



City of Hamilton
COMMITTEE OF ADJUSTMENT
AGENDA

Meeting #: 21-6
Date: April 1, 2021
Time: 1:00 p.m.
Location: Due to the COVID-19 and the Closure of City Hall (RM)

All electronic meetings can be viewed at:

City of Hamilton's Website:
<https://www.hamilton.ca/council-committee/council-committee-meetings/meetings-and-agendas>

City's Youtube Channel:
<https://www.youtube.com/user/InsideCityofHamilton>

Jamila Sheffield, Secretary Treasurer (905) 546-2424 ext. 3935

	Pages
1. PREVIOUSLY TABLED	
2. RURAL	
2.1. 1:15 p.m.FL/A-21:7319 McDonald St. Flamborough(Ward 13) Agent Ian Jonkman Owners C. & K. Scharringa	5
2.2. 1:20 p.m.FL/A-21:824 Bogle Dr., Flamborough(Ward 15) Agent Viking Building System c/o Zig Zilinskas Owners P. & C. Heary	31
2.3. 1:25 p.m.GL/A-21:817322 Twenty Rd. E., Glanbrook(Ward 11) Agent Aiden Wotherspoon Owner Steve Goette	41

- 2.4. 1:30 p.m.FL/B-20:71905 Centre Rd., Flamborough(Ward 15) 49
Agent Gerald P. Murphy
Owner Marvin J. Creighton
- 2.5. 1:35 p.m.AN/A-21:831627 Jerseyville Rd., Ancaster(Ward 12) 57
Agent Cedar Springs Landscape Group c/o Justin Tenhage
Owner Adrian Bartels
- 2.6. 1:40 p.m.FL/A-21:15252 6th Conc. Rd. E., Flamborough(Ward 15) 73
Agent Kevin Webster
Owners E. Kovaltchouk & T. Courvoisier

3. URBAN

- 3.1. 1:45 p.m.HM/A-21:77101 Walnut St. S., Hamilton(Ward 2) 81
Agent Len Angelici
Owner Leanne Stephenson
- 3.2. 1:50 p.m.HM/A-21:801441 Main St. E., Hamilton(Ward 4) 91
Agent Sarah Kupferschmidt
Owners R. & G. Dutra
- 3.3. 1:55 p.m.HM/A-21:75 & HM/B-21:12 50 Picton St. W., Hamilton(Ward 2) 103
Owners R. Woolgar & M. Woolgar
- 3.4. 2:00 p.m.HM/A-21:7652 Chatham St., Hamilton(Ward 1) 143
Agent Urban Solutions c/o M. Johnston
Owner Brenda Swaffer
- 3.5. 2:05 p.m.HM/A-21:78222 Hughson St. N., Hamilton(Ward 1) 153
Owners S. & S. Ireland
- 3.6. 2:15 p.m.HM/A-21:79294 Bold St., Hamilton(Ward 1) 177
Owners R. Magapu & R. K. Mackenzie
- 3.7. 2:20 p.m.HM/A-20:268 684 Beach Blvd., Hamilton(Ward 5) 185
Agent A.J. Clarke & Associates
Owners A. G. Macdonald. & P. Leblanc c/o Kyle Camarro

- 3.8. 2:25 p.m.HM/A-20:252 202 Cannon St. E., Hamilton(Ward 2) 193
Agent GSP Group
Owner 2002002 Ontario Inc.
- 3.9. 2:30 p.m.HM/A-20:114 30 Poulette St., Hamilton(Ward 1) 197
Owner Chris Viegas
- 3.10. 2:40 p.m.HM/A-21:84348 Herkimer St., Hamilton(Ward 1) 207
Agent Julia Mancini
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- 3.11. 2:45 p.m.HM/B-21:1443-47 Emerald St. N., Hamilton (Ward 2) 223
Aagnet Tony Hozjan
Owners G. & M. Tutolo
- 3.12. 2:55 p.m.HM/A-21:3723 Cline Ave. S., Hamilton(Ward 1) 237
Owner Andrew T. Edward

4. SUBURBAN

- 4.1. 3:00 p.m.GL/A-21:7441 Kopperfield Ln., Glanbrook(Ward 11) 257
Owners K. Anderson & N. Campbell
- 4.2. 3:05 p.m.HM/A-21:861141 Mohawk Rd. E., Hamilton(Ward 6) 279
Agent Ken Bekendam
Owner Joshua Feener
- 4.3. 3:10 p.m.GL/B-21:153334 Homestead Dr., Glanbrook(Ward 11) 297
Owners J. & G. Tavormina
- 4.4. 3:15 p.m.HM/A-21:28293 Upper Wentworth St., Hamilton(Ward 7) 309
Agent A.J. Clarke & Associates
Owner Gardenview Properties c/o Rosemary Smith

5. CLOSED

6. ADJOURNMENT



Hamilton

COMMITTEE OF ADJUSTMENT

City Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5
 Telephone (905) 546-2424, ext. 4221, 3935 Fax (905) 546-4202
 E-mail: cofa@hamilton.ca

NOTICE OF PUBLIC HEARING Minor Variance

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
- Applicant/agent on file, or
- Person likely to be interested in this application

APPLICATION NO.: FL/A-21:73

APPLICANTS: Ian Jonkman on behalf of the owners C. & K. Scharringa

SUBJECT PROPERTY: Municipal address **19 MacDonald St., Flamborough**

ZONING BY-LAW: Zoning By-law 05-200, as Amended 15-173

ZONING: "P7; (S1 is outside of development area) (Conservation /Hazard Land-Rural) district

PROPOSAL: To permit the expansion of an existing single detached dwelling with a gross floor area of 241.92 square metres and the replacement and construction of a legally established non-conforming accessory building within the P7 Zone, notwithstanding that:

1. The maximum gross floor area for the expansion of a single detached dwelling shall be 23% consisting of a 55.6 square metre addition instead of the maximum requirement of 10% of the existing building to allow for a 24.19 square metre addition.
2. An accessory building to replace an existing legally established non-conforming accessory building shall be relocated and constructed having a setback of 1.0 metre from the westerly side lot line instead of the current setback of 12.19 metres; a setback of 64.16 metres from the southerly side lot line (also the boundary of the unopened road allowance of McDonald Street) instead of the current setback of 92.18 metres; and 52.12 metres from the rear lot line instead of the current setback of 30.56 metres.
3. An accessory building to replace an existing legally established non-conforming accessory building shall be permitted to have up to 195.1 square metres of gross floor area instead of the requirement to not exceed the existing gross floor area of 146.1 square metres for the accessory building.

NOTES:

1. The property is zoned P7 (Conservation/Hazard Land-Rural) Zone and S1 (Settlement Residential) Zone. All of the development is within the P7 Zone. The proposed changes are subject to Site Plan Approval.
2. The frontage of the property is along Old Highway No 8. There is no frontage along McDonald Street. The property however, is accessible from a driveway which extends from the open portion of McDonald Street over the unopened road allowance of McDonald Street.
3. The variances are written as requested by the applicant.

FL/A-21: 73
Page 2

4. The site plan that was submitted was not legible in terms of the setbacks for existing and proposed buildings. The information that was provided in the applicant's cover letter was used in the wording of Variance #2. Additional variances may be required if this information is incorrect.

5. The property contains a floodplain and is under conservation management. The property is subject to permits from the Grand River Conservation Authority.

This application will be heard by the Committee as shown below:

DATE: Thursday, April 1st, 2021
TIME: 1:15 p.m.
PLACE: Via video link or call in (see attached sheet for details)
 To be streamed at
www.hamilton.ca/committeeofadjustment
 for viewing purposes only

PUBLIC INPUT

Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

Orally: If you would like to speak to this item at the hearing you may do so via video link or by calling in. Please see attached page for complete instructions, including deadlines for registering to participate.

MORE INFORMATION

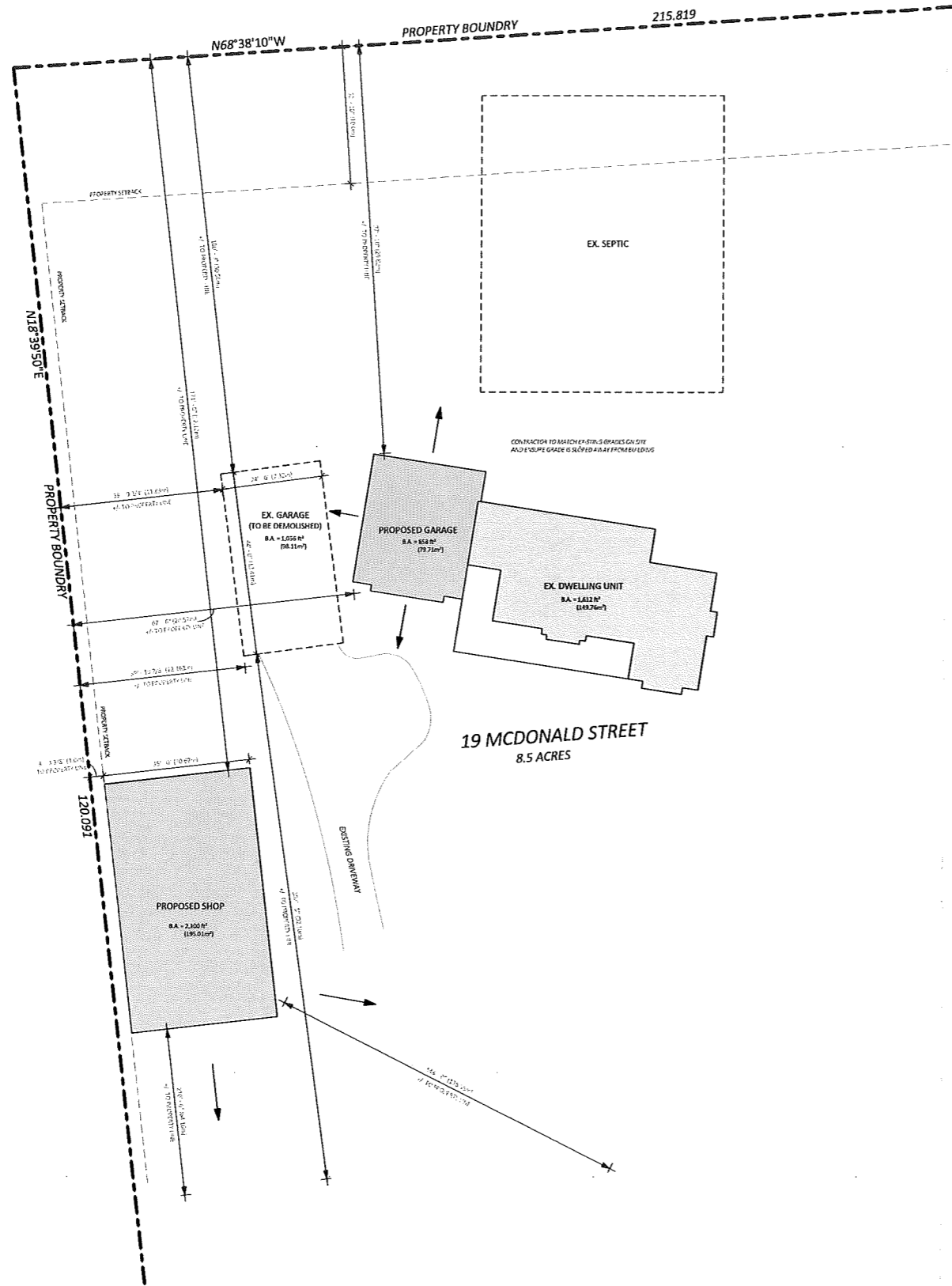
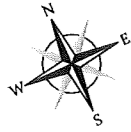
For more information on this matter, including access to drawings illustrating this request:

- Visit www.hamilton.ca/committeeofadjustment
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935
- Email Committee of Adjustment staff at cofa@hamilton.ca

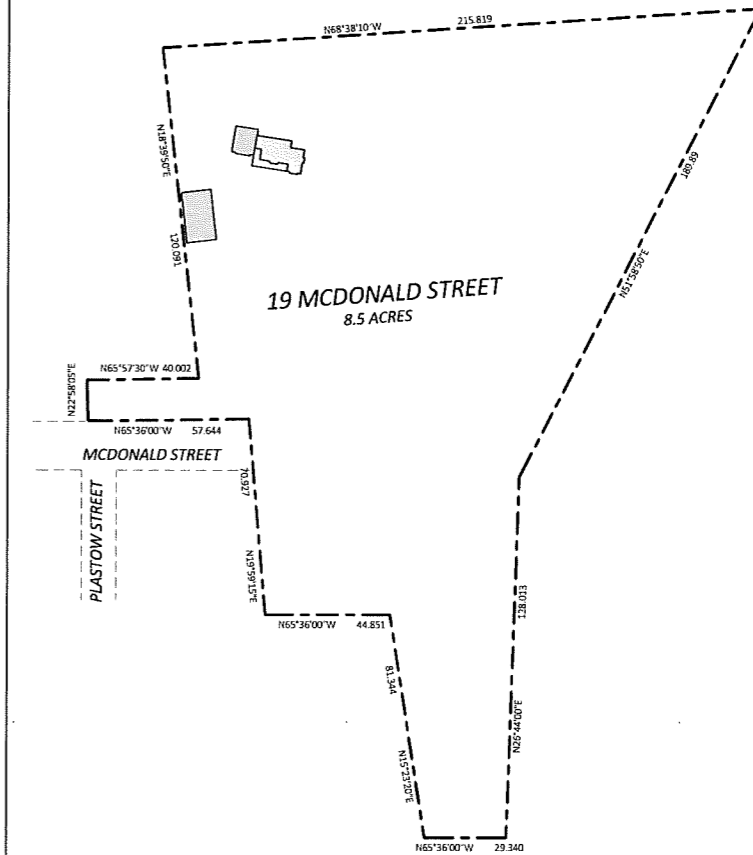
DATED: March 16th, 2021.

Jamila Sheffield,
Secretary-Treasurer
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public.



1 SITE PLAN
S.1
1/16" = 1'-0"



2 KEY PLAN
S.1
1" = 100'-0"

- GENERAL NOTES**
1. THE CONTRACTOR MUST CHECK AND VERIFY ALL DIMENSIONS ON THE JOB PRIOR TO CONSTRUCTION.
 2. BEFORE ORDERING ROOF TRUSSES, VERIFY ALL DIMENSIONS ON THE JOB.
 3. DRAWINGS ARE NOT TO BE SCALED.
 4. ALL CONSTRUCTION IS TO MEET THE CURRENT REQUIREMENTS OF THE ONTARIO BUILDING CODE (O.B.C.) AND MUNICIPAL BY-LAWS. THE REQUIRED PERMITS AND APPROVALS ARE TO BE OBTAINED BEFORE THE CONTRACTOR COMMENCES WITH THE WORK.
 5. IF THERE ARE ANY DESIRED CHANGES TO THE DESIGN OF THE BUILDING FOR WHICH THE BUILDING PERMIT WAS ISSUED FOR, THE DESIGNER MUST BE NOTIFIED OF SUCH DESIRED CHANGES AND GIVE APPROVAL BEFORE THE CHANGE COMMENCES.
 6. IF ANY ERRORS ARE DISCOVERED ON THE DRAWINGS, THE DESIGNER MUST BE NOTIFIED BEFORE CONSTRUCTION COMMENCES.

NO.	DATE	DESCRIPTION
001	2020.01.29	Preliminary Design
002	2020.11.13	Issued for Client Review
003	2020.02.27	Issued for Minor Variance Application

IDESIGN
580 Sheppard Rd., R.R. #1,
Troy, Ontario L0R 2B0
Office: 519-647-3223
Cell: 519-751-8412
idesign.ca

Ian Jonkman reviews and takes responsibility for the design work on behalf of a firm, Andy Jonkman Construction Ltd., registered under Sub-section 3.4. of Division C of the Building Code.

Individual BCIN: 45579
Firm BCIN: 108245

Ian Jonkman
NAME SIGNATURE

PROJECT INFORMATION

Scharringa Residence - Addition
19 McDonald Street
Rockton, ON
L0R 1X0

SHEET TITLE

Site Plan

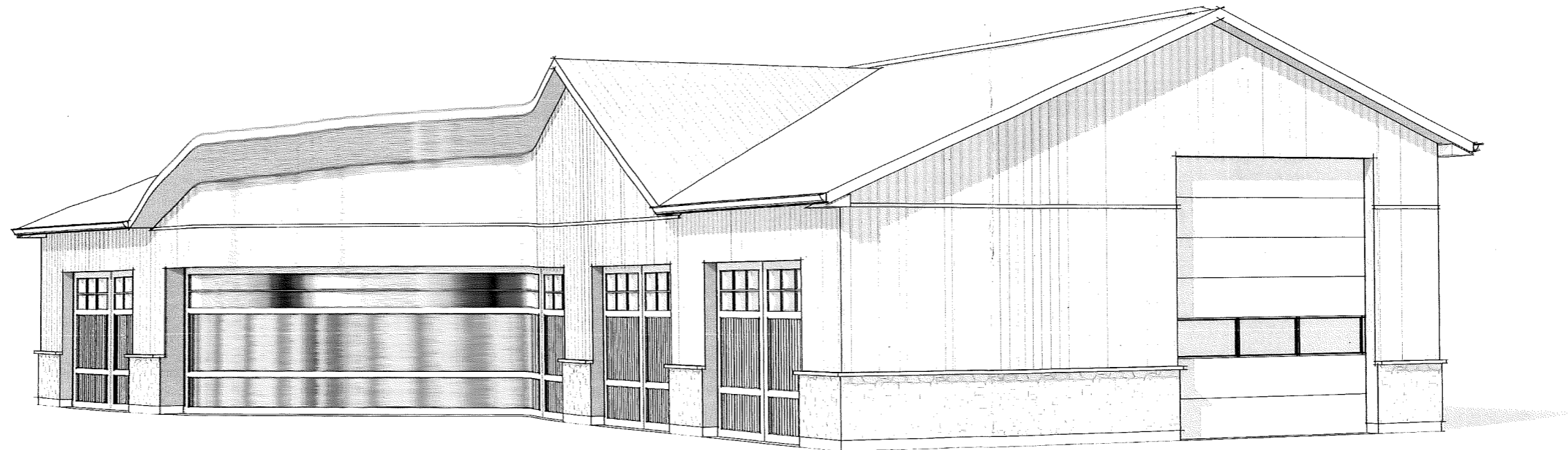
OWNER: C & K Scharringa
DRAWN BY: B. Powell
CHECKED BY: I. Jonkman

DATE: 2020.01.29
SCALE: As indicated
PROJECT No.: J20109

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Storage Shed



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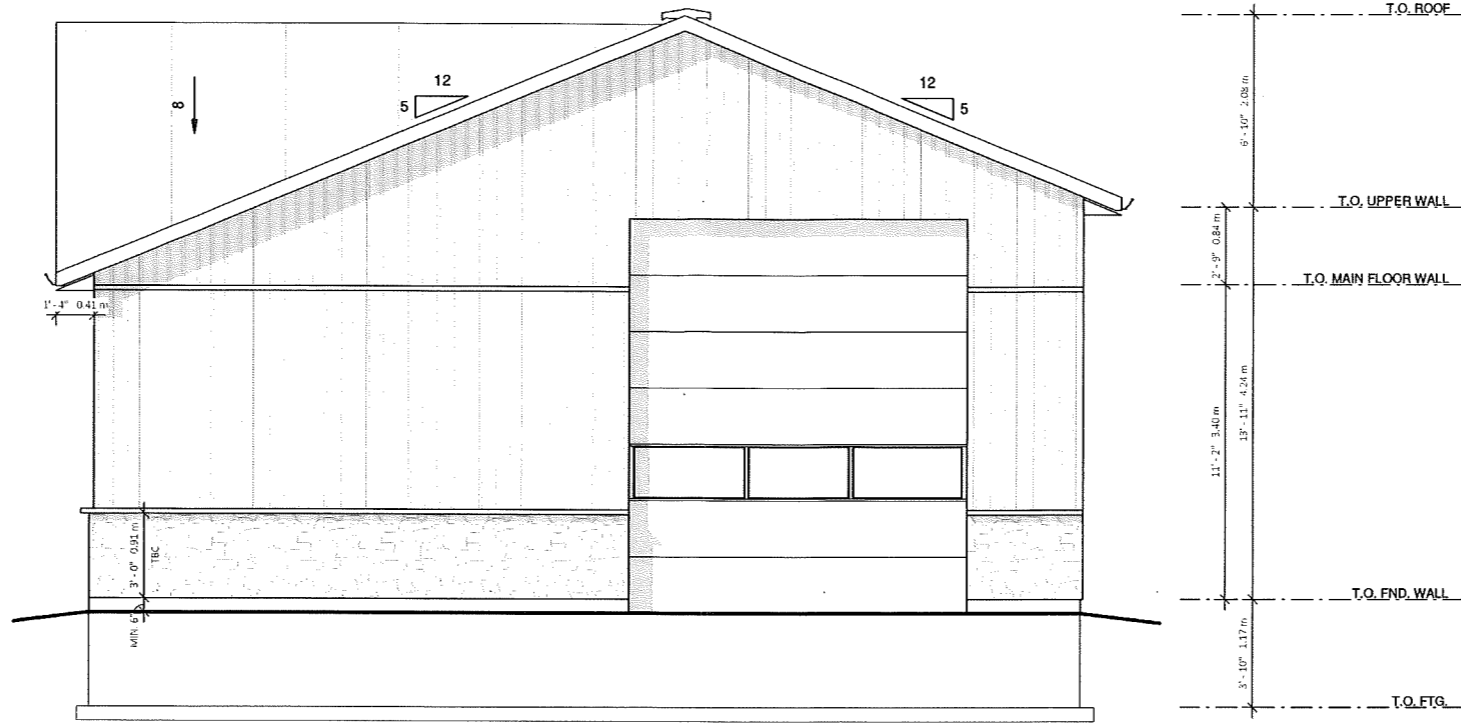
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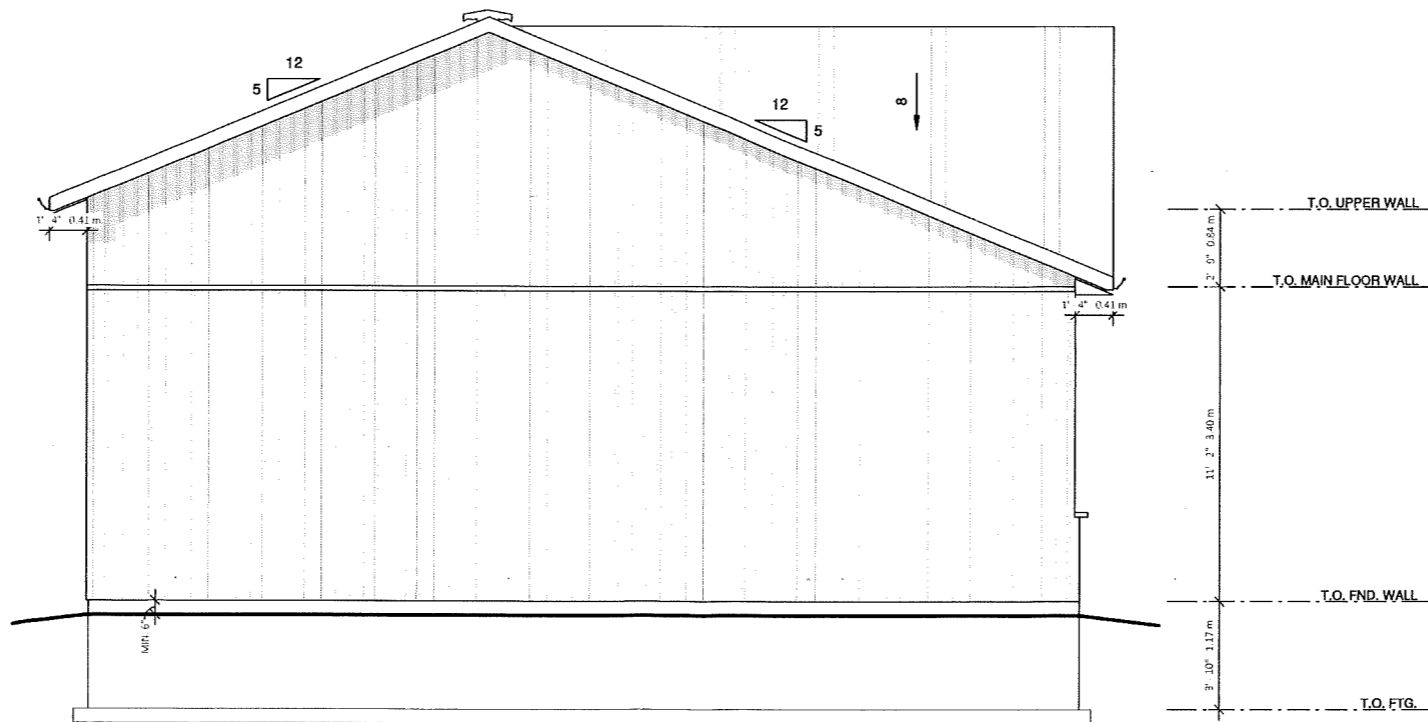
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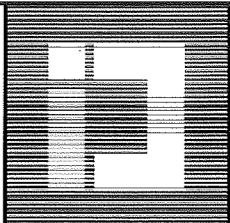
PRC



1 NORTH ELEVATION
A3 1/4" = 1'-0"



2 SOUTH ELEVATION
A3 1/4" = 1'-0"



GENERAL NOTES

1. The contractor must check and verify all dimensions on the job prior to construction.
2. Before ordering roof trusses, verify all dimensions on site.
3. Drawings are not to be scaled.
4. All construction is to meet the current requirements of the Ontario Building Code (O.B.C.) & municipal By-laws. The required permits & approvals are to be obtained before the contractor commences with the work.
5. If there are any desired changes to the design of the building in which the building permit was issued for, the designer must be notified of such 'desired changes' and give approval before the change commences.
6. If any errors are discovered on the drawings, the designer must be notified before construction commences.

No.	DATE	DESCRIPTION
D81	2020.09.30	Preliminary Design
D82	2020.11.09	Preliminary Design 2
D83	2020.01.29	Issued for Minor Variance Application

Ian Jonkman reviews and takes responsibility for the design work on behalf of a firm, Andy Jonkman Construction Ltd., registered under sub-section 3.2.4. of Division C of the Building Code.
Individual BCIN: **45579**
Firm BCIN: **103245**
Ian Jonkman

NAME SIGNATURE

I-DESIGN
ARCHITECTURE & DESIGN INC.

580 Sheffield Rd., R.R.#1,
Troy, Ontario L0R 2B0

Office: 519-647-3223
Cell: 519-751-8412 i-design.ca

PROJECT INFORMATION

Scharringa Storage Shed
19 McDonald Street
Rockton, ON
L0R 1X0

SHEET TITLE

North & South Elevations

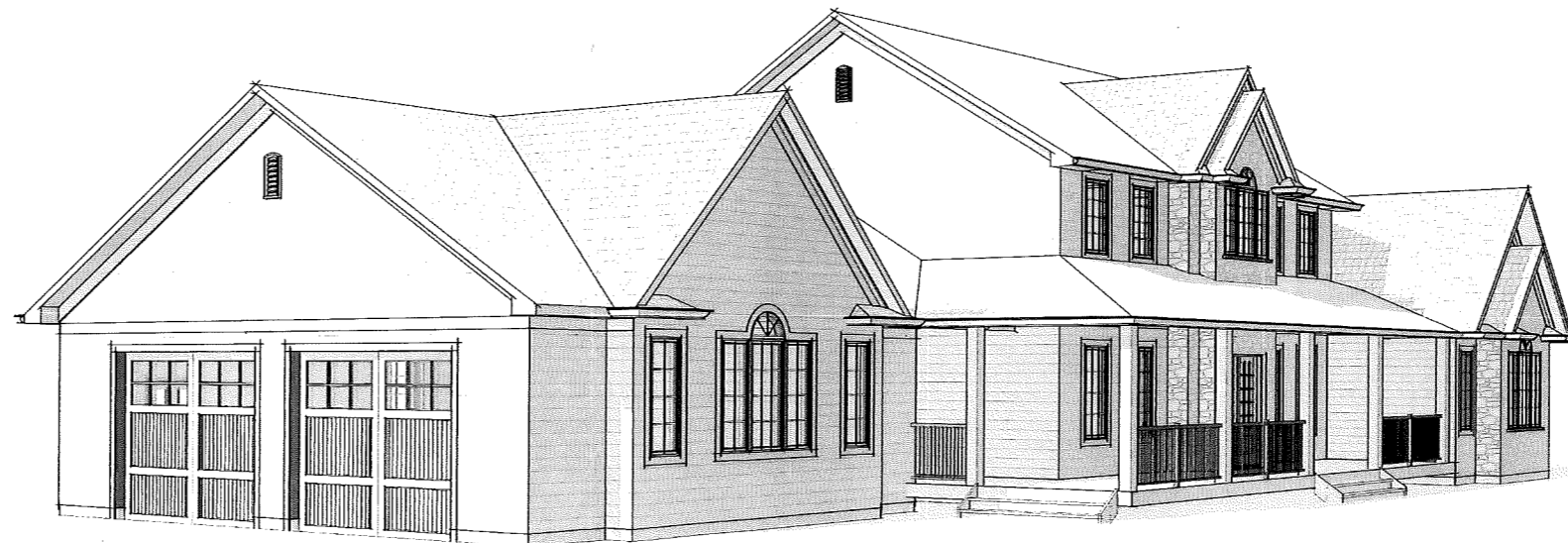
OWNER: C & K Scharringa
DRAWN BY: B.Powell
CHECKED BY: I. Jonkman

DATE 2021.01.29
SHEET **A.3**
SCALE 1/4" = 1'-0" OF

PROJECT No.: J20110



Scharringa Residence - Addition -



PROJECT INFORMATION

ITEM	DESCRIPTION			
1.	Building Area & Gross Area			
	Living Area	Existing	Proposed	Total
	Main Floor Living Area	= 1,612 sq. ft. (149.76 sq. m.)	= 0 sq. ft. (0 sq. m.)	= 1,612 sq. ft. (149.76 sq. m.)
	Second Floor Living Area	= 992 sq. ft. (92.16 sq. m.)	= 0 sq. ft. (0 sq. m.)	= 992 sq. ft. (92.16 sq. m.)
	Gross Living Area	= 2,604 sq. ft. (241.92 sq. m.)	= 0 sq. ft. (0 sq. m.)	= 2,604 sq. ft. (241.92 sq. m.)
	Attached Garage			
	Attached Garage Area	= 0 sq. ft. (0 sq. m.)	= 858 sq. ft. (79.71 sq. m.)	= 858 sq. ft. (79.71 sq. m.)
2.	Storeys	= 1 storey		
3.	Specified Snow Load	= 1.5kPa		
4.	Climatic Zone	= Zone 1 (<5000 Degree Days)		

GENERAL NOTES

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2. Before ordering roof trusses, verify all dimensions on site.
3. Drawings are not to be scaled.
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NO.	DATE	DESCRIPTION
DR1	2020.09.04	Preliminary Design
DR2	2020.11.13	Issued For Client Review
DR3	2020.01.29	Issued for Minor Variance Application

Ian Jonkman reviews and takes responsibility for the design work on behalf of a firm, Andy Jonkman Construction Ltd., registered under sub-section 3.2.4. of Division C of the Building Code.
 Individual BCIN: 45579
 Firm BCIN: 103245
Ian Jonkman

NAME SIGNATURE



580 Sheffield Rd., R.R.#1,
Troy, Ontario L0R 2B0

Office: 519-647-3223
 Cell: 519-751-8412 i-design.ca

PROJECT INFORMATION

**Scharringa Residence
- Addition -**
 19 McDonald Street
 Rockton, ON
 L0R 1X0

SHEET TITLE

Title Page

OWNER: C & K Scharringa

DRAWN BY: B.Powell

CHECKED BY: I. Jonkman

DATE: 2020.01.29

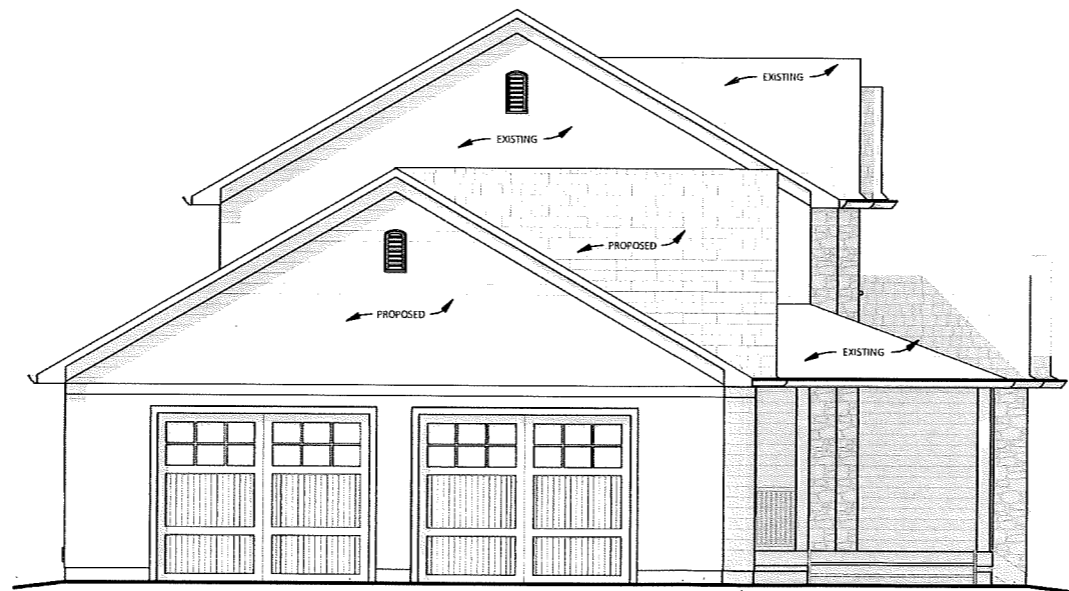
SCALE: 1/4" = 1'-0"

SHEET
A.1

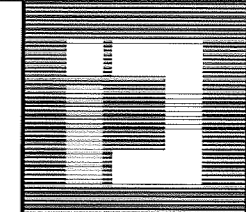
PROJECT No. : J20109



2 EAST ELEVATION
A.3 3/16" = 1'-0"



1 WEST ELEVATION
A.3 3/16" = 1'-0"



GENERAL NOTES
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DR2	2020.11.13	Issued For Client Review
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 Individual BCIN: 45579
 Firm BCIN: 103245
Ian Jonkman

NAME SIGNATURE



580 Sheffield Rd., R.R.#1,
 Troy, Ontario L0R 2B0
 Office: 519-647-3223
 Cell: 519-751-8412 i-design.ca

PROJECT INFORMATION
Scharringa Residence
 - Addition -
 19 McDonald Street
 Rockton, ON
 L0R 1X0

SHEET TITLE
 East & West Elevations

OWNER: C & K Scharringa

DRAWN BY: B.Powell

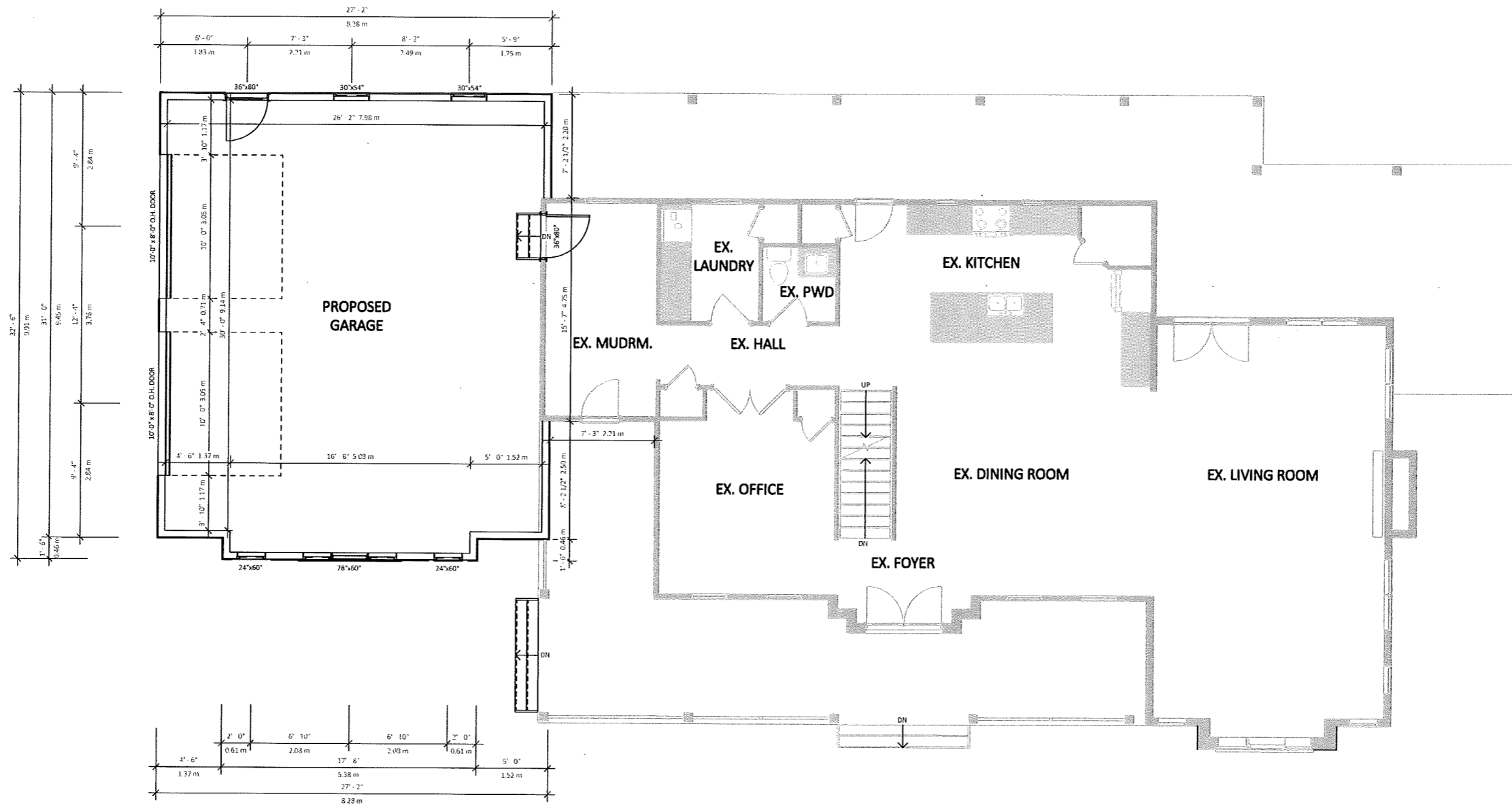
CHECKED BY: I. Jonkman

DATE 2020.01.29

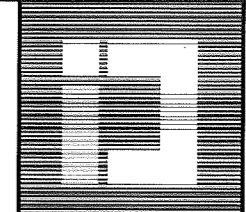
SCALE 3/16" = 1'-0" OF

PROJECT No. : J20109

SHEET
A.3



1 MAIN FLOOR PLAN
A.5 3/16" = 1'-0"



GENERAL NOTES

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No.	DATE	DESCRIPTION
D01	2020.09.04	Preliminary Design
D02	2020.11.13	Issued For Client Review
D03	2020.01.29	Issued for Minor Variance Application

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 Firm BCIN: **103245**
Ian Jonkman

NAME SIGNATURE

i-DESIGN
ARCHITECTURE

580 Sheffield Rd., R.R.#1,
Troy, Ontario L0R 2B0

Office: 519-647-3223
 Cell: 519-751-8412 i-design.ca

PROJECT INFORMATION

Scharringa Residence - Addition -
 19 McDonald Street
 Rockton, ON
 L0R 1X0

SHEET TITLE
 Main Floor Plan

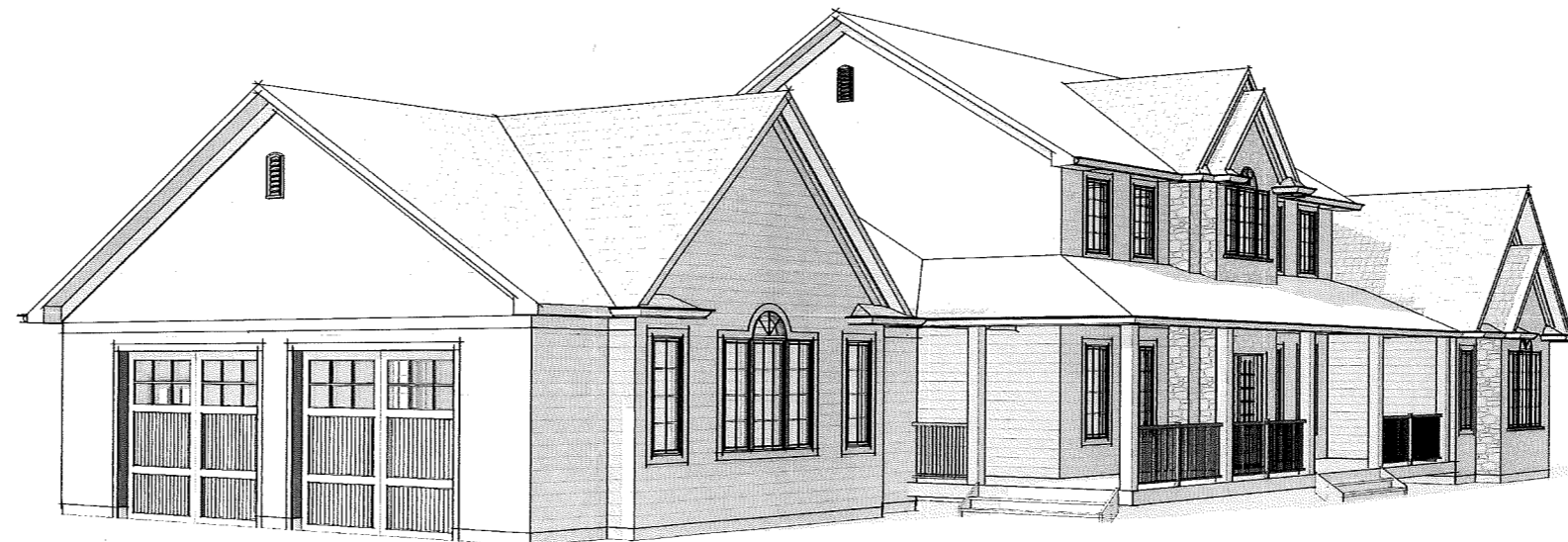
OWNER: C & K Scharringa
DRAWN BY: B. Powell
CHECKED BY: I. Jonkman

DATE	2020.01.29	SHEET A.5
SCALE	3/16" = 1'-0"	

PROJECT No.: J20109



Scharringa Residence - Addition -



PROJECT INFORMATION

ITEM	DESCRIPTION	Existing	Proposed	Total
1.	Building Area & Gross Area			
	Living Area			
	Main Floor Living Area	= 1,612 sq. ft. (149.76 sq. m.)	= 0 sq. ft. (0 sq. m.)	= 1,612 sq. ft. (149.76 sq. m.)
	Second Floor Living Area	= 992 sq. ft. (92.16 sq. m.)	= 0 sq. ft. (0 sq. m.)	= 992 sq. ft. (92.16 sq. m.)
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3.	Specified Snow Load	= 1.5kPa		
4.	Climatic Zone	= Zone 1 (<5000 Degree Days)		

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D02	2020.11.13	Issued For Client Review
D03	2020.01.29	Issued For Minor Variance Application

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 Individual BCIN: **45579**
 Firm BCIN: **103245**

Ian Jonkman
 NAME SIGNATURE

i-DESIGN
 CONSULTANTS
 580 Sheffield Rd., R.R.#1,
 Troy, Ontario L0R 2B0
 Office: 519-647-3223
 Cell: 519-751-8412 i-design.ca

PROJECT INFORMATION

**Scharringa Residence
 - Addition -**
 19 McDonald Street
 Rockton, ON
 L0R 1X0

SHEET TITLE

Title Page

OWNER: C & K Scharringa

DRAWN BY: B.Powell

CHECKED BY: I. Jonkman

DATE: 2020.01.29

SCALE: 1/4" = 1'-0"

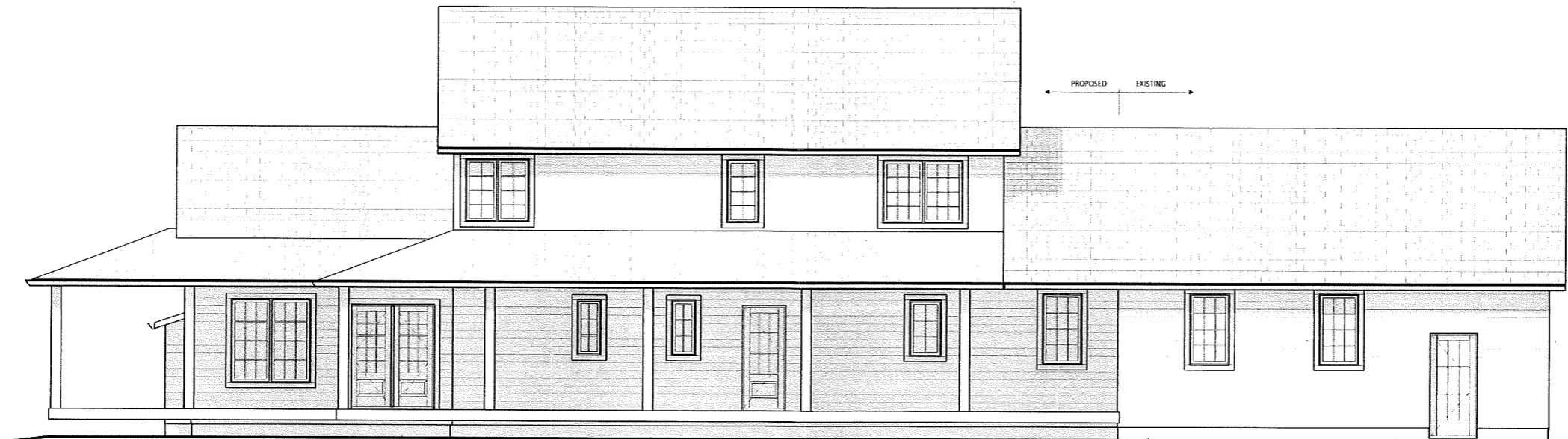
SHEET: A.1

OF

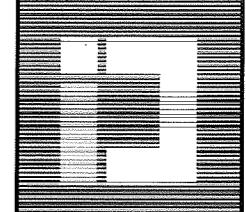
PROJECT No. : J20109



1 SOUTH ELEVATION
A.2 3/16" = 1'-0"



2 NORTH ELEVATION
A.2 3/16" = 1'-0"



GENERAL NOTES
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 Individual BCIN: 45579
 Firm BCIN: 103245
Ian Jonkman

NAME SIGNATURE

i-DESIGN
 580 Sheffield Rd., R.R.#1,
 Troy, Ontario L0R 2B0
 Office: 519-647-3223
 Cell: 519-751-8412 i-design.ca

PROJECT INFORMATION
 Scharringa Residence
 - Addition -
 19 McDonald Street
 Rockton, ON
 L0R 1X0

SHEET TITLE
 North & South
 Elevations

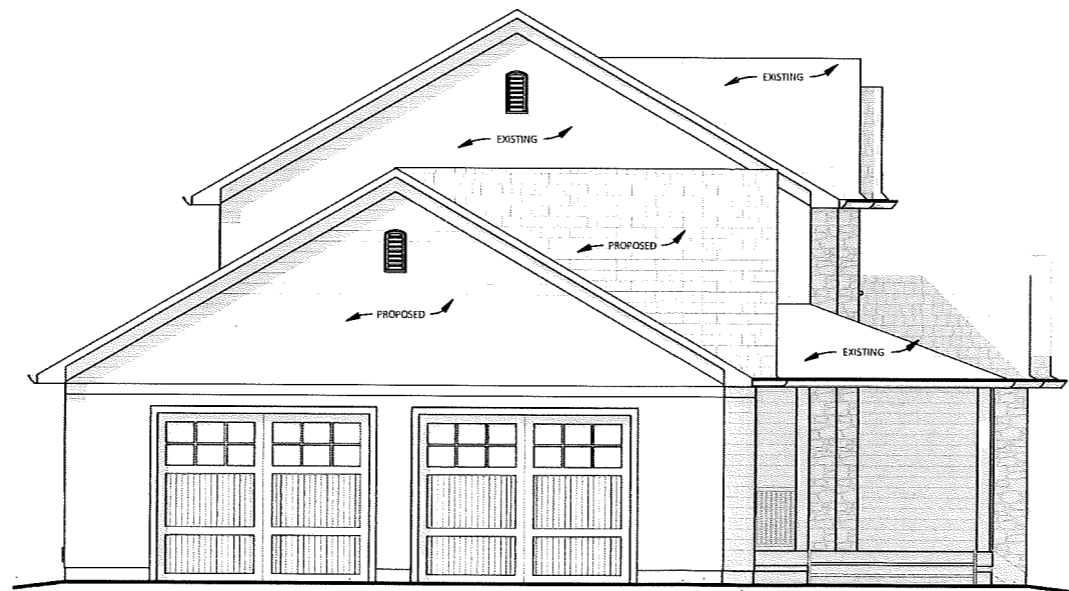
OWNER: C & K Scharringa
DRAWN BY: B.Powell
CHECKED BY: I. Jonkman

DATE 2020.01.29
SCALE 3/16" = 1'-0"
SHEET A.2
 OF

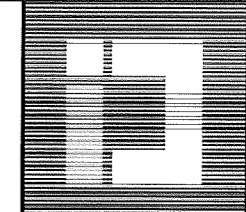
PROJECT No.: J20109



2 EAST ELEVATION
A.3 3/16" = 1'-0"



1 WEST ELEVATION
A.3 3/16" = 1'-0"



GENERAL NOTES
 1. The contractor must check and verify all dimensions on the job prior to construction.
 2. Before ordering roof trusses, verify all dimensions on site.
 3. Drawings are not to be scaled.
 4. All construction is to meet the current requirements of the Ontario Building Code (O.B.C.) & municipal By-laws. The required permits & approvals are to be obtained before the contractor commences with the work.
 5. If there are any desired changes to the design of the building in which the building permit was issued for, the designer must be notified of such 'desired changes' and give approval before the change commences.
 6. If any errors are discovered on the drawings, the designer must be notified before construction commences.

No.	DATE	DESCRIPTION
DR1	2020.09.04	Preliminary Design
DR2	2020.11.13	Issued For Client Review
DR3	2020.01.29	Issued for Minor Variance Application

Ian Jonkman reviews and takes responsibility for the design work on behalf of a firm, Andy Jonkman Construction Ltd., registered under sub-section 3.2.4. of Division C of the Building Code.
 Individual BCIN: 45579
 Firm BCIN: 103245
Ian Jonkman

NAME SIGNATURE

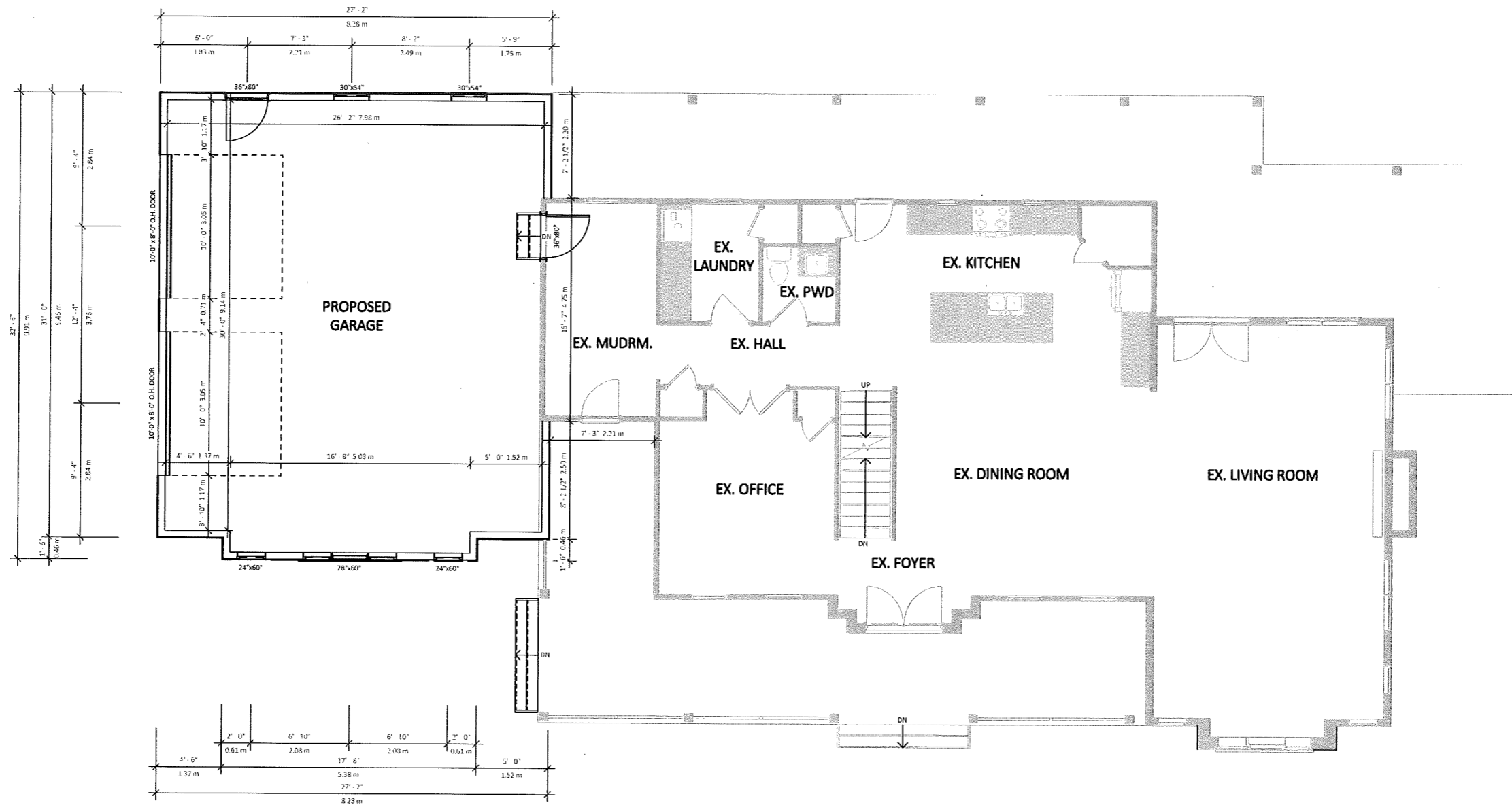
iDESIGN
 GROUP OF ARCHITECTS
 580 Sheffield Rd., R.R.#1,
 Troy, Ontario L0R 2B0
 Office: 519-647-3223
 Cell: 519-751-8412 i-design.ca

PROJECT INFORMATION
Scharringa Residence
 - Addition -
 19 McDonald Street
 Rockton, ON
 L0R 1X0

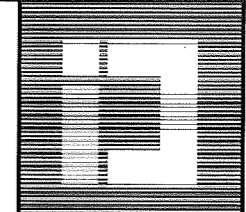
SHEET TITLE
 East & West Elevations

OWNER: C & K Scharringa
DRAWN BY: B.Powell
CHECKED BY: I. Jonkman

DATE 2020.01.29	SHEET A.3
SCALE 3/16" = 1'-0"	OF
PROJECT No. : J20109	



1 MAIN FLOOR PLAN
A.5 3/16" = 1'-0"



GENERAL NOTES

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 Individual BCIN: 45579
 Firm BCIN: 103245
Ian Jonkman

NAME SIGNATURE

i-DESIGN
 architectural inc.
 580 Sheffield Rd., R.R.#1,
 Troy, Ontario L0R 2B0
 Office: 519-647-3223
 Cell: 519-751-8412 i-design.ca

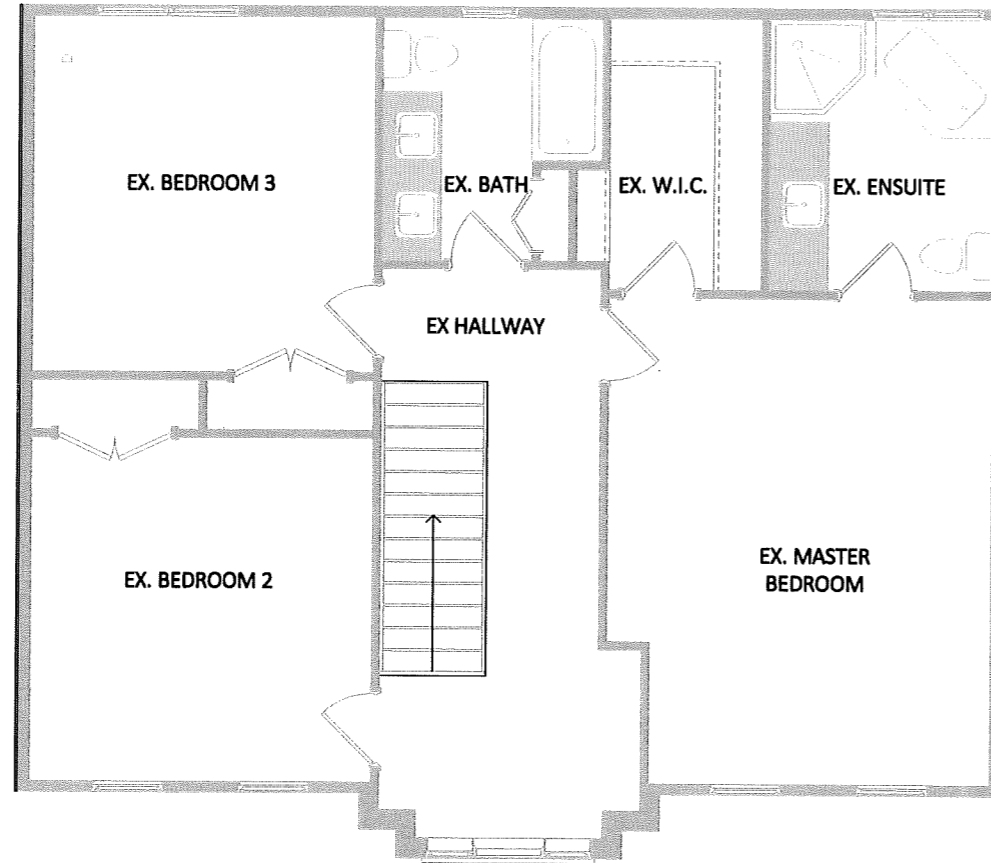
PROJECT INFORMATION
Scharringa Residence - Addition -
 19 McDonald Street
 Rockton, ON
 L0R 1X0

SHEET TITLE
 Main Floor Plan

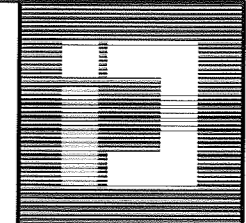
OWNER: C & K Scharringa
DRAWN BY: B. Powell
CHECKED BY: I. Jonkman

DATE 2020.01.29
SCALE 3/16" = 1'-0" OF
SHEET A.5

PROJECT No.: J20109



1 SECOND FLOOR PLAN
A.6 1/4" = 1'-0"



GENERAL NOTES

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No.	DATE	DESCRIPTION
DR1	2020.09.04	Preliminary Design
DR2	2020.11.13	Issued For Client Review
DR3	2020.01.29	Issued for Minor Variance Application

Ian Jonkman reviews and takes responsibility for the design work on behalf of a firm, Andy Jonkman Construction Ltd., registered under sub-section 3.2.4. of Division C of the Building Code.
Individual BCIN: 45579
Firm BCIN: 103245
Ian Jonkman

NAME SIGNATURE

i-DESIGN
GROUP OF COMPANIES

580 Sheffield Rd., R.R.#1,
Troy, Ontario L0R 2B0

Office: 519-647-3223
Cell: 519-751-8412 i-design.ca

PROJECT INFORMATION

Scharringa Residence
- Addition -
19 McDonald Street
Rockton, ON
L0R 1X0

SHEET TITLE

Second Floor Plan

OWNER: C & K Scharringa

DRAWN BY: B.Powell

CHECKED BY: I. Jonkman

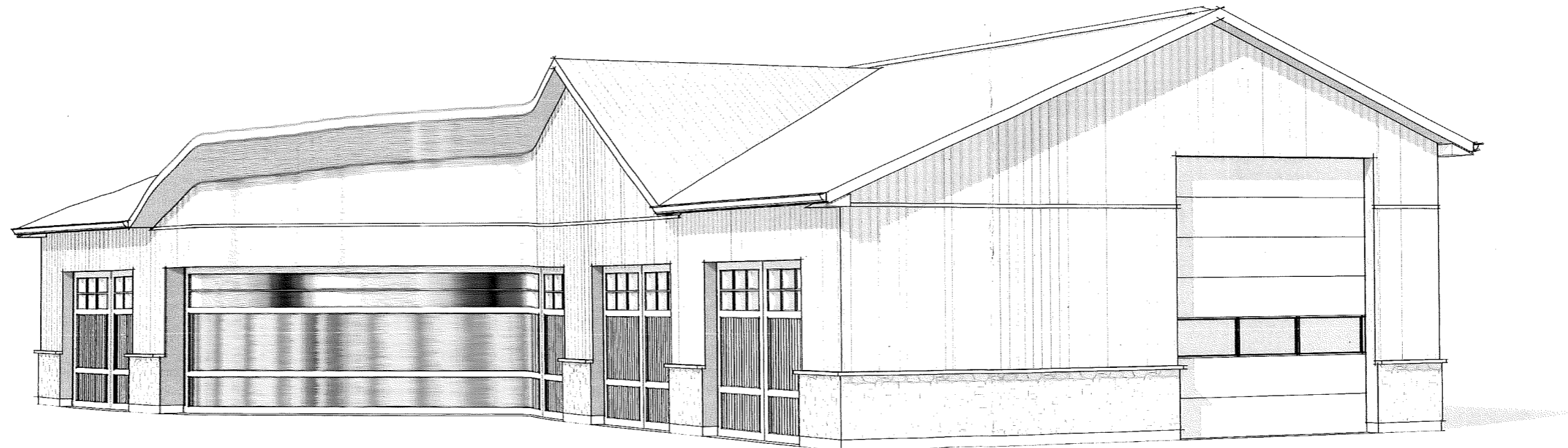
DATE 2020.01.29 **SHEET** A.6

SCALE 1/4" = 1'-0" **OF**

PROJECT No. : J20109



Storage Shed



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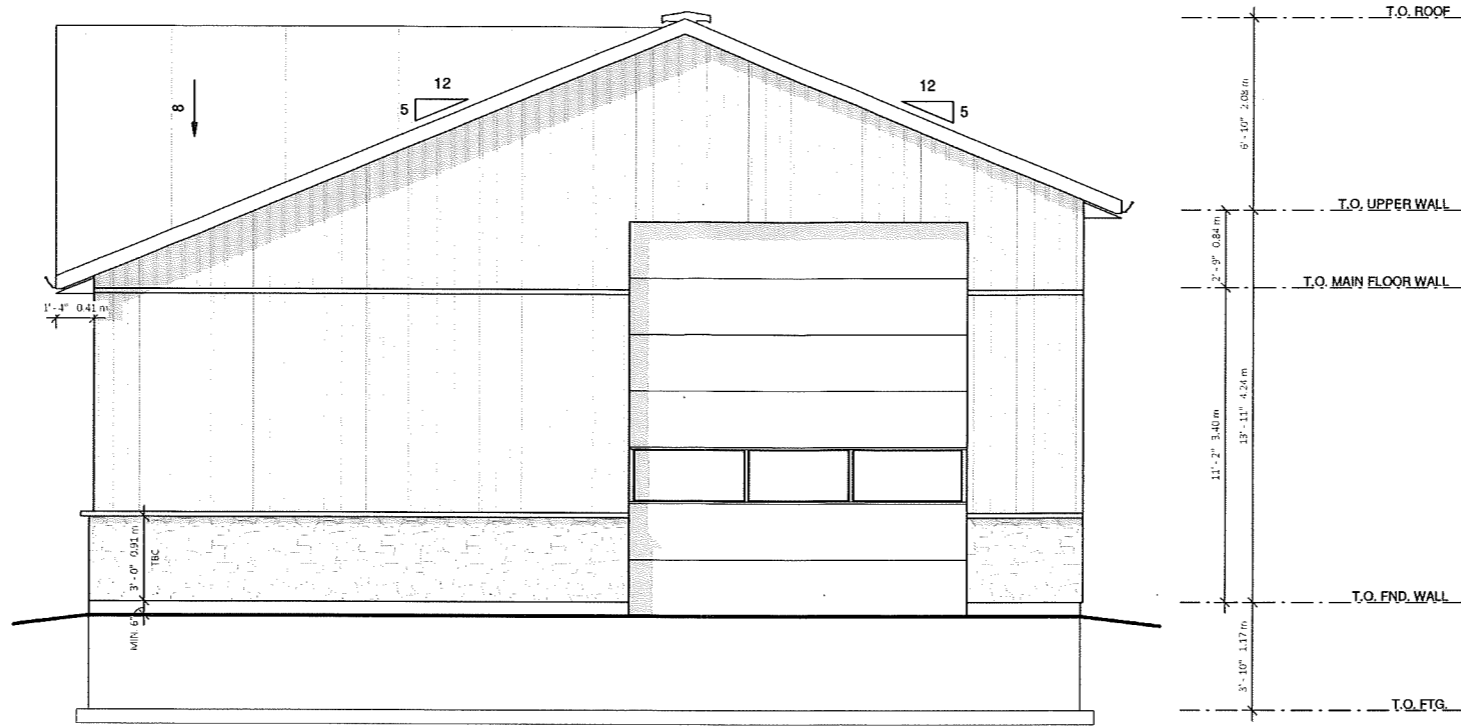
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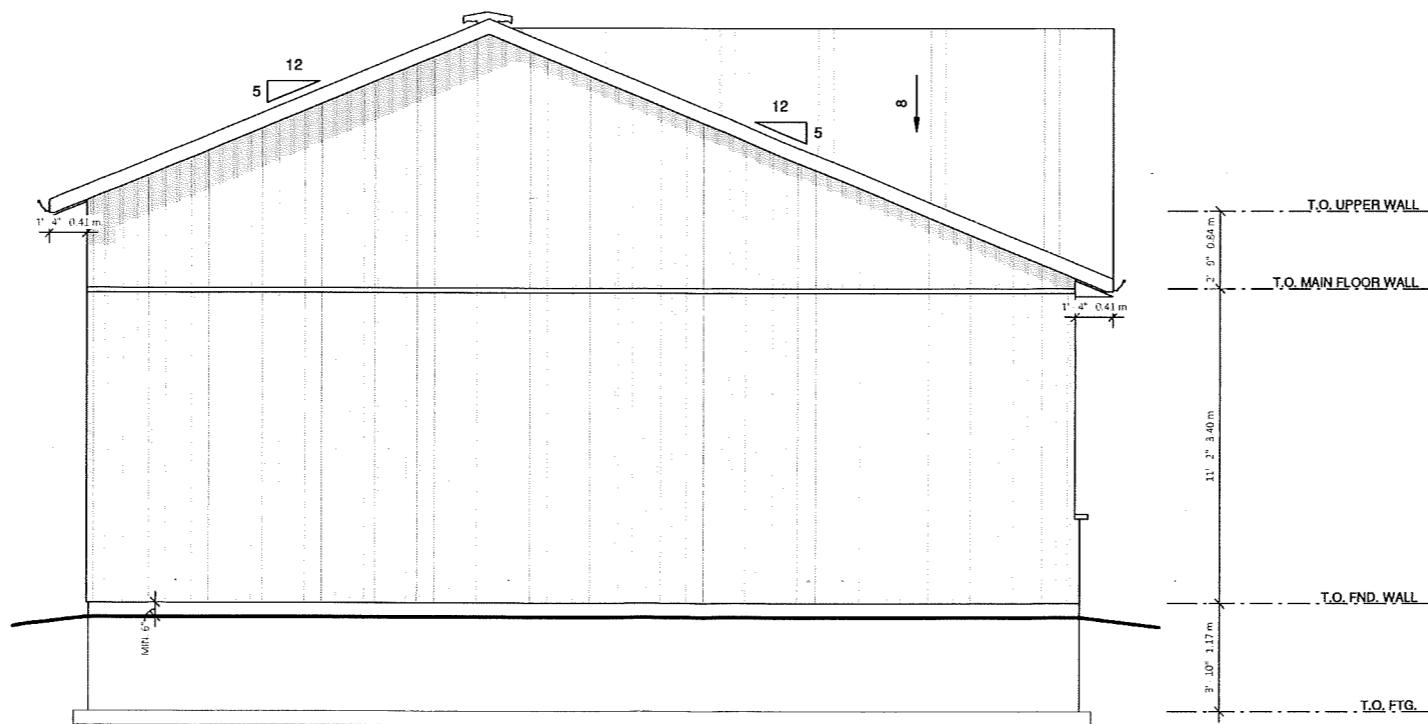
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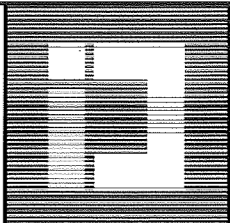
PRC



1 NORTH ELEVATION
A3 1/4" = 1'-0"



2 SOUTH ELEVATION
A3 1/4" = 1'-0"



GENERAL NOTES

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6. If any errors are discovered on the drawings, the designer must be notified before construction commences.

No.	DATE	DESCRIPTION
D81	2020.09.30	Preliminary Design
D82	2020.11.09	Preliminary Design 2
D83	2020.01.29	Issued for Minor Variance Application

Ian Jonkman reviews and takes responsibility for the design work on behalf of a firm, Andy Jonkman Construction Ltd., registered under sub-section 3.2.4. of Division C of the Building Code.
Individual BCIN: **45579**
Firm BCIN: **103245**
Ian Jonkman

NAME SIGNATURE

I-DESIGN
ARCHITECTS & ENGINEERS

580 Sheffield Rd., R.R.#1,
Troy, Ontario L0R 2B0

Office: 519-647-3223
Cell: 519-751-8412 i-design.ca

PROJECT INFORMATION

Scharringa Storage Shed
19 McDonald Street
Rockton, ON
L0R 1X0

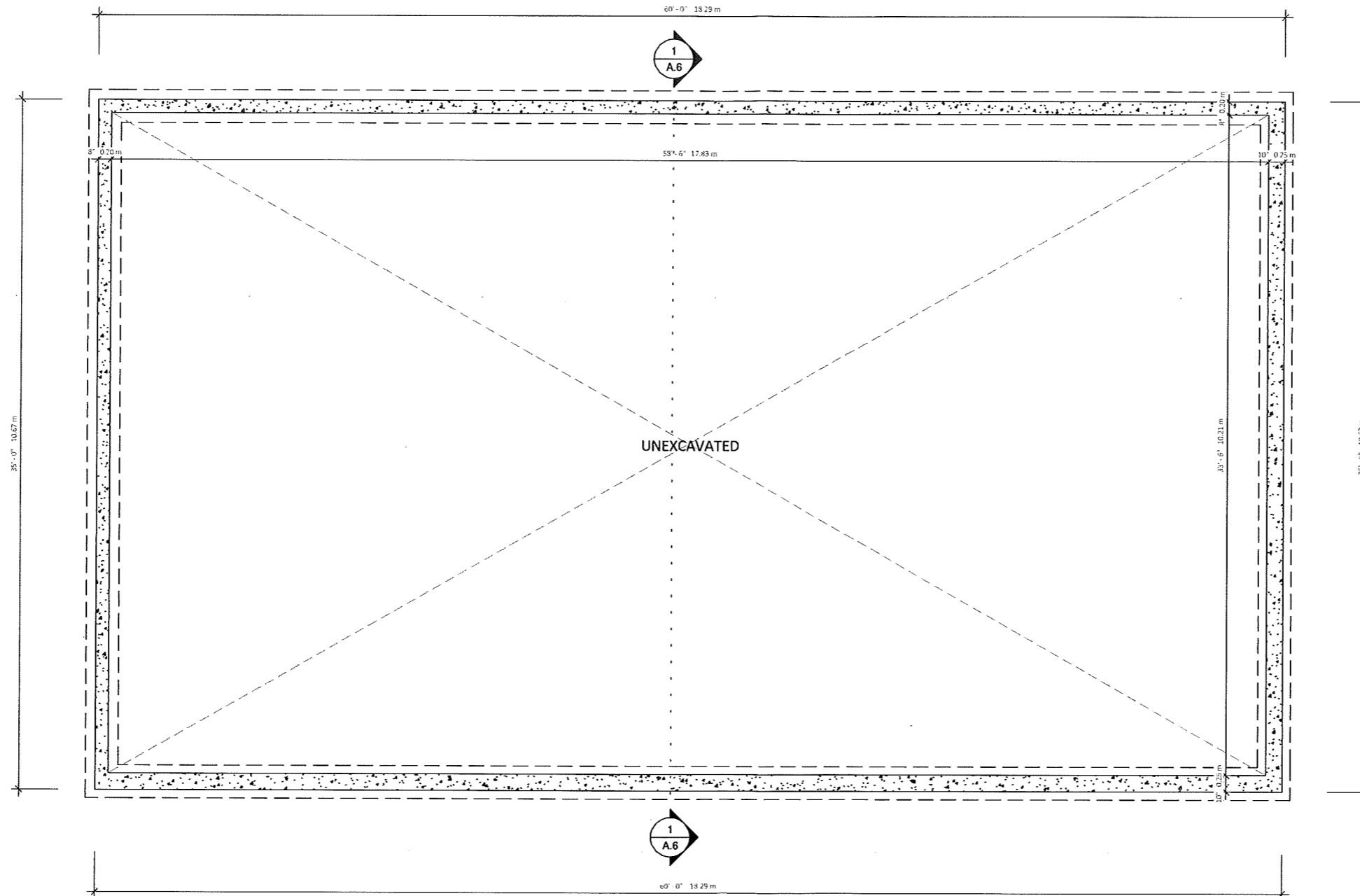
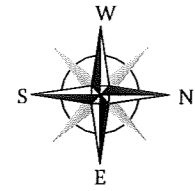
SHEET TITLE

North & South Elevations

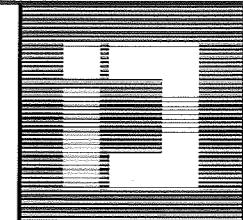
OWNER: C & K Scharringa
DRAWN BY: B.Powell
CHECKED BY: I. Jonkman

DATE 2021.01.29	SHEET A.3
SCALE 1/4" = 1'-0"	OF

PROJECT No.: J20110



1
A.4 FOUNDATION PLAN
1/4" = 1'-0"



GENERAL NOTES

1. The contractor must check and verify all dimensions on the job prior to construction.
2. Before ordering roof trusses, verify all dimensions on site.
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4. All construction is to meet the current requirements of the Ontario Building Code (O.B.C.) & Municipal By-laws. The required permits & approvals are to be obtained before the contractor commences with the work.
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No.	DATE	DESCRIPTION
DR1	2020.09.30	Preliminary Design
DR2	2020.11.09	Preliminary Design 2
DR3	2020.01.29	Issued for Minor Variance Application

Ian Jonkman reviews and takes responsibility for the design work on behalf of a firm, Andy Jonkman Construction Ltd., registered under sub-section 3.2.4. of Division C of the Building Code.
 Individual BCIN: **45579**
 Firm BCIN: **103245**
Ian Jonkman

NAME SIGNATURE

I-DESIGN CONSULTANTS
 580 Sheffield Rd., R.R.#1,
 Troy, Ontario L0R 2B0
 Office: 519-647-3223
 Cell: 519-751-8412 i-design.ca

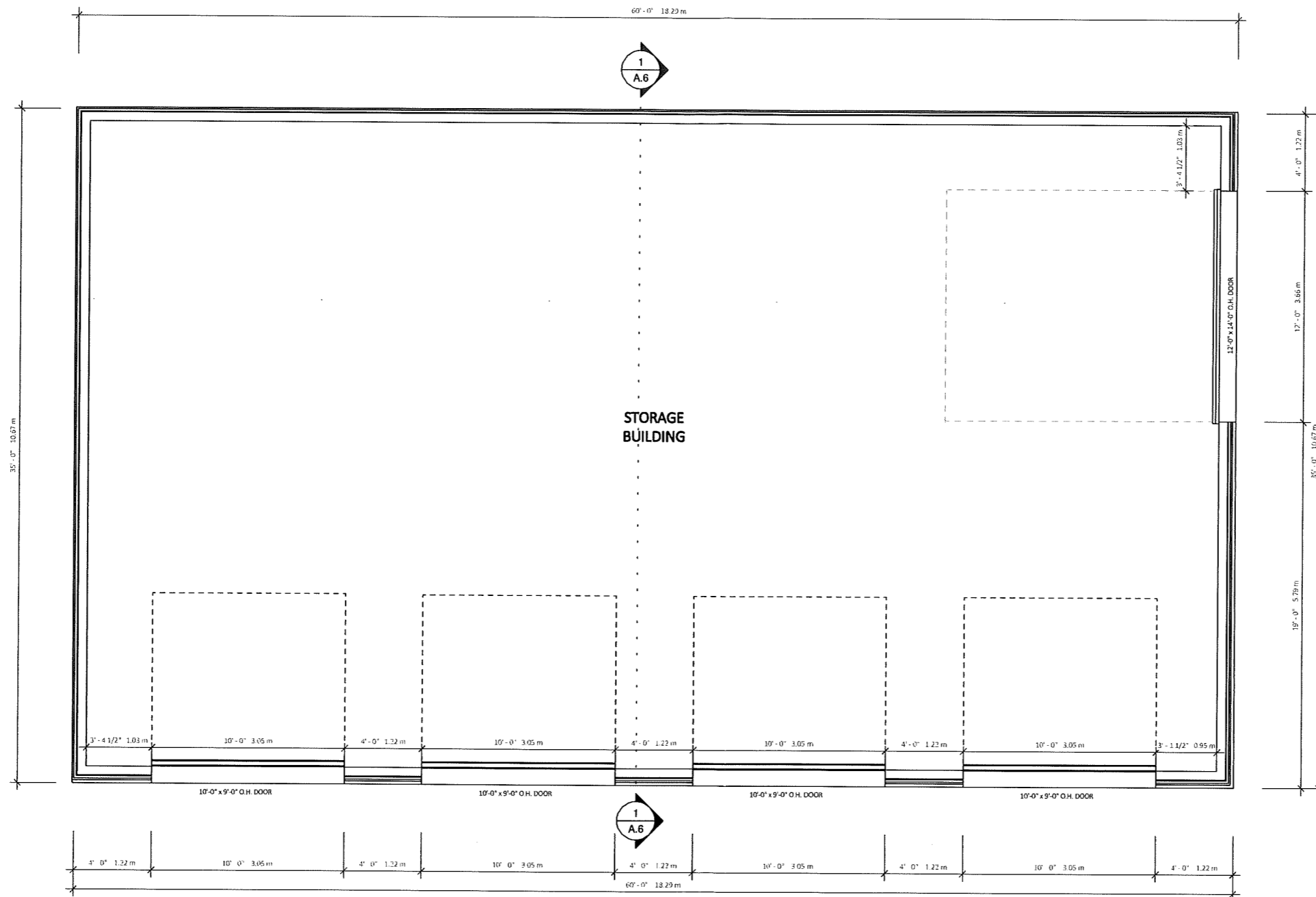
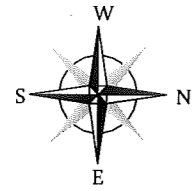
PROJECT INFORMATION
Scharringa Storage Shed
 19 McDonald Street
 Rockton, ON
 L0R 1X0

SHEET TITLE
 Foundation Plan

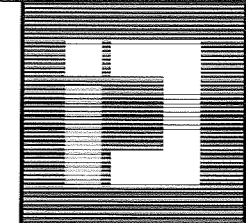
OWNER: C & K Scharringa
DRAWN BY: B.Powell
CHECKED BY: I. Jonkman

DATE	SHEET
2021.01.29	A.4
SCALE	OF
1/4" = 1'-0"	

PROJECT No.: J20110



1 MAIN FLOOR PLAN
A.5 1/4" = 1'-0"



GENERAL NOTES

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No.	DATE	DESCRIPTION
DR1	2020.09.30	Preliminary Design
DR2	2020.11.09	Preliminary Design 2
DR3	2020.01.29	Issue for Minor Variance Application

Ian Jonkman reviews and takes responsibility for the design work on behalf of a firm, Andy Jonkman Construction Ltd., registered under sub-section 3.2.4. of Division C of the Building Code.
 Individual BCIN: 45579
 Firm BCIN: 103245
Ian Jonkman

NAME SIGNATURE



580 Sheffield Rd., R.R.#1,
 Troy, Ontario L0R 2B0
 Office: 519-647-3223
 Cell: 519-751-8412 i-design.ca

PROJECT INFORMATION
Scharringa Storage Shed
 19 McDonald Street
 Rockton, ON
 L0R 1X0

SHEET TITLE
 Ground Floor Plan

OWNER: C & K Scharringa
DRAWN BY: B.Powell
CHECKED BY: I. Jonkman

DATE	SHEET
2021.01.29	A.5
SCALE	OF
1/4" = 1'-0"	

PROJECT No.: J20110



Hamilton

Committee of Adjustment
 City Hall, 5th Floor,
 71 Main St. W.,
 Hamilton, ON L8P4Y5

Phone: (905) 546-2424 ext. 4221
 Email: cofa@hamilton.ca

APPLICATION FOR A MINOR VARIANCE

FOR OFFICE USE ONLY.	
APPLICATION NO. _____	DATE APPLICATION RECEIVED _____
PAID _____	DATE APPLICATION DEEMED COMPLETE _____
SECRETARY'S SIGNATURE _____	

The Planning Act

Application for Minor Variance or for Permission

The undersigned hereby applies to the Committee of Adjustment for the City of Hamilton under Section 45 of the *Planning Act*, R.S.O. 1990, Chapter P.13 for relief, as described in this application, from the Zoning By-law.

1, 2	NAME	ADDRESS
Registered Owners(s)	Calvin & Karen Scharringa	
Applicant(s)*		
Agent or Solicitor	Ian Jonkman	

Note: Unless otherwise requested all communications will be sent to the agent, if any.

3. Names and addresses of any mortgagees, holders of charges or other encumbrances:
 N/A on the property

8.10 Is there any reason to believe the subject land may have been contaminated by former uses on the site or adjacent sites?
 Yes No Unknown

8.11 What information did you use to determine the answers to 9.1 to 9.10 above?
 The owner's knowledge of the past history of this property and of the small town of Rockton as a whole.


8.12 If previous use of property is industrial or commercial or if YES to any of 9.2 to 9.10, a previous use inventory showing all former uses of the subject land, or if appropriate, the land adjacent to the subject land, is needed.

Is the previous use inventory attached? Yes No

9. ACKNOWLEDGEMENT CLAUSE

I acknowledge that the City of Hamilton is not responsible for the identification and remediation of contamination on the property which is the subject of this Application – by reason of its approval to this Application.

Feb 8/21
 Date


 Signature Property Owner
Calvin & Karen Schaminger
 Print Name of Owner

10. Dimensions of lands affected:

Frontage	+/- 57.91 m (difficult to say with irregular property shape)
Depth	+/- 292 m x +/- 215m (difficult to say with irregular property shape)
Area	8.5 acres
Width of street	6.09m

11. Particulars of all buildings and structures on or proposed for the subject lands: (Specify ground floor area, gross floor area, number of stories, width, length, height, etc.)

Existing: _

Existing House: 2 storey, 149.76 sq. m. building area, 241.92 sq. m. gross area, building height = 8.33m, no attached garage, 102.94 sq. m. of covered porches attached to the house. Existing Detached Garage: two storey, 73.03 sq.m. building area, 146.015 sq. m. gross area, building height = 7.010m,

Proposed

Attached Garage: 1 storey, 79.71 sq. m, building height = 5.98m.
 Detached Storage Shed: 1 storey, 195.1 sq. m., building height = 6.48m.
 BUILDING AREA.

12. Location of all buildings and structures on or proposed for the subject lands; (Specify distance from side, rear and front lot lines)

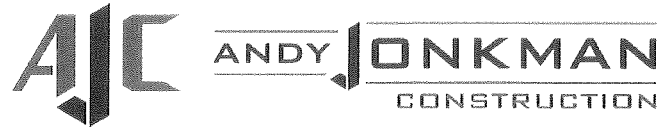
Existing:

EXISTING HOUSE: WEST SIDE YARD = +/- 28.46m, NORTH SIDE YARD = +/- 33.53m, SOUTH SIDE YARD = +/- 90.53m, AND EAST SIDE YARD = +/- 120.09m
 EXISTING DETACHED GARAGE: WEST SIDE YARD = +/- 11.83m, NORTH SIDE YARD = +/- 30.50m, SOUTH SIDE YARD = +/- 92.18m AND EAST SIDE YARD = +/- 144.43m

Proposed:

ATTACHED GARAGE: WEST SIDE YARD = +/- 20.57m, NORTH SIDE YARD = +/- 29.82m, SOUTH SIDE YARD = +/- 95.02m AND EAST SIDE YARD = +/- 145.39m
 DETACHED GARAGE: WEST SIDE YARD = 1.0m, NORTH SIDE YARD = +/- 52.12m, SOUTH SIDE YARD = +/- 64.16m AND EAST SIDE YARD = +/- 134.62m

13. Date of acquisition of subject lands:
August 2008
-
14. Date of construction of all buildings and structures on subject lands:
The house was built in 1998. The detached garage shortly after. An addition was added to the house in 2014.
-
15. Existing uses of the subject property:
P7 - Conservation/Hazard Land Rural Zone
Existing use contains a single family dwelling unit and a detached accessory building.
16. Existing uses of abutting properties:
S1-Settlement Residential, S2-Settlement Commercial, P7-Conservation/Hazard Land Rural Zone
17. Length of time the existing uses of the subject property have continued:
By-law 15-173 was passed in 2015 to change By-law No. 05-200.
18. Municipal services available: (check the appropriate space or spaces)
Water n/a Connected n/a
Sanitary Sewer n/a Connected n/a
Storm Sewers n/a
19. Present Official Plan/Secondary Plan provisions applying to the land:
Rockton Hamilton Official Plan - Natural Open Space
20. Present Restricted Area By-law (Zoning By-law) provisions applying to the land:
P7 - Conservation/Hazard Land Rural Zone
21. Has the owner previously applied for relief in respect of the subject property?
 Yes No
If the answer is yes, describe briefly.
22. Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?
 Yes No
23. Additional Information
No minor variance applications were required for the house and detached garage. An addition was put onto the existing house in 2014 and a building permit was issued with no complications.
24. The applicant shall attach to each copy of this application a plan showing the dimensions of the subject lands and of all abutting lands and showing the location, size and type of all buildings and structures on the subject and abutting lands, and where required by the Committee of Adjustment such plan shall be signed by an Ontario Land Surveyor.



580 Sheffield Rd., R.R.#1
Troy, Ontario L0R 2B0
T 519-647-3223 F 519-647-2910
andyjonkmanconstruction.com

February 2, 2021

Committee of Adjustment
City Hall, 5th Floor
71 Main St. W.
Hamilton, ON.
L8P 4Y5

Attn: Committee of Adjustment

Re: Minor Variance Application Re. 19 McDonald St. in Rockton, ON.
Answers provided for Question #4
Answers provided for Question #5

4. Nature and extent of relief applied for:

The application is for relief for two proposed structures on the property: 1) attached garage to the house and 2) a detached accessory building.

1) Attached Garage to Existing House

- The zoning bylaw does not allow for an expansion to an existing building or structure to exceed 10% of the gross floor area of the existing building or structure. The existing gross area of the existing house is 241.92 sq. m. of which the maximum permitted expansion of 10% is 24.192 sq. m. We are seeking relief on the building size to allow the garage addition to be 55.518 sq. m. larger than the permitted size (79.71 sq. m – 24.192 sq. m.) to adequately fit vehicles inside.

2) Detached Accessory Building

- The zoning bylaw states that an existing legally established accessory building or structure that is to be demolished in whole may be rebuilt provided the setbacks, building height, and gross floor area to the building or structure that had existed on the date of passing of the By-law are maintained. The owner proposes to demolish in whole the existing legally established accessory building on the property and re-build a new accessory building in a different location.
 - The zoning bylaw permits a maximum increased encroachment of 10% of the existing setbacks. The existing west side yard setback is 12.16 m, north side yard setback is 30.56m, and south side yard

setback is 92.18m. We are seeking relief to change all of the setbacks by more than 10% for a proposed west side yard setback of 1.0m , north side yard setback of 52.12m, and south side yard setback of 64.16m.

- o The building height of the existing detached accessory building is 7.010m. The proposed building height of the proposed detached accessory building is 6.48m. Therefore the proposed building height is smaller in size (lower) than the existing building and hence is more favorable then the existing structure.
- o The existing building has an existing building area of 73.03 sq. m. and a gross area of 146.05 sq. m. The existing building has a loft above the ground floor. The proposed building is a single storey structure having a building area & gross area (same value) of 195.1 sq. m. We are seeking relief to allow the new detached accessory building to have a gross area of 49.05 sq. m. (195.1 sq. m. – 146.05 sq. m.) more than the permitted gross area.

5. Why is it not possible to comply with the provisions of the By-Law.

1) Attached Garage to Existing House

- This house does not currently have an attached garage on it. Adding a garage on to the existing house with a max. 10% size of 24.192 sq. m. will not serve any useful purpose to the property. 24.192 sq.m. is about 16'-0" wide x 16'-3" long and will not fit an vehicles inside. The only way to make the garage large enough to serve a purpose is to exceed 10% of the existing gross area. Prior to the By-law zoning change in 2015 the limitation of max. 10% of existing gross area was not applicable. All of the existing structures on this property have a building permit (including the most recent addition in 2014) and none of these existing structures required a minor variance when they were built. The explanatory note associated with the P7 Zone as mentioned in in Bylaw 15-173 which was responsible for the re-zoning states that '*P7 Zone applies to all lands identified as a Key Hydrological Feature... and to all lands identified as a Key Natural Heritage Feature within the Greenbelt natural Heritage System*'. The proposed garage addition is not interfering or harming any heritage features on this property as shown on the attached site plan and aerial map.

2) Detached Accessory Building

- The second floor of the existing detached building is not very useful and adds unnecessary height to the structure. The proposed building will not be built as high which will help soften the view lines and minimize the building's visibility. However, by going with a one storey structure instead of a two storey the footprint will automatically be larger making it impossible to meet all the existing setbacks. The existing structure is located in an awkward spot and interferes with the existing house and the proposed attached garage. The proposal is to locate the detached building in a more convenient spot along the west property line. We have chosen to

use a 1.0m side yard setback. Although this is a large 8.5 acre property there are limited locations to place the detached structure due to the irregularity of the property shape. If you refer to the site plan you can see the property is very odd shaped. Placing the building closer to the west side property line does not affect any neighboring properties. As reasoned above for the attached garage, the proposed location does not interfere with any key heritage features. This is a dry location, and no trees will be damaged. It is currently a gravel parking lot for vehicles. The structure will provide more useful storage space and will allow the owner to take the exterior storage clutter and combine it neatly indoors.

- The building height has been proven to be of lesser value then the existing building and a minor variance for height is not required.
- The smaller building footprint will not allow the owners to move all of their outdoor storage indoors. This is a large 8.5 acre property with an abundant amount of space in which we feel should not be a problem to build a 195.1 sq. m. structure. The property is tucked in the back of Rockton surrounded by trees which keeps this building out of site from the neighbors. Allowing the owner to build a larger building will keep the property looking neat and tidy.

If you have any further questions, please do not hesitate to contact me.

Sincerely,

Ian Jonkman, Arch. Dipl. Tech.
Andy Jonkman Construction Ltd.





Hamilton

COMMITTEE OF ADJUSTMENT

City Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5
 Telephone (905) 546-2424, ext. 4221, 3935 Fax (905) 546-4202
 E-mail: cofa@hamilton.ca

NOTICE OF PUBLIC HEARING
Minor Variance

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
- Applicant/agent on file, or
- Person likely to be interested in this application

APPLICATION NO.: FL/A-21:82

APPLICANTS: Owners P. & C. Heary
 Agent Viking Building System c/o Zig Zilinskas

SUBJECT PROPERTY: Municipal address **4 Bogle Dr., Flamborough**

ZONING BY-LAW: Zoning By-law 05-200, as Amended

ZONING: S1 district (Settlement Residential)

PROPOSAL: To permit the construction of a new 84.0m² accessory building in the side yard of the existing single detached dwelling notwithstanding that:

1. The total floor area of all accessory buildings on the lot shall be 135.0m² instead of the maximum permitted area of 97.0m²
2. A height of 7.4m shall be provided instead of the maximum permitted height of 5.0m for accessory structures.
3. A northerly side yard setback of 2.7m shall be provided instead of the minimum required side yard setback of 3.0m

NOTES:

- i. Please be advised that no portion of an accessory building is permitted to be used for human habitation.
- ii. The Hamilton Zoning By-law 05-200 further regulates the height of accessory buildings by limiting the height from grade to the underside of the eaves, overhang, or lower ends of the roof joists, rafters or trusses to a maximum of 3.0m. Insufficient information has been provided to determined compliance with this provision. As such, further variances may be required if compliance cannot be achieved.

This application will be heard by the Committee as shown below:

DATE: Thursday, April 1st, 2021
TIME: 1:20 p.m.
PLACE: Via video link or call in (see attached sheet for details)
 To be streamed at
www.hamilton.ca/committeeofadjustment
 for viewing purposes only

FL/A-21: 82

Page 2

PUBLIC INPUT

Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

Orally: If you would like to speak to this item at the hearing you may do so via video link or by calling in. Please see attached page for complete instructions, including deadlines for registering to participate.

MORE INFORMATION

For more information on this matter, including access to drawings illustrating this request:

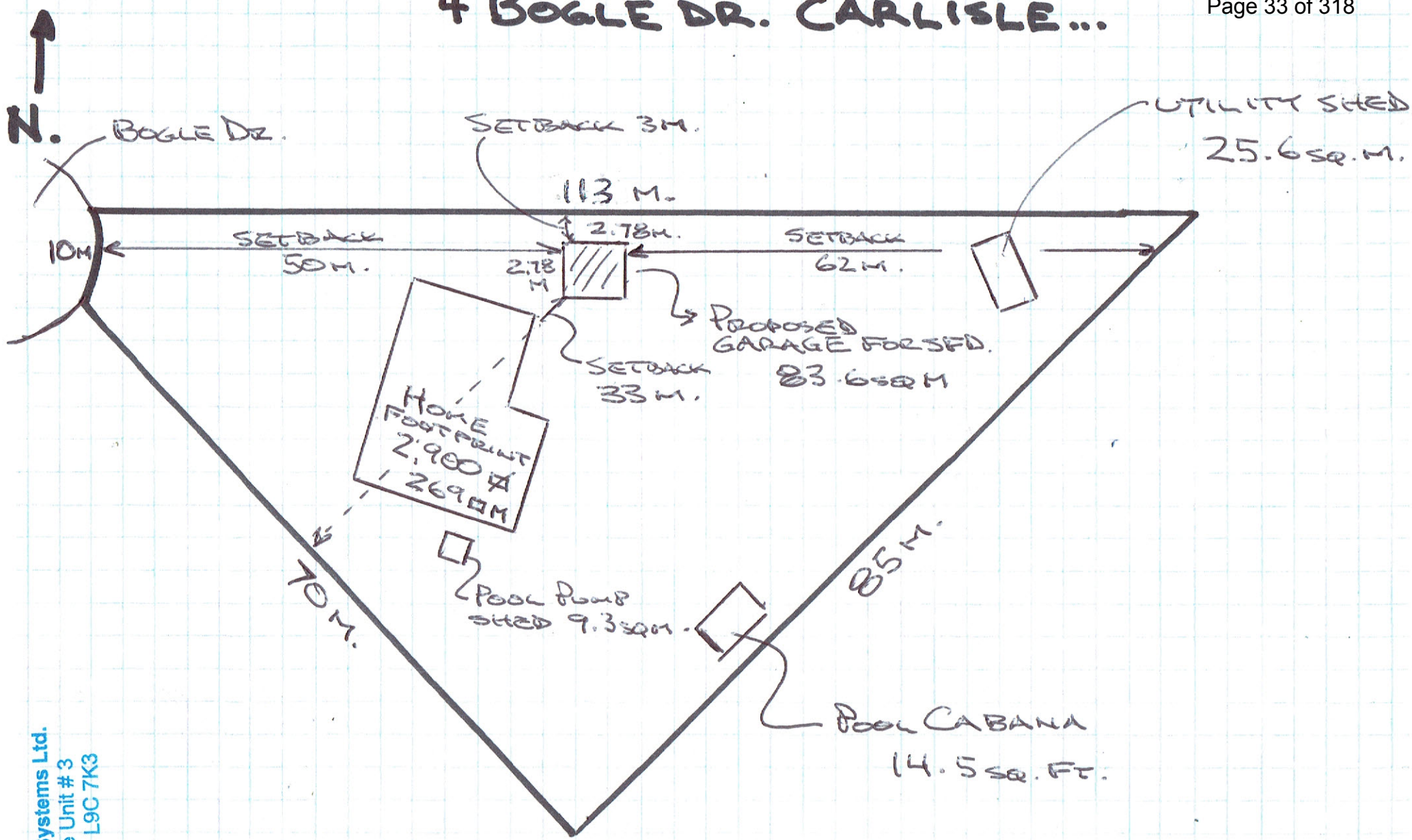
- Visit www.hamilton.ca/committeeofadjustment
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935
- Email Committee of Adjustment staff at cofa@hamilton.ca

DATED: March 16th , 2021.

Jamila Sheffield,
Secretary-Treasurer
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public.

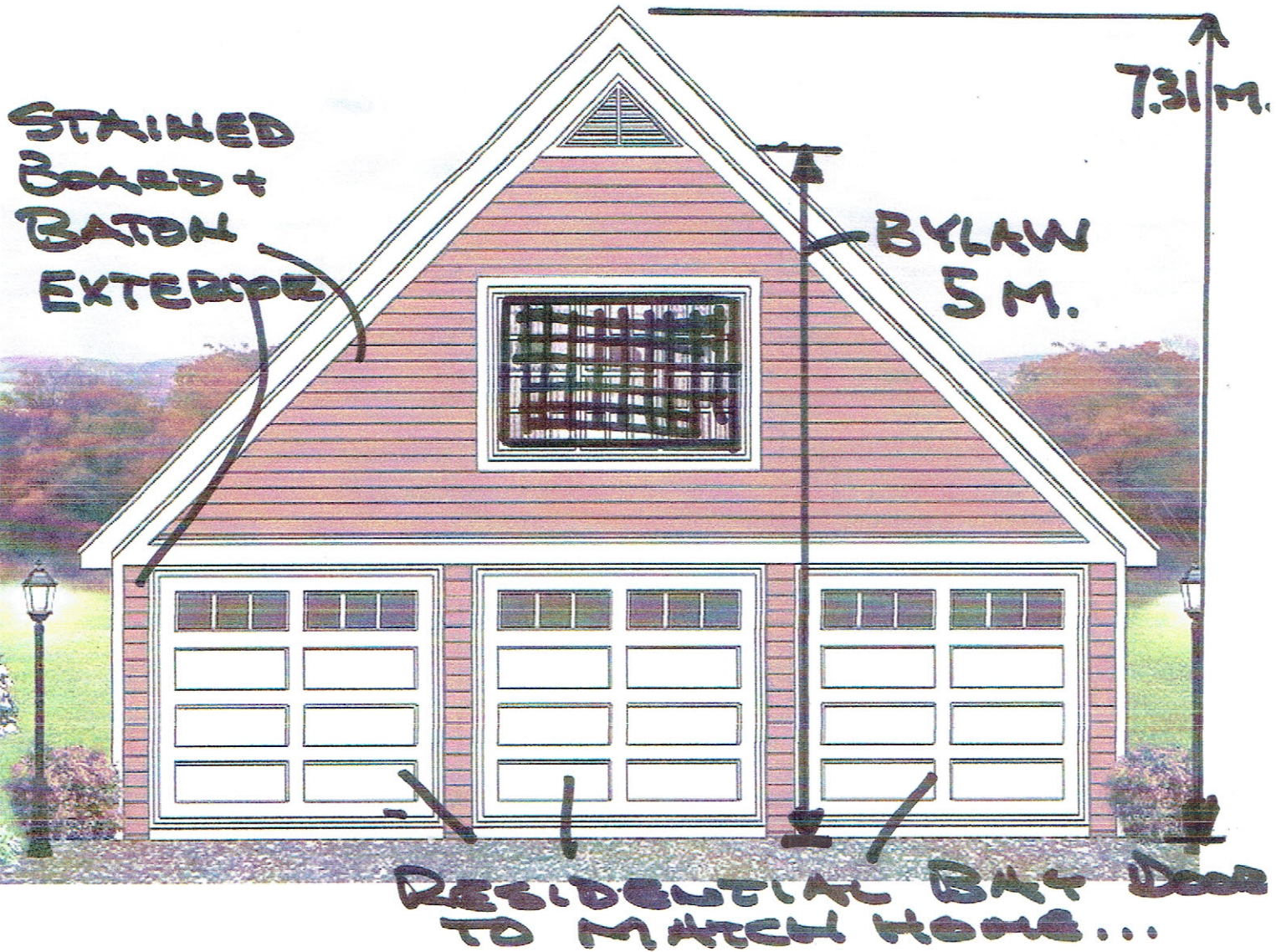
4 BOGLE DR. CARLISLE...



Viking Building Systems Ltd.
38 Elora Drive Unit # 3
Hamilton, ON L9C 7K3

ELEVATIONS:

VARIANCE PROPOSED





Committee of Adjustment
 City Hall, 5th Floor,
 71 Main St. W.,
 Hamilton, ON L8P4Y5

Phone: (905) 546-2424 ext. 4221
 Email: cofa@hamilton.ca

APPLICATION FOR A MINOR VARIANCE

FOR OFFICE USE ONLY.	
APPLICATION NO. _____	DATE APPLICATION RECEIVED _____
PAID _____	DATE APPLICATION DEEMED COMPLETE _____
SECRETARY'S SIGNATURE _____	

The Planning Act

Application for Minor Variance or for Permission

The undersigned hereby applies to the Committee of Adjustment for the City of Hamilton under Section 45 of the *Planning Act*, R.S.O. 1990, Chapter P.13 for relief, as described in this application, from the Zoning By-law.

1, 2	NAME	ADDRESS
Registered Owners(s)	Peter Heary, Coreen Heary	[REDACTED]
Applicant(s)*	Peter Heary, Coreen Heary	
Agent or Solicitor	ZIG ZILINSKAS	

Note: Unless otherwise requested all communications will be sent to the agent, if any.

3. Names and addresses of any mortgagees, holders of charges or other encumbrances:
 Mortgage Holder: RBC, 304 Dundas St E, Waterdown, ON L0R 2H0

Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled

4. Nature and extent of relief applied for:
 Size (total of outbuildings) - from 1044 square feet allowed to 1432 square feet
 Height - from 16.4 feet allowed to 24 feet
5. Why it is not possible to comply with the provisions of the By-law?
 Due to having more drivers and therefore vehicles in the family, we require more garage parking. In order to have an esthetically pleasing roofline to match the architectural style of the house, we require the variance.
6. Legal description and Address of subject lands (registered plan number and lot number or other legal description and where applicable, **street and street number**):
 4 Bogle Drive, Flamborough
 Plan 62M-980, LOT 2
7. PREVIOUS USE OF PROPERTY
- Residential Industrial Commercial
 Agricultural Vacant
 Other _____
- 8.1 If Industrial or Commercial, specify use _____
- 8.2 Has the grading of the subject land been changed by adding earth or other material, i.e. has filling occurred?
 Yes No Unknown
- 8.3 Has a gas station been located on the subject land or adjacent lands at any time?
 Yes No Unknown
- 8.4 Has there been petroleum or other fuel stored on the subject land or adjacent lands?
 Yes No Unknown
- 8.5 Are there or have there ever been underground storage tanks or buried waste on the subject land or adjacent lands?
 Yes No Unknown
- 8.6 Have the lands or adjacent lands ever been used as an agricultural operation where cyanide products may have been used as pesticides and/or sewage sludge was applied to the lands?
 Yes No Unknown
- 8.7 Have the lands or adjacent lands ever been used as a weapon firing range?
 Yes No Unknown
- 8.8 Is the nearest boundary line of the application within 500 metres (1,640 feet) of the fill area of an operational/non-operational landfill or dump?
 Yes No Unknown
- 8.9 If there are existing or previously existing buildings, are there any building materials remaining on site which are potentially hazardous to public health (eg. asbestos, PCB's)?
 Yes No Unknown

8.10 Is there any reason to believe the subject land may have been contaminated by former uses on the site or adjacent sites?

Yes No Unknown

8.11 What information did you use to determine the answers to 9.1 to 9.10 above?
The lot was developed in 2004 and before that it was farmland.

8.12 If previous use of property is industrial or commercial or if YES to any of 9.2 to 9.10, a previous use inventory showing all former uses of the subject land, or if appropriate, the land adjacent to the subject land, is needed.

Is the previous use inventory attached? Yes No

9. ACKNOWLEDGEMENT CLAUSE

I acknowledge that the City of Hamilton is not responsible for the identification and remediation of contamination on the property which is the subject of this Application – by reason of its approval to this Application.

February 9, 2021

Date

C. Heary

Signature Property Owner

Coreen Heary

Print Name of Owner

10. Dimensions of lands affected:

Frontage

PLEASE SEE SITE PLAN

Depth

Area

7,000 sqm - 75,000 sqm

Width of street

END OF COURT

11. Particulars of all buildings and structures on or proposed for the subject lands: (Specify ground floor area, gross floor area, number of stories, width, length, height, etc.)

Existing:

House & Attached Garage - 4500 square feet, 2 story house

Pool Pump Shed - 10' x 10' - 100 square feet

Utility Shed - 12' x 23' - 276 square feet

Pool Cabana - 156 square feet

PLEASE SEE SITE PLAN FOR LOCATIONS...

Proposed

Residential Detached Garage for SFD - 30' x 30' or 900 square feet

12. Location of all buildings and structures on or proposed for the subject lands; (Specify distance from side, rear and front lot lines)

Existing:

House & Attached Garage - 4500 square feet, 2 story house

Pool Pump Shed - 10' x 10' - 100 square feet

Utility Shed - 12' x 23' - 276 square feet

Pool Cabana - 156 square feet

Proposed:

Residential Detached Garage for SFD - 30' x 30' or 900 square feet

13. Date of acquisition of subject lands:
January 10, 2010
-
14. Date of construction of all buildings and structures on subject lands:
House-2006, Pool Shed & Cabana-2013, Utility Shed - 2017
-
15. Existing uses of the subject property:
Residential
16. Existing uses of abutting properties:
Residential
17. Length of time the existing uses of the subject property have continued:
15 years
18. Municipal services available: (check the appropriate space or spaces)
Water X Connected X
Sanitary Sewer _____ Connected _____
Storm Sewers _____
19. Present Official Plan/Secondary Plan provisions applying to the land:
20. Present Restricted Area By-law (Zoning By-law) provisions applying to the land:
21. Has the owner previously applied for relief in respect of the subject property?
 Yes No
 If the answer is yes, describe briefly.
22. Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?
 Yes No
23. Additional Information
24. The applicant shall attach to each copy of this application a plan showing the dimensions of the subject lands and of all abutting lands and showing the location, size and type of all buildings and structures on the subject and abutting lands, and where required by the Committee of Adjustment such plan shall be signed by an Ontario Land Surveyor.

SITE PLAN 4^{CO} BOGGLE DRIVE CARLISLE

N.4

BLD.
DIMENSIONS
002
PAGE 3





Hamilton

COMMITTEE OF ADJUSTMENT

City Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5
 Telephone (905) 546-2424, ext. 4221, 3935 Fax (905) 546-4202
 E-mail: cofa@hamilton.ca

NOTICE OF PUBLIC HEARING
Minor Variance

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
- Applicant/agent on file, or
- Person likely to be interested in this application

APPLICATION NO.: GL/A-21:81

APPLICANTS: Aiden Wotherspoon on behalf of the owner Steve Goette

SUBJECT PROPERTY: Municipal address **7322 Twenty Rd. E., Glanbrook**

ZONING BY-LAW: Zoning By-law 05-200, as Amended 15-173

ZONING: "A2" (Rural A2) Zone

PROPOSAL: To permit the construction of a two-storey addition, which includes an attached garage, to the easterly side of the existing single detached dwelling, notwithstanding,

1. A minimum side yard of 1.8 metres shall be permitted instead of providing the minimum required side yard of 3.0 metres.

NOTES:

1. A further variance will be required is the eave and gutter projection extends greater than 0.6 metres into a required yard.

2. A further variance will be required if a minimum of one (1) parking space with an unobstructed area measuring 2.8 metres in width by 5.8 metres in length is not provided.

3. The front lot line is deemed to be the southerly lot line for the purpose of this application.

This application will be heard by the Committee as shown below:

DATE: Thursday, April 1st, 2021
TIME: 1:25 p.m.
PLACE: Via video link or call in (see attached sheet for details)
 To be streamed at
www.hamilton.ca/committeeofadjustment
 for viewing purposes only

PUBLIC INPUT

Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

GL/A-21: 81
Page 2

Orally: If you would like to speak to this item at the hearing you may do so via video link or by calling in. Please see attached page for complete instructions, including deadlines for registering to participate.

MORE INFORMATION

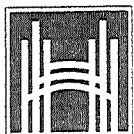
For more information on this matter, including access to drawings illustrating this request:

- Visit www.hamilton.ca/committeeofadjustment
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935
- Email Committee of Adjustment staff at cofa@hamilton.ca

DATED: March 16th, 2021.

Jamila Sheffield,
Secretary-Treasurer
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public.



Hamilton

Planning and Economic Development Department
Planning Division

Committee of Adjustment
City Hall
5th floor 71 Main Street West
Hamilton, Ontario L8P 4Y5

Phone (905) 546-2424 ext.4221
Fax (905) 546-4202

**PLEASE FILL OUT THE FOLLOWING PAGES AND
RETURN TO THE CITY OF HAMILTON PLANNING
DEPARTMENT.**

FOR OFFICE USE ONLY.	
APPLICATION NO. _____	DATE APPLICATION RECEIVED _____
PAID _____	DATE APPLICATION DEEMED COMPLETE _____
SECRETARY'S SIGNATURE _____	

**CITY OF HAMILTON
COMMITTEE OF ADJUSTMENT
HAMILTON, ONTARIO**

The Planning Act

Application for Minor Variance or for Permission

The undersigned hereby applies to the Committee of Adjustment for the City of Hamilton under Section 45 of the *Planning Act*, R.S.O. 1990, Chapter P.13 for relief, as described in this application, from the Zoning By-law.

1. Name of Owner Steven Goette

2.

3. Name of Agent Aiden Waterspoon

4.

Note: Unless otherwise requested all communications will be sent to the agent, if any.

5. Names and addresses of any mortgagees, holders of charges or other encumbrances:
Frist National 100 University Ave
North tower Suite 1200 Toronto Postal Code M5J 1V6

Postal Code _____

6. Nature and extent of relief applied for:

Variance Required For Sidesyard
Set Backs. Requested Variance to
Reduce Side Yard Set back From
3 m to 1.8m on Eastside of building

7. Why it is not possible to comply with the provisions of the By-law?

1) addition is not Feasible on Westside
(Drive Way to Rear accessory building)

2) Addition Requires min Width into Required
Setback

8. Legal description of subject lands (registered plan number and lot number or other legal description and where applicable, street and street number):

7327 Twenty Rd Hannon On
Ward 11, Code A2, Des. Rural
, By Law # 15-173 (05-200)*Parent, OMB
PL100633

9. PREVIOUS USE OF PROPERTY

Residential Industrial Commercial

Agricultural Vacant

Other _____

9.1 If Industrial or Commercial, specify use

9.2 Has the grading of the subject land been changed by adding earth or other material, i.e. has filling occurred?

Yes No Unknown

9.3 Has a gas station been located on the subject land or adjacent lands at any time?

Yes No Unknown

9.4 Has there been petroleum or other fuel stored on the subject land or adjacent lands?

Yes No Unknown

9.5 Are there or have there ever been underground storage tanks or buried waste on the subject land or adjacent lands?

Yes No Unknown

9.6 Have the lands or adjacent lands ever been used as an agricultural operation where cyanide products may have been used as pesticides and/or sewage sludge was applied to the lands?

Yes No Unknown

9.7 Have the lands or adjacent lands ever been used as a weapon firing range?

Yes No Unknown

9.8 Is the nearest boundary line of the application within 500 metres (1,640 feet) of the fill area of an operational/non-operational landfill or dump?

Yes No Unknown

9.9 If there are existing or previously existing buildings, are there any building materials remaining on site which are potentially hazardous to public health (eg. asbestos, PCB's)?

Yes No Unknown

9.10 Is there any reason to believe the subject land may have been contaminated by former uses on the site or adjacent sites?

Yes No Unknown

9.11 What information did you use to determine the answers to 9.1 to 9.10 above?

age of building A visual area
inspection (Neighbors / adjoining properties)

9.12 If previous use of property is industrial or commercial or if YES to any of 9.2 to 9.10, a previous use inventory showing all former uses of the subject land, or if appropriate, the land adjacent to the subject land, is needed.

Is the previous use inventory attached? Yes No

ACKNOWLEDGEMENT CLAUSE

I acknowledge that the City of Hamilton is not responsible for the identification and remediation of contamination on the property which is the subject of this Application – by reason of its approval to this Application.

Dec 18 2020
Date

[Signature]
Signature Property Owner

Steven Coette
Print Name of Owner

10. Dimensions of lands affected:

Frontage	AW AW	90 Ft
Depth	AW AW	200 Ft
Area	AW AW	1800 Ft
Width of street	AW AW	30 Ft

11. Particulars of all buildings and structures on or proposed for the subject lands: (Specify ground floor area, gross floor area, number of stories, width, length, height, etc.)

Existing: House 44' Ft x 24' 8" Ft
Single story height front 25' 6" Ft
Back 10' Ft
Single Story Garage 28' x 32' Sides 17' Ft to
Proposed: 2 story addition top of Gable
23' Ft height 14' width 32' Ft
in light on the Westside of
home

12. Location of all buildings and structures on or proposed for the subject lands; (Specify distance from side, rear and front lot lines)

Existing: house 25' 6" Ft Eastside of Building
20' 3" Ft from Westside of Building
57' 11 1/2" Ft front to Road 113' 4 1/4" Ft to Back
Property line from Back of house

Proposed: addition Westside of Existing
House 14'ft in width 32'ft in
length Approximately 23'ft in height

13. Date of acquisition of subject lands:

N/A

14. Date of construction of all buildings and structures on subject lands:

home approximately 1960's Rear Shop 2015

15. Existing uses of the subject property: Residential

Dwelling

16. Existing uses of abutting properties: Residential

Dwelling

17. Length of time the existing uses of the subject property have continued:

50+ years

18. Municipal services available: (check the appropriate space or spaces)

Water yes Connected yes

Sanitary Sewer yes Connected yes

Storm Sewers

19. Present Official Plan/Secondary Plan provisions applying to the land:

RU 2 zoning

20. Present Restricted Area By-law (Zoning By-law) provisions applying to the land:

R^{MV} 05-200 (Parent) Ward 11
15-173

21. Has the owner previously applied for relief in respect of the subject property?

Yes

No

If the answer is yes, describe briefly.

22. Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?

Yes

No

23. The applicant shall attach to each copy of this application a plan showing the dimensions of the subject lands and of all abutting lands and showing the location, size and type of all buildings and structures on the subject and abutting lands, and where required by the Committee of Adjustment such plan shall be signed by an Ontario Land Surveyor.

NOTE: It is required that two copies of this application be filed with the secretary-treasurer of the Committee of Adjustment together with the maps



Hamilton

COMMITTEE OF ADJUSTMENT

City Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5
 Telephone (905) 546-2424, ext. 4221, 3935 Fax (905) 546-4202
 E-mail: cofa@hamilton.ca

NOTICE OF PUBLIC HEARING

Application for Consent/Land Severance

APPLICATION NUMBER: FL/B-20:71

SUBJECT PROPERTY: 905 Centre Rd., Flamborough

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
- Applicant/agent on file, or
- Person likely to be interested in this application

APPLICANT(S): Owner Marvin J. Creighton
 Agent Gerald P. Murphy

PURPOSE OF APPLICATION: To permit the conveyance of a parcel of land for residential purposes and to retain a parcel of land for residential purposes.

Severed lands:

45.72m[±] x 96.63m[±] and an area of 4417.54m²±

Retained lands:

91.41m[±] x 465.21m[±] and an area of 38,107.64m²±

The Committee of Adjustment will hear this application on:

DATE: Thursday, April 1st , 2021

TIME: 1:30 p.m.

PLACE: Via video link or call in (see attached sheet for details)

To be streamed at

www.hamilton.ca/committeeofadjustment
 for viewing purposes only

PUBLIC INPUT

Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

Orally: If you would like to speak to this item at the hearing you may do so via video link or by calling in. Please see attached page for complete instructions, including deadlines for registering to participate.

GL/B-20:71
PAGE 2

MORE INFORMATION

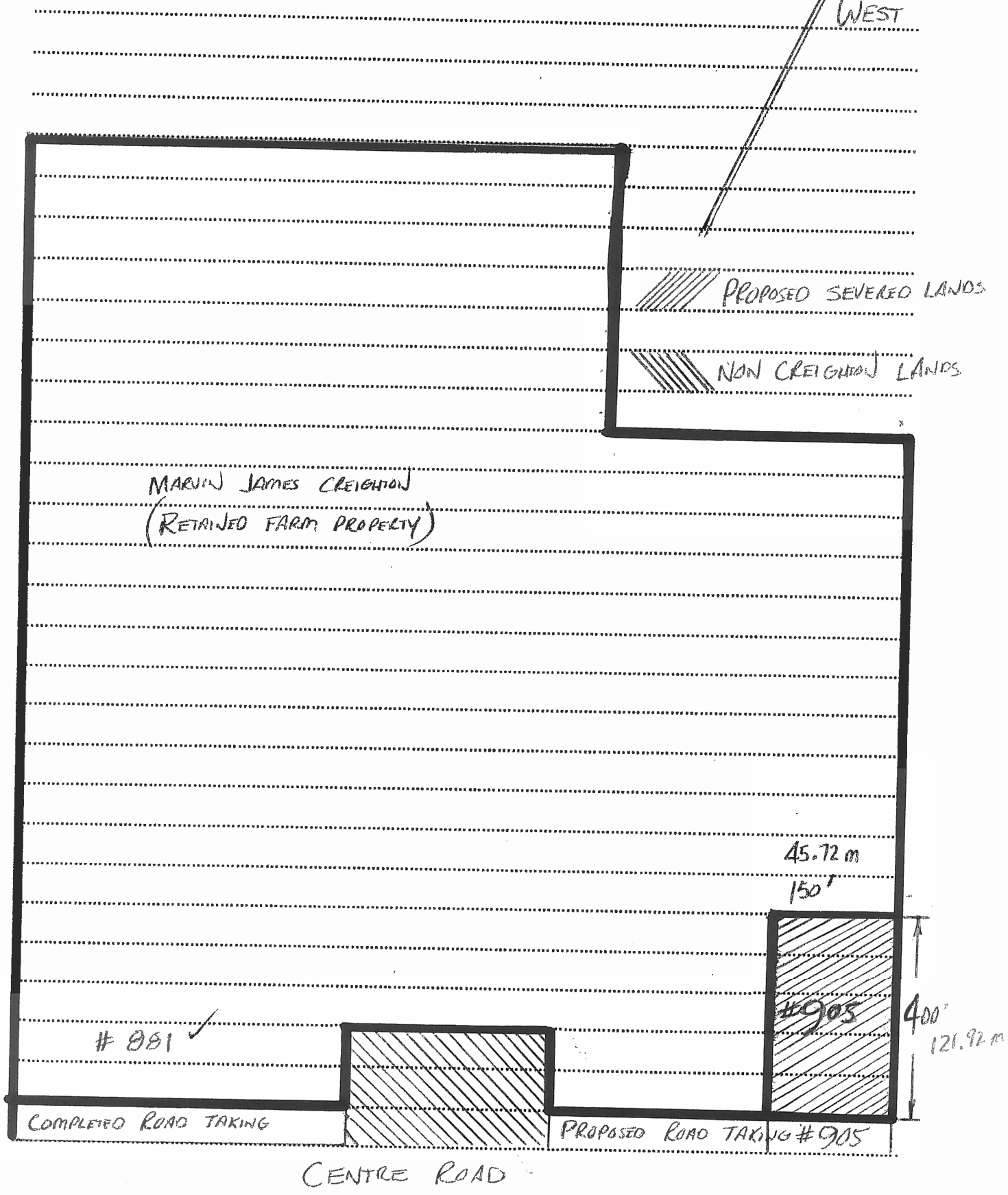
For more information on this matter, including access to drawings illustrating this request:

- Visit www.hamilton.ca/committeeofadjustment
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935
- Email Committee of Adjustment staff at cofa@hamilton.ca

DATED: March 16th, 2021

Jamila Sheffield,
Secretary-Treasurer
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public.



GERARD P. MURPHY

Lawyer

130 North Shore Blvd. West
Burlington, Ontario L7T 4G4
T. 905 522 9955
F. 905 333 3467
eM gerardpmurphy@bellnet.ca

February 1, 2021

TO: CITY OF HAMILTON
Committee of Adjustments

**RE: FB/B -20: 71 (905 Centre Road, Flamborough)
Marvin James Creighton**

Further to the Committee Decision of November 19, 2020 as tabled, we respond as follows:

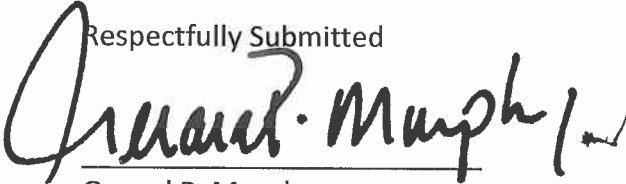
1. We have retained Dan McLaren of A. T. McLaren in this regard.
2. To be discussed. Further to my discussions with Velimir Lazarevic and his assistance, we submit that the Applicant has complied with the by-law and that an Application for a Minor Variance should not be required.
3. The PIN Consolidation shall be completed in accordance with the attached.
4. We submit that the requirement of a Hydrogeological Study is no longer necessary as the lot size of the proposed severance of land has been increased. Please see attached.
5. Yes.
6. Yes.
7. Yes. Retained Lands to remain as an active farm with the severed lands to remain residential.
8. Yes.
9. Yes.
10. Yes.
11. Yes.
12. See #4.
13. Yes.
14. Yes.

