



**City of Hamilton**  
**HAMILTON MUNICIPAL HERITAGE COMMITTEE**  
**AGENDA**

**Meeting #:** 20-005  
**Date:** September 17, 2020  
**Time:** 9:30 a.m.  
**Location:** Due to the COVID-19 and the Closure of City Hall  
All electronic meetings can be viewed at:  
City's YouTube Channel:  
<https://www.youtube.com/user/InsideCityofHamilton>

Loren Kolar, Legislative Coordinator (905) 546-2424 ext. 2604

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1. **CEREMONIAL ACTIVITIES**
2. **APPROVAL OF AGENDA**  
(Added Items, if applicable, will be noted with \*)
3. **DECLARATIONS OF INTEREST**
4. **APPROVAL OF MINUTES OF PREVIOUS MEETING**
  - 4.1. August 20, 2020
5. **COMMUNICATIONS**
6. **DELEGATION REQUESTS**
7. **CONSENT ITEMS**
  - 7.1. Heritage Permit Applications - Delegated Approvals
    - 7.1.a. Heritage Permit Application HP2020-017: Proposed removal of trees from 25 Cross Street Dundas (Ward 13) located within the Cross-Melville Heritage Conservation District (By-law No. 3899-90)

- 7.1.b. Heritage Permit Application HP2020-019: Proposed construction of a two and a half storey addition at the rear of the existing dwelling at 243 MacNab Street South, Hamilton (Ward 2) (By-law No. 94-184)
- 7.1.c. Heritage Permit Application HP2020-020: Replacement of the existing steel casement windows with new thermally broken replica windows on each facade of the 1929 building section at 127 Hughson Street North (22 Cannon Street East), Hamilton (Ward 2)(NOID)
- 7.1.d. Heritage Permit Application HP2020-021: Proposed installation of a non-illuminated sign on the rear stone wall and an illuminated ground sign adjacent to the front yard driveway at 109-111 Charles Street, Hamilton (Ward 2) (By-law No. 90-144)
- 7.1.e. Heritage Permit Application HP2020-022: Proposed alterations of the Griffin House located at 733 Mineral Springs Road, Ancaster (Ward 12) (By-law No. 90-92)
- 7.1.f. Heritage Permit Application HP2020-23: Proposed restoration of the main entryway and windows on the primary facade at 50 Mill Street North, Waterdown (Ward 15), located within the Mill Street Heritage Conservation District (By-law No. 82-81-H)
- 7.1.g. Heritage Permit Application HP2020-024: Replacement of the asphalt shingles on the church roof with composite slate tiles at 64 Forest Avenue, Hamilton (Church of the Ascension) (Ward 2) (By-law No. 88-66)

7.2. Heritage Permit Review Sub-Committee Minutes - July 21, 2020

## **8. PUBLIC HEARINGS / DELEGATIONS**

## **9. STAFF PRESENTATIONS**

- 9.1. Recommendation to Designate 110 - 122 King Street East, Hamilton (Former Royal Connaught Hotel) under Part IV of the Ontario Heritage Act (PED20159) (Ward 2)

## **10. DISCUSSION ITEMS**

- 10.1. Designation of 1389 Progreston Road, Carlisle (Flamborough), (Evergreen Farm) under Part IV of the Ontario Heritage Act (PED20125) (Ward 15) (deferred at the August 20, 2020 meeting)
- 10.2. Education and Communication Working Group Meeting Notes - August 19, 2020

## **11. MOTIONS**

## **12. NOTICES OF MOTION**



## 13. GENERAL INFORMATION / OTHER BUSINESS

### 13.1. Buildings and Landscapes

This list is determined by members of the Hamilton Municipal Heritage Committee. Members provide informal updates to the properties on this list, based on their visual assessments of the properties, or information they have gleaned from other sources, such as new articles and updates from other heritage groups.

#### 13.1.a. Endangered Buildings and Landscapes (RED)

(Red = Properties where there is a perceived immediate threat to heritage resources through: demolition; neglect; vacancy; alterations, and/or, redevelopment)

(i) Tivoli, 108 James Street North, Hamilton (D) – T. Ritchie

(ii) Andrew Sloss House, 372 Butter Road West, Ancaster (D) – C. Dimitry

(iii) Century Manor, 100 West 5th Street, Hamilton (D) – G. Carroll

(iv) 18-22 King Street East, Hamilton (D) – W. Rosart

(v) 24-28 King Street East, Hamilton (D) – W. Rosart

(vi) 2 Hatt Street, Dundas (R) – K. Burke

(vii) James Street Baptist Church, 98 James Street South, Hamilton (D) – J. Brown

(viii) Long and Bisby Building, 828 Sanatorium Road – G. Carroll

(ix) 120 Park Street, Hamilton (R) – R. McKee

(x) 398 Wilson Street East, Ancaster (D) – C. Dimitry

(xi) Lampman House, 1021 Garner Road East, Ancaster (NOID) – C. Dimitry

(xii) Cathedral Boys School, 378 Main Street East, Hamilton (R) – T. Ritchie (*see attached news article*)

(xiii) Firth Brothers Building, 127 Hughson Street North, Hamilton (NOID) – T. Ritchie

13.1.b. Buildings and Landscapes of Interest (YELLOW)

(Yellow = Properties that are undergoing some type of change, such as a change in ownership or use, but are not perceived as being immediately threatened)

- (i) Delta High School, 1284 Main Street East, Hamilton (D) – D. Beland
- (ii) 2251 Rymal Road East, Stoney Creek (R) – B. Janssen
- (iii) Former Valley City Manufacturing, 64 Hatt Street, Dundas (R) – K. Burke
- (iv) St. Joseph's Motherhouse, 574 Northcliffe Avenue, Dundas (ND) – W. Rosart
- (v) Copley Building, 104 King Street West; 56 York Blvd., and 63-76 MacNab Street North (NOI) – G. Carroll
- (vi) Dunnington-Grubb Gardens, 1000 Main Street East (within Gage Park) (R) – D. Beland
- (vii) St. Clair Blvd. Conservation District (D) – D. Beland
- (viii) 52 Charlton Avenue West, Hamilton (D) – J. Brown
- (ix) 292 Dundas Street East, Waterdown (R) – L. Lunsted
- (x) Chedoke Estate (Balfour House), 1 Balfour Drive, Hamilton (R) – T. Ritchie
- (xi) Binkley property, 50-54 Sanders Blvd., Hamilton (R) - J. Brown
- (xii) 62 6th Concession East, Flamborough (I) - L. Lunsted
- (xiii) Beach Canal Lighthouse and Cottage (D) – R. McKee
- (xiv) Cannon Knitting Mill, 134 Cannon Street East, Hamilton (R) – T. Ritchie

13.1.c. Heritage Properties Update (GREEN)

(Green = Properties whose status is stable)

(i) The Royal Connaught Hotel, 110 - 122 King Street East, Hamilton (R) – T. Ritchie

(ii) Auchmar, 88 Fennell Avenue West, Hamilton (D) – R. McKee

(iii) Treble Hall, 4-12 John Street North, Hamilton (R) – T. Ritchie

(iv) 104 King Street West, Dundas (Former Post Office) (R) – K. Burke

(v) 45 Forest Avenue, Hamilton – G. Carroll

(vi) 125 King Street East, Hamilton – T. Ritchie

13.1.d. Heritage Properties Update (BLACK)

(Black = Properties that HMHC have no control over and may be demolished)

(i) Auchmar Gate House, Claremont Lodge 71 Claremont Drive (R) – R. McKee

(ii) Hanrahan Hotel, 80 and 92 Barton Street East – T. Ritchie

13.2. Staff Designation Work Plan (as of September 11, 2020)

**14. PRIVATE AND CONFIDENTIAL**

**15. ADJOURNMENT**



# Hamilton

## **HAMILTON MUNICIPAL HERITAGE COMMITTEE**

**MINUTES 20-004**

**9:30 a.m.**

**August 20, 2020**

**Hamilton City Hall**

**71 Main Street West**

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**Present:** Councillor M. Pearson  
A. Denham-Robinson (Chair), D. Beland, J. Brown, K. Burke, G. Carroll, C. Dimitry (Vice-Chair), B. Janssen, L. Lunsted, R. McKee, T. Ritchie and W. Rosart

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### **THE FOLLOWING ITEMS WERE REFERRED TO THE PLANNING COMMITTEE FOR CONSIDERATION:**

- 1. Location of the Cross of Lorraine located at 828 Sanatorium Road Hamilton (PED20141) (Ward 8) (Added Item 10.5)**

**(Janssen/McKee)**

That Report PED20141, respecting the Location of the Cross of Lorraine located at 828 Sanatorium Road Hamilton, be received.

**CARRIED**

### **FOR INFORMATION:**

- (a) CHANGES TO THE AGENDA (Item 2)**

The Clerk advised the Committee of the following changes:

#### **5. COMMUNICATIONS**

- 5.2 Correspondence from Jim MacLeod, Vice President, Ancaster Village Heritage Community, respecting Demolition Control in the City of Hamilton**

Recommendation: Be received and referred to Item 10.4 for consideration

**6. DELEGATION REQUEST**

- 6.1 Jack Dennison, Property Owner, respecting Designation of 1389 Progreston Road, Carlisle (Flamborough), (Evergreen Farm) under Part IV of the Ontario Heritage Act (PED20125) (Ward 15)

**7. CONSENT**

- 7.5(c) Heritage Permit Application HP2020-016: Proposed additions and alterations, 49 Mill Street South, Waterdown, located in Mill Street Heritage Conservation District, By-law No. 96-34-H

- 7.5(d) Heritage Permit Application HP2020-018: Proposed front porch replacement, and addition of lights and decorative shutters at 62 Sydenham Street, Dundas (Ward 13) Located within the Cross-Melville Heritage Conservation District, By-law No. 3899-90

**10. DISCUSSION ITEM**

- 10.5 Location of the Cross of Lorraine located at 828 Sanatorium Road Hamilton (PED20141) (Ward 8)

**(Brown/Janssen)**

That the Agenda for the August 20, 2020 Hamilton Municipal Heritage Committee be approved, as amended.

**CARRIED**

**(b) DECLARATIONS OF INTEREST (Item 3)**

R. McKee declared an interest in Item 5.1 Correspondence from Susan Noordyk, and Staff Response respecting a Heritage Plaque for 91 John Street, as he is the former owner of the property.

**(c) APPROVAL OF MINUTES OF PREVIOUS MEETING (Item 4)**

**(i) July 3, 2020 (Item 4.1)**

**(Pearson/Carroll)**

That the Minutes of the July 3, 2020 meeting of the Hamilton Municipal Heritage Committee be approved, as presented.

**CARRIED**

**(d) COMMUNICATIONS (Item 5)**

- (i) Correspondence from Susan Noordyk, and Staff Response respecting a Heritage Plaque for 91 John Street (Item 5.1)**

**(Janssen/Ritchie)**

That Correspondence from Susan Noordyk, and Staff Response respecting a Heritage Plaque for 91 John Street be received.

**CARRIED**

- (ii) Correspondence from Jim MacLeod, Vice President, Ancaster Village Heritage Community, respecting Demolition Control in the City of Hamilton (Added Item 5.2)**

**(Carroll/Brown)**

That the Correspondence from Jim MacLeod, Vice President, Ancaster Village Heritage Community, respecting Demolition Control in the City of Hamilton, be received and referred to Item 10.4, for consideration.

**CARRIED**

**(e) DELEGATION REQUESTS (Item 6)**

- (i) Jack Dennison, Property Owner, respecting Designation of 1389 Progreston Road, Carlisle (Flamborough), (Evergreen Farm) under Part IV of the Ontario Heritage Act (PED20125) (Ward 15) (Added Item 6.1)**

**(Ritchie/Beland)**

That the Delegation Request from Jack Dennison, Property Owner, respecting the Designation of 1389 Progreston Road, Carlisle (Flamborough), (Evergreen Farm) under Part IV of the Ontario Heritage Act (PED20125) (Ward 15), be approved for today's meeting.

**CARRIED**

**(f) CONSENT ITEMS (Item 7)**

**(Pearson/Burke)**

- (a) That the following items be received:**

- (i) Heritage Permit Review Sub-Committee Minutes - February 18, 2020 (Item 7.1)**
- (ii) Education and Communications Working Group Meeting Notes - February 5, 2020 (Item 7.2)**

- (iii) Education and Communication Working Group Meeting Notes - March 4, 2020 (Item 7.3)
- (iv) Education and Communication Working Group Meeting Notes - July 22, 2020 (Item 7.4)
- (v) Heritage Permit Applications - Delegated Approvals (Item 7.5)
  - (1) Heritage Permit Application HP2020-013: Replacement of the existing flat, mansard style roof and front dormers for the designated property at 158 James Street South (Ward 2) (By-law No. 86-21) (Item 7.5(a))
  - (2) Heritage Permit Application HP2020-015: Proposed repointing of the brick porch at 216 St. Clair Boulevard, Hamilton (Ward 3) (By-law No. 92-140) (Item 7.5(b))
  - (3) Heritage Permit Application HP2020-016: Proposed additions and alterations, 49 Mill Street South, Waterdown, located in Mill Street Heritage Conservation District, By-law No. 96-34-H (Added Item 7.5(c))
  - (4) Heritage Permit Application HP2020-018: Proposed front porch replacement, and addition of lights and decorative shutters at 62 Sydenham Street, Dundas (Ward 13) Located within the Cross-Melville Heritage Conservation District, By-law No. 3899-90" (Added Item 7.5(d))
- (vi) Inventory and Research Working Group Meeting Notes - February 24, 2020 (Item 7.6)
- (vii) Resignation of L. Brady from the Heritage Permit Review Sub-Committee (Item 7.7)
- (viii) Policy and Design Working Group Meeting Notes - January 20, 2020 (Item 7.8)

**CARRIED**

**(g) DELEGATIONS (Item 8)**

- (i) Jack Dennison, Property Owner, respecting Designation of 1389 Progreston Road, Carlisle (Flamborough), (Evergreen Farm) under Part IV of the Ontario Heritage Act (PED20125) (Ward 15) (Added Item 8.1)**

Jack Dennison, Property Owner, introduced Leah D. Wallace, Land Use & Heritage Planning Services, and Mark Shoalts as consultants for the property. All three individuals addressed Committee respecting the Designation of 1389 Progreston Road, Carlisle (Flamborough), (Evergreen Farm) under Part IV of the Ontario Heritage Act (PED20125) (Ward 15)

**(McKee/Carroll)**

That the speaking time for the Delegation, be extended.

