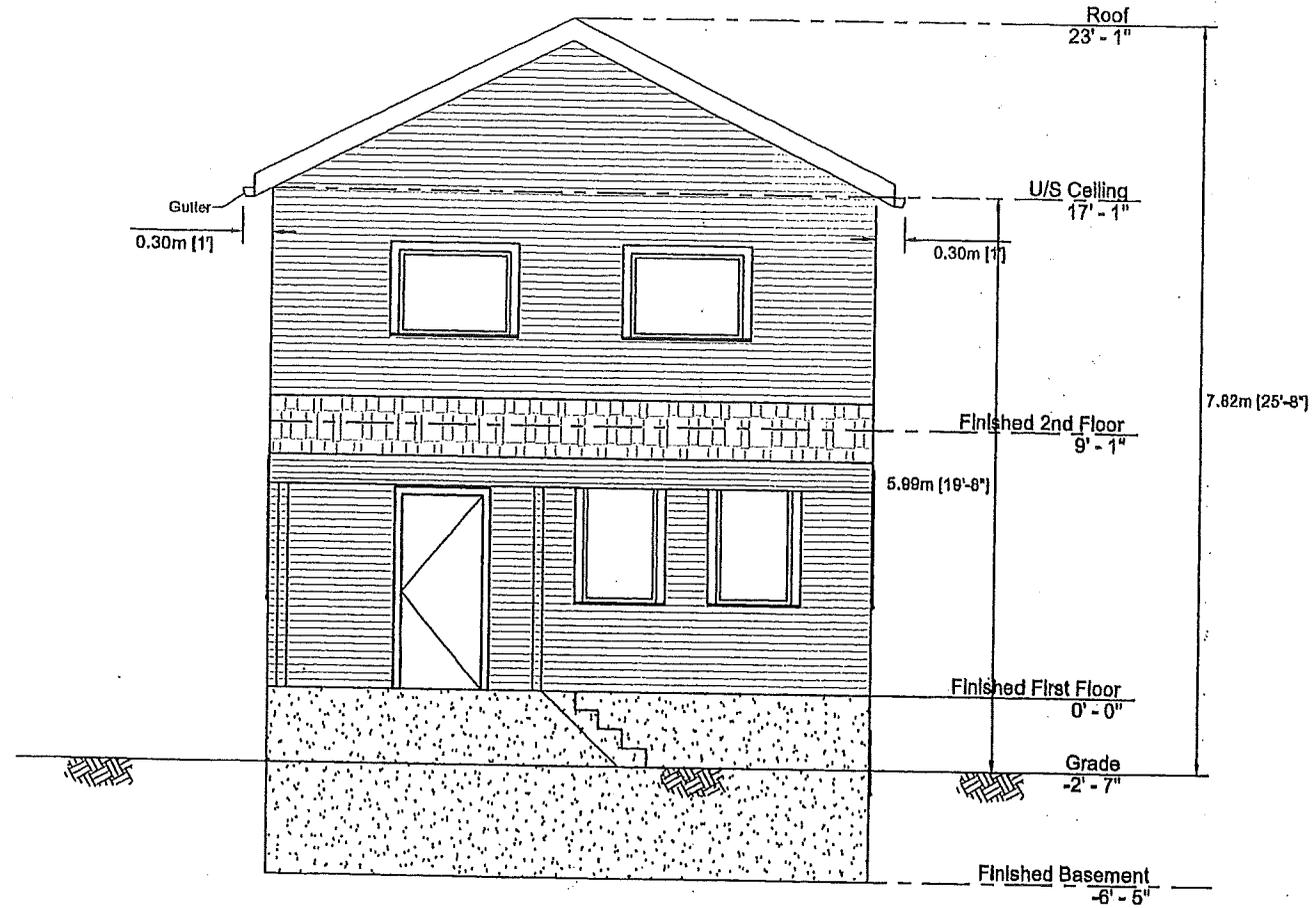
LOT AREA = 233.15 m²

BUILDING HEIGHT = 7.72 m (MAX. 14 m)

GROSS FLOOR AREA				
	Existing (m ²)	Proposed (m ²)	Total (m ²)	%
GROUND FLOOR	66.61	-	66.61	
SECOND FLOOR	55.32	11.29	66.61	
TOTAL	121.93	11.29	133.22	57.1

PROJECT:
54 Robins Avenue,
Hamilton, Ontario

Hm/A-20:120



West View
Scale 1:50

Spatial Separation Between Houses
 Wall Area = 33.07m²
 The house set back 3.18m
 Percentage of Opening Allowed (OBC 9.10.15.4) = (23%)
 Opening Area Allowed = 7.61 m²
 Opening Area (above grade) = 4.12m²

ENGINEER SEAL:

No.	Revision/Issue	Date

PROJECT:
 54 Roblins Avenue,
 Hamilton, Ontario

TITLE:
 West View

SauzTeq
 Engineering Inc.
 www.SauzTeq.ca
 Tel: 905-330-2431
 Email: info@sauzteq.ca

SCALE:	DRAWING NO.
DESIGNED BY:	S2.01
APPROVED BY:	

20-172158



Hamilton

Planning and Economic Development Department
Planning Division

Committee of Adjustment
City Hall
5th floor 71 Main Street West
Hamilton, Ontario L8P 4Y5

Phone (905) 546-2424 ext.4221
Fax (905) 546-4202

PLEASE FILL OUT THE FOLLOWING PAGES AND
RETURN TO THE CITY OF HAMILTON PLANNING
DEPARTMENT.

FOR OFFICE USE ONLY.

APPLICATION NO. Hm/A 20:120 DATE APPLICATION RECEIVED June 15/20

PAID _____ DATE APPLICATION DEEMED COMPLETE _____

SECRETARY'S SIGNATURE _____

CITY OF HAMILTON
COMMITTEE OF ADJUSTMENT
HAMILTON, ONTARIO

The Planning Act

Application for Minor Variance or for Permission

The undersigned hereby applies to the Committee of Adjustment for the City of Hamilton under Section 45 of the *Planning Act*, R.S.O. 1990, Chapter P.13 for relief, as described in this application, from the Zoning By-law.

- Name of Owner Nikolas Wagner Telephone No.
-
- Name of Agent KATERINA SEMENOVA Telephone No.
-

Note: Unless otherwise requested all communications will be sent to the agent, if any.

- Names and addresses of any mortgagees, holders of charges or other encumbrances:
Ukrainian Credit Union. 145 Evans Ave, Ste 300,
TORONTO ON Postal Code M6Z 5X8
10228796 Canada Ltd. 539 Helington Ave,
York ON Postal Code M6C 3A6

6. Nature and extent of relief applied for:
To build a 2-storey addition with an existing building footprint that is less than 1.2m from property lines on either - left and right sides. Also, variance is needed for the front yard setback.
7. Why it is not possible to comply with the provisions of the By-law?
As per Hamilton Zoning By-Law 6593, Zoning "D" (Urban Protected Residential), each building must be setback 1.2m from the side property lines and 0.6m from the front property line, whereas the subject property is 1.07m & 0.38m on the sides, and 3.18 on the front.
8. Legal description of subject lands (registered plan number and lot number or other legal description and where applicable, street and street number):
Part Lot 2, Plan 395
54 Robins Ave, Hamilton ON, L8H 4N2
9. PREVIOUS USE OF PROPERTY
- Residential Industrial Commercial
Agricultural Vacant
Other _____
- 9.1 If Industrial or Commercial, specify use
N/A
- 9.2 Has the grading of the subject land been changed by adding earth or other material, i.e. has filling occurred?
Yes No Unknown
- 9.3 Has a gas station been located on the subject land or adjacent lands at any time?
Yes No Unknown
- 9.4 Has there been petroleum or other fuel stored on the subject land or adjacent lands?
Yes No Unknown
- 9.5 Are there or have there ever been underground storage tanks or buried waste on the subject land or adjacent lands?
Yes No Unknown
- 9.6 Have the lands or adjacent lands ever been used as an agricultural operation where cyanide products may have been used as pesticides and/or sewage sludge was applied to the lands?
Yes No Unknown
- 9.7 Have the lands or adjacent lands ever been used as a weapon firing range?
Yes No Unknown
- 9.8 Is the nearest boundary line of the application within 500 metres (1,640 feet) of the fill area of an operational/non-operational landfill or dump?
Yes No Unknown

9.9 If there are existing or previously existing buildings, are there any building materials remaining on site which are potentially hazardous to public health (eg. asbestos, PCB's)?

Yes No Unknown

9.10 Is there any reason to believe the subject land may have been contaminated by former uses on the site or adjacent sites?

Yes No Unknown

9.11 What information did you use to determine the answers to 9.1 to 9.10 above?

Information from real estate agent and known history.

9.12 If previous use of property is industrial or commercial or if YES to any of 9.2 to 9.10, a previous use inventory showing all former uses of the subject land, or if appropriate, the land adjacent to the subject land, is needed.

Is the previous use inventory attached? Yes No

ACKNOWLEDGEMENT CLAUSE

I acknowledge that the City of Hamilton is not responsible for the identification and remediation of contamination on the property which is the subject of this Application – by reason of its approval to this Application.

May 27 2020
Date



Signature of Property Owner

Nikolas Wagner

Print Name of Owner

10. Dimensions of lands affected:

Frontage 25 ft
Depth 100 ft
Area 2500 ft
Width of street 2 lane residential street

11. Particulars of all buildings and structures on or proposed for the subject lands: (Specify ground floor area, gross floor area, number of stories, width, length, height, etc.)

Existing: ground floor = 66.61 m²; second floor = 55.32 m²
gross floor area = 121.93 m²; 1 1/2 storeys.
width = 6.35 m; L = 10.49 m; H = 7.72 m

Proposed: ground floor = 66.61 m²; second floor = 66.61 m²;
gross floor area = 133.22 m²; 2 storeys.
width = 6.35 m; Length = 10.49 m; Height = 7.04 m.

12. Location of all buildings and structures on or proposed for the subject lands; (Specify distance from side, rear and front lot lines)

Existing: 6.81 m from side walk to house.
0.38 m from left property line.
1.07 m from right property line
16.23 m from rear.

Proposed: No change.

13. Date of acquisition of subject lands:
April 17/2020

14. Date of construction of all buildings and structures on subject lands:
None - approx. 1920; Shed - unknown.

15. Existing uses of the subject property:
Residential - single family detached dwelling

16. Existing uses of abutting properties:
Residential - single family detached dwelling

17. Length of time the existing uses of the subject property have continued:
Approximately 100 years

18. Municipal services available: (check the appropriate space or spaces)
Water Connected
Sanitary Sewer Connected
Storm Sewers

19. Present Official Plan/Secondary Plan provisions applying to the land:
Neighbourhoods.

20. Present Restricted Area By-law (Zoning By-law) provisions applying to the land:
Zoning "D" - Urban Protected Residential One and Two Family Dwellings.

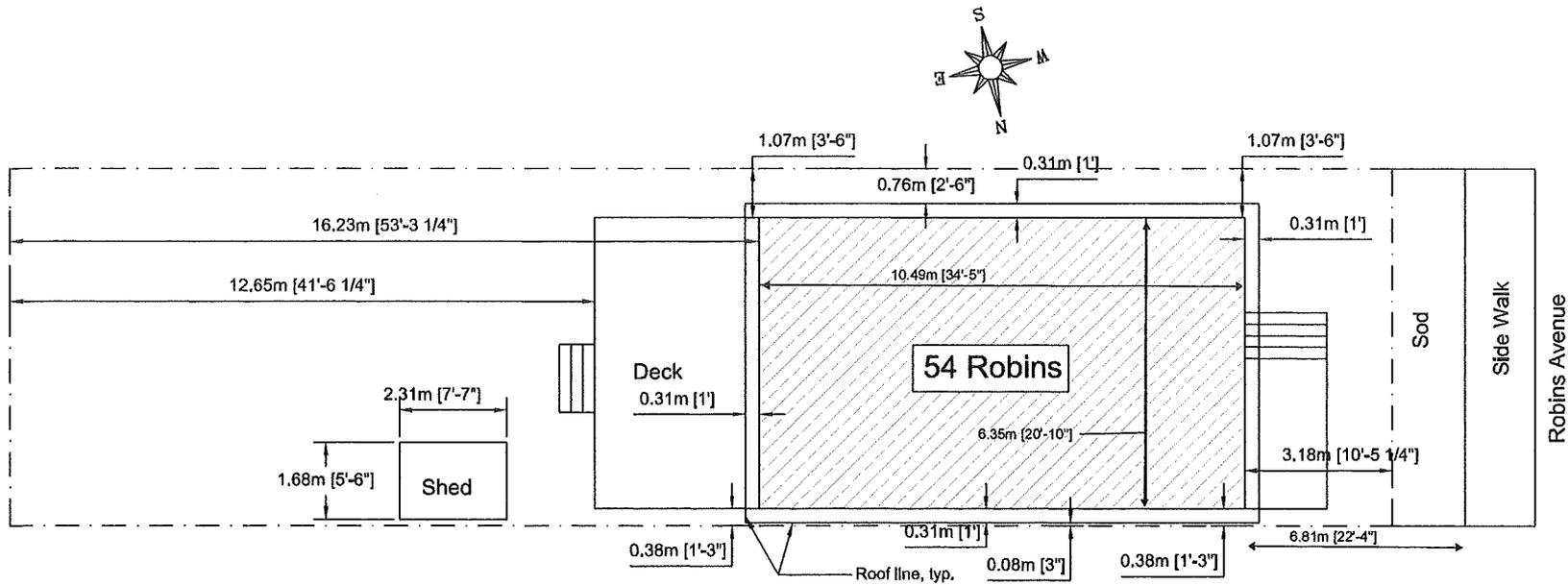
21. Has the owner previously applied for relief in respect of the subject property?
Yes No

If the answer is yes, describe briefly.
N/A

22. Is the subject property the subject of a current application for consent under Section 53 of the Planning Act?
Yes No

23. The applicant shall attach to each copy of this application a plan showing the dimensions of the subject lands and of all abutting lands and showing the location, size and type of all buildings and structures on the subject and abutting lands, and where required by the Committee of Adjustment such plan shall be signed by an Ontario Land Surveyor.

NOTE: It is required that two copies of this application be filed with the secretary-treasurer of the Committee of Adjustment together with the maps



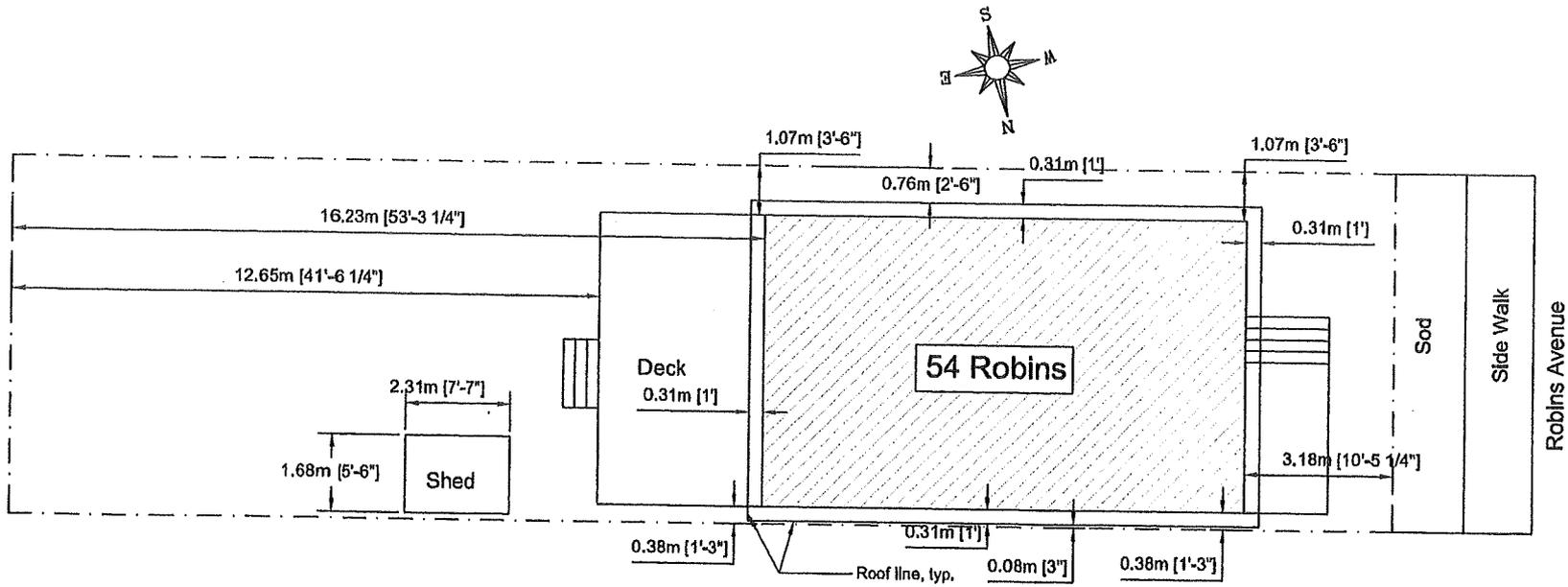
SITE PLAN
Scale 1:100

ZONING REQUIREMENTS:
 ZONING CATEGORY: RESIDENTIAL ZONE D
 BUILDING AND SITE STATISTICS
 LOT AREA = 233.15 m²
 BUILDING HEIGHT = 7.72 m (MAX. 14 m)

GROSS FLOOR AREA				
	Existing (m ²)	Proposed (m ²)	Total (m ²)	%
GROUND FLOOR	66.61	-	66.61	
SECOND FLOOR	55.32	11.29	66.61	
TOTAL	121.93	11.29	133.22	57.1

PROJECT:
 54 Robins Avenue,
 Hamilton, Ontario

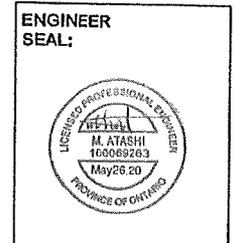
Hm/A-20:120



SITE PLAN
Scale 1:100

ZONING REQUIREMENTS:
 ZONING CATEGORY: RESIDENTIAL ZONE D
 BUILDING AND SITE STATISTICS
 LOT AREA = 233.15 m²
 BUILDING HEIGHT = 7.72 m (MAX. 14 m)

GROSS FLOOR AREA				
	Existing (m ²)	Proposed (m ²)	Total (m ²)	%
GROUND FLOOR	66.61	-	66.61	
SECOND FLOOR	55.32	11.29	66.61	
TOTAL	121.93	11.29	133.22	57.1



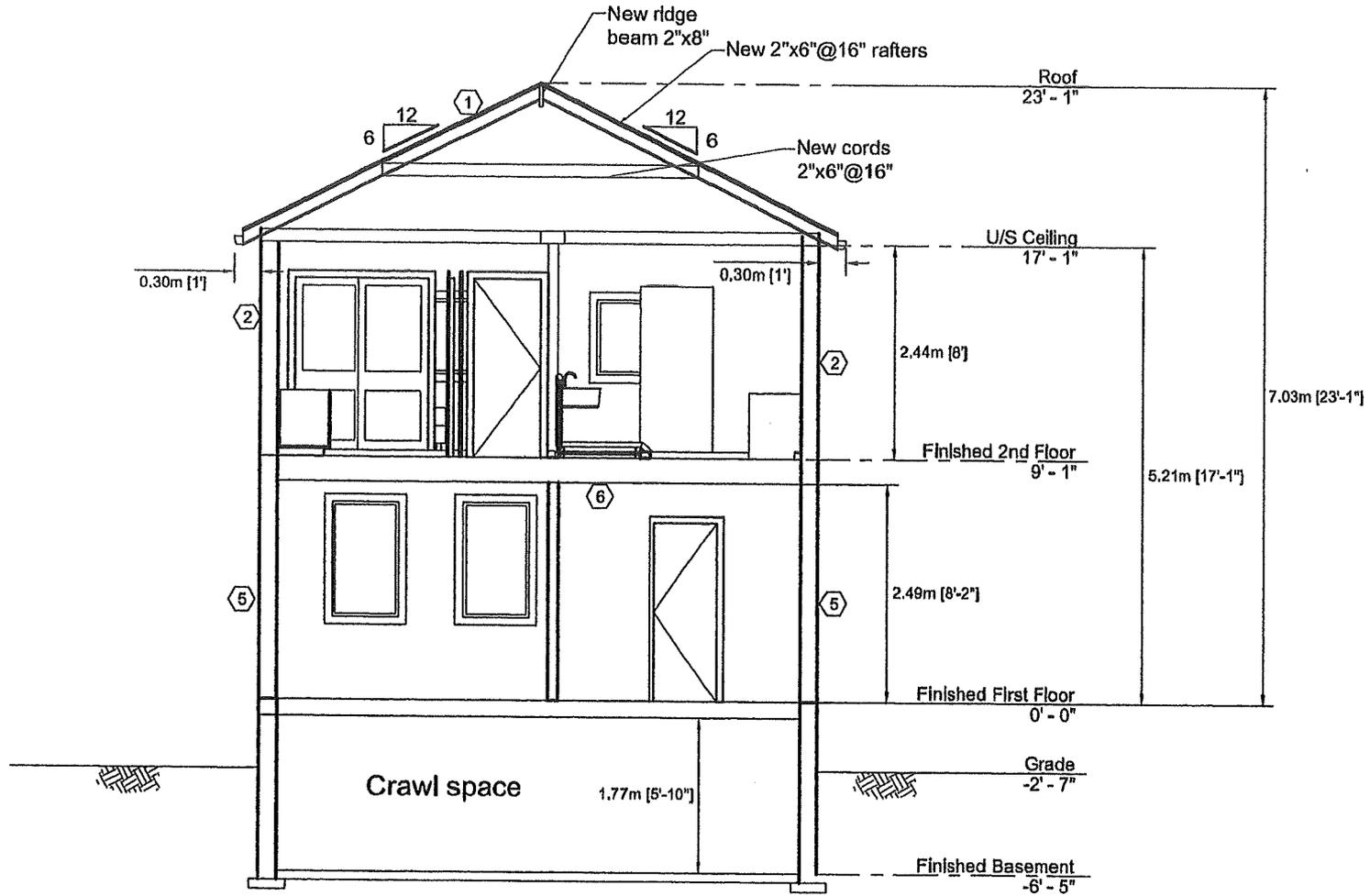
No.	Revision/Issue	Date

PROJECT:
 54 Robins Avenue,
 Hamilton, Ontario

TITLE:
 Site Plan

SauzTeq Engineering Inc.
 www.Sauzteq.ca
 Tel: 905-330-2431
 Email: info@sauzteq.ca

SCALE:	DRAWING NO.
DESIGNED BY:	SP1.01
APPROVED BY:	



Section A
Scale 1:50

ENGINEER SEAL:

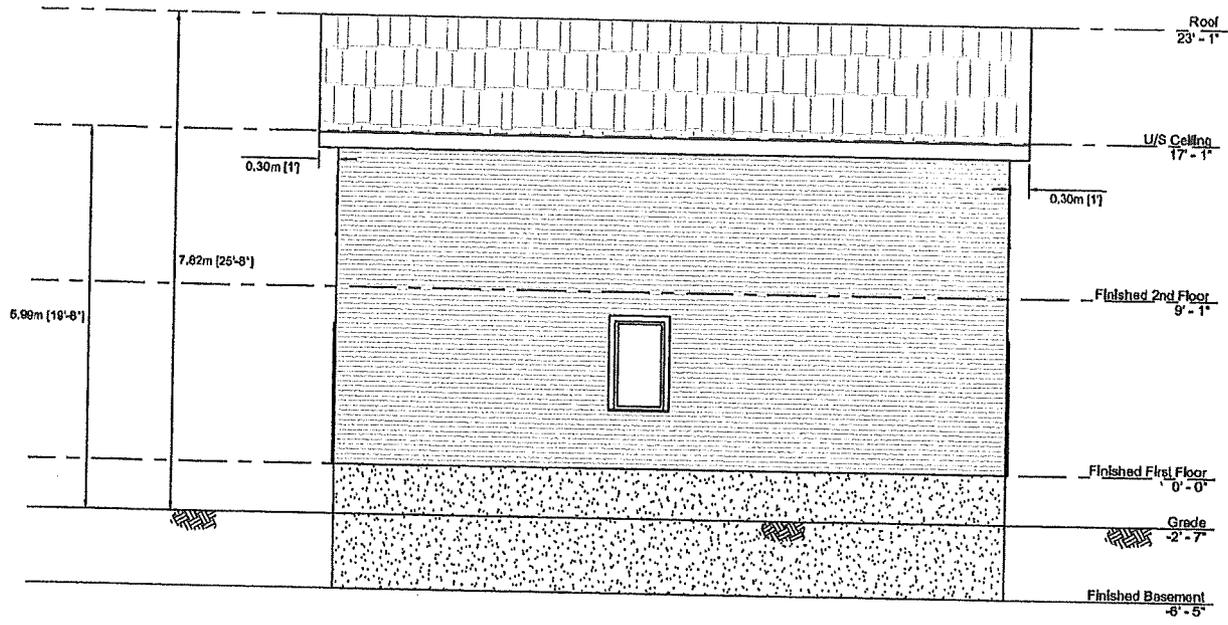
No.	Revision/Issue	Date

PROJECT:
54 Roblins Avenue,
Hamilton, Ontario

TITLE:
Section A

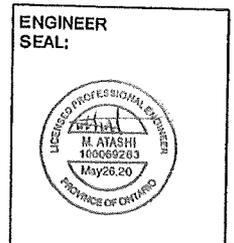
SauzTeq Engineering Inc.
www.Sauzteq.ca
Tel: 905-330-2431
Email: info@sauzteq.ca

SCALE:	DRAWING NO.
DESIGNED BY:	S4.01
APPROVED BY:	



Spatial Separation Between Houses
There is no new opening in the wall

North View
Scale 1:75



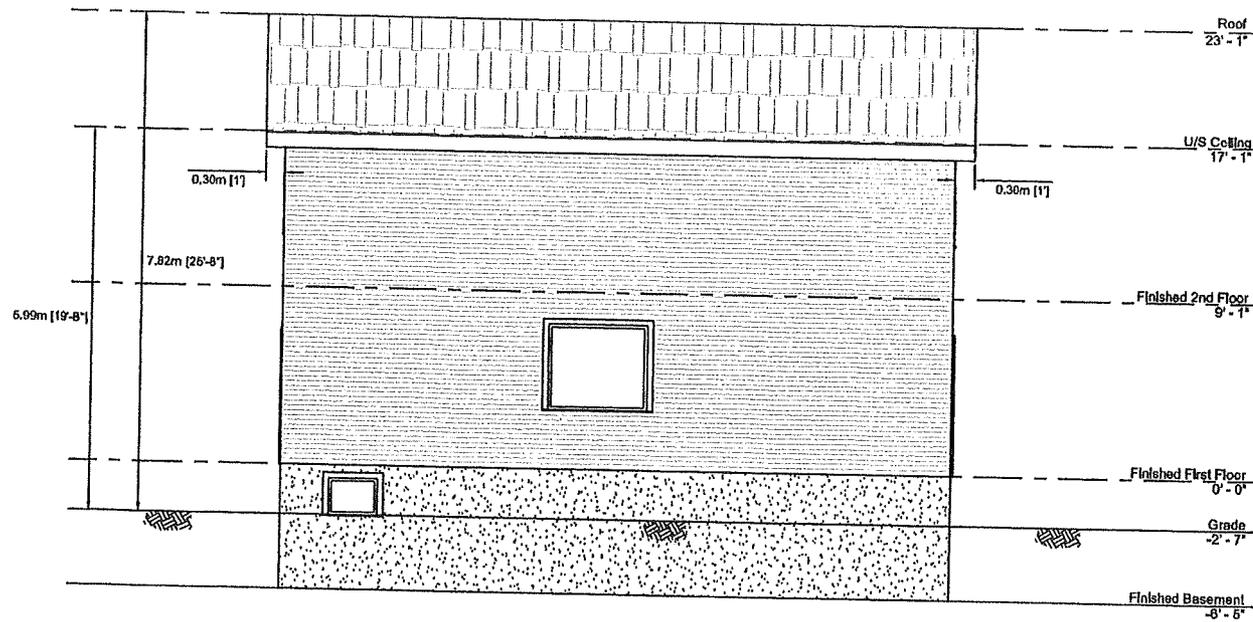
No.	Revision/Issue	Date

PROJECT:
54 Robins Avenue,
Hamilton, Ontario

TITLE:
North View

SauzTeq Engineering Inc.
www.Sauzteq.ca
Tel: 905-330-2431
Email: info@sauzteq.ca

SCALE:	DRAWING NO.
DESIGNED BY:	S2.04
APPROVED BY:	



Spedal Separation Between Houses
There is no new opening in the wall

South View
Scale 1:75

ENGINEER SEAL:

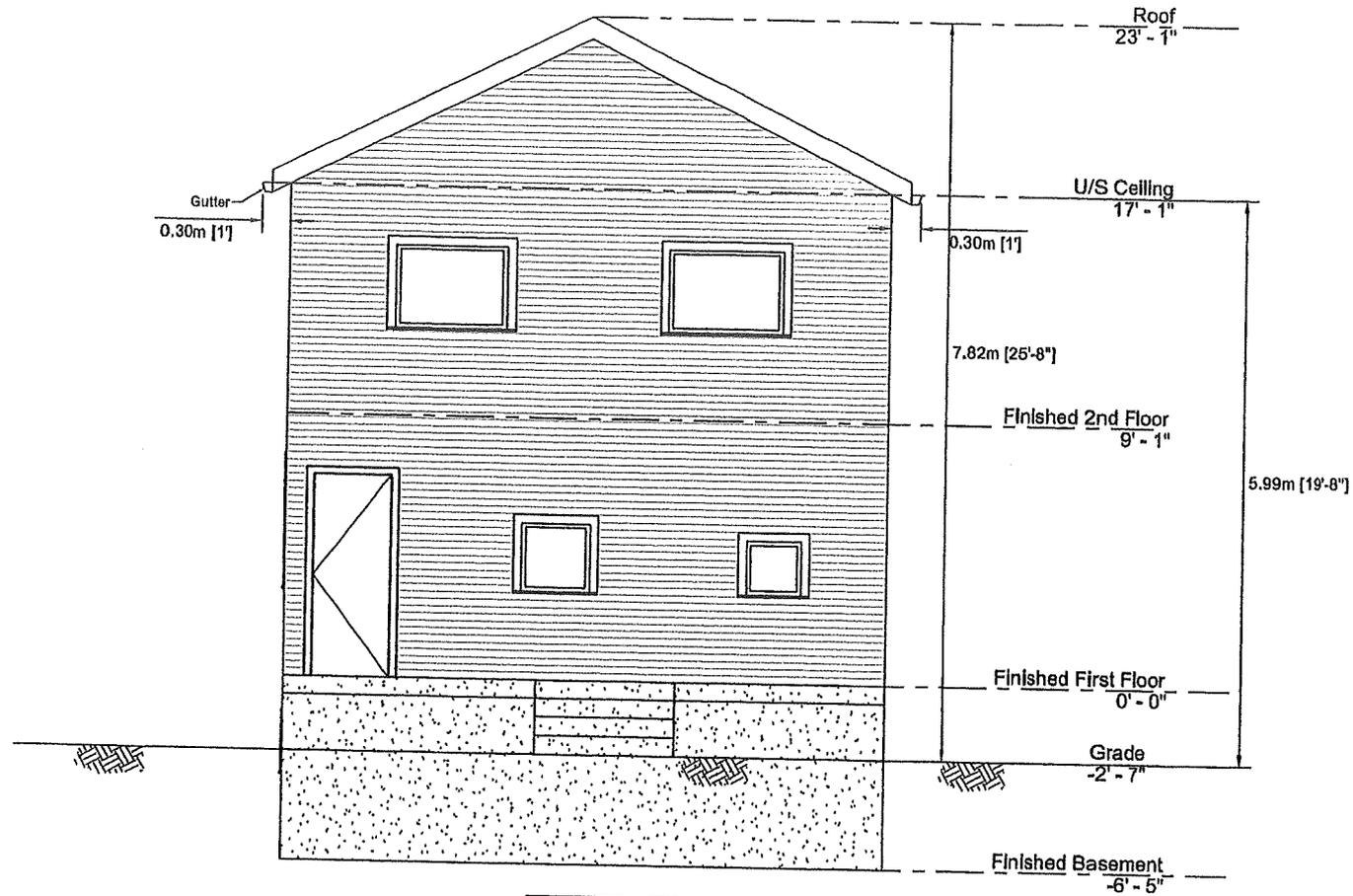
No.	Revisor/Issue	Date

PROJECT:
54 Robins Avenue,
Hamilton, Ontario

TITLE:
South View

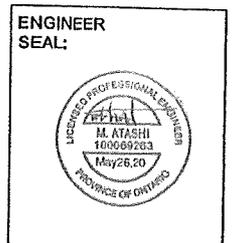
SauzTeq Engineering Inc.
www.Sauzteq.ca
Tel: 905-330-2431
Email: info@sauzteq.ca

SCALE:	DRAWING NO.
DESIGNED BY:	S2.03
APPROVED BY:	



East View
Scale 1:50

Spatial Separation Between Houses
 Wall Area = 33.07m²
 The house set back 16.23m
 Percentage of Opening Allowed (OBC 9.10.15.4) = (100%)
 Opening Area Allowed = 33.07 m²
 Opening Area (above grade) = 3.11m²



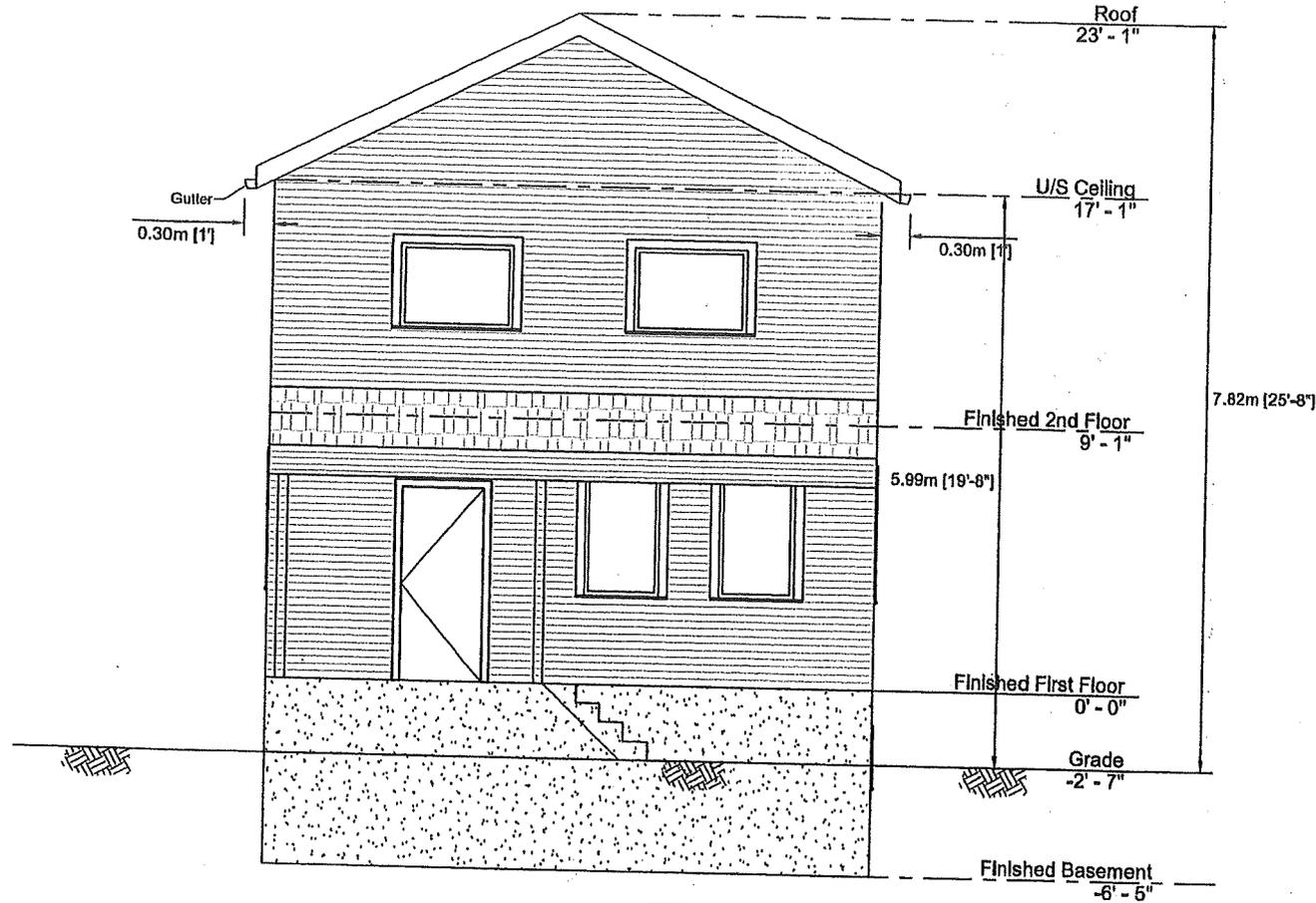
No.	Revisions/Issue	Date

PROJECT:
 54 Robins Avenue,
 Hamilton, Ontario

TITLE:
 East View

SauzTeq Engineering Inc.
 www.Sauzteq.ca
 Tel: 905-330-2431
 Email: info@sauzteq.ca

SCALE:	DRAWING NO.
DESIGNED BY:	S2.02
APPROVED BY:	



West View
Scale 1:50

Spatial Separation Between Houses
 Wall Area = 33.07m²
 The house set back 3.18m
 Percentage of Opening Allowed (OBC 9.10.15.4) = (23%)
 Opening Area Allowed = 7.61 m²
 Opening Area (above grade) = 4.12m²

ENGINEER SEAL:

No.	Revision/Issue	Date

PROJECT:
 54 Roblins Avenue,
 Hamilton, Ontario

TITLE:
 West View

SauzTeq
 Engineering Inc.
 www.SauzTeq.ca
 Tel: 905-330-2431
 Email: info@sauzteq.ca

SCALE:	DRAWING NO.
DESIGNED BY:	S2.01
APPROVED BY:	



Hamilton

COMMITTEE OF ADJUSTMENT

City Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5

Telephone (905) 546-2424, ext. 4221 Fax (905) 546-4202

E-mail: cofa@hamilton.ca

NOTICE OF PUBLIC HEARING
Minor Variance

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
- Applicant/agent on file, or
- Person likely to be interested in this application

APPLICATION NO.: HM/A-19:462

APPLICANTS: Owner: LJM Developments Inc. c/o Liaquat Mian
Agent: A.J. Clarke & Associates Ltd. c/o Franz Kloibhofer

SUBJECT PROPERTY: Municipal address **2782 Barton St. E., Hamilton**

ZONING BY-LAW: Zoning By-law 6593, as Amended

ZONING: E-3/S-306c district (High Density Multiple Dwelling)

PROPOSAL: To permit the construction of a 15-storey mixed use building containing commercial uses on the ground floor and 244 dwelling units above notwithstanding that:

1. A building height of 50.0m and fifteen storeys shall be provided instead of the maximum permitted building height of 41.5m and 13 storeys.
2. A maximum floor area ratio of 3.3 shall be permitted instead of the maximum 3.15 floor area ratio permitted.
3. No visual barrier shall be provided along the southerly and westerly property lines whereas the by-law requires a visual barrier to be provided along the boundary of the lot abutting the residential district.
4. One (1) loading space shall be provided instead of the minimum required two (2) loading spaces.
5. A loading space size of 13.0m x 4.0m shall be provided instead of the minimum required loading space size of 13.0m x 6.0m.

NOTES:

- i. These variances are necessary to facilitate Site Plan Control Application DA-20-026.
- ii. A variance was requested to permit a reduced westerly side yard however it does not appear that this variance is required. The westerly side yard setback conforms as shown on the submitted site plan.
- iii. This property abuts a residential district to the west and south. Be advised that a landscaped area with planting strip are required to be provided between the parking area and the abutting residential district. Insufficient information has been provided to determine zoning compliance.

.../2

HM/A-19:462
Page 2

This application will be heard by the Committee as shown below:

DATE: Thursday, August 6th, 2020
TIME: 2:10 p.m.
PLACE: Via video link or call in (see attached sheet for details)
To be streamed at www.hamilton.ca/committeeofadjustment for viewing purposes only

PUBLIC INPUT

Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

Orally: If you would like to speak to this item at the hearing you may do so via video link or by calling in. Please see attached page for complete instructions, including deadlines for registering to participate.

MORE INFORMATION

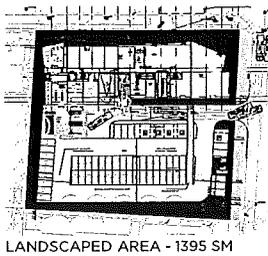
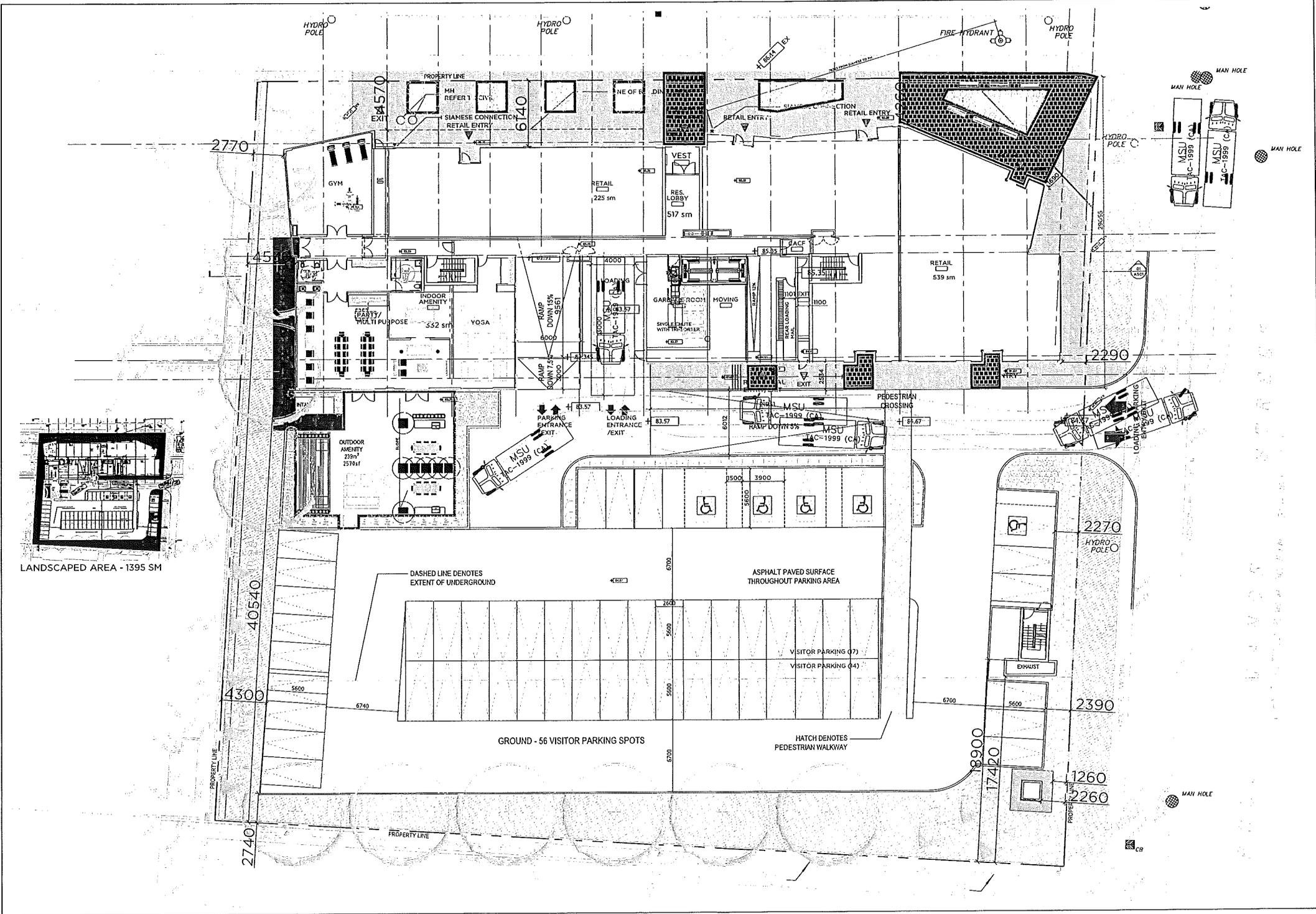
For more information on this matter, including access to drawings illustrating this request:

- Visit www.hamilton.ca/committeeofadjustment
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935
- Email Committee of Adjustment staff at cofa@hamilton.ca

Dated: July 21, 2020

Jamila Sheffield,
Secretary-Treasurer
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public.



This drawing is the property of the Architect and may not be reproduced or used without the express consent of the Architect. The Contractor is responsible for checking and verifying all levels and dimensions to the Architect and obtain clarification prior to commencing work.

ISSUED RECORD

- 2016.12.07 - ISSUED FOR ZBA
- 2016.09.28 - ISSUED FOR REVISIONS
- 2016.10.24 - ZBA RE-SUBMISSION
- 2017.02.14 - ZBA RE-SUBMISSION
- 2017.02.27 - ISSUED FOR SPA
- 2017.05.18 - ZBA+SPA RE-SUBMISSION
- 2017.11.06 - SPA RE-SUBMISSION
- 2018.02.02 - SPA RE-SUBMISSION

REVISION RECORD



RAW

405-317 ADELAIDE STREET WEST
 TORONTO CANADA M5V 1P9
 +1 416 599 9725
 WWW.RAWDESIGN.CA

16073

2782 BARTON STREET
 HAMILTON, ON

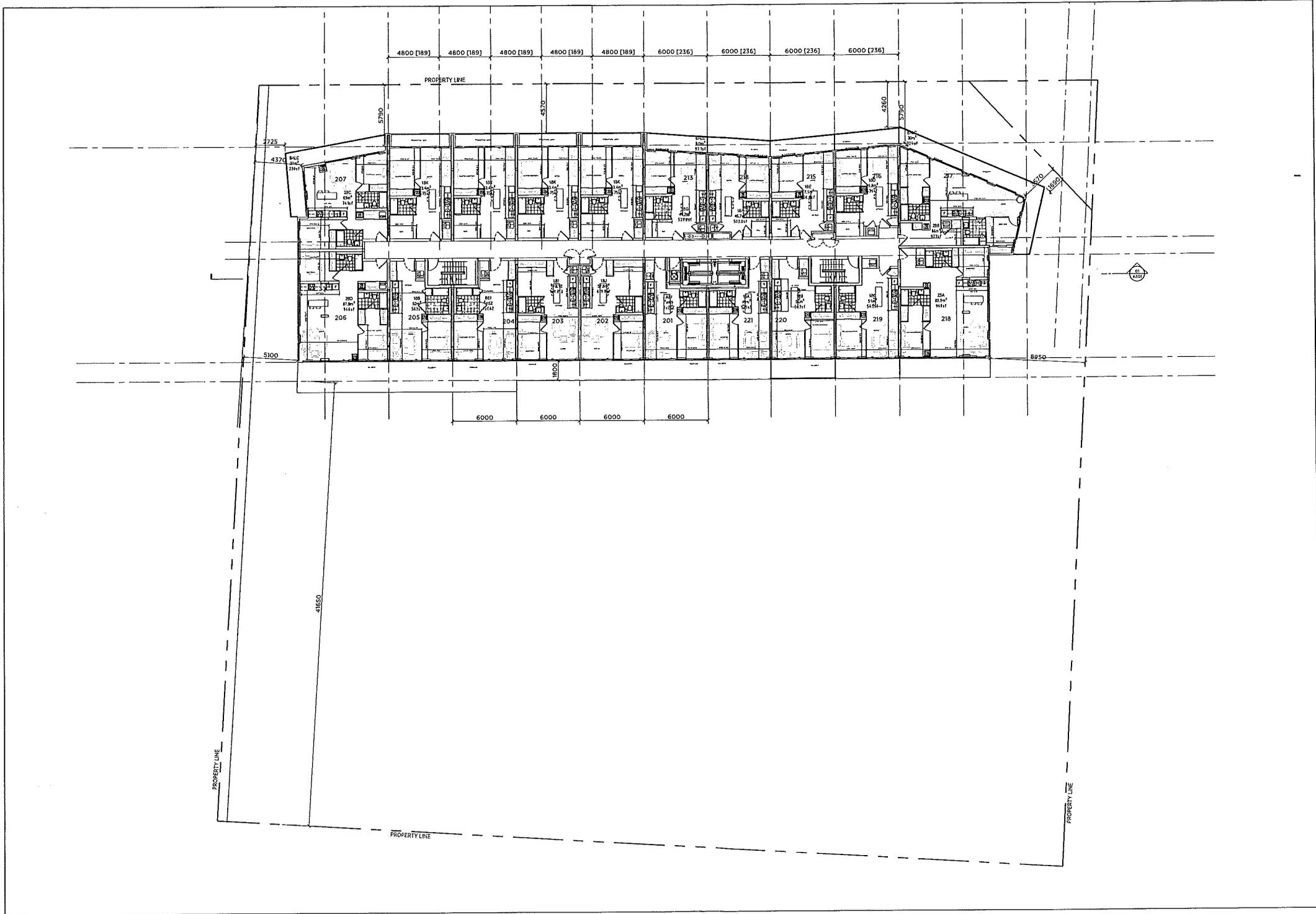
LJM Developments

GROUND PLAN

1:150

A201

HM/A-19-462



This drawing is the property of the Architect and may not be reproduced or used without the express consent of the Architect. The Contractor is responsible for checking and verifying all levels and dimensions and shall report all discrepancies to the Architect and obtain clarification prior to commencing work.

- ISSUED RECORD**
- 2015.12.07 - ISSUED FOR ZBA
 - 2016.09.28 - ISSUED FOR REVISIONS
 - 2016.10.24 - ZBA RE-SUBMISSION
 - 2017.02.14 - ZBA RE-SUBMISSION
 - 2017.02.27 - ISSUED FOR SPA
 - 2017.05.18 - ZBA-SPA RE-SUBMISSION
 - 2017.11.08 - SPA RE-SUBMISSION
 - 2018.02.02 - SPA RE-SUBMISSION

REVISION RECORD



NORTH

RAW

405-317 ADELAIDE STREET WEST
TORONTO CANADA M5V 1P9
416.593.9725
WWW.RAWDESIGN.CA

16073

2782 BARTON STREET
HAMILTON, ON

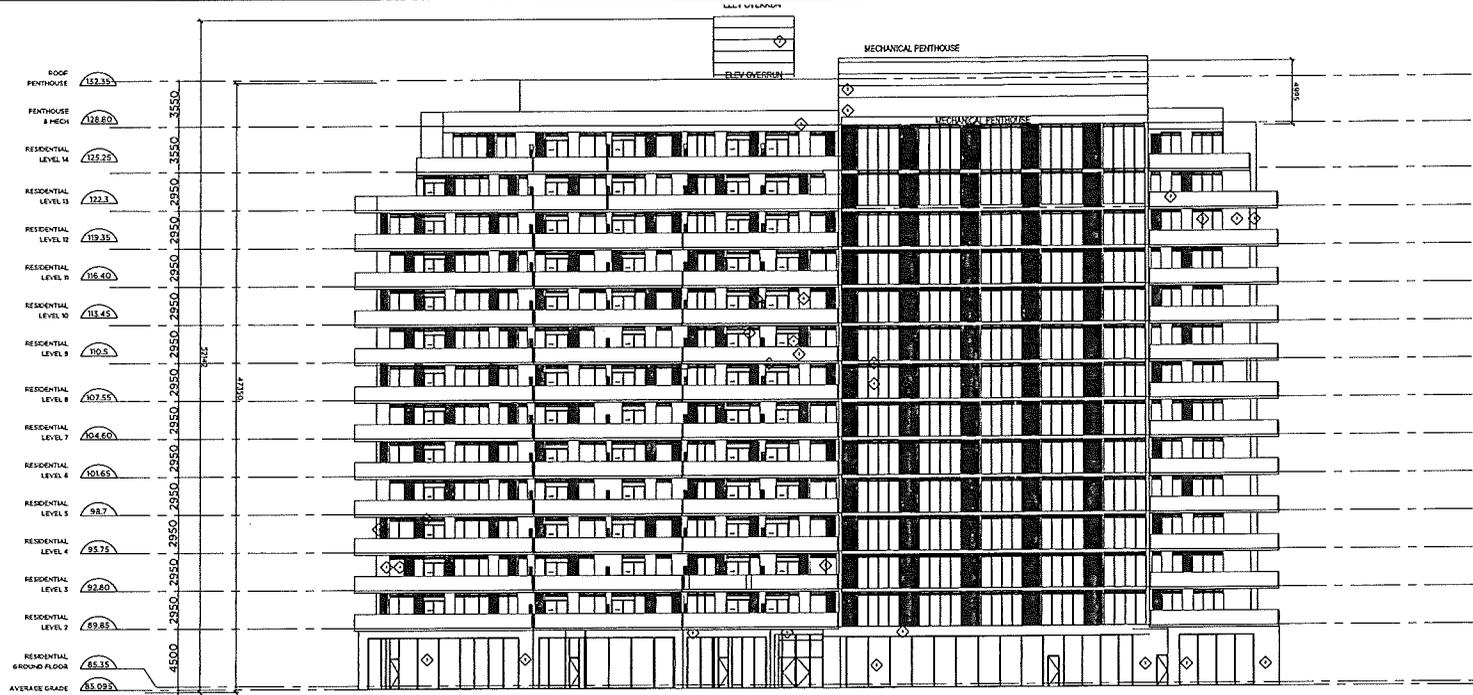
LJM Developments

LEVEL 2
TYPICAL FLOOR
PLAN

1:150

A202

HM/A-19.462



MATERIAL LEGEND

- ◊ #82798 COLOR METAL PANEL
- ◊ WHITE METAL PANEL
- ◊ ALUMINUM + GLASS RAILING
- ◊ VISION GLASS WINDOW WALL
- ◊ VISION GLASS CURTAIN WALL
- ◊ #84683 COLOR METAL PANEL
- ◊ BROWN COLOR METAL PANEL
- ◊ GREY MASCHERY
- ◊ LOUVERS
- ◊ SPANDREL GLASS PANEL

This drawing is the property of the Architect and may not be reproduced or used without the express consent of the Architect. The Contractor is responsible for checking and verifying all levels and dimensions and shall report all discrepancies to the Architect and obtain clarification prior to commencing work.

ISSUED RECORD

- 2015.12.07 - ISSUED FOR ZBA
- 2016.09.28 - ISSUED FOR REVISIONS
- 2016.10.24 - ZBA RE-SUBMISSION
- 2017.02.14 - ZBA RE-SUBMISSION
- 2017.02.27 - ISSUED FOR SPA
- 2017.05.18 - ZBA-SPA RE-COMMISSION
- 2017.11.06 - SPA RE-SUBMISSION
- 2018.02.02 - SPA RE-SUBMISSION

REVISION RECORD



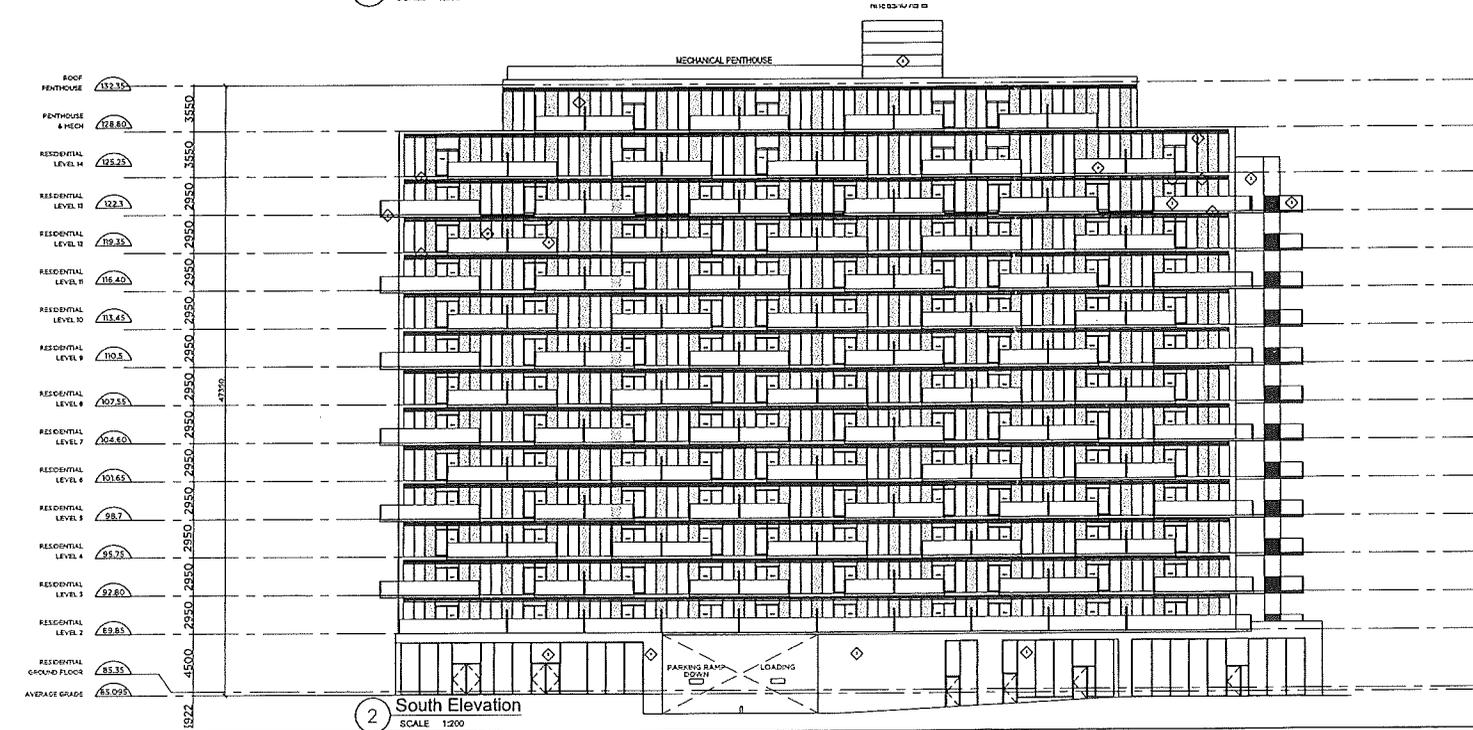
RAW
 405-317 ADELAIDE STREET WEST
 TORONTO CANADA M5V 1P9
 TEL: 416-539-9228
 WWW.RAWDESIGN.CA

16073
 2782 BARTON STREET
 HAMILTON, ON

LJM Developments
 ELEVATIONS

1:200
A401

HM/A-19-462





Hamilton

Planning and Economic Development Department
Planning Division

Committee of Adjustment
City Hall
5th floor 71 Main Street West
Hamilton, Ontario L8P 4Y5

Phone (905) 546-2424 ext.4221
Fax (905) 546-4202

**PLEASE FILL OUT THE FOLLOWING PAGES AND
RETURN TO THE CITY OF HAMILTON PLANNING
DEPARTMENT.**

FOR OFFICE USE ONLY.	
APPLICATION NO. <u>Hm/A-19-462</u>	DATE APPLICATION RECEIVED <u>Dec. 20/19</u>
PAID _____	DATE APPLICATION DEEMED COMPLETE _____
SECRETARY'S SIGNATURE _____	

**CITY OF HAMILTON
COMMITTEE OF ADJUSTMENT
HAMILTON, ONTARIO**

The Planning Act

Application for Minor Variance or for Permission

The undersigned hereby applies to the Committee of Adjustment for the City of Hamilton under Section 45 of the *Planning Act*, R.S.O. 1990, Chapter P.13 for relief, as described in this application, from the Zoning By-law.

1. Name of Owner LJM Developments Inc.
(c/o Liaquat Mian) Telephone No.



3. Name of Agent A.J. Clarke and Associates Ltd.
(c/o Franz Kloibhofer) Telephone No. 503-1111



Note: Unless otherwise requested all communications will be sent to the agent, if any.

5. Names and addresses of any mortgagees, holders of charges or other encumbrances:

_____ Postal Code _____

_____ Postal Code _____

6. Nature and extent of relief applied for:
Please see the attached covering letter that details the extent of relief applied for.
-
-
-
7. Why it is not possible to comply with the provisions of the By-law?
Please see the attached covering letter that details the necessity to amend the current by-law.
-
-
-
8. Legal description of subject lands (registered plan number and lot number or other legal description and where applicable, street and street number):
Part of lot 45 and 46 in Registered Plan M-50 in the City of Hamilton. The site is municipally known as 2782 Barton Street East in Hamilton, Ontario.
-
-
9. PREVIOUS USE OF PROPERTY
- Residential Industrial Commercial
- Agricultural Vacant
- Other
-
- 9.1 If Industrial or Commercial, specify use
-
- 9.2 Has the grading of the subject land been changed by adding earth or other material, i.e. has filling occurred?
Yes No Unknown
- 9.3 Has a gas station been located on the subject land or adjacent lands at any time?
Yes No Unknown
- 9.4 Has there been petroleum or other fuel stored on the subject land or adjacent lands?
Yes No Unknown
- 9.5 Are there or have there ever been underground storage tanks or buried waste on the subject land or adjacent lands?
Yes No Unknown
- 9.6 Have the lands or adjacent lands ever been used as an agricultural operation where cyanide products may have been used as pesticides and/or sewage sludge was applied to the lands?
Yes No Unknown
- 9.7 Have the lands or adjacent lands ever been used as a weapon firing range?
Yes No Unknown
- 9.8 Is the nearest boundary line of the application within 500 metres (1,640 feet) of the fill area of an operational/non-operational landfill or dump?
Yes No Unknown
- 9.9 If there are existing or previously existing buildings, are there any building materials remaining on site which are potentially hazardous to public health (eg. asbestos, PCB's)?
Yes No Unknown

9.10 Is there any reason to believe the subject land may have been contaminated by former uses on the site or adjacent sites?

Yes No Unknown

9.11 What information did you use to determine the answers to 9.1 to 9.10 above?

Property owner's knowledge and aerial imagery.

9.12 If previous use of property is industrial or commercial or if YES to any of 9.2 to 9.10, a previous use inventory showing all former uses of the subject land, or if appropriate, the land adjacent to the subject land, is needed.

Is the previous use inventory attached? Yes No

ACKNOWLEDGEMENT CLAUSE

I acknowledge that the City of Hamilton is not responsible for the identification and remediation of contamination on the property which is the subject of this Application – by reason of its approval to this Application.

December 13th, 2019
Date


Signature Property Owner
LJM Developments Inc. (c/o Liaquat Mian)
Print Name of Owner

10. Dimensions of lands affected:

Frontage +/- 78.95 metres (Barton Street)
Depth +/- 73.79 metres (Bell Manor Street)
Area +/- 5,655 square metres
Width of street Unknown

11. Particulars of all buildings and structures on or proposed for the subject lands:
(Specify ground floor area, gross floor area, number of stories, width, length, height, etc.)

Existing: N/A

Proposed: Please see the attached Site Plan and building elevations.

12. Location of all buildings and structures on or proposed for the subject lands;
(Specify distance from side, rear and front lot lines)

Existing: N/A

Proposed: Please see the attached Site Plan and building elevations.

13. Date of acquisition of subject lands:
Unknown.
14. Date of construction of all buildings and structures on subject lands:
To be determined.
15. Existing uses of the subject property: Currently vacant open space.
-
16. Existing uses of abutting properties: North- Barton Street East- North of Barton is Industrial/Commercial uses. South- Townhouses. East- Transit Loop. West- High Density Residential.
17. Length of time the existing uses of the subject property have continued:
Unknown.
-
18. Municipal services available: (check the appropriate space or spaces)
 Water X Connected _____
 Sanitary Sewer X Connected _____
 Storm Sewers X
19. Present Official Plan/Secondary Plan provisions applying to the land:
Neighbourhoods and a site specific policy UHN-23- 2782 Barton Street East, former City of Hamilton
20. Present Restricted Area By-law (Zoning By-law) provisions applying to the land:
Site specific E-3/S-306c (High Density Multiple Dwelling) in the Former City of Hamilton Zoning By-law No. 6593.
21. Has the owner previously applied for relief in respect of the subject property?
 Yes No
 If the answer is yes, describe briefly.
The subject lands have gone through two seperate Zoning By-law Amendments: Please refer to files ZAC 17-050 and ZAC-19-001
-
22. Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?
 Yes No
23. The applicant shall attach to each copy of this application a plan showing the dimensions of the subject lands and of all abutting lands and showing the location, size and type of all buildings and structures on the subject and abutting lands, and where required by the Committee of Adjustment such plan shall be signed by an Ontario Land Surveyor.

NOTE: It is required that two copies of this application be filed with the secretary-treasurer of the Committee of Adjustment together with the maps referred to in Section 5 and be accompanied by the appropriate fee in cash or by cheque made payable to the City of Hamilton.



405-317 ADLLAIDL ST. W.
TORONTO CANADA M5V 1P9
+1 416 599 9729
WWW.RAWDL.SIGN.CA

16073
Barton Street
Hamilton, ON

PRELIMINARY SITE STATISTICS

17 December, 2019

Official Plan	Commercial	SITE AREA GROSS	5,655.0	sq.m.	60870	sq.ft.
Avenue Width	28	ROAD DEDICATION	74.3	sq.m.	799.77	sq.ft.
Character Area	N/A	PARKLAND	0.0	sq.m.	0	sq.ft.
Policy Area		SITE AREA NET	5,580.7	sq.m.	60071	sq.ft.
Established District		PROPOSED FSI		Allowed FSI	3.15	
Current Zoning		Residential	3.2			
		Retail	0.1			
		Total	3.3			

AREA CALCULATIONS

FLOOR	1B < 50m2						TOTAL	RES GFA		RETAIL GFA		OFFICE GFA		AMENITY		GCA		GFA EXCLUSIONS		
	1B	1B	1B+D	2B	2B+D	3B		m ²	sq.ft.	m ²	sq.ft.	m ²	sq.ft.	m ²	sq.ft.	m ²	sq.ft.	m ²	sq.ft.	
P2							0								3883	41,796	3883	41,796		
P1							0								3883	41,796	3883	41,796		
1		0		0			1038.5	11,178	765	8,234	0	0	309	3,326	1381	14,865	343	3,687		
2	6	10		4			1268	13,651							1290	13,885	22	235		
3	6	10		4			1268.18	13,651							1290	13,885	22	235		
4	6	10		4			1268.18	13,651							1290	13,885	22	235		
5	6	10		4			1268.18	13,651							1290	13,885	22	235		
6	6	10		4			1268.18	13,651							1290	13,885	22	235		
7	6	10		4			1268.18	13,651							1290	13,885	22	235		
8	6	10		4			1268.18	13,651							1290	13,885	22	235		
9	6	10		4			1268.18	13,651							1290	13,885	22	235		
10	6	10		4			1268.18	13,651							1290	13,885	22	235		
11	6	10		4			1268.18	13,651							1290	13,885	22	235		
12	6	10		4			1268.18	13,651							1290	13,885	22	235		
13		4		2		6	1152.18	12,402							1174	12,637	22	235		
14		2		3		6	1152.18	12,402							1174	12,637	22	235		
PH						1	372	4,004							727	7,825	22	235		
TOTAL	66	116	0	49	0	13	244		17,665	190,143	765	8,234	0	0	309	3,326	26,412	284,296	8,414	90,567

BF suites	9.9	17.4	0	7.4	0	2	100%
AVERAGE UNIT SIZE	72.4 m2						36.6

Landscape Open Space	Required	18%	Provided	1395 sm	25%
INDOOR AMENITY	REQUIRED	2 m2/unit	PROVIDED	1.27 m2/unit	
OUTDOOR AMENITY	488 m2		309 m2		
TOTAL AMENITY	488 m2		239 m2		
	976 m2		548 m2		

PARKING CALCULATIONS

VEHICLE PARKING RATIO	REQUIRED							PROVIDED				
	0.30	1.00	1.00	1.00	1.00	1.00	0.05	Total	Visitor/Retail	Resident	TOTAL	
RESIDENT	20	116.0	0.0	49.0	0.0	13.0	0.05	198	Surface	56	56	
VISITOR							38.25	39	P1	121	121	
									P2	125	125	
TOTAL								237	ALL	56	246	302

*includes 5 barrier free spaces

BICYCLE PARKING

	REQUIRED	PROVIDED
RESIDENTIAL LONG-TERM	INDOORS (0.68)	166
RESIDENTIAL VISITOR/SHORT-TERM	AT GRADE (0.07)	18
TOTAL	184	184

This drawing is the property of the Architect and may not be reproduced or used without the express consent of the Architect. The Contractor is responsible for checking and verifying all levels and dimensions and shall report all discrepancies to the Architect and obtain clarification prior to commencing work.

- ISSUED RECORD**
- 2015.12.07 - ISSUED FOR ZBA
 - 2016.09.28 - ISSUED FOR REVISIONS
 - 2016.10.24 - ZBA RE-SUBMISSION
 - 2017.02.14 - ZBA RE-SUBMISSION
 - 2017.02.27 - ISSUED FOR SPA
 - 2017.05.18 - ZBA+SPA RE-SUBMISSION
 - 2017.11.06 - SPA RE-SUBMISSION
 - 2018.02.02 - SPA RE-SUBMISSION

REVISION RECORD



RAW

405-317 ADELAIDE STREET WEST
 TORONTO CANADA M5V 1P9
 +1 416 599 9729
 WWW.RAWDESIGN.CA

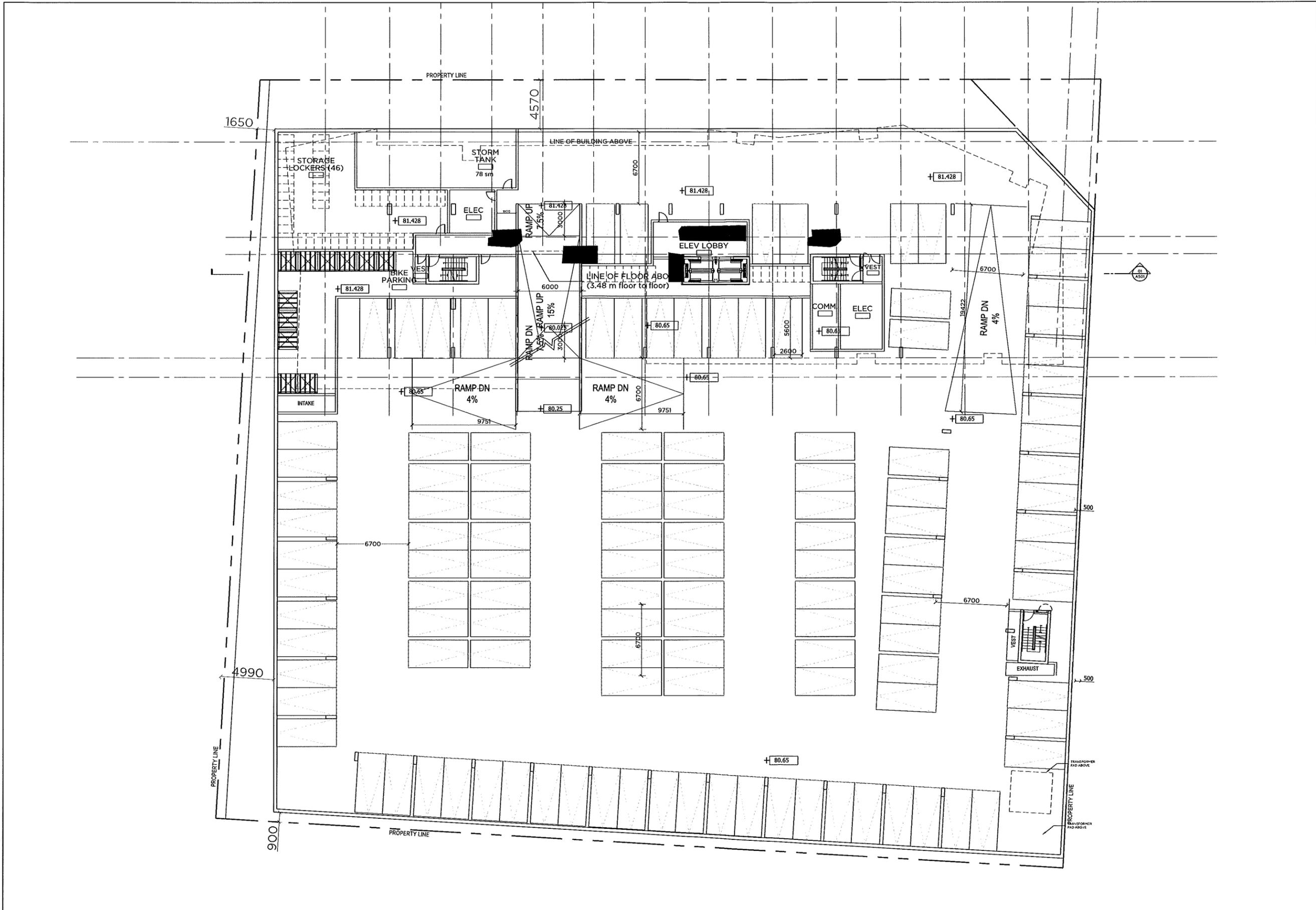
16073
 2782 BARTON STREET
 HAMILTON, ON

LJM Developments

LEVEL P1 PLAN

1:150

A101



This drawing is the property of the Architect and may not be reproduced or used without the express consent of the Architect. The Contractor is responsible for checking and verifying all levels and dimensions and shall report all discrepancies to the Architect and obtain clarification prior to commencing work.

- ISSUED RECORD**
- 2015.12.07 - ISSUED FOR ZBA
 - 2016.09.28 - ISSUED FOR REVISIONS
 - 2016.10.24 - ZBA RE-SUBMISSION
 - 2017.02.14 - ZBA RE-SUBMISSION
 - 2017.02.27 - ISSUED FOR SPA
 - 2017.05.18 - ZBA+SPA RE-SUBMISSION
 - 2017.11.06 - SPA RE-SUBMISSION
 - 2018.02.02 - SPA RE-SUBMISSION

REVISION RECORD



RAW

405-317 ADELAIDE STREET WEST
 TORONTO CANADA M5V 1P9
 +1 416 599 9729
 WWW.RAWDESIGN.CA

16073

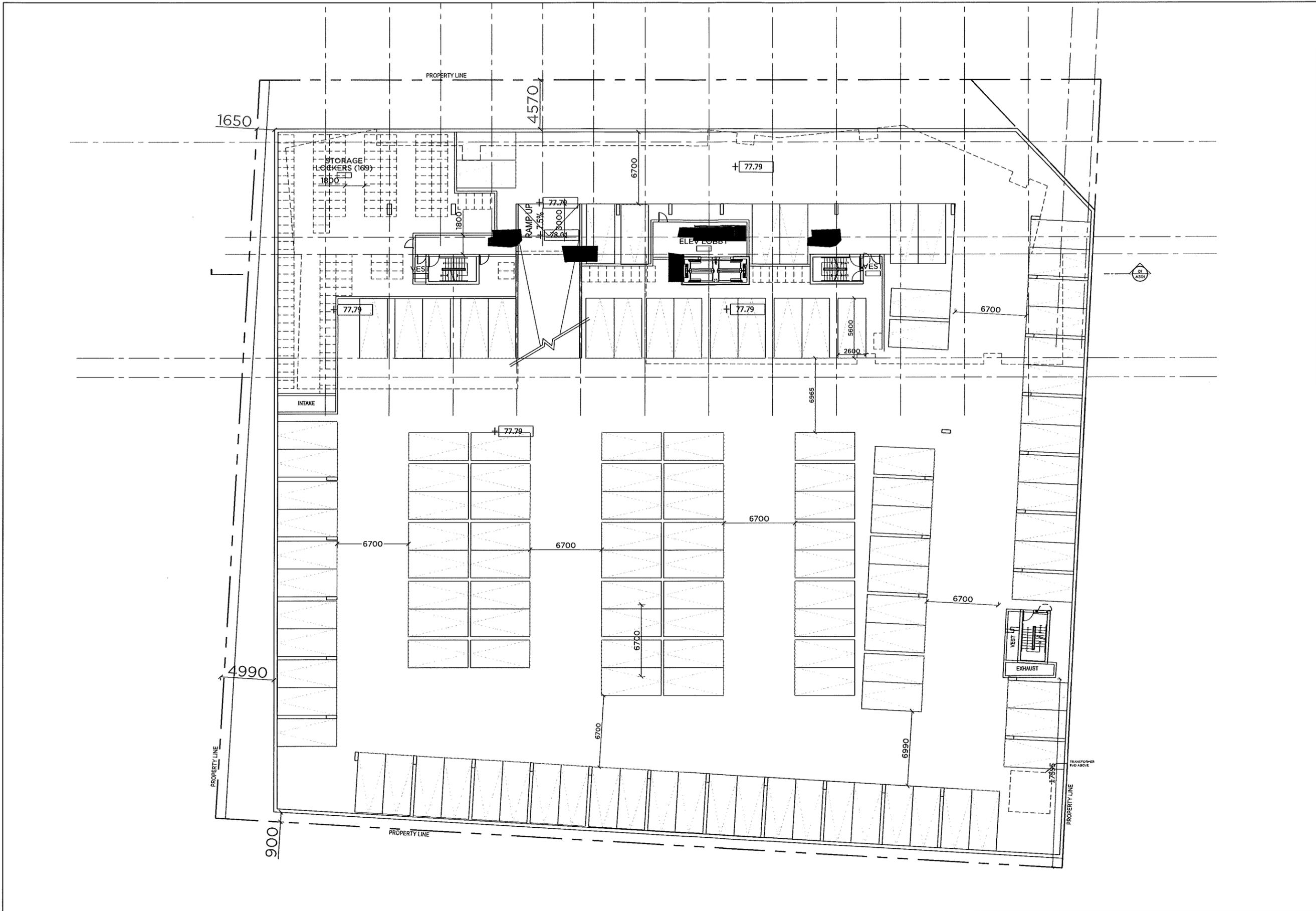
2782 BARTON STREET
 HAMILTON, ON

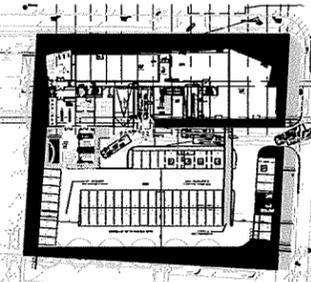
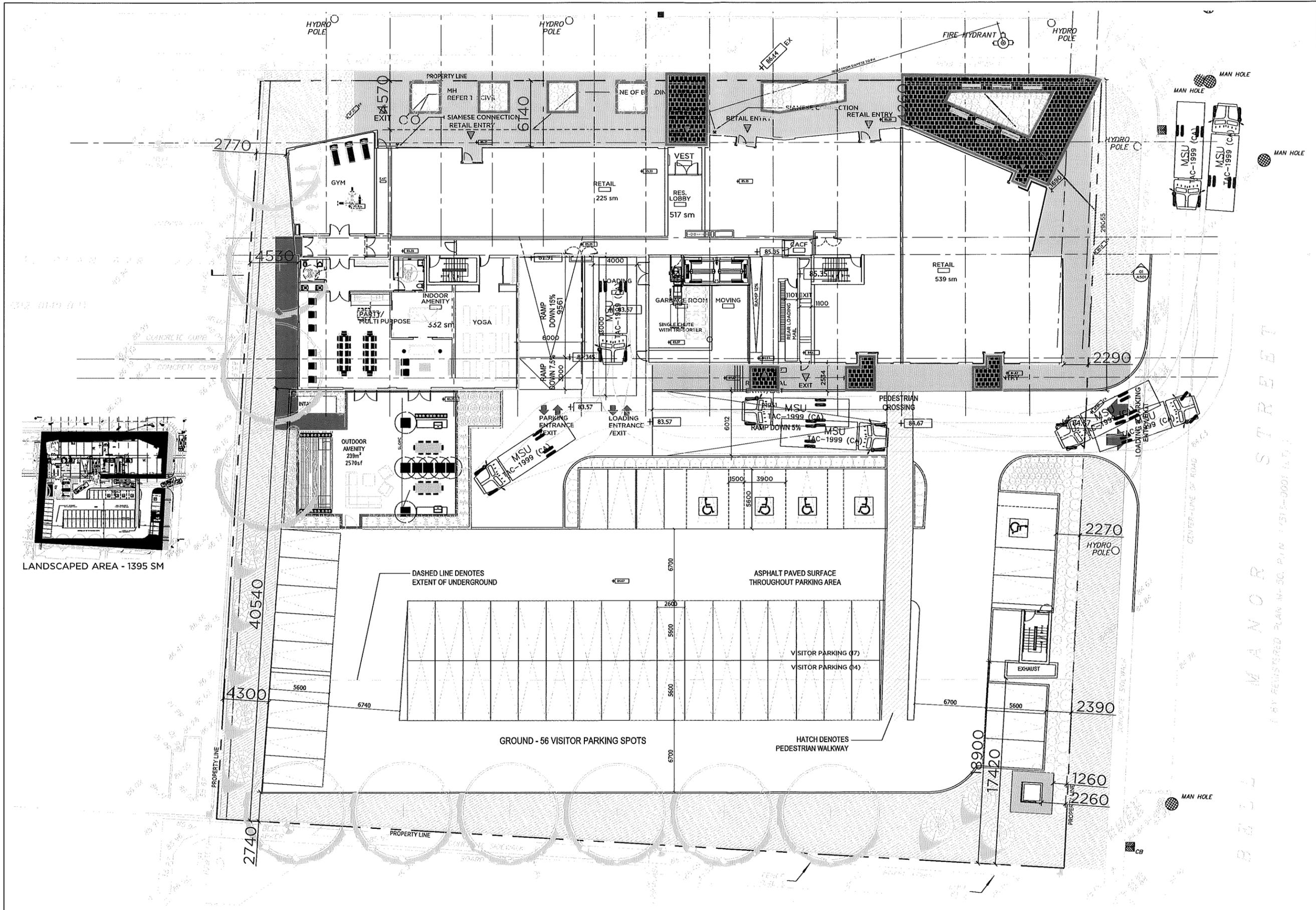
LJM Developments

LEVEL P2 PLAN

1:150

A102





LANDSCAPED AREA - 1395 SM

This drawing is the property of the Architect and may not be reproduced or used without the express consent of the Architect. The Contractor is responsible for checking and verifying all levels and dimensions and shall report all discrepancies to the Architect and obtain clarification prior to commencing work.

- ISSUED RECORD**
- 2015.12.07 - ISSUED FOR ZBA
 - 2016.09.28 - ISSUED FOR REVISIONS
 - 2016.10.24 - ZBA RE-SUBMISSION
 - 2017.02.14 - ZBA RE-SUBMISSION
 - 2017.02.27 - ISSUED FOR SPA
 - 2017.05.18 - ZBA+SPA RE-SUBMISSION
 - 2017.11.06 - SPA RE-SUBMISSION
 - 2018.02.02 - SPA RE-SUBMISSION

REVISION RECORD

NORTH



RAW

405-317 ADELAIDE STREET WEST
TORONTO CANADA M5V 1P9
+1 416 599 9729
WWW.RAWDESIGN.CA

16073

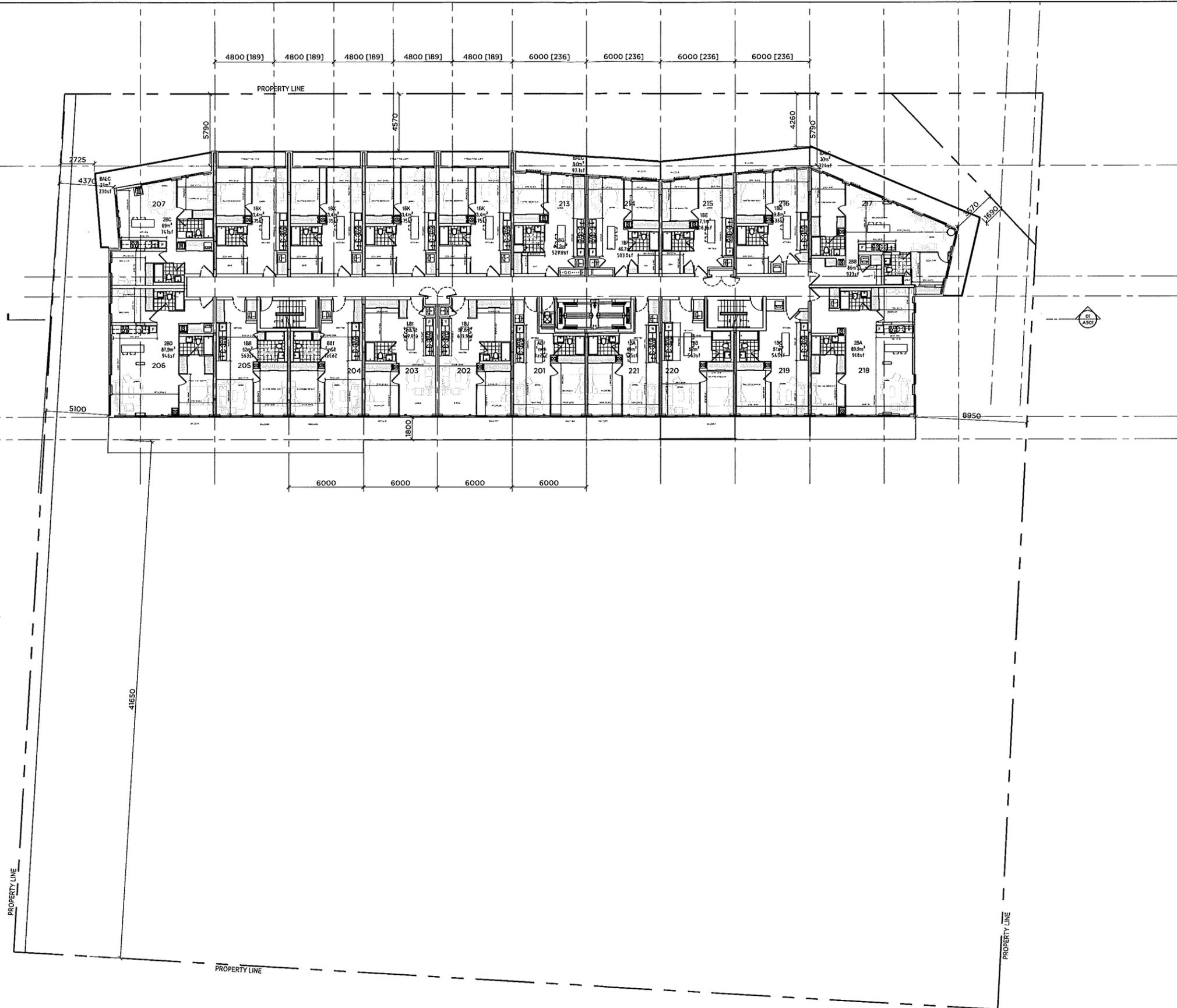
2782 BARTON STREET
HAMILTON, ON

LJM Developments

GROUND PLAN

1:150

A201



This drawing is the property of the Architect and may not be reproduced or used without the express consent of the Architect. The Contractor is responsible for checking and verifying all levels and dimensions and shall report all discrepancies to the Architect and obtain clarification prior to commencing work.

- ISSUED RECORD**
- 2015.12.07 - ISSUED FOR ZBA
 - 2016.09.28 - ISSUED FOR REVISIONS
 - 2016.10.24 - ZBA RE-SUBMISSION
 - 2017.02.14 - ZBA RE-SUBMISSION
 - 2017.02.27 - ISSUED FOR SPA
 - 2017.05.18 - ZBA+SPA RE-SUBMISSION
 - 2017.11.06 - SPA RE-SUBMISSION
 - 2018.02.02 - SPA RE-SUBMISSION

REVISION RECORD



RAW

405-317 ADELAIDE STREET WEST
 TORONTO CANADA M5V 1P9
 +1 416 599 9729
 WWW.RAWDESIGN.CA

16073

2782 BARTON STREET
 HAMILTON, ON

LJM Developments

LEVEL 2
 TYPICAL FLOOR
 PLAN

1:150

A202

This drawing is the property of the Architect and may not be reproduced or used without the express consent of the Architect. The Contractor is responsible for checking and verifying all levels and dimensions and shall report all discrepancies to the Architect and obtain clarification prior to commencing work.

- ISSUED RECORD**
- 2015.12.07 - ISSUED FOR ZBA
 - 2016.09.28 - ISSUED FOR REVISIONS
 - 2016.10.24 - ZBA RE-SUBMISSION
 - 2017.02.14 - ZBA RE-SUBMISSION
 - 2017.02.27 - ISSUED FOR SPA
 - 2017.05.18 - ZBA+SPA RE-SUBMISSION
 - 2017.11.06 - SPA RE-SUBMISSION
 - 2018.02.02 - SPA RE-SUBMISSION

REVISION RECORD



RAW

405-317 ADELAIDE STREET WEST
TORONTO CANADA M5V 1P9
+1 416 599 9729
WWW.RAWDESIGN.CA

16073

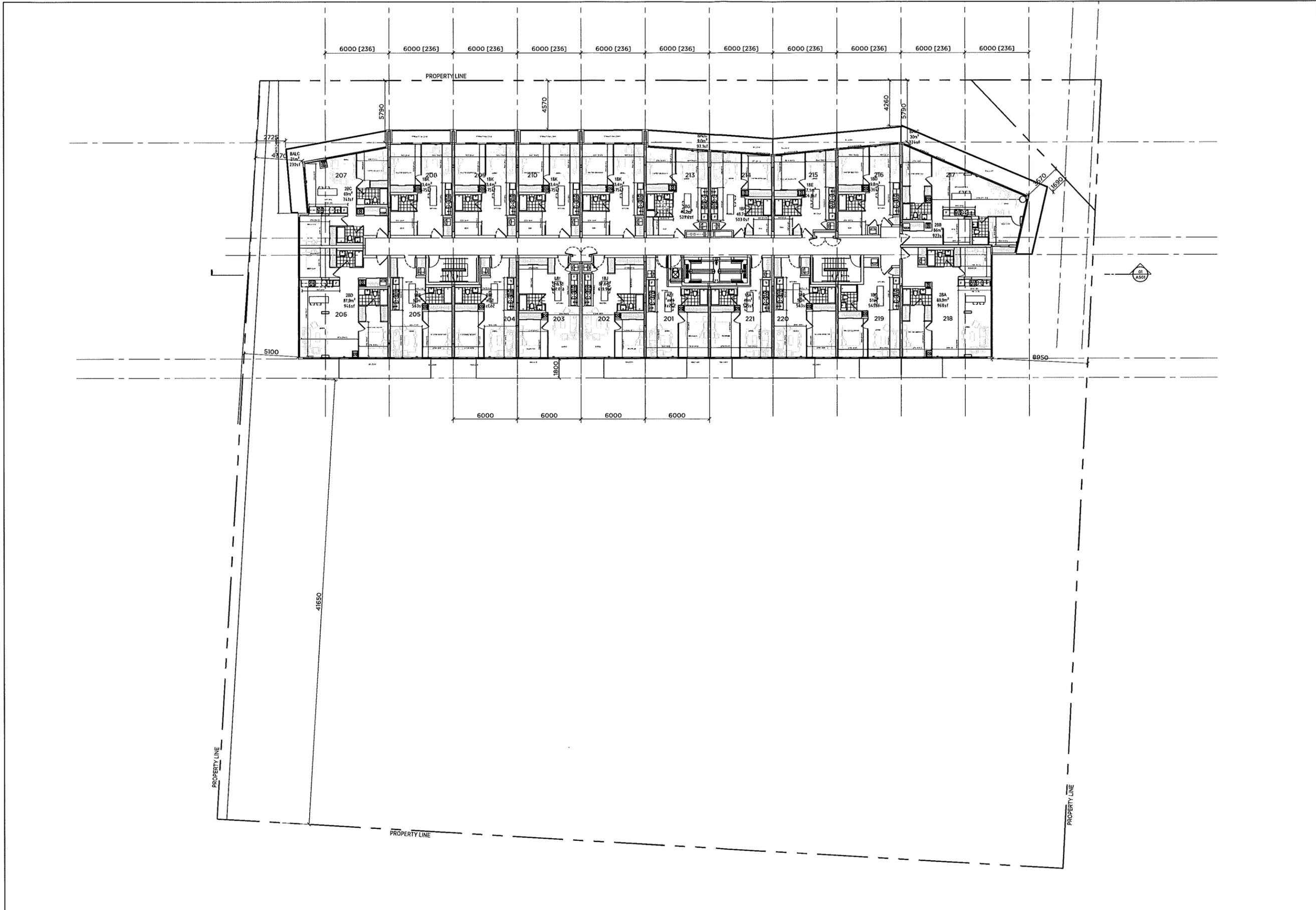
2782 BARTON STREET
HAMILTON, ON

LJM Developments

LEVEL 3 - 12
TYPICAL FLOOR
PLAN

1:150

A203



This drawing is the property of the Architect and may not be reproduced or used without the express consent of the Architect. The Contractor is responsible for checking and verifying all levels and dimensions and shall report all discrepancies to the Architect and obtain clarification prior to commencing work.

- ISSUED RECORD**
- 2015.12.07 - ISSUED FOR ZBA
 - 2016.09.28 - ISSUED FOR REVISIONS
 - 2016.10.24 - ZBA RE-SUBMISSION
 - 2017.02.14 - ZBA RE-SUBMISSION
 - 2017.02.27 - ISSUED FOR SPA
 - 2017.05.18 - ZBA+SPA RE-SUBMISSION
 - 2017.11.06 - SPA RE-SUBMISSION
 - 2018.02.02 - SPA RE-SUBMISSION

REVISION RECORD



RAW

405-317 ADELAIDE STREET WEST
 TORONTO CANADA M5V 1P9
 +1 416 599 9729
 WWW.RAWDESIGN.CA

16073

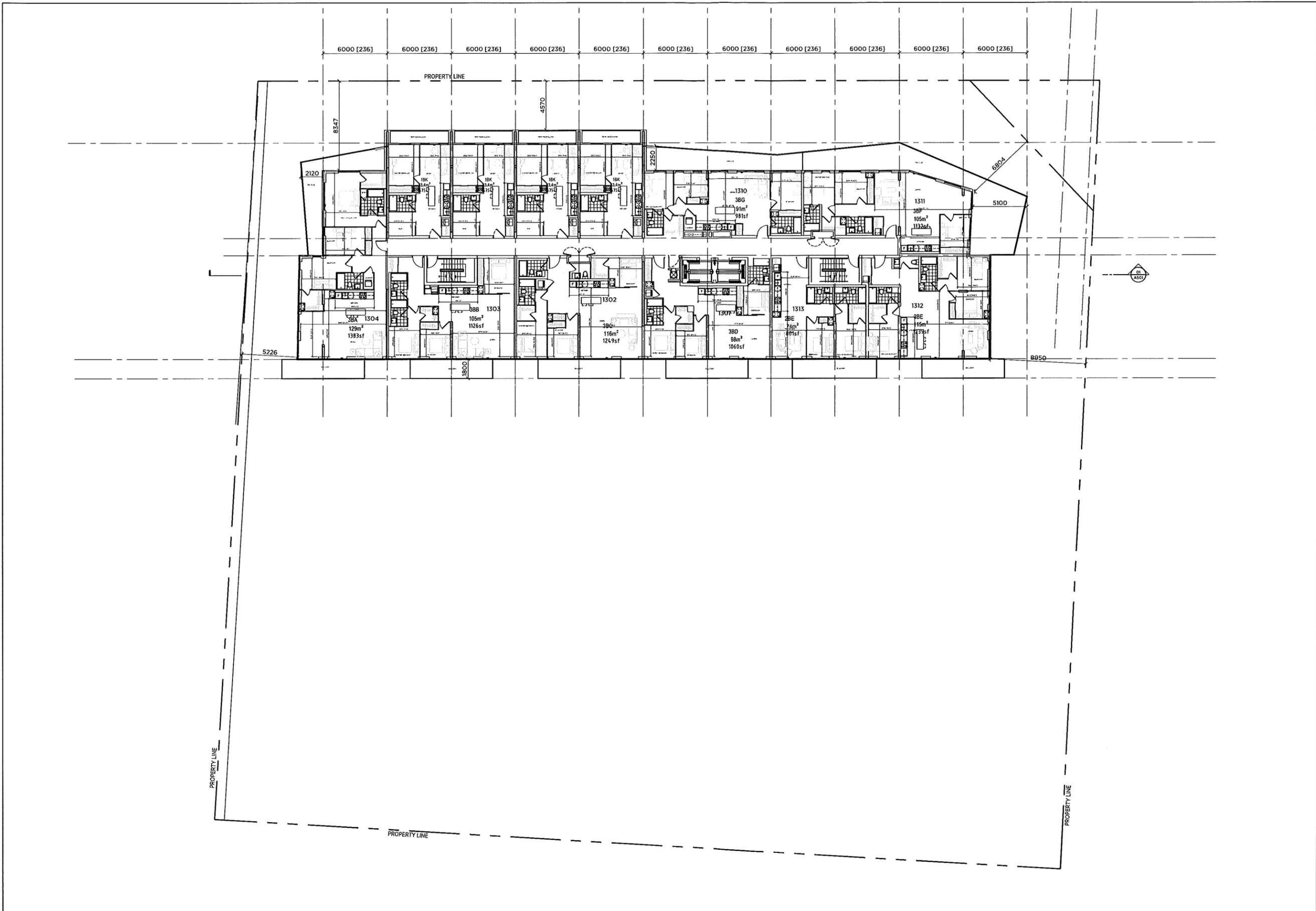
2782 BARTON STREET
 HAMILTON, ON

LJM Developments

LEVEL 13
 FLOOR
 PLAN

1:150

A213



This drawing is the property of the Architect and may not be reproduced or used without the express consent of the Architect. The Contractor is responsible for checking and verifying all levels and dimensions and shall report all discrepancies to the Architect and obtain clarification prior to commencing work.

- ISSUED RECORD**
- 2015.12.07 - ISSUED FOR ZBA
 - 2016.09.28 - ISSUED FOR REVISIONS
 - 2016.10.24 - ZBA RE-SUBMISSION
 - 2017.02.14 - ZBA RE-SUBMISSION
 - 2017.02.27 - ISSUED FOR SPA
 - 2017.05.18 - ZBA+SPA RE-SUBMISSION
 - 2017.11.06 - SPA RE-SUBMISSION
 - 2018.02.02 - SPA RE-SUBMISSION

REVISION RECORD



NORTH



405-317 ADELAIDE STREET WEST
TORONTO CANADA M5V 1P9
+1 416 599 9729
WWW.RAWDESIGN.CA

16073

2782 BARTON STREET
HAMILTON, ON

LJM Developments

LEVEL 14
FLOOR
PLAN

1:150

A214

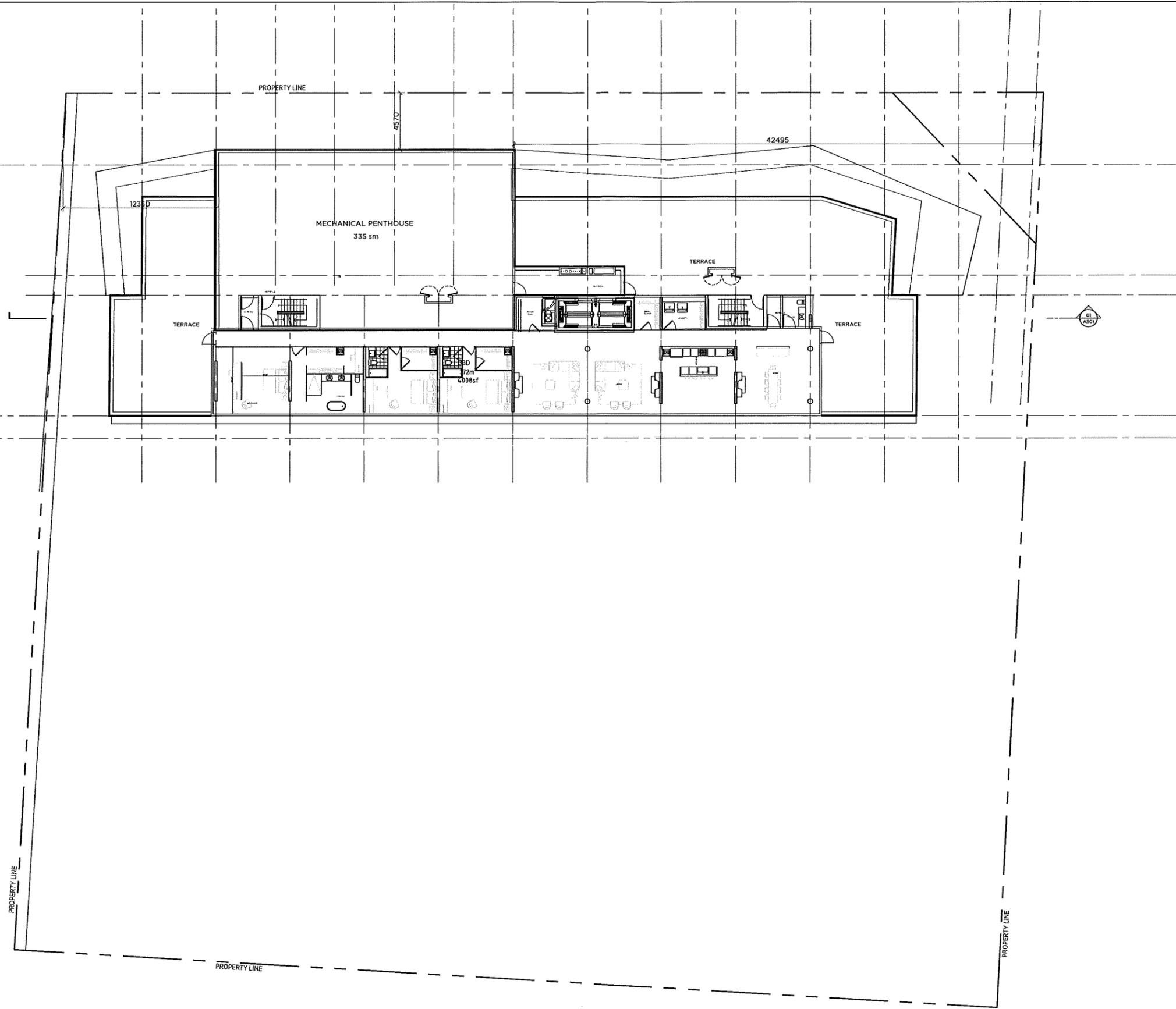


This drawing is the property of the Architect and may not be reproduced or used without the express consent of the Architect. The Contractor is responsible for checking and verifying all levels and dimensions and shall report all discrepancies to the Architect and obtain clarification prior to commencing work.

ISSUED RECORD

- 2015.12.07 - ISSUED FOR ZBA
- 2016.09.28 - ISSUED FOR REVISIONS
- 2016.10.24 - ZBA RE-SUBMISSION
- 2017.02.14 - ZBA RE-SUBMISSION
- 2017.02.27 - ISSUED FOR SPA
- 2017.05.16 - ZBA+SPA RE-SUBMISSION
- 2017.11.06 - SPA RE-SUBMISSION
- 2018.02.02 - SPA RE-SUBMISSION

REVISION RECORD



405-317 ADELAIDE STREET WEST
 TORONTO CANADA M5V 1P9
 +1 416 599 9729
 WWW.RAWDESIGN.CA

16073

2782 BARTON STREET
 HAMILTON, ON

LJM Developments

MECHANICAL
 PENTHOUSE

1:150

A215



MATERIAL LEGEND

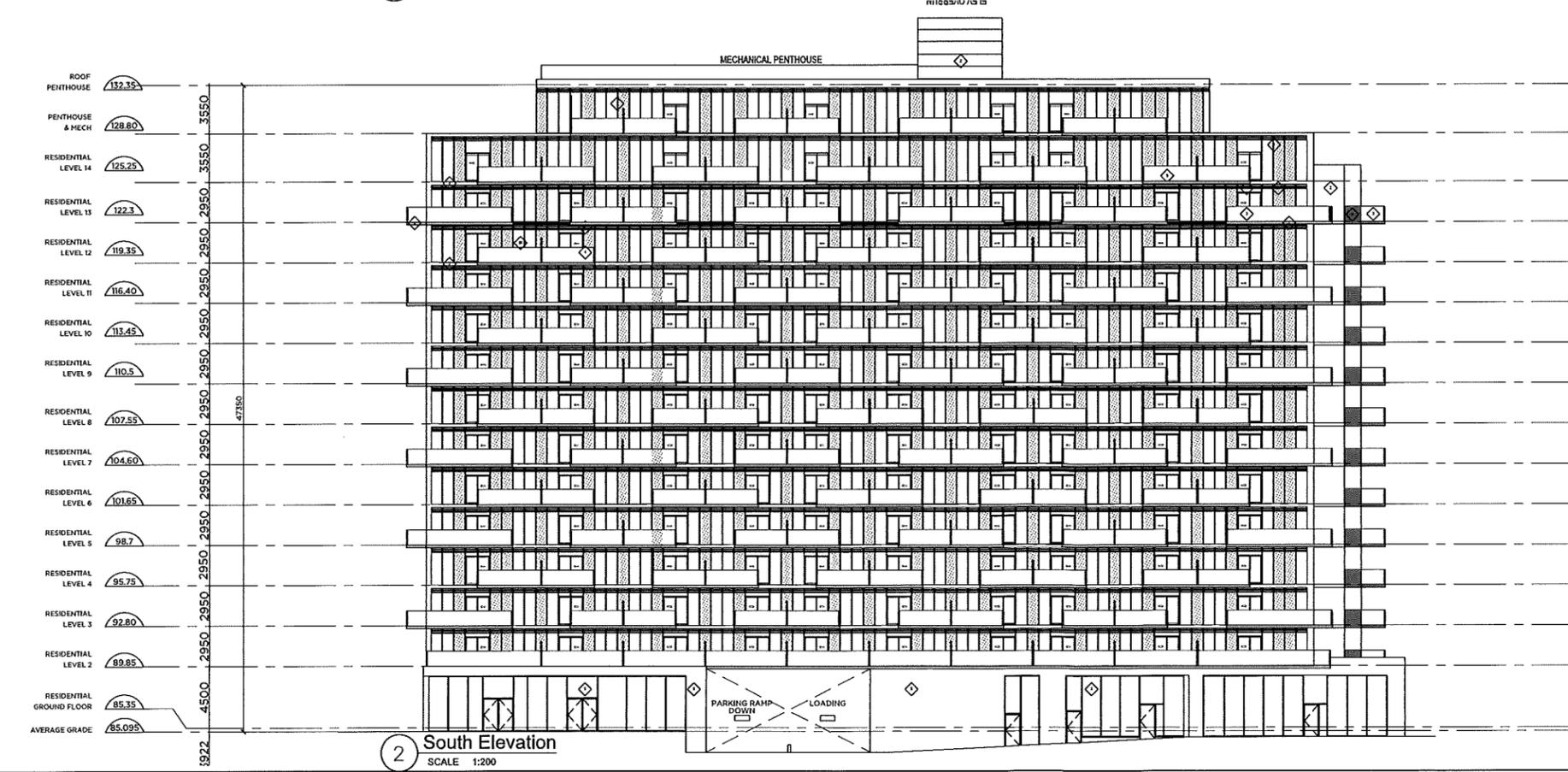
1	#628798 COLOR METAL PANEL
2	WHITE METAL PANEL
3	ALUMINUM + GLASS RAILING
4	VISION GLASS WINDOW WALL
5	VISION GLASS CURTAIN WALL
6	#56693 COLOR METAL PANEL
7	#A18D08 COLOR METAL PANEL
8	GREY MASQURY
9	LOUVERS
10	SPANDREL GLASS PANEL

This drawing is the property of the Architect and may not be reproduced or used without the express consent of the Architect. The Contractor is responsible for checking and verifying all levels and dimensions and shall report all discrepancies to the Architect and obtain clarification prior to commencing work.