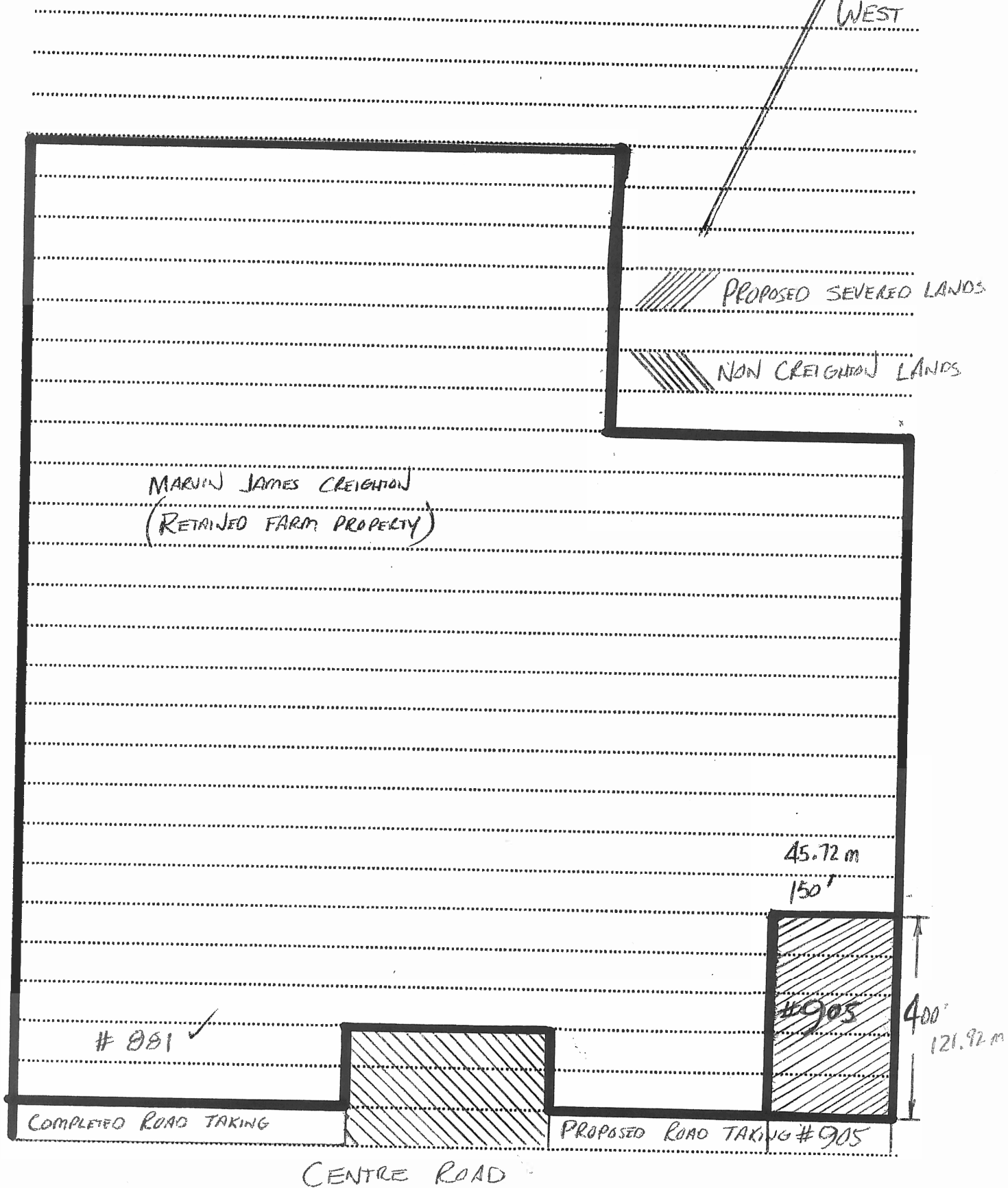
Growth Management:

New address noted.
Address signage to be installed.

BUILDING DIVISION:

1. The wholesale/retail use of the farm property has been active for over forty years by Marvin Creighton (Sr.) (now deceased), Lillian Creighton (Widow) and Marvin James Creighton (Son).
2. Residence at 881 Centre Road is a stand alone brick dwelling with a basement and is currently occupied by Lillian Creighton (Mother) and Marvin James Creighton (Son). The residence at 905 Centre Road is a stand alone brick dwelling having a second story and basement. This residence is currently unoccupied.
3. The driving shed located on the 905 Centre Road property has always been an accessory to the permitted residential use. There are two other driving shed buildings located on the 881 Centre Road property and have always been an accessory to the current farming operation.
4. The lands to be retained shall continue with the current farming use. The lands to be conveyed shall continue with the current residential use.
5. We submit that the zoning set back requirements are within the by-law requirements being 96 feet to the proposed southerly boundary and 24 feet to the current existing north westerly boundary, and 122 feet from the westerly proposed boundary.
6. Previously discussed above.
7. Yes.
8. Yes. (There are no farm animals on this property-vegetable cash crops only)
9. Yes.
10. Yes.

Respectfully Submitted

Gerard P. Murphy



ACKNOWLEDGEMENT AND DIRECTION

TO: Gerard Peter Murphy
(Insert lawyer's name)

AND TO: GERARD P MURPHY
(Insert firm name)

RE: Farm Property Land Consolidation , 881 Centre Road , Waterdown ON ("the transaction")
Property of Marvin James Creighton
(Insert brief description of transaction)

This will confirm that:

- I/We have reviewed the information set out in this Acknowledgement and Direction and in the documents described below (the "Documents"), and that this information is accurate;
- You, your agent or employee are authorized and directed to sign, deliver, and/or register electronically, on my/our behalf the Documents in the form attached.
- You are hereby authorized and directed to enter into an escrow closing arrangement substantially in the form attached hereto being a copy of the version of the Document Registration Agreement, which appears on the website of the Law Society of Upper Canada as the date of the Agreement of Purchase and sale herein. I/We hereby acknowledge the said Agreement has been reviewed by me/us and that I/We shall be bound by its terms;
- The effect of the Documents has been fully explained to me/us, and I/we understand that I/we are parties to and bound by the terms and provisions of the Documents to the same extent as if I/we had signed them; and
- I/we are in fact the parties named in the Documents and I/we have not misrepresented our identities to you.
- I, _____, am the spouse of _____, the (Transferor/Chargor) , and hereby consent to the transaction described in the Acknowledgment and Direction. I authorize you to indicate my consent on all the Documents for which it is required.

DESCRIPTION OF ELECTRONIC DOCUMENTS

The Document(s) described in the Acknowledgement and Direction are the document(s) selected below which are attached hereto as "Document in Preparation" and are:

- A Transfer of the land described above.
- A Charge of the land described above.
- Other documents set out in Schedule "B" attached hereto.

Dated at WATERDOWN, this 1st day of FEBRUARY, 2021.

WITNESS

(As to all signatures, if required)

Gerard P. Murphy

Marvin James Creighton
MARVIN JAMES CREIGHTON

LRO # 62 **Application Consolidation Parcels**

In preparation on 2021 02 01 at 11:29

This document has not been submitted and may be incomplete.

yyyy mm dd Page 1 of 1

Properties

PIN 17512 - 0169 LT
Description PT LT 8, CON 5 EAST FLAMBOROUGH AS IN CD130477, BEING PT 1 ON 62R-17621;
 CITY OF HAMILTON
Address 881 CENTRE ROAD
 WATERDOWN

PIN 17512 - 0168 LT
Description PT LT 8, CON 5 EAST FLAMBOROUGH AS IN CD130477, SAVE & EXCEPT PT 1 & 2
 ON 62R-17621; CITY OF HAMILTON

PIN 17512 - 0116 LT
Description PT LOT 8, CONCESSION 5 EAST FLAMBOROUGH , AS IN VM191657, SAVE AND
 EXCEPT AB94858 ; FLAMBOROUGH CITY OF HAMILTON
Address 905 CENTRE ROAD
 RURAL HAMILTON

PIN 17512 - 0110 LT
Description PT LOT 8, CONCESSION 5 EAST FLAMBOROUGH , PART 1 , 62R13166 ;
 FLAMBOROUGH CITY OF HAMILTON
Address 869 CENTRE RD
 FLAMBOROUGH

Applicant(s)

Name CREIGHTON, MARVIN JAMES
 Acting as an individual
Address for Service

This document is not authorized under Power of Attorney by this party.

This document is being authorized by a municipal corporation The City of Hamilton.

File Number*Applicant Client File Number :* 74681



Hamilton

COMMITTEE OF ADJUSTMENT

City Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5
 Telephone (905) 546-2424, ext. 4221, 3935 Fax (905) 546-4202
 E-mail: cofa@hamilton.ca

NOTICE OF PUBLIC HEARING Minor Variance

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
- Applicant/agent on file, or
- Person likely to be interested in this application

APPLICATION NO.: AN/A-21:83

APPLICANTS: Cedar Springs Landscape Group c/o Justin Tenhage on behalf of the owner Adrian Bartels

SUBJECT PROPERTY: Municipal address **1627 Jerseyville Rd., Ancaster**

ZONING BY-LAW: Zoning By-law 05-200, as Amended 15-173

ZONING: "A1" (Agriculture (A1) Zone)

PROPOSAL: To permit the construction of an accessory structure in the rear yard of the single detached dwelling currently under construction, notwithstanding,

1. A maximum gross floor area of 258 square metres and a maximum building height of 7.1 metres shall be permitted instead of the maximum permitted gross floor area of 200 square metres and the maximum building height of 6.0 metres.

NOTES:

1. The applicant shall ensure that the proposed building height is provided in accordance with Building Height and Grade as defined within the Zoning By-law.

This application will be heard by the Committee as shown below:

DATE: Thursday, April 1st, 2021
TIME: 1:35 p.m.
PLACE: Via video link or call in (see attached sheet for details)
 To be streamed at
www.hamilton.ca/committeeofadjustment
 for viewing purposes only

PUBLIC INPUT

Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

Orally: If you would like to speak to this item at the hearing you may do so via video link or by calling in. Please see attached page for complete instructions, including deadlines for registering to participate.

AN/A-21: 83
Page 2

MORE INFORMATION

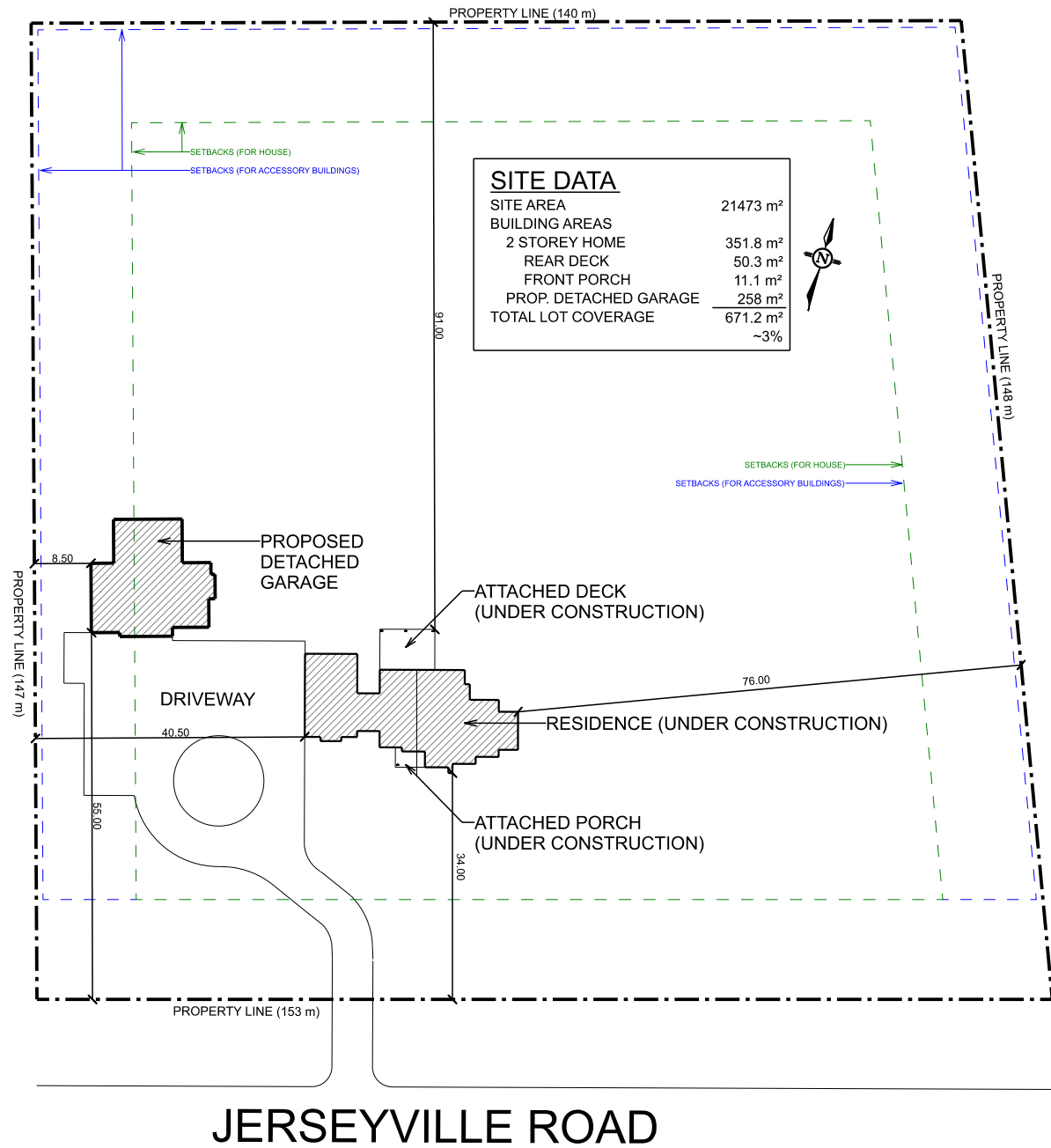
For more information on this matter, including access to drawings illustrating this request:

- Visit www.hamilton.ca/committeeofadjustment
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935
- Email Committee of Adjustment staff at cofa@hamilton.ca

DATED: March 16th, 2021.

Jamila Sheffield,
Secretary-Treasurer
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public.



SITE PLAN

SCALE: 1:1000

JERSEYVILLE ROAD

ELEVATE
HOME DESIGN

BEATTY LINE N • FERGUS • ON
WWW.ELEVATEHOMEDSIGN.CA
ROB@ELEVATEHOMEDSIGN.CA • 519-731-4246

Detached Garage
Adrian & Kerri Bartels
1627 Jerseyville Road
Ancaster, ON

SITE PLAN

PROJECT NO: 20-042
STARTING DATE: Apr 9, 2020
LAST REVISION DATE: Feb 22, 2021
DRAWN BY:

A7

SCALE: 1:1000

THESE DRAWINGS ARE THE PROPERTY OF ELEVATE HOME DESIGN INC. AND ARE NOT BE LOANED, REPRODUCED, COPIED, OR IN ANY MANNER EXPRESS OR IMPLIED, WITHOUT THE WRITTEN CONSENT OF ELEVATE HOME DESIGN INC. ALL CONSTRUCTION IS TO CONFORM TO THE ONTARIO BUILDING CODE, AS AMENDED. REGARDLESS OF DRAWING DETAILS.



FRONT ELEVATION
 SCALE: 1/8" = 1'-0"



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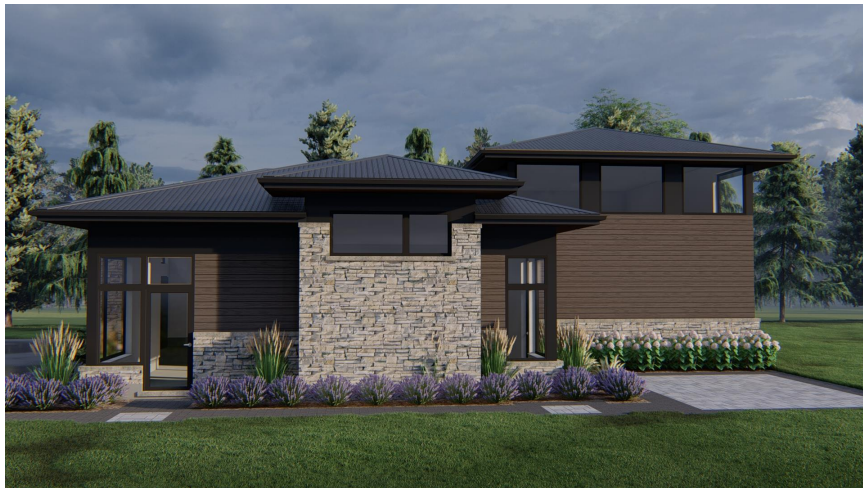
FRONT ELEVATION

PROJECT NO: 20-042
 STARTING DATE: Apr 9, 2020
 LAST REVISION DATE: Feb 22, 2021
 DRAWN BY:

A3

SCALE: 1/8" = 1'-0"

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Ancaster, ON

3D CONCEPT

PROJECT NO: 20-042
STARTING DATE: Apr 9, 2020
LAST REVISION DATE: Feb 22, 2021
DRAWN BY:

A1

SCALE: As Noted

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FRONT ELEVATION
 SCALE: 1/8" = 1'-0"



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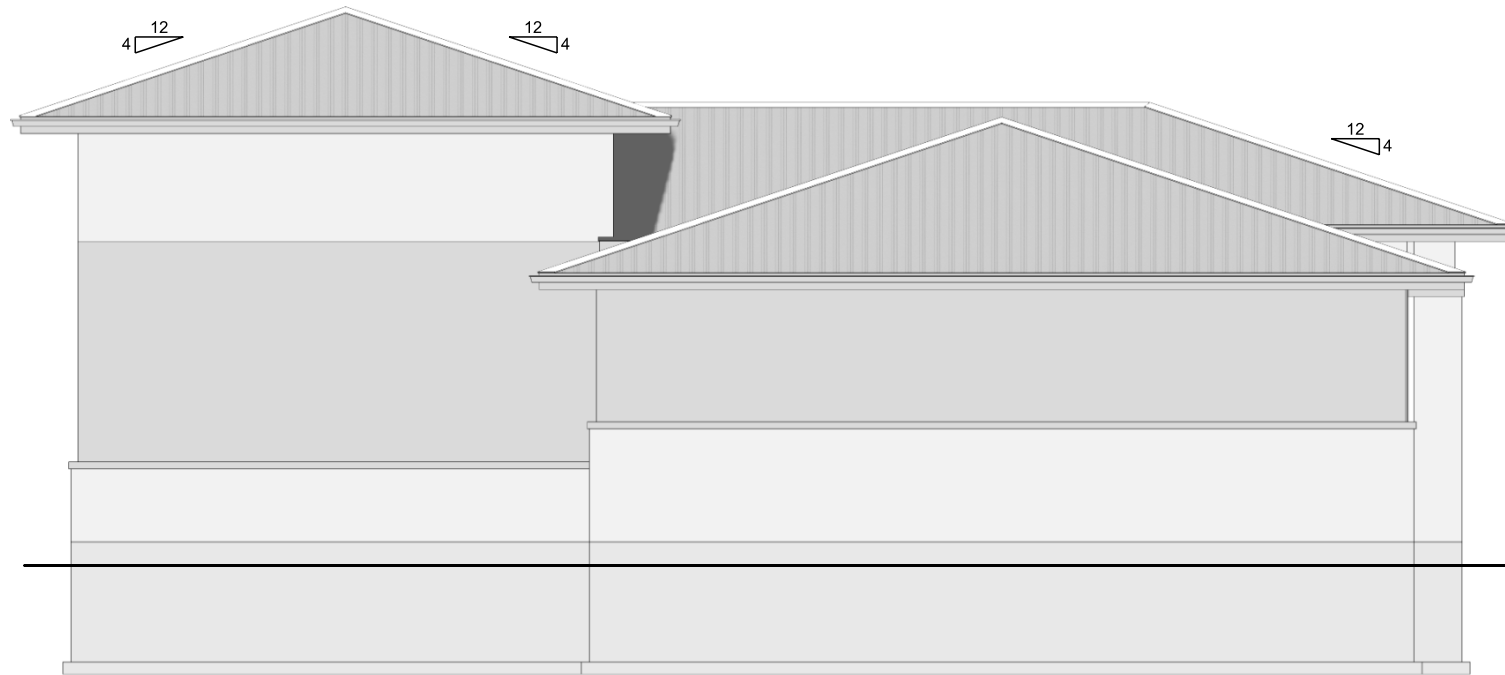
FRONT ELEVATION

PROJECT NO: 20-042
 STARTING DATE: Apr 9, 2020
 LAST REVISION DATE: Feb 22, 2021
 DRAWN BY:

A3

SCALE: 1/8" = 1'-0"

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LEFT ELEVATION

SCALE: 1/8" = 1'-0"



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 1627 Jerseyville Road
 Ancaster, ON

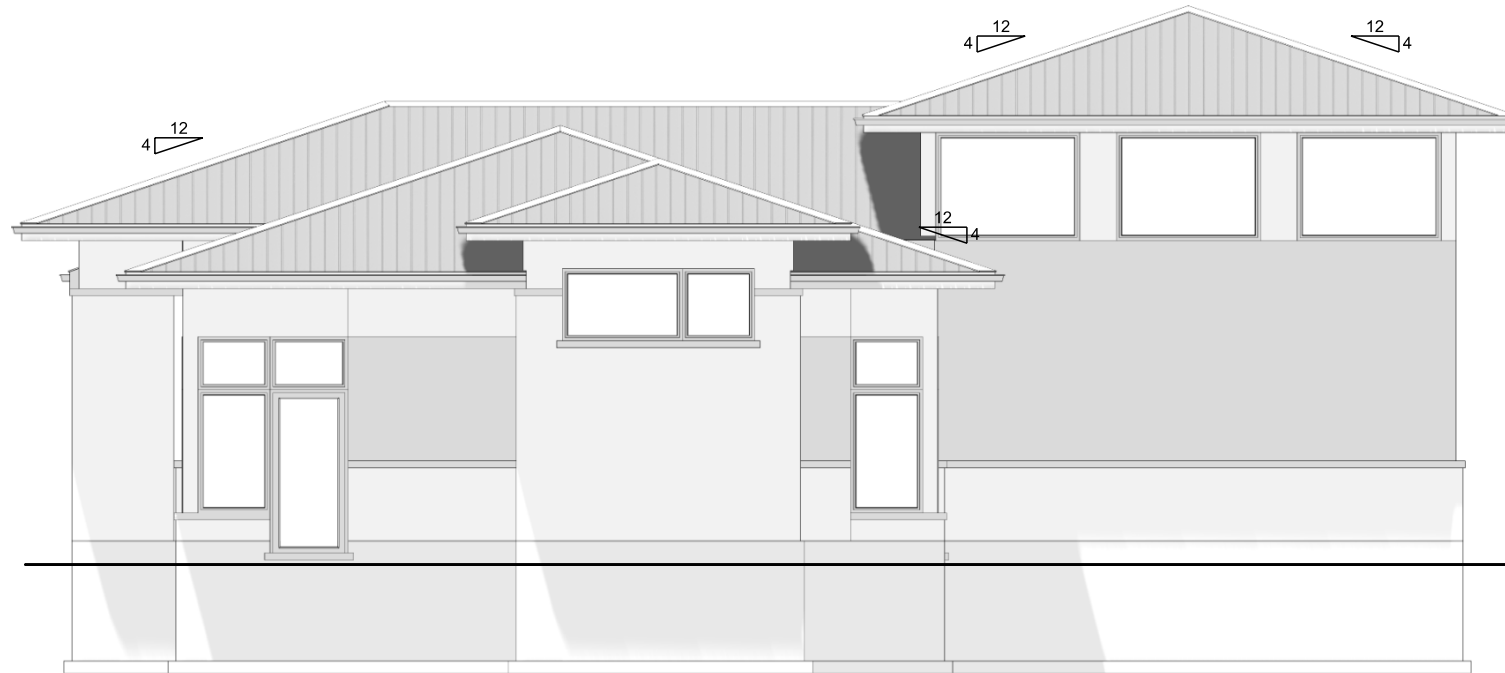
LEFT ELEVATION

PROJECT NO: 20-042
 STARTING DATE: Apr 9, 2020
 LAST REVISION DATE: Feb 22, 2021
 DRAWN BY:

SCALE: 1/8" = 1'-0"

A4

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RIGHT ELEVATION

SCALE: 1/8" = 1'-0"



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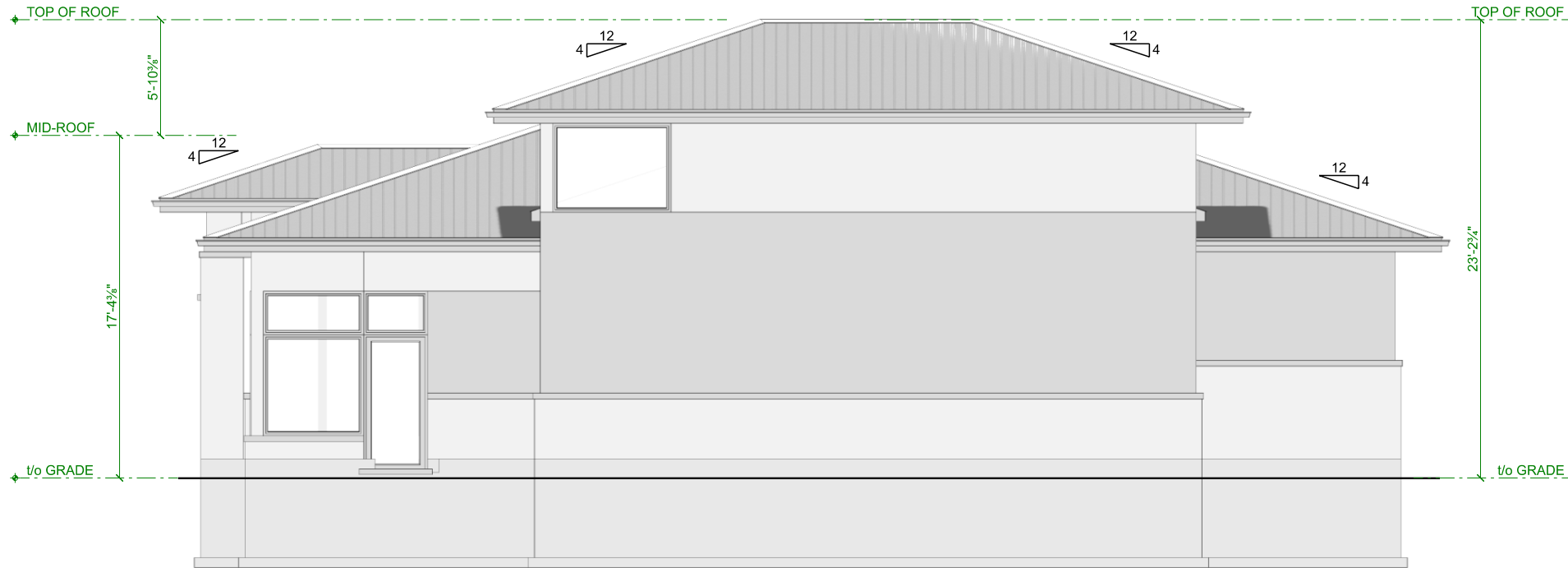
RIGHT ELEVATION

PROJECT NO: 20-042
STARTING DATE: Apr 9, 2020
LAST REVISION DATE: Feb 22, 2021
DRAWN BY:

SCALE: 1/8" = 1'-0"

A5

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REAR ELEVATION

SCALE: 1/8" = 1'-0"



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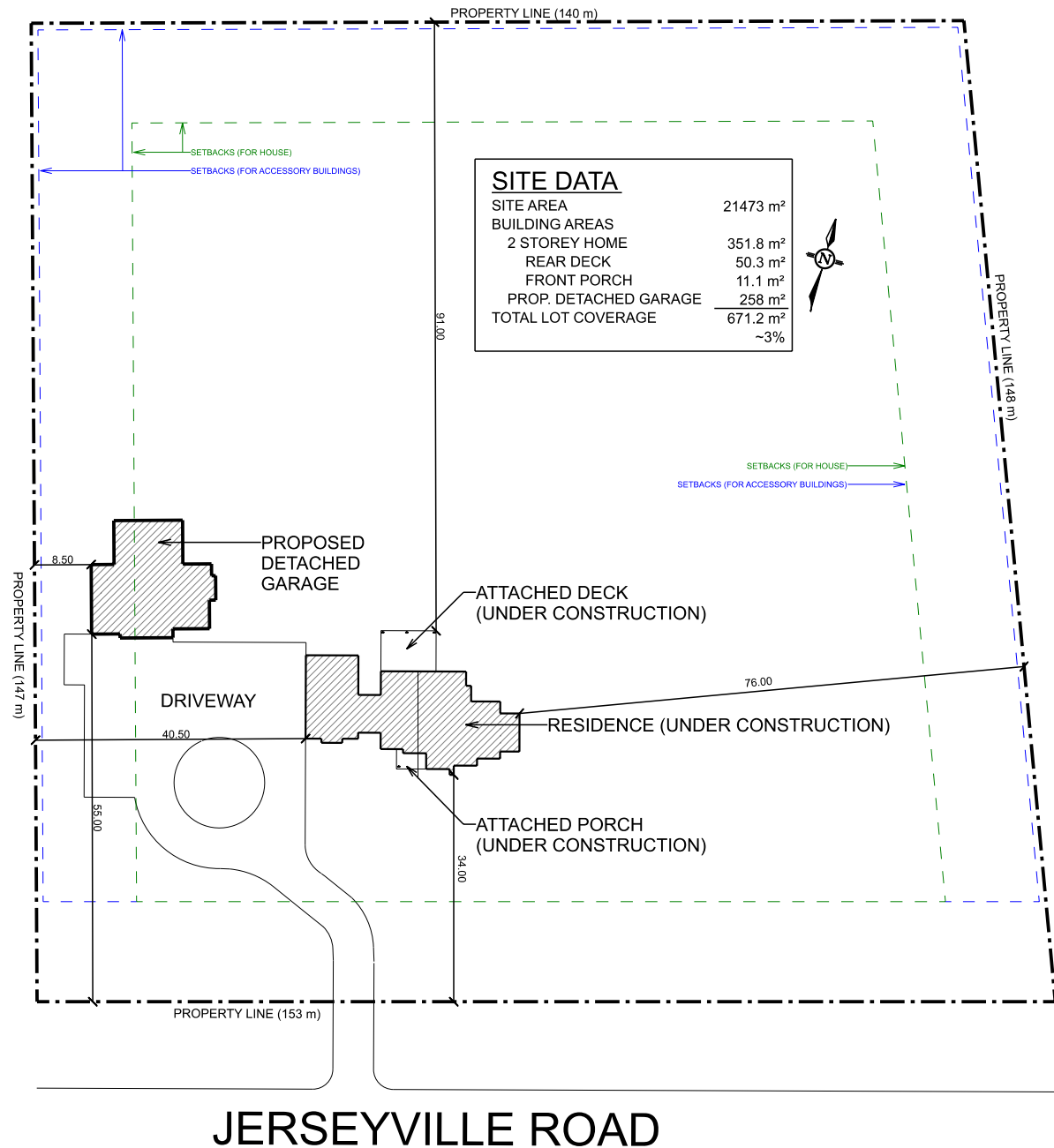
REAR ELEVATION

PROJECT NO: 20-042
STARTING DATE: Apr 9, 2020
LAST REVISION DATE: Feb 22, 2021
DRAWN BY:

A6

SCALE: 1/8" = 1'-0"

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SITE DATA	
SITE AREA	21473 m ²
BUILDING AREAS	351.8 m ²
2 STOREY HOME	50.3 m ²
REAR DECK	11.1 m ²
FRONT PORCH	258 m ²
PROP. DETACHED GARAGE	671.2 m ²
TOTAL LOT COVERAGE	~3%



SITE PLAN

SCALE: 1:1000

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SITE PLAN

PROJECT NO: 20-042
STARTING DATE: Apr 9, 2020
LAST REVISION DATE: Feb 22, 2021
DRAWN BY:

A7

SCALE: 1:1000

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Committee of Adjustment

City Hall, 5th Floor,
71 Main St. W.,
Hamilton, ON L8P4Y5



Hamilton

Phone: (905) 546-2424 ext. 4221

Email: cofa@hamilton.ca

APPLICATION FOR A MINOR VARIANCE

FOR OFFICE USE ONLY.

APPLICATION NO. _____ DATE APPLICATION RECEIVED _____

PAID _____ DATE APPLICATION DEEMED COMPLETE _____

SECRETARY'S SIGNATURE _____

The Planning Act

Application for Minor Variance or for Permission

The undersigned hereby applies to the Committee of Adjustment for the City of Hamilton under Section 45 of the *Planning Act*, R.S.O. 1990, Chapter P.13 for relief, as described in this application, from the Zoning By-law.

1, 2	NAME	ADDRESS
Registered Owners(s)	Adrian Bartels	
Applicant(s)*	Adrian Bartels	
Agent or Solicitor	Cedar Springs Landscape Group - Justin Tenhage	

Note: Unless otherwise requested all communications will be sent to the agent, if any.

3. Names and addresses of any mortgagees, holders of charges or other encumbrances:

Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled

4. Nature and extent of relief applied for:

Relief from Zoning By-law No. 05-200 - 4.8.2 - maximum 5% lot coverage for accessory buildings & structure, to a maximum gross floor area of 200 square metres. Proposed accessory building would have a gross floor area of 258 square metres.

5. Why it is not possible to comply with the provisions of the By-law?

The proposed accessory building designs are required to be larger than 200 square metres in order to incorporate a functional indoor squash court in addition to the desired garage size.

6. Legal description and Address of subject lands (registered plan number and lot number or other legal description and where applicable, **street and street number**):

PT LT 27, CON 2 ANCASTER, PART 1, 62R11665;; CITY OF HAMILTON

7. PREVIOUS USE OF PROPERTY

Residential Industrial Commercial

Agricultural Vacant

Other _____

8.1 If Industrial or Commercial, specify use N/A

8.2 Has the grading of the subject land been changed by adding earth or other material, i.e. has filling occurred?

Yes No Unknown

8.3 Has a gas station been located on the subject land or adjacent lands at any time?

Yes No Unknown

8.4 Has there been petroleum or other fuel stored on the subject land or adjacent lands?

Yes No Unknown

8.5 Are there or have there ever been underground storage tanks or buried waste on the subject land or adjacent lands?

Yes No Unknown

8.6 Have the lands or adjacent lands ever been used as an agricultural operation where cyanide products may have been used as pesticides and/or sewage sludge was applied to the lands?

Yes No Unknown

8.7 Have the lands or adjacent lands ever been used as a weapon firing range?

Yes No Unknown

8.8 Is the nearest boundary line of the application within 500 metres (1,640 feet) of the fill area of an operational/non-operational landfill or dump?

Yes No Unknown

8.9 If there are existing or previously existing buildings, are there any building materials remaining on site which are potentially hazardous to public health (eg. asbestos, PCB's)?

Yes No Unknown

8.10 Is there any reason to believe the subject land may have been contaminated by former uses on the site or adjacent sites?

Yes No Unknown

8.11 What information did you use to determine the answers to 9.1 to 9.10 above?

Historical Site Documentation

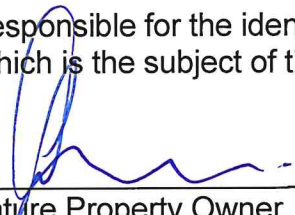
8.12 If previous use of property is industrial or commercial or if YES to any of 9.2 to 9.10, a previous use inventory showing all former uses of the subject land, or if appropriate, the land adjacent to the subject land, is needed.

Is the previous use inventory attached? Yes No

9. ACKNOWLEDGEMENT CLAUSE

I acknowledge that the City of Hamilton is not responsible for the identification and remediation of contamination on the property which is the subject of this Application – by reason of its approval to this Application.

22 Feb, 2021
Date


Signature Property Owner

Adrian Bartels
Print Name of Owner

10. Dimensions of lands affected:

Frontage	152.40 m
Depth	145.39 m
Area	21,473 sq.m
Width of street	7.5 m +/-

11. Particulars of all buildings and structures on or proposed for the subject lands: (Specify ground floor area, gross floor area, number of stories, width, length, height, etc.)

Existing:
N/A

Proposed
Single family dwelling: 351.8 sq.m
Rear deck: 50.3 sq.m
Front porch: 11.1 sq.m

Detached garage (this variance): 258 sq.m

12. Location of all buildings and structures on or proposed for the subject lands; (Specify distance from side, rear and front lot lines)

Existing:
N/A

Proposed:
Single family dwelling: 351.8 sq.m
Rear deck: 50.3 sq.m
Front porch: 11.1 sq.m

Detached garage (this variance): 258 sq.m

13. Date of acquisition of subject lands:
Feb 18, 2021
-
14. Date of construction of all buildings and structures on subject lands:
Currently under construction
-
15. Existing uses of the subject property:
Previously residential dwelling. New single family dwelling under construction
16. Existing uses of abutting properties:
Agricultural
17. Length of time the existing uses of the subject property have continued:
Unknown
18. Municipal services available: (check the appropriate space or spaces)
Water No Connected No
Sanitary Sewer No Connected No
Storm Sewers No
19. Present Official Plan/Secondary Plan provisions applying to the land:
20. Present Restricted Area By-law (Zoning By-law) provisions applying to the land:
Zoning By-law No. 05-200 - Agricultural (A1) Zone
21. Has the owner previously applied for relief in respect of the subject property?
 Yes No
If the answer is yes, describe briefly.
N/A
22. Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?
 Yes No
23. Additional Information
N/A
24. The applicant shall attach to each copy of this application a plan showing the dimensions of the subject lands and of all abutting lands and showing the location, size and type of all buildings and structures on the subject and abutting lands, and where required by the Committee of Adjustment such plan shall be signed by an Ontario Land Surveyor.



Hamilton

COMMITTEE OF ADJUSTMENT

City Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5
 Telephone (905) 546-2424, ext. 4221, 3935 Fax (905) 546-4202
 E-mail: cofa@hamilton.ca

NOTICE OF PUBLIC HEARING
Minor Variance

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
- Applicant/agent on file, or
- Person likely to be interested in this application

APPLICATION NO.: FL/A-21:15

APPLICANTS: Kevin Webster on behalf of the owners E. Kovaltchouk & T. Courvoisier

SUBJECT PROPERTY: Municipal address **252 6th Conc. Rd. W., Flamborough**

ZONING BY-LAW: Zoning By-law 05-200, as Amended by By-law 15-173

ZONING: "S1" (Settlement Residential) district

PROPOSAL: To permit the construction of a new 1½ single detached dwelling and a proposed 1 storey accessory building notwithstanding that;

1. A maximum gross floor area of 279 m² shall be provided instead of the maximum permitted 97.0 m²; and
2. A maximum 6.0 m building height shall be provided instead of the regulation in the By-Law which states that buildings accessory to a residential use shall have a maximum building height of 5.0 m; and
3. A maximum 3.7 m height to the underside roof overhang shall be provided instead of the maximum permitted 3.0 m; and
4. A minimum rear yard setback of 3.0 m shall be provided instead of the minimum required 7.5 m.

Notes:

No accessory building shall be used for human habitation.

This application will be heard by the Committee as shown below:

DATE: Thursday, February 18th, 2021
TIME: 2:30 p.m.
PLACE: Via video link or call in (see attached sheet for details)
 To be streamed at
www.hamilton.ca/committeeofadjustment
 for viewing purposes only

PUBLIC INPUT

Written: If you would like to submit written comments to the Committee of Adjustment you
 .../2

FL/A-21: 15
Page 2

may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

Orally: If you would like to speak to this item at the hearing you may do so via video link or by calling in. Please see attached page for complete instructions, including deadlines for registering to participate.

MORE INFORMATION

For more information on this matter, including access to drawings illustrating this request:

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- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935
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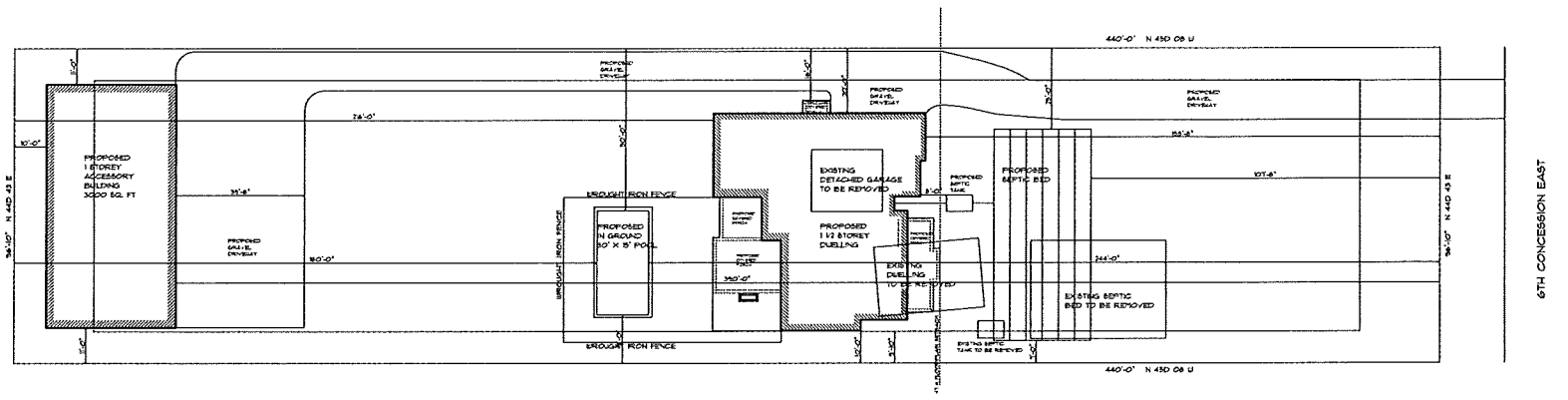
DATED: February 2nd, 2021.

Jamila Sheffield,
Secretary-Treasurer
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public.

RECEIVED
CONSERVATION
HALTON
NOV 23 2020

HALTON REGION CONSERVATION AUTHORITY
 APPROVED BY: *[Signature]*
 DATE: 2020-12-03
 Subject to the conditions provided on
 PERMIT No.: 7659



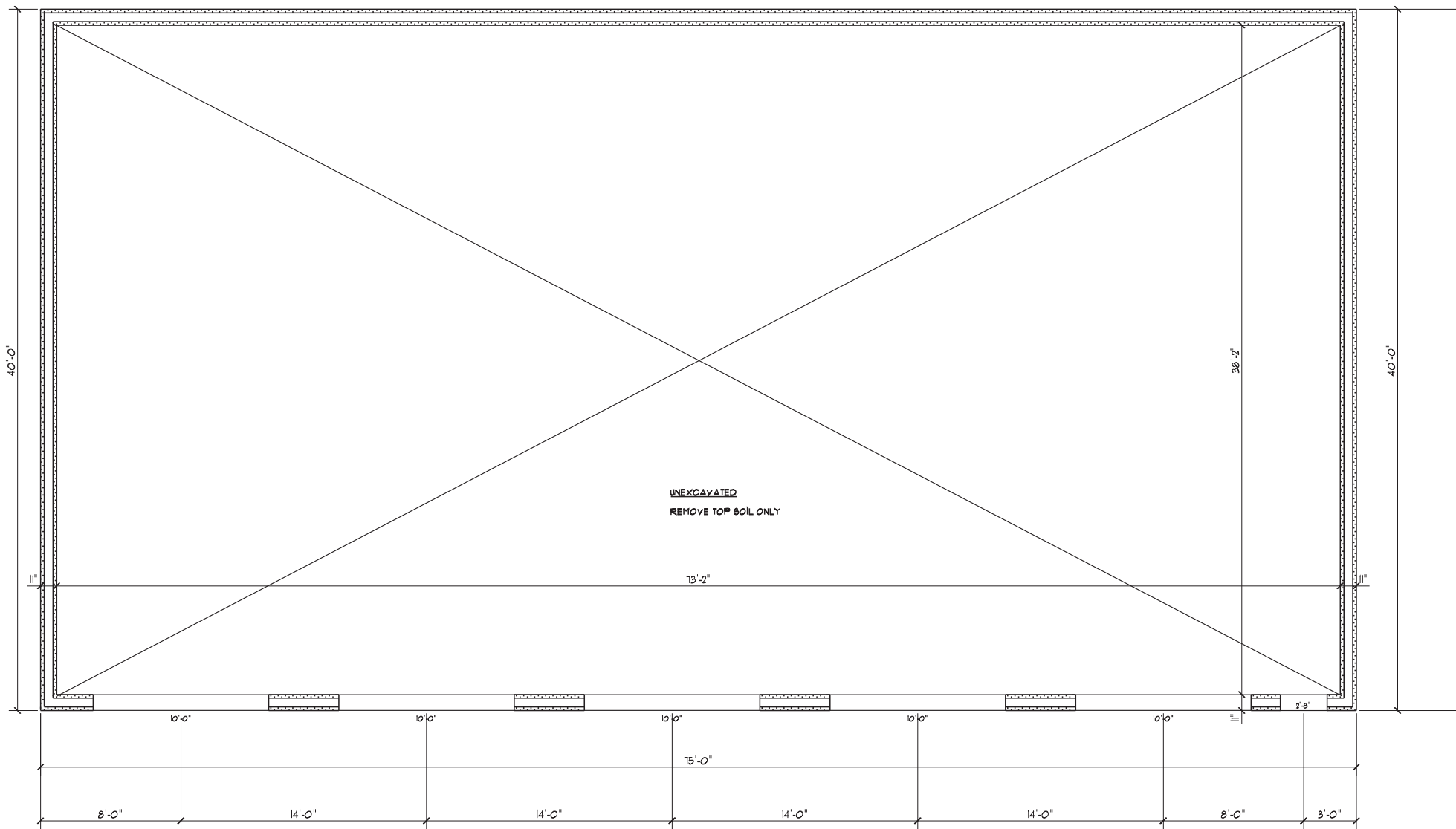
SITE PLAN
SCALE: 1" = 20'-0"

REVISIONS	NO.	DESCRIPTION	DATE	BY
1		ISSUED FOR CONSERVATION		

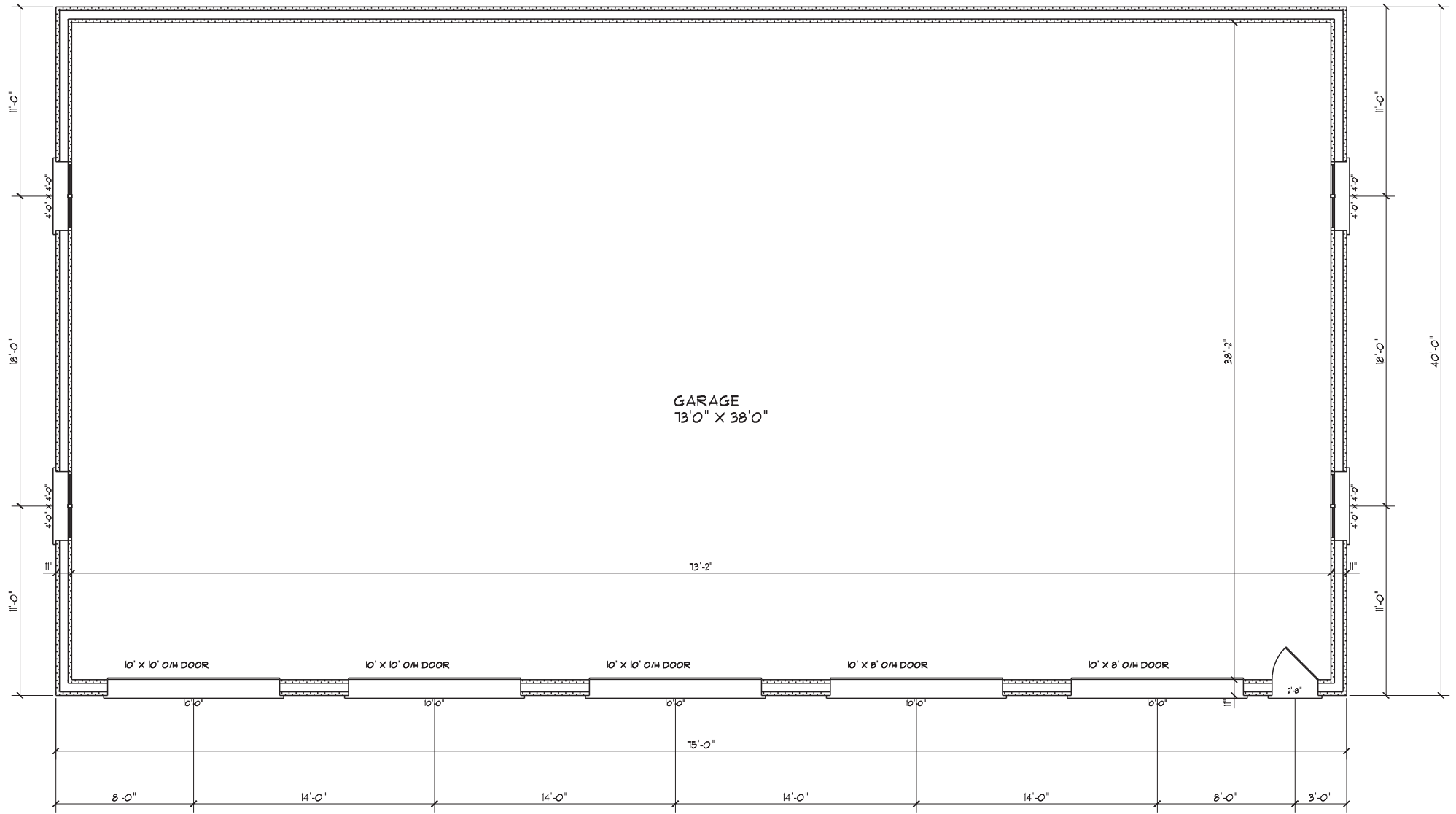
44 PENTLAND RD.
WATERDOWN, ONT.
L0R 2H5
905.639.2009
kevin@kwdesigns.ca

KEVIN WEBSTER
DESIGNS INC.

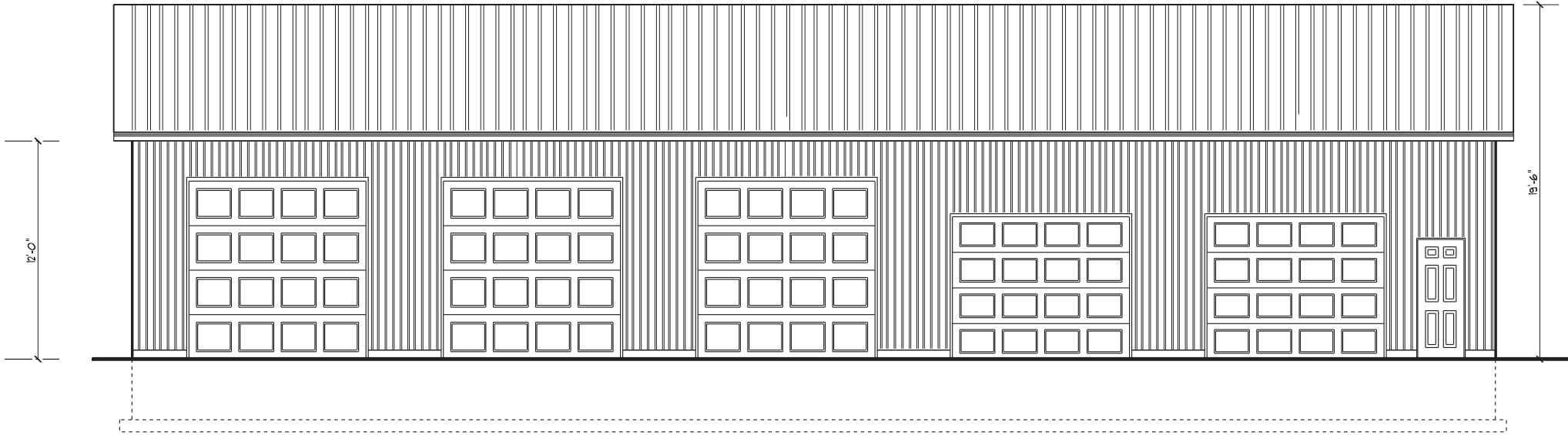
PROJECT NO. 2020B1	DRAWN BY KJW	CHECKED BY KJW
DATE NOV 10/20	PROJECT NAME 252 6TH CONC. RD. EAST FLAMBOROUGH, ONT.	
PAGE NO. 5/1		



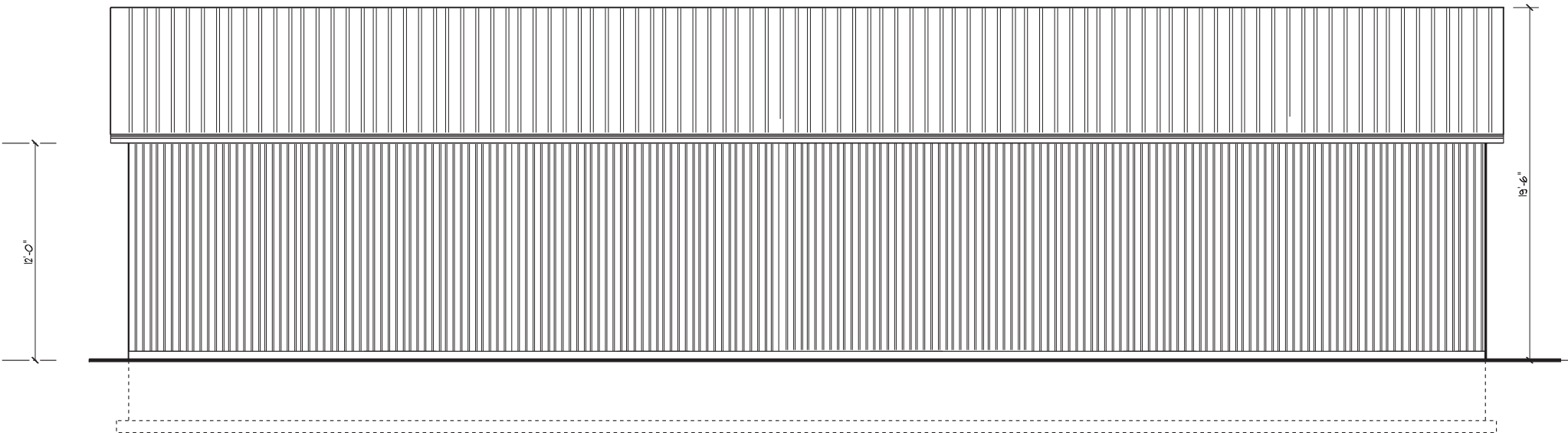
FOUNDATION PLAN



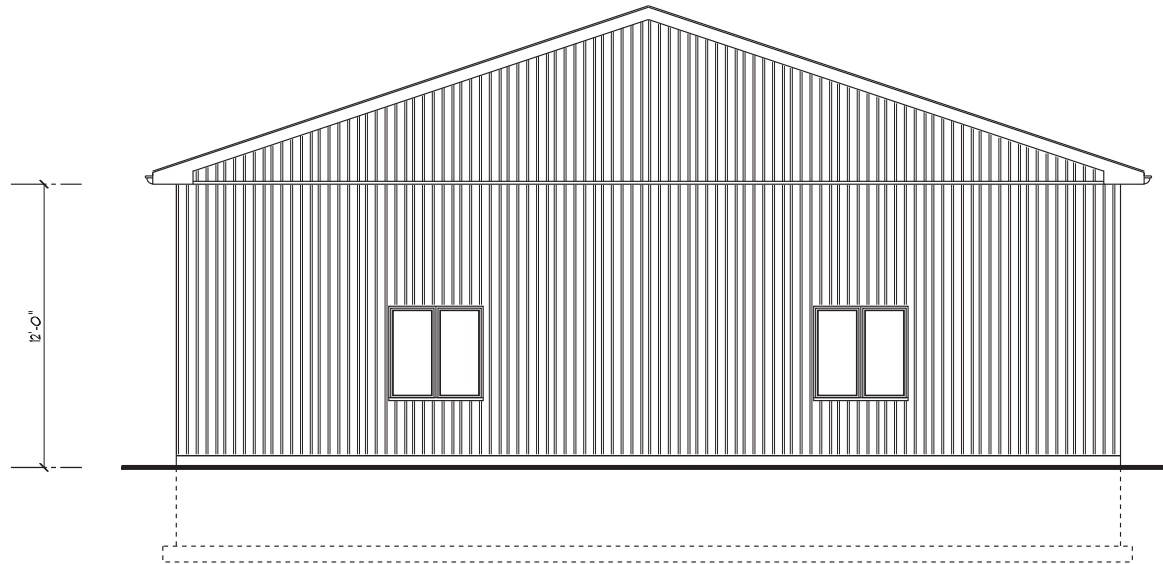
GROUND FLOOR PLAN
3000 SQ. FT.



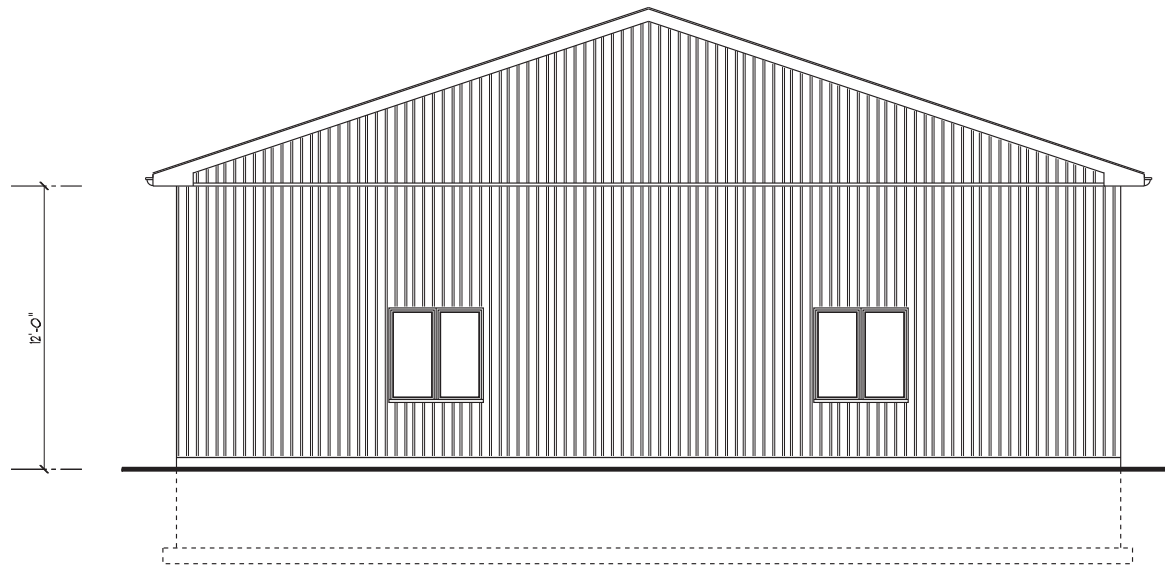
FRONT ELEVATION



REAR ELEVATION



LEFT ELEVATION



RIGHT ELEVATION



Hamilton

COMMITTEE OF ADJUSTMENT

City Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5
 Telephone (905) 546-2424, ext. 4221, 3935 Fax (905) 546-4202
 E-mail: cofa@hamilton.ca

NOTICE OF PUBLIC HEARING
Minor Variance

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
- Applicant/agent on file, or
- Person likely to be interested in this application

APPLICATION NO.: HM/A-21:77

APPLICANTS: Len Angelici on behalf of the owner Leanne Stephenson

SUBJECT PROPERTY: Municipal address **101 Walnut St. S., Hamilton**

ZONING BY-LAW: Zoning By-law 6593, as Amended

ZONING: "L-mr-2" (Planned Development) district

PROPOSAL: To permit the existing one half of a semi-detached dwelling to be converted to contain a maximum of two (2) dwelling units notwithstanding that;

1. The proposed conversion into a two-family dwelling is a use not permitted within the current zoning designation; and
2. No parking shall be provided on site instead of the minimum required 1 space per Class A dwelling unit.

Note:

Please note that there are no regulations for a semi-detached dwelling or a conversion from a single-family dwelling into a two (2) family dwelling.

The new proposed use is not permitted in the L-mr-2 Zone.

Variances have been written as requested by the applicant.

This application will be heard by the Committee as shown below:

DATE: Thursday, April 1st, 2021
TIME: 1:45 p.m.
PLACE: Via video link or call in (see attached sheet for details)
 To be streamed at
www.hamilton.ca/committeeofadjustment
 for viewing purposes only

PUBLIC INPUT

Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

HM/A-21: 77
Page 2

Orally: If you would like to speak to this item at the hearing you may do so via video link or by calling in. Please see attached page for complete instructions, including deadlines for registering to participate.

MORE INFORMATION

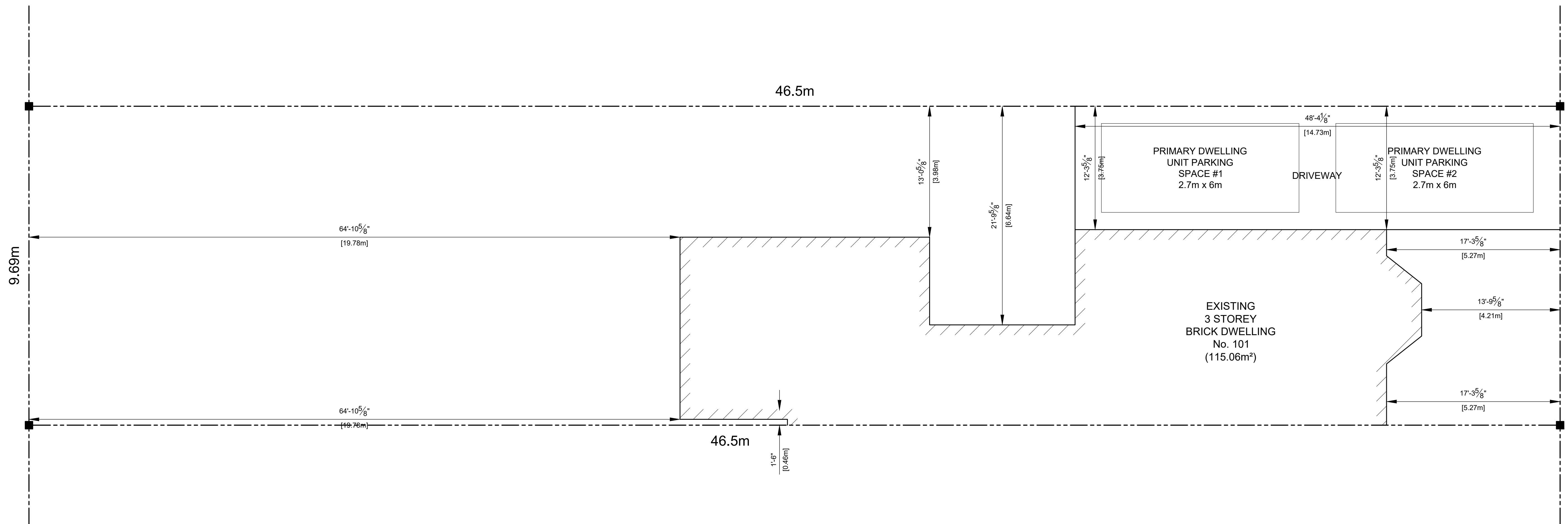
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- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935
- Email Committee of Adjustment staff at cofa@hamilton.ca

DATED: March 16th, 2021.

Jamila Sheffield,
Secretary-Treasurer
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public.



SITE DATA	
ZONE:	LMR-2
LOT AREA:	450.59m ²
EXISTING DWELLING FOOTPRINT:	115.06m ²
LOT COVERAGE:	25.5%
BUILDING HEIGHT	
No. of STOREYS:	3
SETBACKS	
FRONT:	4.21m
REAR:	19.78m
LEFT SIDE:	0.46m
RIGHT SIDE:	3.75m

PROJECT NORTH	TRUE NORTH

No.	REVISION	DATE
01.	DRAWINGS FOR PERMIT REVIEW	02/19/2021

- ALL CONTRACTORS AND/OR TRADES SHALL VERIFY ALL DIMENSIONS, NOTES, SITE AND REPORT ANY DISCREPANCIES PRIOR TO THE COMMENCEMENT OF WORK.
- THIS DRAWING IS NOT TO BE SCALED. ALL DRAWINGS, PRINTS AND RELATED DOCUMENTS ARE THE PROPERTY OF LEN ANGELICI DESIGN AND MUST BE RETURNED UPON REQUEST.
- REPRODUCTION OF DRAWINGS AND RELATED DOCUMENTS IN PART OR IN WHOLE IS STRICTLY PROHIBITED WITHOUT WRITTEN CONSENT OF LEN ANGELICI DESIGN.
- CONTRACTOR SHALL REVIEW ALL DRAWINGS PRIOR TO COMMENCING CONSTRUCTION FOR ANY ERRORS OR OMISSIONS.
- LEN ANGELICI DESIGN IS NOT RESPONSIBLE FOR THE DESIGN OR PRE-ENGINEERED TRUSSES OR ANY PRE-ENGINEERED PRODUCTS.
- LEN ANGELICI DESIGN IS NOT RESPONSIBLE FOR HEATING, PLUMBING, OR ELECTRICAL DRAWINGS.
- DRAWING MAY NOT BE CHANGED, ALTERED OR COPIED WITHOUT WRITTEN CONSENT OF LEN ANGELICI DESIGN. FAILURE TO COMPLY WITH THIS STATEMENT IS NOT THE RESPONSIBILITY OF LEN ANGELICI DESIGN.
- LEN ANGELICI DESIGN IS NOT RESPONSIBLE FOR POOR CONSTRUCTION PRACTICES.

SEAL

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION	
LEONARD ANGELICI	42391
NAME	BCIN
REGISTRATION INFORMATION	
LEN ANGELICI DESIGN	43162
NAME	BCIN
02/19/2021	
DATE	SIGNATURE

Len Angelici Design

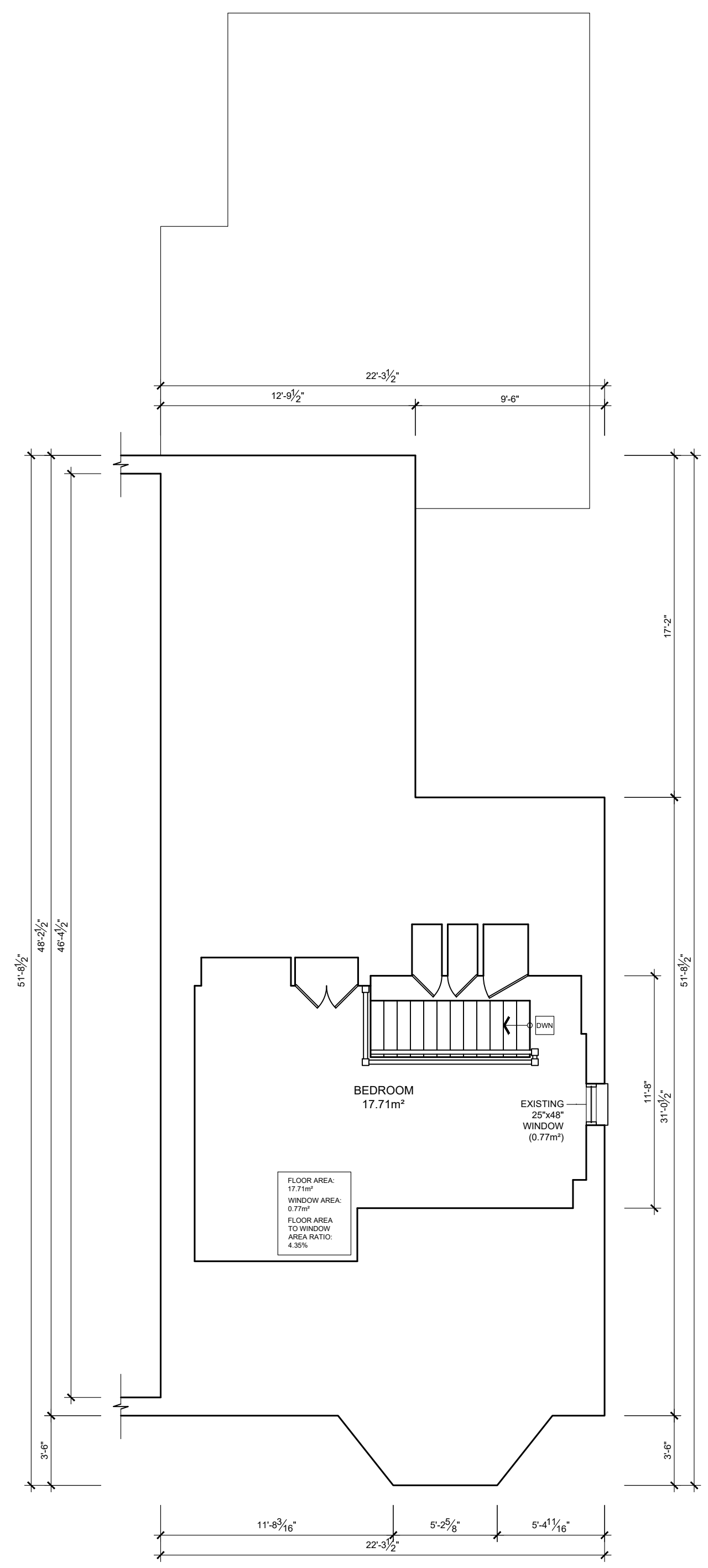
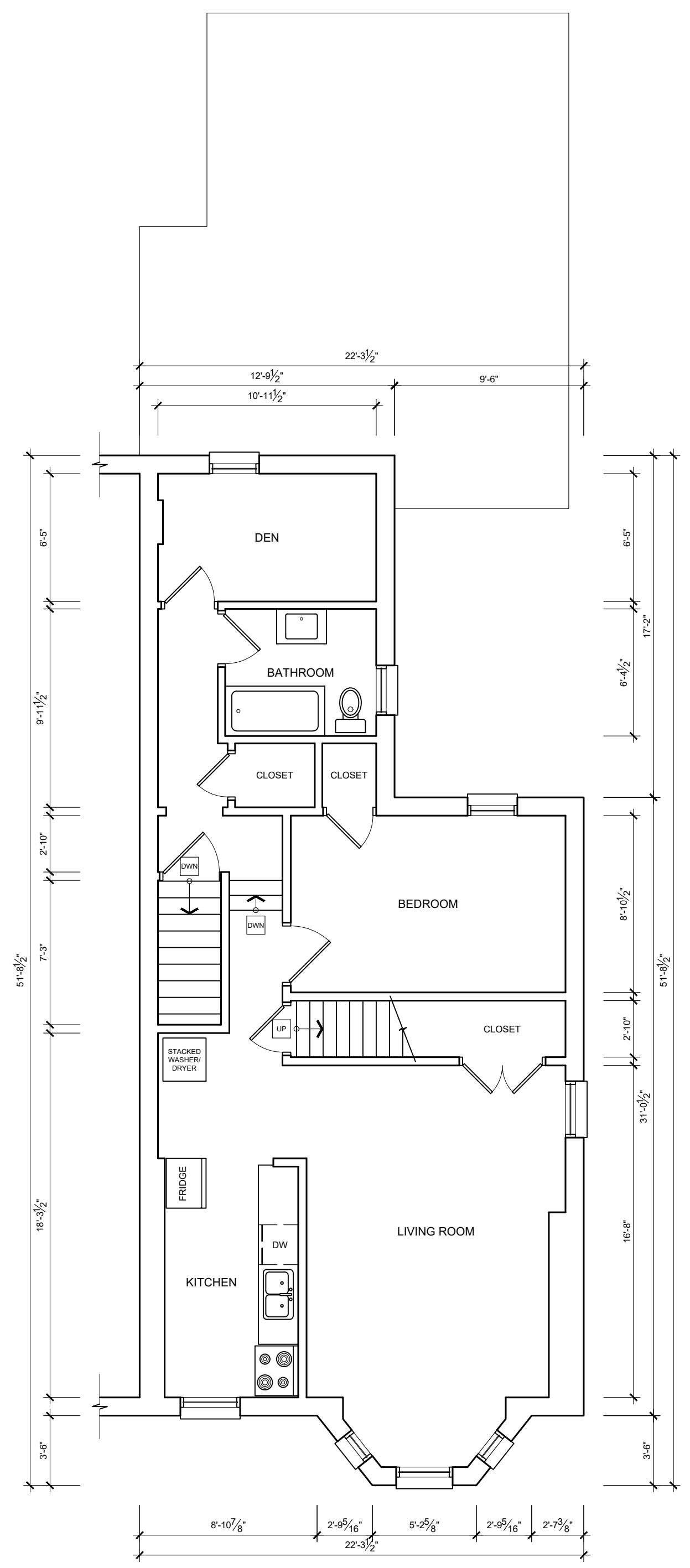
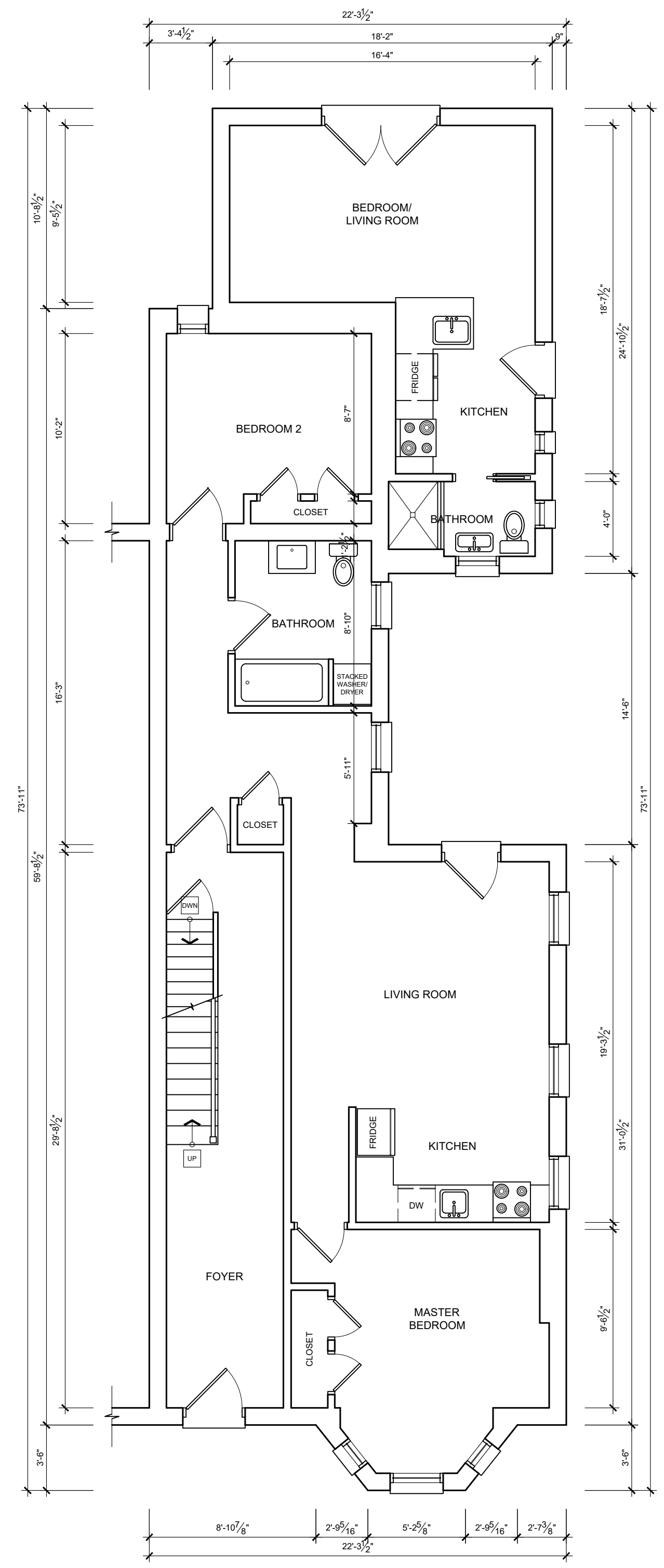
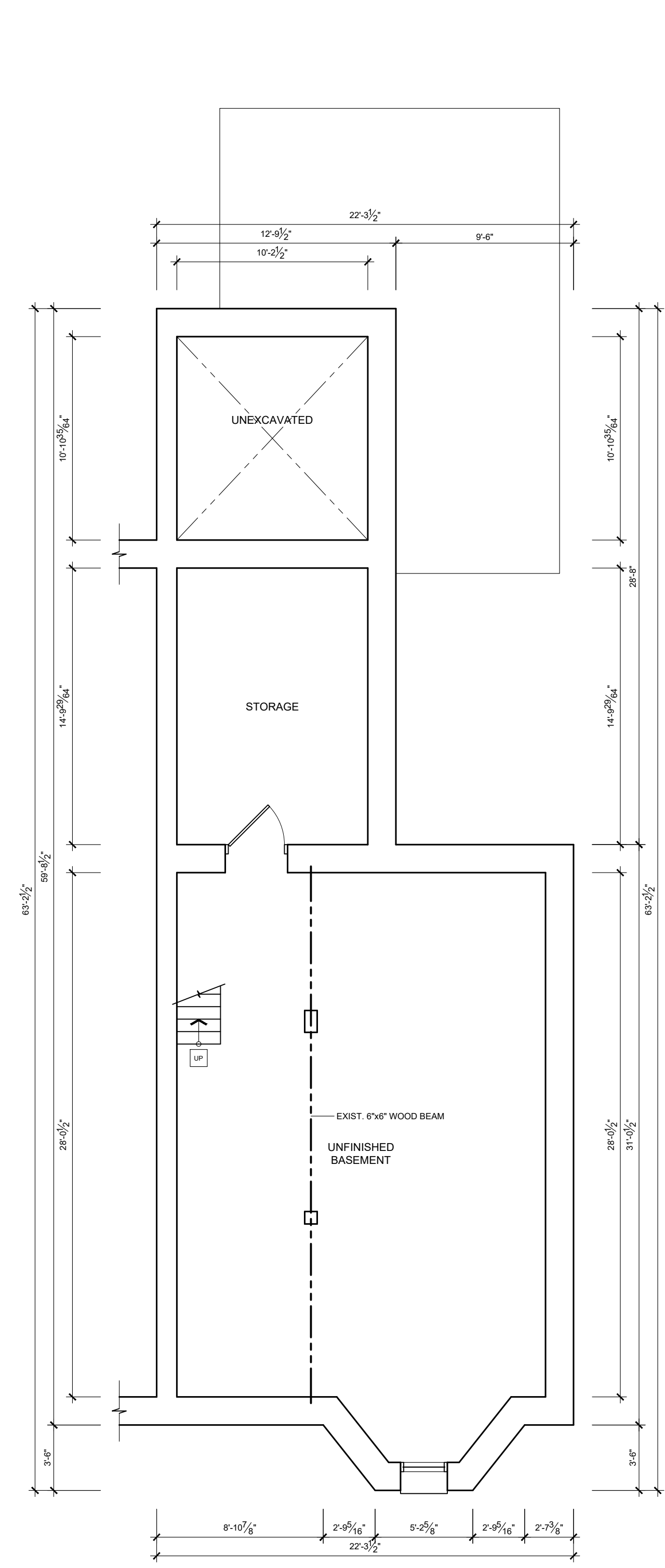
1 YOUNG STREET, UNIT 777
 HAMILTON, ON L8N 1T8
 (905) 393-8868
 info@lenangelicidesign.ca

PROJECT
 PROPOSED RESIDENCE
101 WALNUT ST S
 HAMILTON, ON

SHEET TITLE
SITE PLAN

DRAWN BY	L. ANGELICI
DATE	02/19/2021
SCALE	3/8"=1'-0"
PROJECT No.	2021-001

SP1



PROJECT NORTH	TRUE NORTH

No.	REVISION	DATE
01.	DRAWINGS FOR PERMIT REVIEW	02/19/2021

1. ALL CONTRACTORS AND/OR TRADES SHALL VERIFY ALL DIMENSIONS, NOTES, SITE AND REPORT ANY DISCREPANCIES PRIOR TO THE COMMENCEMENT OF WORK.
2. THIS DRAWING IS NOT TO BE SCALED. ALL DRAWINGS, PRINTS AND RELATED DOCUMENTS ARE THE PROPERTY OF LEN ANGELICI DESIGN AND MUST BE RETURNED UPON REQUEST.
3. REPRODUCTION OF DRAWINGS AND RELATED DOCUMENTS IN PART OR IN WHOLE IS STRICTLY PROHIBITED WITHOUT WRITTEN CONSENT OF LEN ANGELICI DESIGN.
4. CONTRACTOR SHALL REVIEW ALL DRAWINGS PRIOR TO COMMENCING CONSTRUCTION FOR ANY ERRORS OR OMISSIONS.
5. LEN ANGELICI DESIGN IS NOT RESPONSIBLE FOR THE DESIGN OR PRE-ENGINEERED TRUSSES OR ANY PRE-ENGINEERED PRODUCTS.
6. LEN ANGELICI DESIGN IS NOT RESPONSIBLE FOR HEATING, PLUMBING, OR ELECTRICAL DRAWINGS.
7. DRAWING MAY NOT BE CHANGED, ALTERED OR COPIED WITHOUT WRITTEN CONSENT OF LEN ANGELICI DESIGN. FAILURE TO COMPLY WITH THIS STATEMENT IS NOT THE RESPONSIBILITY OF LEN ANGELICI DESIGN.
8. LEN ANGELICI DESIGN IS NOT RESPONSIBLE FOR POOR CONSTRUCTION PRACTICES.

SEAL

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION

LEONARD ANGELICI	42391
NAME	BCN

REGISTRATION INFORMATION

LEN ANGELICI DESIGN	43162
NAME	BCN

02/19/2021
DATE SIGNATURE

Len Angelici Design

1 YOUNG STREET, UNIT 777
HAMILTON, ON L8N 1T8
(905) 393-8868
info@lenangelicidesign.ca

PROJECT
PROPOSED RESIDENCE
101 WALNUT ST S
HAMILTON, ON

SHEET TITLE
EXISTING FLOOR PLANS

DRAWN BY	L. ANGELICI
DATE	02/19/2021
SCALE	3/16"=1'-0"
PROJECT No.	2021-001

A1

PROJECT NORTH	TRUE NORTH

01.	DRAWINGS FOR PERMIT REVIEW	02/19/2021
No.	REVISION	DATE

- ALL CONTRACTORS AND/OR TRADES SHALL VERIFY ALL DIMENSIONS, NOTES, SITE AND REPORT ANY DISCREPANCIES PRIOR TO THE COMMENCEMENT OF WORK.
- THIS DRAWING IS NOT TO BE SCALED. ALL DRAWINGS, PRINTS AND RELATED DOCUMENTS ARE THE PROPERTY OF LEN ANGELICI DESIGN AND MUST BE RETURNED UPON REQUEST.
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- CONTRACTOR SHALL REVIEW ALL DRAWINGS PRIOR TO COMMENCING CONSTRUCTION FOR ANY ERRORS OR OMISSIONS.
- LEN ANGELICI DESIGN IS NOT RESPONSIBLE FOR THE DESIGN OR PRE-ENGINEERED TRUSSES OR ANY PRE-ENGINEERED PRODUCTS.
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- LEN ANGELICI DESIGN IS NOT RESPONSIBLE FOR POOR CONSTRUCTION PRACTICES.

SEAL	

QUALIFICATION INFORMATION	
LEONARD ANGELICI	42391
NAME	BCIN
REGISTRATION INFORMATION	
LEN ANGELICI DESIGN	43162
NAME	BCIN
02/19/2021	SIGNATURE
DATE	

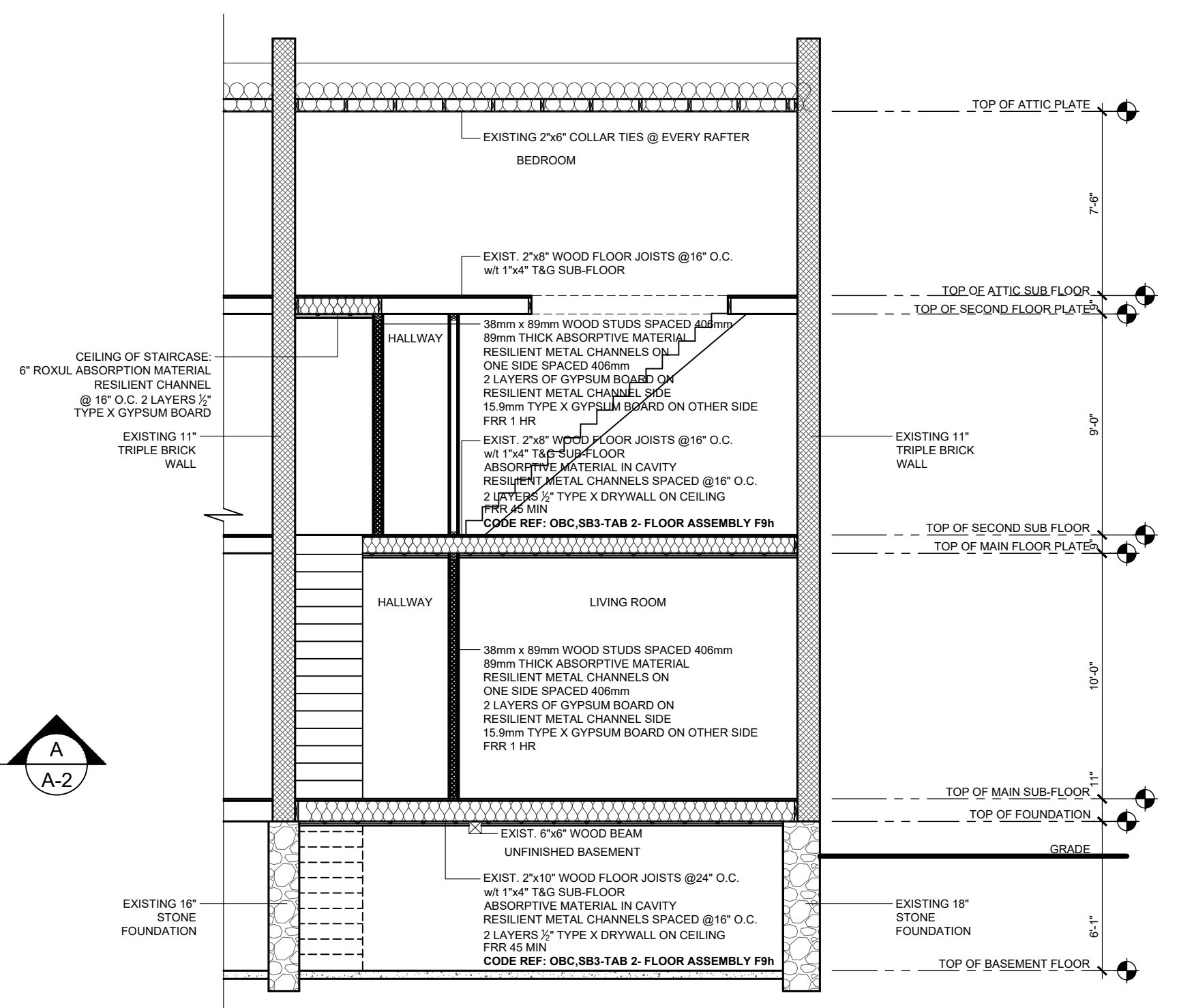
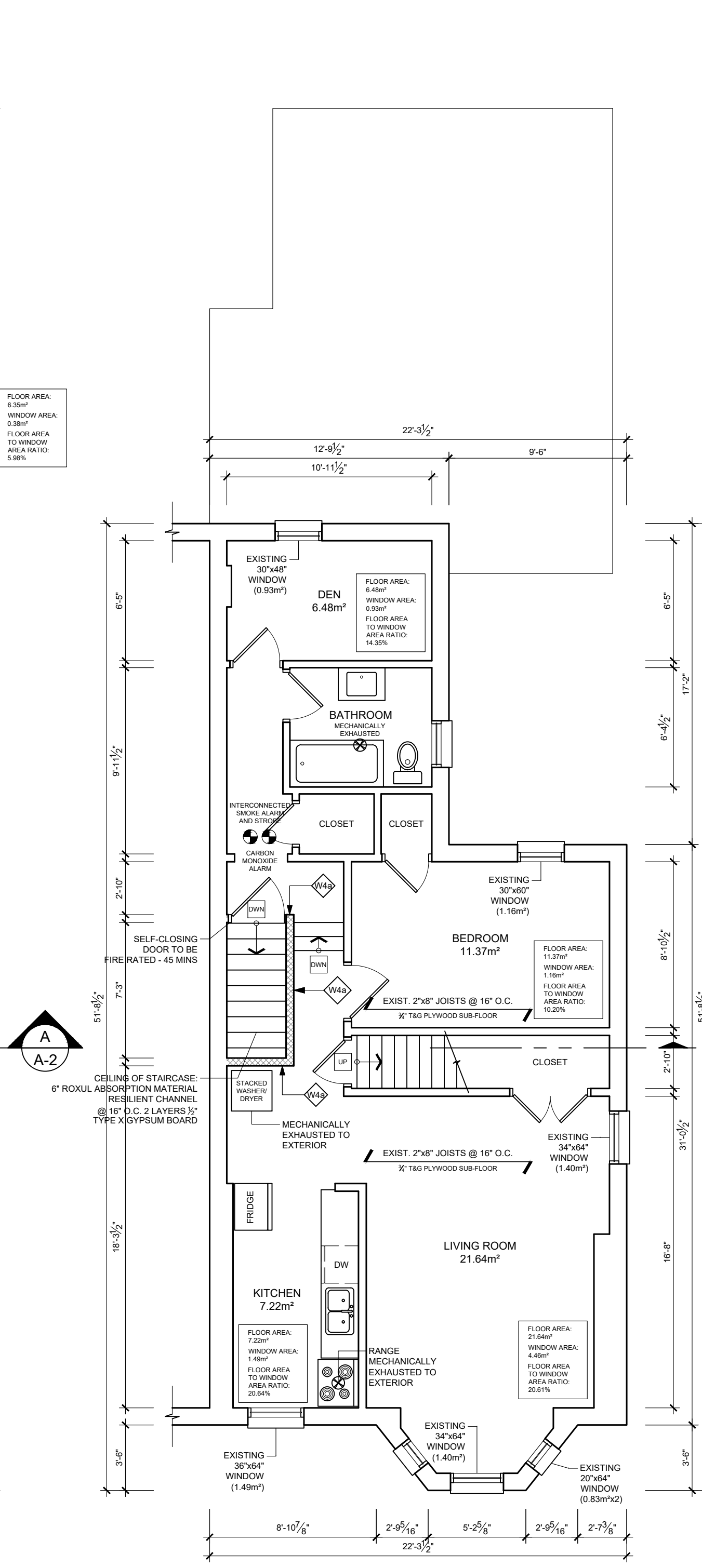
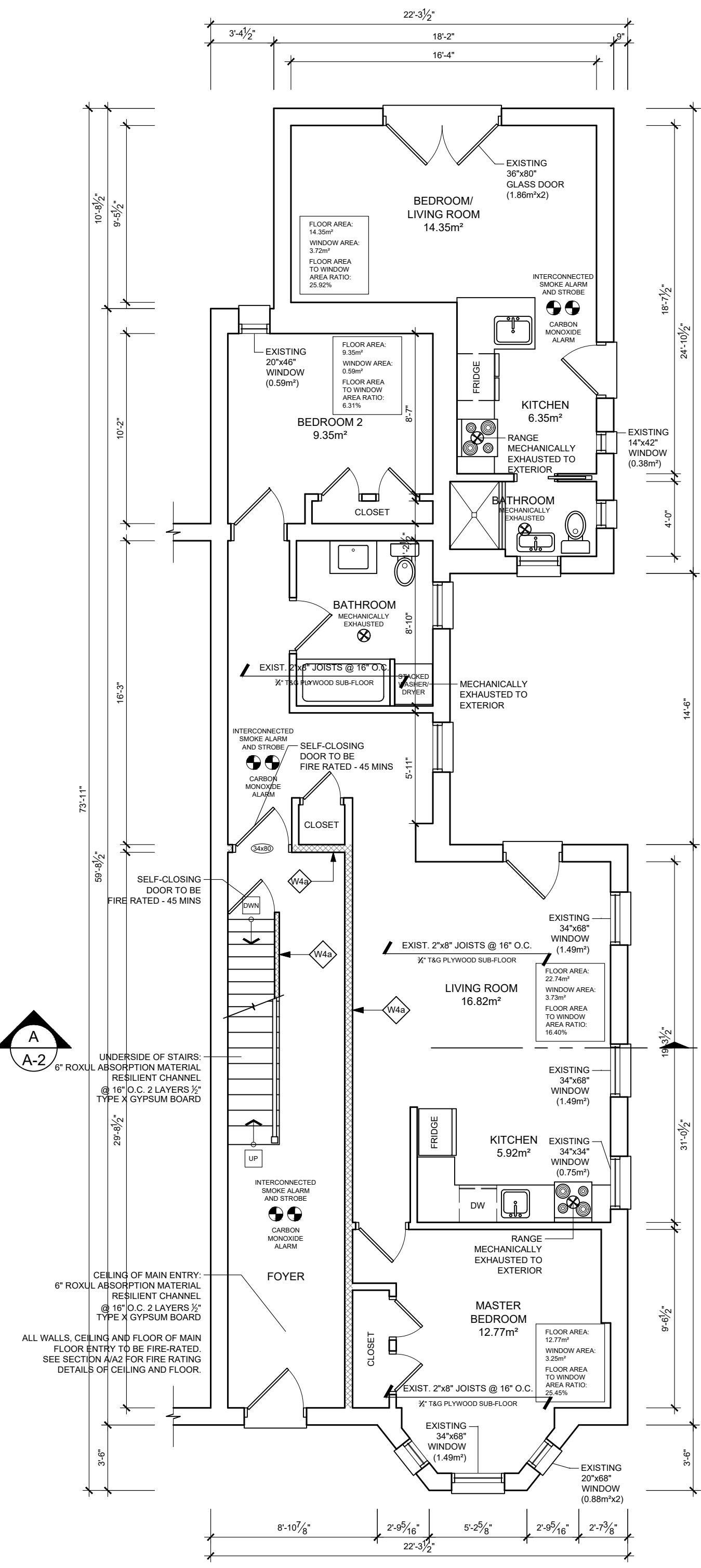
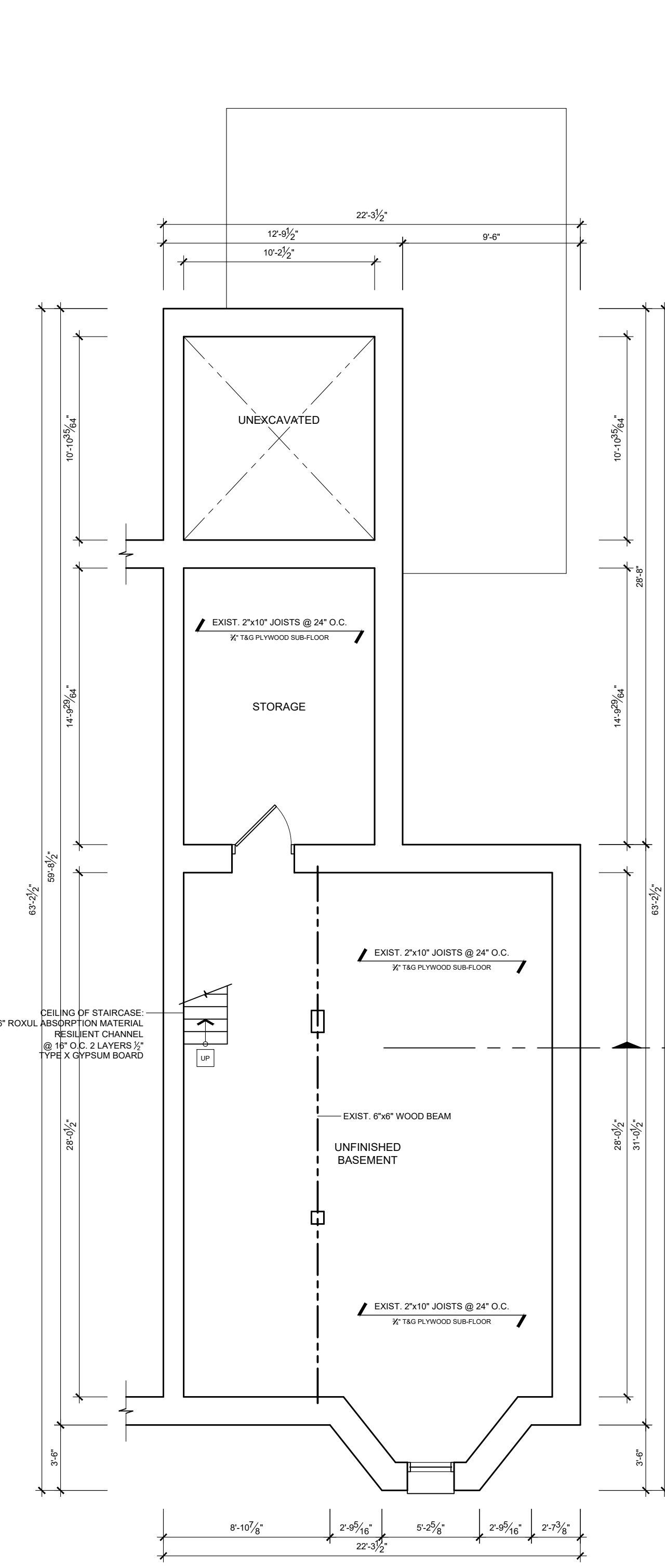
1 YOUNG STREET, UNIT 777
HAMILTON, ON L8N 1T8
(905) 393-8868
info@lenangelicidesign.ca

PROJECT	PROPOSED RESIDENCE 101 WALNUT ST S HAMILTON, ON
---------	---

SHEET TITLE
PROPOSED FLOOR PLANS & SECTION A

DRAWN BY	L. ANGELICI
DATE	02/19/2021
SCALE	3/16" = 1'-0"
PROJECT No.	2021-001

A2



W4a 38mm x 89mm WOOD STUDS SPACED 406mm
89mm THICK ABSORPTIVE MATERIAL
RESILIENT METAL CHANNELS ON
ONE SIDE SPACED 406mm
2 LAYERS OF GYPSUM BOARD ON
RESILIENT METAL CHANNEL SIDE
15.9mm TYPE X GYPSUM BOARD ON OTHER SIDE
FR 1 HR
CODE REF: OBC.SB3-TAB 1- WALL ASSEMBLY W4a

W4a 38mm x 89mm WOOD STUDS SPACED 406mm
89mm THICK ABSORPTIVE MATERIAL
RESILIENT METAL CHANNELS ON
ONE SIDE SPACED 406mm
2 LAYERS OF GYPSUM BOARD ON
RESILIENT METAL CHANNEL SIDE
15.9mm TYPE X GYPSUM BOARD ON OTHER SIDE
FR 1 HR
CODE REF: OBC.SB3-TAB 1- WALL ASSEMBLY W4a



Committee of Adjustment
 City Hall, 5th Floor,
 71 Main St. W.,
 Hamilton, ON L8P4Y5

Phone: (905) 546-2424 ext. 4221
 Email: cofa@hamilton.ca

APPLICATION FOR A MINOR VARIANCE

FOR OFFICE USE ONLY.	
APPLICATION NO. _____	DATE APPLICATION RECEIVED _____
PAID _____	DATE APPLICATION DEEMED COMPLETE _____
SECRETARY'S SIGNATURE _____	

The Planning Act

Application for Minor Variance or for Permission

The undersigned hereby applies to the Committee of Adjustment for the City of Hamilton under Section 45 of the *Planning Act*, R.S.O. 1990, Chapter P.13 for relief, as described in this application, from the Zoning By-law.

1, 2	NAME	ADDRESS	
Registered Owners(s)	LEANNE STEPHENSON		
Applicant(s)*	LEN ANGELICI		
Agent or Solicitor			

Note: Unless otherwise requested all communications will be sent to the agent, if any.

3. Names and addresses of any mortgagees, holders of charges or other encumbrances:

Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled

4. Nature and extent of relief applied for:

CONVERSION OF SINGLE FAMILY DWELLING INTO A 2 FAMILY DWELLING &
RELIEF FROM ON-SITE PARKING

5. Why it is not possible to comply with the provisions of the By-law?

ZONE LMR-2 DOES NOT ALLOW FOR A LEGAL 2 FAMILY DWELLING AND SITE
DOES NOT ALLOW FOR LEGAL REQUIRED ON-SITE PARKING FOR A 2 FAMILY
DWELLING

6. Legal description and Address of subject lands (registered plan number and lot number or other legal description and where applicable, **street and street number**):

101 WALNUT STREET SOUTH
HAMILTON, ONTARIO
ZONE LMR-2

7. PREVIOUS USE OF PROPERTY

Residential Industrial Commercial
Agricultural Vacant

Other _____

- 8.1 If Industrial or Commercial, specify use _____
- 8.2 Has the grading of the subject land been changed by adding earth or other material, i.e. has filling occurred?
Yes No Unknown
- 8.3 Has a gas station been located on the subject land or adjacent lands at any time?
Yes No Unknown
- 8.4 Has there been petroleum or other fuel stored on the subject land or adjacent lands?
Yes No Unknown
- 8.5 Are there or have there ever been underground storage tanks or buried waste on the subject land or adjacent lands?
Yes No Unknown
- 8.6 Have the lands or adjacent lands ever been used as an agricultural operation where cyanide products may have been used as pesticides and/or sewage sludge was applied to the lands?
Yes No Unknown
- 8.7 Have the lands or adjacent lands ever been used as a weapon firing range?
Yes No Unknown
- 8.8 Is the nearest boundary line of the application within 500 metres (1,640 feet) of the fill area of an operational/non-operational landfill or dump?
Yes No Unknown
- 8.9 If there are existing or previously existing buildings, are there any building materials remaining on site which are potentially hazardous to public health (eg. asbestos, PCB's)?
Yes No Unknown

8.10 Is there any reason to believe the subject land may have been contaminated by former uses on the site or adjacent sites? Insert text here

Yes No Unknown

8.11 What information did you use to determine the answers to 9.1 to 9.10 above?

Area has been residential since construction of subject property

8.12 If previous use of property is industrial or commercial or if YES to any of 9.2 to 9.10, a previous use inventory showing all former uses of the subject land, or if appropriate, the land adjacent to the subject land, is needed.

Is the previous use inventory attached? Yes No

9. ACKNOWLEDGEMENT CLAUSE

I acknowledge that the City of Hamilton is not responsible for the identification and remediation of contamination on the property which is the subject of this Application – by reason of its approval to this Application.

X Feb. 18/20
Date

X *Leanne Stephenson*
Signature Property Owner

X Leanne Stephenson
Print Name of Owner

10. Dimensions of lands affected:

Frontage 9.69m
Depth 46.5m
Area 450.59m²
Width of street _____

11. Particulars of all buildings and structures on or proposed for the subject lands: (Specify ground floor area, gross floor area, number of stories, width, length, height, etc.)

Existing:
Ground Floor Area: 128.0m² Width: 6.65m
2nd Floor Area: 85.23m² Length: 22.53m
3rd Floor Area: 34.31m²
3 Stories

Proposed

N/A

12. Location of all buildings and structures on or proposed for the subject lands: (Specify distance from side, rear and front lot lines)

Existing:
Front: 5.27m
Right side: 3.75m
Rear: 22.8m

Proposed:

N/A



Hamilton

COMMITTEE OF ADJUSTMENT

City Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5
 Telephone (905) 546-2424, ext. 4221, 3935 Fax (905) 546-4202
 E-mail: cofa@hamilton.ca

NOTICE OF PUBLIC HEARING
Minor Variance

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
- Applicant/agent on file, or
- Person likely to be interested in this application

APPLICATION NO.: HM/A-21:80

APPLICANTS: Owners R. & G. Dutra
 Agent Sarah Kupferschmidt

SUBJECT PROPERTY: Municipal address **1441 Main St. E., Hamilton**

ZONING BY-LAW: Zoning By-law 05-200, as Amended

ZONING: TOC1 district (Mixed Use Zone)

PROPOSAL: To permit the construction of 5.18m x 5.49m accessory building (pergola) in the rear yard of a building containing a commercial unit on the ground floor (restaurant) and one (1) dwelling unit on the second floor notwithstanding that:

1. A minimum rear yard of 2.0m shall be provided for the accessory building instead of the minimum required rear yard of 7.5m.
2. A minimum building height of 11.0m shall not be required for the accessory building.

This application will be heard by the Committee as shown below:

DATE: Thursday, April 1st, 2021
TIME: 1:50 p.m.
PLACE: Via video link or call in (see attached sheet for details)
 To be streamed at
www.hamilton.ca/committeeofadjustment
 for viewing purposes only

PUBLIC INPUT

Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

Orally: If you would like to speak to this item at the hearing you may do so via video link or by calling in. Please see attached page for complete instructions, including deadlines for registering to participate.

HM/A-21: 80
Page 2

MORE INFORMATION

For more information on this matter, including access to drawings illustrating this request:

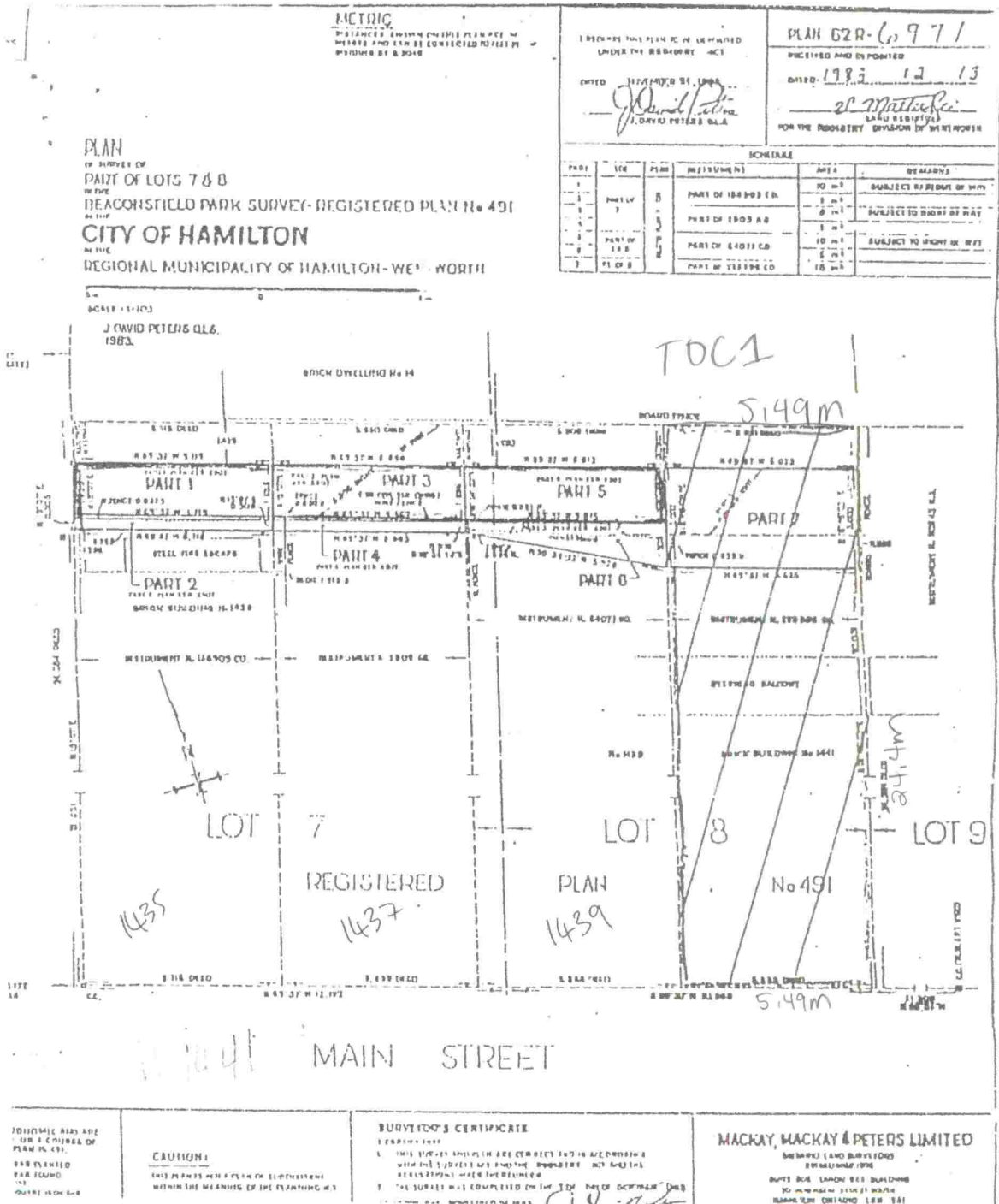
- Visit www.hamilton.ca/committeeofadjustment
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935
- Email Committee of Adjustment staff at cofa@hamilton.ca

DATED: March 16th , 2021.

Jamila Sheffield,
Secretary-Treasurer
Committee of Adjustment

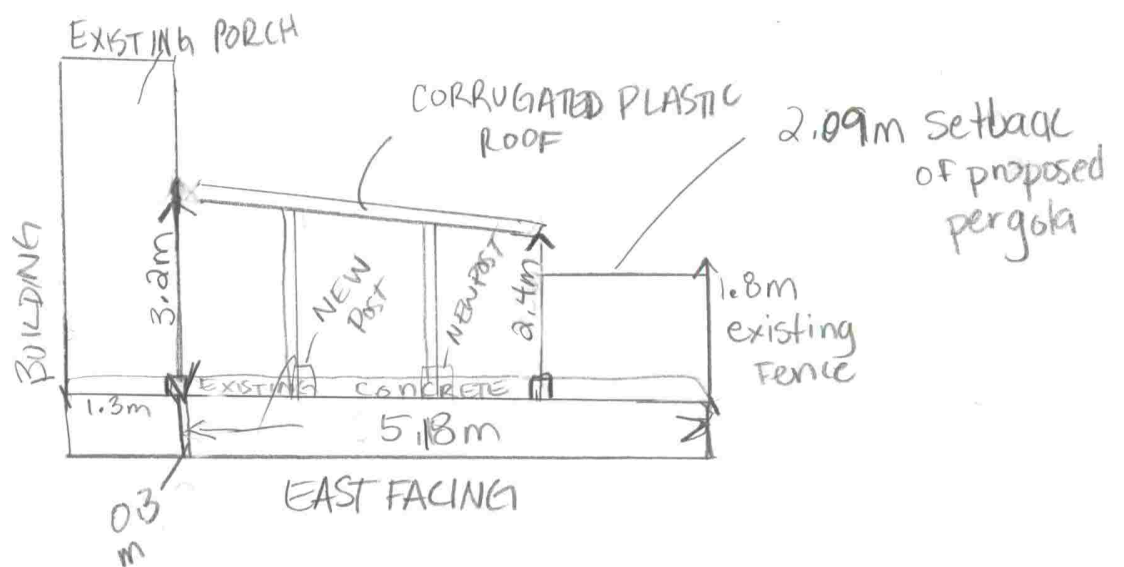
Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public.

Roll # or add.

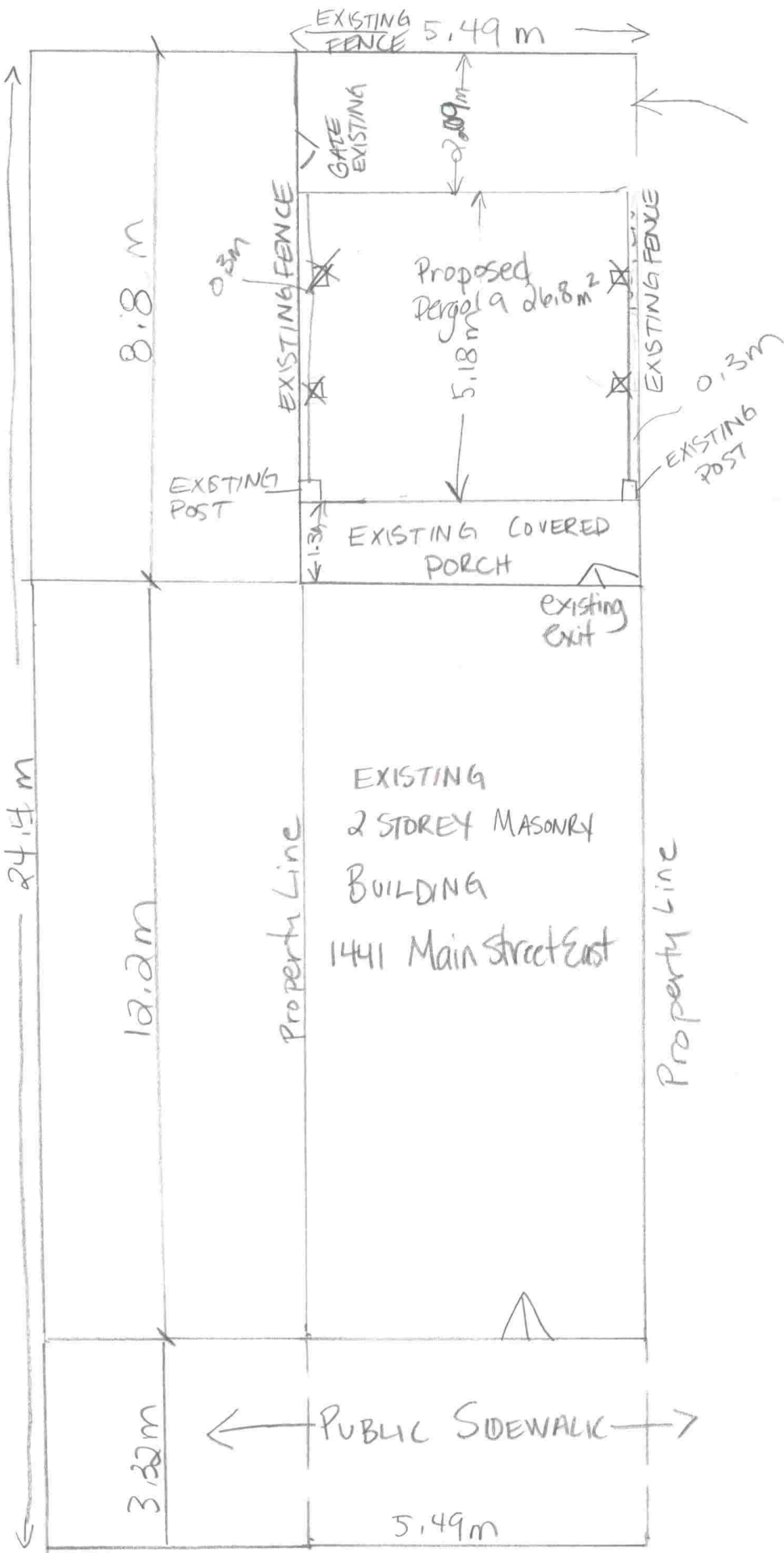


THE CORPORATION OF...
disclaims any liability
accuracy of the contents
and advises that no reliance can be
placed upon the current accuracy of the
contents herein.

SIDE VIEW (EAST) AND ELEVATIONS FOR PROPOSED PERGOLA 1441 MAIN STREET EAST



Scale
1cm = 1m



SITE PLAN
SCALE
1 CM = 1 m

- > gate
- ⇒ DOOR
- ⊠ NEW POSTS

MAIN STREET EAST



Committee of Adjustment
City Hall
5th floor 71 Main Street West
Hamilton, Ontario L8P 4Y5

Planning and Economic Development Department
Planning Division

Phone (905) 546-2424 ext.4221
Fax (905) 546-4202

PLEASE FILL OUT THE FOLLOWING PAGES AND
RETURN TO THE CITY OF HAMILTON PLANNING
DEPARTMENT.

FOR OFFICE USE ONLY.

APPLICATION NO. _____ DATE APPLICATION RECEIVED _____

PAID _____ DATE APPLICATION DEEMED COMPLETE _____

SECRETARY'S
SIGNATURE _____

CITY OF HAMILTON
COMMITTEE OF ADJUSTMENT
HAMILTON, ONTARIO

The Planning Act

Application for Minor Variance or for Permission

The undersigned hereby applies to the Committee of Adjustment for the City of Hamilton under Section 45 of the *Planning Act*, R.S.O. 1990, Chapter P.13 for relief, as described in this application, from the Zoning By-law.

Roger Dutra and

1. Name of Owner George Dutra Telephone _____

2. _____

3. Name of Agent Sarah Kupferschmid Telephone _____

4. _____

Note: Unless otherwise requested all communications will be sent to the agent, if any.

5. Names and addresses of any mortgagees, holders of charges or other encumbrances:

George Dutra and Roger Dutra Postal Code _____
118 Weir St North Hamilton ONT
Postal Code _____

6. Nature and extent of relief applied for:
To build an accessory structure (pergola) in the rear yard. The structure will be 5.18m x 5.49m (28.44 m²) in size. The application for relief is for a 2.29m minimum rear yard setback, whereas section 4.8(h) of by-law 05-200 requires a minimum 7.5m setback.
7. Why it is not possible to comply with the provisions of the By-law?
The existing structure is setback 8.84 metres from the rear property line therefore there is not enough room to build the pergola if we apply the 7.5m rear yard minimum as set out in the By-Law (sections 4.8.1(h) and 11.1.3(b))
8. Legal description of subject lands (registered plan number and lot number or other legal description and where applicable, street and street number):
1441 Main Street East, Hamilton
 Registered Plan No 497, Part of Lot 8
9. PREVIOUS USE OF PROPERTY
- Residential Industrial Commercial
 Agricultural Vacant
 Other _____
- 9.1 If Industrial or Commercial, specify use
Cafe
- 9.2 Has the grading of the subject land been changed by adding earth or other material, i.e. has filling occurred?
 Yes No Unknown
- 9.3 Has a gas station been located on the subject land or adjacent lands at any time?
 Yes No Unknown
- 9.4 Has there been petroleum or other fuel stored on the subject land or adjacent lands?
 Yes No Unknown
- 9.5 Are there or have there ever been underground storage tanks or buried waste on the subject land or adjacent lands?
 Yes No Unknown
- 9.6 Have the lands or adjacent lands ever been used as an agricultural operation where cyanide products may have been used as pesticides and/or sewage sludge was applied to the lands?
 Yes No Unknown
- 9.7 Have the lands or adjacent lands ever been used as a weapon firing range?
 Yes No Unknown
- 9.8 Is the nearest boundary line of the application within 500 metres (1,640 feet) of the fill area of an operational/non-operational landfill or dump?
 Yes No Unknown

9.9 If there are existing or previously existing buildings, are there any building materials remaining on site which are potentially hazardous to public health (eg. asbestos, PCB's)?

Yes No Unknown

9.10 Is there any reason to believe the subject land may have been contaminated by former uses on the site or adjacent sites?

Yes No Unknown

9.11 What information did you use to determine the answers to 9.1 to 9.10 above?

Purchase and sale agreement information.

9.12 If previous use of property is industrial or commercial or if YES to any of 9.2 to 9.10, a previous use inventory showing all former uses of the subject land, or if appropriate, the land adjacent to the subject land, is needed.

Is the previous use inventory attached? Yes No

ACKNOWLEDGEMENT CLAUSE

I acknowledge that the City of Hamilton is not responsible for the identification and remediation of contamination on the property which is the subject of this Application – by reason of its approval to this Application.

28 January 2021

Date

DocuSigned by: Roger Dutra
DocuSigned by: George Dutra
Signature Property DocuID: BD83BCC4B4...

George Dutra and Roger Dutra
Print Name of Owner

10. Dimensions of lands affected:

Frontage 5.74 m
Depth 21 m
Area 1205 sqm
Width of street _____

11. Particulars of all buildings and structures on or proposed for the subject lands: (Specify ground floor area, gross floor area, number of stories, width, length, height, etc.)

Existing: Two storey masonry building 69 m²
12.42 m (length) x 5.74 m wide

Proposed: pergola 3.05 m tall, 5.18 m x 5.49 m
(28.44 m² in size)

12. Location of all buildings and structures on or proposed for the subject lands; (Specify distance from side, rear and front lot lines)

Existing: a storey building
0 side yards
8.84 rear yard

Proposed: 3 m tall pergola
Side yards 0.3 m
rear yard 2.29 m

13. Date of acquisition of subject lands: June 7, 2019

14. Date of construction of all buildings and structures on subject lands: 1920's to 1940's

15. Existing uses of the subject property: commercial cafe and bar

16. Existing uses of abutting properties: commercial

17. Length of time the existing uses of the subject property have continued: commercial since erected (unknown)

18. Municipal services available: (check the appropriate space or spaces)
Water Connected
Sanitary Sewer Connected
Storm Sewers

19. Present Official Plan/Secondary Plan provisions applying to the land: Urban Hamilton Official Plan

20. Present Restricted Area By-law (Zoning By-law) provisions applying to the land: By-law 05-200
TOC 1 zone

21. Has the owner previously applied for relief in respect of the subject property?
Yes No

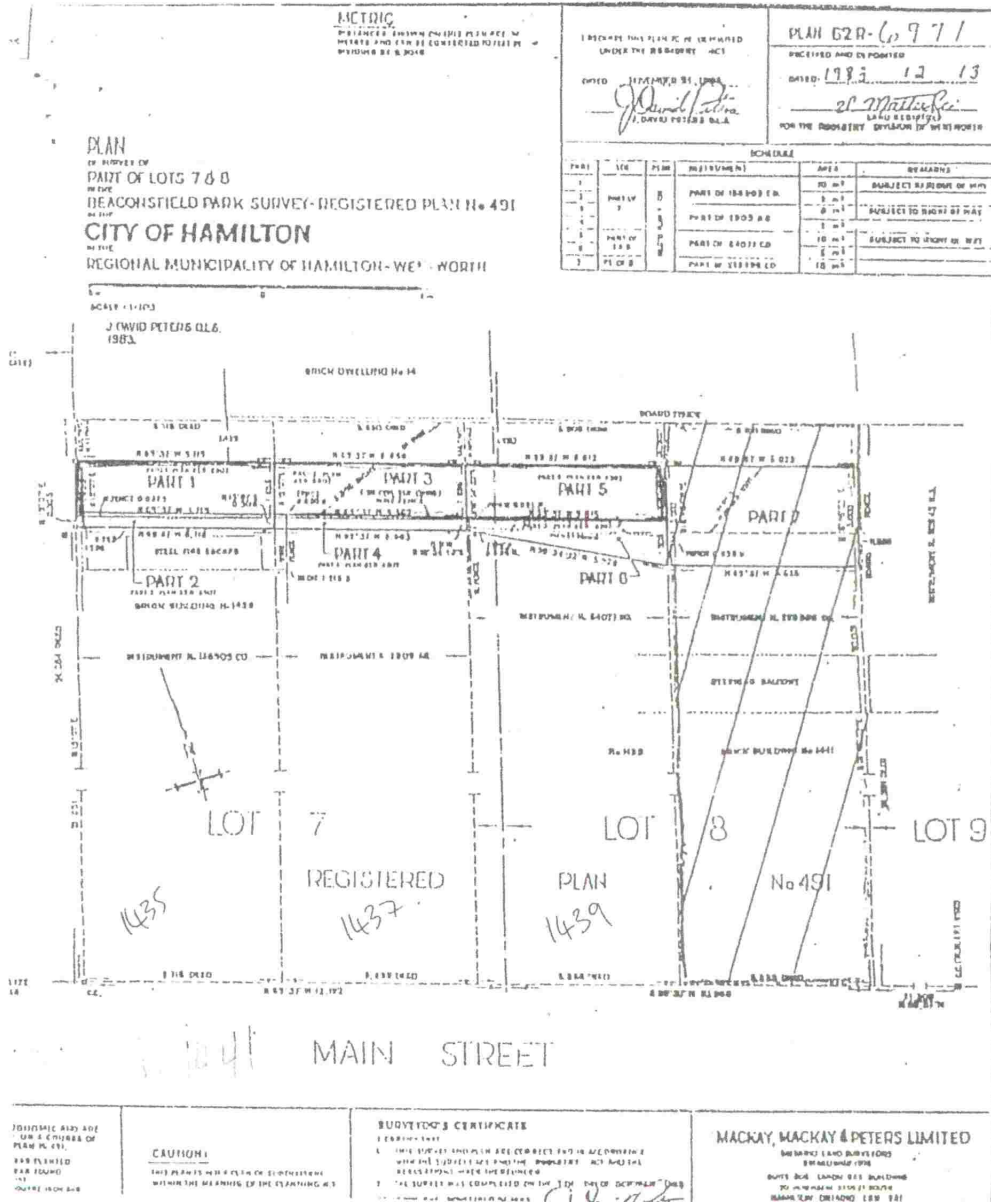
If the answer is yes, describe briefly.