**CARRIED**

**(Carroll/Burke)**

That the delegation from Jack Dennison, Property Owner, respecting the Designation of 1389 Progreston Road, Carlisle (Flamborough), (Evergreen Farm) under Part IV of the Ontario Heritage Act (PED20125) (Ward 15), be received.

**CARRIED**

For further discussion, refer to Item (i)(i).

**(h) STAFF PRESENTATION (Item 9)**

- (i) 2020 Staff Designation Work Plan Update (Item 9.1)**

David Addington, Cultural Heritage Planner, addressed the Committee with an overview of the 2020 Staff Designation Work Plan Update.

**(Pearson/Ritchie)**

That the presentation respecting the 2020 Staff Designation Work Plan Update, be received.

**CARRIED**



**(Janssen/Carroll)**

That staff be directed to implement the following:

- (a) That the Staff Designation Work Plan be added to the Agenda of the Hamilton Municipal Heritage Committee on an ongoing basis;
- (b) That the Staff Designation Work Plan be uploaded to the City's website; and,
- (c) That the Staff Designation Work Plan be reviewed for efficiencies.

**CARRIED**

**(i) DISCUSSION ITEM (Item 10)**

- (i) Designation of 1389 Progreston Road, Carlisle (Flamborough), (Evergreen Farm) under Part IV of the *Ontario Heritage Act* (PED20125) (Ward 15)**

**(Pearson/Carroll)**

That Report PED20125 respecting the Designation of 1389 Progreston Road, Carlisle (Flamborough), (Evergreen Farm) under Part IV of the *Ontario Heritage Act*, be DEFERRED to the September 17, 2020 meeting of the Hamilton Municipal Heritage Committee.

**CARRIED**

- (ii) 2020 Work Plans for the Working Groups of the Hamilton Municipal Heritage Committee (Item 10.2)**

**(Burke/Janssen)**

- (a) That the following 2020 Work Plans for the Working Groups of the Hamilton Municipal Heritage Committee, be received:

- (i) Education and Communication Working Group Work Plan 2020 (Item 10.2(a)); and,
- (ii) Inventory and Research Working Group Work Plan 2020 (Item 10.2(b)).

**CARRIED**

A. Denham-Robinson relinquished the Chair to speak to the following item.

(iii) **Education and Communication Working Group Meeting Notes - July 8, 2020 (Item 10.3)**

**(Denham-Robinson/Burke)**

That the recommendation in the Education and Communication Working Group Meeting Notes of July 8, 2020 be amended by deleting sub-section (b) in its entirety, and revising and renumbering sub-section (c), as follows:

(a) That staff be directed to follow-up with the Culture Division (Christopher Redford) regarding plaquing for 2019-2020 designated properties including:

- (i) 231 Ferguson Ave. S. (Ferguson Pumping Station);
- (ii) 24 Main St. West (Centenary United Church);

~~(b) That where there is an annual budget for the production of 5 heritage property designation plaques, and only 2 applicable plaques for the year, that the excess budgeted funds be used to produce plaquing for properties currently unplaqued (back-log of properties); and,~~

~~(c)~~ **(b)** That *staff from Tourism and Culture* provide a presentation update to HMHC, **report back to the Hamilton Municipal Heritage Committee with a presentation on the Process and Budget** specific to the Plaquing Workplan.

**Amendment CARRIED**

**(Denham-Robinson/Burke)**

That the Education and Communication Working Group Meeting Notes of July 8, 2020, be approved, as amended.

**Main Motion, as Amended, CARRIED**

(iv) **Ancaster Village Heritage Committee respecting Demolition Control as a Positive Force (referred from the July 7, 2020 Planning Committee) (Item 10.4)**

**(Brown/Ritchie)**

That the Ancaster Village Heritage Committee documents respecting Demolition Control as a Positive Force, be received and referred to the General Manager, Planning and Economic Development for a report back to a future meeting of the Hamilton Municipal Heritage Committee.

**CARRIED**

**(j) GENERAL INFORMATION / OTHER BUSINESS (Item 13)**

**(i) Buildings and Landscapes (Item 13.1)**

**(Brown/Ritchie)**

That the following property be removed from the Buildings and Landscapes of Interest (YELLOW) list:

- (viii) 1 St. James Place, Hamilton (D) – J. Brown

**CARRIED**

**(Dimitry/Ritchie)**

That the property located at 1021 Garner Road East (Lampman House), be moved from the Buildings and Landscapes of Interest (YELLOW) list to the Endangered Buildings and Landscapes (RED) list.

**CARRIED**

**(McKee/Carroll)**

That the Beach Canal Lighthouse and Cottage, currently on the Endangered Buildings and Landscapes (RED) list, be moved to the Buildings and Landscapes of Interest (YELLOW) list.

**CARRIED**

**(Ritchie/Carroll)**

That the property known as Cathedral Boys School, located at 378 Main Street East, Hamilton be added to the Endangered Buildings and Landscapes (RED) list.

**CARRIED**

**(Beland/Ritchie)**

That the property known as the Firth Brothers Building, located at 127 Hughson Street North, Hamilton be added to the Endangered Buildings and Landscapes (RED) list.

**CARRIED**

**(Ritchie/Brown)**

That the property known as the Cannon Knitting Mill, located at 134 Cannon Street East, Hamilton, be added to the Buildings and Landscapes of Interest (YELLOW) list.

**CARRIED**

**(Beland/Ritchie)**

That the following updates be received:

- (a) Endangered Buildings and Landscapes (RED):  
(Red = Properties where there is a perceived immediate threat to heritage resources through: demolition; neglect; vacancy; alterations, and/or, redevelopment)**

- (i) Tivoli, 108 James Street North, Hamilton (D) – T. Ritchie

- (ii) Andrew Sloss House, 372 Butter Road West, Ancaster (D) – C. Dimitry
- (iii) Century Manor, 100 West 5th Street, Hamilton (D) – G. Carroll
- (iv) 18-22 King Street East, Hamilton (D) – W. Rosart
- (v) 24-28 King Street East, Hamilton (D) – W. Rosart
- (vi) 2 Hatt Street, Dundas (R) – K. Burke
- (vii) James Street Baptist Church, 98 James Street South, Hamilton (D) – J. Brown
- (viii) Long and Bisby Building, 828 Sanatorium Road – G. Carroll

Staff are currently working with the property developer on a protection plan.

For further disposition, refer to Item 1.

- (ix) 120 Park Street, Hamilton (R) – R. McKee
- (x) 398 Wilson Street East, Ancaster (D) – C. Dimitry
- (xi) Lampman House, 1021 Garner Road East, Ancaster (NOID) – C. Dimitry
- (xii) Cathedral Boys School, 378 Main Street East, Hamilton (R) – T. Ritchie
- (xiii) Firth Brothers Building, 127 Hughson Street North, Hamilton (NOID) – T. Ritchie

**(b) Buildings and Landscapes of Interest (YELLOW):  
(Yellow = Properties that are undergoing some type of change, such as a change in ownership or use, but are not perceived as being immediately threatened)**

- (i) Delta High School, 1284 Main Street East, Hamilton (D) – D. Beland
- (ii) 2251 Rymal Road East, Stoney Creek (R) – B. Janssen
- (iii) Former Valley City Manufacturing, 64 Hatt Street, Dundas (R) – K. Burke
- (iv) St. Joseph's Motherhouse, 574 Northcliffe Avenue, Dundas (ND) – W. Rosart

- (v) Copley Building, 104 King Street West; 56 York Blvd., and 63-76 MacNab Street North (NOI) – G. Carroll
- (vi) Dunington-Grubb Gardens, 1000 Main Street East (within Gage Park) (R) – D. Beland
- (vii) St. Clair Blvd. Conservation District (D) – D. Beland
- (viii) 52 Charlton Avenue West, Hamilton (D) – J. Brown
- (ix) 292 Dundas Street East, Waterdown (R) – L. Lunsted
- (x) Chedoke Estate (Balfour House), 1 Balfour Drive, Hamilton (R) – T. Ritchie
- (xi) Binkley property, 50-54 Sanders Blvd., Hamilton (R) - J. Brown
- (xii) 62 6<sup>th</sup> Concession East, Flamborough (I) - L. Lunsted
- (xiii) Beach Canal Lighthouse and Cottage (D) – R. McKee
- (xiv) Cannon Knitting Mill, 134 Cannon Street East, Hamilton (R) – T. Ritchie

**(c) Heritage Properties Update (GREEN):  
(Green = Properties whose status is stable)**

- (i) The Royal Connaught Hotel, 112 King Street East, Hamilton (R) – T. Ritchie
- (ii) Auchmar, 88 Fennell Avenue West, Hamilton (D) – R. McKee
- (iii) Treble Hall, 4-12 John Street North, Hamilton (R) – T. Ritchie
- (iv) 104 King Street West, Dundas (Former Post Office) (R) – K. Burke
- (v) 45 Forest Avenue, Hamilton – G. Carroll
- (vi) 125 King Street East, Hamilton – T. Ritchie

**(d) Heritage Properties Update (black):**

**(Black = Properties that HMHC have no control over and may be demolished)**

- (i) Auchmar Gate House, Claremont Lodge 71 Claremont Drive (R) – R. McKee
- (ii) 80 and 92 Barton Street East (Hanrahan Hotel) – T. Ritchie  
**CARRIED**

**(k) ADJOURNMENT (Item 15)**

**(McKee/Lunsted)**

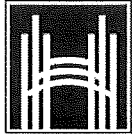
That, there being no further business, the Hamilton Municipal Heritage Committee, be adjourned at 1:05 p.m.

**CARRIED**

Respectfully submitted,

Alissa Denham-Robinson, Chair  
Hamilton Municipal Heritage Committee

Loren Kolar  
Legislative Coordinator  
Office of the City Clerk



Hamilton

Mailing Address:  
71 Main Street West  
Hamilton, Ontario  
Canada L8P 4Y5  
www.hamilton.ca

Planning and Economic Development Department  
Planning Division  
71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5  
Phone: 905-546-2424, Ext. 4281  
Fax: 905-540-5611

7.1(a)

FILE: HP2020-017

August 19, 2020

Susan and Lawrence Masterman  
25 Cross Street  
Dundas, Ontario  
LH9 2R5

**Re: Heritage Permit Application HP2020-017:  
Proposed removal of trees from 25 Cross Street, Dundas (Ward 13) located  
within the Cross-Melville Heritage Conservation District (By-law No. 3899  
90)**

Please be advised that pursuant to By-law No. 05-364, as amended by By-law No. 07-322, which delegates the power to consent to alterations to designated property under the *Ontario Heritage Act* to the Director of Planning and Chief Planner, Heritage Permit Application HP2020-017 is approved for the designated property at 25 Cross Street, Dundas, in accordance with the submitted Heritage Permit Application for the following alterations:

- Removal of two Japanese Maples adjacent to the front door on the north elevation, these will be replaced with small ornamental Japanese maples; and,
- Removal of two Serviceberries adjacent to the house, on the west elevation, these will be replaced with ornamental shrubs.

Subject to the following conditions:

- a) That any minor changes to the plans and elevations following approval shall be submitted, to the satisfaction and approval of the Director of Planning and Chief Planner, prior to submission as part of any application for a Building Permit and / or the commencement of any alterations; and,
- b) Implementation of the alterations, in accordance with this approval, shall be completed no later than August 31, 2022. If the alterations are not completed by August 31, 2022, then this approval expires as of that date and no alterations shall be undertaken without a new approval issued by the City of Hamilton.

Re: Heritage Permit Application HP2020-017:  
Proposed removal of trees from 25 Cross Street,  
Dundas (Ward 13) located within the Cross-Melville  
Heritage Conservation District (By-law No. 3899-90)

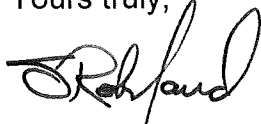
August 18, 2020  
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Please note that this property is designated under Part V of the *Ontario Heritage Act*, and that this permit is only for the above-noted alterations. Any departure from the approved plans and specifications is prohibited, and could result in penalties, as provided for by the *Ontario Heritage Act*. The terms and conditions of this approval may be appealed to the Local Planning Appeal Tribunal within 30 days of your receipt of this permit.

The issuance of this permit under the *Ontario Heritage Act* is not a waiver of any of the provisions of any By-law of the City of Hamilton, the requirements of the *Building Code Act*, the *Planning Act*, or any other applicable legislation.