ISSUED RECORD

2015.12.07	- ISSUED FOR ZBA
2016.09.28	- ISSUED FOR REVISIONS
2016.10.24	- ZBA RE-SUBMISSION
2017.02.14	- ZBA RE-SUBMISSION
2017.02.27	- ISSUED FOR SPA
2017.05.18	- ZBA+SPA RE-SUBMISSION
2017.11.06	- SPA RE-SUBMISSION
2018.02.02	- SPA RE-SUBMISSION

REVISION RECORD



NORTH

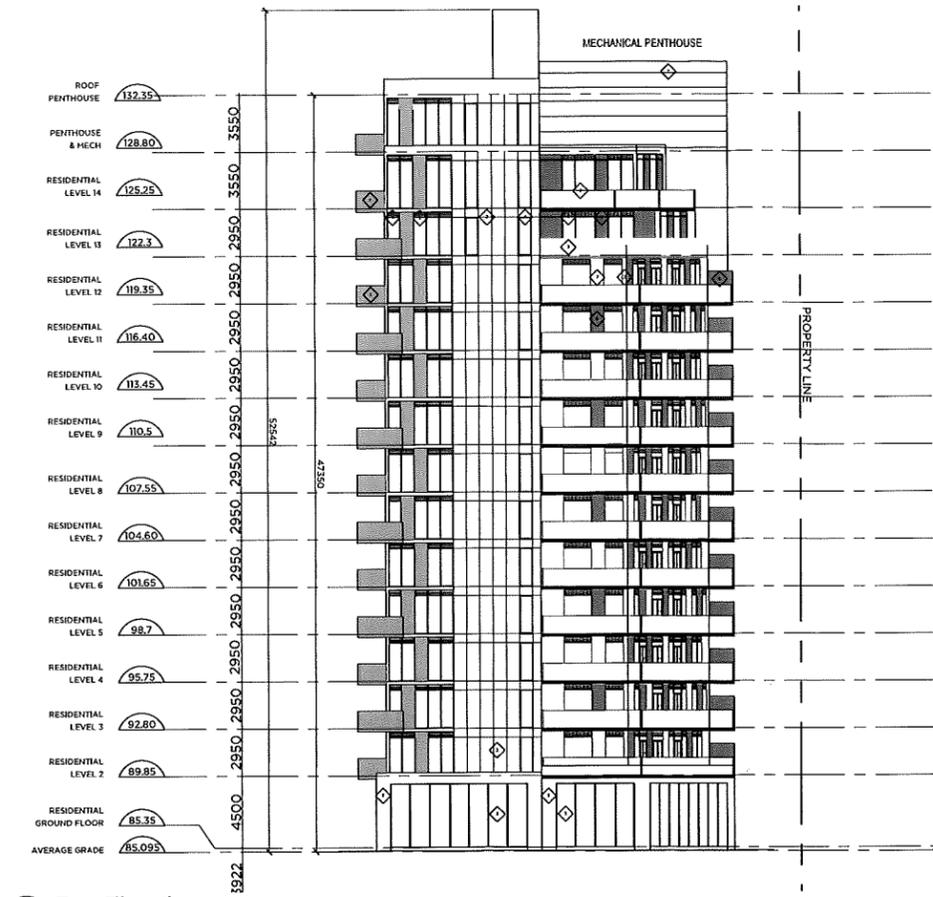
RAW

405-317 ADELAIDE STREET WEST
TORONTO CANADA M5V 1P9
+1 416 599 9729
WWW.RAWDESIGN.CA

16073

2782 BARTON STREET
HAMILTON, ON

LJM Developments
ELEVATIONS
1:200
A401



1 East Elevation
SCALE 1:200

MATERIAL LEGEND

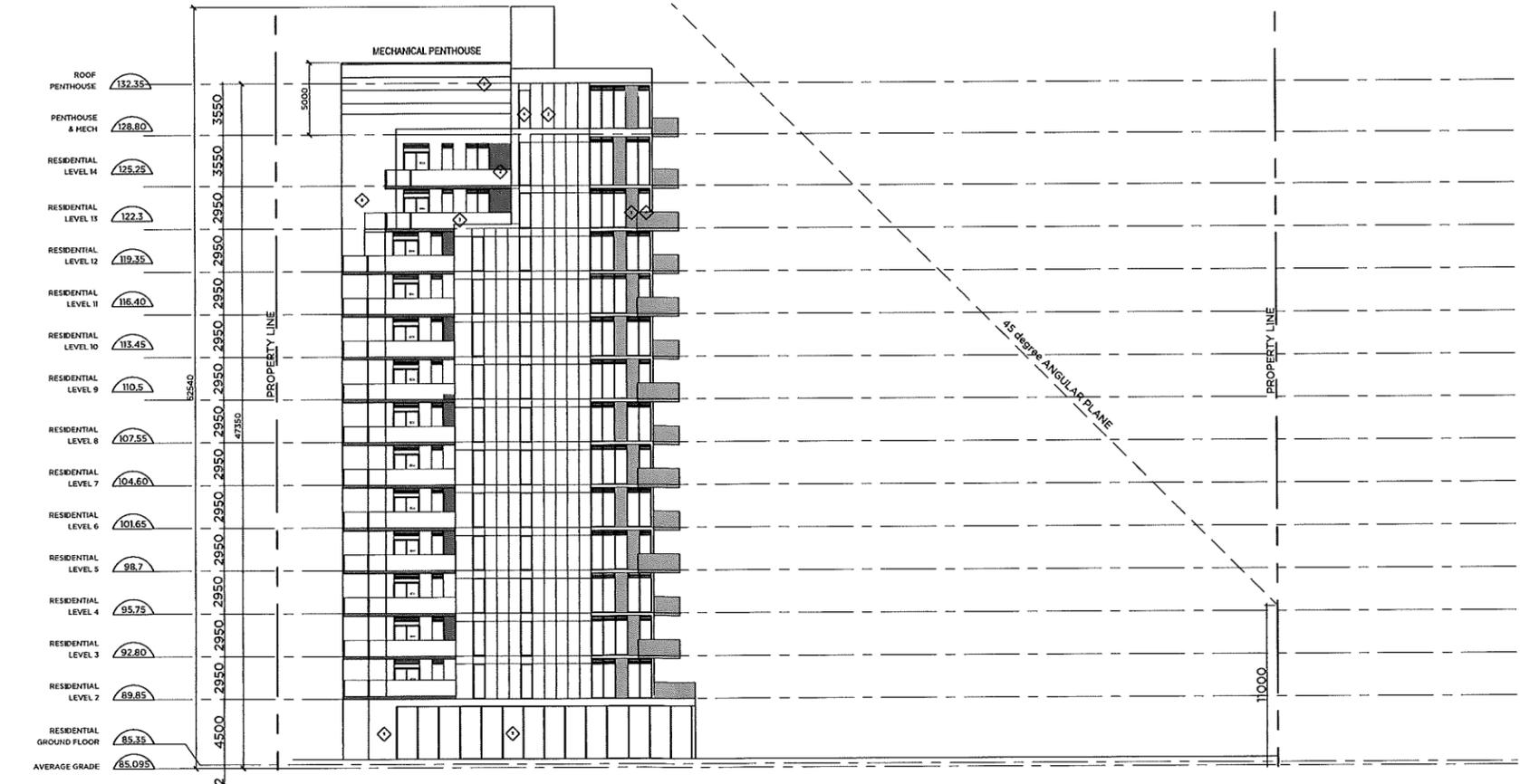
1	#528798 COLOR METAL PANEL
2	WHITE METAL PANEL
3	ALUMINUM + GLASS RAILING
4	VISION GLASS WINDOW WALL
5	VISION GLASS CURTAIN WALL
6	#546193 COLOR METAL PANEL
7	#A18D08 COLOR METAL PANEL
8	GREY MASONRY
9	LOUVERS
10	SPATIAREL GLASS PANEL

This drawing is the property of the Architect and may not be reproduced or used without the express consent of the Architect. The Contractor is responsible for checking and verifying all levels and dimensions and shall report all discrepancies to the Architect and obtain clarification prior to commencing work.

ISSUED RECORD

2015.12.07	- ISSUED FOR ZBA
2016.09.28	- ISSUED FOR REVISIONS
2016.10.24	- ZBA RE-SUBMISSION
2017.02.14	- ZBA RE-SUBMISSION
2017.02.27	- ISSUED FOR SPA
2017.05.18	- ZBA+SPA RE-SUBMISSION
2017.11.06	- SPA RE-SUBMISSION
2018.02.02	- SPA RE-SUBMISSION

REVISION RECORD



1 West Elevation
SCALE 1:200



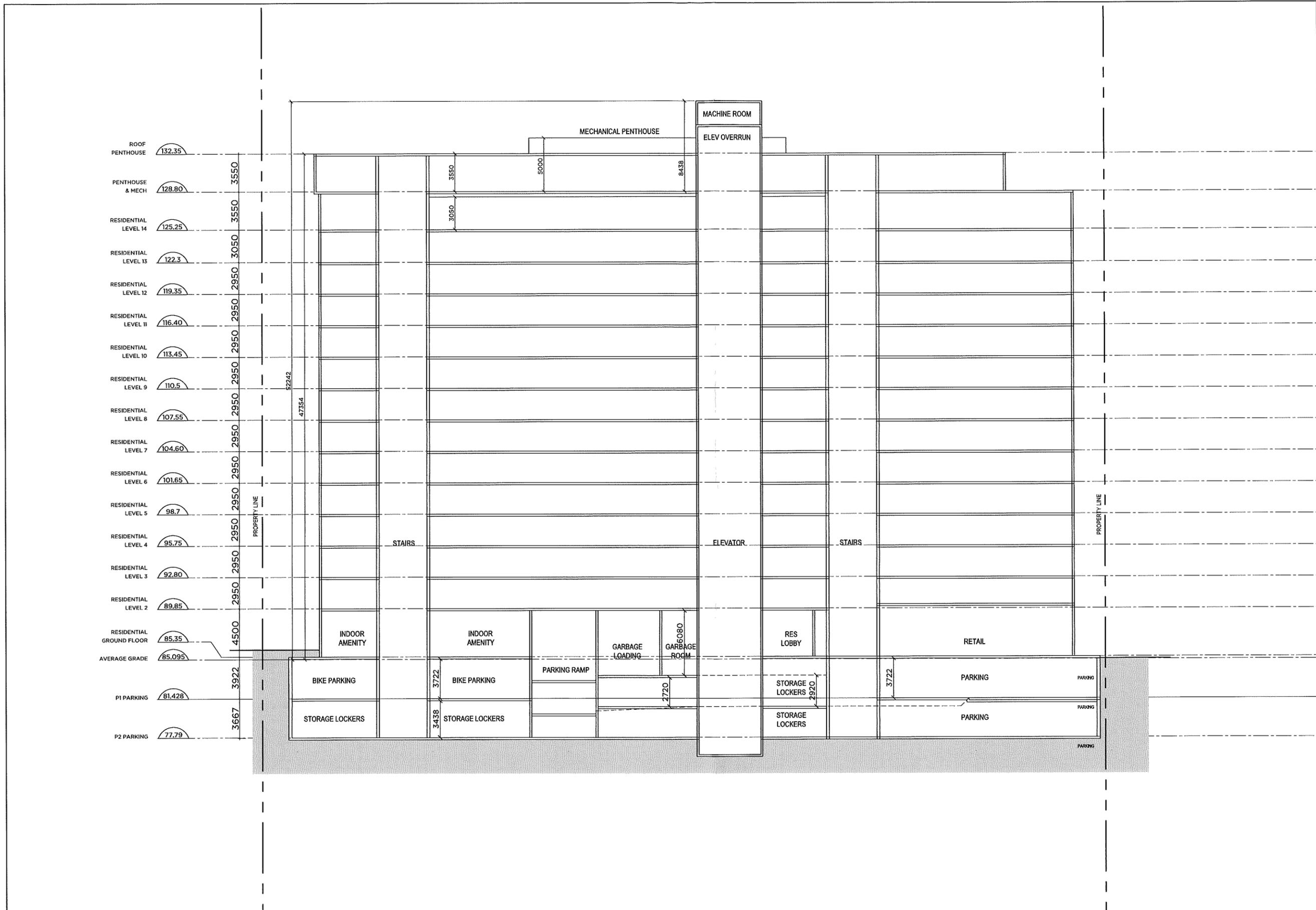
RAW
405-317 ADELAIDE STREET WEST
TORONTO CANADA M5V 1P9
+1 416 599 9729
WWW.RAWDESIGN.CA

16073
2782 BARTON STREET
HAMILTON, ON

LJM Developments
ELEVATIONS
EAST/WEST

1:200

A402



This drawing is the property of the Architect and may not be reproduced or used without the express consent of the Architect. The Contractor is responsible for checking and verifying all levels and dimensions and shall report all discrepancies to the Architect and obtain clarification prior to commencing work.

- ISSUED RECORD**
- 2015.12.07 - ISSUED FOR ZBA
 - 2016.09.28 - ISSUED FOR REVISIONS
 - 2016.10.24 - ZBA RE-SUBMISSION
 - 2017.02.14 - ZBA RE-SUBMISSION
 - 2017.02.27 - ISSUED FOR SPA
 - 2017.05.18 - ZBA+SPA RE-SUBMISSION
 - 2017.11.06 - SPA RE-SUBMISSION
 - 2018.02.02 - SPA RE-SUBMISSION

REVISION RECORD



RAW
 405-317 ADELAIDE STREET WEST
 TORONTO CANADA M5V 1P9
 +1 416 599 9729
 WWW.RAWDESIGN.CA

16073
 2782 BARTON STREET
 HAMILTON, ON

LJM Developments
BUILDING SECTION
 1:250
A501



A. J. Clarke and Associates Ltd.

SURVEYORS • PLANNERS • ENGINEERS

December 19, 2019

The City of Hamilton
 Committee of Adjustment
 Planning and Economic Development Department
 71 Main Street West, 5th Floor
 Hamilton, Ontario
 L8P 4Y5

hand delivered

Attn: Ms. Jamila Sheffield
 Secretary-Treasurer

RECEIVED

DEC 19 2019

**Re: Minor Variance Application
 2782 Barton Street East, Hamilton**

Dear Madam,

On behalf of our client, LJM Development Inc., we are pleased to provide you with the enclosed submission in support of an application for Minor Variance for the subject lands municipally known as 2782 Barton Street East in Hamilton, Ontario. Please find the following enclosed materials:

1. A cheque in the amount of \$2,738.00 made payable to the City of Hamilton, in payment of the requisite application fee;
2. Two (2) copies of the completed application form, including an original;
3. Three (3) copies of the site plan and building elevations; one (1) printed to scale and two (2) printed to 11x17; prepared by RAW Design.

Further to Questions 6 & 7 of the concurrently submitted Minor Variance Application Form, please accept the below responses.

Question 6 – nature and extent of relief applied for:

In order to facilitate the proposed development, the following relief is requested to the site specific by-law E-3/S-306c in the Former City of Hamilton Zoning By-law No. 6593:

1. To modify the Site Specific Zoning By-law 19-234 in the City of Hamilton Zoning By-Law No. 6593, to permit a height of the proposed high density residential apartment building to be 50 metres and 15 storeys, whereas the height of 41.5 metres and 13 storeys is required.
2. To modify the Site Specific Zoning By-law 19-234 in the City of Hamilton Zoning By-Law No. 6593, to permit a westerly side yard having a depth not less than 2.20 metres whereas the depth of 2.60 metres is required for the westerly side yard.



3. To modify Section 6(3) in the the City of Hamilton Zoning By-Law No. 6593 to permit the encroachment of a transformer into the westerly side yard of 1.0 metres whereas no encroachment below what the yard or intensity of use requirements is permitted.
4. To modify the Site Specific Zoning By-law 19-234 in the City of Hamilton Zoning By-Law No. 6593, to permit a loading space with the width of 4.0 metres whereas the width of 6.0 metres is required.
5. To modify the Site Specific Zoning By-law 18-049 in the City of Hamilton Zoning By-Law No. 6593, where the building or structure shall have a gross floor area multiplied by the floor area factor of 3.30 where currently a building or structure shall have a gross floor area multiplied by the floor area factor of 3.15.

Question 7 – Why is it not possible to comply with the provisions of the By-law?

The intent of the minor variance is to correct permit a slight increase in height and storeys, vary the required setbacks on the westerly lot line and associated encroachments, permit a loading space with a decreased width, and to increase the density of the gross floor area of each unit by increasing the floor area factor to 3.30. This variance to the Site Specific Zoning By-law (By-law 19-234 and 18-049) in the Former City of Hamilton Zoning By-law 6593 and varying the Parent By-law is minor in nature and will enhance the scale and character of the existing residential neighbourhood in accordance with Section B.2.4 – Residential Intensification and other applicable policies of the Urban Hamilton Official Plan.

The variance to height, the easterly lot line setback, loading space width and overall Floor Area Factor of the development to the site specific by-law in the Former City of Hamilton By-law No. 6593 is minor in nature, is desirable for the appropriate development, and is in keeping with the general intent and purpose of the Zoning By-law and Official Plan by permitting a minor intensification for a use of a high density development.

It is my opinion that the proposed minor variance represents good land use planning and should be approved. Should you have any questions or require further information, please do not hesitate to contact our office.

Yours very truly,

A handwritten signature in black ink, appearing to read 'Jack Irving-Peckham'.

Jack Irving-Peckham
Per: Franz Kloibhofer, MCIP, RPP
A. J. Clarke and Associates Ltd.

Copy: LJM Developments Ltd. (c/o Liat Mian)

Encl.



Hamilton

COMMITTEE OF ADJUSTMENT

City Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5
 Telephone (905) 546-2424, ext. 4221, 3935 Fax (905) 546-4202
 E-mail: cofa@hamilton.ca

NOTICE OF PUBLIC HEARING

Application for Consent/Land Severance

APPLICATION NUMBER: HM/B-20:33

SUBJECT PROPERTY: 225 Sherman Ave. S., Hamilton

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
- Applicant/agent on file, or
- Person likely to be interested in this application

APPLICANT(S): Owners: Peter Martin and Tania Cardenas
 Agent: FIJ Law LLP

PURPOSE OF APPLICATION: To permit the creation of an easement for access purposes.

Easement lands: (Part 2)
 9.75m[±] x 8.5-12.5m[±] and an area of 88m²±

Retained lands: (Part 1)
 9.75m[±] x 37.18m[±] and an area of 362m²±

This application will be heard by the Committee as shown below:

DATE: Thursday, August 6th, 2020
TIME: 2:15 p.m.
PLACE: Via video link or call in (see attached sheet for details)
To be streamed at www.hamilton.ca/committeeofadjustment for viewing purposes only

PUBLIC INPUT

Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

Orally: If you would like to speak to this item at the hearing you may do so via video link or by calling in. Please see attached page for complete instructions, including deadlines for registering to participate.

MORE INFORMATION

For more information on this matter, including access to drawings illustrating this request:

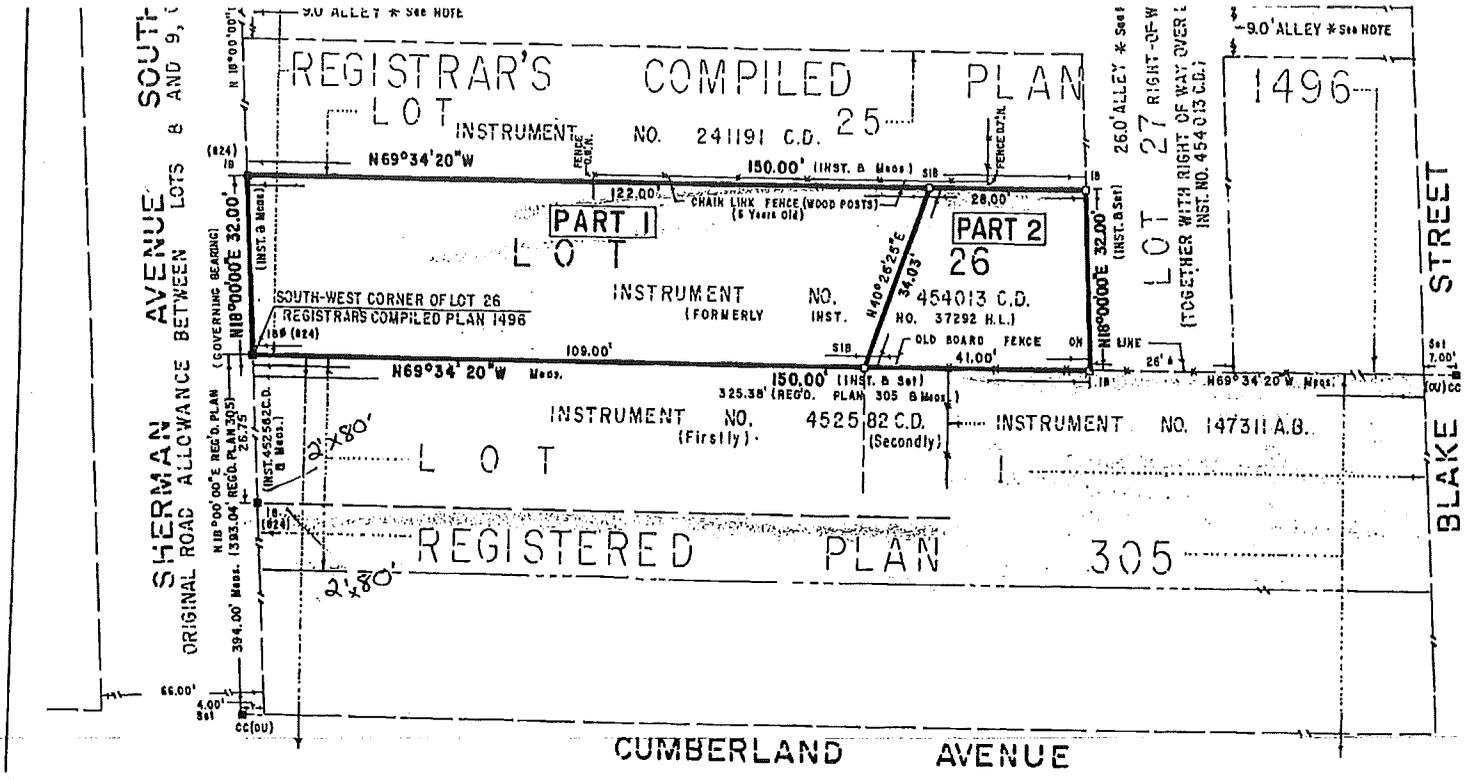
- Visit www.hamilton.ca/committeeofadjustment
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935
- Email Committee of Adjustment staff at cofa@hamilton.ca

HM/B-20:33
Page 2

DATED: July 21st, 2020

Jamila Sheffield,
Secretary-Treasurer
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public.



62R11669

HM/B.20.23



Hamilton

Planning and Economic Development Department
Planning Division

20-172163
Committee of Adjustment
City Hall
5th floor, 71 Main Street West
Hamilton, Ontario L8P 4Y5

Phone (905) 546-2424, ext. 4221
Fax (905) 546-4202

APPLICATION FOR CONSENT TO SEVER LAND UNDER SECTION 53 OF THE PLANNING ACT

Office Use Only

Date Application Received: June 15/20	Date Application Deemed Complete:	Submission No.: HM/B-20:33	File No.:
--	-----------------------------------	-------------------------------	-----------

1 APPLICANT INFORMATION

1.1, 1.2	NAME	ADDRESS	PHONE/FAX
Registered Owners(s)	Martin, Peter Stanley Cardenas, Tania		
Applicant(s)*	Martin, Peter Stanley Cardenas, Tania		
Agent or Solicitor	FIJ Law LLP		

* Owner's authorisation required if the applicant is not the owner.

1.3 All correspondence should be sent to Owner Applicant Agent/Solicitor

2 LOCATION OF SUBJECT LAND Complete the applicable lines

2.1 Area Municipality	Lot	Concession	Former Township
Hamilton-Wentworth	26		Barton
Registered Plan N°. 1496	Lot(s)	Reference Plan N°.	Part(s)
Municipal Address : 225 Sherman Ave., S., Hamilton, ON L8M 2R2			Assessment Roll N°.: 251803025104790

2.2 Are there any easements or restrictive covenants affecting the subject land?

Yes No

If YES, describe the easement or covenant and its effect:

- Together with in Instrument No. CD454013 is a right of way over Lot 27;
- Subject to Instrument No. VM124934 is a Transfer of an Easement over part of lot 26, Registrar's Complied Plan 1496 in the City of Hamilton, in the Regional Municipality of Hamilton-Wentworth designated as part 2 on reference plan 62R-11669.

3. PURPOSE OF THE APPLICATION

3.1 Type and purpose of proposed transaction: (check appropriate box)

a) Urban Area Transfer (do not complete Section 10):

- | | |
|---|--|
| <input type="checkbox"/> creation of a new lot | Other: <input type="checkbox"/> a charge |
| <input type="checkbox"/> addition to a lot | <input type="checkbox"/> a lease |
| <input checked="" type="checkbox"/> an easement | <input type="checkbox"/> a correction of title |

b) Rural Area / Rural Settlement Area Transfer (Section 10 must be completed):

- | | |
|---|--|
| <input type="checkbox"/> creation of a new lot | Other: <input type="checkbox"/> a charge |
| <input type="checkbox"/> creation of a new non-farm parcel
(i.e. a lot containing a surplus farm dwelling
resulting from a farm consolidation) | <input type="checkbox"/> a lease |
| <input type="checkbox"/> addition to a lot | <input type="checkbox"/> a correction of title |
| | <input type="checkbox"/> an easement |

3.2 Name of person(s), if known, to whom land or interest in land is to be transferred, leased or charged: Tran, Thien Thai

3.3 If a lot addition, identify the lands to which the parcel will be added: n/a

4 DESCRIPTION OF SUBJECT LAND AND SERVICING INFORMATION

4.1 Description of land intended to be **Severed**:

Frontage (m)	Depth (m)	Area (m ² or ha)
9.75 (East)/10.36 (West)	12.50 (South)/8.5(North)	88.44m ²

Existing Use of Property to be severed:

- | | | |
|---|---|-------------------------------------|
| <input checked="" type="checkbox"/> Residential | <input type="checkbox"/> Industrial | <input type="checkbox"/> Commercial |
| <input type="checkbox"/> Agriculture (includes a farm dwelling) | <input type="checkbox"/> Agricultural-Related | <input type="checkbox"/> Vacant |
| <input type="checkbox"/> Other (specify) _____ | | |
-

Proposed Use of Property to be severed:

- | | | |
|---|---|-------------------------------------|
| <input checked="" type="checkbox"/> Residential | <input type="checkbox"/> Industrial | <input type="checkbox"/> Commercial |
| <input type="checkbox"/> Agriculture (includes a farm dwelling) | <input type="checkbox"/> Agricultural-Related | <input type="checkbox"/> Vacant |
| <input type="checkbox"/> Other (specify) _____ | | |
-

Building(s) or Structure(s):

Existing: Easement _____

Proposed: Easement _____

Type of access: (check appropriate box)

- | | |
|--|--|
| <input type="checkbox"/> provincial highway | <input checked="" type="checkbox"/> right of way |
| <input type="checkbox"/> municipal road, seasonally maintained | <input type="checkbox"/> other public road |
| <input type="checkbox"/> municipal road, maintained all year | |

Type of water supply proposed: (check appropriate box)

- | | |
|--|--|
| <input checked="" type="checkbox"/> publicly owned and operated piped water system | <input type="checkbox"/> lake or other water body |
| <input type="checkbox"/> privately owned and operated individual well | <input type="checkbox"/> other means (specify) _____ |

Type of sewage disposal proposed: (check appropriate box)

- | |
|--|
| <input checked="" type="checkbox"/> publicly owned and operated sanitary sewage system |
| <input type="checkbox"/> privately owned and operated individual septic system |
| <input type="checkbox"/> other means (specify) _____ |

4.2 Description of land intended to be **Retained**:

Frontage (m)	Depth (m)	Area (m ² or ha)
9.75(West)/10.36(East)	37.18 (North)/33.22 (South)	362.69m ²

A flood plain	<input type="checkbox"/>	
An industrial or commercial use, and specify the use(s)	<input type="checkbox"/>	
An active railway line	<input type="checkbox"/>	
A municipal or federal airport	<input type="checkbox"/>	

6 PREVIOUS USE OF PROPERTY

- Residential Industrial Commercial
 Agriculture Vacant Other (specify)

- 6.1 If Industrial or Commercial, specify use _____
- 6.2 Has the grading of the subject land been changed by adding earth or other material, i.e., has filling occurred?
 Yes No Unknown
- 6.3 Has a gas station been located on the subject land or adjacent lands at any time?
 Yes No Unknown
- 6.4 Has there been petroleum or other fuel stored on the subject land or adjacent lands?
 Yes No Unknown
- 6.5 Are there or have there ever been underground storage tanks or buried waste on the subject land or adjacent lands?
 Yes No Unknown
- 6.6 Have the lands or adjacent lands ever been used as an agricultural operation where cyanide products may have been used as pesticides and/or biosolids was applied to the lands?
 Yes No Unknown
- 6.7 Have the lands or adjacent lands ever been used as a weapons firing range?
 Yes No Unknown
- 6.8 Is the nearest boundary line of the application within 500 metres (1,640 feet) of the fill area of an operational/non-operational landfill or dump?
 Yes No Unknown
- 6.9 If there are existing or previously existing buildings, are there any building materials remaining on site which are potentially hazardous to public health (e.g., asbestos, PCB's)?
 Yes No Unknown
- 6.10 Is there reason to believe the subject land may have been contaminated by former uses on the site or adjacent sites?
 Yes No Unknown
- 6.11 What information did you use to determine the answers to 6.1 to 6.10 above?
 To the best of our knowledge
- 6.12 If previous use of property is industrial or commercial or if YES to any of 6.2 to 6.10, a previous use inventory showing all former uses of the subject land, or if appropriate, the land adjacent to the subject land, is needed.
 Is the previous use inventory attached?
 Yes No

7 PROVINCIAL POLICY

- 7.1 a) Is this application consistent with the Policy Statements issued under subsection 3(1) of the *Planning Act*?
 Yes No
- b) Is this application consistent with the Provincial Policy Statement (PPS)?
 Yes No (Provide explanation)

- c) Does this application conform to the Growth Plan for the Greater Golden Horseshoe?
 Yes No (Provide explanation)

- d) Are the subject lands within an area of land designated under any provincial plan or plans?
 Yes No

- e) Are the subject lands subject to the Niagara Escarpment Plan?
 Yes No

If yes, is the proposal in conformity with the Niagara Escarpment Plan?

- Yes No

(Provide Explanation)

Yes. The application seeks an easement severance only, which is consistent with historical use.

- f) Are the subject lands subject to the Parkway Belt West Plan?
 Yes No

If yes, is the proposal in conformity with the Parkway Belt West Plan?

- Yes No (Provide Explanation)

- g) Are the subject lands subject to the Greenbelt Plan?
 Yes No

If yes, does this application conform with the Greenbelt Plan?

- Yes No (Provide Explanation)

8 HISTORY OF THE SUBJECT LAND

- 8.1 Has the subject land ever been the subject of an application for approval of a plan of subdivision or a consent under sections 51 or 53 of the *Planning Act*?

- Yes No Unknown

If YES, and known, indicate the appropriate application file number and the decision made on the application.

Please find Enclosed as Schedule "C", Instrument No. 124934, including Planning Act consent for transfer of Easement, dated December 4th 1990, along with commentary from Scott Baldrey, Secretary Treasurer for Committee of Adjustments, Hamilton, with respect to this application.

- 8.2 If this application is a re-submission of a previous consent application, describe how it has been changed from the original application.

The application is a re-submission of consent granted on December 4, 1990 as in Instrument No.124934, a copy of which is attached hereto. Revised consent is needed as the original consent was tied to the owner not to the land. No other changes to be made.

Frontage (m): (from Section 4.1)	Area (m ² or ha): (from in Section 4.1)
----------------------------------	--

Existing Land Use: _____ Proposed Land Use: _____

b) Lands to be Retained:

Frontage (m): (from Section 4.2)	Area (m ² or ha): (from Section 4.2)
----------------------------------	---

Existing Land Use: _____ Proposed Land Use: _____

10.4 Description of Lands (Abutting Farm Consolidation)

a) Location of abutting farm:

 (Street) (Municipality) (Postal Code)

b) Description abutting farm:

Frontage (m):	Area (m2 or ha):
---------------	------------------

Existing Land Use(s): _____ Proposed Land Use(s): _____

c) Description of consolidated farm (excluding lands intended to be severed for the surplus dwelling):

Frontage (m):	Area (m2 or ha):
---------------	------------------

Existing Land Use: _____ Proposed Land Use: _____

d) Description of surplus dwelling lands proposed to be severed:

Frontage (m): (from Section 4.1)	Area (m2 or ha): (from Section 4.1)
----------------------------------	-------------------------------------

Front yard set back: _____

e) Surplus farm dwelling date of construction:

 Prior to December 16, 2004 After December 16, 2004

f) Condition of surplus farm dwelling:

 Habitable Non-Habitable

g) Description of farm from which the surplus dwelling is intended to be severed (retained parcel):

Frontage (m): (from Section 4.2)	Area (m2 or ha): (from Section 4.2)
----------------------------------	-------------------------------------

Existing Land Use: _____ Proposed Land Use: _____

10.5 Description of Lands (Non-Abutting Farm Consolidation)

a) Location of non-abutting farm

 (Street) (Municipality) (Postal Code)

b) Description of non-abutting farm

Frontage (m):	Area (m2 or ha):
---------------	------------------

Existing Land Use(s): _____ Proposed Land Use(s): _____

c) Description of surplus dwelling lands intended to be severed:

Frontage (m): (from Section 4.1)	Area (m2 or ha): (from Section 4.1)
----------------------------------	-------------------------------------

Front yard set back: _____

d) Surplus farm dwelling date of construction:

 Prior to December 16, 2004 After December 16, 2004

e) Condition of surplus farm dwelling:

 Habitable Non-Habitable

f) Description of farm from which the surplus dwelling is intended to be severed (retained parcel):

Frontage (m): (from Section 4.2)	Area (m2 or ha): (from Section 4.2)
----------------------------------	-------------------------------------

Existing Land Use: _____ Proposed Land Use: _____

11 OTHER INFORMATION

Is there any other information that you think may be useful to the Committee of Adjustment or other agencies in reviewing this application? If so, explain below or attach on a separate page.

Please see attached cover letter. _____

12 SKETCH (Use the attached Sketch Sheet as a guide)

12.1 The application shall be accompanied by a sketch showing the following in metric units:

- (a) the boundaries and dimensions of any land abutting the subject land that is owned by the owner of the subject land;
- (b) the approximate distance between the subject land and the nearest township lot line or landmark such as a bridge or railway crossing;
- (c) the boundaries and dimensions of the subject land, the part that is intended to be severed and the part that is intended to be retained;
- (d) the location of all land previously severed from the parcel originally acquired by the current owner of the subject land;
- (e) the approximate location of all natural and artificial features (for example, buildings, barns, railways, roads, watercourses, drainage ditches, banks of rivers or streams, wetlands, wooded areas, wells and septic tanks) that,
 - i) are located on the subject land and on land that is adjacent to it, and
 - ii) in the applicant's opinion, may affect the application;
- (f) the current uses of land that is adjacent to the subject land (for example, residential, agricultural or commercial);
- (g) the location, width and name of any roads within or abutting the subject land, indicating whether it is an unopened road allowance, a public travelled road, a private road or a right of way;
- (h) the location and nature of any easement affecting the subject land.

OF SURVEY

26
REGISTRAR'S COMPILED PLAN 1496

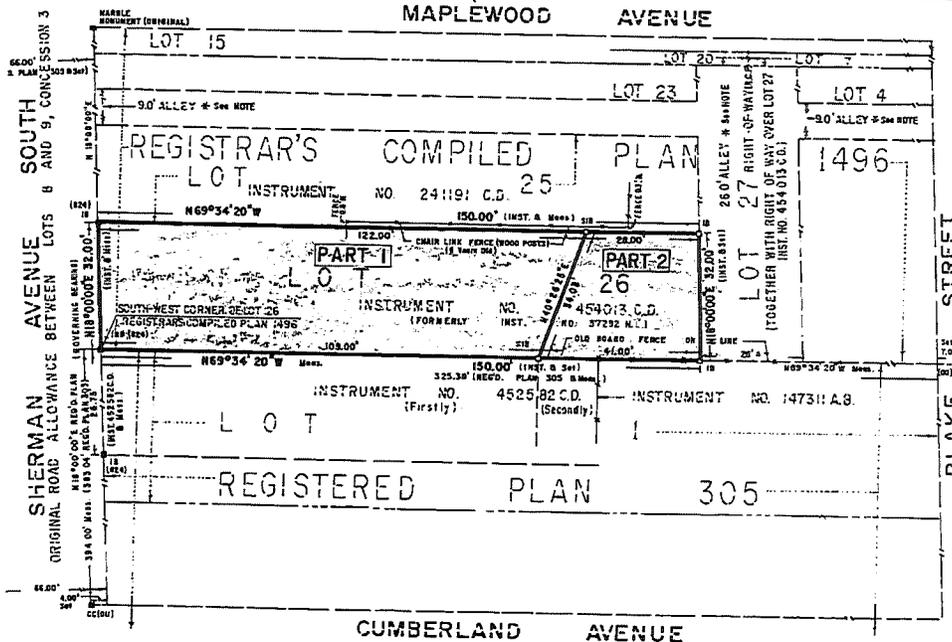
OF HAMILTON
MUNICIPALITY OF
WENTWORTH
1:1 INCH = 20 FEET
MCLAREN, O.L.S. - 1991



SCHEDULE				
PART	LOT	PLAN	INST. NO.	AREA
1	26	R.C.P.	454013 C.D.	3693 Sq. Ft.
2		1496		1103 Sq. Ft.

PLAN 62R-11166
RECEIVED AND DEPOSITED
Date 12 FEBRUARY 1991
C. Radley
LAND REGISTRAR FOR THE
REGISTRY DIVISION OF
WENTWORTH (NO. 62)
I REQUIRE THIS PLAN TO BE
DEPOSITED UNDER THE
REGISTRY ACT.
Date 12 FEBRUARY 1991
A.T. McLaren
A.T. MCLAREN, O.L.S.

* NOTE
RE RIGHT-OF-WAY OVER LOT 27
INSTRUMENT NO. 37292 H.L. STATES: TOGETHER WITH
THE RIGHT TO USE THE ALLEY AT THE REAR HAVING
A WIDTH OF 26', AND TOGETHER WITH THE USE OF A 9' WIDE
ALLEY RUNNING IN A STRAIGHT LINE FROM BLAKE STREET
TO SHERMAN AVENUE. (SAID ALLEY BEING LOT 27 R.C.P. 1496)



THIS PLAN IS NOT A PLAN OF SUBDIVISION WITHIN THE MEANING OF THE PLANNING ACT.

ALL ANGLES ARE ASTROMONIC AND ARE REFERRED TO THE
NORTH LIMIT OF SHERMAN AVENUE SOUTH AS BEING
100' 00" E, AS SHOWN ON REGD. PLAN 305

SURVEYOR'S CERTIFICATE
I CERTIFY THAT
1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH
THE SURVEY ACT AND THE REGULATIONS MADE THEREUNDER.
2. THE SURVEY WAS COMPLETED ON THE 12th DAY OF FEBRUARY 1991

ALL DIMENSIONS MEASURED TO CENTER OF CROSS
INSTRUMENT SET BY
ON 18/11/91
STANDARD IRON BAR (I.C.P.)

DETERMINED BY
BY A.T. MCLAREN O.L.S.
BY INSTR. NO. 37292 H.L.
REGISTERED COMPILED PLAN 1496

12 FEBRUARY 1991
DATE
A.T. McLaren
A.T. MCLAREN, O.L.S.

A. T. MCLAREN LIMITED
ONTARIO LAND SURVEYORS
123 KING STREET SOUTH, HAMILTON, ONT.
L8P 1A5
517-852-8100

Drawn BY: Checked RBY: Scale: 1" = 20' Imp. No. 25338

62R11669

16X



FIJLaw LLP

50 West Pearce Street, Suite 10
Richmond Hill, ON L4B 1C5
Tel (905) 763 3770
Fax (905) 763 3772

Reply To: David Meirovici
Extension: 222
Email: dmeirovici@fijlaw.com
Website: www.fijlaw.com

June 8, 2020

Delivered by Courier

City of Hamilton
71 Main Street West, 5th Floor
Hamilton, ON L8P 4Y5

Attn: Scott Baldry
Attn: Jamila Sheffield

Dear Sir:

Re: Application for Consent to Sever Land

Part of Lot 1, Plan 305, as in CD452582, except the easement (secondly) therein; t/w & s/t CD452582; Hamilton
(Municipality known as 227 Sherman Avenue South, Hamilton, ON)

Lot 26, Registrar's Complied Plan 1496; t/w CD454013; s/t VM124934, Hamilton
(Municipality 225 Sherman Avenue South, Hamilton, ON)

Part of Lot 26, Registrar's Complied Plan 1496 in the City of Hamilton, in the Regional Municipality of Hamilton-Wentworth designated as Part 2 on Reference Plan 62R-11669 (hereinafter called the "Easement Lands")

Our File No.: 17-1668

Further to the now dated correspondence as between our respective offices on this file, please be reminded that we have been retained by FCT Title Insurance Company to act on behalf of Stacey Allen-Cillis and Callum Cillis to correct a Planning Act violation with respect to their former property located at 227 Sherman Avenue South, in Hamilton Ontario as further legally described as:

Part of Lot 1, Plan 305, as in CD452582, except the easement (secondly) therein; t/w & s/t CD452582; Hamilton
(the "**Insured's Lands** ")

- 2 -

The Insured's Lands were transferred on March 31st, 2017 to its current owner Thien Thai Tran, subject to a Planning Act violation as described below to be rectified.

In particular, we advise that pursuant to **Instrument No. VM124934**, an easement was granted in favour of the Insured's Lands over the lands of the neighboring property located at 225 Sherman Avenue South, in Hamilton, ON, and as further legally described as:

Part of Lot 26, Registrar's Complied Plan 1496 in the City of Hamilton, in the Regional Municipality of Hamilton-Wentworth designated as Part 2 on Reference Plan 62R-11669
(hereinafter called the "**Easement Lands**")

Notwithstanding such Transfer Easement, the Planning Act consent included therein did not, by error, list the Servient or Dominant lands and instead was completed in a manner that listed only the owners to the Easement Lands.

As a result of the above error, which nullifies the Transfer Easement, the Right of Way Agreement, registered concurrently on both the Insured's lands and the Easement Lands, as **Instrument No. VM124935** and which gives insured's pedestrian and vehicle access over the Easement Lands, stands in violation of the Planning Act as well.

Based on prior correspondence with your office, we understand that the only method in which to rectify this error is to obtain new Planning Act Consent to the initial Transfer Easement.

Please note that as such easement had already been identified clearly in Reference Plan No. 62-1166 (created for this purpose), and approval based on such Reference Plan granted, we enclose herein such Reference Plan and submit that such satisfies the requirement by the Committee of Adjustment for a "Sketch" of the lands to be conveyed. We direct you specifically to Part 2 of Reference Plan 62-11669.

A new Planning Act Consent should be granted over the above mentioned "Easement Lands". As a result, please find enclosed herein an Application for Consent to Sever Land (executed and prepared by the owners of the Easement Lands, along with our firm's trust cheque in the sum of \$2,845.00 payable to your order is enclosed for your review and consideration.

Further to the above, we also enclose the following documents for your immediate reference:

1. PIN 17206-0248 (LT) - Part of Lot 1, Plan 305, as in CD452582, except the easement (secondly) therein; t/w & s/t CD452582; Hamilton (Municipality known as 227 Sherman Avenue South, Hamilton, ON);
2. PIN 17206-0276 (LT) - Lot 26, Registrar's Complied Plan 1496; t/w CD454013; s/t VM124934, Hamilton (Municipality 225 Sherman Avenue South, Hamilton, ON);
3. Instrument No. VM124935 – Agreement of Right of Way;

4. Instrument No. VM124934 – Transfer Easement;
5. Instrument No. CD454013 – Original Transfer of Lot 26;
6. Copy of Sketch/ Reference Plan - Plan 62R11669;

Should you require additional information, please do not hesitate to contact us.

Yours very truly,

FJJ Law LLP

A handwritten signature in black ink, appearing to read 'David Meirovici', written over the printed name.

David Meirovici

DM

Encls.



Hamilton

COMMITTEE OF ADJUSTMENT

City Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5
 Telephone (905) 546-2424, ext. 4221, 3935 Fax (905) 546-4202
 E-mail: cofa@hamilton.ca

NOTICE OF PUBLIC HEARING
Minor Variance

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
- Applicant/agent on file, or
- Person likely to be interested in this application

- APPLICATION NO.:** HM/A-20:117
- APPLICANTS:** Owner: Gateway Solutions Group Inc. c/o Charles Wah
 Agent: Urban Solutions c/o Matt Johnston
- SUBJECT PROPERTY:** Municipal address **302 Cumberland Ave., Hamilton**
- ZONING BY-LAW:** Zoning By-law 6593, as Amended by By-law 02-267
- ZONING:** DE-H/S-1472 (Low Density Multiple Dwellings) district
- PROPOSAL:** To convert the existing 875 m² building to a multiple dwelling containing a maximum of ten (10) residential units notwithstanding that;
1. A maximum of ten (10) unit multiple dwelling shall be permitted instead of the maximum permitted eight (8) Class A dwelling units within the building existing at the time of the passing of By-Law 02-267; and
 2. A minimum lot width of 3.5 m shall be maintained whereas the By-Law requires a minimum of 27.0 m lot width to be provided; and
 3. A minimum of ten (10) parking spaces shall be provided on site instead of the minimum required thirteen (13) parking spaces; and
 4. No visitor parking spaces shall be provided onsite instead of the minimum required three (3) visitor parking spaces; and
 5. A minimum parking space length of 5.8 m shall be provided instead of the minimum required 6.0 m parking space length; and
 6. To permit a parking area boundary containing five (5) or more parking spaces to be located 0.0 m from the adjoining residential district to the west and the north instead of the minimum required 1.0 m; and
 7. No planting strip shall be provided between the boundary of the parking area and the residential district to the north and the west instead of the minimum required area landscaped with a 1.5 m planting strip between the boundary of the parking area and the residential district; and
 8. No visual barrier shall be provided along the boundary of the lot abutting residential district to the north and west instead of the minimum required visual barrier along the boundary of the residential district of not less than 1.2 m in height and not greater than 2.0 m in height; and
 9. A minimum of 3.5 m access driveway width shall be maintained whereas the By-Law requires a mutual access driveway having a width of at least 5.5 m; and

HM/A-20:117

Page 2

10. A minimum landscaped area of 150.0 m² shall be provided on site instead of the minimum required 232.0 m² (per Site Specific By-Law 02-267).

Notes:

These variances are necessary to facilitate Site Plan Control application DA-20-016.

This application will be heard by the Committee as shown below:

DATE: Thursday, August 6th, 2020
TIME: 2:20 p.m.
PLACE: Via video link or call in (see attached sheet for details)
To be streamed at www.hamilton.ca/committeeofadjustment for viewing purposes only

PUBLIC INPUT

Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

Orally: If you would like to speak to this item at the hearing you may do so via video link or by calling in. Please see attached page for complete instructions, including deadlines for registering to participate.

MORE INFORMATION

For more information on this matter, including access to drawings illustrating this request:

- Visit www.hamilton.ca/committeeofadjustment
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935
- Email Committee of Adjustment staff at cofa@hamilton.ca

Dated: July 21, 2020

Jamila Sheffield,
 Secretary-Treasurer
 Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public.



Development Statistics		
Item	Required	Proposed
Max. No. of Residential Units	8 units	8 units
Permitted Use	Multiple Dwelling	Multiple Dwelling
Max. Height	11.0 m	8.2 m
Min. Drive Aisle width	5.5 m	3.56 m (MV #5)
Min. Front Yard	6.0 m	N/A (LNC)
Min. Side Yard	3.0 m	0.0 m (LNC)
Min. Rear Yard	7.5 m	3.12 m (LNC)
Min. Lot Width	27.0 m	3.56 m (MV #1)
Min. Parking adjacent to Residential Zone	1.0 m	0.87 m (MV #2)
Min. Landscaped Area	232 m ²	199.01 m ² (MV #6)
Min. Planting Strip	1.0 m	0.0 m (MV #3)
Parking		
Min. Residential Spaces	1.25 spaces/ unit = 10 spaces	10 spaces (Inc. Visitor Parking)
Min. Visitor Spaces	0.25/ unit = 2 spaces	2 spaces
Parking Space Size	3.0 m X 6.0 m	2.7 m X 5.8 m (MV #4)
Short Term Bicycle Parking	N/A	0 spaces

REQUIRED VARIANCE:

VARIANCE #1 - TO PERMIT A MINIMUM LOT WIDTH OF 3.565 METRES, WHEREAS 27.0 METRES IS REQUIRED;

VARIANCE #2 - TO PERMIT A PARKING AREA BOUNDARY ADJOINING A RESIDENTIAL AREA OF 0.75 METRES, WHEREAS 1.0 METRES IS REQUIRED;

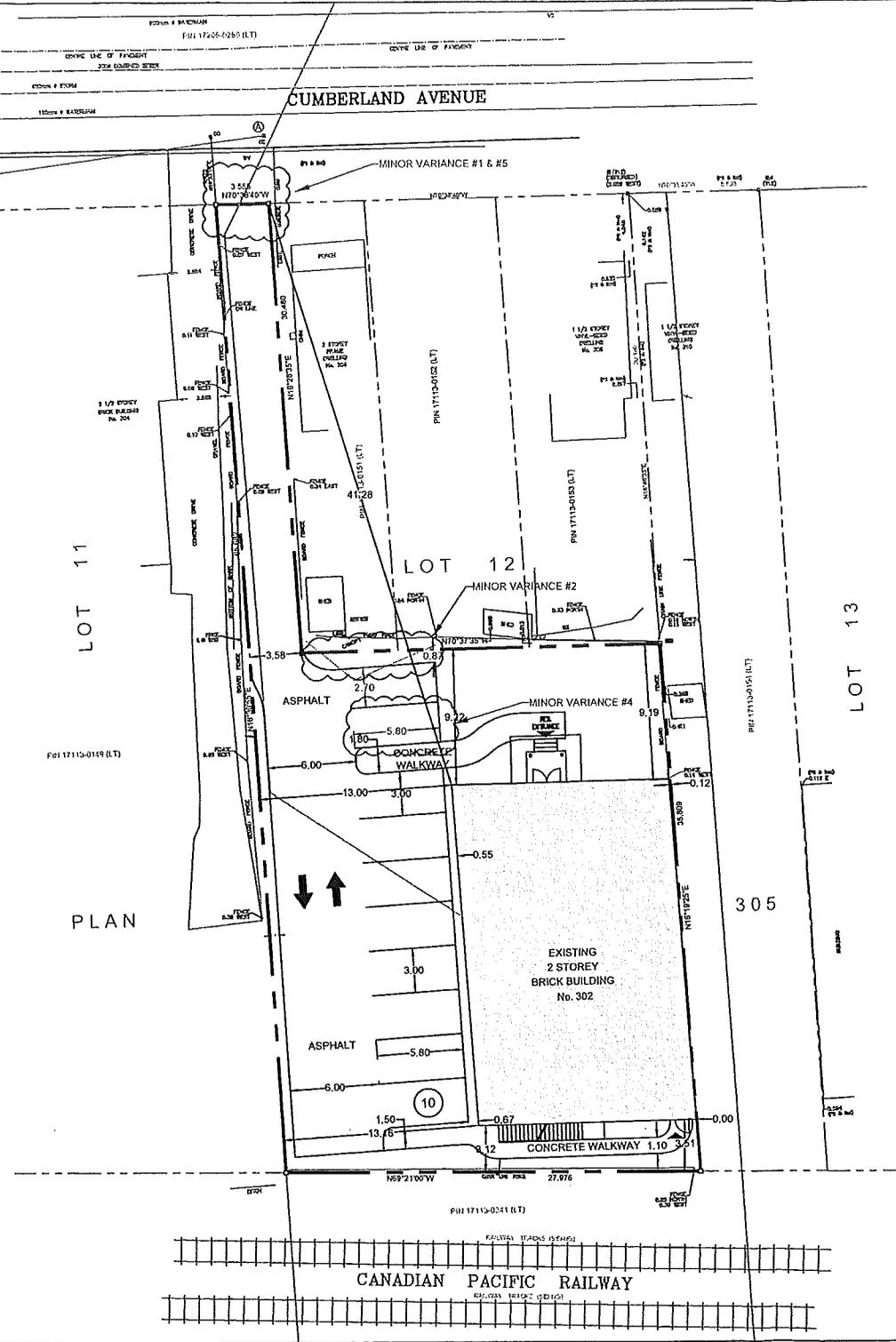
VARIANCE #3 - TO ELIMINATE THE REQUIRED PARKING STRIP BETWEEN THE PARKING AREA AND THE RESIDENTIAL DISTRICT;

VARIANCE #4 - TO PERMIT A PARKING SPACE WIDTH OF 2.7 METRES BY 5.8 METRES IN LENGTH, WHEREAS 3.0 METRES BY 6.0 METRES IS REQUIRED;

VARIANCE #5 - TO PERMIT A DRIVEWAY ACCESS WIDTH OF 3.565 METRES, WHEREAS 5.5 METRES IS REQUIRED;

VARIANCE #6 - TO PERMIT A LANDSCAPED AREA OF 150.0 SQUARED METRES; AND,

VARIANCE #7 - TO PERMIT 0 VISITOR PARKING SPACES, WHEREAS 2 SPACES ARE REQUIRED.



KEY WAP - N.T.S.

PART OF LOT 5 CONCESSION 1
GEOGRAPHIC TOWNSHIP OF
GLANFORD
IN THE CITY OF HAMILTON

SCALE 1:350 METRES

- LEGEND:**
- SUBJECT LANDS
 - EXISTING PROPERTY LINES
 - ▭ PROPOSED BUILDING
 - ▭ EXISTING BUILDINGS
 - ▶ PROPOSED ENTRANCE
 - x-x- EXISTING FENCE

DESIGN BY: Urban Solutions CHECKED BY: M. Armitage
DRAWN BY: L. Dwyer DATE: May 28, 2020

NOT FOR CONSTRUCTION

PREPARED BY:

URBAN SOLUTIONS
PLANNING & LAND DEVELOPMENT

105 Main Street East, Suite 501
Hamilton, ON L8N 1G8
905-548-1087 - UrbanSolutions.info

PROJECT:

**MINOR VARIANCE
SKETCH**

PROJECT:

**302 CUMBERLAND AVENUE
City of Hamilton**

CLIENT:

Gateway Group

U.S. FILE NUMBER: 338-19 SHEET NUMBER: 1



Hamilton

Planning and Economic Development Department
Planning Division

Committee of Adjustment
City Hall
5th floor 71 Main Street West
Hamilton, Ontario L8P 4Y5

Phone (905) 546-2424 ext.4221
Fax (905) 546-4202

**PLEASE FILL OUT THE FOLLOWING PAGES AND
RETURN TO THE CITY OF HAMILTON PLANNING
DEPARTMENT.**

20-171447

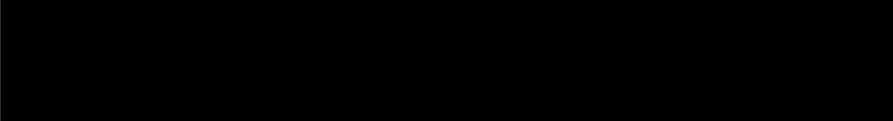
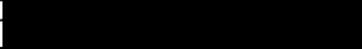
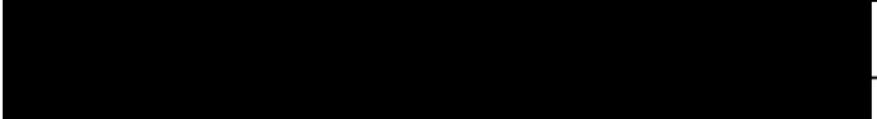
FOR OFFICE USE ONLY.	
APPLICATION NO. <u>Hm/A-20-117</u>	DATE APPLICATION RECEIVED <u>June 10/20</u>
PAID _____	DATE APPLICATION DEEMED COMPLETE _____
SECRETARY'S SIGNATURE _____	

**CITY OF HAMILTON
COMMITTEE OF ADJUSTMENT
HAMILTON, ONTARIO**

The Planning Act

Application for Minor Variance or for Permission

The undersigned hereby applies to the Committee of Adjustment for the City of Hamilton under Section 45 of the *Planning Act*, R.S.O. 1990, Chapter P.13 for relief, as described in this application, from the Zoning By-law.

- 1. Name of Owner Gateway Solutions Group Inc.
c/o Charles Wah T 
- 2. 
- 3. Name of Agent UrbanSolutions Planning & Land Development Consultants Inc. c/o Matt Johnston
_____ T 
- 4. 

Note: Unless otherwise requested all communications will be sent to the agent, if any.

- 5. Names and addresses of any mortgagees, holders of charges or other encumbrances: N/A
- _____ Postal Code _____
- _____ Postal Code _____

6. Nature and extent of relief applied for:

Please refer to enclosed cover letter and Minor Variance sketch for details.

7. Why it is not possible to comply with the provisions of the By-law?

Please refer to enclosed cover letter for details.

8. Legal description of subject lands (registered plan number and lot number or other legal description and where applicable, street and street number):

Part of Lot 12, Registered Plan No. 305. Former Municipality of Hamilton

Municipal address: 302 Cumberland Avenue, Hamilton

9. PREVIOUS USE OF PROPERTY

Residential Industrial Commercial Agricultural Vacant Other

9.1 If Industrial or Commercial, specify use

Ink & Chemical Manufacturing

9.2 Has the grading of the subject land been changed by adding earth or other material, i.e. has filling occurred?

Yes No Unknown

9.3 Has a gas station been located on the subject land or adjacent lands at any time?

Yes No Unknown

9.4 Has there been petroleum or other fuel stored on the subject land or adjacent lands?

Yes No Unknown

9.5 Are there or have there ever been underground storage tanks or buried waste on the subject land or adjacent lands?

Yes No Unknown

9.6 Have the lands or adjacent lands ever been used as an agricultural operation where cyanide products may have been used as pesticides and/or sewage sludge was applied to the lands?

Yes No Unknown

9.7 Have the lands or adjacent lands ever been used as a weapon firing range?

Yes No Unknown

9.8 Is the nearest boundary line of the application within 500 metres (1,640 feet) of the fill area of an operational/non-operational landfill or dump?

Yes No Unknown

9.9 If there are existing or previously existing buildings, are there any building materials remaining on site which are potentially hazardous to public health (eg. asbestos, PCB's)?

Yes No Unknown

9.10 Is there any reason to believe the subject land may have been contaminated by former uses on the site or adjacent sites?

Yes No Unknown

9.11 What information did you use to determine the answers to 9.1 to 9.10 above?

Consultation with owner & Phase One Environmental Site Assessment prepared by WSP.

9.12 If previous use of property is industrial or commercial or if YES to any of 9.2 to 9.10, a previous use inventory showing all former uses of the subject land, or if appropriate, the land adjacent to the subject land, is needed.

Is the previous use inventory attached? Yes No

ACKNOWLEDGEMENT CLAUSE

I acknowledge that the City of Hamilton is not responsible for the identification and remediation of contamination on the property which is the subject of this Application – by reason of its approval to this Application.

Date May 28, 2020


Signature Property Owner

Gateway Solutions Group Inc. c/o Charles Wah

Print Name of Owner

10. Dimensions of lands affected:

Frontage	<u>+/- 3.56 metres</u>
Depth	<u>+/- 65.68 metres</u>
Area	<u>+/- 1097.01 squared metres</u>
Width of street	<u>+/- 18.4 metres</u>

11. Particulars of all buildings and structures on or proposed for the subject lands: (Specify ground floor area, gross floor area, number of stories, width, length, height, etc.)

Existing: Please refer to enclosed Minor Variance Sketch and Site Plan Control application DA-20-016.

Proposed: Please refer to enclosed Minor Variance Sketch and Site Plan Control application DA-20-016

12. Location of all buildings and structures on or proposed for the subject lands; (Specify distance from side, rear and front lot lines)

Existing: Please refer to enclosed Minor Variance Sketch and Site Plan Control application DA-20-016

Proposed: Please refer to enclosed Minor Variance Sketch and Site Plan Control application DA-20-016

13. **Date of acquisition of subject lands:**
Unknown

14. **Date of construction of all buildings and structures on subject lands:**
Unknown

15. **Existing uses of the subject property:** Vacant. Previously operating as a co-operative office space.

16. **Existing uses of abutting properties:** North/ East/ West: Residential, South: Railway and Open Space

17. **Length of time the existing uses of the subject property have continued:**
Unknown

18. **Municipal services available: (check the appropriate space or spaces)**
 Water _____ Connected ✓
 Sanitary Sewer _____ Connected _____
 Storm Sewers ✓

19. **Present Official Plan/Secondary Plan provisions applying to the land:**
Neighbourhoods in Urban Hamilton Official Plan

20. **Present Restricted Area By-law (Zoning By-law) provisions applying to the land:**
Low Density Multiple Dwellings "DE-H/S-1472" in the City of Hamilton By-law No. 6593.

21. **Has the owner previously applied for relief in respect of the subject property?**
 Yes No

If the answer is yes, describe briefly.

A Site Plan application was submitted and received Site Plan approval on May 20, 2020 as part of DA- 20-016 and is now conditionally approved pending approval of Minor Variance application

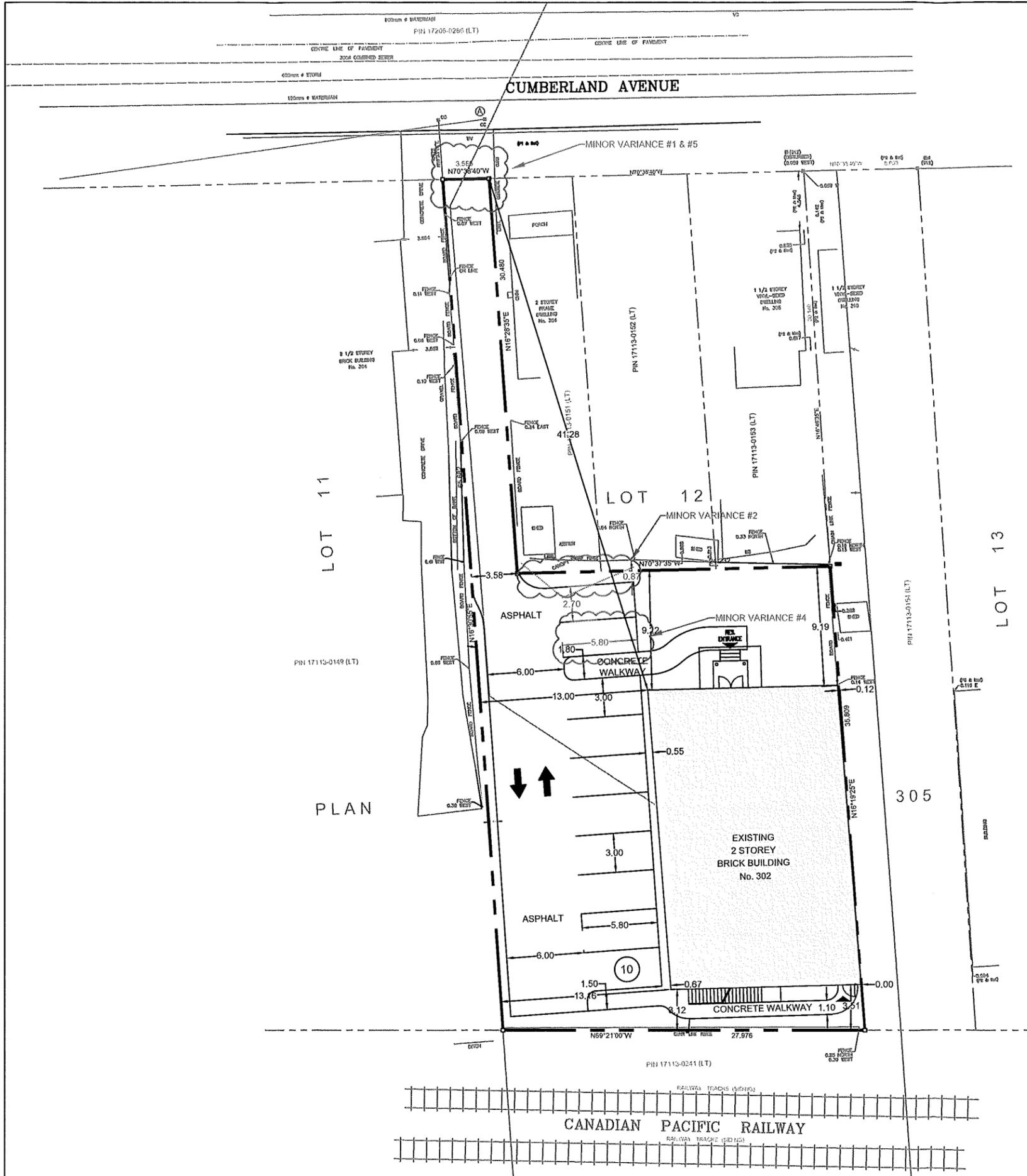
22. **Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?**

Yes

No

23. The applicant shall attach to each copy of this application a plan showing the dimensions of the subject lands and of all abutting lands and showing the location, size and type of all buildings and structures on the subject and abutting lands, and where required by the Committee of Adjustment such plan shall be signed by an Ontario Land Surveyor.

NOTE: It is required that two copies of this application be filed with the secretary-treasurer of the Committee of Adjustment together with the maps



Development Statistics		
Item	Required	Proposed
Max. No. of Residential Units	8 units	8 units
Permitted Use	Multiple Dwelling	Multiple Dwelling
Max. Height	11.0 m	8.2 m
Min. Drive Aisle width	5.5 m	3.56 m (MV #5)
Min. Front Yard	6.0 m	N/A (LNC)
Min. Side Yard	3.0 m	0.0 m (LNC)
Min. Rear Yard	7.5 m	3.12 m (LNC)
Min. Lot Width	27.0 m	3.56 m (MV #1)
Min. Parking adjacent to Residential Zone	1.0 m	0.87 m (MV #2)
Min. Landscaped Area	232 m ²	199.01 m ² (MV #6)
Min. Planting Strip	1.0 m	0.0 m (MV #3)
Parking		
Min. Residential Spaces	1.25 spaces/ unit = 10 spaces	10 spaces (Inc. Visitor Parking)
Min. Visitor Spaces	0.25/ unit = 2 spaces	2 spaces
Parking Space Size	3.0 m X 6.0 m	2.7 m X 5.8 m (MV #4)
Short Term Bicycle Parking	N/A	0 spaces

REQUIRED VARIANCE:

VARIANCE #1 - TO PERMIT A MINIMUM LOT WIDTH OF 3.565 METRES, WHEREAS 27.0 METRES IS REQUIRED;

VARIANCE #2 - TO PERMIT A PARKING AREA BOUNDARY ADJOINING A RESIDENTIAL AREA OF 0.75 METRES, WHEREAS 1.0 METRES IS REQUIRED;

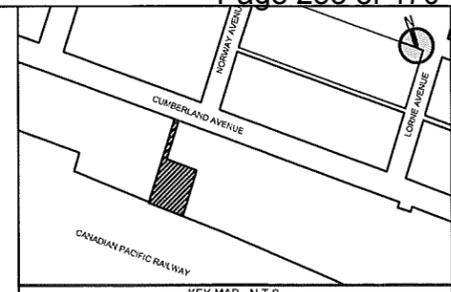
VARIANCE #3 - TO ELIMINATE THE REQUIRED PANTING STRIP BETWEEN THE PARKING AREA AND THE RESIDENTIAL DISTRICT;

VARIANCE #4 - TO PERMIT A PARKING SPACE WIDTH OF 2.7 METRES BY 5.8 METRES IN LENGTH, WHEREAS 3.0 METRES BY 6.0 METRES IS REQUIRED;

VARIANCE #5 - TO PERMIT A DRIVEWAY ACCESS WIDTH OF 3.565 METRES, WHEREAS 5.5 METRES IS REQUIRED;

VARIANCE #6 - TO PERMIT A LANDSCAPED AREA OF 150.0 SQUARED METRES; AND,

VARIANCE #7 - TO PERMIT 0 VISITOR PARKING SPACES, WHEREAS 2 SPACES ARE REQUIRED.



KEY MAP - N.T.S.

**PART OF LOT 5 CONCESSION 1
GEOGRAPHIC TOWNSHIP OF
GLANFORD
IN THE CITY OF HAMILTON**

SCALE 1:350 METRES

- LEGEND:**
- SUBJECT LANDS
 - - - EXISTING PROPERTY LINES
 - ▭ PROPOSED BUILDING
 - ▨ EXISTING BUILDINGS
 - ▶ PROPOSED ENTRANCE
 - x-x- EXISTING FENCE

DESIGN BY: Lintack Architects CHECKED BY: M. Johnston
DRAWN BY: L. Derran DATE: May 29, 2020

NOT FOR CONSTRUCTION

PREPARED BY:



URBAN SOLUTIONS
PLANNING & LAND DEVELOPMENT

105 Main Street East, Suite 501
Hamilton, ON L8N 1G6
905-546-1087 - UrbanSolutions.info

PROJECT:

**MINOR VARIANCE
SKETCH**

PROJECT:

**302 CUMBERLAND AVENUE
City of Hamilton**

CLIENT:

Gateway Group

UIS FILE NUMBER: 338-19 SHEET NUMBER: 1

TOPOGRAPHIC SURVEY
OF PART OF
LOT 12
REGISTERED PLAN 305
IN THE
CITY OF HAMILTON

SCALE 1:150 METRIC

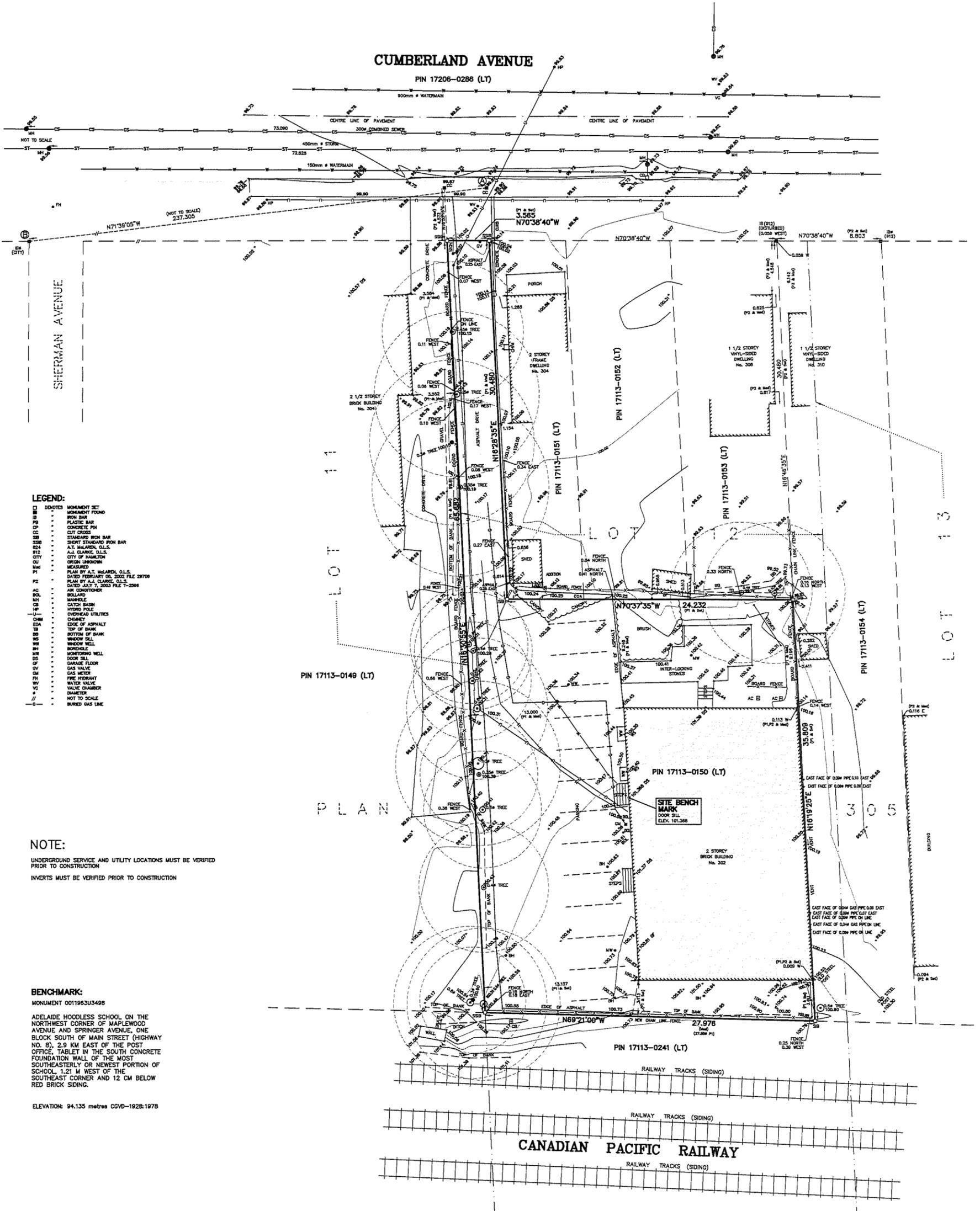


S.D. McLAREN, O.I.S. - 2019



CUMBERLAND AVENUE

PIN 17206-0286 (LT)



- LEGEND:**
- MONUMENT SET
 - MONUMENT FOUND
 - IRON BAR
 - PLASTIC BAR
 - CONCRETE PIN
 - CUT CROSS
 - STANDARD IRON BAR
 - SHORT STANDARD IRON BAR
 - A.T. INCLINED O.I.S.
 - A.T. CLARK O.I.S.
 - CITY OF HAMILTON
 - ORIGIN UNKNOWN
 - MEASURED
 - PLAN BY A.T. McLAREN, O.I.S.
 - DATED FEBRUARY 08, 2002 FILE 29708
 - PLAN BY A.T. CLARK, O.I.S.
 - DATED MAY 7, 2003 FILE T-2008
 - AIR CONDITIONER
 - BOLLARD
 - MANHOLE
 - CATCH BASIN
 - HYDRO POLE
 - OVERHEAD UTILITIES
 - CHIMNEY
 - TOP OF ASPHALT
 - TOP OF BANK
 - BOTTOM OF BANK
 - WINDOW SILL
 - WINDOW WELL
 - WINDOZE
 - MONITORING WELL
 - DOOR SILL
 - GARAGE FLOOR
 - GAS VALVE
 - GAS METER
 - FIRE HYDRANT
 - WATER VALVE
 - VALVE CHAMBER
 - DIAMETER
 - NOT TO SCALE
 - BURIED GAS LINE

NOTE:
UNDERGROUND SERVICE AND UTILITY LOCATIONS MUST BE VERIFIED PRIOR TO CONSTRUCTION
INVERTS MUST BE VERIFIED PRIOR TO CONSTRUCTION

BENCHMARK:
MONUMENT 0011963U3498
ADELAIDE HOODLESS SCHOOL ON THE NORTHWEST CORNER OF MAPLEWOOD AVENUE AND SPRINGER AVENUE, ONE BLOCK SOUTH OF MAIN STREET (HIGHWAY NO. 8), 2.9 KM EAST OF THE POST OFFICE. TABLET IN THE SOUTH CONCRETE FOUNDATION WALL OF THE MOST SOUTHEASTERLY OR NEWEST PORTION OF SCHOOL, 1.21 M WEST OF THE SOUTHEAST CORNER AND 12 CM BELOW RED BRICK SIDING.

ELEVATION: 94.135 metres CGVD-1928:1978

BEARING NOTE:
BEARINGS ARE UTM GRID, DERIVED FROM OBSERVED REFERENCE POINTS A AND B, BY REAL TIME NETWORK OBSERVATIONS, UTM ZONE 17, NAD83 (CSRS) (2010.0)

NOTE:
DISTANCES ARE GROUND AND CAN BE CONVERTED TO GRID BY MULTIPLYING BY THE COMBINED SCALE FACTOR OF 0.999898529

INTEGRATION DATA

POINT ID	NORTHING	EASTING
OMP 0	4785434.574	584248.040
OMP 8	4785508.248	584023.880

COORDINATES CANNOT, IN THEMSELVES, BE USED TO RE-ESTABLISH CORNERS OR BOUNDARIES SHOWN ON THIS PLAN.

METRIC NOTE
DISTANCES AND COORDINATES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

SURVEYOR'S CERTIFICATE:
I CERTIFY THAT:
1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEY ACT, THE SURVEYORS ACT AND THE REGULATIONS MADE UNDER THEM
2. THE SURVEY WAS COMPLETED ON THE 14TH DAY OF OCTOBER, 2019
DATE: OCTOBER 1, 2019
S. DAN McLAREN, O.I.S.

© S.D. McLAREN, O.I.S. - 2019. NO PERSON MAY COPY, REPRODUCE, DISTRIBUTE OR ALTER THIS PLAN IN WHOLE OR IN PART WITHOUT THE WRITTEN PERMISSION OF S.D. McLAREN, O.I.S.

A.T. McLaren Limited
LEGAL AND ENGINEERING SURVEYS

89 JONAH STREET SOUTH, SUITE 230
HAMILTON, ONTARIO, L9B 2S9
PHONE (905) 827-8350 FAX (905) 827-9332

Drawn: JAM
Checked: RAM
Date: 1/15/20
Dwg. No. 30092

**URBAN SOLUTIONS**
PLANNING & LAND DEVELOPMENT

June 4, 2020

338-19

Via Courier

Mr. Jamila Sheffied
Secretary-Treasurer
Committee of Adjustment

City of Hamilton
71 Main Street West, 5th Floor
Hamilton, ON, L8P 4Y5

Dear Ms. Sheffield,

**Re: 302 Cumberland Avenue, Hamilton
Minor Variance Application Submission**

UrbanSolutions Planning & Land Development Consultants Inc. (UrbanSolutions) is the authorized planning consultant acting on behalf of Gateway Solutions Group Inc. c/o Charles Wah (Owner), for the lands municipally known as 302 Cumberland Avenue, in the City of Hamilton.

A Site Plan application was submitted for the redevelopment of an existing warehouse building on the subject lands to a eight (8) unit residential building with ten (10) surface parking spaces and implements City Council's 2002 approval of ZAC-02-20 (City By-law No. 02-267). The Site Plan application received approval on May 20, 2020 as part of DA-20-016 subject to conditions including the approval of the enclosed Minor Variance application. We are pleased to submit this Application for Minor Variance, on behalf of the Owner, to satisfy this condition of approval.

The subject lands are designated Neighbourhoods in the Urban Hamilton Official Plan and Zoned Low Density Multiple Dwellings "DE-H/S-1472" in the City of Hamilton By-law No. 6593.

Purpose of the Application

This Minor Variance Application is required to achieve relief from the specified permitted uses on the subject lands within a Low Density Multiple Dwellings "DE-H/S-1472" Zone and facilitate the Site Plan approval. The following variance is required:

- Variance No. 1: To permit a lot width of 3.565 metres, whereas 27.0 metres is required;
- Variance No. 2: To permit a parking area boundary adjoining a residential area of 0.75 metres, whereas 1.0 metre is required;

- Variance No. 3: To eliminate the required planting strip between the parking area and the residential district;
- Variance No. 4: To permit a parking space width of 2.7 metres by 5.8 metres in length, whereas 3.0 metres by 6.0 metres is required;
- Variance No. 5: To permit a driveway access width of 3.565 metres, whereas 5.5 metres is required;
- Variance No. 6: To permit a landscaped area of 150.0 squared metres; and,

Analysis

To assist in the evaluation of the application, please refer to the enclosed Minor Variance Sketch.

Section 45(1) of the *Planning Act*, R.S.O, 1990, as amended, requires a Minor Variance to satisfy four tests. Justification for the proposed variance in keeping with these tests is provided below.

1. Is the proposed minor variance in keeping with the general purpose and intent of the Urban Hamilton Official Plan?

The subject lands are designated as Neighbourhoods in the Urban Hamilton Official Plan. The purpose of this designation is to permit a range of residential dwelling types and scales to create a complete community. The proposed development will provide a residential use which will be more compatible with the surrounding residential dwellings and provide a mix of form of residential development to add character and design features to the neighbourhood. It is in our opinion that the proposed minor variances maintains the general purpose and intent of the Urban Hamilton Official Plan.

2. Is the proposed minor variance in keeping with the general purpose and intent of the Zoning By-law?

The subject lands are located in the Low Density Multiple Dwellings "DE-H/S-1472" in the City of Hamilton By-law No. 6593. The proposed development is existing and proposed to be redeveloped for a new use. The design of the subject lands will be in coordination with City staff through the Site Plan process to maintain the general purpose of the Zoning By-law. The intent of the zone is to permit multiple dwellings not exceeding three storeys. As the proposed development conforms to all other zone provisions, in our opinion, the intent of the Zoning By-law is maintained.

3. Is the proposed minor variance desirable for the appropriate development or use of the land, building or structure?

The requested variance will facilitate the Site Plan Control approval, which will result in a form of development that is more in keeping with the planned character of the surrounding area. Therefore, the application is desirable and appropriate for the development of the land.

4. Is the proposed minor variance minor in nature?

The requested variance is minor in nature as it is necessary to facilitate the Site Plan approval and will not result in any adverse impacts on the surrounding neighbourhood.

As such, the proposed variance satisfies the four tests outlined in Section 45(1) of the *Planning Act* as the relief requested is minor in nature, is desirable for the appropriate development of the lands, and meets the general intent and purpose of the Official Plan and Zoning By-law.

In support of this application, please find enclosed the following:

- Two (2) copies of the completed Minor Variance Application form;
- One (1) copy of the Survey Plan, prepared by A.T. McLaren;
- Two (2) copies of the Minor Variance Sketch; and,
- One (1) cheque payable to the City of Hamilton in the amount of **\$3,302.00**.

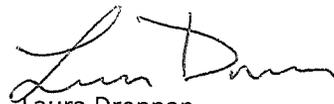
We trust the enclosed is in order; however, please feel free to contact the undersigned with any questions.

Regards,

UrbanSolutions

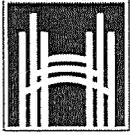


Matt Johnston, MCIP, RPP
Principal



Laura Drennan
Planning Technician

cc: Mr. Charles Wah, Owner
Councillor Naan, City of Hamilton Ward 3



Hamilton

COMMITTEE OF ADJUSTMENT

City Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5
 Telephone (905) 546-2424, ext. 4221, 3935 Fax (905) 546-4202
 E-mail: cofa@hamilton.ca

NOTICE OF PUBLIC HEARING
Minor Variance

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
- Applicant/agent on file, or
- Person likely to be interested in this application

APPLICATION NO.: HM/A-20:123

APPLICANTS: Owner: Inderjit Sian
 Agent: Ken Bekendam

SUBJECT PROPERTY: Municipal address 11 Fairleigh Ave. N., Hamilton

ZONING BY-LAW: Zoning By-law 6593, as Amended

ZONING: D (Urban Protected Residential) district

PROPOSAL: To permit the conversion of the existing single family dwelling to contain two dwelling units notwithstanding that:

1. A lot area of 240.0m² shall be provided instead of the minimum required lot area of 270.0m².

NOTES:

- i. The applicant shall ensure that no more than two dwelling units are proposed.
- ii. Please be advised that the external appearance and character of a converted dwelling is required to be maintained and preserved. Further variances may be required if changes are proposed to the exterior of the existing building. Insufficient information has been provided to determine compliance at this time.

This application will be heard by the Committee as shown below:

DATE: Thursday, August 6th, 2020
TIME: 2:25 p.m.
PLACE: Via video link or call in (see attached sheet for details)
To be streamed at www.hamilton.ca/committeeofadjustment for viewing purposes only

PUBLIC INPUT

Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

Orally: If you would like to speak to this item at the hearing you may do so via video link or by calling in. Please see attached page for complete instructions, including deadlines for registering to participate.

HM/A-20:123
Page 2

MORE INFORMATION

For more information on this matter, including access to drawings illustrating this request:

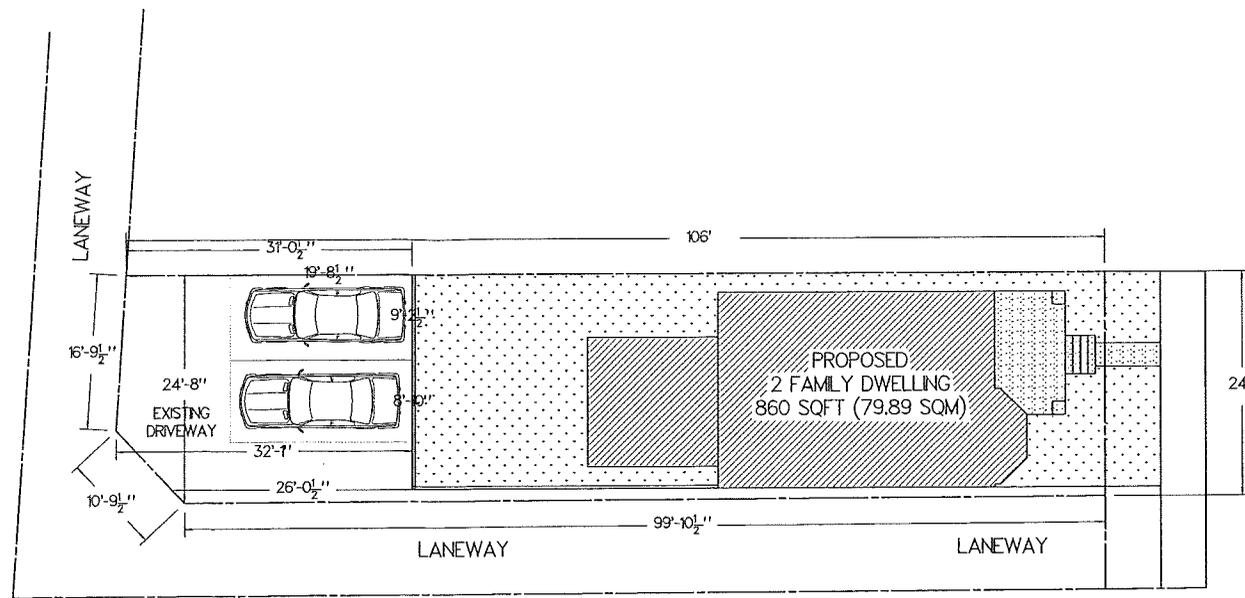
- Visit www.hamilton.ca/committeeofadjustment
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935
- Email Committee of Adjustment staff at cofa@hamilton.ca

Dated: July 21, 2020

Jamila Sheffield,
Secretary-Treasurer
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public.

SITE INFORMATION & STATISTICS			
ADDRESS	11 FAIRLEIGH AVE N		
ZONING TYPE	D - ONE AND TWO FAMILY DWELLINGS		
LOT AREA	2587 SQFT (240.34 SQM)		
LOT FRONTAGE	24' (7.31m)		
FLOOR AREAS	ALLOWED	EXISTING	PROPOSED
BASEMENT		661 SQFT	NO CHANGE
MAIN FLOOR		860 SQFT	NO CHANGE
SECOND FLOOR		661 SQFT	NO CHANGE
THIRD FLOOR		413 SQFT	NO CHANGE
SETBACKS			
FRONT			NO CHANGE
SIDE			NO CHANGE
BACK			NO CHANGE
SIDE			NO CHANGE



ELECTRONIC STAMP

SITE PLAN :
 BASED ON HAMILTON MAPS AND MEASUREMENTS ON SITE. DESIGNER ASSUMES NO RESPONSIBILITY FOR ACCURACY OF HAMILTON MAPS. THIS SITE PLAN SHALL NOT BE USED FOR ANY OTHER PURPOSES. NO WORK TO ENCROACH ONTO ADJOINING PROPERTIES.

LANDSCAPED FRONT YARD:
 LANDSCAPED AREA = 139 SQFT = 55.16%
 HARD SURFACE AREA = 113 SQFT = 44.84%

EXISTING STRUCTURE NOTE:
 OWNER AND CONTRACTOR IS FULLY RESPONSIBLE FOR VERIFYING ALL EXISTING STRUCTURAL CONDITIONS PRIOR TO ANY WORK. ANY AND ALL DISCREPANCIES SHALL BE REPORTED TO THE OWNER PRIOR TO ANY WORK. OWNER AND CONTRACTOR IS FULLY RESPONSIBLE FOR SHORING EXISTING STRUCTURE PRIOR TO ANY WORK.

BUILDING CODE COMPLIANCE NOTE:
 THESE DRAWINGS DO NOT REPRESENT A COMPREHENSIVE AND EXHAUSTIVE GUIDE FOR COMPLIANCE WITH THE ONTARIO BUILDING CODE. IT IS ASSUMED THAT THE CONTRACTOR HAS REASONABLY SUFFICIENT KNOWLEDGE OF THE ONTARIO BUILDING CODE IN ORDER TO PERFORM ALL WORK AS PER THESE DRAWINGS IN SUCH A WAY THAT WILL COMPLY WITH ALL ASPECTS OF THE OBC AND WILL NOT CONTRAVENE ANY OTHER APPLICABLE LAWS.

- GENERAL NOTES:**
1. ALL CONSTRUCTION TO COMPLY WITH THE REVISED ONTARIO BUILDING CODE 2012.
 2. ALL DIMENSION ARE MEASURED TO ROUGH FRAMING OR TO MASONRY SURFACES UNLESS OTHERWISE NOTED.
 3. ALL DOORS AND WINDOW OPENINGS ARE MEASURED TO ROUGH FRAMING OR MASONRY OPENINGS.
 4. CONTRACTOR IS TO VERIFY WINDOW OPENINGS WITH WINDOW MANUFACTURER PRIOR TO COMMENCING WORK.
 5. READ ARCHITECTURAL DRAWINGS IN CONJUNCTION WITH STRUCTURAL, MECHANICAL AND ELECTRICAL DRAWINGS.
 6. ELEVATION REFERENCES ARE BASED ON 100'-0" = 15170m GEODETIC ELEVATIONS AS NOTED ON A1 SITE PLAN.
 7. ALL DIMENSION MUST BE CHECKED AGAINST THE ARCHITECTURAL DRAWINGS AND THE FIELD CONDITIONS BEFORE COMMENCING FABRICATION. ANY INCONSISTENCES ARE TO BE REPORTED TO THE CONSULTANT BEFORE PROCEEDING WITH THE WORK.
 8. THE CONTRACTOR SHALL PROPERLY SUPERVISE THE WORK AND ENSURE THAT THE WORK IS INSTALLED TO THE CORRECT LINES AND LEVELS, THAT THE CONNECTIONS AND DETAILS CONFORM TO THE DRAWING DETAILS AND SHALL COORDINATE THE INTERFACING OF ALL WORK WITH ALL SUBTRADES.
 9. PROVIDE POSITIVE FRONT YARD SLOPE TO MUNICIPAL SEWER FOR WATER RUN-OFF.
 10. CONTRACTOR TO BE RESPONSIBLE FOR VERIFYING THE LOCATIONS OF ALL EXISTING UNDERGROUND AND ABOVE UTILITIES AND SERVICES. VARIOUS UTILITIES CONCERNED TO BE GIVEN REQUIRED ADVANCED NOTICE PRIOR TO ANY DIGGING, FOR STAKE OUT.
 11. REFER TO LANDSCAPING PLAN FOR PLANTING CONFORM LAYOUT WITH LANDSCAPE CONTRACTOR.
 12. DESIGNER NOT RESPONSIBLE FOR ACCURACY OF SURVEY DRAWING.

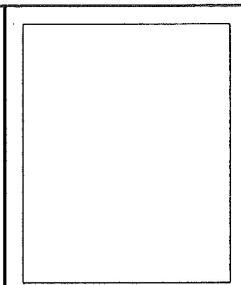


LEAD DESIGNER & CONSULTANT **KEN BEKENDAM**
 kenbekendam@gmail.com
 C: (905)-961-0647
 (855) - KINGHMS (546-4467)

LEAD ENGINEER **ROBERT MENDEZ P.ENG. 100054193**
 robertmendez@yahoo.com
 C: (416) - 807-1572

www.legalsecondsuites.com





ADDRESS: **11 FAIRLEIGH AVE N
 HAMILTON, ON**

SITE PLAN

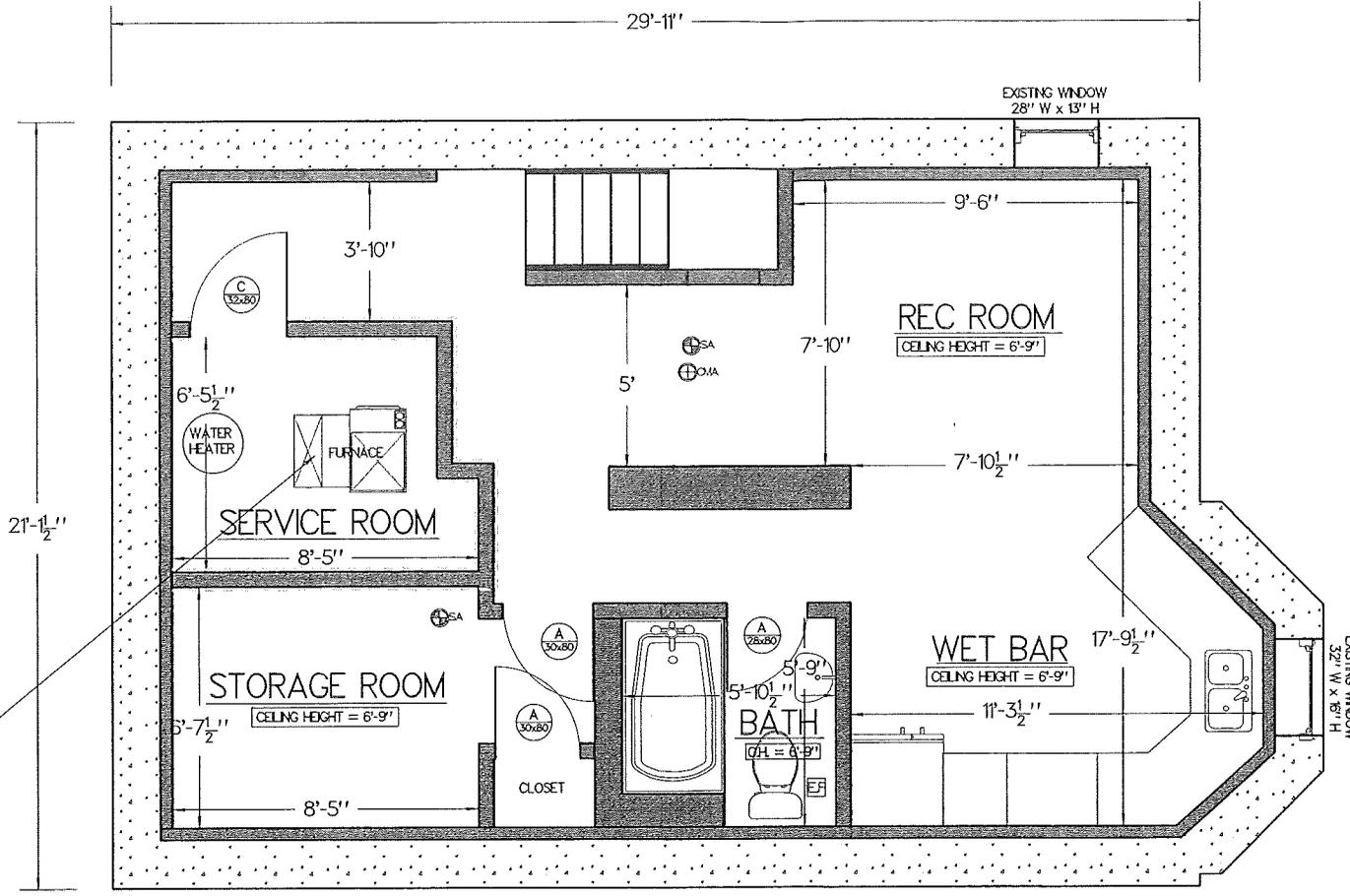
SCALE: **1/16" = 1'**

PROJECT: **2-UNIT
 CONVERSION**

DATE: **APR 2020**

SHEET #: **SP1.01**

PLANS LEGEND	
BATH	ROOM NAME
EF	EXHAUST FAN
(2)	SPECIFICATION TAG
SA	SMOKE ALARM
COA	CARBON MONOXIDE ALARM
CHL 6'-11"	CEILING HEIGHT
---	STRUCTURAL BEAM OR WALL
PS	PLUMBING STACK
WM	WATER METER
FD	FLOOR DRAIN
SC	STRUCTURAL COLUMN
---	FOUNDATION WALL
---	NEW EXTERIOR WALLS
---	NEW INTERIOR WALLS
---	EXISTING WALLS TO REMAIN
---	STRUCTURAL WALL
SR	SUPPLY REGISTER
RG	RETURN GRILLE
DOOR LEGEND	
A	DOOR TYPE
30/80	DOOR SIZE
A	PANEL DOOR
B	FIRE DOOR w/ SELF CLOSER (45 MIN)
C	FIRE DOOR w/ SELF CLOSER (20 MIN)
D	EXTERIOR DOOR
E	BIFOLD CLOSET
F	SLIDING DOOR
G	POCKET DOOR



SEPARATION OF SERVICE ROOM:

- SERVICE ROOM TO CONFORM WITH OBC SECTION 9.10.10.4

IMPORTANT NOTE:

- SERVICE ROOM NO LONGER REQUIRES FIRE SEPARATION FROM BOTH UNITS AS IT IS NOW EXEMPT UNDER 9.10.10.4 (2)(b) FOR A "HOUSE", DEFINED IN O.B.C AS "a detached house, semi-detached house or row house containing not more than two dwelling units"

VERTICAL PARTITIONS STILL REQUIRES FIRE SEPARATION TO PROVIDE FIRE RESISTANCE RATING BETWEEN DWELLING UNITS. (W4A)

- NEW 2x4 STUD WALL SPACED 16" O.C.
- 3/8" THICK ABSORPTIVE MATERIAL
- RESILIENT METAL CHANNELS SPACED 24" O.C.
- 2 LAYERS 5/8" TYPE X GYPSUM BOARD ON CHANNEL SIDE
- 1 LAYER 5/8" TYPE X GYPSUM BOARD ON OTHER SIDE

GYPSUM BOARD INSIDE SERVICE ROOM TO EXTEND INTO JOIST CAVITY AND BUTTED TIGHTLY AGAINST FLOOR JOISTS AND SUBFLOOR ABOVE

- SMALL GAPS TO BE CAULKED WITH FIRE BARRIER SEALANT IN ACCORDANCE WITH CAN/ULC S115

IMPORTANT - ADEQUATE COMBUSTION AIR NEEDED FOR APPLIANCES

IN-DUCT SMOKE DETECTOR

SMOKE DETECTOR TO BE INSTALLED IN THE SUPPLY OR RETURN AIR DUCT SYSTEM TO TURN OFF ELECTRICAL POWER AND FUEL SUPPLY UPON ACTIVATION

NOTE: NO CHANGES TO THIS FLOOR PLAN

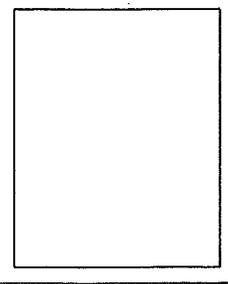
UNIT #1 - GFA = 1103 SQFT
 MAIN FLOOR = 651 SQFT
 BASEMENT = 452 SQFT
 SHARED EXIT = 28 SQFT



LEAD DESIGNER & CONSULTANT **KEN BEKENDAM**
 kenbekendam@gmail.com
 C: (905)-961-0647
 (855) - KINGHMS (546-4467)

LEAD ENGINEER **ROBERT MENDEZ P.ENG. 100054193**
 robertmendez@yahoo.com
 C: (416) - 807-1572
 www.legalsecondsuites.com





ADDRESS: 11 FAIRLEIGH AVE N
 HAMILTON, ON

EXISTING & PROPOSED
 BASEMENT FLOOR

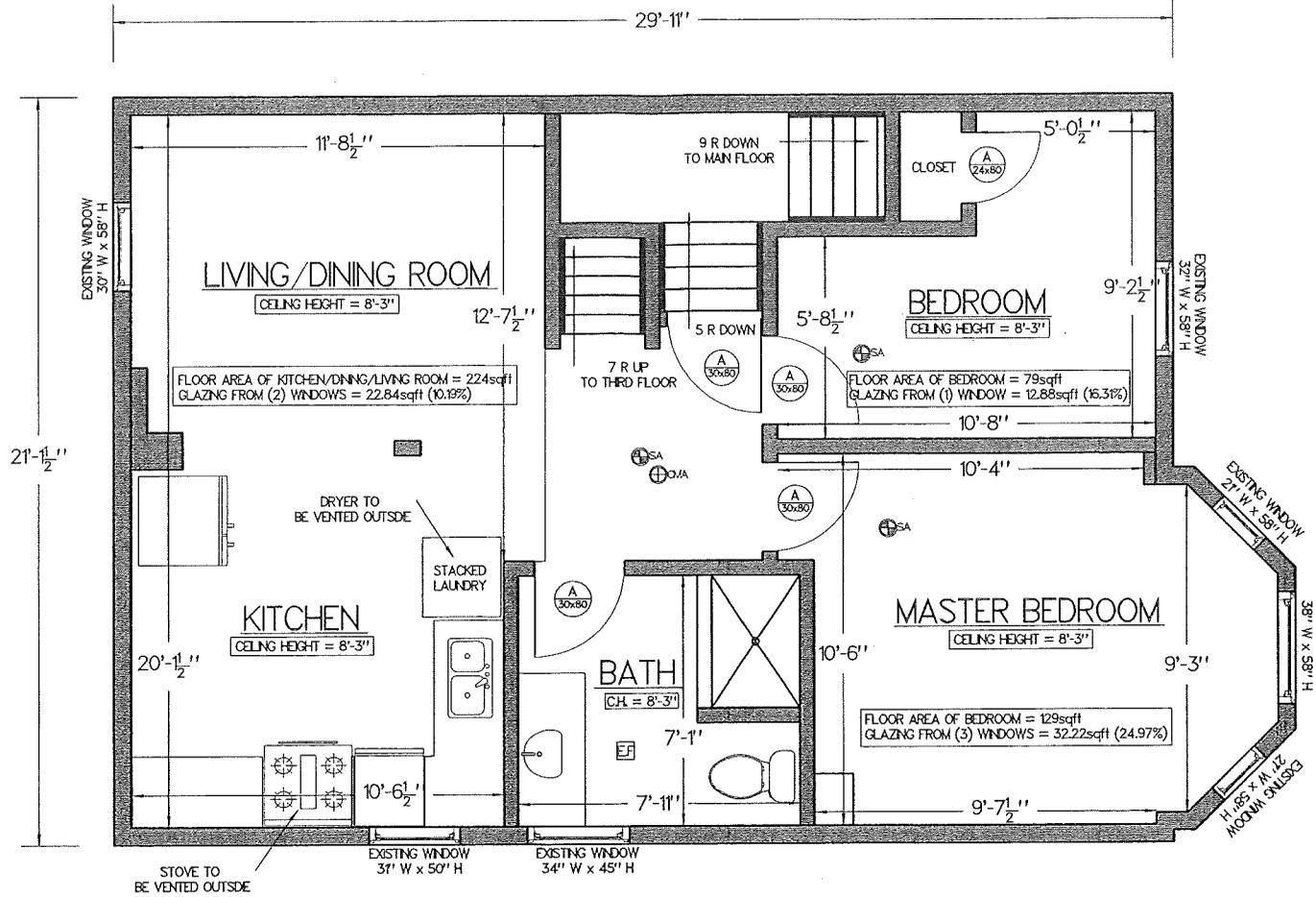
SCALE:
 1/4" = 1'

PROJECT:
 2-UNIT
 CONVERSION

DATE:
 APR 2020

SHEET #:
 A1.01

PLANS LEGEND	
BATH	ROOM NAME
EF	EXHAUST FAN
②	SPECIFICATION TAG
SA	SMOKE ALARM
COA	CARBON MONOXIDE ALARM
CH 8'-3"	CEILING HEIGHT
---	STRUCTURAL BEAM OR WALL
PS	PLUMBING STACK
WM	WATER METER
FD	FLOOR DRAIN
SC	STRUCTURAL COLUMN
FW	FOUNDATION WALL
NEW EXTERIOR WALLS	NEW EXTERIOR WALLS
NEW INTERIOR WALLS	NEW INTERIOR WALLS
EXISTING WALLS TO REMAIN	EXISTING WALLS TO REMAIN
---	STRUCTURAL WALL
SR	SUPPLY REGISTER
RG	RETURN GRILLE
DOOR LEGEND	
A	DOOR TYPE
30x80	DOOR SIZE
A. PANEL DOOR B. FIRE DOOR w/ SELF CLOSER (45 MN) C. FIRE DOOR w/ SELF CLOSER (20 MN) D. EXTERIOR DOOR E. BIFOLD CLOSET F. SLIDING DOOR G. POCKET DOOR	



NOTE: THIS IS AN EXISTING FINISHED AREA. NO CHANGES

UNIT #2 - GFA = 851 SQFT
 SECOND FLOOR = 539 SQFT
 THIRD FLOOR = 312 SQFT

- ELECTRONIC STAMP
- SEPARATION BETWEEN UNITS:
- NEW SEPARATION BETWEEN UNITS TO HAVE A FIRE RESISTANCE RATING OF 30 MINS AS PER O.B.C. 9.10.9.14. AND PART 11 COMPLIANCE - C152 AND STCS0
- BASEMENT CEILING (SEPARATING SECOND SUITE): (FBD) NEW PORTIONS ONLY
- EX. WOOD JOISTS @ 16" O.C.
 - 6" THICK ABSORPTIVE MATERIAL IN CAVITY (FIBRE FROM ROCK/SLAG W/ MIN. 90mm & MIN. SURFACE AREA MASS OF 2.8 KG/SQ. M)
 - RESILIENT METAL CHANNELS SPACED @ 24" O.C.
 - 1 LAYER 5/8" TYPE X GYPSUM BOARD ON CEILING SIDE
- NEW SHARED PARTITIONS: (W4A)
- NEW 2x4 STUD WALL SPACED 16" O.C.
 - 3.5" THICK ABSORPTIVE MATERIAL
 - RESILIENT METAL CHANNELS SPACED 24" O.C.
 - 2 LAYERS 5/8" TYPE X GYPSUM BOARD ON CHANNEL SIDE
 - 1 LAYER 5/8" TYPE X GYPSUM BOARD ON OTHER SIDE
- EXISTING SHARED PARTITIONS:
- EX. 1/2" REGULAR GYPSUM BOARD TO REMAIN AS IS
 - ADDITIONAL LAYER OF 5/8" TYPE X TO BE APPLIED OVER EXISTING
- EX. LATH AND PLASTER TO REMAIN AS IS
- MEETS A 30MN FRR AS PER ONTARIO FIRE MARSHALL
 - WITH INTERCONNECTED SMOKE DETECTORS IN EACH DWELLING UNIT
- EXISTING CEILING (15 MIN FRR BETWEEN DWELLING UNITS)
- EX. 1/2" REGULAR GYPSUM BOARD OR PLASTER TO REMAIN
 - AS PER PART 11 C143 L HUD REHABILITATION GUIDELINES, "GUIDELINE ON FIRE RATINGS OF ARCHAIC MATERIALS AND ASSEMBLIES"
 - WITH INTERCONNECTED SMOKE DETECTORS IN EACH DWELLING UNIT
- FOR PPE AND WRE PENETRATIONS:
- USE FIRE RATED FOAM TESTED IN ACCORDANCE WITH CAN/ULC-S15 (EG. H.L.T.I FIRE FOAM CP 620 OR 3M FIRE BARRIER SEALANT CP 25WB+)
- FOR HVAC DUCTINGS:
- ADDRESSED WITH IN-DUCT SMOKE DETECTOR
 - SEE NOTE NEAR FURNACE ON FLOOR PLAN
- FOR SERVICE ITEMS IN FIRE SEPARATION (VALVES, METERS, ELECTRICAL BOXES, ETC.):
- USE U.L.C RATED FIRE-RATED ACCESS PANELS (MIN. 45 MINS)



LEAD DESIGNER & CONSULTANT **KEN BEKENDAM**
 kenbekendam@gmail.com
 C: (905)-961-0647
 (855) - KINGHMS (546-4467)

LEAD ENGINEER **ROBERT MENDEZ P.ENG. 100054193**
 robertmendez@yahoo.com
 C: (416) - 807-1572
 www.legalsecondsuites.com



ADDRESS: 11 FAIRLEIGH AVE N
 HAMILTON, ON

SCALE: 1/4" = 1'

DATE: APR 2020

PROJECT: 2-UNIT CONVERSION

SHEET #: A1.03

EXISTING & PROPOSED SECOND FLOOR

DATE: APR 2020

SHEET #: A1.03

20-172169



Hamilton

Committee of Adjustment

City Hall
5th floor 71 Main Street West
Hamilton, Ontario L8P 4Y5

Planning and Economic Development Department
Planning Division

Phone (905) 546-2424 ext.4221
Fax (905) 546-4202

PLEASE FILL OUT THE FOLLOWING PAGES AND
RETURN TO THE CITY OF HAMILTON PLANNING
DEPARTMENT.