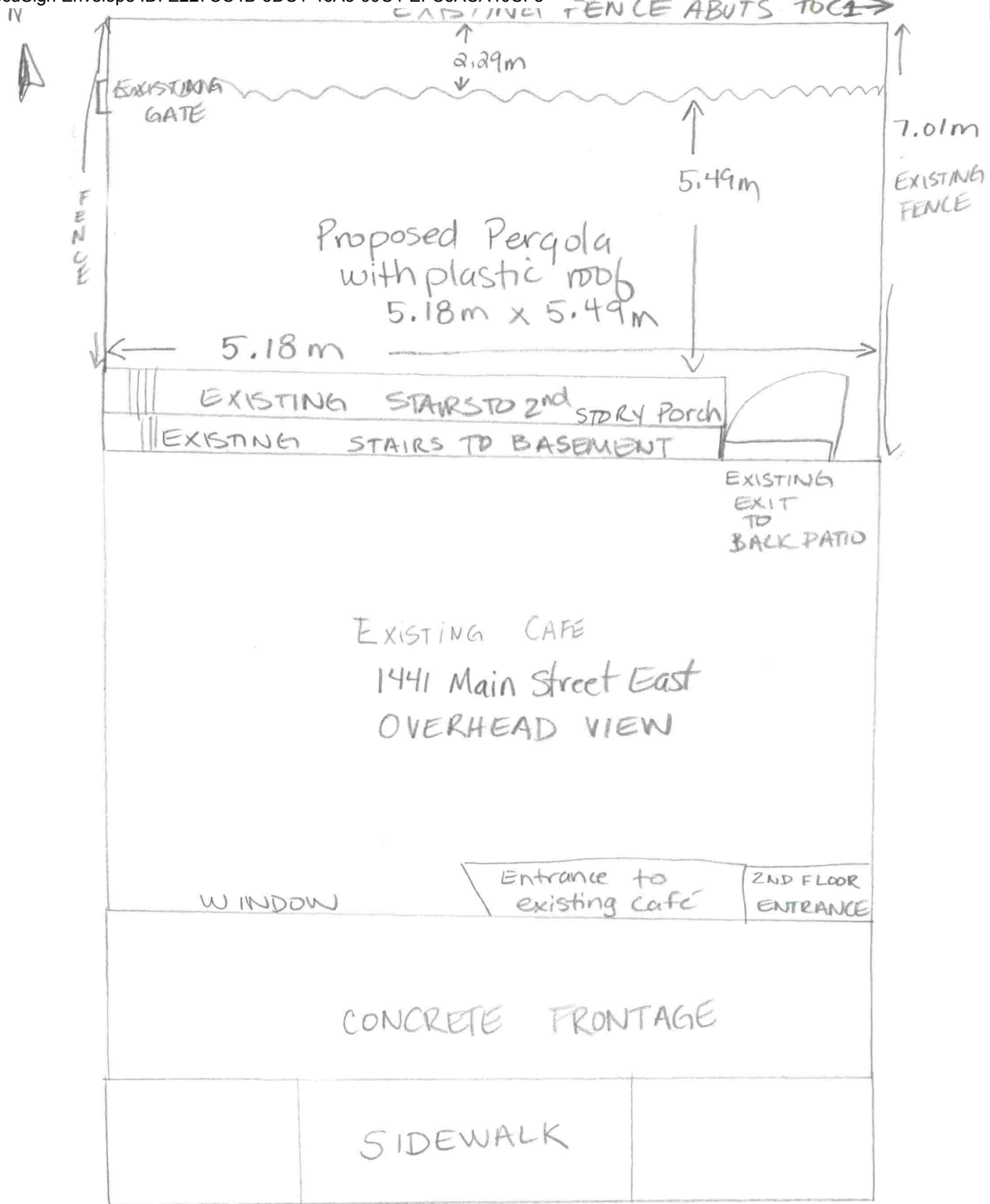
22. Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?
Yes No

23. The applicant shall attach to each copy of this application a plan showing the dimensions of the subject lands and of all abutting lands and showing the location, size and type of all buildings and structures on the subject and abutting lands, and where required by the Committee of Adjustment such plan shall be signed by an Ontario Land Surveyor.

NOTE: It is required that two copies of this application be filed with the secretary-treasurer of the Committee of Adjustment together with the maps

Roll # or add.





Main Street East



Hamilton

COMMITTEE OF ADJUSTMENT

City Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5
 Telephone (905) 546-2424, ext. 4221, 3935 Fax (905) 546-4202
 E-mail: cofa@hamilton.ca

NOTICE OF PUBLIC HEARING Minor Variance

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
- Applicant/agent on file, or
- Person likely to be interested in this application

APPLICATION NO.: HM/A-21:75

APPLICANTS: R. Woolgar & M. Woolgar

SUBJECT PROPERTY: Municipal address **50 Picton St. W., Hamilton**

ZONING BY-LAW: Zoning By-law 6593, as Amended

ZONING: "D" (Urban Protected Residential - One and Two Family Dwellings, etc.) district

PROPOSAL: To permit the creation of two (2) new lots and to permit the construction of a two (2) family dwelling on each lot upon demolition of all existing buildings, notwithstanding,

1. A minimum front yard depth of 2.0 metres shall be permitted for both the lands to be conveyed and the lands to be retained instead of the minimum required front yard depth of 6.0 metres;

2. A minimum side yard width of 0.9 metres shall be permitted for both the lands to be conveyed and the lands to be retained instead of the minimum required side yard width of 1.2 metres for a building not exceeding two and a half storeys or 11.0 metres in height.

3. A minimum lot width of 9.1 metres and a minimum lot area of 412 square metres shall be permitted for both the lands to be conveyed and the lands to be retained instead of the minimum lot width of 18.0 metres and the minimum lot area of 540.0 square metres required to be provided for a two (2) family dwelling;

4. A minimum of 22% of the gross area of the front yard shall be provided as landscaped area for both the lands to be conveyed and the lands to be retained instead of providing a minimum of 50% of the gross area of the front yard required to be provided as landscaped area;

5. No onsite manoeuvring space shall be provided for both the lands to be conveyed and the lands to be retained instead of providing a manoeuvring space with a minimum of 6.0 metres required to be provided abutting upon and accessory to each required parking space;

6. A minimum parking space size of 2.6 metres in width by 6.0 metres in length shall be provided for both the lands to be conveyed and the lands to be retained instead of providing the minimum required parking space size of 2.7 metres in width by 6.0 metres in length;

HM/A-21:75
Page 2

7. The access driveway for both the lands to be conveyed and the lands to be retained shall be permitted to be composed of permeable and non-permeable materials instead of providing gravel or similar surface or other suitable paving for an access driveway accessory to a two (2) family dwelling.

NOTES:

1. The applicant shall ensure the proposed building height is provided in accordance with the definition of Height and Grade as defined within the Zoning By-law.

2. Details regarding any proposed yard encroachments have not been provided. Further variances will be required if compliance with Section 18(3)(vi) of the Zoning By-law ("Encroachments on Yards") cannot be complied with for both the lands to be conveyed and the lands to be retained.

3. The applicant shall ensure the front yard landscaping calculation has been provided in accordance with Section 18(14) of the Zoning By-law ("Special Requirements for Front Yard Landscaping").

4. A further variance will be required should any portion of the required parking spaces be obstructed by any features, including a door swing.

5. A further variance will be required if the finished level of the garage floor is not a minimum of 0.3 metres above Grade, as defined within the Zoning By-law.

This application will be heard by the Committee as shown below:

DATE: Thursday, April 1st, 2021
TIME: 1:55 p.m.
PLACE: Via video link or call in (see attached sheet for details)
 To be streamed at
www.hamilton.ca/committeeofadjustment
 for viewing purposes only

PUBLIC INPUT

Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

Orally: If you would like to speak to this item at the hearing you may do so via video link or by calling in. Please see attached page for complete instructions, including deadlines for registering to participate.

MORE INFORMATION

For more information on this matter, including access to drawings illustrating this request:

- Visit www.hamilton.ca/committeeofadjustment
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935
- Email Committee of Adjustment staff at cofa@hamilton.ca

DATED: March 16th, 2021.

Jamila Sheffield,
Secretary-Treasurer
Committee of Adjustment

HM/A-21: 75

Page 3

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public.

MACAULAY STREET WEST

(BY REGISTERED PLAN 127, P.I.N. 17154-0189 (LT))

N 71° 37' 00" W (REFERENCE BEARING) 141.79 (P5 & Meas) 141.79 (P4)

PLAN OF

LOT 6
BLOCK 15
REGISTERED PLAN 127

CITY OF HAMILTON

SCALE 1:200



B.A. JACOBS SURVEYING LTD.
ONTARIO LAND SURVEYOR

METRIC NOTE:
DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

BEARING NOTE:
BEARINGS ARE ASTROMOMIC AND ARE REFERRED TO THE SOUTHERLY LIMIT OF MACAULAY STREET WEST AS SHOWN ON PLAN 62R-3411, HAVING A BEARING OF N 71° 37' 00" W.

ELEVATION NOTE:
ELEVATIONS SHOWN ON THIS PLAN ARE REFERRED TO CITY OF HAMILTON BENCH MARK INDEXED AS No. 2-03.
LOCATION: HOUSE No. 529 JAMES STREET NORTH, AT NORTH WEST CORNER OF INTERSECTION OF MACAULAY STREET, PLATE IN SOUTH BRICK WALL, 2 m. FROM SOUTH WEST CORNER, No. 176.
ELEVATION = 85.602 m.

- LEGEND:
- DENOTES SURVEY MONUMENT FOUND
 - DENOTES SURVEY MONUMENT PLANTED
 - SB DENOTES STANDARD IRON BAR
 - IB DENOTES IRON BAR
 - CC DENOTES CUT CROSS
 - CP DENOTES CONCRETE PIN
 - WT. DENOTES WITNESS
 - (OU) DENOTES ORIGIN UNKNOWN
 - P1 DENOTES REGISTERED PLAN 127
 - P2 DENOTES PLAN BY THIS OFFICE (FILE:95-042)
 - P3 DENOTES PLAN 62R-11481
 - P4 DENOTES PLAN 62R-3411
 - P5 DENOTES PLAN BY A.T. McLAREN LTD. (MAR. 22, 2018)
 - P6 DENOTES PLAN BY A.J. CLARKE LTD. (FILE:5074)
 - (824) DENOTES A.T. McLAREN O.L.S.
 - (912) DENOTES A.J. CLARKE O.L.S.
 - (1213) DENOTES J.D. PETERS O.L.S.
 - C.R.W. DENOTES CONCRETE RETAINING WALL
 - T.W. DENOTES TOP OF WALL
 - U.P. DENOTES UTILITY POLE
 - W.V. DENOTES WATER VALVE
 - 0.3φ DENOTES DIAMETER OF TREE

SURVEYOR'S REAL PROPERTY REPORT
PART 2 - REPORT SUMMARY

DESCRIPTION OF LAND
BEING ALL OF LOT 6, BLOCK 15, REGISTERED PLAN 127, KNOWN AS MUNICIPAL No. 50 PICTON STREET WEST, CITY OF HAMILTON

REGISTERED EASEMENTS AND/OR RIGHTS OF WAY
NO EASEMENTS LISTED ON THE PARCEL REGISTER FOUND IN THE LAND REGISTRY OFFICE.

BOUNDARY FEATURES
NOTE LOCATION OF THE FENCES AS THEY RELATE TO THE BOUNDARIES OF THE SUBJECT PROPERTY.
PORTION OF THE CHIMNEY OF MUNICIPAL No. 42 IS BEYOND THE EASTERLY BOUNDARY OF THE PROPERTY.
NOTE THE LOCATION OF THE RETAINING WALL AS IT RELATES TO THE EASTERLY BOUNDARY OF THE PROPERTY.
PORTION OF THE COVERED PORCH AT THE FRONT OF THE SUBJECT DWELLING IS BEYOND THE SOUTHERLY BOUNDARY OF THE PROPERTY.
NOTE THE LOCATION OF THE OVERHEAD UTILITY WIRES CROSSING WITHIN THE LIMITS OF THE PROPERTY.

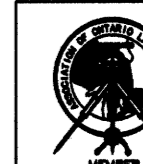
COMPLIANCE WITH MUNICIPAL ZONING BY-LAWS
NOT CERTIFIED BY THIS REPORT

SURVEYOR'S CERTIFICATE

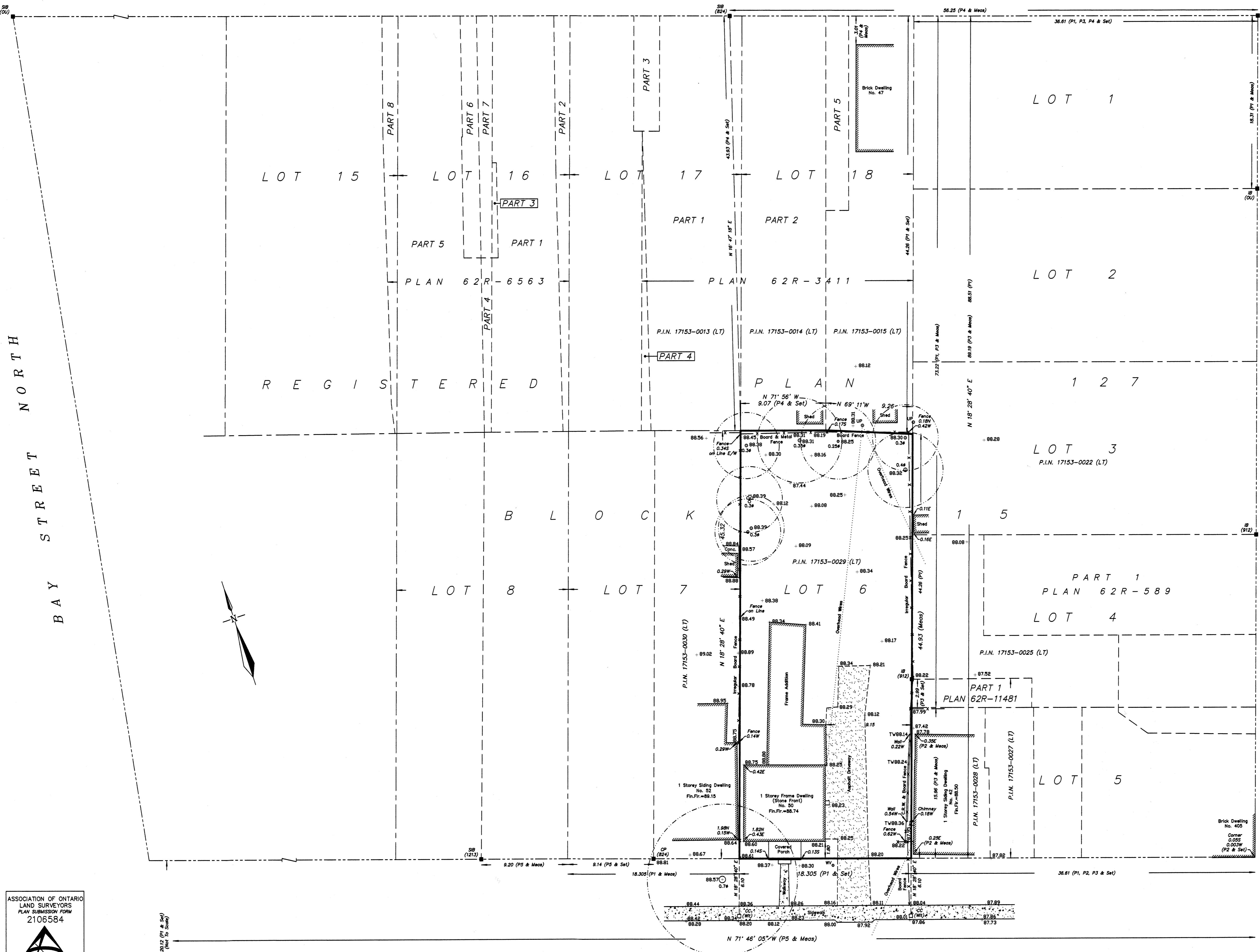
I CERTIFY THAT:
1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYORS ACT, THE SURVEYORS ACT AND THE REGULATIONS MADE UNDER THEM.
2. THE SURVEY WAS COMPLETED ON NOVEMBER 6, 2019.

NOVEMBER 6, 2019
DATE

BRYAN JACOBS
ONTARIO LAND SURVEYOR



B.A. JACOBS SURVEYING LTD.
162 JACKSON STREET EAST, SUITE 102
HAMILTON, ONTARIO (L8N 1L5)
PHONE 905-621-1555 bjacobs@rogers.com



NORTH BAY STREET

MACNAB STREET NORTH

PICTON STREET WEST

(BY REGISTERED PLAN 127, P.I.N. 17153-0187 (LT))

ASSOCIATION OF ONTARIO
LAND SURVEYORS
PLAN SUBMISSION FORM
2106584

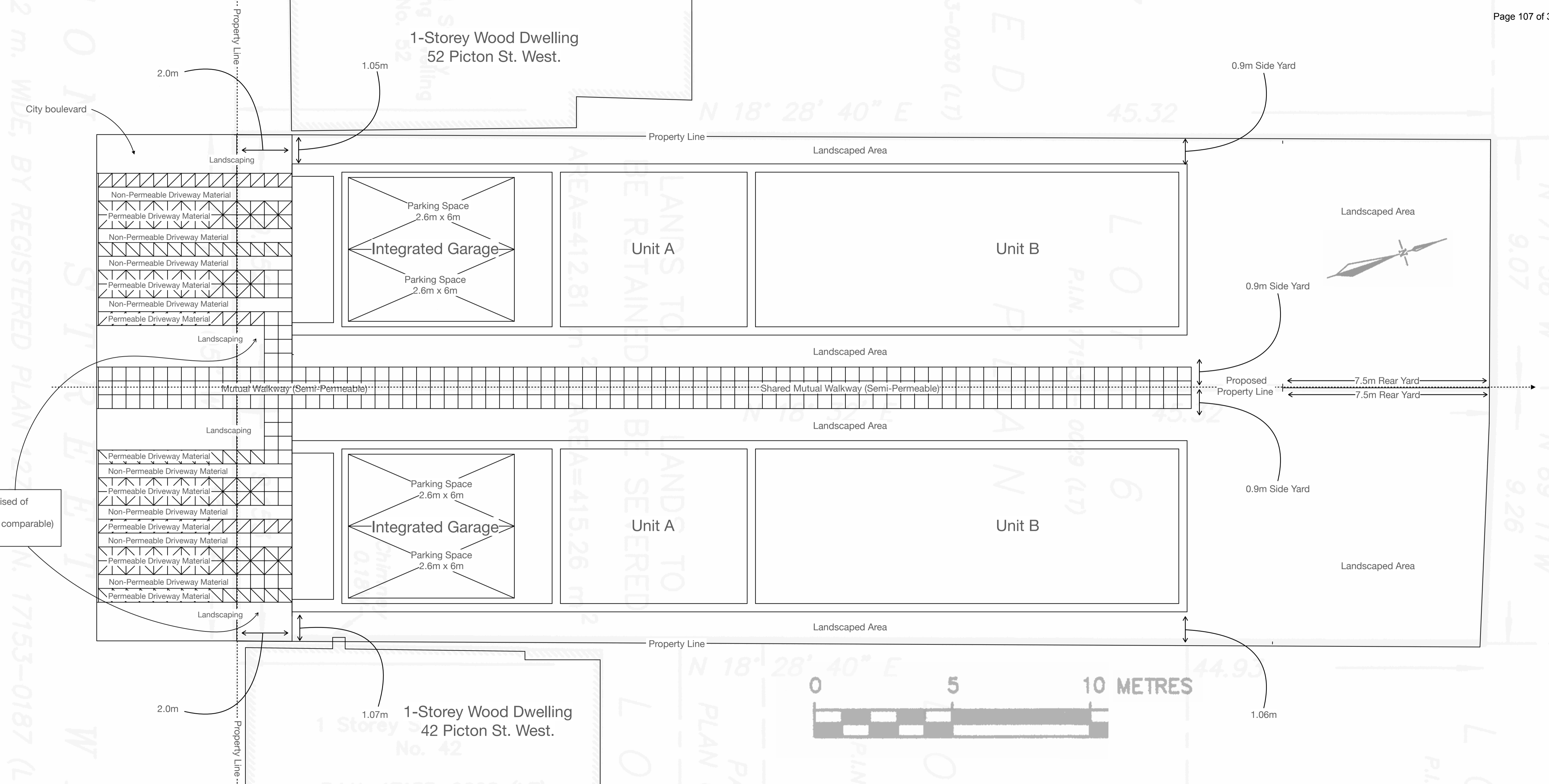
THIS PLAN IS NOT VALID UNLESS IT IS AN EMPROVED ORIGINAL COPY ISSUED BY THE SURVEYOR in accordance with Regulation 1026, Section 24(3).

48/50 Picton Street

Proposed Minor Variances

Front yard areas of 18.3 m² are comprised of

- 22% Grass/landscaping
- 30% Permeable material (Ecoraster comparable)
- 48% Non-permeable material



48/50 Picton Street Elevations

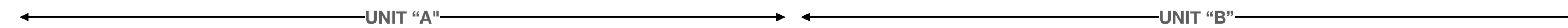
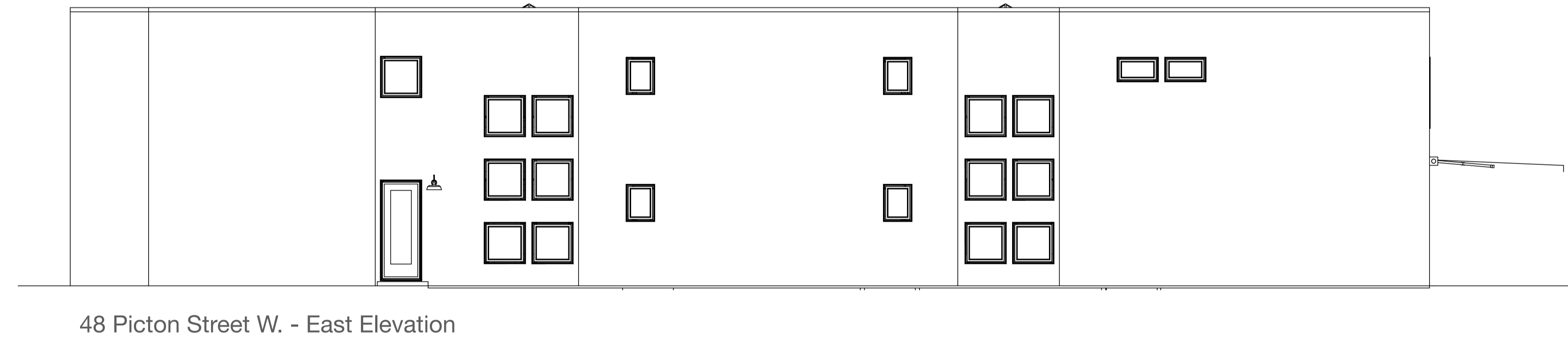
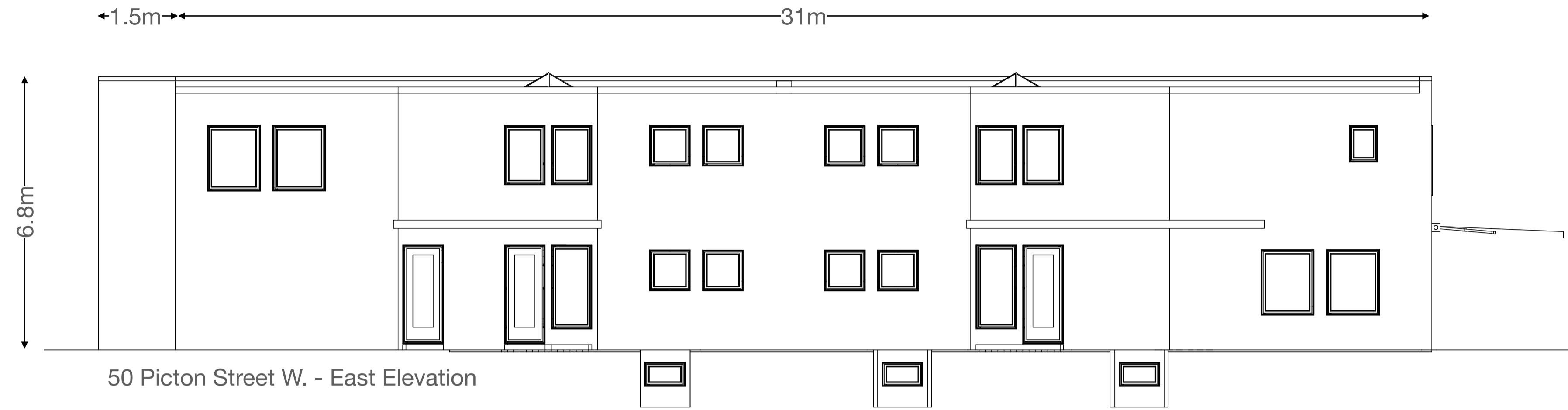
Two mirror-image 289m² dwellings featuring two units each.

UNIT "A" (118m²)

- 2 Bdrm
- 2 x 3pc Bath
- 2 x Powder Room
- 23.5m² unfinished BSMT

UNIT "B" (171m²)

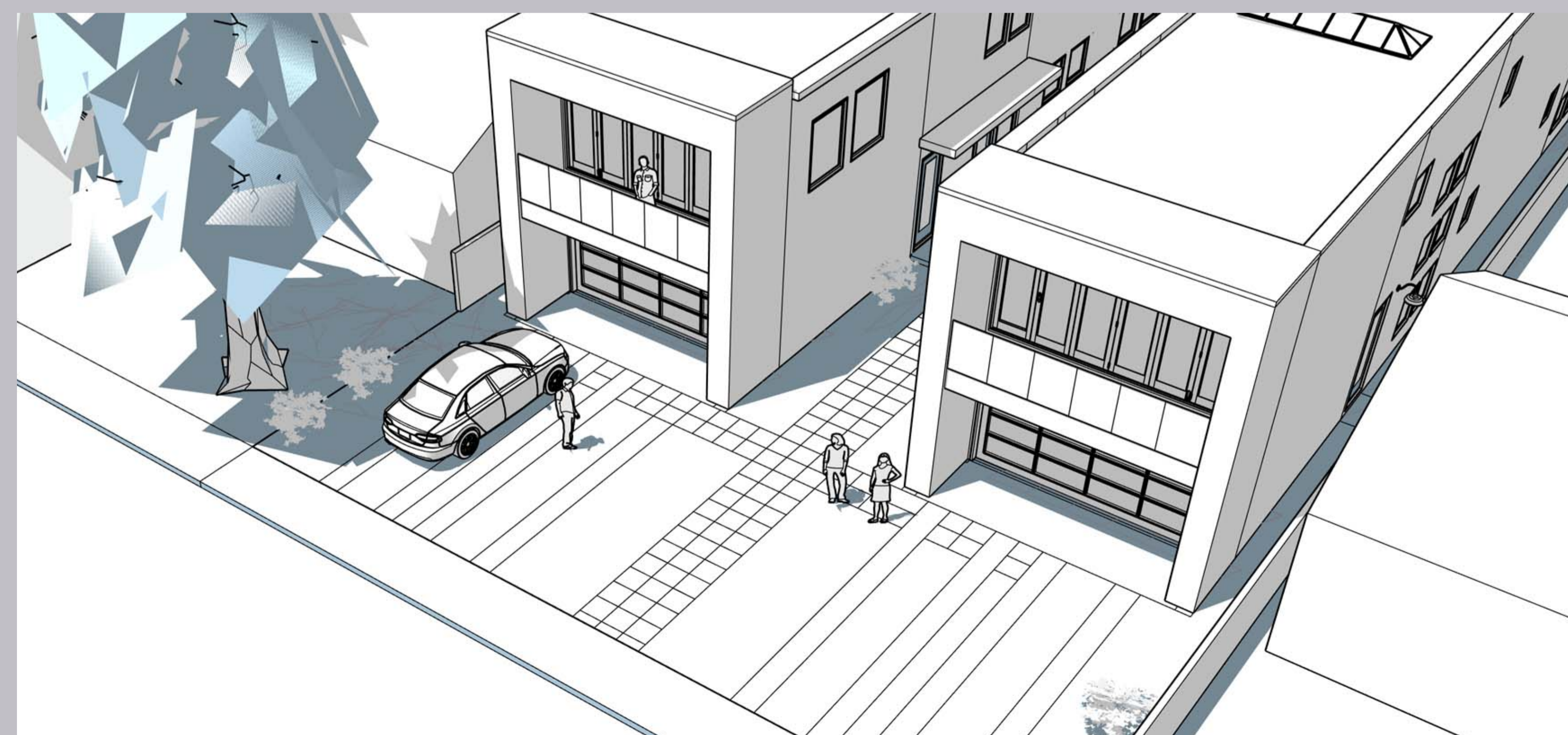
- 3 Bdrm + Den
- 3 x 3pc Bath
- 2 x Powder Room
- 68m² unfinished BSMT



Based on informal design

48/50 Picton Street

Conceptual Illustrations





Committee of Adjustment
 City Hall, 5th Floor,
 71 Main St. W.,
 Hamilton, ON L8P4Y5

Phone: (905) 546-2424 ext. 4221
 Email: cofa@hamilton.ca

APPLICATION FOR A MINOR VARIANCE

FOR OFFICE USE ONLY.	
APPLICATION NO. _____	DATE APPLICATION RECEIVED _____
PAID _____	DATE APPLICATION DEEMED COMPLETE _____
SECRETARY'S SIGNATURE _____	

The Planning Act

Application for Minor Variance or for Permission

The undersigned hereby applies to the Committee of Adjustment for the City of Hamilton under Section 45 of the *Planning Act*, R.S.O. 1990, Chapter P.13 for relief, as described in this application, from the Zoning By-law.

1, 2	NAME	ADDRESS
Registered Owners(s)		
Applicant(s)*		
Agent or Solicitor		

Note: Unless otherwise requested all communications will be sent to the agent, if any.

3. Names and addresses of any mortgagees, holders of charges or other encumbrances:

Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled

4. Nature and extent of relief applied for:
5. Why it is not possible to comply with the provisions of the By-law?
6. Legal description and Address of subject lands (registered plan number and lot number or other legal description and where applicable, **street and street number**):
7. PREVIOUS USE OF PROPERTY
- Residential _____ Industrial _____ Commercial _____
- Agricultural _____ Vacant _____
- Other _____
- 8.1 If Industrial or Commercial, specify use _____
- 8.2 Has the grading of the subject land been changed by adding earth or other material, i.e. has filling occurred?
Yes _____ No _____ Unknown _____
- 8.3 Has a gas station been located on the subject land or adjacent lands at any time?
Yes _____ No _____ Unknown _____
- 8.4 Has there been petroleum or other fuel stored on the subject land or adjacent lands?
Yes _____ No _____ Unknown _____
- 8.5 Are there or have there ever been underground storage tanks or buried waste on the subject land or adjacent lands?
Yes _____ No _____ Unknown _____
- 8.6 Have the lands or adjacent lands ever been used as an agricultural operation where cyanide products may have been used as pesticides and/or sewage sludge was applied to the lands?
Yes _____ No _____ Unknown _____
- 8.7 Have the lands or adjacent lands ever been used as a weapon firing range?
Yes _____ No _____ Unknown _____
- 8.8 Is the nearest boundary line of the application within 500 metres (1,640 feet) of the fill area of an operational/non-operational landfill or dump?
Yes _____ No _____ Unknown _____
- 8.9 If there are existing or previously existing buildings, are there any building materials remaining on site which are potentially hazardous to public health (eg. asbestos, PCB's)?
Yes _____ No _____ Unknown _____

8.10 Is there any reason to believe the subject land may have been contaminated by former uses on the site or adjacent sites?

Yes _____ No _____ Unknown _____

8.11 What information did you use to determine the answers to 9.1 to 9.10 above?

8.12 If previous use of property is industrial or commercial or if YES to any of 9.2 to 9.10, a previous use inventory showing all former uses of the subject land, or if appropriate, the land adjacent to the subject land, is needed.

Is the previous use inventory attached? Yes _____ No _____

9. ACKNOWLEDGEMENT CLAUSE

I acknowledge that the City of Hamilton is not responsible for the identification and remediation of contamination on the property which is the subject of this Application – by reason of its approval to this Application.



_____ Date

_____ Signature Property Owner

_____ Print Name of Owner

10. Dimensions of lands affected:

Frontage _____

Depth _____

Area _____

Width of street _____

11. Particulars of all buildings and structures on or proposed for the subject lands: (Specify ground floor area, gross floor area, number of stories, width, length, height, etc.)

Existing: _

Proposed

12. Location of all buildings and structures on or proposed for the subject lands; (Specify distance from side, rear and front lot lines)

Existing:

Proposed:

The Planning Act**Application for Minor Variance****Subject Property: 50 Picton Street West, Hamilton ON.**

Note: An application is also being made simultaneously by the owner for consent to sever land. The intent is to divide the above lot in two parts – minor variances for lands ‘retained’ and lands ‘severed’ are described separately below.

Development Context: The owners of the property wish to construct a pair of environmentally sustainable duplex dwellings with extensive use of permeable walkway and driveway surfaces. Proposed construction technique will be Insulated Concrete Forms (ICF) and will result in a highly energy efficient building envelope. The duplex dwellings have the potential to be net-zero when combined with roof-top solar panels.

Item 4. Nature and extent of relief applied for:

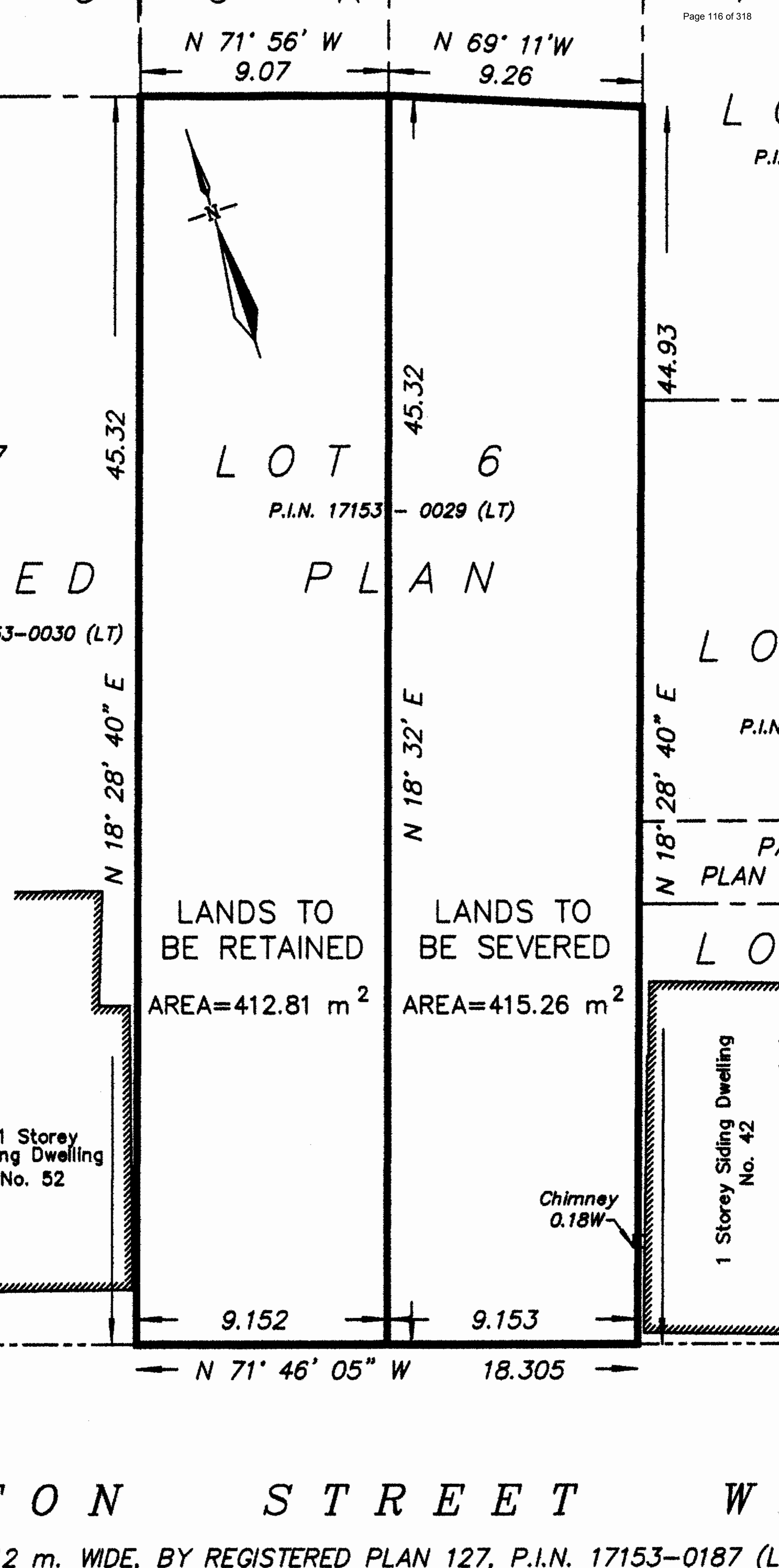
The purpose of this application is to permit a lot to be retained, permit the demolition of the existing single-family dwelling, and permit construction of a new 2 storey, two (2) family dwelling (referred to as 50 Picton Street West). In addition, to permit a lot to be conveyed for the construction of a new 2 storey, two (2) family dwelling (referred to as 48 Picton Street West)

For the lands to be retained (50 Picton Street West):

- 1. A minimum lot width of 9.152m instead of a minimum required lot width of 18.0m.**
- 2. A minimum lot area of 412.81m instead of the minimum required lot area of 540m².**
- 3. Minimum side yards of 0.9m instead of the minimum required side yards of 1.2m.** (Note that there are numerous precedents in the immediate area where the side yards are less than 0.9m.)
- 4. A minimum front yard depth of 2.0m instead of the minimum required 6.0m.** (Note that there are numerous precedents in the immediate area where the front yard depths are between 0.2m and 2.0m)
- 5. A minimum of 30% of the front yard shall be used for a landscaped area instead of the requirement in the By-Law, which states that no less than 50 % of the gross area of the front yard shall be used for a landscaped area, excluding concrete, asphalt, gravel, pavers or other similar materials.** (Note that the proposed front yard is 2.0m deep x 9.152m wide. Applicants propose a blend of approximately 48% non-permeable driveway material, 30% fully permeable, sod covered paving system, and 22% traditionally landscaped area. See sketch.)
- 6. Provision for an easement to construct a shared pedestrian pathway between properties that is a minimum of 1.0m in width.**
- 7. Additional relief may be required depending on the city’s definition of habitable rooms.** Currently, we have a total of 8 habitable rooms above grade. Below grade unfinished and partially finished storage area is not considered habitable.

For the lands to be conveyed (referred to as 48 Picton Street West):

- 1. A minimum lot width of 9.153m instead of a minimum required lot width of 18.0m.**
- 2. A minimum lot area of 415.26m instead of the minimum required lot area of 540m².**
- 3. Minimum side yards of 0.9m instead of the minimum required side yards of 1.2m.** (Note that there are numerous precedents in the immediate area where the side yards are less than 0.9m.)
- 4. A minimum front yard depth of 2.0m instead of the minimum required 6.0m.** (Note that there are numerous precedents in the immediate area where the front yard depths are between 0.2m and 2.0m)
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48/50 Picton Street

Proposed Severance

*REFER TO
CONSENT TO SEVER
LAND APPLICATION

Per 2019 Survey

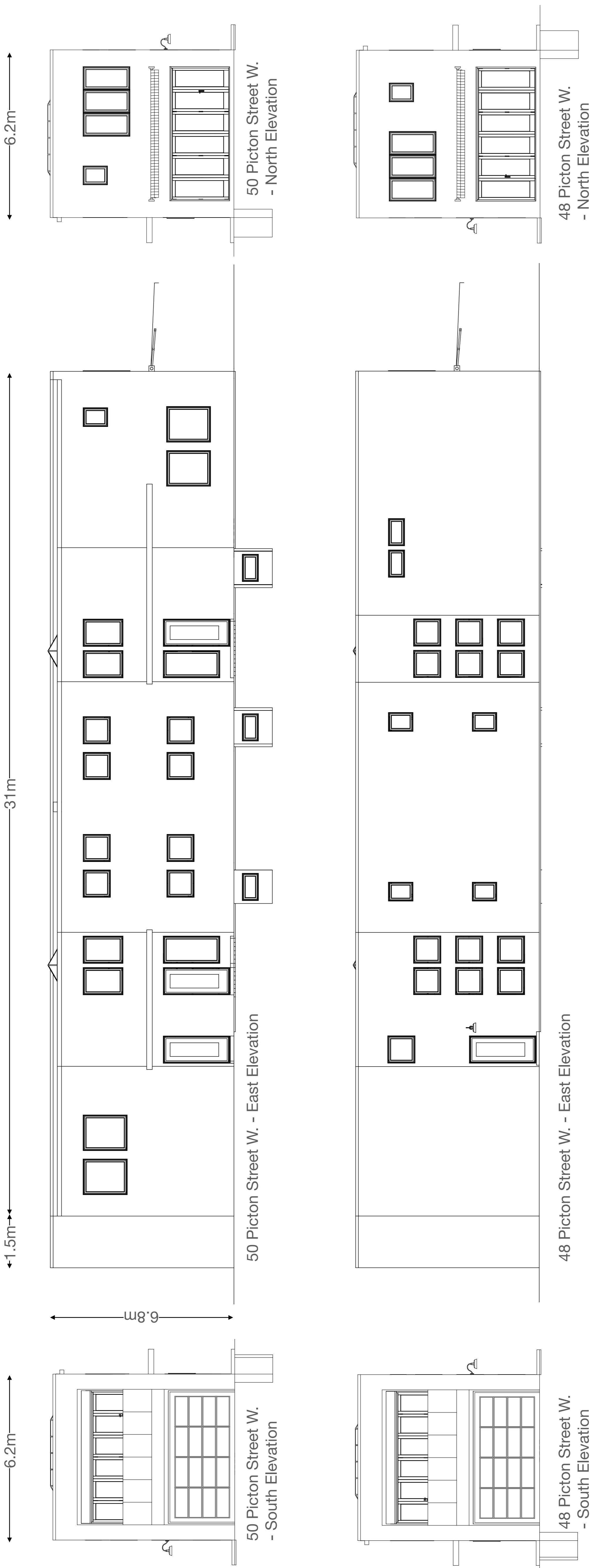
48/50 Picton Street

Elevations

Two mirror-image 289m² dwellings featuring two units each.

- UNIT "A" (118m²)**
- 2 Bdrm
 - 2 x 3pc Bath
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 - 23.5m² unfinished BSMT

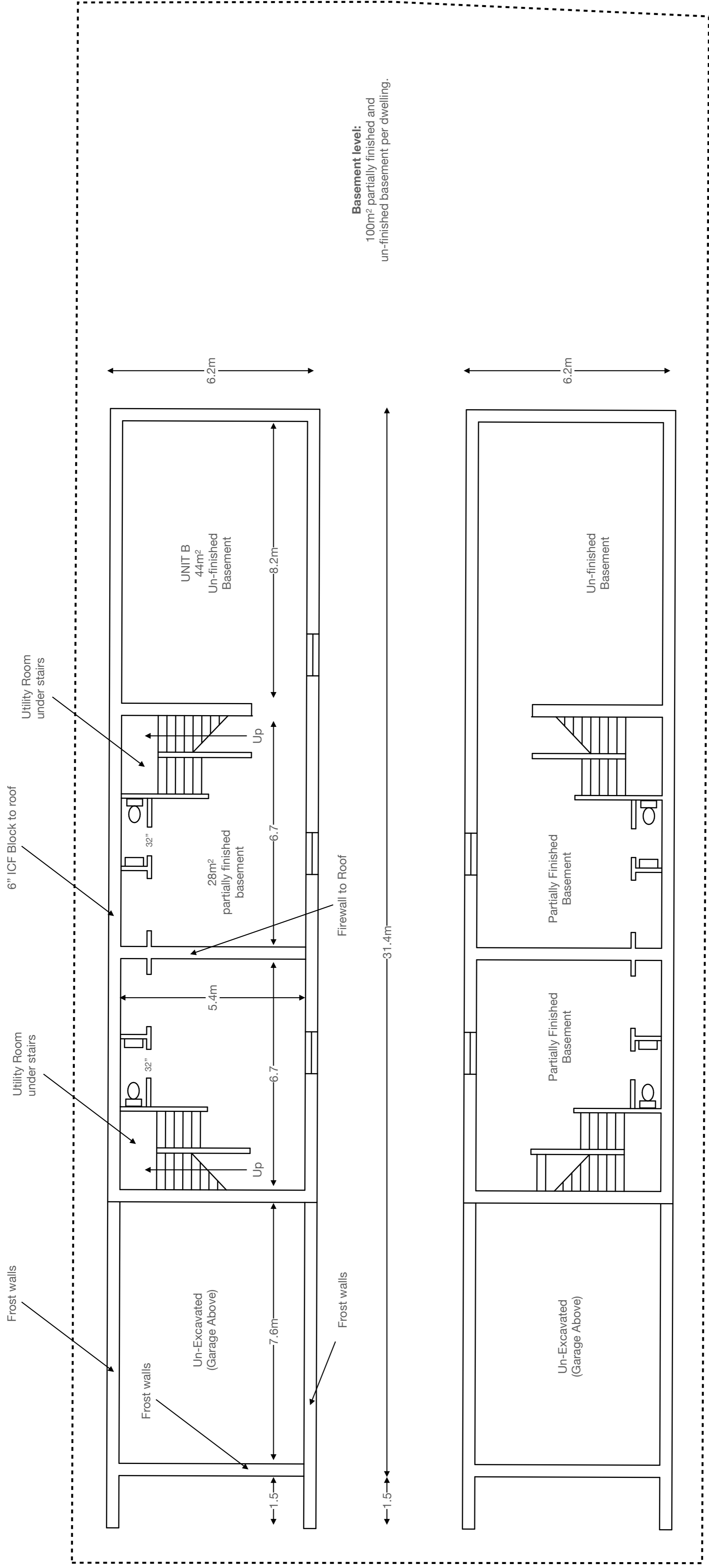
- UNIT "B" (171m²)**
- 3 Bdrm + Den
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Based on informal design

48/50 Picton Street

Basement Level Plan

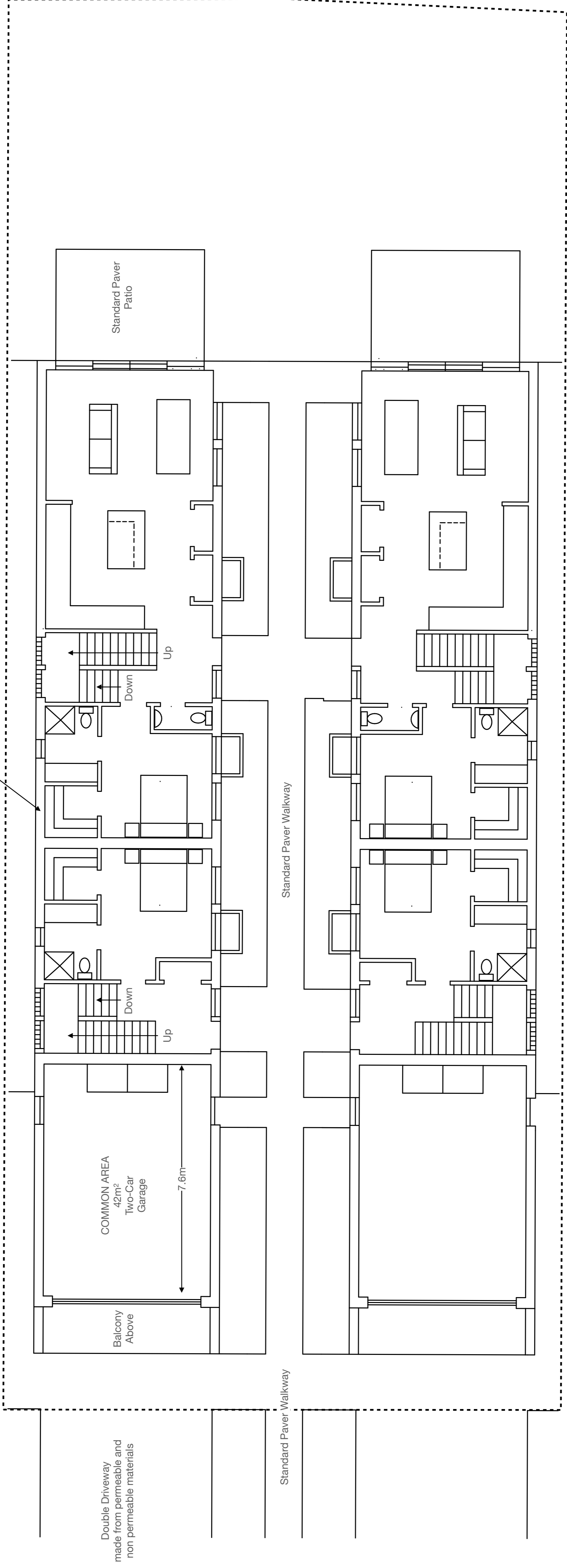


Based on informal design

48/50 Picton Street

Ground Level Plan

6" ICF Block to roof

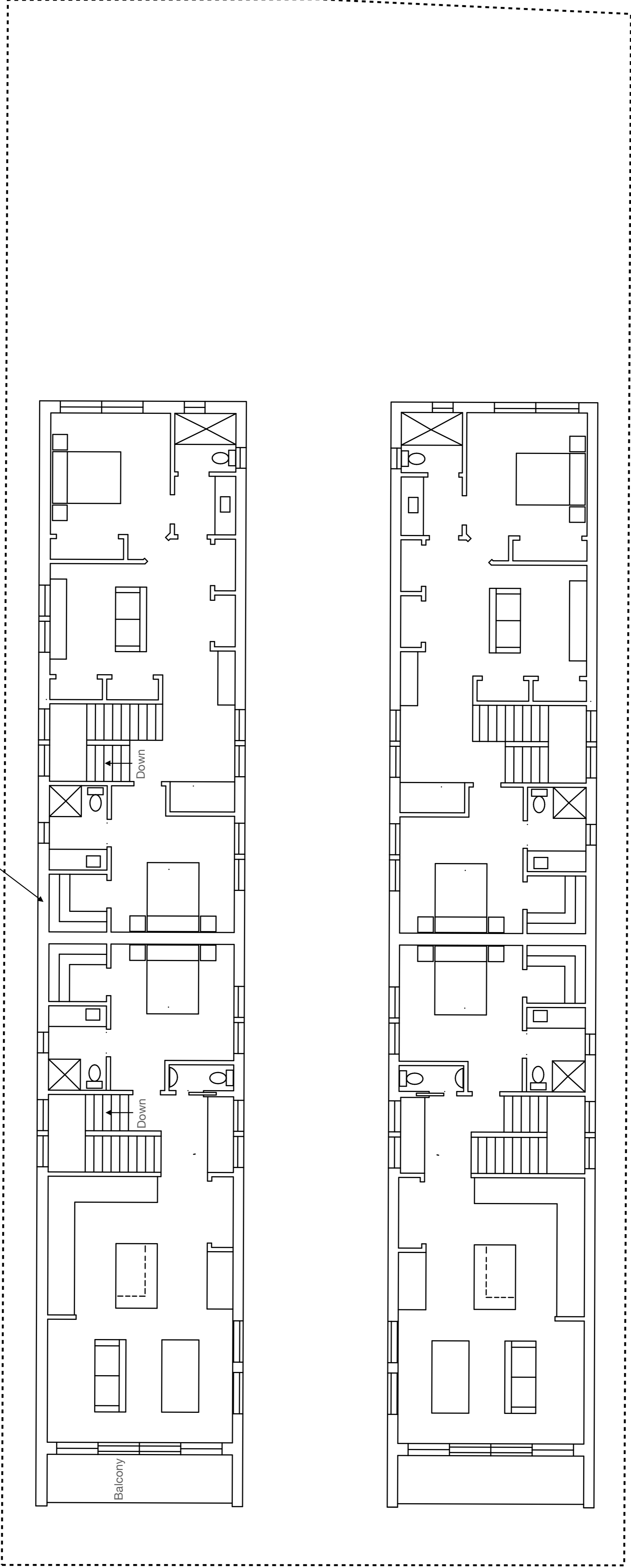


Based on informal design

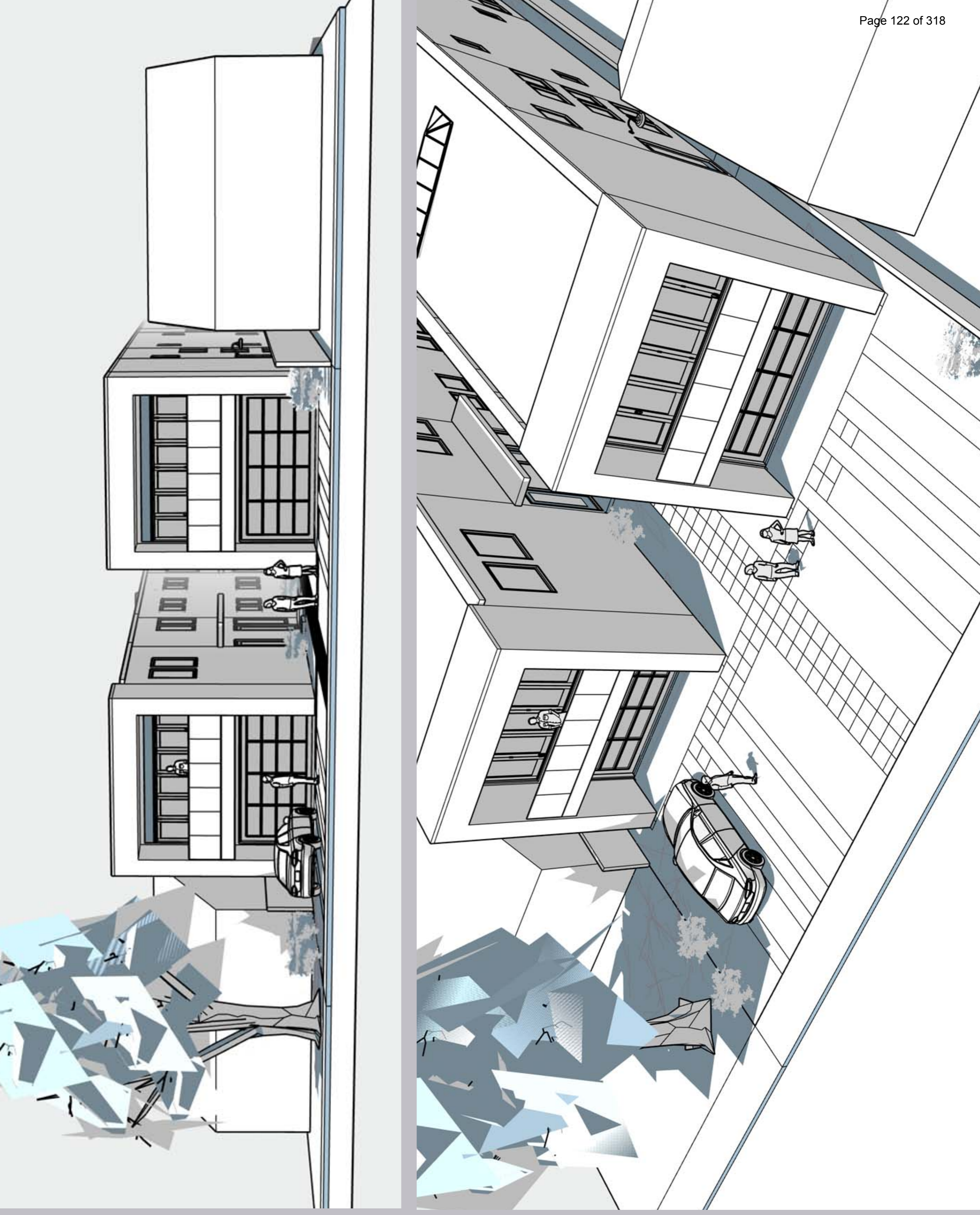
48/50 Picton Street

Second Level Plan

6" ICF Block to roof



Based on informal design

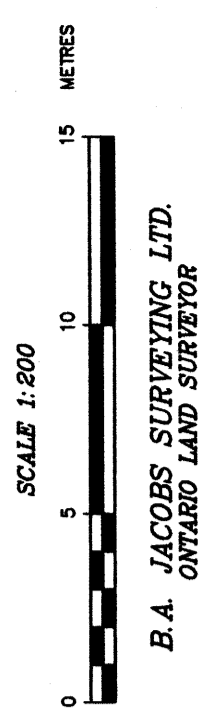


48/50 Picton Street

Conceptual Illustrations



SURVEYOR'S REAL PROPERTY REPORT - PART 1
PLAN OF
LOT 6
BLOCK 15
REGISTERED PLAN 127
CITY OF HAMILTON



METRIC NOTE:
DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

BEARING NOTE:
BEARINGS ARE ASTROMOMIC AND ARE REFERRED TO THE HAMILTON BENCH MARK INDEXED AS NO. 2-03. THE BENCH MARK IS LOCATED AT THE INTERSECTION OF MACCALLUM STREET, PLATE IN SOUTH BRICK WALL 2 m. FROM SOUTH WEST CORNER, No. 176. ELEVATION = 85.602 m.

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 - DENOTES SURVEY MONUMENT PLANTED
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 - CC DENOTES CUT CROSS
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 - WT DENOTES WOODEN WEDGE
 - (OU) DENOTES ORIGINAL UNKNOWN
 - P1 DENOTES REGISTERED PLAN 127
 - P2 DENOTES REGISTERED PLAN 11481
 - P3 DENOTES REGISTERED PLAN 62R-11481
 - P4 DENOTES REGISTERED PLAN 62R-3411
 - P5 DENOTES REGISTERED PLAN 62R-11481
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**SURVEYOR'S REAL PROPERTY REPORT
PART 2 - REPORT SUMMARY**

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BEING ALL OF LOT 6, BLOCK 15, REGISTERED PLAN 127, KNOWN AS MUNICIPAL No. 50 PICTON STREET WEST, CITY OF HAMILTON

REGISTERED EASEMENTS AND/OR RIGHTS OF WAY
REGISTERED EASEMENTS AND/OR RIGHTS OF WAY FOUND IN THE LAND REGISTRY OFFICE

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COMPLIANCE WITH MUNICIPAL ZONING BY-LAWS
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NOT CERTIFIED BY THIS REPORT

SURVEYOR'S CERTIFICATE

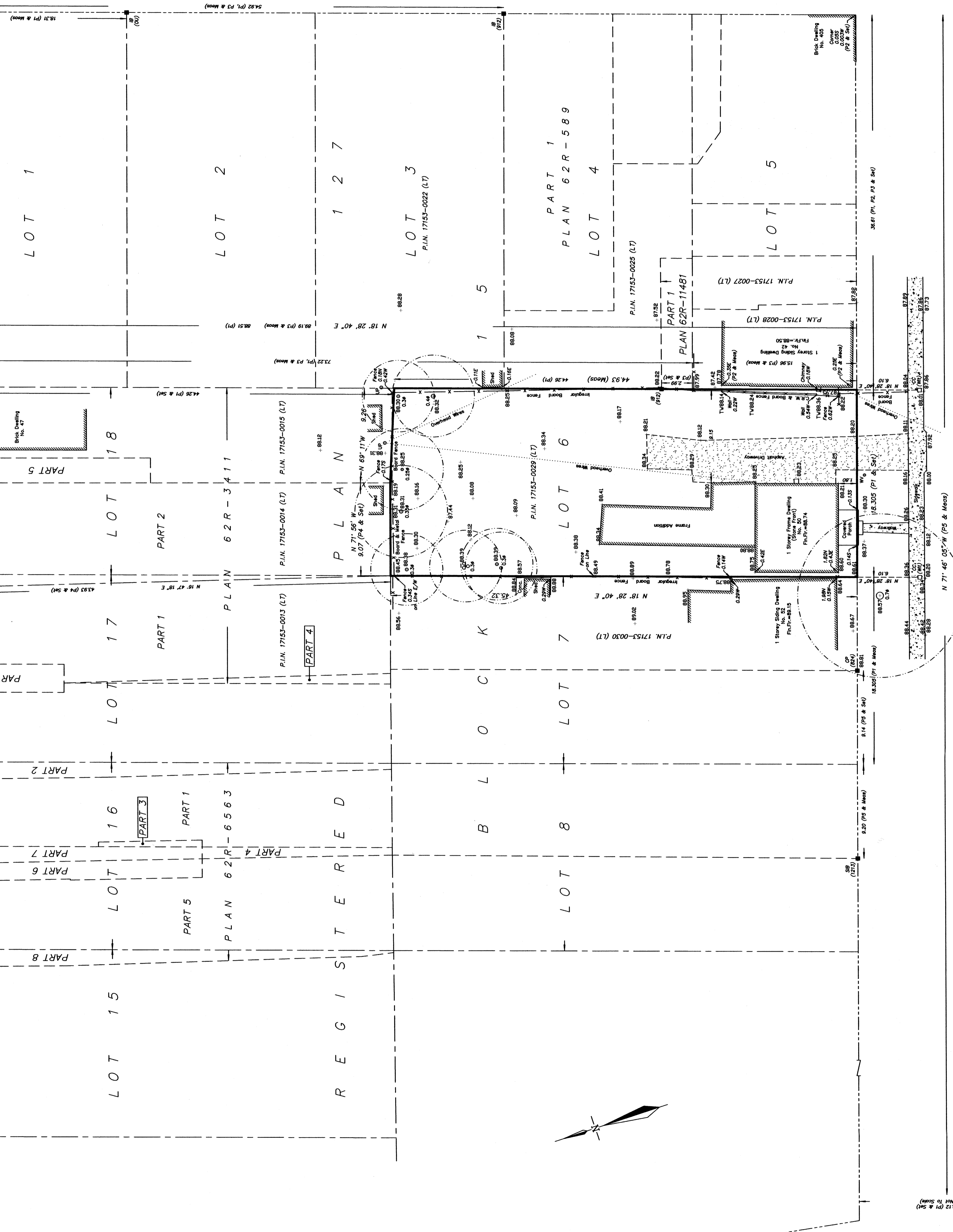
I CERTIFY THAT:
1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYORS ACT AND THE REGULATIONS MADE UNDER THEM.
2. THE SURVEY WAS COMPLETED ON NOVEMBER 6, 2019.

DATE: NOVEMBER 6, 2019
ONTARIO LAND SURVEYOR

B.A. JACOBS SURVEYING LTD.
166 JACKSON STREET EAST, SUITE 102
MILTON, ONTARIO L7R 1A6
PHONE 905-567-1038
info@bajacobsurveying.com

188 No. 188-47

MACCALLUM STREET WEST
(BY REGISTERED PLAN 127, P.I.N. 17154-0189 (L.T.))
N 71° 37' 00" W (REFERENCE BEARING) 141.78 (P2 & Meas) 141.78 (P4)

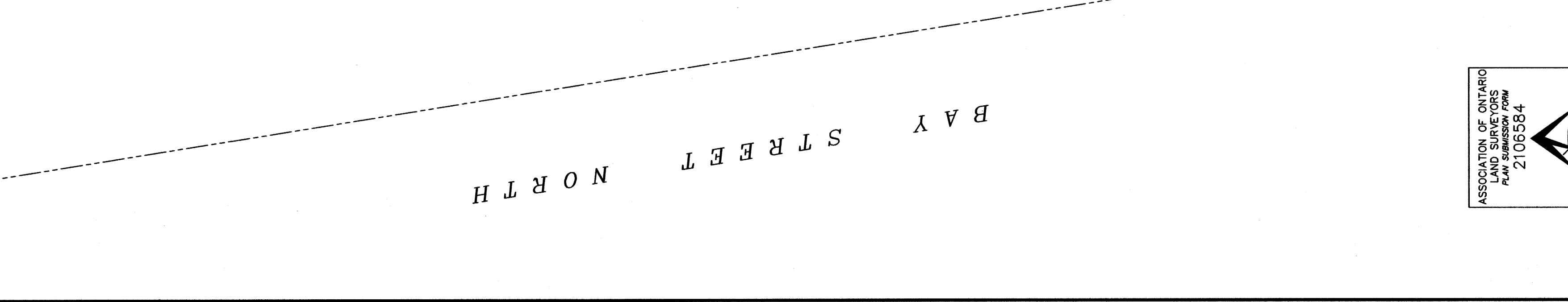


PICTON STREET WEST
(BY REGISTERED PLAN 127, P.I.N. 17153-0187 (L.T.))
N 71° 46' 05" W (P5 & Meas) 87.92

ASSOCIATION OF ONTARIO LAND SURVEYORS
PLAN NUMBER 2106584

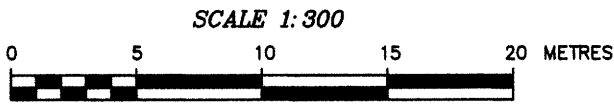
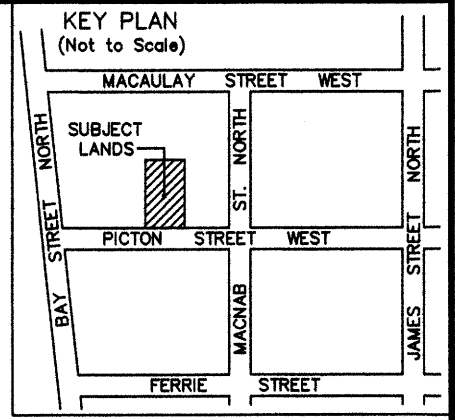
THIS REPORT WAS PREPARED FOR RANDY WOOLGAR

MACCALLUM STREET WEST
(BY REGISTERED PLAN 127, P.I.N. 17154-0189 (L.T.))
N 71° 37' 00" W (REFERENCE BEARING) 141.78 (P2 & Meas) 141.78 (P4)

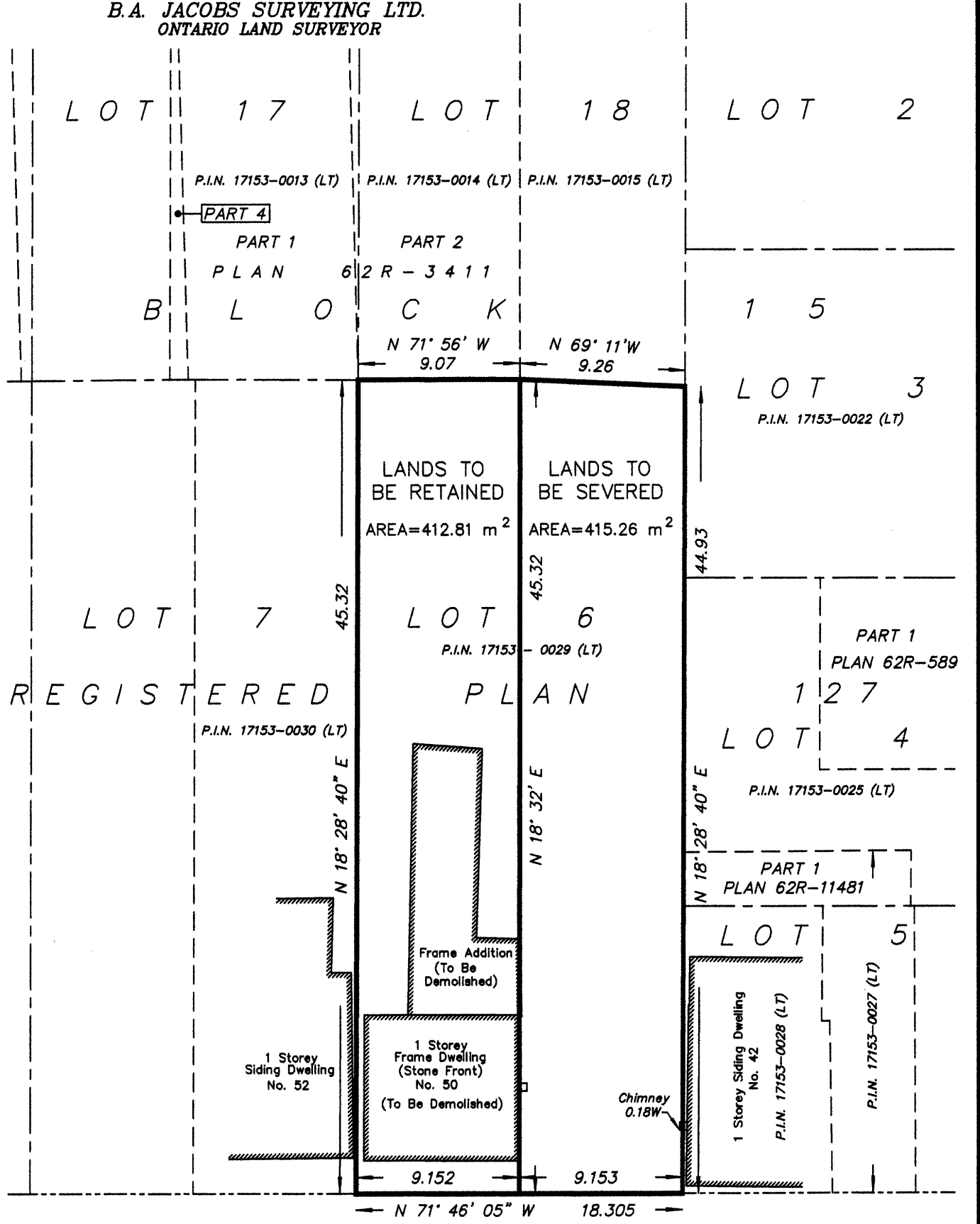


PICTON STREET WEST
(BY REGISTERED PLAN 127, P.I.N. 17153-0187 (L.T.))
N 71° 46' 05" W (P5 & Meas) 87.92

LAND DIVISION SKETCH
 (50 PICTON STREET WEST)
 LOT 6, BLOCK 15
 REGISTERED PLAN 127
 CITY OF HAMILTON



B.A. JACOBS SURVEYING LTD.
 ONTARIO LAND SURVEYOR

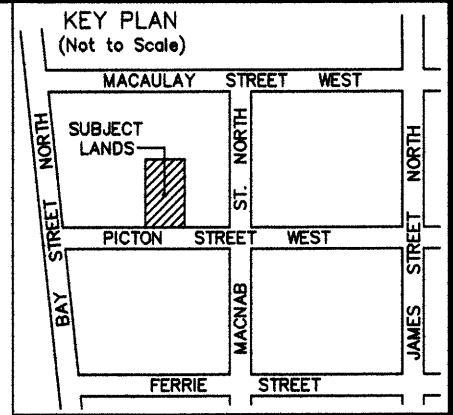
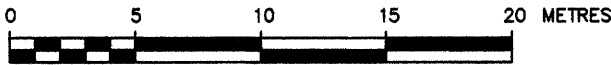


P I C T O N S T R E E T W E S T
 (20.12 m. WIDE, BY REGISTERED PLAN 127, P.I.N. 17153-0187 (LT))

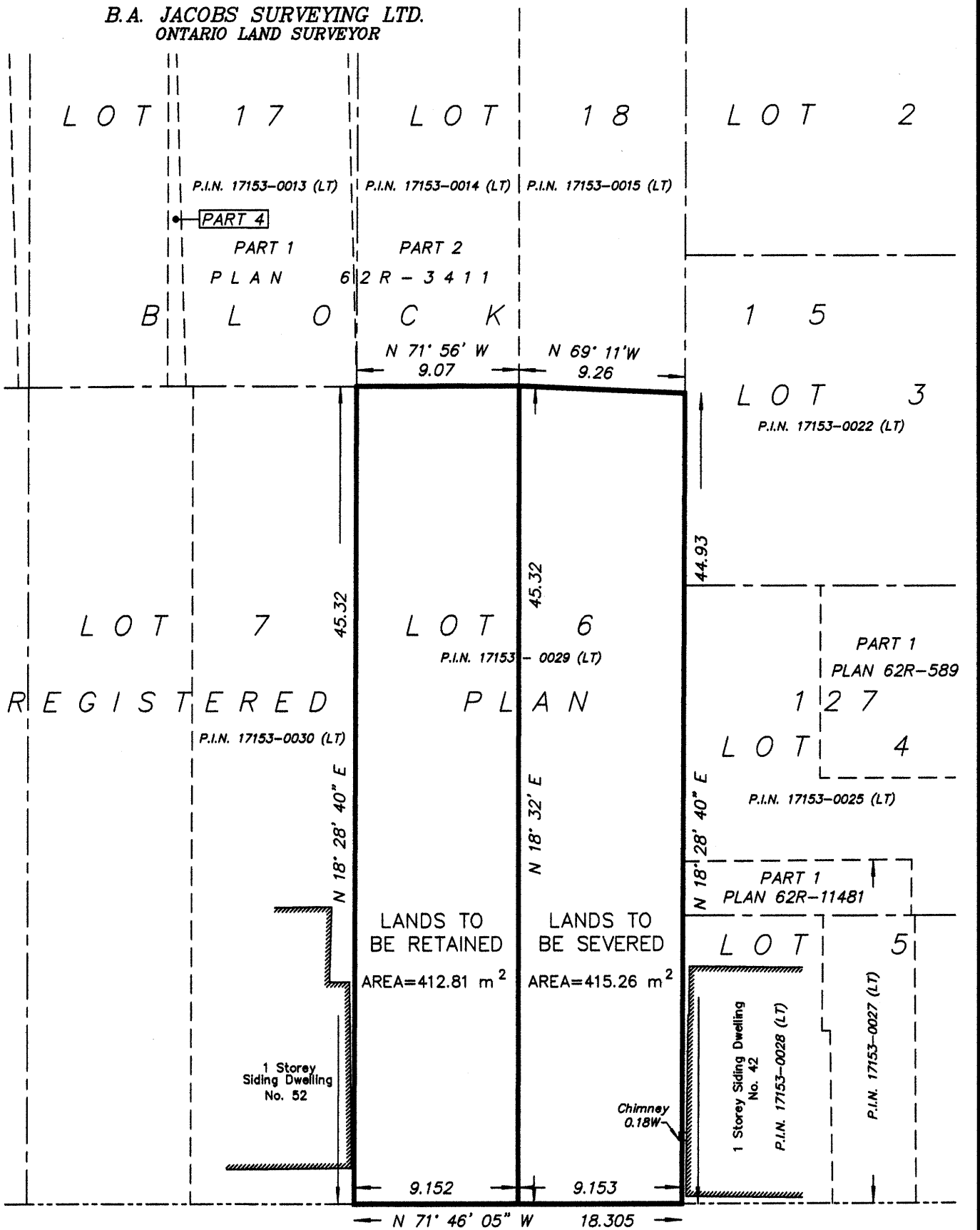
LAND DIVISION SKETCH
 (50 PICTON STREET WEST)
 LOT 6, BLOCK 15
 REGISTERED PLAN 127
 CITY OF HAMILTON



SCALE 1:300



B.A. JACOBS SURVEYING LTD.
 ONTARIO LAND SURVEYOR



P I C T O N S T R E E T W E S T

(20.12 m. WIDE, BY REGISTERED PLAN 127, P.I.N. 17153-0187 (LT))



Hamilton

COMMITTEE OF ADJUSTMENT

City Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5
 Telephone (905) 546-2424, ext. 4221, 3935 Fax (905) 546-4202
 E-mail: cofa@hamilton.ca

NOTICE OF PUBLIC HEARING

Application for Consent/Land Severance

APPLICATION NUMBER: HM/B-21:12

SUBJECT PROPERTY: 50 Picton St. W., Hamilton

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
- Applicant/agent on file, or
- Person likely to be interested in this application

APPLICANT(S): Owners R. Woolgar & M. Woolgar

PURPOSE OF APPLICATION: To permit the conveyance of a parcel of land for residential purposes, and to retain a parcel of land for residential purposes. Existing structures to be removed to facilitate application.

To be heard in conjunction with HM/A-21:75.

Severed lands:
 9.16m[±] x 45.32m[±] and an area of 415.26m²±

Retained lands:
 9.16m[±] x 45.32m[±] and an area of 412.81m²±

The Committee of Adjustment will hear this application on:

DATE: Thursday, April 1st, 2021

TIME: 1:55 p.m.

PLACE: Via video link or call in (see attached sheet for details)

To be streamed at
www.hamilton.ca/committeeofadjustment
 for viewing purposes only

PUBLIC INPUT

Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

Orally: If you would like to speak to this item at the hearing you may do so via video link or by calling in. Please see attached page for complete instructions, including deadlines for registering to participate.

HM/B-21:12
PAGE 2

MORE INFORMATION

For more information on this matter, including access to drawings illustrating this request:

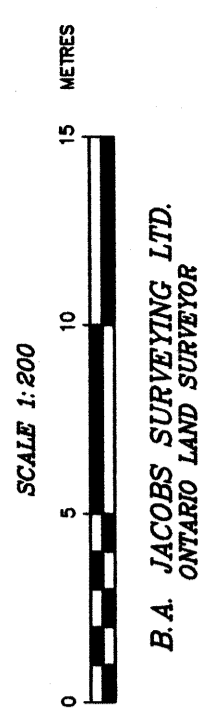
- Visit www.hamilton.ca/committeeofadjustment
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935
- Email Committee of Adjustment staff at cofa@hamilton.ca

DATED: March 16th , 2021

Jamila Sheffield,
Secretary-Treasurer
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public.

SURVEYOR'S REAL PROPERTY REPORT - PART 1
PLAN OF
LOT 6
BLOCK 15
REGISTERED PLAN 127
CITY OF HAMILTON



METRIC NOTE:
DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

BEARING NOTE:
BEARINGS ARE ASTROMOMIC AND ARE REFERRED TO THE HAMILTON BENCH MARK INDEXED AS No. 2-03. ALL BEARINGS ARE TRUE BEARINGS EXCEPT WHERE SHOWN OTHERWISE. ALL BEARINGS ARE REFERRED TO THE HAMILTON BENCH MARK INDEXED AS No. 2-03. ALL BEARINGS ARE TRUE BEARINGS EXCEPT WHERE SHOWN OTHERWISE. ALL BEARINGS ARE REFERRED TO THE HAMILTON BENCH MARK INDEXED AS No. 2-03. ALL BEARINGS ARE TRUE BEARINGS EXCEPT WHERE SHOWN OTHERWISE.

ELEVATION NOTE:
ELEVATIONS SHOWN ON THIS PLAN ARE REFERRED TO CITY OF HAMILTON BENCH MARK INDEXED AS No. 2-03. ALL ELEVATIONS ARE REFERRED TO THE HAMILTON BENCH MARK INDEXED AS No. 2-03. ALL ELEVATIONS ARE REFERRED TO THE HAMILTON BENCH MARK INDEXED AS No. 2-03. ALL ELEVATIONS ARE REFERRED TO THE HAMILTON BENCH MARK INDEXED AS No. 2-03.

- LEGEND:**
- DENOTES SURVEY MONUMENT FOUND
 - DENOTES SURVEY MONUMENT PLANTED
 - SB DENOTES STANDARD IRON BAR
 - IB DENOTES IRON BAR
 - CC DENOTES CUT CROSS
 - MC DENOTES METAL CONCRETE MARKER
 - WT DENOTES WOODEN WITNESS
 - (OU) DENOTES ORIGINAL UNKNOWN
 - P1 DENOTES REGISTERED PLAN 127
 - P2 DENOTES REGISTERED PLAN 127
 - P3 DENOTES REGISTERED PLAN 127
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SURVEYOR'S REAL PROPERTY REPORT
PART 2 - REPORT SUMMARY

DESCRIPTION OF LAND
BEING ALL OF LOT 6, BLOCK 15, REGISTERED PLAN 127, KNOWN AS MUNICIPAL No. 50 PICTON STREET WEST, CITY OF HAMILTON

REGISTERED BASEMENTS AND/OR RIGHTS OF WAY
REGISTERED BASEMENTS AND/OR RIGHTS OF WAY FOUND ON THE PARCEL REGISTERED IN THE LAND REGISTRY OFFICE

BOUNDARY FEATURES
NOTE LOCATION OF THE FENCES AS THEY RELATE TO THE BOUNDARIES OF THE SUBJECT PROPERTY. THE LOCATION OF THE FENCES AS THEY RELATE TO THE BOUNDARIES OF THE SUBJECT PROPERTY. THE LOCATION OF THE FENCES AS THEY RELATE TO THE BOUNDARIES OF THE SUBJECT PROPERTY.

COMPLIANCE WITH MUNICIPAL ZONING BY-LAWS
NOT CERTIFIED BY THIS REPORT

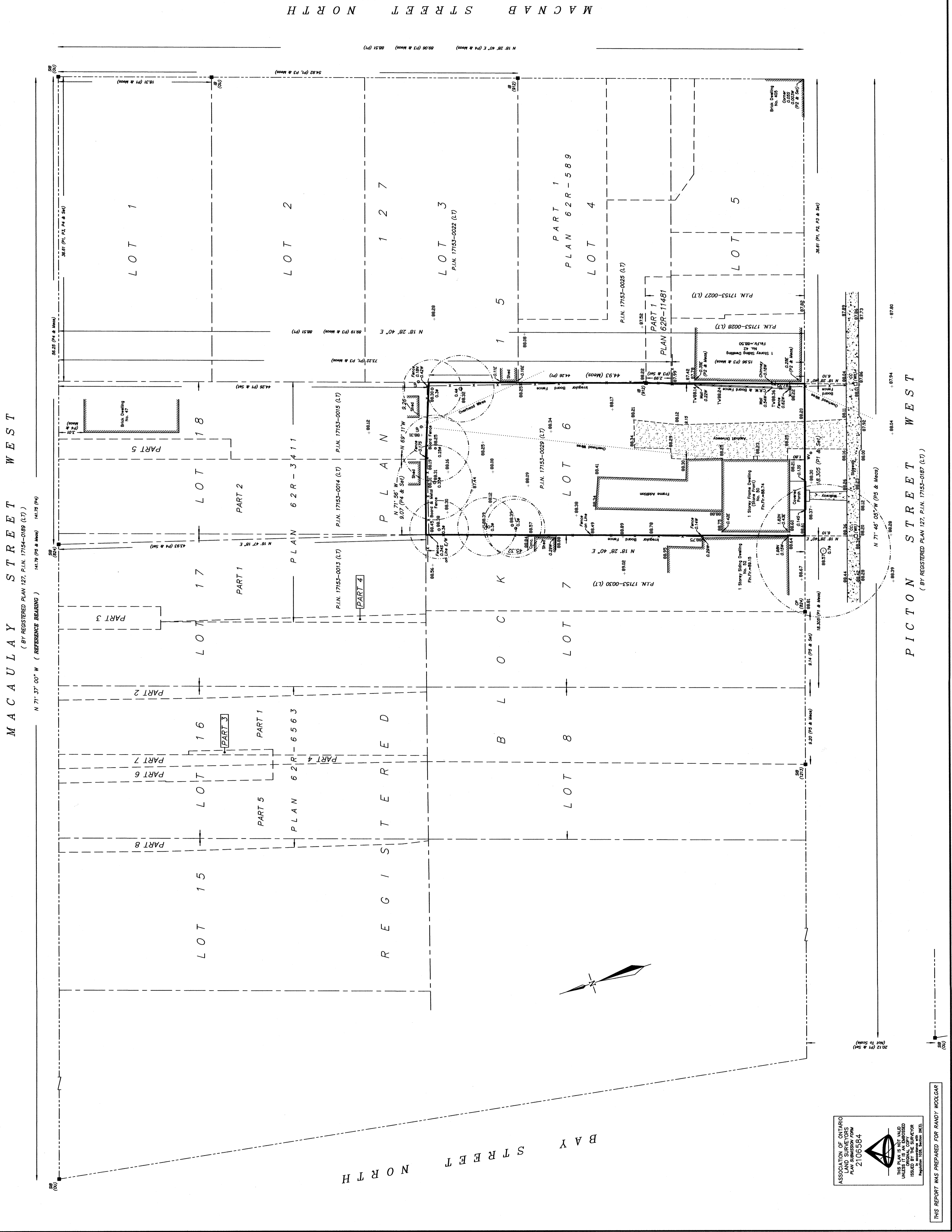
SURVEYOR'S CERTIFICATE

I CERTIFY THAT:
1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYORS ACT AND THE REGULATIONS MADE UNDER THEM.
2. THE SURVEY WAS COMPLETED ON NOVEMBER 6, 2019.

DATE: NOVEMBER 6, 2019
B.A. JACOBS
ONTARIO LAND SURVEYOR

B.A. JACOBS SURVEYING LTD.
166 JACOBSON STREET EAST, SUITE 102
MILTON, ONTARIO L9T 4K6
PHONE: 905-567-1038
info@bajacobsurveying.com

188 No. 188-47

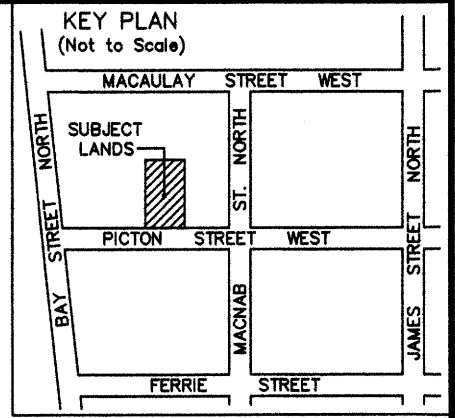
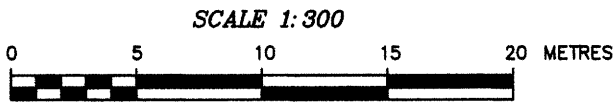


ASSOCIATION OF ONTARIO
LAND SURVEYORS
PLAN NUMBER 2106584

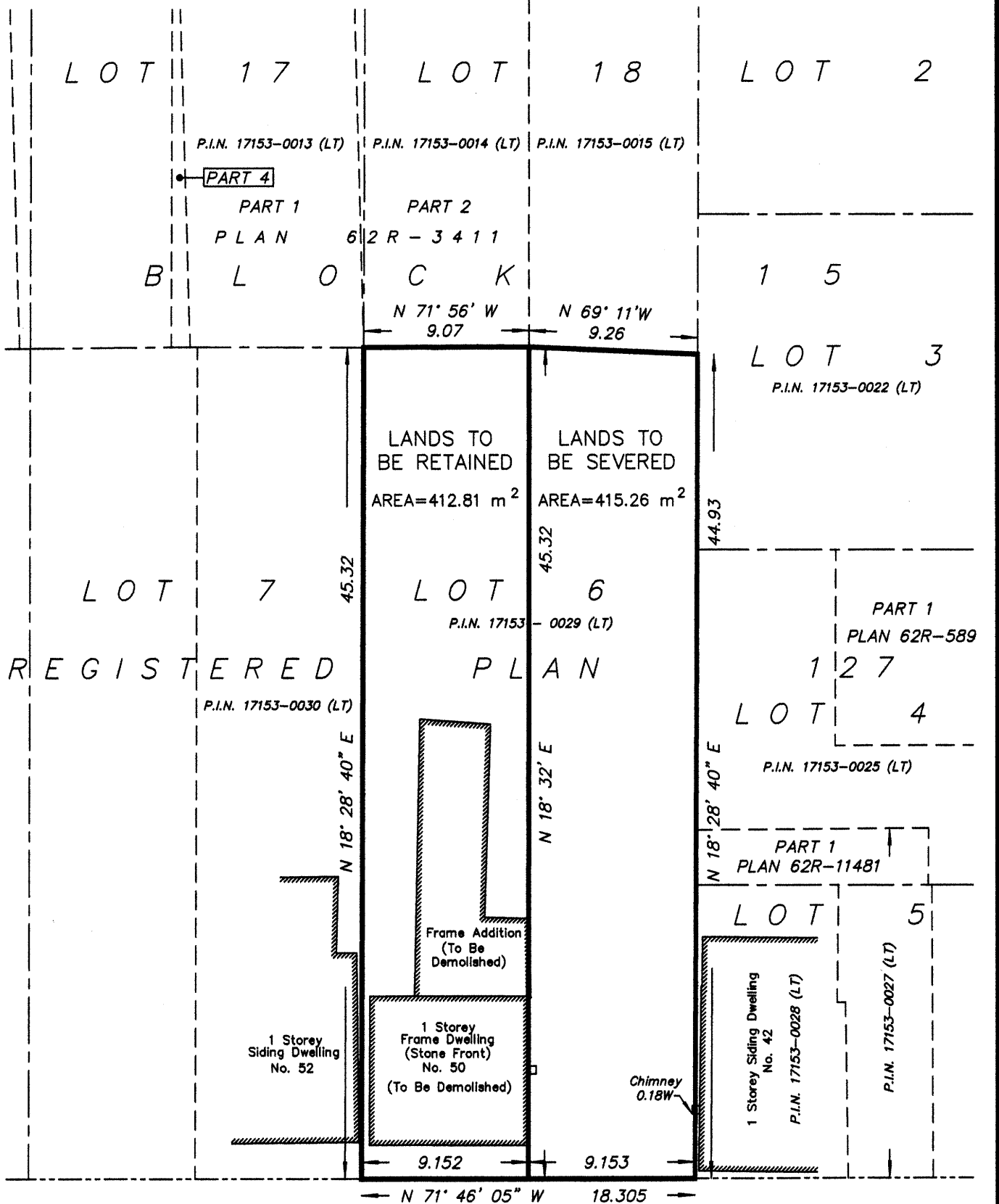
THIS REPORT WAS PREPARED FOR RANDY WOOLGAR

THIS REPORT WAS PREPARED FOR RANDY WOOLGAR

LAND DIVISION SKETCH
 (50 PICTON STREET WEST)
 LOT 6, BLOCK 15
 REGISTERED PLAN 127
 CITY OF HAMILTON



B.A. JACOBS SURVEYING LTD.
 ONTARIO LAND SURVEYOR



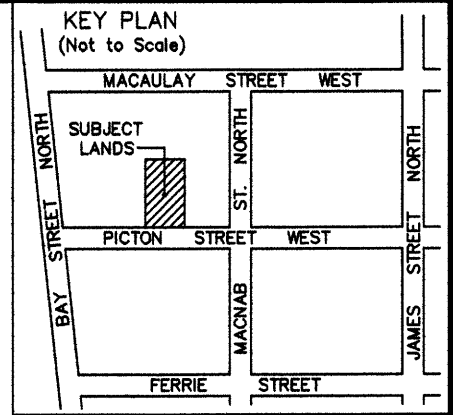
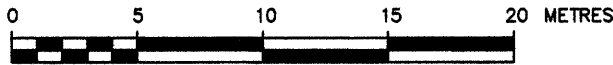
P I C T O N S T R E E T W E S T

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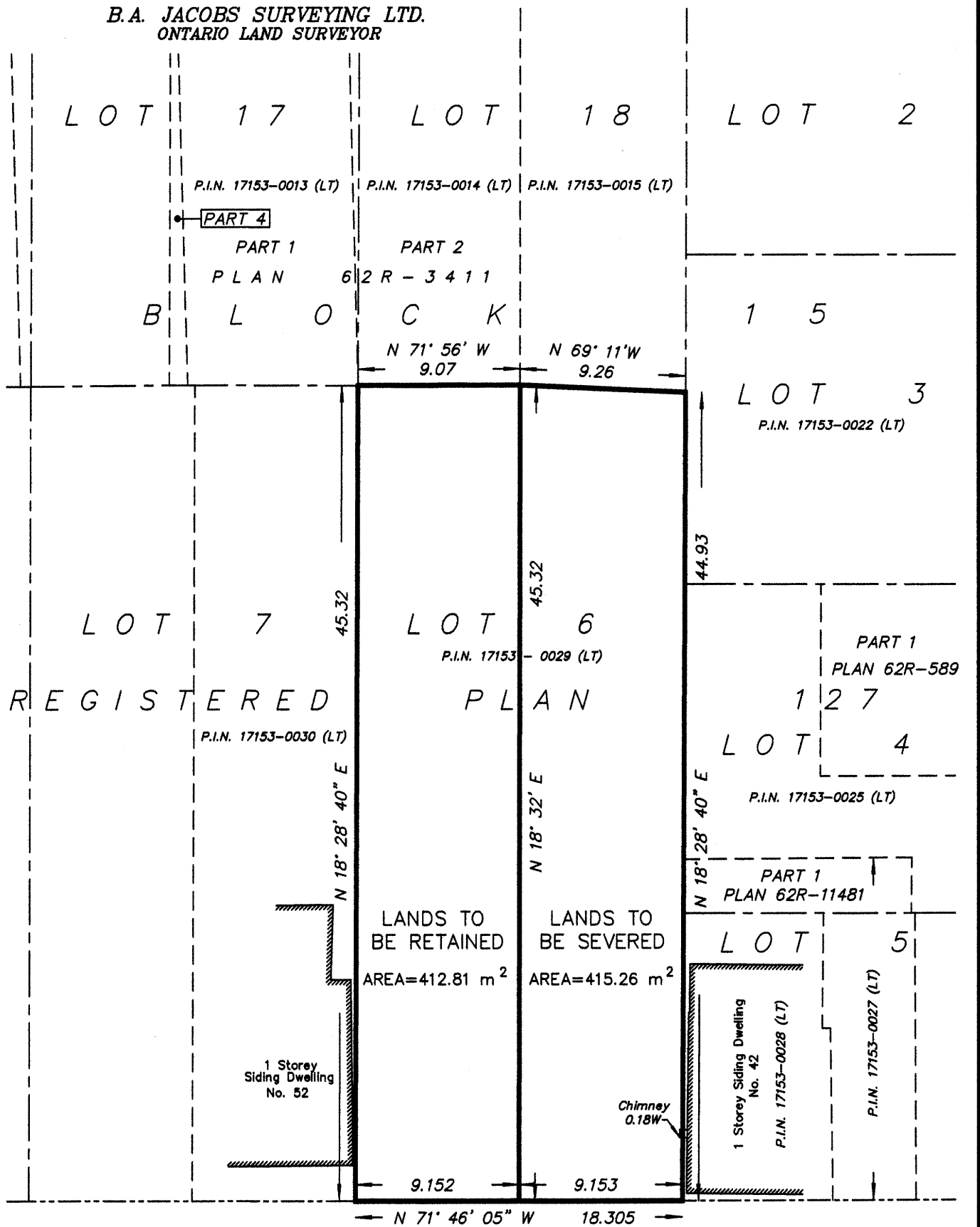
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SCALE 1:300



B.A. JACOBS SURVEYING LTD.
 ONTARIO LAND SURVEYOR



P I C T O N S T R E E T W E S T

(20.12 m. WIDE, BY REGISTERED PLAN 127, P.I.N. 17153-0187 (LT))

Committee of Adjustment

City Hall, 5th Floor,

71 Main St. W.,

Hamilton, ON L8P4Y5



Hamilton

Phone: (905) 546-2424 ext. 4221

Email: cofa@hamilton.ca

**APPLICATION FOR CONSENT TO SEVER LAND
UNDER SECTION 53 OF THE PLANNING ACT**

Office Use Only

Date Application Received:	Date Application Deemed Complete:	Submission No.:	File No.:
----------------------------	-----------------------------------	-----------------	-----------

1 APPLICANT INFORMATION

1.1, 1.2	NAME	ADDRESS
Registered Owners(s)		
Applicant(s)*		
Agent or Solicitor		

* Owner's auth

1.3 All correspondence should be sent to Owner Applicant Agent/Solicitor

2 LOCATION OF SUBJECT LAND Complete the applicable lines

2.1 Area Municipality	Lot	Concession	Former Township
Registered Plan N°.	Lot(s)	Reference Plan N°.	Part(s)
Municipal Address			Assessment Roll N°.

2.2 Are there any easements or restrictive covenants affecting the subject land?

Yes No

If YES, describe the easement or covenant and its effect:

3 PURPOSE OF THE APPLICATION

3.1 Type and purpose of proposed transaction: (check appropriate box)

a) Urban Area Transfer (do not complete Section 10):

creation of a new lot

Other: a charge

- addition to a lot
- an easement

- a lease
- a correction of title

b) **Rural Area / Rural Settlement Area Transfer (Section 10 must be completed):**

- creation of a new lot
- creation of a new non-farm parcel
(i.e. a lot containing a surplus farm dwelling
resulting from a farm consolidation)
- addition to a lot

- Other:
- a charge
 - a lease
 - a correction of title
 - an easement

3.2 Name of person(s), if known, to whom land or interest in land is to be transferred, leased or charged:

3.3 If a lot addition, identify the lands to which the parcel will be added:

4 DESCRIPTION OF SUBJECT LAND AND SERVICING INFORMATION

4.1 Description of land intended to be **Severed**:

Frontage (m)	Depth (m)	Area (m ² or ha)
--------------	-----------	-----------------------------

Existing Use of Property to be severed:

- Residential
- Agriculture (includes a farm dwelling)
- Other (specify) _____
- Industrial
- Agricultural-Related
- Commercial
- Vacant

Proposed Use of Property to be severed:

- Residential
- Agriculture (includes a farm dwelling)
- Other (specify) _____
- Industrial
- Agricultural-Related
- Commercial
- Vacant

Building(s) or Structure(s):

Existing: _____

Proposed: _____

Type of access: (check appropriate box)

- provincial highway
- municipal road, seasonally maintained
- municipal road, maintained all year
- right of way
- other public road

Type of water supply proposed: (check appropriate box)

- publicly owned and operated piped water system
- privately owned and operated individual well
- lake or other water body
- other means (specify) _____

Type of sewage disposal proposed: (check appropriate box)

- publicly owned and operated sanitary sewage system
- privately owned and operated individual septic system
- other means (specify) _____

4.2 Description of land intended to be **Retained**:

Frontage (m)	Depth (m)	Area (m ² or ha)
--------------	-----------	-----------------------------

Existing Use of Property to be retained:

- Residential
- Agriculture (includes a farm dwelling)
- Other (specify) _____
- Industrial
- Agricultural-Related
- Commercial
- Vacant

Proposed Use of Property to be retained:

- | | | |
|---|---|-------------------------------------|
| <input type="checkbox"/> Residential | <input type="checkbox"/> Industrial | <input type="checkbox"/> Commercial |
| <input type="checkbox"/> Agriculture (includes a farm dwelling) | <input type="checkbox"/> Agricultural-Related | <input type="checkbox"/> Vacant |
| <input type="checkbox"/> Other (specify) _____ | | |

Building(s) or Structure(s):

Existing: _____

Proposed: _____

Type of access: (check appropriate box)

- | | |
|--|--|
| <input type="checkbox"/> provincial highway | <input type="checkbox"/> right of way |
| <input type="checkbox"/> municipal road, seasonally maintained | <input type="checkbox"/> other public road |
| <input type="checkbox"/> municipal road, maintained all year | |

Type of water supply proposed: (check appropriate box)

- | | |
|---|--|
| <input type="checkbox"/> publicly owned and operated piped water system | <input type="checkbox"/> lake or other water body |
| <input type="checkbox"/> privately owned and operated individual well | <input type="checkbox"/> other means (specify) _____ |

Type of sewage disposal proposed: (check appropriate box)

- | |
|--|
| <input type="checkbox"/> publicly owned and operated sanitary sewage system |
| <input type="checkbox"/> privately owned and operated individual septic system |
| <input type="checkbox"/> other means (specify) _____ |

4.3 Other Services: (check if the service is available)

- | | | | |
|--------------------------------------|------------------------------------|---|---|
| <input type="checkbox"/> electricity | <input type="checkbox"/> telephone | <input type="checkbox"/> school bussing | <input type="checkbox"/> garbage collection |
|--------------------------------------|------------------------------------|---|---|

5 CURRENT LAND USE

5.1 What is the existing official plan designation of the subject land?

Rural Hamilton Official Plan designation (if applicable): _____

Urban Hamilton Official Plan designation (if applicable): _____

Please provide an explanation of how the application conforms with a City of Hamilton Official Plan.

5.2 What is the existing zoning of the subject land? **Zoning By-law 6593, as Amended**

If the subject land is covered by a Minister's zoning order, what is the Ontario Regulation Number? _____

5.3 Are any of the following uses or features on the subject land or within 500 metres of the subject land, unless otherwise specified. Please check the appropriate boxes, if any apply.

Use or Feature	On the Subject Land	Within 500 Metres of Subject Land, unless otherwise specified (indicate approximate distance)
An agricultural operation, including livestock facility or stockyard	<input type="checkbox"/>	
A land fill	<input type="checkbox"/>	
A sewage treatment plant or waste stabilization plant	<input type="checkbox"/>	
A provincially significant wetland	<input type="checkbox"/>	

A provincially significant wetland within 120 metres	<input type="checkbox"/>	
A flood plain	<input type="checkbox"/>	
An industrial or commercial use, and specify the use(s)	<input type="checkbox"/>	
An active railway line	<input type="checkbox"/>	
A municipal or federal airport	<input type="checkbox"/>	

6 PREVIOUS USE OF PROPERTY

- Residential Industrial Commercial
 Agriculture Vacant Other (specify)

- 6.1 If Industrial or Commercial, specify use _____
- 6.2 Has the grading of the subject land been changed by adding earth or other material, i.e., has filling occurred?
 Yes No Unknown
- 6.3 Has a gas station been located on the subject land or adjacent lands at any time?
 Yes No Unknown
- 6.4 Has there been petroleum or other fuel stored on the subject land or adjacent lands?
 Yes No Unknown
- 6.5 Are there or have there ever been underground storage tanks or buried waste on the subject land or adjacent lands?
 Yes No Unknown
- 6.6 Have the lands or adjacent lands ever been used as an agricultural operation where cyanide products may have been used as pesticides and/or biosolids was applied to the lands?
 Yes No Unknown
- 6.7 Have the lands or adjacent lands ever been used as a weapons firing range?
 Yes No Unknown
- 6.8 Is the nearest boundary line of the application within 500 metres (1,640 feet) of the fill area of an operational/non-operational landfill or dump?
 Yes No Unknown
- 6.9 If there are existing or previously existing buildings, are there any building materials remaining on site which are potentially hazardous to public health (e.g., asbestos, PCB's)?
 Yes No Unknown
- 6.10 Is there reason to believe the subject land may have been contaminated by former uses on the site or adjacent sites?
 Yes No Unknown
- 6.11 What information did you use to determine the answers to 6.1 to 6.10 above?

- 6.12 If previous use of property is industrial or commercial or if YES to any of 6.2 to 6.10, a previous use inventory showing all former uses of the subject land, or if appropriate, the land adjacent to the subject land, is needed.
 Is the previous use inventory attached?
 Yes No

7 PROVINCIAL POLICY

- 7.1 a) Is this application consistent with the Policy Statements issued under subsection of the *Planning Act*? (Provide explanation)
- Yes No

- b) Is this application consistent with the Provincial Policy Statement (PPS)?
 Yes No (Provide explanation)

- c) Does this application conform to the Growth Plan for the Greater Golden Horseshoe?
 Yes No (Provide explanation)

- d) Are the subject lands within an area of land designated under any provincial plan or plans? (If YES, provide explanation on whether the application conforms or does not conflict with the provincial plan or plans.)
 Yes No

- e) Are the subject lands subject to the Niagara Escarpment Plan?
 Yes No

 If yes, is the proposal in conformity with the Niagara Escarpment Plan?
 Yes No
 (Provide Explanation)

- f) Are the subject lands subject to the Parkway Belt West Plan?
 Yes No

 If yes, is the proposal in conformity with the Parkway Belt West Plan?
 Yes No (Provide Explanation)

- g) Are the subject lands subject to the Greenbelt Plan?
 Yes No

 If yes, does this application conform with the Greenbelt Plan?
 Yes No (Provide Explanation)

8 HISTORY OF THE SUBJECT LAND

- 8.1 Has the subject land ever been the subject of an application for approval of a plan of subdivision or a consent under sections 51 or 53 of the *Planning Act*?
 Yes No Unknown

If YES, and known, indicate the appropriate application file number and the decision made on the application.

- 8.2 If this application is a re-submission of a previous consent application, describe how it has been changed from the original application.

- 8.3 Has any land been severed or subdivided from the parcel originally acquired by the owner of the subject land? Yes No

If YES, and if known, provide for each parcel severed, the date of transfer, the name of

the transferee and the land use.

8.4 How long has the applicant owned the subject land?

8.5 Does the applicant own any other land in the City? Yes No
 If YES, describe the lands in "11 - Other Information" or attach a separate page.

9 OTHER APPLICATIONS

9.1 Is the subject land currently the subject of a proposed official plan amendment that has been submitted for approval? Yes No Unknown

If YES, and if known, specify file number and status of the application.

9.2 Is the subject land the subject of any other application for a Minister's zoning order, zoning by-law amendment, minor variance, consent or approval of a plan of subdivision? Yes No Unknown

If YES, and if known, specify file number and status of the application(s).

File number _____ Status _____

10 RURAL APPLICATIONS

10.1 **Rural Hamilton Official Plan Designation(s)**

- | | | |
|--|-------------------------------------|---|
| <input type="checkbox"/> Agricultural | <input type="checkbox"/> Rural | <input type="checkbox"/> Specialty Crop |
| <input type="checkbox"/> Mineral Aggregate Resource Extraction | <input type="checkbox"/> Open Space | <input type="checkbox"/> Utilities |
| <input type="checkbox"/> Rural Settlement Area (specify) _____ | _____ | _____ |
| | Settlement Area | Designation |

If proposal is for the creation of a non-farm parcel resulting from a farm consolidation, indicate the existing land use designation of the abutting or non-abutting farm operation.

10.2 **Type of Application** (select type and complete appropriate sections)

- | | | |
|---|---|-------------------------|
| <input type="checkbox"/> Agricultural Severance or Lot Addition | } | (Complete Section 10.3) |
| <input type="checkbox"/> Agricultural Related Severance or Lot Addition | | |
| <input type="checkbox"/> Rural Resource-based Commercial Severance or Lot Addition | | |
| <input type="checkbox"/> Rural Institutional Severance or Lot Addition | | |
| <input type="checkbox"/> Rural Settlement Area Severance or Lot Addition | | |
| <input type="checkbox"/> Surplus Farm Dwelling Severance from an Abutting Farm Consolidation | | (Complete Section 10.4) |
| <input type="checkbox"/> Surplus Farm Dwelling Severance from a Non-Abutting Farm Consolidation | | (Complete Section 10.5) |

10.3 **Description of Lands**

a) Lands to be Severed:

Frontage (m): (from Section 4.1)	Area (m ² or ha): (from in Section 4.1)
----------------------------------	--

Existing Land Use: _____ Proposed Land Use: _____

b) Lands to be Retained:

Frontage (m): (from Section 4.2)	Area (m ² or ha): (from Section 4.2)
----------------------------------	---

Existing Land Use: _____ Proposed Land Use: _____

10.4 Description of Lands (Abutting Farm Consolidation)

a) Location of abutting farm:

 (Street) (Municipality) (Postal Code)

b) Description abutting farm:

Frontage (m):	Area (m ² or ha):
---------------	------------------------------

Existing Land Use(s): _____ Proposed Land Use(s): _____

c) Description of consolidated farm (excluding lands intended to be severed for the surplus dwelling):

Frontage (m):	Area (m ² or ha):
---------------	------------------------------

Existing Land Use: _____ Proposed Land Use: _____

d) Description of surplus dwelling lands proposed to be severed:

Frontage (m): (from Section 4.1)	Area (m ² or ha): (from Section 4.1)
----------------------------------	---

Front yard set back: _____

e) Surplus farm dwelling date of construction:

 Prior to December 16, 2004 After December 16, 2004

f) Condition of surplus farm dwelling:

 Habitable Non-Habitable

g) Description of farm from which the surplus dwelling is intended to be severed (retained parcel):

Frontage (m): (from Section 4.2)	Area (m ² or ha): (from Section 4.2)
----------------------------------	---

Existing Land Use: _____ Proposed Land Use: _____

10.5 Description of Lands (Non-Abutting Farm Consolidation)

a) Location of non-abutting farm

 (Street) (Municipality) (Postal Code)

b) Description of non-abutting farm

Frontage (m):	Area (m ² or ha):
---------------	------------------------------

Existing Land Use(s): _____ Proposed Land Use(s): _____

c) Description of surplus dwelling lands intended to be severed:

Frontage (m): (from Section 4.1)	Area (m ² or ha): (from Section 4.1)
----------------------------------	---

Front yard set back: _____

d) Surplus farm dwelling date of construction:

 Prior to December 16, 2004 After December 16, 2004

e) Condition of surplus farm dwelling:

Habitable Non-Habitable

f) Description of farm from which the surplus dwelling is intended to be severed (retained parcel):

Frontage (m): (from Section 4.2)	Area (m ² or ha): (from Section 4.2)
----------------------------------	---

Existing Land Use: _____ Proposed Land Use: _____

11 OTHER INFORMATION

Is there any other information that you think may be useful to the Committee of Adjustment or other agencies in reviewing this application? If so, explain below or attach on a separate page.

Site Sketch attached as a separate document.

12 SKETCH (Use the attached Sketch Sheet as a guide)

12.1 The application shall be accompanied by a sketch showing the following in metric units:

- (a) the boundaries and dimensions of any land abutting the subject land that is owned by the owner of the subject land;
- (b) the approximate distance between the subject land and the nearest township lot line or landmark such as a bridge or railway crossing;
- (c) the boundaries and dimensions of the subject land, the part that is intended to be severed and the part that is intended to be retained;
- (d) the location of all land previously severed from the parcel originally acquired by the current owner of the subject land;
- (e) the approximate location of all natural and artificial features (for example, buildings, barns, railways, roads, watercourses, drainage ditches, banks of rivers or streams, wetlands, wooded areas, wells and septic tanks) that,
 - i) are located on the subject land and on land that is adjacent to it, and
 - ii) in the applicant's opinion, may affect the application;
- (f) the current uses of land that is adjacent to the subject land (for example, residential, agricultural or commercial);
- (g) the location, width and name of any roads within or abutting the subject land, indicating whether it is an unopened road allowance, a public travelled road, a private road or a right of way;
- (h) the location and nature of any easement affecting the subject land.

13 ACKNOWLEDGEMENT CLAUSE

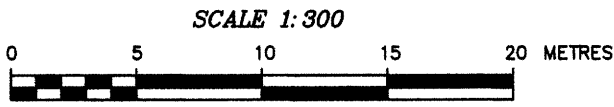
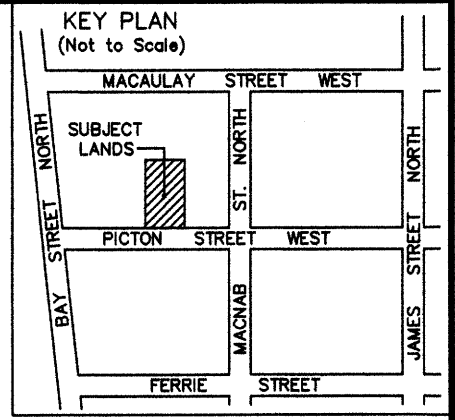
I acknowledge that The City of Hamilton is not responsible for the identification and remediation of contamination on the property which is the subject of this Application – by reason of its approval to this Application.



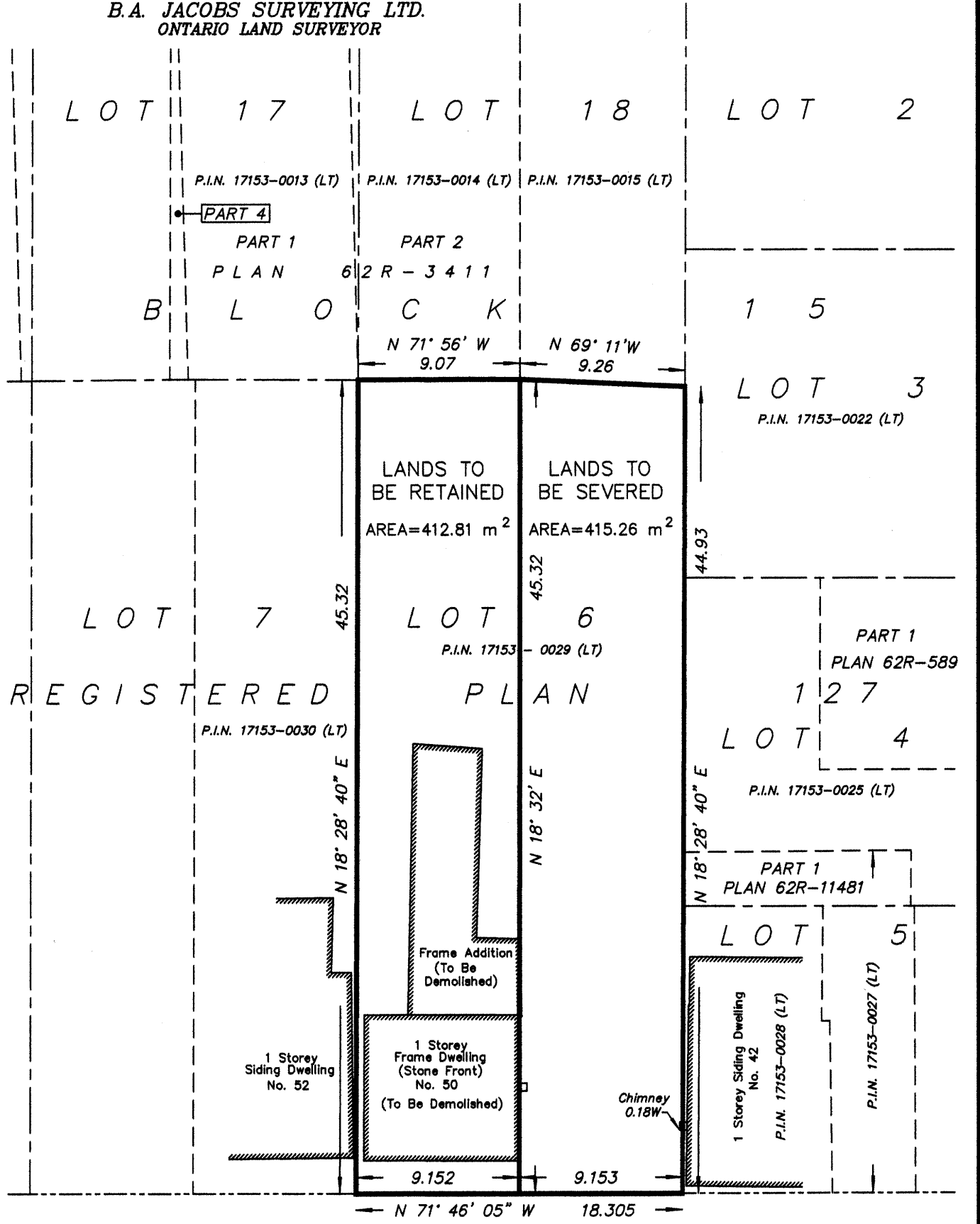
Date

Signature of Owner

LAND DIVISION SKETCH
 (50 PICTON STREET WEST)
 LOT 6, BLOCK 15
 REGISTERED PLAN 127
 CITY OF HAMILTON



B.A. JACOBS SURVEYING LTD.
 ONTARIO LAND SURVEYOR



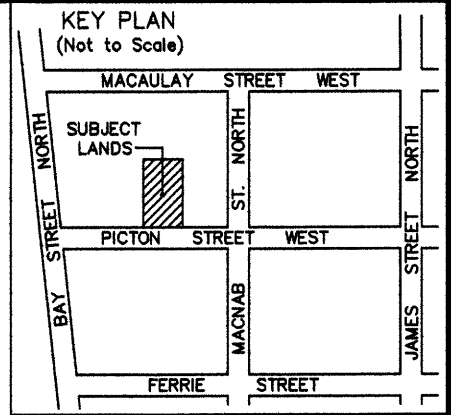
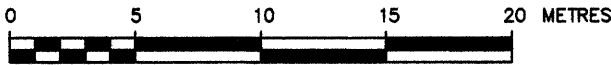
P I C T O N S T R E E T W E S T

(20.12 m. WIDE, BY REGISTERED PLAN 127, P.I.N. 17153-0187 (LT))

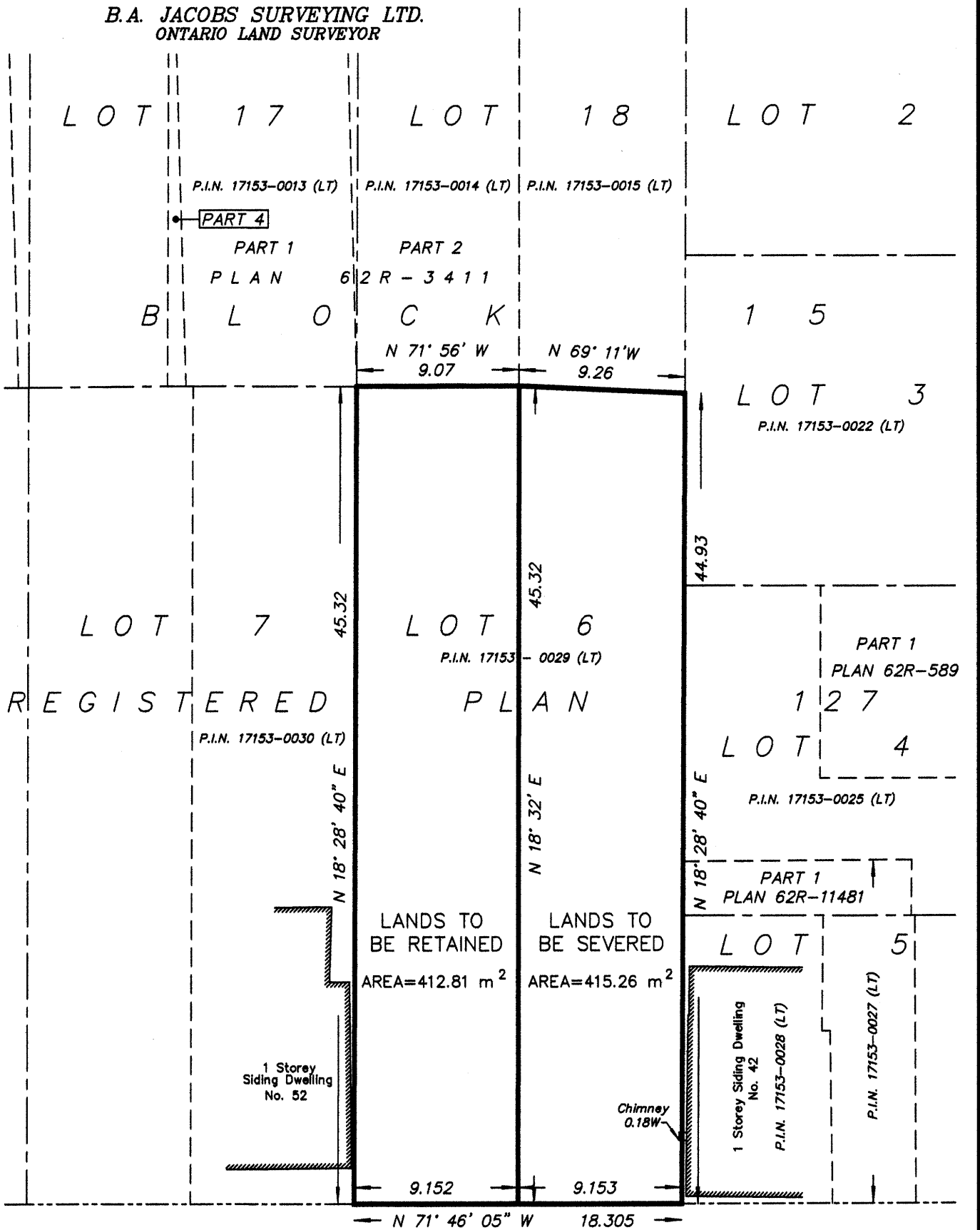
LAND DIVISION SKETCH
 (50 PICTON STREET WEST)
 LOT 6, BLOCK 15
 REGISTERED PLAN 127
 CITY OF HAMILTON



SCALE 1:300



B.A. JACOBS SURVEYING LTD.
 ONTARIO LAND SURVEYOR



P I C T O N S T R E E T W E S T

(20.12 m. WIDE, BY REGISTERED PLAN 127, P.I.N. 17153-0187 (LT))



Hamilton

COMMITTEE OF ADJUSTMENT

City Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5
 Telephone (905) 546-2424, ext. 4221, 3935 Fax (905) 546-4202
 E-mail: cofa@hamilton.ca

NOTICE OF PUBLIC HEARING **Minor Variance**

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
- Applicant/agent on file, or
- Person likely to be interested in this application

APPLICATION NO.: HM/A-21:76

APPLICANTS: Urban Solutions c/o M. Johnston on behalf of the owner
Brenda Swaffer

SUBJECT PROPERTY: Municipal address **52 Chatham St., Hamilton**

ZONING BY-LAW: Zoning By-law 6593, as Amended 19-307

ZONING: "D/S-1787" (Urban Protected Residential - 1 & 2 Family Dwellings, etc.) district

PROPOSAL: To permit the construction of a new three storey semi-detached two-family dwelling on the subject lands and the future separation of the dwelling, notwithstanding that;

1. A minimum front yard depth of 1.4m shall be permitted instead of the minimum 6.0m front yard depth required.
2. A minimum lot width of 14.9m shall be permitted instead of the minimum 18.0m lot width required for a two-family dwelling.

Notes: The zoning By-law permits a maximum building height of 14.0m/3 storeys; however, no elevation plans were provided; therefore, compliance could not be determined and further variances may be required.

Details respecting eaves or gutters where not shown. The applicant shall ensure that the maximum eave and gutter projections are achieved; otherwise, further variances may be required.

The applicant shall ensure the proposal conforms with regards to the minimum required 50.0% front yard landscaped area, access driveway width including the door providing access to the private garage and the surface makeup of the parking spaces. Otherwise, further variances will be required.

This application will be heard by the Committee as shown below:

DATE: Thursday, April 1st, 2021
TIME: 2:00 p.m.
PLACE: Via video link or call in (see attached sheet for details)
 To be streamed at
www.hamilton.ca/committeeofadjustment
 for viewing purposes only

HM/A-21: 76
Page 2

PUBLIC INPUT

Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

Orally: If you would like to speak to this item at the hearing you may do so via video link or by calling in. Please see attached page for complete instructions, including deadlines for registering to participate.