We wish you success with your project, and if you have any further questions please feel free to contact Miranda Brunton Cultural Heritage Planner, at 905-546-2424 ext. 1202, or via email at [Miranda.Brunton@hamilton.ca](mailto:Miranda.Brunton@hamilton.ca)

Yours truly,



Steve Robichaud, MCIP RPP  
Director of Planning and Chief Planner

cc: Miranda Brunton, Cultural Heritage Planner  
Chantal Costa, Plan Examination Secretary  
John Lane, Manager, Building Inspections  
Loren Kolar, Legislative Coordinator  
Christine Vernem, Legislative Secretary  
Councillor VanderBeek, Ward 13





Hamilton

Mailing Address:  
71 Main Street West  
Hamilton, Ontario  
Canada L8P 4Y5  
www.hamilton.ca

Planning and Economic Development Department  
Planning Division  
71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5  
Phone: 905-546-2424, Ext. 1214  
Fax: 905-540-5611

**7.1(b)**

FILE: HP2020-019

August 31, 2020

Tim Pohlman and Sara Miatello  
243 MacNab Street South  
Hamilton, ON L8P 3E2

**Re: Heritage Permit Application HP2020-019:  
Proposed construction of a two and a half storey addition at the rear of the  
existing dwelling at 243 MacNab Street South, Hamilton (Ward 2) (By-law  
No. 94-184)**

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Please be advised that pursuant to By-law No. 05-364, as amended by By-law No. 07-322, which delegates the power to consent to alterations to designated property under the *Ontario Heritage Act* to the Director of Planning and Chief Planner, Heritage Permit Application HP2020-019 is approved for the designated property at 216 St. Clair Boulevard, Hamilton in accordance with the submitted Heritage Permit Application for the following alterations:

- Construction of a two and a half storey addition at the rear of the existing dwelling including a new rear dormer and roof deck.

Subject to the following conditions:

- a) Any minor changes to the plans and elevations following approval shall be submitted, to the satisfaction and approval of the Director of Planning and Chief Planner, prior to submission as part of any application for a Building Permit and / or the commencement of any alterations; and,
- b) Implementation of the alterations, in accordance with this approval, shall be completed no later than September 30, 2022. If the alterations are not completed by September 30, 2022, then this approval expires as of that date and no alterations shall be undertaken without a new approval issued by the City of Hamilton.

**Re: Heritage Permit Application HP2020-019:  
Proposed construction of a two and a half storey  
addition at the rear of the existing dwelling at 243  
MacNab Street South, Hamilton (Ward 2) (By-law No.  
94-184)**

**August 31, 2020  
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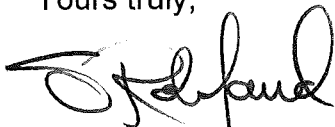
- c) That the applicant provide staff with a perspective view or rendering of the proposed addition from Herkimer Street and details of its proposed cladding to ensure the addition's scale and materials are compatible with the neighbourhood, to the satisfaction of the Director of Planning and Chief Planner prior to the commencement of any alterations.

Please note that this property is designated under Part V of the *Ontario Heritage Act*, and that this permit is only for the above-noted alterations. Any departure from the approved plans and specifications is prohibited, and could result in penalties, as provided for by the *Ontario Heritage Act*. The terms and conditions of this approval may be appealed to the Local Planning Appeal Tribunal within 30 days of your receipt of this permit.

The issuance of this permit under the *Ontario Heritage Act* is not a waiver of any of the provisions of any By-law of the City of Hamilton, the requirements of the *Building Code Act*, the *Planning Act*, or any other applicable legislation.

We wish you success with your project, and if you have any further questions please feel free to contact David Addington, Cultural Heritage Planner, at 905-546-2424 ext. 1214, or via email at david.addington@hamilton.ca.

Yours truly,



Steve Robichaud, MCIP RPP  
Director of Planning and Chief Planner

cc: David Addington, Cultural Heritage Planner  
Chantal Costa, Plan Examination Secretary  
John Lane, Manager, Building Inspections  
Loren Kolar, Legislative Coordinator  
Christine Vernem, Legislative Secretary  
Erin Semande, Registrar, Ontario Heritage Trust  
Councillor Jason Farr, Ward 2



Hamilton

Mailing Address:  
71 Main Street West  
Hamilton, Ontario  
Canada L8P 4Y5  
www.hamilton.ca

Planning and Economic Development Department  
Planning Division  
71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5  
Phone: 905-546-2424, Ext. 1214  
Fax: 905-540-5611

**7.1(c)**

FILE: HP2020-020

September 2, 2020

Bryan Dykstra  
181 Campbell Avenue  
Toronto, ON  
M6P 3V5

**Re: Heritage Permit Application HP2020-020:  
Replacement of the existing steel casement windows with new thermally  
broken replica windows on each façade of the 1929 building section at 127  
Hughson Street North (22 Cannon Street East), Hamilton (Ward 2) (NOID)**

---

Please be advised that pursuant to By-law No. 05-364, as amended by By-law No. 07-322, which delegates the power to consent to alterations to designated property under the *Ontario Heritage Act* to the Director of Planning and Chief Planner, Heritage Permit Application HP2020-020 is approved for the designated property at 127 Hughson Street North (22 Cannon Street East), Hamilton, in accordance with the submitted Heritage Permit Application for the following alterations:

- Replacement of the existing steel casement windows with new thermally broken replica windows on each façade of the 1929 building section.

Subject to the following conditions:

- a) Any minor changes to the plans and elevations following approval shall be submitted, to the satisfaction and approval of the Director of Planning and Chief Planner, prior to submission as part of any application for a Building Permit and / or the commencement of any alterations; and,
- b) Implementation of the alterations, in accordance with this approval, shall be completed no later than September 30, 2022. If the alterations are not completed by September 30, 2022, then this approval expires as of that date and no alterations shall be undertaken without a new approval issued by the City of Hamilton.

**Re: Heritage Permit Application HP2020-020:  
Replacement of the existing steel casement windows  
with new thermally broken replica windows on each  
façade of the 1929 building section at 127 Hughson  
Street North (22 Cannon Street East), Hamilton (Ward  
2) (NOID)**

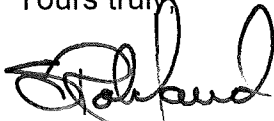
**August 31, 2020  
Page 2 of 2**

Please note that this property is designated under Part IV of the *Ontario Heritage Act*, and that this permit is only for the above-noted alterations. Any departure from the approved plans and specifications is prohibited, and could result in penalties, as provided for by the *Ontario Heritage Act*. The terms and conditions of this approval may be appealed to the Conservation Review Board within 30 days of your receipt of this permit.

The issuance of this permit under the *Ontario Heritage Act* is not a waiver of any of the provisions of any By-law of the City of Hamilton, the requirements of the *Building Code Act*, the *Planning Act*, or any other applicable legislation.

We wish you success with your project, and if you have any further questions please feel free to contact David Addington, Cultural Heritage Planner, at 905-546-2424 ext.1214, or via email at [David.Addington@hamilton.ca](mailto:David.Addington@hamilton.ca).

Yours truly,



Steve Robichaud, MCIP RPP  
Director of Planning and Chief Planner

cc: David Addington, Cultural Heritage Planner  
Chantal Costa, Plan Examination Secretary  
John Lane, Manager, Building Inspections  
Loren Kolar, Legislative Coordinator  
Christine Vernem, Legislative Secretary  
Councillor Jason Farr, Ward 2



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Mailing Address:  
71 Main Street West  
Hamilton, Ontario  
Canada L8P 4Y5  
www.hamilton.ca

Planning and Economic Development Department  
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Phone: 905-546-2424, Ext. 1214  
Fax: 905-540-5611

7.1(d)

FILE: HP2020-021

August 31, 2020

Hughes & Cooper LLP  
109-111 Charles Street  
Hamilton, ON  
L8P 3E4

**Re: Heritage Permit Application HP2020-021:  
Proposed installation of a non-illuminated sign on the rear stone wall and  
an illuminated ground sign adjacent to the front yard driveway at 109-111  
Charles Street, Hamilton (Ward 2) (By-law No. 90-144)**

---

Please be advised that pursuant to By-law No. 05-364, as amended by By-law No. 07-322, which delegates the power to consent to alterations to designated property under the *Ontario Heritage Act* to the Director of Planning and Chief Planner, Heritage Permit Application HP2020-021 is approved for the designated property at 109-111 Charles Street, Hamilton in accordance with the submitted Heritage Permit Application for the following alterations:

- Installation of a non-illuminated sign on the rear stone building wall and an illuminated ground sign adjacent to the driveway in the front yard of the subject property.

Subject to the following conditions:

- a) Any minor changes to the plans and elevations following approval shall be submitted, to the satisfaction and approval of the Director of Planning and Chief Planner, prior to submission as part of any application for a Building Permit and / or the commencement of any alterations; and,
- b) Implementation of the alterations, in accordance with this approval, shall be completed no later than September 30, 2022. If the alterations are not completed by September 30, 2022, then this approval expires as of that date and

**Re: Heritage Permit Application HP2020-021:  
Proposed installation of a non-illuminated sign on the  
rear stone wall and an illuminated ground sign  
adjacent to the front yard driveway at 109-111 Charles  
Street, Hamilton (Ward 2) (By-law No. 90-144)**

**August 31, 2020  
Page 2 of 2**

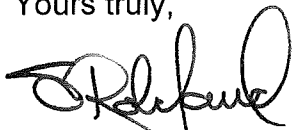
no alterations shall be undertaken without a new approval issued by the City of Hamilton.

Please note that this property is designated under Part V of the *Ontario Heritage Act*, and that this permit is only for the above-noted alterations. Any departure from the approved plans and specifications is prohibited, and could result in penalties, as provided for by the *Ontario Heritage Act*. The terms and conditions of this approval may be appealed to the Local Planning Appeal Tribunal within 30 days of your receipt of this permit.

The issuance of this permit under the *Ontario Heritage Act* is not a waiver of any of the provisions of any By-law of the City of Hamilton, the requirements of the *Building Code Act*, the *Planning Act*, or any other applicable legislation.

We wish you success with your project, and if you have any further questions please feel free to contact David Addington, Cultural Heritage Planner, at 905-546-2424 ext. 1214, or via email at david.addington@hamilton.ca.

Yours truly,



Steve Robichaud, MCIP RPP  
Director of Planning and Chief Planner

cc: David Addington, Cultural Heritage Planner  
Chantal Costa, Plan Examination Secretary  
John Lane, Manager, Building Inspections  
Loren Kolar, Legislative Coordinator  
Christine Vernem, Legislative Secretary  
Erin Semande, Registrar, Ontario Heritage Trust  
Councillor Jason Farr, Ward 2



Hamilton

Mailing Address:  
71 Main Street West  
Hamilton, Ontario  
Canada L8P 4Y5  
www.hamilton.ca

Planning and Economic Development Department  
Planning Division  
71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5  
Phone: 905-546-2424, Ext. 4281  
Fax: 905-540-5611

7.1(e)

FILE: HP2020-22

September 4, 2020

Carolyn Samko  
Senior Project Manager  
Heritage Resource Management, Tourism and Culture  
28 James St. North, 2<sup>nd</sup> Floor (The Lister Block)  
Hamilton, On.  
L8R 1A1

**Re: Heritage Permit Application HP2020-022:  
Proposed alterations of the Griffin House located at 733 Mineral Springs  
Road, Ancaster (Ward 12) (By-law No. 90-92)**

---

Please be advised that pursuant to By-law No. 05-364, as amended by By-law No. 07-322, which delegates the power to consent to alterations to designated property under the *Ontario Heritage Act* to the Director of Planning and Chief Planner, Heritage Permit Application HP2020-022 is approved for the designated property at 733 Mineral Springs Road, Ancaster, in accordance with the submitted Heritage Permit Application for the following alterations:

- Install removable wooden board and batten shutters on the windows of the main floor, four windows in total; and,
- Install wooden board and batten storm doors on the back and front doors (two doors in total).

Subject to the following conditions:

- a) Any minor changes to the plans and elevations following approval shall be submitted, to the satisfaction and approval of the Director of Planning and Chief Planner, prior to submission as part of any application for a Building Permit and / or the commencement of any alterations; and,
- b) Installation of the alterations, in accordance with this approval, shall be completed no later than September 30, 2022. If the alterations are not completed by September 30, 2022, then this approval expires as of that date

**Re: Heritage Permit Application HP2020-022:  
Proposed alterations of the Griffin House located at  
733 Mineral Springs Road, Ancaster (Ward 12) (By-law  
No. 90-92)**

**September 4, 2020  
Page 2 of 2**

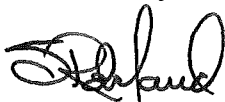
and no alterations shall be undertaken without a new approval issued by the City of Hamilton.

Please note that this property is designated under Part IV of the *Ontario Heritage Act*, and that this permit is only for the above-noted alterations. Any departure from the approved plans and specifications is prohibited, and could result in penalties, as provided for by the *Ontario Heritage Act*. The terms and conditions of this approval may be appealed to the Conservation Review Board within 30 days of your receipt of this permit.

The issuance of this permit under the *Ontario Heritage Act* is not a waiver of any of the provisions of any By-law of the City of Hamilton, the requirements of the *Building Code Act*, the *Planning Act*, or any other applicable legislation.

We wish you success with your project, and if you have any further questions please feel free to contact Miranda Brunton, Cultural Heritage Planner, at 905-546-2424 ext. 1202 or via email at [Miranda.brunton@hamilton.ca](mailto:Miranda.brunton@hamilton.ca).

Yours truly,



Steve Robichaud, MCIP RPP  
Director of Planning and Chief Planner

cc: Miranda Brunton, Cultural Heritage Planner  
Chantal Costa, Plan Examination Secretary  
John Lane, Manager, Building Inspections  
Loren Kolar, Legislative Coordinator  
Christine Vernem, Legislative Secretary  
Councillor Ferguson





Hamilton

Mailing Address:  
71 Main Street West  
Hamilton, Ontario  
Canada L8P 4Y5  
www.hamilton.ca

Planning and Economic Development Department  
Planning Division  
71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5  
Phone: 905-546-2424, Ext. 4281  
Fax: 905-540-5611

7.1(f)

FILE: HP2020-023

September 4, 2020

Brittany Pepper and Christopher Roberts  
50 Mill Street North,  
Waterdown, On.  
L0R 2H6

**Re: Heritage Permit Application HP2020-23:  
Proposed restoration of the main entryway and windows on the primary  
façade at 50 Mill Street North, Waterdown (Ward 15), located within the Mill  
Street Heritage Conservation District (By-law No. 82-81-H)**

---

Please be advised that pursuant to By-law No. 05-364, as amended by By-law No. 07-322, which delegates the power to consent to alterations to designated property under the *Ontario Heritage Act* to the Director of Planning and Chief Planner, Heritage Permit Application HP2020-023 is approved for the designated property at 50 Mill Street North, Waterdown, in accordance with the submitted Heritage Permit Application for the following alterations:

- Restoration of main entryway and windows on the primary façade.