FOR OFFICE USE ONLY.

APPLICATION NO. HM/A-20-123 DATE APPLICATION RECEIVED June 17/20

PAID _____ DATE APPLICATION DEEMED COMPLETE _____

SECRETARY'S SIGNATURE _____

CITY OF HAMILTON
COMMITTEE OF ADJUSTMENT
HAMILTON, ONTARIO

The Planning Act

Application for Minor Variance or for Permission

The undersigned hereby applies to the Committee of Adjustment for the City of Hamilton under Section 45 of the *Planning Act*, R.S.O. 1990, Chapter P.13 for relief, as described in this application, from the Zoning By-law.

- Name of Owner Inderjit Sian Telephone No.
-
- Name of Agent Ken Bekendam Telephone No.
-

Note: Unless otherwise requested all communications will be sent to the agent, if any.

- Names and addresses of any mortgagees, holders of charges or other encumbrances:
 _____ Postal Code _____
n/a
 _____ Postal Code _____

6. Nature and extent of relief applied for:

lot area reduction From 270m² to 240m²

7. Why it is not possible to comply with the provisions of the By-law?

existing lot area too small

8. Legal description of subject lands (registered plan number and lot number or other legal description and where applicable, street and street number):

11 Fairleigh Ave N

9. PREVIOUS USE OF PROPERTY

Residential Industrial Commercial

Agricultural Vacant

Other _____

9.1 If Industrial or Commercial, specify use

9.2 Has the grading of the subject land been changed by adding earth or other material, i.e. has filling occurred?

Yes No Unknown

9.3 Has a gas station been located on the subject land or adjacent lands at any time?

Yes No Unknown

9.4 Has there been petroleum or other fuel stored on the subject land or adjacent lands?

Yes No Unknown

9.5 Are there or have there ever been underground storage tanks or buried waste on the subject land or adjacent lands?

Yes No Unknown

9.6 Have the lands or adjacent lands ever been used as an agricultural operation where cyanide products may have been used as pesticides and/or sewage sludge was applied to the lands?

Yes No Unknown

9.7 Have the lands or adjacent lands ever been used as a weapon firing range?

Yes No Unknown

9.8 Is the nearest boundary line of the application within 500 metres (1,640 feet) of the fill area of an operational/non-operational landfill or dump?

Yes No Unknown

9.9 If there are existing or previously existing buildings, are there any building materials remaining on site which are potentially hazardous to public health (eg. asbestos, PCB's)?

Yes No Unknown

9.10 Is there any reason to believe the subject land may have been contaminated by former uses on the site or adjacent sites?

Yes ___ No Unknown ___

9.11 What information did you use to determine the answers to 9.1 to 9.10 above?

existing residential use for over 100 years

9.12 If previous use of property is industrial or commercial or if YES to any of 9.2 to 9.10, a previous use inventory showing all former uses of the subject land, or if appropriate, the land adjacent to the subject land, is needed.

Is the previous use inventory attached? Yes ___ No ___

ACKNOWLEDGEMENT CLAUSE

I acknowledge that the City of Hamilton is not responsible for the identification and remediation of contamination on the property which is the subject of this Application – by reason of its approval to this Application.

5/21/2020

Date



Signature of Property Owner

Inderjit Sian

Print Name of Owner

10. Dimensions of lands affected:

Frontage 24' 7.31m
Depth see site plan 108'
Area 240.34 m²
Width of street unknown

11. Particulars of all buildings and structures on or proposed for the subject lands: (Specify ground floor area, gross floor area, number of stories, width, length, height, etc.)

Existing: see site plan

Proposed: see site plan

12. Location of all buildings and structures on or proposed for the subject lands: (Specify distance from side, rear and front lot lines)

Existing: see site plan

Proposed: see site plan

- 13. Date of acquisition of subject lands:
2018
- 14. Date of construction of all buildings and structures on subject lands:
unknown
- 15. Existing uses of the subject property: residential
- 16. Existing uses of abutting properties: residential
- 17. Length of time the existing uses of the subject property have continued:
100 years
- 18. Municipal services available: (check the appropriate space or spaces)
 Water ✓ Connected ✓
 Sanitary Sewer ✓ Connected ✓
 Storm Sewers ✓
- 19. Present Official Plan/Secondary Plan provisions applying to the land:
unknown
- 20. Present Restricted Area By-law (Zoning By-law) provisions applying to the land:
D - one and Two Family Dwellings
- 21. Has the owner previously applied for relief in respect of the subject property?
 Yes No
 If the answer is yes, describe briefly.

- 22. Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?
 Yes No
- 23. The applicant shall attach to each copy of this application a plan showing the dimensions of the subject lands and of all abutting lands and showing the location, size and type of all buildings and structures on the subject and abutting lands, and where required by the Committee of Adjustment such plan shall be signed by an Ontario Land Surveyor.

NOTE: It is required that two copies of this application be filed with the secretary-treasurer of the Committee of Adjustment together with the maps referred to in Section 5 and be accompanied by the appropriate fee in cash or by cheque made payable to the City of Hamilton.

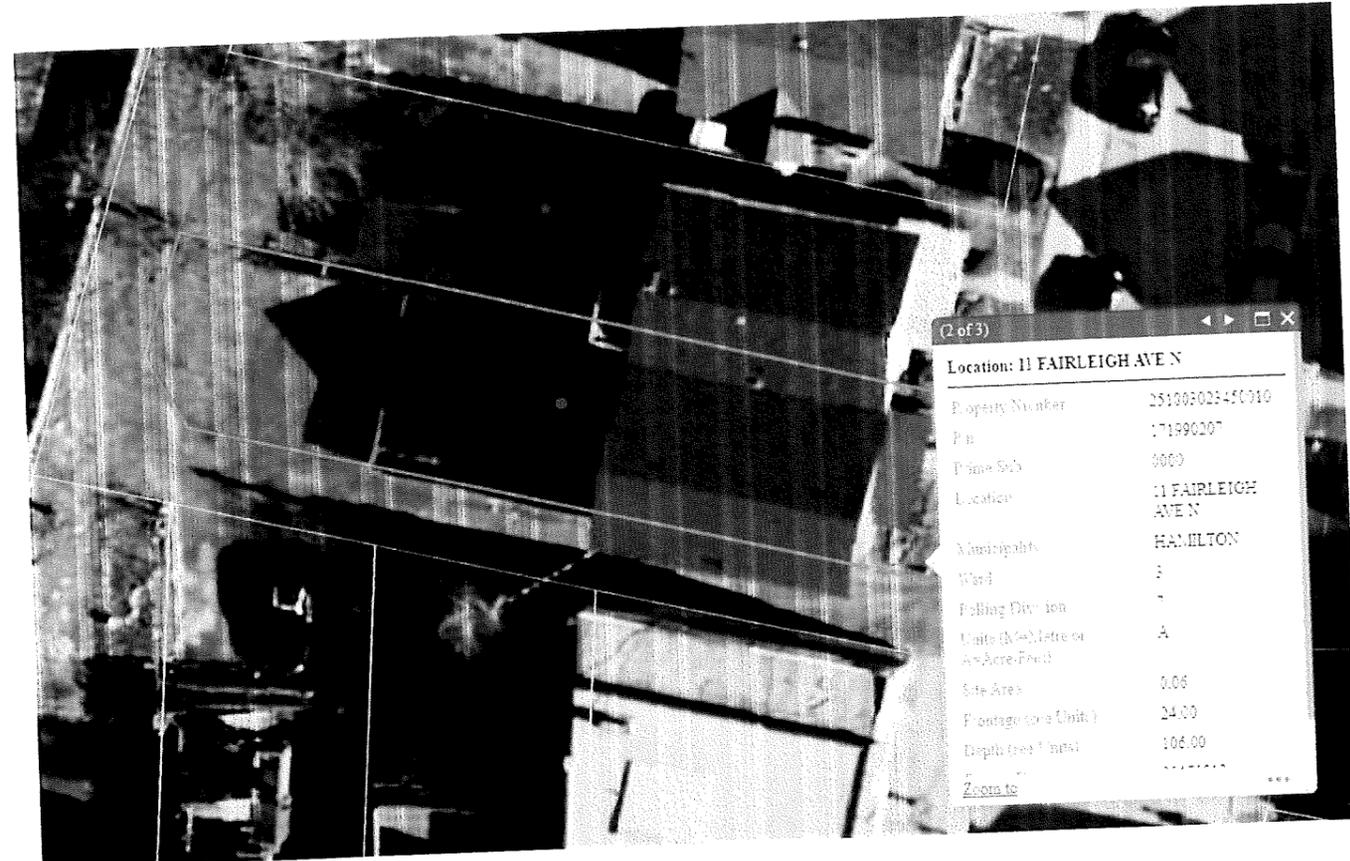
2 UNIT CONVERSION PERMIT

11 FAIRLEIGH AVE N, HAMILTON, ON

ELECTRONIC STAMP



EXISTING BUILDING IMAGE



AERIAL MAP

(2 of 3)	
Location: 11 FAIRLEIGH AVE N	
Property Number	251003023450310
P.N.	171990207
Prime 90's	0000
Location	11 FAIRLEIGH AVE N
Municipality	HAMILTON
Ward	5
Planning Division	7
Units (Max) (Lots or Acre-Feet)	2
Site Area	0.06
Frontage (meters)	24.00
Depth (meters)	106.00
Zoom to



LEAD DESIGNER & CONSULTANT KEN BEKENDAM
 kenbekendam@gmail.com
 C: (905)-961-0647
 (855) - KINGHMS (546-4467)

LEAD ENGINEER ROBERT MENDEZ P.ENG. 100054193
 robertmendez@yahoo.com
 C: (416) - 807-1572
 www.legalsecondsuites.com



ADDRESS: 11 FAIRLEIGH AVE N
 HAMILTON, ON

SCALE:
 1/4" = 1'

DATE:
 APRIL 2020

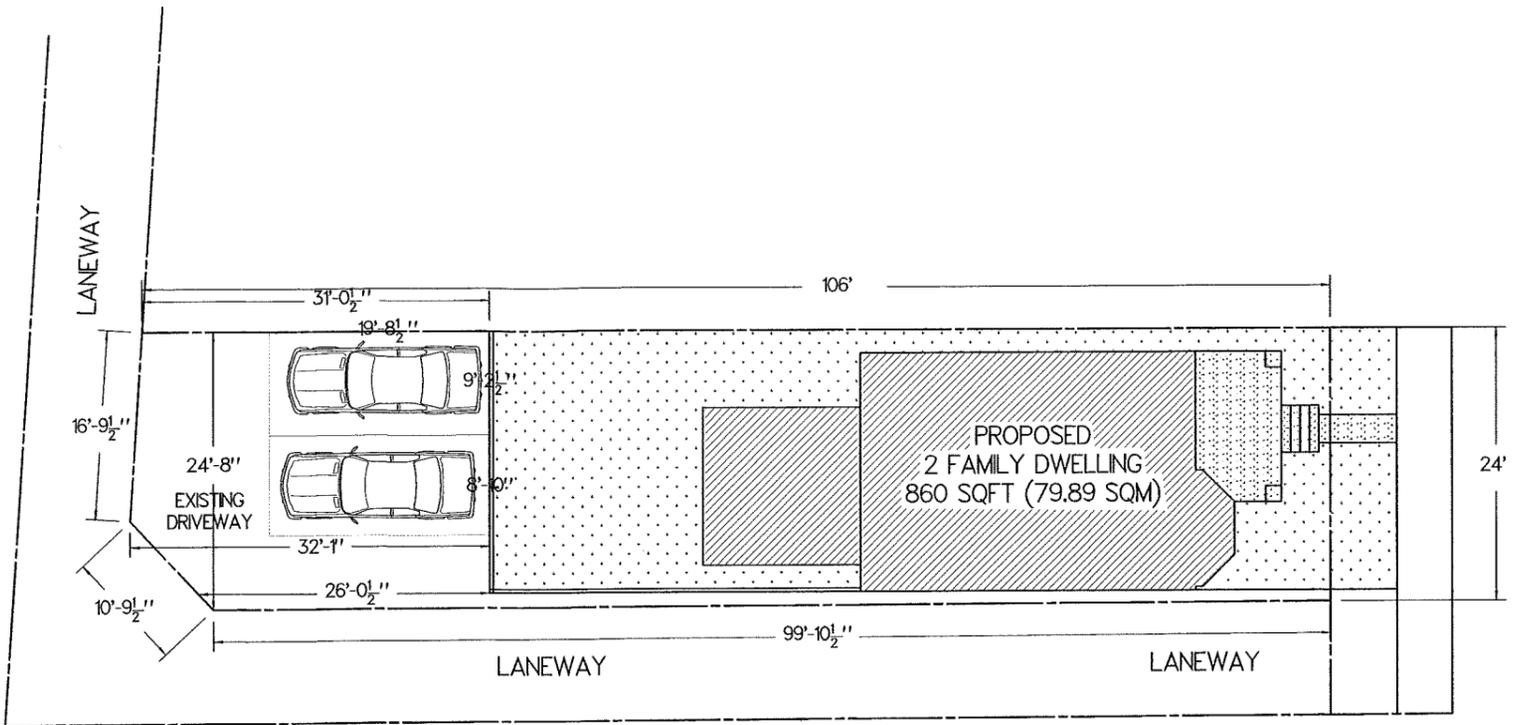
TITLE PAGE

PROJECT:
 2-UNIT
 CONVERSION

SHEET #:
 A0.0

SITE INFORMATION & STATISTICS

ADDRESS	11 FAIRLEIGH AVE N		
ZONING TYPE	D - ONE AND TWO FAMILY DWELLINGS		
LOT AREA	2587 SQFT (240.34 SQM)		
LOT FRONTAGE	24' (7.31m)		
FLOOR AREAS	ALLOWED	EXISTING	PROPOSED
BASEMENT		661 SQFT	NO CHANGE
MAIN FLOOR		860 SQFT	NO CHANGE
SECOND FLOOR		661 SQFT	NO CHANGE
THIRD FLOOR		413 SQFT	NO CHANGE
SETBACKS			
FRONT			NO CHANGE
SIDE			NO CHANGE
BACK			NO CHANGE
SIDE			NO CHANGE



ELECTRONIC STAMP

SITE PLAN :
 BASED ON HAMILTON MAPS AND MEASUREMENTS ON SITE
 DESIGNER ASSUMES NO RESPONSIBILITY FOR ACCURACY OF HAMILTON MAPS
 THIS SITE PLAN SHALL NOT BE USED FOR ANY OTHER PURPOSES.
 NO WORK TO ENCROACH ONTO ADJOINING PROPERTIES

LANDSCAPED FRONT YARD
 LANDSCAPED AREA = 139 SQFT = 55.16%
 HARD SURFACE AREA = 113 SQFT = 44.84%

GENERAL NOTES:

1. ALL CONSTRUCTION TO COMPLY WITH THE REVISED ONTARIO BUILDING CODE 2012.
2. ALL DIMENSION ARE MEASURED TO ROUGH FRAMING OR TO MASONRY SURFACES UNLESS OTHERWISE NOTED.
3. ALL DOORS AND WINDOW OPENINGS ARE MEASURED TO ROUGH FRAMING OR MASONRY OPENINGS.
4. CONTRACTOR IS TO VERIFY WINDOW OPENINGS WITH WINDOW MANUFACTURER PRIOR TO COMMENCING WORK.
5. READ ARCHITECTURAL DRAWINGS IN CONJUNCTION WITH STRUCTURAL, MECHANICAL AND ELECTRICAL DRAWINGS.
6. ELEVATION REFERENCES ARE BASED ON 100'-0" = 131.70m GEODETIC ELEVATIONS AS NOTED ON A1 SITE PLAN.
7. ALL DIMENSION MUST BE CHECKED AGAINST THE ARCHITECTURAL DRAWINGS AND THE FIELD CONDITIONS BEFORE COMMENCING FABRICATION. ANY INCONSISTENCIES ARE TO BE REPORTED TO THE CONSULTANT BEFORE PROCEEDING WITH THE WORK.
8. THE CONTRACTOR SHALL PROPERLY SUPERVISE THE WORK AND ENSURE THAT THE WORK IS INSTALLED TO THE CORRECT LINES AND LEVELS, THAT THE CONNECTIONS AND DETAILS CONFORM TO THE DRAWING DETAILS AND SHALL COORDINATE THE INTERFACING OF ALL WORK WITH ALL SUBTRAD.
9. PROVIDE POSITIVE FRONT YARD SLOPE TO MUNICIPAL SEWER FOR WATER RUN-OFF.
10. CONTRACTOR TO BE RESPONSIBLE FOR VERIFYING THE LOCATIONS OF ALL EXISTING UNDERGROUND AND ABOVE UTILITIES AND SERVICES. VARIOUS UTILITIES CONCERNED TO BE GIVEN REQUIRED ADVANCED NOTICE PRIOR TO ANY DIGGING, FOR STAKE OUT.
11. REFER TO LANDSCAPING PLAN FOR PLANTING CONFIRM LAYOUT WITH LANDSCAPE CONTRACTOR.
12. DESIGNER NOT RESPONSIBLE FOR ACCURACY OF SURVEY DRAWING.

EXISTING STRUCTURE NOTE:

OWNER AND CONTRACTOR IS FULLY RESPONSIBLE FOR VERIFYING ALL EXISTING STRUCTURAL CONDITIONS PRIOR TO ANY WORK. ANY AND ALL DISCREPANCIES SHALL BE REPORTED TO THE OWNER PRIOR TO ANY WORK. OWNER AND CONTRACTOR IS FULLY RESPONSIBLE FOR SHORING EXISTING STRUCTURE PRIOR TO ANY WORK.

BUILDING CODE COMPLIANCE NOTE:

THESE DRAWINGS DO NOT REPRESENT A COMPREHENSIVE AND EXHAUSTIVE GUIDE FOR COMPLIANCE WITH THE ONTARIO BUILDING CODE. IT IS ASSUMED THAT THE CONTRACTOR HAS REASONABLY SUFFICIENT KNOWLEDGE OF THE ONTARIO BUILDING CODE IN ORDER TO PERFORM ALL WORK AS PER THESE DRAWINGS IN SUCH A WAY THAT WILL COMPLY WITH ALL ASPECTS OF THE OBC AND WILL NOT CONTRAVENE ANY OTHER APPLICABLE LAWS



LEAD DESIGNER & CONSULTANT **KEN BEKENDAM**
 kenbekendam@gmail.com
 C: (905)-961-0647
 (855) - KINGHMS (546-4467)

LEAD ENGINEER **ROBERT MENDEZ P.ENG. 100054193**
 robertmendez@yahoo.com
 C: (416) - 807-1572
 www.legalsecondsuites.com



ADDRESS: **11 FAIRLEIGH AVE N
 HAMILTON, ON**

SCALE: **1/16" = 1'**

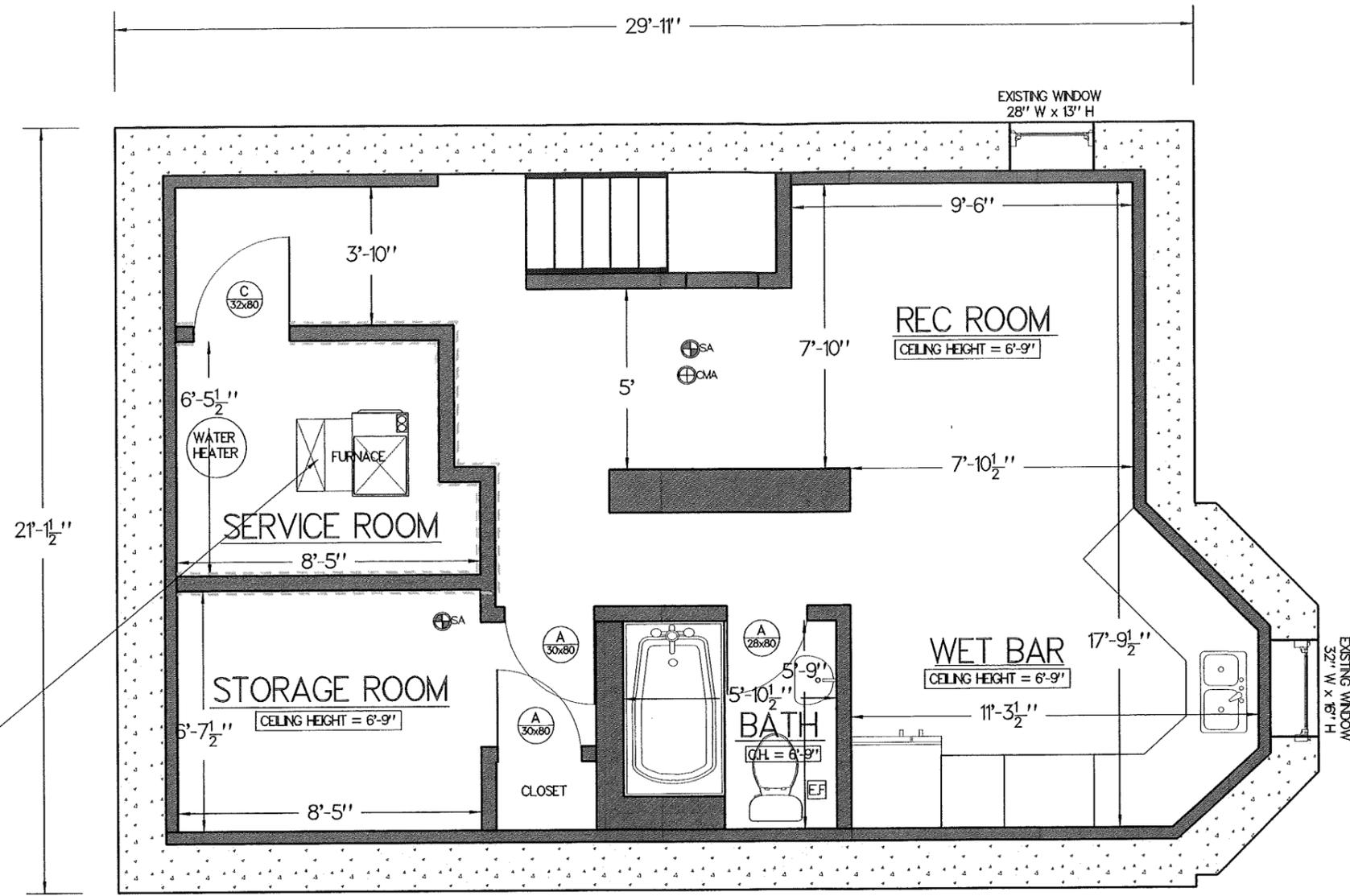
DATE: **APR 2020**

SITE PLAN

PROJECT: **2-UNIT
 CONVERSION**

SHEET #: **SP1.0**

PLANS LEGEND	
BATH	ROOM NAME
EF	EXHAUST FAN
②	SPECIFICATION TAG
SA	SMOKE ALARM
COA	CARBON MONOXIDE ALARM
CH. 6'-11"	CEILING HEIGHT
---	STRUCTURAL BEAM OR WALL
PS	PLUMBING STACK
WM	WATER METER
FD	FLOOR DRAIN
SC	STRUCTURAL COLUMN
FW	FOUNDATION WALL
NEW EXTERIOR WALLS	
NEW INTERIOR WALLS	
EXISTING WALLS TO REMAIN	
STRUCTURAL WALL	
SR	SUPPLY REGISTER
RG	RETURN GRILLE
DOOR LEGEND	
A	DOOR TYPE
30x80	DOOR SIZE
A	PANEL DOOR
B	FIRE DOOR w/ SELF CLOSER (45 MIN)
C	FIRE DOOR w/ SELF CLOSER (20 MIN)
D	EXTERIOR DOOR
E	BIFOLD CLOSET
F	SLIDING DOOR
G	POCKET DOOR



SEPARATION OF SERVICE ROOM:

- SERVICE ROOM TO CONFORM WITH OBC SECTION 9.10.10.4

IMPORTANT NOTE:

- SERVICE ROOM NO LONGER REQUIRES FIRE SEPARATION FROM BOTH UNITS AS IT IS NOW EXEMPT UNDER 9.10.10.4 (2)(b) FOR A "HOUSE", DEFINED IN O.B.C AS "a detached house, semi-detached house or row house containing not more than two dwelling units"

VERTICAL PARTITIONS STILL REQUIRES FIRE SEPARATION TO PROVIDE FIRE RESISTANCE RATING BETWEEN DWELLING UNITS. [W4A]

- NEW 2x4 STUD WALL SPACED 16" O.C.
- 3.5" THICK ABSORPTIVE MATERIAL
- RESILIENT METAL CHANNELS SPACED 24" O.C.
- 2 LAYERS 5/8" TYPE X GYPSUM BOARD ON CHANNEL SDE
- 1 LAYER 5/8" TYPE X GYPSUM BOARD ON OTHER SIDE

GYPSUM BOARD INSIDE SERVICE ROOM TO EXTEND INTO JOIST CAVITY AND BUTTED TIGHTLY AGAINST FLOOR JOISTS AND SUBFLOOR ABOVE

- SMALL GAPS TO BE CAULKED WITH FIRE BARRIER SEALANT IN ACCORDANCE WITH CAN/ULC S15

IMPORTANT - ADEQUATE COMBUSTION AIR NEEDED FOR APPLIANCES

IN-DUCT SMOKE DETECTOR

SMOKE DETECTOR TO BE INSTALLED IN THE SUPPLY OR RETURN AIR DUCT SYSTEM TO TURN OFF ELECTRICAL POWER AND FUEL SUPPLY UPON ACTIVATION

NOTE: NO CHANGES TO THIS FLOOR PLAN

UNIT #1 - GFA = 1103 SQFT
 MAIN FLOOR = 651 SQFT
 BASEMENT = 452 SQFT
 SHARED EXIT = 28 SQFT

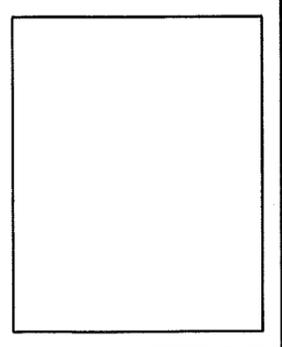


LEAD DESIGNER & CONSULTANT **KEN BEKENDAM**
 kenbekendam@gmail.com
 C: (905)-961-0647
 (855) - KINGHMS (546-4467)

LEAD ENGINEER **ROBERT MENDEZ P.ENG. 100054193**
 robertmendez@yahoo.com
 C: (416) - 807-1572

www.legalsecondsuites.com





ADDRESS: **11 FAIRLEIGH AVE N
 HAMILTON, ON**

**EXISTING & PROPOSED
 BASEMENT FLOOR**

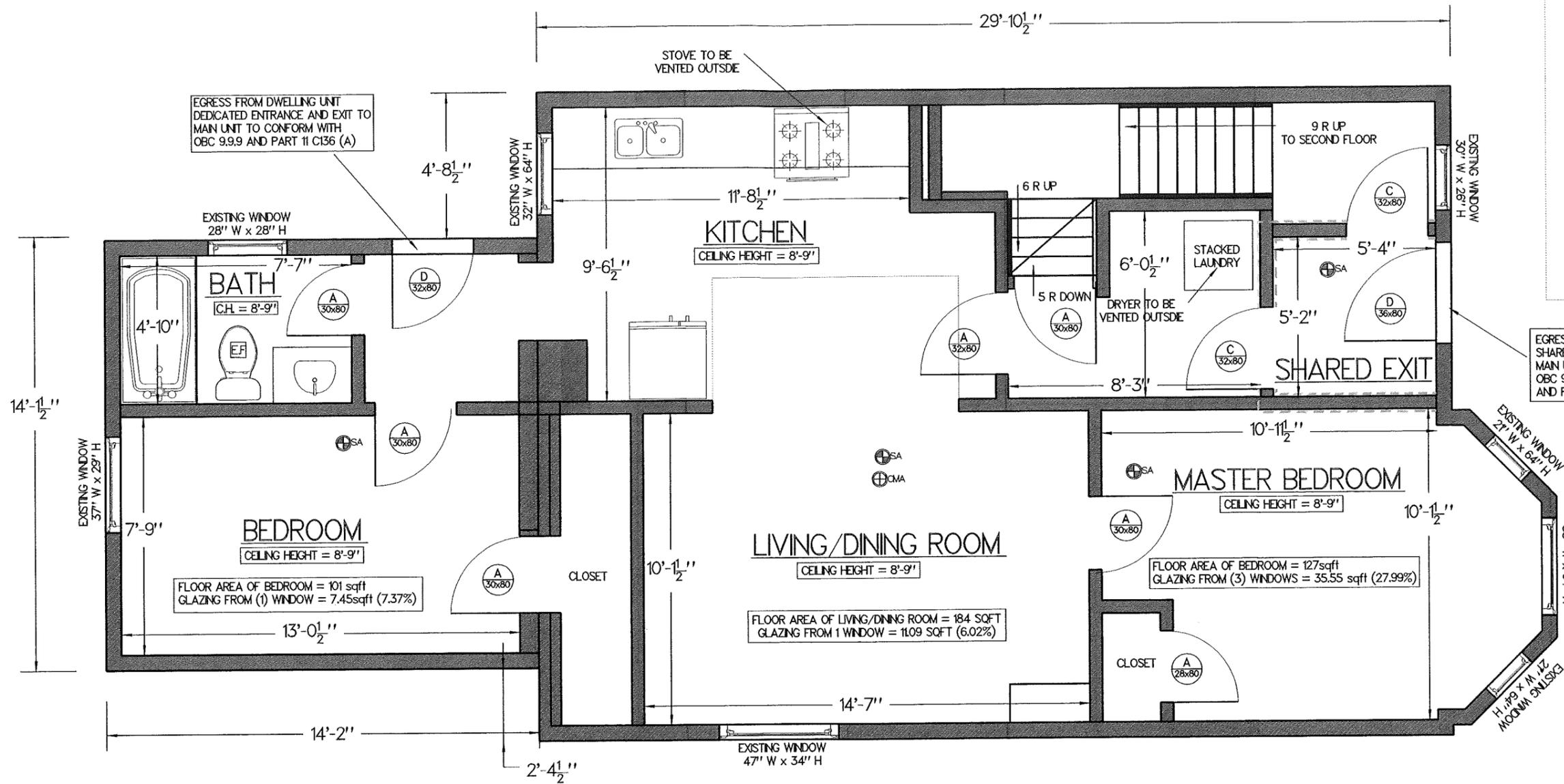
SCALE:
1/4" = 1'

PROJECT:
**2-UNIT
 CONVERSION**

DATE:
APR 2020

SHEET #:
A1.0

PLANS LEGEND	
BATH	ROOM NAME
	EXHAUST FAN
	SPECIFICATION TAG
	SMOKE ALARM
	CARBON MONOXIDE ALARM
	CEILING HEIGHT
	STRUCTURAL BEAM OR WALL
	PLUMBING STACK
	WATER METER
	FLOOR DRAIN
	STRUCTURAL COLUMN
	FOUNDATION WALL
	NEW EXTERIOR WALLS
	NEW INTERIOR WALLS
	EXISTING WALLS TO REMAIN
	STRUCTURAL WALL
	SUPPLY REGISTER
	RETURN GRILLE
DOOR LEGEND	
	DOOR TYPE
	DOOR SIZE
A.	PANEL DOOR
B.	FIRE DOOR w/ SELF CLOSER (45 MIN)
C.	FIRE DOOR w/ SELF CLOSER (20 MIN)
D.	EXTERIOR DOOR
E.	BIFOLD CLOSET
F.	SLIDING DOOR
G.	POCKET DOOR



NOTE: ALL SMOKE ALARMS TO BE INTERCONNECTED

NOTE: NO CHANGES TO THIS FLOOR PLAN

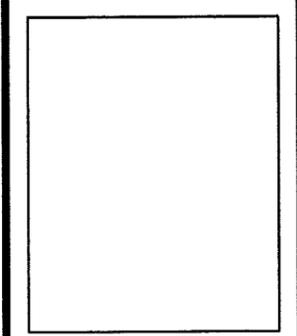
UNIT #1 - GFA = 1103 SQFT
 MAIN FLOOR = 651 SQFT
 BASEMENT = 452 SQFT
 SHARED EXIT = 28SQFT

LEAD DESIGNER & CONSULTANT
KEN BEKENDAM
 kenbekendam@gmail.com
 C: (905)-961-0647
 (855) - KINGHMS (546-4467)

LEAD ENGINEER **ROBERT MENDEZ P.ENG.** 100054193
 robertmendez@yahoo.com
 C: (416) - 807-1572

www.legalsecondsuites.com

**LEGAL
SECOND
SUITES**



ADDRESS: **11 FAIRLEIGH AVE N
HAMILTON, ON**

**EXISTING & PROPOSED
MAIN FLOOR**

SCALE:
1/4" = 1'

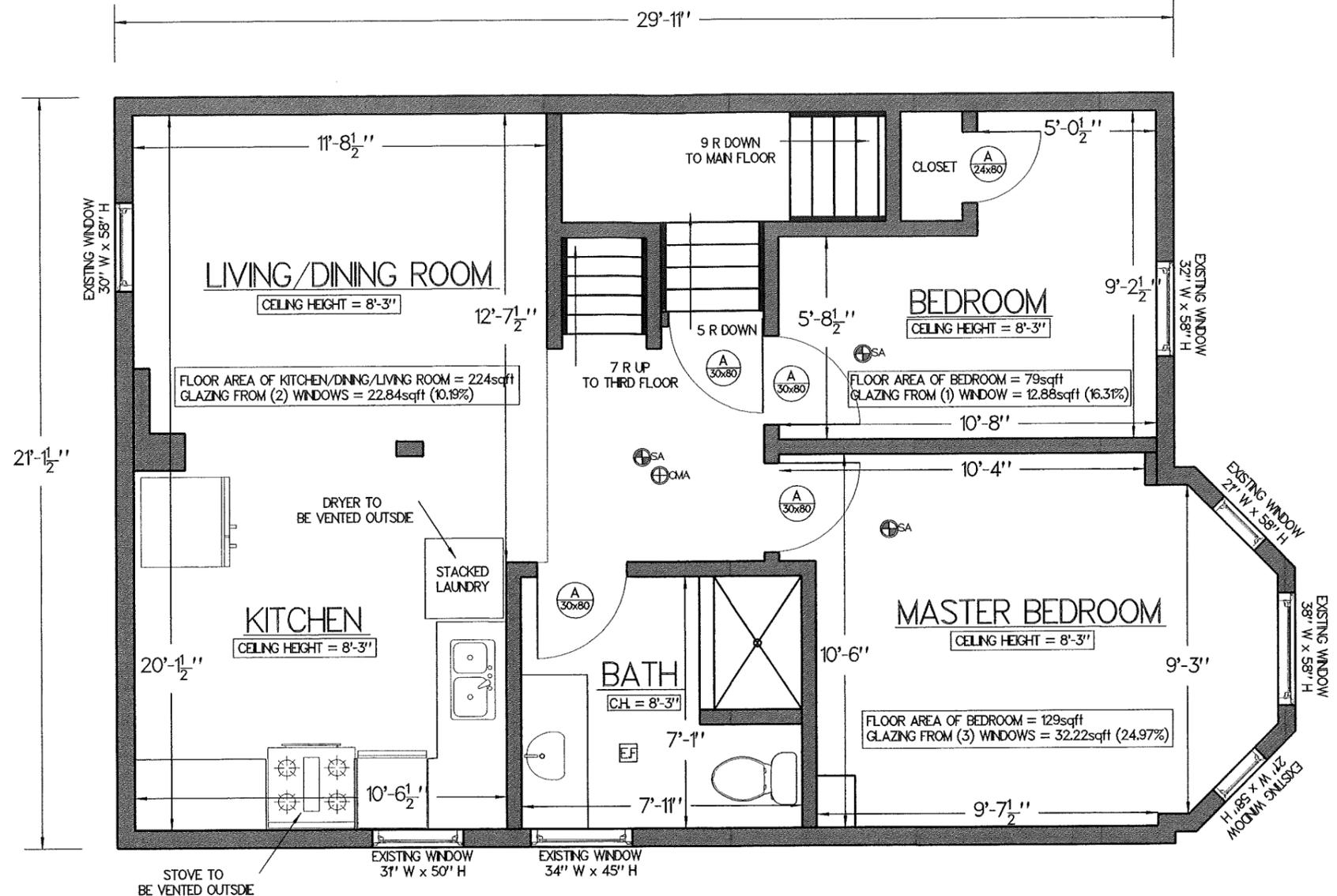
PROJECT:
**2-UNIT
CONVERSION**

DATE:
APR 2020

SHEET #:
A1.02

PLANS LEGEND	
BATH	ROOM NAME
	EXHAUST FAN
	SPECIFICATION TAG
	SMOKE ALARM
	CARBON MONOXIDE ALARM
	CEILING HEIGHT
	STRUCTURAL BEAM OR WALL
	PLUMBING STACK
	WATER METER
	FLOOR DRAIN
	STRUCTURAL COLUMN
	FOUNDATION WALL
	NEW EXTERIOR WALLS
	NEW INTERIOR WALLS
	EXISTING WALLS TO REMAIN
	STRUCTURAL WALL
	SUPPLY REGISTER
	RETURN GRILLE

DOOR LEGEND	
A	DOOR TYPE
	DOOR SIZE
A	PANEL DOOR
B	FIRE DOOR w/ SELF CLOSER (45 MIN)
C	FIRE DOOR w/ SELF CLOSER (20 MIN)
D	EXTERIOR DOOR
E	BIFOLD CLOSET
F	SLIDING DOOR
G	POCKET DOOR



NOTE: ALL SMOKE ALARMS TO BE INTERCONNECTED

UNIT #2 - GFA = 851 SQFT
SECOND FLOOR = 539 SQFT
THIRD FLOOR = 312 SQFT

NOTE: THIS IS AN EXISTING FINISHED AREA. NO CHANGES

ELECTRONIC STAMP

SEPARATION BETWEEN UNITS:

NEW SEPARATION BETWEEN UNITS TO HAVE A FIRE RESISTANCE RATING OF 30 MINS AS PER O.B.C. 9.10.9.14. AND PART 11 COMPLIANCE - C152 AND STC50

BASEMENT CEILING (SEPARATING SECOND SUITE): [F8D] NEW PORTIONS ONLY

- EX. WOOD JOISTS @ 16" O.C.
- 6" THICK ABSORPTIVE MATERIAL IN CAVITY (FIBRE FROM ROCK/SLAG W/ MIN 90mm & MIN SURFACE AREA MASS OF 2.8 KG/SQ. M)
- RESILIENT METAL CHANNELS SPACED @ 24" O.C.
- 1 LAYER 5/8" TYPE X GYPSUM BOARD ON CEILING SIDE

NEW SHARED PARTITIONS: [W4A]

- NEW 2x4 STUD WALL SPACED 16" O.C.
- 3.5" THICK ABSORPTIVE MATERIAL
- RESILIENT METAL CHANNELS SPACED 24" O.C.
- 2 LAYERS 5/8" TYPE X GYPSUM BOARD ON CHANNEL SIDE
- 1 LAYER 5/8" TYPE X GYPSUM BOARD ON OTHER SIDE

EXISTING SHARED PARTITIONS:

EX. 1/2" REGULAR GYPSUM BOARD TO REMAIN AS IS
- ADDITIONAL LAYER OF 5/8" TYPE X TO BE APPLIED OVER EXISTING

EX. LATH AND PLASTER TO REMAIN AS IS
- MEETS A 30MIN FRR AS PER ONTARIO FIRE MARSHALL
- WITH INTERCONNECTED SMOKE DETECTORS IN EACH DWELLING UNIT

EXISTING CEILING (15 MIN FRR BETWEEN DWELLING UNITS)

- EX. 1/2" REGULAR GYPSUM BOARD OR PLASTER TO REMAIN
- AS PER PART 11 C143.1. HUD REHABILITATION GUIDELINES, "GUIDELINE ON FIRE RATINGS OF ARCHAIC MATERIALS AND ASSEMBLIES"
- WITH INTERCONNECTED SMOKE DETECTORS IN EACH DWELLING UNIT

FOR PIPE AND WIRE PENETRATIONS:

- USE FIRE RATED FOAM TESTED IN ACCORDANCE WITH CAN/ULC-S115 (EG. HILTI FIRE FOAM CP 620 OR 3M FIRE BARRIER SEALANT CP 25WBH)

FOR HVAC DUCTING:

- ADDRESSED WITH IN-DUCT SMOKE DETECTOR
- SEE NOTE NEAR FURNACE ON FLOOR PLAN

FOR SERVICE ITEMS IN FIRE SEPARATION (VALVES, METERS, ELECTRICAL BOXES, ETC):

- USE ULC RATED FIRE-RATED ACCESS PANELS (MIN. 45 MINS)



LEAD DESIGNER & CONSULTANT
KEN BEKENDAM
kenbekendam@gmail.com
C: (905)-961-0647
(855) - KINGHMS (546-4467)

LEAD ENGINEER
ROBERT MENDEZ P.ENG. 100054193
robertmendez@yahoo.com
C: (416) - 807-1572

www.legalsecondsuites.com



ADDRESS: 11 FAIRLEIGH AVE N
HAMILTON, ON

EXISTING & PROPOSED
SECOND FLOOR

SCALE: 1/4" = 1'

PROJECT: 2-UNIT
CONVERSION

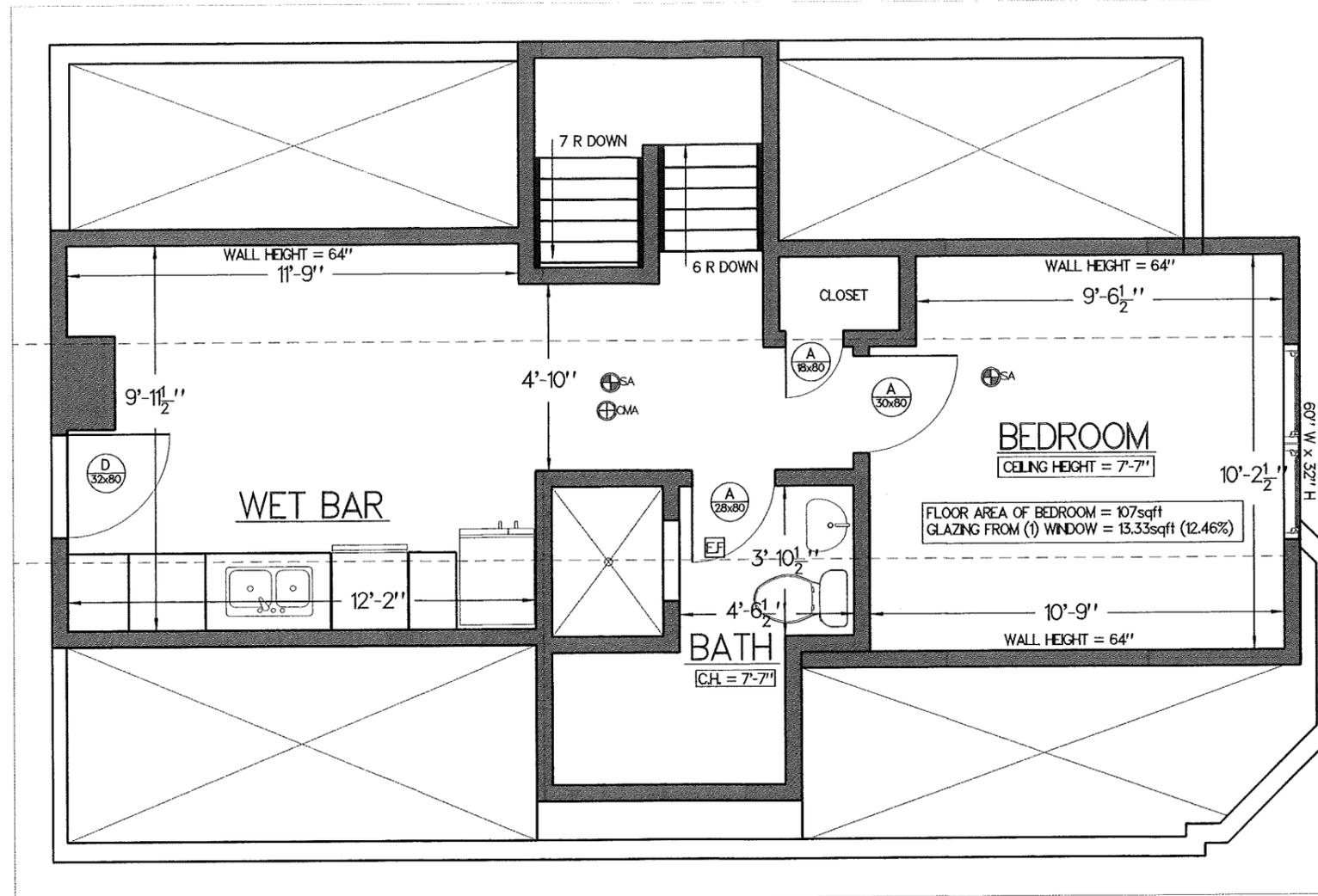
DATE: APR 2020

SHEET #: A1.03

ELECTRONIC STAMP

PLANS LEGEND	
BATH	ROOM NAME
	EXHAUST FAN
	SPECIFICATION TAG
	SMOKE ALARM
	CARBON MONOXIDE ALARM
	CEILING HEIGHT
	STRUCTURAL BEAM OR WALL
	PLUMBING STACK
	WATER METER
	FLOOR DRAIN
	STRUCTURAL COLUMN
	FOUNDATION WALL
	NEW EXTERIOR WALLS
	NEW INTERIOR WALLS
	EXISTING WALLS TO REMAIN
	STRUCTURAL WALL
	SUPPLY REGISTER
	RETURN GRILLE

DOOR LEGEND	
	DOOR TYPE DOOR SIZE
A.	PANEL DOOR
B.	FIRE DOOR w/ SELF CLOSER (45 MN)
C.	FIRE DOOR w/ SELF CLOSER (20 MN)
D.	EXTERIOR DOOR
E.	BIFOLD CLOSET
F.	SLIDING DOOR
G.	POCKET DOOR



NOTE: ALL SMOKE ALARMS TO BE INTERCONNECTED

UNIT #2 - GFA = 851 SQFT
 SECOND FLOOR = 539 SQFT
 THIRD FLOOR = 312 SQFT

NOTE: THIS IS AN EXISTING FINISHED AREA. NO CHANGES



LEAD DESIGNER & CONSULTANT
KEN BEKENDAM
 kenbekendam@gmail.com
 C: (905)-961-0647
 (855) - KINGHMS (546-4467)

LEAD ENGINEER
ROBERT MENDEZ P.ENG. 100054193
 robertmendez@yahoo.com
 C: (416) - 807-1572

www.legalsecondsuites.com



**LEGAL
 SECOND
 SUITES**

ADDRESS: 11 FAIRLEIGH AVE N
 HAMILTON, ON

EXISTING & PROPOSED
 THIRD FLOOR

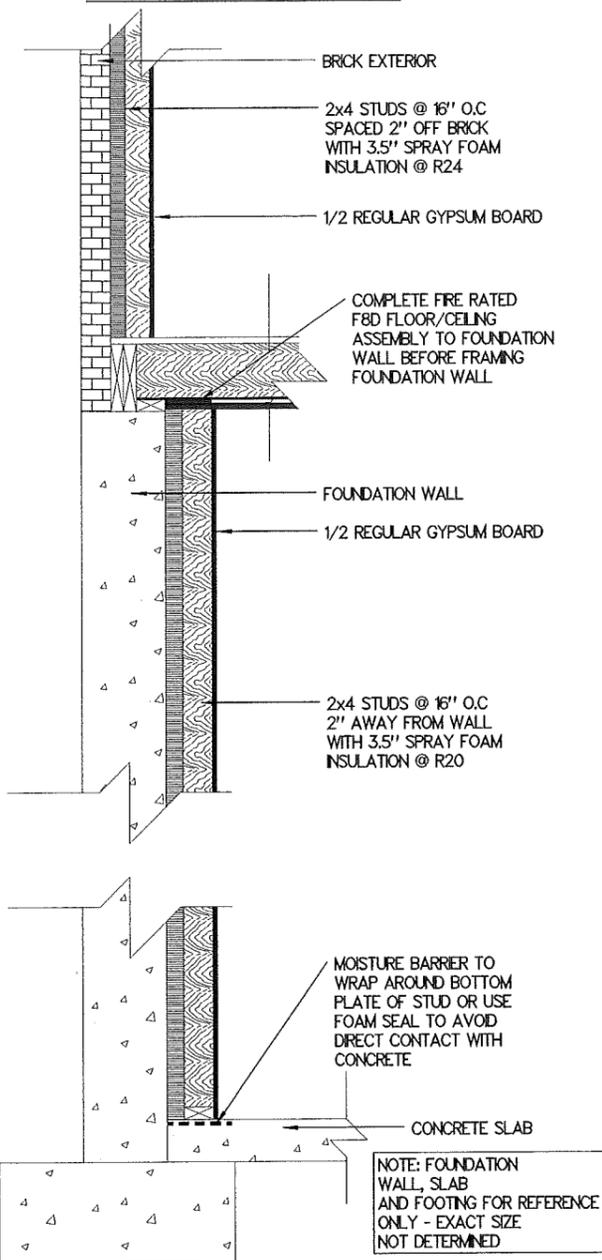
SCALE:
 1/4" = 1'

PROJECT:
 2-UNIT
 CONVERSION

DATE:
 APR 2020

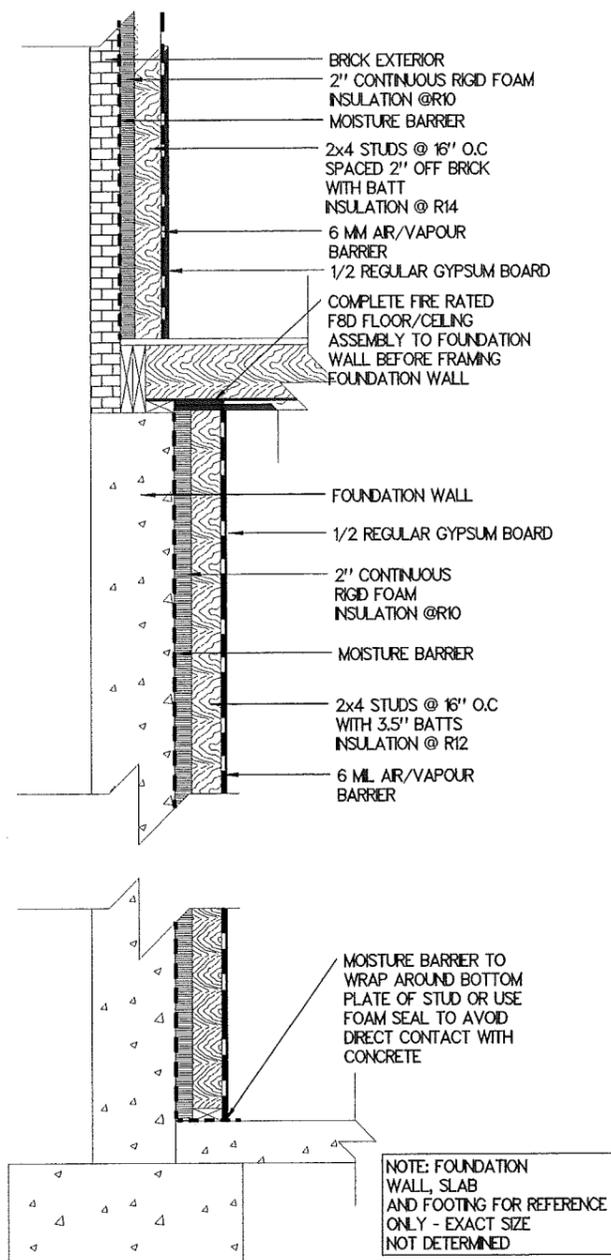
SHEET #:
A1.04

SPRAY FOAM DETAIL

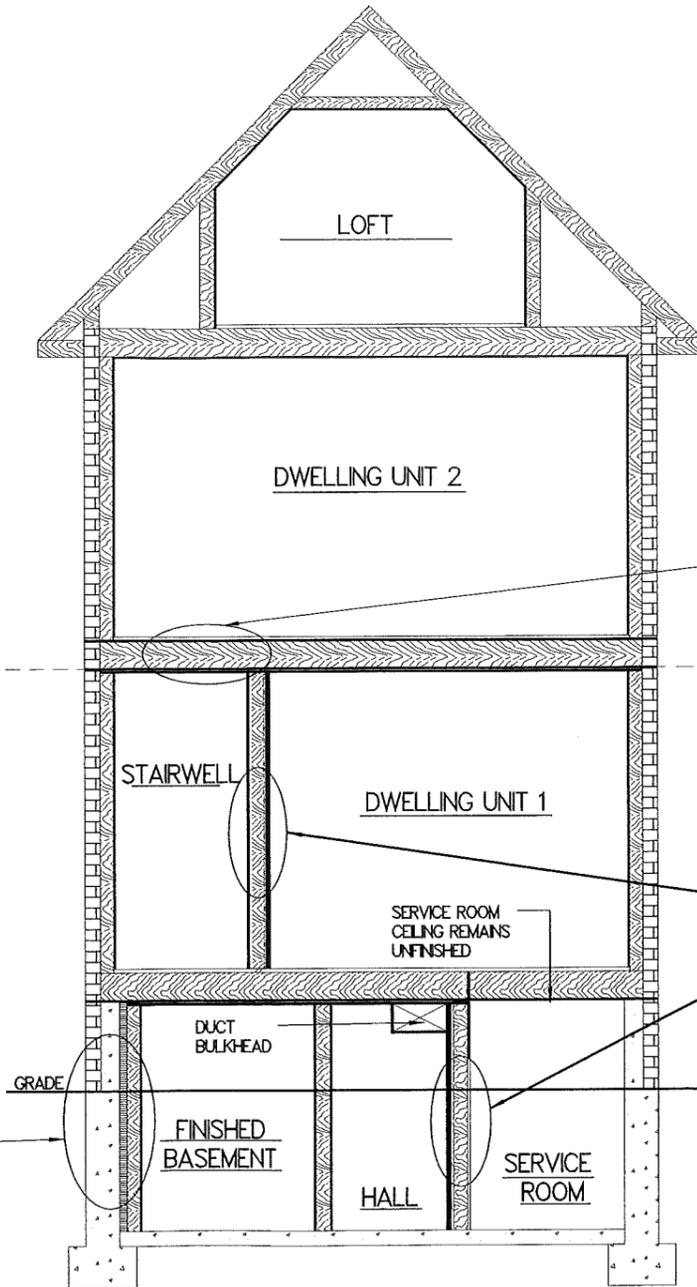


EXTERIOR FOUNDATION WALL DETAIL FOR NEW PORTIONS ONLY

BATT INSULATION DETAIL



EXTERIOR FOUNDATION WALL DETAIL FOR NEW PORTIONS ONLY



FLOOR ASSEMBLY (WITH METAL CHANNELS SPACED 16" O.C. TO ACHIEVE STC50): [F8D]
 - EX. WOOD JOISTS @ 16" O.C.
 - 6" THICK ABSORBITIVE MATERIAL IN CAVITY (FIBRE FROM ROCK/SLAG W/ MIN. 90mm & MIN. SURFACE AREA MASS OF 2.8 KG/SQ. M)
 - RESILIENT METAL CHANNELS SPACED @ 16" O.C.
 - 1 LAYER 5/8" TYPE X GYPSUM BOARD ON CEILING SIDE

GYPSUM BOARD INSIDE SERVICE ROOM TO EXTEND INTO JOIST CAVITY AND BUTTED TIGHTLY AGAINST FLOOR JOISTS AND SUBFLOOR ABOVE - SMALL GAPS TO BE CAULKED WITH FIRE BARRIER SEALANT IN ACCORDANCE WITH CAN/ULC S15

WALL ASSEMBLY: [W4A]
 - NEW 2x4 STUD WALL SPACED 16" O.C.
 - 3.5" THICK ABSORBITIVE MATERIAL
 - RESILIENT METAL CHANNELS SPACED 16" O.C.
 - 2 LAYERS 5/8" TYPE X GYPSUM BOARD ON CHANNEL SIDE
 - 1 LAYER 5/8" TYPE X GYPSUM BOARD ON OTHER SIDE

FIRE RESISTANCE RATING FOR NEW PORTIONS OF CEILING (THROUGHOUT) AND SERVICE ROOM WALL

ELECTRONIC STAMP



LEAD DESIGNER & CONSULTANT **KEN BEKENDAM**
 kenbekendam@gmail.com
 C: (616)-264-8788
 (855) - KINGHMS (546-4467)

LEAD ENGINEER **ROBERT MENDEZ P.ENG.** 100054193
 robertmendez@yahoo.com
 C: (416) - 807-1572
 www.legalsecondsuites.com



ADDRESS: **11 FAIRLEIGH AVE N
 HAMILTON, ON**

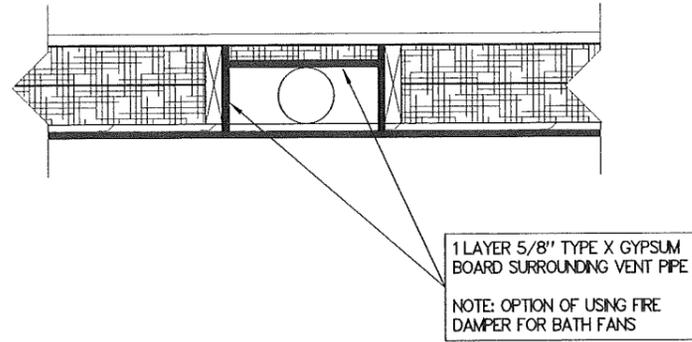
CROSS SECTION 1 OF 2

SCALE: **1/4" = 1'**

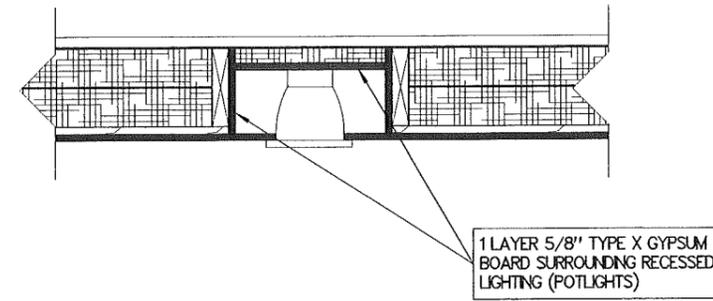
PROJECT: **2 UNIT
 CONVERSION**

DATE: **APR 2020**

SHEET #: **A4.0**

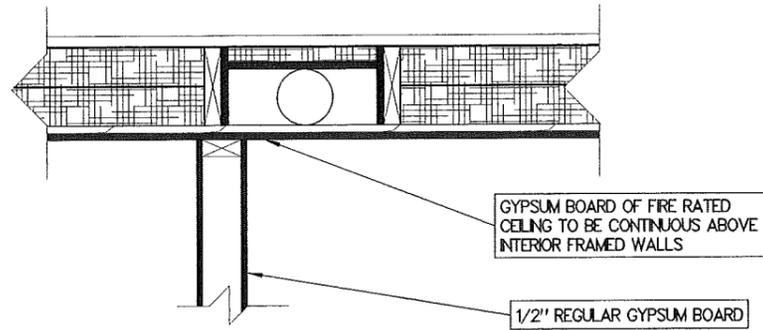


FOR VENTS (BATH FANS, KITCHEN EXHAUSTS, & CLOTHES DRYERS)

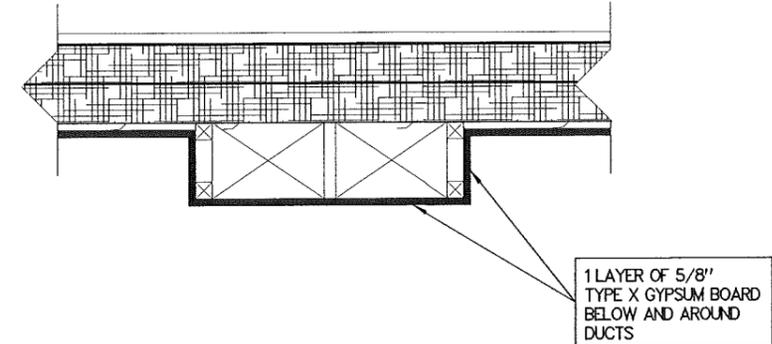


FOR RECESSED LIGHTING

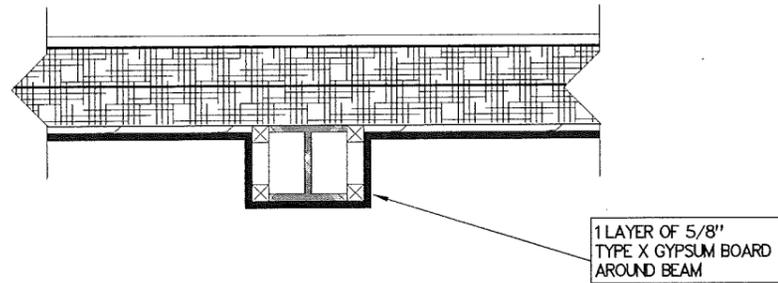
ELECTRONIC STAMP



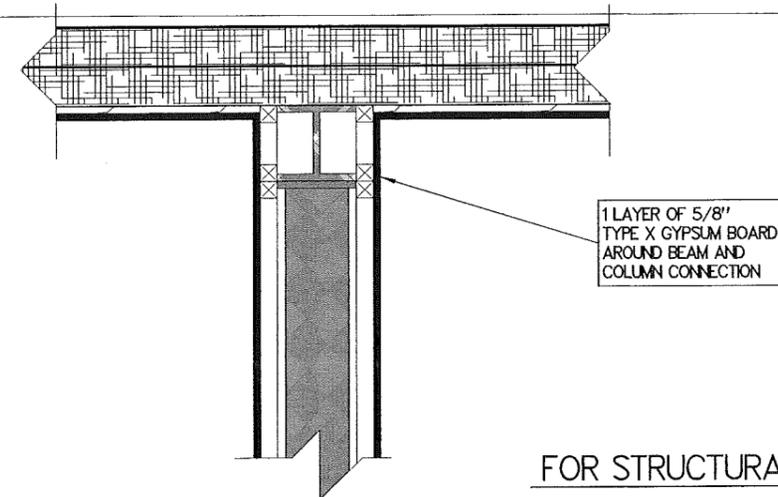
FOR INTERIOR PARTITIONS



FOR DUCTS



FOR BEAM



FOR STRUCTURAL BEAMS, COLUMNS & WALLS



LEAD DESIGNER & CONSULTANT
KEN BEKENDAM
kenbekendam@gmail.com
C: (616)-264-8788
(855) - KINGHMS (546-4467)

LEAD ENGINEER **ROBERT MENDEZ P.ENG.** 100054193
robertmendez@yahoo.com
C: (416) - 807-1572
www.legalsecondsuites.com



ADDRESS: 11 FAIRLEIGH AVE N
HAMILTON, ON

SCALE: 1/4" = 1'

DATE: APR 2020

CROSS SECTION 2 OF 2

PROJECT: 2 UNIT CONVERSION

SHEET #: A4.02



Hamilton

COMMITTEE OF ADJUSTMENT

City Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5
 Telephone (905) 546-2424, ext. 4221, 3935 Fax (905) 546-4202
 E-mail: cofa@hamilton.ca

NOTICE OF PUBLIC HEARING

Application for Consent/Land Severance

APPLICATION NUMBER: SC/B-20:34

SUBJECT PROPERTY: 860 Queenston Rd., Stoney Creek

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
- Applicant/agent on file, or
- Person likely to be interested in this application

APPLICANT(S): Owner: Silvercreek Business Park
 Agent: GSP Group Inc. c/o Sarah Knoll

PURPOSE OF APPLICATION: To permit the conveyance of a parcel of land for residential purposes and to retain a parcel of land containing an existing commercial building.

Severed lands:
 90 m[±] x 109 m[±] and an area of 9,753 m²±

Retained lands:
 35m[±] x varies and an area of 2,672 m²±

This application will be heard by the Committee as shown below:

DATE: Thursday, August 6th, 2020
TIME: 3:00 p.m.
PLACE: Via video link or call in (see attached sheet for details)
To be streamed at www.hamilton.ca/committeeofadjustment for viewing purposes only

PUBLIC INPUT

Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

Orally: If you would like to speak to this item at the hearing you may do so via video link or by calling in. Please see attached page for complete instructions, including deadlines for registering to participate.

SC/B-20:34

Page 2

MORE INFORMATION

For more information on this matter, including access to drawings illustrating this request:

- Visit www.hamilton.ca/committeeofadjustment
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935
- Email Committee of Adjustment staff at cofa@hamilton.ca

DATED: July 21st, 2020

Jamila Sheffield,
Secretary-Treasurer
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public.

COMMITTEE OF ADJUSTMENT PARTICIPATION PROCEDURES

Written Submissions

Members of the public who would like to participate in a Committee of Adjustment meeting are able to provide comments in writing or via email in advance of the meeting. Comments can be submitted by emailing cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5. **Comments must be received by noon two days before the Hearing.**

Comments can also be placed in the drop box which is located at the back of the 1st Floor of City Hall, 71 Main Street West. All comments received by noon two business days before the meeting will be forwarded to the Committee members.

Oral Submissions During the Virtual Meeting

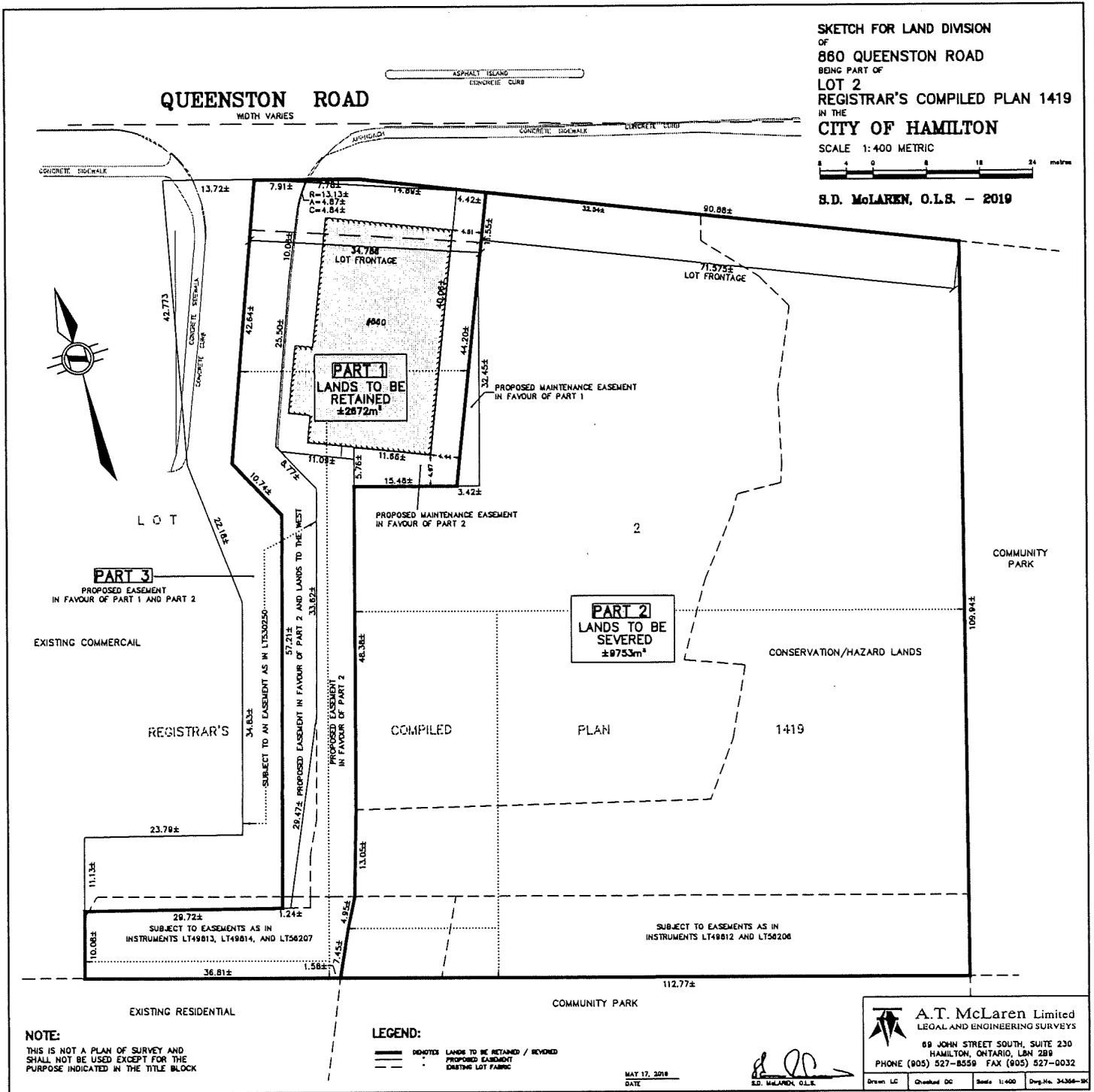
Members of the public are also able to provide oral comments regarding Committee of Adjustment Hearing items by participating through Webex via computer or phone. Participation in this format requires pre-registration in advance. Agents/owners will be sent a link to register via video, unless indicated otherwise. **Interested members of the public must register by noon the day before the hearing.**

To register to participate by Webex either via computer or phone, please contact Committee of Adjustment staff by email cofa@hamilton.ca or by phone at 905-546-2424 ext. 4221. The following information is required to register: Committee of Adjustment file number that you wish to speak to, name and address of the person wishing to speak, if they will be connecting via phone or video, and if applicable the phone number they will be using to call in. A separate registration for each person wishing to speak is required. Upon registering for a meeting, members of the public will be emailed a link for the Webex meeting. The link must not be shared with others as it is unique to the registrant.

All members of the public who register will be contacted by Committee Staff to confirm details of the registration prior to the Hearing and provide an overview of the public participation process.

We hope this is of assistance and if you need clarification or have any questions, please email cofa@hamilton.ca or by phone at 905-546-2424 ext. 4221.

Please note: Webex (video) participation requires either a compatible computer or smartphone and an application (app/program) must be downloaded by the interested party in order to participate. It is the interested party's responsibility to ensure that their device is compatible and operating correctly prior to the Hearing.



20-172175



Hamilton

Planning and Economic Development Department
Planning Division

Committee of Adjustment
City Hall
5th floor, 71 Main Street West
Hamilton, Ontario L8P 4Y5

Phone (905) 546-2424, ext. 4221
Fax (905) 546-4202

**APPLICATION FOR CONSENT TO SEVER LAND
UNDER SECTION 53 OF THE PLANNING ACT**

Office Use Only

Date Application Received: <i>June 17/20</i>	Date Application Deemed Complete:	Submission No.: <i>SC/B-20-34</i>	File No.:
---	-----------------------------------	--------------------------------------	-----------

1 APPLICANT INFORMATION

1.1, 1.2	NAME	ADDRESS	PHONE/FAX
Registered Owners(s)	Silvercreek Business Park Ltd. c/o		
Applicant(s)*			
Agent or Solicitor	GSP Group Inc. c/o Sarah Knoll		

* Owner's authorisation required if the applicant is not the owner.

1.3 All correspondence should be sent to Owner Applicant Agent/Solicitor

2 LOCATION OF SUBJECT LAND Complete the applicable lines

2.1 Area Municipality Hamilton	Lot	Concession	Former Township Stoney Creek
Registered Plan N°. 1419	Lot(s) 2	Reference Plan N°.	Part(s)
Municipal Address 860 Queenston Road			Assessment Roll N°.

2.2 Are there any easements or restrictive covenants affecting the subject land?
 Yes No

If YES, describe the easement or covenant and its effect:

Requirement of Site Plan approval. WE1343665 March 15, 2019. Access and servicing easements for the purposes of storm water drainage and ingress and egress of pedestrian and vehicles between 860 and 840 Queenston Rd and any successors.

3 PURPOSE OF THE APPLICATION

3.1 Type and purpose of proposed transaction: (check appropriate box)

a) Urban Area Transfer (do not complete Section 10):

- creation of a new lot
- addition to a lot
- an easement

- Other: a charge
 a lease
 a correction of title

b) Rural Area / Rural Settlement Area Transfer (Section 10 must be completed):

- | | |
|---|--|
| <input type="checkbox"/> creation of a new lot | Other: <input type="checkbox"/> a charge |
| <input type="checkbox"/> creation of a new non-farm parcel
(i.e. a lot containing a surplus farm dwelling
resulting from a farm consolidation) | <input type="checkbox"/> a lease |
| <input type="checkbox"/> addition to a lot | <input type="checkbox"/> a correction of title |
| | <input type="checkbox"/> an easement |

3.2 Name of person(s), if known, to whom land or interest in land is to be transferred, leased or charged:

Queenston Road Holdings Inc.

3.3 If a lot addition, identify the lands to which the parcel will be added:

4 DESCRIPTION OF SUBJECT LAND AND SERVICING INFORMATION

4.1 Description of land intended to be Severed:

Frontage (m)	Depth (m)	Area (m ² or ha)
90.88m	109.94m	9,753 square meters

Existing Use of Property to be severed:

- | | | |
|---|---|--|
| <input type="checkbox"/> Residential | <input type="checkbox"/> Industrial | <input type="checkbox"/> Commercial |
| <input type="checkbox"/> Agriculture (includes a farm dwelling) | <input type="checkbox"/> Agricultural-Related | <input checked="" type="checkbox"/> Vacant |
| <input type="checkbox"/> Other (specify) _____ | | |

Proposed Use of Property to be severed:

- | | | |
|---|---|--|
| <input type="checkbox"/> Residential | <input type="checkbox"/> Industrial | <input type="checkbox"/> Commercial |
| <input type="checkbox"/> Agriculture (includes a farm dwelling) | <input type="checkbox"/> Agricultural-Related | <input checked="" type="checkbox"/> Vacant |
| <input type="checkbox"/> Other (specify) _____ | | |

Building(s) or Structure(s):

Existing: none

Proposed: Residential apartment building pursuant to ZAC-16-009, LPAT 170283 and DA-18-075 and UHOPA-16-01

Type of access: (check appropriate box)

- | | |
|---|--|
| <input type="checkbox"/> provincial highway | <input checked="" type="checkbox"/> right of way |
| <input checked="" type="checkbox"/> municipal road, seasonally maintained | <input type="checkbox"/> other public road |
| <input type="checkbox"/> municipal road, maintained all year | |

Type of water supply proposed: (check appropriate box)

- | | |
|--|--|
| <input checked="" type="checkbox"/> publicly owned and operated piped water system | <input type="checkbox"/> lake or other water body |
| <input type="checkbox"/> privately owned and operated individual well | <input type="checkbox"/> other means (specify) _____ |

Type of sewage disposal proposed: (check appropriate box)

- | |
|--|
| <input checked="" type="checkbox"/> publicly owned and operated sanitary sewage system |
| <input type="checkbox"/> privately owned and operated individual septic system |
| <input type="checkbox"/> other means (specify) _____ |

4.2 Description of land intended to be Retained:

Frontage (m)	Depth (m)	Area (m ² or ha)
35m	Irregular	2,672 square meters

Existing Use of Property to be retained:

- | | | |
|---|---|--|
| <input type="checkbox"/> Residential | <input type="checkbox"/> Industrial | <input checked="" type="checkbox"/> Commercial |
| <input type="checkbox"/> Agriculture (includes a farm dwelling) | <input type="checkbox"/> Agricultural-Related | <input type="checkbox"/> Vacant |
| <input type="checkbox"/> Other (specify) _____ | | |

A land fill	<input type="checkbox"/>	
A sewage treatment plant or waste stabilization plant	<input type="checkbox"/>	
A provincially significant wetland	<input type="checkbox"/>	
A provincially significant wetland within 120 metres	<input type="checkbox"/>	
A flood plain	<input type="checkbox"/>	
An Industrial or commercial use, and specify the use(s)	<input type="checkbox"/>	
An active railway line	<input type="checkbox"/>	
A municipal or federal airport	<input type="checkbox"/>	

6 PREVIOUS USE OF PROPERTY

- Residential Industrial Commercial RETAINED
 Agriculture Vacant SEVERED Other (specify)

- 6.1 If Industrial or Commercial, specify use Office on RETAINED, Vacant on SEVERED
- 6.2 Has the grading of the subject land been changed by adding earth or other material, i.e., has filling occurred?
 Yes No Unknown
- 6.3 Has a gas station been located on the subject land or adjacent lands at any time?
 Yes No Unknown
- 6.4 Has there been petroleum or other fuel stored on the subject land or adjacent lands?
 Yes No Unknown
- 6.5 Are there or have there ever been underground storage tanks or buried waste on the subject land or adjacent lands?
 Yes No Unknown
- 6.6 Have the lands or adjacent lands ever been used as an agricultural operation where cyanide products may have been used as pesticides and/or biosolids was applied to the lands?
 Yes No Unknown
- 6.7 Have the lands or adjacent lands ever been used as a weapons firing range?
 Yes No Unknown
- 6.8 Is the nearest boundary line of the application within 500 metres (1,640 feet) of the fill area of an operational/non-operational landfill or dump?
 Yes No Unknown
- 6.9 If there are existing or previously existing buildings, are there any building materials remaining on site which are potentially hazardous to public health (e.g., asbestos, PCB's)?
 Yes No Unknown
- 6.10 Is there reason to believe the subject land may have been contaminated by former uses on the site or adjacent sites?
 Yes No Unknown
- 6.11 What information did you use to determine the answers to 6.1 to 6.10 above?
Knowledge of Landowner
- 6.12 If previous use of property is industrial or commercial or if YES to any of 6.2 to 6.10, a previous use inventory showing all former uses of the subject land, or if appropriate, the land adjacent to the subject land, is needed. Is the previous use inventory attached?
 Yes No Retained land - vacant than office use. Severed land - always vacant.

7 PROVINCIAL POLICY

7.1 a) Is this application consistent with the Policy Statements Issued under subsection of the *Planning Act*? (Provide explanation)

- Yes No

The application is consistent with the policy statements issued under the Planning Act as an underutilized lot will be severed and developed as per the approved OPA/ZBA/SPA applications to provide a range and mix of housing types and making a more efficient use of existing infrastructure.

~~See attached cover letter.~~

- b) Is this application consistent with the Provincial Policy Statement (PPS)?
 Yes No (Provide explanation)

~~See attached cover letter.~~

The proposed severance is consistent with the PPS as it intensifies the area through developing a vacant underutilized parcel under approval of the OPA/ZBA and SPA applications, thereby efficiently using land and servicing. The severance complies with the PPS housing policies, by adding to the range of housing and increasing density through infill development and is transit supportive.

- c) Does this application conform to the Growth Plan for the Greater Golden Horseshoe?
 Yes No (Provide explanation)

~~See attached cover letter.~~

The severance application conforms with the applicable policies of the Growth Plan as the lands are within the built up area, utilizing existing municipal water and sanitary infrastructure. The proposed severance and development, pursuant to the OPA/ZBA and SPA approvals will add to the mix of housing forms, contributing to meeting the intensification target.

- d) Are the subject lands within an area of land designated under any provincial plan or plans? (If YES, provide explanation on whether the application conforms or does not conflict with the provincial plan or plans.)
 Yes No

- e) Are the subject lands subject to the Niagara Escarpment Plan?
 Yes No

If yes, is the proposal in conformity with the Niagara Escarpment Plan?

- Yes No
(Provide Explanation)

- f) Are the subject lands subject to the Parkway Belt West Plan?
 Yes No

If yes, is the proposal in conformity with the Parkway Belt West Plan?

- Yes No (Provide Explanation)

- g) Are the subject lands subject to the Greenbelt Plan?
 Yes No

If yes, does this application conform with the Greenbelt Plan?

- Yes No (Provide Explanation)

8 HISTORY OF THE SUBJECT LAND

8.1 Has the subject land ever been the subject of an application for approval of a plan of subdivision or a consent under sections 51 or 53 of the *Planning Act*?
 Yes No Unknown

If YES, and known, indicate the appropriate application file number and the decision made on the application.

8.2 If this application is a re-submission of a previous consent application, describe how it has been changed from the original application.

8.3 Has any land been severed or subdivided from the parcel originally acquired by the owner of the subject land? Yes No

If YES, and if known, provide for each parcel severed, the date of transfer, the name of the transferee and the land use.

8.4 How long has the applicant owned the subject land?
 +-20 years

8.5 Does the applicant own any other land in the City? Yes No

If YES, describe the lands in "11 - Other Information" or attach a separate page.

9 OTHER APPLICATIONS

9.1 Is the subject land currently the subject of a proposed official plan amendment that has been submitted for approval? Yes No Unknown

If YES, and if known, specify file number and status of the application.

9.2 Is the subject land the subject of any other application for a Minister's zoning order, zoning by-law amendment, minor variance, consent or approval of a plan of subdivision?
 Yes No Unknown

If YES, and if known, specify file number and status of the application(s).

File number ZAC-16-009

Status Approved through LPAT File PL170284

10 RURAL APPLICATIONS

10.1 Rural Hamilton Official Plan Designation(s)

- Agricultural Rural Specialty Crop
 Mineral Aggregate Resource Extraction Open Space Utilities

Rural Settlement Area (specify) _____

Settlement Area

Designation

If proposal is for the creation of a non-farm parcel resulting from a farm consolidation, indicate the existing land use designation of the abutting or non-abutting farm operation.

10.2 Type of Application (select type and complete appropriate sections)

- Agricultural Severance or Lot Addition
 Agricultural Related Severance or Lot Addition
 Rural Resource-based Commercial Severance or Lot Addition
 Rural Institutional Severance or Lot Addition

(Complete Section 10.3)

- Rural Settlement Area Severance or Lot Addition
- Surplus Farm Dwelling Severance from an Abutting Farm Consolidation (Complete Section 10.4)
- Surplus Farm Dwelling Severance from a Non-Abutting Farm Consolidation (Complete Section 10.5)

10.3 Description of Lands

a) Lands to be Severed:

Frontage (m): (from Section 4.1)	Area (m ² or ha): (from in Section 4.1)
----------------------------------	--

Existing Land Use: _____ Proposed Land Use: _____

b) Lands to be Retained:

Frontage (m): (from Section 4.2)	Area (m ² or ha): (from Section 4.2)
----------------------------------	---

Existing Land Use: _____ Proposed Land Use: _____

10.4 Description of Lands (Abutting Farm Consolidation)

a) Location of abutting farm:

(Street) (Municipality) (Postal Code)

b) Description abutting farm:

Frontage (m):	Area (m ² or ha):
---------------	------------------------------

Existing Land Use(s): _____ Proposed Land Use(s): _____

c) Description of consolidated farm (excluding lands intended to be severed for the surplus dwelling):

Frontage (m):	Area (m ² or ha):
---------------	------------------------------

Existing Land Use: _____ Proposed Land Use: _____

d) Description of surplus dwelling lands proposed to be severed:

Frontage (m): (from Section 4.1)	Area (m ² or ha): (from Section 4.1)
----------------------------------	---

Front yard set back: _____

e) Surplus farm dwelling date of construction:

Prior to December 16, 2004 After December 16, 2004

f) Condition of surplus farm dwelling:

Habitable Non-Habitable

g) Description of farm from which the surplus dwelling is intended to be severed (retained parcel):

Frontage (m): (from Section 4.2)	Area (m ² or ha): (from Section 4.2)
----------------------------------	---

Existing Land Use: _____ Proposed Land Use: _____

10.5 Description of Lands (Non-Abutting Farm Consolidation)

a) Location of non-abutting farm

(Street) (Municipality) (Postal Code)

b) Description of non-abutting farm

Frontage (m):	Area (m2 or ha):
---------------	------------------

Existing Land Use(s): _____ Proposed Land Use(s): _____

c) Description of surplus dwelling lands intended to be severed:

Frontage (m): (from Section 4.1)	Area (m2 or ha): (from Section 4.1)
----------------------------------	-------------------------------------

Front yard set back: _____

d) Surplus farm dwelling date of construction:

- Prior to December 16, 2004 After December 16, 2004

e) Condition of surplus farm dwelling:

- Habitable Non-Habitable

f) Description of farm from which the surplus dwelling is intended to be severed (retained parcel):

Frontage (m): (from Section 4.2)	Area (m2 or ha): (from Section 4.2)
----------------------------------	-------------------------------------

Existing Land Use: _____ Proposed Land Use: _____

11 OTHER INFORMATION

Is there any other information that you think may be useful to the Committee of Adjustment or other agencies in reviewing this application? If so, explain below or attach on a separate page.

See attached cover letter.

 Archaeological Assessment completed, acknowledged by Ministry and supported by City Staff (processed through OPA/ZBA)

 Access agreement/right of way providing access to the subject site, to the satisfaction of the City Solicitor (processed through SPA)

12 SKETCH (Use the attached Sketch Sheet as a guide)

12.1 The application shall be accompanied by a sketch showing the following in metric units:

- (a) the boundaries and dimensions of any land abutting the subject land that is owned by the owner of the subject land;
- (b) the approximate distance between the subject land and the nearest township lot line or landmark such as a bridge or railway crossing;
- (c) the boundaries and dimensions of the subject land, the part that is intended to be severed and the part that is intended to be retained;
- (d) the location of all land previously severed from the parcel originally acquired by the current owner of the subject land;
- (e) the approximate location of all natural and artificial features (for example, buildings, barns, railways, roads, watercourses, drainage ditches, banks of rivers or streams, wetlands, wooded areas, wells and septic tanks) that,
 - i) are located on the subject land and on land that is adjacent to it, and
 - ii) in the applicant's opinion, may affect the application;
- (f) the current uses of land that is adjacent to the subject land (for example, residential, agricultural or commercial);
- (g) the location, width and name of any roads within or abutting the subject land, indicating whether it is an unopened road allowance, a public travelled road, a private



SC/B-20:34
SHAPING GREAT COMMUNITIES

June 12, 2020

File No: 14125

Jamila Sheffield, Secretary Treasurer, Committee of Adjustment
Planning & Economic Development Department
City of Hamilton
71 Main Street West, 5th Floor
Hamilton, ON L8P 4Y5

Dear Ms. Sheffield:

**Re: 860 Queenston Road, Hamilton
Consent to Sever Application**

GSP Group is the planning representative for Silvercreek Business Park Ltd., the owner of the above noted lands. An Official Plan Amendment (“OPA”) and Zoning By-law Amendment (“ZBA”) were approved by the Local Planning Appeal Tribunal (“LPAT”) on July 3, 2018 (PL170282) permitting the development of a 19-storey residential building. The City files for the OPA and ZBA are UHOPA-16-01 and ZAC-16-009, respectively. Final site plan approval has been granted, under City file number DA-18-075.

An application for consent to sever is requested in order to create a separate lot of land in which funding can be obtained to construct the affordable housing/market rental building. The intention is to have separate ownership for the new building from the existing commercial building on the site. Specifically, Silvercreek Business Park Ltd. will retain ownership of the lands containing the existing building, and Queenston Road Holdings Inc. will obtain ownership of the severed lands to construct the apartment building.

Important notes:

- The site specific zoning was written to allow for the division of land.
- An Archaeological Assessment was submitted to the City and the Ministry of Tourism, Culture and Sport. The Province acknowledged receipt in a letter

PLANNING | URBAN DESIGN | LANDSCAPE ARCHITECTURE

72 Victoria Street South, Suite 201, Kitchener, ON N2G 4Y9 519 569 8883
162 Locke Street South, Suite 200, Hamilton, ON L8P 4A9 905 572 7477
gspgroup.ca

In support of this Consent to Sever application, please find enclosed the following:

- Two (2) copies of the completed application form;
- One (1) cheque in the amount of \$2,845.00 made payable to the City of Hamilton for the Standard Application Fee;
- One (1) cheque in the amount of \$805.00 made payable to the Hamilton Conservation Authority for the plan review fee;
- Three (3) 11" x 17" copies of the consent sketch, prepared by ATM McLaren Ltd (dated May 17, 2019).
- Digital submission.

Should you have any questions or require any additional information, please do not hesitate to contact me at 905-572-7477 or via email at sknoll@gspgroup.ca

Yours truly

GSP Group Inc.



Sarah Knoll, BES, MCIP, RPP
Senior Planner

cc. Quenston Road Holdings Inc.
Silvercreek Business Park Ltd.

QUEENSTON ROAD

WIDTH VARIES

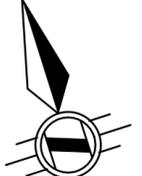
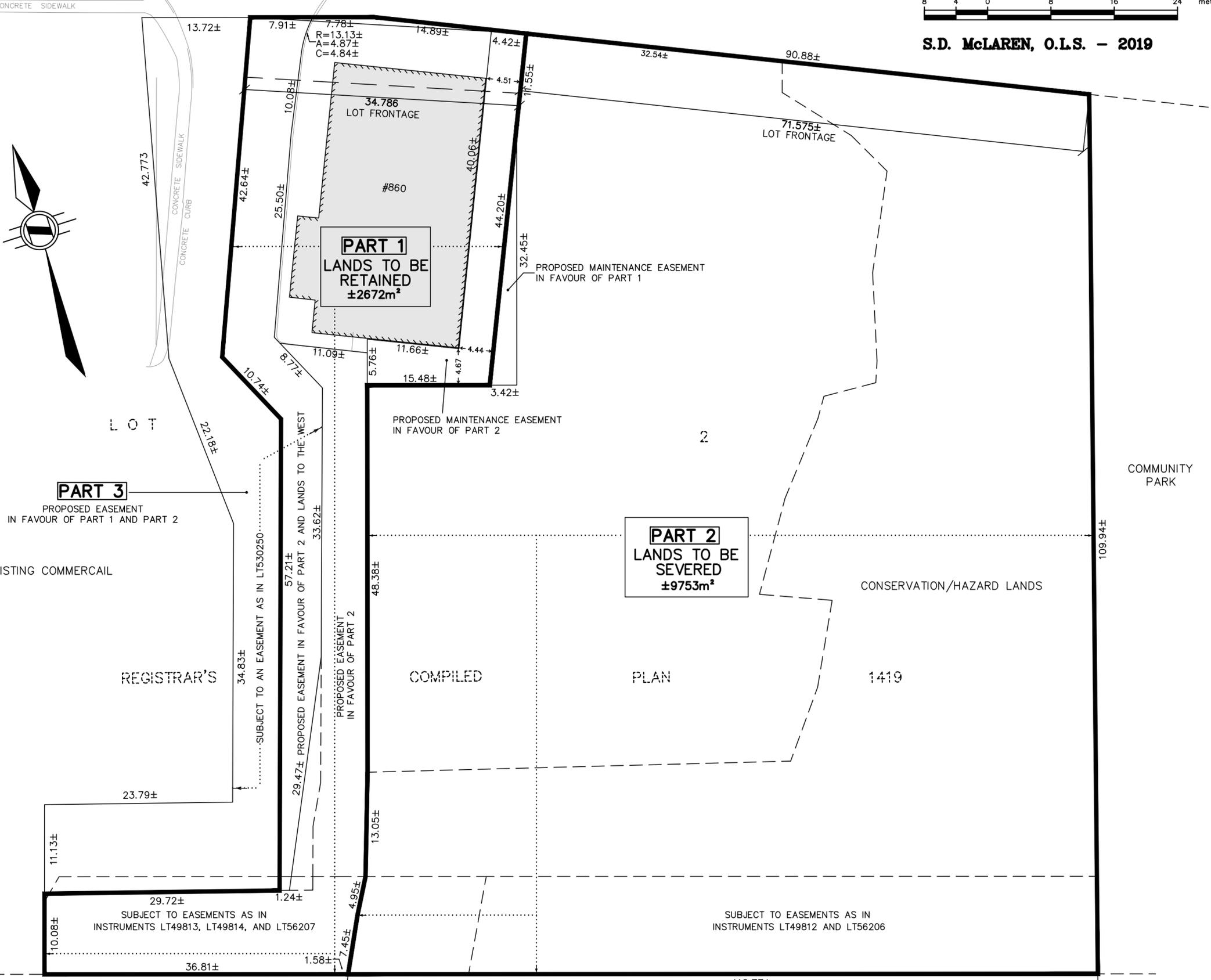
ASPHALT ISLAND
CONCRETE CURB

SKETCH FOR LAND DIVISION
OF
860 QUEENSTON ROAD
BEING PART OF
LOT 2
REGISTRAR'S COMPILED PLAN 1419
IN THE
CITY OF HAMILTON

SCALE 1:400 METRIC



S.D. McLAREN, O.L.S. - 2019



PART 3
PROPOSED EASEMENT
IN FAVOUR OF PART 1 AND PART 2
EXISTING COMMERCIAL

PART 1
LANDS TO BE
RETAINED
±2672m²

PART 2
LANDS TO BE
SEVERED
±9753m²

EXISTING RESIDENTIAL

COMMUNITY PARK

COMMUNITY PARK

NOTE:
THIS IS NOT A PLAN OF SURVEY AND
SHALL NOT BE USED EXCEPT FOR THE
PURPOSE INDICATED IN THE TITLE BLOCK

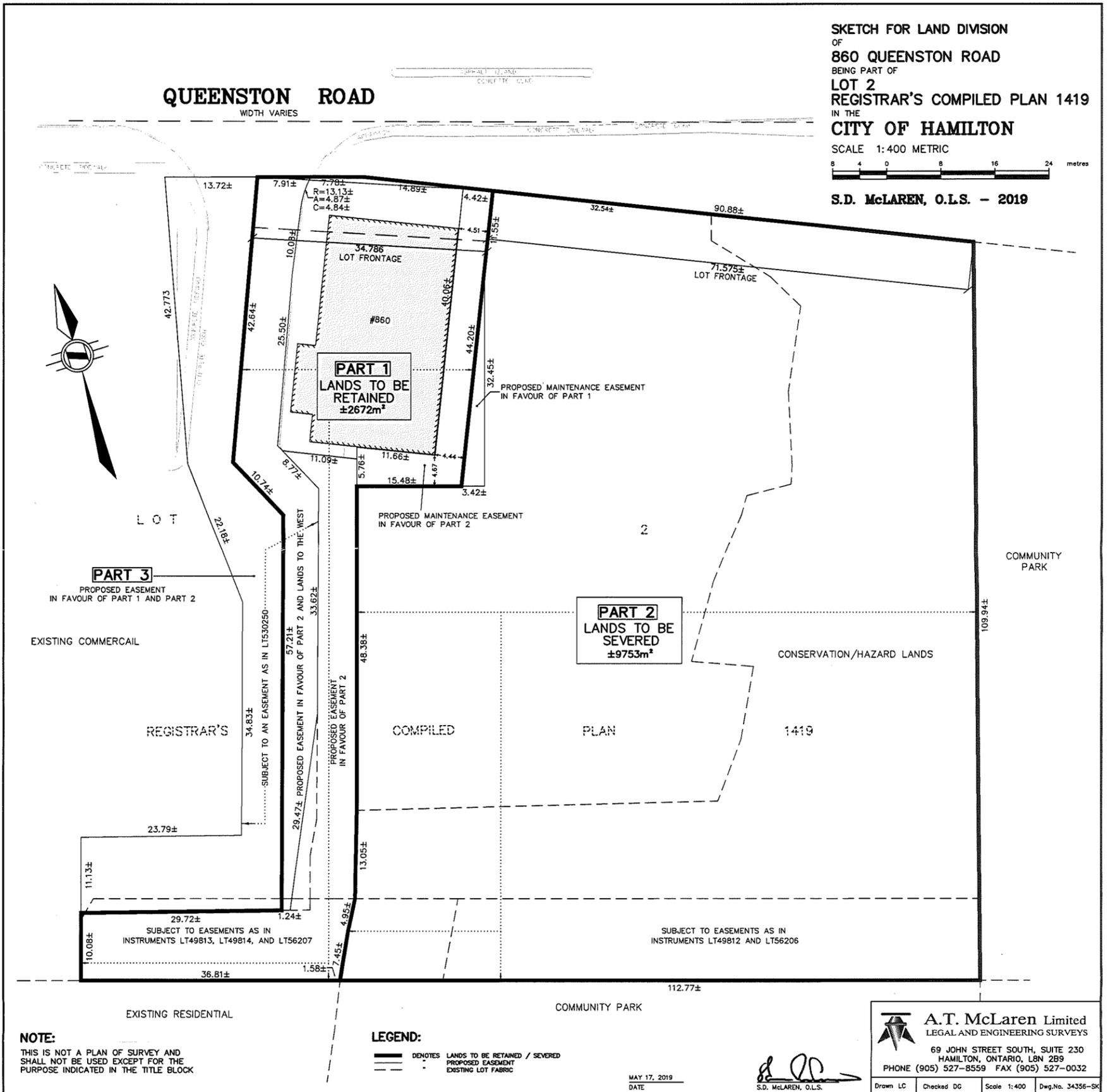
LEGEND:
— DENOTES LANDS TO BE RETAINED / SEVERED
- - - PROPOSED EASEMENT
--- EXISTING LOT FABRIC

MAY 17, 2019
DATE

S.D. McLaren
S.D. McLAREN, O.L.S.