MORE INFORMATION

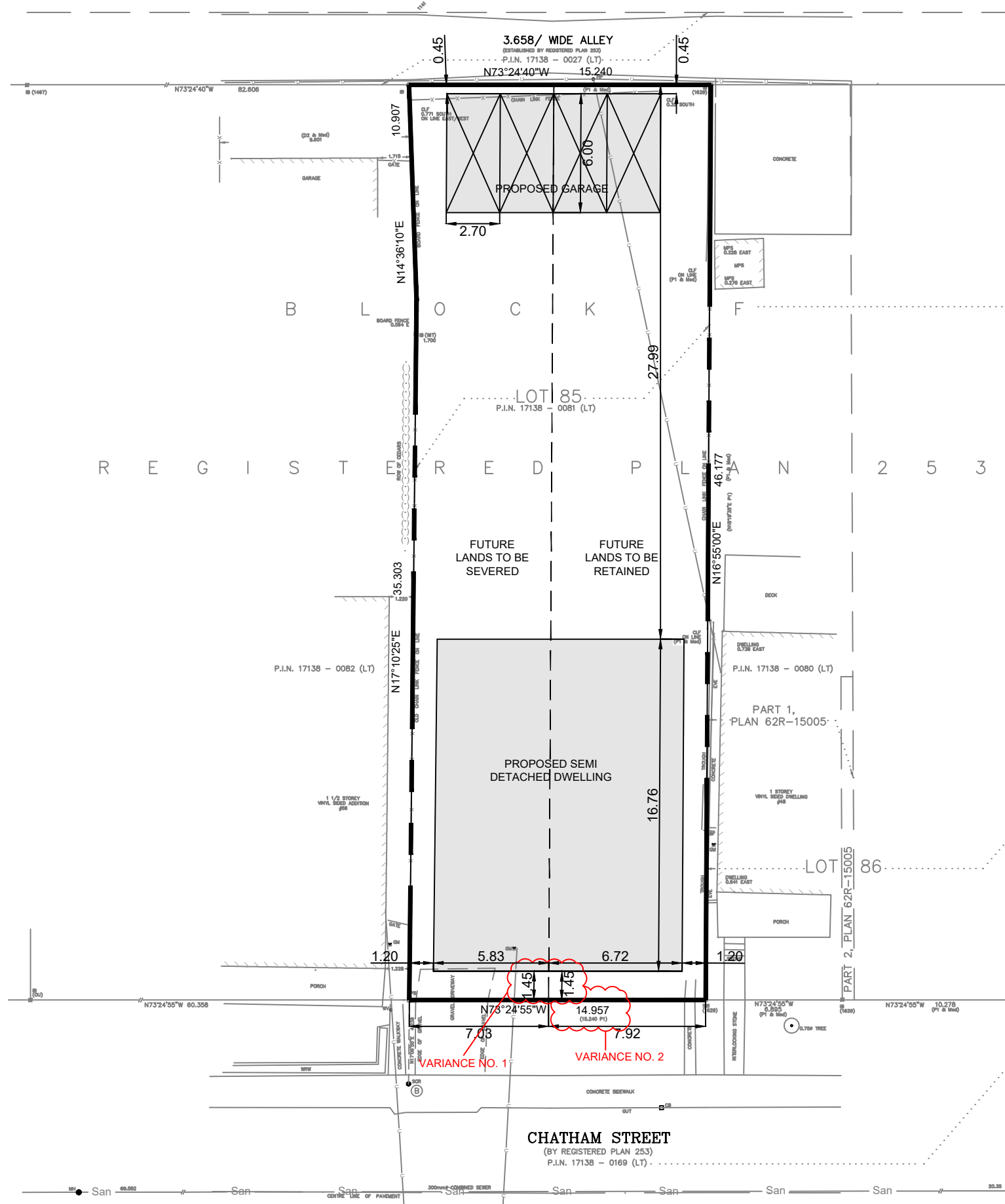
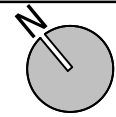
For more information on this matter, including access to drawings illustrating this request:

- Visit www.hamilton.ca/committeeofadjustment
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935
- Email Committee of Adjustment staff at cofa@hamilton.ca

DATED: March 16th, 2021.

Jamila Sheffield,
Secretary-Treasurer
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public.

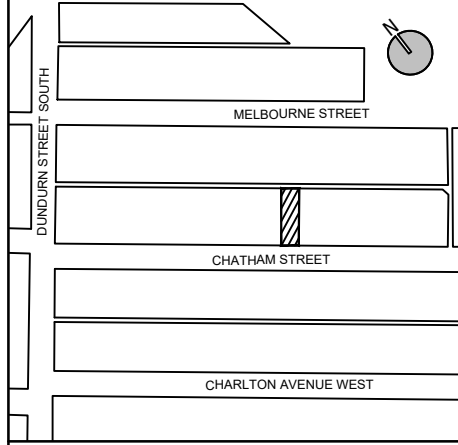


DEVELOPMENT STATISTICS		
D/S-1787 (Urban Protected Residential -One & Two Family Dwellings)		
Item	Required	Proposed
Permitted Use	Two Family Dwelling	Two Family Dwelling
Front Yard Depth	6.0 m	1.45 m
Height	11.0 m	<11.0 m
Rear Yard	7.5 m	27.99 m
Side Yard	1.20 m	1.20 m
Lot Frontage	18.0 m	14.95 m
Lot Area	540.0 m ²	688.95 m ²
Accessory Structure Rear Setback	0.45 m	0.45 m
Max. Accessory Structure Height	4.0 m	<4.0 m
Max. Permitted Accessory Building Area	30%	64.80 m ² (16.23%)
Residential Parking	1 space per Class A dwelling unit = 2 space	4 spaces

REQUIRED VARIANCES:

VARIANCE NO. 1: A FRONT YARD DEPTH OF AT LEAST 1.45 METRES SHALL BE PERMITTED WHEREAS 6.0 METRES IS REQUIRED.

VARIANCE NO. 2: A LOT FRONTAGE OF 14.95 METRES SHALL BE PERMITTED WHEREAS 18.0 METRES IS REQUIRED.



KEY MAP - N.T.S.

SCALE: 1:250 METRES

LEGEND:

- SUBJECT LANDS
- PROPERTY BOUNDARIES
- X- EX. FENCE
- - - PROP. FUTURE SEVERANCE LINE

NOT FOR CONSTRUCTION
ISSUED FOR REVIEW & COMMENTS ONLY

NOTES:
ALL DIMENSIONS SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

DESIGN BY: L. DRENNAN CHECKED BY: M. JOHNSTON
DRAWN BY: L. DRENNAN DATE: FEBRUARY 22, 2021

URBAN SOLUTIONS
PLANNING & LAND DEVELOPMENT

3 STUDEBAKER PLACE, UNIT 1
HAMILTON, ON L8L 0C8
905-546-1087 - urbansolutions.info

PROJECT:
52 CHATHAM STREET
CITY OF HAMILTON

CLIENT:
CARL BRENNAN & BRENDA SWAFFER

TITLE:
MINOR VARIANCE SKETCH

U/S FILE NUMBER: 386-21 SHEET NUMBER: 1



Committee of Adjustment
 City Hall, 5th Floor,
 71 Main St. W.,
 Hamilton, ON L8P4Y5

Phone: (905) 546-2424 ext. 4221
 Email: cofa@hamilton.ca

APPLICATION FOR A MINOR VARIANCE

FOR OFFICE USE ONLY.	
APPLICATION NO. _____	DATE APPLICATION RECEIVED _____
PAID _____	DATE APPLICATION DEEMED COMPLETE _____
SECRETARY'S SIGNATURE _____	

The Planning Act

Application for Minor Variance or for Permission

The undersigned hereby applies to the Committee of Adjustment for the City of Hamilton under Section 45 of the *Planning Act*, R.S.O. 1990, Chapter P.13 for relief, as described in this application, from the Zoning By-law.

1, 2	NAME	ADDRESS
Registered Owners(s)	Ms. Brenda Swaffer	
Applicant(s)*	Same as above	
Agent or Solicitor	UrbanSolutions Planning & Land Development Consultants Inc. c/o Matt Johnston	

Note: Unless otherwise requested all communications will be sent to the agent, if any.

3. Names and addresses of any mortgagees, holders of charges or other encumbrances:

N/A

Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled

4. Nature and extent of relief applied for:
Please refer to cover letter for requested variances.
5. Why it is not possible to comply with the provisions of the By-law?
Please refer to cover letter for details.
6. Legal description and Address of subject lands (registered plan number and lot number or other legal description and where applicable, **street and street number**):
Lot 85, Block "F", Registered Plan 253 in the City of Hamilton
52 Chatham Street, Hamilton, ON L8P 2B4
7. PREVIOUS USE OF PROPERTY
Residential Industrial Commercial
Agricultural Vacant
Other _____
- 8.1 If Industrial or Commercial, specify use N/A
- 8.2 Has the grading of the subject land been changed by adding earth or other material, i.e. has filling occurred?
Yes No Unknown
- 8.3 Has a gas station been located on the subject land or adjacent lands at any time?
Yes No Unknown
- 8.4 Has there been petroleum or other fuel stored on the subject land or adjacent lands?
Yes No Unknown
- 8.5 Are there or have there ever been underground storage tanks or buried waste on the subject land or adjacent lands?
Yes No Unknown
- 8.6 Have the lands or adjacent lands ever been used as an agricultural operation where cyanide products may have been used as pesticides and/or sewage sludge was applied to the lands?
Yes No Unknown
- 8.7 Have the lands or adjacent lands ever been used as a weapon firing range?
Yes No Unknown
- 8.8 Is the nearest boundary line of the application within 500 metres (1,640 feet) of the fill area of an operational/non-operational landfill or dump?
Yes No Unknown
- 8.9 If there are existing or previously existing buildings, are there any building materials remaining on site which are potentially hazardous to public health (eg. asbestos, PCB's)?
Yes No Unknown

8.10 Is there any reason to believe the subject land may have been contaminated by former uses on the site or adjacent sites?
 Yes No Unknown

8.11 What information did you use to determine the answers to 9.1 to 9.10 above?
 Consultation with owner.

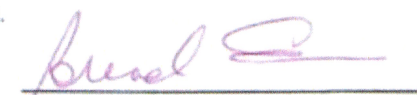
8.12 If previous use of property is industrial or commercial or if YES to any of 9.2 to 9.10, a previous use inventory showing all former uses of the subject land, or if appropriate, the land adjacent to the subject land, is needed. N/A

Is the previous use inventory attached? Yes No

9. ACKNOWLEDGEMENT CLAUSE

I acknowledge that the City of Hamilton is not responsible for the identification and remediation of contamination on the property which is the subject of this Application – by reason of its approval to this Application.

February 18, 2021
 Date


 Signature Property Owner

BRENDA SWAFFER
 Print Name of Owner

10. Dimensions of lands affected:
 Frontage 14.95 m
 Depth 46.17 m
 Area 688.95 sq m
 Width of street 20.10 m

11. Particulars of all buildings and structures on or proposed for the subject lands: (Specify ground floor area, gross floor area, number of stories, width, length, height, etc.)
 Existing: Please refer to attached cover letter and sketch.

Proposed Please refer to attached cover letter and sketch.

12. Location of all buildings and structures on or proposed for the subject lands: (Specify distance from side, rear and front lot lines)
 Existing: Please refer to attached cover letter and sketch.

Proposed: Please refer to attached cover letter and sketch.

13. Date of acquisition of subject lands:
Unknown
14. Date of construction of all buildings and structures on subject lands:
Unknown
15. Existing uses of the subject property:
Residential
16. Existing uses of abutting properties:
Residential
17. Length of time the existing uses of the subject property have continued:
Unknown
18. Municipal services available: (check the appropriate space or spaces)
Water _____ Connected _____
Sanitary Sewer _____ Connected _____
Storm Sewers _____
19. Present Official Plan/Secondary Plan provisions applying to the land:
Designated as "Neighbourhoods" in Urban Hamilton Official Plan
20. Present Restricted Area By-law (Zoning By-law) provisions applying to the land:
"D" (Urban Protected Residential, One and Two Family Dwellings, etc.) District in the City of Hamilton Zoning By-law No. 6593
21. Has the owner previously applied for relief in respect of the subject property?
 Yes No
If the answer is yes, describe briefly.
N/A
22. Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?
 Yes No
23. Additional Information
Please refer to attached cover letter.
24. The applicant shall attach to each copy of this application a plan showing the dimensions of the subject lands and of all abutting lands and showing the location, size and type of all buildings and structures on the subject and abutting lands, and where required by the Committee of Adjustment such plan shall be signed by an Ontario Land Surveyor.



February 22, 2021

386-21

Via Email and Delivered

Ms. Jamila Sheffield
Secretary-Treasurer, Committee of Adjustment

City of Hamilton,
71 Main Street West, 5th Floor
Hamilton, ON L8P 4Y5

Dear Ms. Sheffield,

**RE: 52 Chatham Street, Hamilton
Minor Variance Application**

UrbanSolutions Planning & Land Development Consultants Inc. (UrbanSolutions), has been retained to act as the authorized planning consultant for Ms. Brenda Swaffer, owner of the lands known municipally as 52 Chatham Street, in the City of Hamilton. We are pleased to submit this Minor Variance application on their behalf to facilitate the proposed development.

The subject lands are within the “Neighbourhoods” designation of the Urban Hamilton Official Plan. Additionally, the subject lands are located in the Urban Protected Residential, One and Two Family Dwellings, etc. (D) District in the former City of Hamilton Zoning By-law No. 6593.

A Minor Variance application is required to facilitate the development of a semi-detached dwelling on the subject lands. To facilitate said development, this Minor Variance application is intended to achieve relief from the City of Hamilton Zoning By-law No. 6593 with respect to the “Urban Protected Residential, One and Two Family Dwellings, Etc.” (D) District as follows:

- *To reduce the minimum front yard setback from 6.0 metres to 1.45 metres.*
- *To reduce the minimum lot frontage for a two family dwelling from 18.0 metres to 14.95 metres.*

To assist in the evaluation of this application, please refer to the enclosed Committee of Adjustment Sketch. Justification for the proposed variance has been provided below in accordance with Section 45 of the *Planning Act*:

- 1. Is the proposed minor variance in keeping with the general purpose and intent of the Urban Hamilton Official Plan?**

The subject lands are designated as Neighbourhoods in the Urban Hamilton Official Plan which permits the proposed use of the lands. As outlined in Chapter E, Section 3.3.2 of the Official Plan, development and redevelopment shall ensure the height, massing and arrangement of buildings and structures are compatible with existing and future uses of the surrounding area. Chapter B, Section 2.4.1.3(c) indicated that lands designated Neighbourhoods are to accommodate 40% of the City's growth. The intent of these policies is to encourage and accommodate compatible forms of development which is exemplified in the subject application. The Minor Variances being requested are compatible with the surrounding neighbourhood and in keeping with the current built form.

2. Is the proposed minor variance in keeping with the general purpose and intent of the Zoning By-law?

The subject property is located in the "Urban Protected Residential, One and Two Family Dwellings, Etc." (D) District, in Zoning By-law No. 6593.

The variances requested are to provide a decreased minimum frontage and decrease minimum front yard setback for the subject lands. The intent of the zoning provision is to maintain built form and lot fabric to ensure compatibility with current and future surrounding neighbourhoods. The requested variances will meet this intent as it will allow the subject lands to have frontages and setbacks more similar to that of lands located in the immediate vicinity (60, 58 & 56 Chatham Street).

The proposal conforms to all other zoning provisions and therefore the overall intent of the Zoning By-law is maintained.

3. Is the proposed minor variance minor in nature?

The proposed variance is minor in nature and necessary to facilitate Site Plan approval. The intent of this application is to request a reduction to the required frontage and front yard setback, and will allow a permitted use. These reductions will permit a built form which is more aligned with the surrounding context of the neighbourhood. Given that all other regulations of the By-law remain, the request is consistent with the Zoning By-law and is considered to be minor in nature.

4. Is the proposed minor variance desirable for the appropriate development or use of the land, building or structure?

The requested variance will facilitate the proposed development, which will result in a built form that is in keeping with the character of the surrounding area, and represents a use of land that is permitted in the Urban Hamilton Official Plan and Zoning By-law 6593. The proposed lot frontage and front yard setback are compatible with the pattern established by the existing dwellings that surround the subject lands. Therefore, the application is desirable and appropriate for the development of the lands.

As such, the proposed variances satisfy the four tests outlined in Section 45(1) of the *Planning Act* as the relief requested is minor in nature, is desirable for the appropriate development of the lands, and meets the general intent and purpose of the Official Plan and Zoning By-law. Furthermore, the following application is consistent with previous approvals for semi-detached dwellings within this neighbourhood at 204 Canada Street (HM/A-18:331), and 74 Melbourne Street, Hamilton (HM/A-18:413) approved on November 29, 2018 and February 7, 2019 respectively.

In support of our Minor Variance application, please find enclosed the following:

- One (1) copy of the completed Minor Variance application form;
- One (1) copy of the Minor Variance Sketch completed by UrbanSolutions; and,
- One (1) cheque in the amount of \$3,320.00 made payable to the City of Hamilton.

We look forward to working with City staff in the review of this application. Should you have any questions or require anything further, please do not hesitate to contact the undersigned.

Kind Regards,
UrbanSolutions



Matt Johnston, MCIP, RPP
Principal



Scott Beedie, BURPI
Planner

cc: Mr. Brenda Swaffer (via Email)
Mr. Carl Brennan (via Email)
Councillor M. Wilson, Ward 1, City of Hamilton (via Email)



Hamilton

COMMITTEE OF ADJUSTMENT

City Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5
 Telephone (905) 546-2424, ext. 4221, 3935 Fax (905) 546-4202
 E-mail: cofa@hamilton.ca

NOTICE OF PUBLIC HEARING
Minor Variance

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
- Applicant/agent on file, or
- Person likely to be interested in this application

APPLICATION NO.: HM/A-21:78

APPLICANTS: S. & S. Ireland, owners

SUBJECT PROPERTY: Municipal address **222 Hughson St. N., Hamilton**

ZONING BY-LAW: Zoning By-law 6593, as Amended 74-259

ZONING: "D/S-378" (Urban Protected Residential - One and Two Family Dwellings) district

PROPOSAL: To permit the construction of a 3rd storey addition to the existing street townhouse unit /rowhouse notwithstanding that;

1. 0.0 m side yard width shall be provided for the proposed addition on the north and south instead of the minimum required side yard width of 3.0 m; and
2. No parking shall be provided on site instead of the minimum required 1 space per Class A dwelling unit.

Note:

Variance No. 2 has been written as requested by the applicant.

This application will be heard by the Committee as shown below:

DATE: Thursday, April 1st, 2021
TIME: 2:05 p.m.
PLACE: Via video link or call in (see attached sheet for details)
 To be streamed at
www.hamilton.ca/committeeofadjustment
 for viewing purposes only

PUBLIC INPUT

Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

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HM/A-21:78
Page 2

MORE INFORMATION

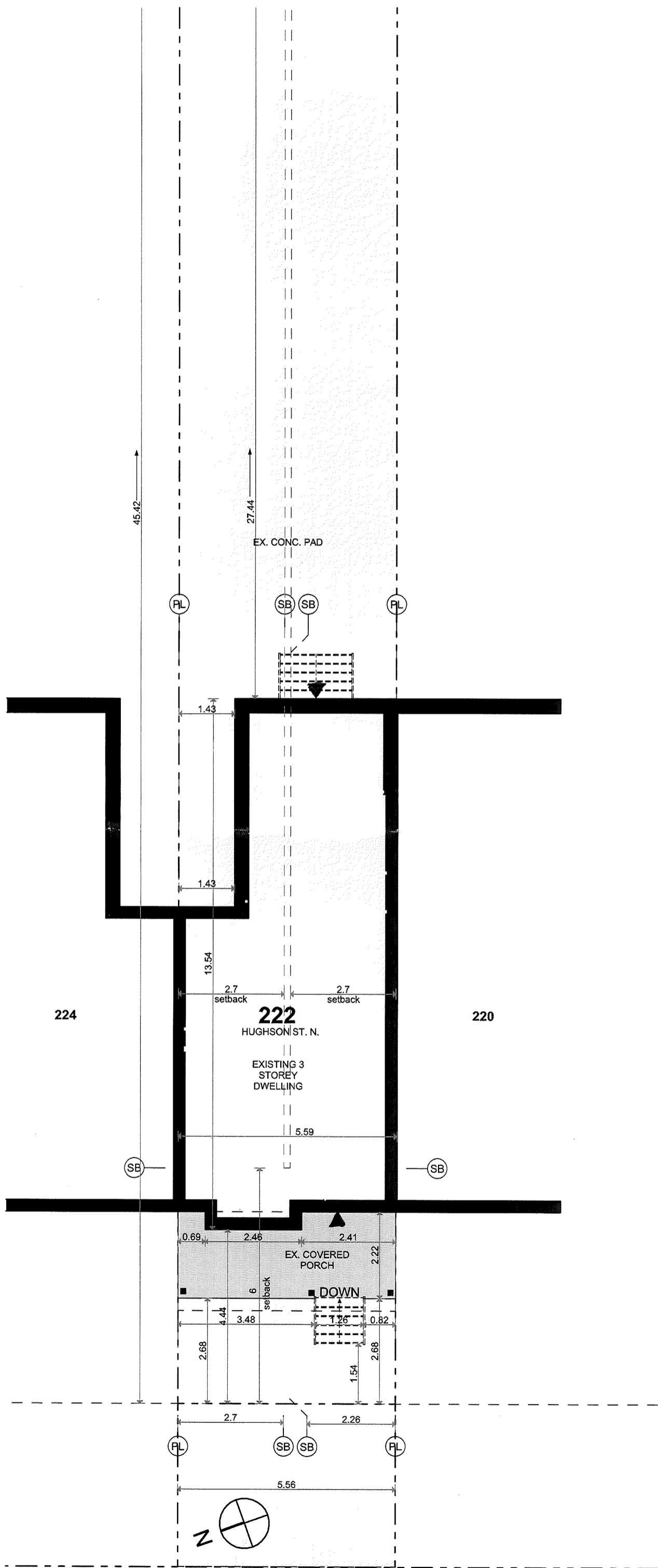
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- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935
- Email Committee of Adjustment staff at cofa@hamilton.ca

DATED: March 16th, 2021.

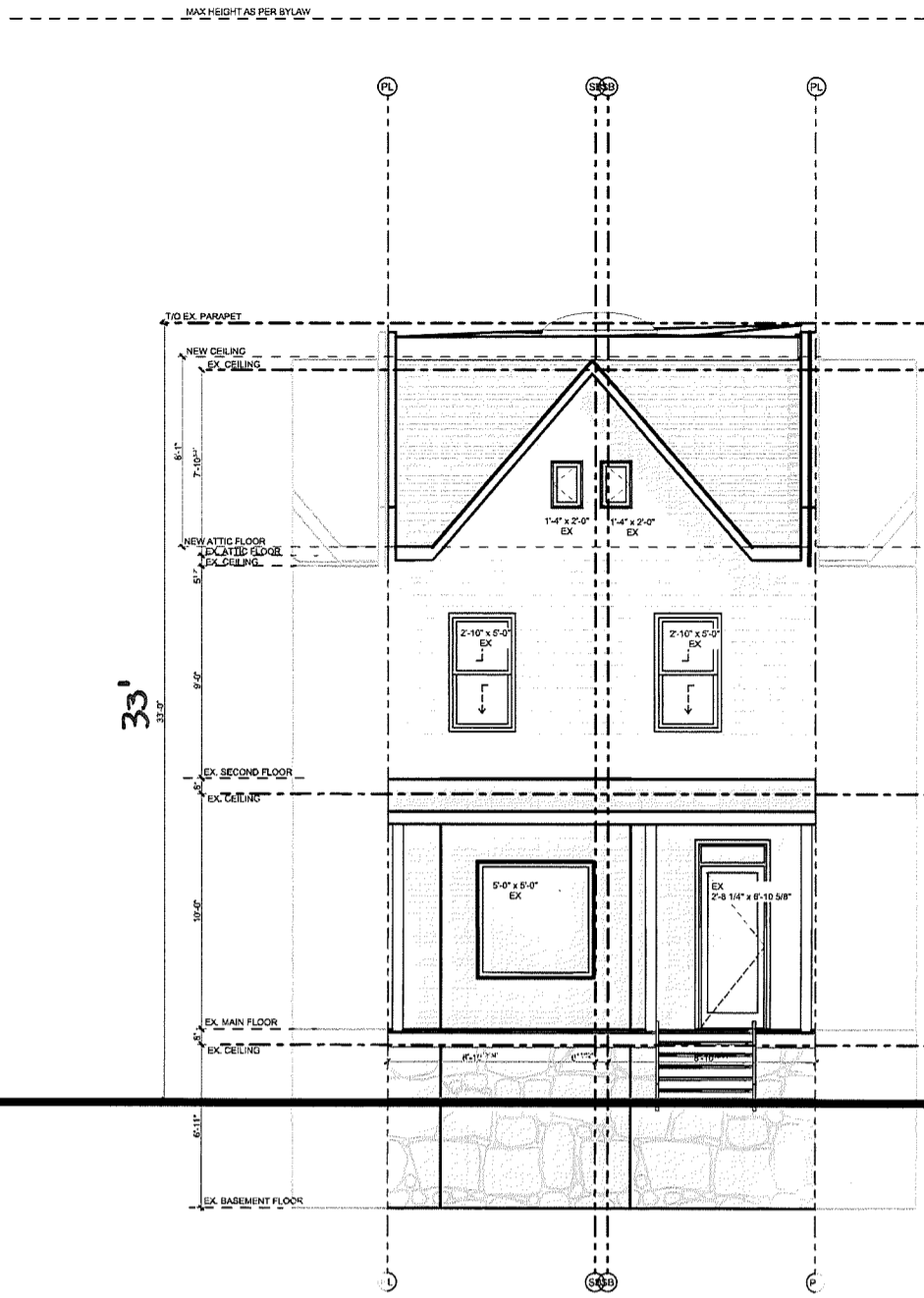
Jamila Sheffield,
Secretary-Treasurer
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public.

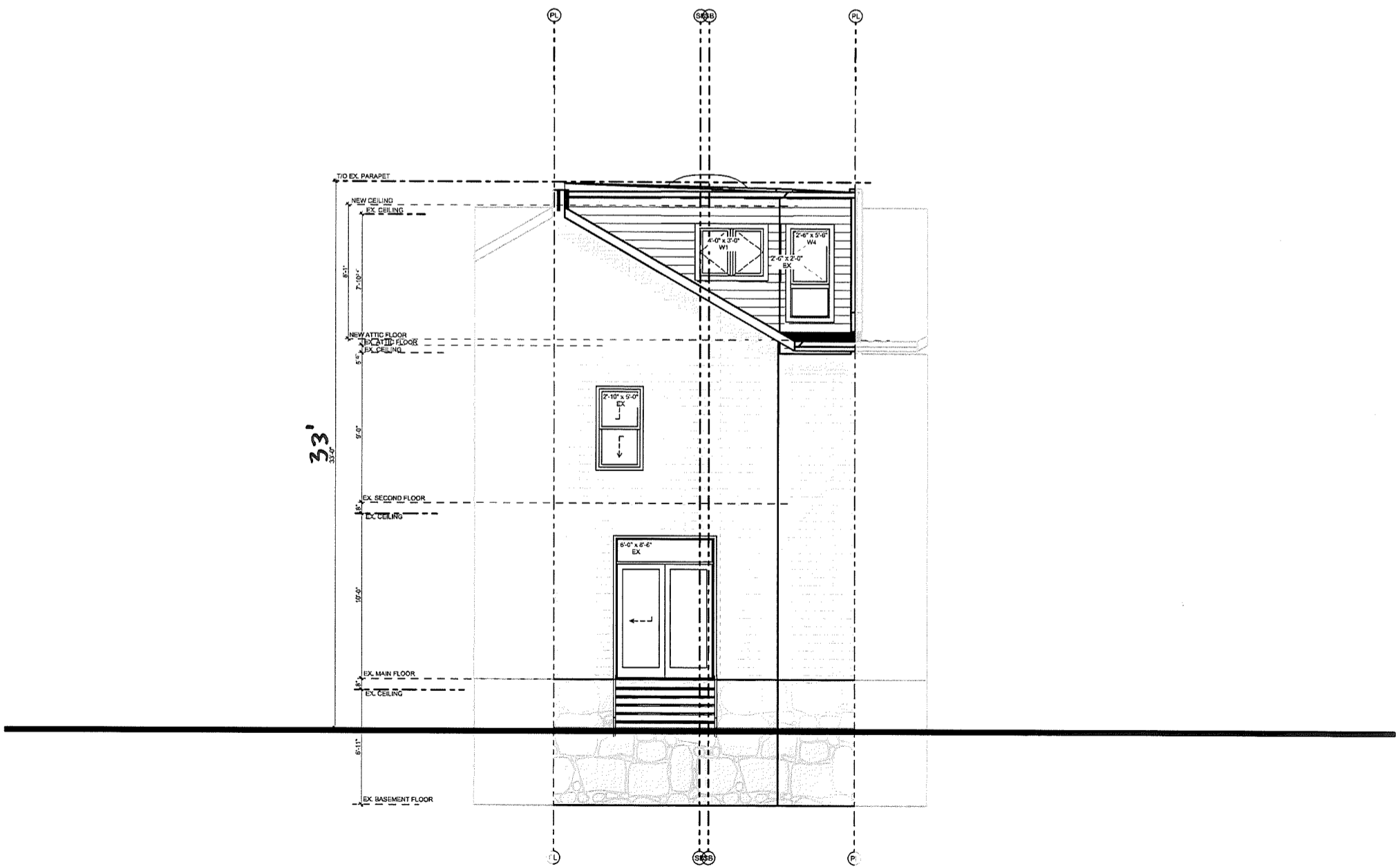


SITE PLAN

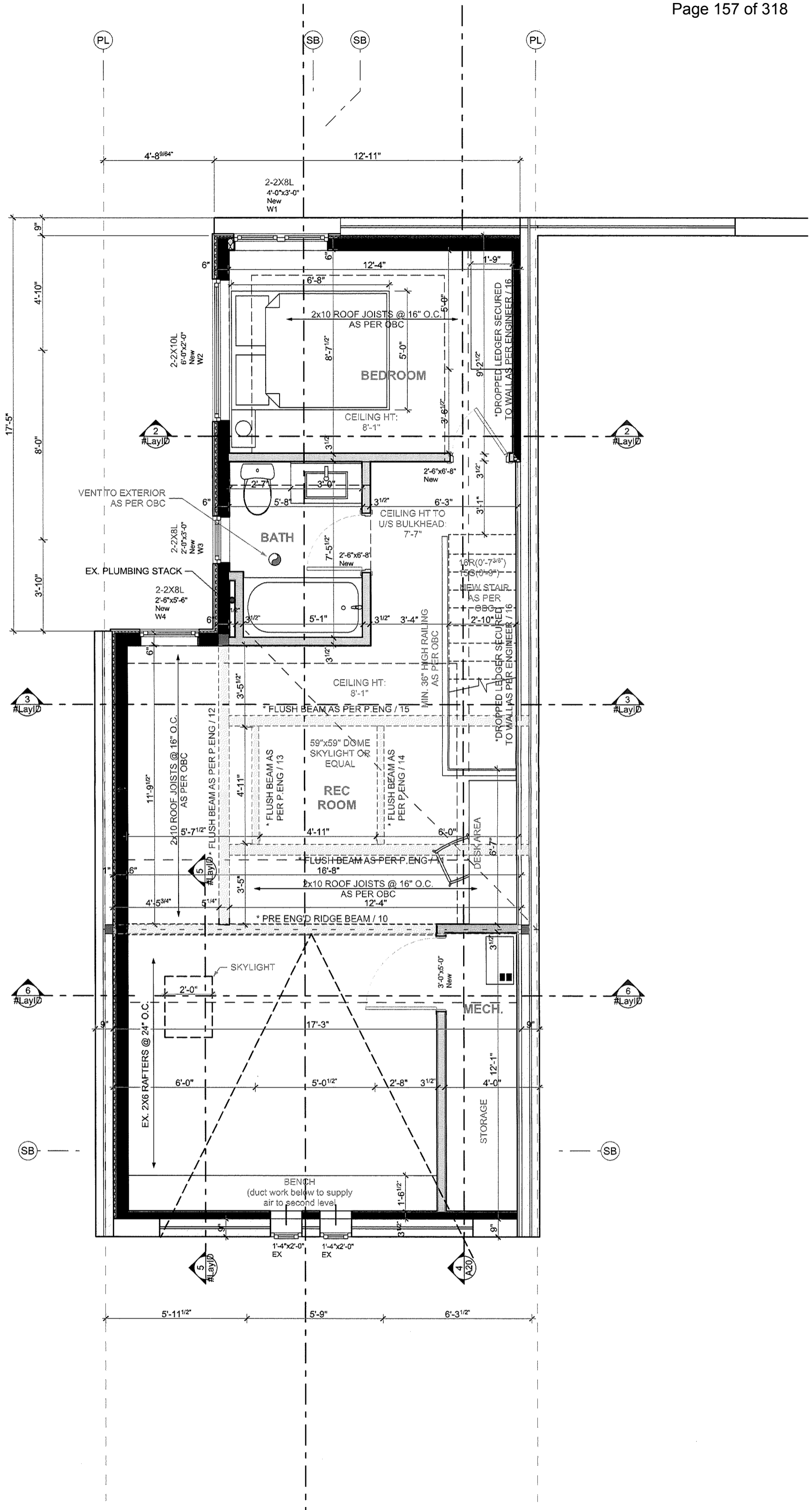
HUGHSON ST. N.



PROPOSED FRONT ELEVATION



PROPOSED REAR ELEVATION

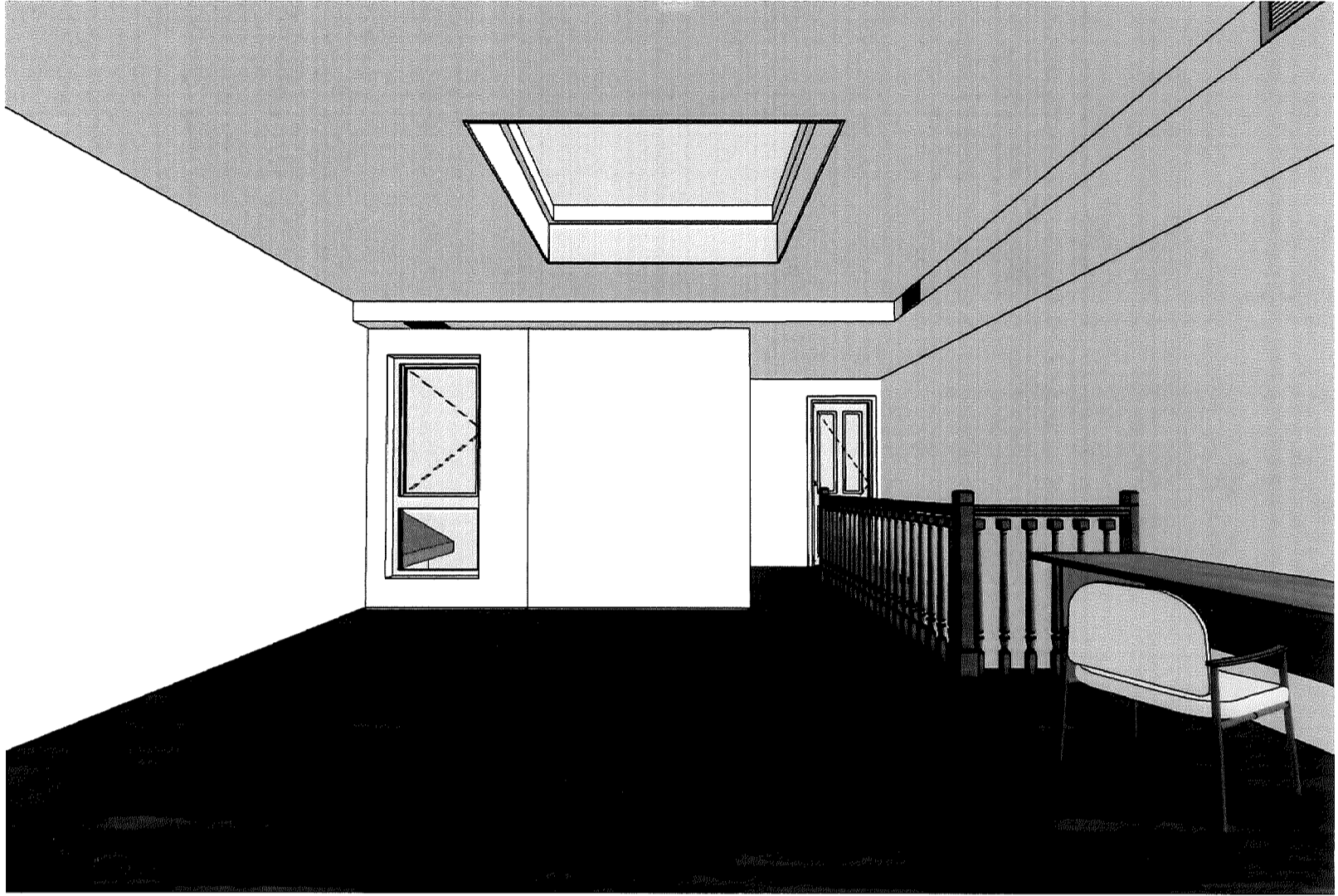


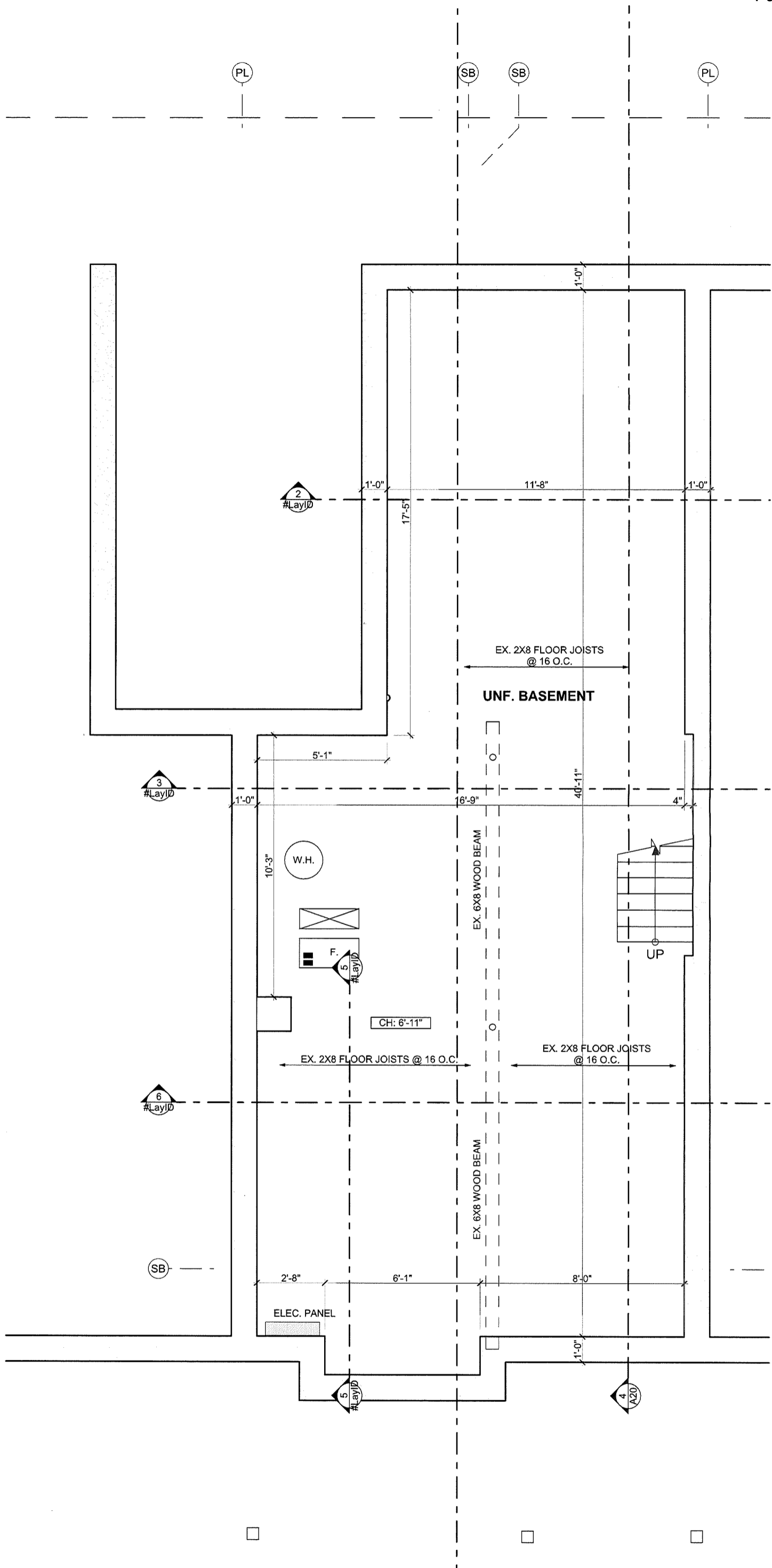
PROPOSED ATTIC PLAN

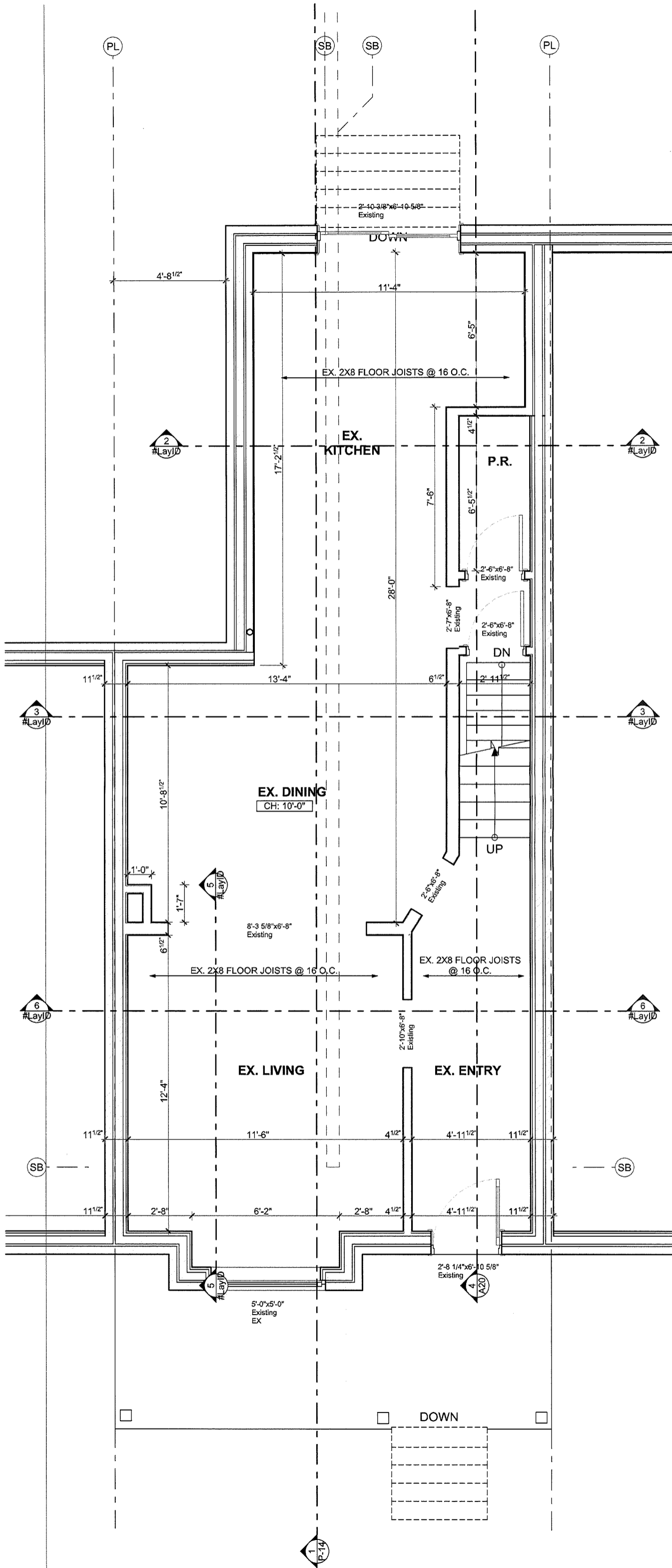
RENOVATION + ADDITION TO:

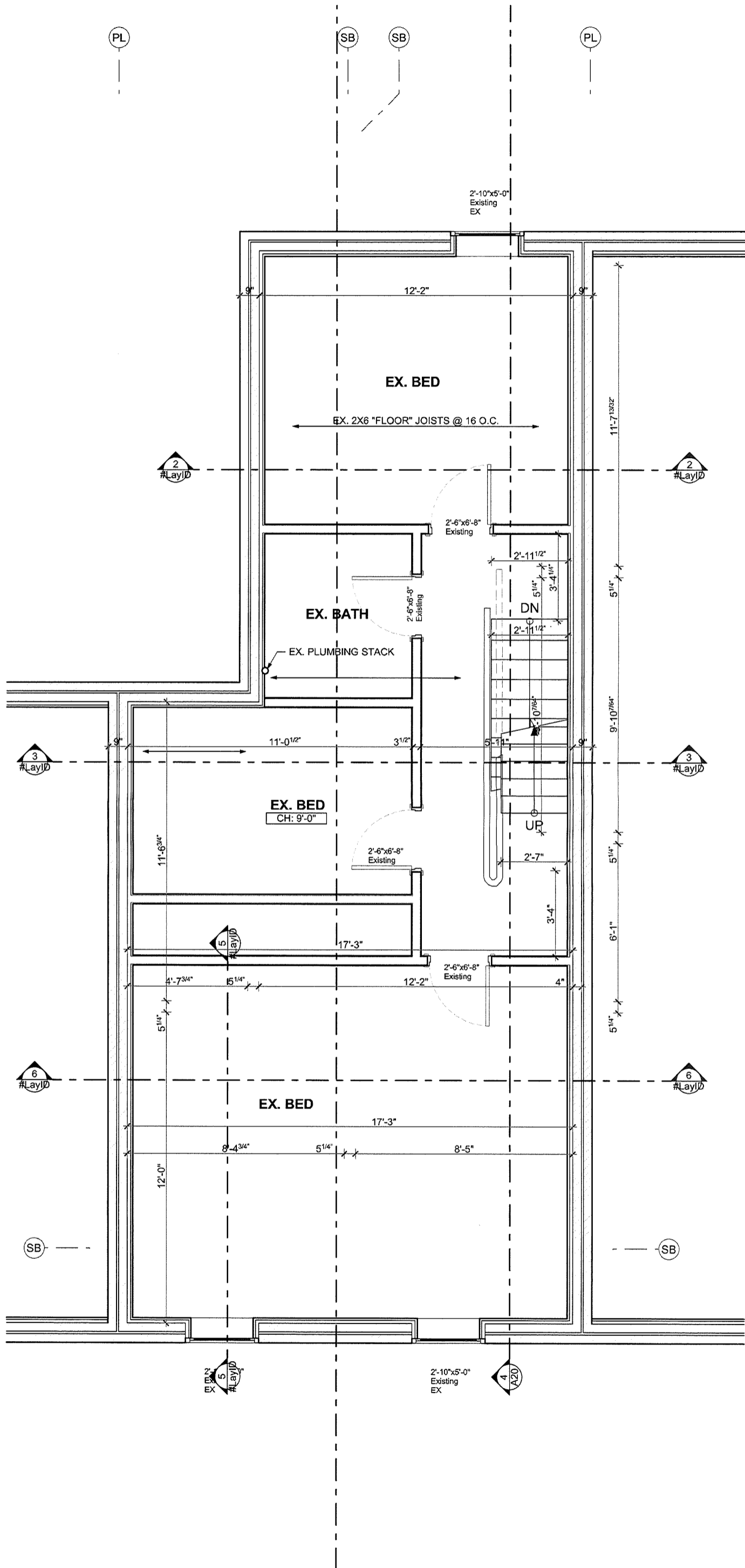
IRELAND

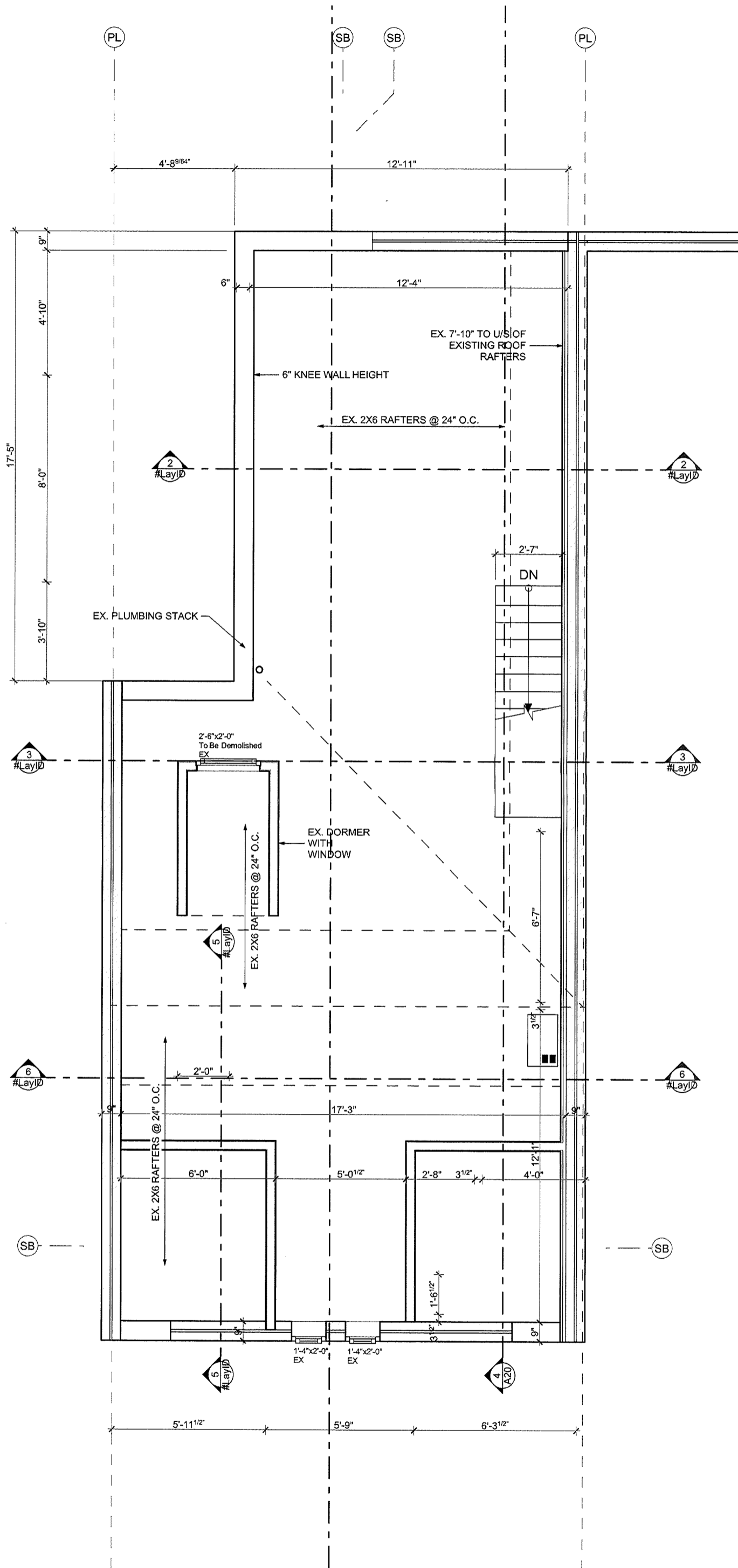
222 HUGHSON ST N HAMILTON ON

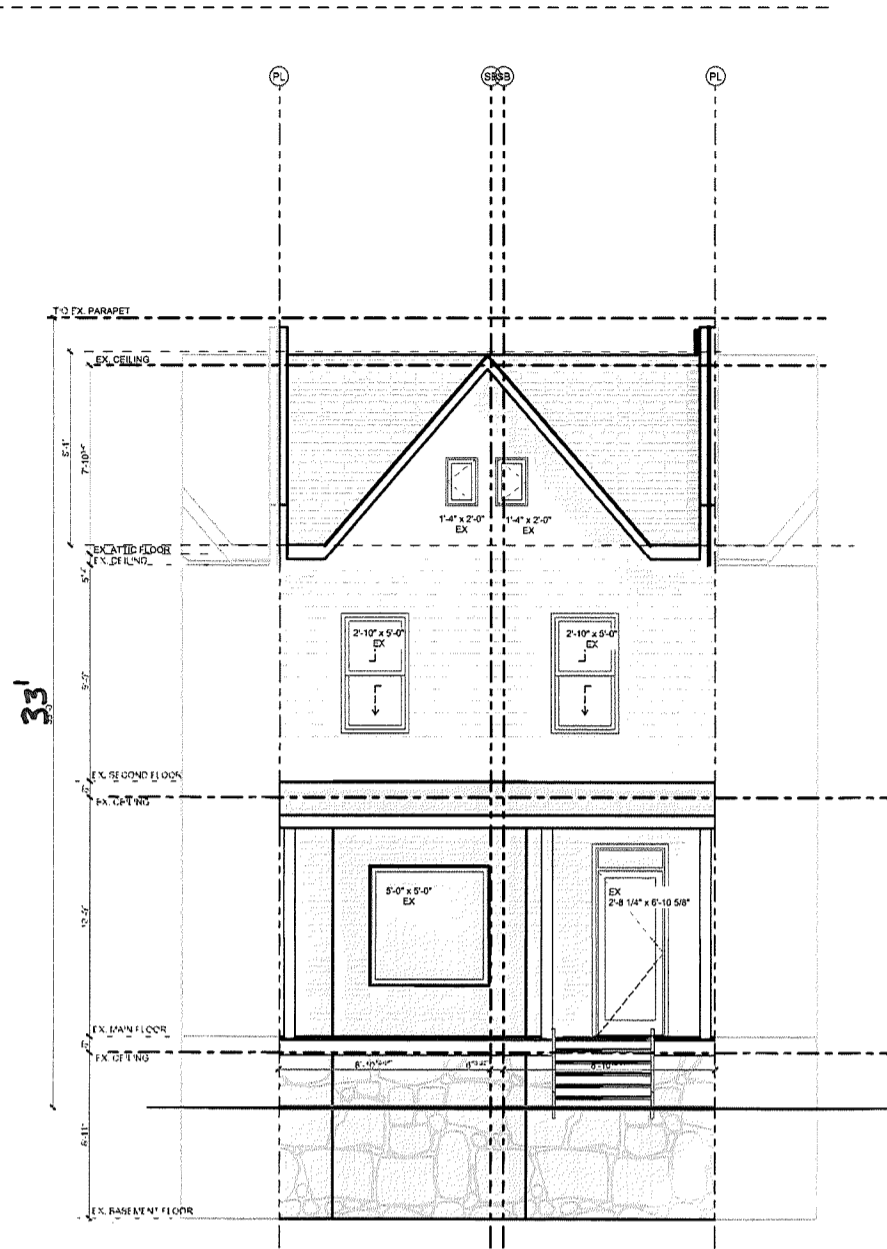




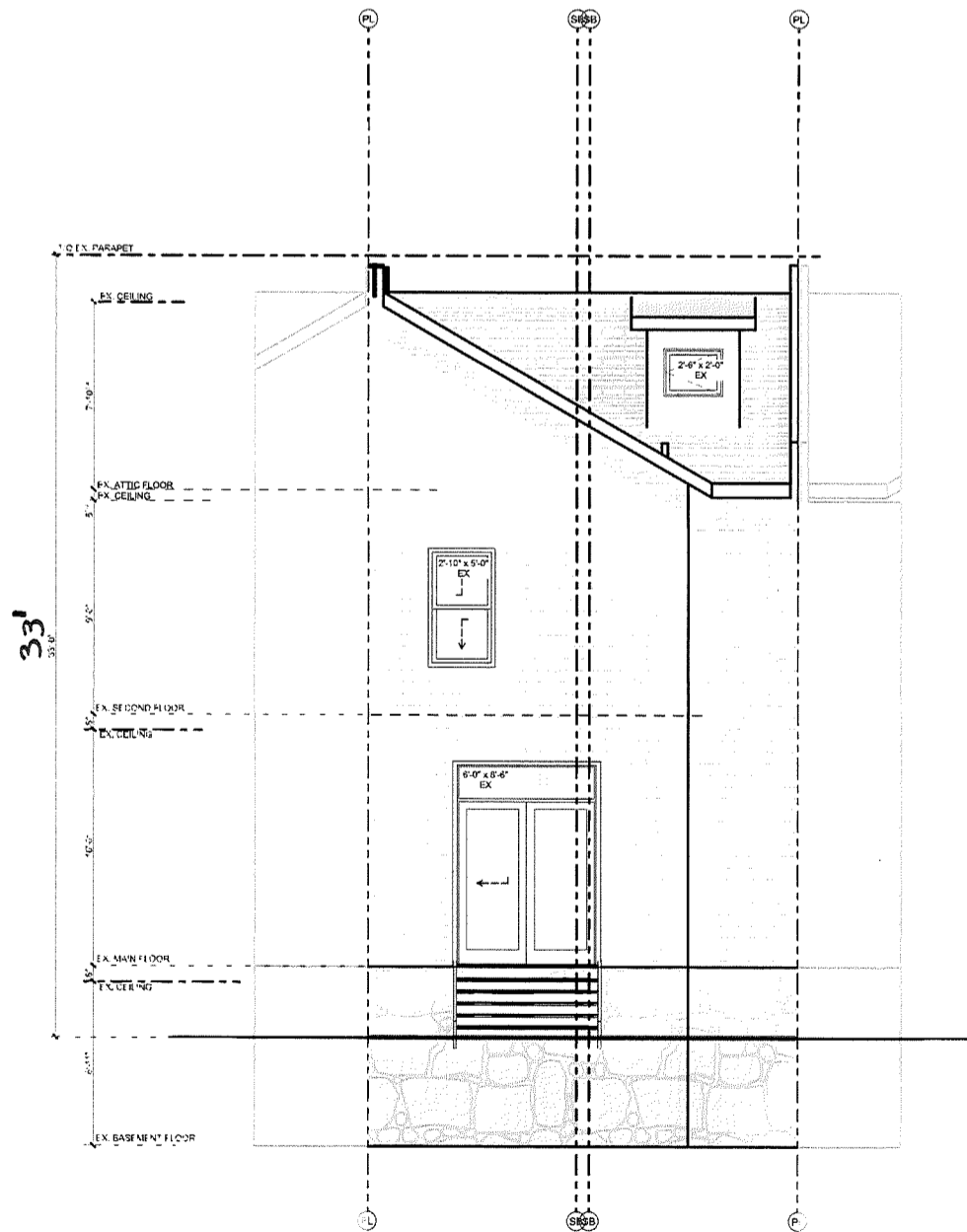




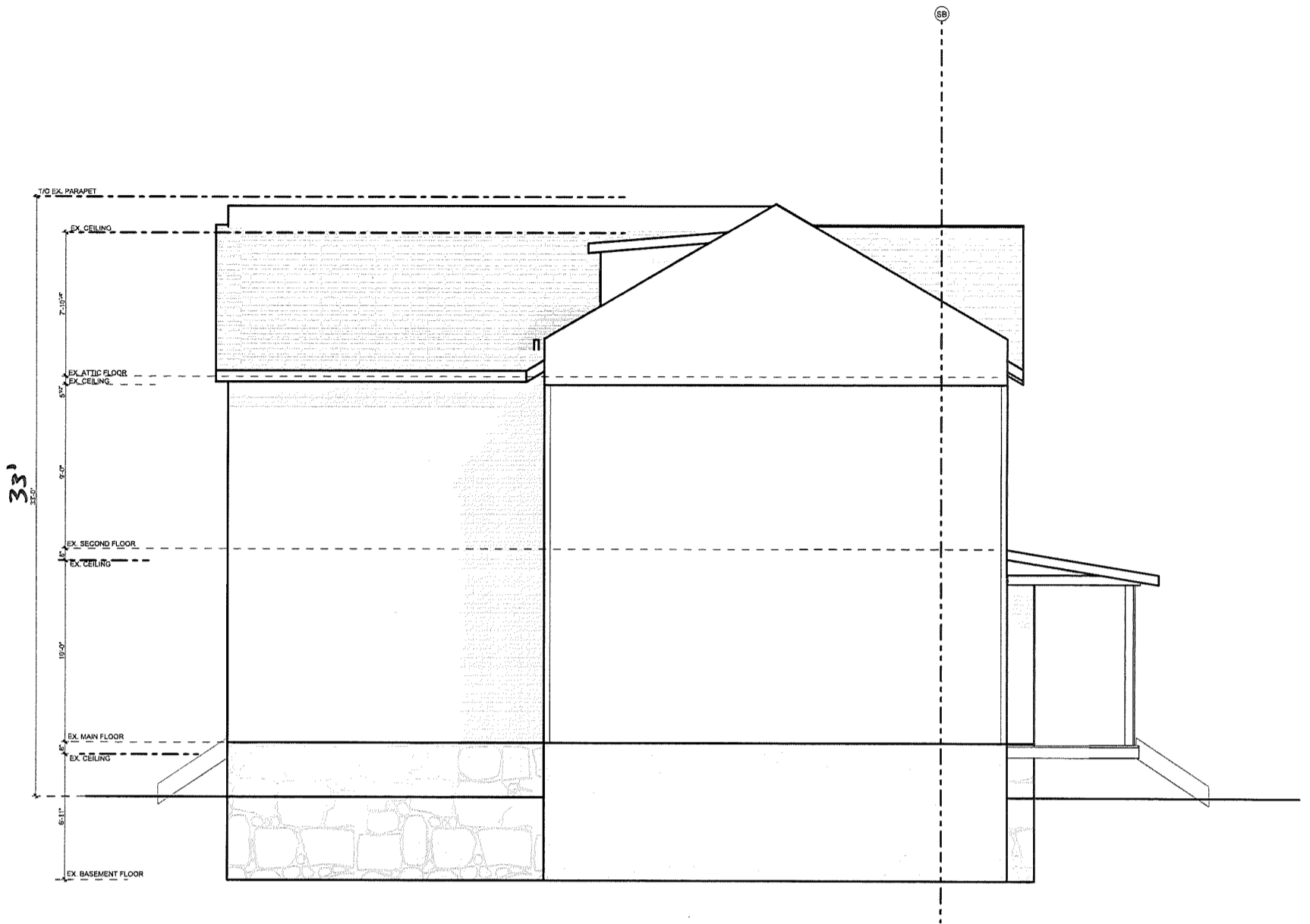




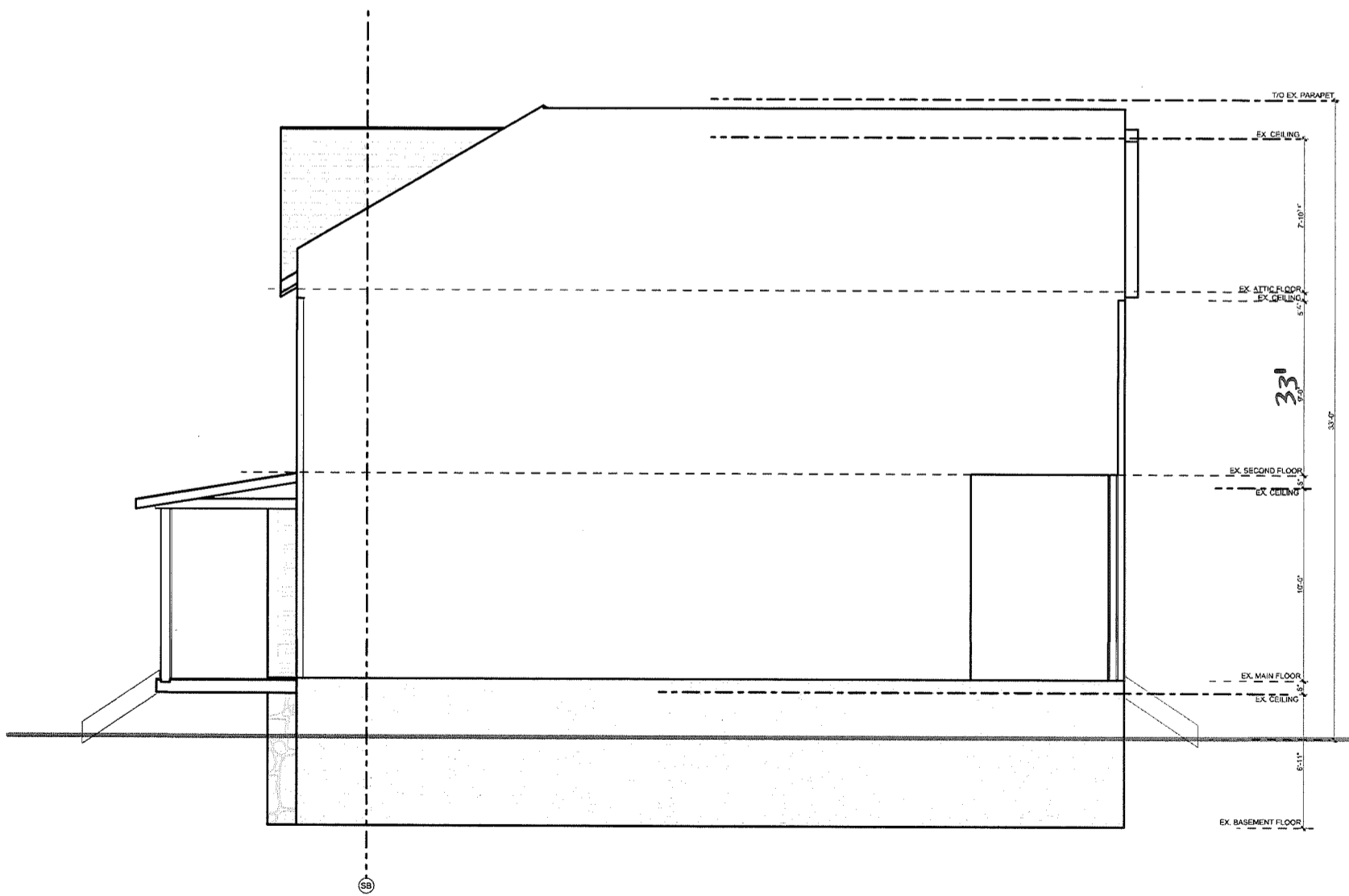
EXISTING FRONT ELEVATION



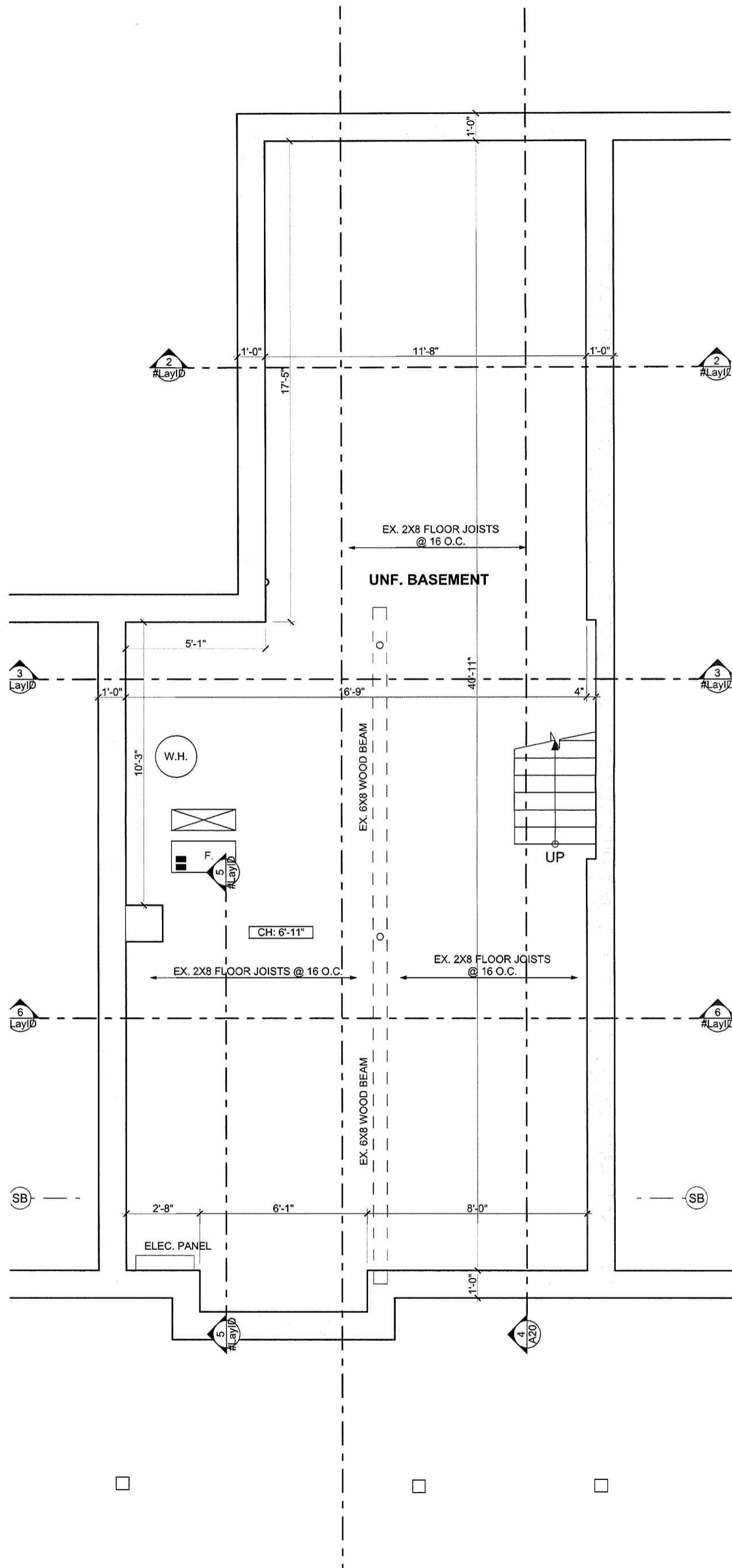
EXISTING REAR ELEVATION



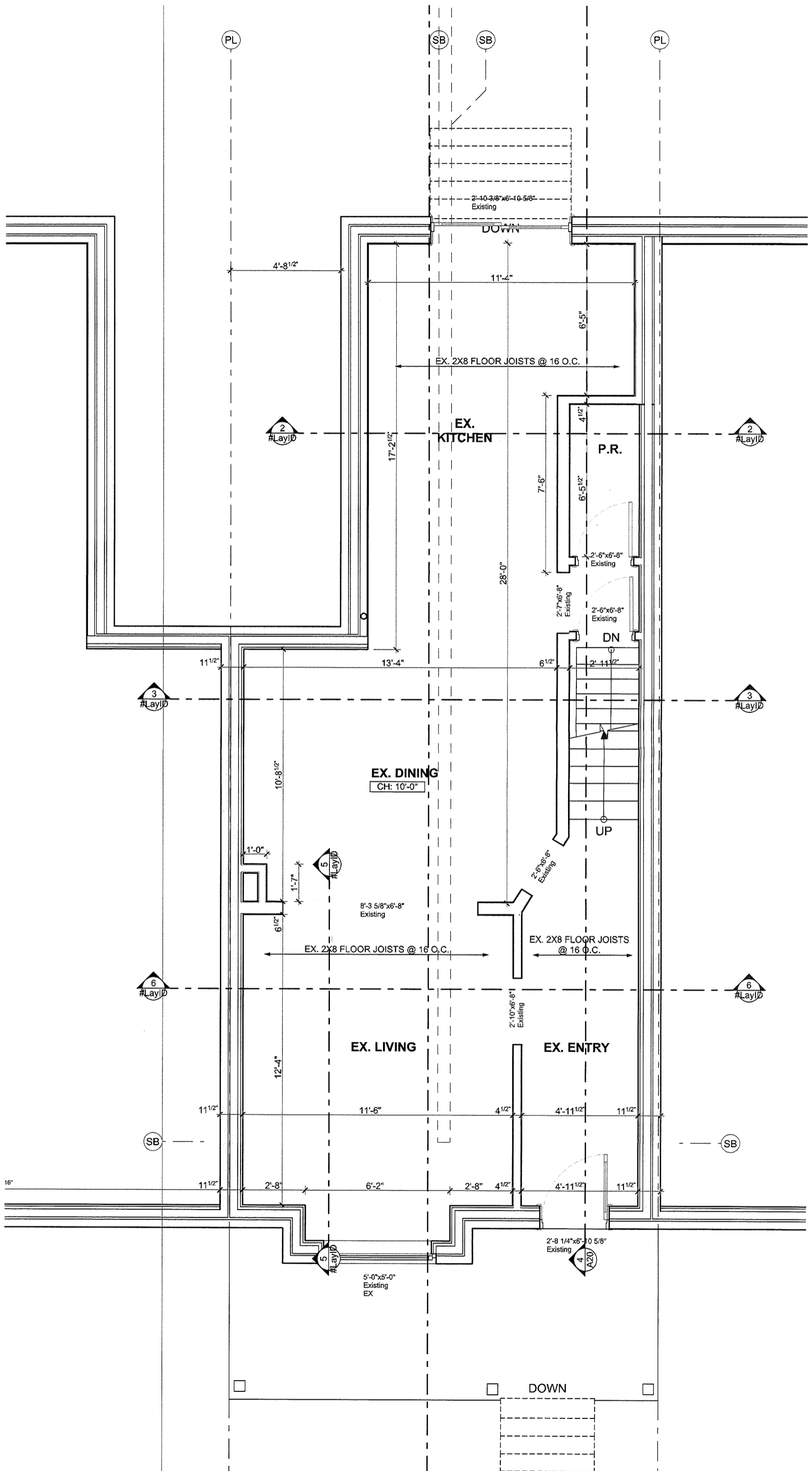
EXISTING LEFT ELEVATION



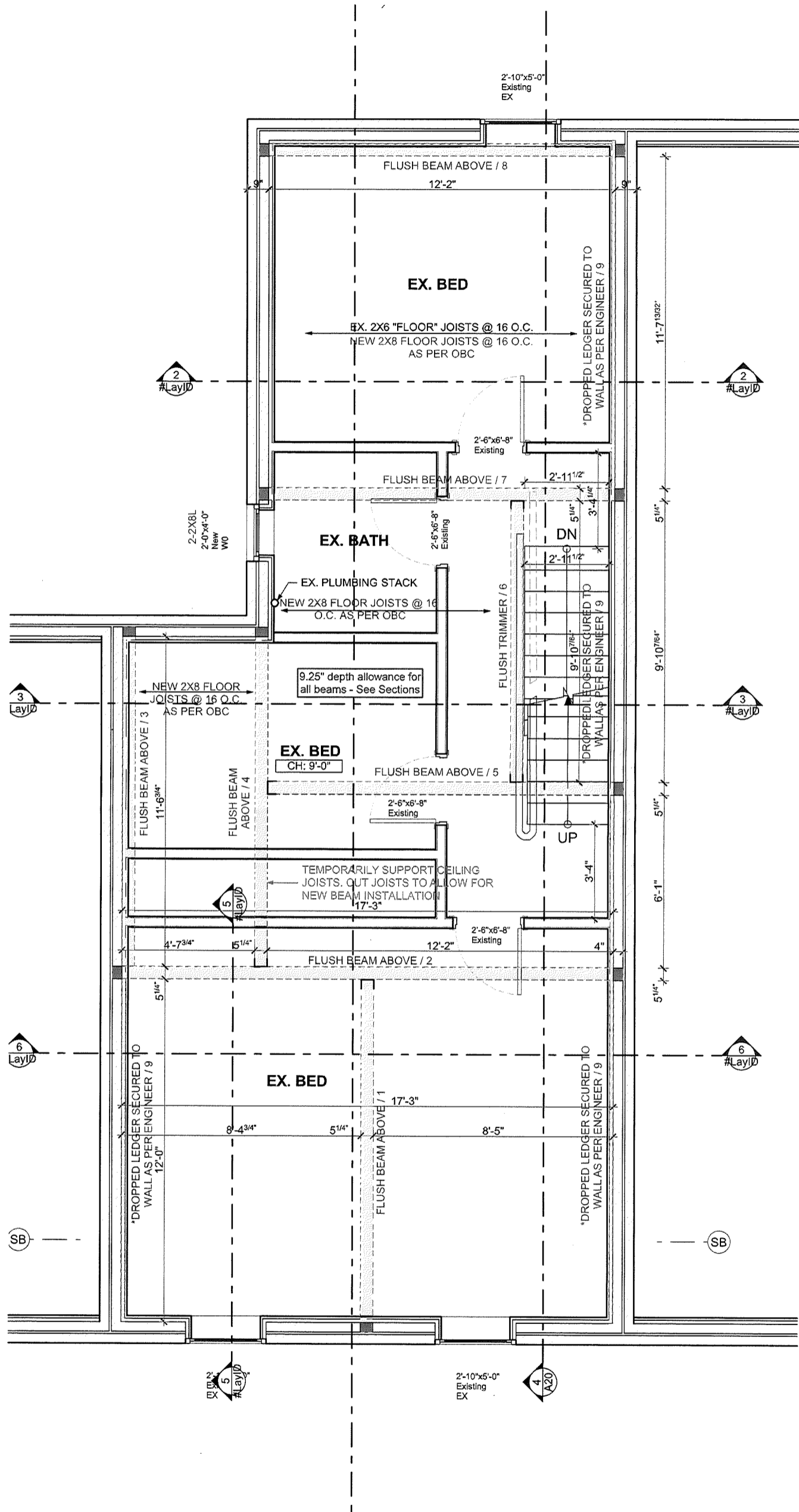
EXISTING RIGHT ELEVATION



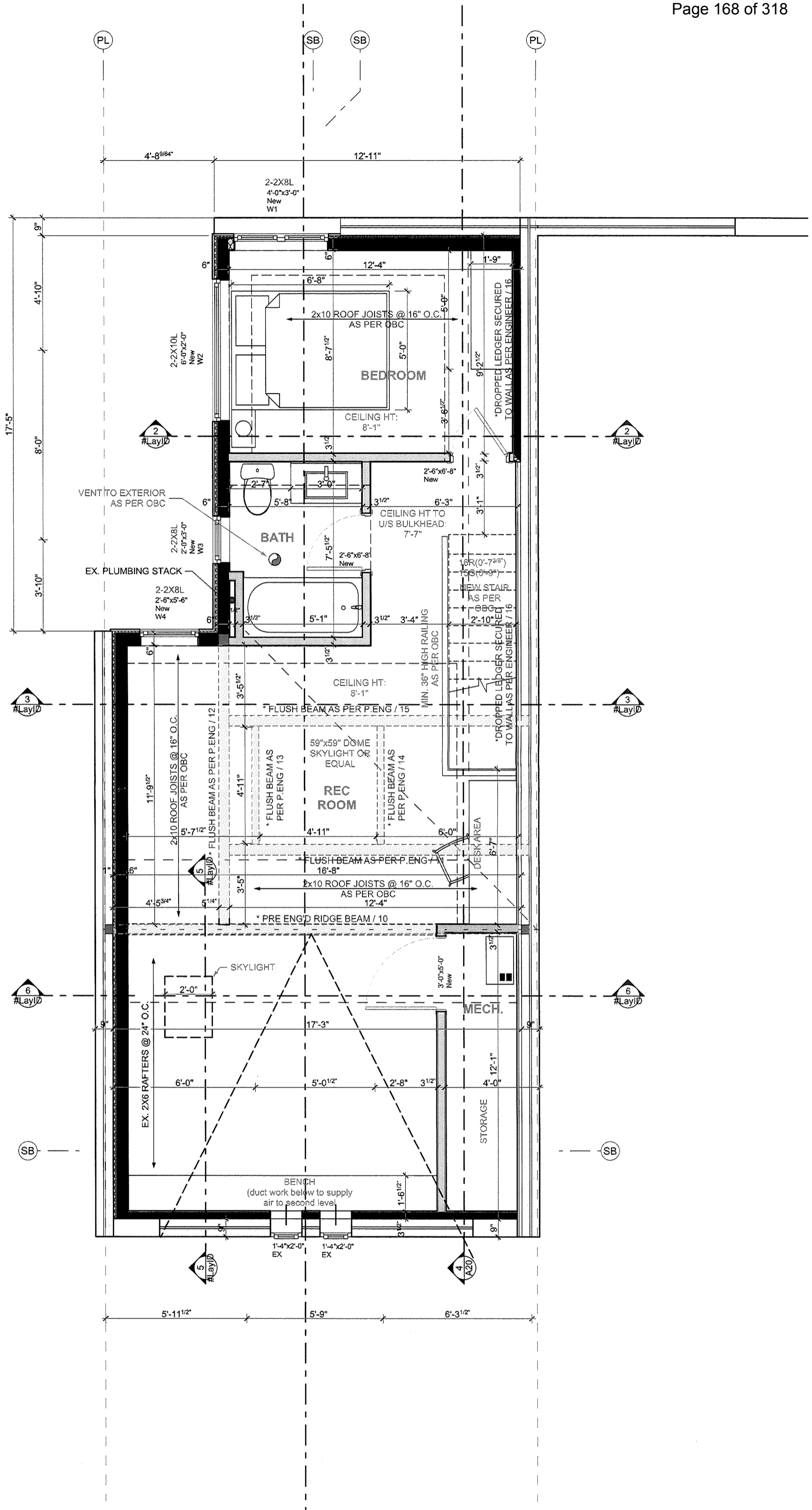
PROPOSED BASEMENT PLAN



PROPOSED MAIN FLOOR PLAN

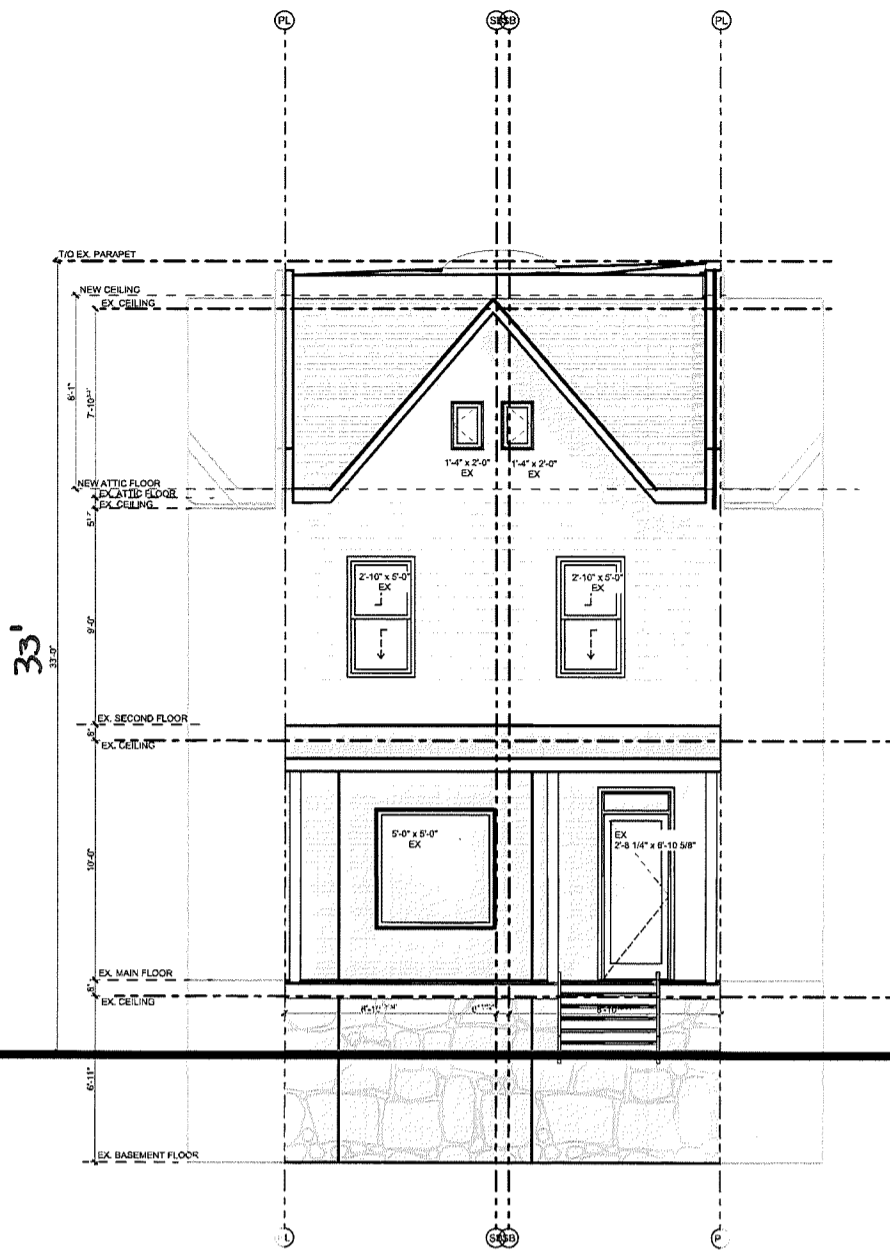


PROPOSED SECOND FLOOR PLAN

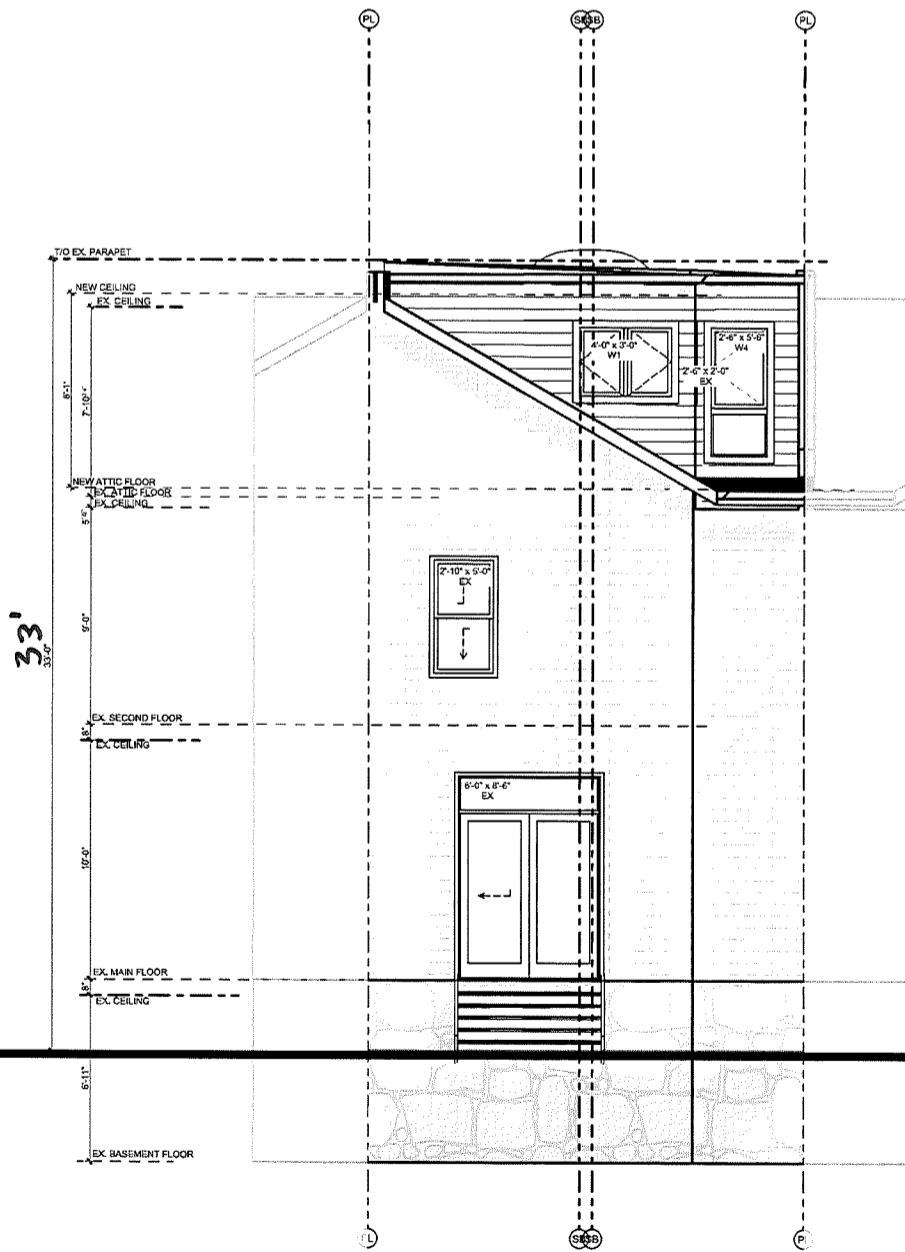


PROPOSED ATTIC PLAN

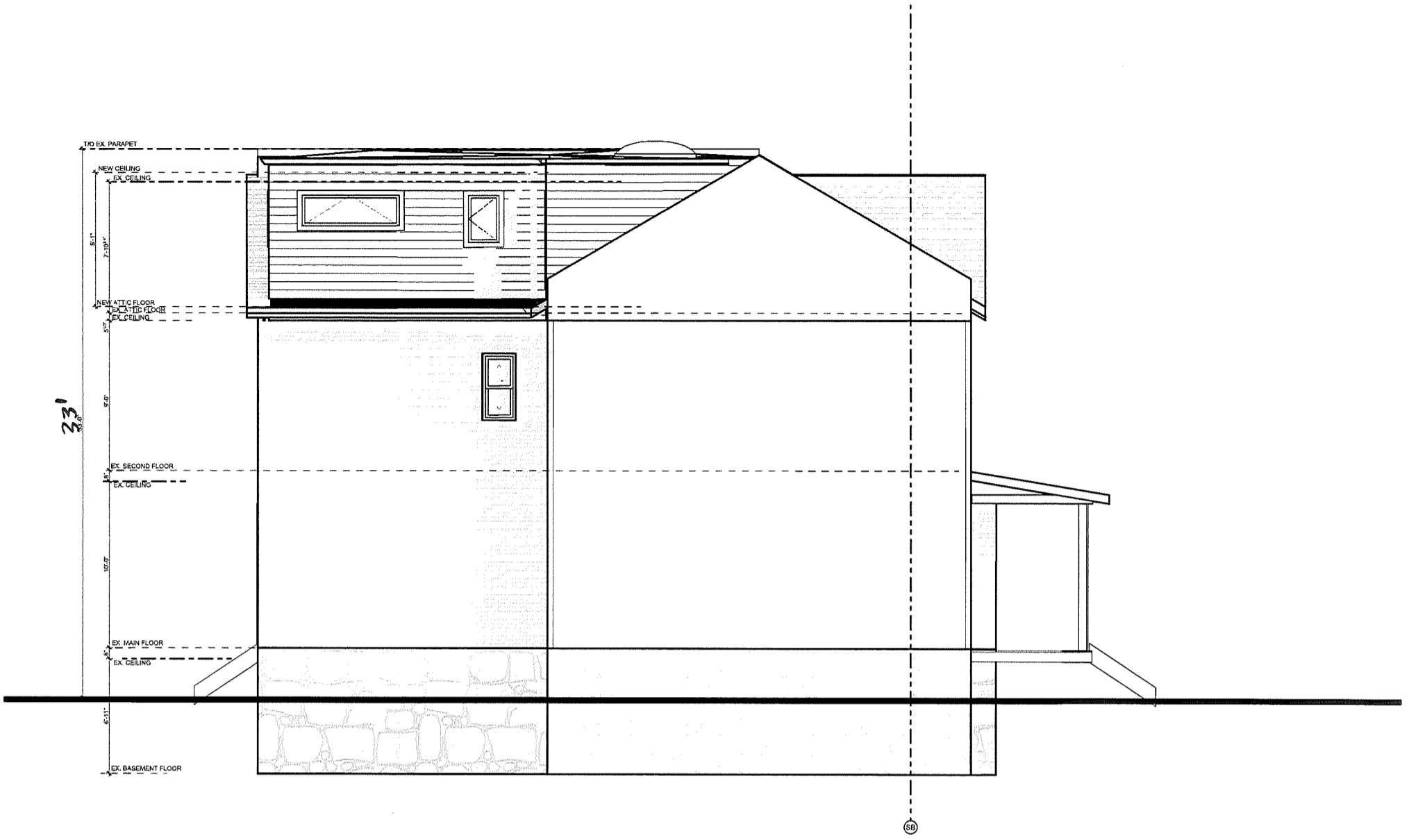
MAX HEIGHT AS PER BYLAW



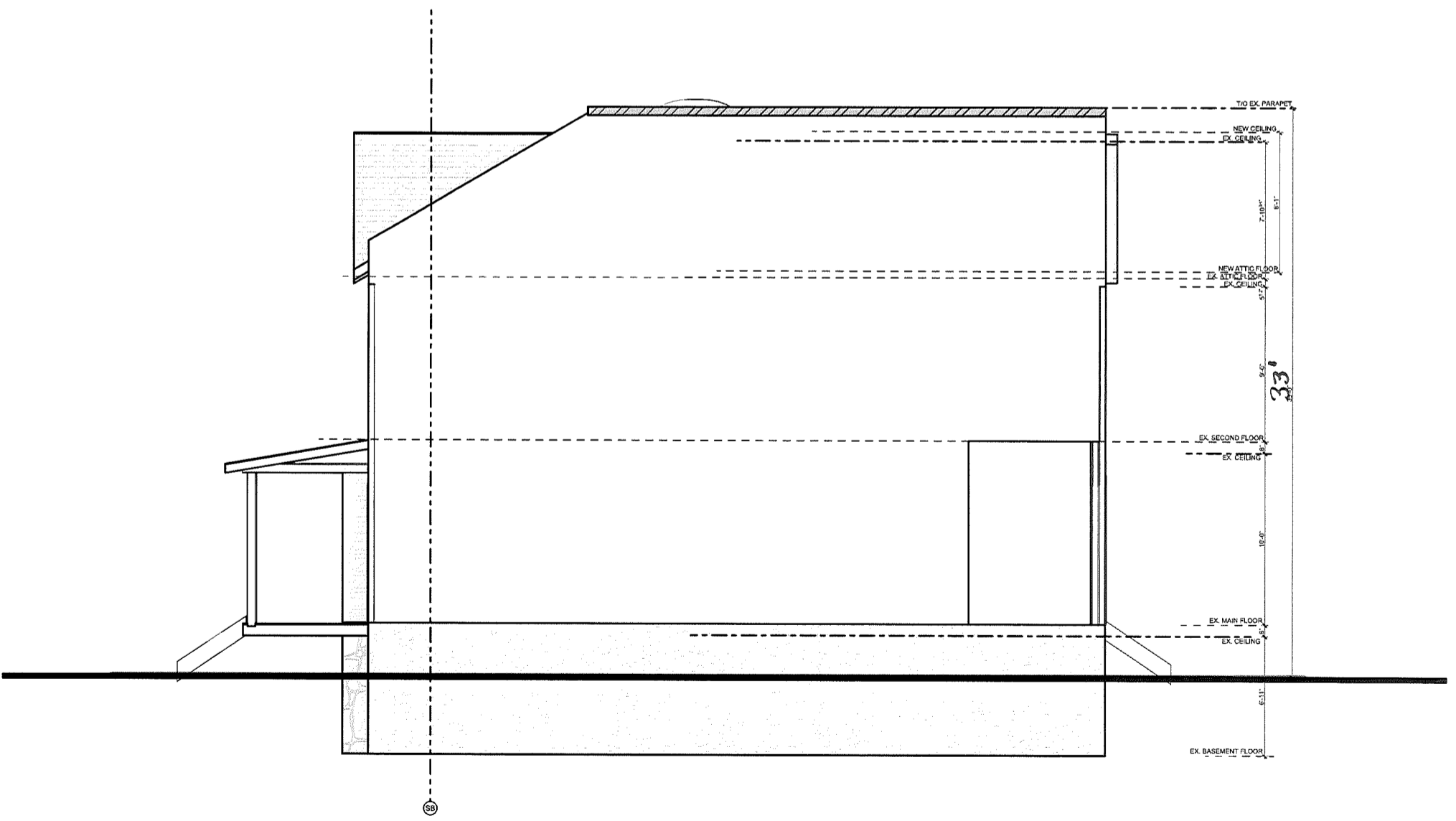
PROPOSED FRONT ELEVATION



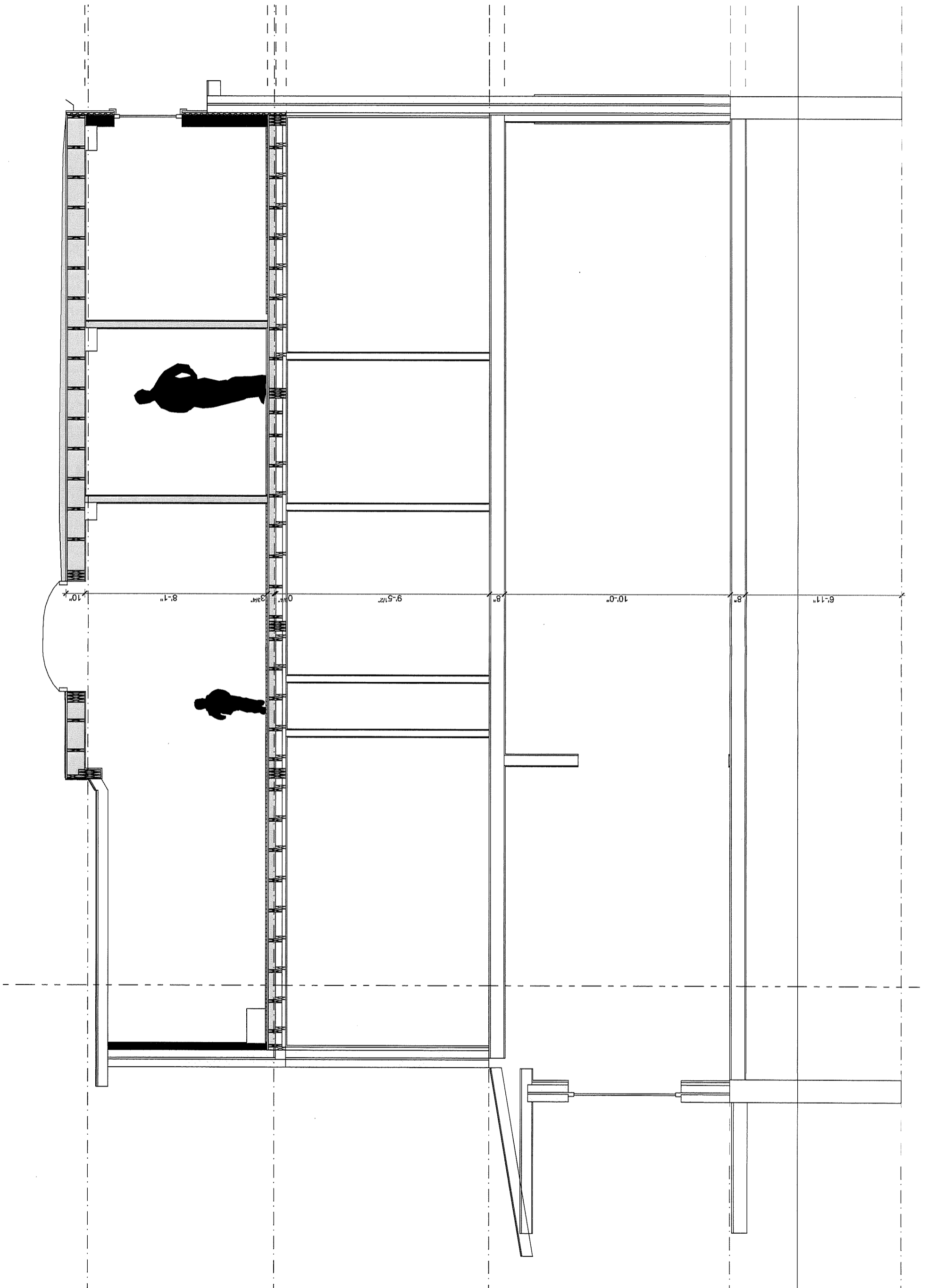
PROPOSED REAR ELEVATION



PROPOSED LEFT ELEVATION



PROPOSED RIGHT ELEVATION





Committee of Adjustment
 City Hall, 5th Floor,
 71 Main St. W.,
 Hamilton, ON L8P4Y5

Phone: (905) 546-2424 ext. 4221
 Email: cofa@hamilton.ca

APPLICATION FOR A MINOR VARIANCE

RECEIVED
 FEB 22 2021

FOR OFFICE USE ONLY.	
APPLICATION NO. _____	DATE APPLICATION RECEIVED _____
PAID _____	DATE APPLICATION DEEMED COMPLETE _____
SECRETARY'S SIGNATURE _____	

The Planning Act

Application for Minor Variance or for Permission

The undersigned hereby applies to the Committee of Adjustment for the City of Hamilton under Section 45 of the *Planning Act*, R.S.O. 1990, Chapter P.13 for relief, as described in this application, from the Zoning By-law.

1, 2	NAME	ADDRESS
Registered Owners(s)	Scott and Sandra Ireland	
Applicant(s)*	Scott Ireland	
Agent or Solicitor		

Note: Unless otherwise requested all communications will be sent to the agent, if any.

3. Names and addresses of any mortgagees, holders of charges or other encumbrances:

First National
 100 University Avenue
 North Tower, Suite 1200
 Toronto, Ontario
 M5J 1V6

Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled

4. Nature and extent of relief applied for:
- relief from the side yard setbacks to allow for addition, *allow a 0m setback on north + south walls*
 - reduce required parking from 3 to 0 *(based on (9) habitable rooms)*
 - allow a 97% floor area ratio instead of the required 45%
5. Why it is not possible to comply with the provisions of the By-law?
- the existing house extents are within the required side yard setback
6. Legal description and Address of subject lands (registered plan number and lot number or other legal description and where applicable, **street and street number**):
- 222 Hughson St N. Hamilton ON L8L 4M3
7. PREVIOUS USE OF PROPERTY
- Residential Industrial Commercial
- Agricultural Vacant
- Other _____
- 8.1 If Industrial or Commercial, specify use _____
- 8.2 Has the grading of the subject land been changed by adding earth or other material, i.e. has filling occurred?
- Yes No Unknown
- 8.3 Has a gas station been located on the subject land or adjacent lands at any time?
- Yes No Unknown
- 8.4 Has there been petroleum or other fuel stored on the subject land or adjacent lands?
- Yes No Unknown
- 8.5 Are there or have there ever been underground storage tanks or buried waste on the subject lands or adjacent lands?
- Yes No Unknown
- 8.6 Have the lands or adjacent lands ever been used as an agricultural operation where cyanide products may have been used as pesticides and/or sewage sludge was applied to the lands?
- Yes No Unknown
- 8.7 Have the lands or adjacent lands ever been used as a weapon firing range?
- Yes No Unknown
- 8.8 Is the nearest boundary line of the application within 500 metres (1,640 feet) of the fill area of an operational/non-operational landfill or dump?
- Yes No Unknown
- 8.9 If there are existing or previously existing buildings, are there any building materials remaining on site which are potentially hazardous to public health (eg. asbestos, PCB's)?
- Yes No Unknown

8.10 Is there any reason to believe the subject land may have been contaminated by former uses on the site or adjacent sites?

Yes No Unknown

8.11 What information did you use to determine the answers to 9.1 to 9.10 above?

Existing use of property

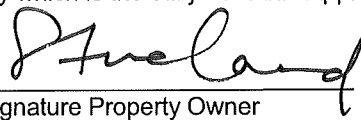
8.12 If previous use of property is industrial or commercial or if YES to any of 9.2 to 9.10, a previous use inventory showing all former uses of the subject land, or if appropriate, the land adjacent to the subject land, is needed.

Is the previous use inventory attached? Yes No

9. ACKNOWLEDGEMENT CLAUSE

I acknowledge that the City of Hamilton is not responsible for the identification and remediation of contamination on the property which is the subject of this Application – by reason of its approval to this Application.

Feb.3, 2021
Date


Signature Property Owner

Scott Ireland
Print Name of Owner

10. Dimensions of lands affected:

Frontage	5.56m
Depth	45.42m
Area	252.54m ²
Width of street	7m

11. Particulars of all buildings and structures on or proposed for the subject lands: (Specify ground floor area, gross floor area, number of stories, width, length, height, etc.)

Existing: _

Ground Floor Area: 66.25m ²	Width: 5.56m
Gross Floor Area: 215m ²	Length: 13.54m
Number of Stories: 3	Height: 8.81m 10.06m
Area Totals: 68 + 66 + 65 + 14	

Proposed

Ground Floor Area: no change	Width: 5.56m
Gross Floor Area: 245m ²	Length: 13.54m
Number of Stories: 3	Height: 8.81m 10.06m
Area Totals: 68 + 66 + 65 + 45	

12. Location of all buildings and structures on or proposed for the subject lands; (Specify distance from side, rear and front lot lines)

Existing:

House	Covered Front Porch
Distance from sides: 0m	Distance from sides: 0m
Distance from rear: 27.4m	Distance from front: 2.7m
Distance from front: 4.4m	

Proposed:

NO CHANGE

13. Date of acquisition of subject lands:
2010
-
14. Date of construction of all buildings and structures on subject lands:
1900
-
15. Existing uses of the subject property:
Single Family Residential
16. Existing uses of abutting properties:
Single Family Residential
17. Length of time the existing uses of the subject property have continued:
120 years +
18. Municipal services available: (check the appropriate space or spaces)
Water yes Connected yes
Sanitary Sewer yes Connected yes
Storm Sewers _____
19. Present Official Plan/Secondary Plan provisions applying to the land:
6593
20. Present Restricted Area By-law (Zoning By-law) provisions applying to the land:
Zone D
21. Has the owner previously applied for relief in respect of the subject property?
 Yes No
If the answer is yes, describe briefly.
22. Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?
 Yes No
23. Additional Information
24. The applicant shall attach to each copy of this application a plan showing the dimensions of the subject lands and of all abutting lands and showing the location, size and type of all buildings and structures on the subject and abutting lands, and where required by the Committee of Adjustment such plan shall be signed by an Ontario Land Surveyor.



Hamilton

COMMITTEE OF ADJUSTMENT

City Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5
 Telephone (905) 546-2424, ext. 4221, 3935 Fax (905) 546-4202
 E-mail: cofa@hamilton.ca

NOTICE OF PUBLIC HEARING Minor Variance

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
- Applicant/agent on file, or
- Person likely to be interested in this application

APPLICATION NO.: HM/A-21:79

APPLICANTS: Owners R. Magapu & R. K. Mackenzie

SUBJECT PROPERTY: Municipal address **294 Bold St., Hamilton**

ZONING BY-LAW: Zoning By-law 6593, as Amended

ZONING: D/S-1787 district (Urban Protected Residential)

PROPOSAL: To permit the construction of a new unenclosed porch in the front yard of the existing single family dwelling notwithstanding that:

1. The roofed-over unenclosed porch shall be permitted to project a maximum of 6.0m into the required front yard and provide a minimum setback of 0.0m from the front lot line instead of the maximum 3.0m projection permitted and minimum 1.5m setback required from the front lot line.

NOTES:

- i. The current 'C/S-1787' zone requires a minimum front yard depth of 6.0m.
- ii. An encroachment agreement is required in the normal manner for the portion of the proposed porch located on the public road allowance.

This application will be heard by the Committee as shown below:

DATE: Thursday, April 1st, 2021
TIME: 2:15 p.m.
PLACE: Via video link or call in (see attached sheet for details)
 To be streamed at
www.hamilton.ca/committeeofadjustment
 for viewing purposes only

PUBLIC INPUT

Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

Orally: If you would like to speak to this item at the hearing you may do so via video link or by calling in. Please see attached page for complete instructions, including deadlines for registering to participate.

HM/A-21: 79

Page 2

MORE INFORMATION

For more information on this matter, including access to drawings illustrating this request:

- Visit www.hamilton.ca/committeeofadjustment
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935
- Email Committee of Adjustment staff at cofa@hamilton.ca

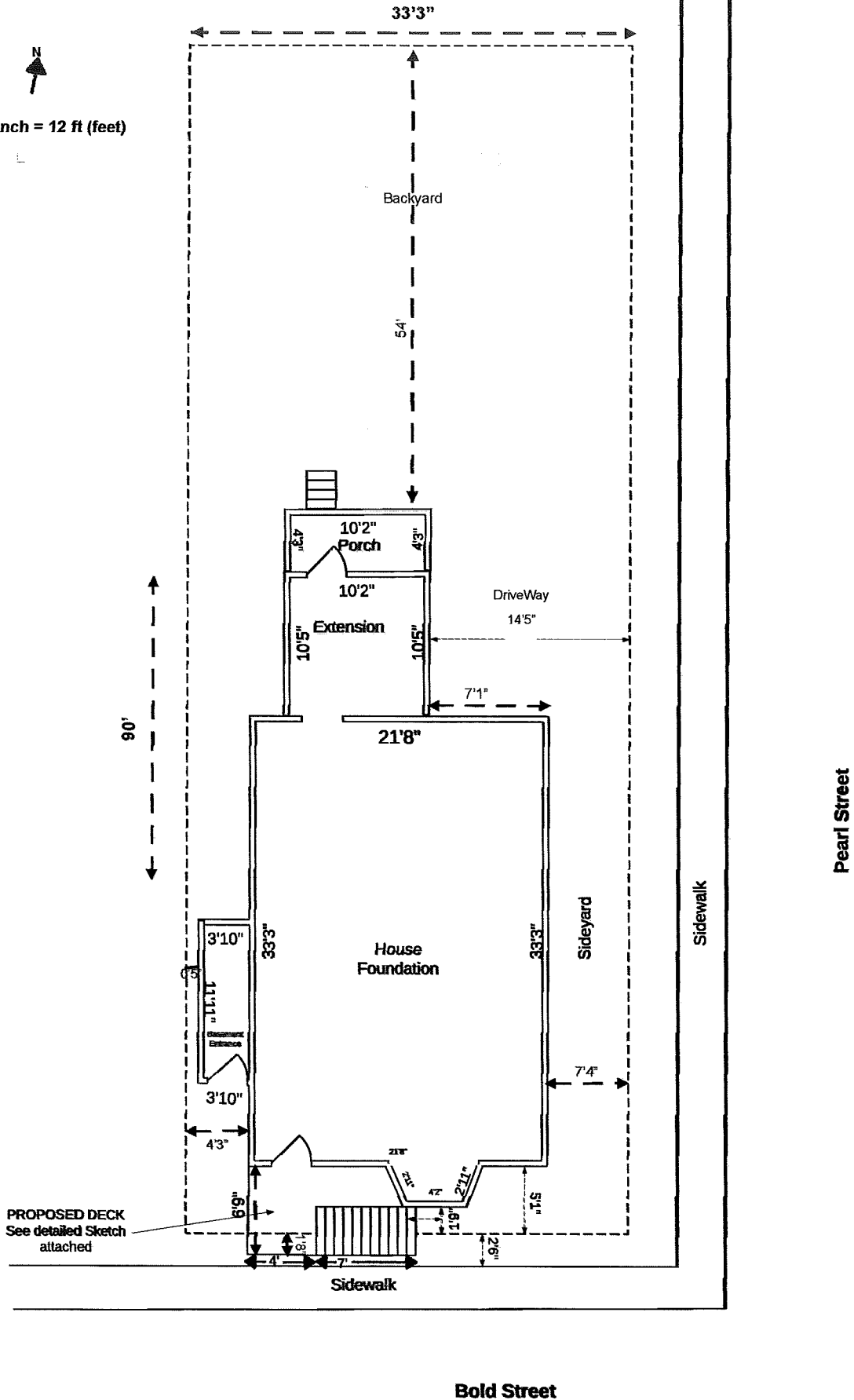
DATED: March 16th, 2021.

Jamila Sheffield,
Secretary-Treasurer
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public.



Scale: 1 inch = 12 ft (feet)

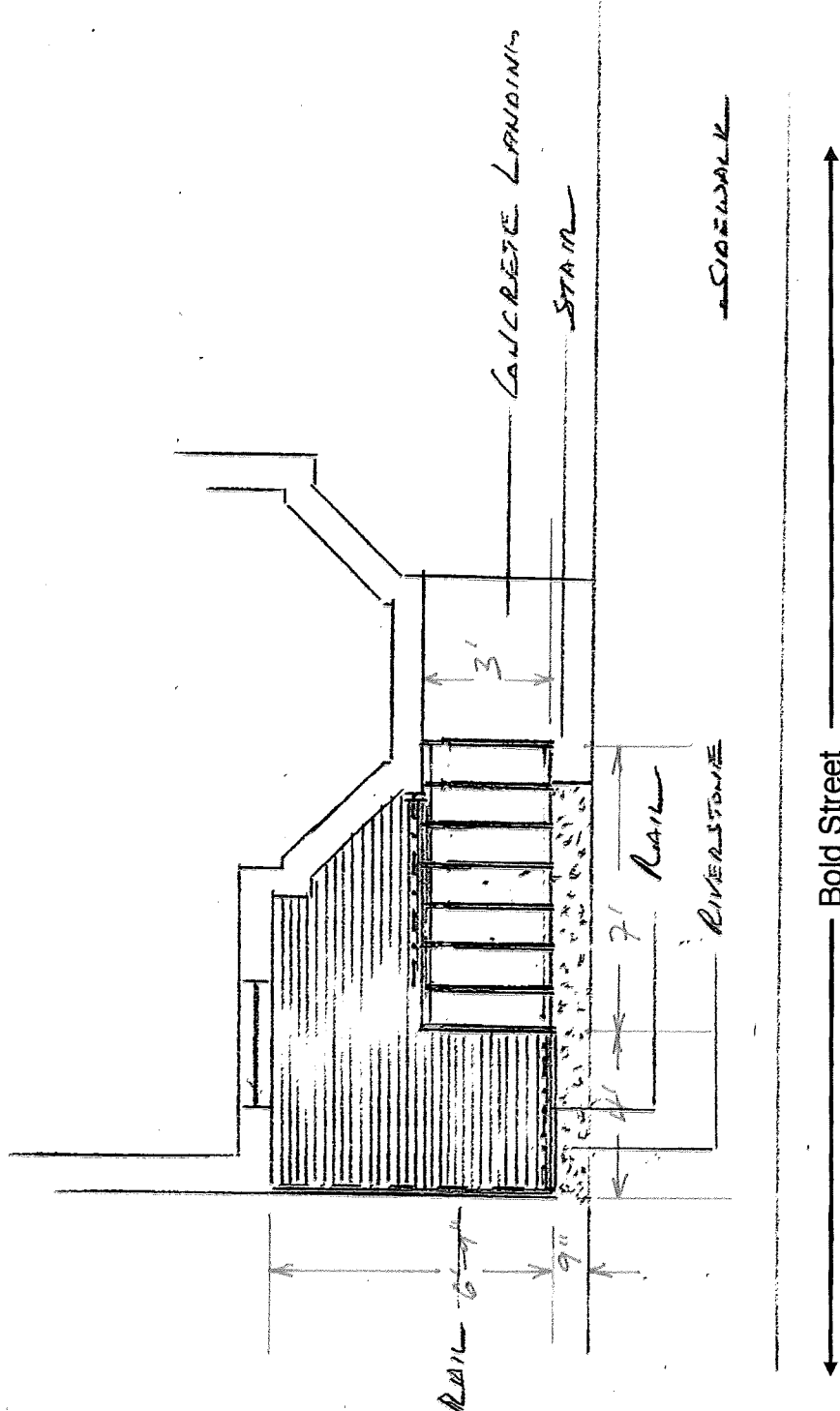


PROPOSED DECK
See detailed Sketch
attached


Bold Street

Sidewalk

Pearl Street

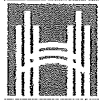


CUSTOMER	MAGAFU
ADDRESS	294 BOLD ST. HAM.
SCALE	1/4" = 1'-0"
DATE	2020

 PARADISE DECKS & LANDSCAPE DESIGN

RECEIVED

FEB 22 2021



Hamilton

Committee of Adjustment

City Hall
5th floor 71 Main Street West
Hamilton, Ontario L8P 4Y5

Planning and Economic Development Department
Planning Division

Phone (905) 546-2424 ext.4221
Fax (905) 546-4202

PLEASE FILL OUT THE FOLLOWING PAGES AND
RETURN TO THE CITY OF HAMILTON PLANNING
DEPARTMENT.

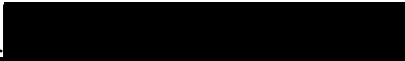

FOR OFFICE USE ONLY.	
APPLICATION NO. _____	DATE APPLICATION RECEIVED _____
PAID _____	DATE APPLICATION DEEMED COMPLETE _____
SECRETARY'S SIGNATURE _____	

CITY OF HAMILTON
COMMITTEE OF ADJUSTMENT
HAMILTON, ONTARIO

The Planning Act

Application for Minor Variance or for Permission

The undersigned hereby applies to the Committee of Adjustment for the City of Hamilton under Section 45 of the *Planning Act*, R.S.O. 1990, Chapter P.13 for relief, as described in this application, from the Zoning By-law.

- Name of Owner Rishi Magapu, Rachel Kathleen Mackenzie 
- 
- Name of Agent _____
FAX NO. _____ E-mail address _____
- Address _____

Note: Unless otherwise requested all communications will be sent to the agent, if any.

- Names and addresses of any mortgagees, holders of charges or other encumbrances:
Royal Bank of Canada, HAM ON-UPPER JAMES & MOHAWK, 752 UPPER JAMES ST
Hamilton Postal Code ON L9C 3A2

Postal Code _____

6. Nature and extent of relief applied for:

Front Porch Setback

The foundation (FRONT) of the home is only 5 FEET 1 inches from the property line and the height from the ground to the main front entrance is 4 FEET 8 inches. Given the dimension, ~~the~~ a variance is imperative to build a FRONT PORCH in accordance with the BY-laws of the CITY OF HAMILTON.

Why it is not possible to comply with the provisions of the By-law?

I have considered every possible alternative, including winder stairs and precast concrete steps. Given how close the foundation is to the property line (5feet 1inch) and the height of the main entrance off the ground(4feet 8inches), there is no way a porch can be built in accordance with the city of Hamilton rules/regulations without an encroachment agreement, I have discussed these alternatives thoroughly on multiple occasions with Donald Skinner, Building Inspector from the Building division and a licensed contractor that I am working with (paradise deck and landscape design

8. Legal description of subject lands (registered plan number and lot number or other legal description and where applicable, street and street number):

294 Bold Street. Intersection of Bold street and Pearl Street

Municipal Role Number- 01009503300

Property Legal Description- Survey J Mills BLK 4 Range 3 PT Lot 3 PT Lot 4

9. PREVIOUS USE OF PROPERTY

Residential Industrial Commercial

Agricultural Vacant

Other _____

9.1 If Industrial or Commercial, specify use

9.2 Has the grading of the subject land been changed by adding earth or other material, i.e. has filling occurred?

Yes No Unknown

9.3 Has a gas station been located on the subject land or adjacent lands at any time?

Yes No Unknown

9.4 Has there been petroleum or other fuel stored on the subject land or adjacent lands?

Yes No Unknown

9.5 Are there or have there ever been underground storage tanks or buried waste on the subject land or adjacent lands?

Yes No Unknown

9.6 Have the lands or adjacent lands ever been used as an agricultural operation where cyanide products may have been used as pesticides and/or sewage sludge was applied to the lands?

Yes No Unknown

9.7 Have the lands or adjacent lands ever been used as a weapon firing range?

Yes No Unknown

9.8 Is the nearest boundary line of the application within 500 metres (1,640 feet) of the fill area of an operational/non-operational landfill or dump?

Yes No Unknown

9.9 If there are existing or previously existing buildings, are there any building materials remaining on site which are potentially hazardous to public health (eg. asbestos, PCB's)?

Yes No Unknown

9.10 Is there any reason to believe the subject land may have been contaminated by former uses on the site or adjacent sites?

Yes No Unknown

9.11 What information did you use to determine the answers to 9.1 to 9.10 above?

IT IS A RESIDENTIAL PROPERTY THAT HAS NOT BEEN USED FOR ANY OTHER PURPOSES. I AM AWARE THAT NONE OF THE THINGS REG 9.11 ~~ARE~~ HAVE ~~BEEN~~ OCCURRED.

9.12 If previous use of property is industrial or commercial or if YES to any of 9.2 to 9.10, a previous use inventory showing all former uses of the subject land, or if appropriate, the land adjacent to the subject land, is needed.

Is the previous use inventory attached? Yes No

ACKNOWLEDGEMENT CLAUSE

I acknowledge that the City of Hamilton is not responsible for the identification and remediation of contamination on the property which is the subject of this Application – by reason of its approval to this Application.

25/11/2020

Date

Signature Property Owner

Rishi Magapu

Print Name of Owner

RACHEL KATHLEEN MACKENZIE

10. Dimensions of lands affected:

Frontage 33 1/3 FEET (ON LOCKE STREET)
 Depth 90 FEET (ON PEARL STREET)
 Area 2972.7 SQUARE FEET
 Width of street N/A

11. Particulars of all buildings and structures on or proposed for the subject lands: (Specify ground floor area, gross floor area, number of stories, width, length, height, etc.)

Existing: 3 STORIES PLUS BASEMENT
INTERIOR MAIN BUILDING 1753 SQFT
MAIN BUILDING EXTERIOR 1920 SQFT

Proposed: NO CHANGE

12. Location of all buildings and structures on or proposed for the subject lands; (Specify distance from side, rear and front lot lines)

Existing: NONE

Proposed: NIA

13. Date of acquisition of subject lands:
27/08/2020

14. Date of construction of all buildings and structures on subject lands:
NIA

15. Existing uses of the subject property:
RESIDENTIAL

16. Existing uses of abutting properties:
NIA

17. Length of time the existing uses of the subject property have continued:
SINCE 1890 ~~EST. NIA~~

18. Municipal services available: (check the appropriate space or spaces)
 Water ✓ Connected ✓
 Sanitary Sewer ✓ Connected ✓
 Storm Sewers _____

19. Present Official Plan/Secondary Plan provisions applying to the land:
NEIGHBOURHOODS

20. Present Restricted Area By-law (Zoning By-law) provisions applying to the land:
D/S - 1787

21. Has the owner previously applied for relief in respect of the subject property?
 Yes No

If the answer is yes, describe briefly.

22. Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?
 Yes No

23. The applicant shall attach to each copy of this application a plan showing the dimensions of the subject lands and of all abutting lands and showing the location, size and type of all buildings and structures on the subject and abutting lands, and where required by the Committee of Adjustment such plan shall be signed by an Ontario Land Surveyor.