Subject to the following conditions:

- a) That any minor changes to the plans and elevations following approval shall be submitted, to the satisfaction and approval of the Director of Planning and Chief Planner, prior to submission as part of any application for a Building Permit and / or the commencement of any alterations; and,
- b) Installation of the alterations, in accordance with this approval, shall be completed no later than September 30, 2022. If the alterations are not completed by September 30, 2022, then this approval expires as of that date and no alterations shall be undertaken without a new approval issued by the City of Hamilton.

Please note that this property is designated under Part V of the *Ontario Heritage Act*, and that this permit is only for the above-noted alterations. Any departure from the approved plans and specifications is prohibited, and could result in penalties, as

**Re: Heritage Permit Application HP2020-23:  
Proposed restoration of the main entryway and  
windows on the primary façade at 50 Mill Street North,  
Waterdown (Ward 15), located within the Mill Street  
Heritage Conservation District (By-law No. 82-81-H)**

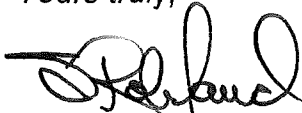
**September 4, 2020  
Page 2 of 2**

provided for by the *Ontario Heritage Act*. The terms and conditions of this approval may be appealed to the Local Planning Appeal Tribunal within 30 days of your receipt of this permit.

The issuance of this permit under the *Ontario Heritage Act* is not a waiver of any of the provisions of any By-law of the City of Hamilton, the requirements of the *Building Code Act*, the *Planning Act*, or any other applicable legislation.

We wish you success with your project, and if you have any further questions please feel free to contact Miranda Brunton, Cultural Heritage Planner, at 905-546-2424 ext. 1202, or via email at [Miranda.Brunton@hamilton.ca](mailto:Miranda.Brunton@hamilton.ca).

Yours truly,



Steve Robichaud, MCIP RPP  
Director of Planning and Chief Planner

cc: Miranda Brunton, Cultural Heritage Planner  
Chantal Costa, Plan Examination Secretary  
John Lane, Manager, Building Inspections  
Loren Kolar, Legislative Coordinator  
Christine Vernem, Legislative Secretary  
Councillor Partridge, Ward 15



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Mailing Address:  
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Canada L8P 4Y5  
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Planning Division  
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Phone: 905-546-2424, Ext. 1214  
Fax: 905-540-5611

**7.1(g)**

FILE: HP2020-024

August 31, 2020

Diocese of Niagara (Church of the Ascension)  
64 Forest Avenue  
Hamilton, ON  
L8N 1X1

**Re: Heritage Permit Application HP2020-024:  
Replacement of the asphalt shingles on the church roof with composite  
slate tiles at 64 Forest Avenue, Hamilton (Church of the Ascension) (Ward  
2) (By-law No. 88-66)**

---

Please be advised that pursuant to By-law No. 05-364, as amended by By-law No. 07-322, which delegates the power to consent to alterations to designated property under the *Ontario Heritage Act* to the Director of Planning and Chief Planner, Heritage Permit Application HP2020-024 is approved for the designated property at 64 Forest Avenue, Hamilton (Church of the Ascension), in accordance with the submitted Heritage Permit Application for the following alterations:

- Replacement of the asphalt shingles on the church roof with composite slate tiles including the erection of temporary scaffolding to be secured in the stone wall joints to facilitate the work.

Subject to the following conditions:

- a) Any minor changes to the plans and elevations following approval shall be submitted, to the satisfaction and approval of the Director of Planning and Chief Planner, prior to submission as part of any application for a Building Permit and / or the commencement of any alterations;
- b) Implementation of the alterations, in accordance with this approval, shall be completed no later than September 30, 2022. If the alterations are not completed by September 30, 2022, then this approval expires as of that date and no alterations shall be undertaken without a new approval issued by the City of Hamilton; and,

Please note that this property is designated under Part IV of the *Ontario Heritage Act*, and that this permit is only for the above-noted alterations. Any departure from the

**Re: Heritage Permit Application HP2020-024:  
Replacement of the asphalt shingles on the church  
roof with composite slate tiles at 64 Forest Avenue,  
Hamilton (Church of the Ascension) (Ward 2) (By-law  
No. 88-66)**

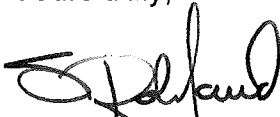
**August 31, 2020  
Page 2 of 2**

approved plans and specifications is prohibited, and could result in penalties, as provided for by the *Ontario Heritage Act*. The terms and conditions of this approval may be appealed to the Conservation Review Board within 30 days of your receipt of this permit.

The issuance of this permit under the *Ontario Heritage Act* is not a waiver of any of the provisions of any By-law of the City of Hamilton, the requirements of the *Building Code Act*, the *Planning Act*, or any other applicable legislation.

We wish you success with your project, and if you have any further questions please feel free to contact David Addington, Cultural Heritage Planner, at 905-546-2424 ext.1214, or via email at David.Addington@hamilton.ca.

Yours truly,



Steve Robichaud, MCIP RPP  
Director of Planning and Chief Planner

cc: David Addington, Cultural Heritage Planner  
Chantal Costa, Plan Examination Secretary  
John Lane, Manager, Building Inspections  
Loren Kolar, Legislative Coordinator  
Christine Vernem, Legislative Secretary  
Councillor Jason Farr, Ward 2

**MINUTES OF THE HAMILTON HERITAGE PERMIT REVIEW SUB-COMMITTEE**

**Tuesday, July 21, 2020**

**Present:** Melissa Alexander, Charles Dimitry (Chair), Andy MacLaren, Carol Priamo, Tim Ritchie (Vice Chair), John Scime, Stefan Spolnik, Steve Wiegand

**Attending Staff:** David Addington, Miranda Brunton, Shannon McKie, Loren Kolar

**Absent with Regrets:** Laurie Brady, Diane Dent

Meeting was called to order by the Chairman, Charles Dimitry, at 4:15pm

**1) Approval of Minutes from Previous Meetings: February 18, 2020**

Motion on overall minutes moved by – Andy MacLaren

Seconded – Tim Ritchie

Carried by unanimous vote, no objections

## 2) Heritage Permit Applications

- a. HP2020-013: 158 James Street South, Hamilton
  - Replacement of the existing flat, mansard style roof and front dormers with a new roof replicating the appearance and form of the existing roof
  - The existing parapet walls will remain as well as retaining the same roof form with dormers
  - Existing roof is over 25 years old and has been patched multiple times and is leaking in multiple areas
  - Note: Roof is not original. By-law 96-116 (for the remaining Stone Terrace) states “the addition of dormers and one mansard roof (#158) as well as alterations to entrance doorways, stairways and windows have not seriously undermined its original appearance”

City staff represented the applicant and property owner at the permit review.

The Sub-committee considered the application and together with input from the applicant and advice from staff, passed the following motions:

That the Heritage Permit Review Sub-committee advises that Heritage Permit application HP2020-013 be consented to, subject to the following conditions:

- a) That any minor changes to the plans and elevations following approval shall be submitted, to the satisfaction and approval of the Director of Planning and Chief Planner, prior to submission as part of any application for a Building Permit and / or the commencement of any alterations; and,
- b) Installation of the alterations, in accordance with this approval, shall be completed no later than August 31, 2022. If the alteration(s) are not completed by August 31, 2022, then this approval expires as of that date and no alterations shall be undertaken without a new approval issued by the City of Hamilton.

Motion for permit moved by – Andy MacLaren  
Seconded – Tim Ritchie  
Carried by unanimous vote, no objections

- b. HP2020-015: 216 St. Clair Boulevard, Hamilton
- Repointing of the brick front porch using a lime based mortar
  - Reason for work - deterioration of existing mortar on the front porch and maintenance of the front porch to extend its lifespan

The property owner and applicant, ***[name withdrawn at the request of property owner]*** represented himself at the permit review. Please note that ***[name withdrawn at the request of property owner]*** serves on the Heritage Permit Review Subcommittee and he recused himself from all discussions about the property.

The Sub-committee considered the application and together with advice from staff, passed the following motion:

That the Heritage Permit Review Sub-committee advises that Heritage Permit application HP2020-015 be consented to, subject to the following conditions:

- a) That any minor changes to the plans and elevations following approval shall be submitted, to the satisfaction and approval of the Director of Planning and Chief Planner, prior to submission as part of any application for a Building Permit and / or the commencement of any alterations; and,
- b) Installation of the alterations, in accordance with this approval, shall be completed no later than August 31, 2022. If the alteration(s) are not completed by August 31, 2022, then this approval expires as of that date and no alterations shall be undertaken without a new approval issued by the City of Hamilton.

Motion for overall permit moved by – John Scime  
Seconded – Andy MacLaren  
Carried by unanimous vote, no objections

- c. HP2020-016: 49 Mill Street, Waterdown
- Proposed front porch;
  - Proposed rear addition; and
  - Roof replacement

City staff represented the applicant and property owner at the permit review.

The Sub-committee considered the application and together with input from the applicant and advice from staff, passed the following motions:

That the Heritage Permit Review Sub-committee advises that Heritage Permit application HP2020-016 be consented to, subject to the following conditions:

- a) That any minor changes to the plans and elevations following approval shall be submitted, to the satisfaction and approval of the Director of Planning and Chief Planner, prior to submission as part of any application for a Building Permit and / or the commencement of any alterations; and,
- b) Installation of the alterations, in accordance with this approval, shall be completed no later than August 31, 2022. If the alteration(s) are not completed by August 31, 2022, then this approval expires as of that date and no alterations shall be undertaken without a new approval issued by the City of Hamilton.

Motion for permit moved by – Andy MacLaren  
Seconded – Tim Ritchie  
Carried by unanimous vote



d. HP2020-017: 25 Cross Street, Dundas

- removal of two Japanese Maples adjacent to the front door on the northern elevation and two Serviceberries adjacent to the house, on the western elevation,
- To be replaced with small ornamental Japanese maples around the front door and the service berries will be replaced with ornamental shrubs.

City staff represented the applicant and property owner at the permit review.

The Sub-committee considered the application and together with input from the applicant and advice from staff, passed the following motions:

That the Heritage Permit Review Sub-committee advises that Heritage Permit application HP2020-017 be consented to, subject to the following conditions:

- a) That any minor changes to the plans and elevations following approval shall be submitted, to the satisfaction and approval of the Director of Planning and Chief Planner, prior to submission as part of any application for a Building Permit and / or the commencement of any alterations; and,
- b) Installation of the alterations, in accordance with this approval, shall be completed no later than August 31, 2022. If the alteration(s) are not completed by August 31, 2022, then this approval expires as of that date and no alterations shall be undertaken without a new approval issued by the City of Hamilton.

Motion for permit moved by – Tim Ritchie  
Seconded – Melissa Alexander  
Carried by unanimous vote, no objections

- e. HP2020-018: 62 Sydenham, Dundas
- Proposed front porch to replace existing front porch;
  - Add lights and decorative shutters

City staff represented the applicant and property owner at the permit review.

The Sub-committee considered the application and together with input from the applicant and advice from staff, passed the following motions:

That the Heritage Permit Review Sub-committee advises that Heritage Permit application HP2020-018 be consented to, subject to the following conditions:

- a) That any minor changes to the plans and elevations following approval shall be submitted, to the satisfaction and approval of the Director of Planning and Chief Planner, prior to submission as part of any application for a Building Permit and / or the commencement of any alterations; and,
- b) Installation of the alterations, in accordance with this approval, shall be completed no later than August 31, 2022. If the alteration(s) are not completed by August 31, 2022, then this approval expires as of that date and no alterations shall be undertaken without a new approval issued by the City of Hamilton.
- c) If the applicant decides to install decorative shutters, the final materials and colours should be reviewed and approved by Heritage Staff.

Motion for permit conditions a) and b) moved by – Andy MacLaren  
Seconded – Stefan Spolnik  
Carried by unanimous vote, no objections

Motion for permit condition c) moved by – Tim Ritchie  
Seconded – Stefan Spolnik  
Carried by unanimous vote, no objections



3) **Adjournment:** Meeting was adjourned at 6:30 pm

Motion moved by – Tim Ritchie

Seconded – Andy MacLaren

Carried by unanimous vote, no objections

4) **Next Meeting:** Tuesday, August 18, 2020 from 4:30 – 8:30pm



**CITY OF HAMILTON**  
**PLANNING AND ECONOMIC DEVELOPMENT DEPARTMENT**  
**Planning Division**

<b>TO:</b>	Chair and Committee Members Hamilton Municipal Heritage Committee
<b>COMMITTEE DATE:</b>	September 17, 2020
<b>SUBJECT/REPORT NO:</b>	Recommendation to Designate 110-122 King Street East, Hamilton (Former Royal Connaught Hotel) under Part IV of the <i>Ontario Heritage Act</i> (PED20159) (Ward 2)
<b>WARD(S) AFFECTED:</b>	Ward 2
<b>PREPARED BY:</b>	David Addington (905) 546-2424 Ext. 1214
<b>SUBMITTED BY:</b>	Steve Robichaud Director, Planning and Chief Planner Planning and Economic Development Department
<b>SIGNATURE:</b>	

**RECOMMENDATION**

- (a) That the designation of 110-122 King Street East, Hamilton (former Royal Connaught Hotel), shown in Appendix “A” to Report PED20159, as a property of cultural heritage value pursuant to the provisions of Part IV of the *Ontario Heritage Act*, be approved;
- (b) That the Statement of Cultural Heritage Value or Interest and Description of Heritage Attributes, attached as Appendix “B” to Report PED20159, be approved; and,
- (c) That the City Clerk be directed to take appropriate action to designate 110-122 King Street East, Hamilton (former Royal Connaught Hotel) under Part IV of the *Ontario Heritage Act*, in accordance with the Notice of Intention to Designate, attached as Appendix “C” to Report PED20159.