A.T. McLaren Limited
LEGAL AND ENGINEERING SURVEYS
69 JOHN STREET SOUTH, SUITE 230
HAMILTON, ONTARIO, L8N 2B9
PHONE (905) 527-8559 FAX (905) 527-0032

Drawn LC	Checked DG	Scale 1:400	Dwg.No. 34356-SK
----------	------------	-------------	------------------



SC/B-20:34

QUEENSTON ROAD

WIDTH VARIES

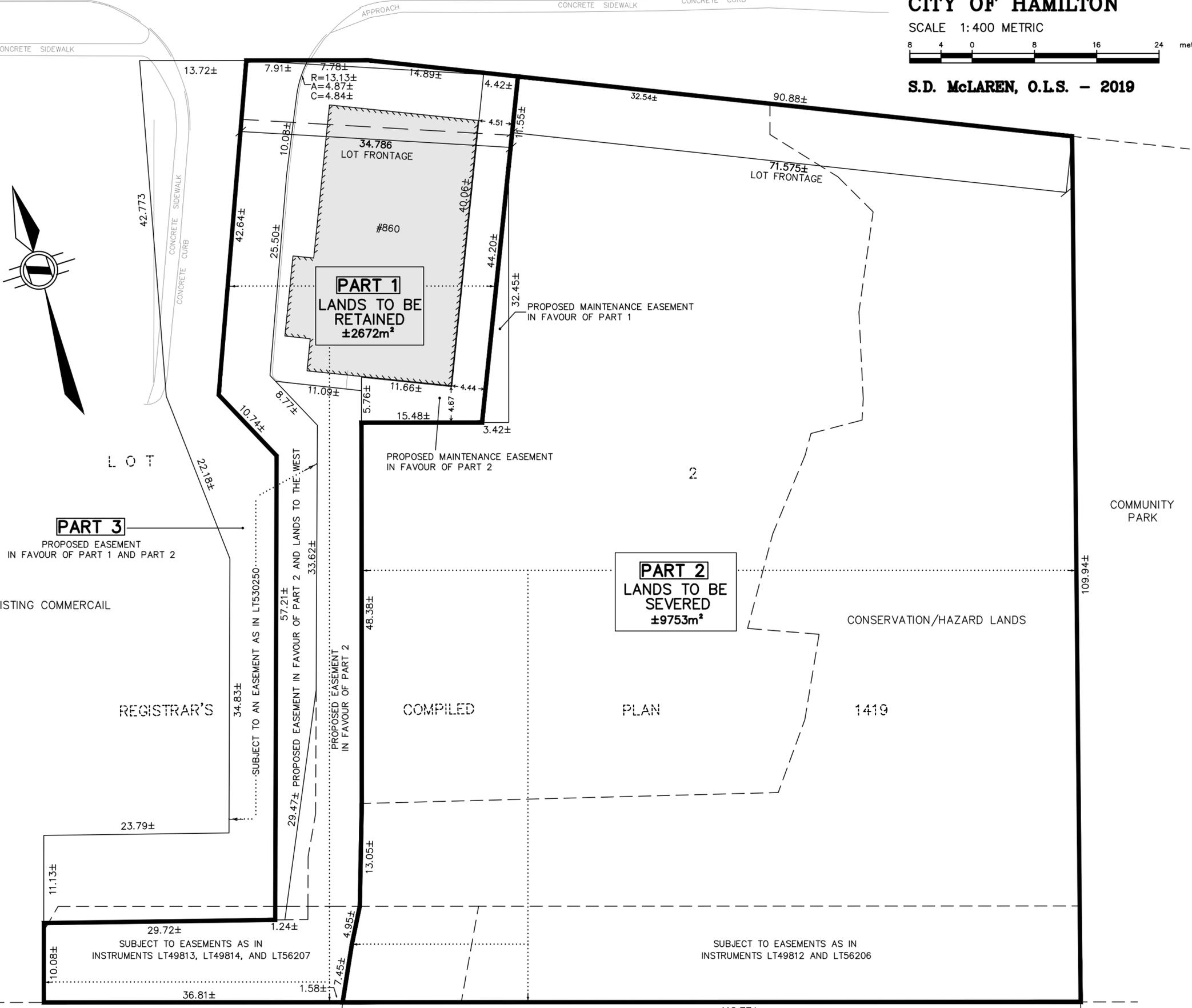
ASPHALT ISLAND
CONCRETE CURB

SKETCH FOR LAND DIVISION
OF
860 QUEENSTON ROAD
BEING PART OF
LOT 2
REGISTRAR'S COMPILED PLAN 1419
IN THE
CITY OF HAMILTON

SCALE 1:400 METRIC



S.D. McLAREN, O.L.S. - 2019



PART 3

PROPOSED EASEMENT
IN FAVOUR OF PART 1 AND PART 2

EXISTING COMMERCIAL

REGISTRAR'S

COMPILED

PART 2
LANDS TO BE
SEVERED
±9753m²

CONSERVATION/HAZARD LANDS

PLAN 1419

COMMUNITY PARK

EXISTING RESIDENTIAL

COMMUNITY PARK

NOTE:
THIS IS NOT A PLAN OF SURVEY AND
SHALL NOT BE USED EXCEPT FOR THE
PURPOSE INDICATED IN THE TITLE BLOCK

LEGEND:

- DENOTES LANDS TO BE RETAINED / SEVERED
- PROPOSED EASEMENT
- EXISTING LOT FABRIC

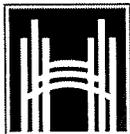
MAY 17, 2019
DATE

S.D. McLaren
S.D. McLAREN, O.L.S.



A.T. McLaren Limited
LEGAL AND ENGINEERING SURVEYS
69 JOHN STREET SOUTH, SUITE 230
HAMILTON, ONTARIO, L8N 2B9
PHONE (905) 527-8559 FAX (905) 527-0032

Drawn LC Checked DG Scale 1:400 Dwg.No. 34356-SK



Hamilton

COMMITTEE OF ADJUSTMENT

City Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5
 Telephone (905) 546-2424, ext. 4221, 3935 Fax (905) 546-4202
 E-mail: cofa@hamilton.ca

NOTICE OF PUBLIC HEARING
Minor Variance

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
 - Applicant/agent on file, or
 - Person likely to be interested in this application
-

APPLICATION NO.: HM/A-20:119

APPLICANTS: Owner: Linda Yuk Ning Chick
 Agent: Fung Ying Carol Tsang

SUBJECT PROPERTY: Municipal address **352 Beach Blvd., Hamilton**

ZONING BY-LAW: Zoning By-law 05-200, as Amended by By-law 19-062

ZONING: C1 district (Residential Character Commercial)

PROPOSAL: To permit the construction of a new single detached dwelling notwithstanding that;

1. A maximum yard of 12.0m shall be permitted from the Beach Blvd street line and maximum yard of 39.43m shall be permitted from the QEW street line instead of the maximum 3.0m yard abutting a street permitted.
2. A minimum parking space size width of 2.7m shall be permitted instead of the minimum 3.0m parking space size width required.
3. Tandem/stacked parking may be permitted for single detached dwelling for a maximum of two (2) parking spaces whereas tandem parking is not permitted for single detached dwellings.
4. The minimum required 6.0m wide manoeuvring aisle for the two (2) parking spaces located within the private garage may be obstructed by another vehicle whereas the By-law requires an unobstructed 6.0m wide manoeuvring aisle for each parking space.

Notes:

The lands are subject to Site Plan Control DAB-20-068; however, this application is currently under review. Please note, further variances may be required at such time that a full zoning review is conducted on the proposal.

The applicant requested a variance to Hamilton Zoning By-law 6593; however, these lands are now under Hamilton Zoning By-law 05-200 and the requested variance is no longer applicable.

The Zoning By-law requires a minimum side yard of 1.5m. The north side yard dimension has not been measured to the nearest part of the building. Therefore, further variances may be required.

HM/A-20:119

Page 2

Where the driveway is provided in the front yard all other portions of the front yard shall be landscaped area. Insufficient details were provided from which to determine compliance; as such, further variances may be required.

The applicant shall ensure that the parking spaces and the driveways are maintained with a stable surface such as asphalt, concrete or other hard-surfaced material, crushed stone or gravel, and shall be maintained in a dust free condition; otherwise, further variances will be required.

This application will be heard by the Committee as shown below:

DATE: Thursday, August 6th, 2020
TIME: 3:05 p.m.
PLACE: Via video link or call in (see attached sheet for details)
To be streamed at www.hamilton.ca/committeeofadjustment for viewing purposes only

PUBLIC INPUT

Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

Orally: If you would like to speak to this item at the hearing you may do so via video link or by calling in. Please see attached page for complete instructions, including deadlines for registering to participate.

MORE INFORMATION

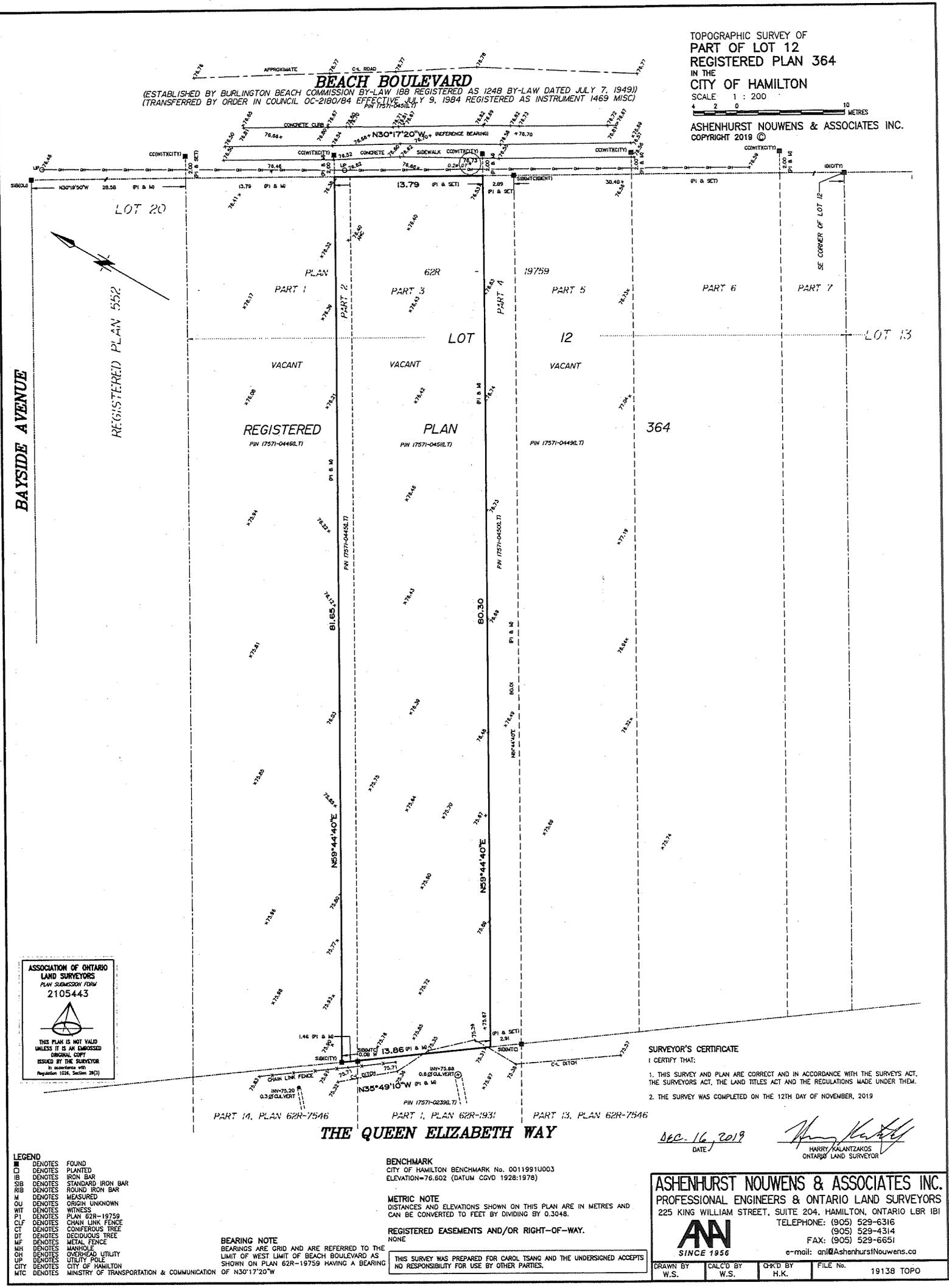
For more information on this matter, including access to drawings illustrating this request:

- Visit www.hamilton.ca/committeeofadjustment
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935
- Email Committee of Adjustment staff at cofa@hamilton.ca

DATED: July 21, 2020.

Jamila Sheffield,
 Secretary-Treasurer
 Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public.



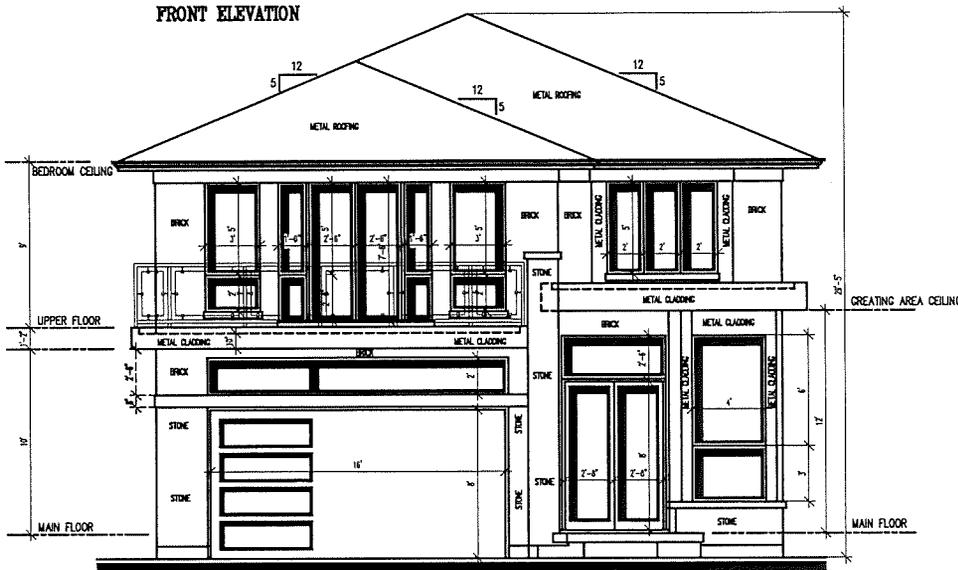
ASHHURST MOURNS & ASSOCIATES INC.
 PROFESSIONAL ENGINEERS & ONTARIO LAND SURVEYORS
 225 KING WILLIAM STREET
 HAMILTON, ONTARIO L8R 1R1
 (905) 528-8316
 (905) 528-4314
 FAX (905) 528-8821
 EMAIL: enr@ashhurstmourns.com
 SINCE 1956

GENERAL NOTES:

1. ALL CONSTRUCTION SHALL CONFORM TO THE O.B.C. AND LOCAL AUTHORITY HAVING JURISDICTION.
2. DO NOT SCALE DRAWINGS. CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO COMMENCING CONSTRUCTION.
3. ALL WOOD MEMBERS TO BE CONSTRUCTION SPRUCE #2, UNLESS NOTED OTHERWISE.
4. INSTALL DOUBLE JOISTS UNDER ALL PARALLEL PARTITIONS.
5. ALL CONSTRUCTION BETWEEN GARAGE AND DWELLING UNIT SHALL PROVIDE AN EFFECTIVE BARRIER FROM GAS AND EXHAUST. DOOR TO HAVE WEATHER STRIP AND SELF-CLOSER.
6. HEAT TRANSFER, AIR LEAKAGE & CONDENSATION CONTROL TO CONFORM TO SECTION 9.26. OF THE O.B.C.
7. MECHANICAL VENTILATION TO CONFORM TO SECTION 9.23.3 OF THE O.B.C.
8. RESISTANCE TO FORCED ENTRY TO CONFORM TO SECTION 9.8.8. OF THE O.B.C.
9. FIREPLACE TO CONFORM TO SEC. 9.22 OF THE O.B.C. CHIMNEY TO CONFORM TO SEC. 9.21 OF THE O.B.C.
10. ANY DEVIATION FROM APPROVED PLAN MUST BE APPROVED BY LOCAL BUILDING DEPARTMENT.
11. SIZES OF ALL BEAMS AND UNITS MUST BE CONFIRMED UPON FINAL TRUSS LAY OUT.
12. STEEL: (402)-H 300K #40LD
 STEEL BEAM WITH WELDED PLATE 1'-4" x 1/2"
 & 3/8" THICK BRACKETS @ 24" O.C TO SUPPORT BRICK
 ALL BRICK VENEER ANGEL IRON UNITS TO BE ANCHORED AT 24" O.C. TO PREVENT TIPPING.
13. THERMAL DESIGN & INSULATION AS PER SB-12, TABLE 3.1.1.2(A)(P)-AL.
14. STAIRS, RAMPS, HANDRAILS & GUARDS AS PER SECTION 9.8.8. OF THE O. B. C.
15. ATTACHMENT OF MATERIALS AS PER SUPPLEMENTARY STANDARDS TO THE O. B. C. SB-7.
16. ALL WORKS SHALL BE PERFORMED BY QUALIFIED AND LICENSED CONTRACTORS.
17. ALL CONCRETE MATERIALS AND WORKMANSHIP TO SCA A23.1, 2 & 3.
18. THERMAL RESISTANCE OF WINDOWS AS PER SB-12.
19. THERMAL RESISTANCE OF DOORS AS PER SB-12, TABLE 3.1.1.2(A)(P) - A1.

TO PERFORM ACTUAL CONSTRUCTION THE BUILDER SHALL USE SET OF DRAWINGS
 SEALED - THEREFORE APPROVED - BY THE LOCAL BUILDING DEPARTMENT

FRONT ELEVATION



PROPOSED RESIDENCE
352 BEACH BOULEVARD
HAMILTON, Ontario

ELEVATION

DATE:	MAY 14, 2020
SCALE:	1/4"=1'-0"
DWG BY:	M.T.
FILE:	19138

DWG No.

5 OF 8

RESPONSIBILITY INFORMATION

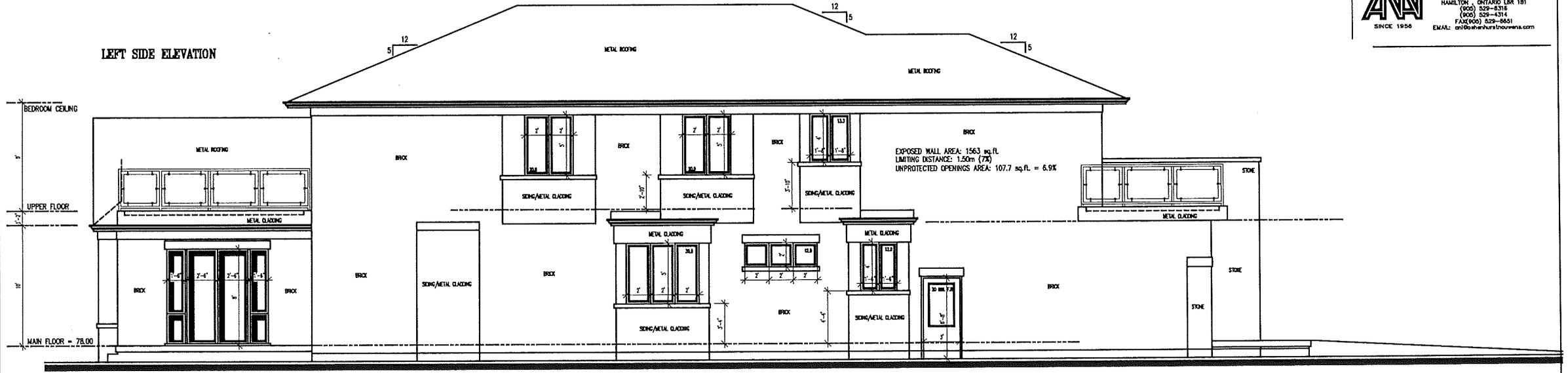
The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.
M. TRULIA
 ASHURST MOURNS & ASSOCIATES INC. REG. NO. 24467 EXP. 2022



NOT ISSUED FOR CONSTRUCTION
 UNTIL SEALED AND DATED

ANN ASHURST HOMERS & ASSOCIATES INC.
 PROFESSIONAL ENGINEERS & ONTARIO LAND SURVEYORS
 225 KING WILLIAM STREET
 HAMILTON, ONTARIO L8R 1B1
 (505) 529-6316
 (905) 529-4314
 FAX (905) 529-6651
 SINCE 1958 EMAIL: enl@ashursthousers.com

LEFT SIDE ELEVATION



EXPOSED WALL AREA: 1563 sq. ft.
 LIMITING DISTANCE: 1.50m (73)
 UNPROTECTED OPENINGS AREA: 107.7 sq. ft. = 6.9%

GENERAL NOTES:

GENERAL NOTES:

1. ALL CONSTRUCTION SHALL CONFORM TO THE O.B.C. AND LOCAL AUTHORITY HAVING JURISDICTION.
2. DO NOT SCALE DRAWINGS. CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO COMMENCING CONSTRUCTION.
3. ALL WOOD MEMBERS TO BE CONSTRUCTION SPECIES #2, UNLESS NOTED OTHERWISE.
4. INSTALL DOUBLE JOISTS UNDER ALL PARALLEL PARTITIONS.
5. ALL CONSTRUCTION BETWEEN GARAGE AND DWELLING UNIT SHALL PROVIDE AN EFFECTIVE BARRIER FROM GAS AND EXHAUST. DOOR TO HAVE WEATHER STRIPS AND SELF CLOSER.
6. HEAT TRANSFER, AIR LEAKAGE & CONDENSATION CONTROL TO CONFORM TO SECTION 8.2.3 OF THE O.B.C.
7. MECHANICAL VENTILATION TO CONFORM TO SECTION 8.32.3 OF THE O.B.C.
8. RESISTANCE TO FORCED ENTRY TO CONFORM TO SECTION 8.6.6 OF THE O.B.C.
9. FIREPLACE TO CONFORM TO SEC. 8.22 OF THE O.B.C. CHIMNEY TO CONFORM TO SEC. 8.21 OF THE O.B.C.
10. ANY DEVIATION FROM APPROVED PLAN MUST BE APPROVED BY LOCAL BUILDING DEPARTMENT.
11. SIZES OF ALL BEAMS AND LINTELS MUST BE CONFIRMED UPON FINAL TRUSS LAY OUT.
12. STEEL: 1. GALV-48 300K #400 STEEL BEAM WITH WELDED PLATE $\frac{1}{2}$ " x 12" & 3/8" THICK BRACKETS @ 24" O.C. TO SUPPORT BRICK. ALL BRICK MEMBER ANGEL IRON LINTELS TO BE ANCHORED AT 24" O.C. TO PREVENT TIPPING.
13. THERMAL DESIGN & INSULATION AS PER SB-12, TABLE 3.1.1.2(A)(P)-A1.
14. STAIRS, RAMP, HANDRAILS & GUARDS AS PER SECTION 8.8 OF THE O. B. C.
15. ATTACHMENT OF HANDRAILS AS PER SUPPLEMENTARY STANDARDS TO THE O. B. C. SB-7
16. ALL WORKS SHALL BE PERFORMED BY QUALIFIED AND LICENSED CONTRACTORS
17. ALL CONCRETE MATERIALS AND WORKMANSHIP TO SCA A231, 7 & 3.
18. THERMAL RESISTANCE OF WINDOWS AS PER SB-12, THERMAL RESISTANCE OF DOORS AS PER SB-12, TABLE 3.1.1.2(A)(P) - A1

TO PERFORM ACTUAL CONSTRUCTION THE BUILDER SHALL USE SET OF DRAWINGS SEALED - THEREFORE APPROVED - BY THE LOCAL BUILDING DEPARTMENT

PROPOSED RESIDENCE
352 BEACH BOULEVARD
HAMILTON, Ontario

ELEVATION

DATE:	MAY 14, 2020
SCALE:	1/8"=1'-0"
DWG BY:	M.T.
	19138



DESIGNER INFORMATION
 The undersigned has reviewed and takes responsibility for the design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.
MLOI TRUKULA ICB# 84457
 ASHURST HOMERS & ASSOCIATES INC. ICB# 800628 Signature

NOT ISSUED FOR CONSTRUCTION UNTIL SEALED AND DATED

8 of 8



Hamilton

Planning and Economic Development Department
Planning Division

Committee of Adjustment

City Hall
5th floor 71 Main Street West
Hamilton, Ontario L8P 4Y5

Phone (905) 546-2424 ext.4221
Fax (905) 546-4202

**PLEASE FILL OUT THE FOLLOWING PAGES AND
RETURN TO THE CITY OF HAMILTON PLANNING
DEPARTMENT.**

FOR OFFICE USE ONLY.	
APPLICATION NO. _____	DATE APPLICATION RECEIVED _____
PAID _____	DATE APPLICATION DEEMED COMPLETE _____
SECRETARY'S SIGNATURE _____	

**CITY OF HAMILTON
COMMITTEE OF ADJUSTMENT
HAMILTON, ONTARIO**

The Planning Act

Application for Minor Variance or for Permission

The undersigned hereby applies to the Committee of Adjustment for the City of Hamilton under Section 45 of the *Planning Act*, R.S.O. 1990, Chapter P.13 for relief, as described in this application, from the Zoning By-law.

1. Name of Owner Chick, Linda Yuk Ning Telephone No. _____

2. _____

3. Name of Agent Tsang, Fung Ying Carol Telephone No. _____

4. _____

Note: Unless otherwise requested all communications will be sent to the agent, if any.

5. Names and addresses of any mortgagees, holders of charges or other encumbrances: Not Available applicant

_____ Postal Code _____

_____ Postal Code _____

6. Nature and extent of relief applied for: fourth
Apply for the fourth parking spot

7. Why it is not possible to comply with the provisions of the By-law?
according to the zoning by-law - 6593 Jun 13, 2019 section 18A
and the comments from the city for our building
permit. We need C.O.A. to approve the fourth
parking space. Attached the e-mail from the
building permit division for ref.

8. Legal description of subject lands (registered plan number and lot number or other legal description and where applicable, street and street number):
Address - 352 Beach Blvd Hamilton L8H 6W5
Part of Lot 12. Plan 364. part 2 and part 3
Reference Plan No. 62R-19759

9. PREVIOUS USE OF PROPERTY

Residential Industrial Commercial
 Agricultural Vacant
 Other _____

9.1 If Industrial or Commercial, specify use

9.2 Has the grading of the subject land been changed by adding earth or other material, i.e. has filling occurred?

Yes No Unknown

9.3 Has a gas station been located on the subject land or adjacent lands at any time?

Yes No Unknown

9.4 Has there been petroleum or other fuel stored on the subject land or adjacent lands?

Yes No Unknown

9.5 Are there or have there ever been underground storage tanks or buried waste on the subject land or adjacent lands?

Yes No Unknown

9.6 Have the lands or adjacent lands ever been used as an agricultural operation where cyanide products may have been used as pesticides and/or sewage sludge was applied to the lands?

Yes No Unknown

9.7 Have the lands or adjacent lands ever been used as a weapon firing range?

Yes No Unknown

9.8 Is the nearest boundary line of the application within 500 metres (1,640 feet) of the fill area of an operational/non-operational landfill or dump?

Yes No Unknown

9.9 If there are existing or previously existing buildings, are there any building materials remaining on site which are potentially hazardous to public health (eg. asbestos, PCB's)?

Yes No Unknown

9.10 Is there any reason to believe the subject land may have been contaminated by former uses on the site or adjacent sites?

Yes No Unknown

9.11 What information did you use to determine the answers to 9.1 to 9.10 above?

The subject property is a
vacant land

9.12 If previous use of property is industrial or commercial or if YES to any of 9.2 to 9.10, a previous use inventory showing all former uses of the subject land, or if appropriate, the land adjacent to the subject land, is needed.

Is the previous use inventory attached? Yes No

ACKNOWLEDGEMENT CLAUSE

I acknowledge that the City of Hamilton is not responsible for the identification and remediation of contamination on the property which is the subject of this Application – by reason of its approval to this Application.

5/23/2020
Date



Signature Property Owner

Chick, Linda Yuk-Ning
Print Name of Owner

10. Dimensions of lands affected:

Frontage 13.79m
Depth left 80.30m. right 81.65m
Area 1116.65 m
Width of street _____

11. Particulars of all buildings and structures on or proposed for the subject lands: (Specify ground floor area, gross floor area, number of stories, width, length, height, etc.)

Existing: The subject land is a vacant land

Proposed: to build a two storey single family dwelling

12. Location of all buildings and structures on or proposed for the subject lands; (Specify distance from side, rear and front lot lines)

Existing: The subject land is a vacant land

Proposed: To build a two storey single family dwelling

13. Date of acquisition of subject lands: October 11, 2019

14. Date of construction of all buildings and structures on subject lands:

Will apply building permit upon approval from C.O.A

15. Existing uses of the subject property:

Vacant land

16. Existing uses of abutting properties:

Vacant land

17. Length of time the existing uses of the subject property have continued:

unknown

18. Municipal services available: (check the appropriate space or spaces)

Water NO Connected _____

Sanitary Sewer NO Connected _____

Storm Sewers NO

19. Present Official Plan/Secondary Plan provisions applying to the land:

Not available

20. Present Restricted Area By-law (Zoning By-law) provisions applying to the land:

Not available

21. Has the owner previously applied for relief in respect of the subject property?

Yes

No

If the answer is yes, describe briefly.

22. Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?

Yes

No

23. The applicant shall attach to each copy of this application a plan showing the dimensions of the subject lands and of all abutting lands and showing the location, size and type of all buildings and structures on the subject and abutting lands, and where required by the Committee of Adjustment such plan shall be signed by an Ontario Land Surveyor.

NOTE: It is required that two copies of this application be filed with the secretary-treasurer of the Committee of Adjustment together with the maps

OWNER: CAROL TSANG
MUNICIPAL ADDRESS: 352 BEACH BLVD.
LEGAL DESCRIPTION: PART OF LOT 12, REGISTERED PLAN 364, CITY OF HAMILTON
ZONING: C/S = 14.36
SITE STATISTICS:

BYLAW	PROPOSED
LOT FRONTAGE	12.0 m (Min.) 13.79 m
LOT AREA	360 m ² (Min.) 1116.95 m ²
LOT COVERAGE	25.0% (Max) 23.30%
FRONT YARD SETBACK	6.0m (Min) 12.0 m
REAR YARD SETBACK	7.50m (Min) 39.43 m
SIDE YARD SETBACK	1.70 m (Min) 1.88 m
SIDE YARD (COMMON SWALE)	1.50 m (Min) 1.55
HEIGHT/PEAK OF ROOF	9.0m (Max) 8.95 m
AREA OF FRONT YARD	N/A
AREA OF LANDSCAPING	50.0 ± 91.07m ² (50.4%)
PARKING SPACE	4 PROVIDED (2.7m x 6.0m)
FLOOR AREA	397.50 m ²

UNDERGROUND SERVICES LOCATION AND INVERTS WERE DERIVED FROM DRAWING PROVIDED BY THE CITY OF HAMILTON DRAWING: 86-SP-1-4448, 92-S-57-5, 92-S-57-E448

CROSSING #2
W/S INV. = 75.85
STORM. OVERT = 75.70

CROSSING #1
W/S INV. = 75.52
SAN. OVERT = 75.38

NOTE:
AT CROSSINGS #1 AND #2, CLEARANCE OF W/S TO SAN AND STORM SEWERS TO BE MIN. 0.15m INSULATION WILL BE REQUIRED IF THE COVER DEPTH OF W/S IS LESS THAN 1.60m

CROSSING #3
W/S INV. = 75.80
EX. STORM. OVERT = 75.70

PROPOSED LOCATION OF S/S, 150mm PVC SDR28 @ 2.0% MIN. SLOPE (PRIVATE SIDE) PROVIDE INSULATION AS PER DETAIL

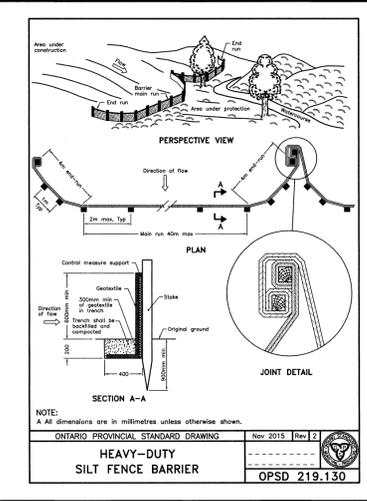
PROPOSED LOCATION OF S/S, 150mm PVC SDR28 @ 2.0% MIN. SLOPE (PUBLIC SIDE) PROVIDE INSULATION AS PER DETAIL

NOTE:
SIDEWALK WIDTH AT THE COMMON SWALE BETWEEN THE ADJOINING PROPERTIES SHALL BE AT LEAST 1.50m.

I HEREBY ACKNOWLEDGE THAT I HAVE REVIEWED THE PROPOSED GRADING WORK AND HAVE IN AGREEMENT WITH GRADING WORKS TO RE-GRADE MY PROPERTY AS SHOWN ON THE GRADING PLAN.

DATE: _____
OWNER: _____
of 358 BEACH BOULEVARD

GARAGE ELE. TO C.L. ROAD = 77.15-76.77-0.38m
AVERAGE GRADE = 77.15+77.05+76.59+77.27=76.76
DIMENSION OF PEAK TO AVERAGE GRADE = 85.71-76.76 = 8.95m



GENERAL:

- ALL WORK INVOLVED IN THE CONSTRUCTION, RELOCATION, REPAIR OF MUNICIPAL SERVICES FOR THE PROJECT SHALL BE TO THE SATISFACTION OF THE DIRECTOR OF PLANNING AND CHIEF PLANNER, PLANNING AND ECONOMIC DEVELOPMENT DEPARTMENT.
- CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES INCLUDING GASMAINS, WATERMAINS, TELEVISION CABLES, HYDRO, TELEPHONE CABLES, ETC.
- ALL SURVEY INFORMATION ON THIS PLAN IS FOR INFORMATION PURPOSES ONLY.
- THE APPROVAL OF THIS PLAN DOES NOT EXEMPT THE OWNER'S BONDING CONTRACTOR FROM THE REQUIREMENTS TO OBTAIN THE VARIOUS PERMITS/APPROVALS NORMALLY REQUIRED TO COMPLETE A CONSTRUCTION PROJECT, SUCH AS, BUT NOT LIMITED TO THE FOLLOWING:
 -BUILDING PERMIT
 -ROAD CUTS PERMITS
 -APPROACH APPROVAL PERMITS
 -SEWER AND WATER PERMITS
 -RELOCATION OF SERVICES
 -ENFORCEMENT AGREEMENTS (IF REQ'D) -COMMITTEE OF ADJUSTMENT
- ABANDONED ACCESSES MUST BE REMOVED AND THE CURB AND BOULEVARD RESTORED WITH SOD AT THE OWNER'S EXPENSE TO THE SATISFACTION OF THE GEOMATIC AND CORRIDOR MANAGEMENT SECTION, PUBLIC WORKS DEPARTMENT.
- PROPOSED SIGNAGE SHALL CONFORM TO THE CITY'S SIGN BY-LAW NO. 10-197
- LIGHTING MUST BE DIRECTED ON SITE AND MUST NOT SPILL OVER TO ADJACENT PROPERTIES OR STREETS.
- ALL FENCES SHALL COMPLY WITH CITY OF HAMILTON FENCE BY-LAW NO. 10-142

ROADWORKS:

- CURB SUPPRESSIONS SHALL BE AS PER OPSD 600.040 AND OPSD 310.050 AND CITY OF HAMILTON STANDARD DRAWING RD-100.
- CONCRETE CURB SHALL BE AS PER OPSD 600.040 (BARRIER TYPE), MIN. 30MPa. A 50mm KEY IS REQUIRED IN ALL LOCATIONS.
- SIDEWALK REINSTATEMENT SHALL BE AS PER OPSD 310.010-125mm THICKNESS, 30MPa CONCRETE WITH GRANULAR BASE AS REQ'D TO PROVIDE LEVELING COURSE FOR CONCRETE. AT DRIVEWAYS, CONCRETE THICKNESS TO BE MIN. 175mm.

GRADING:

- LOT GRADING IS TO CONFORM TO THE LATEST REVISION OF THE CITY OF HAMILTON LOT GRADING POLICY.
- ALL ELEVATIONS ALONG AFFECTED PROPERTIES TO MATCH EXISTING ELEVATIONS AND ALL GRADING SHALL NOT ADVERSELY AFFECT SHEET FLOW FROM ADJACENT LOTS.
- IMPORTED FILL TO BE CLEAN AND ENVIRONMENTALLY SAFE CLAY, COMPACTED TO 95% S.P.D. USE OF VIBRATOR ON COMPACTOR WHILE COMPACTING IS NOT PERMITTED.
- ALL CURB STOPS AND VALVES MUST BE CERTIFIED TO BE IN WORKING ORDER AT THE TIME OF ISSUANCE OF THE FINAL LOT GRADING CERTIFICATE. FINAL LOT GRADING CERTIFICATES MUST INCLUDE A STATEMENT AFFIRMING THE DATE OF INSPECTION AND THAT THE WATER BOX IS AT GRADE AND FOUND TO BE FREE FROM DAMAGE OR DEFECT.
- ALL DISTURBED AREAS WITHIN THE ROAD ALLOWANCE SHALL BE RESTORED TO EXISTING CONDITION OR BETTER.
- ALL DISTURBED BOULEVARD AREAS ARE TO BE REINSTATED WITH 100mm TOPSOIL AND NO. 1 NURSERY SOD IN ACCORDANCE WITH OPSD 803 AND TO THE SATISFACTION OF THE TRAFFIC ENGINEERING SECTION, PUBLIC WORKS DEPARTMENT.

PRIVATE DRAINS:

- 'S' DENOTES SINGLE SANITARY PRIVATE DRAIN CONNECTION
- PRIVATE DRAIN ARE TO BE LOCATED 1.5m ON THE RIGHT SIDE OF CENTERLINE OF LOT OR AS DETAILED AND EXTENDED 1m BEYOND THE PROPERTY LINE.
- PIPE MATERIAL IS TO BE 150mm PVC PIPE, CSA B182.1 M-1883, SDR 28 AS PER FORM 500. STORM PIPE SHALL BE WHITE AND SANITARY SHALL BE ANY COLOUR OTHER THAN WHITE. WOOD MARKING AT END OF SANITARY PRIVATE DRAIN SHALL BE PAINTED RED.
- COVER AND BEDDING MATERIAL FOR PRIVATE DRAINS SHALL BE GRANULAR 'A' INSTALLED AS PER OPSD 802.010 OR 802.013.
- MINIMUM SLOPE FOR PRIVATE DRAINS TO BE 2.0%
- TOP OF SANITARY PRIVATE DRAINS AT STREET LINE TO BE 2.2m (MIN) BELOW CENTERLINE ROAD ELEVATION AT THAT POINT OR AS DETAILED.
- BUILDING DRAINWATER LEADERS SHALL NOT BE CONNECTED TO THE STORM PRIVATE DRAIN BUT SHALL DISCHARGE ONTO LANDSCAPED AREAS VIA SPLASH PADS A MIN. OF 0.6m FROM THE BUILDING FACE.

WATER SERVICES:

- 'W' DENOTES WATER SERVICE CONNECTION (25mm TYPE 'K' SOFT COPPER) AS PER MM-207.02 OR AS DETAILED.
- WATER SERVICES ARE TO BE LOCATED 1.5m TO THE LEFT SIDE OF CENTERLINE OF LOT OPPOSITE SANITARY PRIVATE DRAIN OR AS DETAILED, WITH CURB STOP ADJACENT TO THE STREET LINE.
- GRANULAR BEDDING SHALL BE GRANULAR 'D' AS PER FORM 600 AND MM-200.01.
- ALL CURB STOPS SHALL BE SET TO PROPOSED GRADES.

COMPACTION REQUIREMENTS:

- ALL BEDDING AND BACKFILL MATERIAL, ROAD SUBGRADES AND GENERALLY ALL MATERIAL USED FOR LOT GRADING AND FILL SECTIONS ETC. SHALL BE COMPACTED TO A MIN. 95% SPD UNLESS OTHERWISE RECOMMENDED BY A GEOTECHNICAL ENGINEER. ALL MATERIAL SHALL BE PLACED IN LAYERS NOT EXCEEDING 300mm LIFTS.
- ALL GRANULAR ROAD BASE MATERIALS SHALL BE COMPACTED TO A MIN 98% SPD.

GENERAL GRADING NOTES:

- ALONG ADJOINING PROPERTIES GRADE TO MEET EXISTING OR PROPOSED ELEVATION WITH SLOPED SLOPES (MIN 3H TO 1V) AND/OR RETAINING WALLS AS SPECIFIED.
- ALL RETAINING WALLS, WALKWAYS, CURBS, ETC., SHALL BE PLACED A MIN. OF 0.45m OFF THE PROPERTY LINE. ALL WALLS 1.0m OR HIGHER SHALL BE DESIGNED BY A P.E.N.G.
- SHOULD A RETAINING WALL BE REQUIRED TO BE LOCATED 1.5m ABOVE THE PROPOSED SIDE YARD SWALES.
- RETAINING WALLS 0.6m IN HEIGHT OR GREATER REQUIRE CONSTRUCTION OF A FENCE OR GUARD RAIL AT THE TOP OF THE REAR OF THE WALL. GUARDS FOR RETAINING WALLS SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH THE REQUIREMENTS OF EXISTING CODES AS CONTAINED IN THE ONTARIO BUILDING CODE.
- SLOPE OF SWALES FOR BOTH "BACK TO FRONT" AND "SPLIT" DRAINAGE SHALL BE NO LESS THAN 2.0% GRADE AND NO GREATER THAN 33% SLOPES.
- WHEN MATCHING TO EXISTING PROPERTIES WHERE A 2.0% GRADE CANNOT BE ACHIEVED, A 1.5% GRADE IS PERMITTED PROVIDED A 150mm SUBSOLEM IS INSTALLED BELOW THE BOTTOM OF THE SWALE AND DRAINED TO A SUITABLE COVER (IE. THE SUBSOLEM), OR OTHER MITIGATION MEASURES.
- MINIMUM GRADE FOR A WRAP-AROUND SWALE IN THE BACKYARD SHALL BE 1.0%.
- UNLESS OTHERWISE NOTED, THE GRADE BETWEEN PROPOSED DRIVEWAYS ON SIDE LOTS SHALL BE GRADED AS A STRAIGHT LINE.
- TOP OF FOUNDATION WALLS FOR BUILDINGS SHALL BE 150mm MIN. ABOVE FINISHED GRADE.
- UNLESS OTHERWISE NOTED, SLOPES SHALL BE 3H TO 1V AND NOT MORE THAN 7% UNLESS OTHERWISE SPECIFIED.
- GARAGE FLOOR ELEVATION TO BE SET MINIMUM 0.3m HIGHER THAN BACK OF WALK, UNLESS OTHERWISE SPECIFIED.
- FILL SHALL BE PLACED ON TOP OF SWALES TO BE COMPACTED TO A MINIMUM 95% SPD.
- FOR DELINEATION OF TREE PROTECTION ZONES, BUFFERS, REMOVALS AND PROTECTION SCHEMATICS, ETC. REFER TO TREE PROTECTION PLAN.
- LOT GRADING FOR ALL LOTS IN THE DEVELOPMENT SHALL CONFORM STRICTLY WITH THIS PLAN. ANY CHANGES, UNLESS APPROVED PRIOR TO CONSTRUCTION BY THE CITY, SHALL RESULT IN NON-ACCEPTANCE OF THE DEVELOPMENT BY THE CITY.
- IF GRADING IS REQUIRED ON LANDS ADJACENT TO THE DEVELOPMENT WHICH ARE NOT OWNED BY THE DEVELOPER, THEN THE DEVELOPER MUST OBTAIN WRITTEN PERMISSION FROM THE ADJACENT PROPERTY OWNER TO ALLOW THE DEVELOPER TO GRADEN THE ADJACENT LANDS. OTHERWISE RETAINING WALLS SHALL BE CONSTRUCTED ALONG THE ADJACENT PROPERTY LINE.
- THE WRITTEN PERMISSION REQUIRED FROM THE ADJACENT LANDOWNER SHALL BE OBTAINED PRIOR TO ENTERING THE LANDS. SHOULD PERMISSION NOT BE OBTAINED OR IS WITHDRAWN PRIOR TO COMMENCING WORK, THEN THE DEVELOPER SHALL LIMIT HIS ACTIVITIES TO THE LIMITS OF THE DEVELOPMENT SITE.
- DRIVEWAY AND DRIVEWAY APPROACHES SHALL BE LOCATED SUCH THAT HYDRO VALVES AND OTHER STREET FURNITURE ARE A MIN OF 1.2m FROM THE PROJECTIONS OF THE OUTSIDE GARAGE WALLS.

BACKYARD GRADING:

- DEFINITION: "REQUIRED BACKYARD" SHALL MEAN THE LESSER OF THE DISTANCE REGULATED BY THE ZONING BY-LAW OR 6m.
- THE MINIMUM SLOPE IN THE BACKYARD ADJACENT TO THE BUILDING FOR A DISTANCE EQUAL TO THE REQUIRED BACKYARD SHALL BE 5%, EXCEPT AS SET OUT IN THE ITEMS BELOW.
- THE 5% RESTRICTION SHALL NOT APPLY TO THE SIDES OF A SWALE ALONG THE SIDES OR BACK OF THE LOT, PROVIDING THE TOTAL WIDTH OF THE SWALE SHALL NOT EXCEED ONE (1) METRE ON EACH LOT.
- WHERE THE 5% RESTRICTION ON THE BACKYARD GRADES RESULTS IN ELEVATION DIFFERENCES BETWEEN DIFFERENT PROPERTIES, RETAINING WALLS SHALL BE CONSTRUCTED ALONG THE SIDES AND THE BACK OF THE LOT. SLOPES WITH A MAXIMUM OF 3% HORIZONTAL TO 1 VERTICAL MAY REPLACE THE WALLS WHERE THE DIFFERENCE IN ELEVATION IS LESS THAN 0.3m.
- GENERALLY, SLOPES SHALL BE PLACED ON THE LOWER LOT, WHEREAS RETAINING WALLS SHALL BE PLACED ON THE HIGHER LANDS.
- THE 5% RESTRICTION DOES NOT PRECLUDE RETAINING WALLS IN THE REQUIRED BACKYARD AREAS PROVIDED TERRACES ARE MAINTAINED TO THE 5% GRADE AS SET OUT IN ITEM 2 ABOVE. THE INTENTION OF THIS PROVISION IS TO PROVIDE FLEXIBILITY OF CONSTRUCTION.
- THERE IS NO CONTROL ON THE STEEPNESS OF THE SLOPES IN SIDE YARDS, FRONT YARD AND BACK YARDS, OUTSIDE THE AREA DEFINED IN ITEM 1 ABOVE, PROVIDING THE SLOPES ARE STABLE FOR THE SOILS OF THE AREA (MIN 3H:1V).

ROOFWATER LEADERS:

- ALL ROOFWATER LEADERS SHALL DISCHARGE ONTO SPLASH PADS AND THEN TO GRASSSED OR LANDSCAPED AREAS A MIN. OF 0.6m FROM THE BUILDING FACE.

SILTATION AND EROSION CONTROL:

- SILT CONTROL BARRIERS SHALL BE PLACED AS DETAILED AND IN ACCORDANCE WITH HAMILTON SITE PLAN GUIDELINES.
- ALL SILT CONTROL MEASURES SHALL BE INSPECTED AT REGULAR INTERVALS AND FOLLOWING EACH RAINFALL OR AS DIRECTED AND SHALL BE MAINTAINED TO THE SATISFACTION OF THE CITY OF HAMILTON. ADDITIONAL SILT CONTROL MEASURES MAY BE REQUIRED BY THE CITY AND SHALL BE PLACED AS DIRECTED.
- ALL EROSION AND SILTATION CONTROL DEVICES MUST BE INSTALLED PRIOR TO THE BEGINNING OF EARTH REMOVAL ACTIVITIES AND LEFT IN PLACE UNTIL FINAL COVER IS ESTABLISHED.
- ALL EROSION AND SILTATION CONTROL DEVICES SHOULD BE AS PER THE "GREATER GOLDEN HORSESHOE AREA CONSERVATION AUTHORITIES", "EROSION AND SEDIMENT CONTROL GUIDELINE FOR URBAN CONSTRUCTION".
- THE OWNER IS RESPONSIBLE FOR THE REMOVAL OF ALL MUD AND DEBRIS THAT ARE TRACKED ONTO THE ROADWAYS FROM THE VEHICLES ENTERING OR LEAVING THE CONSTRUCTION SITE. THE OWNER SHALL, UPON VERBAL AND/OR WRITTEN REQUEST BY THE CITY, IMMEDIATELY PROCEED WITH THE CLEAN-UP OPERATIONS AND AT THEIR EXPENSE, SHOULD THE OWNER FAIL TO MAINTAIN THE ROAD AS DIRECTED, THE CITY WILL HAVE THE CLEANING CARRIED OUT, AND DRAW ON THE OWNER'S SECURITY FOR COSTS AND/OR LAY CHARGES.

BEACH BOULEVARD
(ESTABLISHED BY BURLINGTON BEACH COMMISSION BY-LAW 188 REGISTERED AS 1248 BY-LAW DATED JULY 7, 1948)
(TRANSFERRED BY ORDER IN COUNCIL OC-2160/P/1971-1972)

PROPOSED 25mm (1") COPPER W/S (PUBLIC SIDE)
INV. = 75.80
STORM. OVERT = 75.70

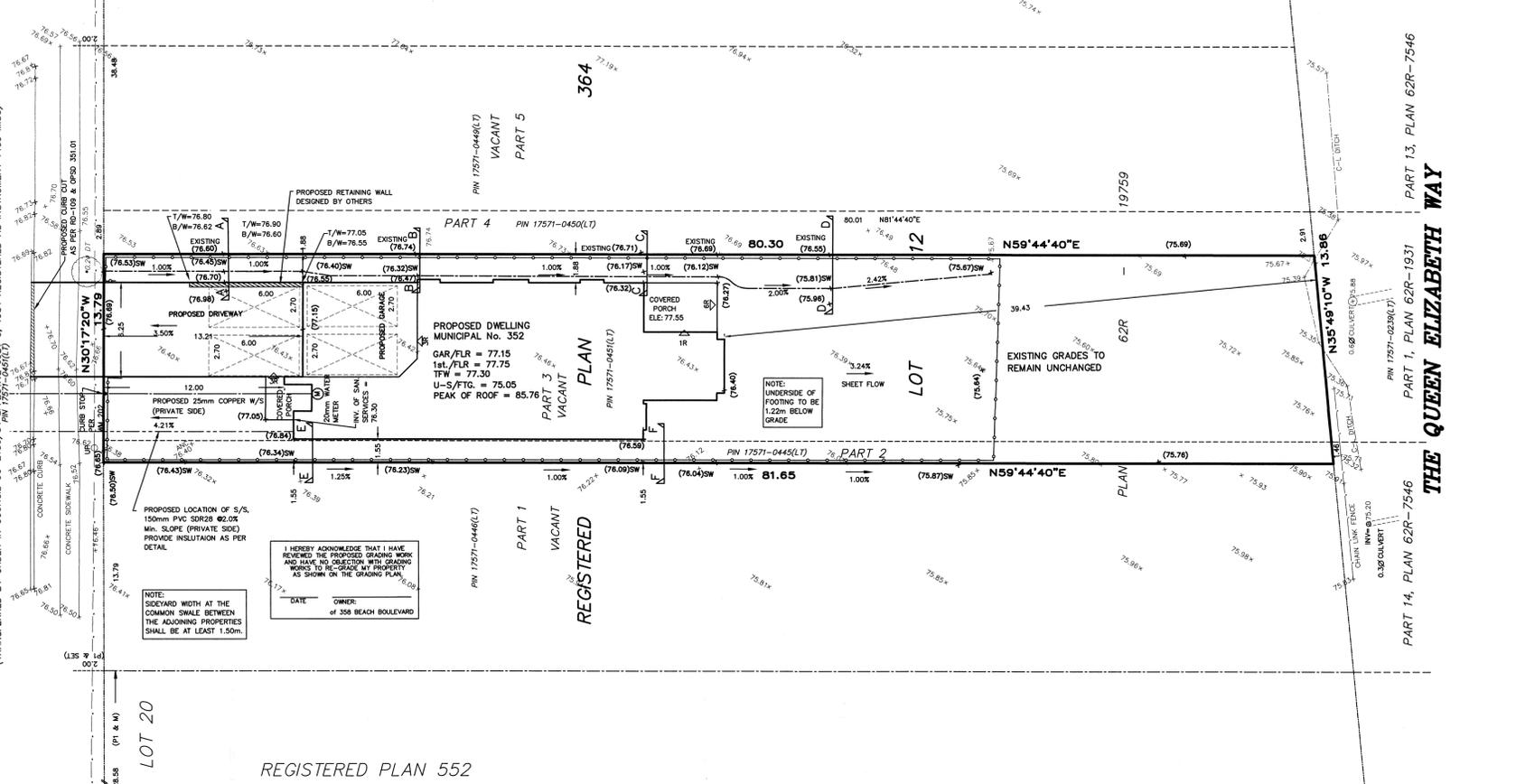
PROPOSED LOCATION OF S/S, 150mm PVC SDR28 @ 2.0% MIN. SLOPE (PUBLIC SIDE) PROVIDE INSULATION AS PER DETAIL

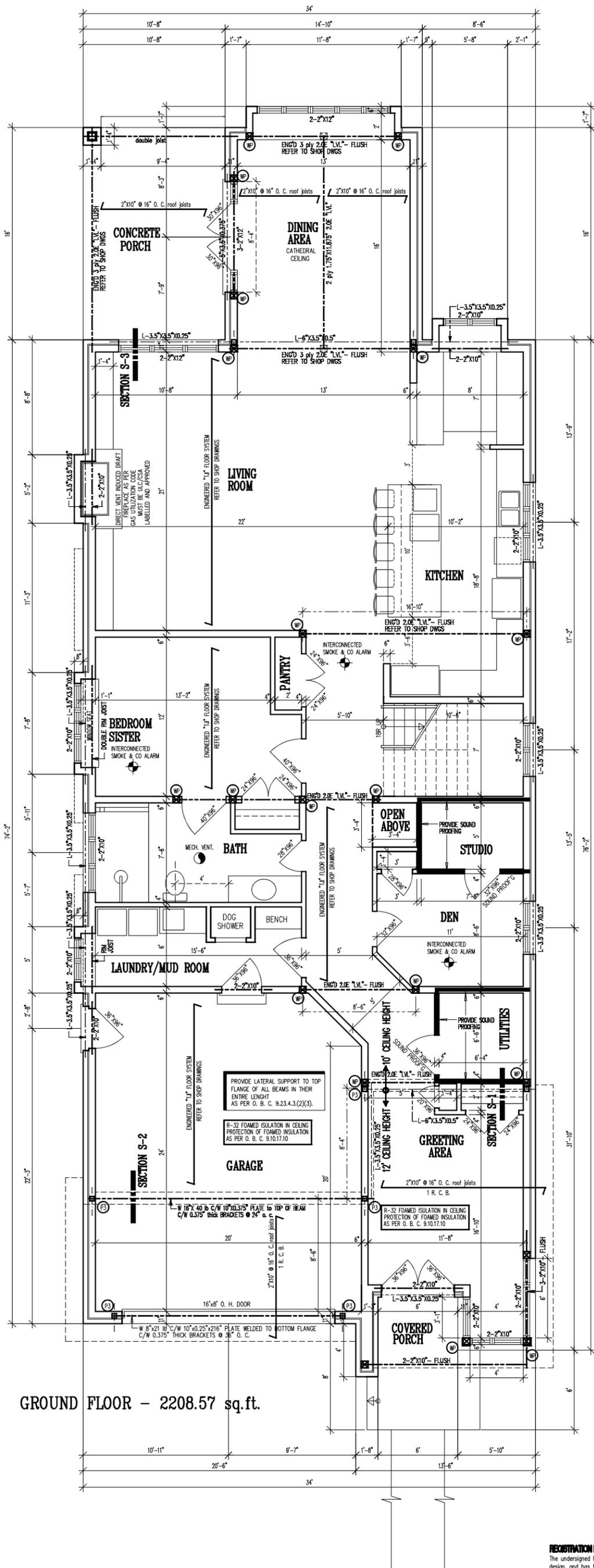
PROPOSED LOCATION OF S/S, 150mm PVC SDR28 @ 2.0% MIN. SLOPE (PRIVATE SIDE) PROVIDE INSULATION AS PER DETAIL

NOTE:
SIDEWALK WIDTH AT THE COMMON SWALE BETWEEN THE ADJOINING PROPERTIES SHALL BE AT LEAST 1.50m.

I HEREBY ACKNOWLEDGE THAT I HAVE REVIEWED THE PROPOSED GRADING WORK AND HAVE IN AGREEMENT WITH GRADING WORKS TO RE-GRADE MY PROPERTY AS SHOWN ON THE GRADING PLAN.

DATE: _____
OWNER: _____
of 358 BEACH BOULEVARD





GROUND FLOOR - 2208.57 sq.ft.

ASHENHURST NOUNENS & ASSOCIATES INC.
 PROFESSIONAL ENGINEERS & ONTARIO LAND SURVEYORS
 225 KING WILLIAM STREET
 HAMILTON, ONTARIO L8R 1B1
 (905) 529-6316
 (905) 529-4314
 FAX (905) 529-6651
 EMAIL: an@ashenhurstnouns.com

GENERAL NOTES:

1. ALL CONSTRUCTION SHALL CONFORM TO THE O.B.C. AND LOCAL AUTHORITY HAVING JURISDICTION.
2. DO NOT SCALE DRAWINGS. CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO COMMENCING CONSTRUCTION.
3. ALL WOOD MEMBERS TO BE CONSTRUCTION SPRUCE No.2, UNLESS NOTED OTHERWISE.
4. INSTALL DOUBLE JOISTS UNDER ALL PARALLEL PARTITIONS.
5. ALL CONSTRUCTION BETWEEN GARAGE AND DWELLING UNIT SHALL PROVIDE AN EFFECTIVE BARRIER FROM GAS AND EXHAUST. DOOR TO HAVE WEATHER STRIP'G AND SELF CLOSER.
6. HEAT TRANSFER, AIR LEAKAGE & CONDENSATION CONTROL TO CONFORM TO SECTION 9.25. OF THE O.B.C.
7. MECHANICAL VENTILATION TO CONFORM TO SECTION 9.32.3 OF THE O.B.C.
8. RESISTANCE TO FORCED ENTRY TO CONFORM TO SECTION 9.6.8. OF THE O.B.C.
9. FIREPLACE TO CONFORM TO SEC. 9.22 OF THE O.B.C. CHIMNEY TO CONFORM TO SEC. 9.21 OF THE O.B.C.
10. ANY DEVIATION FROM APPROVED PLAN MUST BE APPROVED BY LOCAL BUILDING DEPARTMENT.
11. SIZES OF ALL BEAMS AND LINTELS MUST BE CONFIRMED UPON FINAL TRUSS LAY OUT.
12. STEEL : G40.21-M 300W, #=0.90
 STEEL BEAM WITH WELDED PLATE $f=6 \times 1/2"$ & $3/8"$ THICK BRACKETS @ 24" O.C. TO SUPPORT BRICK. ALL BRICK VENEER ANGEL IRON LINTELS TO BE ANCHORED AT 24" O.C. TO PREVENT TWISTING.
13. THERMAL DESIGN & INSULATION AS PER SB-12, TABLE 3.1.1.2A(P)-A1.
14. STAIRS, RAMPS, HANDRAILS & GUARDS AS PER SECTION 9.8. OF THE O. B. C.
 ATTACHMENT OF HANDRAILS AS PER SUPPLEMENTARY STANDARDS TO THE O. B. C. SB-7
15. ALL WORKS SHALL BE PERFORMED BY QUALIFIED AND LICENCED CONTRACTORS
16. ALL CONCRETE MATERIALS AND WORKMANSHIP TO SCA A23.1, 2 & 3.
17. THERMAL RESISTANCE OF WINDOWS AS PER SB-12. THERMAL RESISTANCE OF DOORS AS PER SB-12, TABLE 3.1.1.2A(P) - A1

TO PERFORM ACTUAL CONSTRUCTION THE BUILDER SHALL USE SET OF DRAWINGS SEALED - THEREFORE APPROVED - BY THE LOCAL BUILDING DEPARTMENT

- (M) 3-2"x6" WOOD POST ONTO 6 MIL POLY DAMP-PROOFING INTO "SIMPSON STRONG TIE" SADDLE.
- (P) HSS-4"x4"x0.235" C/W 6"x4"x0.375" TOP PLATE & 8"x4"x0.375" BOTTOM PLATE ANCHORED INTO FOUNDATION WALL WITH 2 0.5"dia "HILT" BOLTS

PROPOSED RESIDENCE
352 BEACH BOULEVARD
HAMILTON, Ontario

FLOOR PLAN

DATE:	MAY 14, 2020
SCALE:	1/8"=1'-0"
DWG BY:	M.T.
FILE:	19138



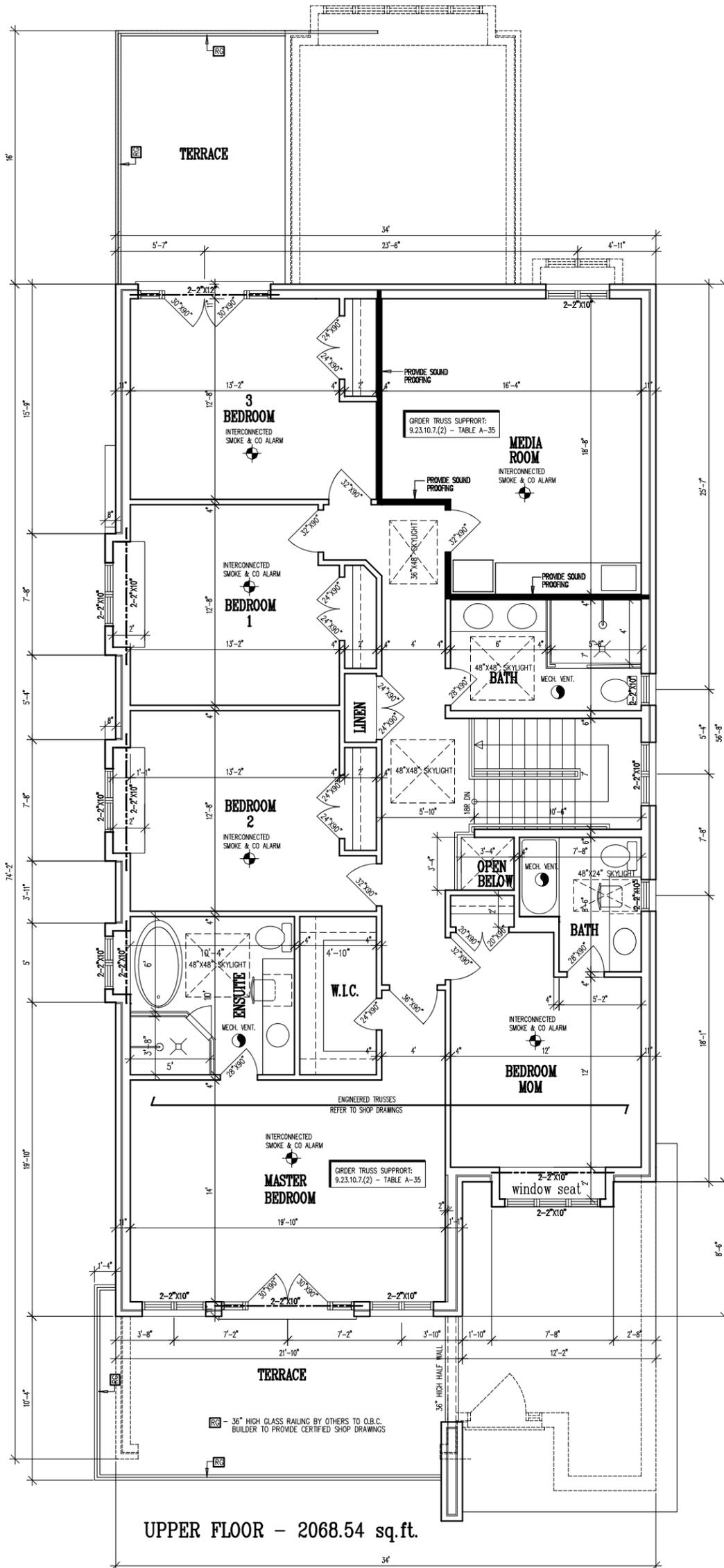
REGISTRATION INFORMATION

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.
MLOS TRKULJA
 ASHENHURST NOUNENS + ASSOCIATES INC.

SON: 24457
 SON: 30026

Signature:

NOT ISSUED FOR CONSTRUCTION UNTIL SIGNED AND DATED



UPPER FLOOR - 2068.54 sq.ft.

ASHENHURST NOUMENS & ASSOCIATES INC.
 PROFESSIONAL ENGINEERS & ONTARIO LAND SURVEYORS
 225 KING WILLIAM STREET
 HAMILTON, ONTARIO L8R 1B1
 (905) 529-6316
 (905) 529-4314
 FAX (905) 529-6651
 EMAIL: an@ashenurstnoumens.com

GENERAL NOTES:

1. ALL CONSTRUCTION SHALL CONFORM TO THE O.B.C. AND LOCAL AUTHORITY HAVING JURISDICTION.
2. DO NOT SCALE DRAWINGS. CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO COMMENCING CONSTRUCTION.
3. ALL WOOD MEMBERS TO BE CONSTRUCTION SPRUCE No.2, UNLESS NOTED OTHERWISE.
4. INSTALL DOUBLE JOISTS UNDER ALL PARALLEL PARTITIONS.
5. ALL CONSTRUCTION BETWEEN GARAGE AND DWELING UNIT SHALL PROVIDE AN EFFECTIVE BARRIER FROM GAS AND EXHAUST. DOOR TO HAVE WEATHER STRIP'G AND SELF CLOSER.
6. HEAT TRANSFER, AIR LEAKAGE & CONDENSATION CONTROL TO CONFORM TO SECTION 9.25. OF THE O.B.C.
7. MECHANICAL VENTILATION TO CONFORM TO SECTION 9.32.3 OF THE O.B.C.
8. RESISTANCE TO FORCED ENTRY TO CONFORM TO SECTION 9.6.8. OF THE O.B.C.
9. FIREPLACE TO CONFORM TO SEC. 9.22 OF THE O.B.C. CHIMNEY TO CONFORM TO SEC. 9.21 OF THE O.B.C.
10. ANY DEVIATION FROM APPROVED PLAN MUST BE APPROVED BY LOCAL BUILDING DEPARTMENT.
11. SIZES OF ALL BEAMS AND LINTELS MUST BE CONFIRMED UPON FINAL TRUSS LAY OUT.
12. STEEL : G40.21-M 300W; $\phi=0.90$
 STEEL BEAM WITH WELDED PLATE $f=6 \times 1/2"$
 & 3/8" THICK BRACKETS @ 24" O.C. TO SUPPORT BRICK.
 ALL BRICK VENEER ANGEL IRON LINTELS TO BE ANCHORED AT 24" O.C. TO PREVENT TWISTING.
13. THERMAL DESIGN & INSULATION AS PER SB-12, TABLE 3.1.1.2A(P)-A1.
14. STAIRS, RAMPS, HANDRAILS & GUARDS AS PER SECTION 9.8. OF THE O. B. C.
 ATTACHMENT OF HANDRAILS AS PER SUPPLEMENTARY STANDARDS TO THE O. B. C. SB-7
15. ALL WORKS SHALL BE PERFORMED BY QUALIFIED AND LICENCED CONTRACTORS
16. ALL CONCRETE MATERIALS AND WORKMANSHIP TO SCA A23.1, 2 & 3.
17. THERMAL RESISTANCE OF WINDOWS AS PER SB-12, THERMAL RESISTANCE OF DOORS AS PER SB-12, TABLE 3.1.1.2A(P) - A1

TO PERFORM ACTUAL CONSTRUCTION THE BUILDER SHALL USE SET OF DRAWINGS SEALED - THEREFORE APPROVED - BY THE LOCAL BUILDING DEPARTMENT

PROPOSED RESIDENCE
352 BEACH BOULEVARD
HAMILTON, Ontario

FLOOR PLAN

DATE:	MAY 14, 2020
SCALE:	1/8"=1'-0"
DWG BY:	M.T.
FILE:	19138

DWG No.	
3	OF 8

REGISTRATION INFORMATION

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.
MILOS TRKULJA
 ASHENHURST NOUMENS + ASSOCIATES INC.

RON: 24457
 BON: 30026

Signature:



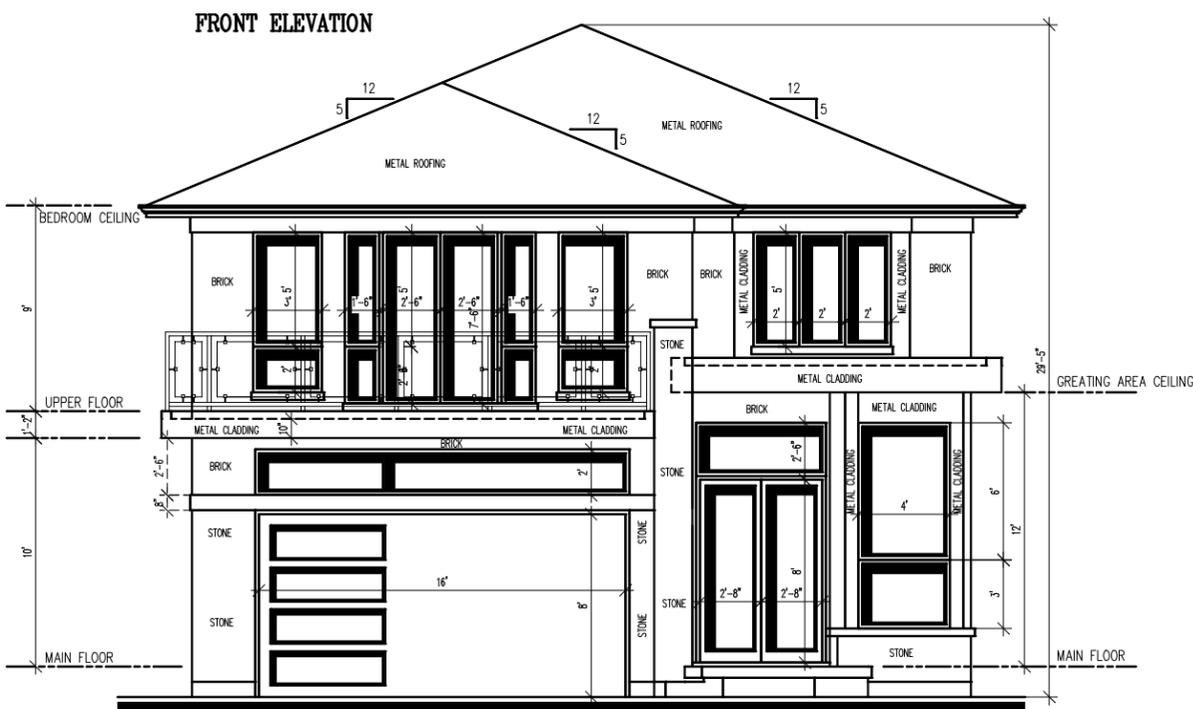
NOT ISSUED FOR CONSTRUCTION UNTIL SIGNED AND DATED

ASHENHURST NOUMENS & ASSOCIATES INC.
 PROFESSIONAL ENGINEERS & ONTARIO LAND SURVEYORS
 225 KING WILLIAM STREET
 HAMILTON, ONTARIO L8R 1B1
 (905) 529-6316
 (905) 529-4314
 FAX(905) 529-6651
 EMAIL: an@ashenhurstnoumens.com
 SINCE 1956

GENERAL NOTES:

1. ALL CONSTRUCTION SHALL CONFORM TO THE O.B.C. AND LOCAL AUTHORITY HAVING JURISDICTION.
2. DO NOT SCALE DRAWINGS. CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO COMMENCING CONSTRUCTION.
3. ALL WOOD MEMBERS TO BE CONSTRUCTION SPRUCE No.2, UNLESS NOTED OTHERWISE.
4. INSTALL DOUBLE JOISTS UNDER ALL PARALLEL PARTITIONS.
5. ALL CONSTRUCTION BETWEEN GARAGE AND DWELLING UNIT SHALL PROVIDE AN EFFECTIVE BARRIER FROM GAS AND EXHAUST. DOOR TO HAVE WEATHER STRIP'G AND SELF CLOSER.
6. HEAT TRANSFER, AIR LEAKAGE & CONDENSATION CONTROL TO CONFORM TO SECTION 9.25. OF THE O.B.C.
7. MECHANICAL VENTILATION TO CONFORM TO SECTION 9.32.3 OF THE O.B.C.
8. RESISTANCE TO FORCED ENTRY TO CONFORM TO SECTION 9.6.8. OF THE O.B.C.
9. FIREPLACE TO CONFORM TO SEC. 9.22 OF THE O.B.C. CHIMNEY TO CONFORM TO SEC. 9.21 OF THE O.B.C.
10. ANY DEVIATION FROM APPROVED PLAN MUST BE APPROVED BY LOCAL BUILDING DEPARTMENT.
11. SIZES OF ALL BEAMS AND LINTELS MUST BE CONFIRMED UPON FINAL TRUSS LAY OUT.
12. STEEL : G40.21-M 300W; #=0.90
 STEEL BEAM WITH WELDED PLATE $f=6 \times 1/2"$ & $3/8"$ THICK BRACKETS @ 24" O.C. TO SUPPORT BRICK. ALL BRICK VENEER ANGEL IRON LINTELS TO BE ANCHORED AT 24" O.C. TO PREVENT TWISTING.
13. THERMAL DESIGN & INSULATION AS PER SB-12, TABLE 3.1.1.2A(P)-A1.
14. STAIRS, RAMPS, HANDRAILS & GUARDS AS PER SECTION 9.8. OF THE O. B. C.
 ATTACHMENT OF HANDRAILS AS PER SUPPLEMENTARY STANDARDS TO THE O. B. C. SB-7
15. ALL WORKS SHALL BE PERFORMED BY QUALIFIED AND LICENCED CONTRACTORS
16. ALL CONCRETE MATERIALS AND WORKMANSHIP TO SCA A23.1, 2 & 3.
17. THERMAL RESISTANCE OF WINDOWS AS PER SB-12. THERMAL RESISTANCE OF DOORS AS PER SB-12, TABLE 3.1.1.2A(P) - A1

TO PERFORM ACTUAL CONSTRUCTION THE BUILDER SHALL USE SET OF DRAWINGS SEALED - THEREFORE APPROVED - BY THE LOCAL BUILDING DEPARTMENT



PROPOSED RESIDENCE
352 BEACH BOULEVARD
HAMILTON, Ontario

ELEVATION

DATE:	MAY 14, 2020
SCALE:	1/4"=1'-0"
DWG BY:	M.T.
FILE:	19138



DWG No.

5 OF 8

REGISTRATION INFORMATION

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

MLOS TRKULJA
 ASHENHURST NOUMENS + ASSOCIATES INC.

BCN: 24457
 BCN: 30026

Signature:

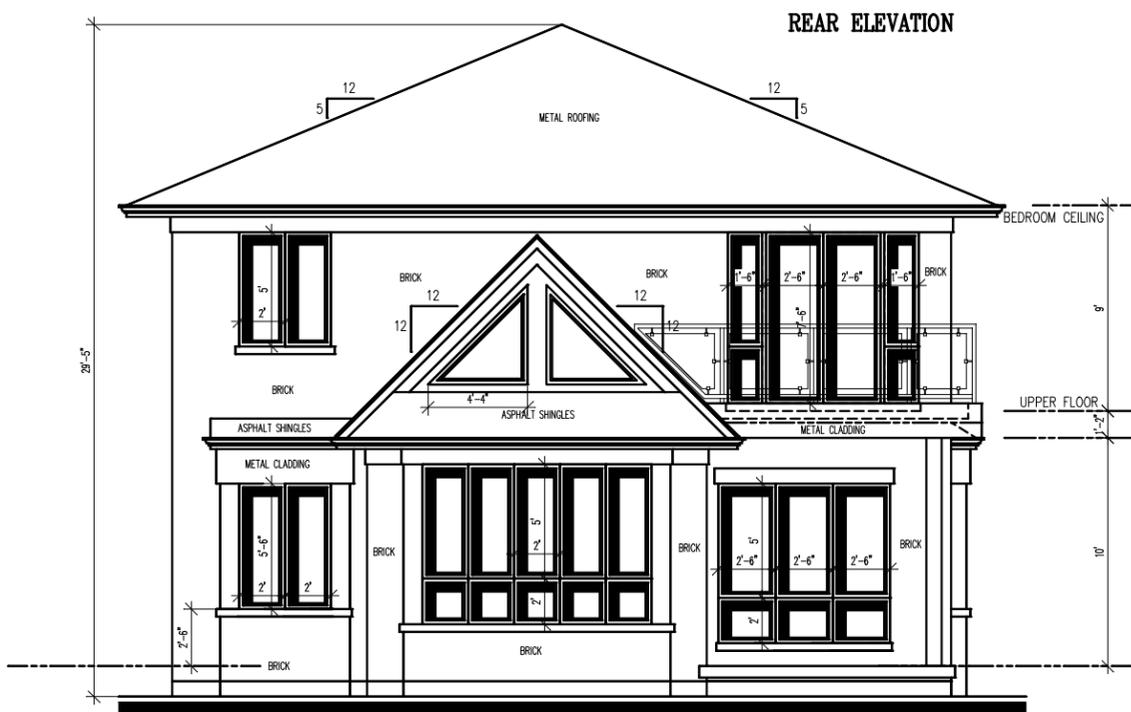
NOT ISSUED FOR CONSTRUCTION
 UNTIL SIGNED AND DATED



GENERAL NOTES:

1. ALL CONSTRUCTION SHALL CONFORM TO THE O.B.C. AND LOCAL AUTHORITY HAVING JURISDICTION.
2. DO NOT SCALE DRAWINGS. CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO COMMENCING CONSTRUCTION.
3. ALL WOOD MEMBERS TO BE CONSTRUCTION SPRUCE No.2, UNLESS NOTED OTHERWISE.
4. INSTALL DOUBLE JOISTS UNDER ALL PARALLEL PARTITIONS.
5. ALL CONSTRUCTION BETWEEN GARAGE AND DWELLING UNIT SHALL PROVIDE AN EFFECTIVE BARRIER FROM GAS AND EXHAUST. DOOR TO HAVE WEATHER STRIP'G AND SELF CLOSER.
6. HEAT TRANSFER, AIR LEAKAGE & CONDENSATION CONTROL TO CONFORM TO SECTION 9.25. OF THE O.B.C.
7. MECHANICAL VENTILATION TO CONFORM TO SECTION 9.32.3 OF THE O.B.C.
8. RESISTANCE TO FORCED ENTRY TO CONFORM TO SECTION 9.6.8. OF THE O.B.C.
9. FIREPLACE TO CONFORM TO SEC. 9.22 OF THE O.B.C. CHIMNEY TO CONFORM TO SEC. 9.21 OF THE O.B.C.
10. ANY DEVIATION FROM APPROVED PLAN MUST BE APPROVED BY LOCAL BUILDING DEPARTMENT.
11. SIZES OF ALL BEAMS AND LINTELS MUST BE CONFIRMED UPON FINAL TRUSS LAY OUT.
12. STEEL : G40.21-M 300W; #=0.90
STEEL BEAM WITH WELDED PLATE $f=6 \times 1/2"$ & $3/8"$ THICK BRACKETS @ 24" O.C. TO SUPPORT BRICK. ALL BRICK VENEER ANGEL IRON LINTELS TO BE ANCHORED AT 24" O.C. TO PREVENT TWISTING.
13. THERMAL DESIGN & INSULATION AS PER SB-12, TABLE 3.1.1.2A(P)-A1.
14. STAIRS, RAMPS, HANDRAILS & GUARDS AS PER SECTION 9.8. OF THE O. B. C. ATTACHMENT OF HANDRAILS AS PER SUPPLEMENTARY STANDARDS TO THE O. B. C. SB-7
15. ALL WORKS SHALL BE PERFORMED BY QUALIFIED AND LICENCED CONTRACTORS
16. ALL CONCRETE MATERIALS AND WORKMANSHIP TO SCA A23.1, 2 & 3.
17. THERMAL RESISTANCE OF WINDOWS AS PER SB-12. THERMAL RESISTANCE OF DOORS AS PER SB-12, TABLE 3.1.1.2A(P) - A1

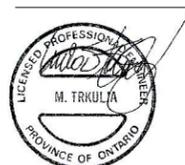
TO PERFORM ACTUAL CONSTRUCTION THE BUILDER SHALL USE SET OF DRAWINGS SEALED - THEREFORE APPROVED - BY THE LOCAL BUILDING DEPARTMENT



PROPOSED RESIDENCE
352 BEACH BOULEVARD
HAMILTON, Ontario

ELEVATION

DATE:	MAY 14, 2020
SCALE:	1/4"=1'-0"
DWG BY:	M.T.
FILE:	19138



DWG No.

6 OF 8

REGISTRATION INFORMATION

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

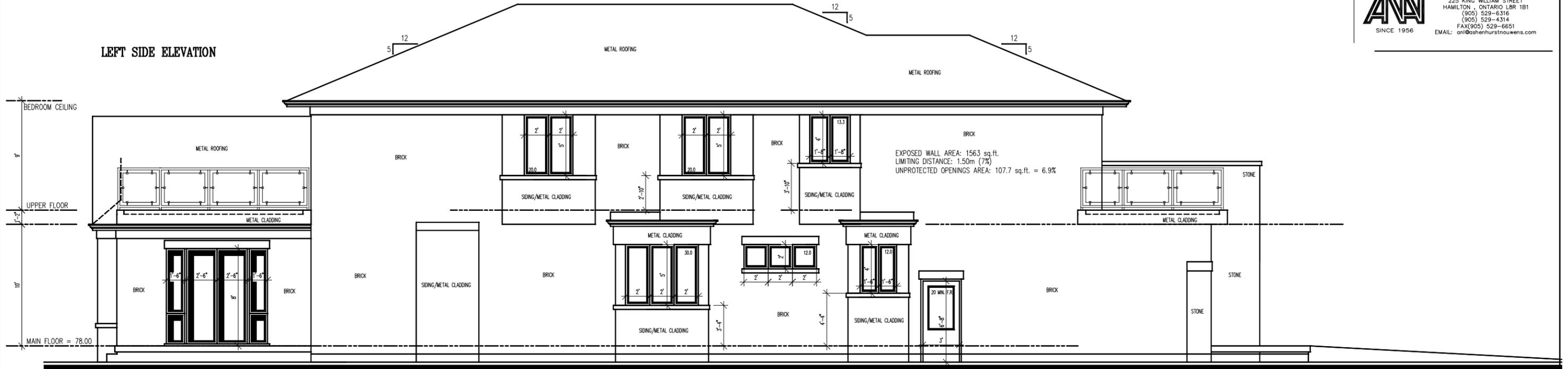
MLOS TRKULJA
ASHENHURST NOUMENS + ASSOCIATES INC.

BCN: **24457**
 BON: **30026**

Signature:

NOT ISSUED FOR CONSTRUCTION
 UNTIL SIGNED AND DATED

LEFT SIDE ELEVATION



GENERAL NOTES:

GENERAL NOTES:

1. ALL CONSTRUCTION SHALL CONFORM TO THE O.B.C. AND LOCAL AUTHORITY HAVING JURISDICTION.
2. DO NOT SCALE DRAWINGS. CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO COMMENCING CONSTRUCTION.
3. ALL WOOD MEMBERS TO BE CONSTRUCTION SPRUCE No.2, UNLESS NOTED OTHERWISE.
4. INSTALL DOUBLE JOISTS UNDER ALL PARALLEL PARTITIONS.
5. ALL CONSTRUCTION BETWEEN GARAGE AND DWELLING UNIT SHALL PROVIDE AN EFFECTIVE BARRIER FROM GAS AND EXHAUST. DOOR TO HAVE WEATHER STRIP'G AND SELF CLOSER.
6. HEAT TRANSFER, AIR LEAKAGE & CONDENSATION CONTROL TO CONFORM TO SECTION 9.25. OF THE O.B.C.
7. MECHANICAL VENTILATION TO CONFORM TO SECTION 9.32.3 OF THE O.B.C.
8. RESISTANCE TO FORCED ENTRY TO CONFORM TO SECTION 9.6.8. OF THE O.B.C.
9. FIREPLACE TO CONFORM TO SEC. 9.22 OF THE O.B.C. CHIMNEY TO CONFORM TO SEC. 9.21 OF THE O.B.C.
10. ANY DEVIATION FROM APPROVED PLAN MUST BE APPROVED BY LOCAL BUILDING DEPARTMENT.
11. SIZES OF ALL BEAMS AND LINTELS MUST BE CONFIRMED UPON FINAL TRUSS LAY OUT.
12. STEEL : G40.21-M 300W; #=0.90
 STEEL BEAM WITH WELDED PLATE #=6"x1/2" & 3/8" THICK BRACKETS @ 24" O.C. TO SUPPORT BRICK. ALL BRICK VENEER ANGEL IRON LINTELS TO BE ANCHORED AT 24" O.C. TO PREVENT TWISTING.
13. THERMAL DESIGN & INSULATION AS PER SB-12, TABLE 3.1.1.2A(P)-A1.
14. STAIRS, RAMPS, HANDRAILS & GUARDS AS PER SECTION 9.8. OF THE O. B. C.
 ATTACHMENT OF HANDRAILS AS PER SUPPLEMENTARY STANDARDS TO THE O. B. C. SB-7
15. ALL WORKS SHALL BE PERFORMED BY QUALIFIED AND LICENCED CONTRACTORS
16. ALL CONCRETE MATERIALS AND WORKMANSHIP TO SCA A23.1, 2 & 3.
17. THERMAL RESISTANCE OF WINDOWS AS PER SB-12, THERMAL RESISTANCE OF DOORS AS PER SB-12, TABLE 3.1.1.2A(P) - A1

REGISTRATION INFORMATION

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

MLOS TRKULJA
 ASHENHURST NOUWENS + ASSOCIATES INC. BOX: 24467
 BOK: 30026

Signature:



PROPOSED RESIDENCE
352 BEACH BOULEVARD
HAMILTON, Ontario

ELEVATION

DATE:	MAY 14, 2020
SCALE:	1/8"=1'-0"
DWG BY:	M.T.
	19138

DWG No.

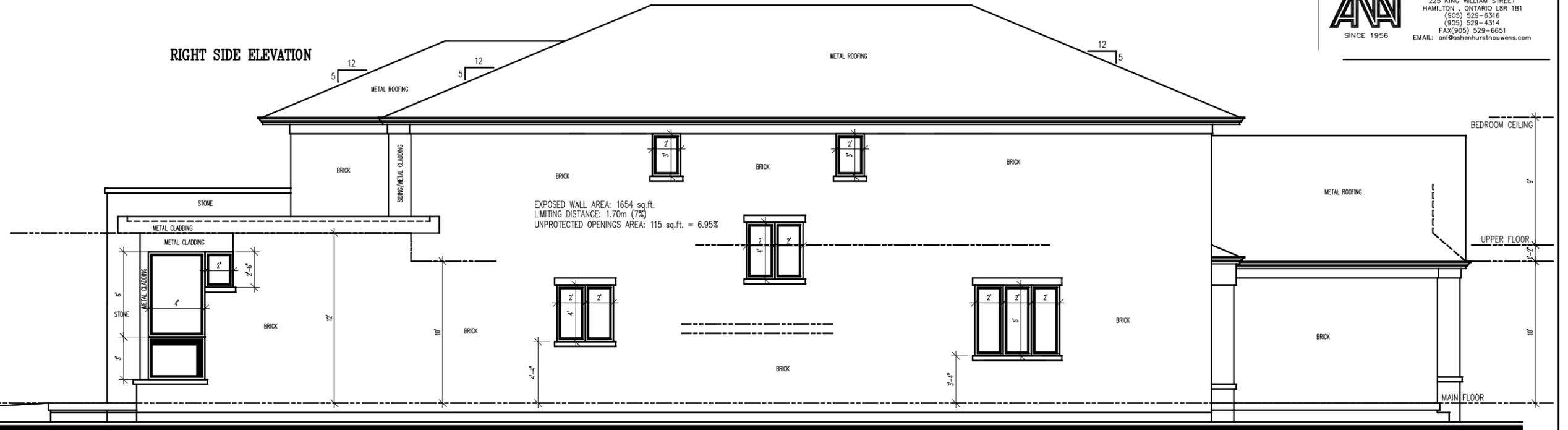
8 OF 8

TO PERFORM ACTUAL CONSTRUCTION THE BUILDER SHALL USE SET OF DRAWINGS SEALED - THEREFORE APPROVED - BY THE LOCAL BUILDING DEPARTMENT

NOT ISSUED FOR CONSTRUCTION UNTIL SIGNED AND DATED

ANN ASHENHURST NOUWENS & ASSOCIATES INC.
 PROFESSIONAL ENGINEERS & ONTARIO LAND SURVEYORS
 225 KING WILLIAM STREET
 HAMILTON, ONTARIO L8R 1B1
 (905) 529-6316
 (905) 529-4314
 FAX(905) 529-6651
 EMAIL: ann@ashenhurstnouwens.com
 SINCE 1956

RIGHT SIDE ELEVATION



GENERAL NOTES:

1. ALL CONSTRUCTION SHALL CONFORM TO THE O.B.C. AND LOCAL AUTHORITY HAVING JURISDICTION.
2. DO NOT SCALE DRAWINGS. CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO COMMENCING CONSTRUCTION.
3. ALL WOOD MEMBERS TO BE CONSTRUCTION SPRUCE No.2, UNLESS NOTED OTHERWISE.
4. INSTALL DOUBLE JOISTS UNDER ALL PARALLEL PARTITIONS.
5. ALL CONSTRUCTION BETWEEN GARAGE AND DWELLING UNIT SHALL PROVIDE AN EFFECTIVE BARRIER FROM GAS AND EXHAUST. DOOR TO HAVE WEATHER STRIP'G AND SELF CLOSER.
6. HEAT TRANSFER, AIR LEAKAGE & CONDENSATION CONTROL TO CONFORM TO SECTION 9.25. OF THE O.B.C.
7. MECHANICAL VENTILATION TO CONFORM TO SECTION 9.32.3 OF THE O.B.C.
8. RESISTANCE TO FORCED ENTRY TO CONFORM TO SECTION 9.6.8. OF THE O.B.C.
9. FIREPLACE TO CONFORM TO SEC. 9.22 OF THE O.B.C. CHIMNEY TO CONFORM TO SEC. 9.21 OF THE O.B.C.
10. ANY DEVIATION FROM APPROVED PLAN MUST BE APPROVED BY LOCAL BUILDING DEPARTMENT.
11. SIZES OF ALL BEAMS AND LINTELS MUST BE CONFIRMED UPON FINAL TRUSS LAY OUT.
12. STEEL : G40.21-M 300W; $\phi=0.90$
 STEEL BEAM WITH WELDED PLATE $\phi=6"x1/2"$ & 3/8" THICK BRACKETS @ 24" O.C. TO SUPPORT BRICK. ALL BRICK VENEER ANGEL IRON LINTELS TO BE ANCHORED AT 24" O.C. TO PREVENT TWISTING.
13. THERMAL DESIGN & INSULATION AS PER SB-12, TABLE 3.1.1.2A(P)-A1.
14. STAIRS, RAMPS, HANDRAILS & GUARDS AS PER SECTION 9.8. OF THE O. B. C.
 ATTACHMENT OF HANDRAILS AS PER SUPPLEMENTARY STANDARDS TO THE O. B. C. SB-7
15. ALL WORKS SHALL BE PERFORMED BY QUALIFIED AND LICENCED CONTRACTORS
16. ALL CONCRETE MATERIALS AND WORKMANSHIP TO SCA A23.1, 2 & 3.
17. THERMAL RESISTANCE OF WINDOWS AS PER SB-12, THERMAL RESISTANCE OF DOORS AS PER SB-12, TABLE 3.1.1.2A(P) - A1

TO PERFORM ACTUAL CONSTRUCTION THE BUILDER SHALL USE SET OF DRAWINGS SEALED - THEREFORE APPROVED - BY THE LOCAL BUILDING DEPARTMENT

PROPOSED RESIDENCE
 352 BEACH BOULEVARD
 HAMILTON, Ontario

ELEVATION

DATE:	MAY 14, 2020
SCALE:	1/8"=1'-0"
DWG BY:	M.T.
	19138



REGISTRATION INFORMATION

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

MLOS TRKULJA
 ASHENHURST NOUWENS + ASSOCIATES INC. BOX: 24467
 BOX: 30026

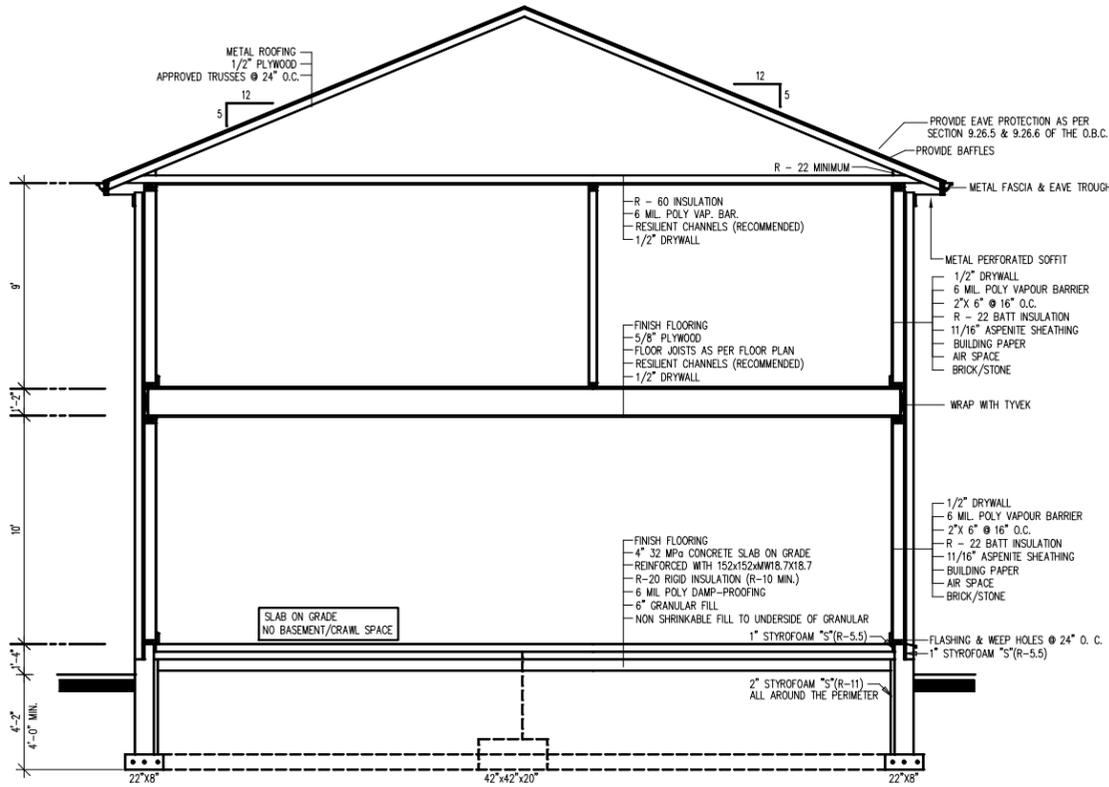
Signature:

NOT ISSUED FOR CONSTRUCTION
 UNTIL SIGNED AND DATED

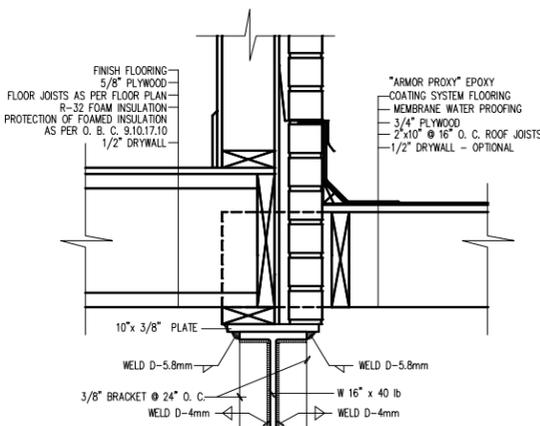
DWG No.

7 OF 8

TYPICAL SECTION THROUGH



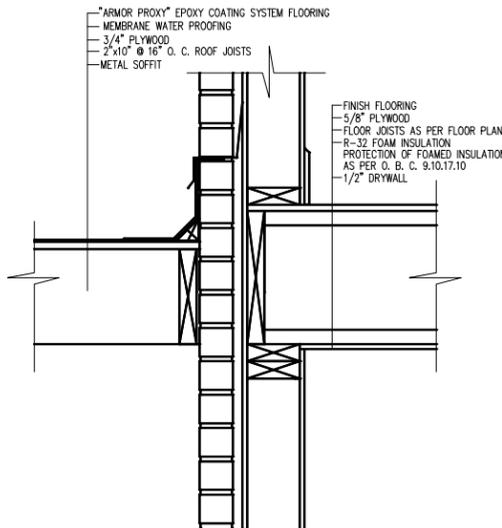
SECTION S-2
SCALE: NOT TO SCALE



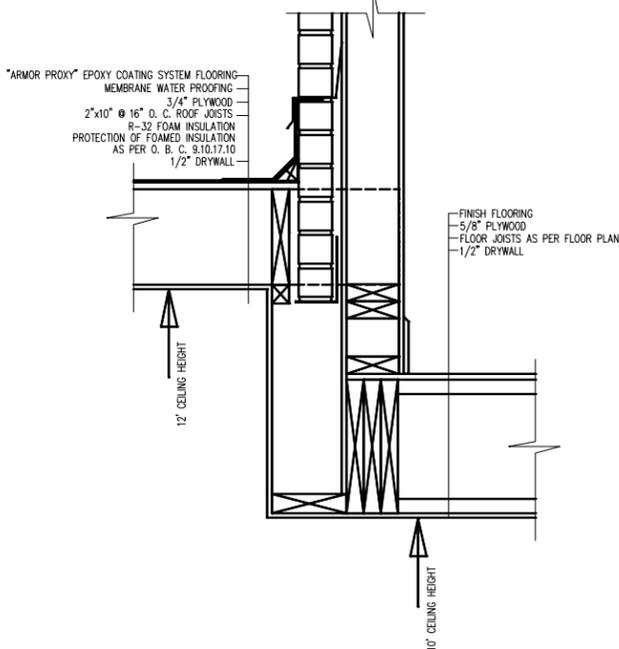
SPECIFICATIONS:

METHOD OF DESIGN: CAN/CSA - S16.1-94 LIMIT STATE DESIGN OF STEEL STRUCTURES
DEFLECTIONS AS PER O.B.C. 9.4.3.1
BEAM: STRUCTURAL STEEL AS PER CAN/CSA G40.21
ALL WELDS AS PER W48, W59 BY FABRICATORS QUALIFIED TO CSA/W47.1
WELDING ELECTRODES: E70XX
CONNECTION TO APPROVED POSTS BY OTHERS

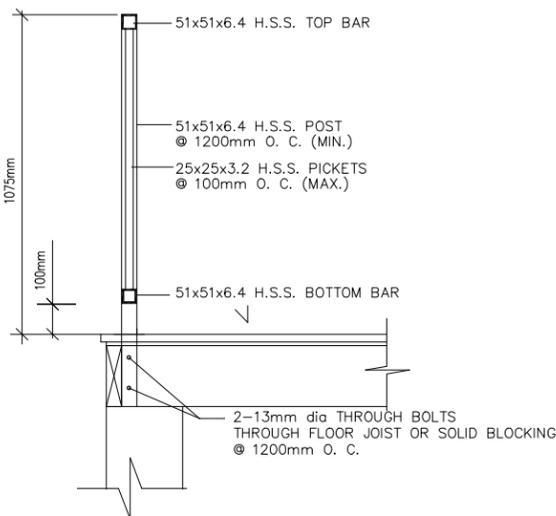
SECTION S-3
SCALE: NOT TO SCALE



SECTION S-1
SCALE: NOT TO SCALE



IRON RAILING DETAIL
INTO WOOD - NOT TO SCALE



ASHENHURST NOUNENS & ASSOCIATES INC.
PROFESSIONAL ENGINEERS & ONTARIO LAND SURVEYORS
225 KING WILLIAM STREET
HAMILTON, ONTARIO L8R 1B1
(905) 529-6316
(905) 529-4314
FAX (905) 529-6651
EMAIL: an@ashenhurstnouns.com
SINCE 1956

GENERAL NOTES:

- ALL CONSTRUCTION SHALL CONFORM TO THE O.B.C. AND LOCAL AUTHORITY HAVING JURISDICTION.
- DO NOT SCALE DRAWINGS. CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO COMMENCING CONSTRUCTION.
- ALL WOOD MEMBERS TO BE CONSTRUCTION SPRUCE No.2, UNLESS NOTED OTHERWISE.
- INSTALL DOUBLE JOISTS UNDER ALL PARALLEL PARTITIONS.
- ALL CONSTRUCTION BETWEEN GARAGE AND DWELLING UNIT SHALL PROVIDE AN EFFECTIVE BARRIER FROM GAS AND EXHAUST. DOOR TO HAVE WEATHER STRIP'G AND SELF CLOSER.
- HEAT TRANSFER, AIR LEAKAGE & CONDENSATION CONTROL TO CONFORM TO SECTION 9.25. OF THE O.B.C.
- MECHANICAL VENTILATION TO CONFORM TO SECTION 9.32.3 OF THE O.B.C.
- RESISTANCE TO FORCED ENTRY TO CONFORM TO SECTION 9.6.8. OF THE O.B.C.
- FIREPLACE TO CONFORM TO SEC. 9.22 OF THE O.B.C. CHIMNEY TO CONFORM TO SEC. 9.21 OF THE O.B.C.
- ANY DEVIATION FROM APPROVED PLAN MUST BE APPROVED BY LOCAL BUILDING DEPARTMENT.
- SIZES OF ALL BEAMS AND LINTELS MUST BE CONFIRMED UPON FINAL TRUSS LAY OUT.
- STEEL : G40.21-M 300W, #=0.90
STEEL BEAM WITH WELDED PLATE f=6"x1/2" & 3/8" THICK BRACKETS @ 24" O.C.TO SUPPORT BRICK. ALL BRICK VENEER ANGEL IRON LINTELS TO BE ANCHORED AT 24" O.C. TO PREVENT TWISTING.
- THERMAL DESIGN & INSULATION AS PER SB-12, TABLE 3.1.1.2A(P)-A1.
- STAIRS, RAMPS, HANDRAILS & GUARDS AS PER SECTION 9.8. OF THE O. B. C.
ATTACHMENT OF HANDRAILS AS PER SUPPLEMENTARY STANDARDS TO THE O. B. C. SB-7
- ALL WORKS SHALL BE PERFORMED BY QUALIFIED AND LICENCED CONTRACTORS
- ALL CONCRETE MATERIALS AND WORKMANSHIP TO SCA A23.1, 2 & 3.
- THERMAL RESISTANCE OF WINDOWS AS PER SB-12. THERMAL RESISTANCE OF DOORS AS PER SB-12, TABLE 3.1.1.2A(P) - A1

TO PERFORM ACTUAL CONSTRUCTION THE BUILDER SHALL USE SET OF DRAWINGS SEALED - THEREFORE APPROVED - BY THE LOCAL BUILDING DEPARTMENT

GARAGE FLOOR

- 4" CONC. SLAB
- REINFORCED WITH 152x152 MM#8.7MM#8.7
- 6" GRAN. FILL

WALL ASSEMBLY WITH SIDING

- 1/2" DRYWALL
- 6 MIL. POLY VAPOUR BARRIER
- 2"x 6" @ 16" O.C.
- R - 22 BATT INSULATION
- 1/2" PLYWOOD SHEATHING
- BUILDING PAPER
- SIDING/METAL CLADDING AS PER OWNER'S SELECTION

PROPOSED RESIDENCE
352 BEACH BOULEVARD
HAMILTON, Ontario

SECTION/DETAILS

DATE:	MAY 14, 2020
SCALE:	1/4"=1'-0"
DWG BY:	M.T.
FILE:	19138



REGISTRATION INFORMATION

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

MLOS TRKULJA
ASHENHURST NOUNENS + ASSOCIATES INC.

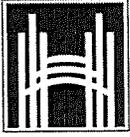
BCN: 24457
BON: 30026

Signature:

NOT ISSUED FOR CONSTRUCTION UNTIL SIGNED AND DATED

DWG No.

4 OF 8



Hamilton

COMMITTEE OF ADJUSTMENT

City Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5
 Telephone (905) 546-2424, ext. 4221, 3935 Fax (905) 546-4202
 E-mail: cofa@hamilton.ca

NOTICE OF PUBLIC HEARING
Minor Variance

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
 - Applicant/agent on file, or
 - Person likely to be interested in this application
-

APPLICATION NO.: HM/A-20:116

APPLICANTS: Owner: Alan and Laurie Hurman

SUBJECT PROPERTY: Municipal address **988 Concession St., Hamilton**

ZONING BY-LAW: Zoning By-law 6593, as Amended

ZONING: B (Suburban Agriculture and Residential) district

PROPOSAL: To permit the construction of an accessory building in the rear yard notwithstanding that the accessory building shall be permitted a height of 5.4 metres whereas the by-law requires no accessory building to exceed 4.0 metres.

NOTES:

Variances have been written exactly as requested by the applicant. A scaled and dimensioned site plan with grading details, elevation drawings, and details of the parking area has not been provided. Therefore, a full zoning review could not be conducted. The applicant shall ensure that the height of the accessory building has been measured from grade as defined in Section 2, and parking is in compliance with Section 18A. Otherwise additional variances may be required.

This application will be heard by the Committee as shown below:

DATE: Thursday, August 6th, 2020
TIME: 3:10 p.m.
PLACE: Via video link or call in (see attached sheet for details)
To be streamed at www.hamilton.ca/committeeofadjustment for viewing purposes only

PUBLIC INPUT

Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

Orally: If you would like to speak to this item at the hearing you may do so via video link or by calling in. Please see attached page for complete instructions, including deadlines for registering to participate.