NOTE: It is required that two copies of this application be filed with the secretary-treasurer of the Committee of Adjustment together with the maps



Hamilton

COMMITTEE OF ADJUSTMENT

City Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5
 Telephone (905) 546-2424, ext. 4221, 3935 Fax (905) 546-4202
 E-mail: cofa@hamilton.ca

NOTICE OF PUBLIC HEARING
Minor Variance

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
- Applicant/agent on file, or
- Person likely to be interested in this application

APPLICATION NO.: HM/A-20:268

APPLICANTS: Owners: Alan Gerrard Macdonald and Patricia Leblanc c/o Kyle Camarro
 Agent: AJ Clarke & Associates

SUBJECT PROPERTY: Municipal address **684 Beach Blvd., Hamilton**

ZONING BY-LAW: Former Hamilton Zoning By-law 6593, as Amended by By-law 99-170 and 19-277

ZONING: C/S-1436b district Urban Protected Residential

PROPOSAL: To permit the construction of a single family dwelling on each of the new lots (Part 1 and Part 2) and to retain an existing single family dwelling on Part 3 of the lands subject to Consent Applications HM/B-19:22 and HM/B-19:23, notwithstanding that;

Parts 1 and 2

1. A minimum front yard depth of 2.5m shall be permitted instead of the minimum 6.0m front yard depth required.
2. A minimum rear yard depth of 3.9m shall be permitted instead of the minimum 7.5m rear yard depth required.
3. A minimum 3.0m wide onsite manoeuvring shall be permitted instead of the minimum 6.0m wide manoeuvring space required adjacent to each parking space.
4. A roofed-over unenclosed porch including eaves and gutter and associated steps shall be permitted to be located as close as 0.0m from a front lot line instead of the minimum 1.5m setback required from the front lot line.

Part 3

5. A minimum of one (1) parking space shall be permitted instead of the minimum two (2) parking spaces required for the first eight (8) habitable rooms in the dwelling unit plus 0.5 parking space for each additional habitable room.
6. No onsite manoeuvring shall be permitted instead of the requirement that a manoeuvring space abutting and accessory to each required parking space shall be provided and maintained on the lot.

Notes:

The applicant shall ensure that the minimum ground floor elevation shall be 75.0m above mean sea level; otherwise, further variances shall be required.

The height elevation was not shown from grade to the highest point of the roof. The

HM/A-20:268

PAGE 2

applicant shall ensure that the proposed building heights do not exceed the maximum 11.0m height permitted; otherwise, further variances shall be required.

The applicant shall ensure that the minimum required 50.0% gross area of the front yard is maintained as landscaped area.

The applicant shall ensure that gravel or similar surface is maintained for the proposed single family dwellings.

Details respecting eave or gutter encroachment were not shown on the submitted plan. The applicant shall ensure compliance with the eave and gutter projections.

Details respecting the location of the parking space, the parking space size, accessibility, size of access driveway and composition of the parking spaces for the existing single family dwelling on Part 3 were not shown from which to confirm compliance; as such, further variances may be required.

This application will be heard by the Committee as shown below:

DATE: Thursday, April 1st, 2021
TIME: 2:20 p.m.
PLACE: Via video link or call in (see attached sheet for details)
To be streamed at www.hamilton.ca/committeeofadjustment
for viewing purposes only

PUBLIC INPUT

Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

Orally: If you would like to speak to this item at the hearing you may do so via video link or by calling in. Please see attached page for complete instructions, including deadlines for registering to participate.

Important note: *If a person or public body that files an appeal of a decision of the Committee of Adjustment in respect of the proposed consent does not make written submission to the Committee of Adjustment before it gives or refuses to give a provisional consent, the Local Planning Appeal Tribunal (LPAT) may dismiss the appeal.*

MORE INFORMATION

For more information on this matter, including access to drawings illustrating this request:

- Visit www.hamilton.ca/committeeofadjustment
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935
- Email Committee of Adjustment staff at cofa@hamilton.ca

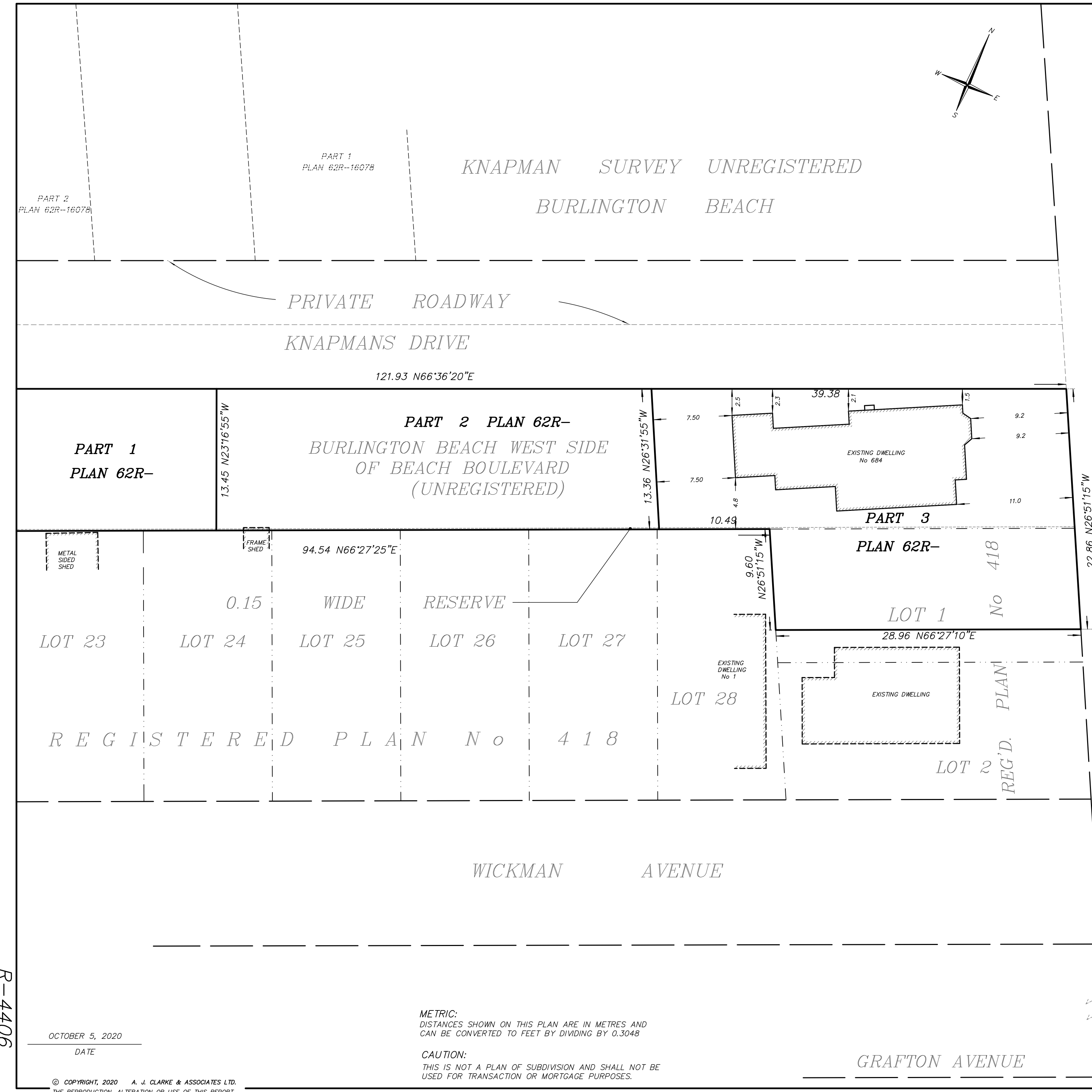
DATED: March 16, 2021.

Jamila Sheffield,
 Secretary-Treasurer
 Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public.

R-4406

SKETCH OF
 PART OF BURLINGTON BEACH
 WEST SIDE OF BEACH BOULEVARD
 (UNREGISTERED)
 AND
 PART OF LOT 1
 AND PART OF 0.15m WIDE RESERVE
 REGISTERED PLAN No. 418
CITY OF HAMILTON
 SCALE 1:250
 0 5 10 metres
 ATHITHTHAN KANAGANAYAGAM O.L.S.

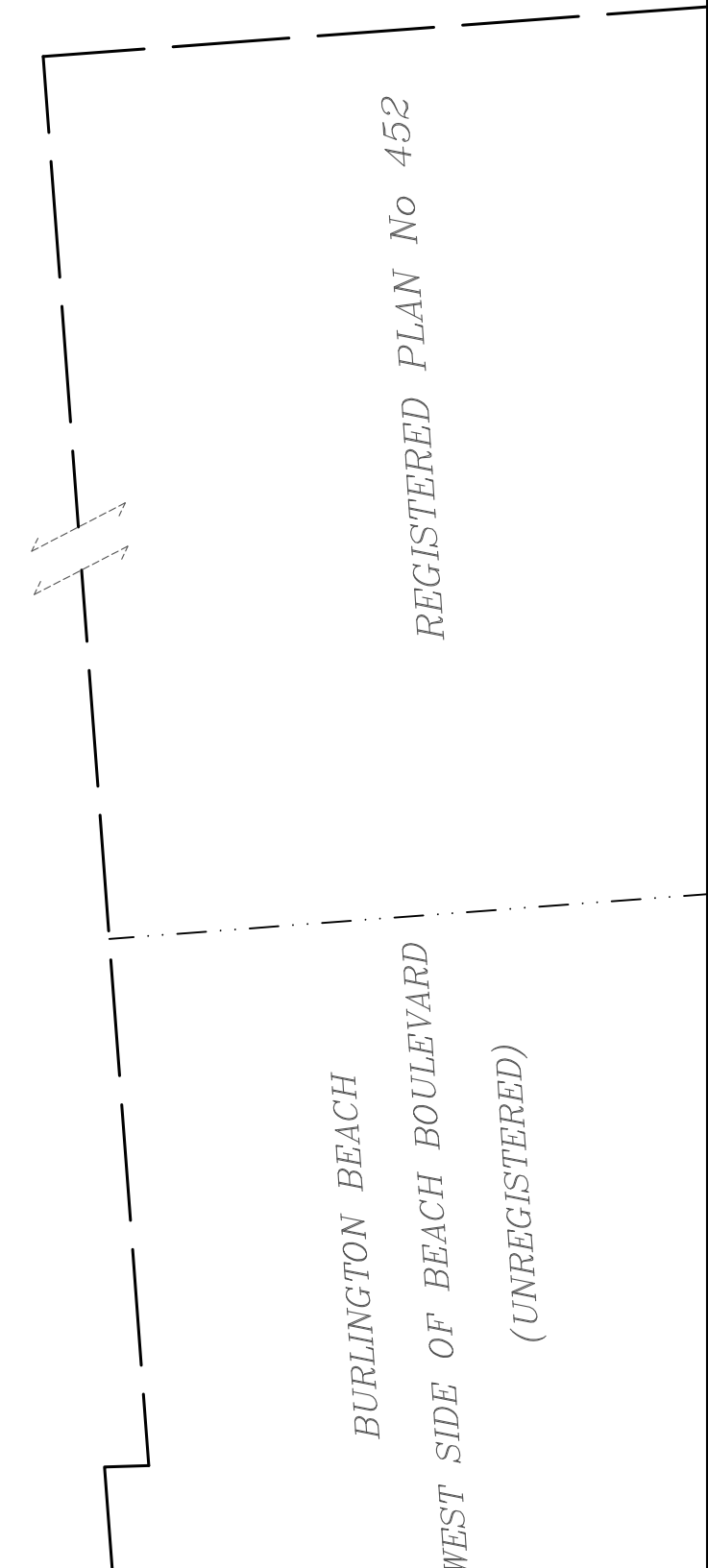


BURLINGTON BEACH
 WEST SIDE OF BEACH BOULEVARD
 (UNREGISTERED)

KILLARNEY AVENUE
 (ESTABLISHED ACCORDING TO REG'D. PLAN No 452)

BEACH BOULEVARD

DEPOSITED PLAN No 1469 MISC. (P-2113-241)
 TRANSFERRED BY ORDER-IN-COUNCIL OC-2180/64 JULY 9, 1964 INSTRUMENT No 1469 MISC.



METRIC:
 DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND
 CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

CAUTION:
 THIS IS NOT A PLAN OF SUBDIVISION AND SHALL NOT BE
 USED FOR TRANSACTION OR MORTGAGE PURPOSES.

OCTOBER 5, 2020
 DATE

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A. J. Clarke and Associates Ltd.
 SURVEYORS • PLANNERS • ENGINEERS
 25 MAIN STREET WEST, SUITE 300
 HAMILTON, ONTARIO, L8P 1H1
 TEL. 905-528-8761 FAX 905-528-2289
 email: a.jc@ajclarke.com

PROJECT 188015

H:\Jobs\1-10-2\UNREG\Burlington Beach\684 BEACH BLVD\Sept. 29 2020 (DW) 684_Beach\684_Beach R-4406.dwg

R-4406

X-9448

SKETCH SHOWING PROPOSED DWELLING LOCATION AT 10 KNAPMANS DRIVE

PART OF BURLINGTON BEACH WEST SIDE OF BEACH BOULEVARD (UNREGISTERED)

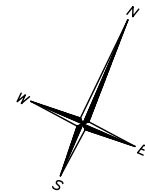
AND PART OF 0.15m WIDE RESERVE REGISTERED PLAN No. 418

CITY OF HAMILTON

SCALE 1:200



ATHITHTHAN KANAGANAYAGAM O.L.S.

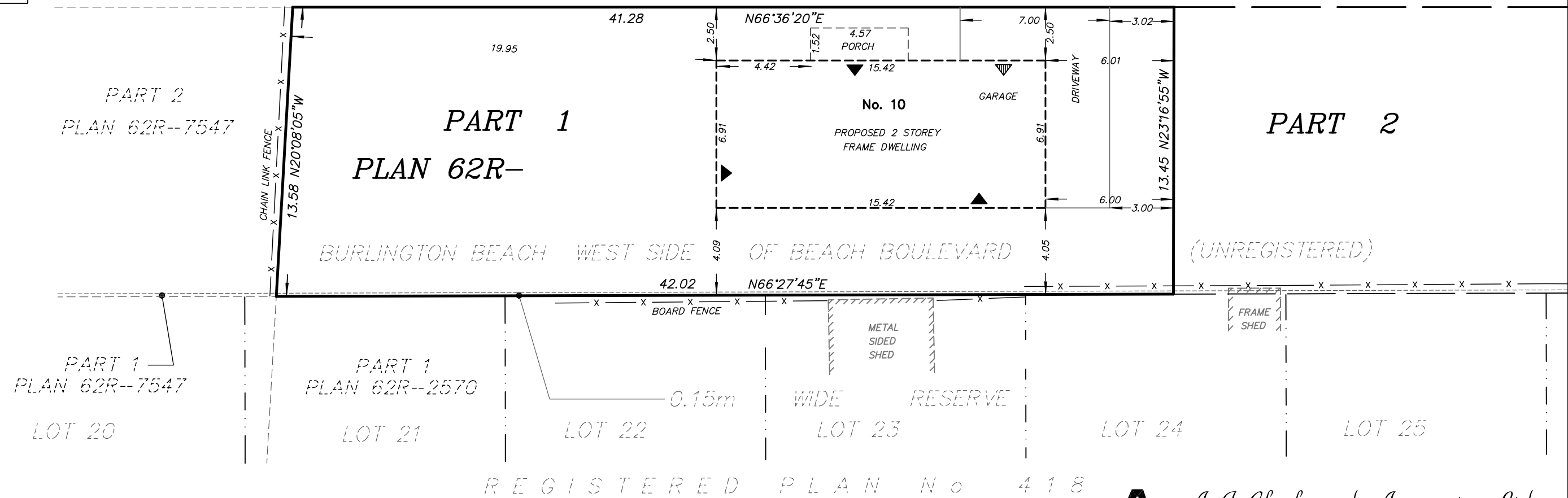


PRELIMINARY
FOR DISCUSSION
PURPOSES ONLY

PRIVATE ROADWAY

KNAPMANS DRIVE

Caution:
This is not a plan of survey and shall not be used except for the purpose indicated in the title block.



OCTOBER 28, 2020
DATE

METRIC:
DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

LEGEND:
▲ DENOTES ENTRANCE DOOR LOCATION
▴ DENOTES GARAGE DOOR LOCATION

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A. J. Clarke and Associates Ltd.
SURVEYORS • PLANNERS • ENGINEERS

25 MAIN STREET WEST, SUITE 300
HAMILTON, ONTARIO, L8P 1H1
TEL. 905-528-8761 FAX 905-528-2289
email: ajc@ajclarke.com

PROJECT No 188015

X-9448 A

X-9449

SKETCH SHOWING PROPOSED DWELLING LOCATION AT 11 KNAPMANS DRIVE

PART OF BURLINGTON BEACH WEST SIDE OF BEACH BOULEVARD (UNREGISTERED)

AND PART OF 0.15m WIDE RESERVE REGISTERED PLAN No. 418

CITY OF HAMILTON

SCALE 1:200



ATHITHTHAN KANAGANAYAGAM O.L.S.

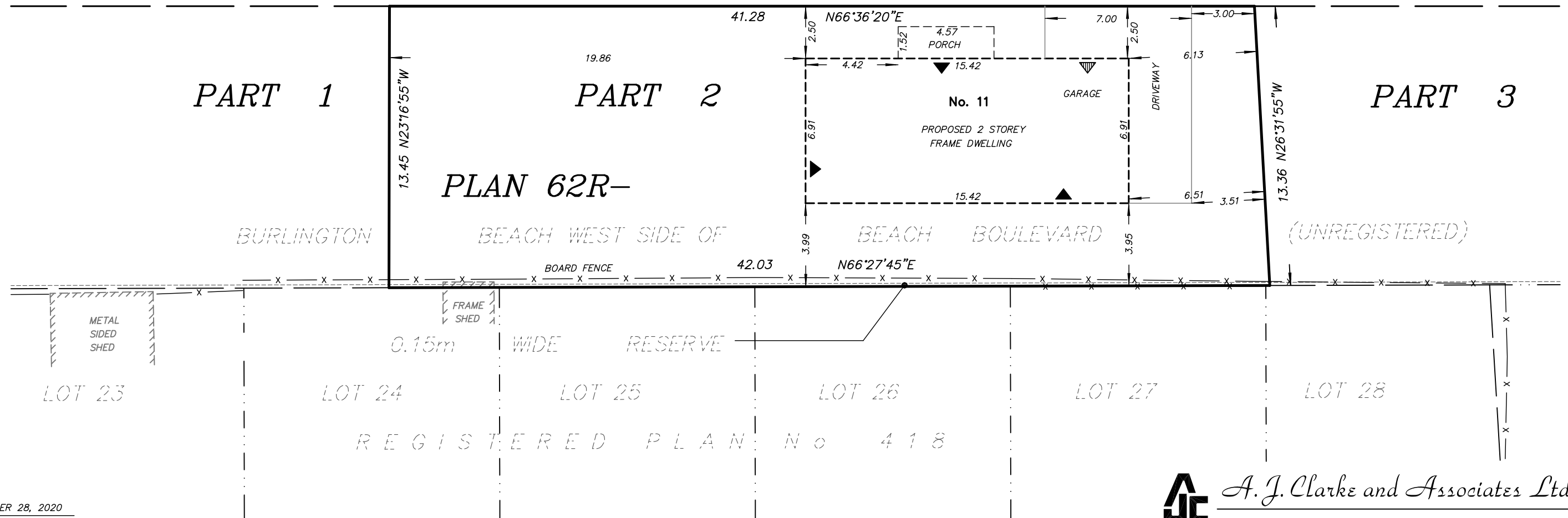
PRELIMINARY FOR DISCUSSION PURPOSES ONLY



PRIVATE ROADWAY

KNAPMANS DRIVE

Caution: This is not a plan of survey and shall not be used except for the purpose indicated in the title block.



OCTOBER 28, 2020 DATE

A. J. Clarke and Associates Ltd. SURVEYORS • PLANNERS • ENGINEERS

25 MAIN STREET WEST, SUITE 300 HAMILTON, ONTARIO, L8P 1H1 TEL. 905-528-8761 FAX 905-528-2289 email: ajc@ajclarke.com

METRIC: DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

LEGEND: DENOTES ENTRANCE DOOR LOCATION DENOTES GARAGE DOOR LOCATION

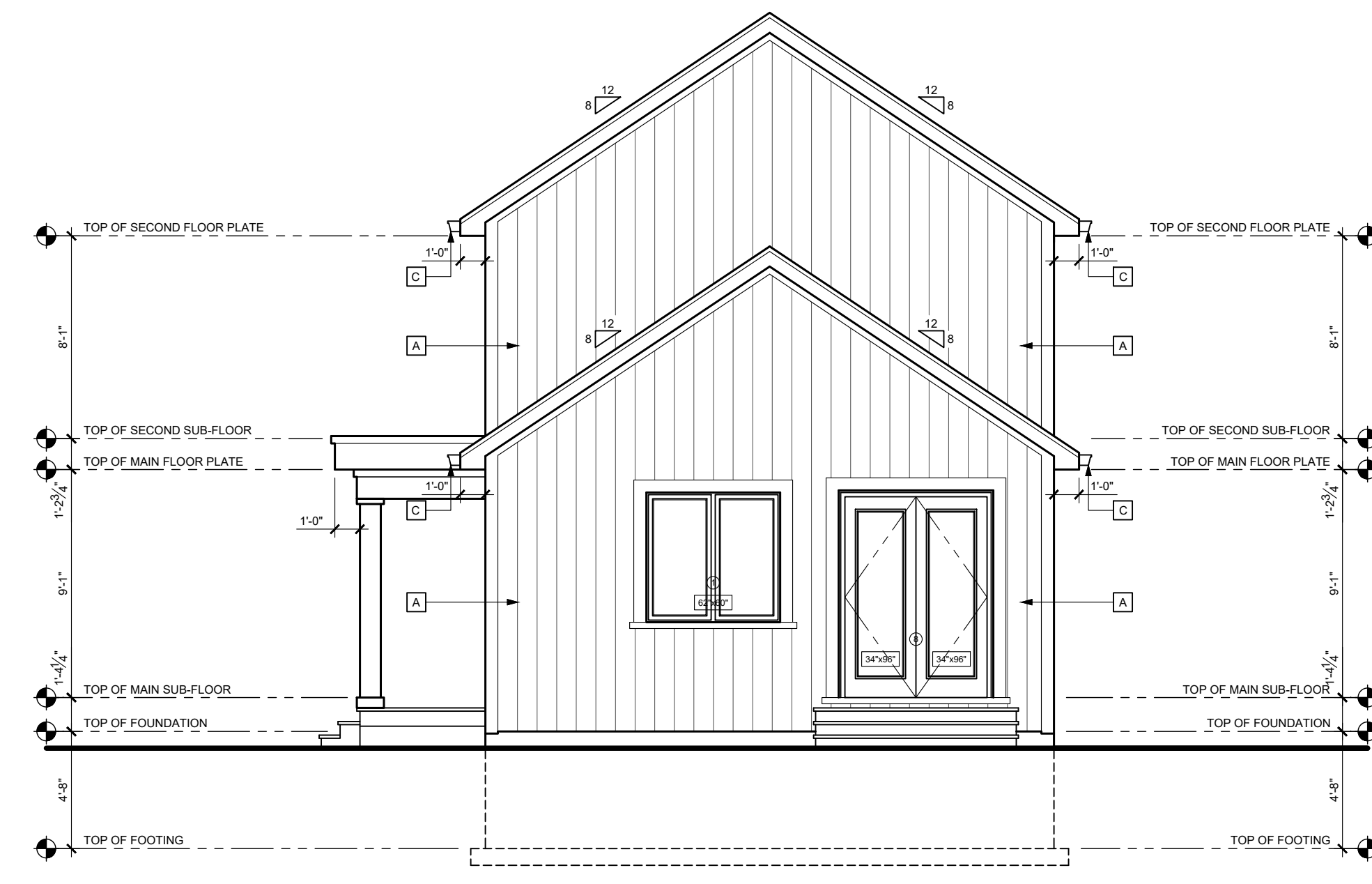
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PROJECT No 188015

X-9449 A



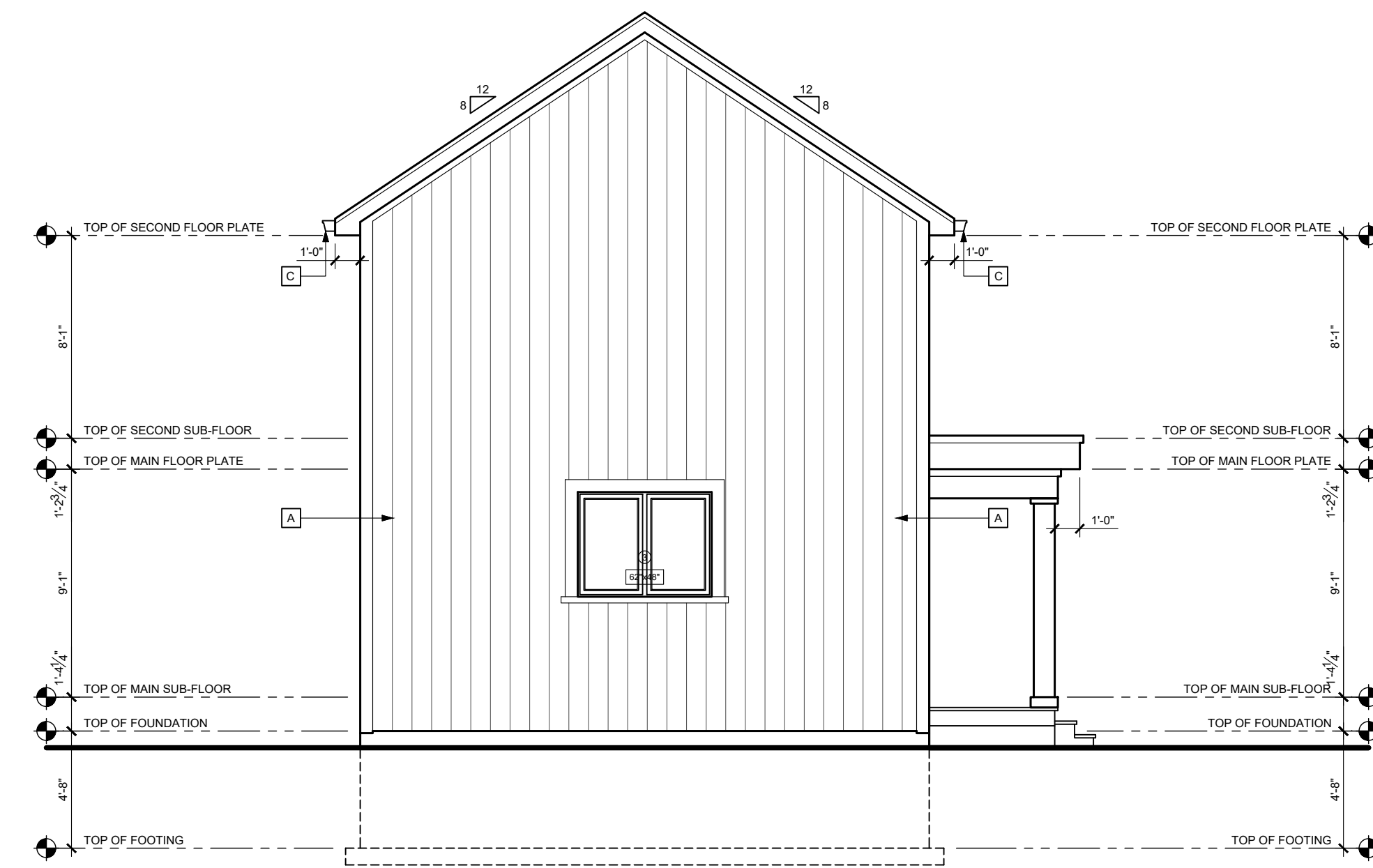
FRONT ELEVATION
SCALE 3/16" = 1' - 0"



RIGHT SIDE ELEVATION
SCALE 3/16" = 1' - 0"



REAR ELEVATION
SCALE 3/16" = 1' - 0"



LEFT SIDE ELEVATION
SCALE 3/16" = 1' - 0"

EXTERIOR FINISH INDEX

- [A] BOARD & BATTEN SIDING
- [B] ASPHALT SHINGLES
- [C] 5" PRE-FIN. ALUM. EAVETROUGH ON 8" WITH PRE-FIN. ALUM. FASCIA C/W PRE-FIN. ALUM. DOWNSPOUT

PROJECT NORTH	TRUE NORTH

No.	REVISION	DATE
01.	PRELIMINARY DRAWINGS	10/16/2020

1. ALL CONTRACTORS AND/OR TRADES SHALL VERIFY ALL DIMENSIONS, NOTES, SITE AND REPORT ANY DISCREPANCIES PRIOR TO THE COMMENCEMENT OF WORK.
2. THIS DRAWING IS NOT TO BE SCALED. ALL DRAWINGS, PRINTS AND RELATED DOCUMENTS ARE THE PROPERTY OF LEN ANGELICI DESIGN AND MUST BE RETURNED UPON REQUEST.
3. REPRODUCTION OF DRAWINGS AND RELATED DOCUMENTS IN PART OR IN WHOLE IS STRICTLY PROHIBITED WITHOUT WRITTEN CONSENT OF LEN ANGELICI DESIGN.
4. CONTRACTOR SHALL REVIEW ALL DRAWINGS PRIOR TO COMMENCING CONSTRUCTION FOR ANY ERRORS OR OMISSIONS.
5. LEN ANGELICI DESIGN IS NOT RESPONSIBLE FOR THE DESIGN OR PRE-ENGINEERED TRUSSES OR ANY PRE-ENGINEERED PRODUCTS.
6. LEN ANGELICI DESIGN IS NOT RESPONSIBLE FOR HEATING, PLUMBING, OR ELECTRICAL DRAWINGS.
7. DRAWING MAY NOT BE CHANGED, ALTERED OR COPIED WITHOUT WRITTEN CONSENT OF LEN ANGELICI DESIGN. FAILURE TO COMPLY WITH THIS STATEMENT IS NOT THE RESPONSIBILITY OF LEN ANGELICI DESIGN.
8. LEN ANGELICI DESIGN IS NOT RESPONSIBLE FOR POOR CONSTRUCTION PRACTICES.

SEAL

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION

LEONARD ANGELICI 42391
NAME BCIN

REGISTRATION INFORMATION

LEN ANGELICI DESIGN 43162
NAME BCIN

10/16/2020
DATE SIGNATURE

Len Angelici Design

270 SHERMAN AVE N. UNIT OF-269
HAMILTON, ON L8L 6N4
(905) 393-8868
info@lenangelicidesign.ca

PROJECT

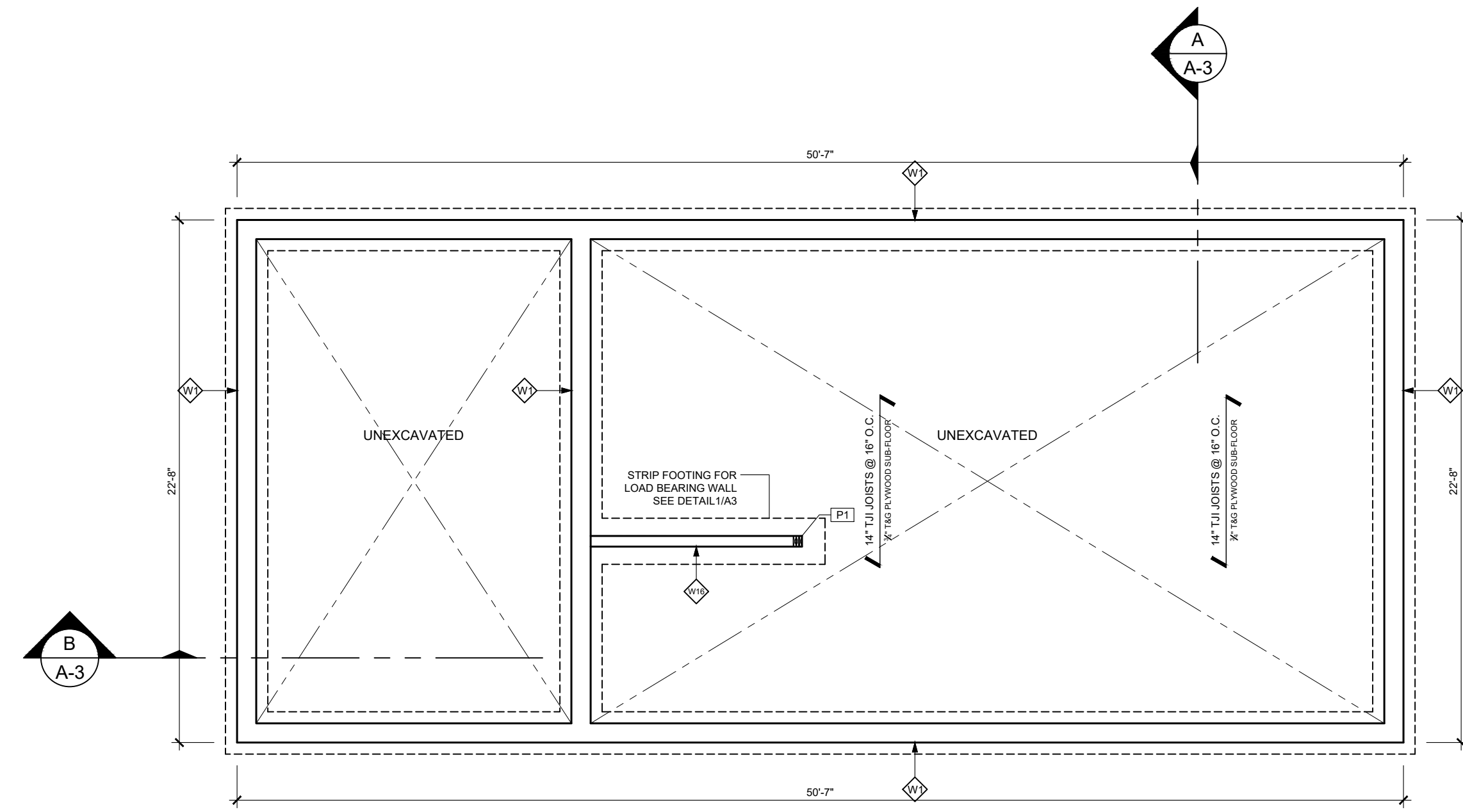
PROPOSED RESIDENCE
684 BEACH BLVD
HAMILTON, ON

SHEET TITLE

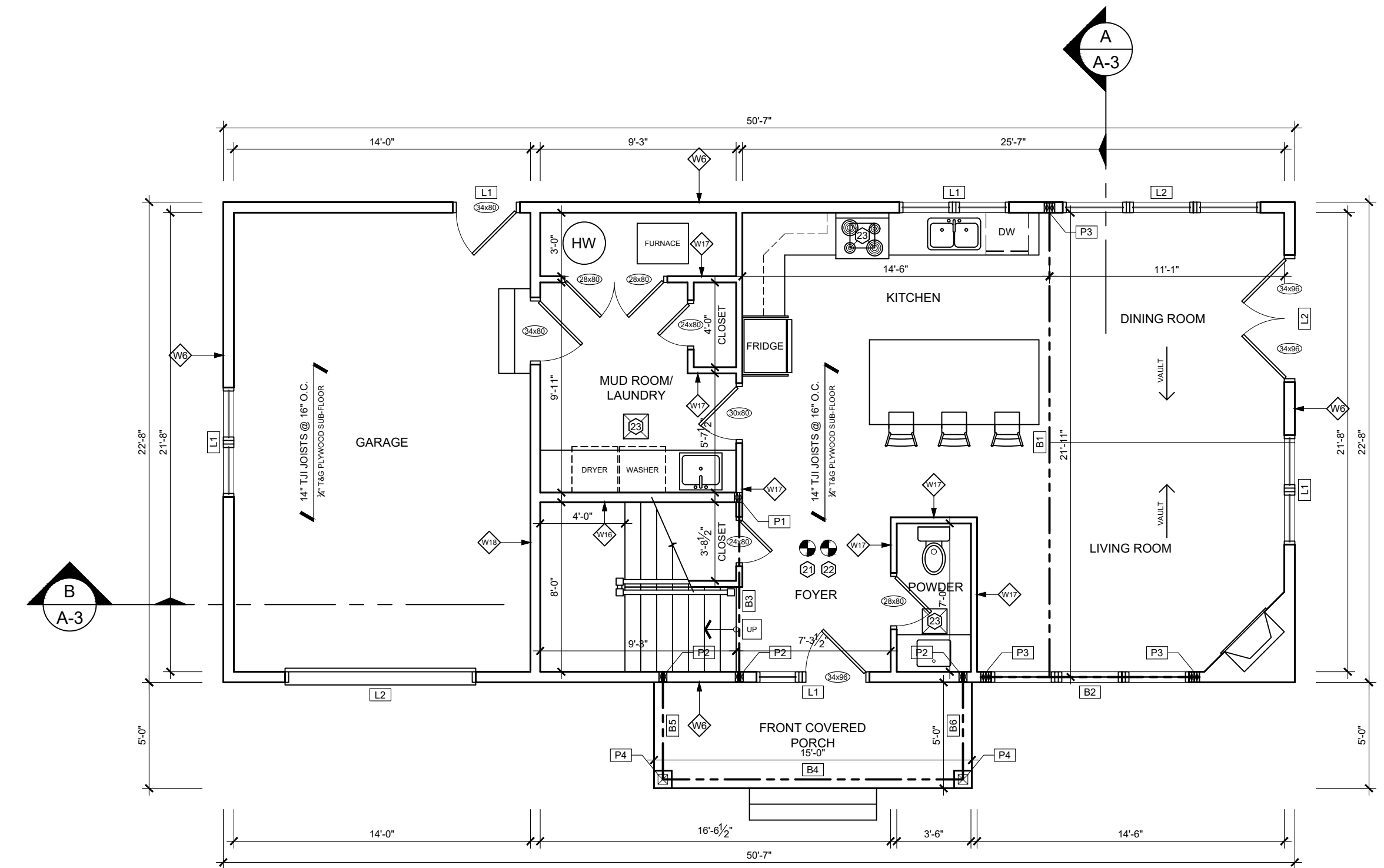
PROPOSED ELEVATIONS

DRAWN BY	L. ANGELICI
DATE	10/16/2020
SCALE	3/16"=1'-0"
PROJECT No.	19007

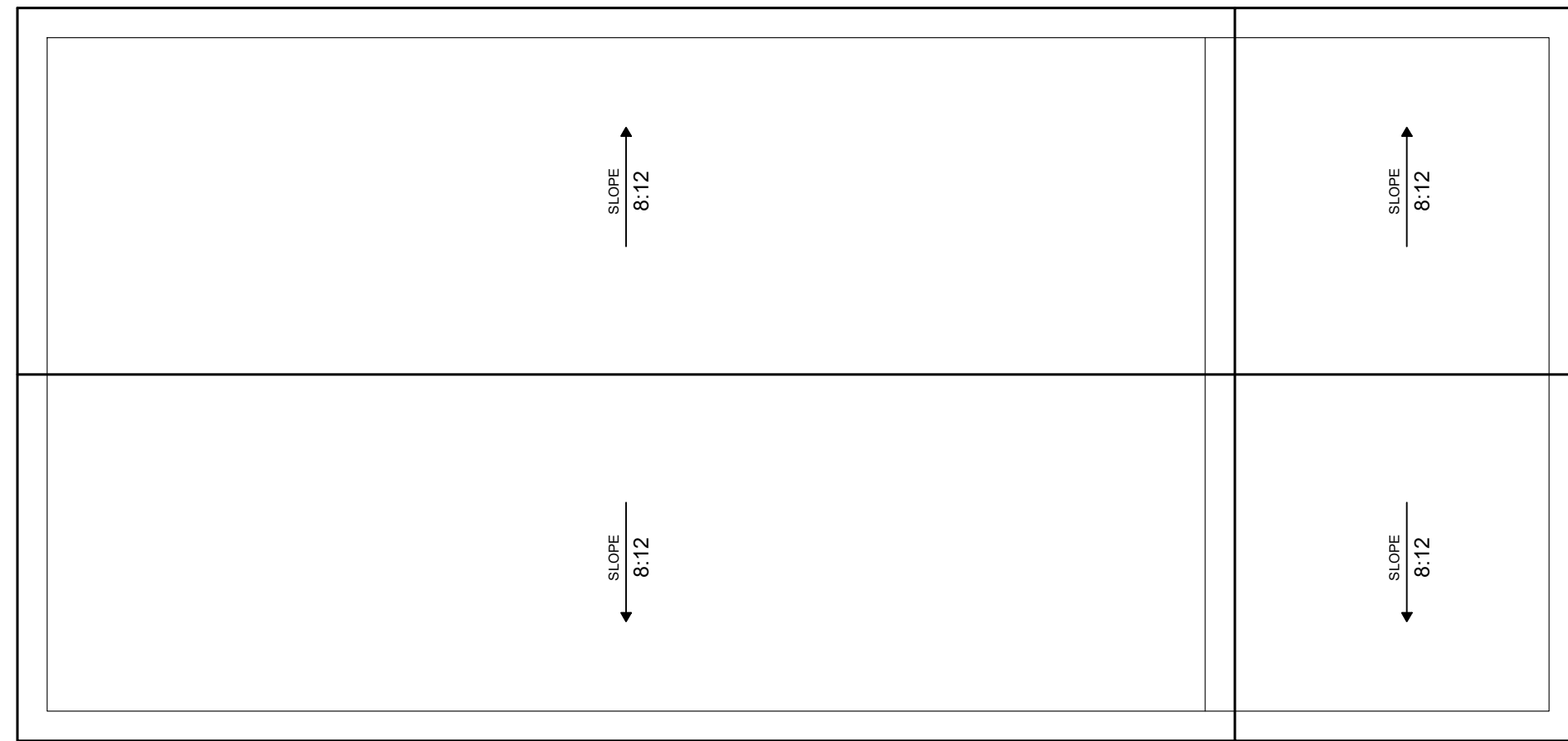
A1



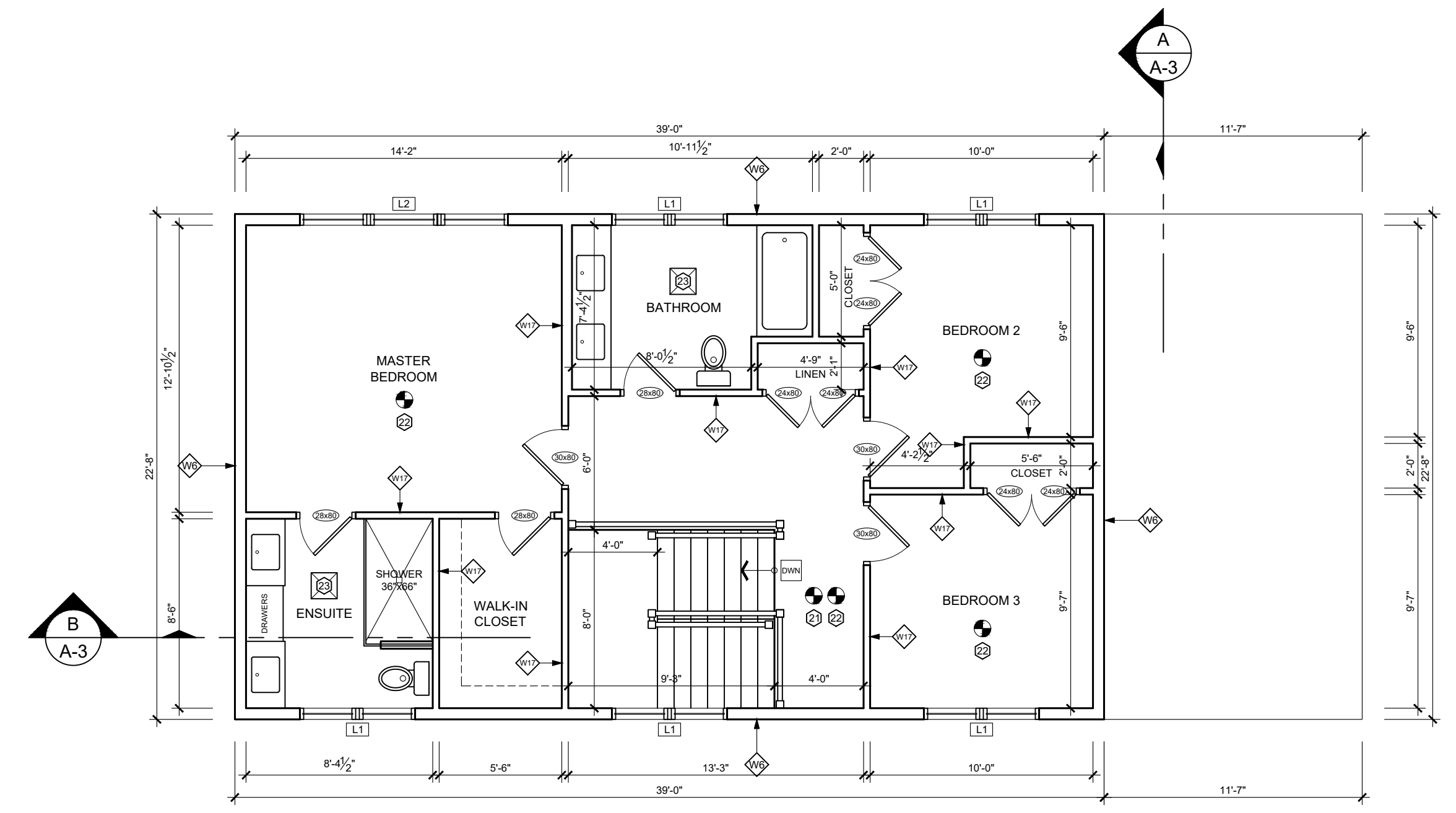
PROPOSED FOUNDATION PLAN
SCALE 3/16" = 1' - 0"



PROPOSED MAIN FLOOR PLAN
SCALE 3/16" = 1' - 0"
FLOOR AREA: 813sqft



PROPOSED ROOF PLAN
SCALE 3/16" = 1' - 0"



PROPOSED SECOND FLOOR PLAN
SCALE 3/16" = 1' - 0"
FLOOR AREA: 810sqft

PROJECT NORTH	TRUE NORTH

No.	REVISION	DATE
01.	PRELIMINARY DRAWINGS	10/16/2020

1. ALL CONTRACTORS AND/OR TRADES SHALL VERIFY ALL DIMENSIONS, NOTES, SITE AND REPORT ANY DISCREPANCIES PRIOR TO THE COMMENCEMENT OF WORK.
2. THIS DRAWING IS NOT TO BE SCALED. ALL DRAWINGS, PRINTS AND RELATED DOCUMENTS ARE THE PROPERTY OF LEN ANGELICI DESIGN AND MUST BE RETURNED UPON REQUEST.
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4. CONTRACTOR SHALL REVIEW ALL DRAWINGS PRIOR TO COMMENCING CONSTRUCTION FOR ANY ERRORS OR OMISSIONS.
5. LEN ANGELICI DESIGN IS NOT RESPONSIBLE FOR THE DESIGN OR PRE-ENGINEERED TRUSSES OR ANY PRE-ENGINEERED PRODUCTS.
6. LEN ANGELICI DESIGN IS NOT RESPONSIBLE FOR HEATING, PLUMBING, OR ELECTRICAL DRAWINGS.
7. DRAWING MAY NOT BE CHANGED, ALTERED OR COPIED WITHOUT WRITTEN CONSENT OF LEN ANGELICI DESIGN. FAILURE TO COMPLY WITH THIS STATEMENT IS NOT THE RESPONSIBILITY OF LEN ANGELICI DESIGN.
8. LEN ANGELICI DESIGN IS NOT RESPONSIBLE FOR POOR CONSTRUCTION PRACTICES.

SEAL

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION	
LEONARD ANGELICI	42391
NAME	BCIN
REGISTRATION INFORMATION	
LEN ANGELICI DESIGN	43162
NAME	BCIN
10/16/2020	
DATE	SIGNATURE

Len Angelici Design

270 SHERMAN AVE N. UNIT OF-269
HAMILTON, ON L8L 6N4
(905) 393-8868
info@lenangelicidesign.ca

PROJECT
PROPOSED RESIDENCE
684 BEACH BLVD
HAMILTON, ON

SHEET TITLE
PROPOSED FLOOR PLANS

DRAWN BY	L. ANGELICI
DATE	10/16/2020
SCALE	3/16"=1'-0"
PROJECT No.	19007

A2



Hamilton

COMMITTEE OF ADJUSTMENT

City Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5
 Telephone (905) 546-2424, ext. 4221, 3935 Fax (905) 546-4202
 E-mail: cofa@hamilton.ca

NOTICE OF PUBLIC HEARING Minor Variance

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
- Applicant/agent on file, or
- Person likely to be interested in this application

APPLICATION NO.: HM/A-20:252

APPLICANTS: Owner: 2002002 Ontario Inc. c/o Carlo Caravaggio
 Agent: GSP Group c/o Brenda Khes

SUBJECT PROPERTY: Municipal address **202 Cannon St. E., Hamilton**

ZONING BY-LAW: Zoning By-law 05-200, as Amended

ZONING: D5, H17, H19, H20 district (Downtown Residential "D5" zone)

PROPOSAL: To permit the construction of a sixteen (16) unit Multiple Dwelling and accessory buildings in order to facilitate Site Plan Application File No. DA-20-040 notwithstanding that:

1. A minimum rear yard of 7.0m shall be permitted instead of the minimum required rear yard of 7.5m.
2. Buildings and structures accessory to the multiple dwelling shall not be subject to maximum side yard (being 7.5m) and maximum flankage yard (being 3.0m) regulations.

NOTE:

- i) The variances are necessary to facilitate Site Plan File No. DA-20-040.
- ii) No Building or Elevation Plans were submitted.

This application will be heard by the Committee as shown below:

DATE: Thursday, April 1st, 2021
TIME: 2:25 p.m.
PLACE: Via video link or call in (see attached sheet for details)
 To be streamed at www.hamilton.ca/committeeofadjustment
 for viewing purposes only

PUBLIC INPUT

Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

HM/A-20:252
PAGE 2

Orally: If you would like to speak to this item at the hearing you may do so via video link or by calling in. Please see attached page for complete instructions, including deadlines for registering to participate.

Important note: *If a person or public body that files an appeal of a decision of the Committee of Adjustment in respect of the proposed consent does not make written submission to the Committee of Adjustment before it gives or refuses to give a provisional consent, the Local Planning Appeal Tribunal (LPAT) may dismiss the appeal.*

MORE INFORMATION

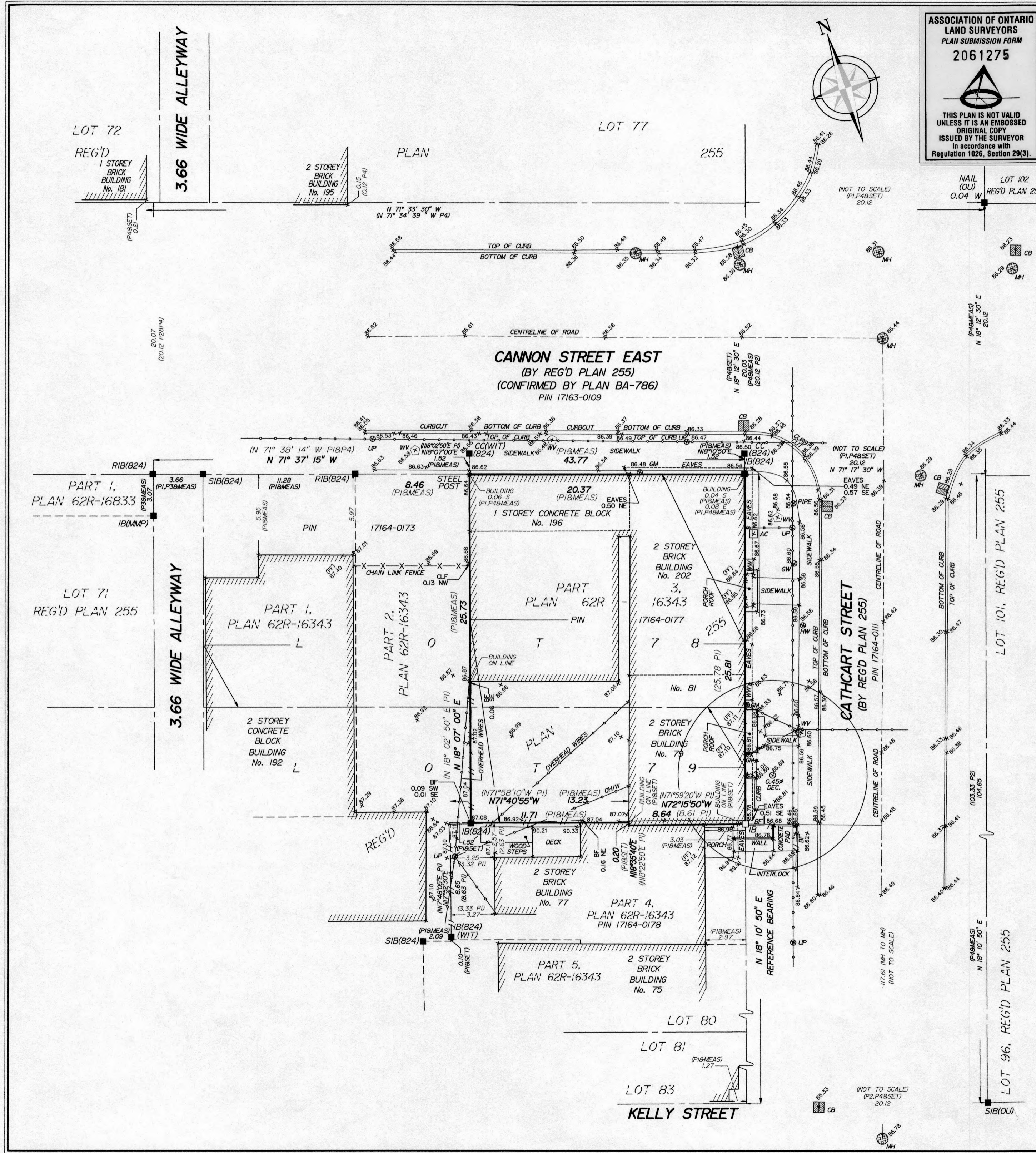
For more information on this matter, including access to drawings illustrating this request:

- Visit www.hamilton.ca/committeeofadjustment
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935
- Email Committee of Adjustment staff at cofa@hamilton.ca

DATED: March 16th, 2021.

Jamila Sheffield,
Secretary-Treasurer
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public.



ASSOCIATION OF ONTARIO LAND SURVEYORS
 PLAN SUBMISSION FORM
 2061275

THIS PLAN IS NOT VALID UNLESS IT IS AN EMBOSSED ORIGINAL COPY ISSUED BY THE SURVEYOR In accordance with Regulation 1026, Section 29(3).

SURVEYOR'S REAL PROPERTY REPORT - PART 1
 PLAN OF SURVEY AND TOPOGRAPHY OF
PART OF LOTS 78 & 79
REGISTERED PLAN 255
CITY OF HAMILTON

0 5 10 15 20 Metres
 SCALE 1 : 200
 J. H. Gelbloom Surveying Limited
 Ontario Land Surveyor 2018

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SURVEYOR'S REAL PROPERTY REPORT - PART 2

REGISTERED EASEMENTS AND/OR RIGHT-OF-WAY
 None

NOTABLES
 note the Location of the Fences around the Subject Property.
 note the Location of the Eaves along the Northerly & Easterly Limit of the Subject Property.

- LEGEND**
- Survey Monument Found
 - Survey Monument Set
 - SIB Standard Iron Bar
 - IB Iron Bar
 - RIB Round Iron Bar
 - CC Cut Cross
 - (OU) Origin Unknown
 - (WIT) Witness
 - MMP Mackay Mackay & Peters Ltd., O.L.S.
 - B24 A. T. McLaren O.L.S.
 - P1 Plan 62R-16343
 - P2 Registered Plan 255
 - P3 Plan 62R-16833
 - P4 Plan BA-786
 - WV Water Valve
 - BF Board Fence
 - UP Utility Pole
 - DEC. Deciduous
 - MH Maintenance Hole
 - CB Catch Basin
 - CLF Chain Link Fence
 - N Denotes North
 - S Denotes South
 - E Denotes East
 - W Denotes West
 - GM Gas Metre
 - WW Window Well
 - HW Hand Well

BENCHMARK
 Elevations are Referred to the City of Hamilton Benchmark No. 07720100048 having an Elevation of 87.622 m.

NOTE
 This REPORT can be updated by this office, however NO ADDITIONAL PRINTS of this ORIGINAL REPORT will be issued, subsequent to the DATE OF CERTIFICATION.
 All building ties are perpendicular to property lines unless otherwise noted.

This REPORT was prepared for Caran Developments Ltd. and the undersigned accepts no responsibility for use by other parties.

NOTE
 Distances shown on this plan are in metres and can be converted to feet by dividing by 0.3048.

BEARING NOTE
 Bearings are Astronomical, and are Referred to the Westerly limit of Cathcart Street as shown on Plan BA 786, having a Bearing of N 18° 10' 50" E.

SURVEYOR'S CERTIFICATE
 I certify that:
 1: This survey and plan are correct and in accordance with the Surveys Act, the Surveyors Act, and the Regulations made under them.
 2: The survey was completed on the 29th day of October, 2018.

Oct. 31, 2018
 Date Andrew Musil, O.L.S.

Party Chief:	Drawn By:	Checked By:	Project:
M.A./D.L.	M.K./M.A.	A.M.	18-175

J. H. Gelbloom Surveying Limited
 Ontario Land Surveyor
 476 Morden Road, Unit 102, Oakville, Ont., L6K 3W4
 office@jhgsurveying.ca
 Phone:(905) 338-8210 Fax:(905) 338-9446



Hamilton

COMMITTEE OF ADJUSTMENT

City Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5
 Telephone (905) 546-2424, ext. 4221, 3935 Fax (905) 546-4202
 E-mail: cofa@hamilton.ca

NOTICE OF PUBLIC HEARING Minor Variance

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
- Applicant/agent on file, or
- Person likely to be interested in this application

APPLICATION NO.: HM/A-21:114

APPLICANTS: Chris Viegas, owner

SUBJECT PROPERTY: Municipal address **30 Poulette St., Hamilton**

ZONING BY-LAW: Zoning By-law 6593, as Amended 19-307

ZONING: "D/S-1787" (Urban Protected Residential - One and Two Family Dwellings) district

PROPOSAL: To permit the construction of a 3.35m (11'0") x 6.40m (21'0") detached garage accessory to the existing single detached dwelling and to recognize the location of the existing southerly uncovered porch at the first storey (existing deck) and a 0.91m (3'0") x 1.52m (5'0") existing uncovered front porch with stairs at the first storey (front porch with stairs) notwithstanding that:

1. The accessory building shall have a maximum height of 5.1m instead of the requirement that no accessory building shall exceed 4.0m in height.
2. The accessory building shall be permitted to be located within the required southerly side yard and shall be a minimum of 0.6m from the southerly side lot line instead of the requirement that no accessory building shall be erected in a required side yard (being 1.2m).
3. Eaves and gutters for the accessory building shall be permitted to project a maximum of 0.5m into the required southerly side yard so that the eaves and gutters may be as close as 0.1m to the southerly side lot line instead of the requirement that eaves and gutters may project into a required side yard (being 0.6m) not more than one-half of its width (being 0.3m).
4. The existing southerly uncovered porch (existing deck) at the first storey shall be distant 0.0m from the southerly side lot line and 0.0m from the rear lot line instead of the requirement that an uncovered porch which does not extend more than 1.0 metre above the floor level of the first storey, may project into a required yard, if distant at least 0.5 metres from the nearest side lot line and rear lot line.
5. The existing uncovered front porch with stairs at the first storey shall be distant 0.7m from the street line instead of the requirement that an uncovered porch which does not extend more than 1.0 metre above the floor level of the first storey, may project into a required yard, if distant at least 1.5 metres from the nearest street line.

HM/A-20:114

Page 2

NOTE:

- i) Variance #'s 4 and 5 are intended to recognize the location of the existing front porch and stairs and the existing deck located at the south side of the dwelling.
- ii) Variances are not necessary for the existing 1.5 storey dwelling as its front yard depth, northerly side yard width and rear yard depth are considered legally established non-conforming.
- iii) A variance for a front yard at garage is not necessary as the garage is not located in the front yard.

This application will be heard by the Committee as shown below:

DATE: Thursday, April 1st, 2021
TIME: 2:30 p.m.
PLACE: Via video link or call in (see attached sheet for details)
 To be streamed at
www.hamilton.ca/committeeofadjustment
 for viewing purposes only

PUBLIC INPUT

Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

Orally: If you would like to speak to this item at the hearing you may do so via video link or by calling in. Please see attached page for complete instructions, including deadlines for registering to participate.

MORE INFORMATION

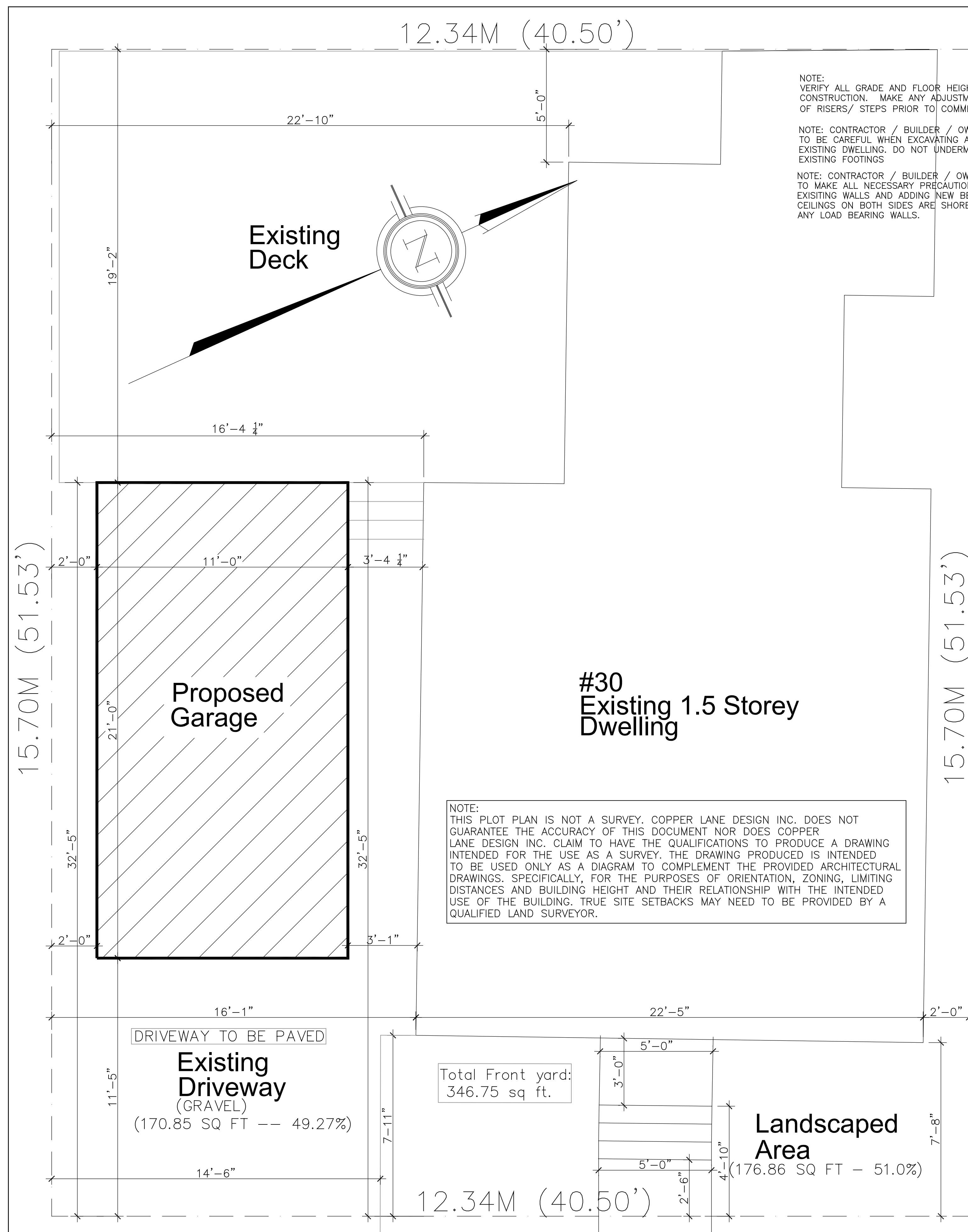
For more information on this matter, including access to drawings illustrating this request:

- Visit www.hamilton.ca/committeeofadjustment
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935
- Email Committee of Adjustment staff at cofa@hamilton.ca

DATED: March 16th, 2021.

Jamila Sheffield,
 Secretary-Treasurer
 Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public.



NOTE:
VERIFY ALL GRADE AND FLOOR HEIGHTS PRIOR TO CONSTRUCTION. MAKE ANY ADJUSTMENTS REQUIRED TO NUMBER OF RISERS/ STEPS PRIOR TO COMMENCING CONSTRUCTION.

NOTE: CONTRACTOR / BUILDER / OWNER TO BE CAREFUL WHEN EXCAVATING AROUND EXISTING DWELLING. DO NOT UNDERMINE EXISTING FOOTINGS

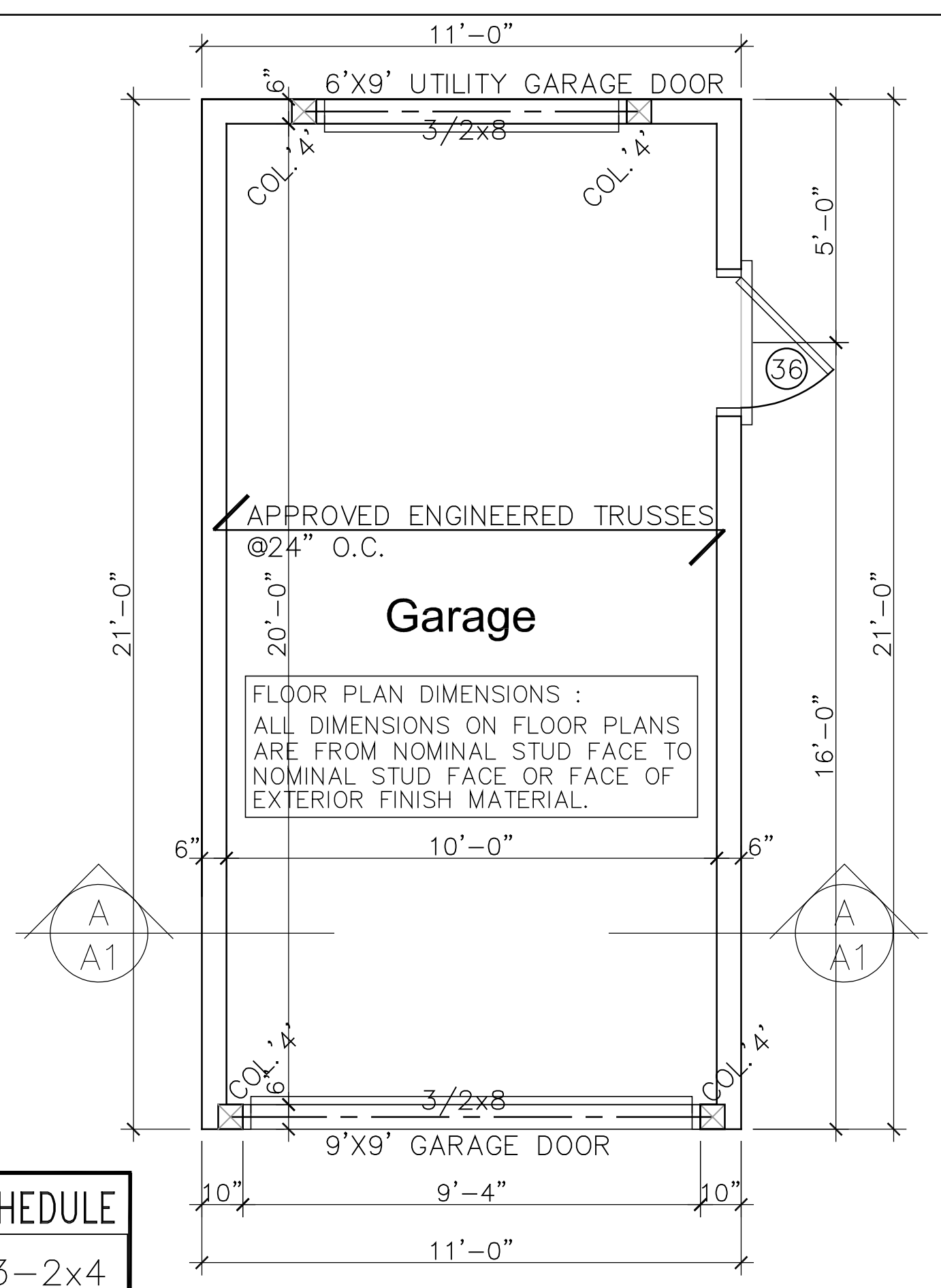
NOTE: CONTRACTOR / BUILDER / OWNER TO MAKE ALL NECESSARY PRECAUTIONS WHEN REMOVING EXISTING WALLS AND ADDING NEW BEAM SUPPORTS. MAKE SURE CEILINGS ON BOTH SIDES ARE SHORED UP PRIOR TO REMOVING ANY LOAD BEARING WALLS.

NOTE:
THIS PLOT PLAN IS NOT A SURVEY. COPPER LANE DESIGN INC. DOES NOT GUARANTEE THE ACCURACY OF THIS DOCUMENT NOR DOES COPPER LANE DESIGN INC. CLAIM TO HAVE THE QUALIFICATIONS TO PRODUCE A DRAWING INTENDED FOR THE USE AS A SURVEY. THE DRAWING PRODUCED IS INTENDED TO BE USED ONLY AS A DIAGRAM TO COMPLEMENT THE PROVIDED ARCHITECTURAL DRAWINGS. SPECIFICALLY, FOR THE PURPOSES OF ORIENTATION, ZONING, LIMITING DISTANCES AND BUILDING HEIGHT AND THEIR RELATIONSHIP WITH THE INTENDED USE OF THE BUILDING. TRUE SITE SETBACKS MAY NEED TO BE PROVIDED BY A QUALIFIED LAND SURVEYOR.

NOTE:
ALL PROPOSED RAIN WATER LEADERS TO DISCHARGE ANY RAIN WATER ON PROPERTY OR EXISTING SWALES.
NO WATER IS TO BE DRAINED ON TO ADJACENT PROPERTIES OR WALKWAYS OR DRIVEWAYS.

COLUMN SCHEDULE

COL. 1=3-2x4
COL. 2=4-2x4
COL. 3=2-2x6
COL. 4=3-2x6
COL. 5=4-2x6



IT SHALL BE THE RESPONSIBILITY OF THE BUILDER TO HAVE ALL GRADES AND SERVICES CHECKED AND VERIFIED GRADING AND SERVICES ENGINEERED PROPOSED GRADE LINE AS INDICATED ARE FOR REFERENCE ONLY AND DO NOT NECESSARILY DEPICT FINISHED GRADING CONDITIONS

FOUNDATION, WALLS TO BE CONSTRUCTED TO A MIN 8" ABOVE APPROVED GRADES

SITE STATISTICS

MUNICIPAL ADDRESS
30 POULETTE ST.
HAMILTON, ONT.

BUILDING CLASSIFICATION
RESIDENTIAL - ONE AND TWO FAMILY

ZONING
RESIDENTIAL - D/S-1787

REQUIREMENTS
MIN. SIDE YARDS 1.20M (3.94')
MIN. FRONT YARD 6.0M (19.68')
MIN. REAR YARD 7.5M (24.61')

EXISTING YARDS AT DWELLING
SIDE YARD (LEFT) 4.90M (16'-1") -EXISTING
SIDE YARD (RIGHT) 0.60M (2'-0") -EXISTING
FRONT YARD 2.30M/2.41M (7'-7"/7'-11") -EXISTING
REAR YARD 0.150M+- (0'-6"+-) -EXISTING

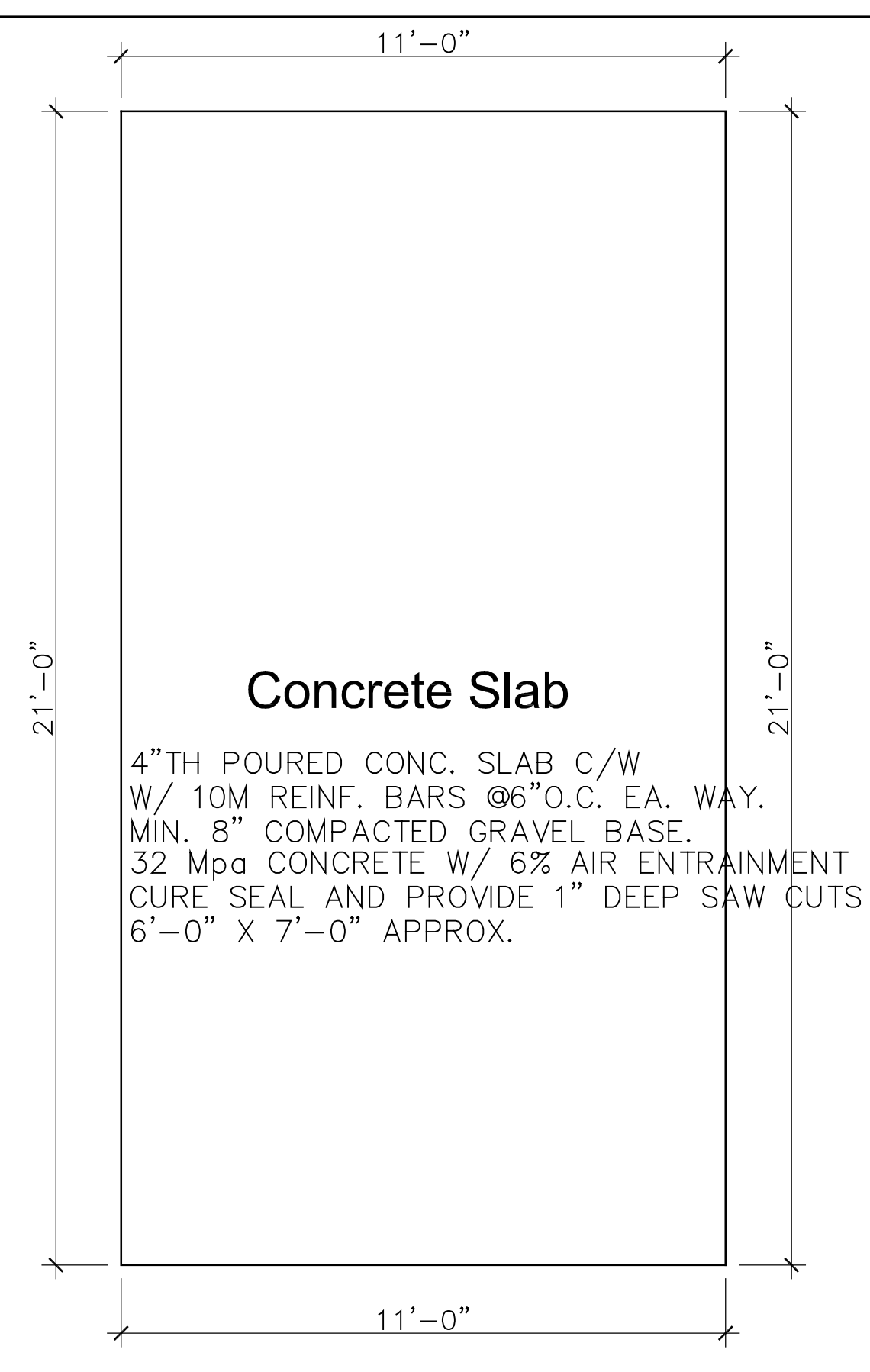
REQUIRED VARIANCES
+ RIGHT SIDE YARD AT EXISTING DWELLING
+ REAR YARD AT EXISTING DWELLING
+ FRONT YARD AT EXISTING DWELLING
+ EXISTING DECK
+ PROPOSED GARAGE
+ PROPOSED LEFT SIDE AT GARAGE
+ PROPOSED FRONT YARD AT GARAGE

LOT AREA
193.88M2 (2086.96 SQFT)

IT SHALL BE THE RESPONSIBILITY OF THE BUILDER TO HAVE ALL GRADES AND SERVICES CHECKED AND VERIFIED GRADING AND SERVICES ENGINEERED

FOUNDATION WALLS TO BE CONSTRUCTED TO A MIN 6" ABOVE APPROVED GRADES AT HOUSE

PROPOSED GRADE LINE AS INDICATED ARE FOR REFERENCE ONLY AND DO NOT NECESSARILY DEPICT FINISHED GRADING CONDITIONS OF ANY PARTICULAR LOT



FOUNDATION, WALLS TO BE CONSTRUCTED TO A MIN 8" ABOVE APPROVED GRADES

USE ONLY WHERE 'LVL'S' ARE NOT SPECIFIED

WOOD LINTEL LEGEND

FOR WOOD OPENINGS :
44" OR LESS USE 2/2"x8"
66" OR LESS USE 2/2"x10"
88" OR LESS USE 2/2"x12"
PROVIDE INSUL. BETWEEN HEADERS IF POSSIBLE

NOTES:

THESE NOTES COMPLY WITH THE REQUIREMENTS OF THE ONTARIO BUILDING CODE. (REG. 2012) UNLESS SPECIFICALLY ALTERED BY MUNICIPALITY HAVING JURISDICTION. IT SHALL BE THE RESPONSIBILITY OF THE BUILDER TO CONFORM WITH THESE SECTIONS WHERE APPLICABLE AND FAMILIARIZE HIMSELF SPECIFICALLY WITH PART 9 OF THE CODE

ALL STRUCTURAL LUMBER TO BE EASTERN SPRUCE NO.2 CONSTRUCTION GRADE, UNLESS OTHERWISE NOTED. SIZES ARE DETERMINED FROM SPAN OFF TABLES OF THE BUILDING CODE,- ONTARIO REG. 413/97

ALL WINDOWS ARE DOUBLE GLAZED OR THERMOPANE

ALL EXTERIOR DOORS, IF WOOD TO HAVE STORM DOORS OR TO BE OF METAL INSULATED TYPE.

ALL TIMBER TO BE SUPPORTED MIN 6" ABOVE FIN. GRADE UNLESS PRESSURE TREATED AGAINST TERMITES
REMOVE WOOD DEBRIS OR VEGETABLE MATTER FROM BACKFILL

All drawings remain the property of Designer and shall not be reproduced or reused without the owners written permission.

These design documents are prepared solely for the use by the party with whom the design professional has entered into a contract and there are no representations of any kind made by the design professional to any party with whom the design professional has not entered into a contract.

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.	
QUALIFICATION INFORMATION Required unless design is exempt under Div.C, Article 3.2.5.1 of the Building Code	
MAURO FORTUNATO	15084 BCN
Name	Signature
REGISTRATION INFORMATION Required unless design is exempt under Div.C, Article 3.2.4.1 of the Building Code	
UNIQUE DESIGNS INC. 31090 BCN	
Firm Name	

UNIQUE DESIGNS INC.

VIEGAS RESIDENCE

30 POULETTE ST.
HAMILTON, ONT.

No.	DATE	DESCRIPTION
1.	02.24.20	ISSUED FOR PERMIT
2.	03.11.21	ISSUED FOR PERMIT
3.		
4.		
5.		
6.		
7.		
8.		

THESE DRAWINGS ARE NOT TO BE SCALED. CONTRACTOR MUST CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON THE PROJECT, AND MUST REPORT ANY DISCREPANCIES WITH THE WORK.

THE USE OF THIS DRAWING OR PART THEREOF IS FORBIDDEN WITHOUT THE WRITTEN APPROVAL OF THE DESIGNER.

PLANS
SECTIONS, DETAILS
NOTES

STORAGE BUILDING

Drawn By
Scale
3/8"=1'-0"

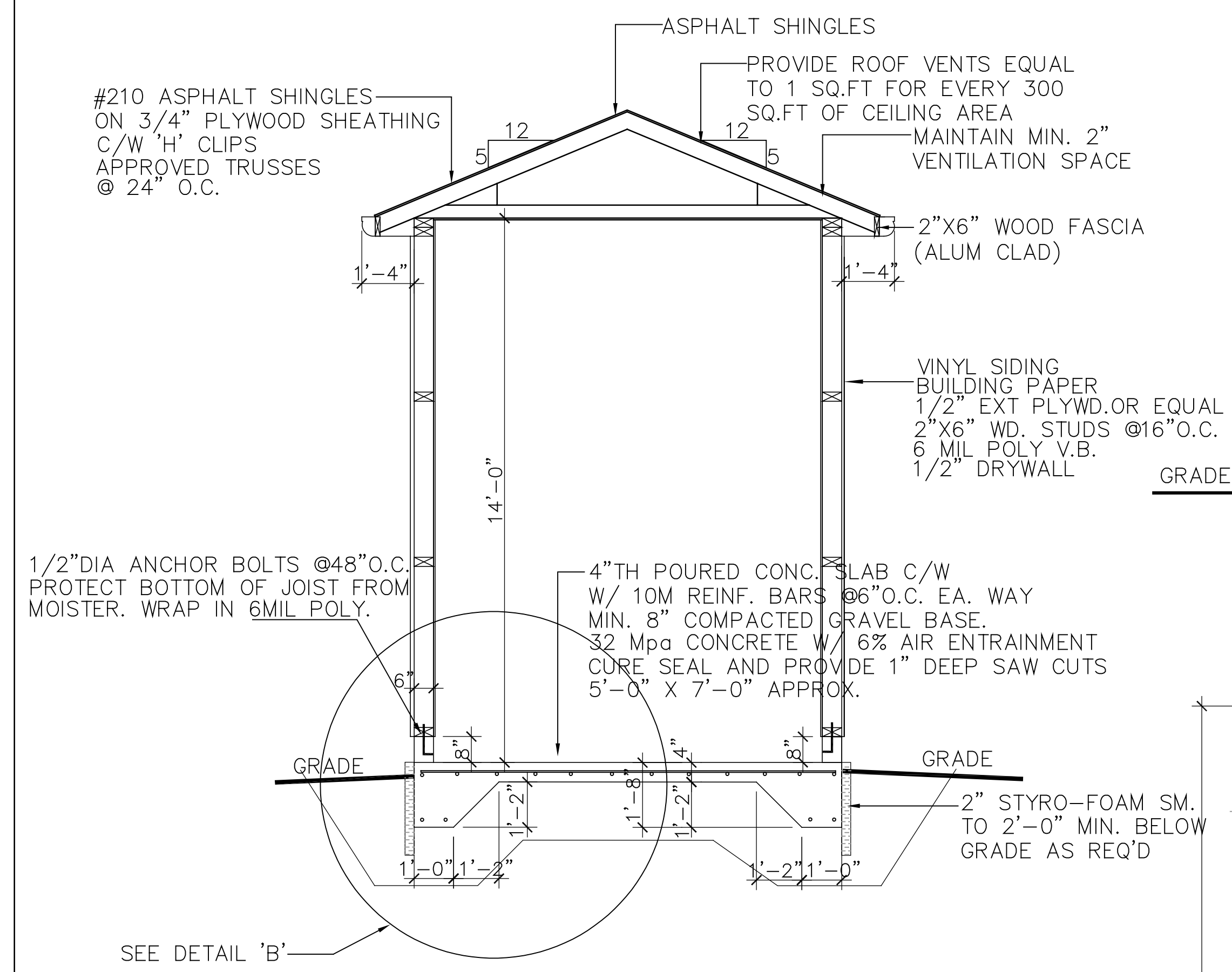
Date:
04.27.20

Job Number
042220

A2

Note to Truss Manufacture.

- The Truss Manufacture will; (1) Design and specify all Girder Trusses and Beams that only carry roof loads.
- (2) Ensure that all Roof Beams and Girder Trusses have been designed around the Architectural structural design and therefore have full bearing to the footings in the basement.
- (3) Automatically upgrade and provide calculations for any Architecturally specified beams that will carry roof point loads.
- (4) Design and specify all Conventional Roof Framing over and between manufactured roof trusses systems needed to complete overall roof shape.
- (5) Provide the Local Municipality with Engineered documents for any of the above mentioned items if required.

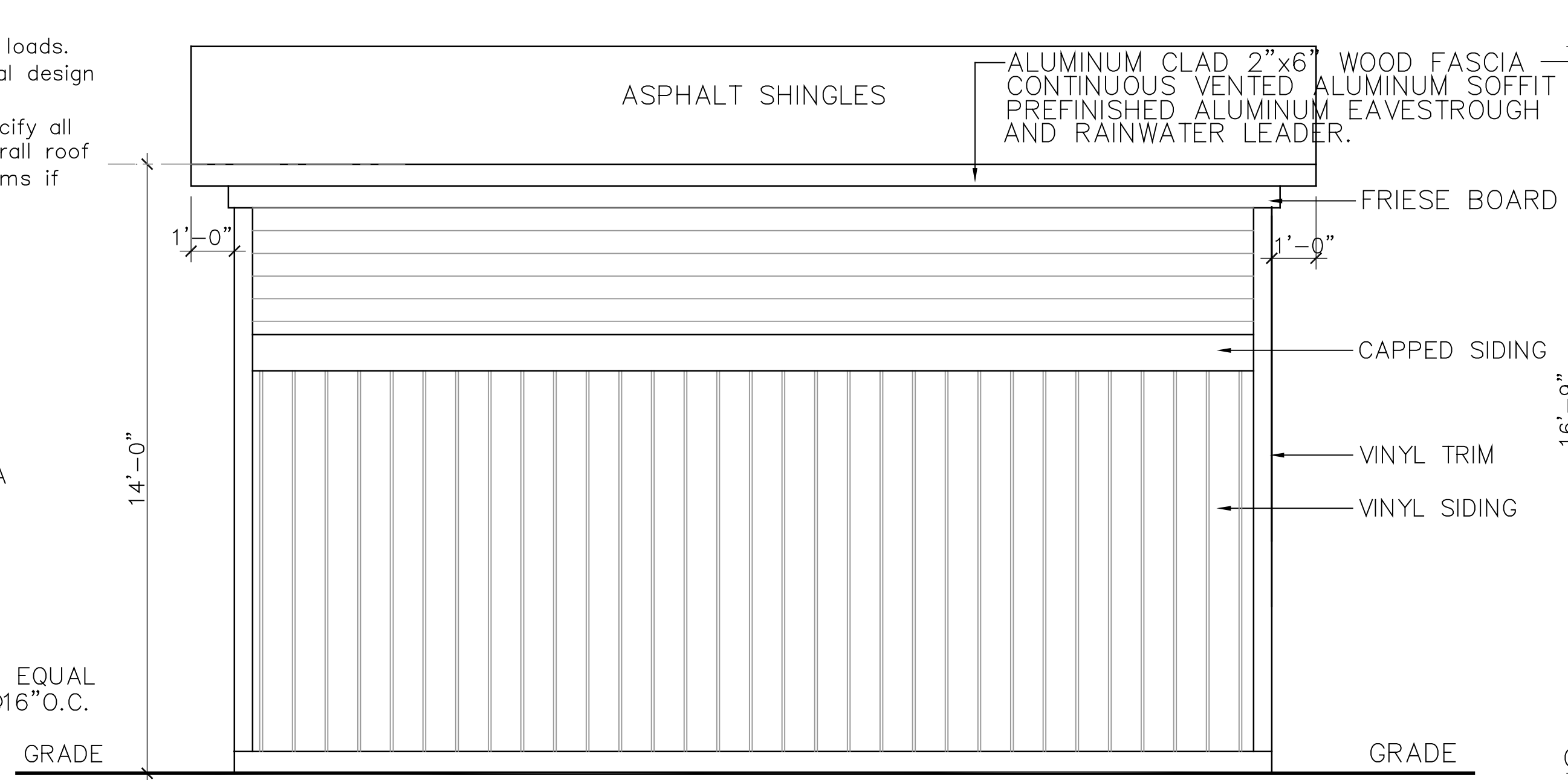


SECTION
A
A1

STRUCTURAL NOTES

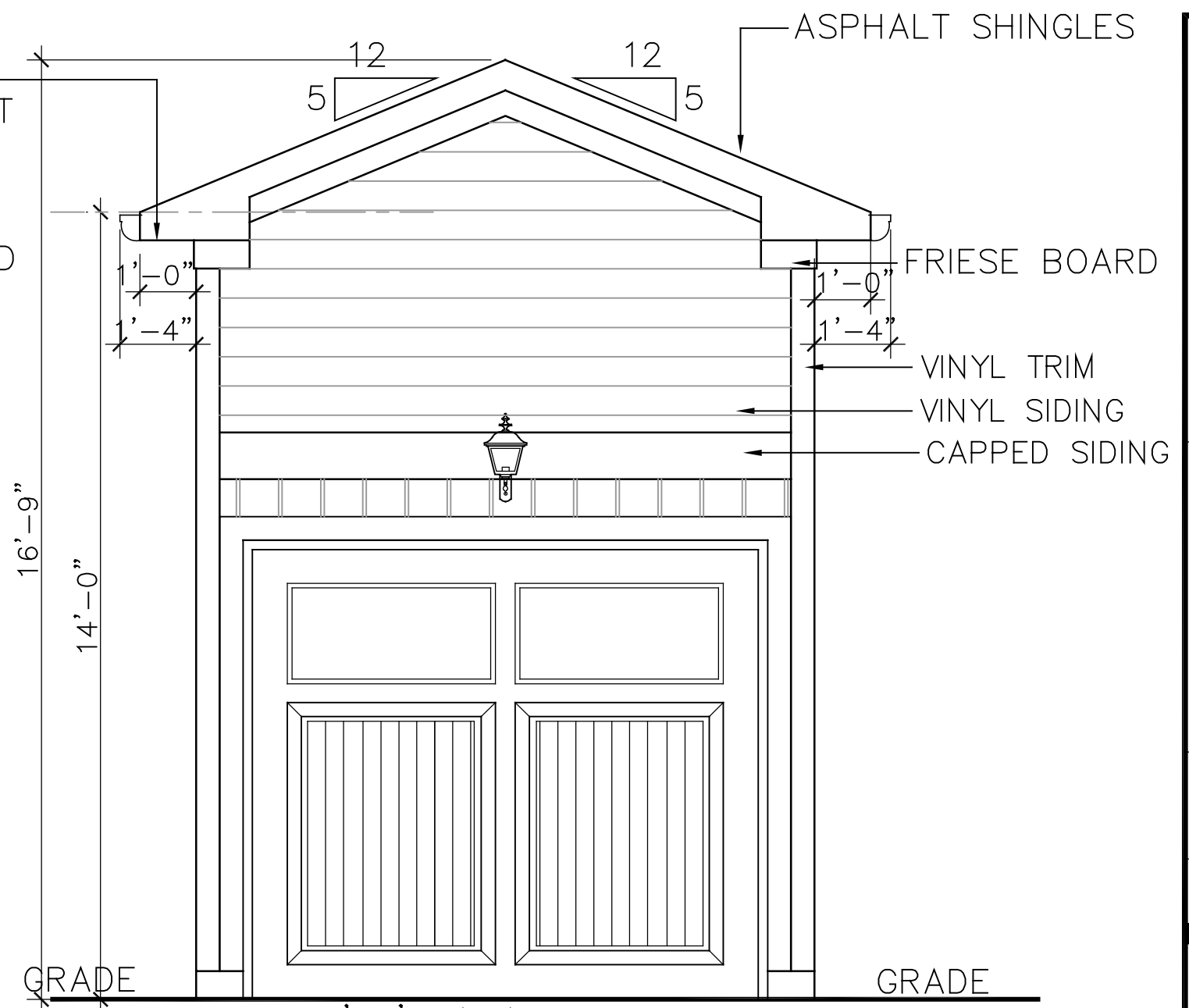
- ALL MATERIALS AND METHODS OF CONSTRUCTION MUST COMPLY WITH THE LATEST ADDITION OF THE O.B.C. DO NOT SCALE THESE DRAWINGS.
- SUBMIT STRUCTURAL STEEL SHOP DRAWINGS FOR REVIEW BY THE DESIGNER PRIOR TO FABRICATION. MAKE FIELD MEASUREMENTS NECESSARY FOR FABRICATION AND ERECTION THE CONTRACTOR SHALL PROVIDE INSPECTION REPORTS PREPARED BY AN INSPECTION AND TESTING AGENCY ON THE STRUCTURAL STEEL ERECTION AND CONCRETE STRENGTH
- ALL FOOTING SHALL BEAR ON UNDISTURBED SOIL CAPABLE OF SUSTAINING A LOAD OF 4 KSF.
- SPECIFIED 28 DAY CONCRETE STRENGTH IS 20 MPA. ALL CONCRETE EXPOSED TO FREEZE-THAW CYCLES IN A SATURATED CONDITION SHALL BE CLASSIFICATION C-1 TO CSA-A23.1-M90
- REINFORCING STEEL: G30.18M GRADE 400R.
- STRUCTURAL STEEL CSA G40.21M :
HSS SECTIONS GRADE 350W CLASS H
ANCHOR BOLTS GRADE 260W
PIPE MATERIAL ASTM A53
OTHER STEEL GRADE 300W
WELDING TO CONFORM TO CSA W59 AND W47.1
- LOAD BEARING MASONRY MATERIALS:
HOLLOW BLOCK CSA A165.1M-H/15/X/X
SOLID BLOCK CSA A165.1M-S/15/X/X
BELOW GRADE MORTAR CSA A179M-TYPE S
ABOVE GRADE MORTAR CSA A179M-TYPE N
GROUT FOR BLOCK CORES CSA A179M 1:3:2 CEMENT: SAND PEA GRAVEL BY VOLUME, 8" SLUMP
ALL LUMBER TO BE KILN-DRIED, GRADED TO CONFORM TO CSA 0141, SPF NO.2 UNLESS NOTED
- STRUCTURAL LUMBER:

NOTE:
VERIFY ALL GRADE AND FLOOR HEIGHTS PRIOR TO CONSTRUCTION. MAKE ANY ADJUSTMENTS REQUIRED TO NUMBER OF RISERS/ STEPS PRIOR TO COMMENCING CONSTRUCTION.
NOTE:
ALL EXISTING ROOM SIZES, DIMENSIONS TO BE VERIFIED BY THE OWNER/ CONTRACTOR/BUILDER PRIOR TO AND DURING CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE OWNER/CONTRACTOR/BUILDER TO FIELD VERIFY ALL EXISTING DIMENSIONS BEFORE ORDERING ANY MATERIALS.

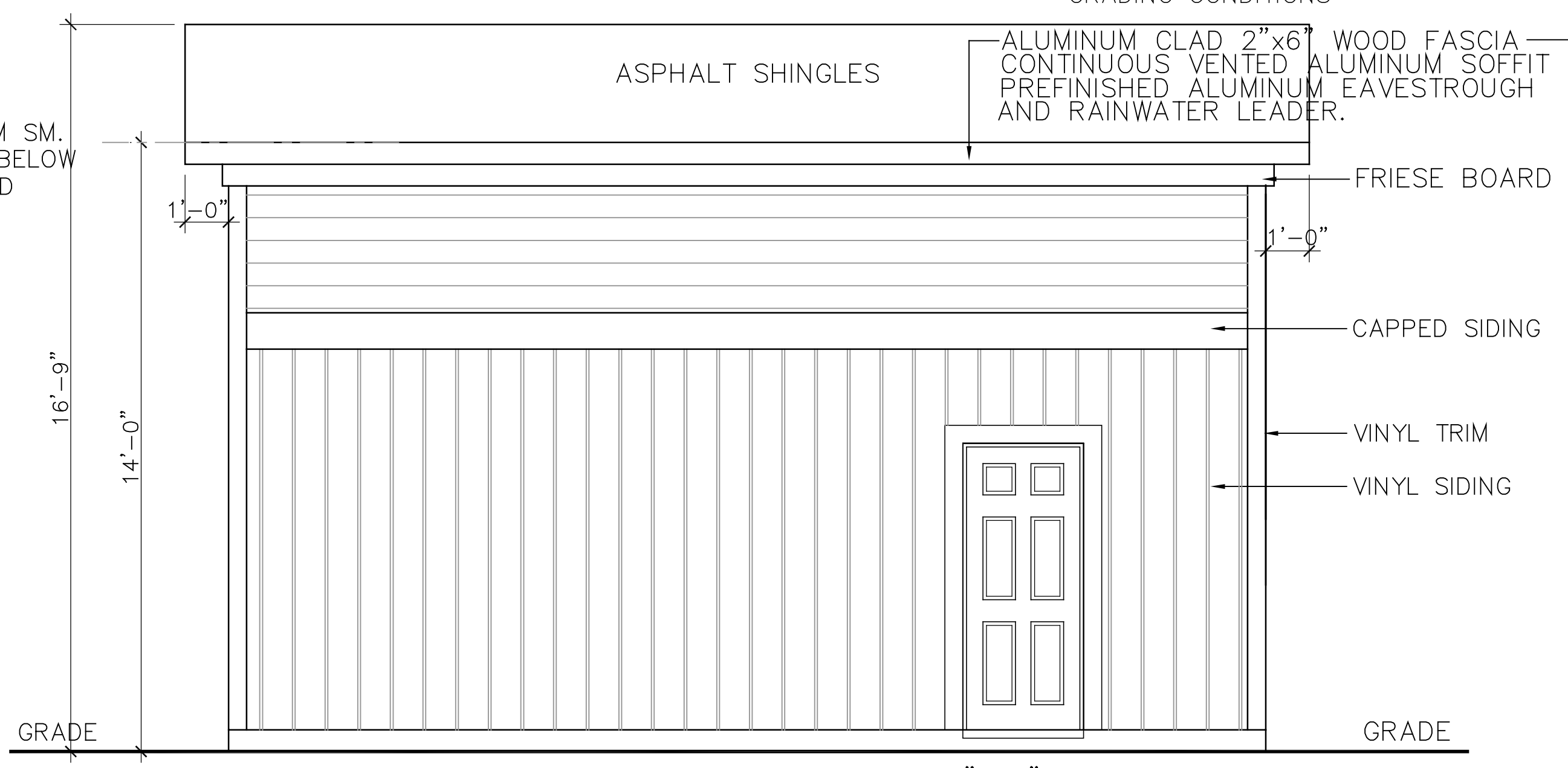


LEFT SIDE ELEVATION

IT SHALL BE THE RESPONSIBILITY OF THE BUILDER TO HAVE ALL GRADES AND SERVICES CHECKED AND VERIFIED GRADING AND SERVICES ENGINEERED PROPOSED GRADE LINE AS INDICATED ARE FOR REFERENCE ONLY AND DO NOT NECESSARILY DEPICT FINISHED GRADING CONDITIONS

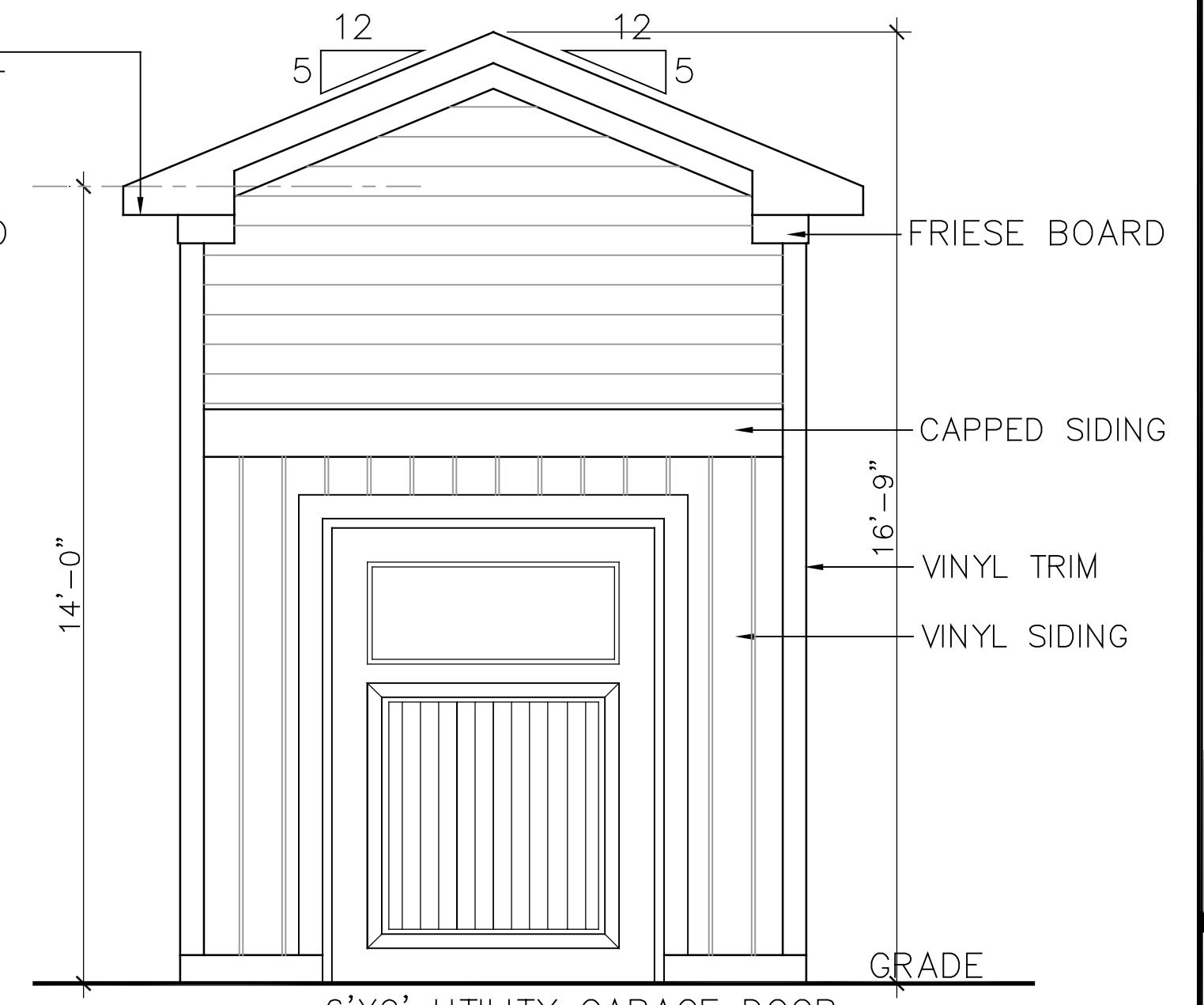


FRONT ELEVATION



RIGHT SIDE ELEVATION

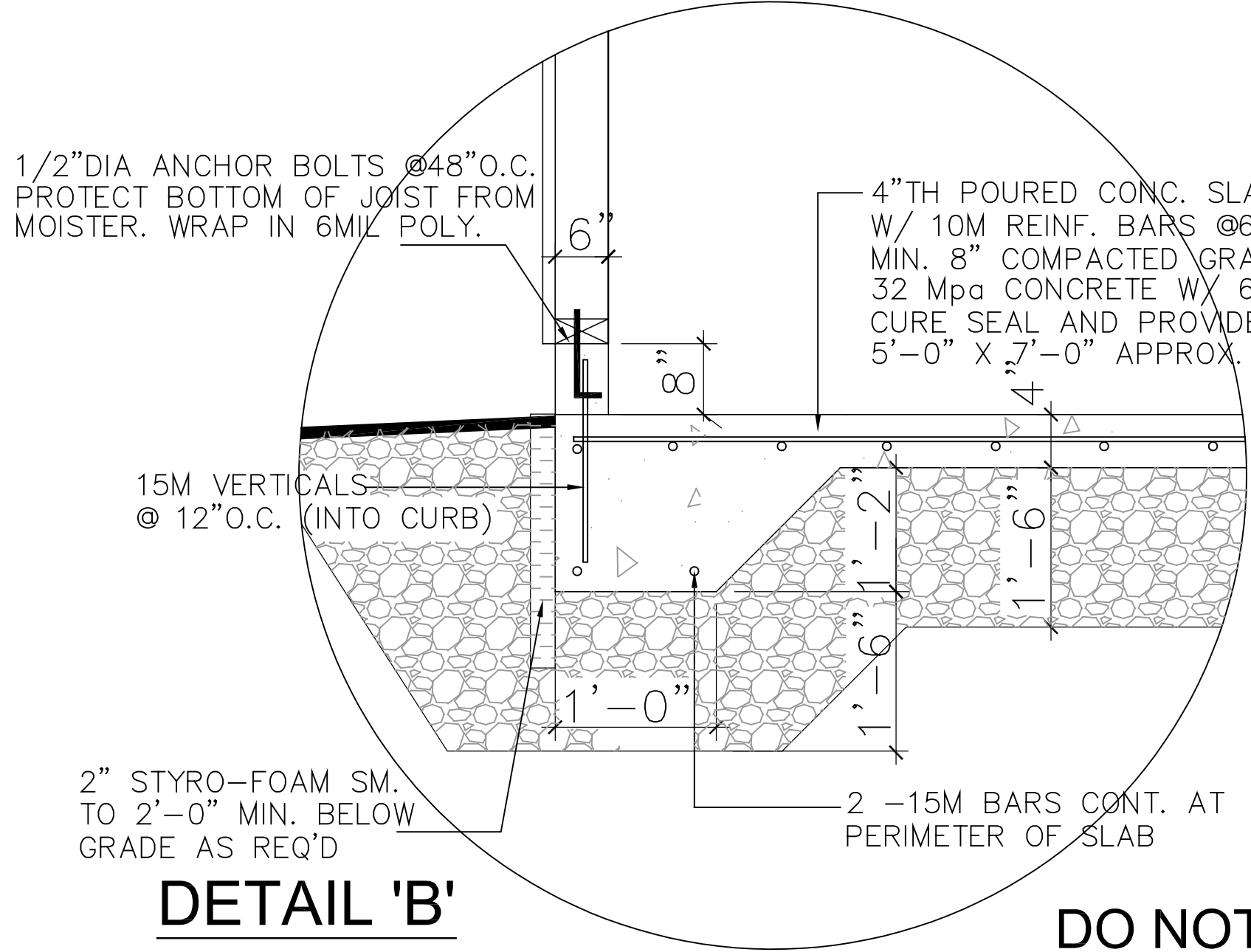
36"x80" STEEL DOOR (opens out)



REAR ELEVATION

NOTE: CONTRACTOR / BUILDER / OWNER TO BE CAREFUL WHEN EXCAVATING AROUND EXISTING DWELLING. DO NOT UNDERMINE EXISTING FOOTINGS

NOTE: CONTRACTOR / BUILDER / OWNER TO MAKE ALL NECESSARY PRECAUTIONS WHEN REMOVING EXISTING WALLS AND ADDING NEW BEAM SUPPORTS. MAKE SURE CEILINGS ON BOTH SIDES ARE SHORED UP PRIOR TO REMOVING ANY LOAD BEARING WALLS.



DETAIL 'B'

DO NOT SCALE DRAWINGS

All drawings remain the property of Designer and shall not be reproduced or reused without the owners written permission.

These design documents are prepared solely for the use by the party with whom the design professional has entered into a contract and there are no representations of any kind made by the design professional to any party with whom the design professional has not entered into a contract.

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under Div.C, Article 3.2.5.1 of the Building Code

MAURO FORTUNATO 15084
Name Signature BCIN

REGISTRATION INFORMATION
Required unless design is exempt under Div.C, Article 3.2.4.1 of the Building Code

UNIQUE DESIGNS INC 31090
Firm Name BCIN

No.	DATE	DESCRIPTION
1.	02.24.20	ISSUED FOR PERMIT
2.	03.11.21	ISSUED FOR PERMIT
3.		
4.		
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UNIQUE DESIGNS INC.



ELEVATIONS
SECTIONS
DETAILS

STORAGE
BUILDING

**VIEGAS
RESIDENCE**

30 POULETTE ST.
HAMILTON, ONT.

Drawn By	Scale
Date:	3/8"=1'-0"
Job Number	A1
042220	

RECEIVED

20-171427



JUN 10 2020
COM OF ADJUSTMT

Committee of Adjustment
City Hall
5th floor 71 Main Street West
Hamilton, Ontario L8P 4Y5

Hamilton

Planning and Economic Development Department
Planning Division

Phone (905) 546-2424 ext.4221
Fax (905) 546-4202

PLEASE FILL OUT THE FOLLOWING PAGES AND
RETURN TO THE CITY OF HAMILTON PLANNING
DEPARTMENT.

FOR OFFICE USE ONLY.	
APPLICATION NO. <u>Hm/A-20:114</u>	DATE APPLICATION RECEIVED <u>June 10/20</u>
PAID _____	DATE APPLICATION DEEMED COMPLETE _____
SECRETARY'S SIGNATURE _____	

CITY OF HAMILTON
COMMITTEE OF ADJUSTMENT
HAMILTON, ONTARIO

The Planning Act

Application for Minor Variance or for Permission

The undersigned hereby applies to the Committee of Adjustment for the City of Hamilton under Section 45 of the *Planning Act*, R.S.O. 1990, Chapter P.13 for relief, as described in this application, from the Zoning By-law.

- Name of Owner Chris Viegas
FAX NO. _____ E-mail address _____
- Address [REDACTED]
- Name of Agent _____ Telephone No. _____
FAX NO. _____ E-mail address. _____
- Address _____
Postal Code _____

Note: Unless otherwise requested all communications will be sent to the agent, if any.

- Names and addresses of any mortgagees, holders of charges or other encumbrances:

Postal Code _____

Postal Code _____

6. Nature and extent of relief applied for:

Side yard set back location in side yard
-High & maneuvering space

7. Why it is not possible to comply with the provisions of the By-law?

Older property with limited space.

8. Legal description of subject lands (registered plan number and lot number or other legal description and where applicable, street and street number):

36 paulette st.

9. PREVIOUS USE OF PROPERTY

Residential Industrial Commercial

Agricultural Vacant

Other _____

9.1 If Industrial or Commercial, specify use

N/A

9.2 Has the grading of the subject land been changed by adding earth or other material, i.e. has filling occurred?

Yes No Unknown

9.3 Has a gas station been located on the subject land or adjacent lands at any time?

Yes No Unknown

9.4 Has there been petroleum or other fuel stored on the subject land or adjacent lands?

Yes No Unknown

9.5 Are there or have there ever been underground storage tanks or buried waste on the subject land or adjacent lands?

Yes No Unknown

9.6 Have the lands or adjacent lands ever been used as an agricultural operation where cyanide products may have been used as pesticides and/or sewage sludge was applied to the lands?

Yes No Unknown

9.7 Have the lands or adjacent lands ever been used as a weapon firing range?

Yes No Unknown

9.8 Is the nearest boundary line of the application within 500 metres (1,640 feet) of the fill area of an operational/non-operational landfill or dump?

Yes No Unknown

9.9 If there are existing or previously existing buildings, are there any building materials remaining on site which are potentially hazardous to public health (eg. asbestos, PCB's)?

Yes No Unknown

9.10 Is there any reason to believe the subject land may have been contaminated by former uses on the site or adjacent sites?

Yes No Unknown

9.11 What information did you use to determine the answers to 9.1 to 9.10 above?

Never any but residential.
Prior to 1850 may have been lock st
farm area

9.12 If previous use of property is industrial or commercial or if YES to any of 9.2 to 9.10, a previous use inventory showing all former uses of the subject land, or if appropriate, the land adjacent to the subject land, is needed.

Is the previous use inventory attached? Yes No

ACKNOWLEDGEMENT CLAUSE

I acknowledge that the City of Hamilton is not responsible for the identification and remediation of contamination on the property which is the subject of this Application – by reason of its approval to this Application.

June 1/20
 Date

[Signature]
 Signature Property Owner

Chris Viegas
 Print Name of Owner

10. Dimensions of lands affected:

Plot property
 Frontage 40'
 Depth 52'
 Area 2080
 Width of street 52'

11. Particulars of all buildings and structures on or proposed for the subject lands: (Specify ground floor area, gross floor area, number of stories, width, length, height, etc.)

Existing: vacant side yard currently
11" wide by 17 ft high. is Ground floor area

Proposed: width 11' hight 16.9'
on storey garage with hight for
hobby car lift

12. Location of all buildings and structures on or proposed for the subject lands; (Specify distance from side, rear and front lot lines)

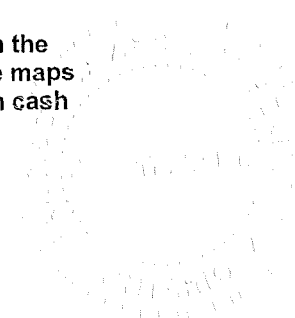
Existing: 23 ft by 17 ft wide. (side yard area)

Proposed: 3 ft from house 2 ft from
property line

13. Date of acquisition of subject lands:
Jan 1 2013
14. Date of construction of all buildings and structures on subject lands:
as soon as approved
15. Existing uses of the subject property: yard
16. Existing uses of abutting properties: residential
17. Length of time the existing uses of the subject property have continued:
156 years
18. Municipal services available: (check the appropriate space or spaces)
 Water / Connected _____
 Sanitary Sewer / Connected _____
 Storm Sewers /
19. Present Official Plan/Secondary Plan provisions applying to the land:
Urban plan
20. Present Restricted Area By-law (Zoning By-law) provisions applying to the land:
65200 - residential
21. Has the owner previously applied for relief in respect of the subject property?
 Yes No
 If the answer is yes, describe briefly.

22. Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?
 Yes No
23. The applicant shall attach to each copy of this application a plan showing the dimensions of the subject lands and of all abutting lands and showing the location, size and type of all buildings and structures on the subject and abutting lands, and where required by the Committee of Adjustment such plan shall be signed by an Ontario Land Surveyor.

NOTE: It is required that two copies of this application be filed with the secretary-treasurer of the Committee of Adjustment together with the maps referred to in Section 5 and be accompanied by the appropriate fee in cash or by cheque made payable to the City of Hamilton.



PAS Checklist

Edited May 1/2019

Permit

Address	30 Poulette St			Payee:	<input type="checkbox"/> Owner <input type="checkbox"/> Applicant <input type="checkbox"/> Contrator <input type="checkbox"/> Other		
Municipality	HAM			Payment type:	<input type="checkbox"/> Cash <input type="checkbox"/> Cheque <input type="checkbox"/> Visa <input type="checkbox"/> MC <input type="checkbox"/> Debit		
Zone	D/S-1787	Bylaw	6593	Intake By:	Date:		
Lot Type	<input checked="" type="checkbox"/> Interior <input type="checkbox"/> Corner <input type="checkbox"/> Through <input type="checkbox"/> Other			Reviewed by:	Date:		

Is there an order on this property?	Y / N	If Yes-Folder #
Does the permit application include all construction from the order?	Y / N	If No: what is not included
Is there a surcharge?	Y / N	If Yes: %Surcharge
Did you Email the Enforcement Inspector	Y / N	Email sent to:

TYPE OF PERMIT	Location Front, Side, Rear	Lot Coverage (See Reverse for calculations)		Interior Side Yard		Exterior Side Yard		Front Yard		Rear Yard		Height A.G./ Max Height		Limiting Distance	Guards	Type of Pool IN - ON - AB	Pool Equipment Locaiton	Grading Completed
		Required	Proposed	Required	Proposed	Required	Proposed	Required	Proposed	Required	Proposed	Required	Proposed					
Porch																		
Deck		Max.	Proposed	Required	Proposed	Required	Proposed	Required	Proposed	Required	Proposed	Required	Proposed					
Acc. Bld		Max.	Proposed	Required	Proposed	Required	Proposed	Required	Proposed	Required	Proposed	Required	Proposed					
Pool		Max.	Proposed	Required	Proposed	Required	Proposed	Required	Proposed	Required	Proposed	Required	Proposed					

Int. Reno-Flr	Habitable Rooms (#)		# of Parking Spaces		Ceiling Height				Gross Flr. Area	Insulation		Stat Dec	2nd Kitchen Letter	Notes
	Existing	Proposed	Existing	Required	Proposed	Req. U/S Joists	Prop. U/S Joists	Req. U/S Bm/Quets		Ex. U/S Bm/Quets	5B-12			
												Y / N	Y / N	

APPLICABLE LAWS:	Y	N	Y	N	Y	N
Committee of Adjustment			Ontario Heritage Act		W.H.P.A (Form/Memo req.)	
Encroachment Agreements			NEC		ESA (Memo req.)	
Ministry of Transportation			Conservation Authority		Grading checksheet	

Additional Information:

Intake by: _____ Date: _____ Reviewed by: _____ Date: _____



Hamilton

COMMITTEE OF ADJUSTMENT

City Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5
 Telephone (905) 546-2424, ext. 4221, 3935 Fax (905) 546-4202
 E-mail: cofa@hamilton.ca

NOTICE OF PUBLIC HEARING
Minor Variance

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
- Applicant/agent on file, or
- Person likely to be interested in this application

APPLICATION NO.: HM/A-21:84

APPLICANTS: Julia Mancini on behalf of the owner Sandra Lloyd

SUBJECT PROPERTY: Municipal address **348 Herkimer St., Hamilton**

ZONING BY-LAW: Zoning By-law 6593, as Amended 19-307

ZONING: "D/S-1787" (Urban Protected Residential - 1 & 2 Family Dwellings etc.) district

PROPOSAL: To permit the construction of a roofed-over unenclosed porch in the front of the existing single family dwelling; notwithstanding that;

1. The roofed-over unenclosed porch including the associated steps shall be permitted to be located as close as 1.0m from the front lot line instead of the minimum 3.0m setback required from a front lot line.

Notes: The applicant shall ensure that a minimum of 50.0% of the gross area of the front yard is maintained as landscaped area; otherwise, further variances will be required.

This application will be heard by the Committee as shown below:

DATE: Thursday, April 1st, 2021
TIME: 2:40 p.m.
PLACE: Via video link or call in (see attached sheet for details)
 To be streamed at
www.hamilton.ca/committeeofadjustment
 for viewing purposes only

PUBLIC INPUT

Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

Orally: If you would like to speak to this item at the hearing you may do so via video link or by calling in. Please see attached page for complete instructions, including deadlines for registering to participate.

HM/A-21: 84
Page 2

MORE INFORMATION

For more information on this matter, including access to drawings illustrating this request:

- Visit www.hamilton.ca/committeeofadjustment
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935
- Email Committee of Adjustment staff at cofa@hamilton.ca

DATED: March 16th, 2021.

Jamila Sheffield,
Secretary-Treasurer
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public.

DO NOT SCALE DRAWINGS

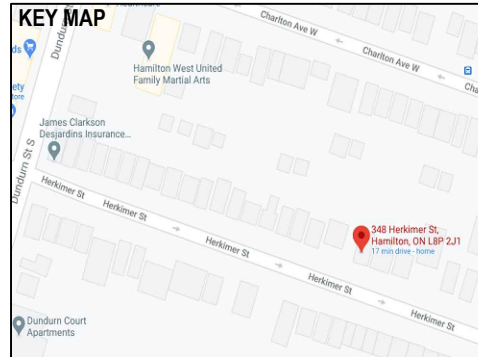
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- 2) ALL WORKS TO BE IN ACCORDANCE WITH THE ONTARIO BUILDING CODE.