**EXECUTIVE SUMMARY**

110-122 King Street East, Hamilton is the site of the former Royal Connaught Hotel which has been repurposed to its current use as a residential condominium building with lower floor commercial uses.

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OUR Vision: To be the best place to raise a child and age successfully.

OUR Mission: To provide high quality cost conscious public services that contribute to a healthy, safe and prosperous community, in a sustainable manner.

OUR Culture: Collective Ownership, Steadfast Integrity, Courageous Change, Sensational Service, Engaged Empowered Employees.

**SUBJECT: Recommendation to Designate 110-122 King Street East, Hamilton (former Royal Connaught Hotel) under Part IV of the *Ontario Heritage Act* (PED20159) (Ward 2) - Page 2 of 11**

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On April 9, 2008, City Council endorsed a motion from the Economic Development and Planning Committee recommending that the former Royal Connaught Hotel be considered a high priority for future designation under Part IV of the *Ontario Heritage Act*. The property was added to the staff work plan for designation at that time. The subject property was also added to the City's *Register of Property of Cultural Heritage Value or Interest* on October 29, 2008 as recommended in Report PED08211.

In 2013, the former Royal Connaught Hotel was subject to a Site Plan Control application (DA-13-012) to repurpose the building to a residential condominium with lower floor commercial uses including the addition of a 14 storey addition on the John Street North frontage of the site. At the request of the property owner, the designation of the subject property was put on hold until construction on the project was completed. Given that the construction related to the repurposing and addition to the former Royal Connaught Hotel is complete and the property has been registered as a condominium, staff are now continuing the process of designation for the subject property.

Staff retained Peter Stewart of George Robb Architect, and Paul Dilse, Heritage Planning Consultant to complete a Cultural Heritage Assessment of the subject property (final report dated March 2013). It has been determined that the former Royal Connaught Hotel property at 110-122 King Street East, Hamilton meets the criteria for designation, therefore, staff recommend the subject property for designation under Part IV of the *Ontario Heritage Act*.

The detailed documentation is attached to Report PED20159 as follows: the recommended *Statement of Cultural Heritage Value or Interest and Description of Heritage Attributes* as Appendix "B"; the draft *Notice of Intention to Designate* as Appendix "C"; and the full *Cultural Heritage Assessment Report on the Royal Connaught Hotel* (March 2013) as Appendix "D".

**Alternatives for Consideration – See Page 11**

**FINANCIAL – STAFFING – LEGAL IMPLICATIONS**

Financial: Not applicable

Staffing: Not applicable

Legal: The designation process will follow the requirements of the *Ontario Heritage Act*, and provide for adequate notice of Council's intention to designate the property. Formal objections may be made under the *Ontario Heritage Act*, and heard before the Conservation Review Board, prior to further consideration by Council of the designation By-law.

Designation under Part IV of the *Ontario Heritage Act* allows municipalities to recognize a property's cultural heritage value or interest, and to conserve and manage the property through the Heritage Permit process enabled under Sections 33 (alterations) and 34 (demolition or removal) of the Act.

Where alterations to designated properties are contemplated, a property owner is required to apply for, obtain, and comply with a Heritage Permit, for any alteration that "is likely to affect the property's heritage attributes, as set out in the description of the property's heritage attributes" (Sub-section 33(1)). Designation does not restrict the use of a property, prohibit alterations or additions, or restrict the sale of a property. The City of Hamilton also provides heritage grants and loan programs to assist in the continuing conservation of properties, once they are designated.

## **PROJECT BACKGROUND**

The designation process for 110-122 King Street East, Hamilton was initiated on April 9, 2008, when City Council endorsed a motion from the Economic Development and Planning Committee recommending that the former Royal Connaught Hotel be "considered as a priority for future designation under Part IV of the *Ontario Heritage Act*". Prior to being presented at the Economic Development and Planning Committee, the contents of the motion had been formally supported by the Hamilton LACAC (Hamilton Municipal Heritage Committee) at its meeting of January 24, 2008. On October 29, 2008, City Council added the property to the City's *Register of Property of Cultural Heritage Value or Interest* as recommended in Report PED08211.

The designation of the subject property was subsequently put on hold on the request of the property owner in 2013 to facilitate the building's repurposing into a mixed use condominium. This involved the construction of a new 14 storey addition on the southwest area of the property fronting onto John Street South and the rehabilitation of the existing former hotel building to accommodate new lower floor commercial uses and residential units above. A Site Plan Control application (DA-13-012) to facilitate this development was given final Site Plan approval on December 5, 2014. Subsequently, three separate Draft Plan of Condominium applications have received approval: one condominium for the six lower floor commercial units and two separate condominiums corresponding to two different phases of the residential portion of the building. Construction on the new 14 storey addition and repurposing is now complete.

The historical research, evaluation of the significance of the property, and detailed description of the heritage attributes were prepared in a Cultural Heritage Assessment

**SUBJECT: Recommendation to Designate 110-122 King Street East, Hamilton (former Royal Connaught Hotel) under Part IV of the *Ontario Heritage Act* (PED20159) (Ward 2) - Page 4 of 11**

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completed by Peter Stewart of George Robb Architect, and Paul Dilse, Heritage Planning Consultant (final report dated March 2013). The Cultural Heritage Assessment evaluated the subject property using both the Council adopted heritage evaluation criteria and the Criteria for Determining Cultural Heritage Value or Interest, as defined in Ontario Regulation 9/06 of the *Ontario Heritage Act*. This comprehensive research and assessment work inform staff's recommendation and provides Planning Committee and City Council with adequate information upon which to base a decision regarding designation under Part IV of the *Ontario Heritage Act*.

Through the consultants' evaluation, it has been determined that the subject property has design and physical value, historical and associative value, and contextual value exemplified in its built heritage attributes. Although there have been some modifications to the exterior the building and a recent 14 storey addition, the buildings remain substantially as they were originally designed and built in 1914-16 and 1931. As a result, it has been determined that the former Royal Connaught Hotel property at 110-122 King Street East, Hamilton, meets the criteria for designation, therefore, staff recommend the subject property for designation under Part IV of the *Ontario Heritage Act* (see *Statement of Cultural Heritage Value or Interest and Description of Heritage Attributes*, attached as Appendix "B" to Report PED20159, and the draft *Notice of Intention to Designate*, attached as Appendix "C" to Report PED20159).

## **HISTORICAL BACKGROUND**

The Royal Connaught Hotel was first constructed in 1914-16 on the east section of the property, with a substantial addition constructed on the west side of the original building in 1931 (see Appendix "E" to Report PED20159 for a photograph showing each building section). The hotel was constructed to be a first class hotel for Hamilton and was for many decades the location of high profile events and activities. The hotel's decline began in the 1970s, and it was eventually closed in 2004. The buildings remained vacant until the recent repurposing of the building into a residential condominium with lower floor commercial units.

The 1914-16 portion of the building is twelve storeys high and designed in the Edwardian Classicism style by Buffalo architects Esenwein & Johnson, featuring brown rug brick, limestone cladding on the lower levels, and terra cotta cornice and embellishments on the upper levels. The 1931 addition that was built on the west side of the original building approximately doubled the hotel's footprint. It was designed in the Art Deco style by Hamilton architects Hutton & Souter. The addition also employed the use of high-quality materials and detailing that was customary on the original building.



## **POLICY IMPLICATIONS AND LEGISLATED REQUIREMENTS**

### **Provincial Policy Statement:**

Section 2.6 of the Provincial Policy Statement pertains to Cultural Heritage and Archaeology and provides that:

“2.6.1 Significant built heritage resources and significant cultural heritage landscapes shall be conserved.”

The recommendations to designate the subject lands under Part IV of the *Ontario Heritage Act* of Report PED20159 are consistent with this policy.

### **Urban Hamilton Official Plan:**

Volume 1, Section B.3.4 - Cultural Heritage Resources Policies of the Urban Hamilton Official Plan (UHOP) include the following:

“B.3.4.2.1(a) The City of Hamilton shall, in partnership with others where appropriate, protect and conserve the tangible cultural heritage resources of the City, including archaeological resources, built heritage resources, and cultural heritage landscapes for present and future generations.

B.3.4.2.1(b) The City of Hamilton shall, in partnership with others where appropriate, identify cultural heritage resources through a continuing process of inventory, survey, and evaluation, as a basis for the wise management of these resources.

B.3.4.2.3 The City may by By-law designate individual and groups of properties of cultural heritage value under Parts IV and V respectively of the *Ontario Heritage Act*, including buildings, properties, cultural heritage landscapes, heritage conservation districts, and heritage roads or road allowances.”

### **Downtown Hamilton Secondary Plan:**

Volume 2, Section 6.1.11 – Cultural Heritage Resource Policies of the Downtown Hamilton Secondary Plan include the following:

“B.6.1.11(d) Conservation of existing cultural heritage resources shall be a priority in all development. New development shall be compatible with on-site and

**SUBJECT: Recommendation to Designate 110-122 King Street East, Hamilton (former Royal Connaught Hotel) under Part IV of the *Ontario Heritage Act* (PED20159) (Ward 2) - Page 6 of 11**

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adjacent cultural heritage resources. Adaptive re-use will be given priority for all built heritage resources.”

The recommendations to designate the subject lands under Part IV of the *Ontario Heritage Act* of Report PED20159 comply with these policies.

## **RELEVANT CONSULTATION**

Pursuant to Sub-section 29 (2) of the *Ontario Heritage Act*, Council is required to consult with its Municipal Heritage Committee respecting designation of property under Sub-section (1) of the *Ontario Heritage Act*.

The Hamilton LACAC (Hamilton Municipal Heritage Committee) indicated support for the designation of the former Royal Connaught Hotel at its meeting of January 24, 2008, as well as the later addition of the property to the City’s *Register of Property of Cultural Heritage Value or Interest* through the approval of the City’s designation process contained in Report PED08211.

Given the significant timeframe that has passed between LACAC’s 2008 initial recommendation and the current staff recommendation to designate the subject property, the Hamilton Municipal Heritage Committee (HMHC) is to be consulted again at its meeting on September 17, 2020 on the recommendation to designate the subject property.

Staff also informed the Ward Councillor of the request to designate and the recommendations of Report PED20159. The Ward Councillor noted the importance of providing notice of the proposed designation to each condominium owner.

Furthermore, the developer of the subject property notified staff that a clause informing purchasers of the condominium units of the property’s anticipated designation was included in the purchase and sale agreement for the units in the building. Additionally, staff have mailed out notices to each condominium owner advising them of the anticipated designation of the subject property to provide each owner with a general background on heritage designation and an opportunity to contact Cultural Heritage Planning staff with questions on the process prior to the anticipated issuance of the Notice of Intent to Designate (NOID).

## **ANALYSIS AND RATIONALE FOR RECOMMENDATION**

The intent of municipal designation, under Part IV of the *Ontario Heritage Act*, is to enable a process for the management and conservation of cultural resources. Once a property is designated, the municipality is enabled to manage change and alterations to

**SUBJECT: Recommendation to Designate 110-122 King Street East, Hamilton (former Royal Connaught Hotel) under Part IV of the *Ontario Heritage Act* (PED20159) (Ward 2) - Page 7 of 11**

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the property through the Heritage Permit process and to ensure that the significant features of the property are maintained through the provision of financial assistance programs and the enforcement of Property Standards By-laws.

**Repurposing to a Mixed Use Condominium Building:**

The repurposing of the former Royal Connaught Hotel to its current mixed condominium use involved some physical modifications to the exterior of the building that resulted in the removal of a number of features that had initially been included in the list of heritage attributes set out in the Statement of Cultural Heritage Value or Interest proposed in the March 2013 Cultural Heritage Assessment Report.

The alterations on the ground floor consisted of the removal of the former bronze storefronts to facilitate the installation of modern storefront surrounds with new glazing. In terms of alterations on the upper floors, the bronze spandrel panels in between the upper storey windows on each elevation have been removed as well as the terra cotta sills on the north and east façades of the 1914-16 building. These items appear to have been removed in order to create HVAC venting to the outside of the building. Additionally, two wrought iron balconies on the north façade of the 1931 building have been removed. These items have been removed from the Description of Heritage Attributes in the proposed the Statement of Cultural Heritage Value or Interest attached as Appendix “B” to Report PED20159 in order to accurately represent the existing heritage attributes of the subject property. The majority of interior and exterior heritage attributes identified in the 2013 Cultural Heritage Assessment Report remain intact and have been restored during the building’s repurposing. As a result, the property’s overall heritage value has been preserved.

As mentioned, the subject property is now a registered condominium with three different condominiums being associated with the subject property (one for the commercial component and two representing different phases of the residential component). The list of heritage attributes recommended to be included in the Statement of Heritage Value or Interest attached as Appendix “B” to Report PED20159 pertain only to common element features of the building and not to the units of individual condominium owners. These heritage attributes include the lobby and mezzanine common area space on the building’s interior and features on the exterior facades of the 1914-16 and 1931 buildings.

**Cultural Heritage Evaluation:**

Designation is guided by the process of cultural heritage evaluation and assessment. The evaluation process, as documented in the Cultural Heritage Assessment completed by Peter Stewart of George Robb Architect, and Paul Dilse, Heritage Planning

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Consultant (final report dated March 2013), attached as Appendix “D” to Report PED20159, attempts to clearly identify those heritage values associated with a property.