HM/A-20:116
Page 2

MORE INFORMATION

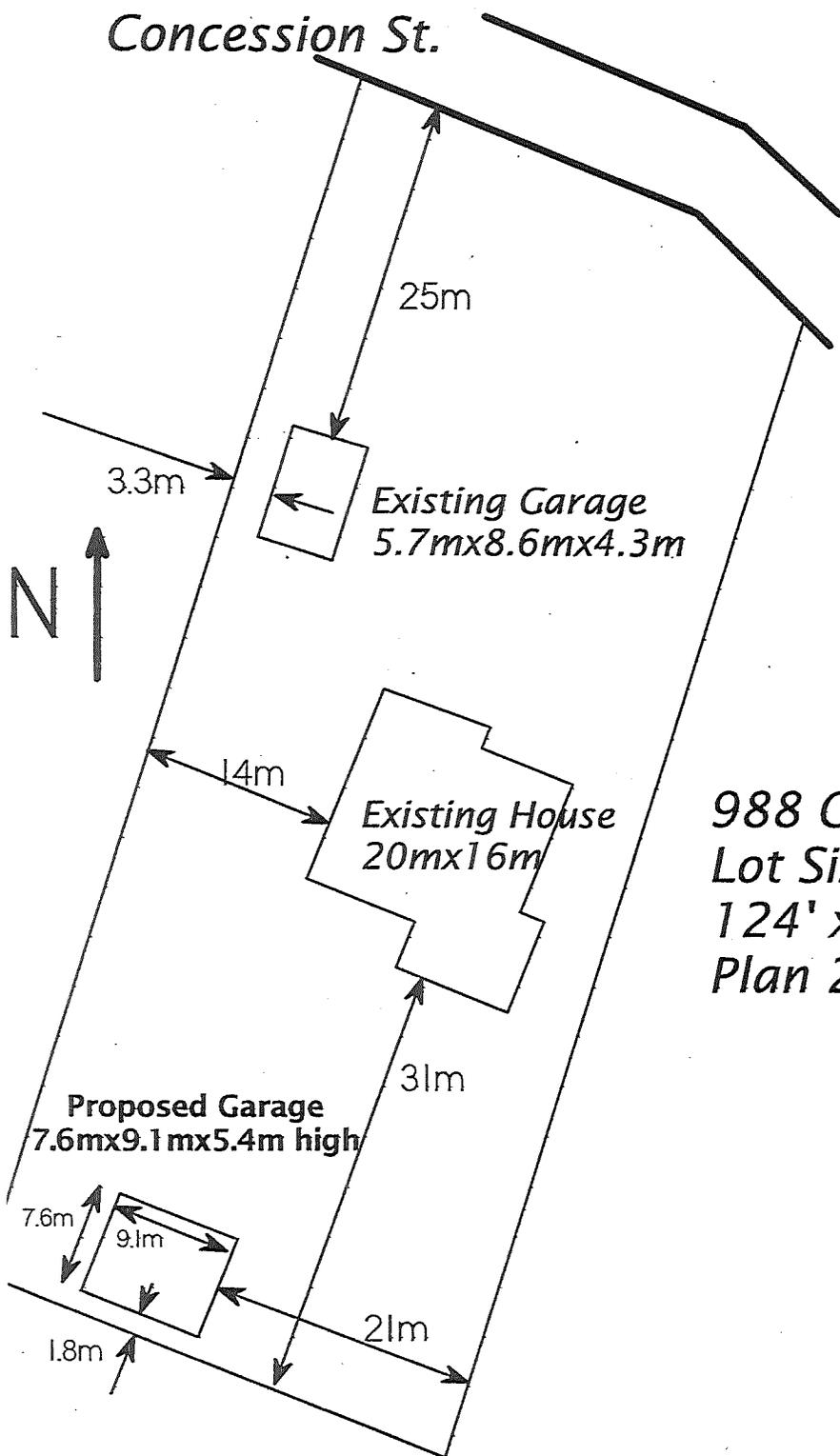
For more information on this matter, including access to drawings illustrating this request:

- Visit www.hamilton.ca/committeeofadjustment
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935
- Email Committee of Adjustment staff at cofa@hamilton.ca

Dated: July 21, 2020

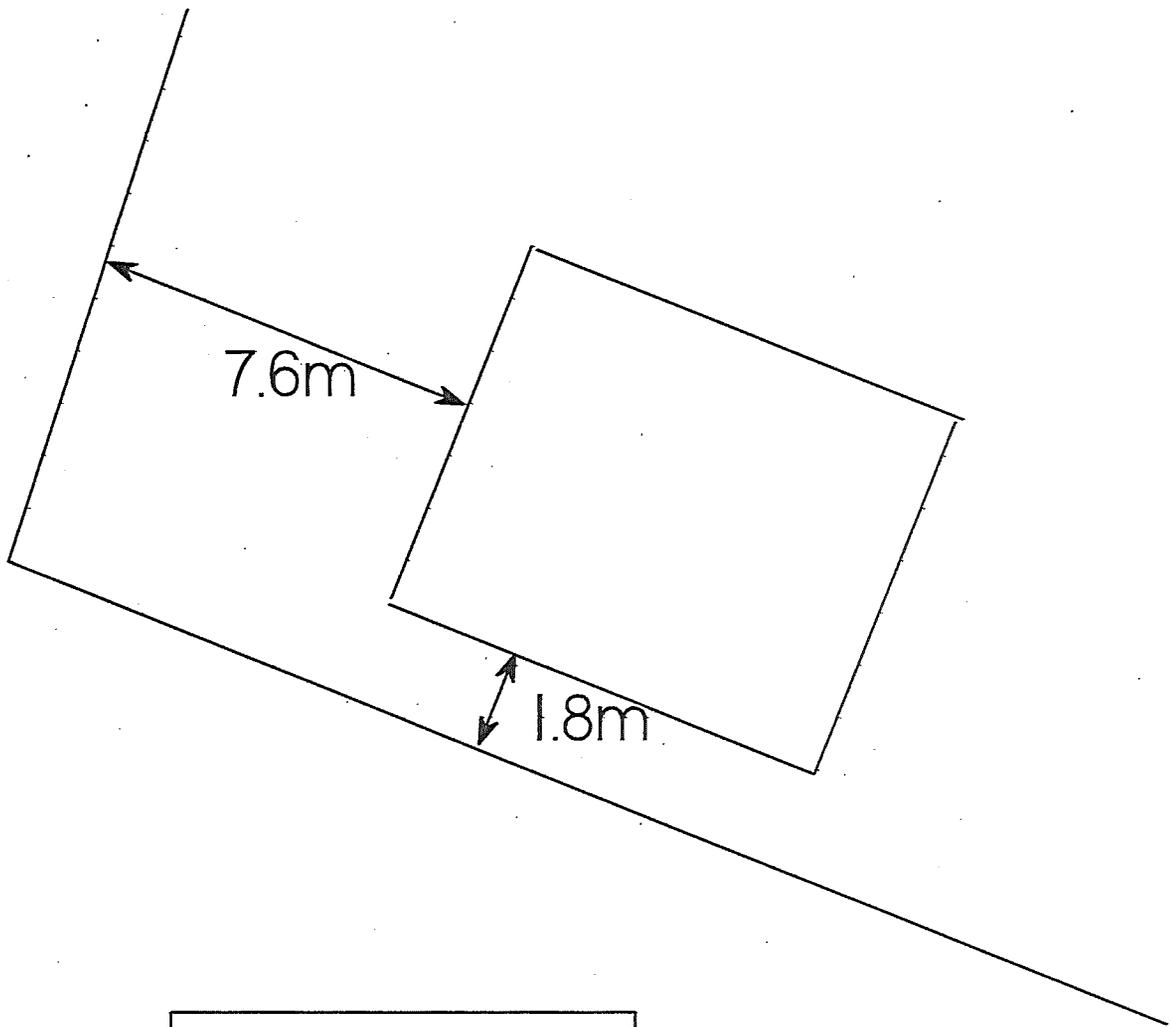
Jamila Sheffield,
Secretary-Treasurer
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public.

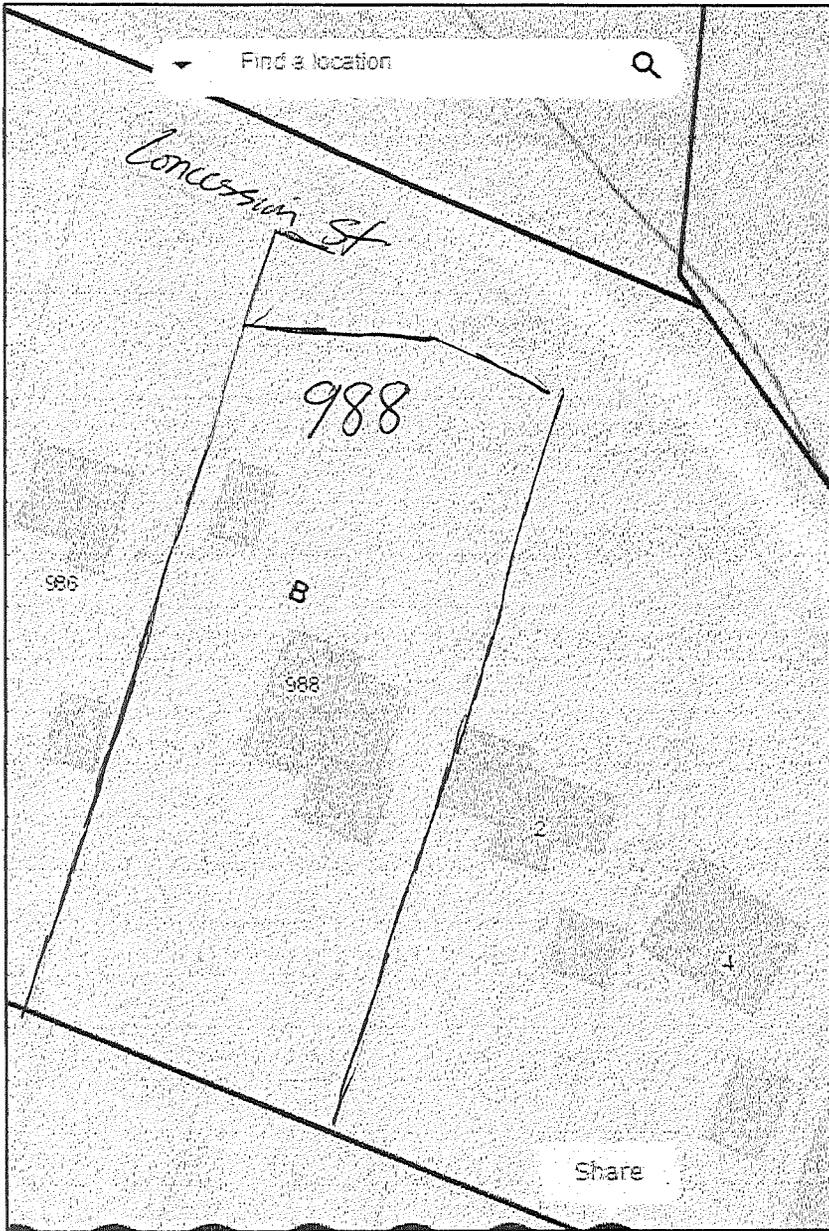


988 Concession St.
Lot Size 37.8m x 91.35m
124' x 300'
Plan 296 Pt Lots 1&2

Proposed Garage
988 Concession St
Garage Location
Scale 1:500



Proposed Garage
988 Concession St
Garage Location Detail
Scale 1:144



988 Concession St.

Lot Size 124' x 300'

***Source: City of Hamilton
Interactive Zoning map***

Proposed Garage
988 Concession St
Lot Buildings

20-171440



Hamilton

Committee of Adjustment
City Hall
5th floor 71 Main Street West
Hamilton, Ontario L8P 4Y5

Planning and Economic Development Department
Planning Division

Phone (905) 546-2424 ext.4221
Fax (905) 546-4202

**PLEASE FILL OUT THE FOLLOWING PAGES AND
RETURN TO THE CITY OF HAMILTON PLANNING
DEPARTMENT.**

FOR OFFICE USE ONLY.	
APPLICATION NO. <u>HM/A-20-116</u>	DATE APPLICATION RECEIVED <u>June 10/20</u>
PAID _____	DATE APPLICATION DEEMED COMPLETE _____
SECRETARY'S SIGNATURE _____	

**CITY OF HAMILTON
COMMITTEE OF ADJUSTMENT
HAMILTON, ONTARIO**

The Planning Act

Application for Minor Variance or for Permission

The undersigned hereby applies to the Committee of Adjustment for the City of Hamilton under Section 45 of the *Planning Act*, R.S.O. 1990, Chapter P.13 for relief, as described in this application, from the Zoning By-law.

1. Name of Owner Alan and Laurie Huerman Telephone No. 

2. 

3. Name of Agent _____ Telephone No. _____
 FAX NO. _____ E-mail address. _____

4. Address _____
 _____ Postal Code _____

Note: Unless otherwise requested all communications will be sent to the agent, if any.

5. Names and addresses of any mortgagees, holders of charges or other encumbrances:

None _____ Postal Code _____

_____ Postal Code _____

6. Nature and extent of relief applied for:

By law 6593 Section 18-4 iii) iv)
I wish to build the proposed garage
with a height of 5.4m (Wall height 2.7m, pitch
of roof 8/12). I also wish to locate it 1.8m from
lot line.

7. Why it is not possible to comply with the provisions of the By-law?

See attached.

8. Legal description of subject lands (registered plan number and lot number or other legal description and where applicable, street and street number):

988 Concession St.
Plan 296 Pt Lots 1 & 2. 1R1EC
0.83 AC 124.08FR 300.00D.

9. PREVIOUS USE OF PROPERTY

Residential Industrial Commercial
 Agricultural Vacant
 Other _____

9.1 If Industrial or Commercial, specify use

9.2 Has the grading of the subject land been changed by adding earth or other material, i.e. has filling occurred?

Yes No Unknown

9.3 Has a gas station been located on the subject land or adjacent lands at any time?

Yes No Unknown

9.4 Has there been petroleum or other fuel stored on the subject land or adjacent lands?

Yes No Unknown

9.5 Are there or have there ever been underground storage tanks or buried waste on the subject land or adjacent lands?

Yes No Unknown

9.6 Have the lands or adjacent lands ever been used as an agricultural operation where cyanide products may have been used as pesticides and/or sewage sludge was applied to the lands?

Yes No Unknown

9.7 Have the lands or adjacent lands ever been used as a weapon firing range?

Yes No Unknown

9.8 Is the nearest boundary line of the application within 500 metres (1,640 feet) of the fill area of an operational/non-operational landfill or dump?

Yes No Unknown

9.9 If there are existing or previously existing buildings, are there any building materials remaining on site which are potentially hazardous to public health (eg. asbestos, PCB's)?

Yes No Unknown

9.10 Is there any reason to believe the subject land may have been contaminated by former uses on the site or adjacent sites?

Yes No Unknown

9.11 What information did you use to determine the answers to 9.1 to 9.10 above?

House built in 1855. Was a fruit farm
fill ~1930. Residence only since 1945

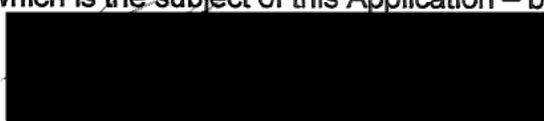
9.12 If previous use of property is industrial or commercial or if YES to any of 9.2 to 9.10, a previous use inventory showing all former uses of the subject land, or if appropriate, the land adjacent to the subject land, is needed.

Is the previous use inventory attached? Yes No

ACKNOWLEDGEMENT CLAUSE

I acknowledge that the City of Hamilton is not responsible for the identification and remediation of contamination on the property which is the subject of this Application – by reason of its approval to this Application.

3 June 20
 Date


 Signature Property Owner
Alan Haurman
 Print Name of Owner
Laurie Haurman

10. Dimensions of lands affected:

Frontage 124
 Depth 300'
 Area 0.83 AC.
 Width of street _____

11. Particulars of all buildings and structures on or proposed for the subject lands: (Specify ground floor area, gross floor area, number of stories, width, length, height, etc.)

Existing: House - 177m² ground floor, 353m² total, 1.5 Storey
Single Car Garage - 7 ~ 20m x 16m x 7.6m
5.7m x 8.6m x 4.3m
1 storey 49m²
 Proposed: Double Car Garage - Single Storey
7.6m x 9.1m x 5.4m high
69.2m²

12. Location of all buildings and structures on or proposed for the subject lands; (Specify distance from side, rear and front lot lines)

Existing: House. FRONT - 39m Rear (south) 31m
WEST - 14m EAST 49m.
Single Car Garage. FRONT - 25m REAR. - 56m
WEST - 3.3m EAST - 27m.
 Proposed: DOUBLE CAR GARAGE
FRONT - 80m REAR. 1.8m
WEST - 8.2m EAST - 21m.

13. Date of acquisition of subject lands:

 2000
14. Date of construction of all buildings and structures on subject lands:
 House 1855 Garage - 1945
15. Existing uses of the subject property:

 Agricultural 1855 - 1930
 Residential 1930 - present
16. Existing uses of abutting properties: Residential
17. Length of time the existing uses of the subject property have continued:

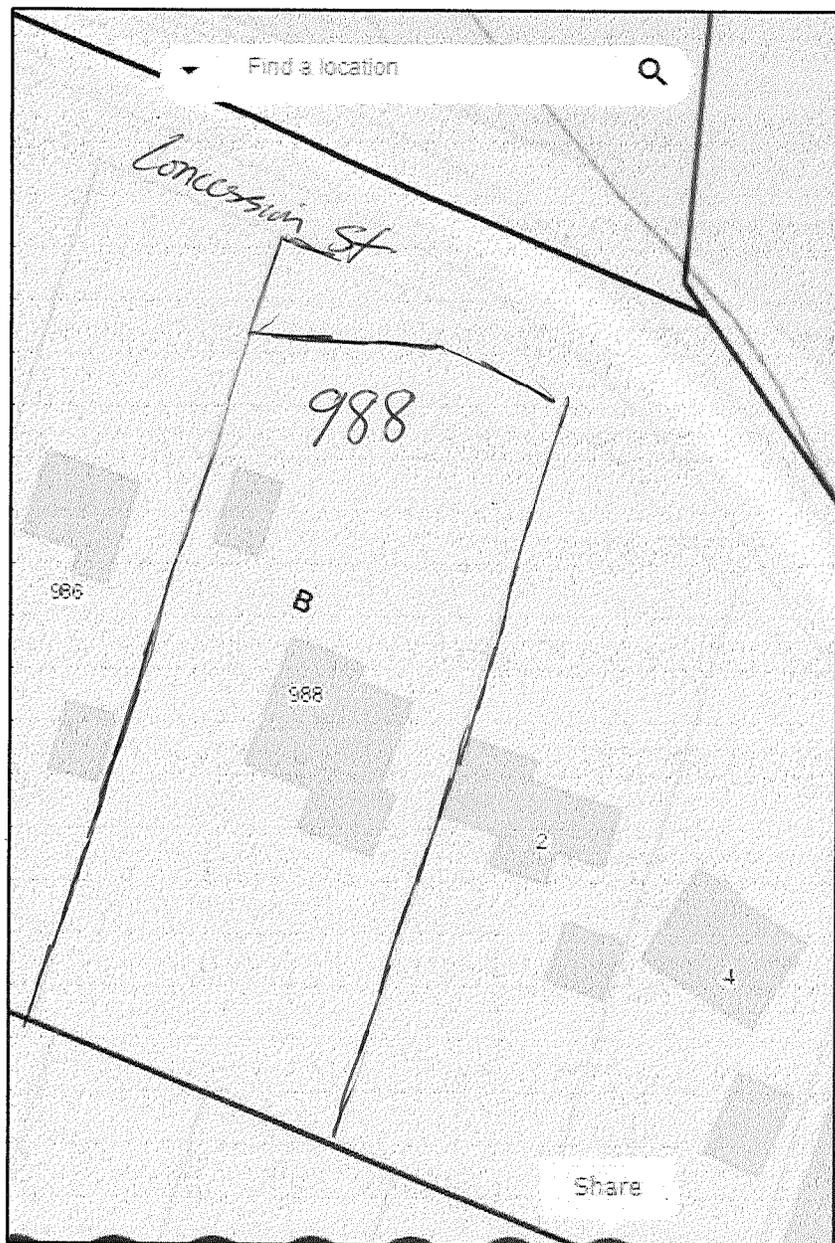
 90 years
18. Municipal services available: (check the appropriate space or spaces)
 Water _____ Connected _____ Yes
 Sanitary Sewer _____ Connected _____ Yes
 Storm Sewers _____
19. Present Official Plan/Secondary Plan provisions applying to the land:

 OP Designation Schedule E & E-1
20. Present Restricted Area By-law (Zoning By-law) provisions applying to the land:

 Zone B By-Law 6593
21. Has the owner previously applied for relief in respect of the subject property?
 Yes No
 If the answer is yes, describe briefly.

22. Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?
 Yes No
23. The applicant shall attach to each copy of this application a plan showing the dimensions of the subject lands and of all abutting lands and showing the location, size and type of all buildings and structures on the subject and abutting lands, and where required by the Committee of Adjustment such plan shall be signed by an Ontario Land Surveyor.

NOTE: It is required that two copies of this application be filed with the secretary-treasurer of the Committee of Adjustment together with the maps referred to in Section 5 and be accompanied by the appropriate fee in cash or by cheque made payable to the City of Hamilton.

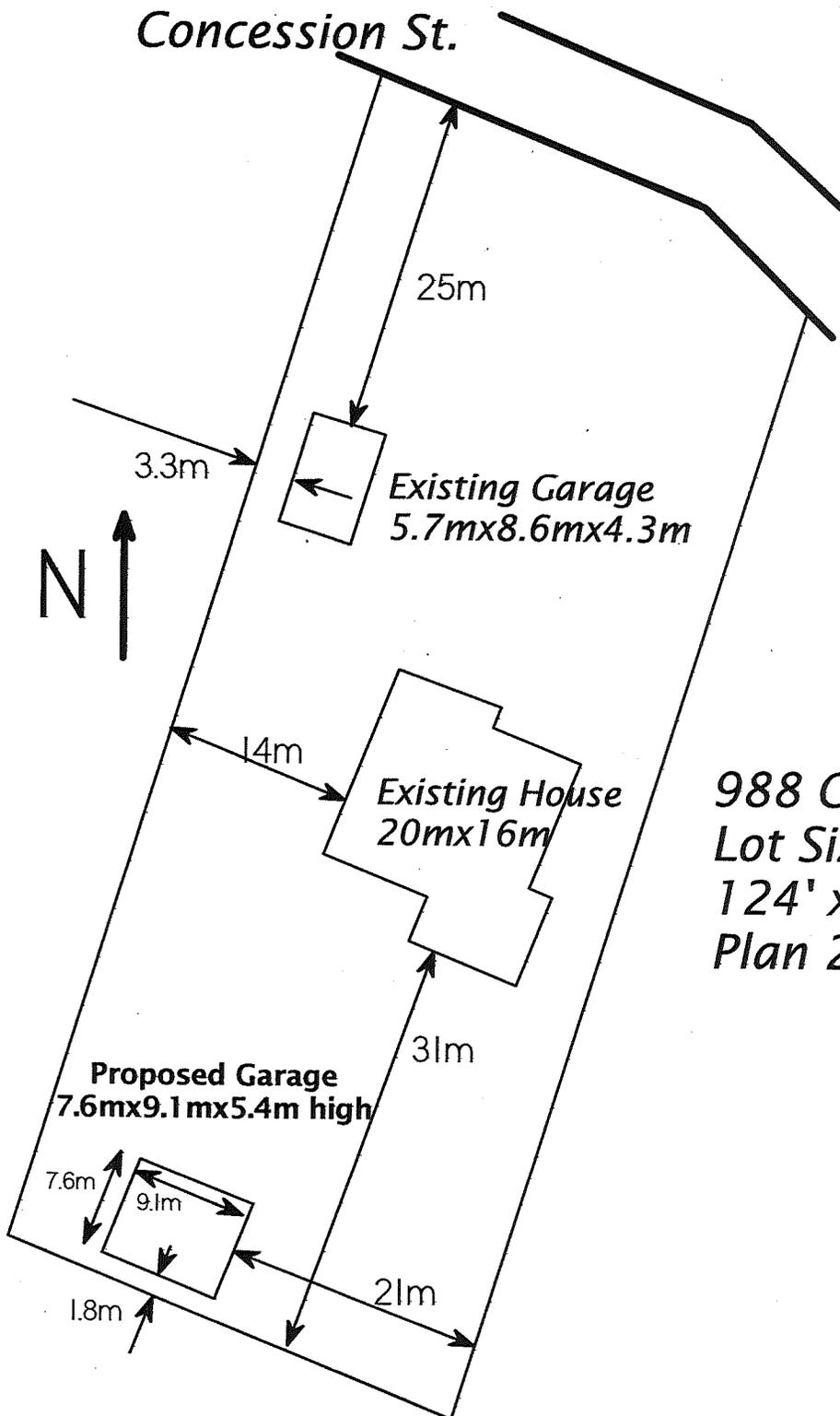


988 Concession St.

Lot Size 124' x 300'

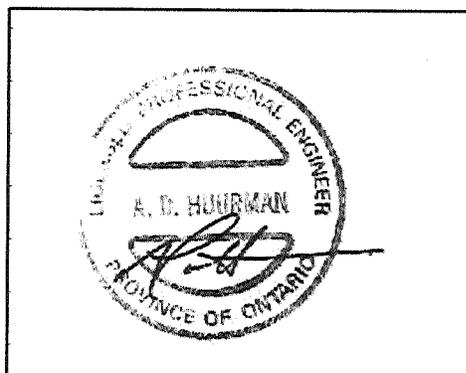
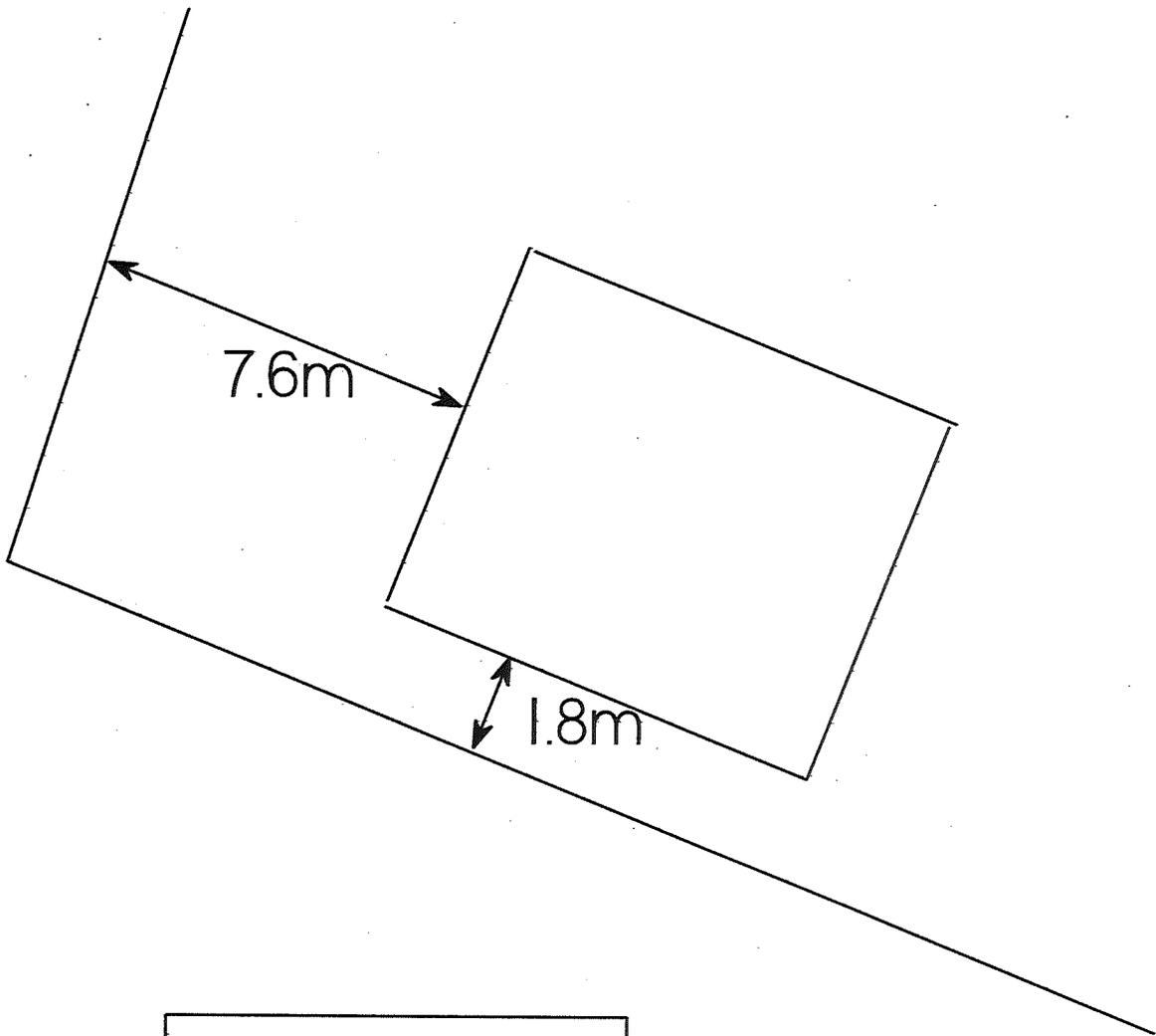
*Source: City of Hamilton
Interactive Zoning map*

Proposed Garage
988 Concession St
Lot Buildings



988 Concession St.
Lot Size 37.8m x 91.35m
124' x 300'
Plan 296 Pt Lots 1&2

Proposed Garage
988 Concession St
Garage Location
Scale 1:500



Proposed Garage
988 Concession St
Garage Location Detail
Scale 1:144

7. WHY IS IT NOT POSSIBLE TO COMPLY WITH THE PROVISIONS OF THE BY-LAW ?

Building Height 5.4m vs 4.0m limit of Bylaw . It **IS** possible to build the garage and limit the height to 4.0m with a lower wall height and 7/12 roof pitch. However, as this is a Heritage property it is important to us to have the proposed garage in keeping with the main house style as much as possible. This includes mimicing the architectural details of the house - building proportions, arched brackets supporting the eaves, and exterior colours. The house is a 1.5 storey but the main floor has 11' ceilings. The house peak is approximately 7.6 m(25') and the roof slope varies up to a 12/12 pitch. As such the proposed garage will have 9' wall height and an 8/12 pitch for an overall height of 5.4m, which is proportional to the house. Given the lot size, and the distance between the house and the proposed garage, which is to be located at the back of the property, the proportions will agree with the house but still be diminutive to the house as viewed from the street. Our opinion is that limiting the garage height to 4.0m will require a lower wall height and a 7/12 roof pitch, and actually not look as good - it will look "squat". With reference to the neighbours, the garage will not affect their views or property enjoyment, and in fact give more privacy to our neighbours Ed and Krista Valtenbergs - 57 Sunninghill , whose property and pool is immediately south of the proposed garage.

Distance to Lot Line - 1.8 m vs 3.0m requirement. While the height of the proposed garage is greater than 4.0m it is a single storey structure, so the building will not be "imposing" on the neighbouring property - 57 Sunninghill. If located 1.8m from the lot line, the distance to the existing pool at 57 Sunninghill is 3.5m and ~25m to the rear of the house at 57 Sunninghill. Given the layout of the existing driveway, parking area, gardens and sidewalk, locating the back of the garage 1.8 from the lot allows sufficient turning / manoeuvring room to drive straight and safely into the garage. Also because the driveway extends to the rear of the property, we need sufficient room for cars to turnaround. Locating the garage further forward would risk damage from cars not having sufficient room to manoeuvre. Also we are limited to the west for additional manoeuvring space due to an existing tree, and respecting the distance to the property line at 986 Concession.



Hamilton

Planning and Economic
Development Department

Memorandum

To: Al Huurman

From: Miranda Brunton, Cultural Heritage Planner
Development Planning, Heritage & Design

Phone: 905-546-2424 Ext. 1202 **Fax:** 905-546-4202

Date: March 2, 2020, 2020 **File:** N/A

Subject: Cultural Heritage Exemption Letter for
Proposed garage at 988 Concession Street, Hamilton

The property at 988 Concession Street, Hamilton, is designated Part IV under the *Ontario Heritage Act* with Municipal By-law 90-337. Although the property is designated, the proposed garage will not affect the property's heritage attributes, as set out in the description designation By-law 90-337.

Cultural Heritage Staff have reviewed the plans for proposed garage, which included a location map provided by Al Huurman and a description of the proposed garage. The proposed garage will be located near the rear of the lot, behind the heritage resource. In this location, the garage will not obstruct any of the view of the heritage resource from the road. Design wise, the proposed garage will be complementary but distinguishable and subordinate to the heritage resource. Additionally, the landscape is not included in the description of the heritage attributes, as defined in the By-law 90-337. As a result, there are no cultural heritage related concerns with this proposal.

This letter does not exempt the proposal from any other permits, reviews, or approvals.

If you have any questions, please contact Miranda Brunton at 905-546-2424 Ext. 1202 or via email at Miranda.brunton@hamilton.ca.

Regards,

Miranda Brunton
Cultural Heritage Planner

(MB 2020-03-02)



Hamilton

COMMITTEE OF ADJUSTMENT

City Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5
 Telephone (905) 546-2424, ext. 4221, 3935 Fax (905) 546-4202
 E-mail: cofa@hamilton.ca

NOTICE OF PUBLIC HEARING

Application for Consent/Land Severance

APPLICATION NUMBER: HM/B-20:35

SUBJECT PROPERTY: 386 East 25th St., Hamilton

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
- Applicant/agent on file, or
- Person likely to be interested in this application

APPLICANT(S): Owner: 2628934 Ontario Inc. c/o Igor Chouminov and Emil Joseph
 Agent: A.J. Clarke & Associates Ltd. c/o Stephen Fraser

PURPOSE OF APPLICATION: To permit the conveyance of a parcel of land to create a new residential building lot. The existing dwelling and accessory structures will be demolished to facilitate this application.

To be heard in conjunction with HM/A-20:126.

Severed lands: (B)
 9.85m[±] x 37.5m[±] and an area of 367m^{2±}

Retained lands: (A)
 9.59m[±] x 39.9m[±] and an area of 352m^{2±}

This application will be heard by the Committee as shown below:

DATE: Thursday, August 6th, 2020
TIME: 3:15 p.m.
PLACE: Via video link or call in (see attached sheet for details)
To be streamed at www.hamilton.ca/committeeofadjustment for viewing purposes only

PUBLIC INPUT

Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

Orally: If you would like to speak to this item at the hearing you may do so via video link or by calling in. Please see attached page for complete instructions, including deadlines for registering to participate.

HM/B-20:35
Page 2

MORE INFORMATION

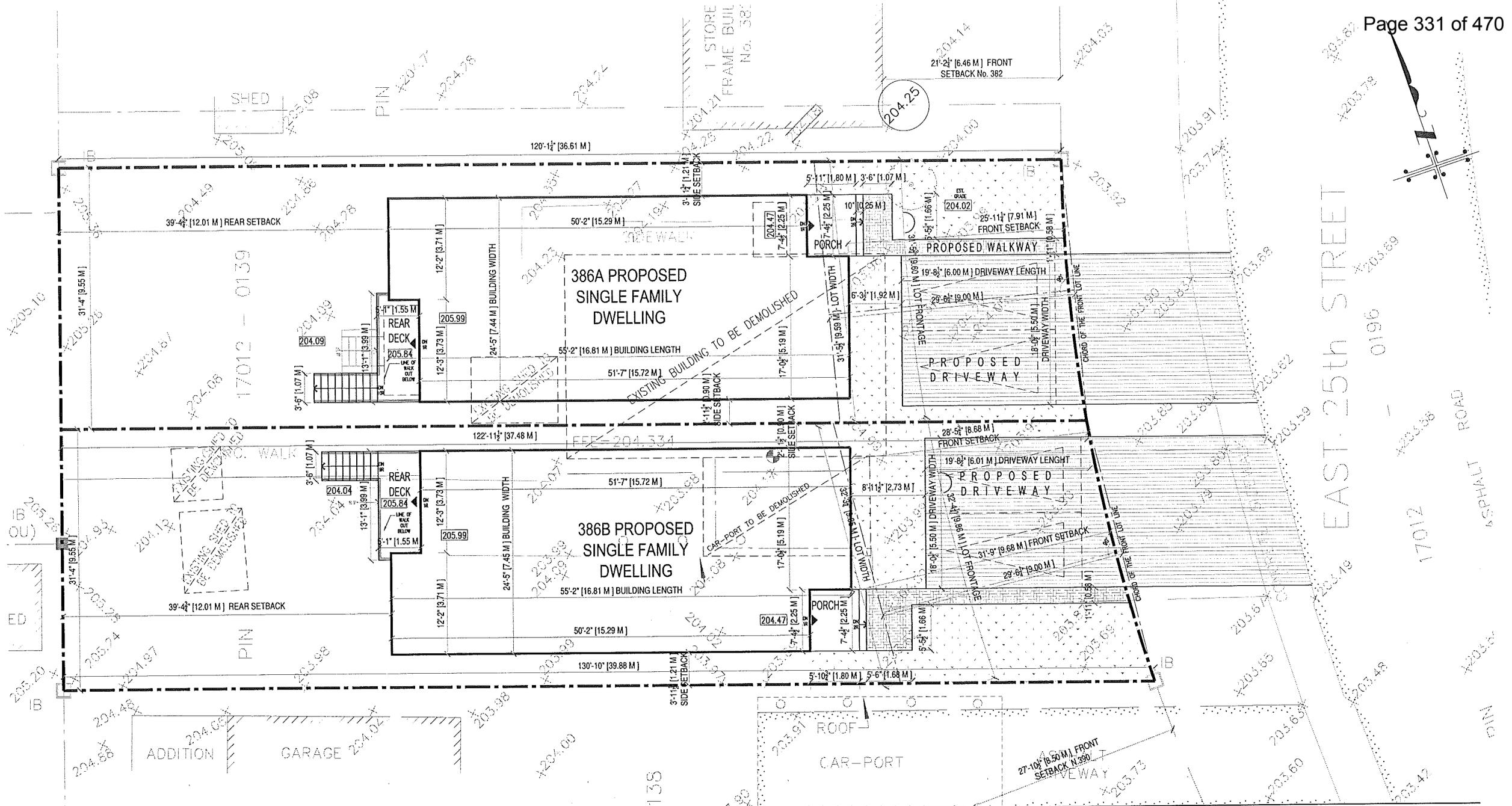
For more information on this matter, including access to drawings illustrating this request:

- Visit www.hamilton.ca/committeeofadjustment
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935
- Email Committee of Adjustment staff at cofa@hamilton.ca

DATED: July 21st, 2020

Jamila Sheffield,
Secretary-Treasurer
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public.



NO.	DATE	REVISION DESCRIPTION	NOTE
1	2020-05-26	ISSUED FOR SEVERANCE APPLICATION	CITY

NOTE:
 THIS DRAWING IS COPYRIGHTED INSTRUMENT OF SERVICE AND IT REMAINS THE PROPERTY OF THE CONSULTANT(S).
 USE AND REPRODUCTION OF THIS DRAWING WITHOUT THE CONSENT OF THE CONSULTANT(S) IS NOT ALLOWED.
 WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS. ANY DISCREPANCIES AND ERRORS TO BE
 REPORTED TO THE CONSULTANT(S).
 DO NOT PROCEED WITH WORK WITHOUT APPROVED REVISION TO THE DRAWING.

STAMP

NORTH

PROJ/REV. NO. 306-20 EAST 25TH ST

SHEET TITLE SITE PLAN
 SCALE: 3/32"=1'-0"

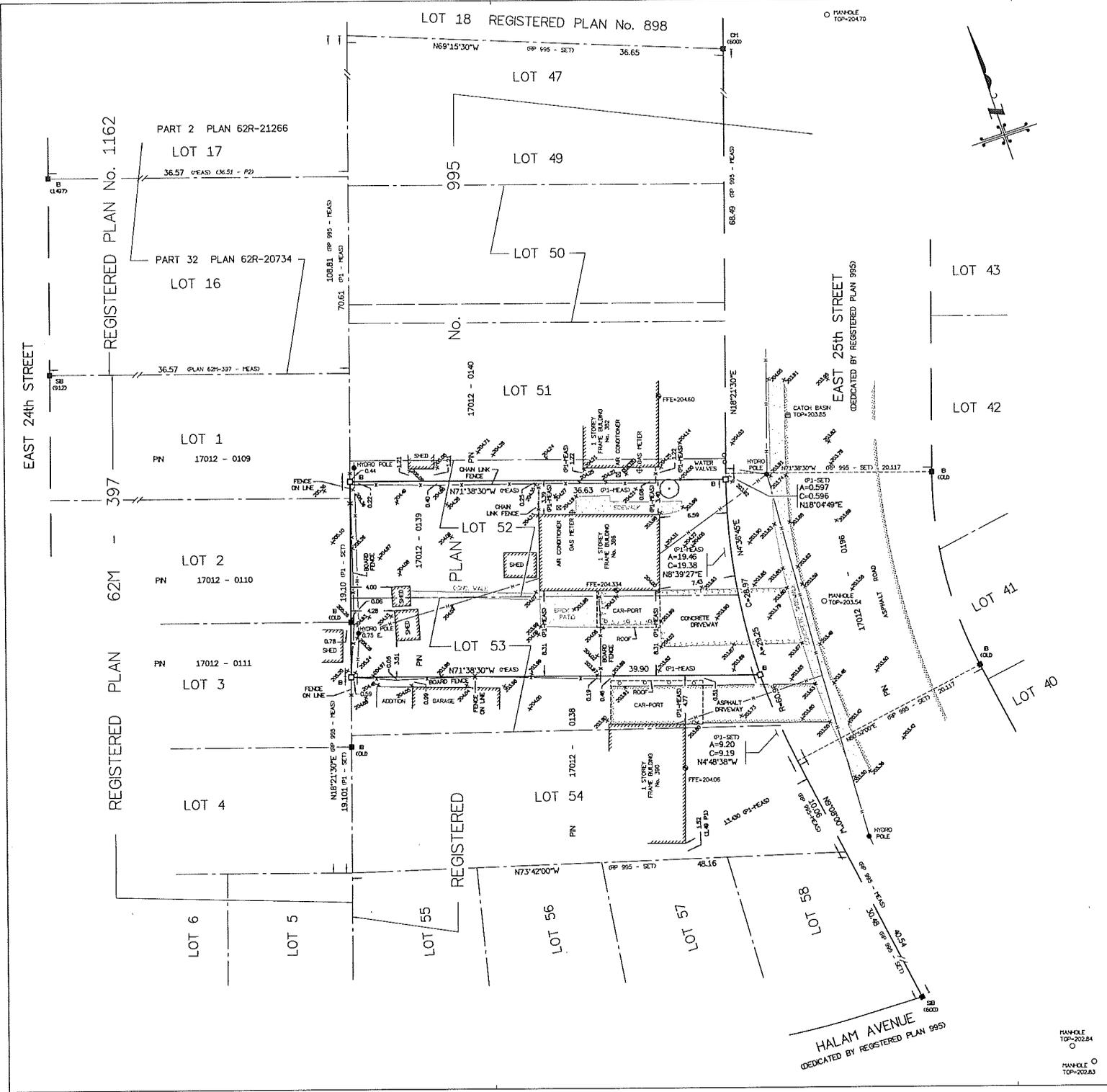
PROJECT 386 EAST 25TH STREET
 386 EAST 25TH ST, HAMILTON, ON L8V 3B1

DWG NO. S-0.1
 11"X17" SHEET SIZE

DESIGN

URBANSCAPE
 ARCHITECTS

236 LESMILL ROAD, TORONTO, ON, M3B 2T5
 phone: 416.850.0021
 info@urbanscapearchitect.com | www.urbanscapearchitect.com



SURVEYOR'S REAL PROPERTY REPORT
 PLAN OF SURVEY WITH TOPOGRAPHY OF
PART OF LOTS 52 and 53
REGISTERED PLAN No. 995
 BEING IN THE
CITY OF HAMILTON
 SCALE 1:250
 MacKAY, MacKAY & PETERS LIMITED - ONTARIO LAND SURVEYORS
 © 2020

KNOWN AS MUNICIPAL No. 386 EAST 25th STREET

REPORT SUMMARY (PART 2) (to be read in conjunction with Part 1.)
 LAND REGISTRY OFFICE TITLE INFORMATION ON SUBJECT PROPERTY INCLUDING
 BOUNDARIES, EASEMENTS AND RIGHT-OF-WAYS - DECEMBER 18, 2019

REGISTERED EASEMENTS AND/OR RIGHTS-OF-WAY:
 NONE

ADDITIONAL REMARKS:
 REFER TO PART 1 OF SURVEY FOR THE LOCATION OF BUILDINGS, STRUCTURES, FENCES AND UTILITIES.

Note:
 MacKAY, MacKAY & PETERS LIMITED grants ERL JOSEPH ("The Client"), their
 solicitor and other related parties permission to use "Original Copies" of the Surveyor's
 Real Property Report in transactions involving "The Client".

"METRIC" DISTANCES SHOWN HEREON ARE IN METRES AND
 CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

Benchmark Note:
 GEODETIC SURVEY OF CANADA BENCHMARK No. 061195L069 ELEVATION = 203.774 METRES
 (GSD 1928/1978 READJUSTMENT)

HALTON-WORTHINGTON FRANKLIN ROAD SCHOOL, AT SOUTHWEST CORNER OF UPPER SHERMAN
 AVENUE AND FRANKLIN ROAD, TABLET IN NORTH FRONT CONCRETE FOUNDATION WALL, 631
 METRES FROM NORTHWEST CORNER, 121 METRES BELOW BRICK, 437 METRES EAST OF AND
 OPPOSITE EAST EDGE OF EAST 28th STREET.

Bearing Reference:
 BEARINGS ARE ASTRONOMIC AND ARE REFERRED TO THE WEST LIFT OF EAST 25th
 STREET, HAVING A BEARING OF N18°21'30"E, AS SHOWN ON REGISTERED PLAN No. 995.

Legend:

- DENOTES A SURVEY MONUMENT PLANTED
- DENOTES A SURVEY MONUMENT FOUND
- S/B DENOTES STAKE/SPRIG FROM BAR
- B DENOTES IRON BAR
- C1 DENOTES CONCRETE MONUMENT
- C2 DENOTES CEMENT MONUMENT
- PA1 DENOTES PROPERTY IDENTIFICATION NUMBER
- RP1 DENOTES REGISTERED PLAN
- FFE DENOTES FINISHED FLOOR ELEVATION
- F1 DENOTES PLAN BY MacKAY & MacKAY, DATED AUGUST 2, 1955 (S-3095)
- F2 DENOTES PLAN 62R-21266
- H- DENOTES AERIAL HYDRO WIRES
- DENOTES DECIDUOUS TREE SCALED TO CANOPY, TRUNK SIZE SHOWN IN METRES

Surveyor's Certificate:
 I CERTIFY THAT:
 1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE
 WITH THE SURVEYORS ACT, THE SURVEYORS ACT AND THE LAND TITLES ACT
 AND THE REGULATIONS MADE UNDER THEM.
 2. THE SURVEY WAS COMPLETED ON THE 6th DAY OF FEBRUARY, 2020.

FEBRUARY 6, 2020
 DATE

ROY C. HAYON
 ONTARIO LAND SURVEYOR
 FOR MacKAY, MacKAY & PETERS LIMITED

ASSOCIATION OF ONTARIO
 LAND SURVEYORS
 PLAN SUPERVISION FORM
 2114106

THIS PLAN IS NOT VALID
 UNLESS IT IS AN EMBOSSED
 ORIGINAL COPY
 ISSUED BY THE SURVEYOR
 in accordance with
 Regulation 1026, Section 29(3)

CAD FILE: E:\M22\Hamilton-Worthington\Registered Plan\995\LOT 52-53\19-305\19-305-09\Final.dwg

3860 South Service Road
 Unit 101
 Burlington, ON
 L7R 3J5
 (905) 639-1375
 halton@mmp-limited.com
 mmpsurveyors.ca
 mmp-ocanada.ca

MMP
 MacKAY, MacKAY & PETERS LIMITED
 LAND SURVEYORS & MAPPERS
 SINCE 1906

SRM
 M.C.
 PROJECT NO: 19-305

HAMBLE
 TOP-20284

HAMBLE
 TOP-20283



Hamilton

Planning and Economic Development Department
Planning Division

Committee of Adjustment
City Hall
5th floor, 71 Main Street West
Hamilton, Ontario L8P 4Y5

Phone (905) 546-2424, ext. 4221
Fax (905) 546-4202

**APPLICATION FOR CONSENT TO SEVER LAND
UNDER SECTION 53 OF THE PLANNING ACT**

Office Use Only

Date Application Received:	Date Application Deemed Complete:	Submission No.:	File No.:
----------------------------	-----------------------------------	-----------------	-----------

1 APPLICANT INFORMATION

1.1, 1.2	NAME	ADDRESS	PHONE/FAX
Registered Owners(s)	2628934 Ontario Inc. (c/o Igor Chouminov/ Emil Joseph)		Business () Fax: () E-mail:
Applicant(s)*	Same as Owner.		Business () Fax: () E-mail:
Agent or Solicitor	A.J. Clarke and Associates Ltd. (c/o Stephen Fraser)		Business () Fax: () E-mail:

* Owner's authorisation required if the applicant is not the owner.

1.3 All correspondence should be sent to Owner Applicant Agent/Solicitor

2 LOCATION OF SUBJECT LAND Complete the applicable lines

2.1 Area Municipality	Lot	Concession	Former Township
Registered Plan N°. Plan No. 995	Lot(s) Pt. Lts. 52 & 53	Reference Plan N°.	Part(s)
Municipal Address 386 East 25th Street, Hamilton			Assessment Roll N°.

2.2 Are there any easements or restrictive covenants affecting the subject land?

Yes No (Unknown)

If YES, describe the easement or covenant and its effect:

3 PURPOSE OF THE APPLICATION

3.1 Type and purpose of proposed transaction: (check appropriate box)

a) Urban Area Transfer (do not complete Section 10):

creation of a new lot

addition to a lot

an easement

Other: a charge

a lease

a correction of title

1.8m wide mutual access easement along newly created lot line for access and maintenance.

b) Rural Area / Rural Settlement Area Transfer (Section 10 must be completed):

- creation of a new lot
 creation of a new non-farm parcel
 (i.e. a lot containing a surplus farm dwelling
 resulting from a farm consolidation)
 addition to a lot
- Other: a charge
 a lease
 a correction of title
 an easement

3.2 Name of person(s), if known, to whom land or interest in land is to be transferred, leased or charged:

Unknown

3.3 If a lot addition, identify the lands to which the parcel will be added:

N/A

4 DESCRIPTION OF SUBJECT LAND AND SERVICING INFORMATION

4.1 Description of land intended to be **Severed**: 386 B EAST 25th STREET on Site Plan

Frontage (m)	Depth (m)	Area (m ² or ha)
±9.85m	±37.5	±367 m ²

Existing Use of Property to be severed:

- Residential
 Agriculture (includes a farm dwelling)
 Other (specify) _____
- Industrial
 Agricultural-Related
 Commercial
 Vacant

Proposed Use of Property to be severed:

- Residential
 Agriculture (includes a farm dwelling)
 Other (specify) _____
- Industrial
 Agricultural-Related
 Commercial
 Vacant

Building(s) or Structure(s):

Existing: Existing single detached dwelling and accessory structures (to be demolished)

Proposed: New single detached dwelling to be constructed.

Type of access: (check appropriate box)

- provincial highway
 municipal road, seasonally maintained
 municipal road, maintained all year
- right of way
 other public road

Type of water supply proposed: (check appropriate box)

- publicly owned and operated piped water system
 privately owned and operated individual well
- lake or other water body
 other means (specify) _____

Type of sewage disposal proposed: (check appropriate box)

- publicly owned and operated sanitary sewage system
 privately owned and operated individual septic system
 other means (specify) _____

4.2 Description of land intended to be **Retained**: 386 A EAST 25th STREET on Site Plan

Frontage (m)	Depth (m)	Area (m ² or ha)
±9.59m	±39.9 metres	±352.5 m ²

Existing Use of Property to be retained:

- Residential
 Agriculture (includes a farm dwelling)
 Other (specify) _____
- Industrial
 Agricultural-Related
 Commercial
 Vacant

Proposed Use of Property to be retained:

- Residential
 Industrial
 Commercial
 Agriculture (includes a farm dwelling)
 Agricultural-Related
 Vacant
 Other (specify) _____

Building(s) or Structure(s):

Existing: Existing single detached dwelling and accessory structures (to be demolished)
 Proposed: New single detached dwelling to be constructed.

Type of access: (check appropriate box)

- provincial highway
 right of way
 municipal road, seasonally maintained
 other public road
 municipal road, maintained all year

Type of water supply proposed: (check appropriate box)

- publicly owned and operated piped water system
 lake or other water body
 privately owned and operated individual well
 other means (specify) _____

Type of sewage disposal proposed: (check appropriate box)

- publicly owned and operated sanitary sewage system
 privately owned and operated individual septic system
 other means (specify) _____

4.3 Other Services: (check if the service is available)

- electricity
 telephone
 school bussing
 garbage collection

5 CURRENT LAND USE

5.1 What is the existing official plan designation of the subject land?

Rural Hamilton Official Plan designation (if applicable): N/A
 Urban Hamilton Official Plan designation (if applicable) "Neighbourhoods" Schedule E-1

Please provide an explanation of how the application conforms with a City of Hamilton Official Plan.

Please refer to the concurrently submitted covering letter for more information on how the proposed severance conforms to the UHOP.

5.2 What is the existing zoning of the subject land? "C" Urban Protected Residential, Etc. If the subject land is covered by a Minister's zoning order, what is the Ontario Regulation Number? _____

5.3 Are any of the following uses or features on the subject land or within 500 metres of the subject land, unless otherwise specified. Please check the appropriate boxes, if any apply.

Use or Feature	On the Subject Land	Within 500 Metres of Subject Land, unless otherwise specified (indicate approximate distance)
An agricultural operation, including livestock facility or stockyard	<input type="checkbox"/>	

A land fill	<input type="checkbox"/>	
A sewage treatment plant or waste stabilization plant	<input type="checkbox"/>	
A provincially significant wetland	<input type="checkbox"/>	
A provincially significant wetland within 120 metres	<input type="checkbox"/>	
A flood plain	<input type="checkbox"/>	
An industrial or commercial use, and specify the use(s)	<input type="checkbox"/>	±350m Shopping Centre
An active railway line	<input type="checkbox"/>	
A municipal or federal airport	<input type="checkbox"/>	

6 PREVIOUS USE OF PROPERTY

- Residential Industrial Commercial
 Agriculture Vacant Other (specify)

- 6.1 If Industrial or Commercial, specify use N/A
- 6.2 Has the grading of the subject land been changed by adding earth or other material, i.e., has filling occurred?
 Yes No Unknown (when developed in conjunction with Plan 995)
- 6.3 Has a gas station been located on the subject land or adjacent lands at any time?
 Yes No Unknown
- 6.4 Has there been petroleum or other fuel stored on the subject land or adjacent lands?
 Yes No Unknown
- 6.5 Are there or have there ever been underground storage tanks or buried waste on the subject land or adjacent lands?
 Yes No Unknown
- 6.6 Have the lands or adjacent lands ever been used as an agricultural operation where cyanide products may have been used as pesticides and/or biosolids was applied to the lands?
 Yes No Unknown
- 6.7 Have the lands or adjacent lands ever been used as a weapons firing range?
 Yes No Unknown
- 6.8 Is the nearest boundary line of the application within 500 metres (1,640 feet) of the fill area of an operational/non-operational landfill or dump?
 Yes No Unknown
- 6.9 If there are existing or previously existing buildings, are there any building materials remaining on site which are potentially hazardous to public health (e.g., asbestos, PCB's)?
 Yes No Unknown
- 6.10 Is there reason to believe the subject land may have been contaminated by former uses on the site or adjacent sites?
 Yes No Unknown
- 6.11 What information did you use to determine the answers to 6.1 to 6.10 above?
 Property owner's knowledge and aerial imagery.
- 6.12 If previous use of property is industrial or commercial or if YES to any of 6.2 to 6.10, a previous use inventory showing all former uses of the subject land, or if appropriate, the land adjacent to the subject land, is needed.
 Is the previous use inventory attached?
 Yes No (N/A)

7 PROVINCIAL POLICY

- 7.1 a) Is this application consistent with the Policy Statements issued under subsection of the *Planning Act*? (Provide explanation)
- Yes No
-

Please refer to the concurrently submitted covering letter.

- b) Is this application consistent with the Provincial Policy Statement (PPS)?
 Yes No (Provide explanation)

Please refer to the concurrently submitted covering letter.

- c) Does this application conform to the Growth Plan for the Greater Golden Horseshoe?
 Yes No (Provide explanation)

Please refer to the concurrently submitted covering letter.

- d) Are the subject lands within an area of land designated under any provincial plan or plans? (If YES, provide explanation on whether the application conforms or does not conflict with the provincial plan or plans.)
 Yes No

Growth Plan, per the above. Please refer to concurrently submitted covering letter.

- e) Are the subject lands subject to the Niagara Escarpment Plan?
 Yes No

If yes, is the proposal in conformity with the Niagara Escarpment Plan?

- Yes No (N/A)
(Provide Explanation)

- f) Are the subject lands subject to the Parkway Belt West Plan?
 Yes No

If yes, is the proposal in conformity with the Parkway Belt West Plan?

- Yes No (N/A) (Provide Explanation)

- g) Are the subject lands subject to the Greenbelt Plan?
 Yes No

If yes, does this application conform with the Greenbelt Plan?

- Yes No (N/A) (Provide Explanation)

8 HISTORY OF THE SUBJECT LAND

8.1 Has the subject land ever been the subject of an application for approval of a plan of subdivision or a consent under sections 51 or 53 of the *Planning Act*?

- Yes No Unknown

If YES, and known, indicate the appropriate application file number and the decision made on the application.

Lands form part of Registered Subdivision 995.

8.2 If this application is a re-submission of a previous consent application, describe how it has been changed from the original application.

N/A

8.3 Has any land been severed or subdivided from the parcel originally acquired by the owner of the subject land? Yes No

If YES, and if known, provide for each parcel severed, the date of transfer, the name of the transferee and the land use.

N/A

8.4 How long has the applicant owned the subject land?

January 24, 2020

8.5 Does the applicant own any other land in the City? Yes No Unknown

If YES, describe the lands in "11 - Other Information" or attach a separate page.

9 OTHER APPLICATIONS

9.1 Is the subject land currently the subject of a proposed official plan amendment that has been submitted for approval? Yes No Unknown

If YES, and if known, specify file number and status of the application.

9.2 Is the subject land the subject of any other application for a Minister's zoning order, zoning by-law amendment, minor variance, consent or approval of a plan of subdivision?

- Yes No Unknown

Minor Variance is submitted concurrently.

If YES, and if known, specify file number and status of the application(s).

File number _____ Status _____

10 RURAL APPLICATIONS

10.1 **Rural Hamilton Official Plan Designation(s)**

- | | | |
|--|-------------------------------------|---|
| <input type="checkbox"/> Agricultural | <input type="checkbox"/> Rural | <input type="checkbox"/> Specialty Crop |
| <input type="checkbox"/> Mineral Aggregate Resource Extraction | <input type="checkbox"/> Open Space | <input type="checkbox"/> Utilities |
| <input type="checkbox"/> Rural Settlement Area (specify) _____ | _____ | _____ |
| | Settlement Area | Designation |

If proposal is for the creation of a non-farm parcel resulting from a farm consolidation, indicate the existing land use designation of the abutting or non-abutting farm operation.

10.2 **Type of Application** (select type and complete appropriate sections)

- | | | |
|--|---|-------------------------|
| <input type="checkbox"/> Agricultural Severance or Lot Addition | } | (Complete Section 10.3) |
| <input type="checkbox"/> Agricultural Related Severance or Lot Addition | | |
| <input type="checkbox"/> Rural Resource-based Commercial Severance or Lot Addition | | |
| <input type="checkbox"/> Rural Institutional Severance or Lot Addition | | |

Rural Settlement Area Severance or Lot Addition

Surplus Farm Dwelling Severance from an Abutting Farm Consolidation (Complete Section 10.4)

Surplus Farm Dwelling Severance from a Non-Abutting Farm Consolidation (Complete Section 10.5)

10.3 Description of Lands

a) Lands to be Severed:

Frontage (m): (from Section 4.1)	Area (m ² or ha): (from in Section 4.1)
----------------------------------	--

Existing Land Use: _____ Proposed Land Use: _____

b) Lands to be Retained:

Frontage (m): (from Section 4.2)	Area (m ² or ha): (from Section 4.2)
----------------------------------	---

Existing Land Use: _____ Proposed Land Use: _____

10.4 Description of Lands (Abutting Farm Consolidation)

a) Location of abutting farm:

 (Street) (Municipality) (Postal Code)

b) Description abutting farm:

Frontage (m):	Area (m ² or ha):
---------------	------------------------------

Existing Land Use(s): _____ Proposed Land Use(s): _____

c) Description of consolidated farm (excluding lands intended to be severed for the surplus dwelling):

Frontage (m):	Area (m ² or ha):
---------------	------------------------------

Existing Land Use: _____ Proposed Land Use: _____

d) Description of surplus dwelling lands proposed to be severed:

Frontage (m): (from Section 4.1)	Area (m ² or ha): (from Section 4.1)
----------------------------------	---

Front yard set back: _____

e) Surplus farm dwelling date of construction:

Prior to December 16, 2004 After December 16, 2004

f) Condition of surplus farm dwelling:

Habitable Non-Habitable

g) Description of farm from which the surplus dwelling is intended to be severed (retained parcel):

Frontage (m): (from Section 4.2)	Area (m ² or ha): (from Section 4.2)
----------------------------------	---

Existing Land Use: _____ Proposed Land Use: _____

10.5 Description of Lands (Non-Abutting Farm Consolidation)

a) Location of non-abutting farm

 (Street) (Municipality) (Postal Code)

b) Description of non-abutting farm

Frontage (m):	Area (m2 or ha):
---------------	------------------

Existing Land Use(s): _____ Proposed Land Use(s): _____

c) Description of surplus dwelling lands intended to be severed:

Frontage (m): (from Section 4.1)	Area (m2 or ha): (from Section 4.1)
----------------------------------	-------------------------------------

Front yard set back: _____

d) Surplus farm dwelling date of construction:

- Prior to December 16, 2004 After December 16, 2004

e) Condition of surplus farm dwelling:

- Habitable Non-Habitable

f) Description of farm from which the surplus dwelling is intended to be severed (retained parcel):

Frontage (m): (from Section 4.2)	Area (m2 or ha): (from Section 4.2)
----------------------------------	-------------------------------------

Existing Land Use: _____ Proposed Land Use: _____

11 OTHER INFORMATION

Is there any other information that you think may be useful to the Committee of Adjustment or other agencies in reviewing this application? If so, explain below or attach on a separate page.

Please refer to the concurrently submitted covering letter
for a detailed description of the proposal.

12 SKETCH (Use the attached Sketch Sheet as a guide)

12.1 The application shall be accompanied by a sketch showing the following in metric units:

- (a) the boundaries and dimensions of any land abutting the subject land that is owned by the owner of the subject land;
- (b) the approximate distance between the subject land and the nearest township lot line or landmark such as a bridge or railway crossing;
- (c) the boundaries and dimensions of the subject land, the part that is intended to be severed and the part that is intended to be retained;
- (d) the location of all land previously severed from the parcel originally acquired by the current owner of the subject land;
- (e) the approximate location of all natural and artificial features (for example, buildings, barns, railways, roads, watercourses, drainage ditches, banks of rivers or streams, wetlands, wooded areas, wells and septic tanks) that,
 - i) are located on the subject land and on land that is adjacent to it, and
 - ii) in the applicant's opinion, may affect the application;
- (f) the current uses of land that is adjacent to the subject land (for example, residential, agricultural or commercial);
- (g) the location, width and name of any roads within or abutting the subject land, indicating whether it is an unopened road allowance, a public travelled road, a private



A. J. Clarke and Associates Ltd.

SURVEYORS • PLANNERS • ENGINEERS

June 15th, 2020

The City of Hamilton
 Committee of Adjustment
 Planning and Economic Development Department
 71 Main Street West, 5th Floor
 Hamilton, Ontario
 L8P 4Y5

Attn: Ms. Jamila Sheffield - Secretary-Treasurer

Re: Severance Application Submission for 386 East 25th Street, Hamilton

Dear Madam,

Please accept the attached materials in support of an application for municipal consent (severance) on the subject lands. The subject submission proposes the creation of two lots that front onto East 25th Street, with the existing dwelling at 386 East 25th Street to be demolished and two new single detached dwellings are proposed to be constructed. This will result in a total of two building lots and two new single detached dwellings, which are shown as 386A and 386B East 25th Street on the concurrently submitted Site Plan. Details of the frontage and area for each of the proposed lots is shown in the below table.

Parcel	Lot Frontage (metres)	Lot Area (square metres)
386A (retained)	9.59 m (East 25 th Street)	352.5 m ²
388B (severed)	9.85 m (East 25 th Street)	367.9 m ²

The subject lands are generally rectangular in shape, with a curved front lot line, approximately ±19.44 metres of frontage along East 25th Street and with an approximate depth of ±37.48 metres. The lands are zoned as “C” Urban Protected Residential Etc. under the City of Hamilton Zoning By-law 6593. This zoning district permits single detached dwellings, along with a select few other residential, institutional and other uses.

Both of the resultant lots are slightly below the provisions of the “C” District and require a Minor Variance with respect to lot frontage and the severed lands would meet the minimum lot area. The lot frontage and area requirements of the “C” district are 12 metres and 360 square metres respectively. Parcel 386A would have a minimum frontage of 9.59m and a minimum area of 352 square metres; both of which can be considered minor deviations from the by-law with respect to impact. The variances with respect to lot frontage and area, in addition to other relief is discussed more thoroughly in the covering letter for the concurrently submitted Minor Variance Application.

The proposed lots are also in keeping with the character of the neighbourhood, which consists of a variety of land uses and varying densities. This includes single detached dwellings, townhouse dwelling (opposite East 25th Street), and semi-detached dwellings (adjacent to the west fronting onto East 24th Street). Although the proposal will result in lots with narrower frontages when compared to the “C” District requirement, due to their increased depth, only one



of the resultant lots will be deficient in area, and that deficiency is very minimal (8 square metres). This will allow the resultant lots to accommodate an appropriately sized building envelope, while also accommodating for adequate landscaped area to provide amenity space for residents. The resultant lots will be in keeping with the character of the surrounding neighbourhood, while also representing a form of “gentle” intensification that is compatible with adjacent development.

Policy Consistency and Conformity

Further to question 5.1 of the attached application form, the following is submitted:

“Please provide an explanation of how the application conforms with a City of Hamilton Official Plan”

The proposed development is located within the “Neighbourhoods” designation within the City’s Urban Hamilton Official Plan (UHOP). Section E.3.0 provides policies for lands designated “Neighbourhoods” on Schedule E-1 (Urban Land Use Designations). The designation is broadly supportive of the development of complete communities that are made up of more than just homes, but include a variety of land uses. The proposed development conforms to the applicable policies of the “Neighbourhoods” designation, as it is a permitted use and conforms to the “Neighbourhoods” policies related to function, scale and design.

In addition to the designation specific policies of the UHOP, the proposed severance applications are also evaluated against the lot creation policies of Section 1.14.3; and against the residential intensification policies of Section B.2.4 of the UHOP. Each of these sections is discussed in detail below:

Residential Intensification

The City’s residential intensification policies state that 40% of the City’s intensification target is to be accommodated within the “Neighbourhoods” designation (Pol. 2.4.1.3 c)). With respect to the evaluation criteria outlined in Policy B.2.4.1.4, the proposed development is of compatible built form and character to surrounding development, which consists of a variety of land uses, and integrates well with surrounding development in terms of use, scale, form and character. The proposed development represents a form of “gentle” intensification and appropriately intensifies an existing single detached lot that is on full municipal services and within the urban boundary. Accordingly, the proposed development generally satisfies the criteria outlined in Policy B.2.4.1.4.

Section B.2.4.2 of the UHOP deals specifically with residential intensification within the “Neighbourhoods” designation. Policy 2.4.2.2 of the UHOP outlines further evaluation criteria for residential intensification with the “Neighbourhoods” designation. The proposed development is compatible with adjacent land uses including matters such as shadowing, overlook, noise, lighting, traffic and other nuisance effect. Any relevant technical studies can be provided after conditional approval to satisfy the applicable City departments in this regard, prior to final approval. The proposed single detached dwellings are also similar in terms of height and massing to the surrounding neighbourhood. Although the proposed lots are slightly narrower than what is required under the “C” District, the surrounding neighbourhood supports a variety of land uses at various densities, with diverse built forms. The general size and area of the



proposed lots is consistent with surrounding lotting patterns, and the proposed dwellings will create a consistent street setback along east side of East 25th Street. Further, the size of the lots and proposed building setbacks provides ample room for private amenity areas, and landscaping, including in the front yard. Accordingly, the proposed development satisfies the criteria outlined in Policy 2.4.2.2.

Lot Creation Policies

Policy 1.14.3.1 outlines the evaluation criteria for new lots for residential uses in the "Neighbourhoods" designation. It states that they shall be permitted provided the following conditions are met:

- a) *The lots comply with the policies of this Plan, including secondary plans, where one exists;*

The proposed lots comply with the applicable policies of the Urban Hamilton Official Plan, as indicated above. The subject lands are not within a Secondary Plan area, per Volume 2 of the UHOP.

- b) *The lots comply with existing Neighbourhood Plans;*

The subject lands are designated "single & double" within the Burkholme Neighbourhood Plan. The proposed lots will each contain a single family detached dwelling. Accordingly, the proposed lots comply with the existing Neighbourhood Plan.

- c) *The lots are in conformity with the Zoning By-law or a minor variance is approved;*

A Minor Variance Application is concurrently submitted with the subject severance application in order to bring the lots into conformity with respect to lot frontage and area. How the relief applied for in the concurrently submitted Minor Variance Application satisfies the four tests under section 45(1) of the *Planning Act* is discussed in greater detail in the covering letter submitted jointly with the Minor Variance Application.

- d) *The lots reflect the general scale and character of the established development pattern in the surrounding area by taking into consideration lot frontages and areas, building height, coverage, mass, setbacks, privacy and overview;*

The general scale and character of the established development pattern varies significantly in the surrounding area. Lot widths vary significantly within the neighbourhood with frontages varying between ± 8.5 m (on East 24th Street) to ± 20 m. Lot areas also vary significantly from ± 355 m² to ± 800 m². There is a significant amount of diversity existing in the neighbourhood in terms of built form, character, and development patterns. Directly opposite the subject lands is a medium density block townhouse development, with units fronting onto East 25th street opposite the subject lands. To the rear of the subject lands, fronting onto East 24th Street, there is existing duplexes and semi-detached development along with single detached residential development on ± 10.5 m lots. The proposed development would consist of an example of appropriate and compatible intensification that is in keeping with the wide variety of established development in the immediate neighbourhood. The proposed development will conform to the applicable policies of the Zoning By-law ("C" District) with respect to building height, coverage



and massing, and will therefore be consistent with nearby development.

With respect to setbacks, privacy and overview, the proposed development maintains the building setbacks predominant along East 25th Street, including a minimum 6m setback from the street. This 6m setback is consistent with the setbacks to the existing dwellings to the north and south of the subject lands. In terms of the side yard setbacks, the proposed development will be maintaining the minimum 1.2m setback along the existing property lines, which will ensure that an appropriate interface between the proposed development and the existing single detached development to the north and south is maintained. With respect to privacy, overview and shadowing, the proposed development has been evaluated from this perspective and is not anticipated to impose any undue adverse impacts. The minimum required side yard and rear yard setbacks to the surrounding lands are being maintained, in order to ensure appropriate separation between existing development; while the overall height of the proposed dwellings (± 7 m) does not create any overlook or shadowing concerns.

e) The lots are fully serviced by municipal water and wastewater systems; and,

According to the City of Hamilton's online mapping system, municipal combined sewers and water services are available along East 25th Street. The feasibility of servicing these lots with existing services will be confirmed through the detailed engineering design completed through the Consent Agreement as required through conditions of the Consent approval.

f) The lots have frontage on a public road

The proposed lots have frontage on East 25th Street.

Provincial Policy

Further to questions 7.1 a), b) & c) of the attached application form, the following is submitted:

"Is this application consistent with the Policy Statements issued under subsection "2" of the Planning Act?"

The proposed development has sufficient regard for the matters of provincial interest outlined in subsection 2 of the *Planning Act*.

"Is this application consistent with the Provincial Policy Statement (PPS)?"

This property is appropriate for development as it is within a settlement area as defined in the PPS, and settlement areas shall be the focus of growth. The subject lands are also within the built-up area and the proposed consent application will facilitate compatible residential intensification through infill development on full municipal water and wastewater services, and with frontage on a municipal road. Furthermore, the application is consistent with the PPS with respect to Section 3.1 - Natural Hazards; which directs development outside of the hazardous lands adjacent to the shorelines of the Great Lakes. As such, this application is consistent with the PPS (2020).

"Does this application conform to the Growth Plan for the Greater Golden Horseshoe?"



Attn: Ms. Jamila Sheffield - Secretary-Treasurer
Re: Severance Application Submission for 386 East 25th Street, Hamilton

June 15th, 2020
Page 5 of 5

The Growth Plan (2019) stresses the importance of optimizing the existing supply of land already within the built-up area for urban development (intensification) within the Greater Golden Horseshoe to avoid over-designating new land for future urban development. The proposal is consistent with the Growth Plan as it will encourage residential intensification through infill development and will optimize the use of existing infrastructure to support growth in a compact, compatible and efficient form. The proposed consent application is considered "gentle" intensification as it provides additional, compatible dwelling units within the urban boundary, while mitigating any potential adverse impacts on the surrounding neighbourhood. Both the severed and retained lands also have frontage onto a municipal public right-of-way. As such, the proposed development conforms to the Growth Plan.

As required for the above-noted application, please find attached the following:

1. A cheque in the amount of \$6,147.00 made payable to the City of Hamilton in payment of the Application Fee (combined with concurrently submitted Minor Variance Fee).
2. Two (2) copies of the completed and signed Application Form.
3. One (1) full size copy of a Site Plan being used as the Severance Sketch.
4. Two (2) copies of a Site Plan being used as the Severance Sketch, reduced to 11x17.
5. One (1) copy of a Topographic Survey of the subject lands.
6. One (1) copy of the architectural plans of the proposed single detached dwellings.

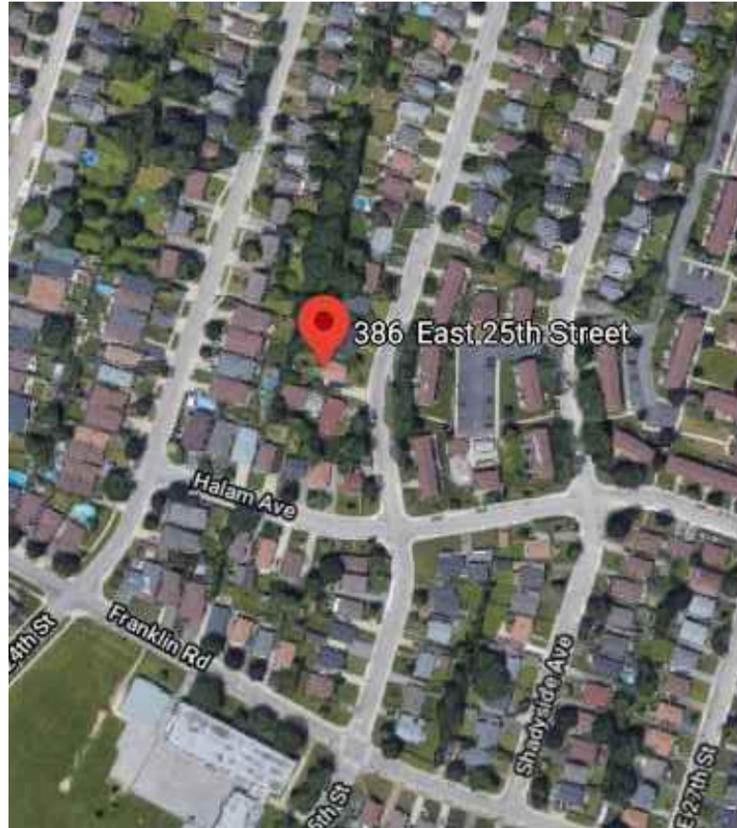
Yours very truly,

Spencer Skidmore RPP, MCIP
Planner
A. J. Clarke and Associates Ltd.

Encl.

Copy: 2628934 Ontario Inc. (c/o Mr. Igor Chouminov)

LOCATION



LIST OF DRAWINGS

- A-0.0 SITE STATISTIC
- A-0.1 SITE PLAN
- A-1.1 BASEMENT FLOOR PLAN
- A-1.2 GROUND FLOOR PLAN
- A-1.3 ROOF PLAN
- A-2.1 FRONT ELEVATION
- A-2.2 REAR ELEVATION
- A-2.3 SIDE (NORTH) ELEVATION
- A-2.4 SIDE (SOUTH) ELEVATION

BYLAW 6593

386 A EAST 25th STREET
HAMILTON , ON

NEW 1-STOREY SINGLE FAMILY DWELLING

SITE STATISTICS

ZONING DESIGNATION

MINIMUM LOT AREA	360 M ²
PROPOSED LOT AREA	3794 FT ² [352.5 M ²]
MINIMUM LOT WIDTH <small>(measured at 9.0 m from the front lot line)</small>	12 M

PROPOSED LOT WIDTH	9.59 M
--------------------	--------

HEIGHT	MAX. PERMITTED	PROPOSED
BUILDING HEIGHT	MAX. 11.0 M	6.91 M

SETBACKS	MIN. REQUIRED	PROPOSED
FRONT YARD SETBACK/EAST	6.0 M	7.91 M
REAR YARD SETBACK /WEST	7.50 M	12.01 M
SIDE YARD SETBACK /NORTH	1.20 M	1.21 M
SIDE YARD SETBACK /SOUTH	1.20 M	0.90 M

GROSS FLOOR AREA CALCULATIONS

FIRST FLOOR	117.63 SQM [1266.21SQF]
-------------	-------------------------

LANDSCAPING AREA CALCULATIONS

AREA OF FRONT YARD	73.55 SQM	[791.7 SQF]	
AREA OF DRIVEWAY	36.24 SQM	[371.1 SQF]	46.9%
AREA OF FRONT YARD LANDSCAPE <small>[AREA FRONT YARD- AREA OF DRIVEWAY]</small>	37.30 SQM	[420.6 SQF]	53.1%
AREA OF SOFT LANDSCAPE	36.1 SQM	[401.4 SQF]	95.4% 50.7% OF FRONT YARD
AREA OF HARD LANDSCAPE	1.78 SQM	[19.2 SQF]	4.6%
TOTAL AREA OF SOFT LANDSCAPING	169.64 SQM	[1826 SQF]	48.1%

NO.	DATE	REVISION DESCRIPTION	NOTE
1	2020-05-26	ISSUED FOR COA	CITY

NOTE:
 THIS DRAWING IS COPYRIGHTED INSTRUMENT OF SERVICE AND IT REMAINS THE PROPERTY OF THE CONSULTANT(S)
 USE AND REPRODUCTION OF THIS DRAWING WITHOUT THE CONSENT OF THE CONSULTANT(S) IS NOT ALLOWED
 WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS ANY DISCREPANCIES AND ERRORS TO BE REPORTED TO THE CONSULTANT(S)
 DO NOT PROCEED WITH WORK WITHOUT APPROVED REVISION TO THE DRAWING

STAMP

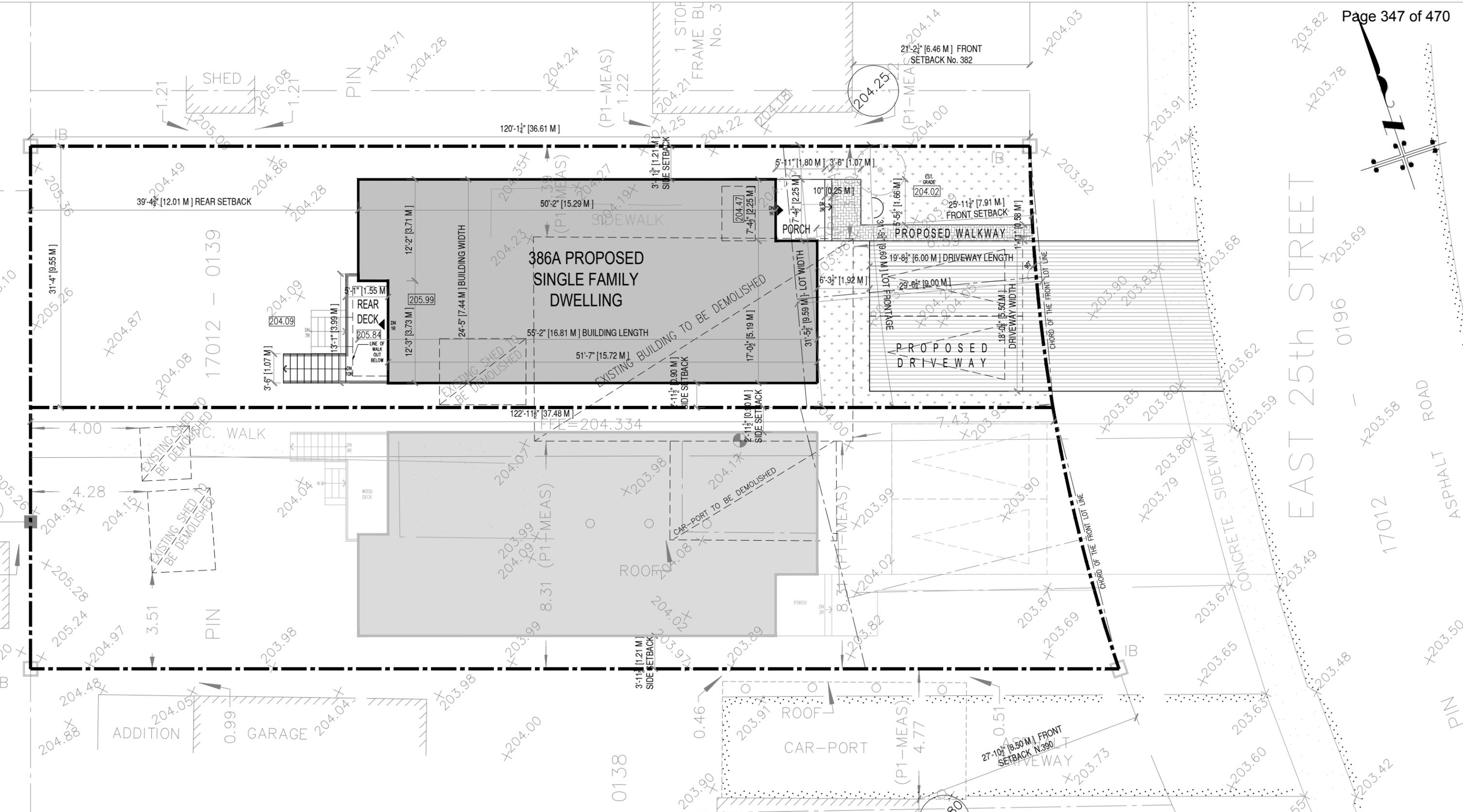
NORTH

PROJ./REV. NO. 306-20 EAST 25TH ST
SHEET TITLE SITE STATISTIC
PROJECT 386A EAST 25TH STREET 386 EAST 25TH ST, HAMILTON, ON L8V 3B1

DWG NO. A-0.0
11"x17" SHEET SIZE

DESIGN

236 LESMILL ROAD, TORONTO ,ON, M3B 2T5
 phone: 416.850.0021
 info@urbanscaarchitect.com | www.urbanscapearchitect.com



NO.	DATE	REVISION DESCRIPTION	NOTE
1	2020-05-26	ISSUED FOR COA	CITY

NOTE:
 THIS DRAWING IS COPYRIGHTED INSTRUMENT OF SERVICE AND IT REMAINS THE PROPERTY OF THE CONSULTANT(S)
 USE AND REPRODUCTION OF THIS DRAWING WITHOUT THE CONSENT OF THE CONSULTANT(S) IS NOT ALLOWED
 WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS ANY DISCREPANCIES AND ERRORS TO BE REPORTED TO THE CONSULTANT(S)
 DO NOT PROCEED WITH WORK WITHOUT APPROVED REVISION TO THE DRAWING

STAMP

NORTH

PROJ./REV. NO.
 306-20 EAST 25TH ST

SHEET TITLE
 SITE PLAN
 SCALE: 3/32"=1'-0"

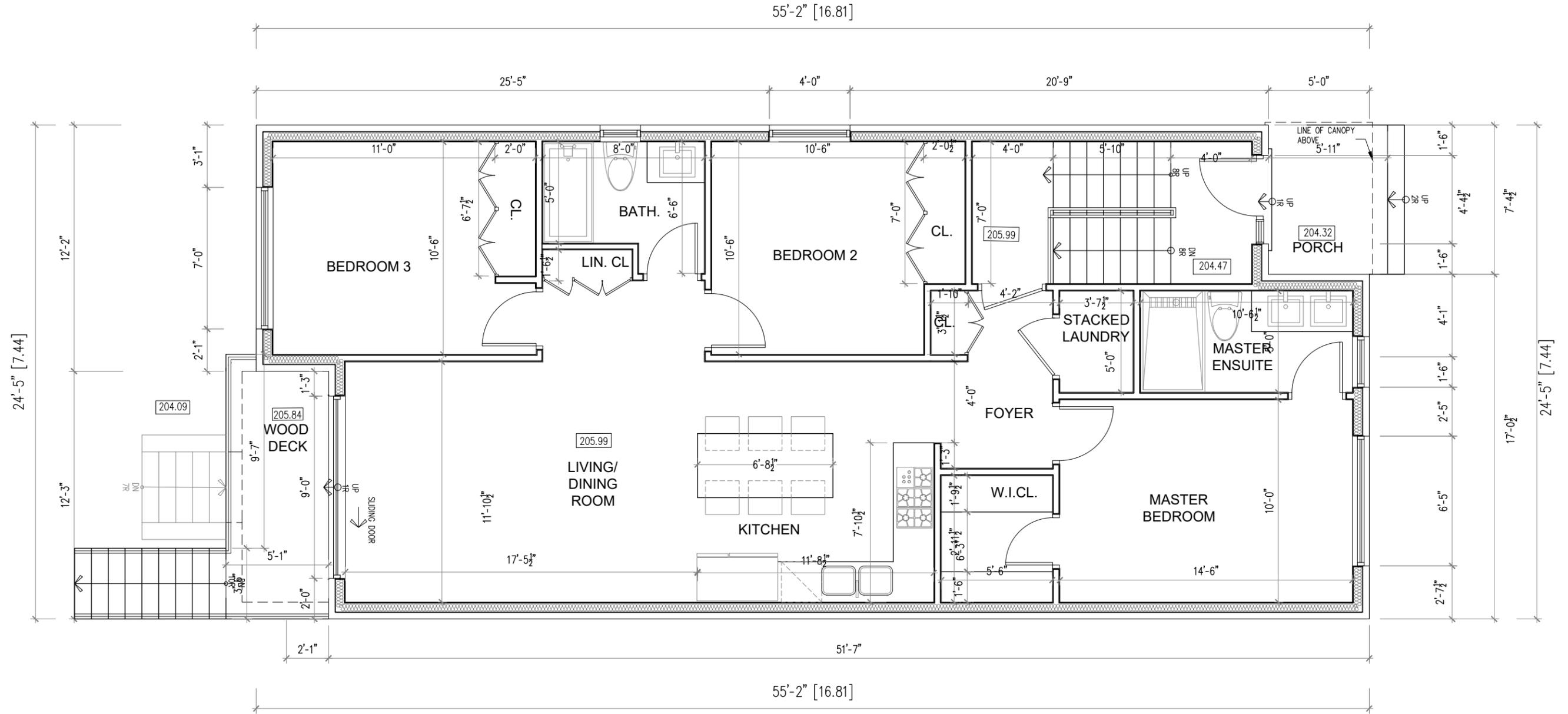
PROJECT
 386A EAST 25TH STREET
 386 EAST 25TH ST, HAMILTON, ON L8V 3B1

DWG. NO.
 A-0.1

DESIGN

236 LESMILL ROAD, TORONTO, ON, M3B 2T5
 phone: 416.850.0021
 info@urbanscaarchitect.com | www.urbanscaarchitect.com

11"x17" SHEET SIZE

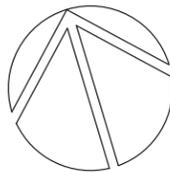


NO.	DATE	REVISION DESCRIPTION	NOTE
1	2020-05-26	ISSUED FOR COA	CITY

NOTE:
 THIS DRAWING IS COPYRIGHTED INSTRUMENT OF SERVICE AND IT REMAINS THE PROPERTY OF THE CONSULTANT(S)
 USE AND REPRODUCTION OF THIS DRAWING WITHOUT THE CONSENT OF THE CONSULTANT(S) IS NOT ALLOWED
 WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS ANY DISCREPANCIES AND ERRORS TO BE REPORTED TO THE CONSULTANT(S)
 DO NOT PROCEED WITH WORK WITHOUT APPROVED REVISION TO THE DRAWING

STAMP

NORTH



PROJ./REV. NO.
 306-20 EAST 25TH ST

SHEET TITLE
 GROUND FLOOR PLAN
 SCALE: 3/16"=1'-0"

PROJECT
 386A EAST 25TH STREET
 386 EAST 25TH ST, HAMILTON, ON L8V 3B1

DWG. NO.

A-1.2

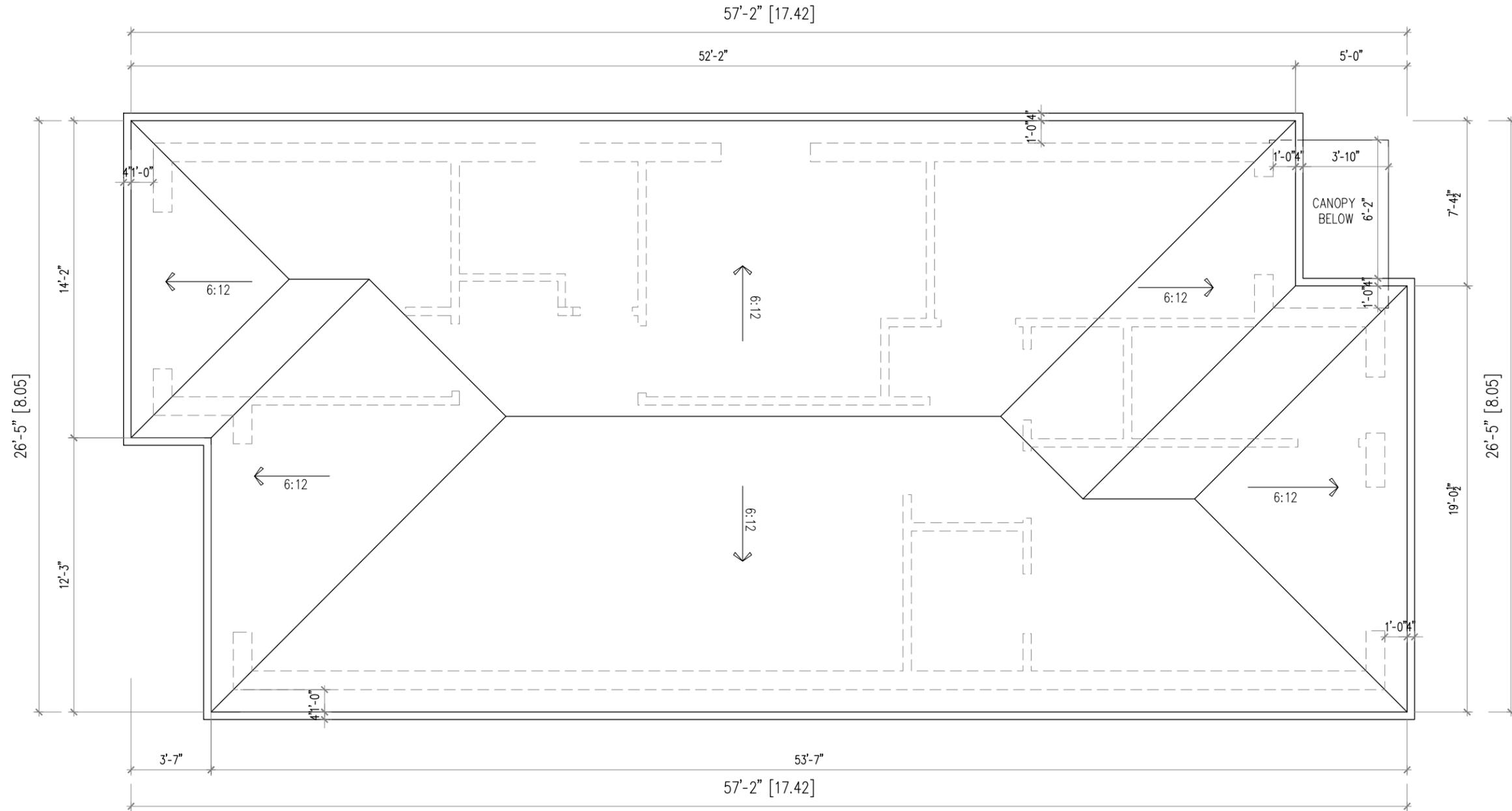
11"x17" SHEET SIZE

DESIGN



236 LESMILL ROAD, TORONTO, ON, M3B 2T5
 phone: 416.850.0021

info@urbanscaarchitect.com | www.urbanscapearchitect.com



NO.	DATE	REVISION DESCRIPTION	NOTE
1	2020-05-26	ISSUED FOR COA	CITY

NOTE:
 THIS DRAWING IS COPYRIGHTED INSTRUMENT OF SERVICE AND IT REMAINS THE PROPERTY OF THE CONSULTANT(S)
 USE AND REPRODUCTION OF THIS DRAWING WITHOUT THE CONSENT OF THE CONSULTANT(S) IS NOT ALLOWED
 WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS ANY DISCREPANCIES AND ERRORS TO BE REPORTED TO THE CONSULTANT(S)
 DO NOT PROCEED WITH WORK WITHOUT APPROVED REVISION TO THE DRAWING

STAMP

NORTH



PROJ./REV. NO.

306-20 EAST 25TH ST

SHEET TITLE

ROOF FLOOR PLAN
 SCALE: 3/16"=1'-0"

PROJECT

386A EAST 25TH STREET
 386 EAST 25TH ST, HAMILTON, ON L8V 3B1

DWG. NO.