348 HERKIMER STREET HAMILTON, ONTARIO

SCOPE OF WORK:

- NEW COVERED PORCH



SHEET INDEX

- A0.01..... COVER PAGE
- SP1.01..... SITE PLAN
- A1.01..... EXISTING PORCH PLAN
- A1.02..... PROPOSED FOUNDATION
- A1.03..... PROPOSED PORCH PLAN
- A1.04..... PROPOSED ROOF PLAN
- A2.01..... PROPOSED FRONT ELEVATION
- A2.02..... PROPOSED SIDE ELEVATION
- A2.03..... PROPOSED SIDE ELEVATION

AREA OF WORK (FT²)

NEW COVERED PORCH: 70 FT² (6.5 M²)



Qualification Information
The undersigned has reviewed and takes responsibility for this design and has qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

Signature *Julia Mancini*

Julia Mancini, Manco Design
BCIN 113168

MANCO ARCHITECTURAL DESIGN
Phone | 905-537-9578
Email | julia@mancoesign.com
Website | www.mancoesign.com



DRAWING SUBMISSIONS	
DATE	TYPE
20-12-10	PERMIT SET

348 HERKIMER STREET
HAMILTON, ONTARIO

DRAWN BY: JM
PLOT DATE: 2020-12-10

PAGE
COVER PAGE

A0.01

DO NOT SCALE DRAWINGS

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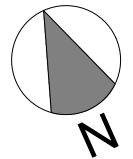
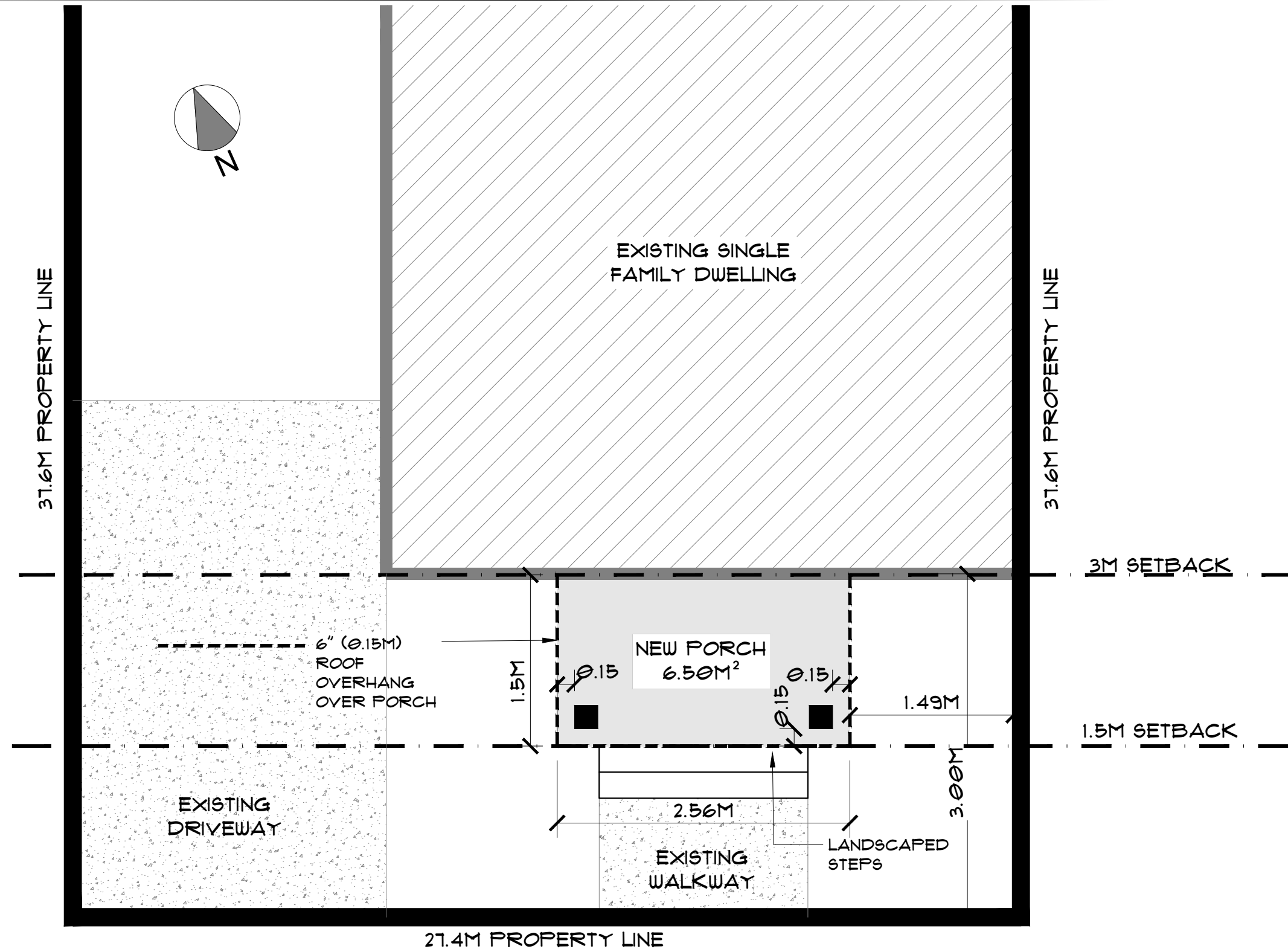


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Signature *Julia Mancini*

Julia Mancini, Manco Design
 BCIN 113168

A ROOFED-OVER OR SCREENED BUT OTHERWISE UNENCLOSED ONE-STOREY PORCH AT THE FIRST STOREY LEVEL, INCLUDING EAVES AND GUTTERS, MAY PROJECT INTO A REQUIRED FRONT YARD OR REAR YARD TO A DISTANCE OF NOT MORE THAN 3.0 METRES (9.84 FEET), AND EVERY SUCH PROJECTING PORCH SHALL BE DISTANT AT LEAST 1.5 METRES (4.92 FEET) FROM THE FRONT LOT LINE



1 SITE PLAN
 Scale 1:40

HERKIMER STREET

MANCO ARCHITECTURAL DESIGN
 Phone | 905-537-9578
 Email | julia@mancodesign.com
 Website | www.mancodesign.com



DRAWING SUBMISSIONS

DATE	TYPE
20-12-10	PERMIT SET

**348 HERKIMER STREET
 HAMILTON, ONTARIO**

DRAWN BY: JM
 PLOT DATE: 2020-12-10

PAGE
SITE PLAN

SP1.01

DO NOT SCALE DRAWINGS

NOTE:

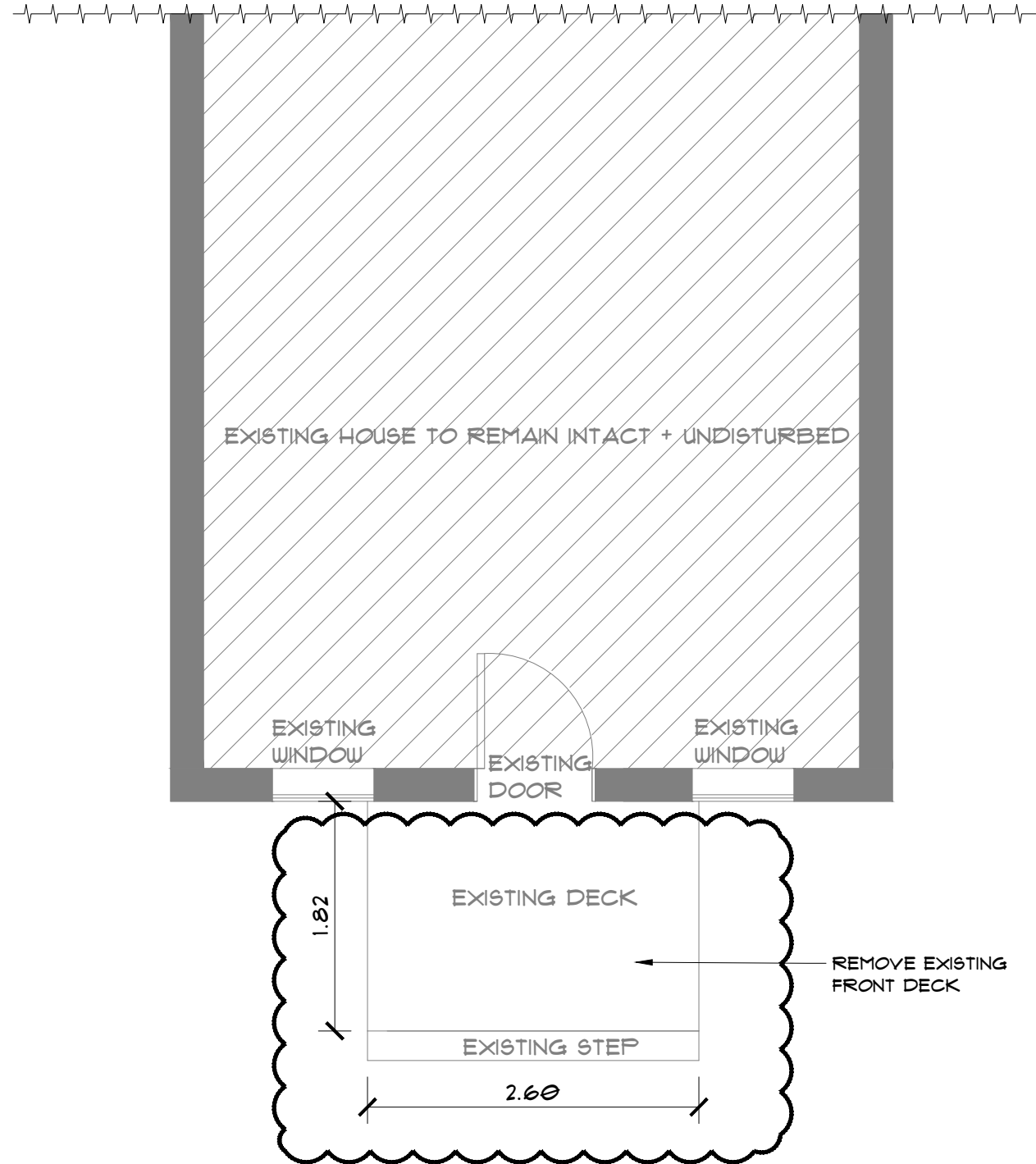
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Julia Mancini, Manco Design
 BCIN 113168



MANCO ARCHITECTURAL DESIGN

Phone | 905-537-9578
 Email | julia@mancodesign.com
 Website | www.mancodesign.com



DRAWING SUBMISSIONS

DATE	TYPE
20-12-10	PERMIT SET

**348 HERKIMER STREET
 HAMILTON, ONTARIO**

DRAWN BY: JM
 PLOT DATE: 2020-12-10

PAGE
EXISTING DECK

A1.01

1 EXISTING DECK PLAN
 A1.01 Scale 1/4"=1'-0"

DO NOT SCALE DRAWINGS

NOTE:

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NOTE: ADJUSTMENTS OR CHANGES MADE TO THE SLAB, ROOF LAYOUT, BEAMS, ETC. MUST BE IDENTIFIED PRIOR TO CONSTRUCTION AND MANCO DESIGN AND MUST BE NOTIFIED FOR FURTHER REVIEW AND APPROVAL.

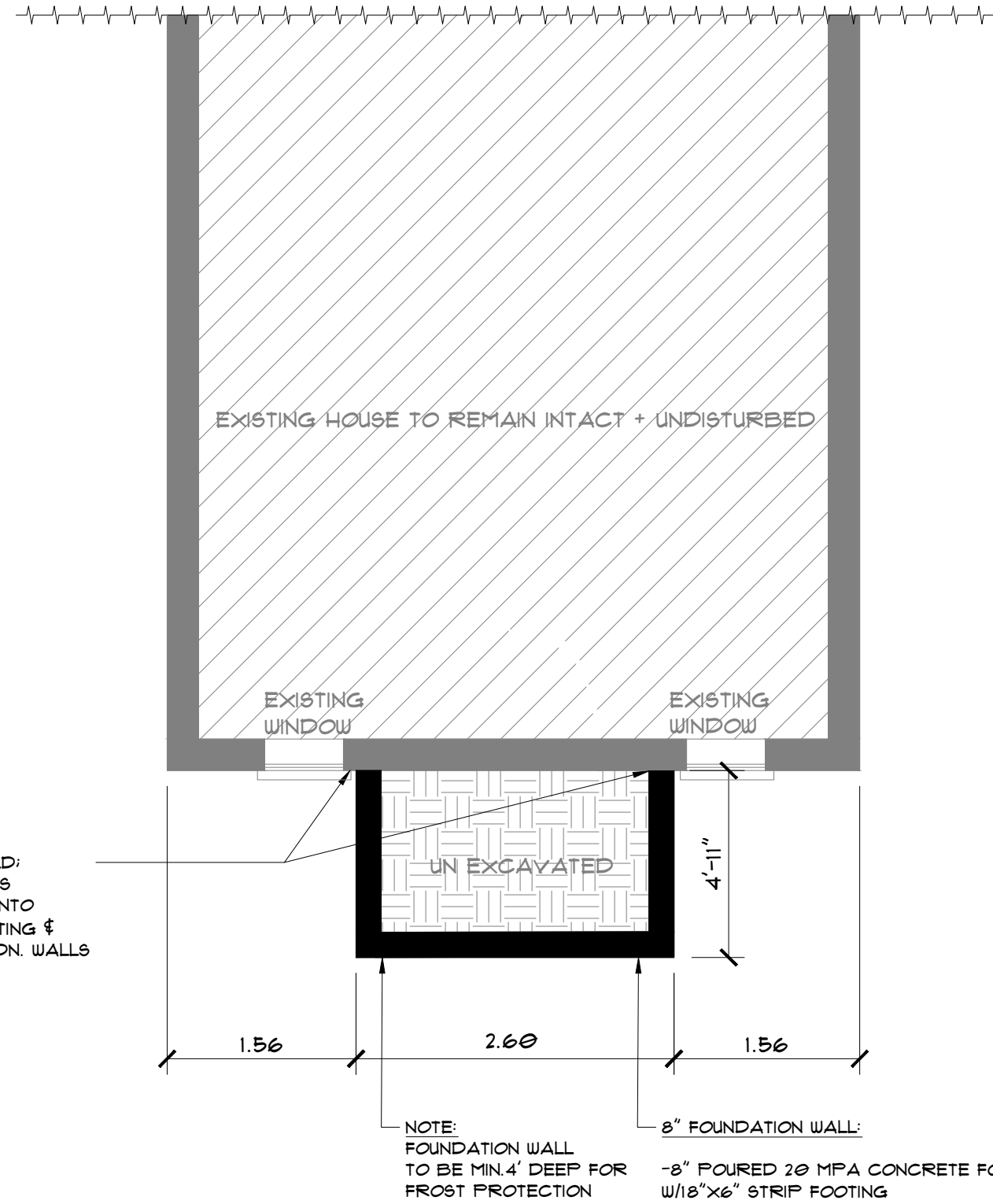
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Signature *Julia Mancini*

Julia Mancini, Manco Design
BCIN 113168



TIE IN NEW FOOTING TO OLD:
DRILL + EPOXY 10M BARS
6" MIN. EMBED ANCHOR INTO
EXISTING CONCRETE FOOTING @
24" O.C. VERTICALLY @ FDN. WALLS

NOTE:
FOUNDATION WALL
TO BE MIN. 4' DEEP FOR
FROST PROTECTION

8" FOUNDATION WALL:
-8" POURED 20 MPA CONCRETE FOUNDATION WALL
W/18"X6" STRIP FOOTING

MANCO ARCHITECTURAL DESIGN
Phone | 905-537-9578
Email | julia@mancodesign.com
Website | www.mancodesign.com

DRAWING SUBMISSIONS	
DATE	TYPE
20-12-10	PERMIT SET

**348 HERKIMER STREET
HAMILTON, ONTARIO**

DRAWN BY: JM
PLOT DATE: 2020-12-10

PAGE
**PROPOSED
FOUNDATION**

A1.02

1 **PROPOSED FOUNDATION**
A1.02 Scale 1/4"=1'-0"
■ NEW ■ EXISTING

DO NOT SCALE DRAWINGS

NOTE:

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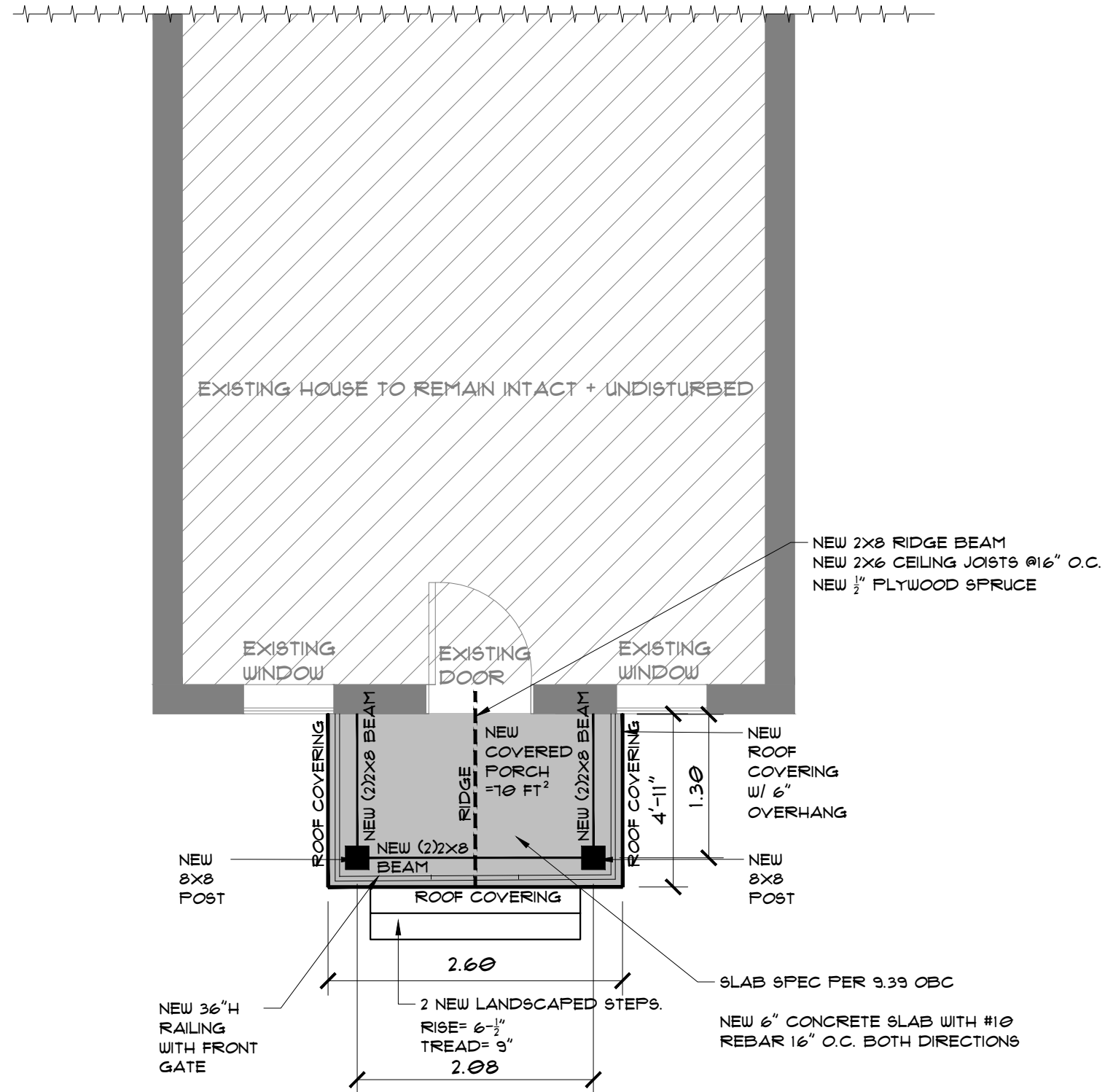
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Signature *Julia Mancini*

Julia Mancini, Manco Design
BCIN 113168



1 **PROPOSED PORCH PLAN**
A1.03 Scale $\frac{1}{4}''=1'-0''$

MANCO ARCHITECTURAL DESIGN
Phone | 905-537-9578
Email | julia@mancodesign.com
Website | www.mancodesign.com

DRAWING SUBMISSIONS	
DATE	TYPE
20-12-10	PERMIT SET

**348 HERKIMER STREET
HAMILTON, ONTARIO**

DRAWN BY: JM
PLOT DATE: 2020-12-10

PAGE
**PROPOSED
PORCH PLAN**

A1.03

DO NOT SCALE DRAWINGS

NOTE:

- 1) CONTRACTOR TO CHECK ALL DIMENSIONS, SPECIFICATIONS, ECT.ON SITE AND SHALL BE RESPONSIBLE FOR REPORTING ANY DISCREPANCY TO THE ENGINEER AND/ OR DESIGNER**
- 2) ALL WORKS TO BE IN ACCORDANCE WITH THE ONTARIO BUILDING CODE.**

NOTE: ADJUSTMENTS OR CHANGES MADE TO THE SLAB, ROOF LAYOUT, BEAMS, ETC. MUST BE IDENTIFIED PRIOR TO CONSTRUCTION AND MANCO DESIGN AND MUST BE NOTIFIED FOR FURTHER REVIEW AND APPROVAL.

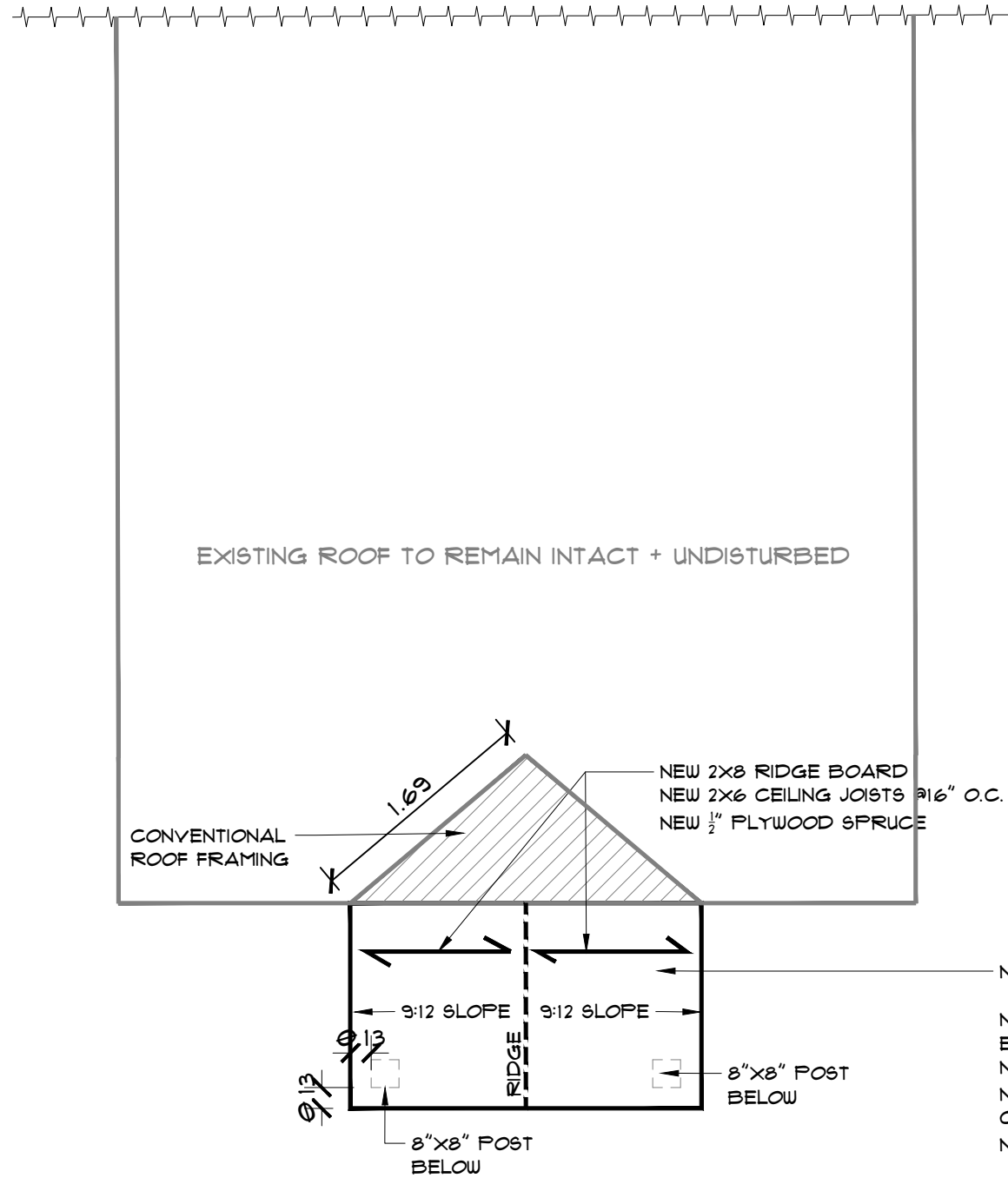
NOTE: ALL CODE REQUIREMENTS REFER TO O.B.C. 2012 DIVISION 'B'.



Qualification Information
 The undersigned has reviewed and takes responsibility for this design and has qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

Signature *Julia Mancini*

Julia Mancini, Manco Design
 BCIN 113168



MANCO ARCHITECTURAL DESIGN
 Phone | 905-537-9578
 Email | julia@mancodesign.com
 Website | www.mancodesign.com

DRAWING SUBMISSIONS	
DATE	TYPE
20-12-10	PERMIT SET

**348 HERKIMER STREET
 HAMILTON, ONTARIO**

DRAWN BY: JM
 PLOT DATE: 2020-12-10

PAGE
**PROPOSED
 ROOF PLAN**

A1.04

1 **PROPOSED ROOF PLAN**
 A1.04 Scale 1/4"=1'-0"

DO NOT SCALE DRAWINGS

NOTE:

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- 2) ALL WORKS TO BE IN ACCORDANCE WITH THE ONTARIO BUILDING CODE.



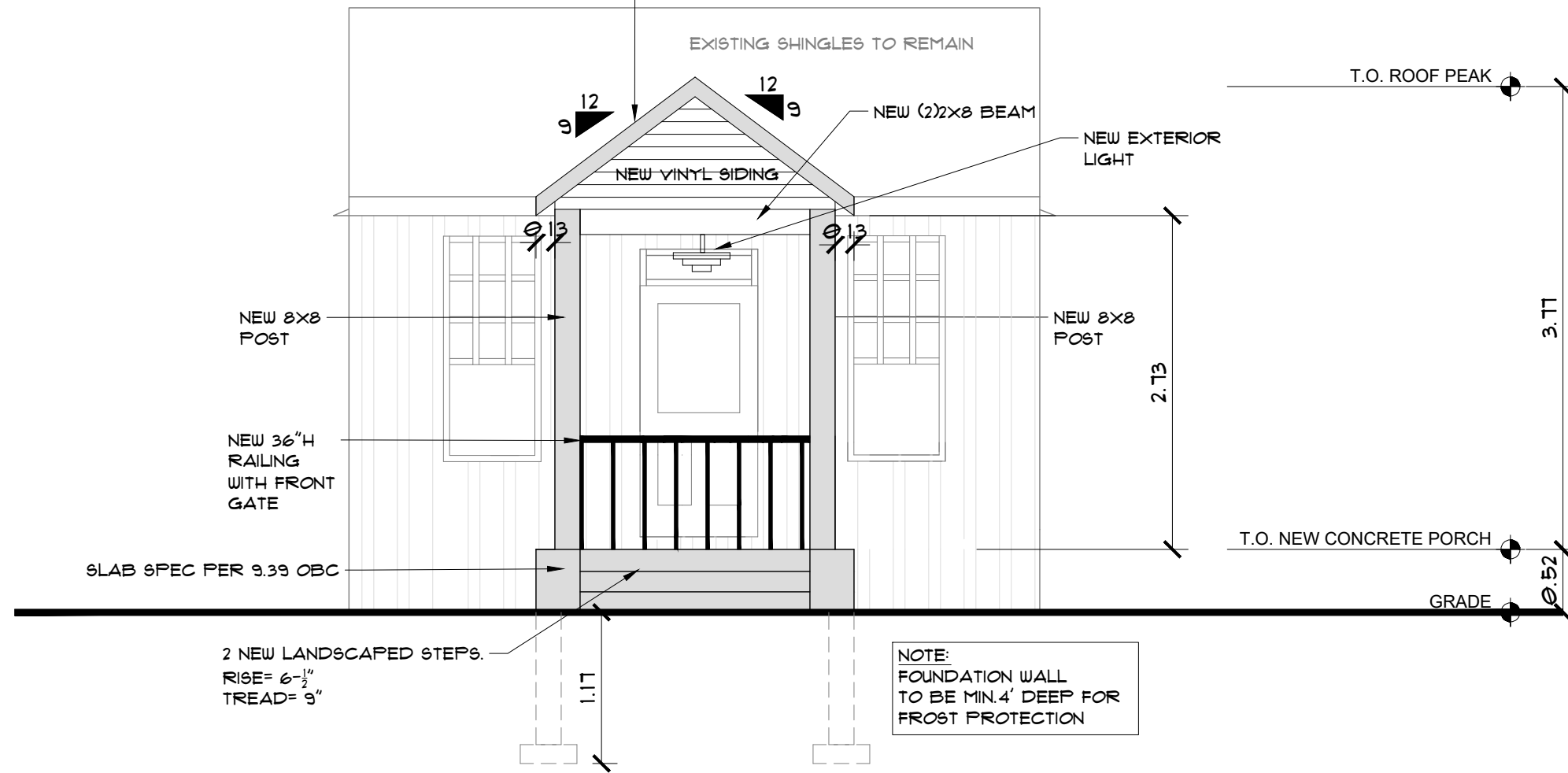
Qualification Information
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Signature *Julia Mancini*

Julia Mancini, Manco Design
BCIN 113168

NEW ROOF ASSEMBLY

- NEW 30 YEAR ASPHALT ROOFING SHINGLES C/W EAVE PROTECTION METAL DRIP EDGE
- NEW 30LB ROOFING FELT
- NEW 1/2" PLYWOOD ROOF SHEATHING C/W H CLIPS CUT ROOF PER PLAN
- NEW 1/2" GYPSUM/VENTED METAL SOFFIT @ EAVES



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DRAWING SUBMISSIONS	
DATE	TYPE
20-12-10	PERMIT SET

**348 HERKIMER STREET
HAMILTON, ONTARIO**

DRAWN BY: JM
PLOT DATE: 2020-12-10

PAGE
**FRONT
ELEVATION**

A2.01

1 FRONT ELEVATION
A2.01 Scale 1/4"=1'-0"

DO NOT SCALE DRAWINGS

NOTE:

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- 2) ALL WORKS TO BE IN ACCORDANCE WITH THE ONTARIO BUILDING CODE.

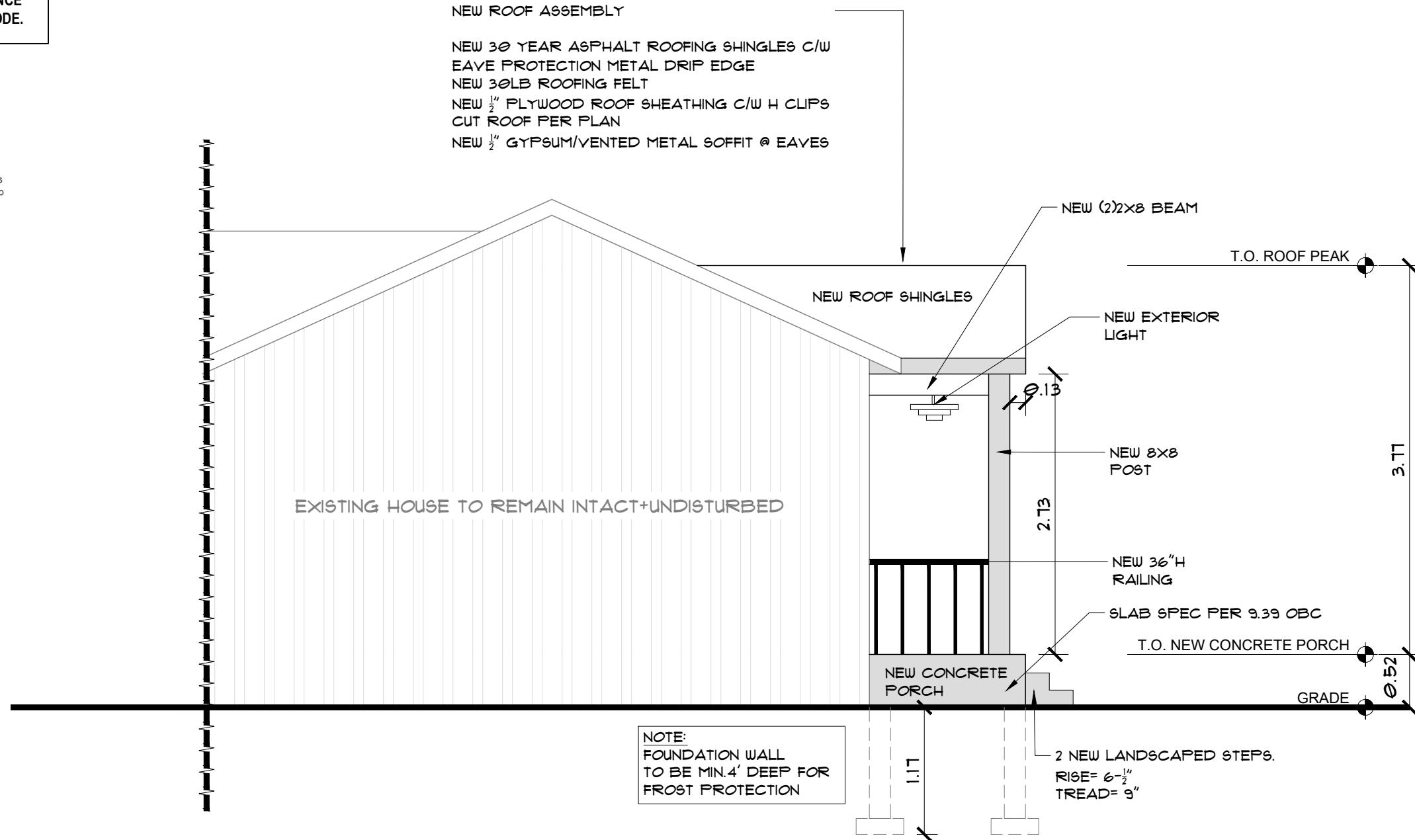


Qualification Information
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Signature *Julia Mancini*

Julia Mancini, Manco Design
 BCIN 113168

NEW ROOF ASSEMBLY
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MANCO ARCHITECTURAL DESIGN

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 Email | julia@mancodesign.com
 Website | www.mancodesign.com



DRAWING SUBMISSIONS

DATE	TYPE
20-12-10	PERMIT SET

**348 HERKIMER STREET
 HAMILTON, ONTARIO**

DRAWN BY: JM
 PLOT DATE: 2020-12-10

PAGE
**SIDE
 ELEVATION**

A2.02

1 SIDE ELEVATION
 A2.02 Scale 1/4"=1'-0"

DO NOT SCALE DRAWINGS

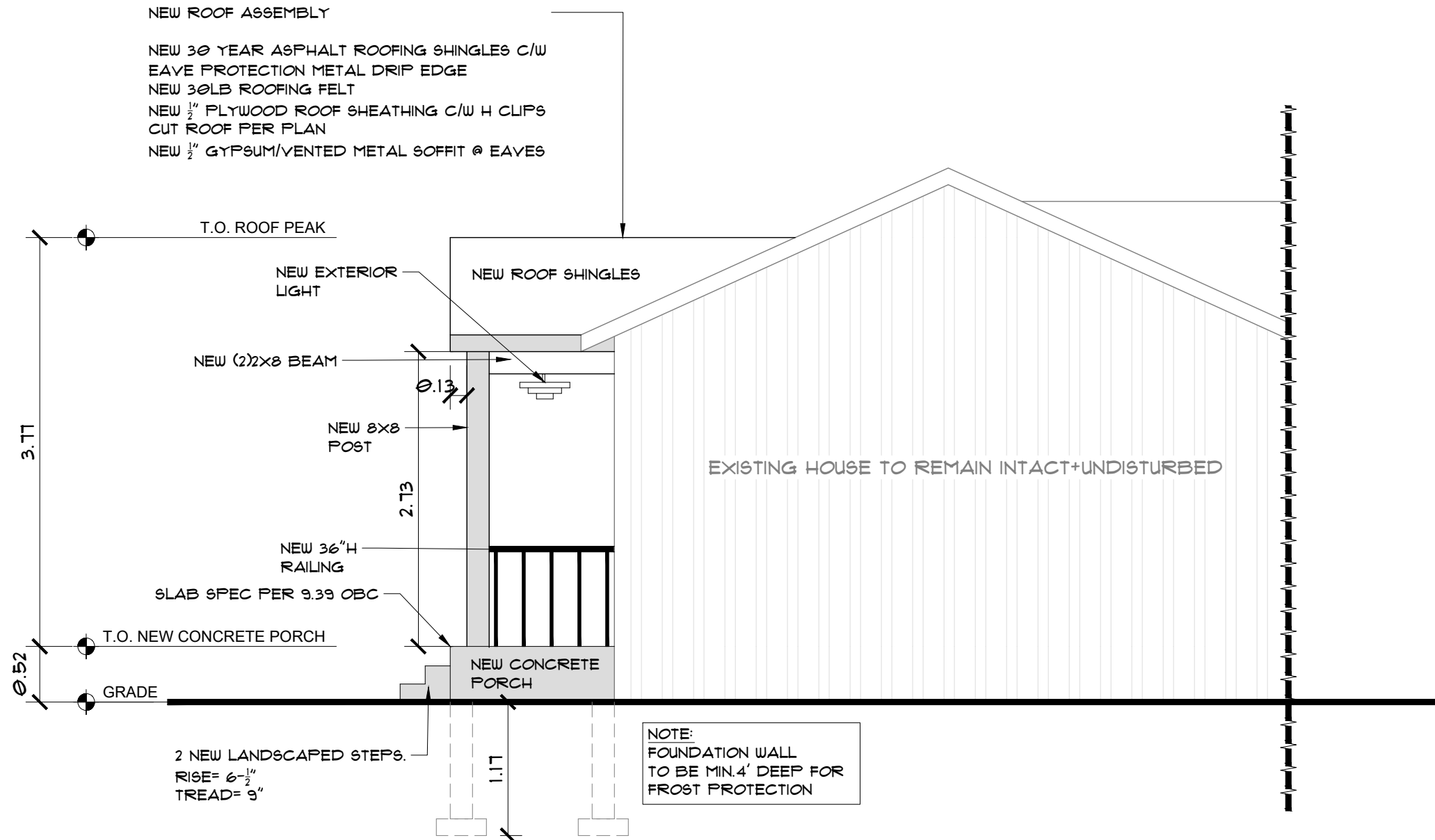
NOTE:

- 1) CONTRACTOR TO CHECK ALL DIMENSIONS, SPECIFICATIONS, ECT.ON SITE AND SHALL BE RESPONSIBLE FOR REPORTING ANY DISCREPANCY TO THE ENGINEER AND/ OR DESIGNER
- 2) ALL WORKS TO BE IN ACCORDANCE WITH THE ONTARIO BUILDING CODE.



Qualification Information
 The undersigned has reviewed and takes responsibility for this design and has qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

Signature *Julia Mancini*
 Julia Mancini, Manco Design
 BCIN 113168



MANCO ARCHITECTURAL DESIGN
 Phone | 905-537-9578
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DRAWING SUBMISSIONS	
DATE	TYPE
20-12-10	PERMIT SET

**348 HERKIMER STREET
 HAMILTON, ONTARIO**

DRAWN BY: JM
 PLOT DATE: 2020-12-10

PAGE
**SIDE
 ELEVATION**

A2.03

1 **SIDE ELEVATION**
 A2.03 Scale 1/4"=1'-0"



Hamilton

Committee of Adjustment
 City Hall, 5th Floor,
 71 Main St. W.,
 Hamilton, ON L8P4Y5

Phone: (905) 546-2424 ext. 4221
 Email: cofa@hamilton.ca

APPLICATION FOR A MINOR VARIANCE

FOR OFFICE USE ONLY.	
APPLICATION NO. _____	DATE APPLICATION RECEIVED _____
PAID _____	DATE APPLICATION DEEMED COMPLETE _____
SECRETARY'S SIGNATURE _____	

The Planning Act

Application for Minor Variance or for Permission

The undersigned hereby applies to the Committee of Adjustment for the City of Hamilton under Section 45 of the *Planning Act*, R.S.O. 1990, Chapter P.13 for relief, as described in this application, from the Zoning By-law.

1, 2	NAME	ADDRESS
Registered Owners(s)	Sandra Lloyd	
Applicant(s)*	Julia Mancini	
Agent or Solicitor		

Note: Unless otherwise requested all communications will be sent to the agent, if any.

3. Names and addresses of any mortgagees, holders of charges or other encumbrances:
 N/A

Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled

4. Nature and extent of relief applied for:
variance is for the front yard setback. The required is 3m and the covered porch is at 1.5m.
5. Why it is not possible to comply with the provisions of the By-law?
We could not meet the zoning requirement because the house starts at 3m so the front porch had no choice but to intrude into the front yard setback
6. Legal description and Address of subject lands (registered plan number and lot number or other legal description and where applicable, **street and street number**):
348 Herkimer Street, Hamilton

7. PREVIOUS USE OF PROPERTY

Residential Industrial Commercial

Agricultural Vacant

Other _____

- 8.1 If Industrial or Commercial, specify use _____
- 8.2 Has the grading of the subject land been changed by adding earth or other material, i.e. has filling occurred?
Yes No Unknown
- 8.3 Has a gas station been located on the subject land or adjacent lands at any time?
Yes No Unknown
- 8.4 Has there been petroleum or other fuel stored on the subject land or adjacent lands?
Yes No Unknown
- 8.5 Are there or have there ever been underground storage tanks or buried waste on the subject land or adjacent lands?
Yes No Unknown
- 8.6 Have the lands or adjacent lands ever been used as an agricultural operation where cyanide products may have been used as pesticides and/or sewage sludge was applied to the lands?
Yes No Unknown
- 8.7 Have the lands or adjacent lands ever been used as a weapon firing range?
Yes No Unknown
- 8.8 Is the nearest boundary line of the application within 500 metres (1,640 feet) of the fill area of an operational/non-operational landfill or dump?
Yes No Unknown
- 8.9 If there are existing or previously existing buildings, are there any building materials remaining on site which are potentially hazardous to public health (eg. asbestos, PCB's)?
Yes No Unknown

8.10 Is there any reason to believe the subject land may have been contaminated by former uses on the site or adjacent sites?

Yes No Unknown

8.11 What information did you use to determine the answers to 9.1 to 9.10 above?

General zoning research on the property

8.12 If previous use of property is industrial or commercial or if YES to any of 9.2 to 9.10, a previous use inventory showing all former uses of the subject land, or if appropriate, the land adjacent to the subject land, is needed.

Is the previous use inventory attached? Yes No

9. ACKNOWLEDGEMENT CLAUSE

I acknowledge that the City of Hamilton is not responsible for the identification and remediation of contamination on the property which is the subject of this Application – by reason of its approval to this Application.

Feb-26/21
Date

S. Lloyd
Signature Property Owner

Sandra Lloyd
Print Name of Owner

10. Dimensions of lands affected:

Frontage	<u>27.4m</u>
Depth	<u>37.6m</u>
Area	<u>1030m²</u>
Width of street	<u>12.5m</u>

11. Particulars of all buildings and structures on or proposed for the subject lands: (Specify ground floor area, gross floor area, number of stories, width, length, height, etc.)

Existing: _

Existing single family dwelling with a 4.03m² (8'5" w x 5'10" d) existing deck located at front entry

Proposed

New 6.50 m² covered porch - 8'5" w x 4'11" d

12. Location of all buildings and structures on or proposed for the subject lands; (Specify distance from side, rear and front lot lines)

Existing:

Existing single family dwelling with a 4.03m² (8'5" w x 5'10" d) existing deck located at front entry

Proposed:

New 6.50 m² covered porch - 8'5" w x 4'11" d

13. Date of acquisition of subject lands:

14. Date of construction of all buildings and structures on subject lands:

15. Existing uses of the subject property:
Single family dwelling
16. Existing uses of abutting properties:
Single family dwellings
17. Length of time the existing uses of the subject property have continued:
18. Municipal services available: (check the appropriate space or spaces)
Water Yes _____ Connected _____
Sanitary Sewer _____ Connected _____
Storm Sewers _____
19. Present Official Plan/Secondary Plan provisions applying to the land:
20. Present Restricted Area By-law (Zoning By-law) provisions applying to the land:
21. Has the owner previously applied for relief in respect of the subject property?
 Yes No
If the answer is yes, describe briefly.
22. Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?
 Yes No
23. Additional Information
24. The applicant shall attach to each copy of this application a plan showing the dimensions of the subject lands and of all abutting lands and showing the location, size and type of all buildings and structures on the subject and abutting lands, and where required by the Committee of Adjustment such plan shall be signed by an Ontario Land Surveyor.



Hamilton

COMMITTEE OF ADJUSTMENT

City Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5
 Telephone (905) 546-2424, ext. 4221, 3935 Fax (905) 546-4202
 E-mail: cofa@hamilton.ca

NOTICE OF PUBLIC HEARING

Application for Consent/Land Severance

APPLICATION NUMBER: HM/B-21:14

SUBJECT PROPERTY: 43-47 Emerald St. N. Hamilton

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
- Applicant/agent on file, or
- Person likely to be interested in this application

APPLICANT(S): Tony Hozjan on behalf of the owners G. & M. Tutolo

PURPOSE OF APPLICATION: To permit the conveyance of a parcel of land and to retain a parcel of land for residential purposes.

Severed lands:

63.4m[±] x 37.32m[±] and an area of 697.6m^{2±}

Retained lands:

10.96m[±] x 37.32m[±] and an area of 412m^{2±}

The Committee of Adjustment will hear this application on:

DATE: Thursday, April 1st , 2021

TIME: 2:45 p.m.

PLACE: Via video link or call in (see attached sheet for details)

To be streamed at

www.hamilton.ca/committeeofadjustment

for viewing purposes only

PUBLIC INPUT

Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

Orally: If you would like to speak to this item at the hearing you may do so via video link or by calling in. Please see attached page for complete instructions, including deadlines for registering to participate.

HM/B-21:14
PAGE 2

MORE INFORMATION

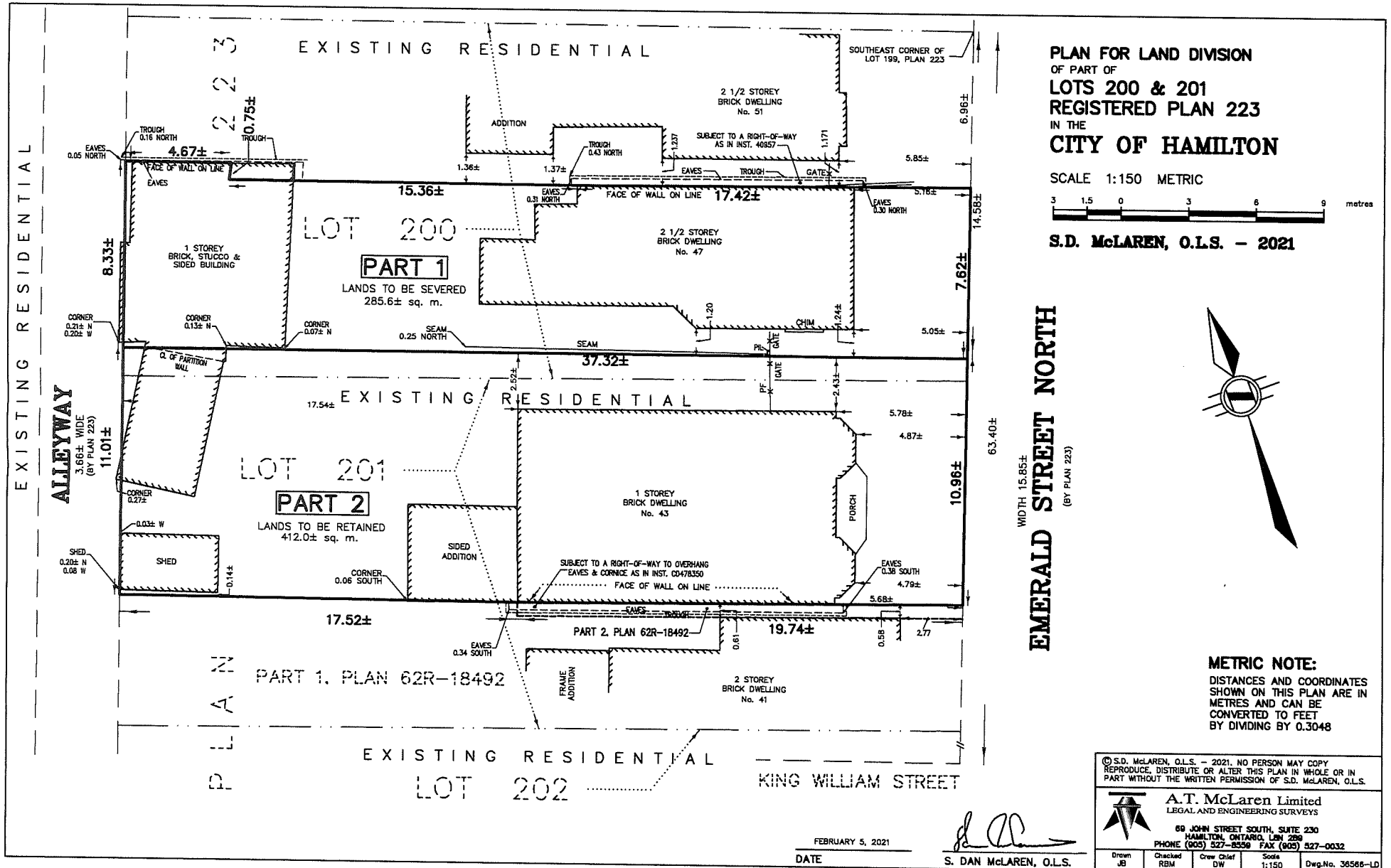
For more information on this matter, including access to drawings illustrating this request:

- Visit www.hamilton.ca/committeeofadjustment
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935
- Email Committee of Adjustment staff at cofa@hamilton.ca

DATED: March 16th, 2021

Jamila Sheffield,
Secretary-Treasurer
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public.

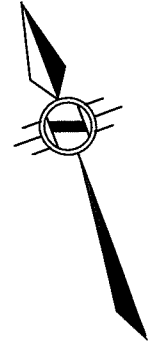


**PLAN FOR LAND DIVISION
OF PART OF
LOTS 200 & 201
REGISTERED PLAN 223
IN THE
CITY OF HAMILTON**

SCALE 1:150 METRIC



S.D. McLAREN, O.L.S. - 2021



EMERALD STREET NORTH
WIDTH 15.85±
(BY PLAN 223)

METRIC NOTE:
DISTANCES AND COORDINATES
SHOWN ON THIS PLAN ARE IN
METRES AND CAN BE
CONVERTED TO FEET
BY DIVIDING BY 0.3048

© S.D. McLAREN, O.L.S. - 2021. NO PERSON MAY COPY, REPRODUCE, DISTRIBUTE OR ALTER THIS PLAN IN WHOLE OR IN PART WITHOUT THE WRITTEN PERMISSION OF S.D. McLAREN, O.L.S.

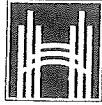
A.T. McLaren Limited
LEGAL AND ENGINEERING SURVEYS

69 JOHN STREET SOUTH, SUITE 230
HAMILTON, ONTARIO, L9N 2S9
PHONE (905) 527-8350 FAX (905) 527-0032

Drawn JB	Checked RBM	Crew Chief DW	Scale 1:150	Dwg.No. 36566-LD
-------------	----------------	------------------	----------------	---------------------

FEBRUARY 5, 2021
DATE

S. Dan McLaren
S. DAN McLAREN, O.L.S.



Hamilton

Planning and Economic Development Department
 Planning Division

Committee of Adjustment
 City Hall
 5th floor, 71 Main Street West
 Hamilton, Ontario L8P 4Y5

Phone (905) 546-2424, ext. 4221
 Fax (905) 546-4202

**APPLICATION FOR CONSENT TO SEVER LAND
 UNDER SECTION 53 OF THE PLANNING ACT**

Office Use Only

Date Application Received:	Date Application Deemed Complete:	Submission No.:	File No.:
----------------------------	-----------------------------------	-----------------	-----------

FEB 26 2020

1 APPLICANT INFORMATION

1.1, 1.2	NAME	ADDRESS	PHONE/FAX
Registered Owners(s)	ELIHO TU TOLO MARIA TU TOLO		
Applicant(s)*			
Agent or Solicitor	TONY HOZJAN		

* Owner's authorisation required if the applicant is not the owner.

1.3 All correspondence should be sent to Owner Applicant Agent/Solicitor

2 LOCATION OF SUBJECT LAND Complete the applicable lines

2.1 Area Municipality	Lot	Concession	Former Township
HAMILTON	200		
Registered Plan N°.	Lot(s)	Reference Plan N°.	Part(s)
223	201		
Municipal Address	43 EMERALD ST N		Assessment Roll N°.
47 EMERALD ST. N.			25180302/650460 25180302/650490

2.2 Are there any easements or restrictive covenants affecting the subject land?

Yes No

If YES, describe the easement or covenant and its effect:

3 PURPOSE OF THE APPLICATION

3.1 Type and purpose of proposed transaction: (check appropriate box)

a) Urban Area Transfer (do not complete Section 10):

- creation of a new lot
- addition to a lot
- an easement

- Other: a charge
 a lease
 a correction of title

b) Rural Area / Rural Settlement Area Transfer (Section 10 must be completed):

- creation of a new lot
 creation of a new non-farm parcel
 (i.e. a lot containing a surplus farm dwelling resulting from a farm consolidation)
 addition to a lot
- Other: a charge
 a lease
 a correction of title
 an easement

3.2 Name of person(s), if known, to whom land or interest in land is to be transferred, leased or charged:

REMAIN THE SAME NO CHANGE OF OWNERSHIP

3.3 If a lot addition, identify the lands to which the parcel will be added:

4 DESCRIPTION OF SUBJECT LAND AND SERVICING INFORMATION

4.1 Description of land intended to be **Severed**:

Frontage (m)	Depth (m)	Area (m ² or ha)
63.4	37.32	697.6

Existing Use of Property to be severed:

- Residential
 Agriculture (includes a farm dwelling)
 Other (specify) _____
- Industrial
 Agricultural-Related
 Commercial
 Vacant

Proposed Use of Property to be severed:

- Residential
 Agriculture (includes a farm dwelling)
 Other (specify) _____
- Industrial
 Agricultural-Related
 Commercial
 Vacant

Building(s) or Structure(s):

Existing: 2 HOMES

Proposed: SAME

Type of access: (check appropriate box)

- provincial highway
 municipal road, seasonally maintained
 municipal road, maintained all year
- right of way
 other public road

Type of water supply proposed: (check appropriate box)

- publicly owned and operated piped water system
 privately owned and operated individual well
- lake or other water body
 other means (specify) _____

Type of sewage disposal proposed: (check appropriate box)

- publicly owned and operated sanitary sewage system
 privately owned and operated individual septic system
 other means (specify) _____

4.2 Description of land intended to be **Retained**:

Frontage (m)	Depth (m)	Area (m ² or ha)
10.96	37.32	412

Existing Use of Property to be retained:

- Residential
 Agriculture (includes a farm dwelling)
 Other (specify) _____
- Industrial
 Agricultural-Related
 Commercial
 Vacant

Proposed Use of Property to be retained:

- Residential
 Industrial
 Commercial
 Agriculture (includes a farm dwelling)
 Agricultural-Related
 Vacant
 Other (specify) _____

Building(s) or Structure(s):

Existing: SINGLE FAMILY DWELLING

Proposed: SAME

Type of access: (check appropriate box)

- provincial highway
 right of way
 municipal road, seasonally maintained
 other public road
 municipal road, maintained all year

Type of water supply proposed: (check appropriate box)

- publicly owned and operated piped water system
 lake or other water body
 privately owned and operated individual well
 other means (specify) _____

Type of sewage disposal proposed: (check appropriate box)

- publicly owned and operated sanitary sewage system
 privately owned and operated individual septic system
 other means (specify) _____

4.3 Other Services: (check if the service is available)

- electricity
 telephone
 school bussing
 garbage collection

5 CURRENT LAND USE

5.1 What is the existing official plan designation of the subject land?

Rural Hamilton Official Plan designation (if applicable): _____

Urban Hamilton Official Plan designation (if applicable): _____

Please provide an explanation of how the application conforms with a City of Hamilton Official Plan.

47 EMERALD ST. N. BUILT 1895 OWNED SINCE 1958
43 EMERALD ST. N. BUILT 1900 OWNED SINCE 1980
SAME OWNER

5.2 What is the existing zoning of the subject land? D

If the subject land is covered by a Minister's zoning order, what is the Ontario Regulation Number? D

5.3 Are any of the following uses or features on the subject land or within 500 metres of the subject land, unless otherwise specified. Please check the appropriate boxes, if any apply.

Use or Feature	On the Subject Land	Within 500 Metres of Subject Land, unless otherwise specified (indicate approximate distance)
An agricultural operation, including livestock facility or stockyard	<input type="checkbox"/>	

A land fill	<input type="checkbox"/>	
A sewage treatment plant or waste stabilization plant	<input type="checkbox"/>	
A provincially significant wetland	<input type="checkbox"/>	
A provincially significant wetland within 120 metres	<input type="checkbox"/>	
A flood plain	<input type="checkbox"/>	
An industrial or commercial use, and specify the use(s)	<input type="checkbox"/>	
An active railway line	<input type="checkbox"/>	
A municipal or federal airport	<input type="checkbox"/>	

6 PREVIOUS USE OF PROPERTY

- Residential Industrial Commercial
 Agriculture Vacant Other (specify)

- 6.1 If Industrial or Commercial, specify use _____
- 6.2 Has the grading of the subject land been changed by adding earth or other material, i.e., has filling occurred?
 Yes No Unknown
- 6.3 Has a gas station been located on the subject land or adjacent lands at any time?
 Yes No Unknown
- 6.4 Has there been petroleum or other fuel stored on the subject land or adjacent lands?
 Yes No Unknown
- 6.5 Are there or have there ever been underground storage tanks or buried waste on the subject land or adjacent lands?
 Yes No Unknown
- 6.6 Have the lands or adjacent lands ever been used as an agricultural operation where cyanide products may have been used as pesticides and/or biosolids was applied to the lands?
 Yes No Unknown
- 6.7 Have the lands or adjacent lands ever been used as a weapons firing range?
 Yes No Unknown
- 6.8 Is the nearest boundary line of the application within 500 metres (1,640 feet) of the fill area of an operational/non-operational landfill or dump?
 Yes No Unknown
- 6.9 If there are existing or previously existing buildings, are there any building materials remaining on site which are potentially hazardous to public health (e.g., asbestos, PCB's)?
 Yes No Unknown
- 6.10 Is there reason to believe the subject land may have been contaminated by former uses on the site or adjacent sites?
 Yes No Unknown
- 6.11 What information did you use to determine the answers to 6.1 to 6.10 above?
SAME OWNER SINCE 1958 - MATURE RESIDENTIAL AREA
- 6.12 If previous use of property is industrial or commercial or if YES to any of 6.2 to 6.10, a previous use inventory showing all former uses of the subject land, or if appropriate, the land adjacent to the subject land, is needed.
 Is the previous use inventory attached?
 Yes No

7 PROVINCIAL POLICY

- 7.1 a) Is this application consistent with the Policy Statements issued under subsection of the *Planning Act*? (Provide explanation)

- Yes No

b) Is this application consistent with the Provincial Policy Statement (PPS)?
 Yes No (Provide explanation)

c) Does this application conform to the Growth Plan for the Greater Golden Horseshoe?
 Yes No (Provide explanation)

d) Are the subject lands within an area of land designated under any provincial plan or plans? (If YES, provide explanation on whether the application conforms or does not conflict with the provincial plan or plans.)
 Yes No

e) Are the subject lands subject to the Niagara Escarpment Plan?
 Yes No

If yes, is the proposal in conformity with the Niagara Escarpment Plan?

Yes No
(Provide Explanation)

HOMES HAVE BEEN AROUND SINCE 1900.

f) Are the subject lands subject to the Parkway Belt West Plan?
 Yes No

If yes, is the proposal in conformity with the Parkway Belt West Plan?

Yes No (Provide Explanation)

g) Are the subject lands subject to the Greenbelt Plan?
 Yes No

If yes, does this application conform with the Greenbelt Plan?

Yes No (Provide Explanation)

8 HISTORY OF THE SUBJECT LAND

- 8.1 Has the subject land ever been the subject of an application for approval of a plan of subdivision or a consent under sections 51 or 53 of the *Planning Act*?
 Yes No Unknown

If YES, and known, indicate the appropriate application file number and the decision made on the application.

- 8.2 If this application is a re-submission of a previous consent application, describe how it has been changed from the original application.

- 8.3 Has any land been severed or subdivided from the parcel originally acquired by the owner of the subject land? Yes No

If YES, and if known, provide for each parcel severed, the date of transfer, the name of the transferee and the land use.

- 8.4 How long has the applicant owned the subject land?
47 EMERALD ST. N. 1958
43 EMERALD ST. N. 1988

- 8.5 Does the applicant own any other land in the City? Yes No

If YES, describe the lands in "11 - Other Information" or attach a separate page.

9 OTHER APPLICATIONS

- 9.1 Is the subject land currently the subject of a proposed official plan amendment that has been submitted for approval? Yes No Unknown

If YES, and if known, specify file number and status of the application.

- 9.2 Is the subject land the subject of any other application for a Minister's zoning order, zoning by-law amendment, minor variance, consent or approval of a plan of subdivision? Yes No Unknown

If YES, and if known, specify file number and status of the application(s).

File number _____ Status _____

10 RURAL APPLICATIONS

- 10.1 **Rural Hamilton Official Plan Designation(s)**

- | | | |
|--|-------------------------------------|---|
| <input type="checkbox"/> Agricultural | <input type="checkbox"/> Rural | <input type="checkbox"/> Specialty Crop |
| <input type="checkbox"/> Mineral Aggregate Resource Extraction | <input type="checkbox"/> Open Space | <input type="checkbox"/> Utilities |
| <input type="checkbox"/> Rural Settlement Area (specify) _____ | Settlement Area | Designation |

If proposal is for the creation of a non-farm parcel resulting from a farm consolidation, indicate the existing land use designation of the abutting or non-abutting farm operation.

- 10.2 **Type of Application** (select type and complete appropriate sections)

- | | |
|--|---------------------------|
| <input type="checkbox"/> Agricultural Severance or Lot Addition | } (Complete Section 10.3) |
| <input type="checkbox"/> Agricultural Related Severance or Lot Addition | |
| <input type="checkbox"/> Rural Resource-based Commercial Severance or Lot Addition | |
| <input type="checkbox"/> Rural Institutional Severance or Lot Addition | |

- Rural Settlement Area Severance or Lot Addition
- Surplus Farm Dwelling Severance from an Abutting Farm Consolidation (Complete Section 10.4)
- Surplus Farm Dwelling Severance from a Non-Abutting Farm Consolidation (Complete Section 10.5)

10.3 Description of Lands

a) Lands to be Severed:

Frontage (m): (from Section 4.1) <u>7.62</u>	Area (m ² or ha): (from in Section 4.1) <u>205.6</u>
---	--

Existing Land Use: RESIDENTIAL Proposed Land Use: RESIDENTIAL

b) Lands to be Retained:

Frontage (m): (from Section 4.2) <u>10.96</u>	Area (m ² or ha): (from Section 4.2) <u>412</u>
--	---

Existing Land Use: RESIDENTIAL Proposed Land Use: RESIDENTIAL

10.4 Description of Lands (Abutting Farm Consolidation)

a) Location of abutting farm:

(Street) (Municipality) (Postal Code)

b) Description abutting farm:

Frontage (m):	Area (m ² or ha):
---------------	------------------------------

Existing Land Use(s): _____ Proposed Land Use(s): _____

c) Description of consolidated farm (excluding lands intended to be severed for the surplus dwelling):

Frontage (m):	Area (m ² or ha):
---------------	------------------------------

Existing Land Use: _____ Proposed Land Use: _____

d) Description of surplus dwelling lands proposed to be severed:

Frontage (m): (from Section 4.1)	Area (m ² or ha): (from Section 4.1)
----------------------------------	---

Front yard set back: _____

e) Surplus farm dwelling date of construction:

- Prior to December 16, 2004
- After December 16, 2004

f) Condition of surplus farm dwelling:

- Habitable
- Non-Habitable

g) Description of farm from which the surplus dwelling is intended to be severed (retained parcel):

Frontage (m): (from Section 4.2)	Area (m ² or ha): (from Section 4.2)
----------------------------------	---

Existing Land Use: _____ Proposed Land Use: _____

10.5 Description of Lands (Non-Abutting Farm Consolidation)

a) Location of non-abutting farm

(Street) (Municipality) (Postal Code)

b) Description of non-abutting farm

Frontage (m):	Area (m2 or ha):
---------------	------------------

Existing Land Use(s): _____ Proposed Land Use(s): _____

c) Description of surplus dwelling lands intended to be severed:

Frontage (m): (from Section 4.1)	Area (m2 or ha): (from Section 4.1)
----------------------------------	-------------------------------------

Front yard set back: _____

d) Surplus farm dwelling date of construction:

- Prior to December 16, 2004 After December 16, 2004

e) Condition of surplus farm dwelling:

- Habitable Non-Habitable

f) Description of farm from which the surplus dwelling is intended to be severed (retained parcel):

Frontage (m): (from Section 4.2)	Area (m2 or ha): (from Section 4.2)
----------------------------------	-------------------------------------

Existing Land Use: _____ Proposed Land Use: _____

11 OTHER INFORMATION

Is there any other information that you think may be useful to the Committee of Adjustment or other agencies in reviewing this application? If so, explain below or attach on a separate page.

see attached

12 SKETCH (Use the attached Sketch Sheet as a guide)

12.1 The application shall be accompanied by a sketch showing the following in metric units:

- (a) the boundaries and dimensions of any land abutting the subject land that is owned by the owner of the subject land;
- (b) the approximate distance between the subject land and the nearest township lot line or landmark such as a bridge or railway crossing;
- (c) the boundaries and dimensions of the subject land, the part that is intended to be severed and the part that is intended to be retained;
- (d) the location of all land previously severed from the parcel originally acquired by the current owner of the subject land;
- (e) the approximate location of all natural and artificial features (for example, buildings, barns, railways, roads, watercourses, drainage ditches, banks of rivers or streams, wetlands, wooded areas, wells and septic tanks) that
 - i) are located on the subject land and on land that is adjacent to it, and
 - ii) in the applicant's opinion, may affect the application;
- (f) the current uses of land that is adjacent to the subject land (for example, residential, agricultural or commercial);
- (g) the location, width and name of any roads within or abutting the subject land, indicating whether it is an unopened road allowance, a public travelled road, a private



43 Emerald St N, Hamilton, L8L5K2 [Suggest an address correction](#)

 Owner Name TUTOLO, MARY; TUTOLO, GUIDO	 Last Sale \$34,000 Oct 06, 1988	 Lot Size 36.52 ft 121.00 ft Frontage Depth <small>Measurements Available (See Site & Structure)</small>		 Assessed Value \$211,000 Based on Jan 1, 2016	 Phased-In Value \$211,000 2021 Tax Year
--	---	--	--	---	---

Legal Description
 PT LTS 200 & 201, PL 223 , N/S OF KING ST, AS IN CD478350, T/W CD478350 ; HAMILTON

Property Details



GeoWarehouse Address
 43 EMERALD ST N, HAMILTON, L8L5K2

Land Registry Office
 Hamilton Wentworth (62)

Owner Names
 TUTOLO, MARY; TUTOLO, GUIDO

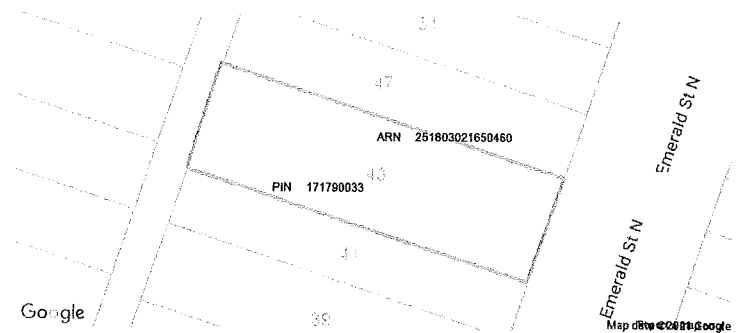
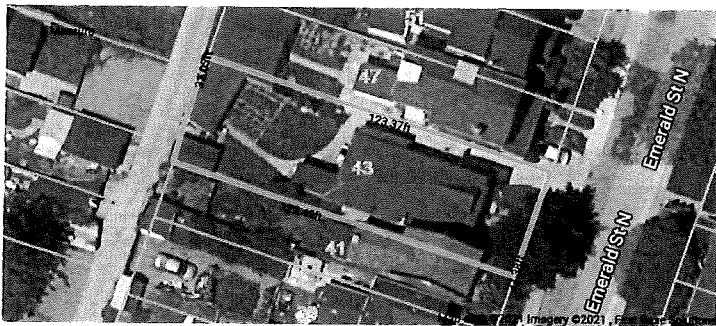
Ownership Type
 Freehold

Registration Type
 Certified (Land Titles)

Land Registry Status
 Active

PIN
 171790033

Site & Structure



Lot Size Area: 4,596.19 ft² (0.106 ac) Perimeter: 318.24 ft
 Measurements: 123.37 ft x 5.07 ft x 32.05 ft x 122.49 ft x 37.38 ft
 Lot Measurement Accuracy: HIGH

Assessment 1 ARN : 251803021650460

Site Frontage: 36.50 ft Depth: 121.00 ft

Structure Property Description: Single-family detached (not on water) Property Code: 301



47 Emerald St N, Hamilton, L8L5K2 [Suggest an address correction](#)

 Owner Name TUTOLO, MARY; TUTOLO, GUIDO	 Last Sale \$1 Mar 10, 1958	 Lot Size 24.51 ft 121.00 ft Frontage Depth <small>Measurements Available (See Site & Structure)</small>	 Assessed Value \$239,000 Based on Jan 1, 2016	 Phased-In Value \$239,000 2021 Tax Year
--	--	--	---	---

Legal Description
 PT LT 200, PL 223 , N/S OF KING ST, AS IN HL40957, T/W HL40957 ; HAMILTON

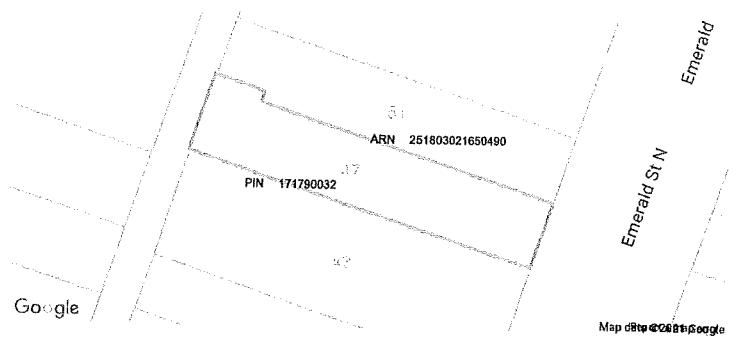
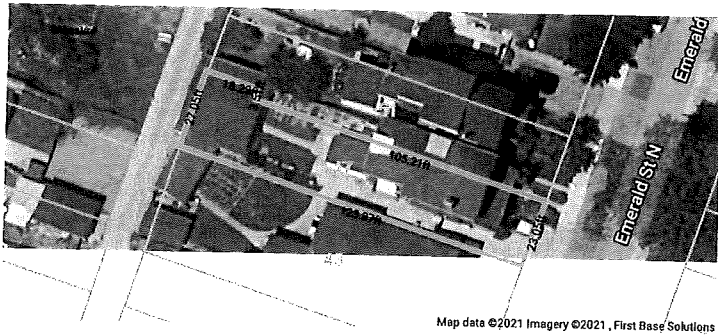
Property Details



GeoWarehouse Address
 47 EMERALD ST N, HAMILTON, L8L5K2
Land Registry Office
 Hamilton Wentworth (62)
Owner Names
 TUTOLO, MARY; TUTOLO, GUIDO

Ownership Type Freehold	Registration Type Certified (Land Titles)
Land Registry Status Active	PIN 171790032

Site & Structure



Lot Size Area: 2,938.54 ft² (0.067 ac) Perimeter: 298.56 ft
 Measurements: 27.05 ft x 123.37 ft x 23.05 ft x 105.21 ft x 3.51 ft x 18.23 ft
 Lot Measurement Accuracy: HIGH

Assessment 1 ARN : 251803021650490

Site Frontage: 24.50 ft Depth: 121.00 ft

Structure Property Description: Single-family detached (not on water) Property Code: 301



Hamilton

COMMITTEE OF ADJUSTMENT

City Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5
 Telephone (905) 546-2424, ext. 4221, 3935 Fax (905) 546-4202
 E-mail: cofa@hamilton.ca

NOTICE OF PUBLIC HEARING
Minor Variance

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
- Applicant/agent on file, or
- Person likely to be interested in this application

APPLICATION NO.: HM/A-21:37

APPLICANTS: Owner Andrew T. Edward

SUBJECT PROPERTY: Municipal address **23 Cline Ave. S., Hamilton**

ZONING BY-LAW: Zoning By-law 6593, as Amended by By-law 96-109 and 19-307

ZONING: C/S-1361 and C/S-1788 district (Urban Protected Residential, etc.)

PROPOSAL: To permit the conversion of the single family dwelling to contain two (2) dwelling units, construct a 0.87m (2.87') x 1.49m (4.90') second storey rear addition, alter the rear portion of the roof from a hip roof to a gable roof, construct a rear stairway (proposed wood deck) and rear basement walkout and to permit the re-construction of a 2.13m (7.0') x 6.11m (20.03') roofed-over unenclosed one storey front porch within stairs at the first storey notwithstanding that:

1. The external appearance shall be altered by construction of a rear open stairway (proposed wood deck and stairs), construction of a 0.87m (2.87') x 1.49m (4.90') rear second storey addition, altering the rear portion of the roof from a hip roof to a gable roof and reconstruction of the 2.13m (7.0') x 6.11m (20.03') roofed-over unenclosed one storey front porch within stairs at the first storey instead of the requirement that the external appearance and character of the dwelling shall be preserved for a residential conversion.
2. One (1) parking space shall be provided instead of the minimum required two (2) parking spaces.
3. A maximum floor area ratio of 0.61 shall be permitted instead of the maximum 0.45 floor area ratio permitted.
4. The roofed-over unenclosed one-storey porch at the first storey level, including stairs, eaves and gutters, shall be permitted to project into the required front yard a distance of 6.0m so that it shall be 0.0 metres from the front lot line instead of the requirement that roofed-over or screened but otherwise unenclosed one-storey porch at the first storey level, including eaves and gutters, may project into a required front yard to a distance of not more than 3.0 metres, and every such projecting porch shall be distant at least 1.5 metres from the front lot line.
5. A minimum northerly side yard width of 0.3m shall be permitted and recognized instead of the minimum required 0.9m side yard width.

6. Eaves and gutters shall be permitted to project a maximum of 0.3m into the minimum required 0.3m northerly side yard and may be as close as 0.0m to the northerly side lot line instead of the requirement that an eave or gutter may project into the required side yard (being 0.3m) not more than ½ of its required width (being 0.15m).
7. A minimum of 19% of the front yard shall be used for a landscaped area instead of the requirement that not less than 50% of the gross area of the front yard shall be used for a landscaped area, excluding concrete, asphalt, gravel, pavers or other similar materials
8. The area for parking shall be permitted to occupy 54% of the gross area of the front yard instead of the requirement that the area for parking shall not occupy more than 50% of the gross area of the front yard.
9. A minimum parking space size of 2.6m wide x 5.8m long shall be permitted instead of the minimum required parking space size of 2.7m wide x 6.0m long
10. A minimum access driveway width of 2.6m shall be provided instead of the minimum required access driveway width of 2.8m.

NOTE:

- i) Pursuant to Variance No. 4 above, the front yard setback of 3.429m (11.25') to the existing dwelling is legally established non-conforming. This variance is intended to allow re-construction of the roofed-over unenclosed one storey front porch at the 1st storey including its stairs.
- ii) The eaves and gutters shall not project over the northerly side lot line.

This application will be heard by the Committee as shown below:

DATE: Thursday, April 1st, 2021
TIME: 2:55 p.m.
PLACE: Via video link or call in (see attached sheet for details)
 To be streamed at
www.hamilton.ca/committeeofadjustment
 for viewing purposes only

PUBLIC INPUT

Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

Orally: If you would like to speak to this item at the hearing you may do so via video link or by calling in. Please see attached page for complete instructions, including deadlines for registering to participate.

MORE INFORMATION

For more information on this matter, including access to drawings illustrating this request:

- Visit www.hamilton.ca/committeeofadjustment
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935
- Email Committee of Adjustment staff at cofa@hamilton.ca

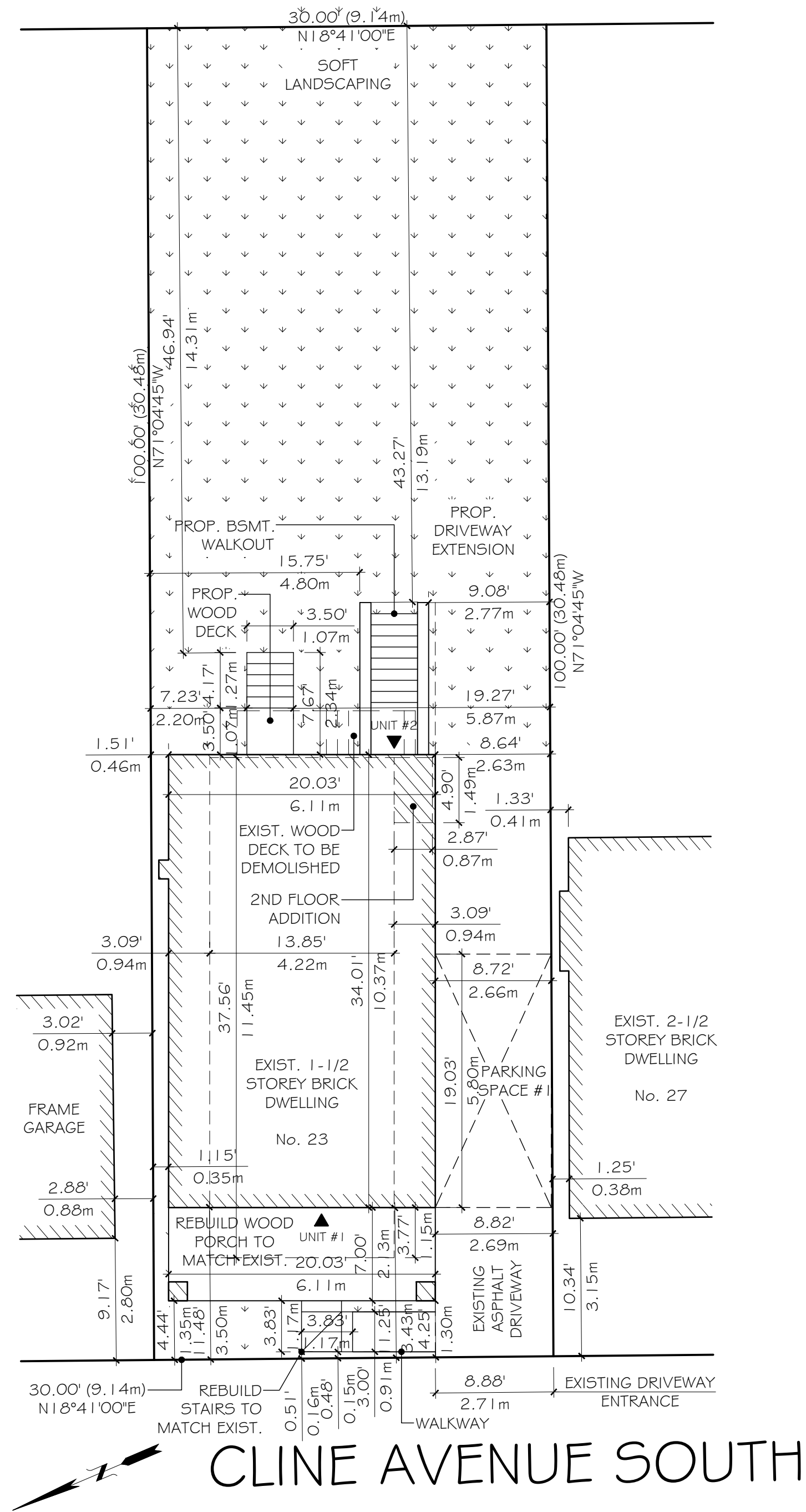
DATED: March 16th, 2021.

Jamila Sheffield,
 Secretary-Treasurer
 Committee of Adjustment

HM/A-21: 37

Page 3

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public.



CLINE AVENUE SOUTH

23 CLINE AVENUE SOUTH - REAR LANDSCAPING CALC.		
	FT ²	m ²
TOTAL REAR LOT AREA:	1640.41	152.40
HARD LANDSCAPING		
PROP. BASMENT WALKOUT	56.07	5.21
PROP. FRAME DECK	26.83	2.49
HARD LANDSCAPE AREA:	82.90	7.70
HARD LANDSCAPE INDEX:		5.05%
SOFT LANDSCAPING		
SOFT LANDSCAPE AREA:	1557.50	144.70
SOFT LANDSCAPE INDEX:		94.95%

23 CLINE AVENUE SOUTH - FRONT LANDSCAPING CALC.		
	FT ²	m ²
TOTAL FRONT LOT AREA:	339.25	31.52
HARD LANDSCAPING		
EXIST. DRIVEWAY	99.19	9.22
REBUILT PORCH & STEPS	154.22	14.33
WALKWAY	18.62	1.73
HARD LANDSCAPE AREA:	272.04	25.27
HARD LANDSCAPE INDEX:		80.19%
SOFT LANDSCAPING		
SOFT LANDSCAPE AREA:	67.21	6.24
SOFT LANDSCAPE INDEX:		19.81%

AREA DATA CALCULATIONS						
AREA:	EXISTING:		PROPOSED:		TOTAL:	
	FT ²	m ²	FT ²	m ²	FT ²	m ²
LOT AREA					2999.97	278.71
CELLAR FLOOR PLAN	681.27	63.29	0.00	0.00	681.27	63.29
FIRST FLOOR PLAN	681.27	63.29	0.00	0.00	681.27	63.29
SECOND FLOOR PLAN	424.77	39.46	27.00	2.51	451.78	41.97
GROSS FLOOR AREA	1787.32	166.05	27.00	2.51	1814.32	168.56
FLOOR SPACE INDEX		59.58%		0.90%		60.48%

MECHANICAL NOTES

- MECHANICAL EXHAUST VENT
- SMOKE ALARM
- CARBON MONOXIDE ALARM

No.	Date	Revision	Int.

Consultant:

Owner:

Andrew Edwards
38 Sewell Drive
Oakville, ON

Project: Prop. 2nd Unit, Int.
Alt., Bsmt. Walkout
& Porches
23 Cline Ave. S.
Hamilton, ON

Drawing Title:
Site Plan

Drawn: _____ Date: 2020.10.18

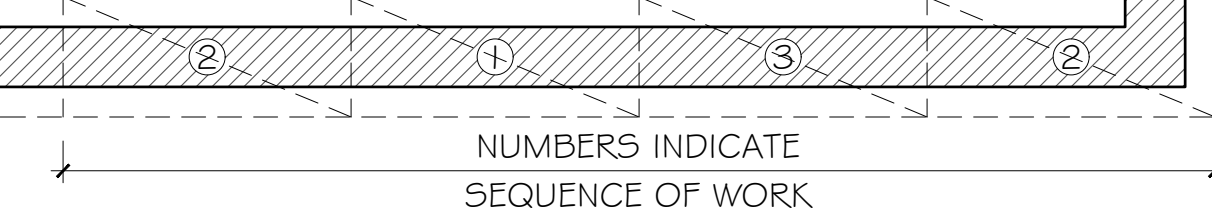
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File No: _____ Drawing No: _____

Project No: **SP1.01**

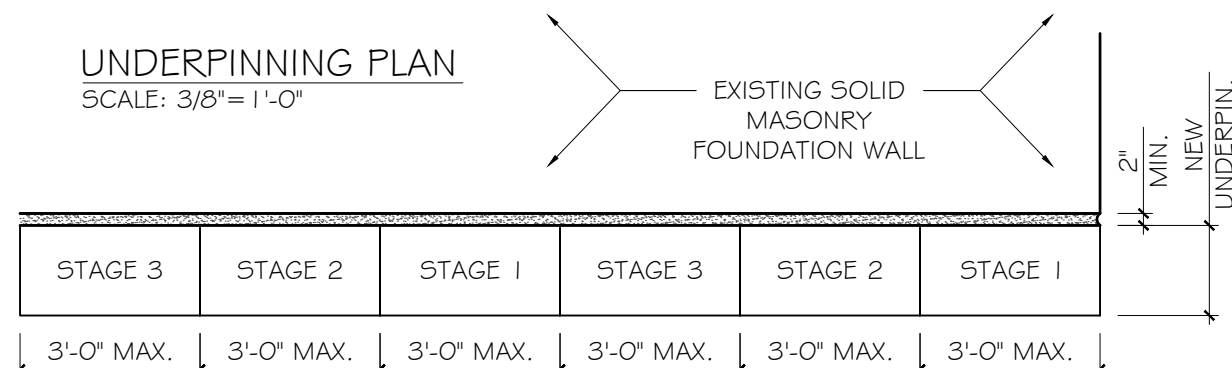
NOTES:

1. MIN. CONCRETE STRENGTH SHALL BE 20 MPA(2900)PSI AT 28 DAYS 5-8% AIR ENTRAINMENT.
2. CONCRETE SHALL BE CURED MINIMUM 48 HOURS BEFORE GROUTING THE SPACE BETWEEN THE TOP OF THE CONCRETE AND THE UNDERSIDE OF THE CONSTRUCTION ABOVE.
3. SHORE AND BRACE WHERE NECESSARY TO ENSURE THE SAFETY AND STABILITY OF THE EXISTING STRUCTURE DURING UNDERPINNING.

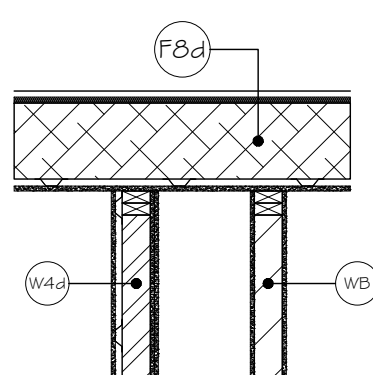


NUMBERS INDICATE SEQUENCE OF WORK

UNDERPINNING PLAN
SCALE: 3/8"=1'-0"



UNDERPINNING ELEVATION
SCALE: 3/8"=1'-0"



NOTE: CEILING FIRE SEPARATION F8d MUST BE INSTALLED FIRST PRIOR TO ANY WALL CONSTRUCTION

SECTION A
SCALE: 1"=1'-0"

INTERCONNECTED SMOKE ALARMS

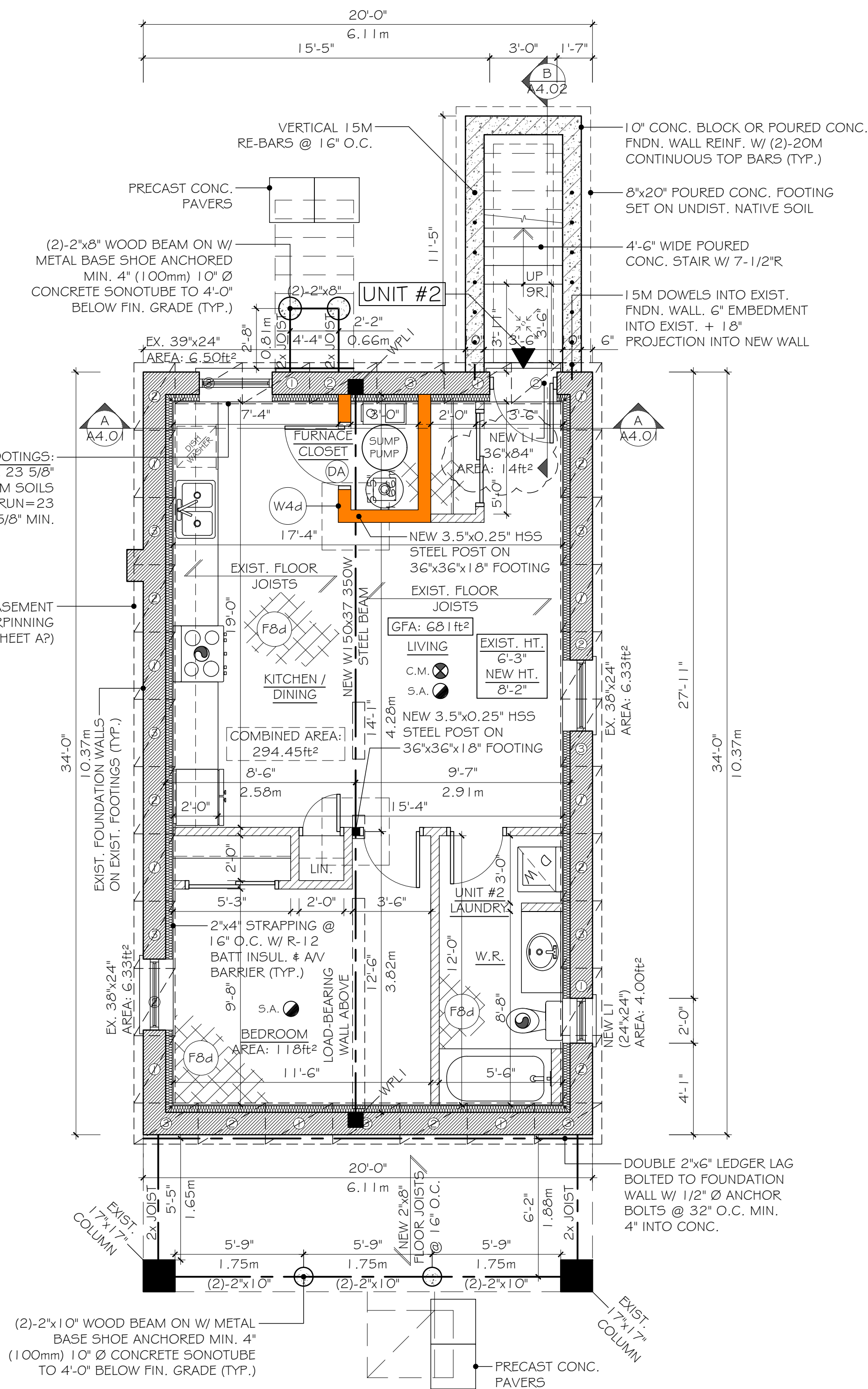
THE EXISTING HEATING OR AIR CONDITIONING SYSTEM MAY BE ALTERED TO SERVE MORE THAN ONE DWELLING UNIT PROVIDED SMOKE ALARMS ARE INSTALLED IN EACH DWELLING UNIT AND PROVIDED A SMOKE DETECTOR IS INSTALLED IN THE SUPPLY OR RETURN AIR DUCT SYSTEM SERVING THE ENTIRE BUILDING WHICH WOULD TURN OFF THE FUEL SUPPLY AND ELECTRICAL POWER UPON ACTIVATION OF SUCH DETECTORS.

LEGEND:

- EXIST. WALL
- DEMOLISH EXIST.
- WALL TYPE B: NEW PARTITION 2"x4" STUDS @ 16" O.C. W/ 1/2" GYPSUM BOARD ON BOTH SIDES
- 2"x4" STUDS @ 16" O.C. 89 mm THICK ABSORPTIVE MATERIAL STC MIN. 50 RESILIENT METAL CHANNELS ON ONE SIDE SPACED AT 600mm O.C. 2 LAYERS OF 1/2" TYPE "X" DRYWALL ON RESILIENT METAL CHANNELS 1 LAYER OF 1/2" TYPE "X" DRYWALL ON THE OTHER SIDE AS PER 5B-3 TABLE 1
- SUBFLOOR OF 15.5mm PLYWOOD MIN. FLOOR JOIST SPACING MAX. 610mm O.C.
- 6" ABSORPTIVE MATERIAL IN CAVITY MIN. 50 STC RATING
- RESILIENT METAL CHANNELS SPACED 610mm O.C.
- 1 LAYERS OF 15.9mm TYPE "X" GWB.
- DOOR TYPE A: 45mm THICK SOLID DOOR CONFORMING TO CAN/ULC-S113. 32" WIDE FIRE RATED DOOR 20 MIN FIRE PROTECTION RATING AS PER TABLE 9.10.13.1 CW SELF CLOSING AND LATCHING DEVICE AND SHALL BE INSTALLED IN CONFORMANCE WITH NFPA 80

STEP FOOTINGS: VERTICAL RISE 23 5/8" MAX. FOR FIRM SOILS HORIZONTAL RUN=23 5/8" MIN.

SEE BASEMENT UNDERPINNING DETAIL (SHEET AP)



BASEMENT FLOOR PLAN
SCALE: 1/4"=1'-0"

MECHANICAL NOTES

- MECHANICAL EXHAUST VENT
- SMOKE ALARM
- CARBON MONOXIDE ALARM

No.	Date	Revision	Int.

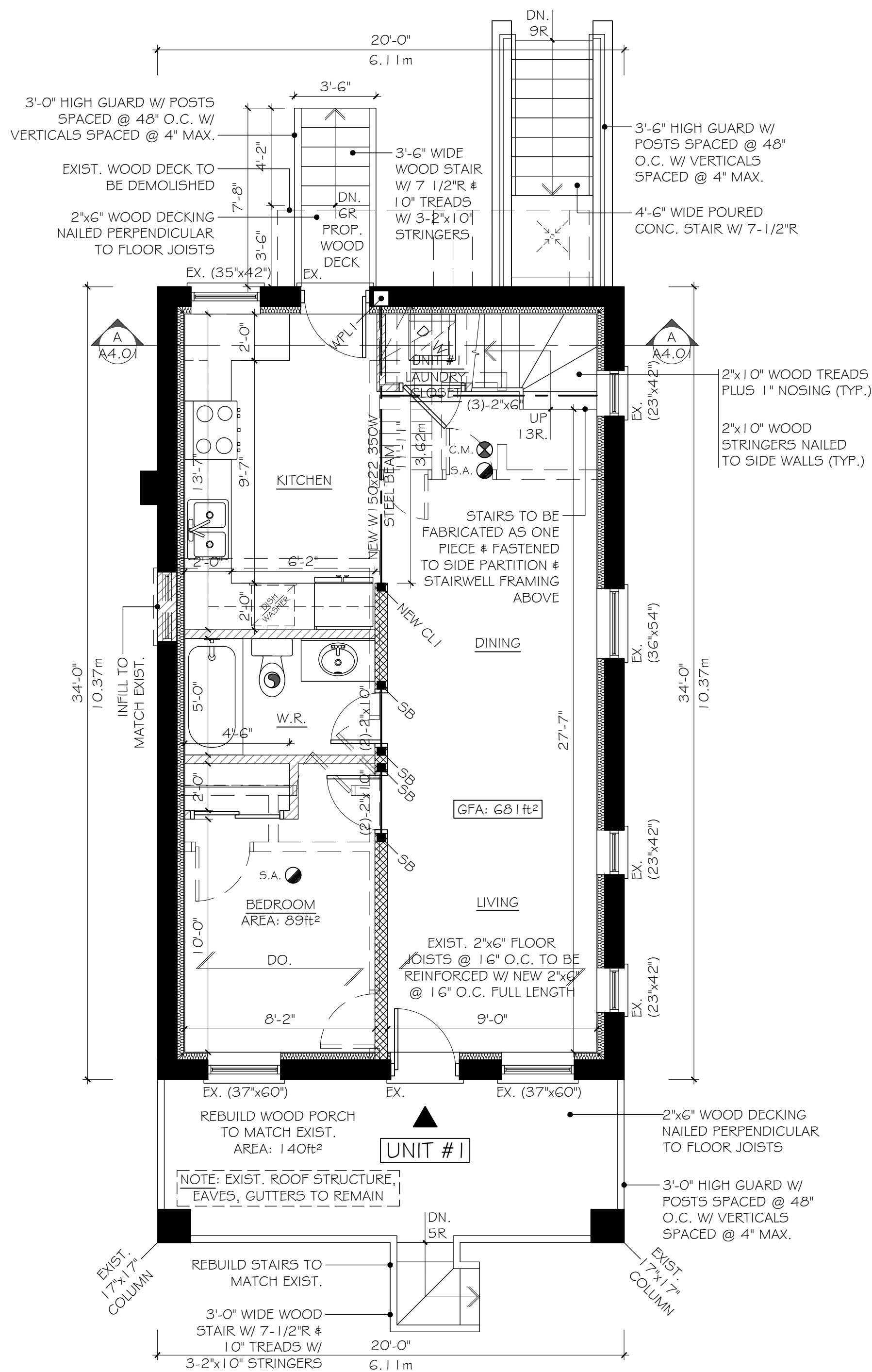
Consultant:

Owner:
Andrew Edwards
38 Sewell Drive
Oakville, ON

Project: Prop. 2nd Unit, Int.
Alt., Bsmt. Walkout
& Porches
23 Cline Ave. S.
Hamilton, ON

Drawing Title:
Basement Floor
Plan

Drawn:	Date: 2020.10.18
Checked:	Scale: AS SHOWN
File No:	Drawing No: A1.04
Project No:	



FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

⊗ INTERCONNECTED SMOKE ALARMS

THE EXISTING HEATING OR AIR CONDITIONING SYSTEM MAY BE ALTERED TO SERVE MORE THAN ONE DWELLING UNIT PROVIDED SMOKE ALARMS ARE INSTALLED IN EACH DWELLING UNIT AND PROVIDED A SMOKE DETECTOR IS INSTALLED IN THE SUPPLY OR RETURN AIR DUCT SYSTEM SERVING THE ENTIRE BUILDING WHICH WOULD TURN OFF THE FUEL SUPPLY AND ELECTRICAL POWER UPON ACTIVATION OF SUCH DETECTORS.

LEGEND:

- █ - EXIST. WALL
- - DEMOLISH EXIST.
- ▨ - WALL TYPE B: NEW PARTITION
2"x4" STUDS @ 16" O.C. W/
1/2" GYPSUM BOARD ON
BOTH SIDES
- (WB)
- █ - 2"x4" STUDS @ 16" O.C. 89 mm
THICK ABSORPTIVE MATERIAL STC
MIN. 50 RESILIENT METAL
CHANNELS ON ONE SIDE SPACED
AT 600mm O.C. 2 LAYERS OF 1/2"
TYPE "X" DRYWALL ON RESILIENT
METAL CHANNELS 1 LAYER OF 1/2"
TYPE "X" DRYWALL ON THE OTHER
SIDE AS PER SB-3 TABLE 1
- (W4d)
- ▨ - SUBFLOOR OF 15.5mm PLYWOOD MIN.
- FLOOR JOIST SPACING MAX. 610mm O.C.
- 6" ABSORPTIVE MATERIAL IN CAVITY
MIN. 50 STC RATING
- RESILIENT METAL CHANNELS SPACED
610mm O.C.
- 1 LAYERS OF 15.9mm TYPE "X" GWB.
- (F8d)
- (DA) - DOOR TYPE A: 45mm THICK
SOLID DOOR CONFORMING TO
CAN/ULC.-S113. 32" WIDE FIRE
RATED DOOR 20 MIN FIRE
PROTECTION RATING AS PER
TABLE 9.10.13.1 CW SELF
CLOSING AND LATCHING DEVICE
AND SHALL BE INSTALLED IN
CONFORMANCE WITH NFPA 80

MECHANICAL NOTES

- ⊙ MECHANICAL EXHAUST VENT
- ⊙ SMOKE ALARM
- ⊙ CARBON MONOXIDE ALARM

No.	Date	Revision	Int.

Consultant:

Owner:

Andrew Edwards
38 Sewell Drive
Oakville, ON

Project: Prop. 2nd Unit, Int.
Alt., Bsmt. Walkout
& Porches
23 Cline Ave. S.
Hamilton, ON

Drawing Title:

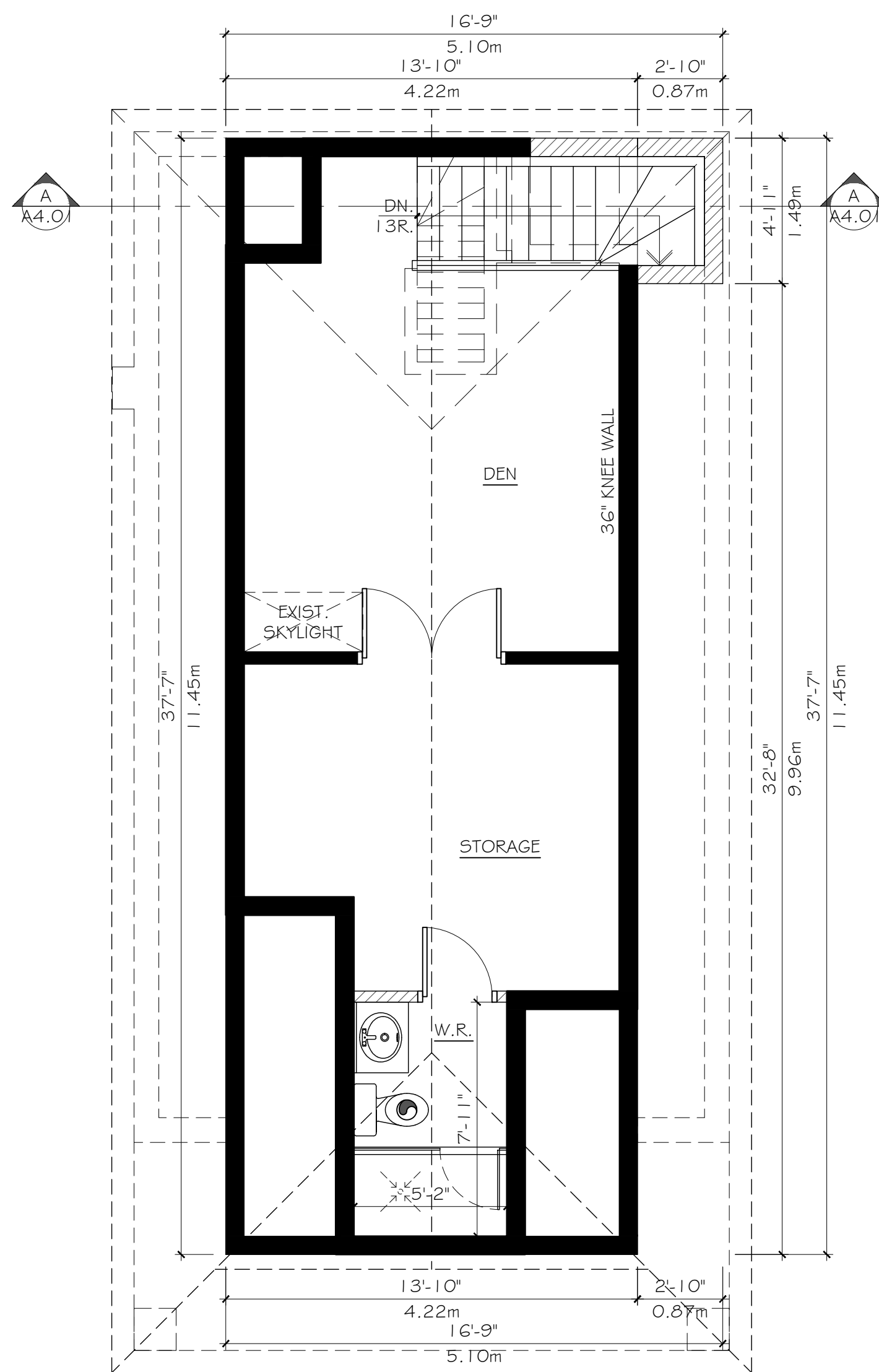
First Floor Plan

Drawn: _____ Date: 2020.10.18

Checked: _____ Scale: 1/4" = 1'-0"

File No: _____ Drawing No: _____

Project No: A1.05



SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"

☒ INTERCONNECTED SMOKE ALARMS

THE EXISTING HEATING OR AIR CONDITIONING SYSTEM MAY BE ALTERED TO SERVE MORE THAN ONE DWELLING UNIT PROVIDED SMOKE ALARMS ARE INSTALLED IN EACH DWELLING UNIT AND PROVIDED A SMOKE DETECTOR IS INSTALLED IN THE SUPPLY OR RETURN AIR DUCT SYSTEM SERVING THE ENTIRE BUILDING WHICH WOULD TURN OFF THE FUEL SUPPLY AND ELECTRICAL POWER UPON ACTIVATION OF SUCH DETECTORS.

LEGEND:

- ▬ - EXIST. WALL
- ▭ - DEMOLISH EXIST.
- ▨ - WALL TYPE B: NEW PARTITION
2"x4" STUDS @ 16" O.C. W/
1/2" GYPSUM BOARD ON BOTH SIDES
- WB - 2"x4" STUDS @ 16" O.C. 89 mm THICK ABSORPTIVE MATERIAL STC MIN. 50 RESILIENT METAL CHANNELS ON ONE SIDE SPACED AT 600mm O.C. 2 LAYERS OF 1/2" TYPE "X" DRYWALL ON RESILIENT METAL CHANNELS 1 LAYER OF 1/2" TYPE "X" DRYWALL ON THE OTHER SIDE AS PER SB-3 TABLE 1
- W4d - SUBFLOOR OF 15.5mm PLYWOOD MIN. -FLOOR JST SPACING MAX. 610mm O.C. -6" ABSORPTIVE MATERIAL IN CAVITY MIN. 50 STC RATING -RESILIENT METAL CHANNELS SPACED 610mm O.C. -1 LAYERS OF 15.9mm TYPE "X" GWB.
- F8d - DOOR TYPE A: 45mm THICK SOLID DOOR CONFORMING TO CAN/ULC.-S113. 32" WIDE FIRE RATED DOOR 20 MIN FIRE PROTECTION RATING AS PER TABLE 9.10.13.1 CW SELF CLOSING AND LATCHING DEVICE AND SHALL BE INSTALLED IN CONFORMANCE WITH NFPA 80

MECHANICAL NOTES

- ⊙ MECHANICAL EXHAUST VENT
- ⊙ SMOKE ALARM
- ⊙ CARBON MONOXIDE ALARM

No.	Date	Revision	Int.

Consultant:

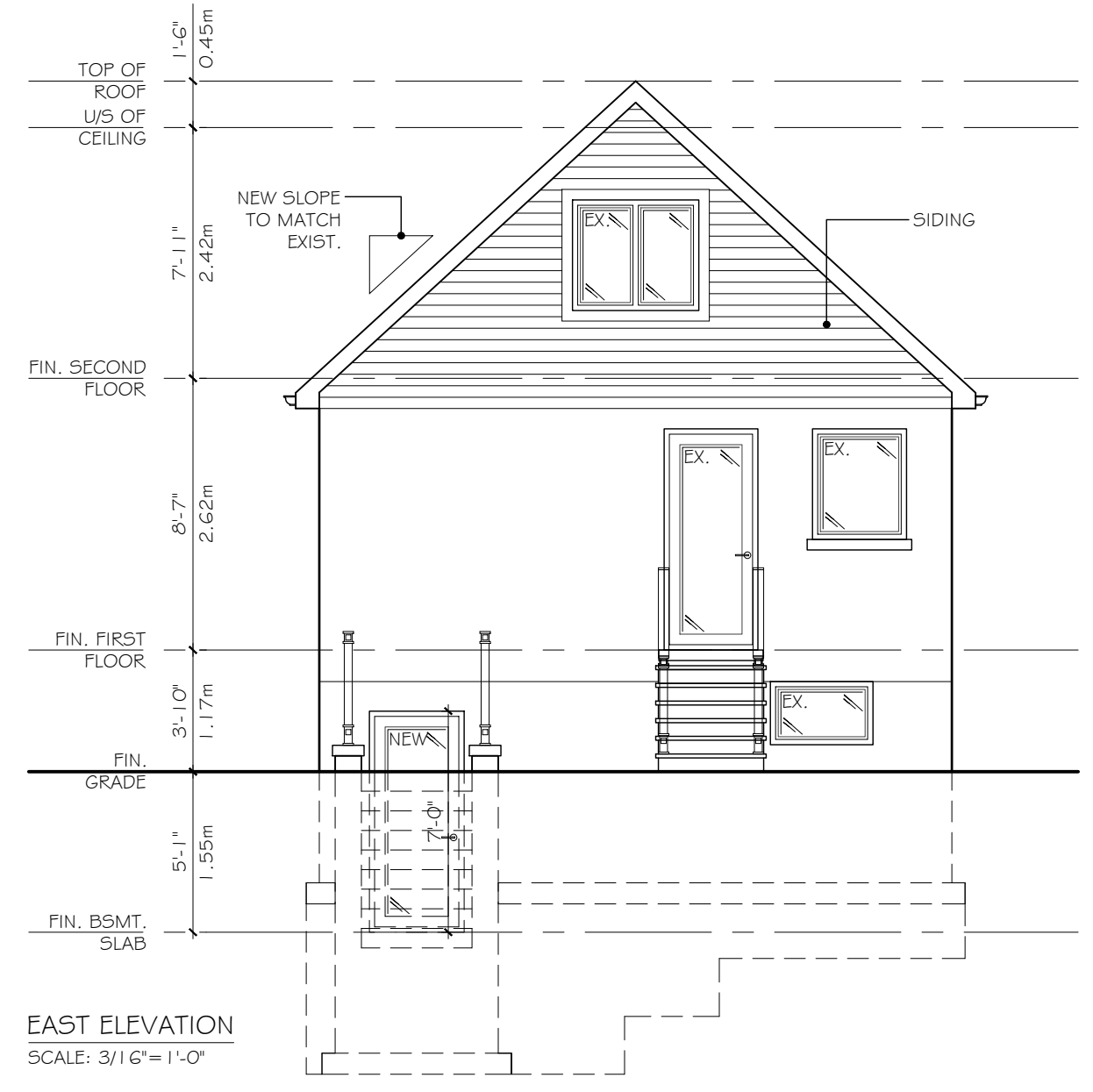
Owner:

Andrew Edwards
38 Sewell Drive
Oakville, ON

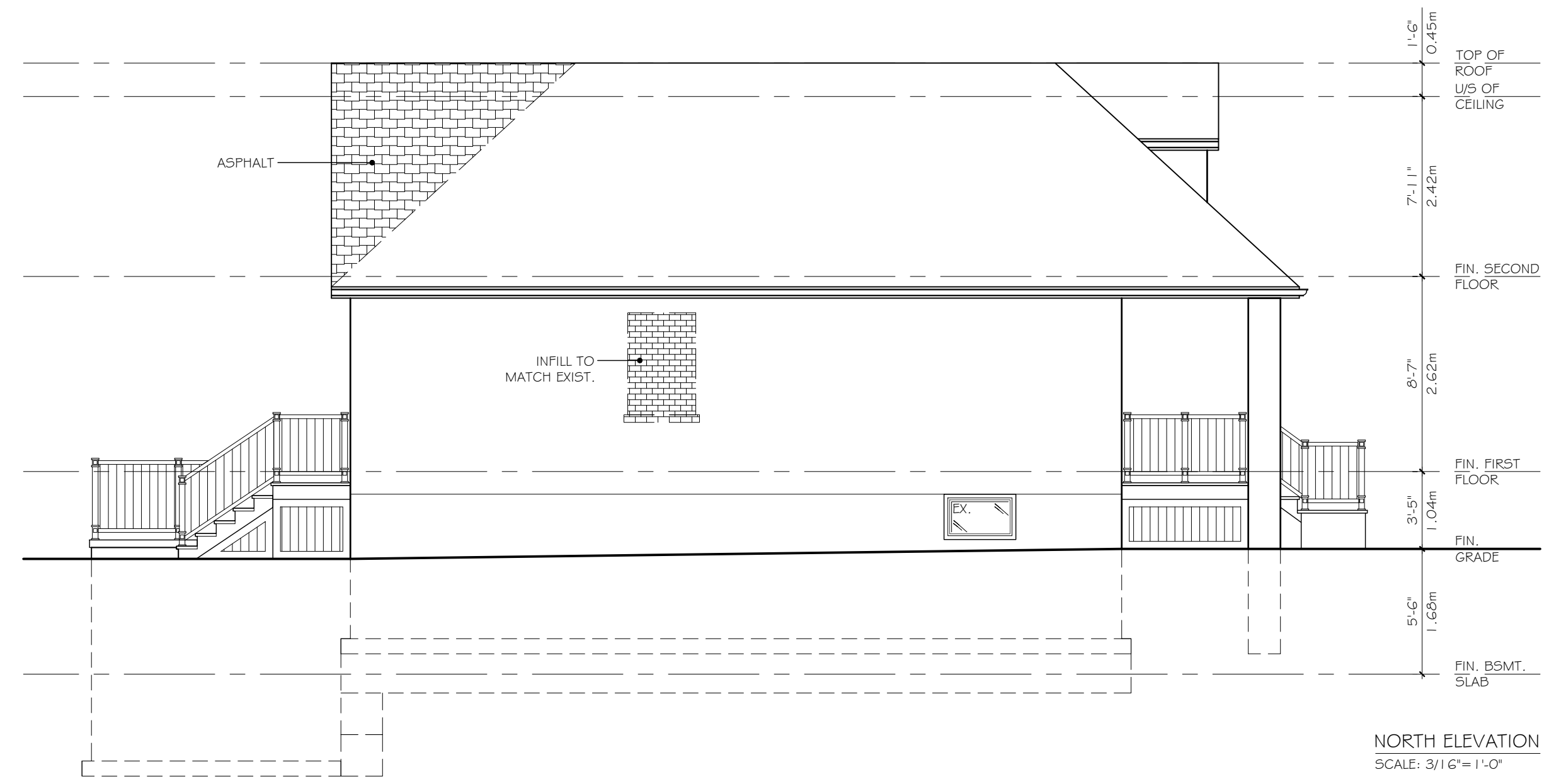
Project: Prop. 2nd Unit, Int.
Alt., Bsmt. Walkout
& Porches
23 Cline Ave. S.
Hamilton, ON

Drawing Title:
**Second Floor
Plan**

Drawn:	Date: 2020.10.18
Checked:	Scale: 1/4" = 1'-0"
File No:	Drawing No: A1.06
Project No:	






EAST ELEVATION
SCALE: 3/16" = 1'-0"



NORTH ELEVATION
SCALE: 3/16" = 1'-0"

MECHANICAL NOTES

-  MECHANICAL EXHAUST VENT
-  SMOKE ALARM
-  CARBON MONOXIDE ALARM

No.	Date	Revision	Int.

Consultant:

Owner:

Andrew Edwards
38 Sewell Drive
Oakville, ON

Project: Prop. 2nd Unit, Int. Alt., Bsmt. Walkout & Porches
23 Cline Ave. S.
Hamilton, ON

Drawing Title:
East & North Elevations

Drawn:
Checked:
File No:
Project No:

Date:
2020.10.18
Scale:
3/16" = 1'-0"
Drawing No:
A2.02

EXCAVATION AND BACKFILL
EXCAVATION SHALL BE UNDERTAKEN IN SUCH A MANNER SO AS TO PREVENT DAMAGE TO EXISTING STRUCTURES ADJACENT PROPERTY AND UTILITIES. THE TOPSOIL AND VEGETABLE MATTER IN UNEXCAVATED AREAS UNDER A BUILDING SHALL BE REMOVED.
THE BOTTOM OF EXCAVATIONS FOR FOUNDATIONS SHALL BE FREE OF ALL ORGANIC MATERIAL. IF TERMITES ARE KNOWN TO EXIST, ALL STUMPS, ROOTS AND WOOD DEBRIS SHALL BE REMOVED TO A MINIMUM DEPTH OF 11 3/4" IN EXCAVATED AREAS UNDER A BUILDING, AND THE CLEARANCE BETWEEN UNTREATED STRUCTURAL WOOD ELEMENTS AND THE GROUND SHALL BE NO LESS 17 3/4".
BACKFILL WITHIN 23 5/8" OF THE FOUNDATION WALLS SHALL BE FREE OF DELETERIOUS DEBRIS AND BOULDERS OVER 9 7/8" IN DIAMETER.

DAMP-PROOFING AND DRAINAGE
IN NORMAL SOIL CONDITIONS, THE EXTERIOR SURFACES OF FOUNDATION WALLS ENCLOSING BASEMENTS AND CRAWL SPACES SHALL BE DAMP-PROOFED.

WHERE HYDROSTATIC PRESSURE OCCURS, A WATERPROOFING SYSTEM IS REQUIRED.
MASONRY FOUNDATION WALL SHALL BE PARGED WITH 1/4" OF MORTAR COVERED OVER FOOTING PRIOR TO DAMP-PROOFING.

4" FOUNDATION DRAINS SHALL BE LAID ON LEVEL, UNDISTURBED GROUND ADJACENT TO THE FOOTINGS AT OR BELOW THE TOP OF THE BASEMENT SLAB OR CRAWL SPACE FLOOR, AND SHALL BE COVERED WITH 6" OF CRUSHED STONE.

FOUNDATION DRAINS SHALL DRAIN TO A STORM SEWER, DRAINAGE DITCH, DRY WELL, OR SUMP. WINDOW WELLS SHALL BE DRAINED TO THE FOOTING. DOWNSPOUTS NOT DIRECTLY CONNECTED TO A STORM SEWER SHALL HAVE EXTENSIONS TO CARRY WATER AWAY FROM THE BUILDING, AND PROVISIONS SHALL BE MADE TO PREVENT SOIL EROSION.

CONCRETE SLABS IN ATTACHED GARAGES SHALL BE SLOPED TO DRAIN TO THE EXTERIOR.
THE BUILDING SITE SHALL BE GRADED SO THAT SURFACE, SUMP, AND ROOF DRAINAGE WILL NOT ACCUMULATE AT OR NEAR THE BUILDING AND WILL NOT ADVERSELY AFFECT ADJACENT PROPERTIES.

FOOTINGS
MINIMUM 2200 PSI Poured CONCRETE, MINIMUM 48" BELOW FINISHED GRADE.

FOOTING SHALL BE COMPACTED GRANULAR FILL WITH MINIMUM BEARING CAPACITY OF 1570 PSI.

FOOTING SIZE	SUPPORTING EXT. WALL	SUPPORTING INT. WALL	COLUMN AREA
FLOORS SUPPORTED			
1	9 7/8"	9 7/8"	4.3 FT ²
2	13 3/4"	13 3/4"	8.1 FT ²
3	17 3/4"	19 3/4"	10.9 FT ²

INCREASE FOOTING WIDTH BY 2 5/8" FOR EACH STOREY OF BRICK VENEER SUPPORTED, AND BY 5 1/8" FOR EACH STOREY OF MASONRY.

THE PROJECTION OF AN UNREINFORCED FOOTING BEYOND THE WALL SUPPORTED SHALL NOT BE GREATER THAN ITS THICKNESS.

WHERE THE TOTAL COMBINED SUPPORTED SPAN EXCEEDS 16'-1" THE FOOTINGS SHALL BE SIZED IN ACCORDANCE WITH SG 10.

STEP FOOTINGS
VERTICAL RISE 23 5/8" MAX.
FOR FIRM SOILS HORIZONTAL RUN=23 5/8" MIN.

FOUNDATION WALLS
TO BE Poured CONCRETE, UNIT MASONRY OR PRESERVED WOOD (SEE DRAWINGS FOR TYPE AND THICKNESS).

DAMP-PROOFING SHALL BE A HEAVY COAT OF BITUMINOUS MATERIAL.
FOUNDATION WALL TO EXTEND MINIMUM 5 7/8" ABOVE FINISHED GRADE.

A DRAINAGE LAYER IS REQUIRED ON THE OUTSIDE OF A FOUNDATION WALL WHERE THE INTERIOR INSULATION EXTENDS MORE THAN 2'-1 1/2" BELOW EXTERIOR GRADE.
A DRAINAGE LAYER SHALL CONSIST OF

MIN. 3/4" MINERAL FIBRE INSULATION WITH MIN. DENSITY OF 3.6 LB/FT³ MIN. 4" OF FREE DRAINAGE GRANULAR MATERIAL, OR AN APPROVED SYSTEM WHICH PROVIDES EQUIVALENT PERFORMANCE.

FOUNDATION WALL SHALL BE BRACED OR HAVE THE FLOOR JOISTS INSTALLED BEFORE BACKFILLING.
WHERE FOUNDATION WALLS SHALL BE TIED TO EXISTING FOUNDATION WALLS, USE 10M BARS @ 12" O.C. GROUTED MIN. 6" INTO EXISTING MASONRY.
A WATERTIGHT JOINT MUST BE ENSURED WHERE FOUNDATION CONTAINS LIVING SPACE - JOINT TO BE CAULKED AS REQUIRED.

CONCRETE FLOOR SLABS
GARAGE, CARPORT AND EXTERIOR SLABS AND EXTERIOR STEPS SHALL BE 4650 PSI CONCRETE WITH 5-8% AIR ENTRAINMENT.
OTHER SLABS 3600 PSI CONCRETE.
MINIMUM 3" THICK, PLACED ON A MINIMUM 4" OF COURSE, CLEAN GRANULAR MATERIAL.
ALL FILL OTHER THAN COARSE CLEAN MATERIAL PLACED BENEATH CONCRETE SLABS SHALL BE COMPACTED TO PROVIDE UNIFORM SUPPORT.

MASONRY WALLS
WHERE CONSTRUCTED OF 3 1/2" BRICK, WALL SHALL BE BONDED WITH HEADER COURSE EVERY 6TH COURSE.
PROVIDE 2" SOLID MASONRY OR CONTINUOUS 1 1/2" PLATE UNDER ALL ROOF AND FLOOR FRAMING MEMBERS.

MASONRY WALL TO BE TIED TO EACH TIER OF JOISTS WITH 1 9/16" x 3/16" CORROSION RESISTANT STEEL STRAPS, KEYED MINIMUM 4" INTO MASONRY.

WHEN JOISTS ARE PARALLEL TO WALL, TIES ARE TO EXTEND ACROSS AT LEAST 3 JOISTS @ 6'-7" O.C. INSIDE BACK OF WALL TO BE PARGED AND COVERED WITH NO. 15 BREATHER-TYPE ASPHALT PAPER.
FOR REDUCED FOUNDATION WALLS TO ALLOW A BRICK FACING WHILE MAINTAINING LATERAL SUPPORT, TIE MINIMUM 3 1/2" BRICK TO MINIMUM 3 1/2" BACK-UP BLOCK WITH CORROSION RESISTANT TIES AT 0.028IN² IN CROSS SECTIONAL AREA, SPACED 7 7/8" VERTICALLY AND 2'-1 1/2" HORIZONTALLY WITH JOISTS COMPLETELY FILLED WITH MORTAR.

MASONRY OVER OPENINGS SHALL BE SUPPORTED ON CORROSION RESISTANT OR PRIME PAINTED STEEL LINTELS WITH A MINIMUM OF 5 7/8" END BEARING.

MASONRY VENEER
MINIMUM 2 3/4" THICK IF JOINTS ARE NOT RAKED AND 3 1/2" THICK IF JOISTS ARE RAKED MINIMUM 1" AIR SPACE TO SHEATHING.

PROVIDE WEEP HOLES @ 31 1/2" O.C. AT THE BOTTOM OF THE CAVITY AND OVER DOORS AND WINDOWS.
DIRECT DRAINAGE THROUGH WEEP HOLES WITH 21 MIL POLY FLASHING EXTENDING MINIMUM 5 7/8" UP BEHIND SHEATHING PAPER.

VENEER TIES MINIMUM 0.030" THICK x 7/8" WIDE CORROSION RESISTANT STRAPS SPACED 23 5/8" VERTICALLY AND 15 3/4" HORIZONTALLY.
FASTEN TIES WITH CORROSION RESISTANT 0.125" DIAMETER SCREWS OR SPIRAL NAILS WHICH PENETRATE AT LEAST 1 3/16" INTO STUDS

WOOD FRAME CONSTRUCTION
ALL LUMBER SHALL BE SPRUCE-PINE-FIR NO. 2 OR BETTER, AND SHALL BE IDENTIFIED BY A GRADE STAMP. MAXIMUM MOISTURE CONTENT 19% AT TIME OF INSTALLATION.
WOOD FRAMING MEMBERS WHICH ARE SUPPORTED ON CONCRETE IN DIRECT CONTACT WITH SOIL SHALL BE SEPERATED FROM THE CONCRETE WITH 6 MIL POLYETHYLENE.

WALLS
EXTERIOR WALLS SHALL CONSIST OF,
CLADDING
3/8" FIBREBOARD OR GYPSUM BOARD OR 1/4" PLYWOOD SHEATHING
2"x6" STUDS @ 16" O.C.
2"x6" BOTTOM PLATE AND DOUBLE 2"x6" TOP

PLATE
2"x4" STUDS @ 16" O.C. CAN BE UTILIZED PROVIDED THE COMBINED R VALUE OF THE BATT INSULATION AND EXTERIOR RIGID INSULATION ACHIEVES R-19.
INTERIOR WALLS SHALL CONSIST OF,
2"x4" STUDS @ 16" O.C.
2"x4" BOTTOM PLATE AND DOUBLE 2"x4" TOP PLATE
2"x4" MID-GIRTS IF NOT SHEATHED
1/2" GYPSUM BOARD SHEATHING

FLOORS
JOISTS TO HAVE MINIMUM 1 1/2" OF END BEARING. JOISTS SHALL BEAR ON A SILL PLATE FIXED TO FOUNDATION WITH 1/2" ANCHOR BOLTS @ 7'-10" O.C. HEADER JOISTS BETWEEN 3'-1 1/2" AND 10'-6" IN LENGTH SHALL BE DOUBLED.

HEADER JOISTS EXCEEDING 10'-6" SHALL BE SIZED BY CALCULATIONS.
TRIMMER JOISTS SHALL BE DOUBLED WHEN SUPPORTED HEADER IS BETWEEN 2'-1 1/2" AND 6'-7".
TRIMMER JOISTS SHALL BE SIZED BY CALCULATION WHEN SUPPORTED HEADER EXCEEDS 6'-1 1/2"
2"x2" CROSS BRIDGING REQUIRED NOT MORE THAN 6'-1 1/2" FROM EACH SUPPORT AND FROM OTHER ROWS OF BRIDGING.
JOISTS SHALL BE SUPPORTED ON JOIST HANGERS AT ALL FLUSH BEAMS, TRIMMERS, AND HEADERS.
JOISTS LOCATED UNDER PARALLEL NON-LOADBEARING PARTITIONS SHALL BE DOUBLED.

ROOF AND CEILINGS
HIP AND VALLEY RAFTER SHALL BE 2" DEEPER THAN COMMON RAFTERS.
2"x4" COLLAR TIES @ RAFTER SPACING WITH 1"x4" CONTINUOUS BRACE AT MID SPAN IF COLLAR TIE EXCEED 7'-10" IN LENGTH.
SEE 504 FOR ROOF SHEATHING REQUIREMENTS.