Council-Adopted Evaluation Criteria:

A set of criteria were endorsed by the City of Hamilton’s Municipal Heritage Committee on June 19, 2003 and were adopted by Council as The City of Hamilton: Cultural Heritage Evaluation Criteria on October 29, 2008 (Appendix “B” to Report PED08211). The criteria are used to identify the cultural heritage value of a property, and to assess their significance. This evaluation assists in determining a property’s merit for designation under the *Ontario Heritage Act*, as well as deriving a Statement of Cultural Heritage Value or Interest and Description of Heritage Attributes.

As identified in the Cultural Heritage Assessment attached as Appendix “D” to Report PED20159, the property was determined to have met all twelve of the City’s twelve criteria pertaining to built heritage value.

Ontario Regulation 9/06: Criteria for Determining Cultural Heritage Value or Interest:

Section 29 (1) of the *Ontario Heritage Act* permits the Council of a municipality to designate property to be of cultural heritage value or interest where property meets the criteria prescribed by provincial regulation. In 2006, the Province issued Ontario Regulation 9/06: Criteria for Determining Cultural Heritage Value or Interest. According to Sub-section 1 (2) of Ontario Regulation 9/06, a property may be designated under Section 29 of the *Ontario Heritage Act* where it meets one or more of the identified criteria. Ontario Regulation 9/06 identifies criteria in three broad categories: Design/Physical Value, Historical/Associative Value and Contextual Value.

As outlined in the attached Cultural Heritage Assessment (see Appendix “D” to Report PED20159), the subject property satisfies all of the nine criteria contained in Ontario Regulation 9/06 in all three categories.

**1. Design / Physical Value:**

- i. The Royal Connaught Hotel of 1914-16 is an early and surviving example of a second generation skyscraper. Designed in the Edwardian Classical style, it stands as an important building from the Edwardian era. It is also an early example of steel frame construction in Hamilton. The 1931 addition has been seamlessly integrated into the Edwardian building and is a unique example of the Art Deco style in that the design of its front façade is tempered to complement the tripartite Classical composition of the earlier Edwardian building.

- ii. The Royal Connaught Hotel of 1914-16 displays a high degree of artistic merit in the masterful use of white glazed terra cotta, a material particularly associated with the Edwardian period. The carved stonework in the 1931 Art Deco addition is also well executed.
- iii. In terms of the local hotel industry, the Royal Connaught Hotel of 1914-16, represents a significant advance in fireproof hotel construction. The seamless integration of the Art Deco addition into the Edwardian building by cutting through the Edwardian building's west curtain wall and extending its floor plan westward also shows a high degree of technical achievement for the early twentieth century in Hamilton.

**2. Historical / Associative Value:**

- i. The Royal Connaught Hotel is directly associated with important social events. A hotel in the tradition of grand hotels, it was the centre of social life in Hamilton during much of the twentieth century. It was the scene of royal visits, political functions, football rallies, convention banquets, ballroom dances, nightclub entertainment, community club meetings, family celebrations and fine dining. In addition, the first Kiwanis Club in Canada was formed at the hotel on November 1, 1916.
- ii. The construction of the Royal Connaught Hotel at the end of the Edwardian period in the form of a skyscraper symbolizes the ambition of the citizens of Hamilton for the city to reflect a metropolitan appearance and to offer first class hotel accommodation and exceptional service on par with other large cities.
- iii. The Royal Connaught Hotel of 1914-16, is a Canadian example of the work of Buffalo architects, Esenwein & Johnson. In addition to being the second most active architectural practice in Buffalo at the turn of the twentieth century, they were architects for the United Hotels Company of America, the largest hotel chain in the United States in the early twentieth century. The 1931 addition by Hutton & Souter, a prominent architectural firm in Hamilton in the early twentieth century, is among the firm's best known buildings.

**3. Contextual Value:**

- i. The Royal Connaught Hotel supports the character of King Street East, a boulevard of historic and infill buildings built to the lot line and next to one

**SUBJECT: Recommendation to Designate 110-122 King Street East, Hamilton (former Royal Connaught Hotel) under Part IV of the *Ontario Heritage Act* (PED20159) (Ward 2) - Page 10 of 11**

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another. Because of its height and long frontage, the hotel dominates the King Street East block between Catharine Street South and John Street South. It draws the eye eastward along the boulevard, and creates a physical character that reflects the metropolitan appearance sought by large North American cities in the early twentieth century.

- ii. The 1931 hotel addition is linked historically and visually to the Dominion Public Building on the west side of John Street South. Designed by the same architects, they were completed within five years of one another.
- iii. The Royal Connaught Hotel is a landmark in downtown Hamilton and has a commanding presence on King Street East. The view of the hotel from James Street North across Gore Park is important in the streetscape. The view of the rooftop pavilion is an especially memorable image

**Conclusion:**

The consultants have determined that the former Royal Connaught Hotel at 110-122 King Street East, Hamilton is of cultural heritage value or interest, sufficient to warrant designation under Part IV of the *Ontario Heritage Act*. Staff concur with the findings of the Cultural Heritage Assessment (attached as Appendix “D” to Report PED20159) that the subject property has significant cultural heritage significance given that it meets all criteria assessing its design, associative and contextual contribution to the City of Hamilton. Therefore, staff recommend designation of 110-122 King Street East, Hamilton under Part IV of the *Ontario Heritage Act* according to the Statement of Cultural Heritage Value or Interest and the Description of Heritage Attributes, attached as Appendix “B” to Report PED20159 and the draft Notice of Intention to Designate attached as Appendix “C” to Report PED20159.

**ALTERNATIVES FOR CONSIDERATION**

Under Part IV of the *Ontario Heritage Act*, the designation of property is a discretionary activity on the part of Council. Council, as advised by its Municipal Heritage Committee, may consider two alternatives: agree to designate property or decline to designate property.

**Decline to Designate:**

By declining to designate, the municipality would be unable to provide long-term, legal protection to this significant heritage resource (designation provides protection against

**SUBJECT: Recommendation to Designate 110-122 King Street East, Hamilton (former Royal Connaught Hotel) under Part IV of the *Ontario Heritage Act* (PED20159) (Ward 2) - Page 11 of 11**

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inappropriate alterations and demolition) and would not fulfil the expectations established by existing municipal and provincial policies.

Without designation, the property would not be eligible for the City's heritage grant and loan programs. Designation does not restrict the use of property, prohibit alterations and additions, nor does it restrict the sale of a property, or affect its resale value.

## **ALIGNMENT TO THE 2016 – 2025 STRATEGIC PLAN**

### **Clean and Green**

*Hamilton* is environmentally sustainable with a healthy balance of natural and urban spaces.

### **Built Environment and Infrastructure**

*Hamilton* is supported by state of the art infrastructure, transportation options, buildings and public spaces that create a dynamic City.

### **Culture and Diversity**

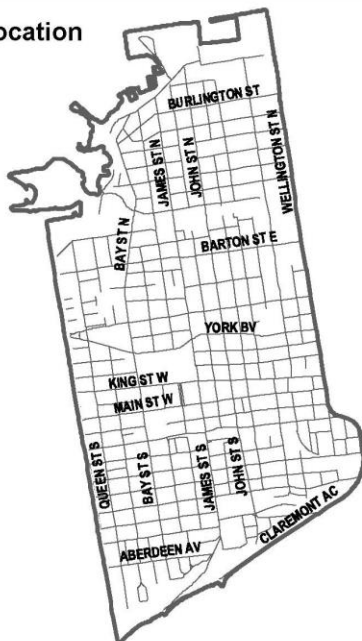
*Hamilton* is a thriving, vibrant place for arts, culture, and heritage where diversity and inclusivity are embraced and celebrated.

## **APPENDICES AND SCHEDULES ATTACHED**

- Appendix "A": Location Map
- Appendix "B": Statement of Cultural Heritage Value or Interest and Description of Heritage Attributes
- Appendix "C": Notice of Intention to Designate
- Appendix "D": Cultural Heritage Assessment Report on the Royal Connaught Hotel 112 King Street East, Hamilton, Ontario, By Paul Dilse, Heritage Planning Consultant, and Peter Stewart, Principal, George Robb Architect (March 2013).
- Appendix "E": Photograph of Building Sections
- Appendix "F": Council Adopted Heritage Designation Process



● Site Location



Key Map - Ward 2



## Location Map



Hamilton

PLANNING AND ECONOMIC DEVELOPMENT DEPARTMENT

File Name/Number:  
PED20159

Date:  
September 14, 2020

Appendix "A"

Scale:  
N.T.S

Planner/Technician:  
DA/AL

### Subject Property



110 - 122 King Street East



110-122 King Street East, Hamilton (former Royal Connaught Hotel)

## **STATEMENT OF CULTURAL HERITAGE VALUE AND DESCRIPTION OF HERITAGE ATTRIBUTES**

### **Statement of Cultural Heritage Value:**

The property known as the Royal Connaught Hotel has outstanding cultural heritage value to the citizens of Hamilton. Built in 1914-16, and expanded in 1931, the hotel is important for its place in the history of Hamilton, in the City's architectural development, and in the downtown streetscape today.

### **Its Place in the History of Hamilton:**

The Royal Connaught Hotel property has long been associated with the history of the hospitality industry in Hamilton. It is the site of the Hamilton Hotel/Anglo American Hotel/Waldorf Hotel (1856-1914) and is presently occupied by the former Royal Connaught Hotel building, a first class hotel, which opened in 1916 and closed in 2004. In terms of the local hotel industry, the Royal Connaught Hotel of 1914-16 represents a significant advance in fireproof hotel construction.

The impetus behind the building of the hotel came principally from Harry Louis Frost, an important manufacturer in Hamilton in the early twentieth century who had established the Canadian component of the Frost Wire Fence Company. Through his efforts as President of the Hamilton Board of Trade, the Hamilton Hotel Company Limited was organized to raise 50 per cent of the total cost of the hotel site and completed building by the sale of capital stock among the citizens of Hamilton. Because of his premature death in 1919, at the age of 44, the hotel became a monument to him and his life's work.

The Royal Connaught Hotel, a hotel in the tradition of grand hotels, was the centre of social life in Hamilton during much of the twentieth century. It was the scene of royal visits, political functions, football rallies, convention banquets, ballroom dances, nightclub entertainment, community club meetings, family celebrations, and fine dining. In addition, the first Kiwanis Club in Canada was formed at the hotel on November 1, 1916.

Its Place in the Architectural Development of Hamilton:

The Royal Connaught Hotel of 1914-16 is an early and surviving example of a second generation skyscraper, the earliest examples in Hamilton having been demolished. Designed in the Edwardian Classical style, it stands as an important building from the Edwardian era. The building of the Royal Connaught Hotel, at the end of the Edwardian period in the form of a skyscraper, symbolizes the ambition of the citizens of Hamilton for the City to reflect a metropolitan appearance and to offer first-class hotel accommodation and exceptional service on par with other large cities.

The Royal Connaught Hotel of 1914-16 is also an early example of steel frame construction in Hamilton. The steel for the frame was manufactured in Hamilton by the Hamilton Bridge Works Company.

The Royal Connaught Hotel of 1914-16 is a Canadian example of the work of Buffalo architects, Esenwein & Johnson. In addition to being the second most active architectural practice in Buffalo at the turn of the twentieth century, they were architects for the United Hotels Company of America, the largest hotel chain in the United States in the early twentieth century. Esenwein & Johnson were known for their masterful use of white-glazed terra cotta, a material particularly associated with the Edwardian period and the artistic qualities of the material are evident in the hotel’s front facade and east elevation.

The west tower addition of 1931, by Hutton & Souter, a prominent architectural firm in Hamilton in the early twentieth century, is considered to be among the firm’s best known buildings; the others are the Basilica of Christ the King at King Street West and Highway 403, and the Dominion Public Building (now the John Sopinka Courthouse) across John Street South from the Royal Connaught Hotel.

The west tower addition is a unique example of the Art Deco style in that the design of its front façade is tempered to complement the tripartite Classical composition of the earlier Edwardian building. The seamless integration of the Art Deco addition into the Edwardian building, by cutting through the Edwardian building’s west curtain wall and extending its floor plan westward, shows a high degree of technical achievement for the early twentieth century in Hamilton.

The carved stonework in both the 1931 addition and 1916 building is also well-executed.

Its Place in Downtown Hamilton:

The hotel’s west tower addition is linked historically and visually to the Dominion Public Building on the west side of John Street South. Designed by the same architects, the buildings were completed within five years of one another. They share the same monochromatic palette, a tripartite division in the composition of each of their front facades and columns of windows.

The Royal Connaught Hotel contributes to King Street East, a boulevard of historic and infill buildings built to the lot line and next to one another. Because of its twelve storey height and long frontage, the hotel dominates the King Street East block between Catharine Street South and John Street South. It draws the eye eastward along the boulevard, and creates a physical character that reflects the metropolitan appearance sought by large North American cities in the early twentieth century.

The Royal Connaught Hotel is a landmark in downtown Hamilton. Although other more recent buildings are taller, it still has a commanding presence on King Street East. The view of the hotel from James Street North across Gore Park is important in the townscape. The view of the rooftop pavilion is an especially memorable image.

**Description of Heritage Attributes:**

The former hotel building’s cultural heritage value is embodied in the:

- Front façade (north elevation);
- East elevation;
- West elevation;
- Slender portion of the south elevation where the brick and terra cotta of the east elevation wrap around to the south elevation; and,
- The lobby and mezzanine in the interior.

**Front Facade (North Elevation):**

Heritage attributes of the front facade in the 1914-16 building include:

- All features in limestone on the ground and mezzanine floors and their fenestration;
- The brown rug brick and white-glazed terra cotta curtain wall and the fenestration of the floor above the mezzanine floor (the hotel’s second floor or third storey, which together with the ground and mezzanine floors forms the front facade’s base);
- The seven floors of brown rug brick wall and windows which comprise the front facade’s shaft; and,
- The front facade’s upper two storeys and overhanging cornice - the capital of the composition - completely executed in white-glazed terra cotta and lit by windows that follow the fenestration pattern in the shaft.