A-1.3

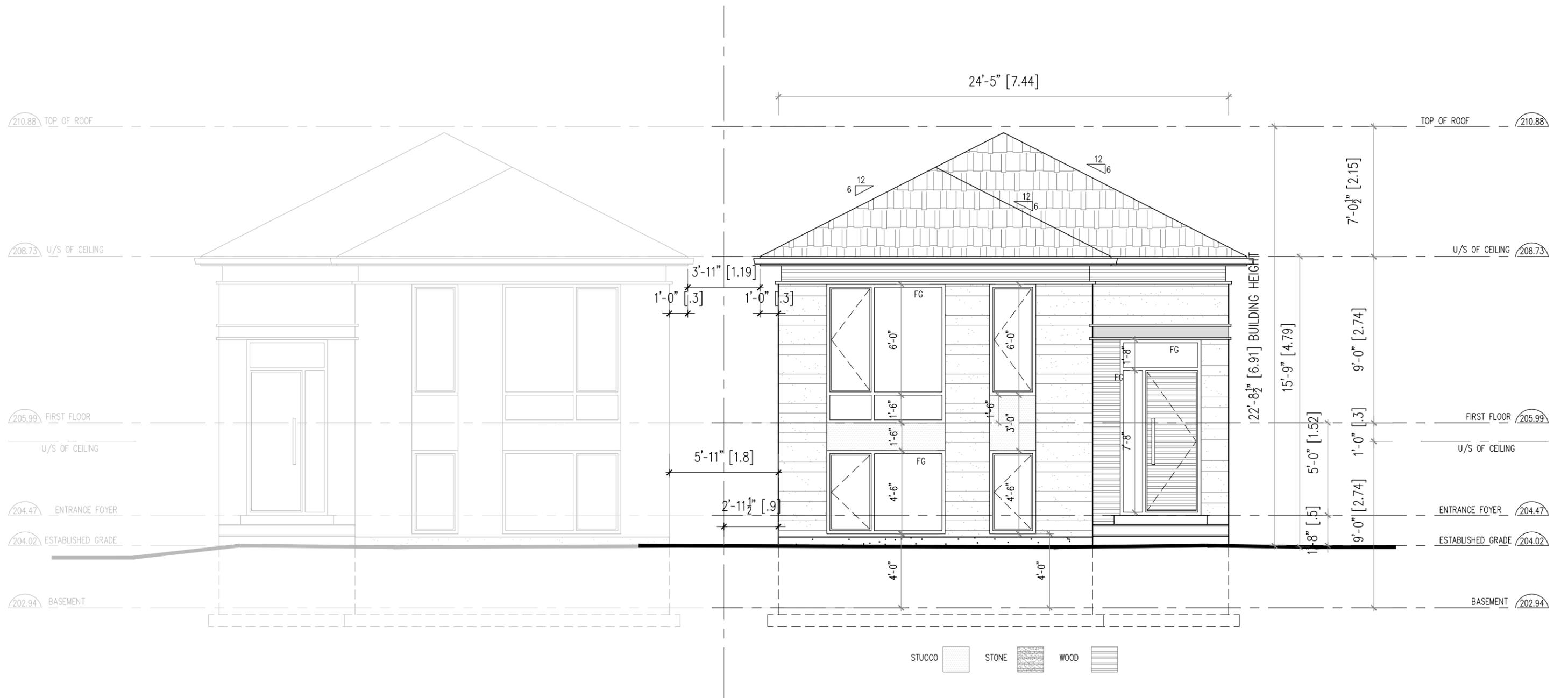
11"x17" SHEET SIZE

DESIGN



236 LESMILL ROAD, TORONTO, ON, M3B 2T5
 phone: 416.850.0021

info@urbanscaarchitect.com | www.urbanscapearchitect.com



NO.	DATE	REVISION DESCRIPTION	NOTE
1	2020-05-26	ISSUED FOR COA	CITY

NOTE:
 THIS DRAWING IS COPYRIGHTED INSTRUMENT OF SERVICE AND IT REMAINS THE PROPERTY OF THE CONSULTANT(S)
 USE AND REPRODUCTION OF THIS DRAWING WITHOUT THE CONSENT OF THE CONSULTANT(S) IS NOT ALLOWED
 WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS ANY DISCREPANCIES AND ERRORS TO BE REPORTED TO THE CONSULTANT(S)
 DO NOT PROCEED WITH WORK WITHOUT APPROVED REVISION TO THE DRAWING

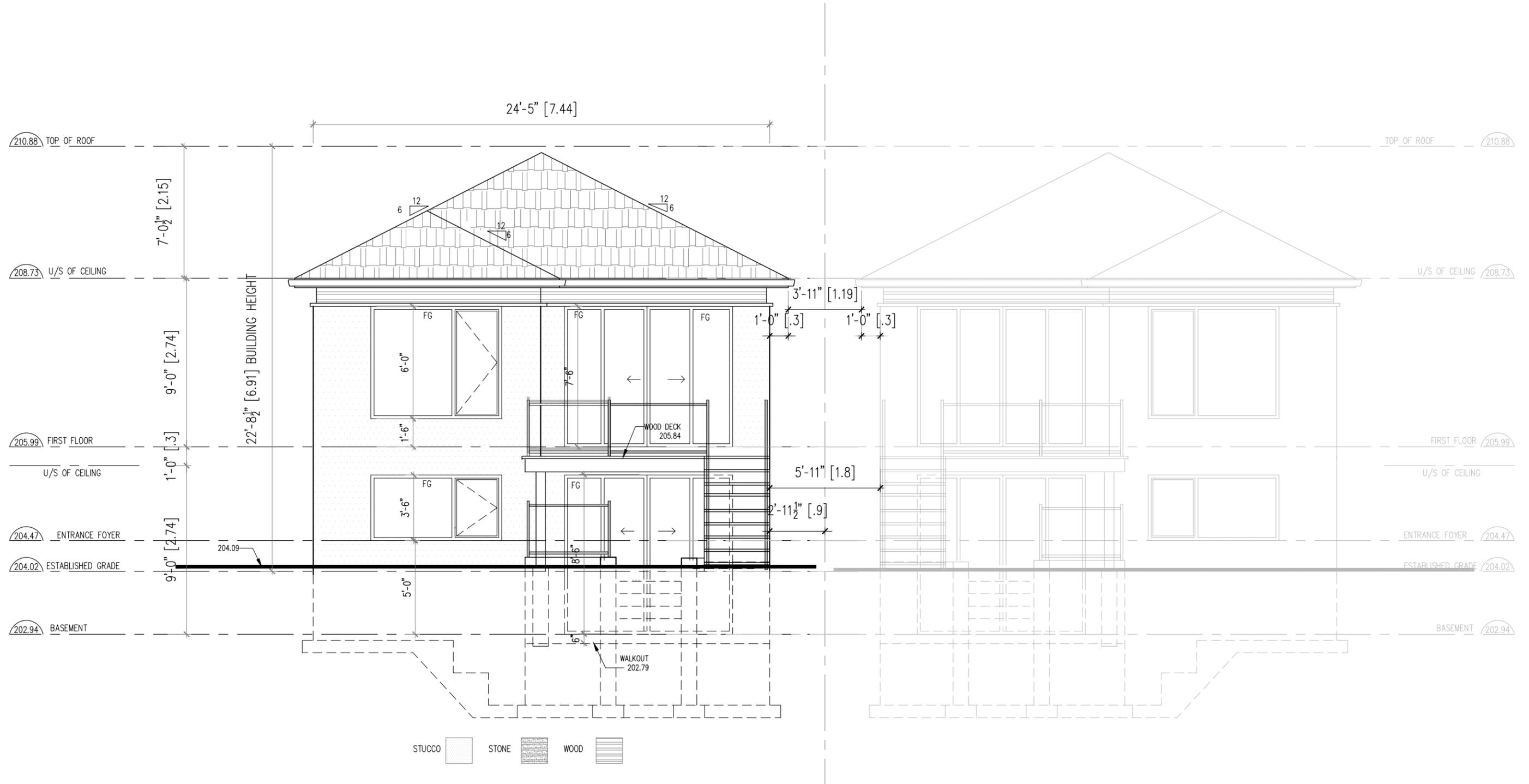
STAMP _____ NORTH _____

PROJ./REV. NO. 306-20 EAST 25TH ST
 SHEET TITLE FRONT ELEVATION
 SCALE: 3/16"=1'-0"
 PROJECT 386A EAST 25TH STREET
 386 EAST 25TH ST, HAMILTON, ON L8V 3B1

DWG NO. A-2.1
 11"x17" SHEET SIZE

DESIGN

236 LESMILL ROAD, TORONTO, ON, M3B 2T5
 phone: 416.850.0021
 info@urbanscaarchitect.com | www.urbanscaarchitect.com



NO.	DATE	REVISION DESCRIPTION	NOTE
1	2020-05-26	ISSUED FOR COA	CITY

NOTE:
 THIS DRAWING IS COPYRIGHTED INSTRUMENT OF SERVICE AND IT REMAINS THE PROPERTY OF THE CONSULTANT(S)
 USE AND REPRODUCTION OF THIS DRAWING WITHOUT THE CONSENT OF THE CONSULTANT(S) IS NOT ALLOWED
 WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS ANY DISCREPANCIES AND ERRORS TO BE REPORTED TO THE CONSULTANT(S)
 DO NOT PROCEED WITH WORK WITHOUT APPROVED REVISION TO THE DRAWING

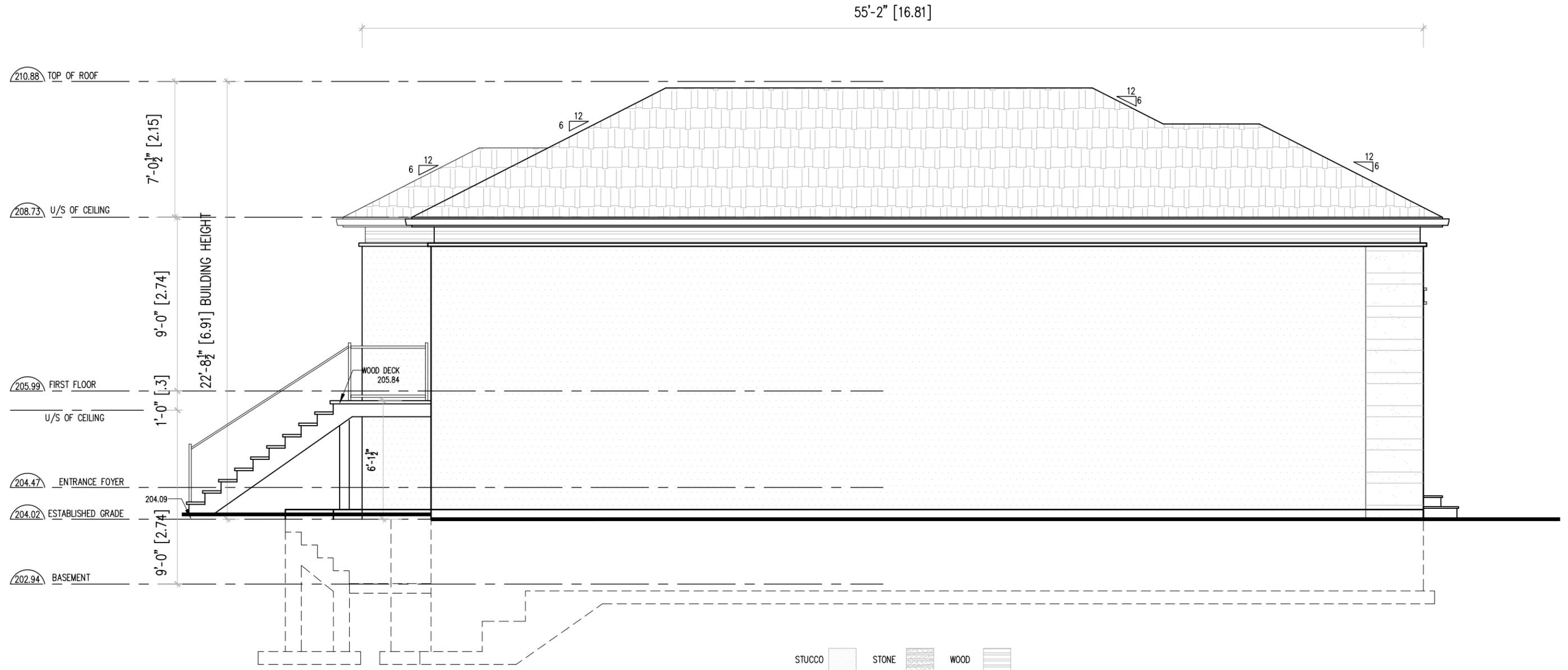
STAMP _____ NORTH _____

PROJ./REV. NO. 306-20 EAST 25TH ST
 SHEET TITLE REAR ELEVATION SCALE: 3/16"=1'-0"
 PROJECT 386A EAST 25TH STREET 386 EAST 25TH ST, HAMILTON, ON L8V 3B1

DWG. NO. A-2.2
 11"x17" SHEET SIZE

DESIGN

236 LESMILL ROAD, TORONTO, ON, M3B 2T5
 phone: 416.850.0021
 info@urbanscaarchitect.com | www.urbanscapearchitect.com



NO.	DATE	REVISION DESCRIPTION	NOTE
1	2020-05-26	ISSUED FOR COA	CITY

NOTE:
 THIS DRAWING IS COPYRIGHTED INSTRUMENT OF SERVICE AND IT REMAINS THE PROPERTY OF THE CONSULTANT(S)
 USE AND REPRODUCTION OF THIS DRAWING WITHOUT THE CONSENT OF THE CONSULTANT(S) IS NOT ALLOWED
 WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS ANY DISCREPANCIES AND ERRORS TO BE REPORTED TO THE CONSULTANT(S)
 DO NOT PROCEED WITH WORK WITHOUT APPROVED REVISION TO THE DRAWING

STAMP _____ NORTH _____

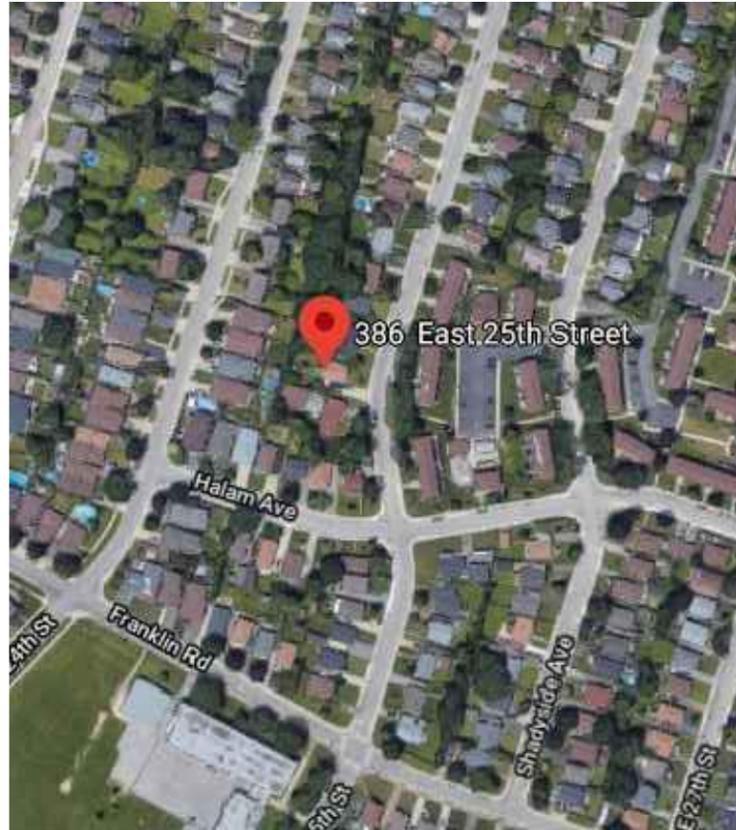
PROJ./REV. NO. 306-20 EAST 25TH ST
 SHEET TITLE SIDE (SOUTH) ELEVATION
 SCALE: 3/16"=1'-0"
 PROJECT 386A EAST 25TH STREET
 386 EAST 25TH ST, HAMILTON, ON L8V 3B1

DWG NO. A-2.3
 11"x17" SHEET SIZE

DESIGN

236 LESMILL ROAD, TORONTO, ON, M3B 2T5
 phone: 416.850.0021
 info@urbanscaarchitect.com | www.urbanscapearchitect.com

LOCATION



LIST OF DRAWINGS

- A-0.0 SITE STATISTIC
- A-0.1 SITE PLAN
- A-1.1 BASEMENT FLOOR PLAN
- A-1.2 GROUND FLOOR PLAN
- A-1.3 ROOF PLAN
- A-2.1 FRONT ELEVATION
- A-2.2 REAR ELEVATION
- A-2.3 SIDE (NORTH) ELEVATION
- A-2.4 SIDE (SOUTH) ELEVATION

BYLAW 6593

386 B EAST 25th STREET
HAMILTON , ON

NEW 1-STOREY SINGLE FAMILY DWELLING

SITE STATISTICS		
ZONING DESIGNATION		
MINIMUM LOT AREA	360 M ²	
PROPOSED LOT AREA	3960 FT ² [367.9 M ²]	
MINIMUM LOT WIDTH <small>(measured at 9.0 m from the front lot line)</small>	12 M	
PROPOSED LOT WIDTH	9.85 M	
HEIGHT	MAX. PERMITTED	PROPOSED
BUILDING HEIGHT	MAX. 11.0 M	6.91 M
SETBACKS	MIN. REQUIRED	PROPOSED
FRONT YARD SETBACK/EAST	6.0 M	8.68 M
REAR YARD SETBACK /WEST	7.50 M	12.01 M
SIDE YARD SETBACK /NORTH	1.20 M	0.90 M
SIDE YARD SETBACK /SOUTH	1.20 M	1.21 M
GROSS FLOOR AREA CALCULATIONS		
FIRST FLOOR	117.63 SQM [1266.21SQF]	
LANDSCAPING AREA CALCULATIONS		
AREA OF FRONT YARD	87.8	SQM [945.0 SQF]
AREA OF DRIVEWAY	36.24	SQM [390.1 SQF] 41.28%
AREA OF FRONT YARD LANDSCAPE <small>[AREA FRONT YARD- AREA OF DRIVEWAY]</small>	51.55	SQM [554.9 SQF] 58.72%
AREA OF SOFT LANDSCAPE	48.75	SQM [524.8 SQF] 94.5% 55.5% OF FRONT YARD
AREA OF HARD LANDSCAPE	2.8	SQM [30.1 SQF] 5.5%
TOTAL AREA OF SOFT LANDSCAPING	181.16	SQM [1950 SQF] 49.25%

NO.	DATE	REVISION DESCRIPTION	NOTE
1	2020-05-26	ISSUED FOR COA	CITY

NOTE:
 THIS DRAWING IS COPYRIGHTED INSTRUMENT OF SERVICE AND IT REMAINS THE PROPERTY OF THE CONSULTANT(S)
 USE AND REPRODUCTION OF THIS DRAWING WITHOUT THE CONSENT OF THE CONSULTANT(S) IS NOT ALLOWED
 WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS ANY DISCREPANCIES AND ERRORS TO BE REPORTED TO THE CONSULTANT(S)
 DO NOT PROCEED WITH WORK WITHOUT APPROVED REVISION TO THE DRAWING

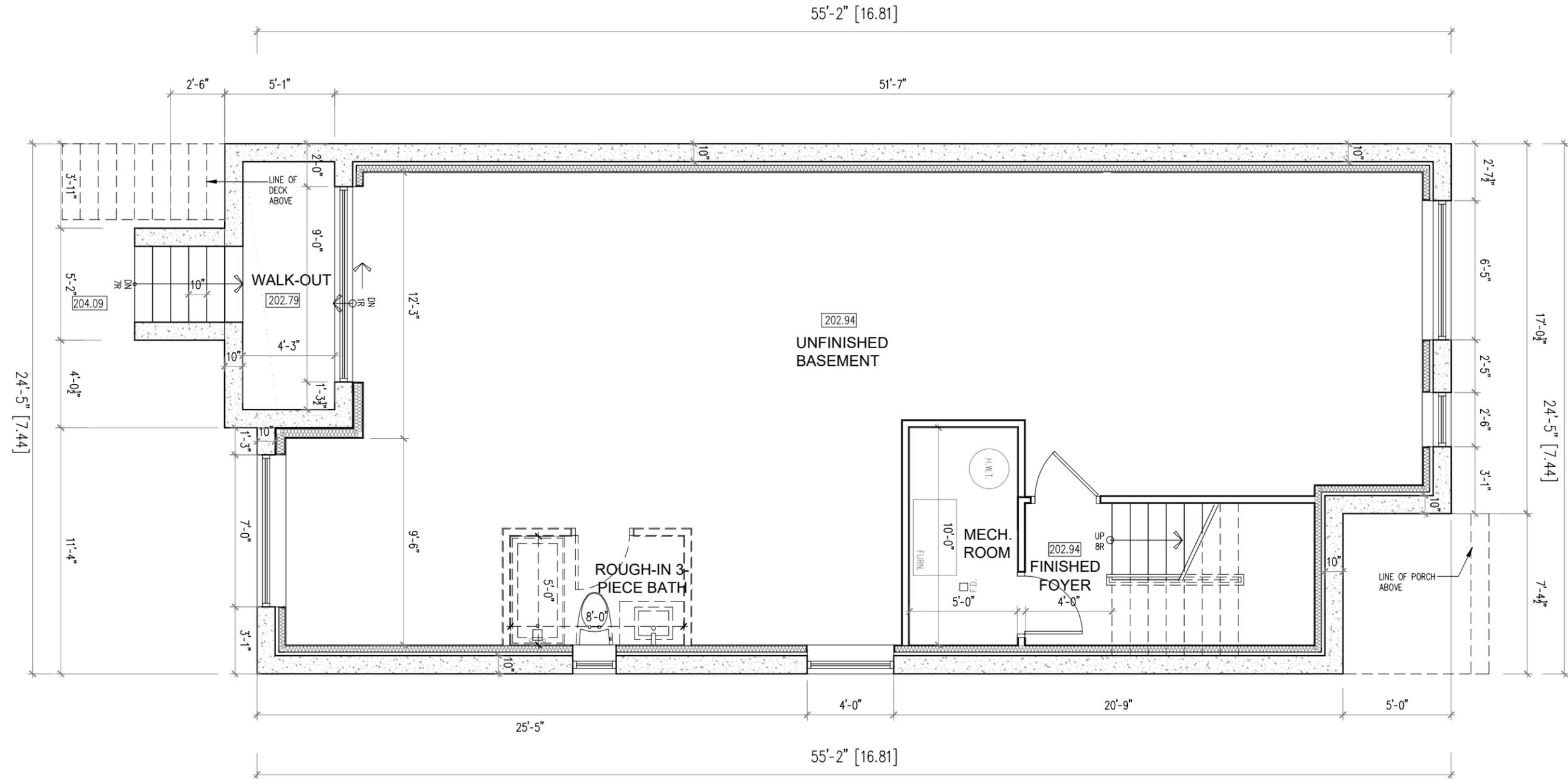
STAMP	NORTH

PROJ./REV. NO. 306-20 EAST 25TH ST	DWG NO. A-0.0
SHEET TITLE SITE STATISTIC	11"x17" SHEET SIZE
PROJECT 386B EAST 25TH STREET 386 EAST 25TH ST, HAMILTON, ON L8V 3B1	

DESIGN



236 LESMILL ROAD, TORONTO ,ON, M3B 2T5
 phone: 416.850.0021
 info@urbanscaarchitect.com | www.urbanscapearchitect.com



NO.	DATE	REVISION DESCRIPTION	NOTE
1	2020-05-26	ISSUED FOR COA	CITY

NOTE:
 THIS DRAWING IS COPYRIGHTED INSTRUMENT OF SERVICE AND IT REMAINS THE PROPERTY OF THE CONSULTANT(S)
 USE AND REPRODUCTION OF THIS DRAWING WITHOUT THE CONSENT OF THE CONSULTANT(S) IS NOT ALLOWED
 WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS ANY DISCREPANCIES AND ERRORS TO BE REPORTED TO THE CONSULTANT(S)
 DO NOT PROCEED WITH WORK WITHOUT APPROVED REVISION TO THE DRAWING

STAMP

NORTH

PROJ./REV. NO.
 306-20 EAST 25TH ST

SHEET TITLE
 BASEMENT FLOOR PLAN
 SCALE: 3/16"=1'-0"

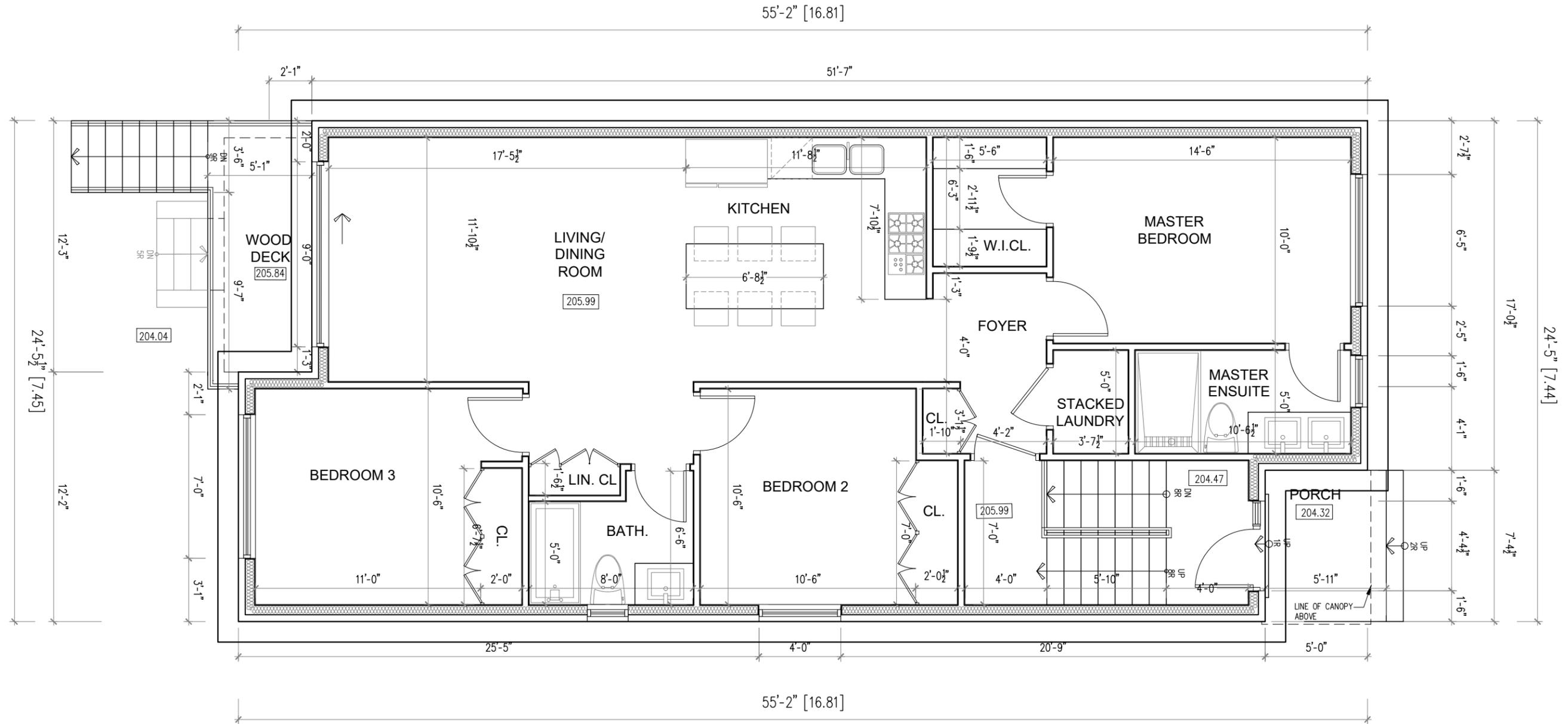
PROJECT
 386B EAST 25TH STREET
 386 EAST 25TH ST, HAMILTON, ON L8V 3B1

DWG. NO.
 A-1.1

11"x17" SHEET SIZE

DESIGN

236 LESMILL ROAD, TORONTO, ON, M3B 2T5
 phone: 416.850.0021
 info@urbanscaarchitect.com | www.urbanscapearchitect.com



NO.	DATE	REVISION DESCRIPTION	NOTE
1	2020-05-26	ISSUED FOR COA	CITY

NOTE:
 THIS DRAWING IS COPYRIGHTED INSTRUMENT OF SERVICE AND IT REMAINS THE PROPERTY OF THE CONSULTANT(S)
 USE AND REPRODUCTION OF THIS DRAWING WITHOUT THE CONSENT OF THE CONSULTANT(S) IS NOT ALLOWED
 WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS ANY DISCREPANCIES AND ERRORS TO BE REPORTED TO THE CONSULTANT(S)
 DO NOT PROCEED WITH WORK WITHOUT APPROVED REVISION TO THE DRAWING

STAMP

NORTH

PROJ./REV. NO
 306-20 EAST 25TH ST

SHEET TITLE
 GROUND FLOOR PLAN
 SCALE: 3/16"=1'-0"

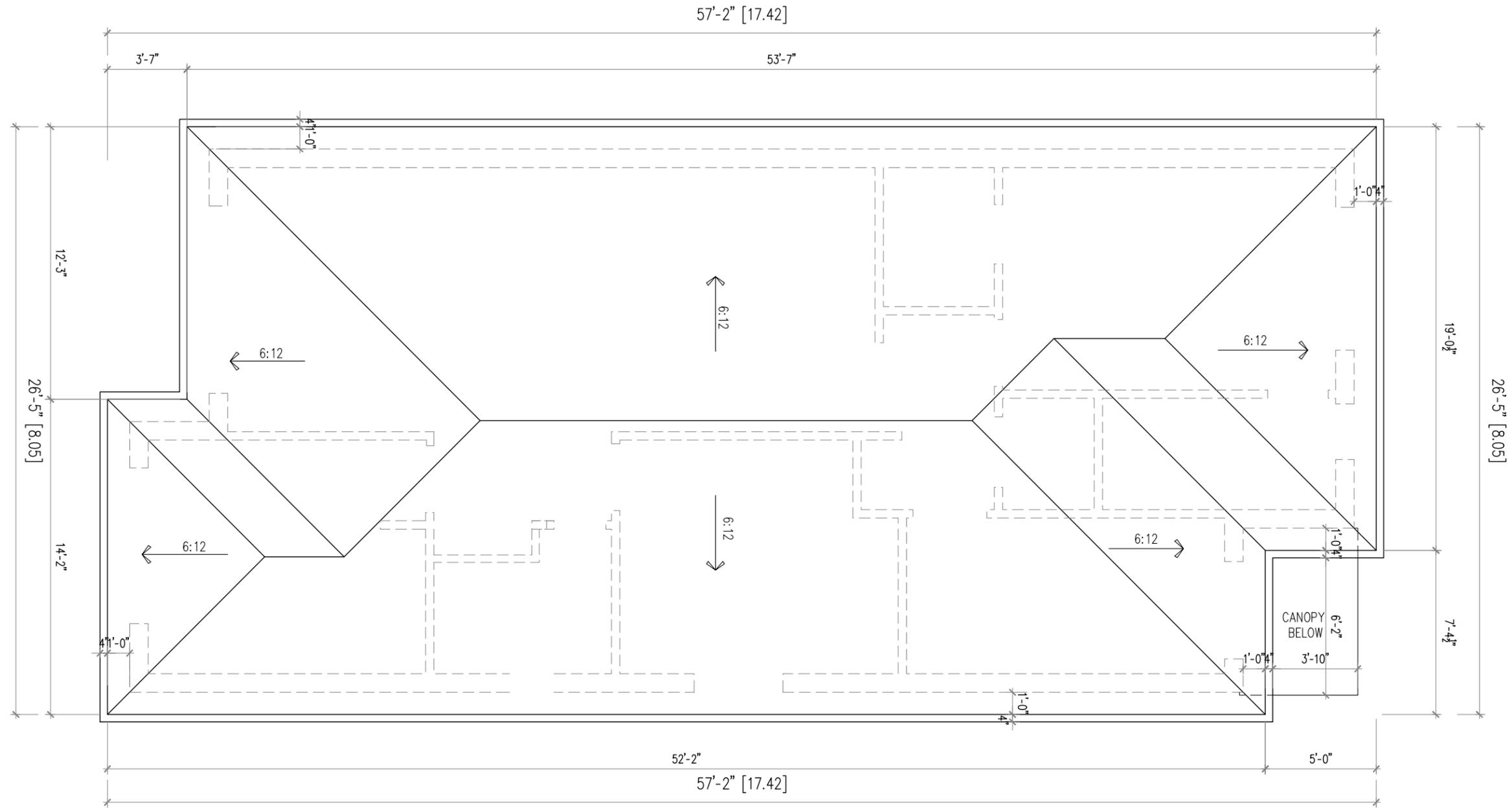
PROJECT
 386B EAST 25TH STREET
 386 EAST 25TH ST, HAMILTON, ON L8V 3B1

DWG. NO.
 A-1.2

11"x17" SHEET SIZE

DESIGN

236 LESMILL ROAD, TORONTO, ON, M3B 2T5
 phone: 416.850.0021
 info@urbanscaarchitect.com | www.urbanscapearchitect.com

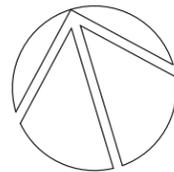


NO.	DATE	REVISION DESCRIPTION	NOTE
1	2020-05-26	ISSUED FOR COA	CITY

NOTE:
 THIS DRAWING IS COPYRIGHTED INSTRUMENT OF SERVICE AND IT REMAINS THE PROPERTY OF THE CONSULTANT(S)
 USE AND REPRODUCTION OF THIS DRAWING WITHOUT THE CONSENT OF THE CONSULTANT(S) IS NOT ALLOWED
 WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS ANY DISCREPANCIES AND ERRORS TO BE REPORTED TO THE CONSULTANT(S)
 DO NOT PROCEED WITH WORK WITHOUT APPROVED REVISION TO THE DRAWING

STAMP

NORTH



PROJ./REV. NO.

306-20 EAST 25TH ST

SHEET TITLE

ROOF PLAN
 SCALE: 3/16"=1'-0"

PROJECT

386B EAST 25TH STREET
 386 EAST 25TH ST, HAMILTON, ON L8V 3B1

DWG. NO.

A-1.3

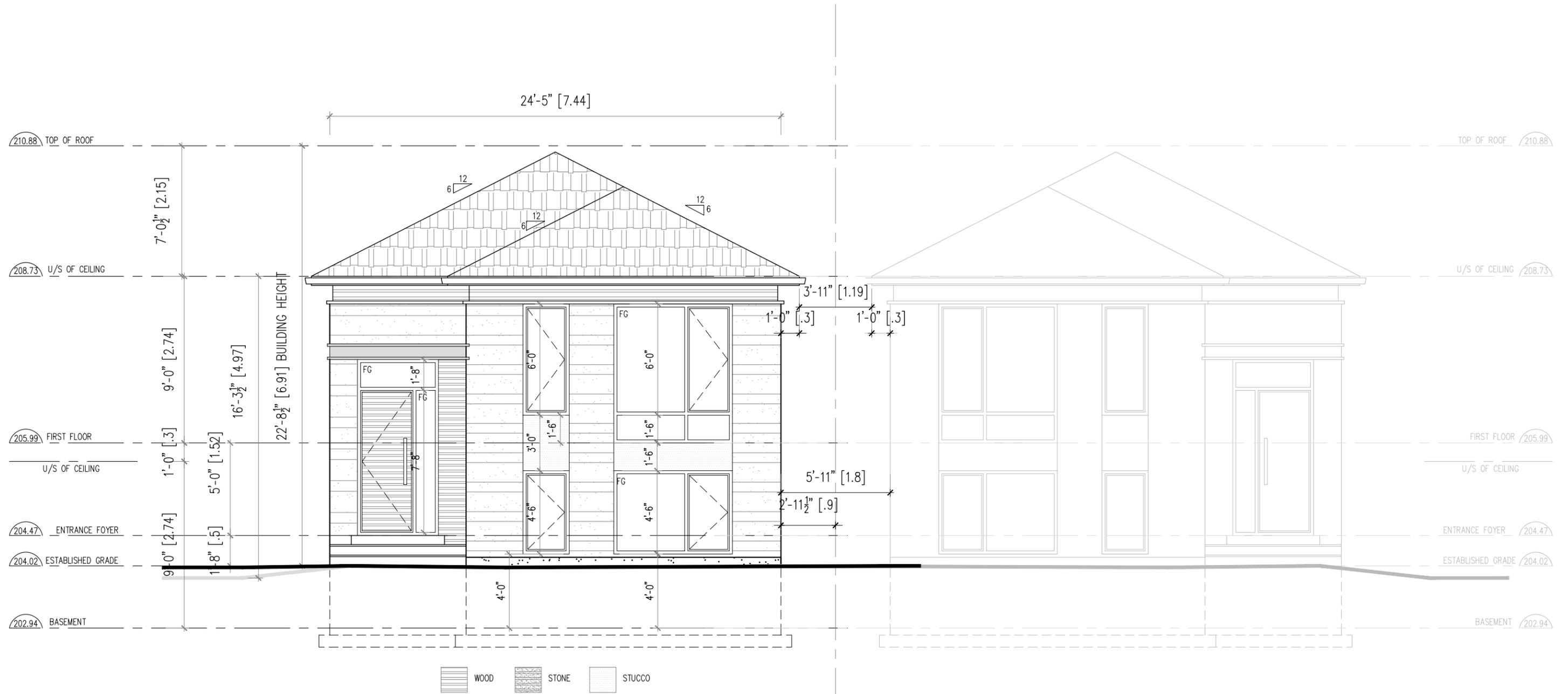
11"x17" SHEET SIZE

DESIGN



236 LESMILL ROAD, TORONTO, ON, M3B 2T5
 phone: 416.850.0021

info@urbanscaarchitect.com | www.urbanscapearchitect.com



NO.	DATE	REVISION DESCRIPTION	NOTE
1	2020-05-26	ISSUED FOR COA	CITY

NOTE:
 THIS DRAWING IS COPYRIGHTED INSTRUMENT OF SERVICE AND IT REMAINS THE PROPERTY OF THE CONSULTANT(S)
 USE AND REPRODUCTION OF THIS DRAWING WITHOUT THE CONSENT OF THE CONSULTANT(S) IS NOT ALLOWED
 WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS ANY DISCREPANCIES AND ERRORS TO BE REPORTED TO THE CONSULTANT(S)
 DO NOT PROCEED WITH WORK WITHOUT APPROVED REVISION TO THE DRAWING

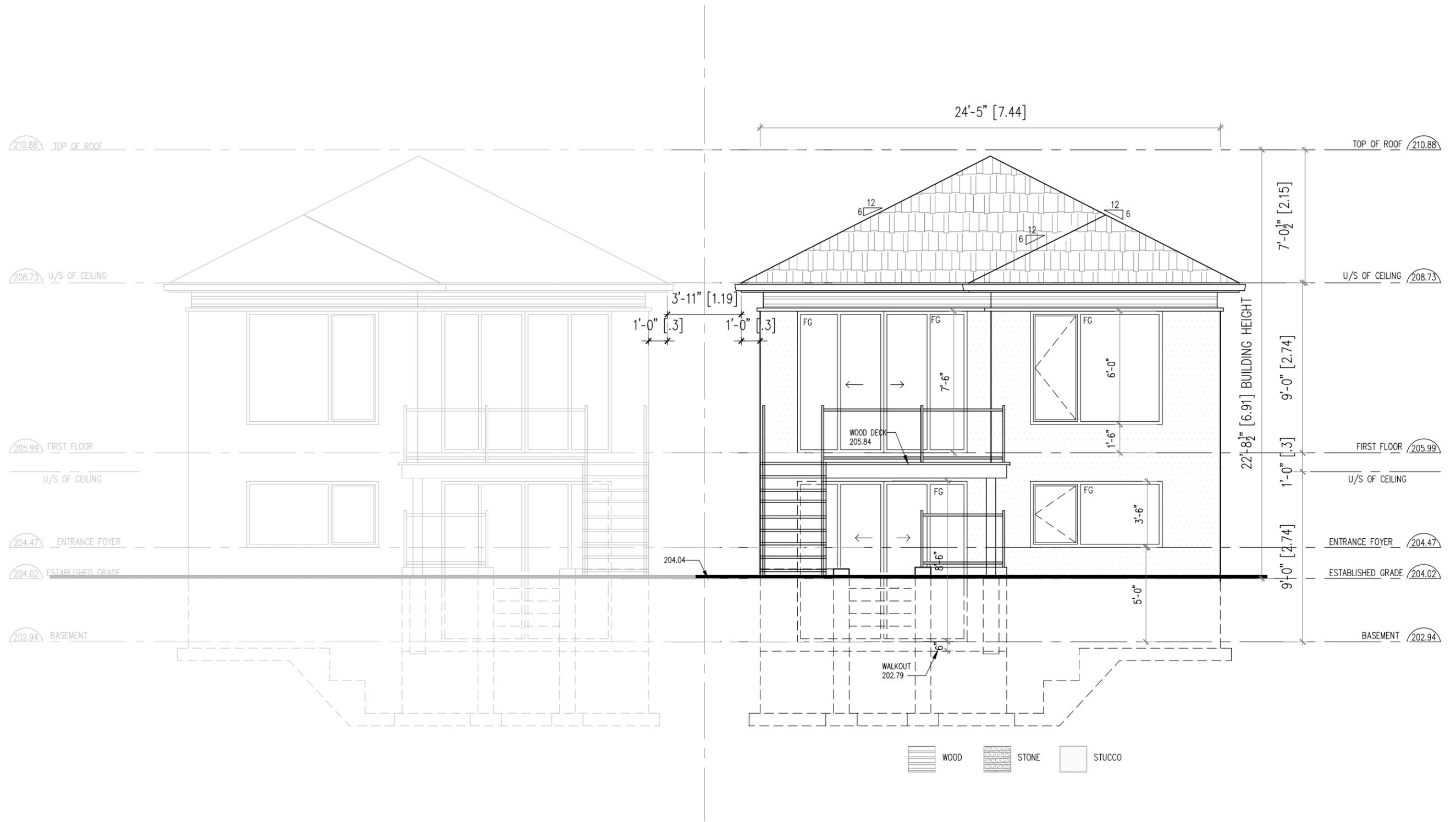
STAMP _____ NORTH _____

PROJ./REV. NO. 306-20 EAST 25TH ST
 SHEET TITLE FRONT ELEVATION
 SCALE: 3/16"=1'-0"
 PROJECT 386B EAST 25TH STREET
 386 EAST 25TH ST, HAMILTON, ON L8V 3B1

DWG NO. A-2.1
 11"x17" SHEET SIZE

DESIGN

236 LESMILL ROAD, TORONTO, ON, M3B 2T5
 phone: 416.850.0021
 info@urbanscaarchitect.com | www.urbanscapearchitect.com



NO.	DATE	REVISION DESCRIPTION	NOTE
1	2020-05-26	ISSUED FOR COA	CITY

NOTE:
 THIS DRAWING IS COPYRIGHTED INSTRUMENT OF SERVICE AND IT REMAINS THE PROPERTY OF THE CONSULTANT(S)
 USE AND REPRODUCTION OF THIS DRAWING WITHOUT THE CONSENT OF THE CONSULTANT(S) IS NOT ALLOWED
 WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS ANY DISCREPANCIES AND ERRORS TO BE REPORTED TO THE CONSULTANT(S)
 DO NOT PROCEED WITH WORK WITHOUT APPROVED REVISION TO THE DRAWING

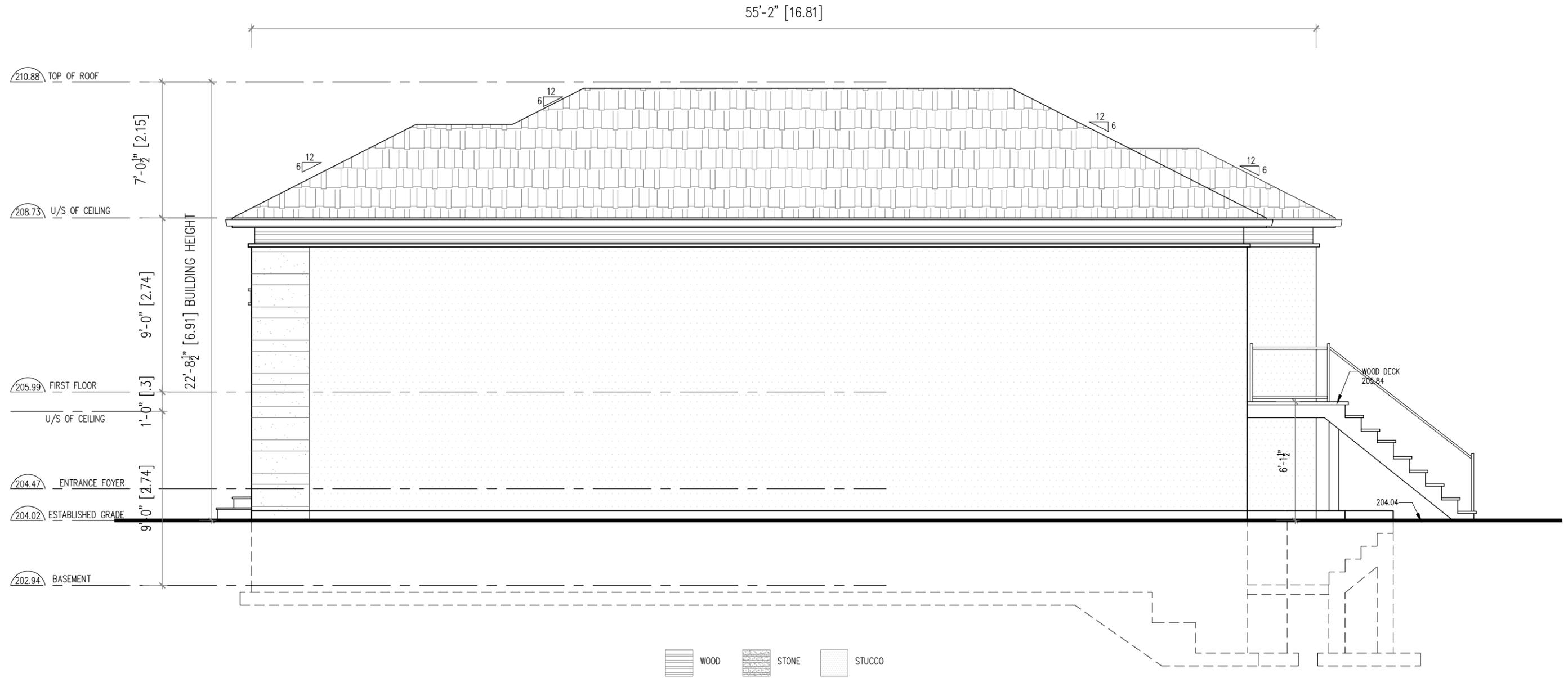
STAMP _____
 NORTH _____

PROJ./REV. NO.
 306-20 EAST 25TH ST
 SHEET TITLE
 REAR ELEVATION
 SCALE: 3/16"=1'-0"
 PROJECT
 386B EAST 25TH STREET
 386 EAST 25TH ST, HAMILTON, ON L8V 3B1

DWG NO.
 A-2.2
 11"x17" SHEET SIZE

DESIGN

236 LESMILL ROAD, TORONTO, ON, M3B 2T5
 phone: 416.850.0021
 info@urbanscaarchitect.com | www.urbanscapearchitect.com



NO.	DATE	REVISION DESCRIPTION	NOTE
1	2020-05-26	ISSUED FOR COA	CITY

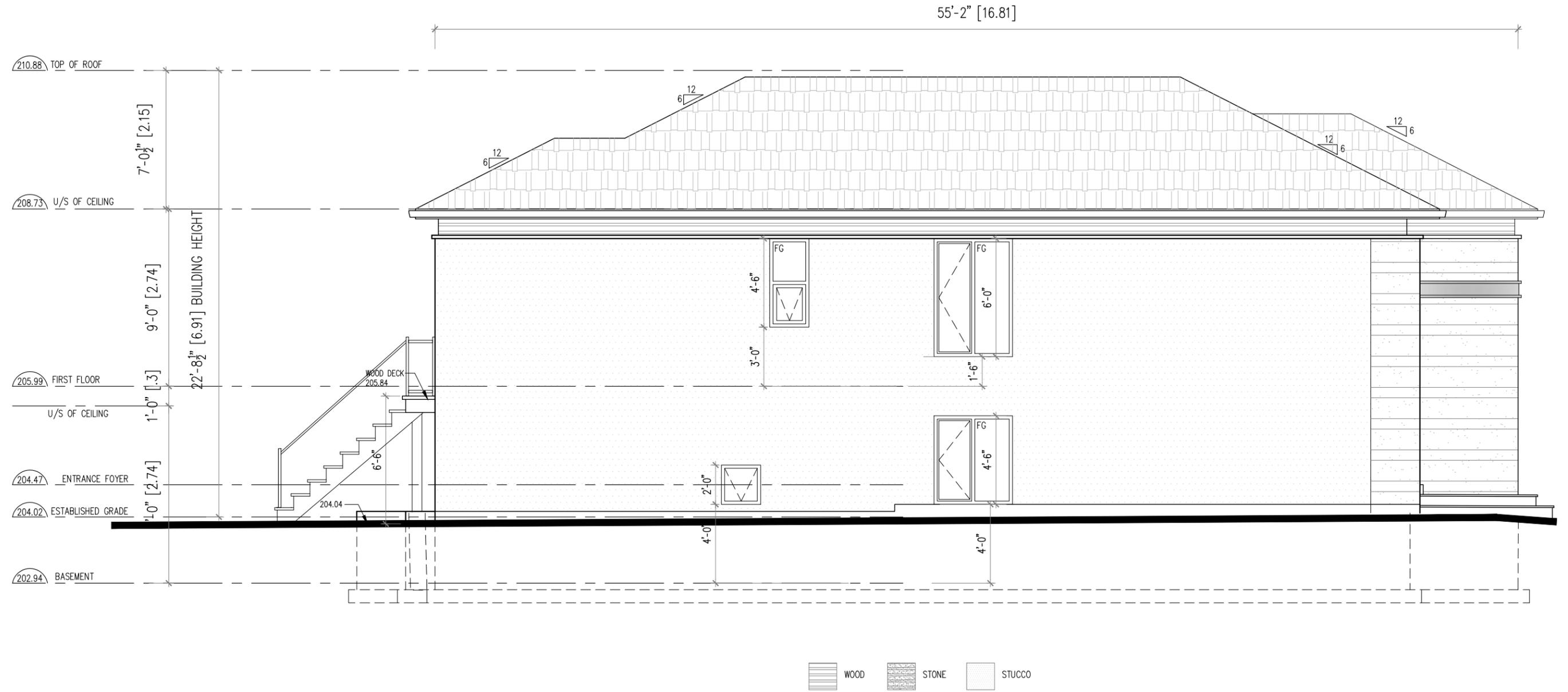
NOTE:
 THIS DRAWING IS COPYRIGHTED INSTRUMENT OF SERVICE AND IT REMAINS THE PROPERTY OF THE CONSULTANT(S)
 USE AND REPRODUCTION OF THIS DRAWING WITHOUT THE CONSENT OF THE CONSULTANT(S) IS NOT ALLOWED
 WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS ANY DISCREPANCIES AND ERRORS TO BE REPORTED TO THE CONSULTANT(S)
 DO NOT PROCEED WITH WORK WITHOUT APPROVED REVISION TO THE DRAWING

STAMP	NORTH

PROJ./REV. NO. 306-20 EAST 25TH ST	DWG. NO. A-2.3
SHEET TITLE SIDE(NORTH) ELEVATION SCALE: 3/16"=1'-0"	11"x17" SHEET SIZE
PROJECT 386B EAST 25TH STREET 386 EAST 25TH ST, HAMILTON, ON L8V 3B1	

DESIGN

236 LESMILL ROAD, TORONTO, ON, M3B 2T5
 phone: 416.850.0021
 info@urbanscaarchitect.com | www.urbanscapearchitect.com



NO.	DATE	REVISION DESCRIPTION	NOTE
1	2020-05-26	ISSUED FOR COA	CITY

NOTE:
 THIS DRAWING IS COPYRIGHTED INSTRUMENT OF SERVICE AND IT REMAINS THE PROPERTY OF THE CONSULTANT(S)
 USE AND REPRODUCTION OF THIS DRAWING WITHOUT THE CONSENT OF THE CONSULTANT(S) IS NOT ALLOWED
 WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS ANY DISCREPANCIES AND ERRORS TO BE REPORTED TO THE CONSULTANT(S)
 DO NOT PROCEED WITH WORK WITHOUT APPROVED REVISION TO THE DRAWING

STAMP _____

NORTH _____

PROJ./REV. NO
 306-20 EAST 25TH ST

SHEET TITLE
 SIDE(SOUTH) ELEVATION
 SCALE: 3/16"=1'-0"

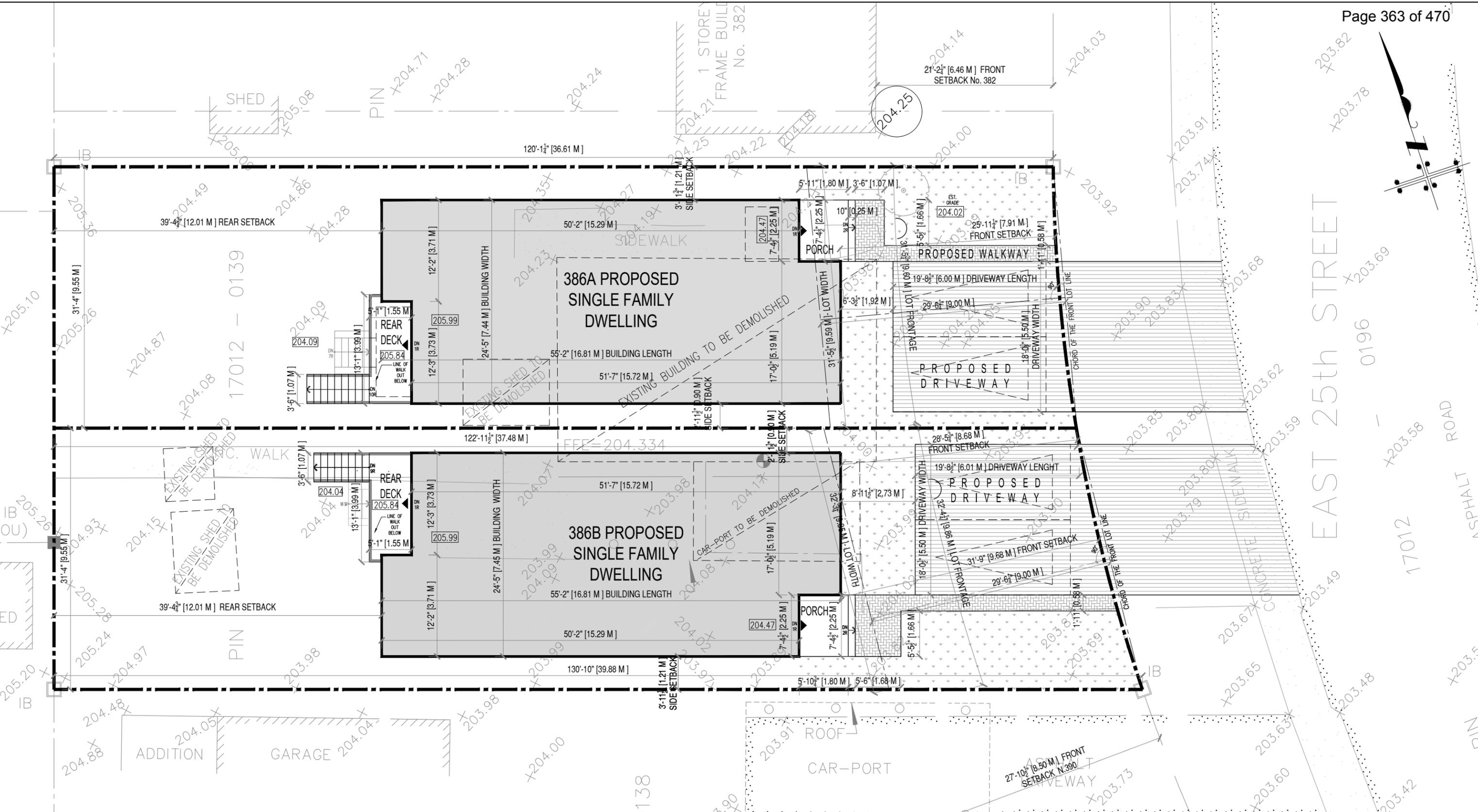
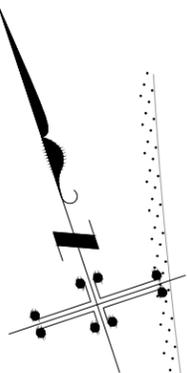
PROJECT
 386B EAST 25TH STREET
 386 EAST 25TH ST, HAMILTON, ON L8V 3B1

DWG NO.
 A-2.4

11"x17" SHEET SIZE

DESIGN

236 LESMILL ROAD, TORONTO, ON, M3B 2T5
 phone: 416.850.0021
 info@urbanscaarchitect.com | www.urbanscapearchitect.com



NO.	DATE	REVISION DESCRIPTION	NOTE
1	2020-05-26	ISSUED FOR SEVERANCE APPLICATION	CITY

NOTE:
 THIS DRAWING IS COPYRIGHTED INSTRUMENT OF SERVICE AND IT REMAINS THE PROPERTY OF THE CONSULTANT(S)
 USE AND REPRODUCTION OF THIS DRAWING WITHOUT THE CONSENT OF THE CONSULTANT(S) IS NOT ALLOWED
 WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS ANY DISCREPANCIES AND ERRORS TO BE REPORTED TO THE CONSULTANT(S)
 DO NOT PROCEED WITH WORK WITHOUT APPROVED REVISION TO THE DRAWING

STAMP

NORTH

PROJ./REV. NO.
 306-20 EAST 25TH ST

SHEET TITLE
 SITE PLAN
 SCALE: 3/32"=1'-0"

PROJECT
 386 EAST 25TH STREET
 386 EAST 25TH ST, HAMILTON, ON L8V 3B1

DWG. NO.
 S-0.1

DESIGN

236 LESMILL ROAD, TORONTO, ON, M3B 2T5
 phone: 416.850.0021
 info@urbanscaarchitect.com | www.urbanscaarchitect.com



SURVEYOR'S REAL PROPERTY REPORT
PLAN OF SURVEY WITH TOPOGRAPHY OF
PART OF LOTS 52 and 53
REGISTERED PLAN No. 995

BEING IN THE
CITY OF HAMILTON

SCALE 1:250



MackAY, MackAY & PETERS LIMITED - ONTARIO LAND SURVEYORS
 © 2020

KNOWN AS MUNICIPAL No. 386 EAST 25th STREET

REPORT SUMMARY (PART 2) (to be read in conjunction with Part 1)

LAND REGISTRY OFFICE TITLE INFORMATION ON SUBJECT PROPERTY INCLUDING BOUNDARIES, EASEMENTS AND RIGHT OF WAYS - DECEMBER 18, 2019

REGISTERED EASEMENTS AND/OR RIGHTS-OF-WAY:
 NONE

ADDITIONAL REMARKS:
 REFER TO PART 1 OF SURVEY FOR THE LOCATION OF BUILDINGS, STRUCTURES, FENCES AND UTILITIES.

Note:
 MacKAY, MacKAY & PETERS LIMITED grants EMIL JOSEPH ("The Client(s)"), their solicitor and other related parties permission to use "Original Copies" of the Surveyor's Real Property Report in transactions involving "The Client(s)".

"METRIC" DISTANCES SHOWN HEREON ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

Benchmark Note:
 GEODETIC SURVEY OF CANADA BENCHMARK No. 0011965U059 ELEVATION = 203.774 METRES (CGVD 1928:1978 READJUSTMENT)

HAMILTON-WENTWORTH FRANKLIN ROAD SCHOOL, AT SOUTHWEST CORNER OF UPPER SHERMAN AVENUE AND FRANKLIN ROAD, TABLET IN NORTH FRONT CONCRETE FOUNDATION WALL, 0.91 METRES FROM NORTHEAST CORNER, 1.21 METRES BELOW BRICK, 4.57 METRES EAST OF AND OPPOSITE EAST EDGE OF EAST 28th STREET.

Bearing Reference:
 BEARINGS ARE ASTRONOMIC AND ARE REFERRED TO THE WEST LIMIT OF EAST 25th STREET, HAVING A BEARING OF N18°21'30"E, AS SHOWN ON REGISTERED PLAN No. 995.

- Legend:**
- DENOTES A SURVEY MONUMENT PLANTED
 - DENOTES A SURVEY MONUMENT FOUND
 - IB DENOTES STANDARD IRON BAR
 - IB DENOTES IRON BAR
 - CM DENOTES CONCRETE MONUMENT
 - OU DENOTES ORIGIN UNKNOWN
 - PN DENOTES PROPERTY IDENTIFICATION NUMBER
 - R.P. DENOTES REGISTERED PLAN
 - FFE DENOTES FINISHED FLOOR ELEVATION
 - P1 DENOTES PLAN BY MACKAY & MACKAY, DATED AUGUST 2, 1955 (S-3096)
 - P2 DENOTES PLAN 62R-21266
 - H- DENOTES AERIAL HYDRO WIRES
 - DENOTES DECIDUOUS TREE SCALED TO CANOPY, TRUNK SIZE SHOWN IN METRES

Surveyor's Certificate:
 I CERTIFY THAT:
 1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT AND THE LAND TITLES ACT AND THE REGULATIONS MADE UNDER THEM.
 2. THE SURVEY WAS COMPLETED ON THE 6th DAY OF FEBRUARY, 2020.

FEBRUARY 6, 2020 DATE
 ROY C. MAYO
 ONTARIO LAND SURVEYOR
 FOR MACKAY, MACKAY & PETERS LIMITED

ASSOCIATION OF ONTARIO LAND SURVEYORS
 PLAN SUBMISSION FORM
 2114106

THIS PLAN IS NOT VALID UNLESS IT IS AN EMBOSSED ORIGINAL COPY ISSUED BY THE SURVEYOR In accordance with Regulation 1026, Section 29(3)

CAD FILE: E:\(62) Hamilton-Wentworth\Registered Plans\RP0995\LOT 52-53\19-305-19-305-SRPR.dwg

MMP
 MacKay, MacKay & Peters Limited
 LAND SURVEYORS & MAPPERS
 SINCE 1906

3380 South Service Road
 Unit 101
 Burlington, ON
 L7N 3J5
 (905) 639-1375
 halton@mmplimited.com
 mmpsurveyors.ca
 mmplocators.ca

DRAWN BY: S.R.H.
 PARTY CHIEF: N.C.
 CHECKED BY: *[Signature]*
 PROJECT NO: 19-305



Hamilton

COMMITTEE OF ADJUSTMENT

City Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5
 Telephone (905) 546-2424, ext. 4221, 3935 Fax (905) 546-4202
 E-mail: cofa@hamilton.ca

NOTICE OF PUBLIC HEARING
Minor Variance

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
- Applicant/agent on file, or
- Person likely to be interested in this application

APPLICATION NO.: HM/A-20:126

APPLICANTS: Owner: 2628934 Ontario Inc. c/o Igor Chouminov and Emil Joseph
 Agent: A.J. Clarke & Associates Ltd. c/o Stephen Fraser

SUBJECT PROPERTY: Municipal address **386 East 25th St., Hamilton**

ZONING BY-LAW: Zoning By-law 6593, as Amended

ZONING: C (Urban Protected Residential, etc.) district

PROPOSAL: To permit a lot to be retained to contain a single family dwelling and to permit a lot to be conveyed to contain a single family dwelling notwithstanding that:

1. A minimum lot width of 9.5m shall be provided instead of the minimum required lot width of 12.0m.
2. A minimum lot area of 350m² shall be provided instead of the minimum required lot area of 360m².
3. A minimum side yard width of 0.9m shall be provided on one side and a minimum side yard of 1.2m shall be provided on the other side instead of the minimum required side yard width of 1.2m.
4. A 0.0m aisle width manoeuvring space shall be provided instead of the minimum required 6.0m aisle width manoeuvring space.
5. The required two (2) parking space shall be permitted to be located within the required front yard instead of the requirement that no part of a required parking space for a single family dwelling shall be located in a required front yard.

NOTE:

- i) The variances are intended for each of the lots to be retained and conveyed.
- ii) The existing dwelling and three (3) existing sheds are intended to be demolished.

This application will be heard by the Committee as shown below:

DATE: Thursday, August 6th, 2020
TIME: 3:15 p.m.
PLACE: Via video link or call in (see attached sheet for details)
To be streamed at www.hamilton.ca/committeeofadjustment for viewing purposes only

HM/A-20:126

Page 2

PUBLIC INPUT

Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

Orally: If you would like to speak to this item at the hearing you may do so via video link or by calling in. Please see attached page for complete instructions, including deadlines for registering to participate.

MORE INFORMATION

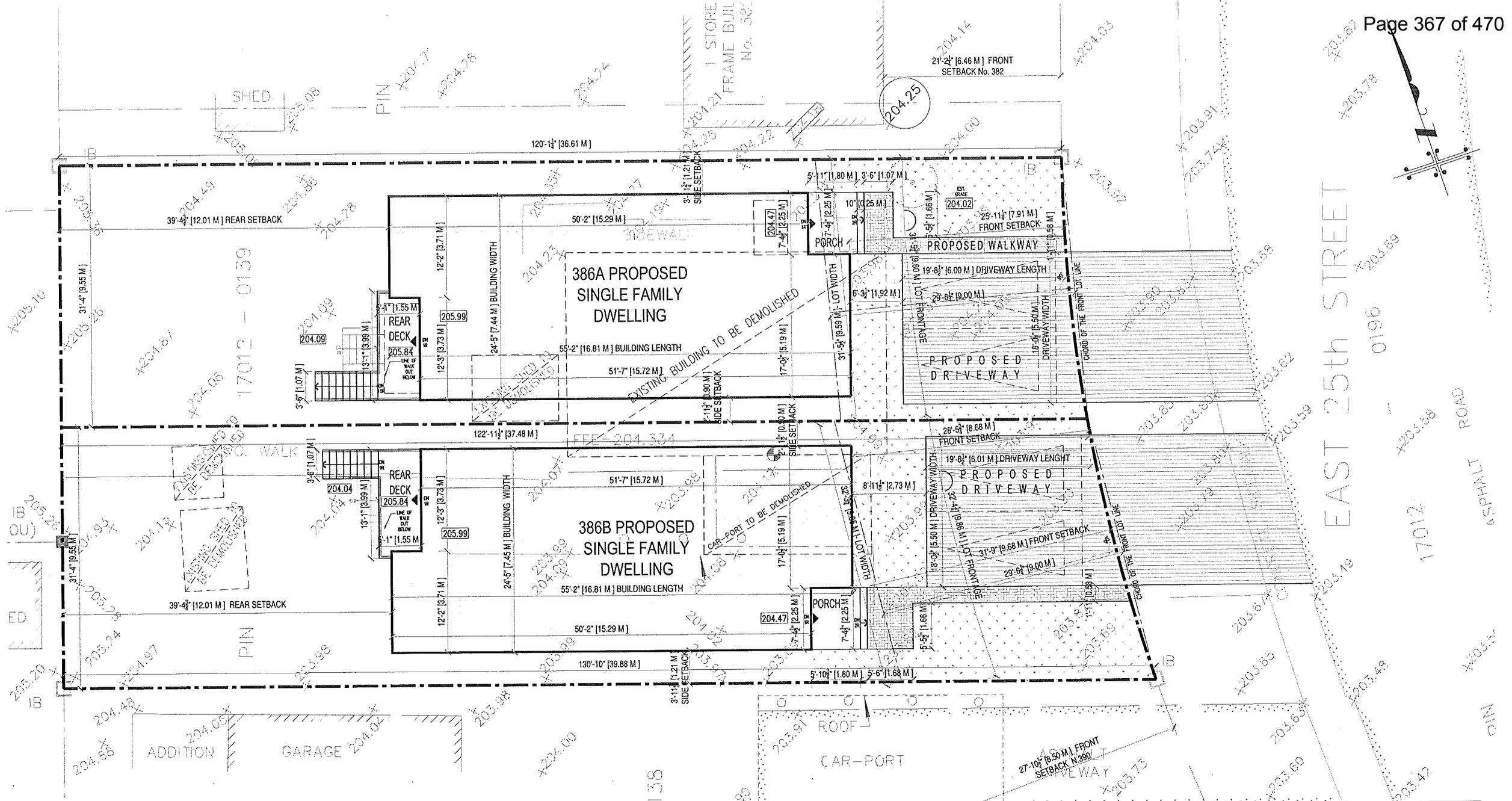
For more information on this matter, including access to drawings illustrating this request:

- Visit www.hamilton.ca/committeeofadjustment
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935
- Email Committee of Adjustment staff at cofa@hamilton.ca

DATED: July 21st, 2020

Jamila Sheffield,
Secretary-Treasurer
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public.



NO.	DATE	REVISION DESCRIPTION	NOTE
1	2020-05-26	ISSUED FOR SEVERANCE APPLICATION	CITY

NOTE:
 THIS DRAWING IS COPYRIGHTED INSTRUMENT OF SERVICE AND IT REMAINS THE PROPERTY OF THE CONSULTANT(S).
 USE AND REPRODUCTION OF THIS DRAWING WITHOUT THE CONSENT OF THE CONSULTANT(S) IS NOT ALLOWED.
 WRITTEN DISSEMINATION OF THIS DRAWING TO ANY OTHER PARTY WITHOUT THE WRITTEN CONSENT OF THE CONSULTANT(S) IS NOT PERMITTED.
 DO NOT PROCEED WITH WORK WITHOUT APPROVED REVISION TO THE DRAWING.

STAMP

NORTH

PROJ/REV: NO
 306-20 EAST 25TH ST

SHEET TITLE
 SITE PLAN
 SCALE: 3/32"=1'-0"

PROJ/ECT
 386 EAST 25TH STREET
 386 EAST 25TH ST, HAMILTON, ON L8V 3B1

DRG NO.
 S-01

11"X17" SHEET SIZE

DESIGN

URBANSCAPE ARCHITECTS

236 LESMILL ROAD, TORONTO, ON, M3B 2T5
 phone: 416.850.0021
 info@urbanscapearchitect.com | www.urbanscapearchitect.com



LIST OF DRAWINGS

- A-0.0 SITE STATISTIC
- A-0.1 SITE PLAN
- A-1.1 BASEMENT FLOOR PLAN
- A-1.2 GROUND FLOOR PLAN
- A-1.3 ROOF PLAN
- A-2.1 FRONT ELEVATION
- A-2.2 REAR ELEVATION
- A-2.3 SIDE (NORTH) ELEVATION
- A-2.4 SIDE (SOUTH) ELEVATION

BYLAW 6593

**386 A EAST 25th STREET
HAMILTON , ON**

NEW 1-STOREY SINGLE FAMILY DWELLING

SITE STATISTICS

ZONING DESIGNATION

MINIMUM LOT AREA	360 M ²
PROPOSED LOT AREA	3794 FT ² [352.5 M ²]
MINIMUM LOT WIDTH <small>(measured at 9.0 m from the front lot line)</small>	12 M

PROPOSED LOT WIDTH	9.59 M
--------------------	--------

HEIGHT	MAX. PERMITTED	PROPOSED
BUILDING HEIGHT	MAX. 11.0 M	6.91 M

SETBACKS	MIN. REQUIRED	PROPOSED
FRONT YARD SETBACK/EAST	6.0 M	7.91 M
REAR YARD SETBACK /WEST	7.50 M	12.01 M
SIDE YARD SETBACK /NORTH	1.20 M	1.21 M
SIDE YARD SETBACK /SOUTH	1.20 M	0.90 M

GROSS FLOOR AREA CALCULATIONS

FIRST FLOOR	117.63 SQM [1266.21SQF]
-------------	-------------------------

LANDSCAPING AREA CALCULATIONS

AREA OF FRONT YARD	73.55 SQM [791.7 SQF]	
AREA OF DRIVEWAY	36.24 SQM [371.1 SQF]	46.9%
AREA OF FRONT YARD LANDSCAPE <small>[AREA FRONT YARD- AREA OF DRIVEWAY]</small>	37.30 SQM [420.6 SQF]	53.1%
AREA OF SOFT LANDSCAPE	36.1 SQM [401.4 SQF]	95.4% 50.7% OF FRONT YARD
AREA OF HARD LANDSCAPE	1.78 SQM [19.2 SQF]	4.6%
TOTAL AREA OF SOFT LANDSCAPING	169.64 SQM [1826 SQF]	48.1%

NO.	DATE	REVISION DESCRIPTION	NOTE
1	2020-05-26	ISSUED FOR COA	CITY

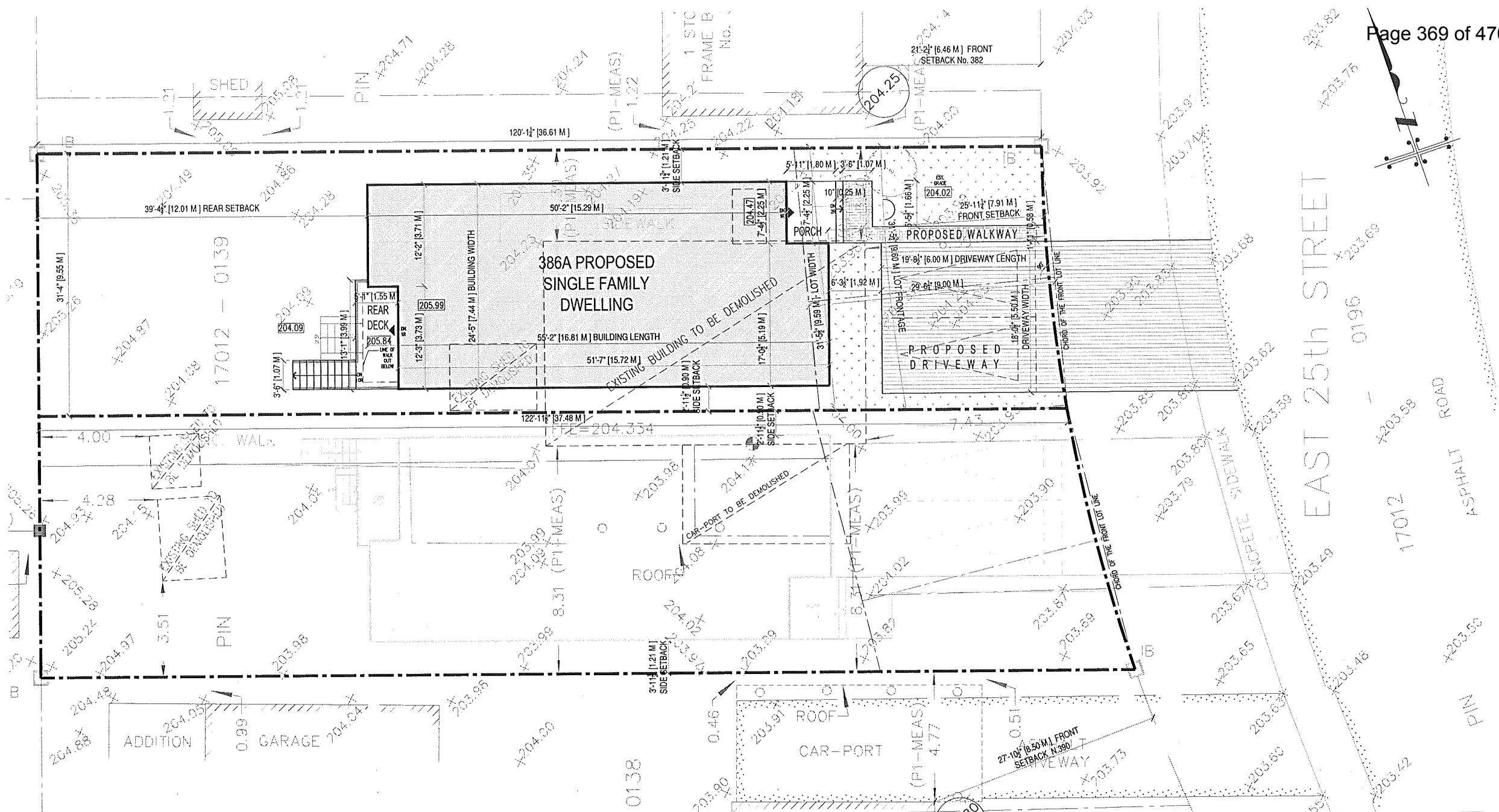
NOTE:
THIS DRAWING IS COPYRIGHTED INSTRUMENT OF SERVICE AND IT REMAINS THE PROPERTY OF THE CONSULTANT(S).
USE AND REPRODUCTION OF THIS DRAWING WITHOUT THE CONSENT OF THE CONSULTANT(S) IS NOT ALLOWED.
WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS. ANY DISCREPANCIES AND ERRORS TO BE
REPORTED TO THE CONSULTANT(S).
DO NOT PROCEED WITH WORK WITHOUT APPROVED REVISION TO THE DRAWING.

STAMP	NORTH

PROJECT/REV. NO. 306-20 EAST 25TH ST	DWG. NO. A-0.0
SHEET TITLE SITE STATISTIC	11"x17" SHEET SIZE
PROJECT 386A EAST 25TH STREET 386 EAST 25TH ST, HAMILTON, ON L8V 3B1	

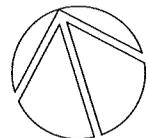
DESIGN

236 LESMILL ROAD, TORONTO, ON, M3B 2T5
phone: 416.850.0021
info@urbanscapearchitect.com | www.urbanscapearchitect.com



NO.	DATE	REVISION DESCRIPTION	NOTE
1	2020-05-26	ISSUED FOR COA	CITY

NOTE:
 THIS DRAWING IS COPYRIGHTED INSTRUMENT OF SERVICE AND IT REMAINS THE PROPERTY OF THE CONSULTANT(S).
 USE AND REPRODUCTION OF THIS DRAWING WITHOUT THE CONSENT OF THE CONSULTANT(S) IS NOT ALLOWED.
 WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS. ANY DISCREPANCIES AND ERRORS TO BE
 REPORTED TO THE CONSULTANT(S).
 DO NOT PROCEED WITH WORK WITHOUT APPROVED REVISION TO THE DRAWING.



PROJECT: 306-20 EAST 25TH ST
 SHEET TITLE: SITE PLAN
 SCALE: 3/32"=1'-0"
 PROJECT: 386A EAST 25TH STREET
 386 EAST 25TH ST, HAMILTON, ON L8V 3B1

DESIGN NO. A-0.1
 11"X17" SHEET SIZE

DESIGN: **URBANSCAPE ARCHITECTS**
 236 LESMILL ROAD, TORONTO, ON, M3B 2T5
 phone: 416.850.0021
 info@urbanscapearchitect.com | www.urbanscapearchitect.com

LOCATION



LIST OF DRAWINGS

- A-0.0 SITE STATISTIC
- A-0.1 SITE PLAN
- A-1.1 BASEMENT FLOOR PLAN
- A-1.2 GROUND FLOOR PLAN
- A-1.3 ROOF PLAN
- A-2.1 FRONT ELEVATION
- A-2.2 REAR ELEVATION
- A-2.3 SIDE (NORTH) ELEVATION
- A-2.4 SIDE (SOUTH) ELEVATION

BYLAW 6593

386 B EAST 25th STREET
 HAMILTON , ON
 NEW 1-STOREY SINGLE FAMILY DWELLING

SITE STATISTICS

ZONING DESIGNATION		
MINIMUM LOT AREA	360 M ²	
PROPOSED LOT AREA	3960 FT ² [367.9 M ²]	
MINIMUM LOT WIDTH <small>(measured at 9.0 m from the front lot line)</small>	12 M	
PROPOSED LOT WIDTH	9.85 M	
HEIGHT	MAX. PERMITTED	PROPOSED
BUILDING HEIGHT	MAX. 11.0 M	6.91 M
SETBACKS	MIN. REQUIRED	PROPOSED
FRONT YARD SETBACK/EAST	6.0 M	8.68 M
REAR YARD SETBACK /WEST	7.50 M	12.01 M
SIDE YARD SETBACK /NORTH	1.20 M	0.90 M
SIDE YARD SETBACK /SOUTH	1.20 M	1.21 M

GROSS FLOOR AREA CALCULATIONS

FIRST FLOOR	117.63 SQM [1266.21SQF]
-------------	-------------------------

LANDSCAPING AREA CALCULATIONS

AREA OF FRONT YARD	87.8	SQM [945.0 SQF]	
AREA OF DRIVEWAY	36.24	SQM [390.1 SQF]	41.28%
AREA OF FRONT YARD LANDSCAPE <small>[AREA FRONT YARD- AREA OF DRIVEWAY]</small>	51.55	SQM [554.9 SQF]	58.72%
AREA OF SOFT LANDSCAPE	48.75	SQM [524.8 SQF]	94.5% 55.5% OF FRONT YARD
AREA OF HARD LANDSCAPE	2.8	SQM [30.1 SQF]	5.5%
TOTAL AREA OF SOFT LANDSCAPING	181.16	SQM [1950 SQF]	49.25%

NO.	DATE	REVISION DESCRIPTION	NOTE
1	2020-05-26	ISSUED FOR COA	CITY

NOTE:
 THIS DRAWING IS COPYRIGHTED INSTRUMENT OF SERVICE AND IT REMAINS THE PROPERTY OF THE CONSULTANT(S)
 USE AND REPRODUCTION OF THIS DRAWING WITHOUT THE CONSENT OF THE CONSULTANT(S) IS NOT ALLOWED
 WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS- ANY DISCREPANCIES AND ERRORS TO BE
 REPORTED TO THE CONSULTANT(S)
 DO NOT PROCEED WITH WORK WITHOUT APPROVED REVISION TO THE DRAWING

STAMP	NORTH

PROJECT NO.	306-20 EAST 25TH ST	DWG NO.	A-0.0
SHEET TITLE	SITE STATISTIC	11"X17" SHEET SIZE	
PROJECT	386B EAST 25TH STREET 386 EAST 25TH ST, HAMILTON, ON L8V 3B1		

DESIGN

236 LESMILL ROAD, TORONTO, ON, M3B 2T5
 phone: 416.850.0021
 info@urbanscapearchitect.com | www.urbanscapearchitect.com



Hamilton

Planning and Economic Development Department
 Planning Division

Committee of Adjustment
 City Hall
 5th floor 71 Main Street West
 Hamilton, Ontario L8P 4Y5

Phone (905) 546-2424 ext.4221
 Fax (905) 546-4202

**PLEASE FILL OUT THE FOLLOWING PAGES AND
 RETURN TO THE CITY OF HAMILTON PLANNING
 DEPARTMENT.**

FOR OFFICE USE ONLY.	
APPLICATION NO. _____	DATE APPLICATION RECEIVED _____
PAID _____	DATE APPLICATION DEEMED COMPLETE _____
SECRETARY'S SIGNATURE _____	

**CITY OF HAMILTON
 COMMITTEE OF ADJUSTMENT
 HAMILTON, ONTARIO**

The Planning Act

Application for Minor Variance or for Permission

The undersigned hereby applies to the Committee of Adjustment for the City of Hamilton under Section 45 of the *Planning Act*, R.S.O. 1990, Chapter P.13 for relief, as described in this application, from the Zoning By-law.

2628934 Ontario Inc. (c/o Igor Chouminov/

1. Name of Owner Emil Joseph Telephone No. _____
 FAX NO. _____ E-mail address. _____
2. Address _____
 _____ Postal Code _____
3. Name of Agent A.J. Clarke and Associates Ltd. Telephone No. _____
 (c/o Stephen Fraser)
 FAX NO. _____ E-mail address. _____
4. Address _____
 _____ Postal Code _____

Note: Unless otherwise requested all communications will be sent to the agent, if any.

5. Names and addresses of any mortgagees, holders of charges or other encumbrances:
Mortgage - RPN Finance
 _____ Postal Code _____

 _____ Postal Code _____

6. Nature and extent of relief applied for:

Please refer to the concurrently submitted covering letter.

7. Why it is not possible to comply with the provisions of the By-law?

The proposed variances are required as a result of the severance of the subject lands into two building lots. Due to the reduction in the frontage for the resultant lots, it is not possible to comply with the by-law. a small reduction in the interior side yard has also been requested to facilitate the appropriate building envelope.

8. Legal description of subject lands (registered plan number and lot number or other legal description and where applicable, street and street number):

Plan No. 995 - Pt. Lts. 52 & 53
386 East 25th Street, Hamilton

9. PREVIOUS USE OF PROPERTY

Residential Industrial Commercial
 Agricultural Vacant
 Other _____

9.1 If Industrial or Commercial, specify use

9.2 Has the grading of the subject land been changed by adding earth or other material, i.e. has filling occurred? In accordance with the development of Plan 995.

Yes No Unknown

9.3 Has a gas station been located on the subject land or adjacent lands at any time?

Yes No Unknown

9.4 Has there been petroleum or other fuel stored on the subject land or adjacent lands?

Yes No Unknown

9.5 Are there or have there ever been underground storage tanks or buried waste on the subject land or adjacent lands?

Yes No Unknown

9.6 Have the lands or adjacent lands ever been used as an agricultural operation where cyanide products may have been used as pesticides and/or sewage sludge was applied to the lands?

Yes No Unknown

9.7 Have the lands or adjacent lands ever been used as a weapon firing range?

Yes No Unknown

9.8 Is the nearest boundary line of the application within 500 metres (1,640 feet) of the fill area of an operational/non-operational landfill or dump?

Yes No Unknown

9.9 If there are existing or previously existing buildings, are there any building materials remaining on site which are potentially hazardous to public health (eg. asbestos, PCB's)?

Yes No Unknown

9.10 Is there any reason to believe the subject land may have been contaminated by former uses on the site or adjacent sites?

Yes _____ No x Unknown _____

9.11 What information did you use to determine the answers to 9.1 to 9.10 above?

Property owner's knowledge and aerial imagery.

9.12 If previous use of property is industrial or commercial or if YES to any of 9.2 to 9.10, a previous use inventory showing all former uses of the subject land, or if appropriate, the land adjacent to the subject land, is needed.

Is the previous use inventory attached? Yes _____ No x N/A

ACKNOWLEDGEMENT CLAUSE

I acknowledge that the City of Hamilton is not responsible for the identification and remediation of contamination on the property which is the subject of this Application – by reason of its approval to this Application.

5.27.2020

 Date


 Signature Property Owner
 2628934 Ontario Inc. (c/o Igor Chouminov/
Emil Joseph)

 Print Name of Owner

10. Dimensions of lands affected:

Frontage ±19.44m

 Depth ±37.46m

 Area ±720.41sq.m

 Width of street ±20m

11. Particulars of all buildings and structures on or proposed for the subject lands: (Specify ground floor area, gross floor area, number of stories, width, length, height, etc.)

Existing: One single detached dwelling and three accessory structures.
Please refer to survey for details of existing dwelling.

Proposed: Following the successful severance of the subject lands, two
single detached dwellings are proposed, one on each lot. Please refer to site plan
submitted for details of proposed single detached dwellings.

12. Location of all buildings and structures on or proposed for the subject lands; (Specify distance from side, rear and front lot lines)

Existing: _____
Please refer to survey for details of existing dwelling.

Proposed: Please refer to site plan submitted for details of the location of
all propsoed buildings.



A. J. Clarke and Associates Ltd.

SURVEYORS • PLANNERS • ENGINEERS

June 15th, 2020

The City of Hamilton
 Committee of Adjustment
 Planning and Economic Development Department
 71 Main Street West, 5th Floor
 Hamilton, Ontario
 L8P 4Y5

Attn: Ms. Jamila Sheffield - Secretary-Treasurer

Re: Minor Variance Application Submission for 386 East 25th Street, Hamilton

Dear Madam,

Please accept the submitted enclosed application for a Minor Variance on the subject lands. The submitted Minor Variance will facilitate the proposed development as submitted through the concurrently submitted consent application. The subject submission proposes the creation of two lots that front onto East 25th Street, with the existing dwelling at 386 East 25th Street to be demolished and two new single detached dwellings are proposed to be constructed. This will result in a total of two building lots and two new single detached dwellings, which are shown as 386A and 386B East 25th Street on the concurrently submitted Site Plan. Details of the frontage and area for each of the proposed lots is shown in the below table.

Parcel	Lot Frontage (metres)	Lot Area (square metres)
386A	9.59 m (East 25 th Street)	352.5 m ²
388B	9.85 m (East 25 th Street)	367.9 m ²

As required for the above-noted application, please find attached the following:

1. A cheque in the amount of \$6,147.00 made payable to the City of Hamilton in payment of the Application Fee (combined with concurrently submitted Severance Fee).
2. Two (2) copies of the completed application form with signatures.
3. One (1) full size copy of the revised Site Plan to scale.
4. Two (2) copies of the revised Site Plan, reduced to 11x17.
5. One (1) copy of a Survey of the subject lands, reduced to 11X17.
6. One (1) copy of the architectural plans of the proposed single detached dwellings.

Further to Questions 6 & 7 of the concurrently submitted Minor Variance Application Form, please accept the below responses.

Question 6 – nature and extent of relief

In order to facilitate the proposed development, the following items of relief are requested from the City of Hamilton Zoning By-law No 6593:

1. That a minimum lot width of 9.55 metres be permitted; whereas a minimum lot width of 12 metres is required.



2. That a minimum lot area of 350 square metres be permitted; whereas a minimum lot area of 360 square metres is required.
3. That a side yard of 1.2 metres on one side and 0.9 metres on the other be required; whereas a 1.2m side yard is required along each side lot line.
4. That two required parking spaces may be located in the front yard; whereas only one of the required parking spaces are permitted to be in the front yard.
5. That the maneuvering space aisle width for a 90 degree parking angle shall be 0m, whereas a 6m maneuvering space aisle width is required.

Question 7 – why is it not possible to comply with the provisions of the By-law?

The variances related to lot frontage and lot area are a result of the concurrently submitted severance application that proposes the creation of two building lots; 386A and 386B East 25th Street. The relief from the by-law is required as the newly created lots are unable to meet the minimum lot area and frontage requirements of the “C” District in which the subject lands are located. The balance of the variances related to the minimum side yard, maneuvering space, and parking in the front yard is a result of the detailed design of the proposed dwellings. How each of the proposed variances satisfies the four tests of established under Section 45(1) of the *Planning Act* is discussed below in greater detail.

Analysis

The purpose of this analysis is to demonstrate how each of the variances applied for satisfies the four test established under Section 45(1) of the *Planning Act*.

Are the proposed variances desirable and appropriate?

With respect to variances 1 & 2, the general scale and character of the established development pattern varies significantly in the surrounding area. Lot widths vary significantly within the neighbourhood with frontages varying between ± 8.5 m (on East 24th Street) to ± 20 m. Lot areas also vary significantly from ± 355 m² to ± 800 m². The subject neighbourhood is characterized by a significant amount of diversity in terms of built form, scale, and development patterns. Directly opposite the subject lands is a medium density block townhouse development, with units fronting onto East 25th street opposite the subject lands. To the rear of the subject lands, fronting onto East 24th Street, there is existing duplexes and semi-detached development along with single detached residential development on ± 10.5 m lots. The proposed development would consist of an example of appropriate and compatible intensification that is in keeping with the wide variety of established development in the immediate neighbourhood. The proposed development will conform to the applicable regulations of the Zoning By-law (“C” District) with respect to building height, coverage and massing, and will therefore be consistent with nearby development. Furthermore, the lot is of a sufficient size to accommodate a suitable building envelope, along with ample landscaped area and space for amenity/recreation.



The proposed variances will facilitate a form of residential intensification, consistent with provincial policy direction, that is in keeping with the character of the area and that is compatible with adjacent development.

With respect to variance 3, the reduction in the minimum side yard to 0.9m on one side of the dwelling will allow for a more suitable building envelope, while also accommodating a suitable distance between the two proposed single detached dwellings. This will be further confirmed through the detailed engineering design completed through the Consent Agreement. A 1.8m mutual access easement has also been applied for to ensure that future property owners have the legal means to properly maintain their dwelling. It is important to note that the northern and southern side yards adjacent to existing development will remain at 1.2m to ensure compatibility.

With respect to variance 4 and 5, the addition of an additional parking space in the front yard can be appropriately accommodated while maintaining a minimum of 50% landscaped area in the front yard, and keeping the parking area to below 50% of the total area of the front yard. This will ensure that there is sufficient landscaping and that parking areas do not dominate the streetscape. Furthermore, this is required as the proposed dwellings do not have attached garages. Attached garages are not typical along this portion of East 25th Street, and the required parking is either provided in the front yard (as proposed), or through a combination of the front yard and attached carport. The existing dwelling at 386 East 25th Street provides the required parking in the front yard, along with the neighbour to the north at 382. The variance related to maneuvering space is administrative in nature. It is not typical for residential driveways for single detached dwellings to have 6 metres of maneuvering space. The proposed driveway spaces will operate similar to the existing driveway configuration that exists on the subject lands today, as is typical on this street.

Accordingly, the proposed variances are considered desirable and appropriate.

Are the proposed variances in keeping with the intent of the Official Plan?

The proposed development is located within the "Neighbourhoods" designation within the City's Urban Hamilton Official Plan (UHOP). Section E.3.0 provides policies for lands designated "Neighbourhoods" on Schedule E-1 (Urban Land Use Designations). The designation is broadly supportive of the development of complete communities that are made up of more than just homes, but include a variety of land uses. The proposed development conforms to the applicable policies of the "Neighbourhoods" designation, as it is a permitted use and conforms to the "Neighbourhoods" policies related to function, scale and design.

In addition to the designation specific policies of the UHOP, the proposed variances were evaluated against the lot creation policies of Section 1.14.3; and against the residential intensification policies of Section B.2.4 of the UHOP, and otherwise.

Accordingly, the proposed variances are in keeping with the intent of the Official Plan.



Are the proposed variances in keeping with the intent of the Zoning by-law?

The intent of the Zoning By-law is to control land use and development standards through the regulation of permitted uses and performance standards. There is no proposed change in use over what currently exists on the subject lands.

With respect to variances 1 and 2, the lot frontage and lot area regulations set forth in the “C” District regulate the intensity of a permitted use. This is to ensure overdevelopment of lands does not occur, and that development is in keeping with the character of the neighbourhood while being compatible with surrounding development. The proposed variances to lot area and frontage will allow for lot creation that is in keeping with the character of the area, while also being compatible with adjacent development. The resultant lots will be functional, and do not represent an overdevelopment of the lands.

With respect to variance 3, the intent of the minimum side yard is to ensure that development is appropriately spaced, to ensure compatibility with adjacent development and to be in keeping with the character of the area. It is also to ensure sufficient space for grading, drainage, and other engineering concerns. A reduction in the minimum side yard to 0.9m on one side of the dwelling will allow for a more suitable building envelope, while also accommodating a suitable distance between the two proposed single detached dwellings. Engineering matters will be dealt with through the detailed engineering design completed through the Consent Agreement. A 1.8m mutual access easement has also been applied for to ensure that future property owners have the legal means to properly maintain their dwelling. It is important to note that the northern and southern side yards adjacent to existing development will remain at 1.2m to ensure compatibility.

With respect to variances 4 and 5, the intent of only permitting one parking space in the required front yard is to ensure that surface parking does not dominate the streetscape, and that an appropriate amount of landscaping can be accommodate in the front yard. The proposed development is meeting the minimum landscaping requirements (50%) in the front yard, and the maximum parking area requirements (50%) in the front yard. Furthermore, this portion of East 25th Street is characterized by surface parking in the front yard, with very few dwellings containing an attached garage. The proposed parking arrangement is certainly not atypical for the area. The intent of the required 6 metre aisle width for maneuvering is more so intended towards larger parking areas where vehicles must maneuver on-site in order to exit in a forward manner. In these instances, there is also two-way traffic with the parking area. A typical residential driveway rarely provide sufficient maneuvering space to exit in a forward manner, nor is there likely to be two way traffic. As mentioned above, the parking arrangement provided on-site is typical for the area and similar to what currently exists on-site.

Are the proposed variances Minor in nature?

It is important to remember that this test deals with impact; is the impact anticipated from the proposed variances minor in nature. With respect to variances 1 & 2, the proposed lot widths



and areas are in keeping with the character of the area and are compatible with adjacent development. There are no anticipated impacts in terms of visual impact, shadowing, overlook, traffic, or otherwise resulting from the proposed development. The requested reduction of 10 square metres in minimum lot area and 2.5 metres in minimum lot width is considered minor.

With respect to variance 3, the reduction of one of the interior side yards from 1.2m to 0.9m is considered minor in nature. The side yards adjacent to existing development are being maintained at 1.2 metres to ensure there are no adverse impacts. As previously discussed, engineering matters will be dealt with through the detailed engineering design completed through the Consent Agreement. A 1.8m mutual access easement has also been applied for to ensure that future property owners have the legal means to properly maintain their dwelling. Accordingly, a reduction of one of the required side yards by 0.3 metres is considered minor.

With respect to variances 4 and 5 it has been demonstrated that this portion of East 25th Street is characterized by properties with surface parking in the front yard, and that very few dwellings have attached garage. It has also been demonstrated that an appropriate amount of landscaping can be accommodate in the front yard. Accordingly, the variance for an additional parking space in the front yard is considered minor in nature. Likewise, the required 6m aisle width for maneuvering space is not something that is typically provided in residential driveways for single detached dwellings; accordingly, the variance to permit no maneuvering space is considered minor in nature.

Conclusion

The variances applied for to facilitate the concurrent consent application meets the four tests of established under Section 45(1) of the *Planning Act*, represent good planning and should be approved.

We would request the opportunity to discuss the items of relief required in order to facilitate the proposed severance with the appropriate Staff when a Zoning review is conducted for the subject application. This will ensure that all of the appropriate variances are captured in order to implement the proposed development concept. I trust this is satisfactory for your purposes and thank you for your co-operation in this matter. Should you have any questions or require additional information, please do not hesitate to contact our office.

Yours very truly,

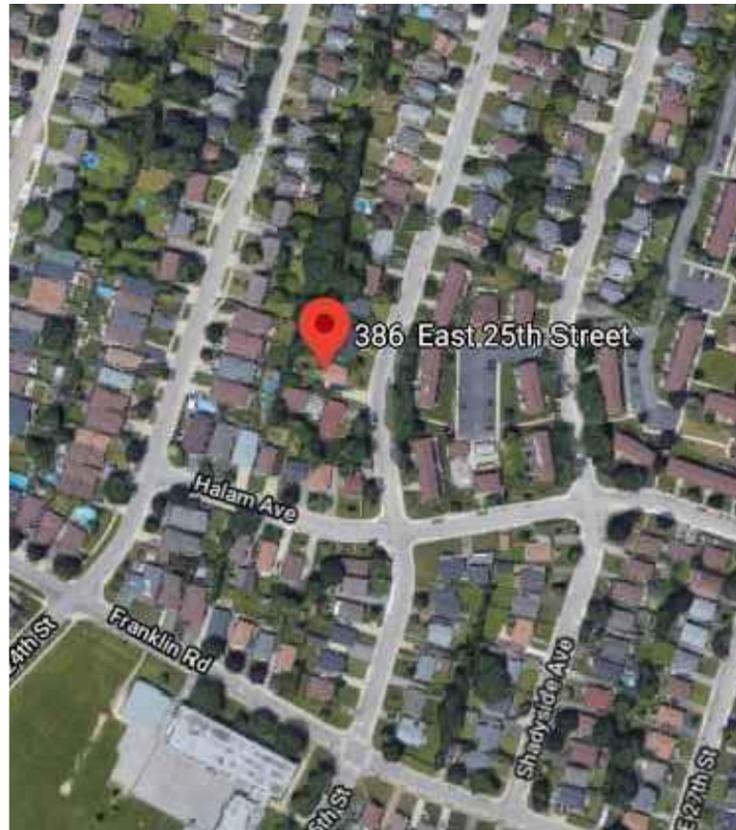
A handwritten signature in blue ink, appearing to read 'S. Skidmore', written in a cursive style.

Spencer Skidmore, MCIP, RPP

A. J. Clarke and Associates Ltd.

cc. 2628934 Ontario Inc. (c/o Igor Chouminov/Emil Joseph)

LOCATION



LIST OF DRAWINGS

- A-0.0 SITE STATISTIC
- A-0.1 SITE PLAN
- A-1.1 BASEMENT FLOOR PLAN
- A-1.2 GROUND FLOOR PLAN
- A-1.3 ROOF PLAN
- A-2.1 FRONT ELEVATION
- A-2.2 REAR ELEVATION
- A-2.3 SIDE (NORTH) ELEVATION
- A-2.4 SIDE (SOUTH) ELEVATION

BYLAW 6593

386 B EAST 25th STREET
HAMILTON , ON

NEW 1-STOREY SINGLE FAMILY DWELLING

SITE STATISTICS

ZONING DESIGNATION

MINIMUM LOT AREA 360 M²

PROPOSED LOT AREA 3960 FT² [367.9 M²]

MINIMUM LOT WIDTH 12 M
(measured at 9.0 m from the front lot line)

PROPOSED LOT WIDTH 9.85 M

HEIGHT	MAX. PERMITTED	PROPOSED
--------	----------------	----------

BUILDING HEIGHT	MAX. 11.0 M	6.91 M
-----------------	-------------	--------

SETBACKS	MIN. REQUIRED	PROPOSED
----------	---------------	----------

FRONT YARD SETBACK/EAST	6.0 M	8.68 M
-------------------------	-------	--------

REAR YARD SETBACK /WEST	7.50 M	12.01 M
-------------------------	--------	---------

SIDE YARD SETBACK /NORTH	1.20 M	0.90 M
--------------------------	--------	--------

SIDE YARD SETBACK /SOUTH	1.20 M	1.21 M
--------------------------	--------	--------

GROSS FLOOR AREA CALCULATIONS

FIRST FLOOR	117.63 SQM [1266.21SQF]
-------------	-------------------------

LANDSCAPING AREA CALCULATIONS

AREA OF FRONT YARD	87.8 SQM [945.0 SQF]
--------------------	----------------------

AREA OF DRIVEWAY	36.24 SQM [390.1 SQF] 41.28%
------------------	------------------------------

AREA OF FRONT YARD LANDSCAPE <small>[AREA FRONT YARD- AREA OF DRIVEWAY]</small>	51.55 SQM [554.9 SQF] 58.72%
--	------------------------------

AREA OF SOFT LANDSCAPE	48.75 SQM [524.8 SQF] 94.5% 55.5% OF FRONT YARD
------------------------	--

AREA OF HARD LANDSCAPE	2.8 SQM [30.1 SQF] 5.5%
------------------------	-------------------------

TOTAL AREA OF SOFT LANDSCAPING	181.16 SQM [1950 SQF] 49.25%
--------------------------------	------------------------------

NO.	DATE	REVISION DESCRIPTION	NOTE
1	2020-05-26	ISSUED FOR COA	CITY

NOTE:
 THIS DRAWING IS COPYRIGHTED INSTRUMENT OF SERVICE AND IT REMAINS THE PROPERTY OF THE CONSULTANT(S)
 USE AND REPRODUCTION OF THIS DRAWING WITHOUT THE CONSENT OF THE CONSULTANT(S) IS NOT ALLOWED
 WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS ANY DISCREPANCIES AND ERRORS TO BE REPORTED TO THE CONSULTANT(S)
 DO NOT PROCEED WITH WORK WITHOUT APPROVED REVISION TO THE DRAWING

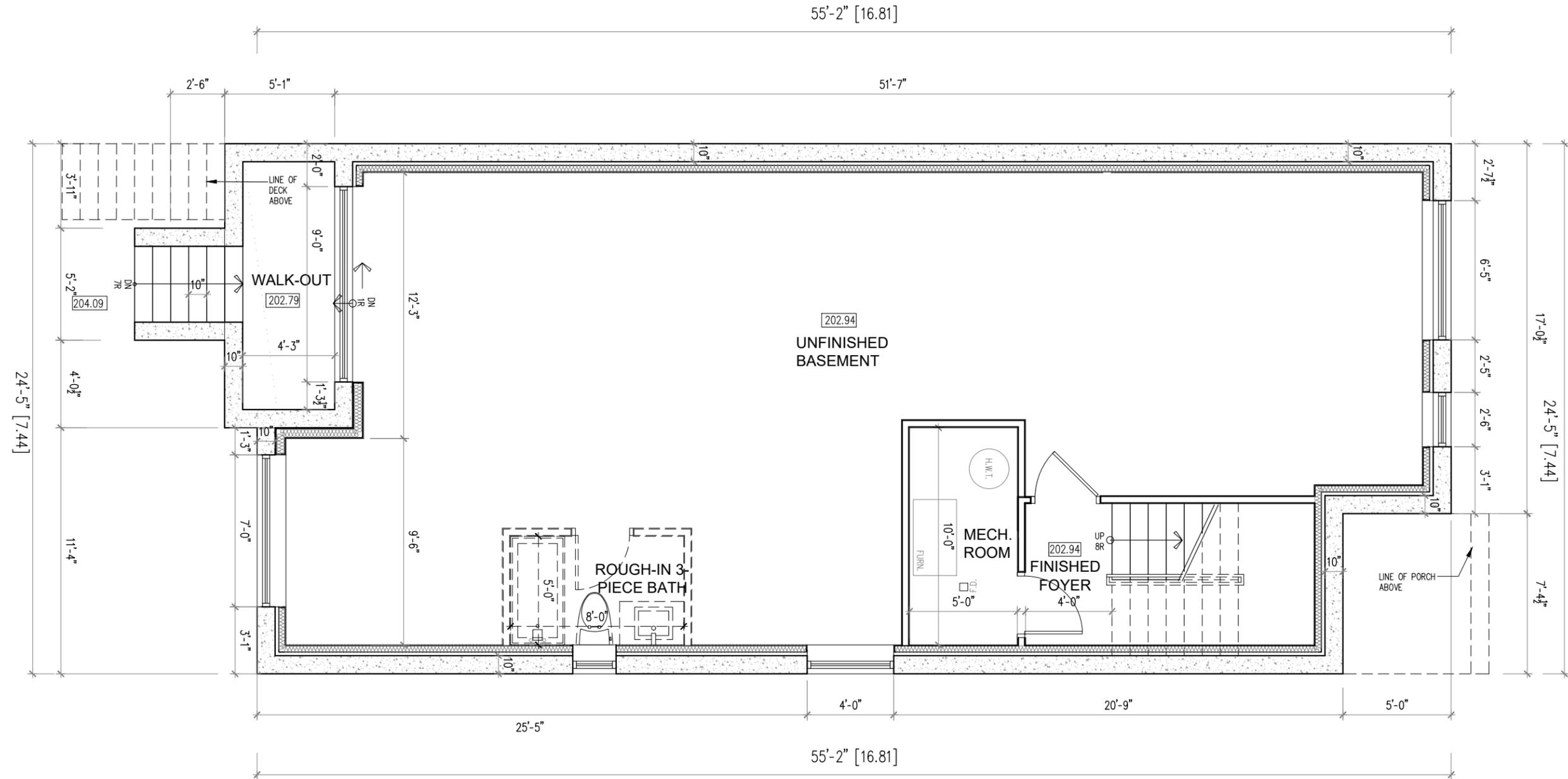
STAMP	NORTH

PROJ./REV. NO. 306-20 EAST 25TH ST	DWG NO. A-0.0
SHEET TITLE SITE STATISTIC	11"x17" SHEET SIZE
PROJECT 386B EAST 25TH STREET 386 EAST 25TH ST, HAMILTON, ON L8V 3B1	

DESIGN



236 LESMILL ROAD, TORONTO ,ON, M3B 2T5
 phone: 416.850.0021
 info@urbanscaarchitect.com | www.urbanscapearchitect.com

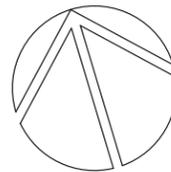


NO.	DATE	REVISION DESCRIPTION	NOTE
1	2020-05-26	ISSUED FOR COA	CITY

NOTE:
 THIS DRAWING IS COPYRIGHTED INSTRUMENT OF SERVICE AND IT REMAINS THE PROPERTY OF THE CONSULTANT(S)
 USE AND REPRODUCTION OF THIS DRAWING WITHOUT THE CONSENT OF THE CONSULTANT(S) IS NOT ALLOWED
 WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS ANY DISCREPANCIES AND ERRORS TO BE REPORTED TO THE CONSULTANT(S)
 DO NOT PROCEED WITH WORK WITHOUT APPROVED REVISION TO THE DRAWING

STAMP

NORTH



PROJ./REV. NO.

306-20 EAST 25TH ST

SHEET TITLE

BASEMENT FLOOR PLAN
 SCALE: 3/16"=1'-0"

PROJECT

386B EAST 25TH STREET
 386 EAST 25TH ST, HAMILTON, ON L8V 3B1

DWG. NO.

A-1.1

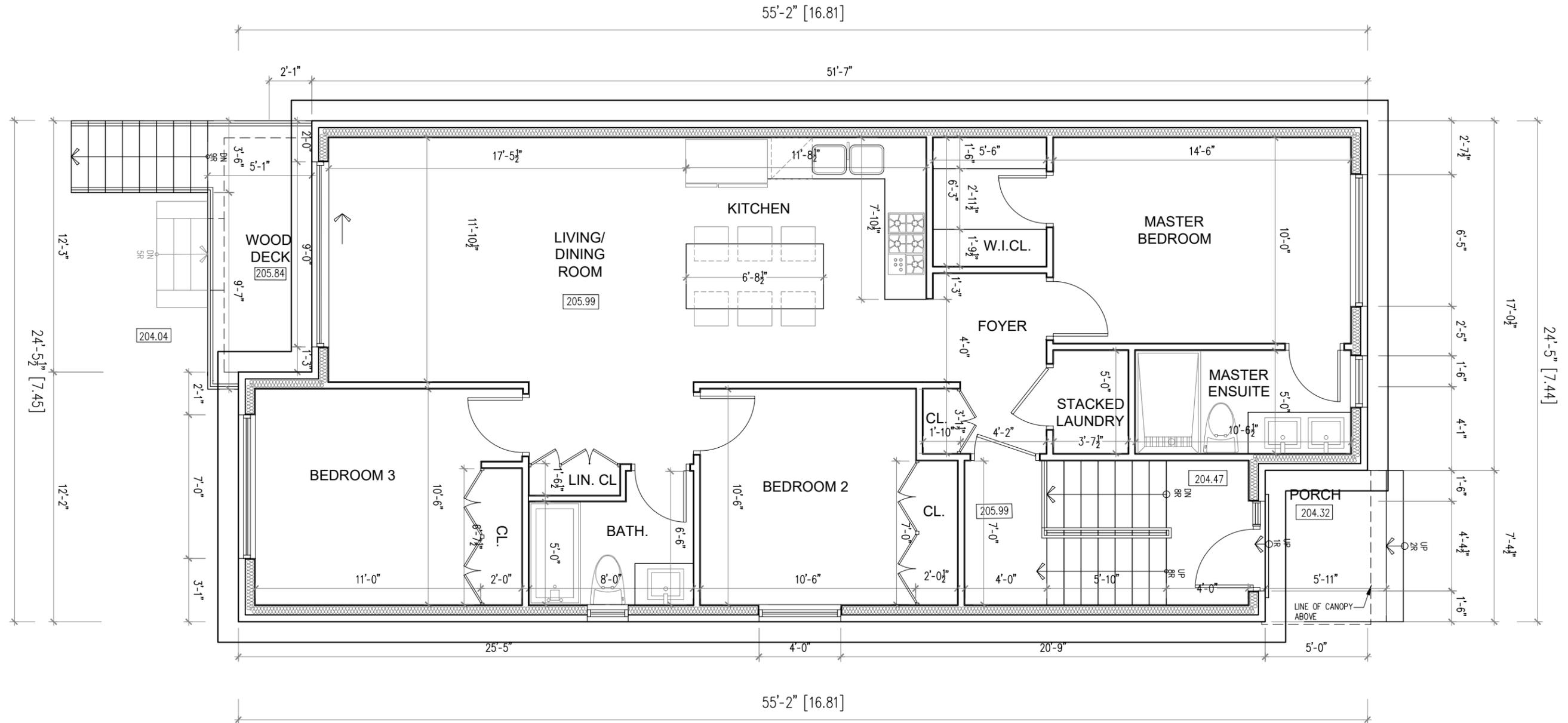
11"x17" SHEET SIZE

DESIGN



236 LESMILL ROAD, TORONTO, ON, M3B 2T5
 phone: 416.850.0021

info@urbanscaarchitect.com | www.urbanscapearchitect.com



NO.	DATE	REVISION DESCRIPTION	NOTE
1	2020-05-26	ISSUED FOR COA	CITY

NOTE:
 THIS DRAWING IS COPYRIGHTED INSTRUMENT OF SERVICE AND IT REMAINS THE PROPERTY OF THE CONSULTANT(S)
 USE AND REPRODUCTION OF THIS DRAWING WITHOUT THE CONSENT OF THE CONSULTANT(S) IS NOT ALLOWED
 WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS ANY DISCREPANCIES AND ERRORS TO BE REPORTED TO THE CONSULTANT(S)
 DO NOT PROCEED WITH WORK WITHOUT APPROVED REVISION TO THE DRAWING

STAMP

NORTH

PROJ./REV. NO
 306-20 EAST 25TH ST

SHEET TITLE
 GROUND FLOOR PLAN
 SCALE: 3/16"=1'-0"

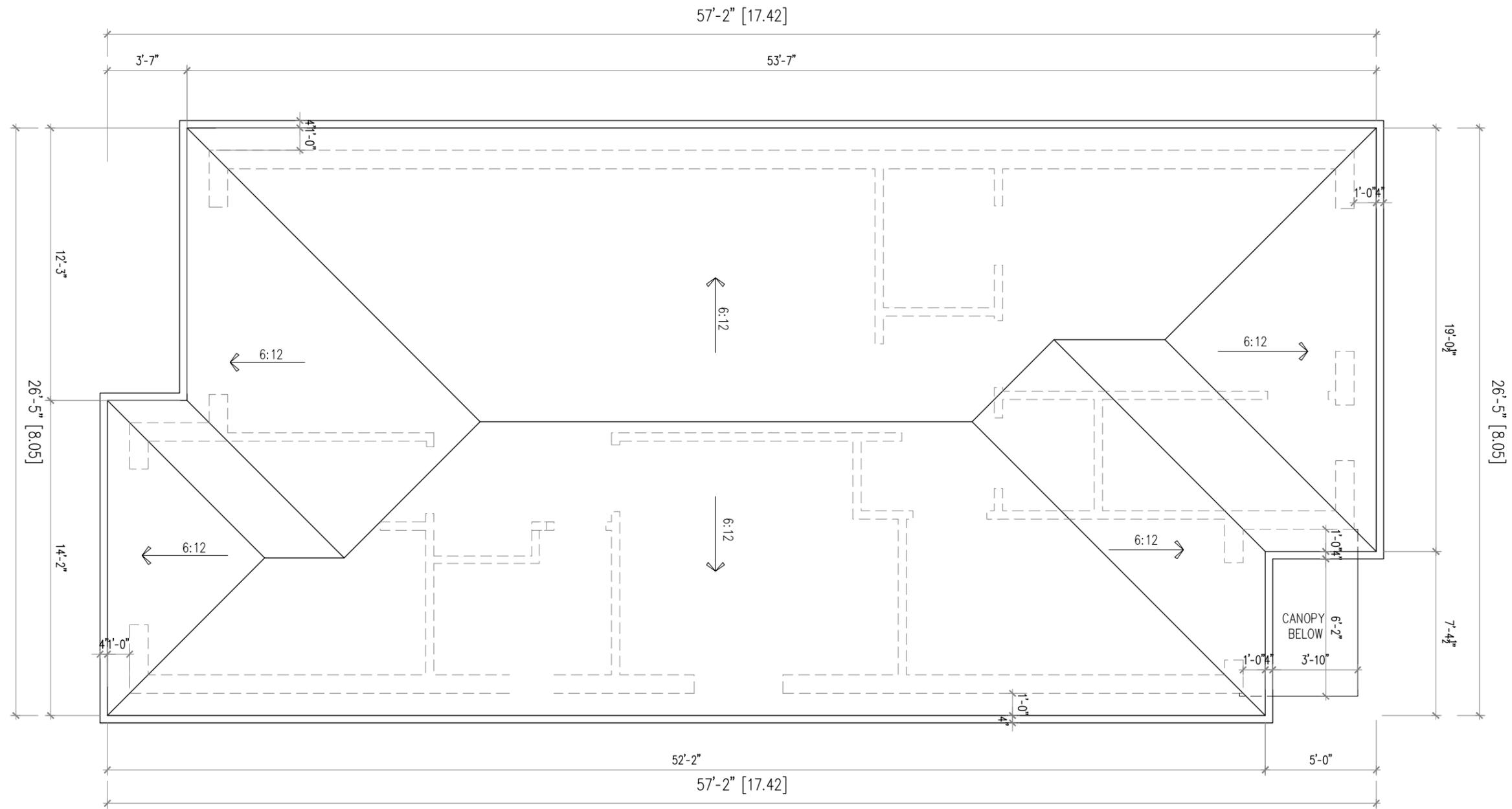
PROJECT
 386B EAST 25TH STREET
 386 EAST 25TH ST, HAMILTON, ON L8V 3B1

DWG. NO.
 A-1.2

11"x17" SHEET SIZE

DESIGN

236 LESMILL ROAD, TORONTO, ON, M3B 2T5
 phone: 416.850.0021
 info@urbanscaarchitect.com | www.urbanscapearchitect.com

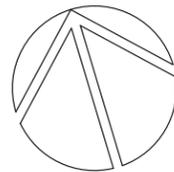


NO.	DATE	REVISION DESCRIPTION	NOTE
1	2020-05-26	ISSUED FOR COA	CITY

NOTE:
 THIS DRAWING IS COPYRIGHTED INSTRUMENT OF SERVICE AND IT REMAINS THE PROPERTY OF THE CONSULTANT(S)
 USE AND REPRODUCTION OF THIS DRAWING WITHOUT THE CONSENT OF THE CONSULTANT(S) IS NOT ALLOWED
 WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS ANY DISCREPANCIES AND ERRORS TO BE REPORTED TO THE CONSULTANT(S)
 DO NOT PROCEED WITH WORK WITHOUT APPROVED REVISION TO THE DRAWING

STAMP

NORTH



PROJ./REV. NO.