NOTCHING AND DRILLING OF TRUSSES, JOISTS, RAFTERS
HOLES IN FLOOR, ROOF, AND CEILING MEMBERS TO BE MAXIMUM 1/4" X ACTUAL DEPTH OF MEMBER AND NOT LESS THAN 2" FROM EDGES.
NOTCHES IN FLOOR, ROOF, AND CEILING MEMBERS TO BE LOCATED ON TOP OF THE MEMBER WITHIN 1/2 THE ACTUAL DEPTH FROM THE EDGE BEARING AND NOT GREATER THAN 1/3 JOIST DEPTH.
WALL STUDS MAY BE NOTCHED OR DRILLED PROVIDED THAT NO LESS THAN 2/3 THE DEPTH OF THE STUD REMAINS.

IF LOAD BEARING AND 1 9/16" IF NON-LOAD BEARING.
ROOF TRUSS MEMBERS SHALL NOT BE NOTCHED, DRILLED OR WEAKENED UNLESS ACCOMMODATED IN THE

ROOFING
FASTENERS FOR ROOFING SHALL BE CORROSION RESISTANT.
ROOFING NAILS SHALL PENETRATE THROUGH AT LEAST 1/2" INTO ROOF SHEATHING.
EVERY ASPHALT SHINGLE SHALL BE FASTENED WITH AT LEAST 4 NAILS.

EAVE PROTECTION SHALL EXCEED 2'-1 1/2" UP THE ROOF SLOPE FROM THE EDGE, AND AT LEAST 1 1/4" FROM THE INSIDE FACE OF THE EXTERIOR WALL, AND SHALL CONSIST OF TYPE M OR TYPE 5 ROLL ROOFING LAID WITH MINIMUM 4" HEAD AND END LAPS CEMENTED TOGETHER, OR GLASS FIBRE OR POLYESTER FIBRE COATED BASE SHEETS, OR SELF SEALING COMPOSITE MEMBRANES CONSISTING OF MODIFIED BITUMINOUS COATED MATERIAL.

EAVE PROTECTION IS NOT REQUIRED FOR UNHEATED BUILDINGS, FOR ROOFS EXCEEDING A SLOPE OF 8 IN 12, OR WHERE A LOW SLOPE ASPHALT SHINGLE APPLICATION IS PROVIDED.
OPEN VALLEYS SHALL BE FLASHED WITH 2 LAYERS OF ROLL ROOFING, OR 1 LAYER OF SHEET METAL MIN. 23 5/8" WIDE.
FLASHING SHALL BE PROVIDED AT THE INTERSECTION OF SHINGLE ROOFS WITH EXTERIOR WALLS AND CHIMNEYS.

SHEET METAL FLASHING SHALL CONSIST OF NOT LESS THAN 1/16" SHEET LEAD, 0.013 GALVANIZED STEEL, 0.018" COPPER, 0.018" ZINC, OR 0.019" ALUMINUM.

NATURAL VENTILATION
EVERY ROOF SPACE ABOVE AND INSULATED CEILING SHALL BE VENTILATED WITH UNOBSTRUCTED OPENINGS EQUAL TO, NOT LESS THAN 1/300 OF INSULATED AREA INSULATED.

ROOF SPACES NOT INCORPORATING AN ATTIC SHALL BE VENTILATED WITH UNOBSTRUCTED OPENINGS EQUAL TO NOT LESS THAN 1/150 OF INSULATED AREA.
ROOF VENTS SHALL BE UNIFORMLY DISTRIBUTED AND DESIGNED TO PREVENT THE ENTRY OF RAIN, SNOW, OR INSECTS.

UNHEATED CRAWL SPACES SHALL BE PROVIDED WITH 1.1 FT² OF VENTILATION FOR EACH 53FT² MINIMUM.
NATURAL VENTILATION AREAS, WHERE MECHANICAL VENTILATION IS NOT PROVIDED, ARE

BATHROOMS	0.097 FT ²
OTHER ROOMS	3 FT ²
UNFINISHED BASEMENT	0.2% OF FLR. AREA.

INSULATION AND WEATHERPROOFING
ZONE 1

COMPLIANCE PACKAGE "J" FURNACE TO BE 94% EFFICIENT.

INSULATION SHALL BE PROTECTED WITH GYPSUM BOARD OR AN EQUIVALENT INTERIOR FINISH, EXCEPT FOR UNFINISHED BASEMENTS WHERE 6 MIL POLY IS SUFFICIENT FOR FIBREGLASS TYPE INSULATIONS.
DUCTS PASSING THROUGH UNHEATED SPACE SHALL BE MADE AIRTIGHT WITH TAPE OR SEALANT.
CAULKING SHALL BE PROVIDED FOR ALL EXTERIOR DOORS AND WINDOWS BETWEEN THE FRAME AND THE EXTERIOR CLADDING.

WEATHERSTRIPPING SHALL BE PROVIDED ON ALL DOORS AND ACCES HATCHES TO THE EXTERIOR, EXCEPT DOORS FROM A GARAGE TO THE EXTERIOR.
EXTERIOR WALLS, CEILING, AND FLOORS SHALL BE CONSTRUCTED SO AS TO PROVIDE A CONTINUOUS BARRIER TO THE PASSAGE OF WATER VAPOUR, FROM THE INTERIOR AND TO THE LEAKAGE OF AIR FROM THE EXTERIOR.

COMPONENT	ZONE 1
CEILING WITH ATTIC SPACE	10.56
MINIMUM RSI (R) - VALUE	(R-60)
CEILING WITHOUT ATTIC SPACE	5.46
MINIMUM RSI (R) - VALUE	(R-31)
EXPOSED FLOOR	5.46
MINIMUM RSI (R) - VALUE	(R-31)
WALLS ABOVE GRADE	3.34+0.88ci
MINIMUM RSI (R) - VALUE	(19+5ci)
BASEMENT WALLS	3.52ci
MINIMUM RSI (R) - VALUE	(20ci)
BELOW GRADE SLAB	
ENTIRE SURFACE >600mm BELOW GRADE	- - -
MINIMUM RSI (R) - VALUE	
EDGE OF BELOW GRADE SLAB < 600mm BELOW GRADE	1.76
MINIMUM RSI (R) - VALUE	(R-10)
HEATED SLAB OR SLAB < 600mm BELOW GRADE	1.76
MINIMUM RSI (R) - VALUE	(R-10)
WINDOWS AND SLIDING GLASS DOORS	1.6
MAXIMUM U-VALUE	0.28

COLUMNS, BEAMS AND LINTELS STEEL BEAMS AND COLUMNS SHALL BE SHOP PRIMED.
MINIMUM 3 1/2" END BEARING FOR WOOD AND STEEL BEAMS WITH 7 7/8" SOLID MASONRY BENEATH BEAM. STEEL COLUMNS TO HAVE MINIMUM OUTSIDE DIAMETER OF 2 7/8" AND MINIMUM WALL THICKNESS OF 3/16".
WOOD COLUMNS FOR CARPORTS AND GARAGES SHALL BE MINIMUM 3 1/2" x 3 1/2"; IN ALL OTHER CASES EITHER 5 1/2" x 5 1/2" OR 7 1/4" ROUND, UNLESS CALCULATIONS BASED ON ACTUAL LOADS SHOW LESSER SIZES ARE ADEQUATE.
ALL COLUMNS SHALL BE NOT LESS THAN THE WIDTH OF THE SUPPORTING MEMBER.
MASONRY COLUMNS SHALL BE MINIMUM OF 11 3/8" x 11 3/8" OR 9 1/2" x 15". PROVIDE SOLID BLOCKING THE FULL WIDTH OF THE SUPPORTED MEMBER UNDER ALL CONCENTRATED LOADS

CERAMIC TILE
WHEN CERAMIC TILE APPLIED TO A MORTAR BED WITH ADHESIVE, THE BED SHALL BE A MINIMUM OF 1/2" THICK & REINFORCED WITH GALVANIZED DIAMOND MESH LATH, APPLIED OVER POLYETHYLENE ON SUBFLOORING ON JOISTS AT NO MORE THAN 16" O.C. WITH AT LEAST 2 ROWS CROSS BRIDGING.

ACCESS TO ATTICS AND CRAWL SPACES
ACCESS HATCH MINIMUM 19 3/4" x 2'-4" TO BE PROVIDED TO EVERY CRAWL SPACE AND EVERY ROOF SPACE WHICH IS 108FT² OR MORE IN AREA AND MORE THAN 23 5/8" IN HEIGHT.

GARAGE GASPROOFING
THE WALLS AND CEILING OF AN ATTACHED GARAGE SHALL BE CONSTRUCTED AND SEALED AS TO PROVIDE AN EFFECTIVE BARRIER TO EXHAUST FUMES.
ALL PLUMBING AND OTHER PENETRATIONS THROUGH THE WALLS AND CEILING SHALL BE CAULKED.
DOORS BETWEEN DWELLING AND ATTACHED GARAGE MAY NOT OPEN INTO A BEDROOM AND SHALL BE WEATHERSTRIPPED AND HAVE A SELF-CLOSER.

ALARMS AND DETECTORS
AT LEAST 1 SMOKE ALARM SHALL BE INSTALLED ON OR NEAR THE CEILING ON EACH FLOOR AND BASEMENT LEVEL, 2'-1 1/2" OR MORE ABOVE AN ADJACENT LEVEL.
SMOKE ALARMS SHALL BE INTERCONNECTED AND LOCATED SUCH THAT ONE IS WITHIN 16'-5" OF EVERY BEDROOM FLOOR AND NO MORE THAN 49'-3" TRAVEL DISTANCE FROM ANY POINT ON A FLOOR.
A CARBON MONOXIDE DETECTOR SHALL BE INSTALLED ON OR NEAR THE CEILING IN EVERY ROOM CONTAINING A SOLID FUEL BURNING FIREPLACE OR STOVE.

STAIRS	
MAXIMUM RISE	7 7/8"
MINIMUM RUN	8 1/4"
MINIMUM TREAD	9 1/4"
MINIMUM HEAD ROOM	6'-5"
MINIMUM WIDTH	2'-10"

CURVED STAIRS SHALL HAVE A MIN. RUN OF 5 7/8" AT ANY POINT AND A MINIMUM AVERAGE RUN OF 7 7/8".

WINDERS WHICH CONVERGE TO A POINT IN STAIRS MUST TURN THROUGH AN ANGLE NO MORE THAN 90°, WITH NO LESS THAN 30° OR MORE THAN 45° PER TREAD.

SETS OF WINDERS MUST BE SEPARATED BY 3'-1 1/2" ALONG THE RUN OF THE STAIR. A LANDING MINIMUM 2'-1 1/2" IN LENGTH IS REQUIRED AT THE TOP OF ANY STAIR LEADING TO THE PRINCIPAL ENTRANCE TO A DWELLING, AND OTHER ENTRANCES WITH MORE THAN 3 RISERS.
EXTERIOR CONCRETE STAIRS WITH MORE THAN 2 RISERS REQUIRE FOUNDATIONS.

ELECTRICITY AN EXTERIOR LIGHT CONTROLLED BY AN INTERIOR SWITCH IS REQUIRED AT EVERY ENTRANCE. A LIGHT CONTROLLED BY A SWITCH IS REQUIRED IN EVERY KITCHEN, BEDROOM, LIVING ROOM, BATHROOM, VESTIBULE, HALLWAY, GARAGE AND CARPORT. A SWITCHED RECEPTACLE MAY BE PROVIDED INSTEAD OF A LIGHT IN BEDROOMS AND LIVING ROOMS.
STAIRS SHALL BE LIGHTED AND EXCEPT WHERE SERVING AN UNFINISHED BASEMENT SHALL BE CONTROLLED BY A 3 WAY SWITCH AT THE HEAD AND FOOT OF THE STAIRS. BASEMENTS REQUIRE A LIGHT FOR EACH 323FT², CONTROLLED BY A SWITCH AT THE HEAD OF THE STAIRS.

DOORS AND WINDOWS EVERY FLOOR LEVEL CONTAINING A BEDROOM AND NOT SERVED BY AN EXTERIOR DOOR SHALL CONTAIN AT LEAST 1 WINDOWS HAVING AND UNOBSTRUCTED OPEN AREA OF 3.8 FT² AND NO DIMENSION LESS THAN 15", WHICH IS OPERABLE FROM THE INSIDE WITHOUT TOOLS.
EXTERIOR HOUSE DOORS AND WINDOWS WITH 6'-7" FROM GRADE SHALL BE CONSTRUCTED TO RESIST FORCED ENTRY.
DOORS SHALL HAVE A DEADBOLT LOCK. THE PRINCIPAL ENTRY DOOR SHALL HAVE EITHER A DOOR VIEWER, TRANSPARENT GLAZING OR A SIDELIGHT.

MECHANICAL VENTILATION
A MECHANICAL VENTILATION SYSTEM IS REQUIRED WITH A TOTAL CAPACITY AT LEAST EQUAL TO THE SUM OF

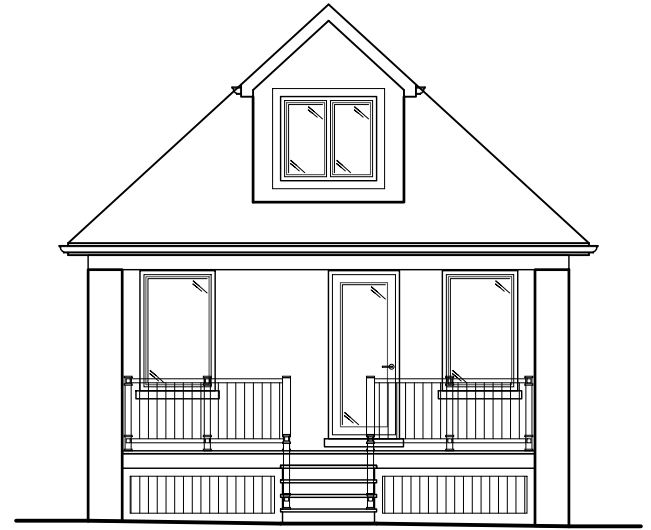
10 CFM EACH FOR BASEMENT AND MASTER BEDROOM
5 CFM FOR EACH OTHER ROOM

A PRINCIPAL DWELLING EXHAUST FAN SHALL BE INSTALLED AND CONTROLLED BY A CENTRALLY LOCATED SWITCH IDENTIFIED AS SUCH. SUPPLEMENTAL EXHAUST SHALL BE INSTALLED SO THAT THE TOTAL CAPACITY OF ALL KITCHEN, BATHROOM, AND OTHER EXHAUSTS, LESS THE PRINCIPAL EXHAUST, IS NOT LESS THAN THE TOTAL REQUIRED CAPACITY.

A HEAT RECOVERY VENTILATOR MAY BE EMPLOYED IN LIEV OF EXHAUST TO PROVIDE VENTILATION. AN HRV IS REQUIRED IF ANY SOLID FUEL BURNING APPLIANCES ARE INSTALLED. SUPPLY AIR INTAKES SHALL BE LOCATED SO AS TO AVOID CONTAMINATION FROM EXHAUST OUTLETS.

PLUMBING EVERY DWELLING REQUIRES A KITCHEN SINK, LAVATORY, WATER CLOSET, BATHTUB, OR SHOWER STALL, AND THE INSTALLATION OR AVAILABILITY OF LAUNDRY FACILITIES.
A FLOOR DRAIN SHALL BE INSTALLED IN THE BASEMENT, AND CONNECTED TO THE SANITARY SEWER WHERE GRAVITY DRAINAGE IS POSSIBLE. IN OTHER CASES, IT SHALL BE CONNECTED TO A STORM DRAINAGE SYSTEM, DITCH OR DRY WELL.

EXTERIOR WALLS NO WINDOWS OR OTHER UNPROTECTED OPENINGS ARE PERMITTED IN EXTERIOR WALL LESS THAN 5'-1 1/2" FROM PROPERTY LINES.
5/8" FIRE RATED DRYWALL SHALL BE INSTALLED ON THE INSIDE FACE OF ATTACHED GARAGE EXTERIOR WALLS AND GABLE ENDS OF ROOFS WHICH ARE LESS THAN 3'-1" FROM PROPERTY LINES.
NON COMBUSTIBLE CLADDING SHALL BE INSTALLED ON ALL EXTERIOR WALLS LESS THAN 23 5/8" FROM PROPERTY LINES.



23 CLINE AVENUE SOUTH
HAMILTON, ONTARIO

MECHANICAL NOTES

- MECHANICAL EXHAUST VENT
- SMOKE ALARM
- CARBON MONOXIDE ALARM

No.	Date	Revision	Init.

Consultant:

Owner:

Andrew Edwards
38 Sewell Drive
Oakville, ON

Project: Prop. 2nd Unit, Int. Alt., Bsmt. Walkout & Porches
23 Cline Ave. S.
Hamilton, ON

Drawing Title:

General Notes

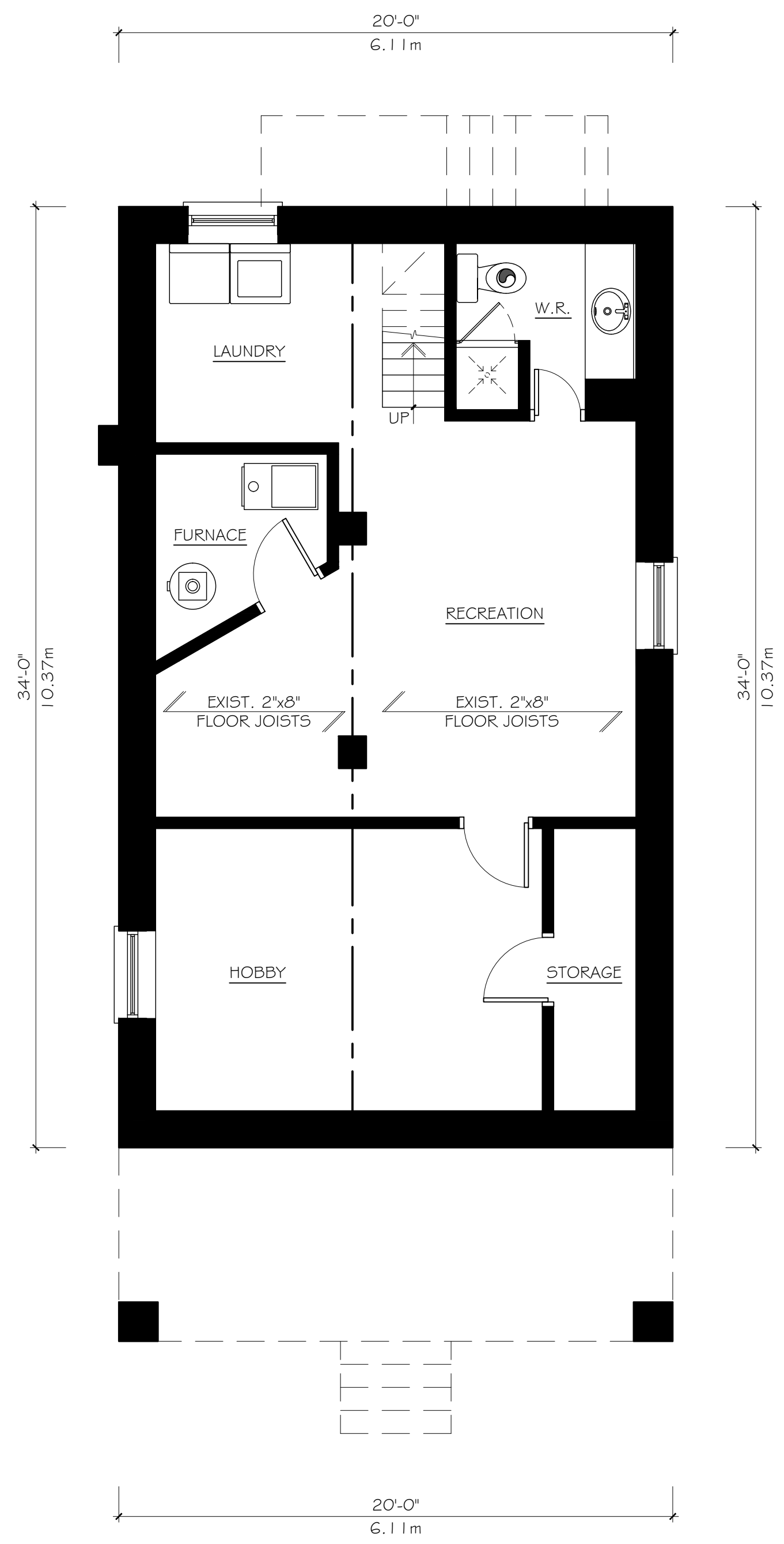
LINTEL SCHEDULE			
Per Table 9.20.5.2.B. and Table A-17 (First and Second Floors)			
LINTEL	BRICK/STONE VENEER	SPAN	
L1	STL. ANGLE	3-1/2"x3-1/2"x1/4"	4'-0"
	WOOD	2-2"x6"	(1.37m)
L2	STL. ANGLE	3-1/2"x3-1/2"x1/4"	5'-0"
	WOOD	2-2"x8"	(1.67m)
L3	STL. ANGLE	3-1/2"x3-1/2"x1/4"	6'-0"
	WOOD	2-2"x10"	(2.04m)
L4	STL. ANGLE	3-1/2"x3-1/2"x5/16"	7'-0"
	WOOD	3-2"x10"	(2.36m)
L5	STL. ANGLE	4"x3-1/2"x1/4"	8'-0"
	WOOD	3-1/2"x9-1/2" LVL 2.OE	(2.43m)
L6	STL. ANGLE	4-7/8"x3-1/2"x3/8"	9'-0" - 10'-0"
	WOOD	3-1/2"x9-1/2" LVL 2.OE	(2.74m-3.04m)
L7	STL. ANGLE	5-7/8"x3-1/2"x1/2"	11'-0" - 12'-0"
		3-1/2"x11-1/2" LVL 2.OE	(3.35m-3.65m)

Drawn: Date: 2020.10.18

Checked: Scale:




File No: Drawing No:

Project No: AO.01



EXIST. BASEMENT FLOOR PLAN
SCALE: 1/4" = 1'-0"

MECHANICAL NOTES

-  MECHANICAL EXHAUST VENT
-  SMOKE ALARM
-  CARBON MONOXIDE ALARM

No.	Date	Revision	Int.

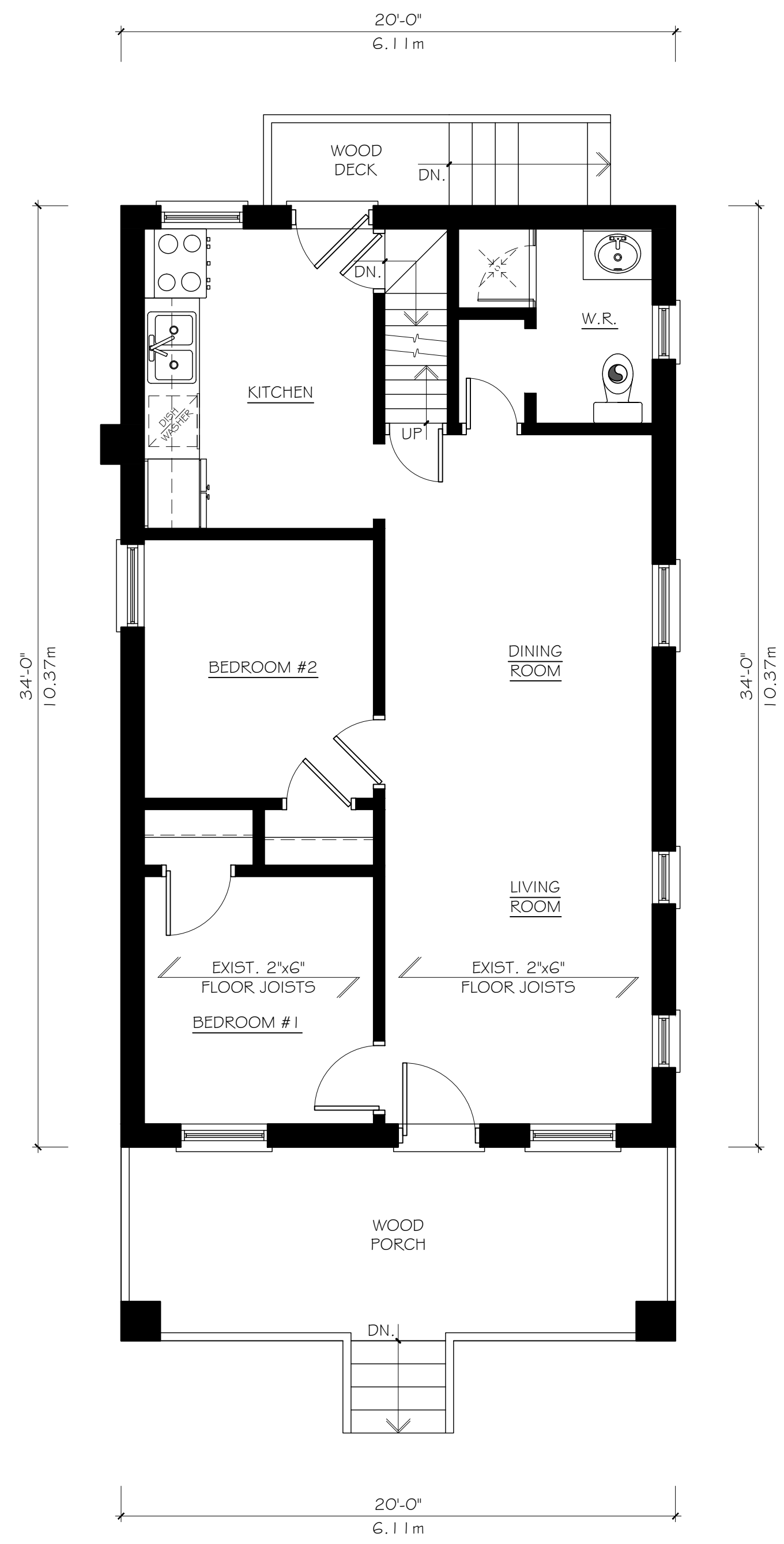
Consultant:

Owner:
Andrew Edwards
38 Sewell Drive
Oakville, ON

Project: Prop. 2nd Unit, Int.
Alt., Bsmt. Walkout
& Porches
23 Cline Ave. S.
Hamilton, ON




Drawing Title:
Exist. Basement
Floor Plan

Drawn:	Date: 2020.10.18
Checked:	Scale: 1/4" = 1'-0"
File No:	Drawing No: A1.01
Project No:	



EXIST. FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

MECHANICAL NOTES

-  MECHANICAL EXHAUST VENT
-  SMOKE ALARM
-  CARBON MONOXIDE ALARM

No.	Date	Revision	Int.

Consultant:

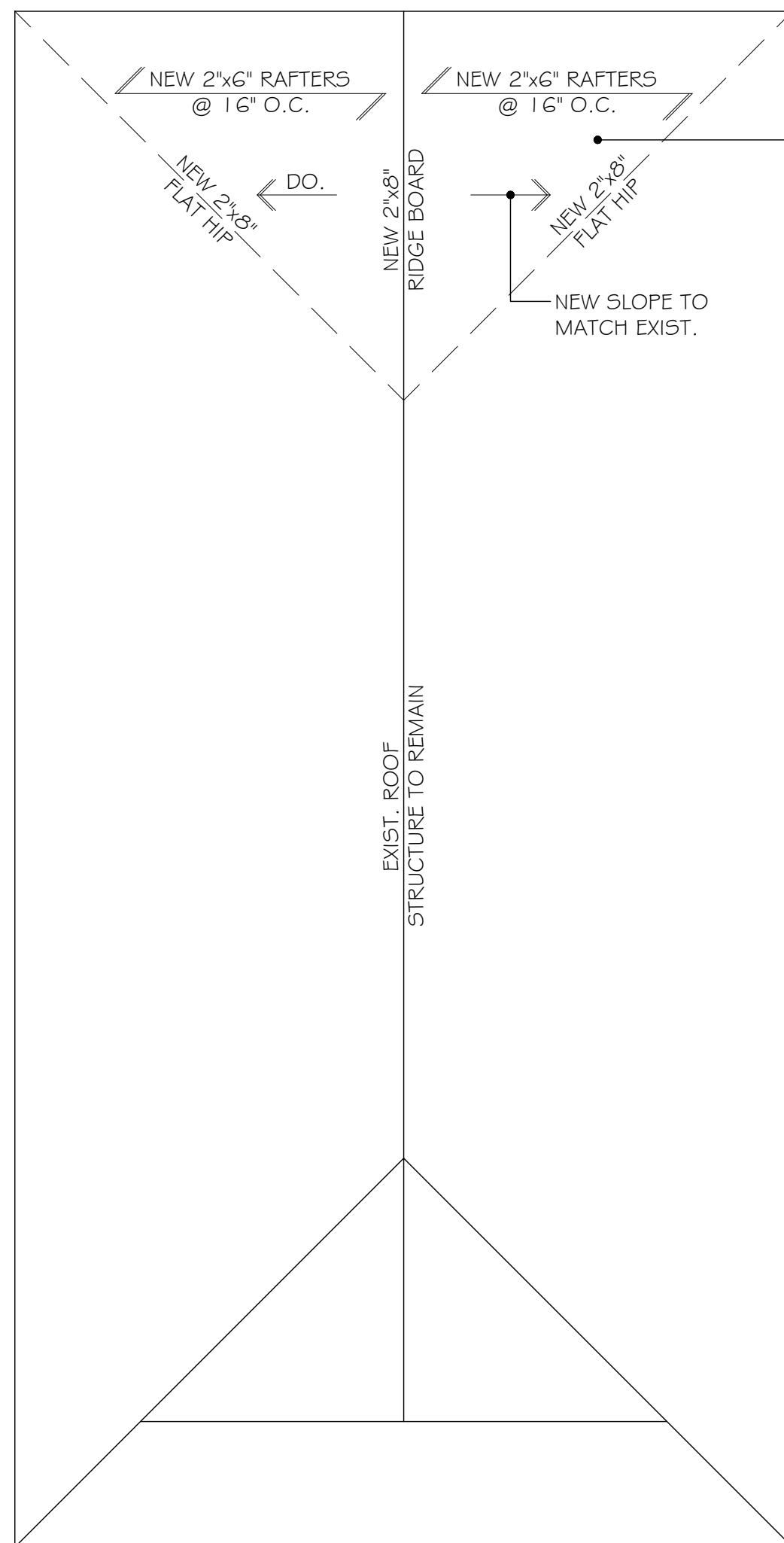
Owner:

Andrew Edwards
38 Sewell Drive
Oakville, ON

Project: Prop. 2nd Unit, Int.
Alt., Bsmt. Walkout
& Porches
23 Cline Ave. S.
Hamilton, ON

Drawing Title:
**Exist. First
Floor Plan**

Drawn:	Date: 2020.10.18
Checked:	Scale: 1/4" = 1'-0"
File No:	Drawing No: A1.02
Project No:	



ASHPHALT SHINGLES ON 3/8" PLYWOOD SHEATHING ON RAFTERS @ 16" O.C. #2 SPR.
 ROOF VENTILATION 1:300 OF THE INSULATED CEILING AREA UNIFORMLY DISTRIBUTED

ROOF PLAN
 SCALE: 1/4" = 1'-0"

☒ INTERCONNECTED SMOKE ALARMS

THE EXISTING HEATING OR AIR CONDITIONING SYSTEM MAY BE ALTERED TO SERVE MORE THAN ONE DWELLING UNIT PROVIDED SMOKE ALARMS ARE INSTALLED IN EACH DWELLING UNIT AND PROVIDED A SMOKE DETECTOR IS INSTALLED IN THE SUPPLY OR RETURN AIR DUCT SYSTEM SERVING THE ENTIRE BUILDING WHICH WOULD TURN OFF THE FUEL SUPPLY AND ELECTRICAL POWER UPON ACTIVATION OF SUCH DETECTORS.

LEGEND:

- ▬ - EXIST. WALL
- - DEMOLISH EXIST.
- ▨ - WALL TYPE B: NEW PARTITION
 2"x4" STUDS @ 16" O.C. W/
 1/2" GYPSUM BOARD ON BOTH SIDES
 (WB)
- ▨ - 2"x4" STUDS @ 16" O.C. 89 mm THICK ABSORPTIVE MATERIAL STC MIN. 50 RESILIENT METAL CHANNELS ON ONE SIDE SPACED AT 600mm O.C. 2 LAYERS OF 1/2" TYPE "X" DRYWALL ON RESILIENT METAL CHANNELS 1 LAYER OF 1/2" TYPE "X" DRYWALL ON THE OTHER SIDE AS PER SB-3 TABLE 1
 (W4d)
- ▨ - SUBFLOOR OF 15.5mm PLYWOOD MIN. -FLOOR JST SPACING MAX. 610mm O.C. -6" ABSORPTIVE MATERIAL IN CAVITY MIN. 50 STC RATING
 -RESILIENT METAL CHANNELS SPACED 610mm O.C. -1 LAYERS OF 15.9mm TYPE "X" GWB.
 (F8d)
- ⊙ - DOOR TYPE A: 45mm THICK SOLID DOOR CONFORMING TO CAN/ULC.-S113. 32" WIDE FIRE RATED DOOR 20 MIN FIRE PROTECTION RATING AS PER TABLE 9.10.13.1 CW SELF CLOSING AND LATCHING DEVICE AND SHALL BE INSTALLED IN CONFORMANCE WITH NFPA 80
 (DA)

MECHANICAL NOTES

- ⊙ MECHANICAL EXHAUST VENT
- ⊙ SMOKE ALARM
- ⊙ CARBON MONOXIDE ALARM

No.	Date	Revision	Int.

Consultant:

Owner:

Andrew Edwards
 38 Sewell Drive
 Oakville, ON

Project: Prop. 2nd Unit, Int. Alt., Bsmt. Walkout & Porches
 23 Cline Ave. S.
 Hamilton, ON

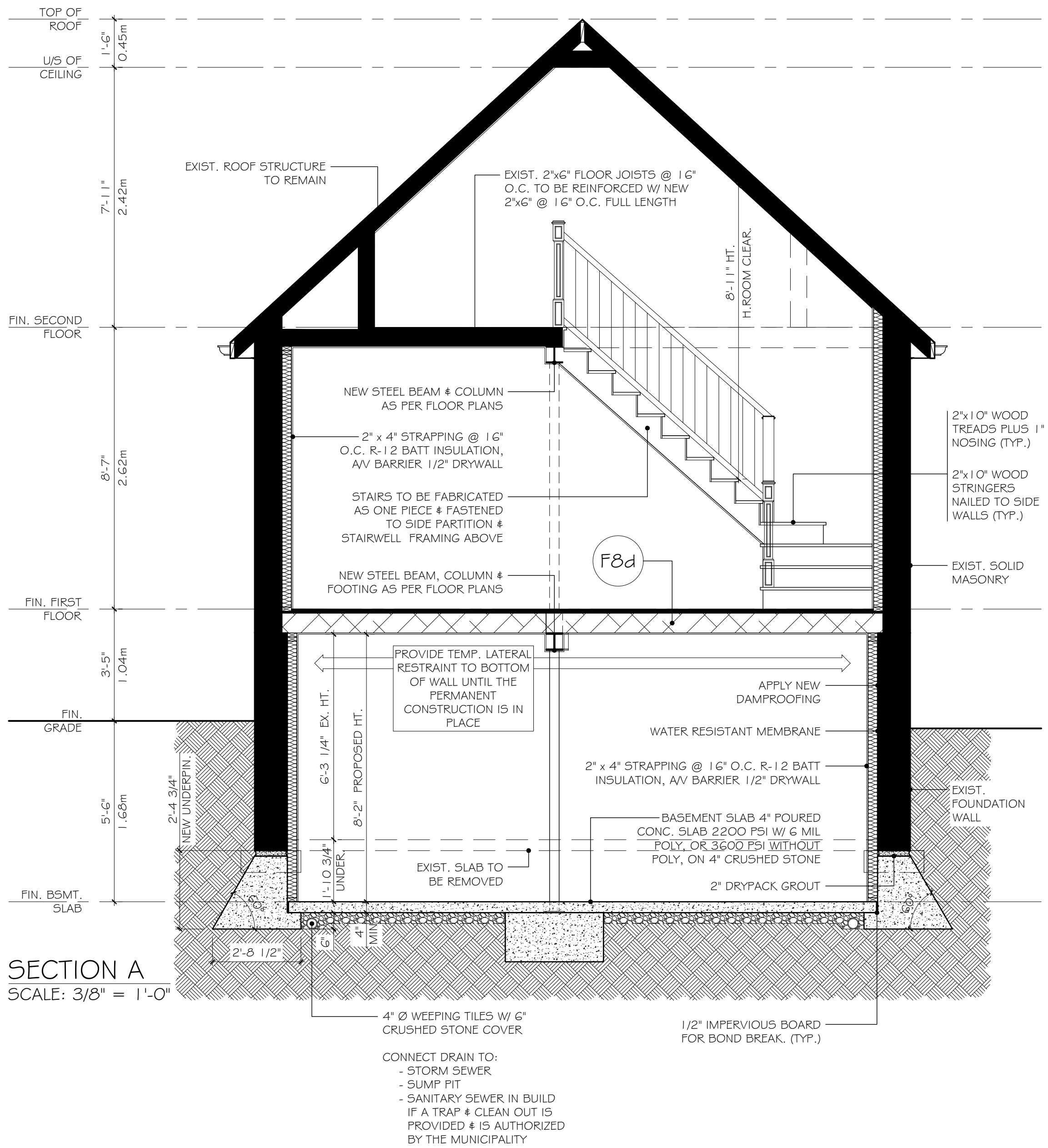
Drawing Title:
Second Floor Plan

Drawn: _____ Date: 2020.10.18

Checked: _____ Scale: 1/4" = 1'-0"

File No: _____ Drawing No:

Project No: **A1.07**



MECHANICAL NOTES

- MECHANICAL EXHAUST VENT
- SMOKE ALARM
- CARBON MONOXIDE ALARM

No.	Date	Revision	Int.

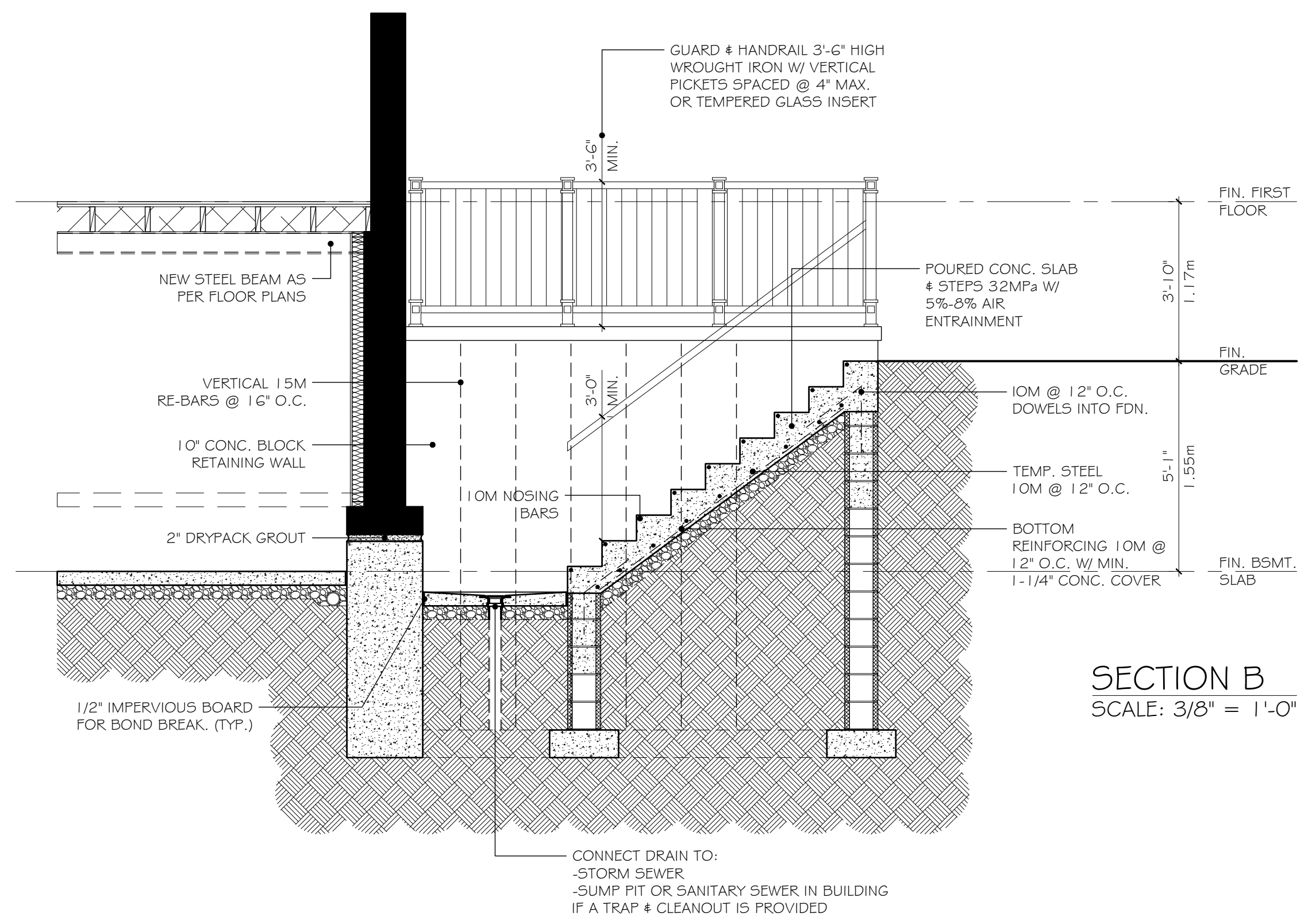
Consultant:

Owner:
 Andrew Edwards
 38 Sewell Drive
 Oakville, ON

Project: Prop. 2nd Unit, Int. Alt., Bsmt. Walkout & Porches
 23 Cline Ave. S.
 Hamilton, ON




Drawing Title:
 Section A

Drawn:	Date: 2020.10.18
Checked:	Scale: 3/8" = 1'-0"
File No:	Drawing No: A4.01
Project No:	



SECTION B
SCALE: 3/8" = 1'-0"

MECHANICAL NOTES

-  MECHANICAL EXHAUST VENT
-  SMOKE ALARM
-  CARBON MONOXIDE ALARM

No.	Date	Revision	Int.

Consultant:

Owner:

Andrew Edwards
38 Sewell Drive
Oakville, ON

Project: Prop. 2nd Unit, Int. Alt., Bsmt. Walkout & Porches
23 Cline Ave. S.
Hamilton, ON

Drawing Title:

Section B

Drawn:	Date: 2020.10.18
Checked:	Scale: 3/8" = 1'-0"
File No:	Drawing No:
Project No:	A4.02



Committee of Adjustment
 City Hall, 5th Floor,
 71 Main St. W.,
 Hamilton, ON L8P4Y5

Phone: (905) 546-2424 ext. 4221
 Email: cofa@hamilton.ca

APPLICATION FOR A MINOR VARIANCE

FOR OFFICE USE ONLY.	
APPLICATION NO. _____	DATE APPLICATION RECEIVED _____
PAID _____	DATE APPLICATION DEEMED COMPLETE _____
SECRETARY'S SIGNATURE _____	

The Planning Act

Application for Minor Variance or for Permission

The undersigned hereby applies to the Committee of Adjustment for the City of Hamilton under Section 45 of the *Planning Act*, R.S.O. 1990, Chapter P.13 for relief, as described in this application, from the Zoning By-law.

1, 2	NAME	ADDRESS	
Registered Owners(s)	Andrew Edwards Thomas Edwards Ralph Edwards	[REDACTED]	Phone: [REDACTED]
			E-mail: [REDACTED]
Applicant(s)*	Andrew Edwards		Phone:
			E-mail:
Agent or Solicitor			Phone:
			E-mail:

Note: Unless otherwise requested all communications will be sent to the agent, if any.

3. Names and addresses of any mortgagees, holders of charges or other encumbrances:
 Scotia Bank-1037 The Queensway, Etobicoke, ON M8Z 6C7

Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled

4. Nature and extent of relief applied for:

To allow for two parking spaces back to back. Allow for multi family dwelling.

5. Why it is not possible to comply with the provisions of the By-law?

Distance between house and property line are not wide enough. Parking lot sizes are larger then what was constructed originally.

6. Legal description and Address of subject lands (registered plan number and lot number or other legal description and where applicable, **street and street number**):

23 cline ave south, L8S1W8
Lot 245

7. PREVIOUS USE OF PROPERTY

Residential Industrial Commercial
Agricultural Vacant

Other _____

- 8.1 If Industrial or Commercial, specify use _____
- 8.2 Has the grading of the subject land been changed by adding earth or other material, i.e. has filling occurred?
Yes No Unknown
- 8.3 Has a gas station been located on the subject land or adjacent lands at any time?
Yes No Unknown
- 8.4 Has there been petroleum or other fuel stored on the subject land or adjacent lands?
Yes No Unknown
- 8.5 Are there or have there ever been underground storage tanks or buried waste on the subject land or adjacent lands?
Yes No Unknown
- 8.6 Have the lands or adjacent lands ever been used as an agricultural operation where cyanide products may have been used as pesticides and/or sewage sludge was applied to the lands?
Yes No Unknown
- 8.7 Have the lands or adjacent lands ever been used as a weapon firing range?
Yes No Unknown
- 8.8 Is the nearest boundary line of the application within 500 metres (1,640 feet) of the fill area of an operational/non-operational landfill or dump?
Yes No Unknown
- 8.9 If there are existing or previously existing buildings, are there any building materials remaining on site which are potentially hazardous to public health (eg. asbestos, PCB's)?
Yes No Unknown

8.10 Is there any reason to believe the subject land may have been contaminated by former uses on the site or adjacent sites?
Yes No Unknown

8.11 What information did you use to determine the answers to 9.1 to 9.10 above?
Age of building materials and work to be completed.

8.12 If previous use of property is industrial or commercial or if YES to any of 9.2 to 9.10, a previous use inventory showing all former uses of the subject land, or if appropriate, the land adjacent to the subject land, is needed.
Is the previous use inventory attached? Yes No

9. **ACKNOWLEDGEMENT CLAUSE**

I acknowledge that the City of Hamilton is not responsible for the identification and remediation of contamination on the property which is the subject of this Application – by reason of its approval to this Application

Jan 18 2021
Date

[Redacted Signature]

Signature Property Owner

Andrew Edwards *Thomas Edwards / Ralph Edwards*
Print Name of Owner

10. Dimensions of lands affected:
Frontage 30 feet
Depth 100 feet
Area 3000
Width of street 24 feet 4 inches

11. Particulars of all buildings and structures on or proposed for the subject lands: (Specify ground floor area, gross floor area, number of stories, width, length, height, etc.)

Existing:
ground floor area 680sqft gross floor area 1680sqft, 1.5 stores, 20.03' wide, 34.01' length, 21.5' tall.
Total rear lot 1640 sqft. deck 240 sqft. driveway 225sqft.

Proposed
Unchanged: ground floor area 680sqft gross floor area 1680sqft, 1.5 stores, 20.03' wide, 34.01' length, 21.5' tall.
Total rear lot 1640. prop deck 27 sqft. prop walk out 56sqft

12. Location of all buildings and structures on or proposed for the subject lands; (Specify distance from side, rear and front lot lines)

Existing:
Front 11.25 Feet North side 1.14 Feet
South side 8.82 feet Rear 54.67 feet

Proposed:
No change

13. Date of acquisition of subject lands:
May20, 2018
-
14. Date of construction of all buildings and structures on subject lands:
TBD-ASAP
-
15. Existing uses of the subject property:
 student housing
16. Existing uses of abutting properties:
 residential-family
17. Length of time the existing uses of the subject property have continued:
 unknown
18. Municipal services available: (check the appropriate space or spaces)
 Water yes Connected yes
 Sanitary Sewer yes Connected yes
 Storm Sewers _____
19. Present Official Plan/Secondary Plan provisions applying to the land:
 Duplex.
20. Present Restricted Area By-law (Zoning By-law) provisions applying to the land:
 second space is required by the Zoning by-law under the Conversion requirements of section 18A and 19 of the by-law.
 a minimum parking space of 2.7 m (9 foot) wide. We do not have that clearance.
21. Has the owner previously applied for relief in respect of the subject property?
 Yes No
 If the answer is yes, describe briefly.
22. Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?
 Yes No
23. Additional Information
24. The applicant shall attach to each copy of this application a plan showing the dimensions of the subject lands and of all abutting lands and showing the location, size and type of all buildings and structures on the subject and abutting lands, and where required by the Committee of Adjustment such plan shall be signed by an Ontario Land Surveyor.



Hamilton

COMMITTEE OF ADJUSTMENT

City Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5
 Telephone (905) 546-2424, ext. 4221, 3935 Fax (905) 546-4202
 E-mail: cofa@hamilton.ca

NOTICE OF PUBLIC HEARING **Minor Variance**

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
- Applicant/agent on file, or
- Person likely to be interested in this application

APPLICATION NO.: GL/A-21:74
APPLICANTS: K. Anderson & N. Campbell, owners
SUBJECT PROPERTY: Municipal address **41 Kopperfield Ln., Glanbook**
ZONING BY-LAW: Zoning By-law 464, as Amended 04-328
ZONING: "R4-188" (Residential) district
PROPOSAL: To permit a 43.5m² covered patio deck in the rear yard for a single detached dwelling, notwithstanding:

1. The minimum setback for a patio deck from the street line shall be 4.2m instead of 7.5m.

NOTES:

1. The property is zoned R4-188 which was created under amending by-law 04-328 for the Kopper Meadow Subdivision. The zoning contains special provisions to address minimum frontage; minimum lot area; minimum front yard; and flankage yards.
2. The Zoning By-law provides the following definition for "patio deck":
 "PATIO DECK shall mean a structure accessory to a building with or without roof or walls, which may include visual partitions and railings, and is constructed on piers or a foundation at a minimum of 0.15 metres above-grade.
3. The Zoning By-law provides the following definition for "lot coverage":
 "LOT COVERAGE" shall mean the percentage of the lot covered by all buildings, but shall not include swimming pools and patio decks.
4. The proposed variance is to allow for the installation of an aluminium patio cover for an existing patio deck. The patio cover is attached to the dwelling and is subject to a building permit.
5. The variance was written as requested by the applicant.

This application will be heard by the Committee as shown below:

DATE: Thursday, April 1st, 2021
TIME: 3:00 p.m.
PLACE: Via video link or call in (see attached sheet for details)
 To be streamed at
www.hamilton.ca/committeeofadjustment
 for viewing purposes only

GL/A-21: 74
Page 2

PUBLIC INPUT

Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

Orally: If you would like to speak to this item at the hearing you may do so via video link or by calling in. Please see attached page for complete instructions, including deadlines for registering to participate.

MORE INFORMATION

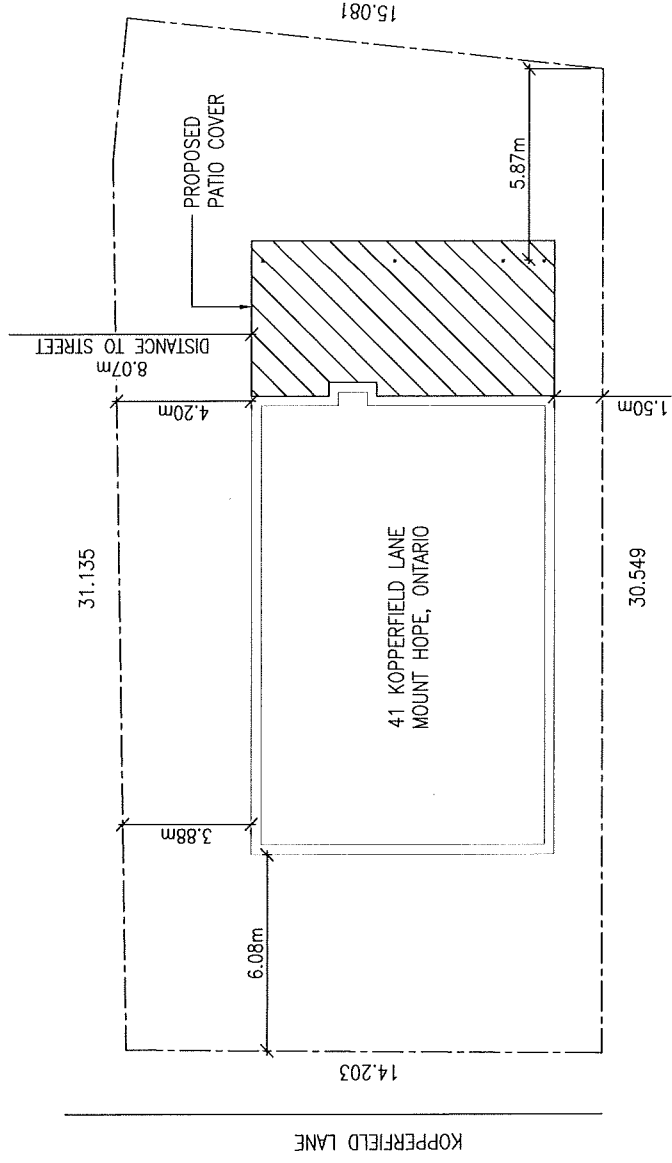
For more information on this matter, including access to drawings illustrating this request:

- Visit www.hamilton.ca/committeeofadjustment
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935
- Email Committee of Adjustment staff at cofa@hamilton.ca

DATED: March 16th, 2021.

Jamila Sheffield,
Secretary-Treasurer
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public.



1 SITE PLAN
SCALE: 1:150

41 KOPPERFIELD LANE NICOLE CAMPBELL SITE PLAN		APPROVED BY:	Page 259 of 318
DATE:	29 SEP 2020	SCALE:	OS noted
REV. No.:		REV/DRAWN:	
PROJECT No.:		DRAWING:	1

SURVEYOR'S REAL PROPERTY REPORT
 PART 1, PLAN OF
LOT 2
PLAN 62M-1094
 IN THE
CITY OF HAMILTON

SCALE: 1:200 metres



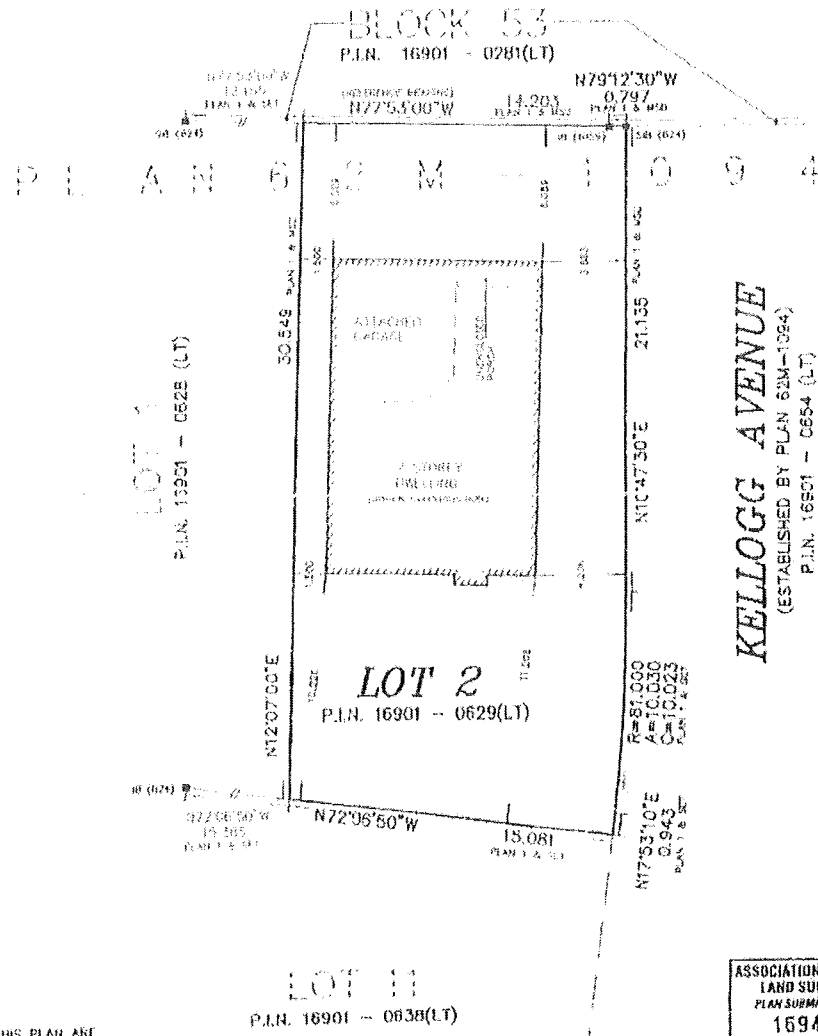
S.D. McLAREN, O.L.S. - 2008

PART 2
 THIS PLAN MUST BE READ IN
 CONJUNCTION WITH SURVEY REPORT
 DATED JULY 3, 2008

THIS PLAN WAS PREPARED FOR
 KILMARVALLE DEVELOPMENTS INC.

KOPPERFIELD LANE

(ESTABLISHED BY PLAN 62M - 873)
 P.I.N. 16901 - 0285(LT)



METRIC NOTE

DISTANCES SHOWN ON THIS PLAN ARE
 IN METRES AND CAN BE CONVERTED
 TO FEET BY DIVIDING BY 0.3048

BEARING NOTE:

BEARINGS ARE ASTROGNOMIC AND ARE
 REFERRED TO THE NORTHERLY LIMIT OF
 LOT 2 AS SHOWN ON PLAN 62M-1094
 AS BEING N72°5'00\"/>

LEGEND:

- GENOTES MONUMENT SET
- MONUMENT FOUND
- 40' IRON BARS
- 20' STANDARD IRON BAR
- CS' CON. CROSS
- (M2) A.T. McLAREN, O.L.S.
- (M3) MEASURED
- (PLAN 1) PLAN 62M-1094
- (M54) N.A. FERRIS, O.L.S.

SURVEYOR'S CERTIFICATE:

I HEREBY CERTIFY THAT
 1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH
 THE SURVEY ACT, THE SURVEYORS ACT AND THE REGULATIONS
 MADE THEREUNDER.
 2. THE SURVEY WAS COMPLETED ON THE 12th DAY OF APRIL, 2008

JULY 3, 2008
 DATE S.E. McLAREN, O.L.S.

© S.D. McLAREN, O.L.S. - 2008. NO PERSON MAY COPY
 REPRODUCE, DISSEMINATE OR ALTER THIS PLAN IN WHOLE OR IN
 PART WITHOUT THE WRITTEN PERMISSION OF S.D. McLAREN, O.L.S.

A.T. McLaren Limited
 LEGAL ADJUDICATING SURVEYS

OR 4781 STREET SOUTH, SUITE 230
 HAMILTON, ONTARIO, L9N 2Z9
 PHONE (905) 527-8559 FAX (905) 527-0332

Block No.	Sheeted PG	Scale 1:200	Cityfile 32329-2f
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**ASSOCIATION OF ONTARIO
 LAND SURVEYORS**
 PLAN SUBMISSION FORM
 1694560

THIS PLAN IS NOT VALID
 UNLESS IT IS AN APPROVED
 ORIGINAL COPY
 ISSUED BY THE SURVEYOR
 IN ACCORDANCE WITH
 REGULATION 1026, SECTION 24(3)



Hamilton

Planning and Economic Development Department
 Planning Division

Committee of Adjustment
 City Hall
 5th floor 71 Main Street West
 Hamilton, Ontario L8P 4Y5

Phone (905) 546-2424 ext.4221
 Fax (905) 546-4202

**PLEASE FILL OUT THE FOLLOWING PAGES AND
 RETURN TO THE CITY OF HAMILTON PLANNING
 DEPARTMENT.**

FOR OFFICE USE ONLY.	
APPLICATION NO. _____	DATE APPLICATION RECEIVED _____
PAID _____	DATE APPLICATION DEEMED COMPLETE _____
SECRETARY'S SIGNATURE _____	

**CITY OF HAMILTON
 COMMITTEE OF ADJUSTMENT
 HAMILTON, ONTARIO**

The Planning Act

Application for Minor Variance or for Permission

The undersigned hereby applies to the Committee of Adjustment for the City of Hamilton under Section 45 of the *Planning Act*, R.S.O. 1990, Chapter P.13 for relief, as described in this application, from the Zoning By-law.

- Name of Owner Kyle Anderson
Nicole Campbell
- [Redacted]
- Name of Agent _____ Telephone No. _____
 FAX NO. _____ E-mail address. _____
- Address _____
 _____ Postal Code _____

Note: Unless otherwise requested all communications will be sent to the agent, if any.

- Names and addresses of any mortgagees, holders of charges or other encumbrances:
Kyle Anderson - 41 Kopperfield Lane, Mount Hope, ON
 _____ Postal Code L0R 1W0
Nicole Campbell - 41 Kopperfield Lane, Mount Hope, ON
 _____ Postal Code L0R 1W0

6. Nature and extent of relief applied for:

Seeking variance for a reduced side yard setback
of 4.2m to the house, where 7.5m is required to
accommodate proposed covered deck (defined as a
"patio deck" in the By-law) to be added to existing deck.

7. Why it is not possible to comply with the provisions of the By-law?

Please see Schedule 1 attached.

8. Legal description of subject lands (registered plan number and lot number or other legal description and where applicable, street and street number):

Plan 62M-1094 Lot 2
41 Kopperfield Lane, Mount Hope, ON

9. PREVIOUS USE OF PROPERTY

Residential Industrial Commercial

Agricultural Vacant

Other _____

9.1 If Industrial or Commercial, specify use

9.2 Has the grading of the subject land been changed by adding earth or other material, i.e. has filling occurred?

Yes No Unknown

9.3 Has a gas station been located on the subject land or adjacent lands at any time?

Yes No Unknown

9.4 Has there been petroleum or other fuel stored on the subject land or adjacent lands?

Yes No Unknown

9.5 Are there or have there ever been underground storage tanks or buried waste on the subject land or adjacent lands?

Yes No Unknown

9.6 Have the lands or adjacent lands ever been used as an agricultural operation where cyanide products may have been used as pesticides and/or sewage sludge was applied to the lands?

Yes No Unknown

9.7 Have the lands or adjacent lands ever been used as a weapon firing range?

Yes No Unknown

9.8 Is the nearest boundary line of the application within 500 metres (1,640 feet) of the fill area of an operational/non-operational landfill or dump?

Yes No Unknown

Schedule 1

Not possible to comply with the provisions of the By-Law due to:

- We applied for a permit for a covered deck for an existing deck and were denied and told to apply for a minor variance
- The deck was here when we bought the house and we were under the impression it was constructed with a permit

Therefore, we seek a minor variance for a reduced side yard setback of 4.2 meters to the house where 7.5 meters is required. This patio cover will not be closer to the road than the existing home.

Thank you for your consideration.

9.9 If there are existing or previously existing buildings, are there any building materials remaining on site which are potentially hazardous to public health (eg. asbestos, PCB's)?

Yes No Unknown

9.10 Is there any reason to believe the subject land may have been contaminated by former uses on the site or adjacent sites?

Yes No Unknown

9.11 What information did you use to determine the answers to 9.1 to 9.10 above?

Talked to previous owners and neighbors

9.12 If previous use of property is industrial or commercial or if YES to any of 9.2 to 9.10, a previous use inventory showing all former uses of the subject land, or if appropriate, the land adjacent to the subject land, is needed.

Is the previous use inventory attached? Yes No

ACKNOWLEDGEMENT CLAUSE

I acknowledge that the City of Hamilton is not responsible for the identification and remediation of contamination on the property which is the subject of this Application – by reason of its approval to this Application.

Jan. 12, 2021
 Date

Nicole Campbell
 Signature Property Owner

Nicole Campbell
 Print Name of Owner

10. Dimensions of lands affected:

Frontage 4.2m
 Depth 9.6m
 Area 40.32 m²
 Width of street _____

11. Particulars of all buildings and structures on or proposed for the subject lands: (Specify ground floor area, gross floor area, number of stories, width, length, height, etc.)

Existing: 4.2m x 9.6m deck

Proposed: patio cover for existing deck (4.2m x 9.6m)

12. Location of all buildings and structures on or proposed for the subject lands; (Specify distance from side, rear and front lot lines)

Existing: Two storey home with garage, East = 4.72m
South = 11.82m, West = 1.7m, North = 8.25m

Proposed: Patio cover for existing deck (4.2m x 9.6m)

13. Date of acquisition of subject lands:

October 25, 2013

14. Date of construction of all buildings and structures on subject lands:

Unknown

15. Existing uses of the subject property: Residential

16. Existing uses of abutting properties: Residential

17. Length of time the existing uses of the subject property have continued:

Unknown

18. Municipal services available: (check the appropriate space or spaces)

Water	<input checked="" type="checkbox"/>	Connected	<input checked="" type="checkbox"/>
Sanitary Sewer	<input checked="" type="checkbox"/>	Connected	<input checked="" type="checkbox"/>
Storm Sewers	<input checked="" type="checkbox"/>		

19. Present Official Plan/Secondary Plan provisions applying to the land:

20. Present Restricted Area By-law (Zoning By-law) provisions applying to the land:

Z1

21. Has the owner previously applied for relief in respect of the subject property?

Yes

No

If the answer is yes, describe briefly.

22. Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?

Yes

No

23. The applicant shall attach to each copy of this application a plan showing the dimensions of the subject lands and of all abutting lands and showing the location, size and type of all buildings and structures on the subject and abutting lands, and where required by the Committee of Adjustment such plan shall be signed by an Ontario Land Surveyor.

NOTE: It is required that two copies of this application be filed with the secretary-treasurer of the Committee of Adjustment together with the maps

CANADIAN DESIGN MANUAL FOR LUMON CANADA VT4

VT4 DESIGN MANUAL

LUMON CANADA

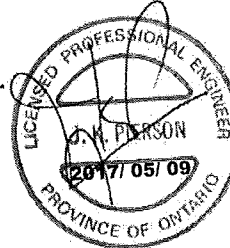
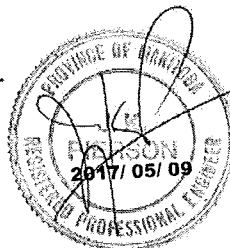
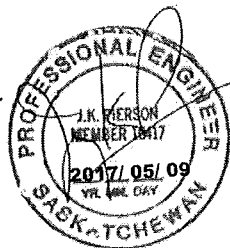
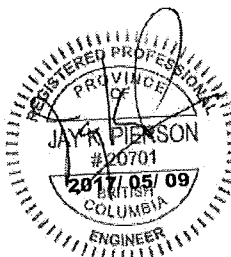
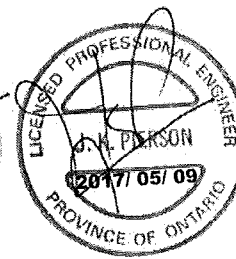
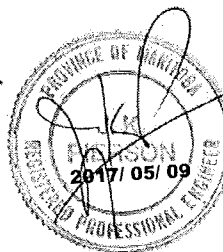
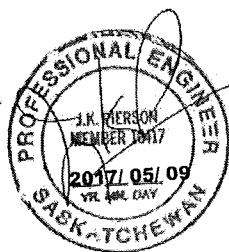
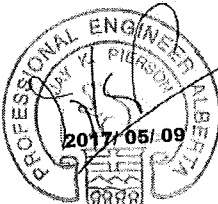
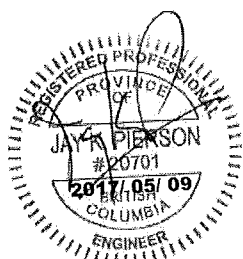


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VT4 NOTES

Structural elements and systems made of aluminum conform to CAN/CSA-S157-05/S157.1-05 Strength Design in Aluminum / Commentary on CSA S157-05, Strength Design in Aluminum.

Design is in accordance with the National Building Code of Canada 2015 and current editions of the 2012 Ontario Building Code, the 2011 Manitoba Building Code, 2014 Alberta Building Code and 2012 British Columbia Building Code. Applicable structural loads and procedures have been taken into account in accordance with current limit states design methods as set forth in the above mentioned codes and CAN/CSA-S157-05/S157.1-05.

Deflection and vibration designed not to exceed serviceability limits of the materials supported or the requirements set by the intended use.

Base building structure to which VT4 system is attached to provide required lateral and seismic restraint.

Structural design load requirements to be as specified by governing building codes and bodies, local ordinances, project specifications and/or regulatory authorities.

Mechanical properties of aluminum alloys are provided in CAN/CSA-S157-05/S157.1-05, tables 1 and 2.

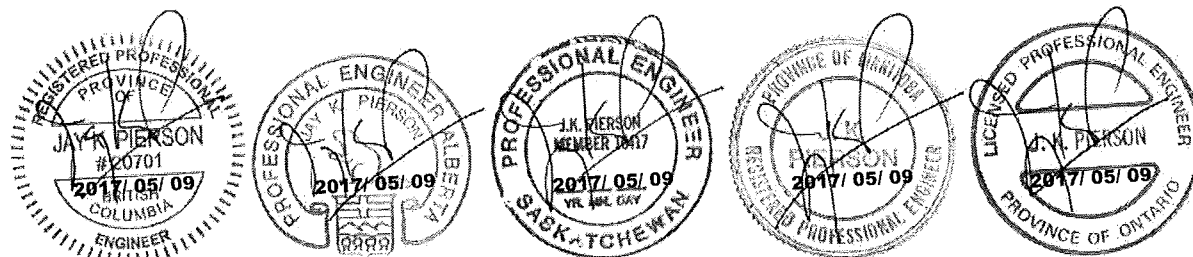
Aluminum alloys conform to the Aluminum Association publication Aluminum Standards and Data, ISO 6361-2 or ISO 6362-2 or US Department of Defense publication, MIL-HDBK-5G 1994, Chapter 3.

Follow all notes and recommendations contained within this manual.

Refer to Installation Guide for erection procedures and care and maintainance.

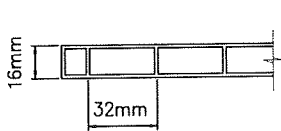
Minimum recommended pitch for roofs is 1/4" per foot.

Information contained within this manual can be applied for most applications of patio covers. However where individual conditions and applications vary, separate engineering is required.

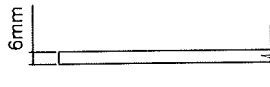


VT4 COMPONENTS

NTS



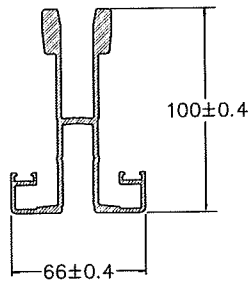
DEGLAS 16/32
IMPACT NO DRIP DOUBLE-SKINNED
ACRYLIC SHEET



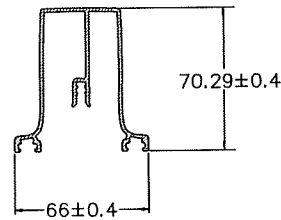
6mm GLASS
TEMPERED



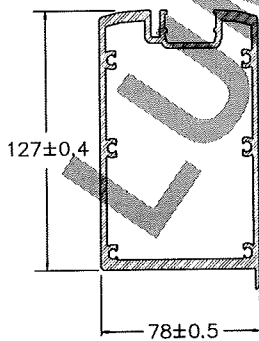
8mm GLASS
TEMPERED



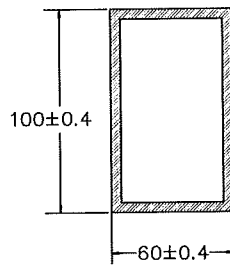
ROOF BEAM
6063-T6
DRAWING NUMBER 11780001



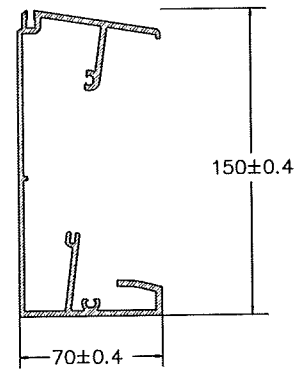
GLAZING PROFILE
6063-T6
DRAWING NUMBER 11780006



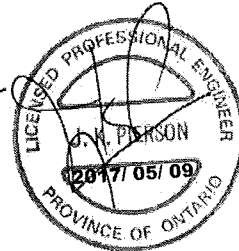
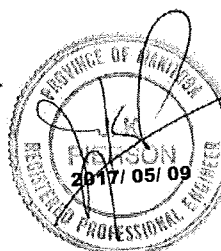
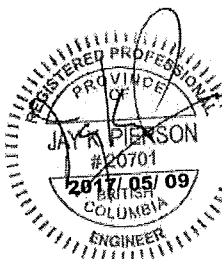
FRONT BEAM
INTERMEDIATE BEAM
SIDE BEAM
6063-T6
DRAWING NUMBER 11780002



BEAM REINFORCEMENT
6063-T6
DRAWING NUMBER 11721026

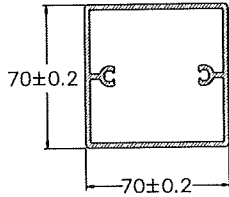


REAR BEAM
6063-T6
DRAWING NUMBER 11780004

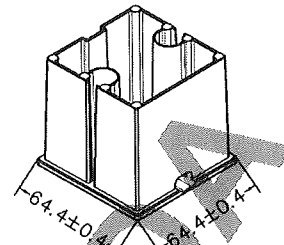


VT4 COMPONENTS

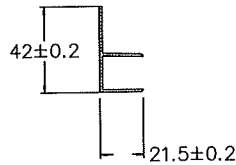
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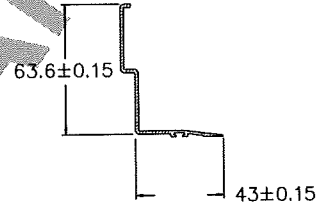
70 x 70 POST
6063-T6
DRAWING NUMBER 11780003



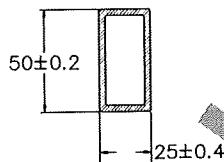
POST CONNECTOR
6063-T6
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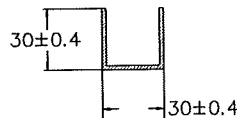
F BEAM
6063-T6
DRAWING NUMBER 11780008



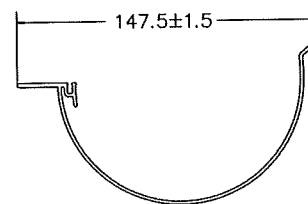
SEALING PROFILE
6063-T6
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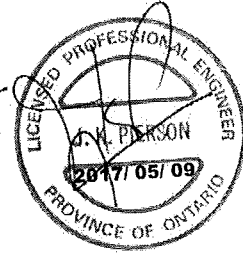
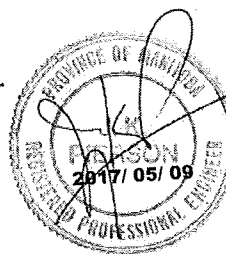
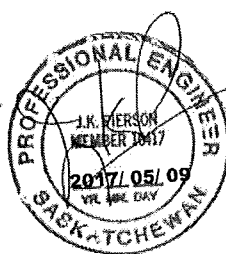
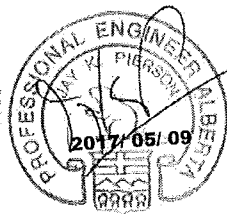
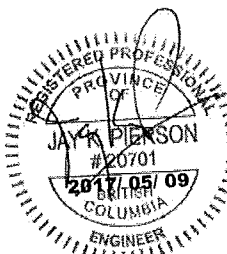
INTERMEDIATE
DEGLAS SUPPORT
TUBE
6063-T6
DRAWING NUMBER 11010747



INTERMEDIATE
DEGLAS SUPPORT
U PROFILE
6063-T6
DRAWING NUMBER 11315516

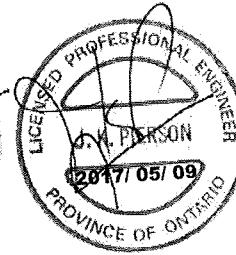
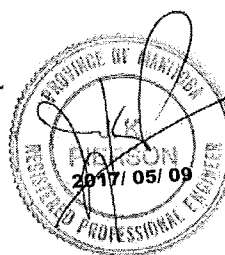
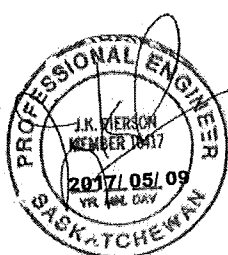
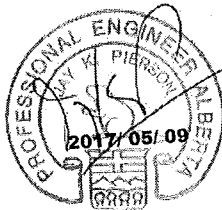
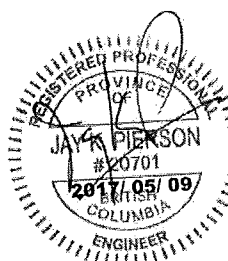


GUTTER
AA6060 T6 (6063-T6)
DRAWING NUMBER 11780005



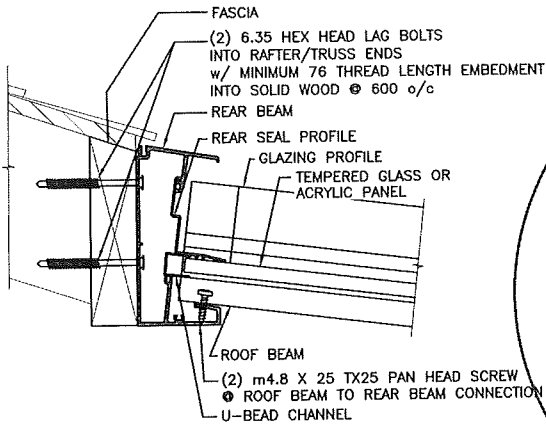
VT4 COMPONENT PROPERTIES

MEMBER	DRAWING NUMBER	ALLOY	AREA (mm ²)	Sx (10 ³ mm ³)	Sy (10 ³ mm ³)	Ix (10 ⁶ mm ⁴)	Iy (10 ⁶ mm ⁴)
ROOF BEAM	11780001	6063-T6	1053	25.158	7.827	1.272	0.258
GLAZING PROFILE	11780006	6063-T6	490	7.301	4.921	0.265	0.164
FRONT BEAM	11780002	6063-T6	1671	53.312	38.596	3.843	1.518
INTERMEDIATE BEAM	11780002	6063-T6	1671	53.312	38.596	3.843	1.518
SIDE BEAM	11780002	6063-T6	1671	53.312	38.596	3.843	1.518
BEAM REINFORCEMENT	11721026	6063-T6	1513	39.769	29.007	1.988	0.870
REAR BEAM	11780004	6063-T6	1131	46.240	12.856	3.801	0.572
POST 70 X 70	11780003	6063-T6	775	16.658	14.579	0.583	0.510
INTERMEDIATE DEGLAS SUPPORT TUBE	11010747	6063-T6	414	5.016	3.192	0.125	0.040
INTERMEDIATE DEGLAS SUPPORT U PROFILE	11315516	6063-T6	172	0.838	1.766	0.016	0.026

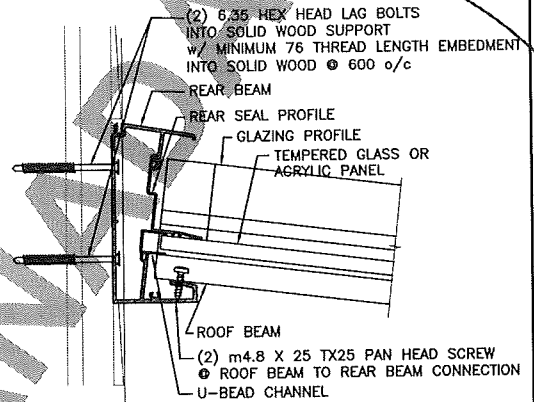


REAR BEAM CONNECTION DETAILS

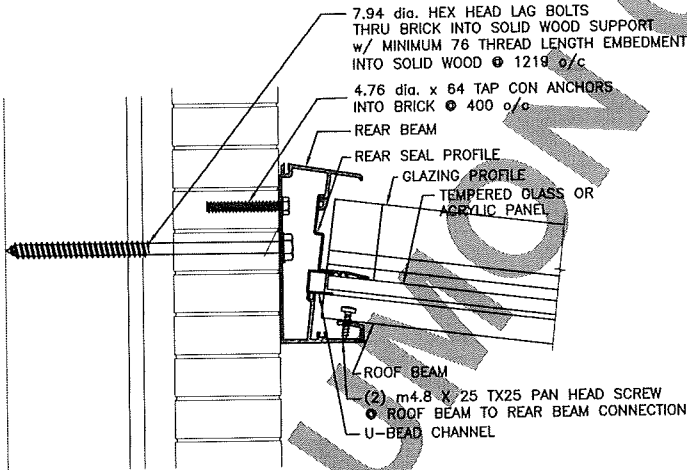
NTS



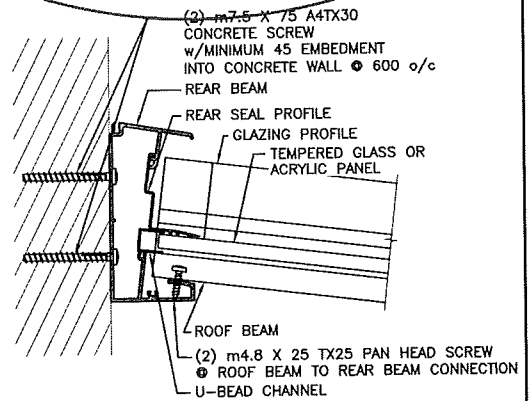
FASCIA OVERHANG



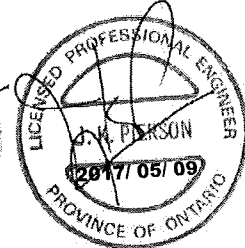
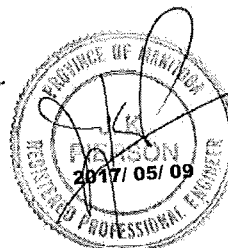
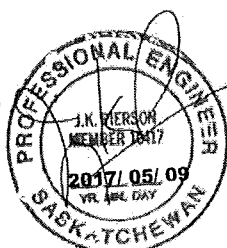
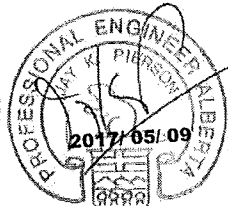
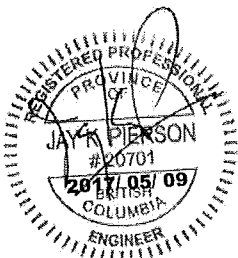
WALL WITH WOOD STUD FRAMING



WALL WITH BRICK FINISH

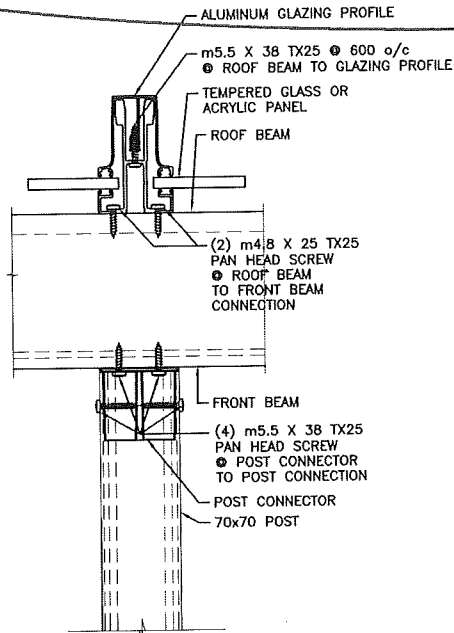


SOLID CONCRETE WALL

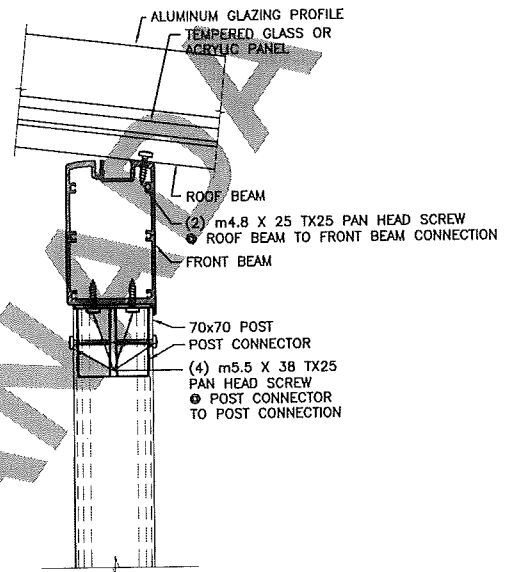


POST CONNECTOR & FRONT BEAM CONNECTION DETAILS

NTS



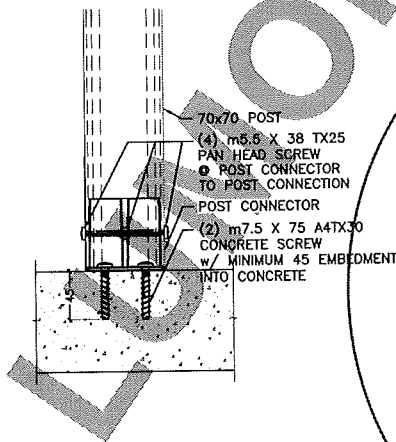
FRONT VIEW



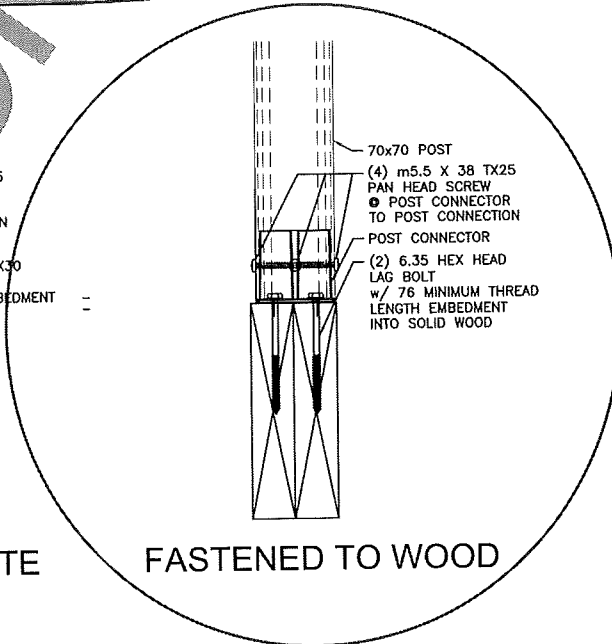
SIDE VIEW

POST CONNECTOR BASE DETAIL

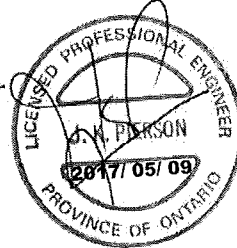
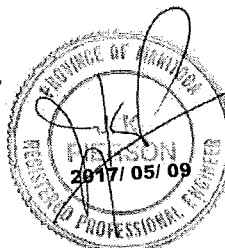
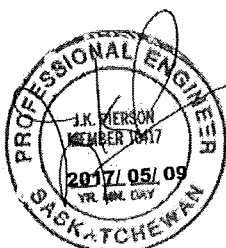
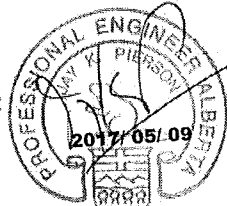
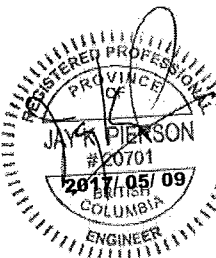
NTS



FASTENED TO CONCRETE

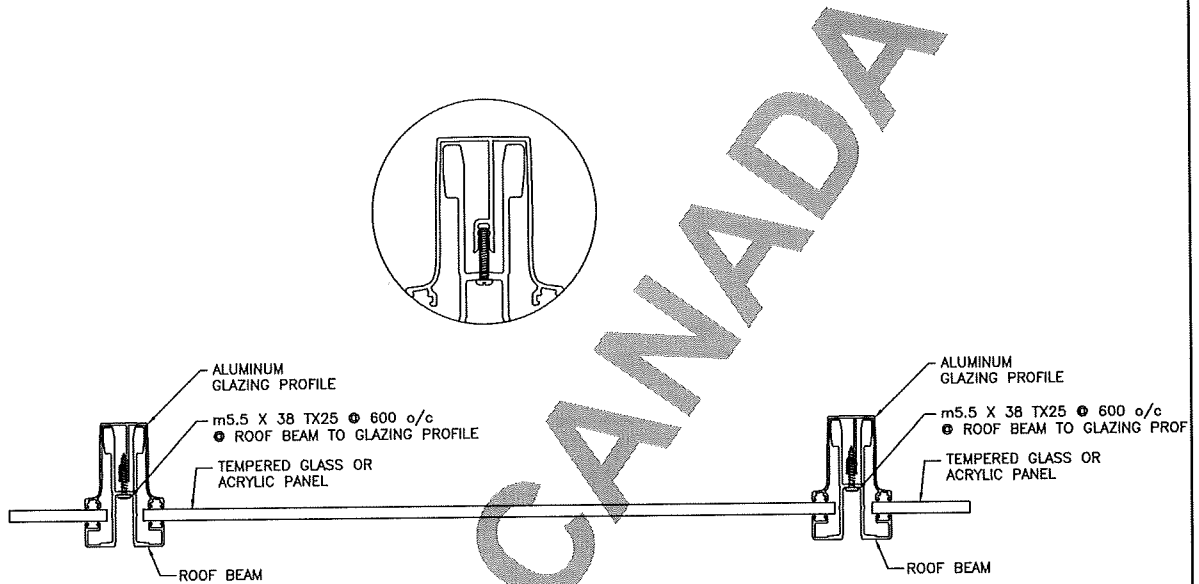


FASTENED TO WOOD



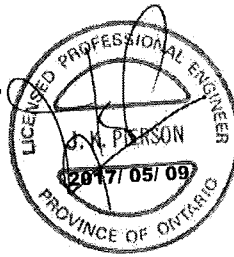
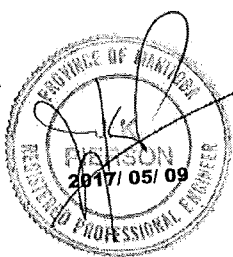
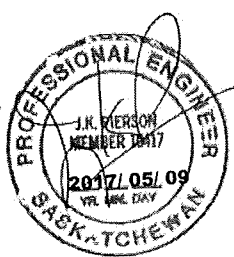
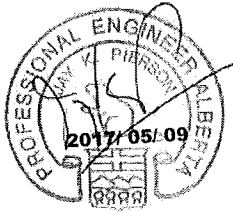
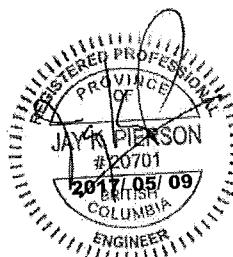
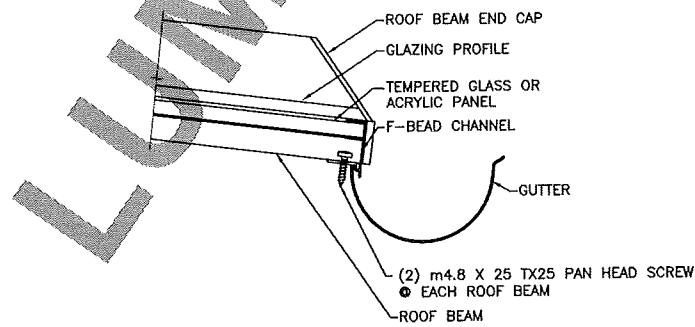
ROOF BEAM AND GLAZING PROFILE WITH TEMPERED GLASS OR ACRYLIC PANEL

NTS



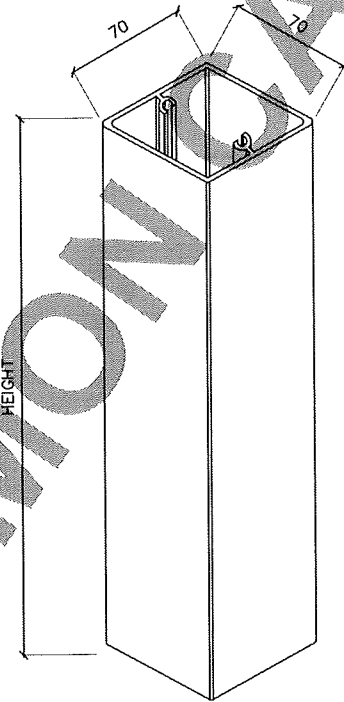
GUTTER CONNECTION DETAIL

NTS

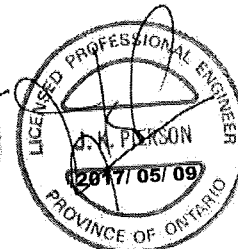
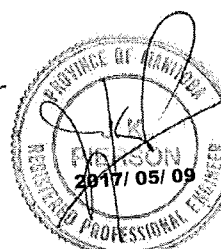
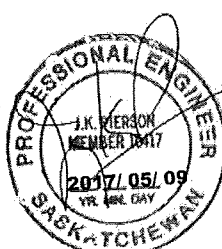
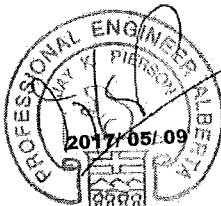
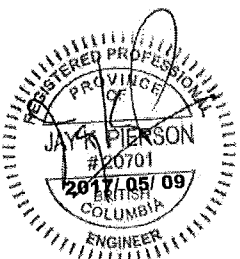


70 x 70 POST AXIAL LOAD CAPACITY TABLE

POST HEIGHT (mm)	AXIAL LOAD CAPACITY (kN) (FACTORED RESISTANCE)
3600	15.2
3300	18.1
3000	21.9
2700	27.0
2400	34.2
2100	44.7



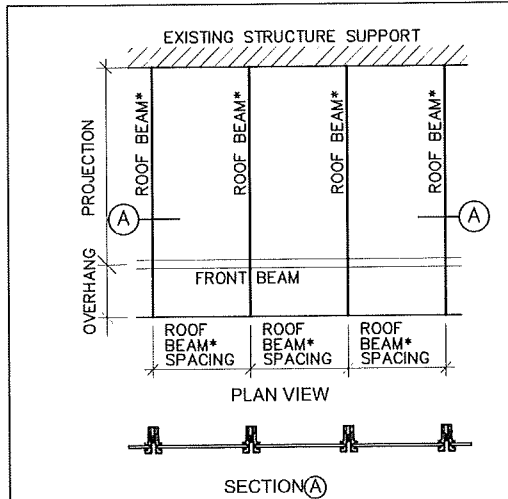
t=2.5
70 x 70 POST
6063-T6
DRAWING NUMBER 11780003



VT4 ROOF BEAM* PROJECTION CHART

ROOF BEAM* @ 1200 o/c, @ 900 o/c, @ 600 o/c AND @ 400 o/c

*INCLUDING GLAZING PROFILE



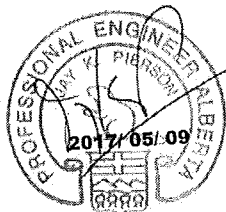
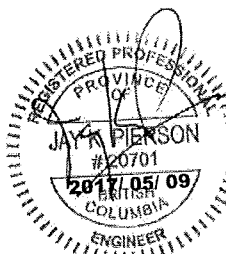
NOTES

- Design Load includes Ground Snow Load (Ss) and a Rain Load (Sr) of 0.3 kPa, calculated in accordance with the requirements of the 2015 National Building Code of Canada and current editions of the 2012 Ontario Building Code, the 2011 Manitoba Building Code, 2014 Alberta Building Code and 2012 British Columbia Building Code.
- Revise indicated spans where Rain Load is greater than 0.3 kPa.
- Maximum spans as indicated are for residential use only. Other uses and configurations require separate engineering design.
- Maximum spans as indicated do not include snow build-up conditions as described in the building code. Separate engineering design is required if such conditions are determined to exist.
- Structural alloy 6063-T6 or Equivalent.
- Issued Jan 2017.

X-ONE INTERMEDIATE SUPPORT REQUIRED FOR ACRYLIC PANEL EQUAL SPACED BETWEEN EXISTING STRUCTURE SUPPORT AND END OF OVERHANG

GROUND SNOW LOAD Ss (kPa)	OVERHANG (mm)	MAXIMUM PROJECTION @ 1200 (mm) o/c	MAXIMUM PROJECTION @ 900 (mm) o/c	MAXIMUM PROJECTION @ 600 (mm) o/c	MAXIMUM PROJECTION @ 400 (mm) o/c
1.2	0	3422	3766	4311	4935
	300	3444 X	3786	4328	4950
	600	3453 X	3795	4337	4956
1.4	0	3312 X	3646	4173	4777
	300	3335 X	3667	4191	4795
	600	3344 X	3676	4200	4801
1.6	0	3216 X	3539	4051	4638
	300	3240 X	3560	4069	4654
	600	3249 X	3569	4078	4660
1.8	0	3129 X	3444	3943	4513
	300	3152 X	3466 X	3962	4529
	600	3164 X	3475 X	3968	4535
2.0	0	3019 X	3359 X	3845	4401
	300	3048 X	3380 X	3865	4420
	600	3136 X	3389 X	3871	4426
2.2	0	2913 X	3281 X	3756	4299
	300	2941 X	3304 X	3776	4316
	600	3033 X	3313 X	3786	4325
2.4	0	2817 X	3210 X	3675	4206
	300	2847 X	3234 X	3694	4225
	600	2941 X	3243 X	3703	4231
2.6	0	2730 X	3145 X	3600	4121
	300	2761 X	3170 X	3621	4139
	600	2859 X	3179 X	3630	4145
2.8	0	2650 X	3060 X	3531	4042
	300	2682 X	3088 X	3551	4060
	600	2783 X	3121 X	3560	4069
3.0	0	2577 X	2976 X	3467	3969
	300	2612 X	3005 X	3490	3987
	600	2713 X	3063 X	3499	3996
3.2	0	2510 X	2899 X	3408	3901
	300	2545 X	2929 X	3429	3920
	600	2649 X	3014 X	3438	3929
3.4	0	2448 X	2827 X	3352	3837
	300	2484 X	2859 X	3374	3856
	600	2591 X	2950 X	3383	3865
3.6	0	2390 X	2760 X	3300	3777
	300	2426 X	2792 X	3322	3798
	600	2536 X	2886 X	3331	3807
3.8	0	2336 X	2698 X	3251	3721
	300	2374 X	2731 X	3274	3740
	600	2484 X	2829 X	3283	3749
4.0	0	2286 X	2640 X	3204	3668
	300	2326 X	2673 X	3228 X	3688
	600	2438 X	2774 X	3237 X	3697

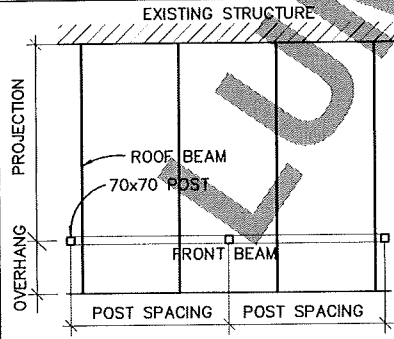
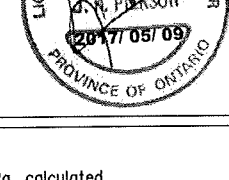
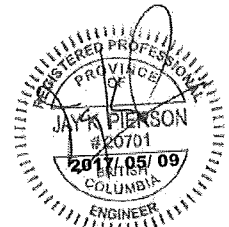
This cover has 619mm centre to centre spacing



POST SPACING CHART

FRONT BEAM with 70 x 70 Posts for L7 2-Openings, 10mm deflection

Ground Snow Load (kPa)	Projection (mm)	Overhang = 0mm					Overhang = 300mm					Overhang = 600mm				
		Post Height (mm)					Post Height (mm)					Post Height (mm)				
		2100	2400	2700	3000	3600	2100	2400	2700	3000	3600	2100	2400	2700	3000	3600
1.2	2400	3945	3945	3945	3945	3945	3719	3719	3719	3719	3535	3528	3528	3528	3528	2863
	2700	3830	3830	3830	3830	3830	3634	3634	3634	3634	3221	3465	3465	3465	3465	2662
	3000	3731	3731	3731	3731	3579	3557	3557	3557	3557	2958	3406	3406	3406	3406	2485
	3300	3643	3643	3643	3643	3253	3488	3488	3488	3488	2734	3351	3351	3351	3351	2329
	3600	3565	3565	3565	3565	2982	3425	3425	3425	3425	2541	3300	3300	3300	3157	2191
	3900	3494	3494	3494	3494	2753	3367	3367	3367	3367	2374	3253	3253	3253	2979	2068
	4200	3430	3430	3430	3430	2556	3313	3313	3313	3208	2227	3208	3208	3208	2820	1957
4500	3371	3371	3371	3371	2386	3264	3264	3264	3021	2097	3158	3158	3158	2676	1857	
1.4	2400	3829	3829	3829	3829	3829	3610	3610	3610	3610	3196	3424	3424	3424	3424	2589
	2700	3718	3718	3718	3718	3595	3527	3527	3527	2912	3363	3363	3363	3363	3247	
	3000	3621	3621	3621	3621	3236	3452	3452	3452	2674	3305	3305	3305	3305	3238	
	3300	3536	3536	3536	3536	2942	3385	3385	3385	3385	2472	3252	3252	3252	3035	
	3600	3460	3460	3460	3460	2696	3324	3324	3324	3310	2298	3203	3203	3203	2854	
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	4200	3329	3329	3329	3329	2311	3216	3216	3216	2901	2013	3082	3082	3082	2550	
4500	3272	3272	3272	3108	2157	3168	3168	3168	2732	1896	3003	3003	2983	2420		
1.6	2400	3728	3728	3728	3728	3691	3515	3515	3515	3515	2916	3334	3334	3334	3334	2362
	2700	3620	3620	3620	3620	3281	3434	3434	3434	2658	3274	3274	3274	3274	3165	
	3000	3526	3526	3526	3526	2953	3361	3361	3361	2440	3218	3218	3218	2955		
	3300	3443	3443	3443	3443	2684	3296	3296	3296	2256	3167	3167	3167	2769		
	3600	3368	3368	3368	3368	2461	3236	3236	3236	3021	2097	3115	3115	3115	2605	
	3900	3302	3302	3302	3273	2271	3182	3182	3182	2822	1958	3026	3026	3026	2458	
	4200	3241	3241	3241	3039	2109	3131	3131	3131	2647	1837	2944	2944	2869		
4500	3186	3186	3186	2836	1968	3048	3048	3048	2493	1730	2868	2868	2722			
1.8	2400	3639	3639	3639	3639	3394	3431	3431	3431	3431	2682	3255	3255	3255	3130	
	2700	3533	3533	3533	3533	3017	3352	3352	3352	2444	3196	3196	3196	3196		
	3000	3442	3442	3442	3442	2715	3281	3281	3281	2244	3142	3142	3142	2717		
	3300	3361	3361	3361	3361	2469	3217	3217	3217	2989	2074	3080	3080	3080		
	3600	3288	3288	3288	3260	2263	3159	3159	3159	2778	1928	2987	2987	2953		
	3900	3223	3223	3223	3010	2089	3106	3106	3106	2595	1801	2902	2902	2787		
	4200	3164	3164	3164	2795	1939	3012	3012	3001	2434	1689	2823	2823	2638		
4500	3110	3110	3110	2608	1810	2923	2923	2826	2292	1591	2751	2751	2504			
2.0	2400	3560	3560	3560	3560	3142	3356	3356	3356	3356	2482	3184	3184	3184		
	2700	3457	3457	3457	3457	2793	3279	3279	3279	3259	2262	3127	3127	3127		
	3000	3367	3367	3367	3367	2513	3210	3210	3210	2993	2077	3061	3061	3061		
	3300	3287	3287	3287	3287	2285	3147	3147	3147	2766	1920	2963	2963	2906		
	3600	3217	3217	3217	3018	2094	3090	3090	3090	2571	1784	2874	2874	2733		
	3900	3153	3153	3153	2786	1933	2992	2992	2961	2402	1667	2792	2792	2579		
	4200	3095	3095	3095	2587	1795	2897	2897	2778	2253	1564	2716	2716	2442		
4500	2999	2999	2976	2414	1675	2812	2812	2616	2122	1472	2646	2646	2317			



NOTES

- Design Load includes Ground Snow Load (S_g) and a Rain Load (S_r) of 0.3 kPa, calculated in accordance with the requirements of the 2015 National Building Code of Canada and current editions of the 2012 Ontario Building Code, the 2011 Manitoba Building Code, 2014 Alberta Building Code and 2012 British Columbia Building Code.
- Revise indicated spacings where Rain Load is greater than 0.3 kPa.
- Maximum spacings as indicated are for residential use only. Other uses and configurations require separate engineering design.
- Maximum spacings as indicated do not include snow build-up conditions as described in the building code. Separate engineering design is required if such conditions are determined to exist.
- Structural alloy 6063-T6 or Equivalent.
- Issued Jan 2017.



Hamilton

COMMITTEE OF ADJUSTMENT

City Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5
 Telephone (905) 546-2424, ext. 4221, 3935 Fax (905) 546-4202
 E-mail: cofa@hamilton.ca

NOTICE OF PUBLIC HEARING
Minor Variance

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
- Applicant/agent on file, or
- Person likely to be interested in this application

APPLICATION NO.: HM/A-21:86

APPLICANTS: Ken Bekendam on behalf of the owner Joshua Feener

SUBJECT PROPERTY: Municipal address **1141 Mohawk Rd. E., Hamilton**

ZONING BY-LAW: Zoning By-law 6593, as Amended

ZONING: "C" (Urban Protected Residential, etc.) district

PROPOSAL: To permit the conversion of the existing single family dwelling to a two (2) family dwelling under Section 19 (Residential Conversion Requirements) of the Zoning By-law, notwithstanding,

1. Two (2) parking spaces shall be permitted to be located within the required front yard instead of a maximum of one (1) parking space permitted to be located within the required front yard; and,

2. Manoeuvring space shall be permitted to be provided off-site for two (2) parking spaces instead of permitting off-site manoeuvring space for a maximum of one (1) parking space.

NOTE:

1. The applicant shall ensure the minimum clear height as required by the Ontario Building Code is provided for the required floor area in each dwelling unit.

2. A further variance will be required of gravel or similar surface or other suitable paving is not provided for the parking spaces and access driveway.

This application will be heard by the Committee as shown below:

DATE: Thursday, April 1st, 2021
TIME: 3:05 p.m.
PLACE: Via video link or call in (see attached sheet for details)
 To be streamed at
www.hamilton.ca/committeeofadjustment
 for viewing purposes only

PUBLIC INPUT

Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

HM/A-21: 86
Page 2

Orally: If you would like to speak to this item at the hearing you may do so via video link or by calling in. Please see attached page for complete instructions, including deadlines for registering to participate.

MORE INFORMATION

For more information on this matter, including access to drawings illustrating this request:

- Visit www.hamilton.ca/committeeofadjustment
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935
- Email Committee of Adjustment staff at cofa@hamilton.ca

DATED: March 16th, 2021.

Jamila Sheffield,
Secretary-Treasurer
Committee of Adjustment

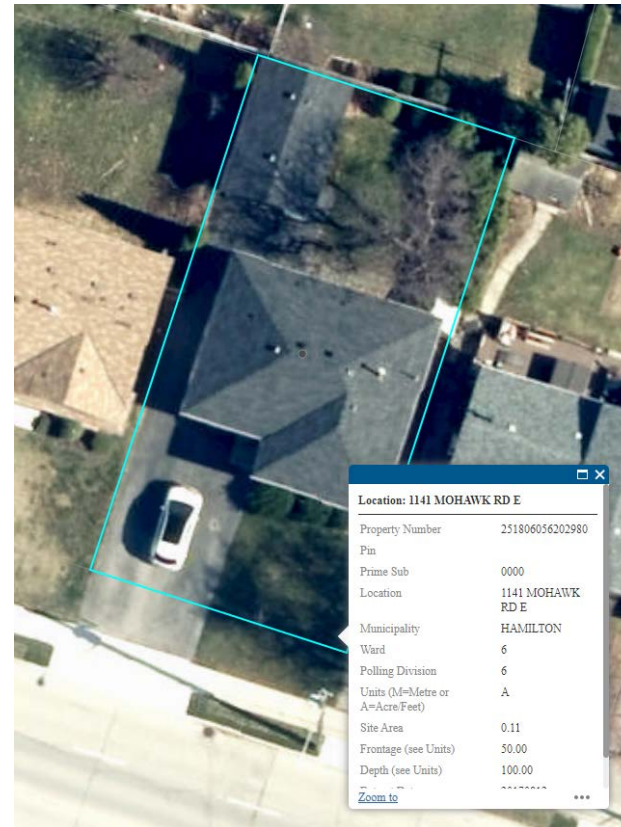
Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public.

2 UNIT CONVERSION

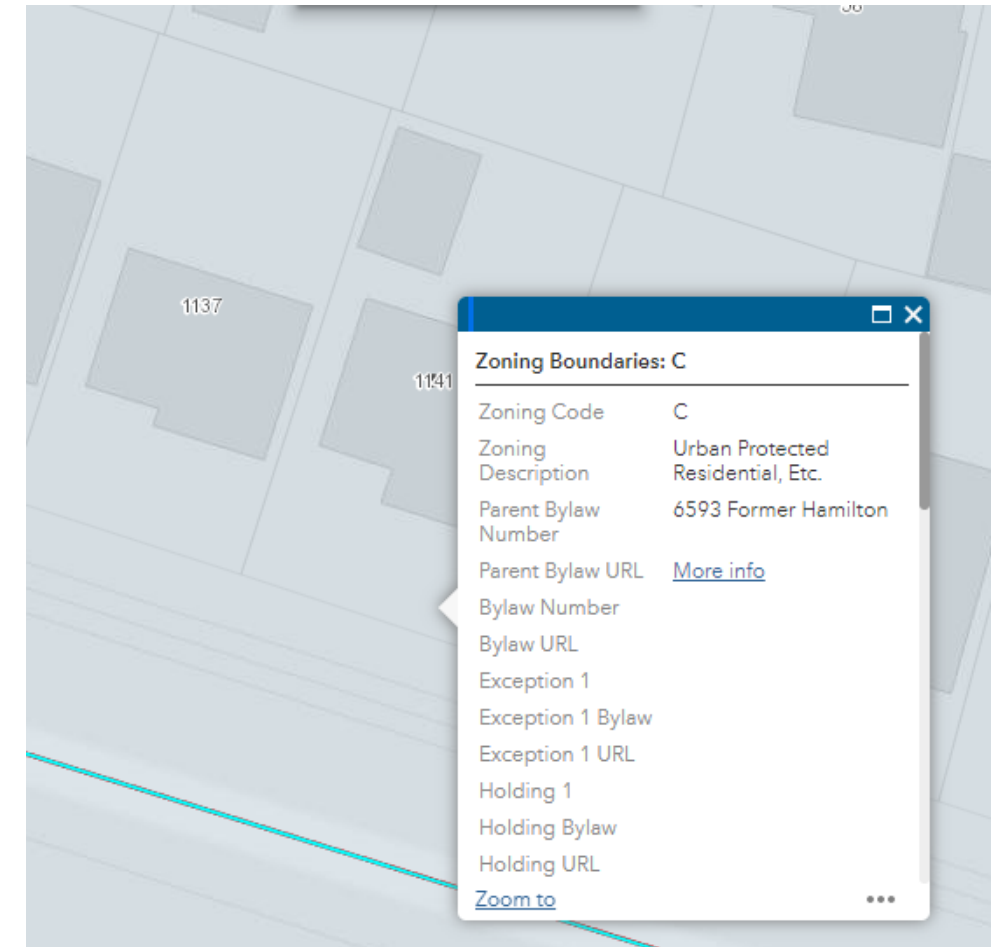
1141 MOHAWK RD, HAMILTON, ON



EXISTING BUILDING IMAGE



AERIAL MAP



ZONING MAP



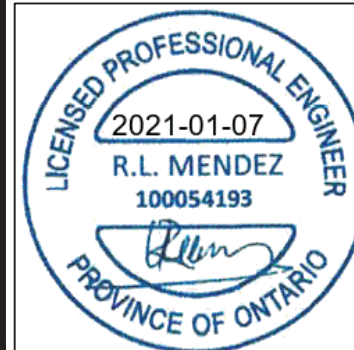
LEAD DESIGNER & CONSULTANT

Ken Bekendam B.A. BUSCOM, L.T.
 kenbekendam@gmail.com
 office: 855.546.4467 cell: 905.961.0647

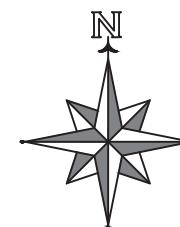
LEAD ENGINEER

Robert Mendez P. Eng 100054193
 robertmendez@yahoo.com
 cell: 416.807.1572

Legal Second Suites architectural and engineering service is owned by and operated in affiliation with King Homes Inc.



NORTH POSITION:



ADDRESS:

**1141 MOHAWK RD.
 HAMILTON, ON.**

SUBJECT:

TITLE PAGE

PROJECT:

2 UNIT CONVERSION

SCALE:

-

DATE:

JAN 2021

SHEET#:

A 0.01

SITE INFORMATION & STATISTICS

ADDRESS	1141 MOHAWK ROAD E - HAMILTON - ON.
ZONING TYPE	C
LOT AREA	5000.00 SQ FT (464.51 SQ M)
LOT FRONTAGE	50' (15.24m)

GENERAL NOTES:

1. ALL CONSTRUCTION TO COMPLY WITH THE REVISED ONTARIO BUILDING CODE 2012.
2. ALL DIMENSIONS ARE MEASURED TO ROUGH FRAMING OR TO MASONRY SURFACES UNLESS OTHERWISE NOTED.
3. ALL DOORS AND WINDOW OPENINGS ARE MEASURED TO ROUGH FRAMING OR MASONRY OPENINGS.
4. CONTRACTOR IS TO VERIFY WINDOW OPENINGS WITH WINDOW MANUFACTURER PRIOR TO COMMENCING WORK.
5. READ ARCHITECTURAL DRAWINGS IN CONJUNCTION WITH STRUCTURAL, MECHANICAL AND ELECTRICAL DRAWINGS.
6. ELEVATION REFERENCES ARE BASED ON 100'-0" = 131.70m GEODETIC ELEVATIONS AS NOTED ON A1 SITE PLAN.
7. ALL DIMENSIONS MUST BE CHECKED AGAINST THE ARCHITECTURAL DRAWINGS AND THE FIELD CONDITIONS BEFORE COMMENCING FABRICATION. AND INCONSISTENCIES ARE TO BE REPORTED TO THE CONSULTANT BEFORE PROCEEDING WITH THE WORK.
8. THE CONTRACTOR SHALL PROPERLY SUPERVISE THE WORK AND ENSURE THAT THE WORK IS INSTALLED TO THE CORRECT LINES AND LEVELS, THAT THE CONNECTIONS AND DETAILS CONFIRM TO THE DRAWING DETAILS AND SHALL COORDINATE THE INTERFACING OF ALL WORK WITH ALL SUB-TRADES.
9. PROVIDE POSITIVE FRONT YARD SLOPE TO MUNICIPAL SEWER FOR WATER RUN-OFF.
10. CONTRACTOR TO BE RESPONSIBLE FOR VERIFYING THE LOCATIONS OF ALL EXISTING UNDERGROUND AND ABOVE UTILITIES AND SERVICES. VARIOUS UTILITIES CONCERNED TO BE GIVEN REQUIRED ADVANCING NOTICE PRIOR TO ANY DIGGING, FOR STAKE OUT.
11. REFER TO LANDSCAPING PLAN FOR PLANTING CONFIRM LAYOUT WITH LANDSCAPE CONTRACTOR
12. DESIGNER NOT RESPONSIBLE FOR ACCURACY OF SURVEY DRAWING.

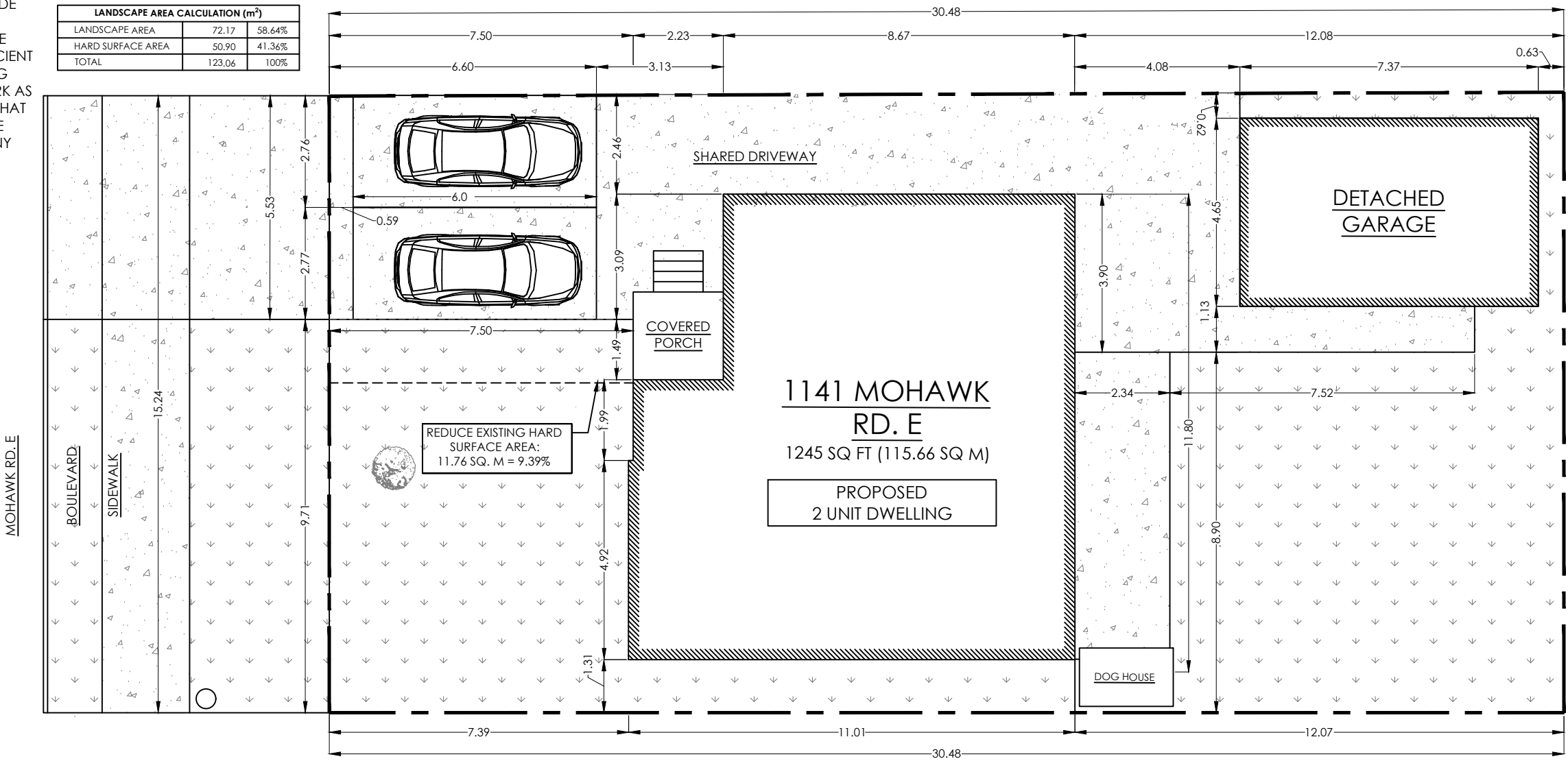
SITE PLAN:

BASED ON HAMILTON SITE MAPS AND MEASUREMENTS ON SITE DESIGNER ASSUMES NO RESPONSIBILITY FOR ACCURACY OF HAMILTON MAPS. THIS SITE SHALL NOT BE USED FOR ANY OTHER PURPOSES. NO WORK TO ENCROACH ONTO ADJOINING PROPERTIES

EXISTING STRUCTURE NOTE:
OWNER AND CONTRACTOR IS FULLY RESPONSIBLE FOR VERIFYING ALL EXISTING STRUCTURAL CONDITIONS PRIOR TO ANY WORK, ANY AND ALL DISCREPANCIES SHALL BE REPORTED TO THE OWNER PRIOR TO ANY WORK, OWNER AND CONTRACTOR IS FULLY RESPONSIBLE FOR SHORING EXISTING STRUCTURE PRIOR TO ANY WORK.

BUILDING CODE COMPLIANCE NOTE:
THESE DRAWINGS DO NOT REPRESENT A COMPREHENSIVE AND EXHAUSTIVE GUIDE FOR COMPLIANCE WITH THE ONTARIO BUILDING CODE. IT IS ASSUMED THAT THE CONTRACTOR HAS REASONABLY SUFFICIENT KNOWLEDGE OF THE ONTARIO BUILDING CODE IN ORDER TO PERFORM ALL WORK AS PER THESE DRAWINGS IN SUCH A WAY THAT WILL COMPLY WITH ALL ASPECTS OF THE O.B.C. AND WILL NOT CONTRAVENE ANY OTHER APPLICABLE LAWS.