Heritage attributes of the front facade in the 1931 addition include:

- The brown polished granite foundation veneer;
- The limestone ground floor articulated by its six bays;

- The limestone mezzanine and second floors containing six bays of slender round-arched window pairs;
- The seven floors above the base of the composition (the shaft) which have columns of windows ascending the lightly coloured brick curtain wall;
- The front façade’s upper floors, the capital of the composition, containing four pairs of round-arched windows, two outer bays which extend the columns of windows up from the shaft, and a partially flat and partially pedimented parapet decorated with arcaded brick; and,
- The rooftop pavilion designed to resemble a hip-roofed garden pavilion where round-arched French windows open onto a terrace.

East Elevation:

Heritage attributes of the hotel’s east elevation include:

- The northernmost three bays of the base (the ground, mezzanine, and second floors) clad in limestone, brown rug brick and white-glazed terra cotta and containing the east entrance, oriel window above and other windows;
- The fourth bay of the base in from the building’s northeast corner, with its terra cotta window trim and stringcourses;
- The remaining bays of the brown rug brick base, with their terra cotta stringcourses and double-hung windows;
- The seven brown rug brick floors of the shaft and its windows; and,
- The upper two storeys and overhanging cornice - the capital of the composition, completely executed in white-glazed terra cotta, and lit by windows that follow the fenestration pattern in the shaft.

West Elevation:

Heritage attributes of the west elevation include:

- The brown polished granite foundation veneer;
- The limestone ground floor;
- The limestone mezzanine and second floors containing eight bays of slender round-arched window pairs;

- The nine floors in the tower shaft where columns of windows ascend the lightly coloured brick curtain wall;
- The arcaded brick cornice and stone coping terminating the shaft; and,
- The rooftop pavilion, which is two bays wide on the west.

South Elevation (Rear Elevation):

Heritage attributes of the south (rear) elevation include:

- The slender portion of the south elevation, where the brick and terra cotta of the east elevation wrap around to the south elevation.

Interior:

Heritage attributes of the interior include:

- The lobby and mezzanine space, their Classical columns, beamed and panelled ceiling, and other surviving features of the original design.

CITY OF HAMILTON

## Notice of Intention to Designate

### 110-122 King Street East, Hamilton (former Royal Connaught Hotel)

The City of Hamilton intends to designate 110-122 King Street East, Hamilton, under Section 29 of the *Ontario Heritage Act*, as being a property of cultural heritage value.

#### Statement of Cultural Heritage Value or Interest

The property known as the Royal Connaught Hotel has outstanding cultural heritage value to the citizens of Hamilton. Built in 1914-16 and expanded in 1931, the hotel is important for its place in the history of Hamilton, in the City's architectural development, and in the downtown streetscape today. The Royal Connaught Hotel, a hotel in the tradition of grand hotels, was the centre of social life in Hamilton during much of the twentieth century. It was the scene of royal visits, political functions, football rallies, convention banquets, ballroom dances, nightclub entertainment, community club meetings, family celebrations, and fine dining.

The full Statement of Cultural Heritage Value or Interest, Description of Heritage Attributes and supporting Cultural Heritage Assessment may be found online via [www.hamilton.ca](http://www.hamilton.ca) or viewed at the Office of the City Clerk, 71 Main Street West, 1st Floor, Hamilton, Ontario, during regular business hours.

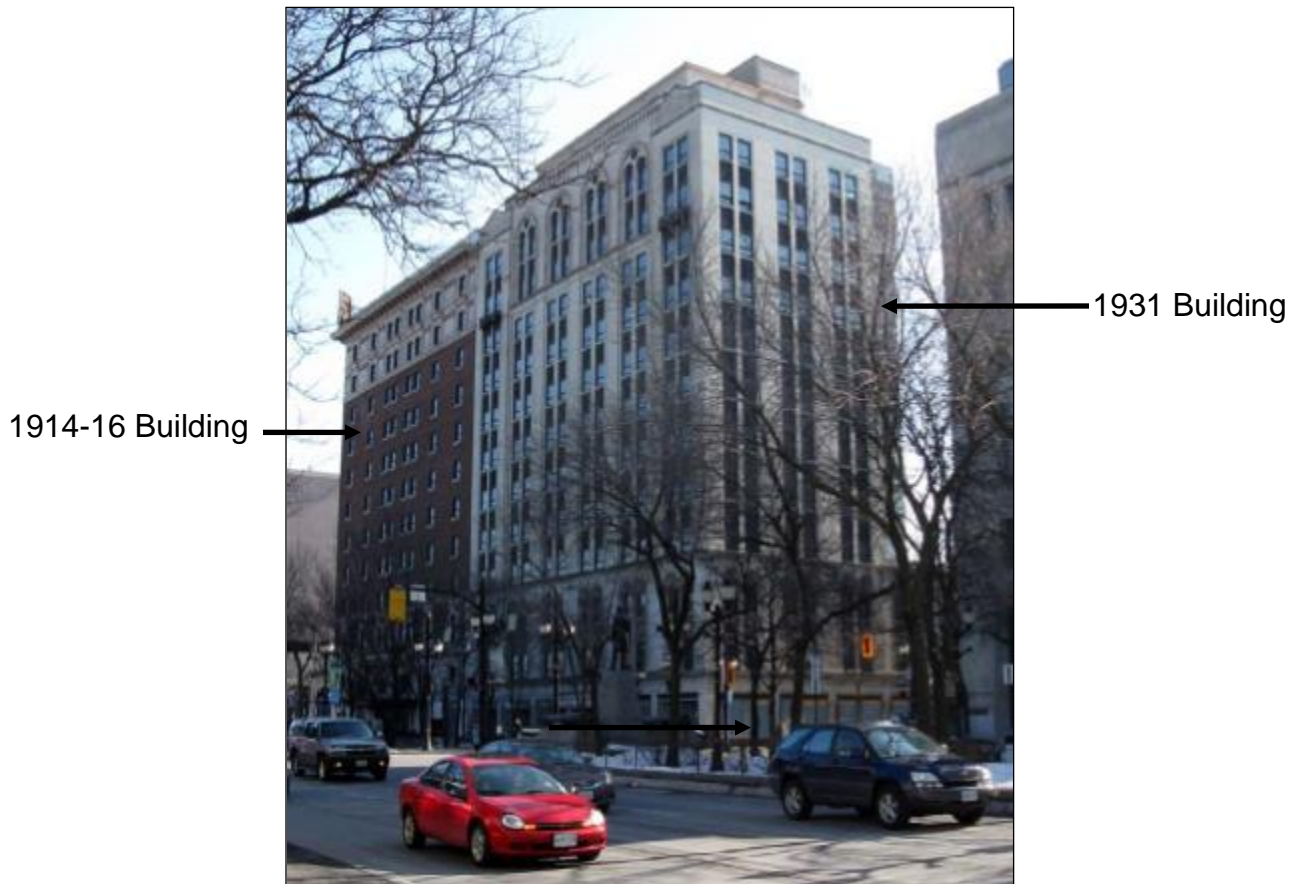
Any person may, within 30 days after the date of the publication of the Notice, serve written notice of their objections to the proposed designation, together with a statement for the objection and relevant facts.

Dated at Hamilton, this [REDACTED] day of [REDACTED], 2020.

Andrea Holland  
City Clerk  
Hamilton, Ontario

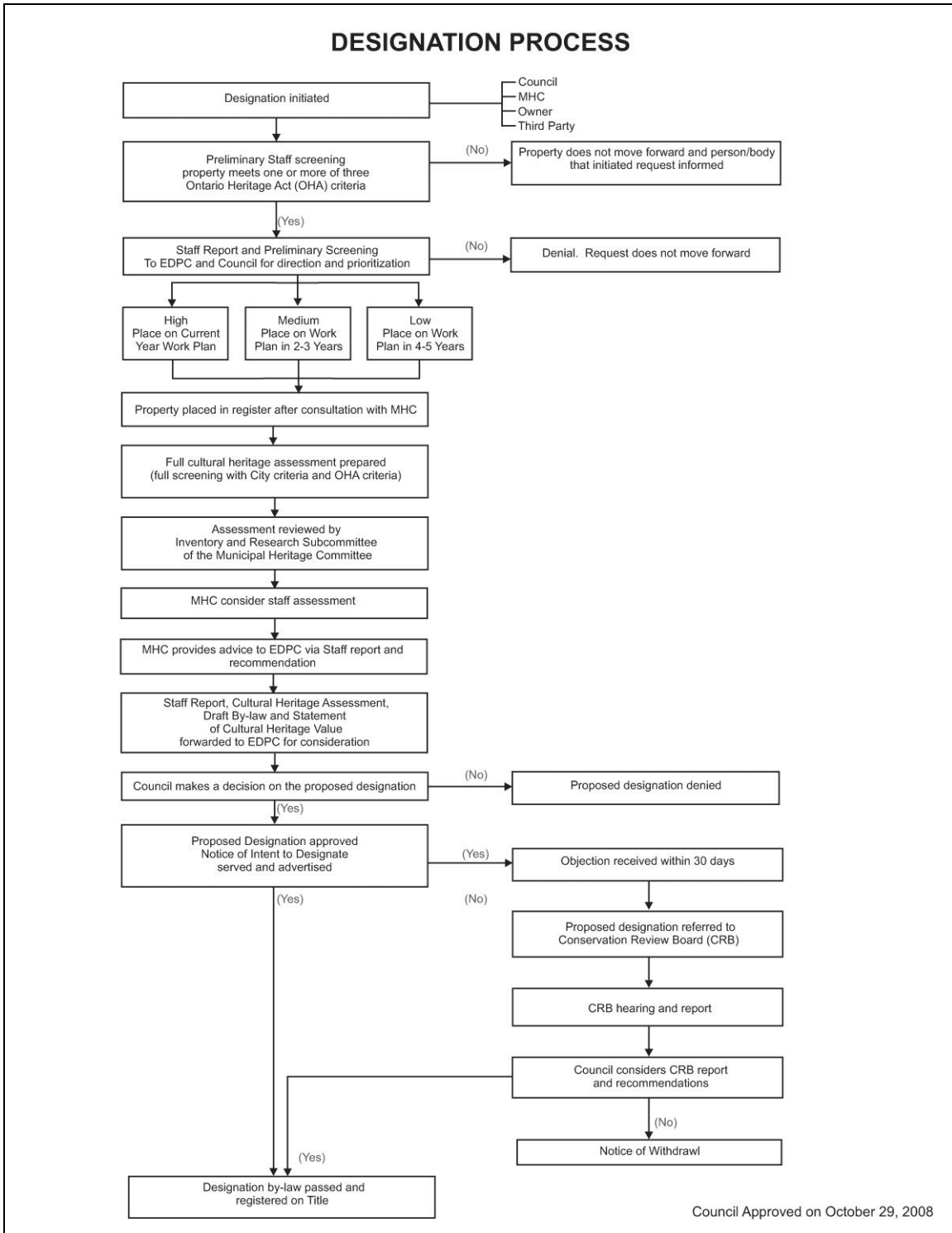
**CONTACT:** David Addington, Cultural Heritage Planner, Phone: (905) 546-2424 ext. 1214, E-mail: [david.addington@hamilton.ca](mailto:david.addington@hamilton.ca)

**Website:** [www.hamilton.ca/heritageplanning](http://www.hamilton.ca/heritageplanning)



**View of the former Royal Connaught Hotel from the northwest**

(Image Source: Dilse and Stewart, Cultural Heritage Assessment Report on the Royal Connaught Hotel, March 2013)



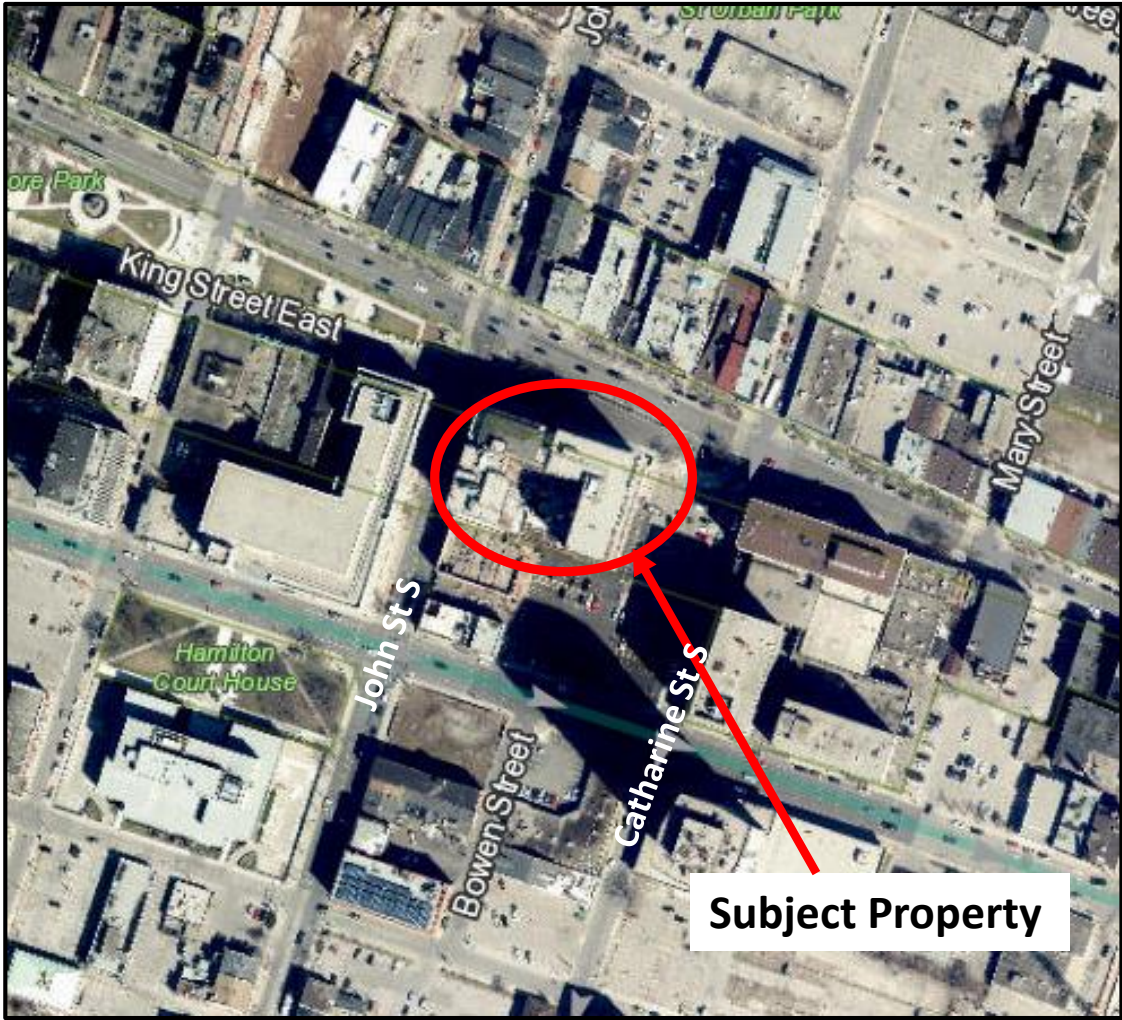




# Recommendation to Designate 110-122 King Street East, Hamilton (former Royal Connaught Hotel) Under Part IV of the Ontario Heritage Act PED20159 (Ward 2)