306-20 EAST 25TH ST

SHEET TITLE

ROOF PLAN
 SCALE: 3/16"=1'-0"

PROJECT

386B EAST 25TH STREET
 386 EAST 25TH ST, HAMILTON, ON L8V 3B1

DWG. NO.

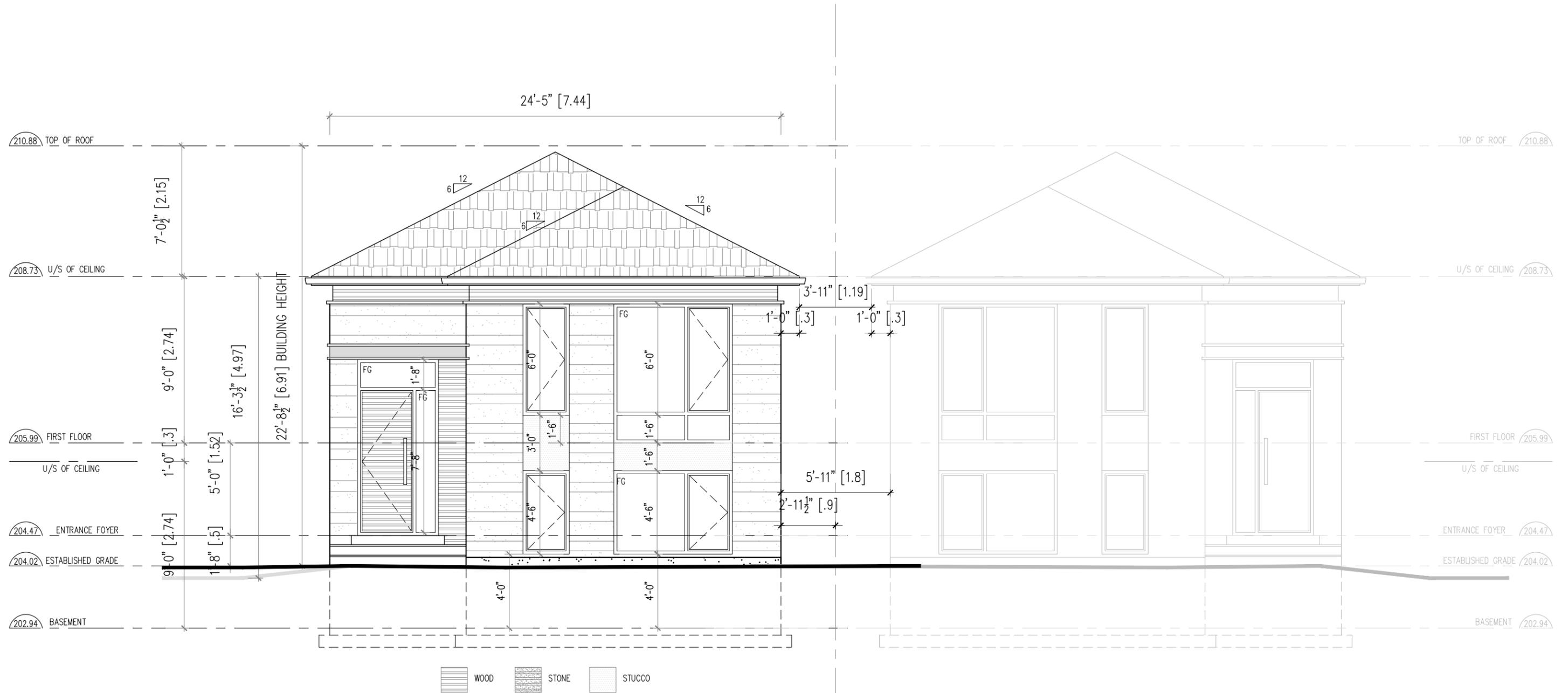
A-1.3

11"x17" SHEET SIZE

DESIGN



236 LESMILL ROAD, TORONTO, ON, M3B 2T5
 phone: 416.850.0021
 info@urbanscaarchitect.com | www.urbanscapearchitect.com



NO.	DATE	REVISION DESCRIPTION	NOTE
1	2020-05-26	ISSUED FOR COA	CITY

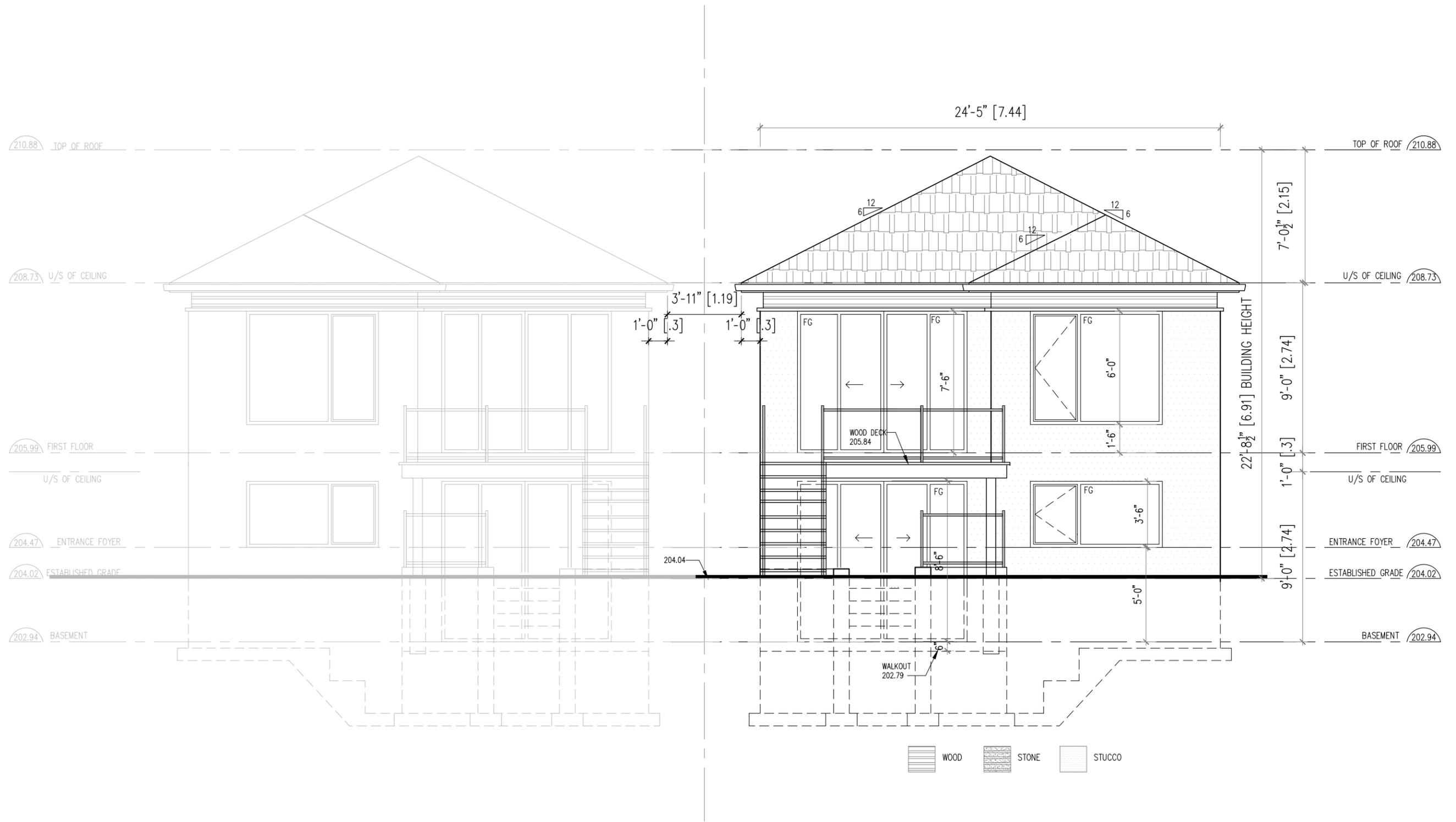
NOTE:
 THIS DRAWING IS COPYRIGHTED INSTRUMENT OF SERVICE AND IT REMAINS THE PROPERTY OF THE CONSULTANT(S)
 USE AND REPRODUCTION OF THIS DRAWING WITHOUT THE CONSENT OF THE CONSULTANT(S) IS NOT ALLOWED
 WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS ANY DISCREPANCIES AND ERRORS TO BE REPORTED TO THE CONSULTANT(S)
 DO NOT PROCEED WITH WORK WITHOUT APPROVED REVISION TO THE DRAWING

STAMP _____ NORTH _____

PROJ./REV. NO. 306-20 EAST 25TH ST
 SHEET TITLE FRONT ELEVATION SCALE: 3/16"=1'-0"
 PROJECT 386B EAST 25TH STREET 386 EAST 25TH ST, HAMILTON, ON L8V 3B1

DWG. NO. A-2.1
 11"x17" SHEET SIZE

DESIGN **URBANSCAPE ARCHITECTS**
 236 LESMILL ROAD, TORONTO, ON, M3B 2T5
 phone: 416.850.0021
 info@urbanscaarchitect.com | www.urbanscapearchitect.com



NO.	DATE	REVISION DESCRIPTION	NOTE
1	2020-05-26	ISSUED FOR COA	CITY

NOTE:
 THIS DRAWING IS COPYRIGHTED INSTRUMENT OF SERVICE AND IT REMAINS THE PROPERTY OF THE CONSULTANT(S)
 USE AND REPRODUCTION OF THIS DRAWING WITHOUT THE CONSENT OF THE CONSULTANT(S) IS NOT ALLOWED
 WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS ANY DISCREPANCIES AND ERRORS TO BE REPORTED TO THE CONSULTANT(S)
 DO NOT PROCEED WITH WORK WITHOUT APPROVED REVISION TO THE DRAWING

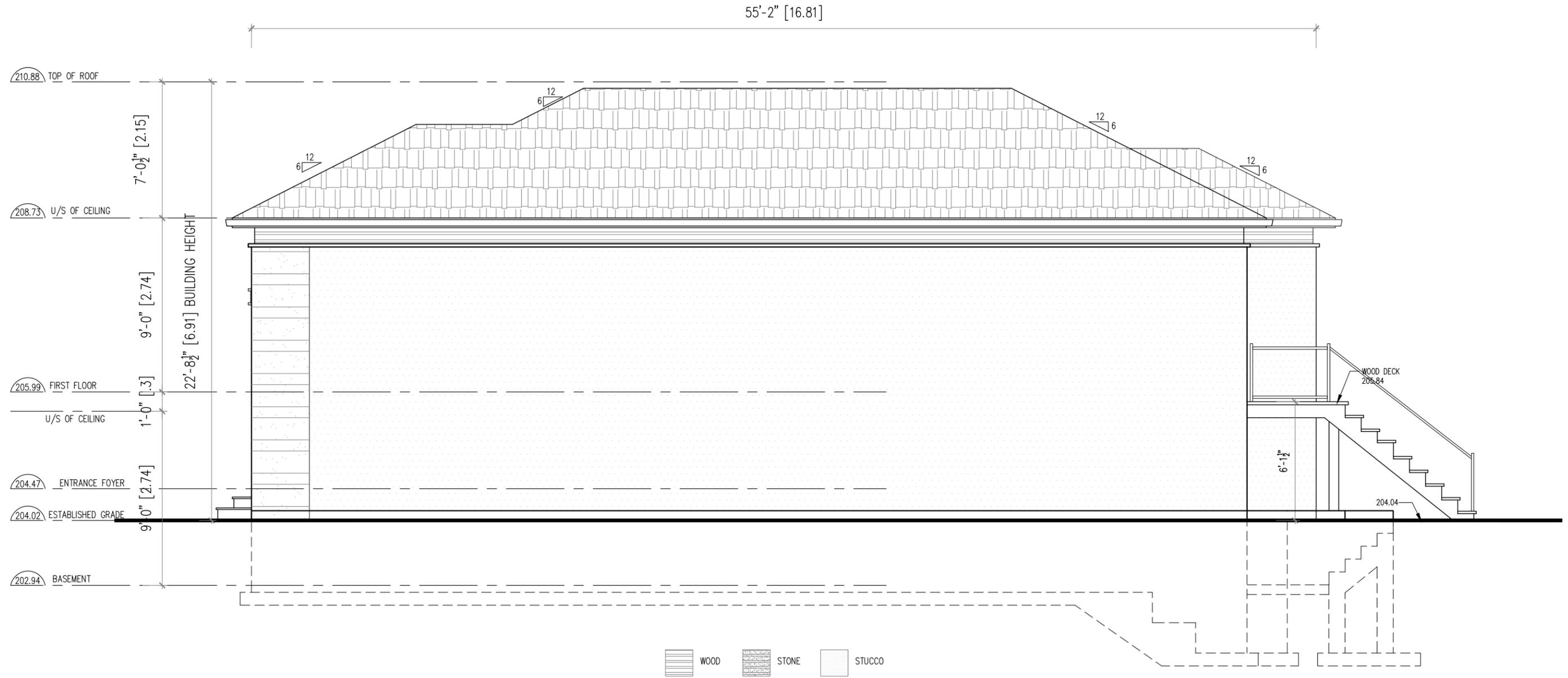
STAMP _____
 NORTH _____

PROJ./REV. NO.
 306-20 EAST 25TH ST
 SHEET TITLE
 REAR ELEVATION
 SCALE: 3/16"=1'-0"
 PROJECT
 386B EAST 25TH STREET
 386 EAST 25TH ST, HAMILTON, ON L8V 3B1

DWG. NO.
 A-2.2
 11"x17" SHEET SIZE

DESIGN

236 LESMILL ROAD, TORONTO, ON, M3B 2T5
 phone: 416.850.0021
 info@urbanscaarchitect.com | www.urbanscapearchitect.com



NO.	DATE	REVISION DESCRIPTION	NOTE
1	2020-05-26	ISSUED FOR COA	CITY

NOTE:
 THIS DRAWING IS COPYRIGHTED INSTRUMENT OF SERVICE AND IT REMAINS THE PROPERTY OF THE CONSULTANT(S)
 USE AND REPRODUCTION OF THIS DRAWING WITHOUT THE CONSENT OF THE CONSULTANT(S) IS NOT ALLOWED
 WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS ANY DISCREPANCIES AND ERRORS TO BE REPORTED TO THE CONSULTANT(S)
 DO NOT PROCEED WITH WORK WITHOUT APPROVED REVISION TO THE DRAWING

STAMP _____ NORTH _____

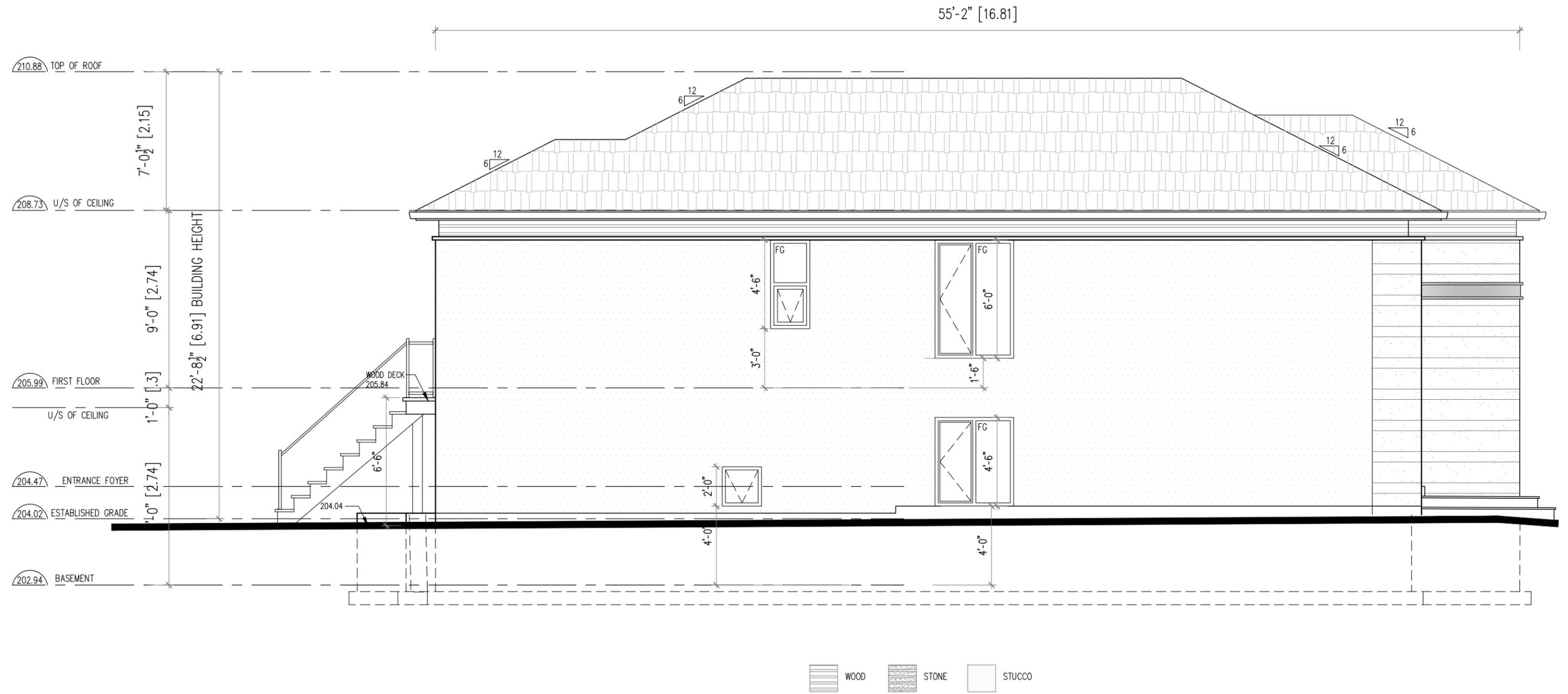
PROJ./REV. NO. 306-20 EAST 25TH ST
 SHEET TITLE SIDE(NORTH) ELEVATION
 SCALE: 3/16"=1'-0"
 PROJECT 386B EAST 25TH STREET
 386 EAST 25TH ST, HAMILTON, ON L8V 3B1

DWG NO. A-2.3
 11"x17" SHEET SIZE

DESIGN



236 LESMILL ROAD, TORONTO, ON, M3B 2T5
 phone: 416.850.0021
 info@urbanscaarchitect.com | www.urbanscapearchitect.com



NO.	DATE	REVISION DESCRIPTION	NOTE
1	2020-05-26	ISSUED FOR COA	CITY

NOTE:
 THIS DRAWING IS COPYRIGHTED INSTRUMENT OF SERVICE AND IT REMAINS THE PROPERTY OF THE CONSULTANT(S)
 USE AND REPRODUCTION OF THIS DRAWING WITHOUT THE CONSENT OF THE CONSULTANT(S) IS NOT ALLOWED
 WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS ANY DISCREPANCIES AND ERRORS TO BE REPORTED TO THE CONSULTANT(S)
 DO NOT PROCEED WITH WORK WITHOUT APPROVED REVISION TO THE DRAWING

STAMP	NORTH

PROJ./REV. NO. 306-20 EAST 25TH ST	DWG. NO. A-2.4
SHEET TITLE SIDE(SOUTH) ELEVATION SCALE: 3/16"=1'-0"	11"x17" SHEET SIZE
PROJECT 386B EAST 25TH STREET 386 EAST 25TH ST, HAMILTON, ON L8V 3B1	

DESIGN

236 LESMILL ROAD, TORONTO, ON, M3B 2T5
 phone: 416.850.0021
 info@urbanscaarchitect.com | www.urbanscapearchitect.com



SURVEYOR'S REAL PROPERTY REPORT
PLAN OF SURVEY WITH TOPOGRAPHY OF
PART OF LOTS 52 and 53
REGISTERED PLAN No. 995

BEING IN THE
CITY OF HAMILTON

SCALE 1:250

MacKAY, MacKAY & PETERS LIMITED - ONTARIO LAND SURVEYORS
 © 2020

KNOWN AS MUNICIPAL No. 386 EAST 25th STREET

REPORT SUMMARY (PART 2) (to be read in conjunction with Part 1)
 LAND REGISTRY OFFICE TITLE INFORMATION ON SUBJECT PROPERTY INCLUDING BOUNDARIES, EASEMENTS AND RIGHT OF WAYS - DECEMBER 18, 2019

REGISTERED EASEMENTS AND/OR RIGHTS-OF-WAY:
 NONE

ADDITIONAL REMARKS:
 REFER TO PART 1 OF SURVEY FOR THE LOCATION OF BUILDINGS, STRUCTURES, FENCES AND UTILITIES.

Note:
 MacKAY, MacKAY & PETERS LIMITED grants EMIL JOSEPH ("The Client(s)"), their solicitor and other related parties permission to use "Original Copies" of the Surveyor's Real Property Report in transactions involving "The Client(s)".

"METRIC" DISTANCES SHOWN HEREON ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

Benchmark Note:
 GEODETIC SURVEY OF CANADA BENCHMARK No. 0011965U059 ELEVATION = 203.774 METRES (CGVD 1928:1978 READJUSTMENT)

HAMILTON-WENTWORTH FRANKLIN ROAD SCHOOL, AT SOUTHWEST CORNER OF UPPER SHERMAN AVENUE AND FRANKLIN ROAD, TABLET IN NORTH FRONT CONCRETE FOUNDATION WALL, 0.91 METRES FROM NORTHEAST CORNER, 1.21 METRES BELOW BRICK, 4.57 METRES EAST OF AND OPPOSITE EAST EDGE OF EAST 28th STREET.

Bearing Reference:
 BEARINGS ARE ASTRONOMIC AND ARE REFERRED TO THE WEST LIMIT OF EAST 25th STREET, HAVING A BEARING OF N18°21'30"E, AS SHOWN ON REGISTERED PLAN No. 995.

- Legend:**
- DENOTES A SURVEY MONUMENT PLANTED
 - DENOTES A SURVEY MONUMENT FOUND
 - IB DENOTES STANDARD IRON BAR
 - IB DENOTES IRON BAR
 - CM DENOTES CONCRETE MONUMENT
 - OU DENOTES ORIGIN UNKNOWN
 - PN DENOTES PROPERTY IDENTIFICATION NUMBER
 - R.P. DENOTES REGISTERED PLAN
 - FFE DENOTES FINISHED FLOOR ELEVATION
 - P1 DENOTES PLAN BY MACKAY & MACKAY, DATED AUGUST 2, 1955 (S-3096)
 - P2 DENOTES PLAN 62R-21266
 - H- DENOTES AERIAL HYDRO WIRES
 - DENOTES DECIDUOUS TREE SCALED TO CANOPY, TRUNK SIZE SHOWN IN METRES

Surveyor's Certificate:
 I CERTIFY THAT:
 1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT AND THE LAND TITLES ACT AND THE REGULATIONS MADE UNDER THEM.
 2. THE SURVEY WAS COMPLETED ON THE 6th DAY OF FEBRUARY, 2020.

FEBRUARY 6, 2020
 DATE

 ROY C. MAYO
 ONTARIO LAND SURVEYOR
 FOR MACKAY, MACKAY & PETERS LIMITED

ASSOCIATION OF ONTARIO
 LAND SURVEYORS
 PLAN SUBMISSION FORM
 2114106

 THIS PLAN IS NOT VALID UNLESS IT IS AN EMBOSSED ORIGINAL COPY ISSUED BY THE SURVEYOR In accordance with Regulation 1026, Section 29(3)

CAD FILE: E:\(62) Hamilton-Wentworth\Registered Plans\RP0995\LOT 52-53\19-305-19-305-SRPR.dwg

 MacKAY, MacKAY & Peters Limited
 LAND SURVEYORS & MAPPERS
 SINCE 1906
 3380 South Service Road
 Unit 101
 Burlington, ON
 L7N 3J5
 (905) 639-1375
 halton@mmplimited.com
 mmpsurveyors.ca
 mmplocators.ca
 DRAWN BY: S.R.H.
 PARTY CHIEF: N.C.
 CHECKED BY:
 PROJECT NO: 19-305



Hamilton

COMMITTEE OF ADJUSTMENT

City Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5
 Telephone (905) 546-2424, ext. 4221, 3935 Fax (905) 546-4202
 E-mail: cofa@hamilton.ca

NOTICE OF PUBLIC HEARING
Minor Variance

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
 - Applicant/agent on file, or
 - Person likely to be interested in this application
-

APPLICATION NO.: HM/A-20:128

APPLICANTS: Owner: 9681833 Canada Inc.
Agent: Darren Voros

SUBJECT PROPERTY: Municipal address **73 Salem Ave., Hamilton**

ZONING BY-LAW: Zoning By-law 6593, as Amended

ZONING: C (Urban Protected Residential and etc.) district

PROPOSAL: To permit the conversion of the existing single family dwelling to a two (2) family dwelling under Section 19 (Residential Conversion Requirements) of the Zoning Bylaw, notwithstanding,

1. A minimum floor area of 62 square metres shall be provided for the proposed dwelling unit instead of the minimum area of 65 square metres required to be contained within each dwelling unit;
2. A minimum parking space size measuring 2.7 metres in width by 5.1 metres in length shall be permitted instead of the minimum required parking space size of 2.7 metres in width by 6.0 metres in length; and,
3. Manoeuvring space in accordance with the Zoning By-law shall not be provided for the most southerly parking space instead of providing an unobstructed manoeuvring space with a minimum width of 6.0 metres required to be provided abutting upon and accessory to each required parking space.

NOTES:

1. The applicant shall ensure the minimum clear height as required by the Ontario Building Code is provided for the required floor area in each dwelling unit.
2. It is noted that the two proposed parking spaces at the rear of the property are situated in the location of the existing garage. Please note that a demolition permit is required for the removal of the existing garage; however, the Building Division has no record of an application for a demolition permit to remove the existing garage.
3. A further variance will be required if gravel or similar surface or other suitable paving is not provided for every parking space and access driveway.

HM/A-20:128
Page 2

This application will be heard by the Committee as shown below:

DATE: Thursday, August 6th, 2020
TIME: 3:20 p.m.
PLACE: Via video link or call in (see attached sheet for details)
To be streamed at www.hamilton.ca/committeeofadjustment
for viewing purposes only

PUBLIC INPUT

Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

Orally: If you would like to speak to this item at the hearing you may do so via video link or by calling in. Please see attached page for complete instructions, including deadlines for registering to participate.

MORE INFORMATION

For more information on this matter, including access to drawings illustrating this request:

- Visit www.hamilton.ca/committeeofadjustment
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935
- Email Committee of Adjustment staff at cofa@hamilton.ca

DATED: July 21st, 2020

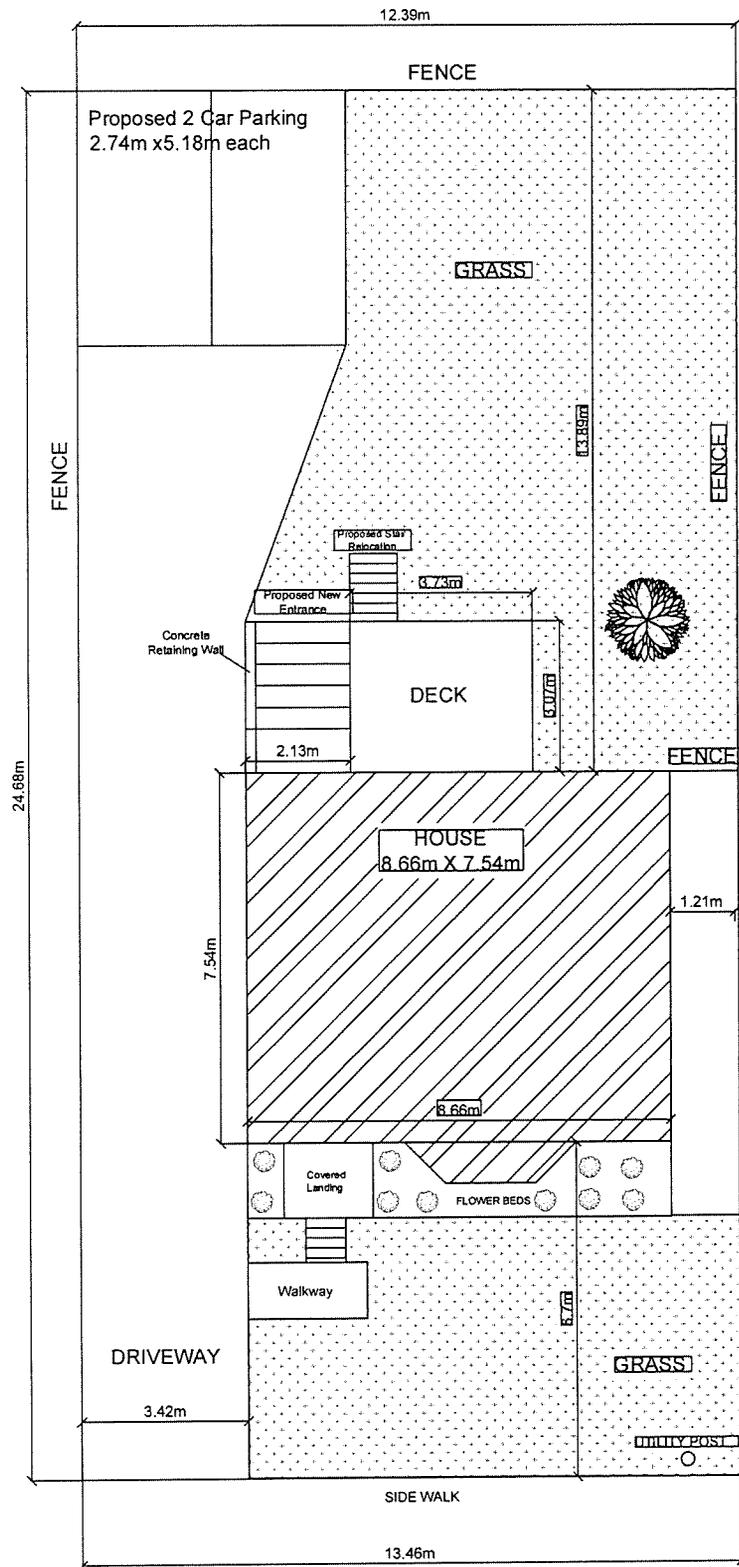
Jamila Sheffield,
Secretary-Treasurer
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public.

LOT - 12.39m X 24.68m

69 SALEM AVE

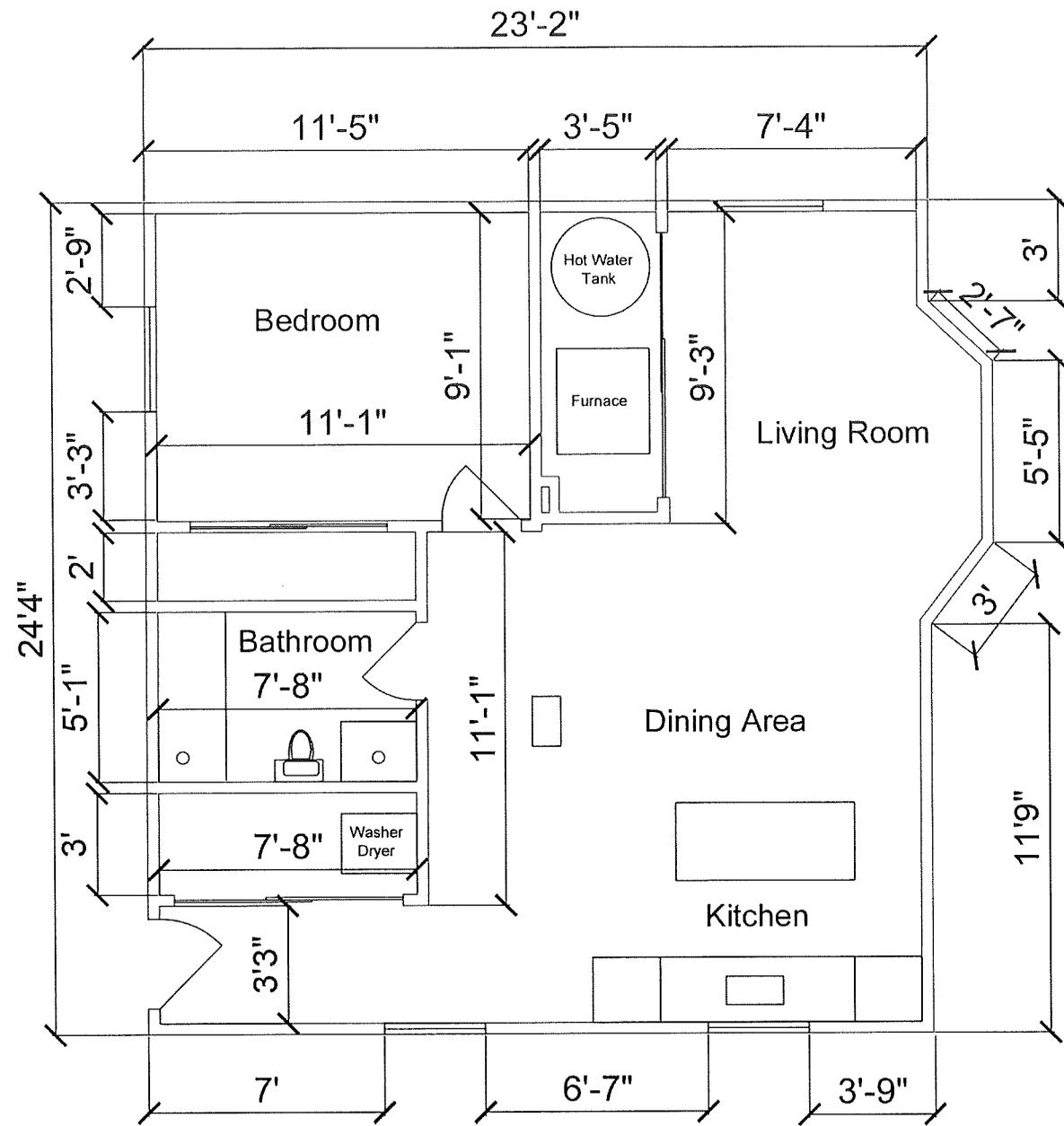
77 SALEM AVE



Salem Ave

Scale - 1/4" : 1'-0"





All Interior doors are 30" wide by 80" height

All Windows are 37" W x 24" H

Scale - 1/4" : 1'-0"





Hamilton

Committee of Adjustment

City Hall
5th floor 71 Main Street West
Hamilton, Ontario L8P 4Y5

Planning and Economic Development Department
Planning Division

Phone (905) 546-2424 ext.4221
Fax (905) 546-4202

**PLEASE FILL OUT THE FOLLOWING PAGES AND
RETURN TO THE CITY OF HAMILTON PLANNING
DEPARTMENT.**

FOR OFFICE USE ONLY.	
APPLICATION NO. _____	DATE APPLICATION RECEIVED _____
PAID _____	DATE APPLICATION DEEMED COMPLETE _____
SECRETARY'S SIGNATURE _____	

**CITY OF HAMILTON
COMMITTEE OF ADJUSTMENT
HAMILTON, ONTARIO**

The Planning Act

Application for Minor Variance or for Permission

The undersigned hereby applies to the Committee of Adjustment for the City of Hamilton under Section 45 of the *Planning Act*, R.S.O. 1990, Chapter P.13 for relief, as described in this application, from the Zoning By-law.

1. Name of Owner 9681833 Canada Inc. Telephone No. _____

2. _____

3. Name of Agent Darren Voros Telephone No. _____

4. _____

Note: Unless otherwise requested all communications will be sent to the agent, if any.

5. Names and addresses of any mortgagees, holders of charges or other encumbrances:

1898301 Ontario Ltd.

30 Saint Patrick St - 4th Floor, Toronto, ON Postal Code M5T 3A3

Postal Code _____

6. Nature and extent of relief applied for:

We are applying to the committee of adjustments to convert this property to a legal two unit dwelling under section 19 of the Hamilton Bylaw 6593. Under Section 19-1 (i) the bylaw states that each dwelling unit must have a minimum floor area of at least 65 square meters (699 square feet). The proposed dwelling unit is 668 square feet. An exterior entrance/exit will be added at the back of the property. Two car parking will be provided at the rear of the property where the garage used to sit as per the attached plan.

7. Why it is not possible to comply with the provisions of the By-law?

An addition to the property would be required in order to comply with the necessary square footage.

8. Legal description of subject lands (registered plan number and lot number or other legal description and where applicable, street and street number):

Plan 589 Pt lots 36 + 37

Plan 515 Pt lots 79 + 80

9. PREVIOUS USE OF PROPERTY

Residential Industrial Commercial

Agricultural Vacant

Other _____

9.1 If Industrial or Commercial, specify use

9.2 Has the grading of the subject land been changed by adding earth or other material, i.e. has filling occurred?

Yes No Unknown

9.3 Has a gas station been located on the subject land or adjacent lands at any time?

Yes No Unknown

9.4 Has there been petroleum or other fuel stored on the subject land or adjacent lands?

Yes No Unknown

9.5 Are there or have there ever been underground storage tanks or buried waste on the subject land or adjacent lands?

Yes No Unknown

9.6 Have the lands or adjacent lands ever been used as an agricultural operation where cyanide products may have been used as pesticides and/or sewage sludge was applied to the lands?

Yes No Unknown

9.7 Have the lands or adjacent lands ever been used as a weapon firing range?

Yes No Unknown

9.8 Is the nearest boundary line of the application within 500 metres (1,640 feet) of the fill area of an operational/non-operational landfill or dump?

Yes No Unknown

- 9.9 If there are existing or previously existing buildings, are there any building materials remaining on site which are potentially hazardous to public health (eg. asbestos, PCB's)?
 Yes _____ No X Unknown _____
- 9.10 Is there any reason to believe the subject land may have been contaminated by former uses on the site or adjacent sites?
 Yes _____ No X Unknown _____
- 9.11 What information did you use to determine the answers to 9.1 to 9.10 above?
The subject property and the surrounding properties have been part of a residential community since they were constructed in 1946 from what we know.
- 9.12 If previous use of property is industrial or commercial or if YES to any of 9.2 to 9.10, a previous use inventory showing all former uses of the subject land, or if appropriate, the land adjacent to the subject land, is needed.
 Is the previous use inventory attached? Yes _____ No _____

ACKNOWLEDGEMENT CLAUSE

I acknowledge that the City of Hamilton is not responsible for the identification and remediation of contamination on the property which is the subject of this Application – by reason of its approval to this Application.

6/24/2020
 Date


 Signature Property Owner

Darren Voros
 Print Name of Owner

10. Dimensions of lands affected:

Frontage	<u>40.33 ft</u>
Depth	<u>81 ft</u>
Area	<u>303 sq meters, 3266 sq ft, 0.07 A</u>
Width of street	<u>24 ft</u>

11. Particulars of all buildings and structures on or proposed for the subject lands: (Specify ground floor area, gross floor area, number of stories, width, length, height, etc.)

Existing: 1.5 storey, 995 above grade square footage, 668 total basement area,
House Dimensions 8.66m x 7.54m Deck area 3.07m x 3.73m

Proposed: same as above with an added walkout basement entrance/exit

12. Location of all buildings and structures on or proposed for the subject lands; (Specify distance from side, rear and front lot lines)

Existing: 6.7m front setback from sidewalk, 1.32m side setback from 77 Salem lot, 3.42m side setback from 69 Salem lot, 13.89m from back fence to the house (not including the deck)

Proposed: same as #12

13. Date of acquisition of subject lands:

May 4, 2020

14. Date of construction of all buildings and structures on subject lands:

1946

15. Existing uses of the subject property: Single Family Dwelling

16. Existing uses of abutting properties: Single Family Dwellings

17. Length of time the existing uses of the subject property have continued:

74 Years

18. Municipal services available: (check the appropriate space or spaces)

Water X Connected X

Sanitary Sewer X Connected X

Storm Sewers X

19. Present Official Plan/Secondary Plan provisions applying to the land:

Neighbourhood Designation

20. Present Restricted Area By-law (Zoning By-law) provisions applying to the land:

C

21. Has the owner previously applied for relief in respect of the subject property?

Yes

No X

If the answer is yes, describe briefly.

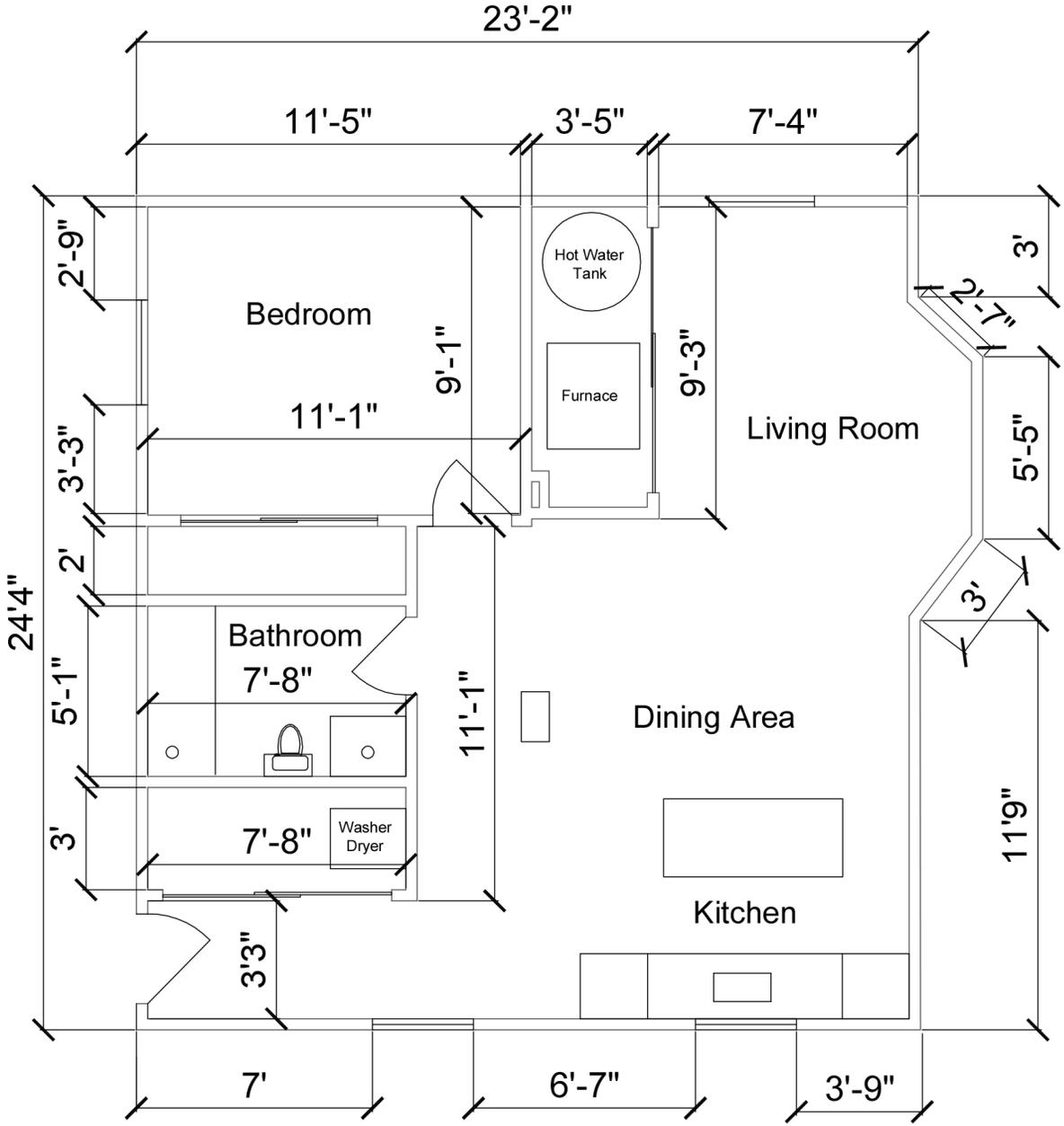
22. Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?

Yes

No X

23. The applicant shall attach to each copy of this application a plan showing the dimensions of the subject lands and of all abutting lands and showing the location, size and type of all buildings and structures on the subject and abutting lands, and where required by the Committee of Adjustment such plan shall be signed by an Ontario Land Surveyor.

NOTE: It is required that two copies of this application be filed with the secretary-treasurer of the Committee of Adjustment together with the maps

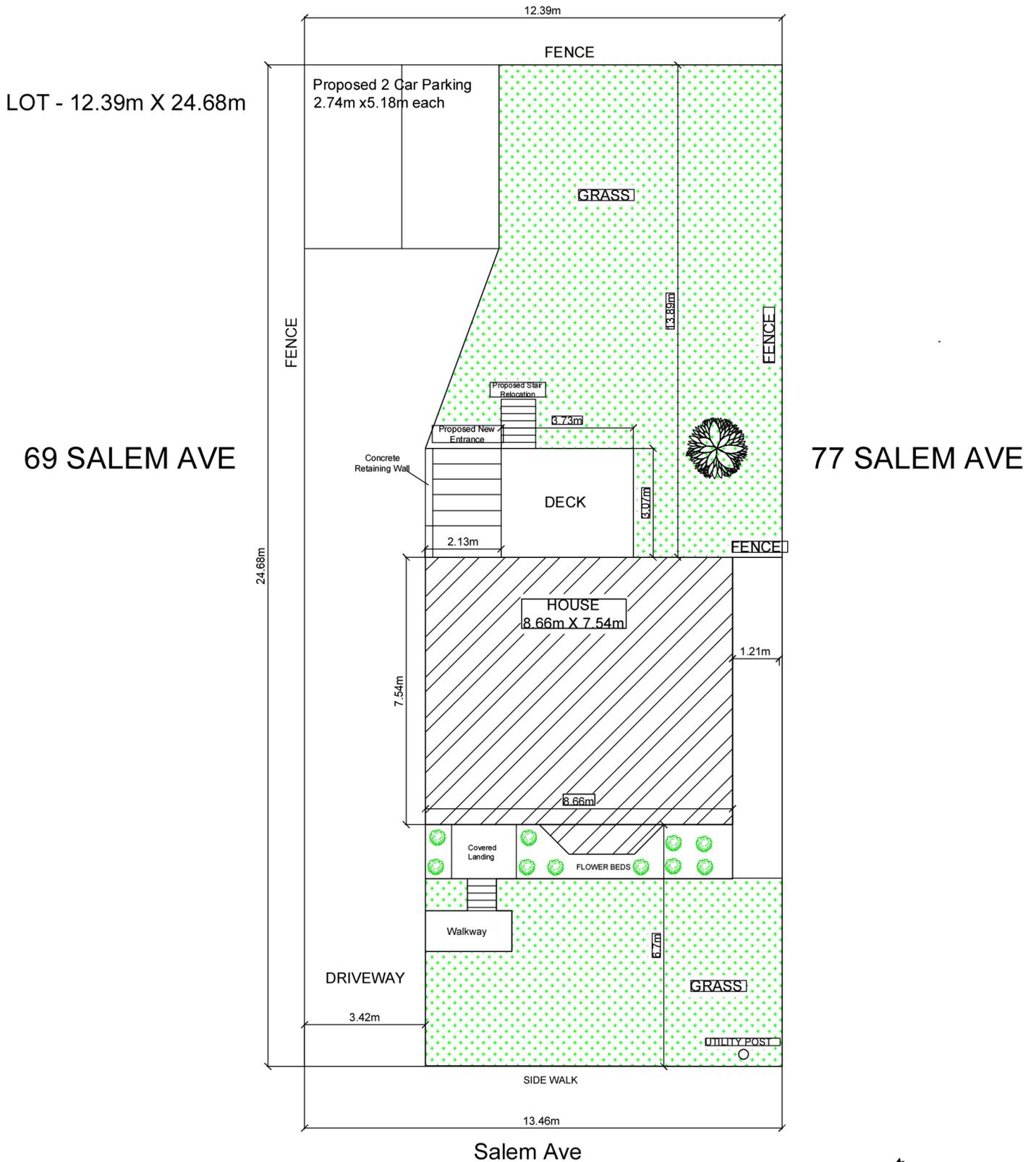


All Interior doors are 30" wide by 80" height

All Windows are 37" W x 24" H

Scale - 1/4" : 1'-0"





Scale - 1/4" : 1'-0"





Hamilton

COMMITTEE OF ADJUSTMENT

City Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5
 Telephone (905) 546-2424, ext. 4221, 3935 Fax (905) 546-4202
 E-mail: cofa@hamilton.ca

NOTICE OF PUBLIC HEARING Minor Variance

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
- Applicant/agent on file, or
- Person likely to be interested in this application

APPLICATION NO.: SC/A-20:127

APPLICANTS: Owner: 5000933 Ontario Inc.
 Agent: UrbanCore Developments

SUBJECT PROPERTY: Municipal address **20 Sauvignon Cres., Stoney Creek**

ZONING BY-LAW: Zoning By-law 3692-92, as Amended

ZONING: R2-61 (Single Residential) district

PROPOSAL: To permit the creation of a lot for the future establishment of a single detached dwelling notwithstanding that:

1. A minimum lot frontage of 12.0 metres shall be permitted instead of the minimum required lot frontage of 15.0 metres.

NOTES:

1. Drawings submitted have not been dimensioned noting the 7.5m setback from the parallel of the chord of the lot frontage. Should the lot frontage be measured at a distance of less than 7.5m; further variances may be required.

Lot - Frontage as defined:

Means the horizontal distance between the side lot lines which distance is to be measured along the continuous front lot line to determine the lot frontage but if the front lot line is not continuous then the lot frontage is to be determined by measuring the distance along the longest front lot line, but:

(b) Where the front lot line is not a straight line and the side lot lines are not parallel, the lot frontage is to be determined by measuring the distance of the line drawn 7.5 metres back and parallel to the chord of the lot frontage and for the purposes of this paragraph the chord of the lot frontage is a straight line joining the two points where the side lot lines intersect the front lot line;

2. Variances have been written as requested by the applicant, which are based on lot area and lot frontage only. Insufficient details (i.e. no building envelope, building plans, elevations or parking details etc.) were provided. Therefore, compliance with Section 6.3 of Stoney Creek Zoning By-law 3692-92 shall be determined at building permit stage, and further variances may be required.

SC/A-20:127
Page 2

This application will be heard by the Committee as shown below:

DATE: Thursday, August 6th, 2020
TIME: 3:25 p.m.
PLACE: Via video link or call in (see attached sheet for details)
To be streamed at www.hamilton.ca/committeeofadjustment
for viewing purposes only

PUBLIC INPUT

Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

Orally: If you would like to speak to this item at the hearing you may do so via video link or by calling in. Please see attached page for complete instructions, including deadlines for registering to participate.

MORE INFORMATION

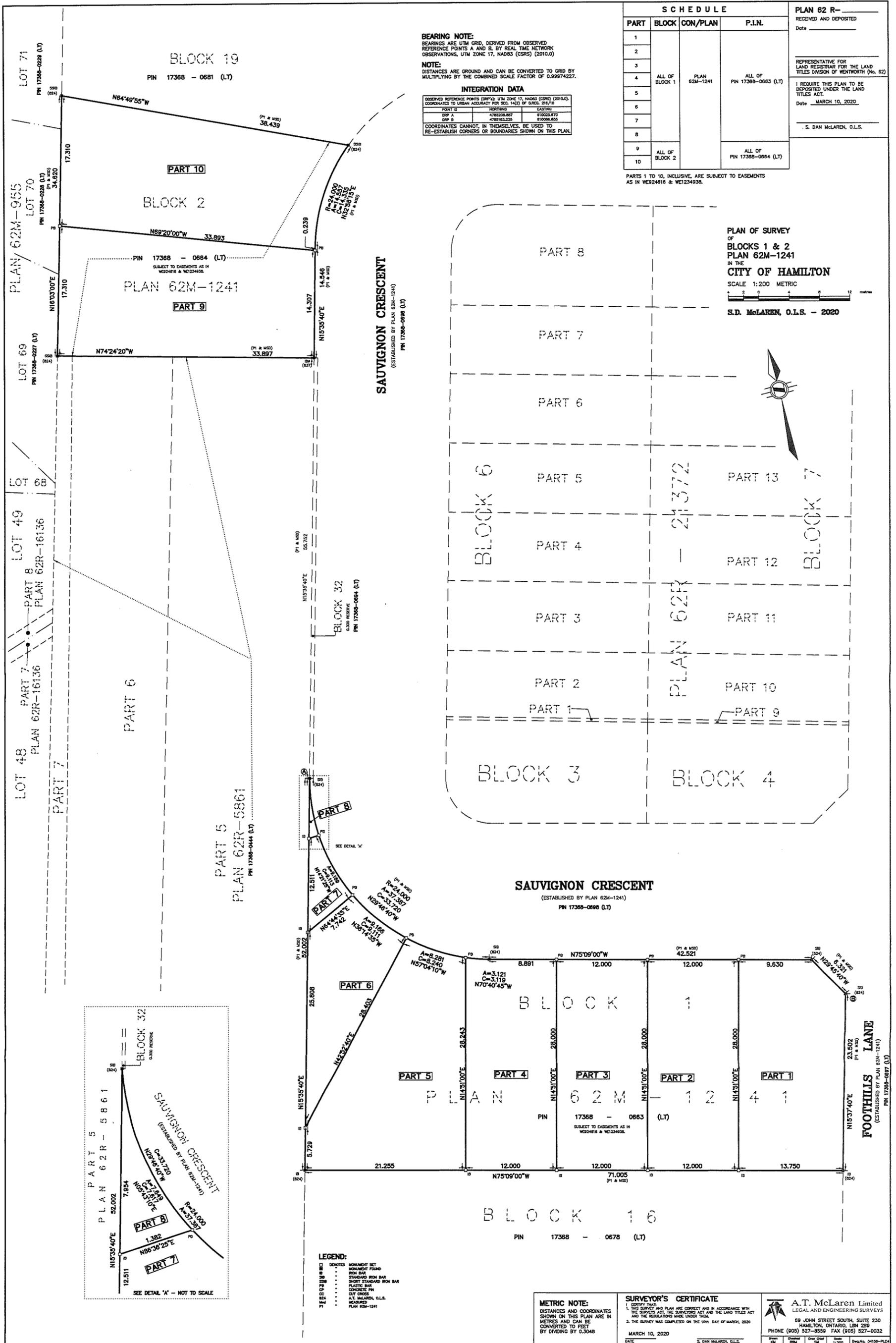
For more information on this matter, including access to drawings illustrating this request:

- Visit www.hamilton.ca/committeeofadjustment
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935
- Email Committee of Adjustment staff at cofa@hamilton.ca

DATED: July 21st, 2020

Jamila Sheffield,
Secretary-Treasurer
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public.



BEARING NOTE:
 BEARINGS ARE UTM GRID, DERIVED FROM OBSERVED REFERENCE POINTS A AND B, BY REAL TIME NETWORK OBSERVATIONS, UTM ZONE 17, NAD83 (CSRS) (2010.0)

NOTE:
 DISTANCES ARE GROUND AND CAN BE CONVERTED TO GRID BY MULTIPLYING BY THE COMBINED SCALE FACTOR OF 0.99974227.

INTEGRATION DATA

POINT ID	NORTHING	EASTING
GNP A	476238.807	810228.870
GNP B	476163.235	810088.655

COORDINATES CANNOT, IN THEMSELVES, BE USED TO RE-ESTABLISH CORNERS OR BOUNDARIES SHOWN ON THIS PLAN.

SCHEDULE			
PART	BLOCK	CON/PLAN	P.I.N.
1			
2			
3			
4	ALL OF BLOCK 1	PLAN 62M-1241	ALL OF PIN 17368-0663 (LT)
5			
6			
7			
8			
9	ALL OF BLOCK 2		ALL OF PIN 17368-0684 (LT)
10			

PARTS 1 TO 10, INCLUSIVE, ARE SUBJECT TO EASEMENTS AS IN WE24816 & WE1234936.

PLAN 62 R-
 RECEIVED AND DEPOSITED
 Date _____

REPRESENTATIVE FOR LAND REGISTRAR FOR THE LAND TITLES DIVISION OF KENTWORTH (No. 62)

I REQUIRE THIS PLAN TO BE DEPOSITED UNDER THE LAND TITLES ACT.
 Date MARCH 10, 2020

S. DAN McLAREN, O.L.S.

PLAN OF SURVEY
 OF
BLOCKS 1 & 2
PLAN 62M-1241
 IN THE
CITY OF HAMILTON
 SCALE 1:200 METRIC

S.D. McLAREN, O.L.S. - 2020

SAUVIGNON CRESCENT
 (ESTABLISHED BY PLAN 62M-1241)
 PIN 17368-0686 (LT)

PLAN 62M-1241
 PIN 17368 - 0663 (LT)
 SUBJECT TO EASEMENTS AS IN WE24816 & WE1234936

METRIC NOTE:
 DISTANCES AND COORDINATES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

SURVEYOR'S CERTIFICATE
 I CERTIFY THAT THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEY ACT, THE SURVEYORS ACT AND THE LAND TITLES ACT AND THE REGULATIONS MADE UNDER THEM.
 THE SURVEY WAS COMPLETED ON THE 10th DAY OF MARCH, 2020
 MARCH 10, 2020
 DATE _____
 S. DAN McLAREN, O.L.S.

A.T. McLaren Limited
 LEGAL AND ENGINEERING SURVEYS
 69 JOHN STREET SOUTH, SUITE 230
 HAMILTON, ONTARIO, L8N 2B9
 PHONE (905) 527-8559 FAX (905) 527-0032

- LEGEND:**
- DOTTED MONUMENT SET
 - MONUMENT FOUND
 - IRON BAR
 - SHORT STANDARD IRON BAR
 - PLASTIC BAR
 - CONCRETE PIN
 - CUT CROSS
 - N.T. MARKED
 - A.T. McLAREN, O.L.S.
 - MEASURED
 - PLAN 62M-1241

20.112198

RECEIVED

JUN 22 2020



Hamilton

Committee of Adjustment

City Hall
5th floor 71 Main Street West
Hamilton, Ontario L8P 4Y5

Planning and Economic Development Department
Planning Division

Phone (905) 546-2424 ext.4221
Fax (905) 546-4202

PLEASE FILL OUT THE FOLLOWING PAGES AND
RETURN TO THE CITY OF HAMILTON PLANNING
DEPARTMENT.

FOR OFFICE USE ONLY.	
APPLICATION NO. <u>SC/A-20:127</u>	DATE APPLICATION RECEIVED <u>June 22/20</u>
PAID _____	DATE APPLICATION DEEMED COMPLETE _____
SECRETARY'S SIGNATURE _____	

CITY OF HAMILTON
COMMITTEE OF ADJUSTMENT
HAMILTON, ONTARIO

The Planning Act

Application for Minor Variance or for Permission

The undersigned hereby applies to the Committee of Adjustment for the City of Hamilton under Section 45 of the *Planning Act*, R.S.O. 1990, Chapter P.13 for relief, as described in this application, from the Zoning By-law.

- Name of Owner 5000933 Ontario Inc. Telephone No.
-
- Name of Agent Urbancore Developments Telephone No.
-

Note: Unless otherwise requested all communications will be sent to the agent, if any.

- Names and addresses of any mortgagees, holders of charges or other encumbrances:
N/A

Postal Code _____

Postal Code _____

6. Nature and extent of relief applied for:
To reduce the minimum lot frontage from 15.0 m to 12.0 m.

7. Why it is not possible to comply with the provisions of the By-law?
 Please refer to cover letter.

8. Legal description of subject lands (registered plan number and lot number or other legal description and where applicable, street and street number):
Part of Block 1, Registered Plan of Subdivision 62M-1241

9. PREVIOUS USE OF PROPERTY
 Residential _____ Industrial _____ Commercial _____
 Agricultural _____ Vacant X
 Other _____

9.1 If Industrial or Commercial, specify use
N/A

9.2 Has the grading of the subject land been changed by adding earth or other material, i.e. has filling occurred?
 Yes X No _____ Unknown _____

9.3 Has a gas station been located on the subject land or adjacent lands at any time?
 Yes _____ No X Unknown _____

9.4 Has there been petroleum or other fuel stored on the subject land or adjacent lands?
 Yes _____ No X Unknown _____

9.5 Are there or have there ever been underground storage tanks or buried waste on the subject land or adjacent lands?
 Yes _____ No X Unknown _____

9.6 Have the lands or adjacent lands ever been used as an agricultural operation where cyanide products may have been used as pesticides and/or sewage sludge was applied to the lands?
 Yes _____ No X Unknown _____

9.7 Have the lands or adjacent lands ever been used as a weapon firing range?
 Yes _____ No X Unknown _____

9.8 Is the nearest boundary line of the application within 500 metres (1,640 feet) of the fill area of an operational/non-operational landfill or dump?
 Yes _____ No X Unknown _____

9.9 If there are existing or previously existing buildings, are there any building materials remaining on site which are potentially hazardous to public health (eg. asbestos, PCB's)?

Yes No Unknown

9.10 Is there any reason to believe the subject land may have been contaminated by former uses on the site or adjacent sites?

Yes No Unknown

9.11 What information did you use to determine the answers to 9.1 to 9.10 above?

Consultation with the owner

9.12 If previous use of property is industrial or commercial or if YES to any of 9.2 to 9.10, a previous use inventory showing all former uses of the subject land, or if appropriate, the land adjacent to the subject land, is needed. N/A

Is the previous use inventory attached? Yes No

ACKNOWLEDGEMENT CLAUSE

I acknowledge that the City of Hamilton is not responsible for the identification and remediation of contamination on the property which is the subject of this Application – by reason of its approval to this Application.

June 3, 2020
Date



Signature Property Owner
5700933 Ontario Inc.
Anthony DiCenzo
Print Name of Owner

10. Dimensions of lands affected:

Frontage 12.00 m
Depth 28.24 m
Area 473.29 m²
Width of street 18.00 m

11. Particulars of all buildings and structures on or proposed for the subject lands: (Specify ground floor area, gross floor area, number of stories, width, length, height, etc.)

Existing: N/A

Proposed: This application is to request relief from the minimum lot frontage in order to lift Part Lot Control for the 5 single detached dwellings in Block 1. No buildings have been proposed as Part Lot Control needs to be completed in order to create the lots.

12. Location of all buildings and structures on or proposed for the subject lands; (Specify distance from side, rear and front lot lines)

Existing: N/A

Proposed: Please refer to 11 above.

13. Date of acquisition of subject lands:

Unknown

14. Date of construction of all buildings and structures on subject lands:

N/A

15. Existing uses of the subject property: Vacant

16. Existing uses of abutting properties: North - Residential, East - Future Residential
West - Residential, South - Future Residential

17. Length of time the existing uses of the subject property have continued:

Unknown

18. Municipal services available: (check the appropriate space or spaces)

Water Connected
Sanitary Sewer Connected
Storm Sewers

19. Present Official Plan/Secondary Plan provisions applying to the land:

Urban Hamilton Official Plan - Neighbourhoods and in the Fruitland Winona Secondary Plan -
Low Density Residential 2

20. Present Restricted Area By-law (Zoning By-law) provisions applying to the land:

Single Residential - Two "R2-61" in the Stoney Creek By-law No. 3692-92.

21. Has the owner previously applied for relief in respect of the subject property?

Yes

No

If the answer is yes, describe briefly.

N/A

22. Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?

Yes

No

23. The applicant shall attach to each copy of this application a plan showing the dimensions of the subject lands and of all abutting lands and showing the location, size and type of all buildings and structures on the subject and abutting lands, and where required by the Committee of Adjustment such plan shall be signed by an Ontario Land Surveyor.

NOTE: It is required that two copies of this application be filed with the secretary-treasurer of the Committee of Adjustment together with the maps



June 18, 2020

Via Delivered

Ms. Jamila Sheffield
 Secretary-Treasurer
 Committee of Adjustment

City of Hamilton
 71 Main Street West, 5th Floor
 Hamilton, ON, L8P 4Y5

Dear Ms. Sheffield,

**Re: Part of Block 1, Registered Plan of Subdivision 62M-1241
 20 Sauvignon Crescent, Stoney Creek, Hamilton
 Minor Variance Application Submission**

RECEIVED
 JUN 22 2020
 COM OF ADJUSTMT

290-18

Urbancore Developments on behalf of the owner 5000933 Ontario Inc., is pleased to submit the enclosed Minor Variance application for the lands legally known as Part of Block 1, Registered Plan of Subdivision 62M-1241.

The subject lands are designated Neighbourhoods in the Urban Hamilton Official Plan and Low Density Residential 2 of the Fruitland – Winona Secondary Plan. The subject lands are zoned Single Residential – Two “R2-61” in the City of Stoney Creek Zoning By-law No. 3692-92.

Purpose of the Application

This Minor Variance Application is required to achieve relief on the subject lands within a Single Residential - Two “R2-61” Zone to facilitate a future Part Lot Control application that would subdivide Block 1 into 5 lots. As shown on the enclosed Zoning image, Block 1 is dual zoned as Single Residential – Three “R3-40” which lots 1 – 4 are located in and conform to. The portion of the Block where lot 5 is located is zoned Single Residential – Two “R2-61” where the following minor variance is required to facilitate the Part Lot Control application:

- To permit a minimum lot frontage of 12.0 metres whereas 15.0 metres is the required minimum.

To assist in the evaluation of the application, please refer to the enclosed Minor Variance Sketch.

Section 45(1) of the Planning Act, R.S.O, 1990, as amended, requires a Minor Variance to satisfy four tests. In consideration of the above, the requested variance is technical in nature and does promote good Urban Design principles. The single detached dwelling is a permitted use in the Neighbourhoods designation of the Urban Hamilton Official Plan, the Low Density Residential 2 designation of the Fruitland-Winona Secondary Plan, and the Single Residential - Two " R2-61" Zone of the City of Stoney Creek Zoning By-law No. 3692-92. Based on this, it is our opinion that the application for the above minor variance satisfies the four tests outlined in Section 45(1) of the Planning Act as the relief requested is minor in nature, is desirable for the appropriate development of the lands, and meets the general intent and purpose of the Official Plan and Zoning By-law.

In support of this application, please find enclosed the following:

- Two (2) copies of the completed Minor Variance Application form;
- One (1) copy of the draft R-Plan, prepared by A.T. McLaren;
- One (1) copy of a Zoning Image;
- Two (2) copies of the Minor Variance Sketch; and,
- One (1) cheque payable to the City of Hamilton in the amount of **\$3,302.00**.

We trust the enclosed is in order; however, please feel free to contact the undersigned with any questions.

Regards,

UrbanCore Developments Inc.



Spencer McKay, CPT
Project Manager

cc: Messrs. A. DiCenzo & S. Manchia, 5000933 Ontario Inc.
Councillor Maria Pearson, Ward 10, City of Hamilton (cover letter only)
Mr. Steve Robichaud, Chief Planner, City of Hamilton (cover letter only)



Hamilton

COMMITTEE OF ADJUSTMENT

City Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5
 Telephone (905) 546-2424, ext. 4221, 3935 Fax (905) 546-4202
 E-mail: cofa@hamilton.ca

NOTICE OF PUBLIC HEARING

Application for Consent/Land Severance

APPLICATION NUMBER: AN/B-20:36

SUBJECT PROPERTY: 40-46 Roselawn Ave., Ancaster

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
- Applicant/agent on file, or
- Person likely to be interested in this application

APPLICANT(S): Justin & Andrea deVries
 Agent: Gerry Gatto

PURPOSE OF APPLICATION: To permit the conveyance of an exiting single detached dwelling and to retain an existing single detached dwelling.

Severed lands:
 22.86m[±] x 35.02m[±] and an area of 801.2m^{2±}

Retained lands:
 22.86m[±] x 35.02m[±] and an area of 801.2m^{2±}

This application will be heard by the Committee as shown below:

DATE: Thursday, August 6th, 2020
TIME: 3:30 p.m.
PLACE: Via video link or call in (see attached sheet for details)
To be streamed at www.hamilton.ca/committeeofadjustment for viewing purposes only

PUBLIC INPUT

Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

Orally: If you would like to speak to this item at the hearing you may do so via video link or by calling in. Please see attached page for complete instructions, including deadlines for registering to participate.

AN/B-20:36
Page 2

MORE INFORMATION

For more information on this matter, including access to drawings illustrating this request:

- Visit www.hamilton.ca/committeeofadjustment
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935
- Email Committee of Adjustment staff at cofa@hamilton.ca

DATED: July 21st, 2020

Jamila Sheffield,
Secretary-Treasurer
Committee of Adjustment

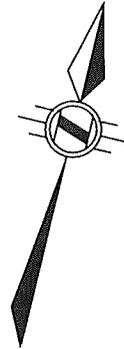
Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public.

SKETCH FOR SEVERANCE APPLICATION
 OF
LOT 115
 REGISTERED PLAN 919
 IN THE
CITY OF HAMILTON

SCALE 1:300 METRIC

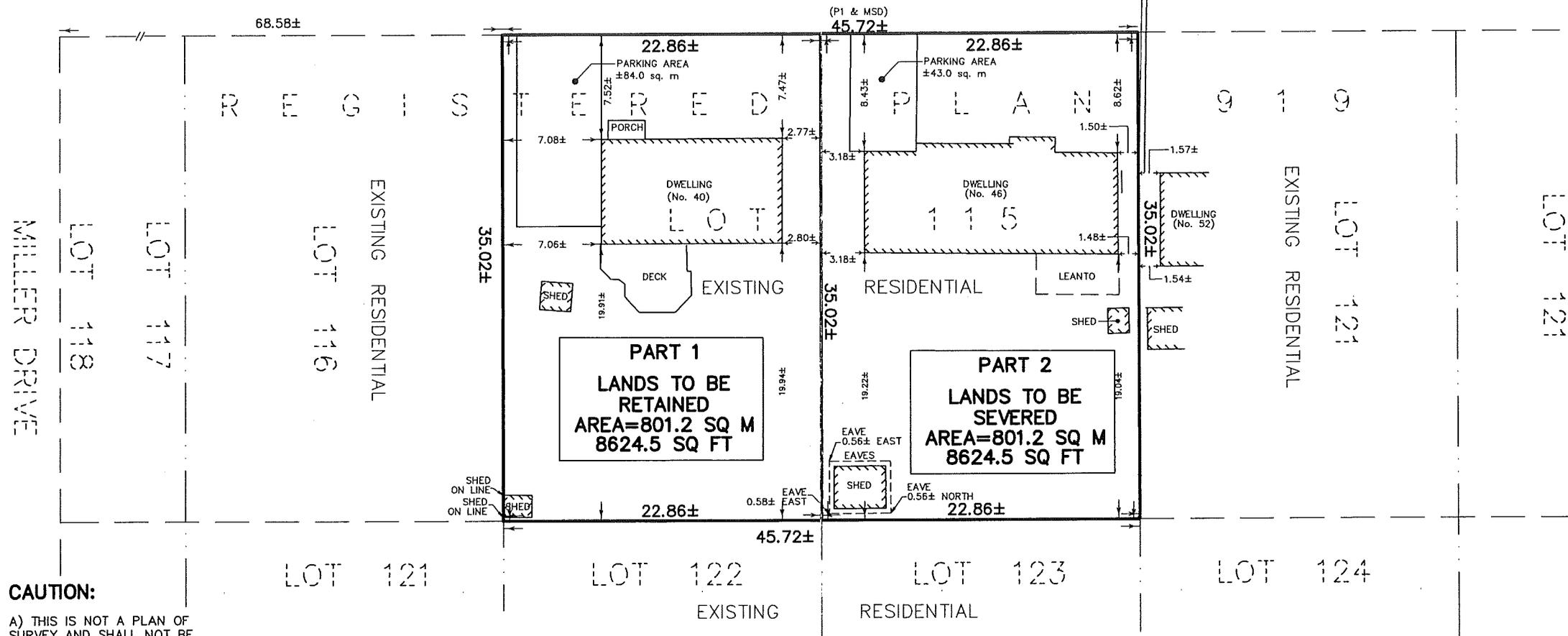
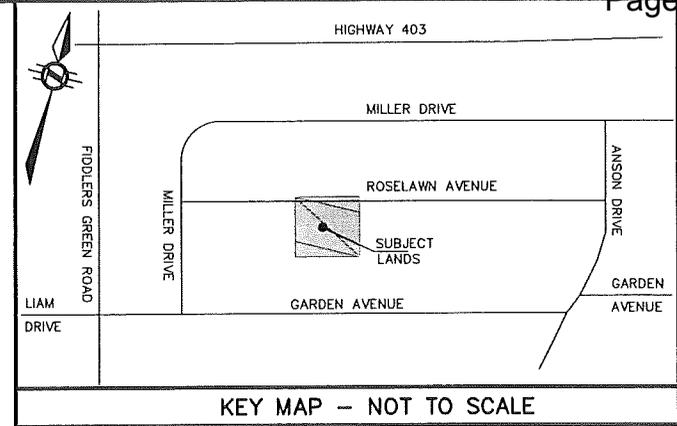


S.D. McLAREN, O.L.S. - 2020



ROSELAWN AVENUE

(ESTABLISHED BY REGISTERED PLAN 919)
 (20.117m WDE)



CAUTION:

A) THIS IS NOT A PLAN OF SURVEY AND SHALL NOT BE USED EXCEPT FOR THE PURPOSE INDICATED IN THE TITLE BLOCK

B) THIS SKETCH IS PROTECTED BY COPYRIGHT ©

NOTE:

DISTANCES SHOWN ON THIS PLAN ARE DERIVED FROM REGISTERED PLAN 919

METRIC NOTE:

DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

A.T. McLaren Limited
 LEGAL AND ENGINEERING SURVEYS
 69 JOHN STREET SOUTH, SUITE 230
 HAMILTON, ONTARIO, L8N 2B9
 PHONE (905) 527-8559 FAX (905) 527-0032

Drawn KM	Checked RBM	Scale 1:300	Dwg.No. 36314-LDC
----------	-------------	-------------	-------------------

20-172225



Hamilton

Planning and Economic Development Department
Planning Division

Committee of Adjustment
City Hall
5th floor, 71 Main Street West
Hamilton, Ontario L8P 4Y5
Phone (905) 546-2424, ext. 4221
Fax (905) 546-4202

**APPLICATION FOR CONSENT TO SEVER LAND
UNDER SECTION 53 OF THE PLANNING ACT**

Office Use Only

Date Application Received: <i>June 25/20</i>	Date Application Deemed Complete:	Submission No.: <i>AN/B. 20:36</i>	File No.:
---	-----------------------------------	---------------------------------------	-----------

RECEIVED
JUN 25 2020
COM OF ADJUSTMT

1 APPLICANT INFORMATION

1.1, 1.2	NAME	ADDRESS	PHONE/FAX
Registered Owners(s)	<i>Justin + Andrea Davies</i>		
Applicant(s)*	<i>n</i>		
Agent or Solicitor	<i>Gerry G. Gatto</i>		

* Owner's authorisation required if the applicant is not the owner.

1.3 All correspondence should be sent to Owner Applicant Agent/Solicitor

2 LOCATION OF SUBJECT LAND Complete the applicable lines

2.1 Area Municipality <i>Ancaster</i>	Lot <i>P4 lot 115</i>	Concession	Former Township
Registered Plan N°. <i>919</i>	Lot(s)	Reference Plan N°.	Part(s)
Municipal Address <i>76 Roselawn Ave, Ancaster L9G 2J2</i>			Assessment Roll N°. <i>14038016800000</i>

2.2 Are there any easements or restrictive covenants affecting the subject land?

Yes No

If YES, describe the easement or covenant and its effect:

3 PURPOSE OF THE APPLICATION

3.1 Type and purpose of proposed transaction: (check appropriate box)

a) Urban Area Transfer (do not complete Section 10):

- | | |
|--|---|
| <input type="checkbox"/> creation of a new lot | Other: <input type="checkbox"/> a charge |
| <input type="checkbox"/> addition to a lot | <input type="checkbox"/> a lease |
| <input type="checkbox"/> an easement | <input checked="" type="checkbox"/> a correction of title |

b) Rural Area / Rural Settlement Area Transfer (Section 10 must be completed):

- creation of a new lot
- creation of a new non-farm parcel (i.e. a lot containing a surplus farm dwelling resulting from a farm consolidation)
- addition to a lot
- Other: a charge
- a lease
- a correction of title
- an easement

3.2 Name of person(s), if known, to whom land or interest in land is to be transferred, leased or charged: Justin & Andrea Davies

3.3 If a lot addition, identify the lands to which the parcel will be added: N/A

4 DESCRIPTION OF SUBJECT LAND AND SERVICING INFORMATION

4.1 Description of land intended to be Severed: 46 Roselawn Ave

Frontage (m)	Depth (m)	Area (m ² or ha)
<u>22.66m</u>	<u>35.02m</u>	<u>801.2m²</u>

Existing Use of Property to be severed:

- Residential
- Agriculture (includes a farm dwelling)
- Other (specify) _____
- Industrial
- Agricultural-Related
- Commercial
- Vacant

Proposed Use of Property to be severed:

- Residential
- Agriculture (includes a farm dwelling)
- Other (specify) _____
- Industrial
- Agricultural-Related
- Commercial
- Vacant

Building(s) or Structure(s):

Existing: Residential use. pre-existing single-story bungalow.

Proposed: No change.

Type of access: (check appropriate box)

- provincial highway
- municipal road, seasonally maintained
- municipal road, maintained all year
- right of way
- other public road

Type of water supply proposed: (check appropriate box)

- publicly owned and operated piped water system
- privately owned and operated individual well
- lake or other water body
- other means (specify) _____

Type of sewage disposal proposed: (check appropriate box)

- publicly owned and operated sanitary sewage system
- privately owned and operated individual septic system
- other means (specify) _____

4.2 Description of land intended to be Retained: 40 Roselawn Ave.

Frontage (m)	Depth (m)	Area (m ² or ha)
<u>22.66m</u>	<u>35.02m</u>	<u>801.2m²</u>

Existing Use of Property to be retained:

- Residential
- Agriculture (includes a farm dwelling)
- Other (specify) _____
- Industrial
- Agricultural-Related
- Commercial
- Vacant

A land fill	<input type="checkbox"/>	
A sewage treatment plant or waste stabilization plant	<input type="checkbox"/>	
A provincially significant wetland	<input type="checkbox"/>	
A provincially significant wetland within 120 metres	<input type="checkbox"/>	
A flood plain	<input type="checkbox"/>	
An industrial or commercial use, and specify the use(s)	<input type="checkbox"/>	
An active railway line	<input type="checkbox"/>	
A municipal or federal airport	<input type="checkbox"/>	

6 PREVIOUS USE OF PROPERTY

- Residential Industrial Commercial
 Agriculture Vacant Other (specify)

- 6.1 If Industrial or Commercial, specify use _____
- 6.2 Has the grading of the subject land been changed by adding earth or other material, i.e., has filling occurred?
 Yes No Unknown
- 6.3 Has a gas station been located on the subject land or adjacent lands at any time?
 Yes No Unknown
- 6.4 Has there been petroleum or other fuel stored on the subject land or adjacent lands?
 Yes No Unknown
- 6.5 Are there or have there ever been underground storage tanks or buried waste on the subject land or adjacent lands?
 Yes No Unknown
- 6.6 Have the lands or adjacent lands ever been used as an agricultural operation where cyanide products may have been used as pesticides and/or biosolids was applied to the lands?
 Yes No Unknown
- 6.7 Have the lands or adjacent lands ever been used as a weapons firing range?
 Yes No Unknown
- 6.8 Is the nearest boundary line of the application within 500 metres (1,640 feet) of the fill area of an operational/non-operational landfill or dump?
 Yes No Unknown
- 6.9 If there are existing or previously existing buildings, are there any building materials remaining on site which are potentially hazardous to public health (e.g., asbestos, PCB's)?
 Yes No Unknown
- 6.10 Is there reason to believe the subject land may have been contaminated by former uses on the site or adjacent sites?
 Yes No Unknown
- 6.11 What information did you use to determine the answers to 6.1 to 6.10 above?
Residential use since lot creation in 1957.
- 6.12 If previous use of property is industrial or commercial or if YES to any of 6.2 to 6.10, a previous use inventory showing all former uses of the subject land, or if appropriate, the land adjacent to the subject land, is needed.
 Is the previous use inventory attached?
 Yes No

7 PROVINCIAL POLICY

- 7.1 a) Is this application consistent with the Policy Statements issued under subsection of the *Planning Act*? (Provide explanation)

- Yes No

The lands are within a settlement area.

- b) Is this application consistent with the Provincial Policy Statement (PPS)?
 - Yes
 - No (Provide explanation)

Established residential. No changes to footprint or new area development being proposed in this application.

- c) Does this application conform to the Growth Plan for the Greater Golden Horseshoe?
 - Yes
 - No (Provide explanation)

The lands are within the built boundary.

- d) Are the subject lands within an area of land designated under any provincial plan or plans? (If YES, provide explanation on whether the application conforms or does not conflict with the provincial plan or plans.)
 - Yes
 - No

- e) Are the subject lands subject to the Niagara Escarpment Plan?
 - Yes
 - No

If yes, is the proposal in conformity with the Niagara Escarpment Plan?

- Yes
- No (Provide Explanation)

- f) Are the subject lands subject to the Parkway Belt West Plan?
 - Yes
 - No

If yes, is the proposal in conformity with the Parkway Belt West Plan?

- Yes
- No (Provide Explanation)

- g) Are the subject lands subject to the Greenbelt Plan?
 - Yes
 - No

If yes, does this application conform with the Greenbelt Plan?

- Yes
- No (Provide Explanation)

8 HISTORY OF THE SUBJECT LAND

- 8.1 Has the subject land ever been the subject of an application for approval of a plan of subdivision or a consent under sections 51 or 53 of the *Planning Act*?
 Yes No Unknown

If YES, and known, indicate the appropriate application file number and the decision made on the application.

- 8.2 If this application is a re-submission of a previous consent application, describe how it has been changed from the original application.
-

- 8.3 Has any land been severed or subdivided from the parcel originally acquired by the owner of the subject land? Yes No

If YES, and if known, provide for each parcel severed, the date of transfer, the name of the transferee and the land use.

- 8.4 How long has the applicant owned the subject land?

Purchase date September 7, 2005.

- 8.5 Does the applicant own any other land in the City? Yes No

If YES, describe the lands in "11 - Other Information" or attach a separate page.

9 OTHER APPLICATIONS

- 9.1 Is the subject land currently the subject of a proposed official plan amendment that has been submitted for approval? Yes No Unknown

If YES, and if known, specify file number and status of the application.

- 9.2 Is the subject land the subject of any other application for a Minister's zoning order, zoning by-law amendment, minor variance, consent or approval of a plan of subdivision?

Yes No Unknown

If YES, and if known, specify file number and status of the application(s).

File number _____ Status _____

10 RURAL APPLICATIONS

NA

- 10.1 Rural Hamilton Official Plan Designation(s)

Agricultural Rural Specialty Crop

Mineral Aggregate Resource Extraction Open Space Utilities

Rural Settlement Area (specify) _____

Settlement Area _____ Designation _____

If proposal is for the creation of a non-farm parcel resulting from a farm consolidation, indicate the existing land use designation of the abutting or non-abutting farm operation.

- 10.2 Type of Application (select type and complete appropriate sections)

- Agricultural Severance or Lot Addition
- Agricultural Related Severance or Lot Addition
- Rural Resource-based Commercial Severance or Lot Addition
- Rural Institutional Severance or Lot Addition

(Complete Section 10.3)

- Rural Settlement Area Severance or Lot Addition
- Surplus Farm Dwelling Severance from an Abutting Farm Consolidation (Complete Section 10.4)
- Surplus Farm Dwelling Severance from a Non-Abutting Farm Consolidation (Complete Section 10.5)

10.3 Description of Lands

a) Lands to be Severed:

Frontage (m): (from Section 4.1)	Area (m ² or ha): (from in Section 4.1)
----------------------------------	--

Existing Land Use: _____ Proposed Land Use: _____

b) Lands to be Retained:

Frontage (m): (from Section 4.2)	Area (m ² or ha): (from Section 4.2)
----------------------------------	---

Existing Land Use: _____ Proposed Land Use: _____

10.4 Description of Lands (Abutting Farm Consolidation)

a) Location of abutting farm:

 (Street) (Municipality) (Postal Code)

b) Description abutting farm:

Frontage (m):	Area (m ² or ha):
---------------	------------------------------

Existing Land Use(s): _____ Proposed Land Use(s): _____

c) Description of consolidated farm (excluding lands intended to be severed for the surplus dwelling):

Frontage (m):	Area (m ² or ha):
---------------	------------------------------

Existing Land Use: _____ Proposed Land Use: _____

d) Description of surplus dwelling lands proposed to be severed:

Frontage (m): (from Section 4.1)	Area (m ² or ha): (from Section 4.1)
----------------------------------	---

Front yard set back: _____

e) Surplus farm dwelling date of construction:

- Prior to December 16, 2004 After December 16, 2004

f) Condition of surplus farm dwelling:

- Habitable Non-Habitable

g) Description of farm from which the surplus dwelling is intended to be severed (retained parcel):

Frontage (m): (from Section 4.2)	Area (m ² or ha): (from Section 4.2)
----------------------------------	---

Existing Land Use: _____ Proposed Land Use: _____

10.5 Description of Lands (Non-Abutting Farm Consolidation)

a) Location of non-abutting farm

 (Street) (Municipality) (Postal Code)

b) Description of non-abutting farm

Frontage (m):	Area (m2 or ha):
---------------	------------------

Existing Land Use(s): _____ Proposed Land Use(s): _____

c) Description of surplus dwelling lands intended to be severed:

Frontage (m): (from Section 4.1)	Area (m2 or ha): (from Section 4.1)
----------------------------------	-------------------------------------

Front yard set back: _____

d) Surplus farm dwelling date of construction:

- Prior to December 16, 2004 After December 16, 2004

e) Condition of surplus farm dwelling:

- Habitable Non-Habitable

f) Description of farm from which the surplus dwelling is intended to be severed (retained parcel):

Frontage (m): (from Section 4.2)	Area (m2 or ha): (from Section 4.2)
----------------------------------	-------------------------------------

Existing Land Use: _____ Proposed Land Use: _____

11 OTHER INFORMATION

Is there any other information that you think may be useful to the Committee of Adjustment or other agencies in reviewing this application? If so, explain below or attach on a separate page.

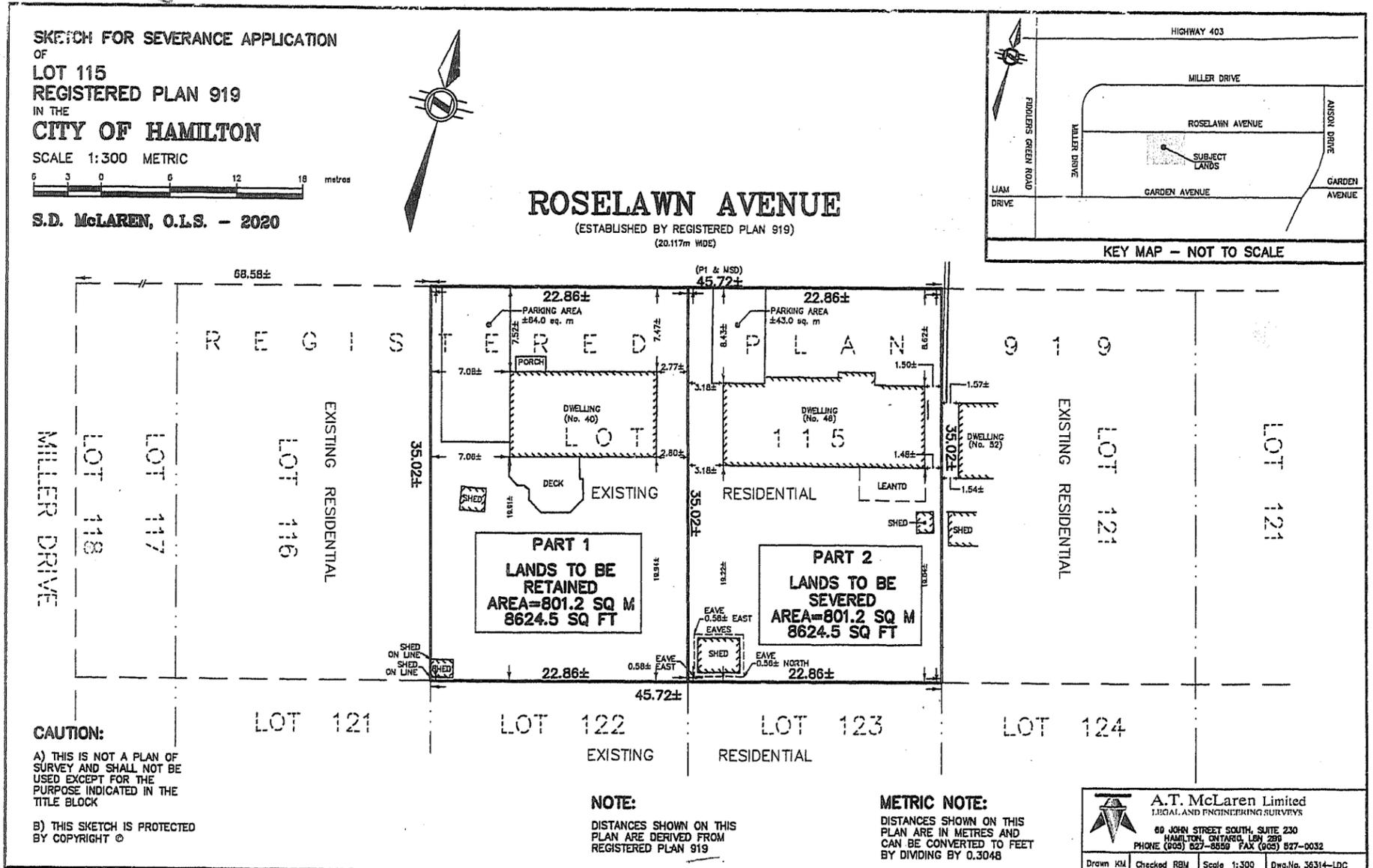
12 SKETCH (Use the attached Sketch Sheet as a guide)

12.1 The application shall be accompanied by a sketch showing the following in metric units:

- (a) the boundaries and dimensions of any land abutting the subject land that is owned by the owner of the subject land;
- (b) the approximate distance between the subject land and the nearest township lot line or landmark such as a bridge or railway crossing;
- (c) the boundaries and dimensions of the subject land, the part that is intended to be severed and the part that is intended to be retained;
- (d) the location of all land previously severed from the parcel originally acquired by the current owner of the subject land;
- (e) the approximate location of all natural and artificial features (for example, buildings, barns, railways, roads, watercourses, drainage ditches, banks of rivers or streams, wetlands, wooded areas, wells and septic tanks) that,
 - i) are located on the subject land and on land that is adjacent to it, and
 - ii) in the applicant's opinion, may affect the application;
- (f) the current uses of land that is adjacent to the subject land (for example, residential, agricultural or commercial);
- (g) the location, width and name of any roads within or abutting the subject land, indicating whether it is an unopened road allowance, a public travelled road, a private

#40 Roselawn Ave (to be retained)
 Residence - total lot coverage: 12.34% (98.93m²)
 Parking: 84m² = 10.5% total coverage.
 Residence Height: 5.029m.

Yard encroachments → front + back = 0.533m.
 side = 0.229m.



#46 Roselawn Ave (to be severed).
 Residence - total lot coverage = 16.29% (130.53m²)
 Parking - 43m² = 5.4% total lot coverage.
 Building height = 5.334m

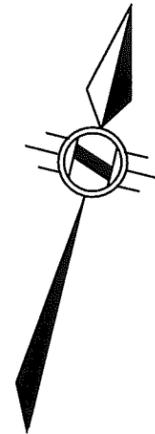
Yard encroachments → front + back = 0.406m.
 → side = 0.229m

SKETCH FOR SEVERANCE APPLICATION
OF
LOT 115
REGISTERED PLAN 919
IN THE
CITY OF HAMILTON

SCALE 1:300 METRIC

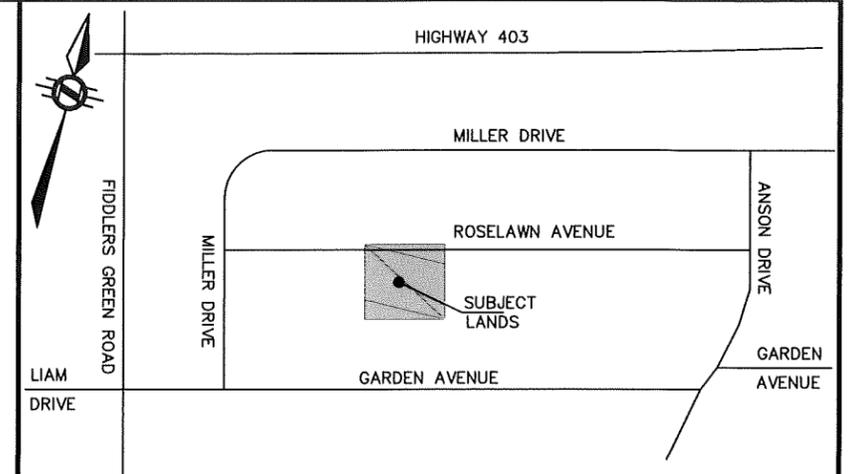


S.D. McLAREN, O.L.S. - 2020

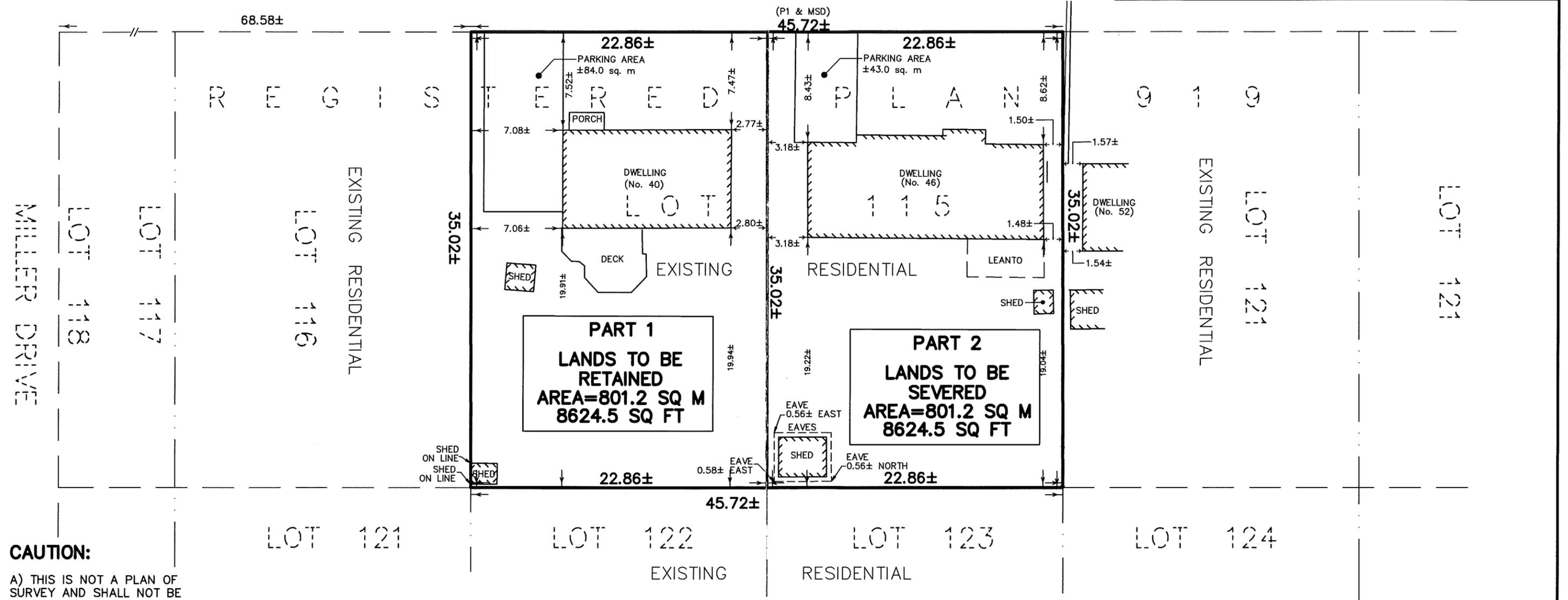


ROSELAWN AVENUE

(ESTABLISHED BY REGISTERED PLAN 919)
(20.117m WIDE)



KEY MAP - NOT TO SCALE



CAUTION:

A) THIS IS NOT A PLAN OF SURVEY AND SHALL NOT BE USED EXCEPT FOR THE PURPOSE INDICATED IN THE TITLE BLOCK

B) THIS SKETCH IS PROTECTED BY COPYRIGHT ©

NOTE:

DISTANCES SHOWN ON THIS PLAN ARE DERIVED FROM REGISTERED PLAN 919

METRIC NOTE:

DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

A.T. McLaren Limited
LEGAL AND ENGINEERING SURVEYS
69 JOHN STREET SOUTH, SUITE 230
HAMILTON, ONTARIO, L8N 2B9
PHONE (905) 527-8559 FAX (905) 527-0032

Drawn KM	Checked RBM	Scale 1:300	Dwg.No. 36314-LDC
----------	-------------	-------------	-------------------



Hamilton

COMMITTEE OF ADJUSTMENT

City Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5
 Telephone (905) 546-2424, ext. 4221, 3935 Fax (905) 546-4202
 E-mail: cofa@hamilton.ca

NOTICE OF PUBLIC HEARING

Application for Consent/Land Severance

APPLICATION NUMBER: AN/B-20:37

SUBJECT PROPERTY: 657 Mohawk Rd., Ancaster

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
- Applicant/agent on file, or
- Person likely to be interested in this application

APPLICANT(S): Owner: Montour Enterprises Inc. c/o Leonard Montour

PURPOSE OF APPLICATION: Agent: Urban Solutions c/o Matt Johnston
 To permit the conveyance of a parcel of land to create a new residential building lot. The existing dwelling will be demolished to facilitate this application.

To be heard in conjunction with AN/A-20:131.

Severed lands:

15.24m[±] x 60.87m[±] and an area of 954.9m^{2±}

Retained lands:

15.24m[±] x 51.02m[±] and an area of 772.8m^{2±}

This application will be heard by the Committee as shown below:

DATE: Thursday, August 6th, 2020

TIME: 3:35 p.m.

PLACE: Via video link or call in (see attached sheet for details)

To be streamed at www.hamilton.ca/committeeofadjustment for viewing purposes only

PUBLIC INPUT

Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

Orally: If you would like to speak to this item at the hearing you may do so via video link or by calling in. Please see attached page for complete instructions, including deadlines for registering to participate.

Page 2

MORE INFORMATION

For more information on this matter, including access to drawings illustrating this request:

- Visit www.hamilton.ca/committeeofadjustment
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935
- Email Committee of Adjustment staff at cofa@hamilton.ca

DATED: July 21st, 2020

Jamila Sheffield,
Secretary-Treasurer
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public.

20-172226



Hamilton

Planning and Economic Development Department
 Planning Division

Committee of Adjustment
 City Hall
 5th floor, 71 Main Street West
 Hamilton, Ontario L8P 4Y5

Phone (905) 546-2424, ext. 4221
 Fax (905) 546-4202

RECEIVED
 JUN 25 2020
 COM. OF ADJUSTMT

**APPLICATION FOR CONSENT TO SEVER LAND
 UNDER SECTION 53 OF THE PLANNING ACT**

Office Use Only

Date Application Received: <i>June 25/20</i>	Date Application Deemed Complete:	Submission No.: <i>AN/B-20-37</i>	File No.:
---	-----------------------------------	--------------------------------------	-----------

1 APPLICANT INFORMATION

1.1, 1.2	NAME	ADDRESS	PHONE/FAX
Registered Owners(s)	Montour Enterprises Inc. c/o Leonard Montour		
Applicant(s)*			
Agent or Solicitor	UrbanSolutions Planning and Land Development c/o Matt Johnston		

* Owner's authorisation required if the applicant is not the owner.

1.3 All correspondence should be sent to Owner Applicant Agent/Solicitor

2 LOCATION OF SUBJECT LAND Complete the applicable lines

2.1 Area Municipality Hamilton	Lot 48	Concession 2	Former Township Ancaster
Registered Plan N°.	Lot(s)	Reference Plan N°.	Part(s)
Municipal Address 657 Mohawk Road, Ancaster			Assessment Roll N°.

2.2 Are there any easements or restrictive covenants affecting the subject land?

Yes No

If YES, describe the easement or covenant and its effect:

3 PURPOSE OF THE APPLICATION

3.1 Type and purpose of proposed transaction: (check appropriate box)

a) Urban Area Transfer (do not complete Section 10):

- | | |
|---|--|
| <input checked="" type="checkbox"/> creation of a new lot | Other: <input type="checkbox"/> a charge |
| <input type="checkbox"/> addition to a lot | <input type="checkbox"/> a lease |
| <input type="checkbox"/> an easement | <input type="checkbox"/> a correction of title |

b) Rural Area / Rural Settlement Area Transfer (Section 10 must be completed):

- | | |
|--|--|
| <input type="checkbox"/> creation of a new lot | Other: <input type="checkbox"/> a charge |
| <input type="checkbox"/> creation of a new non-farm parcel
(i.e. a lot containing a surplus farm dwelling
resulting from a farm consolidation) | <input type="checkbox"/> a lease |
| <input type="checkbox"/> addition to a lot | <input type="checkbox"/> a correction of title |
| | <input type="checkbox"/> an easement |

3.2 Name of person(s), if known, to whom land or interest in land is to be transferred, leased or charged:

Unknown

3.3 If a lot addition, identify the lands to which the parcel will be added:

N/A

4 DESCRIPTION OF SUBJECT LAND AND SERVICING INFORMATION

4.1 Description of land intended to be **Severed**:

Frontage (m)	Depth (m)	Area (m ² or ha)
15.240m	60.876m	954.9m2

Existing Use of Property to be severed:

- | | | |
|---|---|-------------------------------------|
| <input checked="" type="checkbox"/> Residential | <input type="checkbox"/> Industrial | <input type="checkbox"/> Commercial |
| <input type="checkbox"/> Agriculture (includes a farm dwelling) | <input type="checkbox"/> Agricultural-Related | <input type="checkbox"/> Vacant |
| <input type="checkbox"/> Other (specify) _____ | | |

Proposed Use of Property to be severed:

- | | | |
|---|---|-------------------------------------|
| <input checked="" type="checkbox"/> Residential | <input type="checkbox"/> Industrial | <input type="checkbox"/> Commercial |
| <input type="checkbox"/> Agriculture (includes a farm dwelling) | <input type="checkbox"/> Agricultural-Related | <input type="checkbox"/> Vacant |
| <input type="checkbox"/> Other (specify) _____ | | |

Building(s) or Structure(s):

Existing: Single detached residential dwelling located in center of lot to be demolished.