LANDSCAPE AREA CALCULATION (m ²)		
LANDSCAPE AREA	72.17	58.64%
HARD SURFACE AREA	50.90	41.36%
TOTAL	123.06	100%

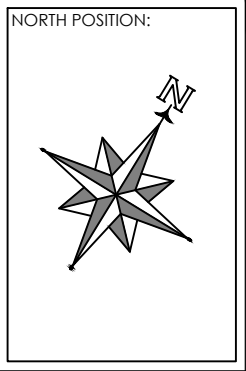


**legal
second
suites.com**

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cell: 416.807.1572

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ADDRESS: **1141 MOHAWK RD. HAMILTON, ON.**

SUBJECT: **SITE PLAN**

PROJECT: **2 UNIT CONVERSION**

SCALE: **3/32" = 1'**

DATE: **JAN 2021**

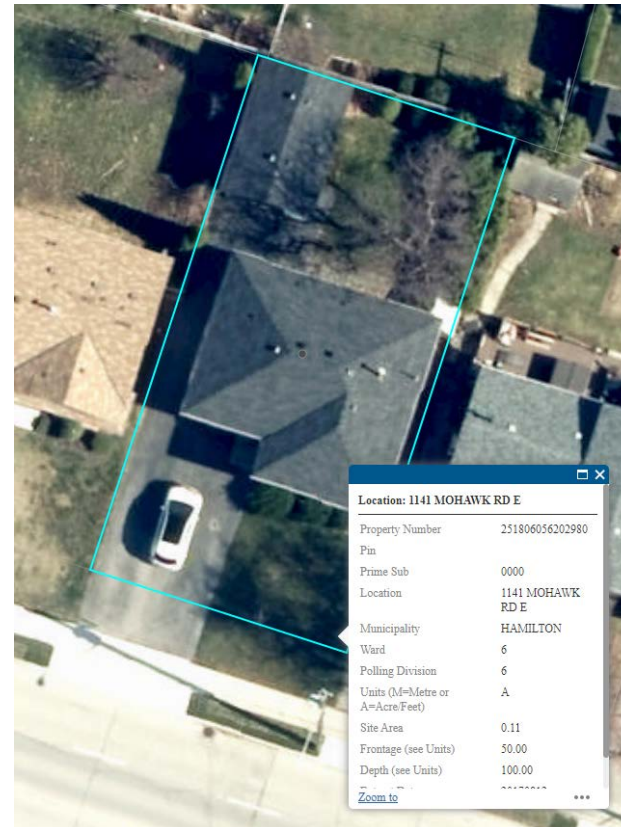
SHEET#: **SP 1.02**

2 UNIT CONVERSION

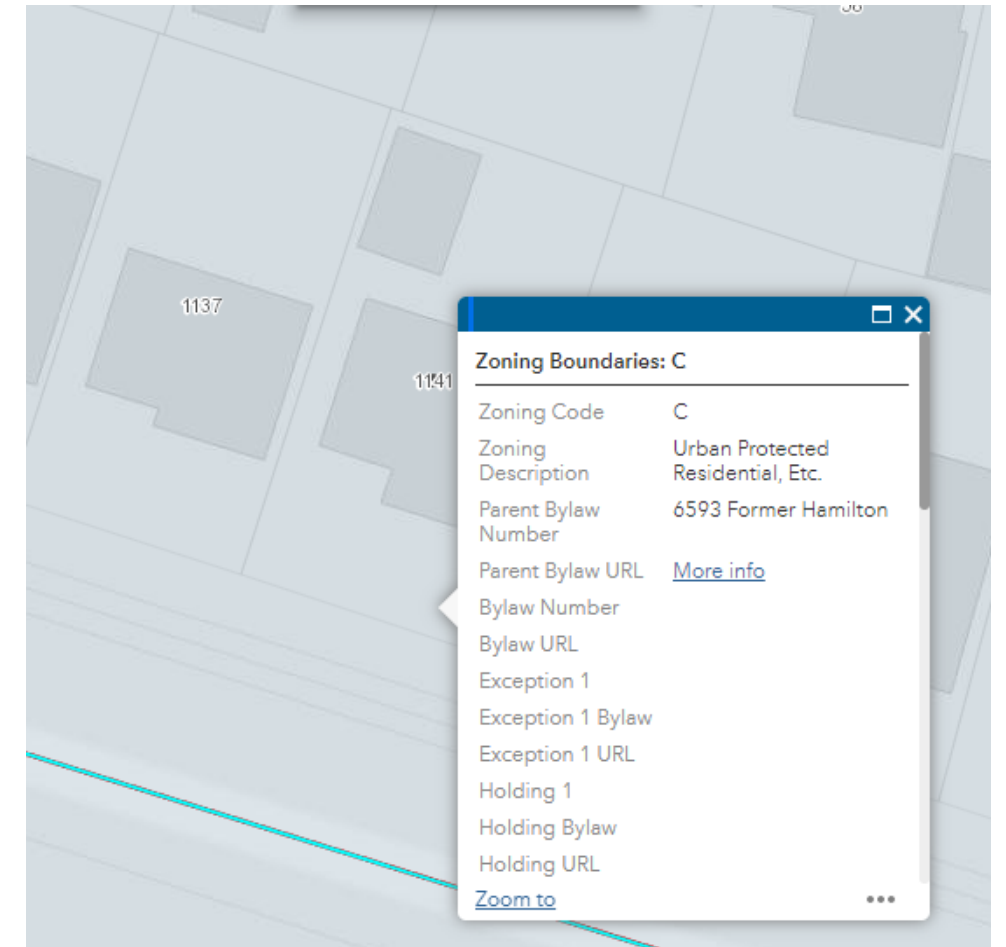
1141 MOHAWK RD, HAMILTON, ON



EXISTING BUILDING IMAGE



AERIAL MAP



ZONING MAP



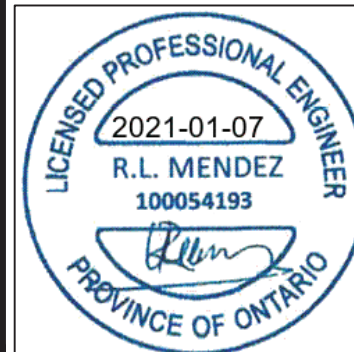
LEAD DESIGNER & CONSULTANT

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 office: 855.546.4467 cell: 905.961.0647

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NORTH POSITION:



ADDRESS:

**1141 MOHAWK RD.
 HAMILTON, ON.**

SUBJECT:

TITLE PAGE

PROJECT:

2 UNIT CONVERSION

SCALE:

-

DATE:

JAN 2021

SHEET#:

A 0.01

GENERAL NOTES:

- ALL CONSTRUCTION TO COMPLY WITH THE CURRENT ONTARIO BUILDING CODE (REVISED 2012 OBC – DEC 19, 2017).
 - ALL DIMENSIONS ARE MEASURED TO ROUGH FRAMING, MASONRY, OR CONCRETE SURFACES U.O.N.
 - ALL DOORS AND WINDOW OPENINGS ARE MEASURED TO ROUGH FRAMING OR MASONRY OPENING.
 - CONTRACTOR SHALL VERIFY WINDOW OPENINGS WITH THE MANUFACTURER PRIOR TO WORK.
 - READ ARCHITECTURAL DRAWINGS IN CONJUNCTION WITH ELECTRICAL PLANS SUPPLIED BY LICENSED ELECTRICAL CONTRACTOR.
 - ALL DIMENSIONS MUST BE CHECKED AGAINST THE ARCHITECTURAL DRAWINGS AND FIELD CONDITIONS BEFORE COMMENCING FABRICATION.
 - THE CONTRACTOR SHALL PROPERLY SUPERVISE THE WORK AND ENSURE THAT THE WORK IS INSTALLED TO THE CORRECT LINES AND LEVELS, THAT THE CONNECTIONS AND DETAILS CONFORM TO THE DRAWING DETAILS AND SHALL COORDINATE THE INTERFACING OF ALL WORK WITH ALL SUB-TRADES.
 - PROVIDE POSITIVE FRONT YARD SLOPE TO MUNICIPAL SEWER FOR WATER RUN-OFF.
 - CONTRACTOR TO BE RESPONSIBLE FOR VERIFYING THE LOCATIONS OF ALL EXISTING UNDERGROUND AND ABOVE UTILITIES AND SERVICES. VARIOUS UTILITIES CONCERNED TO BE GIVEN REQUIRED ADVANCE NOTICE PRIOR TO ANY DIGGING, FOR STAKE OUT.
 - THE CONTRACTOR IS NOT RESPONSIBLE FOR ACCURACY OF SURVEY DRAWING.
 - EXISTING DRAINAGE PATTERNS TO REMAIN. ANY NEW SUMP PUMP INSTALLATIONS TO DISCHARGE IN REAR YARD. BUILDING FROM THESE SHALL PROCEED ONLY WHEN MARKED "ISSUED FOR CONSTRUCTION."
- EXISTING STRUCTURE NOTE:
 - OWNER AND CONTRACTOR ARE FULLY RESPONSIBLE FOR VERIFYING ALL EXISTING GENERAL AND STRUCTURAL CONDITIONS PRIOR TO ANY WORK. ANY AND ALL DISCREPANCIES SHALL BE REPORTED TO SUITE ADDITIONS INC. PRIOR TO ANY WORK.
 - OWNER AND CONTRACTOR IS FULLY RESPONSIBLE FOR SHORING EXISTING STRUCTURE PRIOR TO ANY WORK IF REQUIRED.

CODE REFERENCES AND SPECIFICATIONS

1. FIRE PROTECTION MEASURES

ALL FIRE PROTECTION MEASURES MUST COMPLY WITH OBC 9.10. (U.O.N.)

2. CEILING HEIGHTS

CEILING HEIGHTS SHALL COMPLY WITH OBC 9.5.3.1. AND PART 11 – C102 OF TABLE 11.5.1.1.C.

PART 9:

BASEMENT SPACE - 2 100 mm (6'-10 3/4") over at least 75% of the basement area except that under beams and ducts the clearance is permitted to be reduced to 1 950 mm (6'-4 7/8")

PART 11 (COMPLIANCE ALTERNATIVE):

- In a house,
 (a) minimum room height shall not be less than 1 950 mm (6'-4 7/8") over the required floor area and in any location that would normally be used as a means of egress, or
 (b) minimum room height shall not be less than 2 030 mm (6'-8") over at least 50% of the required floor area, provided that any part of the floor having a clear height of less than 1 400 mm (4'-7 1/8") shall not be considered in computing the required floor area.

3. EGRESS FROM DWELLING UNIT

EGRESS FROM DWELLING UNIT SHALL COMPLY WITH OBC 9.9.9 AND PART 11 COMPLIANCE – C136 OF TABLE 11.5.1.1.C.

PART 9:

9.9.9.1. Travel Limit to Exits or Egress Doors

- (1) Except as provided in Sentences (2) and (3), every dwelling unit containing more than 1 storey shall have exits or egress doors located so that it shall not be necessary to travel up or down more than 1 storey to reach a level served by,
 (a) an egress door to a public corridor, enclosed exit stair or exterior passageway, or
 (b) an exit doorway not more than 1 500 mm above adjacent ground level.
 (2) Where a dwelling unit is not located above or below another suite, the travel limit from a floor level in the dwelling unit to an exit or egress door is permitted to exceed 1 storey where that floor level is served by an openable window or door,
 (a) providing an unobstructed opening of not less than 1 000 mm in height and 550 mm in width, and
 (b) located so that the sill is not more than,
 (i) 1 000 mm above the floor, and
 (ii) 7 m above adjacent ground level.
 (3) The travel limit from a floor level in a dwelling unit to an exit or egress door is permitted to exceed 1 storey where that floor level has direct access to a balcony.

9.9.9.2. Two Separate Exits

- (1) Except as provided in Sentence 9.9.7.3.(1), where an egress door from a dwelling unit opens onto a public corridor or exterior passageway it shall be possible from the location where the egress door opens onto the corridor or exterior passageway to go in opposite directions to two separate exits unless the dwelling unit has a second and separate means of egress.

9.9.9.3. Shared Egress Facilities

- (1) A dwelling unit shall be provided with a second and separate means of egress where an egress door from the dwelling unit opens onto,
 (a) an exit stairway serving more than one suite,
 (b) a public corridor,
 (i) serving more than one suite, and
 (ii) served by a single exit,
 (c) an exterior passageway,
 (i) serving more than one suite,
 (ii) served by a single exit stairway or ramp, and
 (iii) more than 1.5 m above adjacent ground level, or
 (d) a balcony,
 (i) serving more than one suite,
 (ii) served by a single exit stairway or ramp, and
 (iii) more than 1.5 m above adjacent ground level.

PART 11 (COMPLIANCE ALTERNATIVE):

- In a house, exit requirements are acceptable if at least one of the following conditions exists:
 (a) a door, including a sliding door, that opens directly to the exterior from a dwelling unit, serves only that dwelling unit and has reasonable access to ground level, and the dwelling units are equipped with smoke alarms installed in conformance with Subsection 9.10.19.,
 (b) an exit that is accessible to more than one dwelling unit and provides the only means of egress from each dwelling unit, provided that the means of egress is separated from the remainder of the building and common areas by a fire separation having a 30 min fire-resistance rating and provided further that the required access to exit from any dwelling unit cannot be through another dwelling unit, service room or other occupancy, and both dwelling units and common areas are provided with smoke alarms that are installed in conformance with Subsection 9.10.19. and are interconnected, or
 (c) access to an exit from one dwelling unit which leads through another dwelling unit where,
 (i) an additional means of escape is provided through a window that conforms to the following:
 (A) the sill height is not more than 1 000 mm above or below adjacent ground level,
 (B) the window can be opened from the inside without the use of tools,
 (C) the window has an individual unobstructed open portion having a minimum area of 0.38 m² with no dimension less than 460 mm,
 (D) the sill height does not exceed 900 mm above the floor or fixed steps,
 (E) where the window opens into a window well, a clearance of not less than 1 000 mm shall be provided in front of the window, and
 (F) smoke alarms are installed in every dwelling unit and in common areas in conformance with Subsection 9.10.19. and are interconnected,
 (ii) an additional means of escape is provided through a window that conforms to the following:
 (A) the window is a casement window not less than 1 060 mm high, 560 mm wide, with a sill height not more than 900 mm above the inside floor,
 (B) the sill height of the window is not more than 5 m above adjacent ground level, and
 (C) smoke alarms are installed in every dwelling unit and in common areas in conformance with Subsection 9.10.19. and are interconnected, or (iii) the building is sprinklered and the dwelling units are equipped with smoke alarms installed in conformance with Subsection 9.10.19.

4. EGRESS FROM BEDROOMS

EGRESS FROM BEDROOMS SHALL COMPLY WITH OBC 9.9.10.1

PART 9:

- (1) Except where a door on the same floor level as the bedroom provides direct access to the exterior, every floor level containing a bedroom in a suite shall be provided with at least one outside window that,
 (a) is openable from the inside without the use of tools,
 (b) provides an individual, unobstructed open portion having a minimum area of 0.35 m² with no dimension less than 380 mm, and
 (c) maintains the required opening described in Clause (b) without the need for additional support.
 (2) Except for basement areas, the window required in Sentence (1) shall have a maximum sill height of 1000 mm above the floor.
 (3) When sliding windows are used, the minimum dimension described in Sentence (1) shall apply to the openable portion of the window.
 (4) Where the sleeping area within a live/work unit is on a mezzanine with no obstructions more than 1 070 mm above the floor, the window required in Sentence (1) may be provided on the main level of the live/work unit provided the mezzanine is not more than 25% of the area of the live/work unit or 20 m², whichever is less, and an unobstructed direct path of travel is provided from the mezzanine to this window.
 (5) Where a window required in Sentence (1) opens into a window well, a clearance of not less than 550 mm shall be provided in front of the window.
 (6) Where the sash of a window referred to in Sentence (5) swings towards the window well, the operation of the sash shall not reduce the clearance in a manner that would restrict escape in an emergency.
 (7) Where a protective enclosure is installed over the window well referred to in Sentence (5), such enclosure shall be openable from the inside without the use of keys, tools or special knowledge of the opening mechanism.

5. SMOKE ALARMS

SMOKE ALARMS SHALL COMPLY WITH OBC 9.10.19. AND PART 11 COMPLIANCE – C175 OF TABLE 11.5.1.1.C.

PART 9:

9.10.19.1. Required Smoke Alarms

- (2) Smoke alarms conforming to CAN/ULC-S531, "Smoke Alarms", shall be installed in each dwelling unit and in each sleeping room not within a dwelling unit.
 (3) Smoke alarms required in Sentence (1) shall have a visual signalling component conforming to the requirements in 18.5.3. (Light, Color and Pulse Characteristics) of NFPA 72, "National Fire Alarm and Signaling Code".
 (4) The visual signalling component required in Sentence (2) need not, (a) be integrated with the smoke alarm provided it is interconnected to it, (b) be on battery backup, or (c) have synchronized flash rates, when installed in a dwelling unit.
 (5) The luminous intensity for visual signalling components required in Sentence (2) that are installed in sleeping rooms shall be a minimum of 175 cd.
 (6) Smoke alarms required in Sentence (1) shall be installed on or near the ceiling.

9.10.19.3. Location of Smoke Alarms

- (1) Within dwelling units, sufficient smoke alarms shall be installed so that,
 (a) there is at least one smoke alarm installed on each storey, including basements, and
 (b) on any storey of a dwelling unit containing sleeping rooms, a smoke alarm is installed,
 (i) in each sleeping room, and
 (ii) in a location between the sleeping rooms and the remainder of the storey, and if the sleeping rooms are served by a hallway, the smoke alarm shall be located in the hallway.
 (2) Within a house that contains an interior shared means of egress or common area, a smoke alarm shall be installed in each shared means of egress and common area.
 (3) A smoke alarm required in Sentences (1) and (2) shall be installed in conformance with CAN/ULC-S553, "Installation of Smoke Alarms".

9.10.19.4. Power Supply

- (1) Except as provided in Sentences (2) and (3), smoke alarms required in Sentences 9.10.19.1.(1) and 9.10.19.3.(2) shall,
 (a) be installed with permanent connections to an electrical circuit,
 (b) have no disconnect switch between the overcurrent device and the smoke alarm, and
 (c) in case the regular power supply to the smoke alarm is interrupted, be provided with a battery as an alternative power source that can continue to provide power to the smoke alarm for a period of not less than 7 days in the normal condition, followed by 4 min of alarm.

9.10.19.5. Interconnection of Smoke Alarms

- (1) Where more than one smoke alarm is required in a dwelling unit, the smoke alarms shall be wired so that the activation of one alarm will cause all alarms within the dwelling unit to sound.

PART 11 (COMPLIANCE ALTERNATIVE):

Smoke alarms may be battery operated.



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NORTH POSITION:

ADDRESS:

**1141 MOHAWK RD.
HAMILTON, ON.**

SUBJECT:

CONSTRUCTION NOTES 1 OF 2

PROJECT:

2 UNIT CONVERSION

SCALE:

-

DATE:

JAN 2021

SHEET#:

A 0.02

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6. CARBON MONOXIDE ALARMS

CARBON MONOXIDE ALARMS SHALL COMPLY WITH OBC 9.33.4. AND PART 11 COMPLIANCE – C197 OF TABLE 11.5.1.1.C.

PART 9:

9.33.4.1. Application

- (1) This Subsection applies to every building that,
 - (a) contains a residential occupancy, and
 - (b) contains a fuel-burning appliance or a storage garage.

9.33.4.2. Location of Carbon Monoxide Alarms

- (1) Where a fuel-burning appliance is installed in a suite of residential occupancy, a carbon monoxide alarm shall be installed adjacent to each sleeping area in the suite.
- (2) Where a fuel-burning appliance is installed in a service room that is not in a suite of residential occupancy, a carbon monoxide alarm shall be installed,
 - (a) adjacent to each sleeping area in every suite of residential occupancy that is adjacent to the service room, and
 - (b) in the service room.
- (3) Where a storage garage is located in a building containing a residential occupancy, a carbon monoxide alarm shall be installed adjacent to each sleeping area in every suite of residential occupancy that is adjacent to the storage garage.
- (4) Where a storage garage serves only the dwelling unit to which it is attached or built in, a carbon monoxide alarm shall be installed adjacent to each sleeping area in the dwelling unit.
- (5) A carbon monoxide alarm shall be mechanically fixed,
 - (a) at the manufacturer's recommended height, or
 - (b) in the absence of specific instructions, on or near the ceiling.

9.33.4.3. Installation and Conformance to Standards

- (1) The carbon monoxide alarm required by Article 9.33.4.2. shall,
 - (a) except as permitted in Sentence (2), be permanently connected to an electrical circuit and shall have no disconnect switch between the overcurrent device and the carbon monoxide alarm,
 - (b) be wired so that its activation will activate all carbon monoxide alarms within the suite, where located within a suite of residential occupancy,
 - (c) be equipped with an alarm that is audible within bedrooms when the intervening doors are closed, where located adjacent to a sleeping area, and
 - (d) conform to,
 - (i) CAN/CSA-6.19, "Residential Carbon Monoxide Alarming Devices", or
 - (ii) UL 2034, "Single and Multiple Station Carbon Monoxide Alarms".
- (2) Where the building is not supplied with electrical power, carbon monoxide alarms are permitted to be battery operated.

PART 11 (COMPLIANCE ALTERNATIVE):

Carbon monoxide alarms may be battery operated or plugged into an electrical outlet.

7. FIRE-RESISTANCE RATINGS FOR WALLS, COLUMNS AND ARCHES

FIRE-RESISTANCE RATINGS FOR WALLS, COLUMNS AND ARCHES SHALL COMPLY WITH OBC 9.10.8.3 AND PART 11 COMPLIANCE - C147 OF TABLE 11.5.1.1.C.

PART 9:

- (1) Except as otherwise provided in this Subsection, all load bearing walls, columns and arches in the storey immediately below a floor or roof assembly shall have a fire-resistance rating of not less than that required for the supported floor or roof assembly.

PART 11 (COMPLIANCE ALTERNATIVE):

- (a) Except as provided in (b) and (c), 30 min rating is acceptable.
- (b) In a house, 15 min horizontal fire separation is acceptable where,
 - (i) smoke alarms are installed in every dwelling unit and in common areas in conformance with Subsection 9.10.19., and
 - (ii) smoke alarms are interconnected.
- (c) In a house, the fire-resistance rating of the fire separation is waived where the building is sprinklered.

8. SEPARATION OF SERVICE ROOMS

SEPARATION OF SERVICE ROOMS SHALL COMPLY WITH OBC 9.10.10.4

PART 9:

- 9.10.10.1. Appliances and Equipment to be Located in a Service Room
 - (1) Except as provided in Sentences (2) and (3) and Article 9.10.10.5., fuel-fired appliances shall be located in a service room separated from the remainder of the building by a fire separation having not less than a 1 h fire-resistance rating.
 - (2) Except as required in the appliance installation standards referenced in Sentences 6.2.1.4.(1) and 9.33.1.2.(1), fuel fired spaceheating appliances, space-cooling appliances and service water heaters need not be separated from the remainder of the building as required in Sentence (1) where the equipment serves,
 - (a) not more than one room or suite,
 - (b) a house, or
 - (c) a building, other than a house, with a building area of not more than 400 m² and a building height of not more than 2 storeys.
- (3) Sentence (1) does not apply to fireplaces and cooking appliances.

9. SEPARATION OF RESIDENTIAL SUITES

SEPARATION OF RESIDENTIAL SUITES SHALL COMPLY WITH OBC 9.10.9.14 AND PART 11 COMPLIANCE - C152 OF TABLE 11.5.1.1.C.

PART 9:

- (1) Except as provided in Sentences (2) and (3) and Article 9.10.21.2., suites in residential occupancies shall be separated from adjacent rooms and suites by a fire separation having a fire-resistance rating of not less than 45 min.
- (2) Sleeping rooms in boarding, lodging or rooming houses where sleeping accommodation is provided for not more than 8 boarders or lodgers shall be separated from the remainder of the floor area by a fire separation having a fire-resistance rating of not less than 30 min where the sleeping rooms form part of the proprietor's residence and do not contain cooking facilities.
- (3) Except as provided in Sentences (4) and (5), dwelling units that contain 2 or more storeys including basements shall be separated from the remainder of the building by a fire separation having a fire-resistance rating of not less than 1 h.
- (4) Except as provided in Sentence (5), dwelling units in a house shall be separated from each other and common areas by a fire separation having a fire-resistance rating of not less than 45 min.
- (5) The fire-resistance rating of the fire separation required in Sentence (4) is permitted to be waived where the house is sprinklered.

PART 11 (COMPLIANCE ALTERNATIVE):

- (a) Except as provided in (b) and (c), 30 min fire separation is acceptable.
- (b) In a house, 15 min horizontal fire separation is acceptable where,
 - (i) smoke alarms are installed in every dwelling unit and in common areas in conformance with Subsection 9.10.19., and
 - (ii) smoke alarms are interconnected.
- (c) In a house, the fire-resistance rating of the fire separation is waived where the building is sprinklered.

10. CLOSURES (DOORS):

CLOSURES SHALL COMPLY WITH OBC 9.10.13.1 AND PART 11 COMPLIANCE - C155 OF TABLE 11.5.1.1.C.

PART 9:

- (1) Except as provided in Article 9.10.13.2., openings in required fire separations shall be protected with a closure conforming to Table 9.10.13.1. and shall be installed in conformance with NFPA 80, Fire Doors and Other Opening Protectives, unless otherwise specified in this Part.

PART 11 (COMPLIANCE ALTERNATIVE):

- Existing functional closures are acceptable subject to C.A.'s C8 and C156.
 - (a) Existing functional and sound doors in existing buildings that are either hollow metal or kalamein and containing wired glass at least 6 mm thick and conforming to Sentence 3.1.8.14.(2) are permitted in lieu of doors not required to exceed 45 min,
 - (b) all existing functional and sound hollow metal or kalamein doors which carry existing 1.5 h labels are acceptable in lieu of current 1.5 h labels and may contain wired glass panels not exceeding 0.0645 m², at least 6 mm thick and conforming to Sentence 3.1.8.14.(2), and
 - (c) every fire door, window assembly or glass block used as a closure in a required fire separation shall be installed in conformance with good engineering practice. In a house, existing unlabelled doors at least 45 mm solid core wood or metal clad are acceptable. For existing closures, ratings of 20 min will not be required where the entire floor area is sprinklered.

11. LAUNDRY FIXTURES

LAUNDRY FIXTURES SHALL COMPLY WITH OBC 9.31.4.2.

PART 9:

- (1) Laundry facilities or a space for laundry facilities shall be provided in every dwelling unit or grouped elsewhere in the building in a location conveniently accessible to occupants of every dwelling unit.

12. NATURAL VENTILATION

NATURAL VENTILATION SHALL COMPLY WITH OBC 9.32.2.1 AND PART 11 COMPLIANCE - C194 OF TABLE 11.5.1.1.C.

PART 9:

- (1) The unobstructed openable ventilation area to the outdoors for rooms and spaces in a residential occupancy ventilated by natural means shall conform to Table 9.32.2.1.

PART 11 (COMPLIANCE ALTERNATIVE):

In a house, rooms or spaces to be ventilated by natural means in accordance with Subsection 9.32.2. or by providing adequate mechanical ventilation.

13. ELECTRICAL FACILITIES

ELECTRICAL FACILITIES SHALL COMPLY WITH OBC 9.34.

14. INTERCONNECTION OF SYSTEMS

INTERCONNECTION OF SYSTEMS SHALL COMPLY WITH OBC 6.2.3.9 AND PART 11 COMPLIANCE – C91 OF TABLE 11.5.1.1.C.

PART 6:

- (1) In a residential occupancy, air from one suite shall not be circulated to any other suite or to a public corridor or public stairway.

PART 11 (COMPLIANCE ALTERNATIVE):

In a building containing not more than four dwelling units or residential suites, the existing heating or air-conditioning system may be altered to serve more than one dwelling unit or suite, provided smoke alarms are installed in each dwelling unit or suite and provided a smoke detector is installed in the supply or return air duct system serving the entire building which would turn off the fuel supply and electrical power to the heating system upon activation of such detector.

15. PENETRATIONS

PIPING, TUBING, DUCTS, CHIMNEYS, WIRING, CONDUIT, ELECTRICAL OUTLET BOXES AND OTHER SIMILAR SERVICE EQUIPMENT THAT PENETRATE A FIRE SEPARATION MUST BE NON COMBUSTIBLE AND FIRE STOPPED.

16. PLUMBING

ALL PLUMBING MUST CONFORM TO O.REG.332/12, DIV. B PART 7 OF THE BUILDING CODE

17. HANDRAILS AND GUARDRAILS

INSTALL HANDRAILS AND GUARDRAILS IN ACCORDANCE WITH 9.8.7. AND 9.8.8 OF THE BUILDING CODE RESPECTIVELY



LEAD DESIGNER & CONSULTANT

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NORTH POSITION:

ADDRESS:

**1141 MOHAWK RD.
HAMILTON, ON.**

SUBJECT:

CONSTRUCTION NOTES 2 OF 2

PROJECT:

2 UNIT CONVERSION

SCALE:

-

DATE:

JAN 2021

SHEET#:

A 0.03

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SITE INFORMATION & STATISTICS

ADDRESS	1141 MOHAWK ROAD E - HAMILTON - ON.
ZONING TYPE	C
LOT AREA	5000.00 SQ FT (464.51 SQ M)
LOT FRONTAGE	50' (15.24m)

GENERAL NOTES:

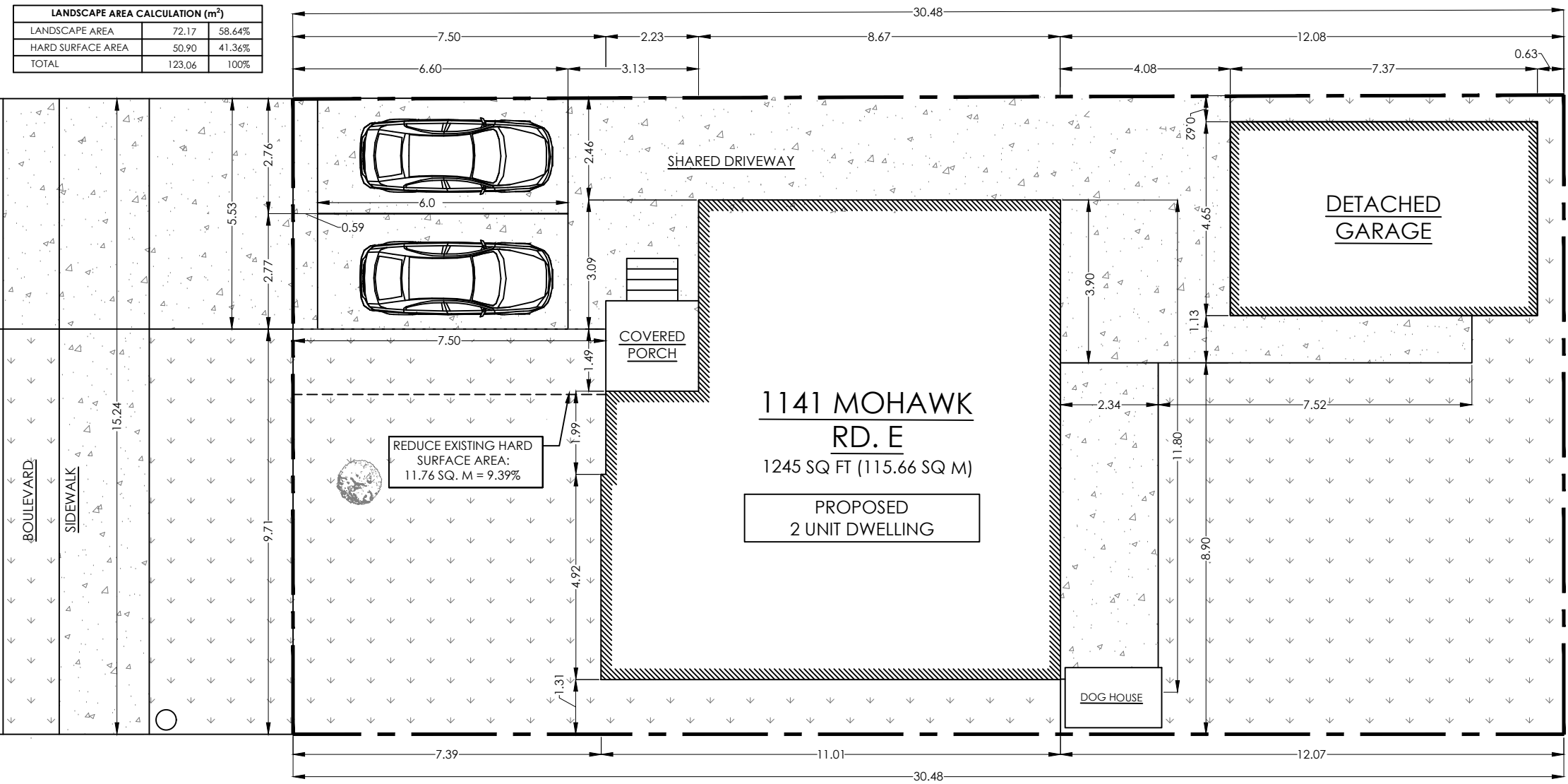
1. ALL CONSTRUCTION TO COMPLY WITH THE REVISED ONTARIO BUILDING CODE 2012.
2. ALL DIMENSIONS ARE MEASURED TO ROUGH FRAMING OR TO MASONRY SURFACES UNLESS OTHERWISE NOTED.
3. ALL DOORS AND WINDOW OPENINGS ARE MEASURED TO ROUGH FRAMING OR MASONRY OPENINGS.
4. CONTRACTOR IS TO VERIFY WINDOW OPENINGS WITH WINDOW MANUFACTURER PRIOR TO COMMENCING WORK.
5. READ ARCHITECTURAL DRAWINGS IN CONJUNCTION WITH STRUCTURAL, MECHANICAL AND ELECTRICAL DRAWINGS.
6. ELEVATION REFERENCES ARE BASED ON 100'-0" = 131.70m GEODETIC ELEVATIONS AS NOTED ON A1 SITE PLAN.
7. ALL DIMENSIONS MUST BE CHECKED AGAINST THE ARCHITECTURAL DRAWINGS AND THE FIELD CONDITIONS BEFORE COMMENCING FABRICATION. AND INCONSISTENCIES ARE TO BE REPORTED TO THE CONSULTANT BEFORE PROCEEDING WITH THE WORK.
8. THE CONTRACTOR SHALL PROPERLY SUPERVISE THE WORK AND ENSURE THAT THE WORK IS INSTALLED TO THE CORRECT LINES AND LEVELS, THAT THE CONNECTIONS AND DETAILS CONFIRM TO THE DRAWING DETAILS AND SHALL COORDINATE THE INTERFACING OF ALL WORK WITH ALL SUB-TRADES.
9. PROVIDE POSITIVE FRONT YARD SLOPE TO MUNICIPAL SEWER FOR WATER RUN-OFF.
10. CONTRACTOR TO BE RESPONSIBLE FOR VERIFYING THE LOCATIONS OF ALL EXISTING UNDERGROUND AND ABOVE UTILITIES AND SERVICES. VARIOUS UTILITIES CONCERNED TO BE GIVEN REQUIRED ADVANCING NOTICE PRIOR TO ANY DIGGING, FOR STAKE OUT.
11. REFER TO LANDSCAPING PLAN FOR PLANTING CONFIRM LAYOUT WITH LANDSCAPE CONTRACTOR
12. DESIGNER NOT RESPONSIBLE FOR ACCURACY OF SURVEY DRAWING.

SITE PLAN:

BASED ON HAMILTON SITE MAPS AND MEASUREMENTS ON SITE DESIGNER ASSUMES NO RESPONSIBILITY FOR ACCURACY OF HAMILTON MAPS. THIS SITE SHALL NOT BE USED FOR ANY OTHER PURPOSES. NO WORK TO ENCROACH ONTO ADJOINING PROPERTIES

EXISTING STRUCTURE NOTE:
OWNER AND CONTRACTOR IS FULLY RESPONSIBLE FOR VERIFYING ALL EXISTING STRUCTURAL CONDITIONS PRIOR TO ANY WORK, ANY AND ALL DISCREPANCIES SHALL BE REPORTED TO THE OWNER PRIOR TO ANY WORK, OWNER AND CONTRACTOR IS FULLY RESPONSIBLE FOR SHORING EXISTING STRUCTURE PRIOR TO ANY WORK.

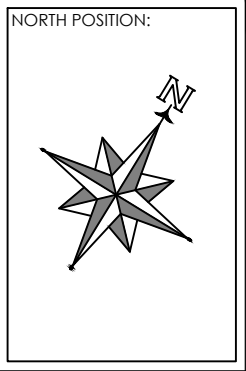
BUILDING CODE COMPLIANCE NOTE:
THESE DRAWINGS DO NOT REPRESENT A COMPREHENSIVE AND EXHAUSTIVE GUIDE FOR COMPLIANCE WITH THE ONTARIO BUILDING CODE. IT IS ASSUMED THAT THE CONTRACTOR HAS REASONABLY SUFFICIENT KNOWLEDGE OF THE ONTARIO BUILDING CODE IN ORDER TO PERFORM ALL WORK AS PER THESE DRAWINGS IN SUCH A WAY THAT WILL COMPLY WITH ALL ASPECTS OF THE O.B.C. AND WILL NOT CONTRAVENE ANY OTHER APPLICABLE LAWS.



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ADDRESS: **1141 MOHAWK RD. HAMILTON, ON.**

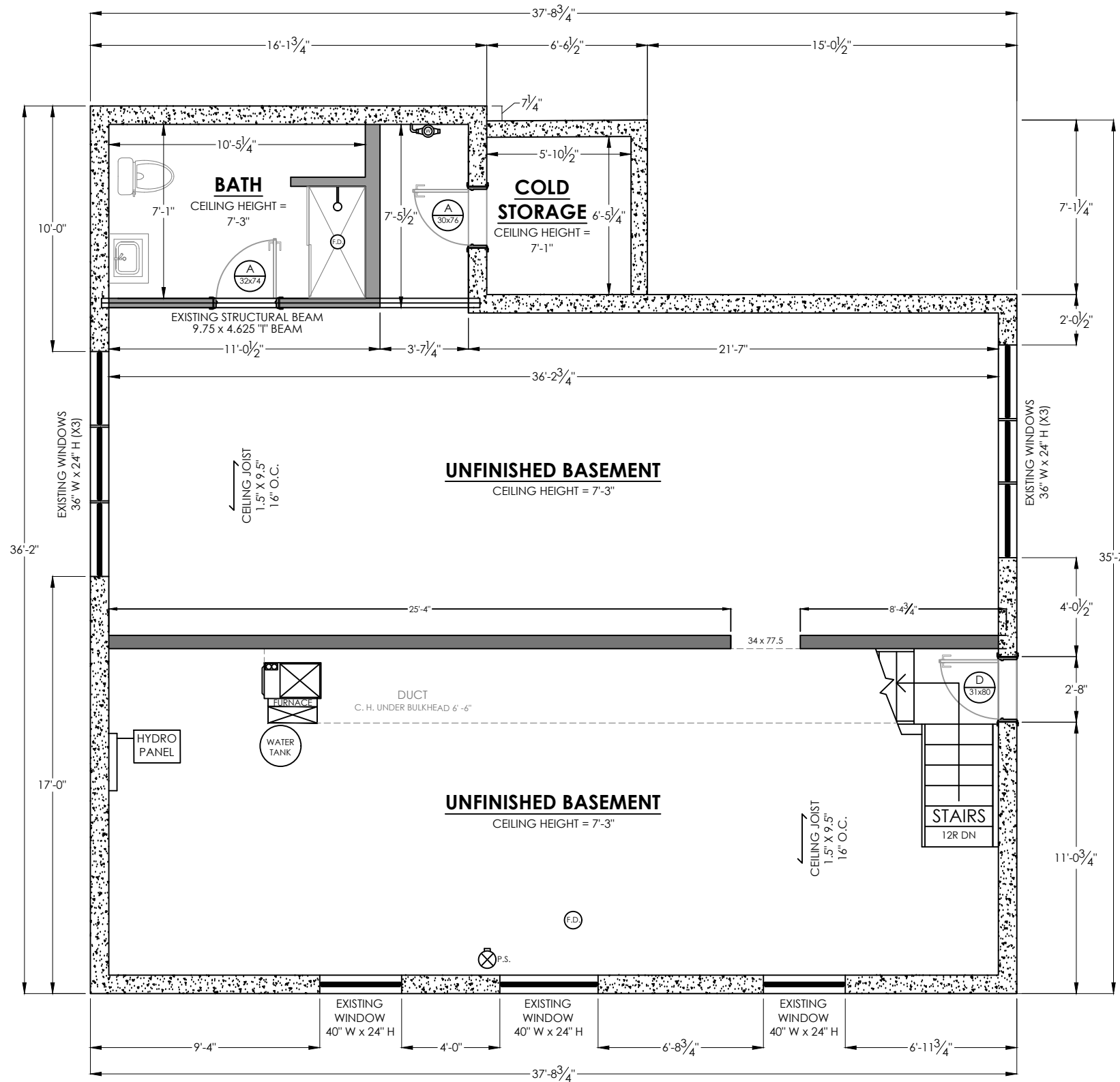
SUBJECT: **SITE PLAN**

PROJECT: **2 UNIT CONVERSION**

SCALE: **3/32" = 1'**

DATE: **JAN 2021**

SHEET#: **SP 1.02**



PLANS LEGEND	
	BATH
	EXHAUST FAN
	SPECIFICATION TAG
	SMOKE ALARM
	CARBON MONOXIDE ALARM
	CEILING HEIGHT
	STRUCTURAL BEAM OR WALL
	PLUMBING STACK
	WATER METER
	FLOOR DRAIN
	STRUCTURAL COLUMN
	FOUNDATION WALL
	EXISTING EXTERIOR WALLS
	NEW EXTERIOR WALLS
	EXISTING INTERIOR WALLS
	NEW INTERIOR WALLS
	STRUCTURAL WALLS
	NEW STRUCTURAL BEAMS
	WINDOWS
	SUPPLY REGISTER
	RETURN GRILLE
DOOR LEGEND	
	A. PANEL DOOR
	B. FIRE DOOR w/ SELF CLOSER (45 MIN)
	C. FIRE DOOR w/ SELF CLOSER (20 MIN)
	D. EXTERIOR DOOR
	E. BIFOLD CLOSET
	F. SLIDING DOOR
	G. POCKET DOOR



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NORTH POSITION:



ADDRESS:

**1141 MOHAWK RD.
HAMILTON, ON.**

SUBJECT:

EXISTING BASEMENT

PROJECT:

2 UNIT CONVERSION

SCALE:

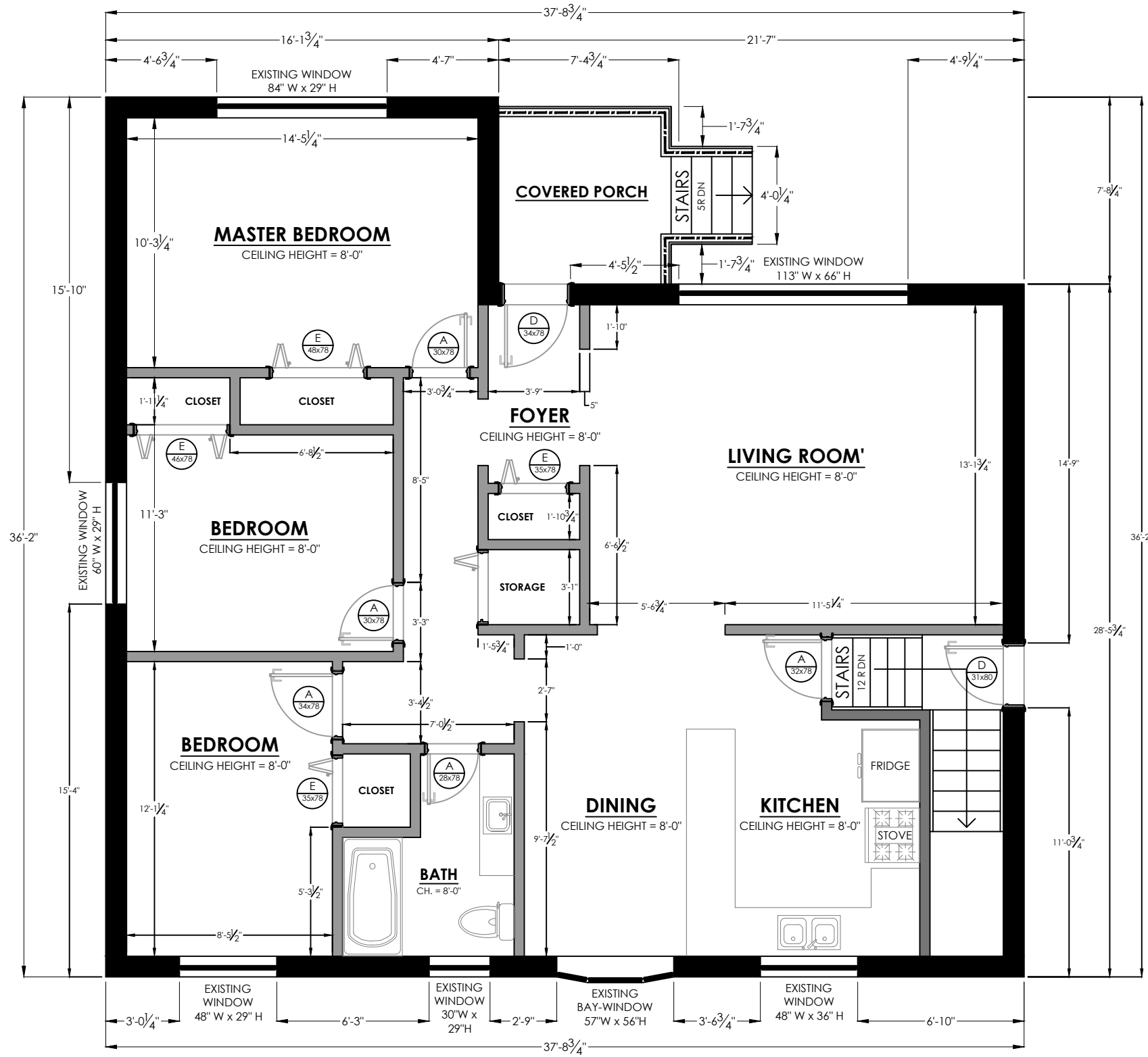
3/16" = 1'

DATE:

JAN 2021

SHEET#:

A 1.01

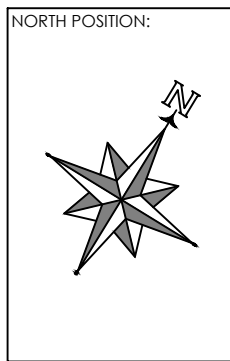


PLANS LEGEND	
	BATH
	EXHAUST FAN
	SPECIFICATION TAG
	SMOKE ALARM
	CARBON MONOXIDE ALARM
	CEILING HEIGHT
	STRUCTURAL BEAM OR WALL
	PLUMBING STACK
	WATER METER
	FLOOR DRAIN
	STRUCTURAL COLUMN
	FOUNDATION WALL
	EXISTING EXTERIOR WALLS
	NEW EXTERIOR WALLS
	EXISTING INTERIOR WALLS
	NEW INTERIOR WALLS
	STRUCTURAL WALLS
	NEW STRUCTURAL BEAMS
	WINDOWS
	SUPPLY REGISTER
	RETURN GRILLE
DOOR LEGEND	
	DOOR TYPE DOOR SIZE
A. PANEL DOOR	
B. FIRE DOOR w/ SELF CLOSER (45 MIN)	
C. FIRE DOOR w/ SELF CLOSER (20 MIN)	
D. EXTERIOR DOOR	
E. BIFOLD CLOSET	
F. SLIDING DOOR	
G. POCKET DOOR	



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ADDRESS: **1141 MOHAWK RD.
HAMILTON, ON.**

SUBJECT: **EXISTING GROUND FLOOR**

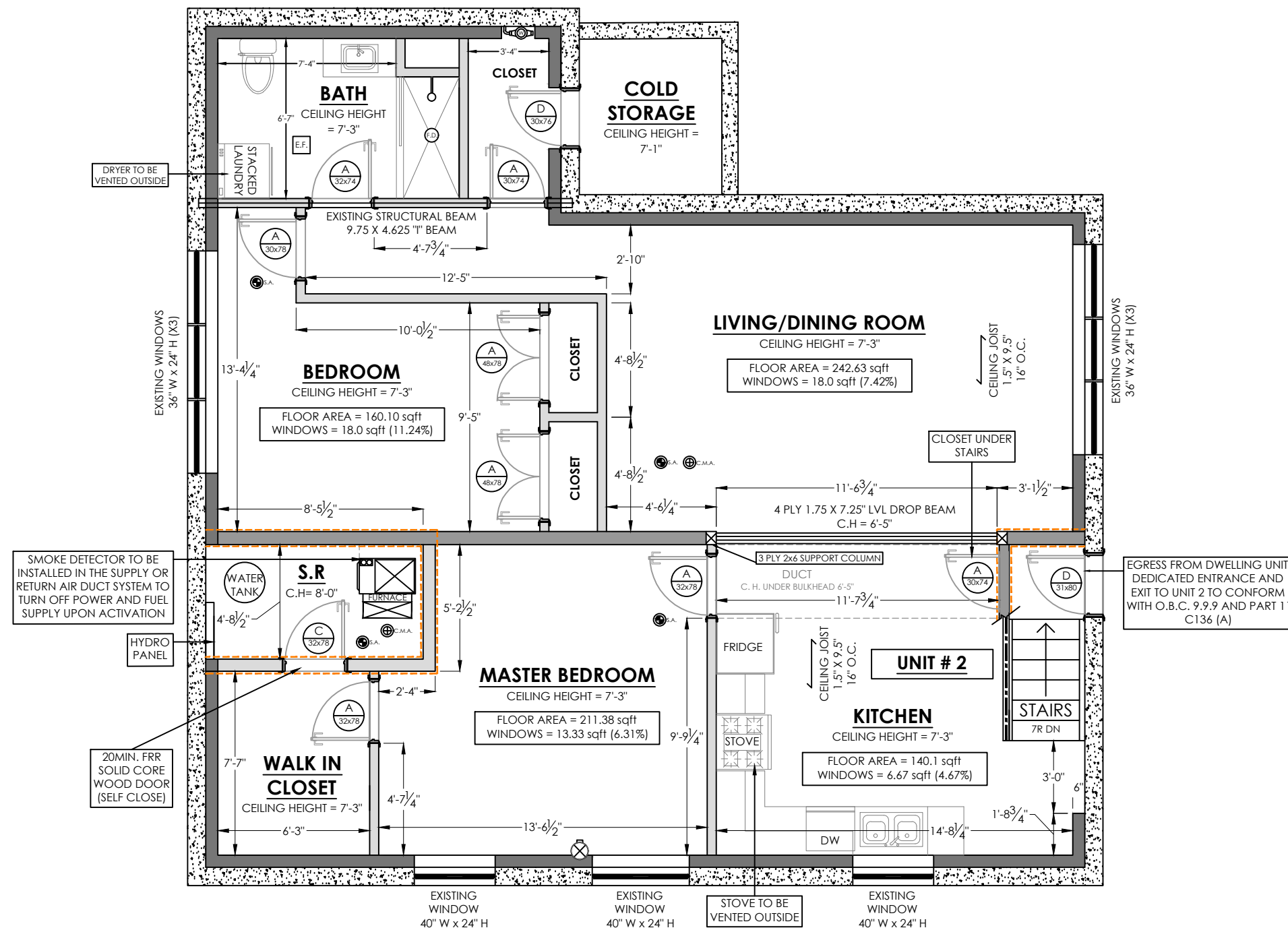
PROJECT: **2 UNIT CONVERSION**

SCALE: **3/16" = 1'**

DATE: **JAN 2021**

SHEET#: **A 1.02**

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SEPARATION OF SERVICE ROOM:

- SERVICE ROOM TO CONFORM WITH OBC SECTION 9.10.10.4

IMPORTANT NOTE:

- SERVICE ROOM NO LONGER REQUIRES FIRE SEPARATION TO PROVIDE FIRE SEPARATION FROM BOTH UNITS AS IT IS NOW EXEMPT UNDER 9.10.10.4 (2)(b) FOR A "HOUSE", DEFINED IN O.B.C. AS "a detached house, semi-detached house or row house containing not more than two dwelling units"

VERTICAL PARTITIONS STILL REQUIRE FIRE SEPARATION TO PROVIDE FIRE RESISTANCE RATING BETWEEN DWELLING UNITS. **W4A**

- NEW 2 x 4 STUD WALL SPACED 16" O.C.
- 3.5" THICK ABSORPTIVE MATERIAL
- RESILIENT METAL CHANNELS SPACED 24" O.C
- 2 LAYERS 5/8" TYPE X GYPSUM BOARD ON CHANNEL SIDE
- 1 LAYER 5/8" TYPE X GYPSUM BOARD ON OTHER SIDE

GYPSUM BOARD INSIDE SERVICE ROOM TO EXTEND INTO JOIST CAVITY AND BUTTED TIGHTLY AGAINST FLOOR JOISTS AND SUBFLOOR ABOVE

- SMALL GAPS TO BE CAULKED WITH FIRE BARRIER SEALANT IN ACCORDANCE WITH CAN/ULC/ S115

IMPORTANT - ADEQUATE COMBUSTION AIR NEEDED FOR APPLIANCES

SEPARATION BETWEEN UNITS:

NEW SEPARATION BETWEEN UNITS TO HAVE A FIRE RESISTANCE RATING OF 30 MINS AS PER O.B.C. 9.10.9.14 AND PART 11 COMPLIANCE - C152 AND STC50

BASEMENT CEILING (SEPARATING SECOND SUITE: F8D NEW PORTIONS ONLY)

- EX. WOOD JOISTS @ 16" O.C.
- 6" THICK ABSORPTIVE MATERIAL IN CAVITY (FIBRE FROM ROCK/SLAG W/ MIN 90mm & MIN. SURFACE AREA MASS OF 2.8 KG/SQ. M
- RESILIENT METAL CHANNELS SPACED @ 16" O.C.
- 1 LAYER 5/8" TYPE X GYPSUM BOARD ON CEILING SIDE

NEW SHARED PARTITIONS: W4A

- NEW 2 x 4 STUD WALL SPACED 16" O.C.
- 3.5" THICK ABSORPTIVE MATERIAL
- RESILIENT METAL CHANNELS SPACED 24" O.C.
- 2 LAYERS 5/8" TYPE X GYPSUM BOARD ON CHANNEL SIDE
- 1 LAYER 5/8" TYPE X GYPSUM BOARD ON OTHER SIDE

EXISTING SHARED PARTITIONS:

- EX. 1/2" REGULAR GYPSUM BOARD TO REMAIN AS IS
- ADDITIONAL LAYER OF 5/8" TYPE X TO BE APPLIED OVER EXISTING

EX. LATH AND PLASTER TO REMAIN AS IS

- MEETS A 30 MIN FRR AS PER ONTARIO FIRE MARSHALL
- WITH INTERCONNECTED SMOKE DETECTORS IN EACH DWELLING UNIT

EXISTING CEILING (15 MIN FRR BETWEEN DWELLING UNITS)

- EX. 1/2" REGULAR GYPSUM BOARD OR PLASTER TO REMAIN
- AS PER PART 11 C143 1. HUD REHABILITATION GUIDELINES, "GUIDELINE ON FIRE RATINGS OF ARCHAIC MATERIALS AND ASSEMBLES"
- WITH INTERCONNECTED SMOKE DETECTORS IN EACH DWELLING UNIT

FOR PIPE AND WIRE PENETRATIONS:

- USE FIRE RATED FOAM TESTED IN ACCORDANCE WITH CAN/ULC-S115 (EG. HILTI FIRE FOAM CP 620 OR 3M FIRE BARRIER SEALANT CP 25WB+)

FOR HVAC DUCTING:

- ADDRESSED WITH IN-DUCT SMOKE DETECTOR:
- SEE NOTE NEAR FURNACE ON FLOOR PLAN

FOR SERVICE ITEMS IN FIRE SEPARATION (VALVES, METERS, ELECTRICAL BOXES, ETC):

- USE ULC RATED FIRE-RATED ACCESS PANELS (MIN. 45 MINS.)

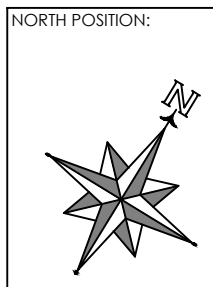
NOTE: ALL SMOKE ALARMS TO BE INTERCONNECTED

PLANS LEGEND	
	BATH
	ROOM NAME
	EXHAUST FAN
	SPECIFICATION TAG
	SMOKE ALARM
	CARBON MONOXIDE ALARM
	C.E.H. = 8'-10"
	STRUCTURAL BEAM OR WALL
	PLUMBING STACK
	WATER METER
	FLOOR DRAIN
	STRUCTURAL COLUMN
	FOUNDATION WALL
	EXISTING EXTERIOR WALLS
	NEW EXTERIOR WALLS
	EXISTING INTERIOR WALLS
	NEW INTERIOR WALLS
	STRUCTURAL WALLS
	NEW STRUCTURAL BEAMS
	WINDOWS
	SUPPLY REGISTER
	RETURN GRILLE
DOOR LEGEND	
	A. PANEL DOOR
	B. FIRE DOOR w/ SELF CLOSER (45 MIN)
	C. FIRE DOOR w/ SELF CLOSER (20 MIN)
	D. EXTERIOR DOOR
	E. BIFOLD CLOSET
	F. SLIDING DOOR
	G. POCKET DOOR



LEAD DESIGNER & CONSULTANT
 Ken Bekendam B.A. BUSCOM, L.T.
 kenbekendam@gmail.com
 office: 855.546.4467 cell: 905.961.0647

LEAD ENGINEER
 Robert Mendez P. Eng 100054193
 robertmendez@yahoo.com
 cell: 416.807.1572



ADDRESS: **1141 MOHAWK RD. HAMILTON, ON.**

SUBJECT: **PROPOSED BASEMENT UNIT #2**

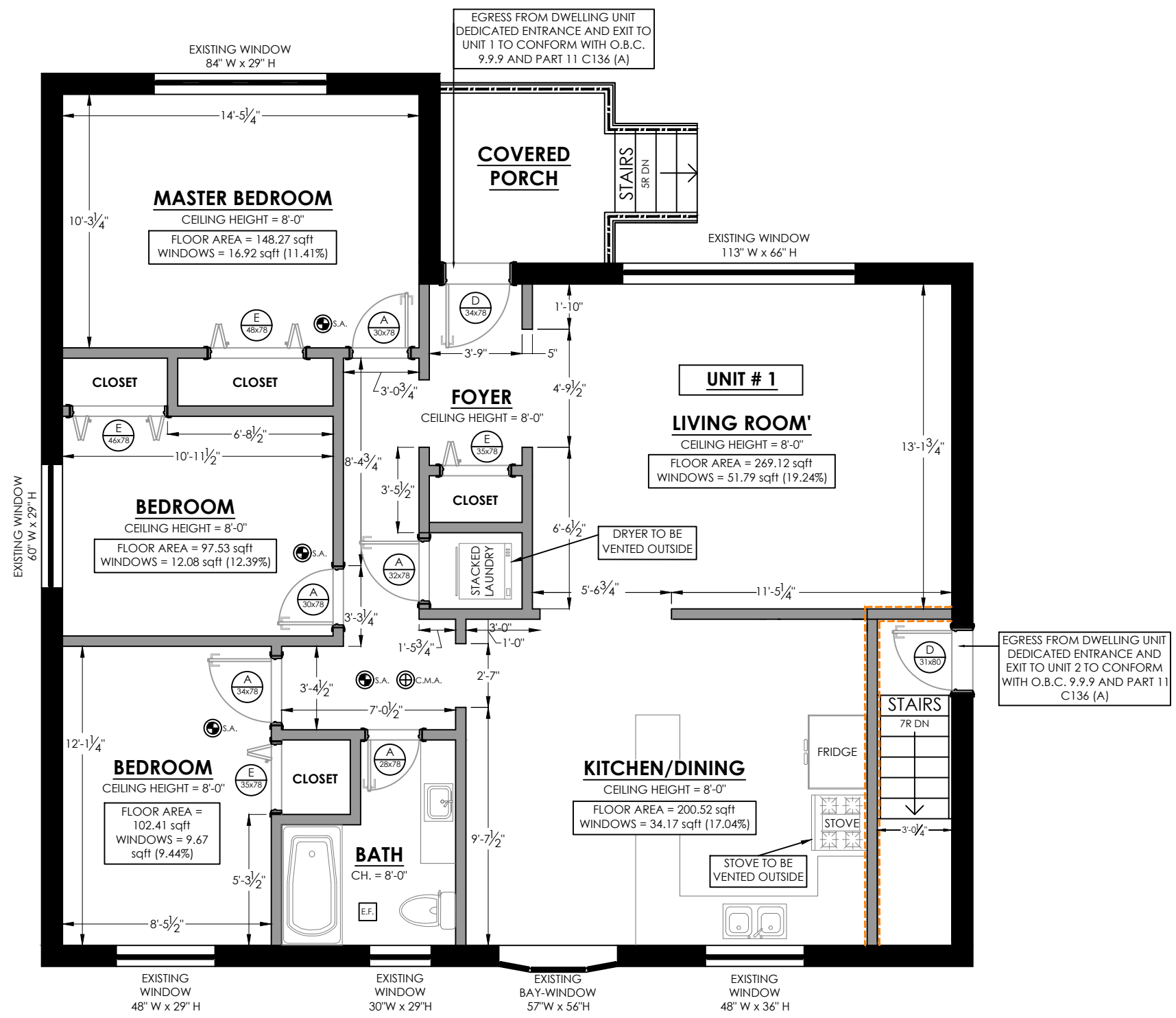
PROJECT: **2 UNIT CONVERSION**

SCALE: **3/16" = 1'**

DATE: **JAN 2021**

SHEET#: **A 1.03**

Legal Second Suites architectural and engineering service is owned by and operated in affiliation with King Homes Inc.



SEPARATION OF SERVICE ROOM:

- SERVICE ROOM TO CONFORM WITH OBC SECTION 9.10.10.4

IMPORTANT NOTE:

- SERVICE ROOM NO LONGER REQUIRES FIRE SEPARATION TO PROVIDE FIRE SEPARATION FROM BOTH UNITS AS IT IS NOW EXEMPT UNDER 9.10.10.4 (2)(b) FOR A "HOUSE", DEFINED IN O.B.C. AS "a detached house, semi-detached house or row house containing not more than two dwelling units"

VERTICAL PARTITIONS STILL REQUIRE FIRE SEPARATION TO PROVIDE FIRE RESISTANCE RATING BETWEEN DWELLING UNITS. **W4A**

- NEW 2 x 4 STUD WALL SPACED 16" O.C.
- 3.5" THICK ABSORPTIVE MATERIAL
- RESILIENT METAL CHANNELS SPACED 24" O.C
- 2 LAYERS 5/8" TYPE X GYPSUM BOARD ON CHANNEL SIDE
- 1 LAYER 5/8" TYPE X GYPSUM BOARD ON OTHER SIDE

GYPSUM BOARD INSIDE SERVICE ROOM TO EXTEND INTO JOIST CAVITY AND BUTTED TIGHTLY AGAINST FLOOR JOISTS AND SUBFLOOR ABOVE

- SMALL GAPS TO BE CAULKED WITH FIRE BARRIER SEALANT IN ACCORDANCE WITH CAN/ULC/ S115

IMPORTANT - ADEQUATE COMBUSTION AIR NEEDED FOR APPLIANCES

SEPARATION BETWEEN UNITS:

NEW SEPARATION BETWEEN UNITS TO HAVE A FIRE RESISTANCE RATING OF 30 MINS AS PER O.B.C. 9.10.9.14 AND PART 11 COMPLIANCE - C152 AND STC50

BASEMENT CEILING (SEPARATING SECOND SUITE: F8D NEW PORTIONS ONLY)

- EX. WOOD JOISTS @ 16" O.C.
- 6" THICK ABSORPTIVE MATERIAL IN CAVITY (FIBRE FROM ROCK/SLAG W/ MIN 90mm & MIN. SURFACE AREA MASS OF 2.8 KG/SQ. M
- RESILIENT METAL CHANNELS SPACED @ 16" O.C.
- 1 LAYER 5/8" TYPE X GYPSUM BOARD ON CEILING SIDE

NEW SHARED PARTITIONS: W4A

- NEW 2 x 4 STUD WALL SPACED 16" O.C.
- 3.5" THICK ABSORPTIVE MATERIAL
- RESILIENT METAL CHANNELS SPACED 24" O.C.
- 2 LAYERS 5/8" TYPE X GYPSUM BOARD ON CHANNEL SIDE
- 1 LAYER 5/8" TYPE X GYPSUM BOARD ON OTHER SIDE

EXISTING SHARED PARTITIONS:

EX. 1/2" REGULAR GYPSUM BOARD TO REMAIN AS IS

- ADDITIONAL LAYER OF 5/8" TYPE X TO BE APPLIED OVER EXISTING

EX. LATH AND PLASTER TO REMAIN AS IS

- MEETS A 30 MIN FRR AS PER ONTARIO FIRE MARSHALL
- WITH INTERCONNECTED SMOKE DETECTORS IN EACH DWELLING UNIT

EXISTING CEILING (15 MIN FRR BETWEEN DWELLING UNITS)

- EX. 1/2" REGULAR GYPSUM BOARD OR PLASTER TO REMAIN
- AS PER PART 11 C143 1. HUD REHABILITATION GUIDELINES, "GUIDELINE ON FIRE RATINGS OF ARCHAIC MATERIALS AND ASSEMBLES"
- WITH INTERCONNECTED SMOKE DETECTORS IN EACH DWELLING UNIT

FOR PIPE AND WIRE PENETRATIONS:

- USE FIRE RATED FOAM TESTED IN ACCORDANCE WITH CAN/ULC-S115 (EG. HILTI FIRE FOAM CP 620 OR 3M FIRE BARRIER SEALANT CP 25WB+)

FOR HVAC DUCTING:

- ADDRESSED WITH IN-DUCT SMOKE DETECTOR
- SEE NOTE NEAR FURNACE ON FLOOR PLAN

FOR SERVICE ITEMS IN FIRE SEPARATION (VALVES, METERS, ELECTRICAL BOXES, ETC):

- USE ULC RATED FIRE-RATED ACCESS PANELS (MIN. 45 MINS.)

NOTE: ALL SMOKE ALARMS TO BE INTERCONNECTED

PLANS LEGEND	
	BATH
	ROOM NAME
	EXHAUST FAN
	SPECIFICATION TAG
	SMOKE ALARM
	CARBON MONOXIDE ALARM
	C.H. = 8'-10"
	STRUCTURAL BEAM OR WALL
	PLUMBING STACK
	WATER METER
	FLOOR DRAIN
	STRUCTURAL COLUMN
	FOUNDATION WALL
	EXISTING EXTERIOR WALLS
	NEW EXTERIOR WALLS
	EXISTING INTERIOR WALLS
	NEW INTERIOR WALLS
	STRUCTURAL WALLS
	NEW STRUCTURAL BEAMS
	WINDOWS
	SUPPLY REGISTER
	RETURN GRILLE
DOOR LEGEND	
	DOOR TYPE
	DOOR SIZE
	A. PANEL DOOR
	B. FIRE DOOR w/ SELF CLOSER (45 MIN)
	C. FIRE DOOR w/ SELF CLOSER (20 MIN)
	D. EXTERIOR DOOR
	E. BIFOLD CLOSET
	F. SLIDING DOOR
	G. POCKET DOOR

legal second suites.com

LEAD DESIGNER & CONSULTANT
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LEAD ENGINEER
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cell: 416.807.1572

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LICENSED PROFESSIONAL ENGINEER
2021-01-07
R.L. MENDEZ
100054193
PROVINCE OF ONTARIO

NORTH POSITION:

ADDRESS: **1141 MOHAWK RD. HAMILTON, ON.**

SUBJECT: **PROPOSED GROUND FLOOR UNIT #1**

PROJECT: **2 UNIT CONVERSION**

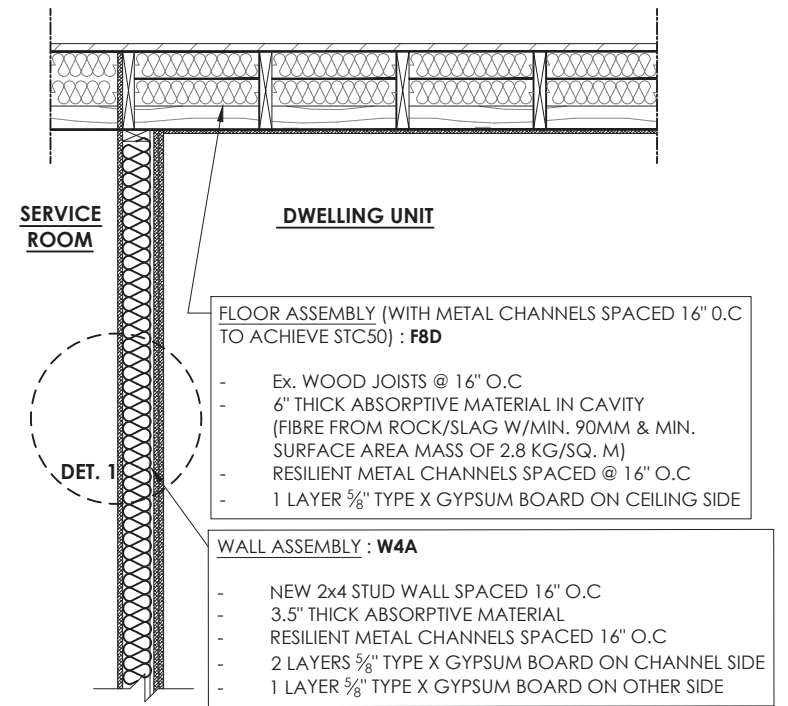
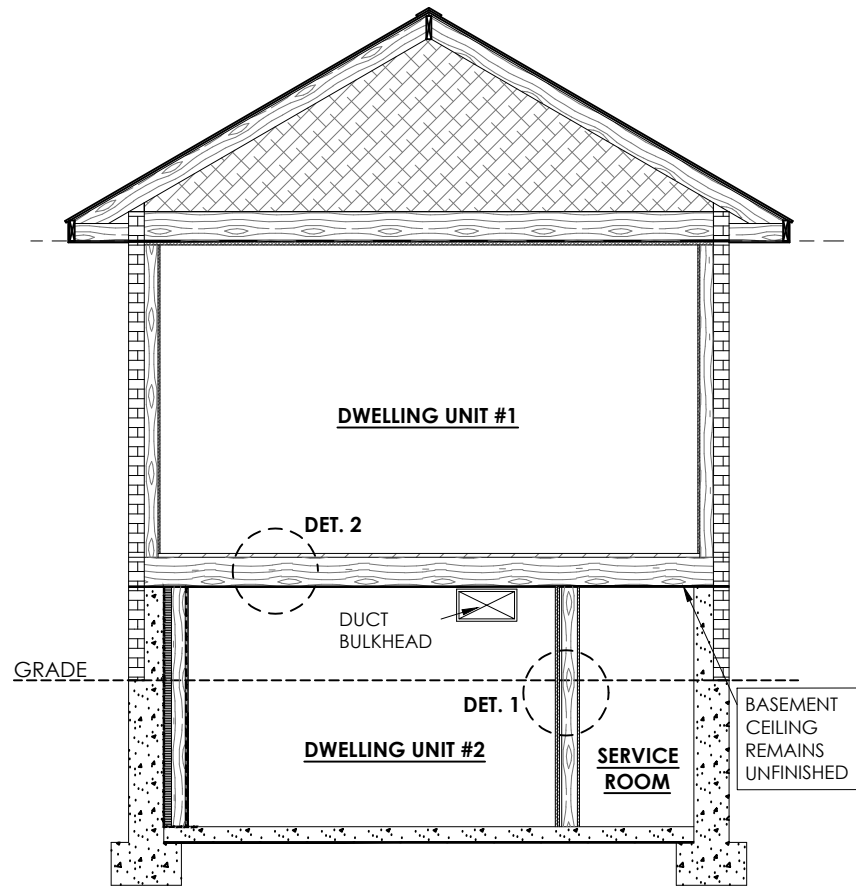
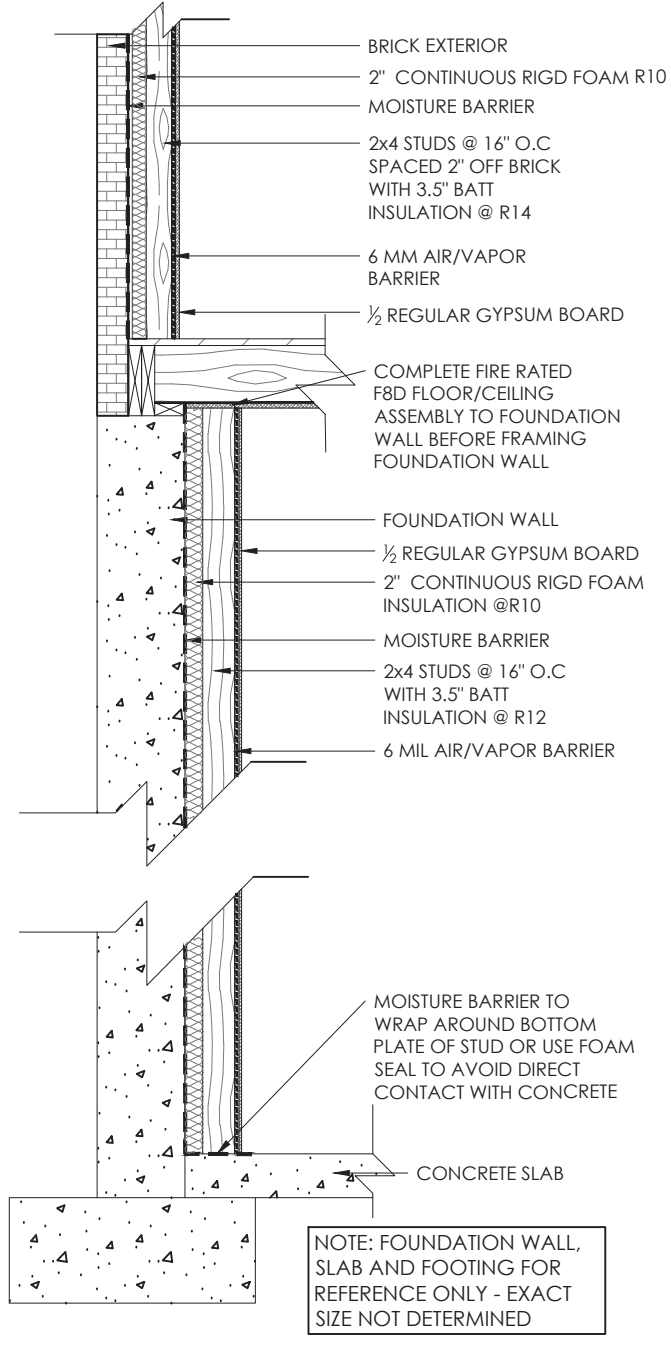
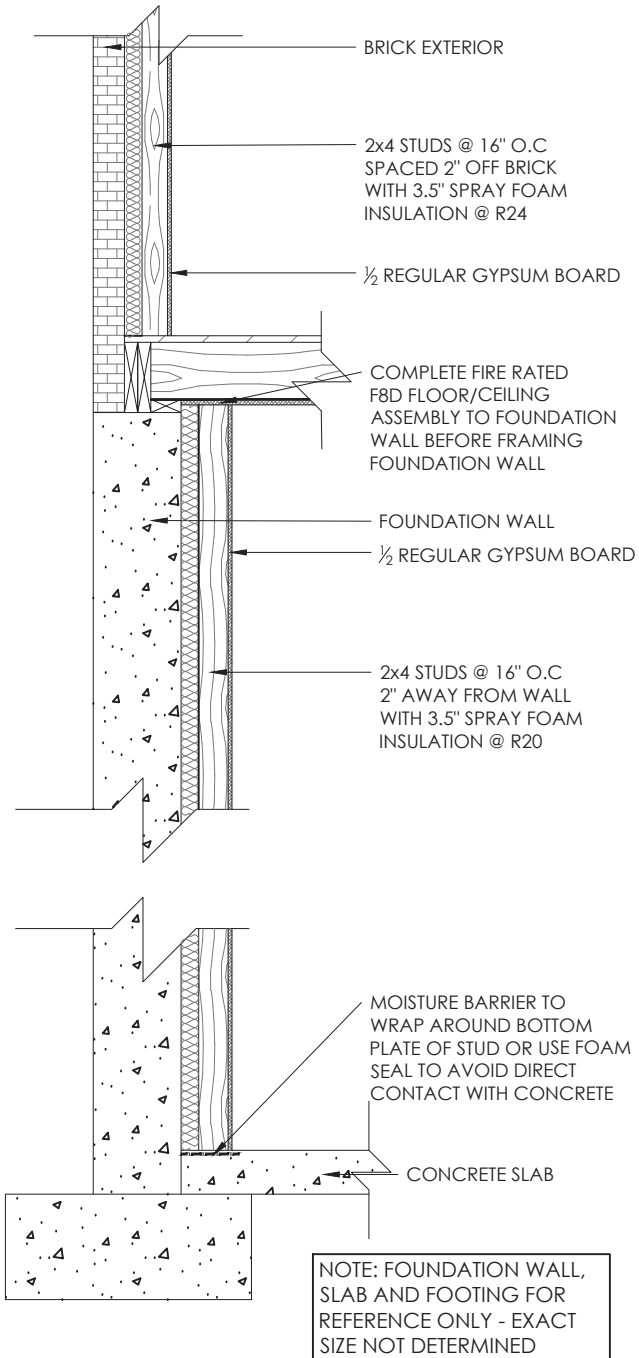
SCALE: **3/16" = 1'**

DATE: **JAN 2021**

SHEET#: **A 1.04**

SPRAY FOAM DETAIL

BATT INSULATION DETAIL



FIRE RESISTANCE RATING FOR NEW PORTIONS OF CEILING (THROUGHOUT) AND SERVICE ROOM WALL

EXTERIOR FOUNDATION WALL DETAIL FOR NEW PORTIONS ONLY

EXTERIOR FOUNDATION WALL DETAIL FOR NEW PORTIONS ONLY



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LEAD ENGINEER

Robert Mendez P. Eng 100054193
robertmendez@yahoo.com
cell: 416.807.1572



NORTH POSITION:

ADDRESS:

**1141 MOHAWK RD.
HAMILTON, ON.**

SUBJECT:

CROSS SECTION 1 OF 2

PROJECT:

2 UNIT CONVERSION

SCALE:

-

DATE:

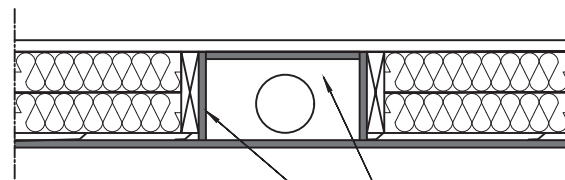
JAN 2021

SHEET#:

A 4.01

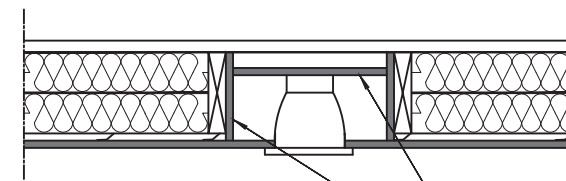
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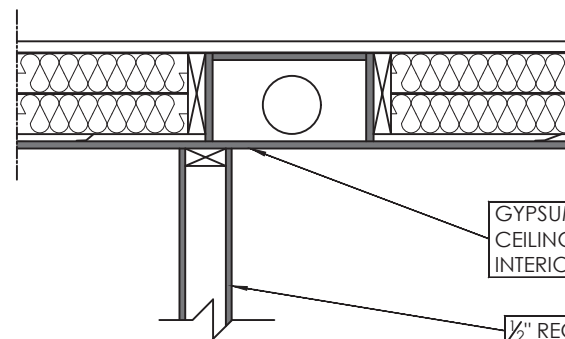
1 LAYER 5/8" TYPE X GYPSUM BOARD SURROUNDING VENT PIPE
 NOTE: OPTION OF USING FIRE DAMPER FOR BATH FANS

FOR VENTS (BATH FANS, KITCHEN EXHAUSTS, & CLOTHES DRYERS)



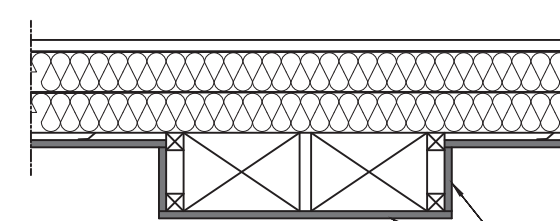
1 LAYER 5/8" TYPE X GYPSUM BOARD SURROUNDING RECESSED LIGHTING (POTLIGHTS)

FOR RECESSED LIGHTS



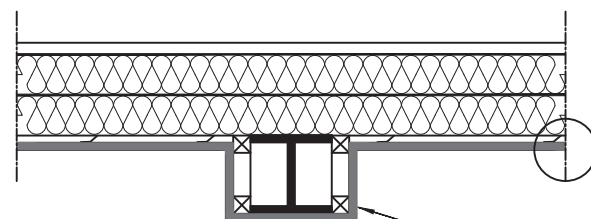
GYPSUM BOARD OF FIRE RATED CEILING TO BE CONTINUOUS ABOVE INTERIOR FRAMED WALLS
 1/2" REGULAR GYPSUM BOARD

FOR INTERIOR PARTITIONS



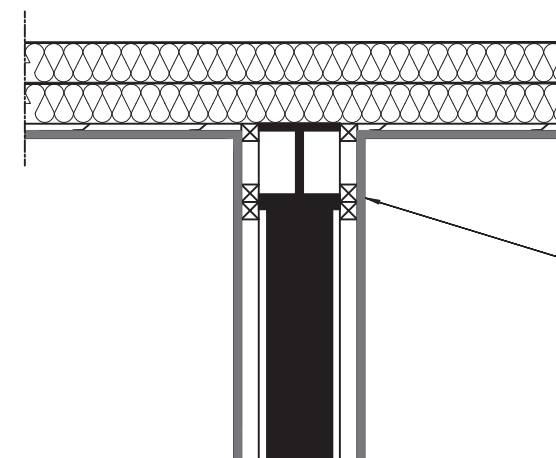
1 LAYER OF 5/8" TYPE X GYPSUM BOARD BELOW AND AROUND DUCTS

FOR DUCTS



1 LAYER OF 5/8" TYPE X GYPSUM BOARD AROUND BEAM

FOR BEAM



1 LAYER OF 5/8" TYPE X GYPSUM BOARD AROUND BEAM AND COLUMN CONNECTION

FOR STRUCTURAL BEAMS, COLUMNS & WALLS



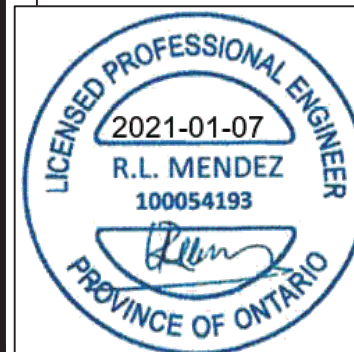
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NORTH POSITION:

ADDRESS:

**1141 MOHAWK RD.
 HAMILTON, ON.**

SUBJECT:

CROSS SECTION 2 OF 2

PROJECT:

2 UNIT CONVERSION

SCALE:

-

DATE:

JAN 2021

SHEET#:

A 4.02

Committee of Adjustment
 City Hall, 5th Floor,
 71 Main St. W.,
 Hamilton, ON L8P4Y5



Hamilton

Phone: (905) 546-2424 ext. 4221
 Email: cofa@hamilton.ca

APPLICATION FOR A MINOR VARIANCE

FOR OFFICE USE ONLY.	
APPLICATION NO. _____	DATE APPLICATION RECEIVED _____
PAID _____	DATE APPLICATION DEEMED COMPLETE _____
SECRETARY'S SIGNATURE _____	

The Planning Act

Application for Minor Variance or for Permission

The undersigned hereby applies to the Committee of Adjustment for the City of Hamilton under Section 45 of the *Planning Act*, R.S.O. 1990, Chapter P.13 for relief, as described in this application, from the Zoning By-law.

1, 2	NAME	ADDRESS
Registered Owners(s)	Joshua Feener	
Applicant(s)*	Ken Bekendam	
Agent or Solicitor		

Note: Unless otherwise requested all communications will be sent to the agent, if any.

3. Names and addresses of any mortgagees, holders of charges or other encumbrances:
 n/a

Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled

4. Nature and extent of relief applied for:

To permit both parking spaces to be within the front yard portion whereas the bylaw Section 19.1.v.1 only permits 1

5. Why it is not possible to comply with the provisions of the By-law?

Existing site constraints

6. Legal description and Address of subject lands (registered plan number and lot number or other legal description and where applicable, **street and street number**):

1141 Mohawk Rd E, Hamilton

7. PREVIOUS USE OF PROPERTY

Residential Industrial Commercial
 Agricultural Vacant

Other _____

8.1 If Industrial or Commercial, specify use _____

8.2 Has the grading of the subject land been changed by adding earth or other material, i.e. has filling occurred?

Yes No Unknown

8.3 Has a gas station been located on the subject land or adjacent lands at any time?

Yes No Unknown

8.4 Has there been petroleum or other fuel stored on the subject land or adjacent lands?

Yes No Unknown

8.5 Are there or have there ever been underground storage tanks or buried waste on the subject land or adjacent lands?

Yes No Unknown

8.6 Have the lands or adjacent lands ever been used as an agricultural operation where cyanide products may have been used as pesticides and/or sewage sludge was applied to the lands?

Yes No Unknown

8.7 Have the lands or adjacent lands ever been used as a weapon firing range?

Yes No Unknown

8.8 Is the nearest boundary line of the application within 500 metres (1,640 feet) of the fill area of an operational/non-operational landfill or dump?

Yes No Unknown

8.9 If there are existing or previously existing buildings, are there any building materials remaining on site which are potentially hazardous to public health (eg. asbestos, PCB's)?

Yes No Unknown

8.10 Is there any reason to believe the subject land may have been contaminated by former uses on the site or adjacent sites?

Yes No Unknown

8.11 What information did you use to determine the answers to 9.1 to 9.10 above?

Existing Residential Use

8.12 If previous use of property is industrial or commercial or if YES to any of 9.2 to 9.10, a previous use inventory showing all former uses of the subject land, or if appropriate, the land adjacent to the subject land, is needed.

Is the previous use inventory attached? Yes No

9. ACKNOWLEDGEMENT CLAUSE

I acknowledge that the City of Hamilton is not responsible for the identification and remediation of contamination on the property which is the subject of this Application – by reason of its approval to this Application.

Feb 10th 2021
Date

joshua feener
Signature Property Owner

Joshua Feener
Print Name of Owner

10. Dimensions of lands affected:

Frontage See Site Plan
Depth _____
Area _____
Width of street _____

11. Particulars of all buildings and structures on or proposed for the subject lands: (Specify ground floor area, gross floor area, number of stories, width, length, height, etc.)

Existing:_
See Site Plan

Proposed
See Site Plan

12. Location of all buildings and structures on or proposed for the subject lands; (Specify distance from side, rear and front lot lines)

Existing:
See Site Plan

Proposed:
See Site Plan

13. Date of acquisition of subject lands:
2020
-
14. Date of construction of all buildings and structures on subject lands:
unknown
-
15. Existing uses of the subject property:
Residential
16. Existing uses of abutting properties:
Residential
17. Length of time the existing uses of the subject property have continued:
unknown
18. Municipal services available: (check the appropriate space or spaces)
- | | | | |
|----------------|------------|-----------|------------|
| Water | <u>yes</u> | Connected | <u>yes</u> |
| Sanitary Sewer | <u>yes</u> | Connected | <u>yes</u> |
| Storm Sewers | <u>yes</u> | | |
19. Present Official Plan/Secondary Plan provisions applying to the land:
Neighbourhoods
20. Present Restricted Area By-law (Zoning By-law) provisions applying to the land:
C- Urban Protected Residential
21. Has the owner previously applied for relief in respect of the subject property?
 Yes No
 If the answer is yes, describe briefly.
22. Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?
 Yes No
23. Additional Information
24. The applicant shall attach to each copy of this application a plan showing the dimensions of the subject lands and of all abutting lands and showing the location, size and type of all buildings and structures on the subject and abutting lands, and where required by the Committee of Adjustment such plan shall be signed by an Ontario Land Surveyor.



Hamilton

COMMITTEE OF ADJUSTMENT

City Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5
 Telephone (905) 546-2424, ext. 4221, 3935 Fax (905) 546-4202
 E-mail: cofa@hamilton.ca

NOTICE OF PUBLIC HEARING

Application for Consent/Land Severance

APPLICATION NUMBER: GL/B-21:15

SUBJECT PROPERTY: 3334 Homestead Dr., Glanbrook

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
- Applicant/agent on file, or
- Person likely to be interested in this application

APPLICANT(S): Owner Joel Charles and Gina Maroula Tavormina

PURPOSE OF APPLICATION: To permit the conveyance of a parcel of land for residential purposes, and to retain a parcel of land for residential purposes.

Severed lands:
 31.10m[±] x 63.40m[±] and an area of 1970m^{2±}

Retained lands:
 15.60m[±] x 63.40m[±] and an area of 985.30m^{2±}

The Committee of Adjustment will hear this application on:

DATE: Thursday, April 1st , 2021

TIME: 3:10 p.m.

PLACE: Via video link or call in (see attached sheet for details)

To be streamed at
www.hamilton.ca/committeeofadjustment
 for viewing purposes only

PUBLIC INPUT

Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

Orally: If you would like to speak to this item at the hearing you may do so via video link or by calling in. Please see attached page for complete instructions, including deadlines for registering to participate.

HM/B-21:13
PAGE 2

MORE INFORMATION

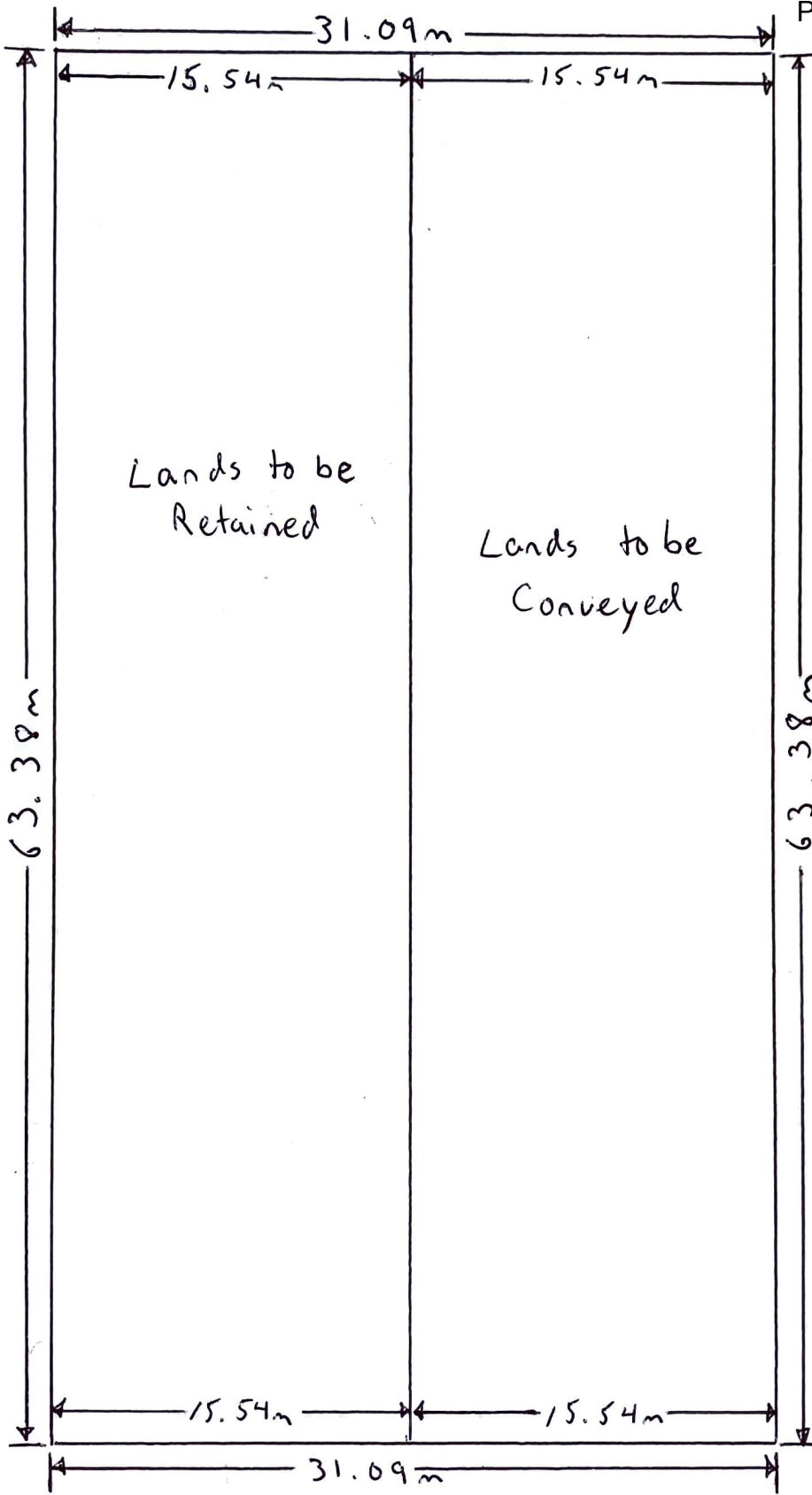
For more information on this matter, including access to drawings illustrating this request:

- Visit www.hamilton.ca/committeeofadjustment
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935
- Email Committee of Adjustment staff at cofa@hamilton.ca

DATED: March 16th , 2021

Jamila Sheffield,
Secretary-Treasurer
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public.



EXISTING
RESIDENTIAL
PROPERTY

Lands to be
Retained

Lands to be
Conveyed

EXISTING
RESIDENTIAL
PROPERTY

HOMESTEAD DRIVE



Hamilton

Committee of Adjustment

City Hall, 5th Floor,
71 Main St. W.,
Hamilton, ON L8P4Y5

Phone: (905) 546-2424 ext. 4221

Email: cofa@hamilton.ca

**APPLICATION FOR CONSENT TO SEVER LAND
UNDER SECTION 53 OF THE PLANNING ACT**

Office Use Only

Date Application Received:	Date Application Deemed Complete:	Submission No.:	File No.:
----------------------------	-----------------------------------	-----------------	-----------

1 APPLICANT INFORMATION

1.1, 1.2	NAME	ADDRESS
Registered Owners(s)	Joel Charles Tavormina, Gina Maroula Tavormina	
Applicant(s)*	Joel Charles Tavormina	
Agent or Solicitor		

* Owner's authorisation required if the applicant is not the owner.

1.3 All correspondence should be sent to Owner Applicant Agent/Solicitor**2 LOCATION OF SUBJECT LAND** Complete the applicable lines

2.1 Area Municipality Hamilton	Lot	Concession	Former Township
Registered Plan N°.	Lot(s)	Reference Plan N°.	Part(s)
Municipal Address 3334 Homestead Drive, Mount Hope, L0R1W0			Assessment Roll N°. 902510094000000

2.2 Are there any easements or restrictive covenants affecting the subject land?

 Yes No

If YES, describe the easement or covenant and its effect:

3 PURPOSE OF THE APPLICATION

3.1 Type and purpose of proposed transaction: (check appropriate box)

a) **Urban Area Transfer (do not complete Section 10):** creation of a new lotOther: a charge

- addition to a lot
- an easement
- a lease
- a correction of title

b) Rural Area / Rural Settlement Area Transfer (Section 10 must be completed):

- creation of a new lot
- creation of a new non-farm parcel (i.e. a lot containing a surplus farm dwelling resulting from a farm consolidation)
- addition to a lot
- Other: a charge
- a lease
- a correction of title
- an easement

3.2 Name of person(s), if known, to whom land or interest in land is to be transferred, leased or charged:

3.3 If a lot addition, identify the lands to which the parcel will be added:

4 DESCRIPTION OF SUBJECT LAND AND SERVICING INFORMATION

4.1 Description of land intended to be Severed:

Frontage (m)	Depth (m)	Area (m ² or ha)
31.09	63.38	1970 m ²

Existing Use of Property to be severed:

- Residential
- Agriculture (includes a farm dwelling)
- Other (specify) _____
- Industrial
- Agricultural-Related
- Commercial
- Vacant

Proposed Use of Property to be severed:

- Residential
- Agriculture (includes a farm dwelling)
- Other (specify) _____
- Industrial
- Agricultural-Related
- Commercial
- Vacant

Building(s) or Structure(s):

Existing: 10' x 10' shed on north side of property

Proposed: Two single family residential homes

Type of access: (check appropriate box)

- provincial highway
- municipal road, seasonally maintained
- municipal road, maintained all year
- right of way
- other public road

Type of water supply proposed: (check appropriate box)

- publicly owned and operated piped water system
- privately owned and operated individual well
- lake or other water body
- other means (specify) _____

Type of sewage disposal proposed: (check appropriate box)

- publicly owned and operated sanitary sewage system
- privately owned and operated individual septic system
- other means (specify) _____

4.2 Description of land intended to be Retained:

Frontage (m)	Depth (m)	Area (m ² or ha)
15.54	63.38	985.24 m ²

Existing Use of Property to be retained:

- Residential
- Agriculture (includes a farm dwelling)
- Other (specify) _____
- Industrial
- Agricultural-Related
- Commercial
- Vacant

Proposed Use of Property to be retained:

- Residential
 Agriculture (includes a farm dwelling)
 Other (specify) _____
 Industrial
 Agricultural-Related
 Commercial
 Vacant

Building(s) or Structure(s):

Existing: _____

Proposed: One single family residential home

Type of access: (check appropriate box)

- provincial highway
 right of way
 municipal road, seasonally maintained
 other public road
 municipal road, maintained all year

Type of water supply proposed: (check appropriate box)

- publicly owned and operated piped water system
 lake or other water body
 privately owned and operated individual well
 other means (specify) _____

Type of sewage disposal proposed: (check appropriate box)

- publicly owned and operated sanitary sewage system
 privately owned and operated individual septic system
 other means (specify) _____

4.3 Other Services: (check if the service is available)

- electricity
 telephone
 school bussing
 garbage collection

5 CURRENT LAND USE

5.1 What is the existing official plan designation of the subject land?

Rural Hamilton Official Plan designation (if applicable): _____

Urban Hamilton Official Plan designation (if applicable) Existing Residential-ER

Please provide an explanation of how the application conforms with a City of Hamilton Official Plan.

I plan to sever the property in half to create 2 residential properties to accomodate 1 single detached home on each lot.

5.2 What is the existing zoning of the subject land?

If the subject land is covered by a Minister's zoning order, what is the Ontario Regulation Number? Existing Residential

5.3 Are any of the following uses or features on the subject land or within 500 metres of the subject land, unless otherwise specified. Please check the appropriate boxes, if any apply.

Use or Feature	On the Subject Land	Within 500 Metres of Subject Land, unless otherwise specified (Indicate approximate distance)
An agricultural operation, including livestock facility or stockyard	<input type="checkbox"/>	
A land fill	<input type="checkbox"/>	
A sewage treatment plant or waste stabilization plant	<input type="checkbox"/>	
A provincially significant wetland	<input type="checkbox"/>	

A provincially significant wetland within 120 metres	<input type="checkbox"/>	
A flood plain	<input type="checkbox"/>	
An industrial or commercial use, and specify the use(s)	<input type="checkbox"/>	
An active railway line	<input type="checkbox"/>	
A municipal or federal airport	<input type="checkbox"/>	

6 PREVIOUS USE OF PROPERTY

- Residential Industrial Commercial
 Agriculture Vacant Other (specify)

- 6.1 If Industrial or Commercial, specify use _____
- 6.2 Has the grading of the subject land been changed by adding earth or other material, i.e., has filling occurred?
 Yes No Unknown
- 6.3 Has a gas station been located on the subject land or adjacent lands at any time?
 Yes No Unknown
- 6.4 Has there been petroleum or other fuel stored on the subject land or adjacent lands?
 Yes No Unknown
- 6.5 Are there or have there ever been underground storage tanks or buried waste on the subject land or adjacent lands?
 Yes No Unknown
- 6.6 Have the lands or adjacent lands ever been used as an agricultural operation where cyanide products may have been used as pesticides and/or biosolids was applied to the lands?
 Yes No Unknown
- 6.7 Have the lands or adjacent lands ever been used as a weapons firing range?
 Yes No Unknown
- 6.8 Is the nearest boundary line of the application within 500 metres (1,640 feet) of the fill area of an operational/non-operational landfill or dump?
 Yes No Unknown
- 6.9 If there are existing or previously existing buildings, are there any building materials remaining on site which are potentially hazardous to public health (e.g., asbestos, PCB's)?
 Yes No Unknown
- 6.10 Is there reason to believe the subject land may have been contaminated by former uses on the site or adjacent sites?
 Yes No Unknown
- 6.11 What information did you use to determine the answers to 6.1 to 6.10 above?
I have owned the property since 2012
- 6.12 If previous use of property is industrial or commercial or if YES to any of 6.2 to 6.10, a previous use inventory showing all former uses of the subject land, or if appropriate, the land adjacent to the subject land, is needed.
Is the previous use inventory attached?
 Yes No

7 PROVINCIAL POLICY

- 7.1 a) Is this application consistent with the Policy Statements issued under subsection of the *Planning Act*? (Provide explanation)

- Yes No

This severance into 2 building lots will better accomodate the fast growing population of this community.

- b) Is this application consistent with the Provincial Policy Statement (PPS)?
 Yes No (Provide explanation)

This severance into 2 building lots will better accomadate the fast growing population of this community.

- c) Does this application conform to the Growth Plan for the Greater Golden Horseshoe?
 Yes No (Provide explanation)

This application supports the need for a range of mixed, affordable housing options.

- d) Are the subject lands within an area of land designated under any provincial plan or plans? (If YES, provide explanation on whether the application conforms or does not conflict with the provincial plan or plans.)
 Yes No

- e) Are the subject lands subject to the Niagara Escarpment Plan?
 Yes No

If yes, is the proposal in conformity with the Niagara Escarpment Plan?

- Yes No

(Provide Explanation)

- f) Are the subject lands subject to the Parkway Belt West Plan?
 Yes No

If yes, is the proposal in conformity with the Parkway Belt West Plan?

- Yes No (Provide Explanation)

- g) Are the subject lands subject to the Greenbelt Plan?
 Yes No

If yes, does this application conform with the Greenbelt Plan?

- Yes No (Provide Explanation)

8 HISTORY OF THE SUBJECT LAND

- 8.1 Has the subject land ever been the subject of an application for approval of a plan of subdivision or a consent under sections 51 or 53 of the *Planning Act*?
 Yes No Unknown

If YES, and known, indicate the appropriate application file number and the decision made on the application.

-
- 8.2 If this application is a re-submission of a previous consent application, describe how it has been changed from the original application.

-
- 8.3 Has any land been severed or subdivided from the parcel originally acquired by the owner of the subject land? Yes No

If YES, and if known, provide for each parcel severed, the date of transfer, the name of

the transferee and the land use.

8.4 How long has the applicant owned the subject land?
 Since September 2012

8.5 Does the applicant own any other land in the City? Yes No
 If YES, describe the lands in "11 - Other Information" or attach a separate page.

9 OTHER APPLICATIONS

9.1 Is the subject land currently the subject of a proposed official plan amendment that has been submitted for approval? Yes No Unknown

If YES, and if known, specify file number and status of the application.

9.2 Is the subject land the subject of any other application for a Minister's zoning order, zoning by-law amendment, minor variance, consent or approval of a plan of subdivision? Yes No Unknown

If YES, and if known, specify file number and status of the application(s).

File number _____ Status _____

10 RURAL APPLICATIONS

10.1 Rural Hamilton Official Plan Designation(s)

- Agricultural Rural Specialty Crop
 Mineral Aggregate Resource Extraction Open Space Utilities
 Rural Settlement Area (specify) _____
Settlement Area Designation

If proposal is for the creation of a non-farm parcel resulting from a farm consolidation, indicate the existing land use designation of the abutting or non-abutting farm operation.

10.2 Type of Application (select type and complete appropriate sections)

- Agricultural Severance or Lot Addition
 Agricultural Related Severance or Lot Addition
 Rural Resource-based Commercial Severance or Lot Addition
 Rural Institutional Severance or Lot Addition
 Rural Settlement Area Severance or Lot Addition } (Complete Section 10.3)
- Surplus Farm Dwelling Severance from an Abutting Farm Consolidation (Complete Section 10.4)
- Surplus Farm Dwelling Severance from a Non-Abutting Farm Consolidation (Complete Section 10.5)

10.3 Description of Lands

a) Lands to be Severed:

Frontage (m): (from Section 4.1)	Area (m ² or ha): (from in Section 4.1)
----------------------------------	--

Existing Land Use: _____ Proposed Land Use: _____

b) Lands to be Retained:

Frontage (m): (from Section 4.2)	Area (m ² or ha): (from Section 4.2)
----------------------------------	---

Existing Land Use: _____ Proposed Land Use: _____

10.4 Description of Lands (Abutting Farm Consolidation)

a) Location of abutting farm:

 (Street) (Municipality) (Postal Code)

b) Description abutting farm:

Frontage (m):	Area (m ² or ha):
---------------	------------------------------

Existing Land Use(s): _____ Proposed Land Use(s): _____

c) Description of consolidated farm (excluding lands intended to be severed for the surplus dwelling):

Frontage (m):	Area (m ² or ha):
---------------	------------------------------

Existing Land Use: _____ Proposed Land Use: _____

d) Description of surplus dwelling lands proposed to be severed:

Frontage (m): (from Section 4.1)	Area (m ² or ha): (from Section 4.1)
----------------------------------	---

Front yard set back: _____

e) Surplus farm dwelling date of construction:

 Prior to December 16, 2004 After December 16, 2004

f) Condition of surplus farm dwelling:

 Habitable Non-Habitable

g) Description of farm from which the surplus dwelling is intended to be severed (retained parcel):

Frontage (m): (from Section 4.2)	Area (m ² or ha): (from Section 4.2)
----------------------------------	---

Existing Land Use: _____ Proposed Land Use: _____

10.5 Description of Lands (Non-Abutting Farm Consolidation)

a) Location of non-abutting farm

 (Street) (Municipality) (Postal Code)

b) Description of non-abutting farm

Frontage (m):	Area (m ² or ha):
---------------	------------------------------

Existing Land Use(s): _____ Proposed Land Use(s): _____

c) Description of surplus dwelling lands intended to be severed:

Frontage (m): (from Section 4.1)	Area (m ² or ha): (from Section 4.1)
----------------------------------	---

Front yard set back: _____

d) Surplus farm dwelling date of construction:

 Prior to December 16, 2004 After December 16, 2004

e) Condition of surplus farm dwelling:

Habitable Non-Habitable

f) Description of farm from which the surplus dwelling is intended to be severed (retained parcel):

Frontage (m): (from Section 4.2)	Area (m ² or ha): (from Section 4.2)
----------------------------------	---

Existing Land Use: _____ Proposed Land Use: _____

11 OTHER INFORMATION

Is there any other information that you think may be useful to the Committee of Adjustment or other agencies in reviewing this application? If so, explain below or attach on a separate page.

There are currently 3 new residential sub-divisions being developed in Mount Hope. This application to sever my property and build 2 single family homes each on 51' wide lots will better suit the neighbourhood.

12 SKETCH (Use the attached Sketch Sheet as a guide)

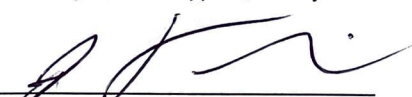
12.1 The application shall be accompanied by a sketch showing the following in metric units:

- (a) the boundaries and dimensions of any land abutting the subject land that is owned by the owner of the subject land;
- (b) the approximate distance between the subject land and the nearest township lot line or landmark such as a bridge or railway crossing;
- (c) the boundaries and dimensions of the subject land, the part that is intended to be severed and the part that is intended to be retained;
- (d) the location of all land previously severed from the parcel originally acquired by the current owner of the subject land;
- (e) the approximate location of all natural and artificial features (for example, buildings, barns, railways, roads, watercourses, drainage ditches, banks of rivers or streams, wetlands, wooded areas, wells and septic tanks) that,
 - i) are located on the subject land or on land that is adjacent to it, and
 - ii) in the applicant's opinion, may affect the application;
- (f) the current uses of land that is adjacent to the subject land (for example, residential, agricultural or commercial);
- (g) the location, width and name of any roads within or abutting the subject land, indicating whether it is an unopened road allowance, a public travelled road, a private road or a right of way;
- (h) the location and nature of any easement affecting the subject land.

13 ACKNOWLEDGEMENT CLAUSE

I acknowledge that The City of Hamilton is not responsible for the identification and remediation of contamination on the property which is the subject of this Application – by reason of its approval to this Application.

MARCA 1 2021
Date


Signature of Owner



Hamilton

COMMITTEE OF ADJUSTMENT

City Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5
 Telephone (905) 546-2424, ext. 4221, 3935 Fax (905) 546-4202
 E-mail: cofa@hamilton.ca

NOTICE OF PUBLIC HEARING
Minor Variance

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
- Applicant/agent on file, or
- Person likely to be interested in this application

APPLICATION NO.:	HM/A-21:28
APPLICANTS:	A.J. Clarke & Associates on behalf of the owner Gardenview Properties c/o Rosemary Smith
SUBJECT PROPERTY:	Municipal address 293 Upper Wentworth St., Hamilton
ZONING BY-LAW:	Zoning By-law 6593, as Amended
ZONING:	"E" (Multiple Dwellings, Lodges, Clubs and etc.) district
PROPOSAL:	To recognize the existing 5 storey multiple dwelling containing a total of 44 units notwithstanding that;

1. A minimum parking ratio of 0.9 parking space per Class A dwelling unit shall be provided, whereas the Zoning By-Law No. 6593 requires that a multiple dwelling provides a minimum of 1.25 spaces per Class A dwelling unit; and
2. Parking spaces located on the ground floor of the multiple dwelling shall be permitted to be partially obstructed by structural support column which reduces the width to a minimum of 2.1m at the entrance to each parking space and also within each parking space; and
3. No visitors parking shall be provided on site instead of the provision in the By-Law which states that 0.25 of a space per Class A dwelling unit which would require a minimum of 11 visitor's parking spaces for a 44-unit multiple dwelling; and
4. No loading space shall be required to be provided on site instead of the minimum required 1 loading space having a minimum of 18.0 m in length x 3.7 m in width x 4.3 m in height for a multiple dwelling which comprises of 44 dwelling units; and
5. No visual barrier shall be required to be provided on site along the boundary of the lot lines abutting the Residential Districts instead of the requirement in the By-Law which states that a visual barrier along the boundary of the lot abutting the residential district having a minimum of 1.2 m in height and not greater than 2.0 m in height shall be provided; and
6. Bumpers or wheel barriers shall not be required to be provided for parking spaces along the rear property lot line instead of the requirement in the By-Law which states that every parking area for a use where, there are more than five parking spaces shall have, bumpers or wheel barriers to prevent physical encroachment beyond the parking area except at the entrance to and exit from the parking area.

HM/A-21: 28
Page 2

Note:

Please note that the existing multiple dwelling was constructed in 1960 and the recognized use is an existing 43-unit multiple dwelling in the "E" District in terms of setbacks and landscaping. It appears that the proposed additional unit is existing; however, it is not recognized as a legal unit.

The additional unit is subject to the issuance of a building permit in the normal manner.

"Visual Barrier" is defined as follows:

shall mean a continuous, uninterrupted structure which completely blocks lines of sight when viewed perpendicularly from either of its sides and shall consist of one or more of the following materials: wood, stone, bricks, mortar, fabricated metal or other similarly solid material.

This application will be heard by the Committee as shown below:

DATE: Thursday, April 1st, 2021
TIME: 3:15 p.m.
PLACE: Via video link or call in (see attached sheet for details)
 To be streamed at
www.hamilton.ca/committeeofadjustment
 for viewing purposes only

PUBLIC INPUT

Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

Orally: If you would like to speak to this item at the hearing you may do so via video link or by calling in. Please see attached page for complete instructions, including deadlines for registering to participate.

MORE INFORMATION

For more information on this matter, including access to drawings illustrating this request:

- Visit www.hamilton.ca/committeeofadjustment
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935
- Email Committee of Adjustment staff at cofa@hamilton.ca

DATED: March 16th, 2021.

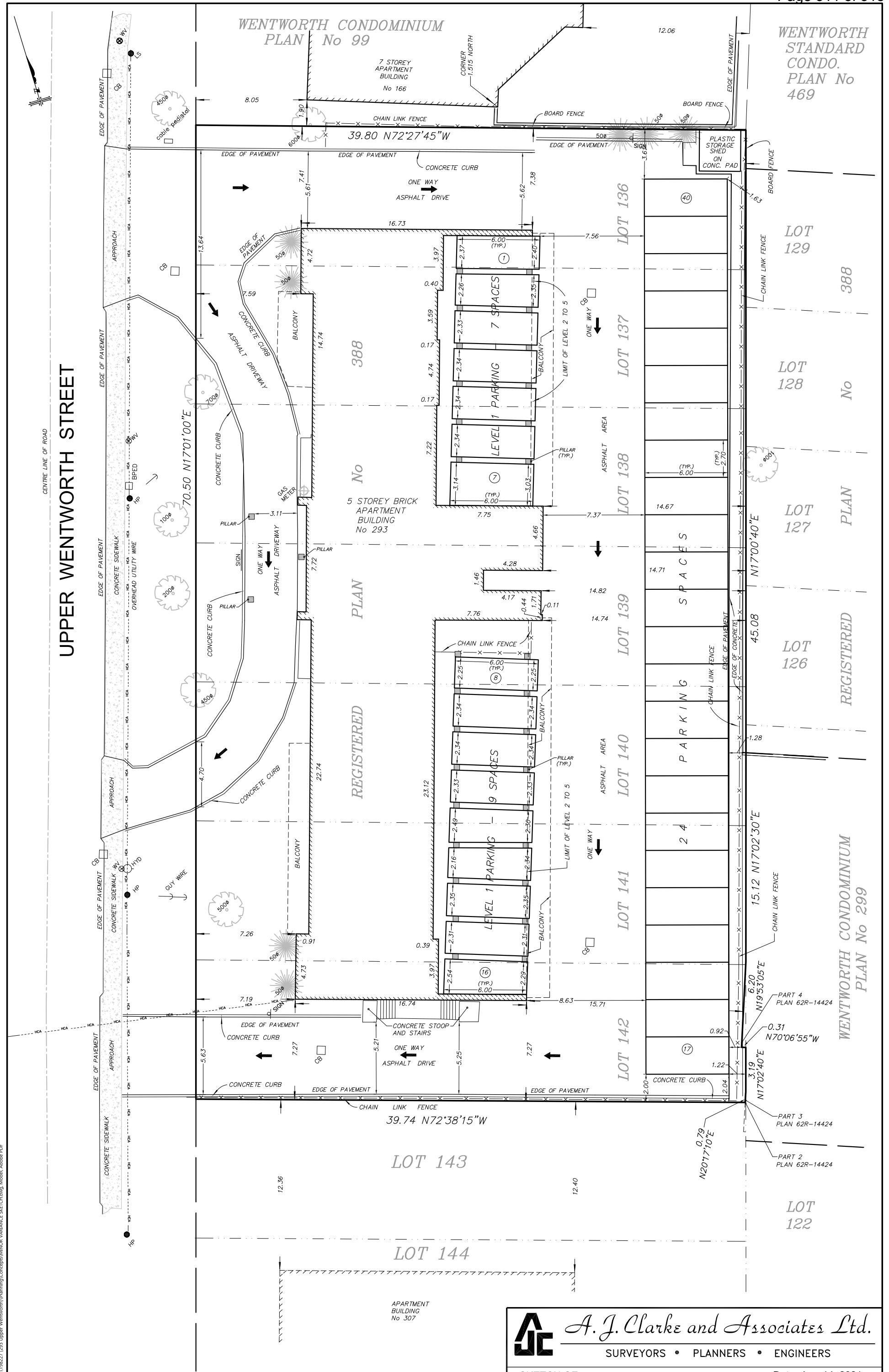
Jamila Sheffield,
Secretary-Treasurer
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public.

UPPER WENTWORTH STREET

WENTWORTH CONDOMINIUM
PLAN No 99

WENTWORTH
STANDARD
CONDO.
PLAN No
469



H:\Jobs\2019 Projects\198227 (293 Upper Wentworth)\Planning\Concepts\MINOR VARIANCE SET\Drawings Model Adobe PDF

THIS SKETCH IS DERIVED FROM A PLAN OF SURVEY BY A.J. CLARKE AND ASSOCIATES LTD. DATED AUGUST 25, 2020 (FILE T-3158)

A. J. Clarke and Associates Ltd.
SURVEYORS • PLANNERS • ENGINEERS

SKETCH OF 293 UPPER WENTWORTH STREET
CITY OF HAMILTON
SCALE 1:250
Date: Jan. 14, 2021
AJC FILE 198227



Hamilton

Committee of Adjustment

City Hall, 5th Floor,
71 Main St. W.,
Hamilton, ON L8P4Y5

Phone: (905) 546-2424 ext. 4221
Email: cofa@hamilton.ca

APPLICATION FOR A MINOR VARIANCE

FOR OFFICE USE ONLY.	
APPLICATION NO. _____	DATE APPLICATION RECEIVED _____
PAID _____	DATE APPLICATION DEEMED COMPLETE _____
SECRETARY'S SIGNATURE _____	

The Planning Act

Application for Minor Variance or for Permission

The undersigned hereby applies to the Committee of Adjustment for the City of Hamilton under Section 45 of the *Planning Act*, R.S.O. 1990, Chapter P.13 for relief, as described in this application, from the Zoning By-law.

1, 2	NAME	ADDRESS	
Registered Owners(s)	Gardenview Properties Ltd. c/o Rosemary Smith		
Applicant(s)*	A. J. Clarke and Associates Ltd.		
Agent or Solicitor	same as applicant		

Note: Unless otherwise requested all communications will be sent to the agent, if any.

3. Names and addresses of any mortgagees, holders of charges or other encumbrances:
Canadian Imperial Bank of Commerce - CIBC

Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled

4. Nature and extent of relief applied for:
See attached cover letter.

5. Why it is not possible to comply with the provisions of the By-law?
See attached cover letter.

6. Legal description and Address of subject lands (registered plan number and lot number or other legal description and where applicable, **street and street number**):
293 Upper Wentworth
Lots 136 - 141 and Part of Lot 142 on Registered Plan 388, in the City of Hamilton

7. PREVIOUS USE OF PROPERTY

Residential Industrial Commercial

Agricultural Vacant

Other _____

- 8.1 If Industrial or Commercial, specify use _____

- 8.2 Has the grading of the subject land been changed by adding earth or other material, i.e. has filling occurred?

Yes No Unknown

- 8.3 Has a gas station been located on the subject land or adjacent lands at any time?

Yes No Unknown

- 8.4 Has there been petroleum or other fuel stored on the subject land or adjacent lands?

Yes No Unknown

- 8.5 Are there or have there ever been underground storage tanks or buried waste on the subject land or adjacent lands?

Yes No Unknown

- 8.6 Have the lands or adjacent lands ever been used as an agricultural operation where cyanide products may have been used as pesticides and/or sewage sludge was applied to the lands?

Yes No Unknown

- 8.7 Have the lands or adjacent lands ever been used as a weapon firing range?

Yes No Unknown

- 8.8 Is the nearest boundary line of the application within 500 metres (1,640 feet) of the fill area of an operational/non-operational landfill or dump?

Yes No Unknown

- 8.9 If there are existing or previously existing buildings, are there any building materials remaining on site which are potentially hazardous to public health (eg. asbestos, PCB's)?

Yes No Unknown

8.10 Is there any reason to believe the subject land may have been contaminated by former uses on the site or adjacent sites?

Yes No Unknown

8.11 What information did you use to determine the answers to 9.1 to 9.10 above?

Property owners information

8.12 If previous use of property is industrial or commercial or if YES to any of 9.2 to 9.10, a previous use inventory showing all former uses of the subject land, or if appropriate, the land adjacent to the subject land, is needed.

Is the previous use inventory attached? Yes No

9. ACKNOWLEDGEMENT CLAUSE

I acknowledge that the City of Hamilton is not responsible for the identification and remediation of contamination on the property which is the subject of this Application, by reason of its approval to this Application.

Jan 12/21
Date

Rosemary Smith
Signature Property Owner

Rosemary Smith
Print Name of Owner

10. Dimensions of lands affected:

Frontage	<u>70.50 metres</u>
Depth	<u>39.80 metres</u>
Area	<u>1948 square metres</u>
Width of street	<u>20.1 metres</u>

11. Particulars of all buildings and structures on or proposed for the subject lands: (Specify ground floor area, gross floor area, number of stories, width, length, height, etc.)

Existing: _

Front Yard: 7.26m; Rear Yard 14.74m; North Side Yard 7.38m; South Side Yard 7.27m

Proposed

No new construction is proposed.

12. Location of all buildings and structures on or proposed for the subject lands; (Specify distance from side, rear and front lot lines)

Existing:

Front Yard: 7.26m; Rear Yard 14.74m; North Side Yard 7.38m; South Side Yard 7.27m

Proposed:

No new construction is proposed.

13. Date of acquisition of subject lands:
1960's
-
14. Date of construction of all buildings and structures on subject lands:
1960's
-
15. Existing uses of the subject property:
Five Storey Multiple Dwelling containing a total of 43 dwelling units. 42 Dwelling Units recognized as legal and 1 unit recognized as illegal. 40 Existing Parking Spaces.
16. Existing uses of abutting properties:
Single Detached Dwellings Residential Multiple Dwellings Commercial Uses
17. Length of time the existing uses of the subject property have continued:
Since construction
18. Municipal services available: (check the appropriate space or spaces)
Water X Connected X
Sanitary Sewer X Connected X
Storm Sewers X
19. Present Official Plan/Secondary Plan provisions applying to the land:
Neighbourhoods, Schedule E-1 Urban Hamilton Official Plan
20. Present Restricted Area By-law (Zoning By-law) provisions applying to the land:
"E" Multiple Dwellings, Lodges, Clubs etc. District, City of Hamilton Zoning By-law No. 6593
21. Has the owner previously applied for relief in respect of the subject property?
 Yes No
If the answer is yes, describe briefly.
22. Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?
 Yes No
23. Additional Information
24. The applicant shall attach to each copy of this application a plan showing the dimensions of the subject lands and of all abutting lands and showing the location, size and type of all buildings and structures on the subject and abutting lands, and where required by the Committee of Adjustment such plan shall be signed by an Ontario Land Surveyor.



A. J. Clarke and Associates Ltd.
SURVEYORS • PLANNERS • ENGINEERS

City of Hamilton
Committee of Adjustment
71 Main Street West, 5th Floor
Hamilton, ON L8P 4Y5

March 3, 2021

Attn: Ms. Jamila Sheffield
Secretary Treasurer, Committee of Adjustment

**Re: 293 Upper Wentworth Street
Minor Variance Application – HM/A-21:28**

Dear Ms. Sheffield:

The subject application was heard at the February 18th Committee of Adjustment Meeting. At the meeting the application was subsequently tabled so that all of the required variances could be captured through an additional review. As noted by our client, the current multiple dwelling contains 44 units, (43 legal, 1 illegal) instead of the previously reported total of 43 units. Therefore, we are requesting that the application be amended to reflect 44 dwelling units. No other changes to the submitted site plan are required.

As a result of our review, we request the following variances be added to our application:

1. The minimum required parking shall be based on the provision of 0.9 parking spaces per Class A dwelling unit to require 40 parking spaces for 44 dwelling units instead of the provision of 1.25 parking spaces per Class A dwelling unit which would require 55 parking spaces
2. Parking spaces located on the ground floor of the multiple dwelling shall be permitted to be partially obstructed by structural support column which reduces the width to 2.2m at the entrance to each parking space and also within each parking space.
3. No visitors parking shall be provided on site instead of the provision in the By-Law which states that 0.25 of a space per Class A dwelling unit which would require a minimum of 11 visitor's parking spaces for a 44-unit multiple dwelling
4. No loading space shall be required to be provided on site instead of the minimum required 1 loading space having a minimum of 18.0 m in length x 3.7 m in width x 4.3 m in height for a multiple dwelling which comprises of 44 dwelling units
5. A Visual Barrier shall not be required along the rear lot line abutting the E District instead of the requirement for a 1.2 – 2.0 metre high visual barrier abutting the boundary of a Residential District where there are 5 or more parking spaces.



6. Parking barriers or bumpers shall not be required for parking spaces along the rear property line instead of the requirement for parking barriers or bumpers to designate parking where there are more than 5 parking spaces.

The following supporting materials are submitted to your attention, in support of the subject application:

- 1) One (1) cheque in the amount of \$275.00 made payable to the City of Hamilton in payment of the requisite recirculation fee;

I trust that you will find the enclosed satisfactory for your purposes. Please confirm receipt of this submission and we look forward to being scheduled for the next available hearing date. If you have any questions or require additional information, please do not hesitate to contact our office.

Sincerely,

Miles Weekes, MCIP, RPP
A. J. Clarke and Associates Ltd.

Encl.

Cc: Gardenview Properties Ltd. c/o Rosemary Smith (via email)