Proposed: Residential dwelling unit

Type of access: (check appropriate box)

- | | |
|---|--|
| <input type="checkbox"/> provincial highway | <input type="checkbox"/> right of way |
| <input type="checkbox"/> municipal road, seasonally maintained | <input type="checkbox"/> other public road |
| <input checked="" type="checkbox"/> municipal road, maintained all year | |

Type of water supply proposed: (check appropriate box)

- | | |
|--|--|
| <input checked="" type="checkbox"/> publicly owned and operated piped water system | <input type="checkbox"/> lake or other water body |
| <input type="checkbox"/> privately owned and operated individual well | <input type="checkbox"/> other means (specify) _____ |

Type of sewage disposal proposed: (check appropriate box)

- | |
|--|
| <input checked="" type="checkbox"/> publicly owned and operated sanitary sewage system |
| <input type="checkbox"/> privately owned and operated individual septic system |
| <input type="checkbox"/> other means (specify) _____ |

4.2 Description of land intended to be **Retained**:

Frontage (m)	Depth (m)	Area (m ² or ha)
15.240m	51.029m	772.8m2

Existing Use of Property to be retained:

- | | | |
|---|---|-------------------------------------|
| <input checked="" type="checkbox"/> Residential | <input type="checkbox"/> Industrial | <input type="checkbox"/> Commercial |
| <input type="checkbox"/> Agriculture (includes a farm dwelling) | <input type="checkbox"/> Agricultural-Related | <input type="checkbox"/> Vacant |
| <input type="checkbox"/> Other (specify) _____ | | |

A land fill	<input type="checkbox"/>	N/A
A sewage treatment plant or waste stabilization plant	<input type="checkbox"/>	N/A
A provincially significant wetland	<input type="checkbox"/>	N/A
A provincially significant wetland within 120 metres	<input type="checkbox"/>	N/A
A flood plain	<input type="checkbox"/>	N/A
An industrial or commercial use, and specify the use(s)	<input type="checkbox"/>	N/A
An active railway line	<input type="checkbox"/>	N/A
A municipal or federal airport	<input type="checkbox"/>	N/A

6 PREVIOUS USE OF PROPERTY

- Residential Industrial Commercial
 Agriculture Vacant Other (specify)

- 6.1 If Industrial or Commercial, specify use _____
- 6.2 Has the grading of the subject land been changed by adding earth or other material, i.e., has filling occurred?
 Yes No Unknown
- 6.3 Has a gas station been located on the subject land or adjacent lands at any time?
 Yes No Unknown
- 6.4 Has there been petroleum or other fuel stored on the subject land or adjacent lands?
 Yes No Unknown
- 6.5 Are there or have there ever been underground storage tanks or buried waste on the subject land or adjacent lands?
 Yes No Unknown
- 6.6 Have the lands or adjacent lands ever been used as an agricultural operation where cyanide products may have been used as pesticides and/or biosolids was applied to the lands?
 Yes No Unknown
- 6.7 Have the lands or adjacent lands ever been used as a weapons firing range?
 Yes No Unknown
- 6.8 Is the nearest boundary line of the application within 500 metres (1,640 feet) of the fill area of an operational/non-operational landfill or dump?
 Yes No Unknown
- 6.9 If there are existing or previously existing buildings, are there any building materials remaining on site which are potentially hazardous to public health (e.g., asbestos, PCB's)?
 Yes No Unknown
- 6.10 Is there reason to believe the subject land may have been contaminated by former uses on the site or adjacent sites?
 Yes No Unknown
- 6.11 What information did you use to determine the answers to 6.1 to 6.10 above?
_____ Consultation with owner.
- 6.12 If previous use of property is industrial or commercial or if YES to any of 6.2 to 6.10, a previous use inventory showing all former uses of the subject land, or if appropriate, the land adjacent to the subject land, is needed.
Is the previous use inventory attached? N/A
 Yes No

7 PROVINCIAL POLICY

- 7.1 a) Is this application consistent with the Policy Statements issued under subsection of the *Planning Act*? (Provide explanation)
- Yes No
- _____

Please refer to cover letter.

- b) Is this application consistent with the Provincial Policy Statement (PPS)?
 Yes No (Provide explanation)

Please refer to cover letter.

- c) Does this application conform to the Growth Plan for the Greater Golden Horseshoe?
 Yes No (Provide explanation)

Please refer to cover letter.

- d) Are the subject lands within an area of land designated under any provincial plan or plans? (If YES, provide explanation on whether the application conforms or does not conflict with the provincial plan or plans.)
 Yes No

N/A

- e) Are the subject lands subject to the Niagara Escarpment Plan?
 Yes No

If yes, is the proposal in conformity with the Niagara Escarpment Plan?
 Yes No
(Provide Explanation)

Subject lands are located within the Urban Area where proposed residential use is permitted.

- f) Are the subject lands subject to the Parkway Belt West Plan?
 Yes No

If yes, is the proposal in conformity with the Parkway Belt West Plan?
 Yes No (Provide Explanation)

N/A

- g) Are the subject lands subject to the Greenbelt Plan?
 Yes No

If yes, does this application conform with the Greenbelt Plan?
 Yes No (Provide Explanation)

Subject lands are located in Settlement area outside of Greenbelt

8 HISTORY OF THE SUBJECT LAND

8.1 Has the subject land ever been the subject of an application for approval of a plan of subdivision or a consent under sections 51 or 53 of the *Planning Act*?

- Yes No Unknown

If YES, and known, indicate the appropriate application file number and the decision made on the application.

8.2 If this application is a re-submission of a previous consent application, describe how it has been changed from the original application.

N/A

8.3 Has any land been severed or subdivided from the parcel originally acquired by the owner of the subject land? Yes No

If YES, and if known, provide for each parcel severed, the date of transfer, the name of the transferee and the land use.

8.4 How long has the applicant owned the subject land?

February 2020

8.5 Does the applicant own any other land in the City? Yes No N/A

If YES, describe the lands in "11 - Other Information" or attach a separate page.

9 OTHER APPLICATIONS

9.1 Is the subject land currently the subject of a proposed official plan amendment that has been submitted for approval? Yes No Unknown

If YES, and if known, specify file number and status of the application.

N/A

9.2 Is the subject land the subject of any other application for a Minister's zoning order, zoning by-law amendment, minor variance, consent or approval of a plan of subdivision?

- Yes No Unknown

If YES, and if known, specify file number and status of the application(s).

File number N/A Status N/A

10 RURAL APPLICATIONS

10.1 Rural Hamilton Official Plan Designation(s)

- Agricultural Rural Specialty Crop
 Mineral Aggregate Resource Extraction Open Space Utilities

Rural Settlement Area (specify) _____
Settlement Area Designation

If proposal is for the creation of a non-farm parcel resulting from a farm consolidation, indicate the existing land use designation of the abutting or non-abutting farm operation.

10.2 Type of Application (select type and complete appropriate sections)

- Agricultural Severance or Lot Addition
 Agricultural Related Severance or Lot Addition
 Rural Resource-based Commercial Severance or Lot Addition
 Rural Institutional Severance or Lot Addition
- } (Complete Section 10.3)

- Rural Settlement Area Severance or Lot Addition
- Surplus Farm Dwelling Severance from an Abutting Farm Consolidation (Complete Section 10.4)
- Surplus Farm Dwelling Severance from a Non-Abutting Farm Consolidation (Complete Section 10.5)

10.3 Description of Lands

a) Lands to be Severed:

Frontage (m): (from Section 4.1)	Area (m ² or ha): (from in Section 4.1)
----------------------------------	--

Existing Land Use: _____ Proposed Land Use: _____

b) Lands to be Retained:

Frontage (m): (from Section 4.2)	Area (m ² or ha): (from Section 4.2)
----------------------------------	---

Existing Land Use: _____ Proposed Land Use: _____

10.4 Description of Lands (Abutting Farm Consolidation)

a) Location of abutting farm:

 (Street) (Municipality) (Postal Code)

b) Description abutting farm:

Frontage (m):	Area (m ² or ha):
---------------	------------------------------

Existing Land Use(s): _____ Proposed Land Use(s): _____

c) Description of consolidated farm (excluding lands intended to be severed for the surplus dwelling):

Frontage (m):	Area (m ² or ha):
---------------	------------------------------

Existing Land Use: _____ Proposed Land Use: _____

d) Description of surplus dwelling lands proposed to be severed:

Frontage (m): (from Section 4.1)	Area (m ² or ha): (from Section 4.1)
----------------------------------	---

Front yard set back: _____

e) Surplus farm dwelling date of construction:

- Prior to December 16, 2004
- After December 16, 2004

f) Condition of surplus farm dwelling:

- Habitable
- Non-Habitable

g) Description of farm from which the surplus dwelling is intended to be severed (retained parcel):

Frontage (m): (from Section 4.2)	Area (m ² or ha): (from Section 4.2)
----------------------------------	---

Existing Land Use: _____ Proposed Land Use: _____

10.5 Description of Lands (Non-Abutting Farm Consolidation)

a) Location of non-abutting farm

 (Street) (Municipality) (Postal Code)

b) Description of non-abutting farm

Frontage (m):	Area (m2 or ha):
---------------	------------------

Existing Land Use(s): _____ Proposed Land Use(s): _____

c) Description of surplus dwelling lands intended to be severed:

Frontage (m): (from Section 4.1)	Area (m2 or ha): (from Section 4.1)
----------------------------------	-------------------------------------

Front yard set back: _____

d) Surplus farm dwelling date of construction:

- Prior to December 16, 2004 After December 16, 2004

e) Condition of surplus farm dwelling:

- Habitable Non-Habitable

f) Description of farm from which the surplus dwelling is intended to be severed (retained parcel):

Frontage (m): (from Section 4.2)	Area (m2 or ha): (from Section 4.2)
----------------------------------	-------------------------------------

Existing Land Use: _____ Proposed Land Use: _____

11 OTHER INFORMATION

Is there any other information that you think may be useful to the Committee of Adjustment or other agencies in reviewing this application? If so, explain below or attach on a separate page.

Please refer to cover letter.

12 SKETCH (Use the attached Sketch Sheet as a guide)

12.1 The application shall be accompanied by a sketch showing the following in metric units:

- (a) the boundaries and dimensions of any land abutting the subject land that is owned by the owner of the subject land;
- (b) the approximate distance between the subject land and the nearest township lot line or landmark such as a bridge or railway crossing;
- (c) the boundaries and dimensions of the subject land, the part that is intended to be severed and the part that is intended to be retained;
- (d) the location of all land previously severed from the parcel originally acquired by the current owner of the subject land;
- (e) the approximate location of all natural and artificial features (for example, buildings, barns, railways, roads, watercourses, drainage ditches, banks of rivers or streams, wetlands, wooded areas, wells and septic tanks) that
 - i) are located on the subject land and on land that is adjacent to it, and
 - ii) in the applicant's opinion, may affect the application;
- (f) the current uses of land that is adjacent to the subject land (for example, residential, agricultural or commercial);
- (g) the location, width and name of any roads within or abutting the subject land, indicating whether it is an unopened road allowance, a public travelled road, a private



June 24, 2020

331-19

Via Courier

Ms. Jamila Sheffield
Secretary Treasurer

Committee of Adjustment
City of Hamilton
71 Main Street West, 5th Floor
Hamilton, ON, L8P 4Y5

Dear Ms. Sheffield,

Re: 657 Mohawk Road, Ancaster
Consent to Sever and Minor Variance Application

UrbanSolutions Planning & Land Development Consultants Inc. (UrbanSolutions) is the authorized planning consultant acting on behalf of Montour Enterprises Inc. c/o Leonard Montour, for the lands municipally known as 657 Mohawk Road, in the City of Hamilton. Please accept the enclosed Applications for Consent to Sever and Minor Variance to facilitate the severance of the subject property on their behalf.

The subject property is located on the northern side of Mohawk Road and is currently designated as "Neighbourhoods" in the Urban Hamilton Official Plan. The subject lands are located in the Existing Residential "ER" Zone of the Former Town of Ancaster Zoning By-law 87-57.

Purpose of the Application

The purpose of the Consent Application is to sever an existing +/- 1,727.7 m² parcel with lot frontage of 30.48 m into two (2) lots. The retained lot is proposed to have a lot area of 772.8 m² and a frontage of 15.24m. The severed lot will have a lot area of 954.9 m² with 15.24m of frontage. The proposed severance is illustrated on the enclosed Severance Sketch.

A Minor Variance Application is required to bring the severed and retained parcels into conformity with the Zoning By-law. The purpose of the Minor Variance Application is to facilitate the Consent to Sever Application with the only proposed variance being:

- To reduce the Minimum Lot Frontage from 18m to 15m for each of the proposed severed lots.

Analysis

To assist in the evaluation of the applications, please refer to the enclosed Severance sketch and Minor Variance sketch.

The Consent Application is in keeping with Section 53(1) of the *Planning Act*, R.S.O, 1990, as amended, as a plan of subdivision is not necessary for the proper and orderly development of the subject lands.

Section 45(1) of the *Planning Act*, R.S.O, 1990, as amended, requires a Minor Variance to satisfy the following four tests:

Test #1 – Is the proposed minor variance in keeping with the general intent of the Official Plan?

The subject lands are designated as “Neighbourhoods” in the Urban Hamilton Official Plan with this designation permitting the proposed use of the lands. As outlined in Chapter E, Section 3.3.2 of the Official Plan, development and redevelopment shall ensure the height, massing and arrangement of buildings and structures are compatible with existing and future uses of the surrounding area. Chapter B, Section 2.4.1.3(c) indicates that lands designated Neighbourhoods are to accommodate 40% of the City’s growth. The intent of these policies is to encourage and accommodate compatible forms of development which is exemplified in the subject application. The proposed severance is in keeping with the neighbourhood’s residential land use and will continue to be used as such. It is our opinion the proposed application meets the general intent of the Urban Hamilton Official plan.

Test #2 – Is the proposed minor variance in keeping with the general purpose and intent of the Zoning By-law?

The subject lands are located in an Existing Residential “ER” Zone of the Former Town of Ancaster Zoning By-law 87-57. The variance being requested is to provide a decreased minimum frontage for the severed and retained lots. The intent of the zoning provision is to ensure that the built form and lot fabric are compatible with the surrounding neighbourhood. The requested variance will meet this intent as it will allow the subject lands to have frontages more similar to the properties located directly adjacent to the subject lands. The two severed lots will have lot areas greater than the minimum requirement of 695 m² where the retained lot will have an area of +/- 772.9 m² and the severed lands will have an area of +/- 954.9 m². In addition, the proposed severance will maintain the existing and permitted use of Single Detached Dwellings and the proposal complies to all other zoning provisions. It is therefore our opinion that the proposed application meets the general purpose and intent of the Town of Ancaster Zoning By-law 87-57.

Test #3 – Is the proposed minor variance desirable for the appropriate development of use of the land?

The creation of the additional lots represents an appropriate and modest form of intensification which is encouraged by the provincial and local land use policy framework. The requested variance will facilitate the Consent to Sever Application and is in keeping with the existing built form and massing of the surrounding neighbourhood.

Moreover, the requested variance will provide for a built form that is more compatible with the surrounding neighbourhood with respect to the parent by-law. In the surrounding neighbourhood of the subject lands, there have been exceptions made in terms of lot frontages and the proposed new minimum frontage for the subject site is in keeping with the surrounding neighbourhoods. In addition, the subject lands are adjacent to 663, 667, and 671 Mohawk Road which have similar frontages of 17.3 m, 16.0 m, and 15.1 m respectively.

Test #4 – Is the proposed minor variance minor in nature?

The requested variance is minor in nature as it is necessary to facilitate the Consent to Sever Application, will not result in any adverse impacts on the surrounding neighbourhood, represents an appropriate form of development, and conforms to all other zone provisions.

In addition to the commentary regarding Section 45(1) and 53(1) of the Planning Act, By-law No. 18-105 was approved to further regulate the construction of new dwellings in the ER Zone and By-law No. 18-104 was approved to require Site Plan Approval for new homes. These two By-laws provide added hard controls to ensure the new lots and dwellings are compatible. Further, these two By-laws provide the necessary controls to address City of Hamilton Public Works Report No. PW16100 in relation to the Pilot Study Assessment of Rurally Serviced Roadways in Ancaster.

Based on the above analysis, UrbanSolutions believes that the applications represent good land use planning and satisfy Sections 45(1) and 53(1) of the *Planning Act*.

In support of this application, please find enclosed the following:

- Two (2) copies of the completed Consent Application form;
- Two (2) copies of the completed Minor Variance Application form;
- One (1) full size copy and two (2) reduced 11" x 17" copies of the Committee of Adjustment Sketch, prepared by UrbanSolutions;
- One (1) cheque in the amount of **\$3,302.00** made payable to the City of Hamilton for the Minor Variance Application; and,
- One (1) cheque in the amount of **\$2,845.00** made payable to the City of Hamilton for the Consent to Sever Application.

We trust the enclosed is in order; however, please feel free to contact the undersigned with any questions.

Regards,
UrbanSolutions



Matt Johnston, MCIP, RPP
Principal

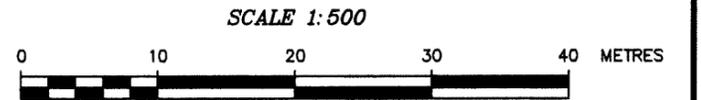


Scott Beedie, BURPI
Planner

cc: Montour Enterprises Inc. c/o Leonard Montour
Councillor Lloyd Ferguson



PROPOSED LAND DIVISION SKETCH
 (657 MOHAWK ROAD)
PART OF LOT 48
CONCESSION 2
 (GEOGRAPHIC TOWNSHIP OF ANCASTER)
CITY OF HAMILTON

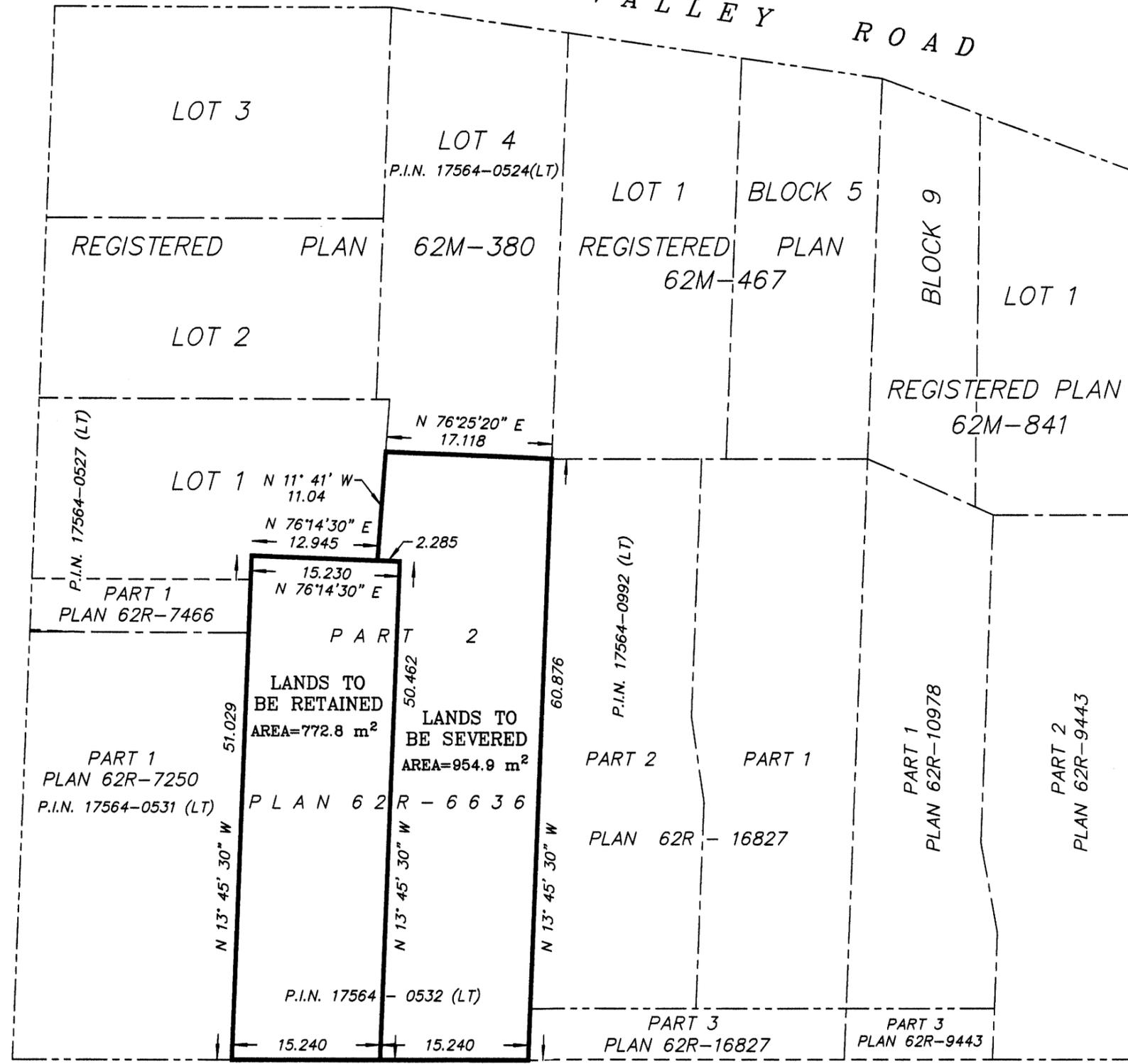


METRIC NOTE:
 DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN
 BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

NOTE:
 INFORMATION SHOWN ON THIS SKETCH IS DERIVED FROM
 REGISTRY OFFICE DOCUMENTS AND PLANS, NOT FROM
 ACTUAL SURVEY.

GREENRAVINE DRIVE
 (BY REGISTERED PLAN M-304)

HIGH VALLEY ROAD



MOHAWK ROAD
 (AKA REGIONAL ROAD 215, GIVEN ROAD, WIDTH VARIES)
 P.I.N. 17564-0851 (LT)



Hamilton

COMMITTEE OF ADJUSTMENT

City Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5
 Telephone (905) 546-2424, ext. 4221, 3935 Fax (905) 546-4202
 E-mail: cofa@hamilton.ca

NOTICE OF PUBLIC HEARING
Minor Variance

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
 - Applicant/agent on file, or
 - Person likely to be interested in this application
-

APPLICATION NO.: AN/A-20:131

APPLICANTS: Owner: Montour Enterprises Inc. c/o Leonard Montour
 Agent: Urban Solutions c/o Matt Johnston

SUBJECT PROPERTY: Municipal address **657 Mohawk Rd., Ancaster**

ZONING BY-LAW: Zoning By-law 87-57, as Amended by By-law 18-105

ZONING: ER (Existing Residential) district

PROPOSAL: To facilitate the creation of two (2) lots in conjunction with Severance Application AN/B-20:37, notwithstanding that:

1. A minimum lot frontage of 15.24 metres shall be provided instead of the minimum required lot frontage of 18.0 metres, for both the portion of the lands to be retained and the portion of the lands to be severed.

NOTE:

1. No details for the proposed development for the portion of the lands to be retained/severed have been shown on the submitted survey; therefore, this Division cannot confirm zoning compliance. Further variances may be required if compliance with Ancaster Zoning By-law No. 87-57 cannot be achieved.
2. Please note this application is to be heard in conjunction with Severance Application AN/B-20:37.

This application will be heard by the Committee as shown below:

DATE: Thursday, August 6th, 2020
TIME: 3:35 p.m.
PLACE: Via video link or call in (see attached sheet for details)
To be streamed at www.hamilton.ca/committeeofadjustment for viewing purposes only

PUBLIC INPUT

Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

ANA-20:131

Page 2

Orally: If you would like to speak to this item at the hearing you may do so via video link or by calling in. Please see attached page for complete instructions, including deadlines for registering to participate.

MORE INFORMATION

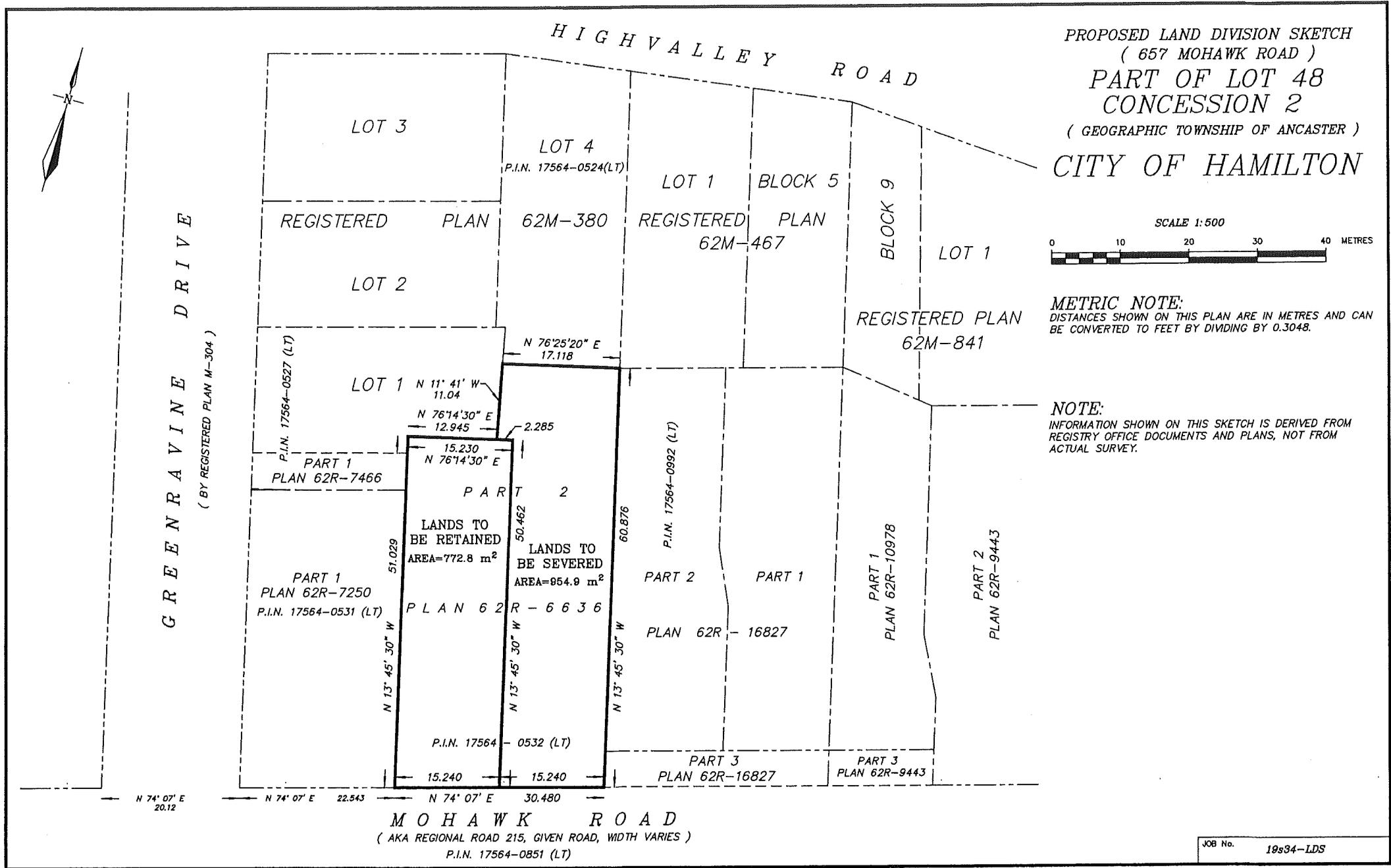
For more information on this matter, including access to drawings illustrating this request:

- Visit www.hamilton.ca/committeeofadjustment
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935
- Email Committee of Adjustment staff at cofa@hamilton.ca

DATED: July 21st, 2020

Jamila Sheffield,
Secretary-Treasurer
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public.





Planning and Economic Development Department
Planning Division

Committee of Adjustment
City Hall
5th floor 71 Main Street West
Hamilton, Ontario L8P 4Y5

Phone (905) 546-2424 ext.4221
Fax (905) 546-4202

PLEASE FILL OUT THE FOLLOWING PAGES AND
RETURN TO THE CITY OF HAMILTON PLANNING
DEPARTMENT.

FOR OFFICE USE ONLY.	
APPLICATION NO. _____	DATE APPLICATION RECEIVED _____
PAID _____	DATE APPLICATION DEEMED COMPLETE _____
SECRETARY'S SIGNATURE _____	

CITY OF HAMILTON
COMMITTEE OF ADJUSTMENT
HAMILTON, ONTARIO

The Planning Act

Application for Minor Variance or for Permission

The undersigned hereby applies to the Committee of Adjustment for the City of Hamilton under Section 45 of the *Planning Act*, R.S.O. 1990, Chapter P.13 for relief, as described in this application, from the Zoning By-law.

- Name of Owner Montour Enterprises Inc.
c/o Leonard Montour Telephone No. [REDACTED]
- [REDACTED]
- Name of Agent UrbanSolutions c/o Matt Johnston Telephone No. [REDACTED]
- [REDACTED]

Note: Unless otherwise requested all communications will be sent to the agent, if any.

- Names and addresses of any mortgagees, holders of charges or other encumbrances:
N/A

Postal Code _____

Postal Code _____

6. Nature and extent of relief applied for:
To permit the lot frontage of 15 metres where the 18.0 metres is re required minimum. Please
refer to cover letter for additional information.

7. Why it is not possible to comply with the provisions of the By-law?
Please refer to cover letter.

8. Legal description of subject lands (registered plan number and lot number or other legal description and where applicable, street and street number):
Lot 48 Concession 2 Former Township of Ancaster
657 Mohawk Road

9. PREVIOUS USE OF PROPERTY
- Residential Industrial _____ Commercial _____
 Agricultural _____ Vacant _____
 Other _____
- 9.1 If Industrial or Commercial, specify use
N/A
- 9.2 Has the grading of the subject land been changed by adding earth or other material, i.e. has filling occurred?
 Yes _____ No _____ Unknown
- 9.3 Has a gas station been located on the subject land or adjacent lands at any time?
 Yes _____ No Unknown _____
- 9.4 Has there been petroleum or other fuel stored on the subject land or adjacent lands?
 Yes _____ No Unknown _____
- 9.5 Are there or have there ever been underground storage tanks or buried waste on the subject land or adjacent lands?
 Yes _____ No Unknown _____
- 9.6 Have the lands or adjacent lands ever been used as an agricultural operation where cyanide products may have been used as pesticides and/or sewage sludge was applied to the lands?
 Yes _____ No Unknown _____
- 9.7 Have the lands or adjacent lands ever been used as a weapon firing range?
 Yes _____ No Unknown _____
- 9.8 Is the nearest boundary line of the application within 500 metres (1,640 feet) of the fill area of an operational/non-operational landfill or dump?
 Yes _____ No Unknown _____

9.9 If there are existing or previously existing buildings, are there any building materials remaining on site which are potentially hazardous to public health (eg. asbestos, PCB's)?

Yes No Unknown

9.10 Is there any reason to believe the subject land may have been contaminated by former uses on the site or adjacent sites?

Yes No Unknown

9.11 What information did you use to determine the answers to 9.1 to 9.10 above?

Consultation with the client.

9.12 If previous use of property is industrial or commercial or if YES to any of 9.2 to 9.10, a previous use inventory showing all former uses of the subject land, or if appropriate, the land adjacent to the subject land, is needed. N/A

Is the previous use inventory attached? Yes No

ACKNOWLEDGEMENT CLAUSE

I acknowledge that the City of Hamilton is not responsible for the identification and remediation of contamination on the property which is the subject of this Application – by reason of its approval to this Application.

June 19, 2020
 Date



Signature Property Owner

Leonard Montau
 Print Name of Owner

10. Dimensions of lands affected:

Frontage 30.48m
 Depth 60.88m
 Area 1,727.7 square metres
 Width of street +/- 22.8m

11. Particulars of all buildings and structures on or proposed for the subject lands: (Specify ground floor area, gross floor area, number of stories, width, length, height, etc.)

Existing: One single detached residential dwelling to be demolished

Proposed: Two detached residential dwellings to be constructed.

12. Location of all buildings and structures on or proposed for the subject lands; (Specify distance from side, rear and front lot lines)

Existing: Single detached residential dwelling located +/- 21.8m from front lot line, +/- 30.01m setback from rear lot line, +/- 5.21m from side lot line, +/- 15m from side lot line. Existing building to be demolished.

Proposed: Two detached residential dwellings to be constructed.

13. Date of acquisition of subject lands:
Unknown

14. Date of construction of all buildings and structures on subject lands:
Unknown

15. Existing uses of the subject property: Residential

16. Existing uses of abutting properties: Residential

17. Length of time the existing uses of the subject property have continued:
Unknown

18. Municipal services available: (check the appropriate space or spaces)
Water _____ Connected X
Sanitary Sewer _____ Connected X
Storm Sewers X

19. Present Official Plan/Secondary Plan provisions applying to the land:
Neighbourhoods

20. Present Restricted Area By-law (Zoning By-law) provisions applying to the land:
Existing Residential "ER" in the former Town of Ancaster Zoning By-law 87-57

21. Has the owner previously applied for relief in respect of the subject property?
Yes No
If the answer is yes, describe briefly.

22. Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?
Yes No

23. The applicant shall attach to each copy of this application a plan showing the dimensions of the subject lands and of all abutting lands and showing the location, size and type of all buildings and structures on the subject and abutting lands, and where required by the Committee of Adjustment such plan shall be signed by an Ontario Land Surveyor.

NOTE: It is required that two copies of this application be filed with the secretary-treasurer of the Committee of Adjustment together with the maps



June 24, 2020

331-19

Via Courier

Ms. Jamila Sheffield
Secretary Treasurer

Committee of Adjustment
City of Hamilton
71 Main Street West, 5th Floor
Hamilton, ON, L8P 4Y5

Dear Ms. Sheffield,

**Re: 657 Mohawk Road, Ancaster
Consent to Sever and Minor Variance Application**

UrbanSolutions Planning & Land Development Consultants Inc. (UrbanSolutions) is the authorized planning consultant acting on behalf of Montour Enterprises Inc. c/o Leonard Montour, for the lands municipally known as 657 Mohawk Road, in the City of Hamilton. Please accept the enclosed Applications for Consent to Sever and Minor Variance to facilitate the severance of the subject property on their behalf.

The subject property is located on the northern side of Mohawk Road and is currently designated as "Neighbourhoods" in the Urban Hamilton Official Plan. The subject lands are located in the Existing Residential "ER" Zone of the Former Town of Ancaster Zoning By-law 87-57.

Purpose of the Application

The purpose of the Consent Application is to sever an existing +/- 1,727.7 m² parcel with lot frontage of 30.48 m into two (2) lots. The retained lot is proposed to have a lot area of 772.8 m² and a frontage of 15.24m. The severed lot will have a lot area of 954.9 m² with 15.24m of frontage. The proposed severance is illustrated on the enclosed Severance Sketch.

A Minor Variance Application is required to bring the severed and retained parcels into conformity with the Zoning By-law. The purpose of the Minor Variance Application is to facilitate the Consent to Sever Application with the only proposed variance being:

- To reduce the Minimum Lot Frontage from 18m to 15m for each of the proposed severed lots.

Analysis

To assist in the evaluation of the applications, please refer to the enclosed Severance sketch and Minor Variance sketch.

The Consent Application is in keeping with Section 53(1) of the *Planning Act*, R.S.O, 1990, as amended, as a plan of subdivision is not necessary for the proper and orderly development of the subject lands.

Section 45(1) of the *Planning Act*, R.S.O, 1990, as amended, requires a Minor Variance to satisfy the following four tests:

Test #1 – Is the proposed minor variance in keeping with the general intent of the Official Plan?

The subject lands are designated as “Neighbourhoods” in the Urban Hamilton Official Plan with this designation permitting the proposed use of the lands. As outlined in Chapter E, Section 3.3.2 of the Official Plan, development and redevelopment shall ensure the height, massing and arrangement of buildings and structures are compatible with existing and future uses of the surrounding area. Chapter B, Section 2.4.1.3(c) indicates that lands designated Neighbourhoods are to accommodate 40% of the City’s growth. The intent of these policies is to encourage and accommodate compatible forms of development which is exemplified in the subject application. The proposed severance is in keeping with the neighbourhood’s residential land use and will continue to be used as such. It is our opinion the proposed application meets the general intent of the Urban Hamilton Official plan.

Test #2 – Is the proposed minor variance in keeping with the general purpose and intent of the Zoning By-law?

The subject lands are located in an Existing Residential “ER” Zone of the Former Town of Ancaster Zoning By-law 87-57. The variance being requested is to provide a decreased minimum frontage for the severed and retained lots. The intent of the zoning provision is to ensure that the built form and lot fabric are compatible with the surrounding neighbourhood. The requested variance will meet this intent as it will allow the subject lands to have frontages more similar to the properties located directly adjacent to the subject lands. The two severed lots will have lot areas greater than the minimum requirement of 695 m² where the retained lot will have an area of +/- 772.9 m² and the severed lands will have an area of +/- 954.9 m². In addition, the proposed severance will maintain the existing and permitted use of Single Detached Dwellings and the proposal complies to all other zoning provisions. It is therefore our opinion that the proposed application meets the general purpose and intent of the Town of Ancaster Zoning By-law 87-57.

Test #3 – Is the proposed minor variance desirable for the appropriate development of use of the land?

The creation of the additional lots represents an appropriate and modest form of intensification which is encouraged by the provincial and local land use policy framework. The requested variance will facilitate the Consent to Sever Application and is in keeping with the existing built form and massing of the surrounding neighbourhood.

Moreover, the requested variance will provide for a built form that is more compatible with the surrounding neighbourhood with respect to the parent by-law. In the surrounding neighbourhood of the subject lands, there have been exceptions made in terms of lot frontages and the proposed new minimum frontage for the subject site is in keeping with the surrounding neighbourhoods. In addition, the subject lands are adjacent to 663, 667, and 671 Mohawk Road which have similar frontages of 17.3 m, 16.0 m, and 15.1 m respectively.

Test #4 – Is the proposed minor variance minor in nature?

The requested variance is minor in nature as it is necessary to facilitate the Consent to Sever Application, will not result in any adverse impacts on the surrounding neighbourhood, represents an appropriate form of development, and conforms to all other zone provisions.

In addition to the commentary regarding Section 45(1) and 53(1) of the Planning Act, By-law No. 18-105 was approved to further regulate the construction of new dwellings in the ER Zone and By-law No. 18-104 was approved to require Site Plan Approval for new homes. These two By-laws provide added hard controls to ensure the new lots and dwellings are compatible. Further, these two By-laws provide the necessary controls to address City of Hamilton Public Works Report No. PW16100 in relation to the Pilot Study Assessment of Rurally Serviced Roadways in Ancaster.

Based on the above analysis, UrbanSolutions believes that the applications represent good land use planning and satisfy Sections 45(1) and 53(1) of the *Planning Act*.

In support of this application, please find enclosed the following:

- Two (2) copies of the completed Consent Application form;
- Two (2) copies of the completed Minor Variance Application form;
- One (1) full size copy and two (2) reduced 11" x 17" copies of the Committee of Adjustment Sketch, prepared by UrbanSolutions;
- One (1) cheque in the amount of **\$3,302.00** made payable to the City of Hamilton for the Minor Variance Application; and,
- One (1) cheque in the amount of **\$2,845.00** made payable to the City of Hamilton for the Consent to Sever Application.

We trust the enclosed is in order; however, please feel free to contact the undersigned with any questions.

Regards,
UrbanSolutions



Matt Johnston, MCIP, RPP
Principal

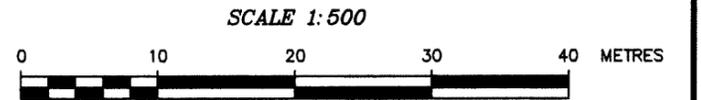


Scott Beedie, BURPI
Planner

cc: Montour Enterprises Inc. c/o Leonard Montour
Councillor Lloyd Ferguson



PROPOSED LAND DIVISION SKETCH
(657 MOHAWK ROAD)
**PART OF LOT 48
CONCESSION 2**
(GEOGRAPHIC TOWNSHIP OF ANCASTER)
CITY OF HAMILTON



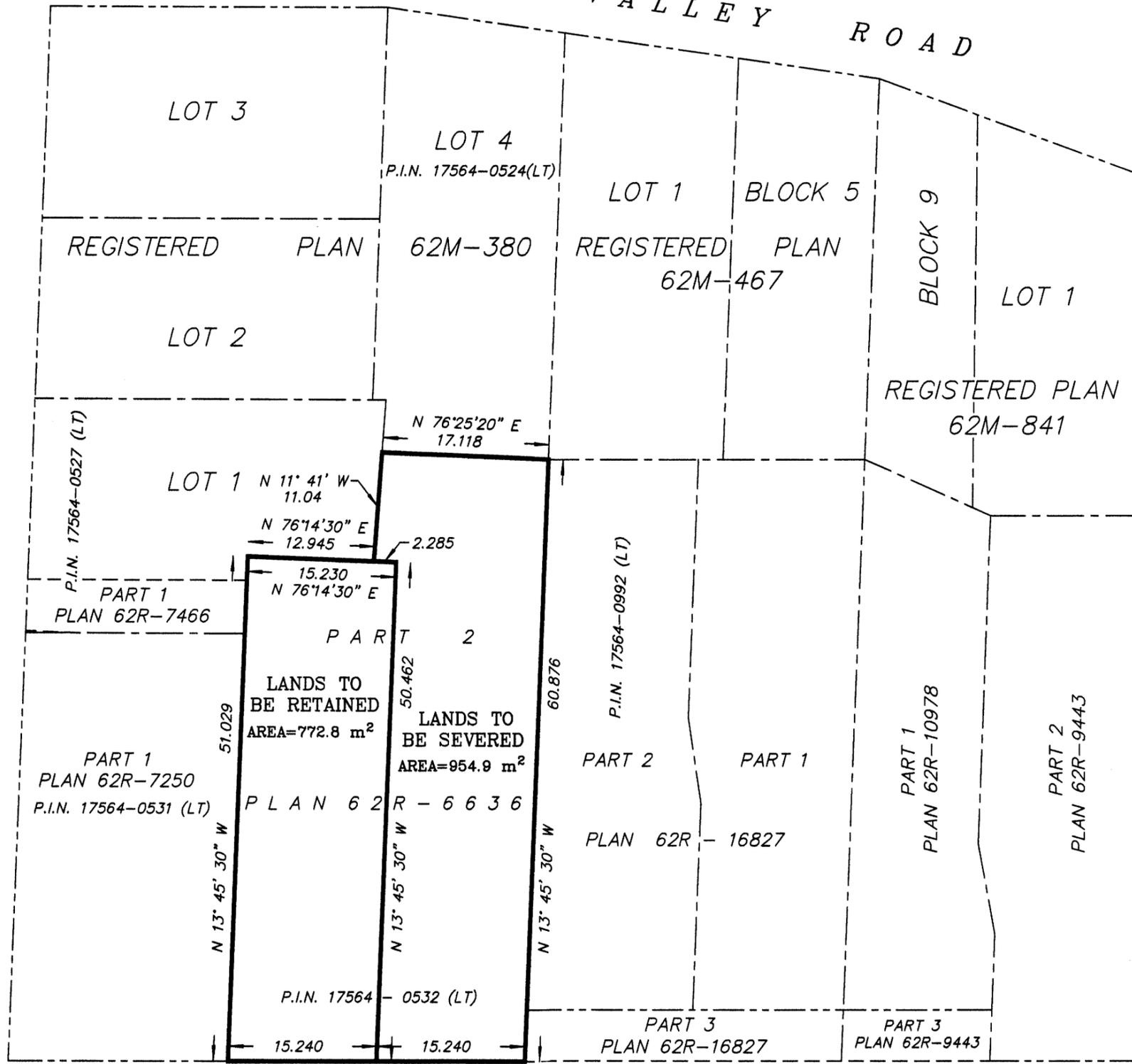
METRIC NOTE:
DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN
BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

NOTE:
INFORMATION SHOWN ON THIS SKETCH IS DERIVED FROM
REGISTRY OFFICE DOCUMENTS AND PLANS, NOT FROM
ACTUAL SURVEY.

GREENRAVINE DRIVE
(BY REGISTERED PLAN M-304)

HIGH VALLEY ROAD

MOHAWK ROAD
(AKA REGIONAL ROAD 215, GIVEN ROAD, WIDTH VARIES)
P.I.N. 17564-0851 (LT)





Hamilton

COMMITTEE OF ADJUSTMENT

City Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5

Telephone (905) 546-2424, ext. 4221 Fax (905) 546-4202

E-mail: morgan.evans@hamilton.ca

NOTICE OF PUBLIC HEARING Minor Variance

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
- Applicant/agent on file, or
- Person likely to be interested in this application

APPLICATION NO.: AN/A-20:67

APPLICANTS: Owner: 1622189 Ontario Inc.

SUBJECT PROPERTY: Municipal address **53 Bittern St., Ancaster**

ZONING BY-LAW: Zoning By-law 05-200, as Amended

ZONING: M2 and 678 (General Business Park) district

PROPOSAL: To permit the construction of two single storey multi-tenant industrial buildings having approximately 2, 874.0 m² and 1, 599.0 m² respectively notwithstanding that;

1. A minimum parking space width of 2.6 m shall be provided instead of the minimum required parking space width of 3.0 m (new regulation); and
2. A minimum of 2 barrier free parking spaces shall be provided instead of the minimum required 3 barrier free parking spaces; and
3. A minimum barrier free parking space width of 3.5 m shall be provided instead of the minimum required 4.4 m parking space width.

Notes:

These variances are necessary to facilitate Site Plan Control application DA-20-044.

Please be advised that the proposed variance for side yard is not required as the "M2" zone only refers to a minimum yard abutting a street; therefore, the requested variance is not necessary.

In addition to the above requested variance for reduced number of parking spaces is not necessary as the required number of parking spaces were calculated under Planned Business Centre (1 space for each 50.0 m² of gross floor area). Based on the total GFA of 4,473.0 m² ÷ 50.0 m² of GFA = 89.46 = 89 spaces being required and 100 spaces have been provided; therefore, variance for reduced number of parking spaces is not required.

Variances have been written based on the information provided on the site plan.

Please note that the By-Law requires the following per Section 9.2.3 c) i) & ii):

AN/A-20:67

Page 2

- i) *A minimum 3.0 m wide landscaped area shall be provided and maintained abutting a street, except for points of ingress and egress. No information has been provided on the submitted site plan; therefore, further variances may be required.*
- ii) *Notwithstanding i) above, where a parking space, aisle or driveway is located in a yard abutting a street, a minimum 6.0 m wide landscaped area, which includes a 3.0 m wide planting strip, shall be required and maintained between the said parking space, aisle, or driveway and a street, except for points of ingress and egress. No information has been provided on the submitted site plan; therefore, further variances may be required.*

The By-Law requires the following per Section 9.2.3 d):

- i) *Outdoor Storage and Outdoor Assembly shall not be permitted in a Front Yard or a required Flankage Yard. No information has been provided on the submitted site plan; therefore, further variances may be required.*
- ii) *Outdoor Storage and Outdoor Assembly shall not exceed 85% of the total lot area. No information has been provided on the submitted site plan; therefore, further variances may be required.*
- iii) *Outdoor Storage and Outdoor Assembly shall be screened from view from any abutting street by a Visual Barrier in accordance with Section 4.19 of this By-law. No information has been provided on the submitted site plan; therefore, further variances may be required.*

The By-Law requires the following per Section 9.2.3 e):

- i) *Outdoor Display of goods, materials or equipment shall be permitted only as an accessory use and shall be permitted in a yard abutting a street but shall be no closer than 3.0 metres to the lot line. No information has been provided on the submitted site plan; therefore, further variances may be required.*

The By-Law requires the following per Section 9.2.3 g):

- g) *Maximum Gross Floor Area for Industrial Administrative Office or Surveying, Engineering, Planning or Design Business*
 - i) *An Industrial Administrative Office or a Surveying, Engineering, Planning or Design Business shall be limited to a gross floor area of less than 10,000 square metres on a lot. No information has been provided on the submitted site plan; therefore, further variances may be required.*

The By-Law requires the following per Section 9.2.3 h):

- h) *Maximum Gross Floor Area for an Alcohol Production Facility: 5,000 m². No information has been provided on the submitted site plan; therefore, further variances may be required.*

The By-Law requires the following per Section 9.2.3 i):

- i) *Maximum Combined Gross Floor Area for Accessory Retail, Showroom Area and Tasting Room:*
 - i) *25% of the gross floor area of the principal use or 500.0 square metres gross floor area, whichever is the lesser; and*
 - ii) *Notwithstanding i) above, retail or accessory retail associated with a motor vehicle service station shall be limited to a maximum gross floor area of 280 square metres.*

AN/A-20:67

Page 3

No information has been provided on the submitted site plan; therefore, further variances may be required.

The By-Law requires the following per Section 9.2.3 I):

Additional Regulations for a Cannabis Growing and Harvesting Facility in addition to Section 9.2.3, the following additional regulations shall apply:

- i) Notwithstanding Section 9.2.3 d), no outdoor storage or outdoor assembly shall be permitted.*
- ii) Notwithstanding Section 9.2.3 i), no retail sales shall be permitted.*
- iii) Notwithstanding Section 4.12 c), any building or structure used for a Cannabis Growing and Harvesting Facility shall be setback a minimum of 150 metres from:*
 - a) Any portion of a lot line abutting a Residential, Institutional or Commercial and Mixed Use Zone; and,*
 - b) Any residential dwelling unit existing at the date of passing of the by-law, any building used for farm labour residence, mobile home, educational establishment, residential care facility, place of worship, day care or park in a Rural Classification Zone.*

No information has been provided on the submitted site plan; therefore, further variances may be required.

The By-Law requires the following per Section 4.9 - Mechanical and Unitary Equipment:

Air conditioners and pumps (including heat pumps and swimming pool pumps) and other similar mechanical equipment shall be located only in accordance with the following regulations:

- a) Within a required front yard, provided such equipment shall have a minimum setback of 3.0 metres from the street line, a minimum setback of 0.6 metres from a side lot line and is screened from the street by an enclosure or landscaping; and,*
- b) Within a required side yard or required rear yard provided such equipment has a minimum setback of 0.6 metres from the side lot line or rear lot line.*

The By-Law requires the following per Section 5.1 a) v) a) & b):

Unless otherwise regulated in this By-law, parking spaces and aisles, giving direct access to abutting parking spaces, excluding driveways extending directly from the street, shall be subject to the following:

- b) Shall provide a 3.0-metre-wide planting strip being required and permanently maintained between the street line and the said parking spaces or aisle.*

No information has been provided on the submitted site plan; therefore, further variances may be required.

AN/A-20:67
Page 4

This application will be heard by the Committee as shown below:

DATE: Thursday, August 6th, 2020
TIME: 3:40 p.m.
PLACE: Via video link or call in (see attached sheet for details)
To be streamed at www.hamilton.ca/committeeofadjustment for viewing purposes only

PUBLIC INPUT

Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

Orally: If you would like to speak to this item at the hearing you may do so via video link or by calling in. Please see attached page for complete instructions, including deadlines for registering to participate.

MORE INFORMATION

For more information on this matter, including access to drawings illustrating this request:

- Visit www.hamilton.ca/committeeofadjustment
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935
- Email Committee of Adjustment staff at cofa@hamilton.ca

DATED: July 21st, 2020

Jamila Sheffield,
Secretary-Treasurer
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public.

SERVICING NOTES:

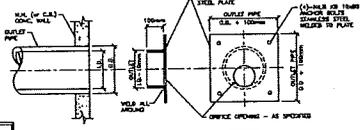
1. ALL WORK PROVIDED IN THE CONSTRUCTION, RELOCATION, REPAIR OR MAINTENANCE SERVICES FOR THE PROJECT SHALL BE TO THE SATISFACTION OF THE SENIOR DESIGN, DESIGN MANAGEMENT, PLANNING AND ECONOMIC DEVELOPMENT DEPARTMENT.
2. ALL SERVICES TO BE INSTALLED AS PER CITY OF HAMILTON CONSTRUCTION AND MAINTENANCE ESTIMATING AND SPECIFICATIONS MANUAL, LATEST EDITION AND THE UNIVERSITY OF TORONTO'S GUIDELINES (LATEST EDITION).
3. UNUSUAL HORIZONTAL SEPARATION BETWEEN WATER SERVICES AND SEWER DRAINS AND/OR MANHOLES SHALL BE MINIMUM 2.5m MEASURED FROM THE CLEANEST PIPE EDGE TO CLEANEST PIPE EDGE. VERTICAL SEPARATION SHALL BE MINIMUM 1.5m MEASURED FROM THE TOP OF THE CLEANEST PIPE TO THE BOTTOM OF THE CLEANEST PIPE. UNUSUAL HORIZONTAL SEPARATION BETWEEN WATER SERVICES AND SEWER DRAINS SHALL BE MINIMUM 1.5m MEASURED FROM THE CENTER OF THE WATER SERVICE TO THE CENTER OF THE SEWER DRAIN AND/OR MANHOLE. UNUSUAL HORIZONTAL SEPARATION BETWEEN WATER SERVICES AND SEWER DRAINS SHALL BE MINIMUM 1.5m MEASURED FROM THE CENTER OF THE WATER SERVICE TO THE CENTER OF THE SEWER DRAIN AND/OR MANHOLE. UNUSUAL HORIZONTAL SEPARATION BETWEEN WATER SERVICES AND SEWER DRAINS SHALL BE MINIMUM 1.5m MEASURED FROM THE CENTER OF THE WATER SERVICE TO THE CENTER OF THE SEWER DRAIN AND/OR MANHOLE.
4. PROPOSED SEWER SERVICE SHALL BE PVC SERVICE (DRAIN OR SANITARY) AND SHALL NOT BE USED FOR PRIVATE DRAIN OR CATCH BASIN INSTALLATIONS.
5. ANY CHANGES IN GRADES AND OUTCROPPINGS REQUIRE THE APPROVAL OF THE SENIOR DESIGN, DESIGN MANAGEMENT, PLANNING AND ECONOMIC DEVELOPMENT DEPARTMENT.
6. OUTCROPPINGS SHALL BE AS PER O.P.S.A. 701-10 AND MUST BE NOTED WITH A CODE THAT IS PER O.P.S.A. ALL PRIVATE PROPERTY OUTCROPPINGS ARE TO REMAIN A SEAP. PRIVATE PROPERTY OUTCROPPINGS ARE TO REMAIN A SEAP. PRIVATE PROPERTY OUTCROPPINGS ARE TO REMAIN A SEAP.
7. SERVICES TO BE INSTALLED WITH A MIN. COVER OF 1.00m AT THE PROPERTY LINE, BELOW THAT, 1.50m COVER OR IF SUCH HEIGHTS EXCEED AS MAY BE NECESSARY TO THE LOCATION OF THE MAIN SERVICE, ON PRIVATE PROPERTY THE MINIMUM COVER IS TO BE NO LESS THAN 1.00m.
8. PROPOSED SANITARY SERVICE SHALL BE PVC SERVICE FOR 150mm AND 200mm FOR OTHER SIZES.
9. PROPOSED SANITARY SERVICE MANHOLE TO BE IN ACCORDANCE WITH O.P.S.A. 701-10 (04 SEAP).

10. SEWER SERVICE AND COVER TO BE AS PER O.P.S.A. 701-10 WITH MANHOLE "X" FOR BOTH SERVICE AND COVER.
11. ALL MANHOLES TO CONFORM TO O.P.S.A. 701-10 & 701-20.
12. UNUSUAL SIZE OF DRAIN AND SANITARY COVER LOCATED WITHIN THE ROAD ALLOWANCE TO BE 1.5m IN THE ORIGINAL CITY OF HAMILTON AND 1.5m IN THE OTHER AREA MANHOLES NOT COMPASSING THE NEW CITY.
13. RESTORATION OF ROAD OVER UTILITY DRAIN IN HAMILTON TO BE AS PER STANDARD O.P.S.A. 701-10(1) AND 701-10(2) WITH MANHOLE "X" SERVICE.
14. MAINTENANCE HOLES ARE REQUIRED AT ALL CHANGES IN PIPE SIZE, CHANGES IN PIPE DIRECTION, END OF PIPE RUNS AND AT CLEANINGS.
15. JOINTS ON THURST BLOCKS ARE TO BE INSTALLED AT ALL WATER SERVICE ELIMINATIONS, FEED PLUGS ETC. FOR 300mm DIAMETER WATER SERVICES AND SMALLER, JOINTS ON BLOCKS ARE TO BE AS PER 701-10(2)(4).
16. WATERMAIN SERVICE AND COVER MATERIAL TO BE INSTALLED AS PER 701-10(2)(4) (CONCRETE AND PVC WATERMAIN AND SERVICES) AND MANHOLE (CASTLE WITH WATERMAIN AND SERVICES) WITH JOINTS TO BE SERVICE AND COVER. SERVICE AND COVER FOR SMALL DIAMETER SERVICES (I.E. 50mm AND UNDER) TO BE AS PER 701-10(2)(4) (CONCRETE AND PVC WATERMAIN AND SERVICES). WATER SERVICES TO BE INSTALLED WITH A MINIMUM COVER OF 1.00m.
17. PROVIDE A WATER BACKFLOW PREVENTER FOR FIRE SERVICES REQUIRED IN ACCORDANCE TO THE O.P.S.A. 701-10(2)(4) SHALL BE LOCATED AT THE SERVICE POINT OF ENTRY TO EACH BUILDING.
18. ALL WATERMAIN ARE TO BE INSTALLED AS PER O.P.S.A. 701-10(2)(4) (CONCRETE AND PVC WATERMAIN AND SERVICES) AND MANHOLE (CASTLE WITH WATERMAIN AND SERVICES) WITH JOINTS TO BE SERVICE AND COVER. SERVICE AND COVER FOR SMALL DIAMETER SERVICES (I.E. 50mm AND UNDER) TO BE AS PER 701-10(2)(4) (CONCRETE AND PVC WATERMAIN AND SERVICES). WATER SERVICES TO BE INSTALLED WITH A MINIMUM COVER OF 1.00m.
19. IF A SERVICE IS TO BE RE-USED THE APPLICABLE COVER MUST REMAIN UNCHANGED. THE EXISTING SERVICE IS TO BE RE-USED UNLESS OTHERWISE SPECIFIED. THE EXISTING SERVICE IS TO BE RE-USED UNLESS OTHERWISE SPECIFIED. THE EXISTING SERVICE IS TO BE RE-USED UNLESS OTHERWISE SPECIFIED.
20. ALL EXISTING UNLINED WATER SERVICES TO THE SITE MUST BE ABANDONED. SERVICES GREATER THAN 300mm MUST BE COMPLETELY REMOVED FROM THE ROAD ALLOWANCE WITH AN APPROVED REPAIR TO THE MANHOLE, UNL.
21. CURB STOPS (MINIMUM LESS THAN 300mm) TO BE INSTALLED WITH A BOX AS PER 701-10(2).

NOTE:
 APPROVAL OF THIS DRAWING IS FOR GENERAL ACCURACY AND COMPLIANCE WITH MUNICIPAL AND TECHNICAL BY-LAWS OF THE CITY OF HAMILTON. APPROVAL DOES NOT GUARANTEE THE LOCATION OF THE SERVICES OR THE COVER DEPTHS. APPROVAL DOES NOT GUARANTEE THE LOCATION OF THE SERVICES OR THE COVER DEPTHS. APPROVAL DOES NOT GUARANTEE THE LOCATION OF THE SERVICES OR THE COVER DEPTHS.

C.B. ORIFICE PLATE SIZING

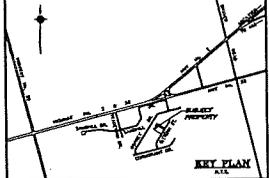
ORIFICE PLATE COMPARISON	DIAMETER OF ORIFICE PLATE OPENING
150mm	200mm
200mm	250mm



WATERMAIN SUMMARY - JOINT RESTRAINTS

LOCATION / DESCRIPTION	LENGTH TO BE RESTRAINED (L)
150mm DA, PVC - ROAD CROSS	12.3m
150mm DA, PVC - 45° HORZ. ROAD	12.3m
150mm DA, 150mm PVC - TEE	12.3m
300mm DA, 150mm PVC - TEE	12.3m

FLOW CONTROL DEVICE ORIFICE PLATE
 N.T.S.



- LEGEND:**
- EXISTING ELEVATIONS
 - PROPOSED ELEVATIONS
 - PROPOSED SWALE ELEVATIONS
 - PROPOSED SWALE
 - GENERAL DRAINAGE
 - PROP. WATER METER
 - PROP. BACKFLOW PREVENTER

SANITARY SYSTEM

INV. NO.	DESCRIPTION	E/C	INVERTS
ST	1.2m P/C 1M	224.55	N 224.55 E 224.55

STORM SYSTEM

INV. NO.	DESCRIPTION	E/C	INVERTS
ST1	0.6m x 0.6m CB	224.60	N 224.60 E 224.60
ST2	1.2m P/C CB/1M	224.55	N 224.55 E 224.55
ST3	1.2m P/C CB/1M	224.00	N 224.39 E 224.34
ST4	1.2m P/C CB/1M	224.00	N 224.71 E 224.66
ST5	1.2m P/C CB/1M	224.38	N 224.46 E 224.39
ST6	0.6m x 0.6m P/C CB	224.00	N 223.82 E 223.82
ST7	0.6m x 0.6m P/C CB	224.11	N 224.81 E 224.81

- T.B.M. No. 1 ELEV. = 225.72m (GEO)
TOP HWT OF FIRE HYDRANT ON THE EAST SIDE OF BITTERN STREET AS SHOWN.
- T.B.M. No. 2 ELEV. = 225.27m (GEO)
TOP HWT OF FIRE HYDRANT ON THE EAST SIDE OF BITTERN STREET AS SHOWN.
- T.B.M. No. 3 ELEV. = 224.46m (GEO)
TOP S.W. CORNER OF CONC. BASE TO HYDRO VALVE IN FRONT OF SUBJECT PROPERTY AS SHOWN.
- T.B.M. No. 4 ELEV. = 224.44m (GEO)
TOP HWT OF FIRE HYDRANT ON THE EAST SIDE OF BITTERN STREET AS SHOWN.

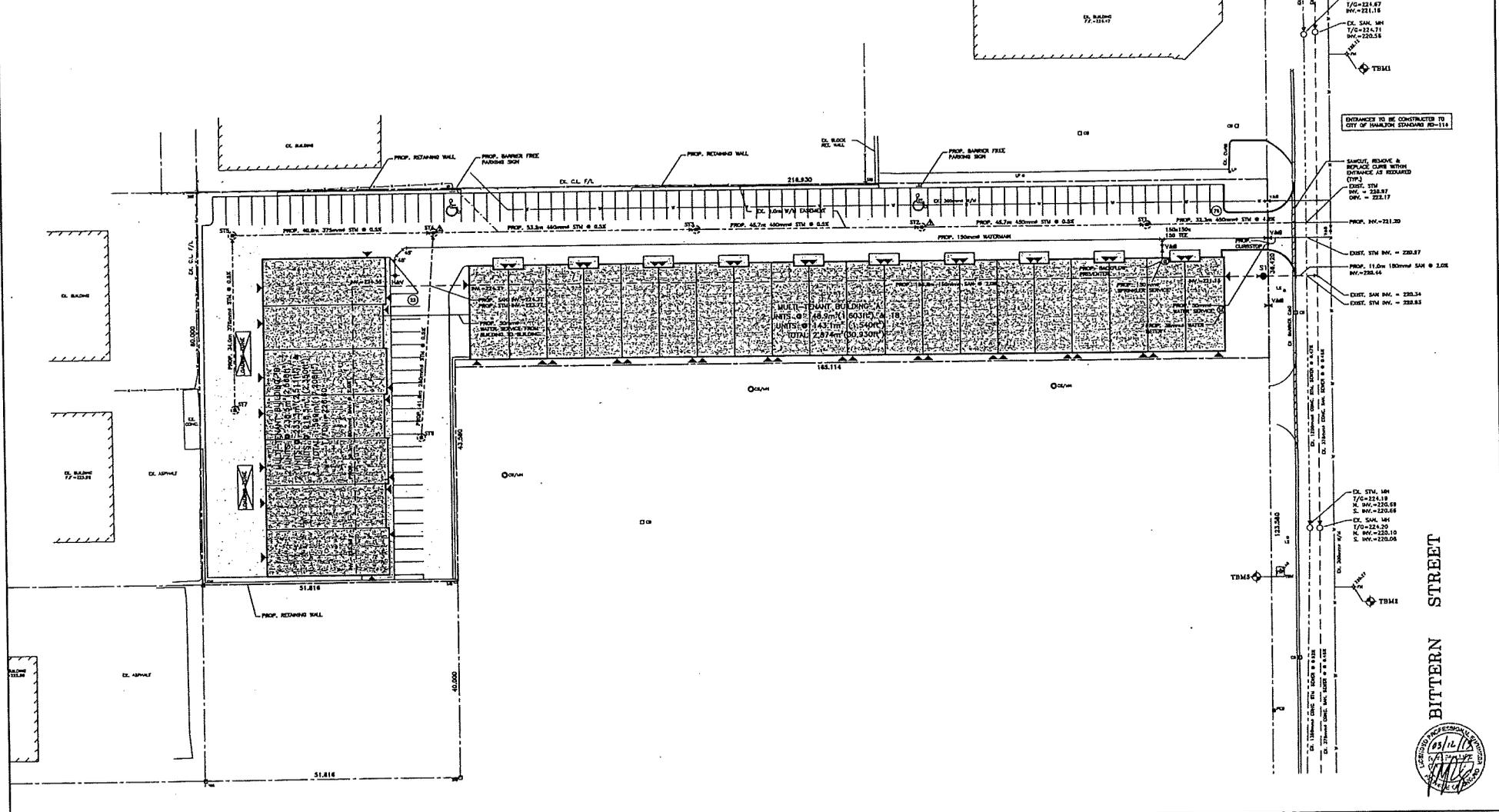
J.H. COHOON ENGINEERING LIMITED
 CONSULTING ENGINEERS
 440 HURON ROAD, UNIT #1, BRANTFORD - ONTARIO, N3Y 5L6
 TEL: (519) 753-2444 FAX: (519) 753-4242 www.jhcohoon.com

PROPOSED INDUSTRIAL BUILDING
 BITTERN STREET
 CITY OF HAMILTON

CLIENT: **ABBOTT CONSTRUCTION**

SERVICING PLAN

DESIGN: R.W.P.	SCALE: 1:400
DRAWN: L.A.C./C.P.B.	JOB NO: 12938
CHECKED: R.W.P.	
SHEET: 2 of 2	DWG. NO: 12938-2
DATE: DEC. 2/19	



OSPREY DRIVE
 (ESTABLISHED BY BY-LAW No. 83-58, REGISTERED AS INST. No. C0245000)

I REQUIRE THIS PLAN TO BE DEPOSITED UNDER THE LAND TITLES ACT.		PLAN 62R-	
DATE _____		RECEIVED AND DEPOSITED	
DATE _____		DATE _____	
HARRY KALANTZAKOS ONTARIO LAND SURVEYOR		REPRESENTATIVE FOR: LAND REGISTRAR FOR THE LAND TITLES DIVISION OF WENTWORTH (92)	
SCHEDULE			
PART	LOT	PLAN	PIN No.
1	PART OF BLOCK 1	REGISTERED PLAN 62M-1121	PART OF 17411-0311(L)
2			

PART 1 IS SUBJECT TO EASEMENT AS IN INST. No. W272013
 PARTS 1 AND 2 SUBJECT TO EASEMENT IN CROSS AS IN INST. W2720175

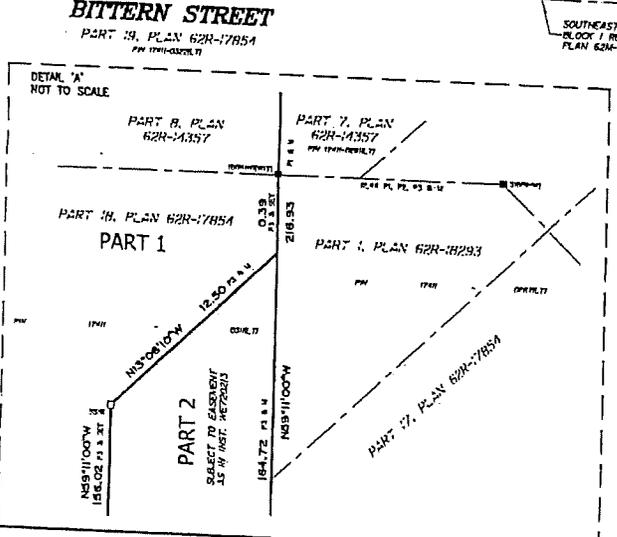
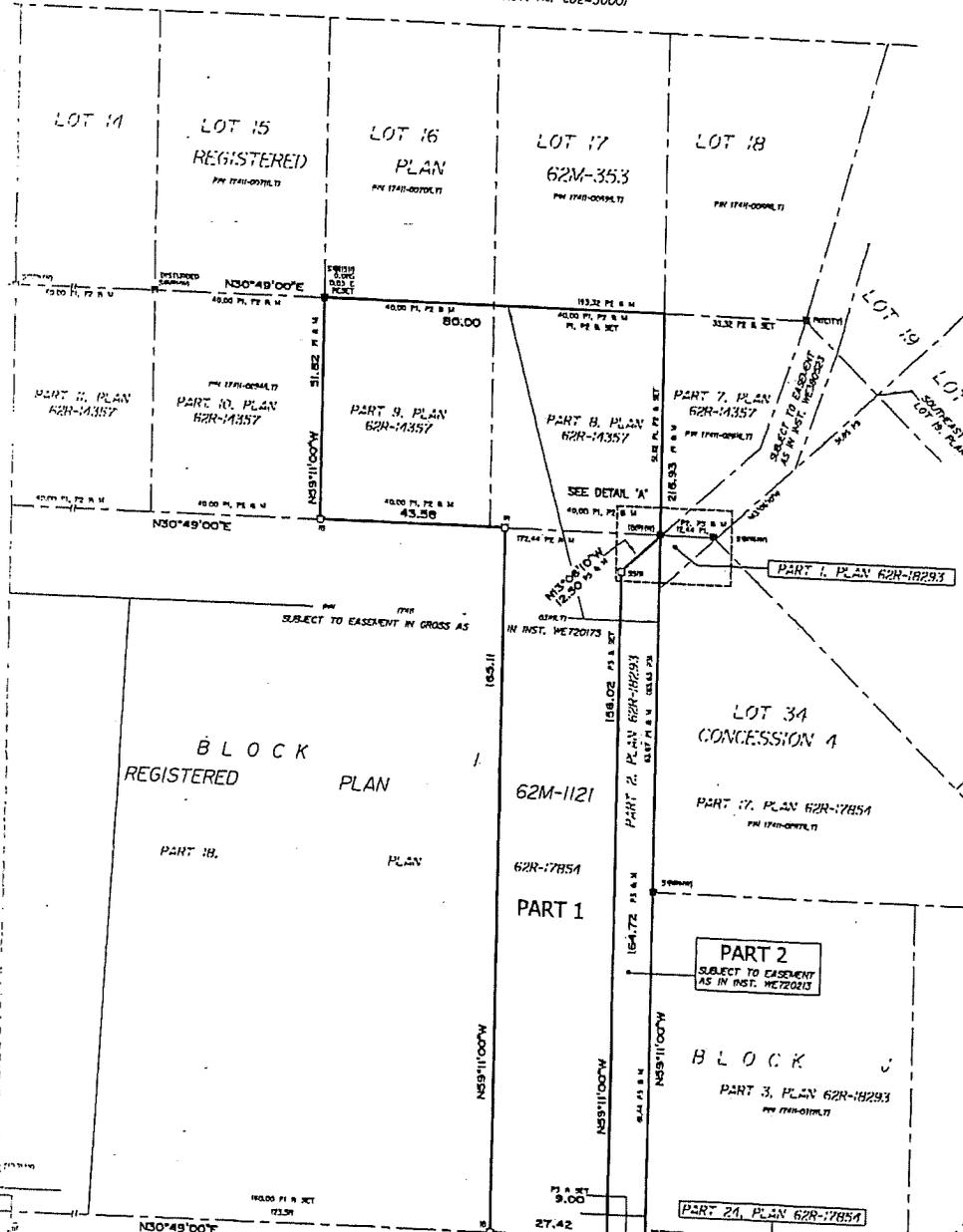
PLAN OF SURVEY OF
PART OF BLOCK 1
REGISTERED PLAN 62M-1121
 IN THE
CITY OF HAMILTON
 SCALE 1 : 750

ASHENHURST NOUWENS & ASSOCIATES INC.

BEARING NOTE
 BEARINGS HEREON ARE GRID AND ARE REFERRED TO THE NAD83 UTM CO-ORDINATE SYSTEM, ZONE 17, CENTRAL MERIDIAN 81° W LONGITUDE AND DERIVED FROM MONUMENTS
 008660015 N 4782819.193 E 378095.172
 009753349 N 4782784.681 E 378127.778
 DISTANCES SHOWN ARE GROUND VALUES, TO RELATE TO GRID VALUES MULTIPLY BY THE C.S.F. OF 0.9998468.

METRIC NOTE
 DISTANCES AND COORDINATES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

- LEGEND**
- DENOTES FOUND
 - DENOTES PLANTED
 - SB DENOTES IRON BAR
 - RB DENOTES STANDARD IRON BAR
 - M DENOTES ROUND IRON BAR
 - W DENOTES MEASURED
 - OU DENOTES OTHER UNKNOWN
 - WT DENOTES WITH CSS
 - P1 DENOTES PLAN 62R-17854
 - P2 DENOTES PLAN 62R-14357
 - P3 DENOTES PLAN 62R-18293
 - 1511 DENOTES GUIDO W. CONSOLE, O.L.S.
 - WHM DENOTES CITY OF HAMILTON
 - WH DENOTES WITNESS



SURVEYOR'S CERTIFICATE
 I CERTIFY THAT:
 1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT AND THE LAND TITLES ACT AND THE REGULATIONS MADE UNDER THEM.
 2. THIS SURVEY WAS COMPLETED ON THE 11th DAY OF JANUARY, 2017

DATE _____

HARRY KALANTZAKOS
 ONTARIO LAND SURVEYOR

ASHENHURST NOUWENS & ASSOCIATES INC
 PROFESSIONAL ENGINEERS & ONTARIO LAND SURVEYORS
 225 KING WILLIAM STREET, SUITE 204, HAMILTON, ONTARIO L8R 1B1
 TELEPHONE: (905) 529-6316
 (905) 529-4314
 FAX: (905) 529-6651
 e-mail: onl@ashenhurstnouwens.com

DRAWN BY: A.K.W. CALLED BY: B.C. CHECKED BY: H.K. FILE No.: 16199 RPLAN

AN/A 20:67



Hamilton

Planning and Economic Development Department
Planning Division

Committee of Adjustment
City Hall
5th floor 71 Main Street West
Hamilton, Ontario L8P 4Y5

Phone (905) 546-2424 ext.4221
Fax (905) 546-4202

**PLEASE FILL OUT THE FOLLOWING PAGES AND
RETURN TO THE CITY OF HAMILTON PLANNING
DEPARTMENT.**

FOR OFFICE USE ONLY.	
APPLICATION NO. <u>AW/A-20:67</u>	DATE APPLICATION RECEIVED <u>FEB 13 2020</u>
PAID _____	DATE APPLICATION DEEMED COMPLETE _____
SECRETARY'S SIGNATURE _____	

**CITY OF HAMILTON
COMMITTEE OF ADJUSTMENT
HAMILTON, ONTARIO**

The Planning Act

Application for Minor Variance or for Permission

The undersigned hereby applies to the Committee of Adjustment for the City of Hamilton under Section 45 of the *Planning Act*, R.S.O. 1990, Chapter P.13 for relief, as described in this application, from the Zoning By-law.

- Name of Owner 1622-199 Ontario Inc. Telephone No. [Redacted]
- [Redacted]
- Name of Agent Phocott Construction Telephone No. [Redacted]
- [Redacted]

Note: Unless otherwise requested all communications will be sent to the agent, if any.

- Names and addresses of any mortgagees, holders of charges or other encumbrances:

n/a Postal Code _____

_____ Postal Code _____

6. Nature and extent of relief applied for:

Reduction of side yard setbacks from
4.5m to 1.5m
Parking space requirements of 118
reduced to 100 total.

7. Why it is not possible to comply with the provisions of the By-law?

Due to constraints of the narrow lot
width dimensions and to maintain
adequate access for fire route and
tenants, relief is required.

8. Legal description of subject lands (registered plan number and lot number or other legal description and where applicable, street and street number):

Reg. Plan 62-M-1121
Part of Block 1 53 Bittern St., Ancaster

9. PREVIOUS USE OF PROPERTY

Residential Industrial Commercial

Agricultural Vacant

Other _____

9.1 If Industrial or Commercial, specify use

Industrial

9.2 Has the grading of the subject land been changed by adding earth or other material, i.e. has filling occurred?

Yes No Unknown

9.3 Has a gas station been located on the subject land or adjacent lands at any time?

Yes No Unknown

9.4 Has there been petroleum or other fuel stored on the subject land or adjacent lands?

Yes No Unknown

9.5 Are there or have there ever been underground storage tanks or buried waste on the subject land or adjacent lands?

Yes No Unknown

9.6 Have the lands or adjacent lands ever been used as an agricultural operation where cyanide products may have been used as pesticides and/or sewage sludge was applied to the lands?

Yes No Unknown

9.7 Have the lands or adjacent lands ever been used as a weapon firing range?

Yes No Unknown

9.8 Is the nearest boundary line of the application within 500 metres (1,640 feet) of the fill area of an operational/non-operational landfill or dump?

Yes No Unknown

9.9 If there are existing or previously existing buildings, are there any building materials remaining on site which are potentially hazardous to public health (eg. asbestos, PCB's)?

Yes No Unknown

9.10 Is there any reason to believe the subject land may have been contaminated by former uses on the site or adjacent sites?

Yes ___ No Unknown ___

9.11 What information did you use to determine the answers to 9.1 to 9.10 above?

PERSONAL

9.12 If previous use of property is industrial or commercial or if YES to any of 9.2 to 9.10, a previous use inventory showing all former uses of the subject land, or if appropriate, the land adjacent to the subject land, is needed.

Is the previous use inventory attached? Yes ___ No ___

ACKNOWLEDGEMENT CLAUSE

I acknowledge that the City of Hamilton is not responsible for the identification and remediation of contamination on the property which is the subject of this Application – by reason of its approval to this Application.

Feb 4/20
Date

[Signature]
Signature Property Owner
Bob Putman
Print Name of Owner

10. Dimensions of lands affected:

Frontage 3/4 42m
Depth Varies (2/6 9.3m)
Area 1.016 Ha
Width of street _____

11. Particulars of all buildings and structures on or proposed for the subject lands: (Specify ground floor area, gross floor area, number of stories, width, length, height, etc.)

Existing: n/a

Proposed: Two (2) multi-tenant industrial buildings
Building 'A' - 30930 sq. ft. Building 'B' 17708 sq. ft.
Both are single storey 25' high

12. Location of all buildings and structures on or proposed for the subject lands; (Specify distance from side, rear and front lot lines)

Existing: n/a

Proposed: refer to attached site plan

13. Date of acquisition of subject lands:

 December 2018

14. Date of construction of all buildings and structures on subject lands:

 n/a

15. Existing uses of the subject property:

 vacant

16. Existing uses of abutting properties:

 Industrial - Office - Multi-tenant - Office & Lab

17. Length of time the existing uses of the subject property have continued:

 unknown

18. Municipal services available: (check the appropriate space or spaces)
 Water _____ Connected _____
 Sanitary Sewer _____ Connected _____
 Storm Sewers _____

19. Present Official Plan/Secondary Plan provisions applying to the land:

 Employment Area Designation -
 Business Park

20. Present Restricted Area By-law (Zoning By-law) provisions applying to the land:

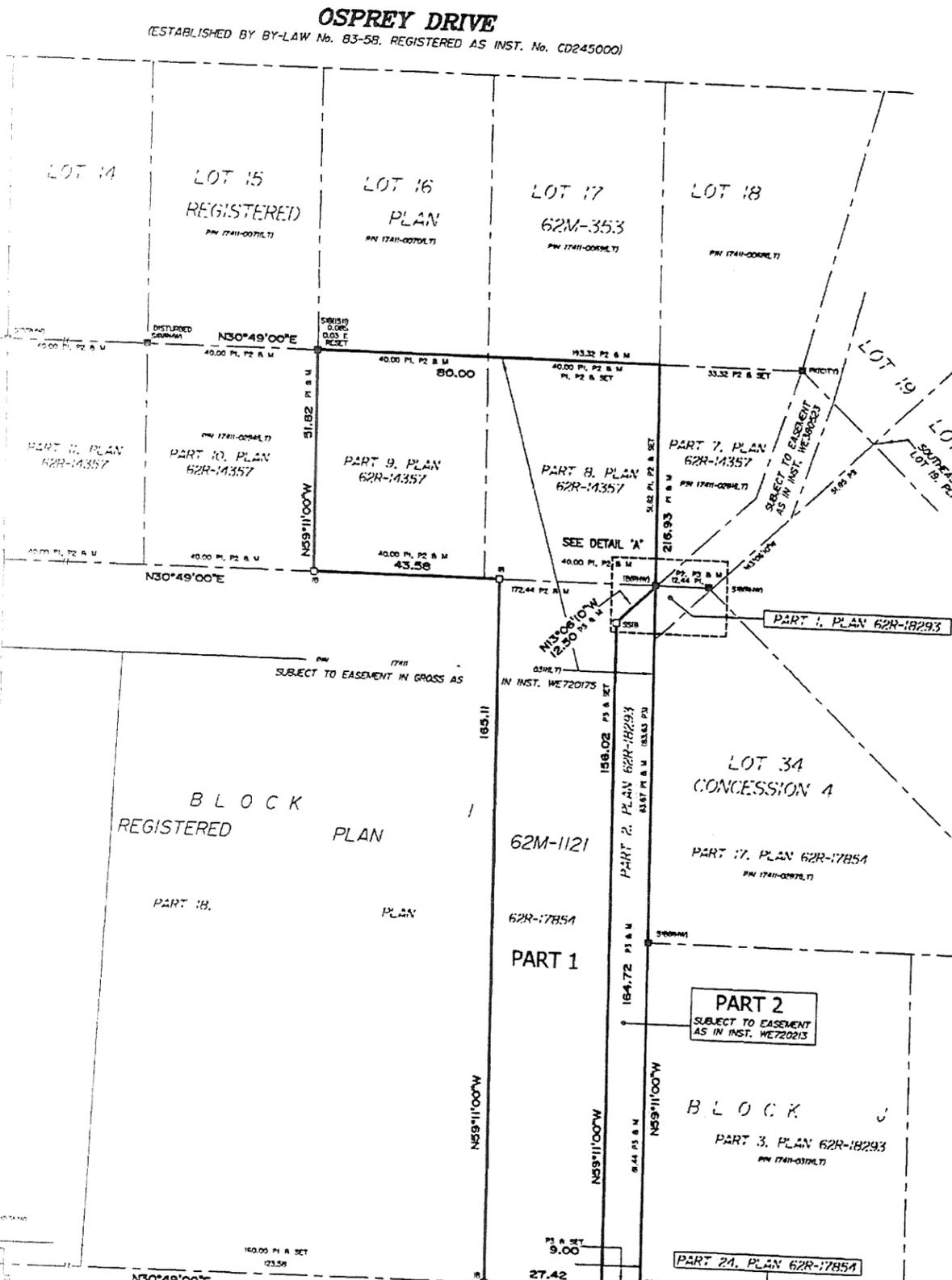
 M2 - Exception 678

21. Has the owner previously applied for relief in respect of the subject property?
 Yes _____ No
 If the answer is yes, describe briefly.

22. Is the subject property the subject of a current application for consent under Section 53 of the Planning Act?
 Yes _____ No

23. The applicant shall attach to each copy of this application a plan showing the dimensions of the subject lands and of all abutting lands and showing the location, size and type of all buildings and structures on the subject and abutting lands, and where required by the Committee of Adjustment such plan shall be signed by an Ontario Land Surveyor.

NOTE: It is required that two copies of this application be filed with the secretary-treasurer of the Committee of Adjustment together with the maps referred to in Section 5 and be accompanied by the appropriate fee in cash or by cheque made payable to the City of Hamilton.



I REQUIRE THIS PLAN TO BE DEPOSITED UNDER THE LAND TITLES ACT.		PLAN 62R-	
RECEIVED AND DEPOSITED		RECEIVED AND DEPOSITED	
DATE		DATE	
HARRY KALANTZAKOS ONTARIO LAND SURVEYOR		REPRESENTATIVE FOR: LAND REGISTRAR FOR THE LAND TITLES DIVISION OF WENTWORTH (82)	
SCHEDULE			
PART	LOT	PLAN	PIN No.
1	PART OF BLOCK 1	REGISTERED PLAN 62M-1121	PART OF 17411-0311(L)
2			

PART 2 IS SUBJECT TO EASEMENT AS IN INST. No. WE720213
PARTS 1 AND 2 SUBJECT TO EASEMENT IN GROSS AS IN INST. WE720175

PLAN OF SURVEY OF
PART OF BLOCK 1
REGISTERED PLAN 62M-1121
IN THE
CITY OF HAMILTON
SCALE 1 : 750
ASHENHURST NOUWENS & ASSOCIATES INC.

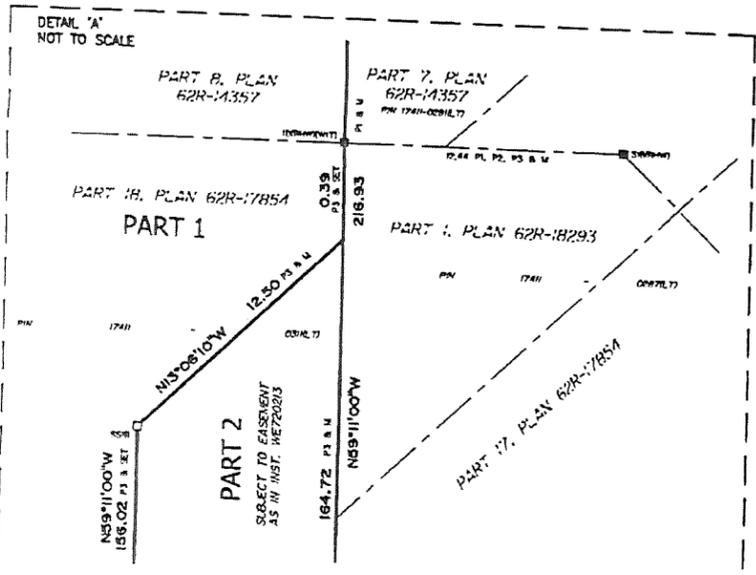
BEARING NOTE
BEARINGS HEREON ARE GRID AND ARE REFERRED TO THE NAD83 UTM CO-ORDINATE SYSTEM, ZONE 17, CENTRAL MERIDIAN 81° W LONGITUDE AND DERIVED FROM MONUMENTS

008860015	N 4782819.193	E 578095.172
009753349	N 4782764.681	E 578727.778

DISTANCES SHOWN ARE GROUND VALUES, TO RELATE TO GRID VALUES MULTIPLY BY THE C.S.F. OF 0.9996468.

METRIC NOTE
DISTANCES AND COORDINATES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

- LEGEND**
- DENOTES FOUND
 - DENOTES PLANTED
 - ▣ DENOTES IRON BAR
 - ▢ DENOTES STANDARD IRON BAR
 - ⊕ DENOTES ROUND IRON BAR
 - ⊖ DENOTES MEASURED
 - ⊙ DENOTES ORIGIN UNKNOWN
 - ⊗ DENOTES WITNESS
 - P1 DENOTES PLAN 62R-17854
 - P2 DENOTES PLAN 62R-14357
 - P3 DENOTES PLAN 62R-18293
 - 1511 DENOTES GUIDO V. FONSOLI, O.L.S.
 - 17411 DENOTES CITY OF HAMILTON
 - WIT DENOTES WITNESS



SURVEYOR'S CERTIFICATE
I CERTIFY THAT:
1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT AND THE LAND TITLES ACT AND THE REGULATIONS MADE UNDER THEM.
2. THIS SURVEY WAS COMPLETED ON THE 11th, DAY OF JANUARY, 2017

DATE _____ HARRY KALANTZAKOS
ONTARIO LAND SURVEYOR

ASHENHURST NOUWENS & ASSOCIATES INC
PROFESSIONAL ENGINEERS & ONTARIO LAND SURVEYORS
225 KING WILLIAM STREET, SUITE 204, HAMILTON, ONTARIO L8R 1B1
TELEPHONE: (905) 529-6316
(905) 529-4314
FAX: (905) 529-6651
e-mail: an@AshenhurstNouwens.com

AN
SINCE 1956

DRAWN BY A.K.W.	CALCD BY B.C.	CHECKED BY H.K.	FILE No. 16199 RPLAN
--------------------	------------------	--------------------	-------------------------

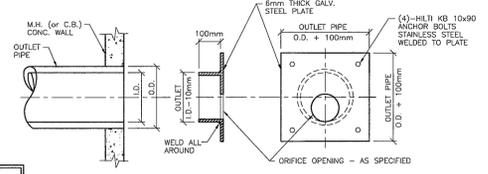
SERVICING NOTES:

- ALL WORK INVOLVED IN THE CONSTRUCTION, RELOCATION, REPAIR OF MUNICIPAL SERVICES FOR THE PROJECT SHALL BE TO THE SATISFACTION OF THE SENIOR DIRECTOR, GROWTH MANAGEMENT, PLANNING AND ECONOMIC DEVELOPMENT DEPARTMENT.
- ALL SERVICES TO BE INSTALLED AS PER CITY OF HAMILTON CONSTRUCTION AND MATERIALS STANDARDS AND SPECIFICATIONS MANUAL (LATEST EDITION) AND THE MINISTRY OF ENVIRONMENT GUIDELINES (LATEST EDITION)
- MINIMUM HORIZONTAL SEPARATION BETWEEN WATER SERVICES AND SEWER DRAINS AND/OR MUNICIPAL SEWER MAINS SHALL BE 2.5m MEASURED FROM THE CLOSEST PIPE EDGE TO CLOSEST PIPE EDGE. VERTICAL SEPARATION WHERE A WATER SERVICE PASSES OVER A SEWER DRAIN AND/OR MUNICIPAL SEWER MAINS MUST BE A MINIMUM OF 0.15m UNLESS GREATER SEPARATION IS REQUIRED TO PROVIDE FOR PROPER BEDDING AND STRUCTURAL SUPPORT. WATER SERVICES PASSING UNDER SEWER DRAINS AND/OR MUNICIPAL SEWER MAINS MUST HAVE A SEPARATION OF 0.50m BETWEEN THE INVERT OF THE SEWER DRAIN AND/OR MUNICIPAL WATER MAIN AND THE CROWN OF WATERMAIN.
- PROPOSED STORM SEWER SHALL BE PVC SDR35 (RIBBED OR PROFILE PIPE MAY NOT BE USED FOR PRIVATE DRAIN OR CATCH BASIN INSTALLATIONS)
- ANY CHANGES IN GRADES AND CATCHBASINS REQUIRE THE APPROVAL OF THE SENIOR DIRECTOR, GROWTH MANAGEMENT, PLANNING AND ECONOMIC DEVELOPMENT DEPARTMENT.
- CATCHBASINS SHALL BE AS PER OPSD 705.010 AND MUST BE MODIFIED WITH A GROSS TRAP AS PER SEM-304. ALL PRIVATE PROPERTY CATCHBASINS ARE TO INCLUDE A SUMP. PROVIDE SUMP SACK IN CATCHBASINS DURING CONSTRUCTION AND UNTIL GROUND COVER IS ESTABLISHED.
- SEWERS TO BE INSTALLED WITH A MIN. COVER OF 2.20m AT THE PROPERTY LINE BELOW FINAL ROAD GRADE OR AT SUCH HIGHER ELEVATION ONLY AS MAY BE NECESSITATED BY THE ELEVATION OF THE MAIN SEWER. ON PRIVATE PROPERTY THE MINIMUM COVER IS TO BE NO LESS THAN 1.2m.
- PROPOSED SANITARY SEWER SHALL BE PVC SDR28 FOR 150mm AND SDR35 FOR OTHER SIZES.
- PROPOSED SANITARY SEWER MANHOLE TO BE IN ACCORDANCE WITH O.P.S.D. 701.010 (NO SLUMPS)
- SEWER BEDDING AND COVER TO BE AS PER O.P.S.D. 802.010 WITH GRANULAR 'A' FOR BOTH BEDDING AND COVER.
- ALL MANHOLES TO CONFORM TO OPSD 701.01 & 701.03
- MINIMUM SIZE OF STORM AND SANITARY DRAINS LOCATED WITHIN THE ROAD ALLOWANCE TO BE 150mm IN THE ORIGINAL CITY OF HAMILTON AND 125mm IN THE OTHER AREA MUNICIPALITIES NOW COMPRISING THE NEW CITY.
- RESTORATION OF ROAD OVER UTILITY CUTS IN HAMILTON TO BE AS PER STANDARD DRAWINGS RD-100.01 AND RD-100.02, WITH GRANULAR 'A' BEDDING.
- MAINTENANCE HOLES ARE REQUIRED AT ALL CHANGES IN PIPE SIZE, CHANGES IN PIPE DIRECTION, ENDS OF PIPE RUNS AND AS CLEARWAYS.
- ANCHOR OR THRUST BLOCKS ARE TO BE INSTALLED AT ALL WATER SERVICE ELBOWS, TEES, PLUGS ETC. FOR 300mm DIAMETER WATER SERVICES AND SMALLER, ANCHOR BLOCKS ARE TO BE AS PER WM-204.01
- WATERMAIN BEDDING AND COVER MATERIAL TO BE INSTALLED AS PER WM-200.01 (CONCRETE AND PVC WATERMANS AND SERVICES) AND WM-200.02 (DUCTILE IRON WATERMANS AND SERVICES) WITH GRANULAR 'A' FOR BEDDING AND COVER. BEDDING AND COVER FOR SMALL DIAMETER SERVICES (i.e. 50mm AND UNDER) TO BE AS PER WM-200.01 WITH GRANULAR 'D' FOR BOTH BEDDING AND COVER. WATER SERVICES TO BE INSTALLED WITH A MINIMUM COVER OF 1.6m.
- ALL BACKFLOW PREVENTION DEVICES MUST BE SELECTED, AND MAINTAINED IN ACCORDANCE WITH THE CITY OF HAMILTON'S BACKFLOW PREVENTION BY-LAW # 10-103 THE MANUFACTURER'S SPECIFICATIONS AND THE GUIDELINES SET OUT IN THE MOST RECENT VERSIONS OF THE AWWA CANADIAN CROSS CONNECTION CONTROL MANUAL AND THE CSA. B64.10/07/064, 10.1-07 STANDARDS.
- DOWNSPOUTS TO OUTLET AT GRADE LEVEL AWAY FROM BUILDINGS.

NOTE: APPROVAL OF THIS DRAWING IS FOR MATERIAL ACCEPTABILITY AND COMPLIANCE WITH MUNICIPAL AND PROVINCIAL SPECIFICATIONS AND STANDARDS ONLY. APPROVAL AND INSPECTION BY THE CITY OF THE WORKS DOES NOT CERTIFY THE LINE AND GRADE OF THE WORKS AND IT IS THE OWNER'S RESPONSIBILITY TO HAVE THEIR ENGINEER CERTIFY THIS ACCORDINGLY.

- PROVIDE A WATER BACKFLOW PREVENTOR FOR FIRE SERVICES, REQUIRED IN ACCORDANCE THE ONTARIO BUILDING CODE. SHALL BE LOCATED AT THE SERVICE POINT OF ENTRY TO EACH BUILDING.
- ALL HYDRANTS ARE TO BE INSTALLED AS PER RWS-600 and/or RWS-604, AS APPLICABLE AND ARE TO BE COMPLETE WITH SECONDARY VALVE. SECONDARY VALVES ARE TO BE CLOSE COUPLED TO THE HYDRANT IN ALL CASES, AND ARE TO OPEN LEFT. THE MAIN HYDRANT VALVE IS TO BE OPEN LEFT, WITH CLEAR MARKINGS CAST IN THE BONNET SHOWING OPEN LEFT DIRECTIONAL INDICATOR ARROW. A BLACK LETTER 'L' MUST ALSO BE STENCILED ON THE UPPER BONNET INDICATING THE VALVE OPENS LEFT. HYDRANTS ARE TO BE EQUIPPED WITH 100mm (4") "STORTR" PUMPER NOZZLES, BLACK IN COLOUR.
- IF A SERVICE IS TO BE RE-USED THE APPLICANT/OWNER MUST ASSURE THEMSELVES THAT THE EXISTING SERVICE IS ADEQUATE TO MEET THEIR PROPOSED USES AND ARE IN GOOD WORKING CONDITION.
- INTERNAL WATER METER INSTALLATIONS TO BE AS PER WM-210 AND THE METER IS TO BE INSTALLED AT FLOOR LEVEL.
- ALL EXISTING UNUSED WATER SERVICES TO THE SITE MUST BE ABANDONED. SERVICES GREATER THAN 50mm MUST BE COMPLETELY REMOVED FROM THE ROAD ALLOWANCE WITH AN APPROPRIATE REPAIR TO THE MUNICIPAL MAN.
- CURB STOPS (VALVES) LESS THAN 300mm TO BE INSTALLED WITH A BOX AS PER WM-202.
- SHUTDOWN OF A CITY WATERMAIN WILL BE AT THE DISCRETION OF THE CITY AND IS SUBJECT TO THE FOLLOWING REQUIREMENTS, WHICH SHOULD BE NOTED ON THE PLAN.
 - "WATERMAIN SHUTDOWN"
 - (a) MAXIMUM 4 HOUR SHUTDOWN OF EXISTING MAIN AT A TIME CONVENIENT TO THE CITY OF HAMILTON AND ADJUTING USERS.
 - (b) CONTRACTOR TO GIVE 48 HOUR PRIOR NOTIFICATION USING THE "CITY OF HAMILTON NOTICE OF SHUTDOWN" FOR ALL AFFECTED AREAS.
 - (c) IN THE EVENT OF A SCHEDULED SHUTDOWN IS CANCELED BY THE CITY OF HAMILTON, THE CONTRACTOR SHALL HAVE NO CLAIMS AGAINST THE CITY.
- ANY CHANGES IN GRADES AND CATCH BASINS REQUIRE THE APPROVAL OF THE CITY'S MANAGER OF DEVELOPMENT ENGINEERING.
- ALL DRIVEWAYS FROM PROPERTY LINES FOR THE FIRST 7.5m SHALL BE WITHIN 5% MAXIMUM GRADE. THEREAFTER, ALL DRIVEWAYS SHALL BE WITHIN 10% MAXIMUM GRADES.
- THE APPROVAL OF PLANS DOES NOT EXEMPT THE OWNER'S BONDED CONTRACTOR FROM THE REQUIREMENTS TO OBTAIN THE VARIOUS PERMITS/APPROVALS NORMALLY REQUIRED TO COMPLETE A CONSTRUCTION PROJECT, SUCH AS, BUT NOT LIMITED TO THE FOLLOWING:
 - ROAD CUT PERMITS
 - APPROACH APPROVAL PERMITS
 - COMMITTEE OF ADJUSTMENT
 - SEWER/WATER PERMITS
 - RELOCATION OF SERVICES
 - ENCROACHMENT AGREEMENTS (if required)
- ALL EXISTING UNUSED WATER SERVICES MUST BE REMOVED FROM THE ROAD ALLOWANCE WITH APPROPRIATE REPAIR TO THE AND MUNICIPAL WATERMAIN AS PER CITY OF HAMILTON STANDARD REQUIREMENTS.
- PVC WATER SERVICE/MAIN MATERIAL, CATHODIC PROTECTION, TRACER WIRE ETC. MUST BE AS PER FORM 400.

C.B. ORIFICE PLATE SIZING	
ORIFICE PLATE CONFIGURATION NUMBER	DIAMETER OF ORIFICE PLATE OPENING
1	200mm
2	200mm



WATERMAIN SUMMARY - JOINT RESTRAINTS	
LOCATION / DESCRIPTION	LENGTH TO BE RESTRAINED (L _r)
150mm DIA. PVC - DEAD END	13.2m
150mm DIA. PVC - 45° HORIZ. BEND	2.4m
150x150x150mm PVC - TEE	L _r = MAIN LINE - 3.0m L = BRANCH LINE - 3.0m
300x300x150mm PVC - TEE	L _r = MAIN LINE - 1.5m L = BRANCH LINE - 3.4m

JOINT PARAMETERS:
SOIL TYPE: MH, FACTOR OF SAFETY: 1.5:1, TRENCH TYPE: 5,
DEPTH OF BURY: 6 ft, TEST PRESSURE: 200 P.S.I.

FLOW CONTROL DEVICE ORIFICE PLATE

N.T.S.

LEGEND:

- EXISTING ELEVATIONS
- PROPOSED ELEVATIONS
- PROPOSED SWALE ELEVATIONS
- PROPOSED SWALE
- GENERAL DRAINAGE
- PROP. WATER METER
- PROP. BACKFLOW PREVENTOR

SANITARY SYSTEM

MH No.	DESCRIPTION	T/G	INVERTS
S1	1.2m P/C MH	224.55	W 220.99 E 220.66

STORM SYSTEM

MH No.	DESCRIPTION	T/G	INVERTS
ST1	EFB STORMCEPTOR/CB	224.80	W 222.83 E 222.78
ST2	1.2m P/C CB/MH	225.28	W 223.11 E 223.06
ST3	1.2m P/C CB/MH	226.00	W 223.39 E 223.34
ST4	1.2m P/C CB/MH	226.00	S 223.71 W 224.19 E 223.66
ST5	1.2m P/C CB/MH	226.39	S 224.44 E 224.39
ST6	0.6x0.6x1.52m P/C CB	226.00	N 223.92
ST7	0.6x0.6x1.52m P/C CB	226.11	N 224.61

- T.B.M. No. 1 ELEV. = 225.72m (GEO)
TOP NUT OF FIRE HYDRANT ON THE EAST SIDE OF BITTERN STREET AS SHOWN.
- T.B.M. No. 2 ELEV. = 225.27m (GEO)
TOP NUT OF FIRE HYDRANT ON THE EAST SIDE OF BITTERN STREET AS SHOWN.
- T.B.M. No. 3 ELEV. = 224.46m (GEO)
TOP S.W. CORNER OF CONC. BASE TO HYDRO VAULT IN FRONT OF SUBJECT PROPERTY AS SHOWN.
- T.B.M. No. 4 ELEV. = 224.44m (GEO)
TOP NUT OF FIRE HYDRANT ON THE EAST SIDE OF BITTERN STREET AS SHOWN.

J.H. COHOON ENGINEERING LIMITED
CONSULTING ENGINEERS

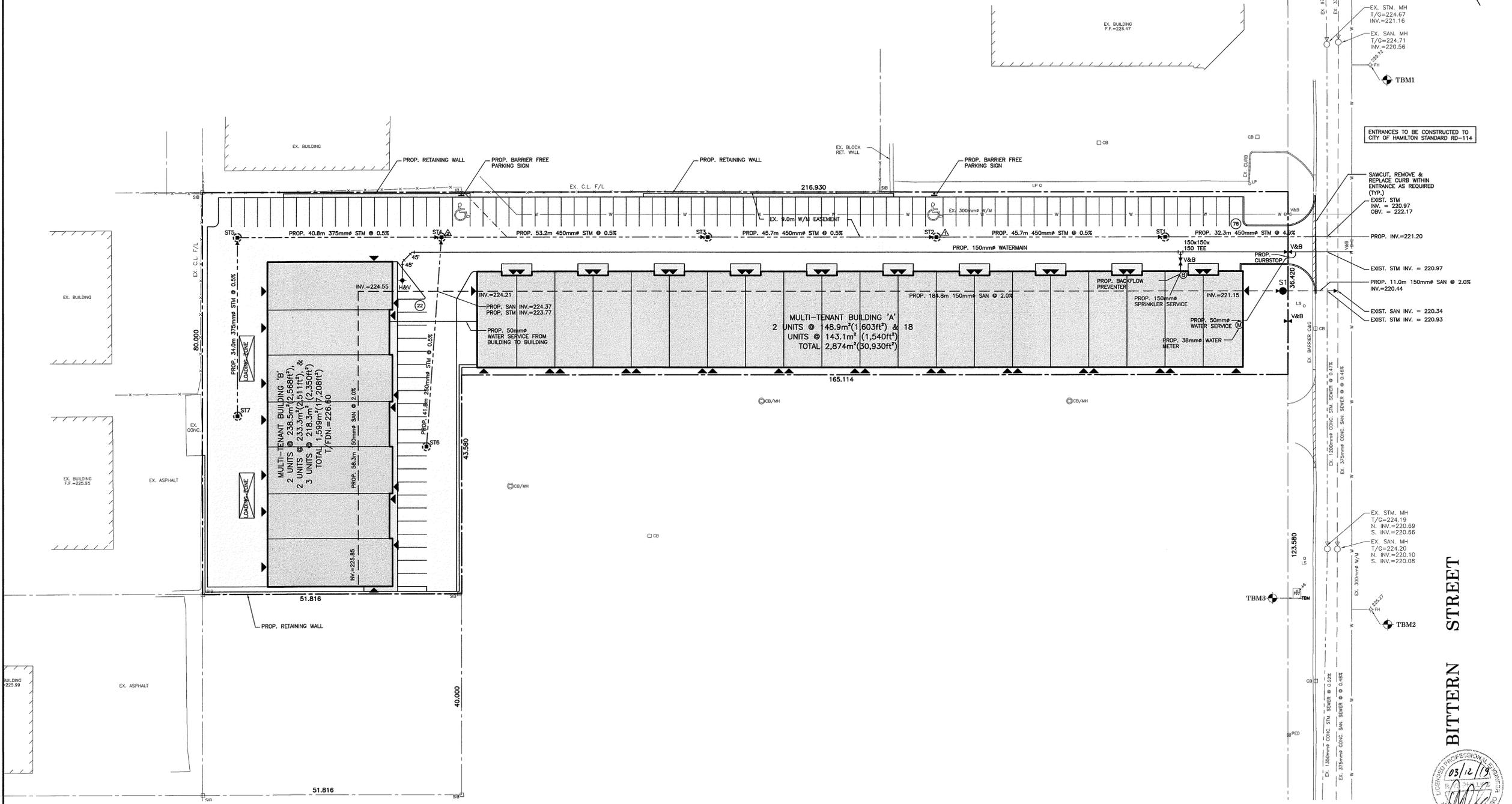
440 HARDY ROAD, UNIT #1, BRANTFORD - ONTARIO, N3T 5L8
TEL. (519) 753-2656 FAX. (519) 753-4263 www.cchooneng.com

PROJECT: **PROPOSED INDUSTRIAL BUILDING**
BITTERN STREET
CITY OF HAMILTON

CLIENT: **ABCOTT CONSTRUCTION**

SERVICING PLAN

DESIGN: R.W.P.	SCALE: 1:400
DRAWN: I.A.C./K.P.B.	JOB No: 12938
CHECKED: R.W.P.	DWG. No: 12938-2
SHEET: 2 of 2	DATE: DEC. 2/19



BITTERN STREET