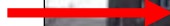
Hamilton Municipal Heritage Committee  
September 17, 2020

# Aerial Image



# North and West Elevations

1914-16 Building



1931 Building



(Image Source: Dilse and Stewart, Cultural Heritage Assessment Report on the Royal Connaught Hotel, March 2013)



# North Elevation



Image Source: David Addington, 2020

# Historical Background

- Former site of Hamilton Hotel/Anglo American Hotel/Waldorf Hotel (1856-1914)
- The President of the Hamilton Board of Trade, Harry Louis Frost, organized the Hamilton Hotel Company Ltd to raise financing for the hotel through the sale of capital stock among the citizens of Hamilton.
- 1914-16 building: early and rare surviving example of a 2<sup>nd</sup> generation skyscraper, designed by Esenwein & Johnson in the Edwardian Classical style & used steel framing
- 1931 building: designed by Hutton & Souter in the Art Deco style to compliment the tripartite Classical style of the earlier building



Image Source: David Addington, 2020



# Project Background

- In 2008, Council endorsed a motion from the Economic Development and Planning Committee recommending that the former Royal Connaught Hotel be considered a high priority for future designation. The property was added to the staff work plan for designation at that time and to the Register in October 2008;
- Staff retained Peter Stewart of George Robb Architect, and Paul Dilse, Heritage Planning Consultant to complete a Cultural Heritage Assessment (2013);
- In 2013, the property was included in a Site Plan application as part of the redevelopment of the block. The former Hotel was repurposed to a residential condominium with lower floor commercial uses including the addition of a 14 storey addition on the John Street South frontage of the site. The application was approved December 2014;
- At the request of the property owner, the designation of the subject property was put on hold in 2013 until construction on the project was completed;

# Project Background

- Three Draft Plan of Condominium applications have received approval: one condominium for the six lower floor commercial units and two separate condominiums corresponding to two different phases of the residential portion of the building;
- Through the consultants' evaluation, it has been determined that the subject property has design/physical value, historical/associative value, and contextual value as exemplified in its built heritage attributes and is now being recommended for designation under Part IV of the Ontario Heritage Act.



North façade of the 1931 building (left); interior lobby (right)





Upper left & right image source: David Addington, 2020; lower left: Google Street view, 2019





Left: 1914-16 building steel frame under construction; Right: 1931 building under construction.  
Image source: PreView Image Database, Hamilton Public Library, [www.preview.hpl.ca](http://www.preview.hpl.ca).



Image source: PreView Image Database, Hamilton Public Library, [www.preview.hpl.ca](http://www.preview.hpl.ca).

Thank you.

CULTURAL HERITAGE ASSESSMENT REPORT ON  
THE ROYAL CONNAUGHT HOTEL  
112 KING STREET EAST, HAMILTON, ONTARIO

by Paul Dilse, Heritage Planning Consultant  
and Peter Stewart, Principal, George Robb Architect

for the City of Hamilton

March 2013



Fig. 1 View of the Royal Connaught Hotel from the northwest

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# CULTURAL HERITAGE ASSESSMENT REPORT ON THE ROYAL CONNAUGHT HOTEL

## 1.0 Introduction

As early as 1983, the City of Hamilton had identified the Royal Connaught Hotel as a property of historic interest. The property was included in the Inventory of Buildings of Architectural and/or Historical Interest. It was also noted as a heritage resource in the Gore Park Heritage Design Study, which was approved by Council in 1996. The designation process for 112 King Street East (Hamilton) was initiated on April 9, 2008 when City Council endorsed a recommendation from the Economic Development and Planning Committee to have the former Royal Connaught Hotel considered as a priority for future designation under Part IV of the *Ontario Heritage Act*. Later the same year, the property was included in the Municipal Register of Properties of Cultural Heritage Value or Interest.

On the request of the City of Hamilton Planning and Economic Development Department, George Robb Architect was engaged to undertake a cultural heritage evaluation of the property in mid-December, 2012. On January 16, 2013, Peter Stewart of George Robb Architect and Paul Dilse, Heritage Planning Consultant, visited the site to record the hotel's exterior appearance. Through the month of January and into February, Paul Dilse and Peter Stewart conducted historical research at the Archives of Ontario, Hamilton Central Library, Hamilton City Hall, North York Central Library, Toronto Reference Library, Wentworth Land Registry Office, and on line. Meghan House, Cultural Heritage Planner in the Planning and Economic Development Department, assisted them in their research.

The report follows the customary format for cultural heritage assessments in the City of Hamilton. In the section entitled Property Location, the property's legal description and the hotel's physical dimensions are included. The section called Settlement Context documents the site's history and the hotel's place in the history of Hamilton and among Canadian grand hotels. The next section, entitled Property Description, provides a description of the property as it appears today. The description is illustrated with photographs taken by Peter Stewart on the January 16 site visit, by Meghan House during her visit of the hotel's interior in September 2011, and by student Justin Teakle who captured two additional street views on February 13, 2013. In the section with the subheading, Cultural Heritage Evaluation, criteria adopted by the City of Hamilton as well as criteria prescribed in Ontario Regulation 9/06 are applied to evaluate the property's cultural heritage value. The final section entitled Cultural Heritage Value explains the property's cultural heritage value and gives a description of the attributes that embody the property's cultural heritage value.

## 2.0 Property Location

The Royal Connaught Hotel (Fig. 1 on the report cover) is located on the south side of King Street East, east of Gore Park, in downtown Hamilton (Fig. 2 in Appendix A, which contains all the figures in the report except for the cover illustration). The existing former hotel building, measuring about 209 feet along King Street East and 136 feet on John Street South, is built with zero setbacks from the lot lines. A parking lot extends from the building eastward to Catharine

Street South. The property occupies most of the block bounded by King Street East, Catharine Street South, Main Street East and John Street South. It covers Lots 5, 6, 7, 8, 27 and 28 and part of Lot 26 in Plan 1431, otherwise known as the George Hamilton Survey. It is also legally described on Plan 62R-9940 (Fig. 3).

### **3.0 Physiographic Context**

Hamilton's downtown is found within the physiographic region known as the Iroquois Plain, the lowland that borders the western end of Lake Ontario. Settled at an early time and largely urbanized, the Iroquois Plain supports the most densely inhabited area in Ontario.

### **4.0 Settlement Context (Site History)**

#### *4.1 The Site's Use for Hotel Purposes since the Mid-Nineteenth Century*

The land title records the Hamilton Hotel Company purchasing Lot 6 and part of Lot 7 in the George Hamilton Survey, along the south side of King Street in 1853. It also names the hotel built on the site – the Hamilton Hotel at first and later the Anglo American Hotel. According to an article by Brian Henley in *The Hamilton Spectator*, only a church spire ascended higher in the townscape than the five-storey hotel when it was completed in 1856. As was repeated for the construction of the Royal Connaught Hotel on the same site, the hotel project was financed by a joint-stock company where shares were raised among the citizens of Hamilton.

Built as a first-class hotel with a ground floor of stores, the project proved a failure. In 1861, merchant Donald McInnes acquired the property after a default on the mortgage. He sold to the Wesleyan Female College of Hamilton, which turned the former hotel into a non-denominational school of higher learning for young women.

In 1898, the property was sold; and the building reverted to hotel use. The Waldorf Hotel is pictured in a view from the turn of the twentieth century (Fig. 4). By this time, other buildings had surpassed the old hotel in height. The post office's clock tower on the west side of John Street was taller, and the Bank of Hamilton skyscraper in the distance at King and James Streets made the greatest impact on the city's skyline.

#### *4.2 The Development of Grand Hotels*

In her worldwide survey of grand hotels, Elaine Denby explains the origins of the grand hotel. The "grand" or "palace" hotel – a large and luxurious hotel catering to the high-end hotel trade – had begun to emerge as a new building type in the United States and Great Britain in the 1830s when rail transport was evolving to deliver patrons to distant destinations in comfort. Prototypes of the grand hotel ideal were Astor House in New York (1834) and the Queen's Hotel in Cheltenham, England (1838).

The first purpose-built grand hotel in Canada was the Windsor Hotel in Montreal (1878). Its six storeys were designed by W.J. Bounton of Chicago in the Second Empire style. From its

Montreal headquarters, the Canadian Pacific Railway initiated the development of its own chain of grand hotels. Early hotels in the chain were designed by Bruce Price of New York in another French-inspired style – the Chateau style. Examples of landmark hotels that were built in this style and remain today are Banff Springs Hotel in the Rocky Mountains (1888), the Château Frontenac in Quebec City (1893) and Viger Train Station and Hotel in Montreal (1898).

As an alternative to the railway hotel, Barbara Chisholm in her survey of Canadian grand hotels identifies the King Edward Hotel in Toronto as an early example of a grand hotel developed by local business elites. Opened in 1903, the eight-storey hotel was designed in a neoclassical style (as were most grand hotels around the world) by Henry Ives Cobb of Chicago and Toronto architect, Edward James Lennox.

Fireproof steel-frame construction and automatic elevators – innovations that are apparent in the King Edward Hotel – fostered the development of multi-floored buildings. The earliest skyscrapers, such as the eight-plus-storey New York Life Building in Montreal (1888), had been constructed of load-bearing masonry walls with storeys of different thicknesses piled one on top of the other. The second generation of skyscraper, for example, the ten-storey Canadian Express Building in Montreal (1900) or the 15-storey Traders Bank of Canada in Toronto (1905), was designed to have a facade based on the tripartite division of a Classical column – base, shaft and capital.

At the turn of the twentieth century, the Bank of Hamilton, which had started out as a three-storey building, grew into an eight-storey tower, Hamilton's first skyscraper (Fig. 4 and 5). Its exterior walls were composed like a Classical column. A ninth floor was eventually added. The Federal Life Assurance Head Office, built about the same time as the Bank of Hamilton skyscraper, had a similar appearance. As with skyscrapers of the same period in Montreal and Toronto, the Bank of Hamilton and Federal Life Assurance Head Office symbolized a progressive, economically confident, metropolitan attitude.

#### 4.3 *A Grand Hotel for Hamilton*

When the idea of a grand hotel for Hamilton was conceived, the model was a second-generation skyscraper.

As with the King Edward Hotel in Toronto, the idea of a grand hotel for Hamilton came from the city's business elite who were represented in the Hamilton Board of Trade. In particular, it was the initiative of its president, Harry Louis Frost. Frost's obituary in *The Hamilton Spectator* on March 8, 1919 recounted his development of the Frost Wire Fence Company, his social service activities and his efforts in building the Royal Connaught Hotel:

“It was while he was president of the local board of trade that Mr. Frost launched the Connaught hotel idea, being on the committee in charge of the building of the hotel. With the infectious enthusiasm that inspired all who came within the circle of his influence, he got behind the project with might and main, and so effectually did he succeed in interesting the public in the desirability of having a handsome big hotel for Hamilton, that it quickly became an accomplished fact.”

Covering Frost's address at the first Board of Trade luncheon (held at the Waldorf Hotel), *The*



*Hamilton Times* on September 15, 1911 reported how Frost had included new hotels in his vision for Hamilton:

"I am not selfish, but I have a dream of a city larger and better for this great city of ours. I see in five or ten years the business interests of this city working in harmony; I see new hotels, more parks and boulevards; I even go so far as to see a boulevard leading from the Gore to the T., H. & B. station, which will be by that time, I hope, a union station. I see the sewers in our back alleys instead of in our streets, and I see all overhead wires run along in conduits beneath the ground.

"All we lack here is the get-together, and it will not be long before we get that. I see Hamilton the leading manufacturing centre of the Dominion, and I see the Board of Trade going right ahead. I am an American by birth, but a Canadian by choice, and I say that you have to take a back seat to none."

By the end of January 1913, Frost and the Board of Trade had organized the Hamilton Hotel Company Limited and had issued a prospectus. It stated in part:

"THE HAMILTON HOTEL COMPANY, LIMITED is organized under the laws of the Province of Ontario, with a capital stock of \$900,000.00, consisting of forty-five hundred shares of the par value of \$100.00 each of preferred stock and forty-five hundred shares of the par value of \$100.00 each of common stock. ...

"The Company has secured an option on a parcel of land in the City of Hamilton now occupied by the Waldorf Hotel as a site for an hotel to be called "THE CONNAUGHT." or some other name to be agreed upon between the Operating Company and this Company.

"On this site, or some equally desirable site in the City of Hamilton, to be approved of by the Directors, the Company intends to erect a first-class fire-proof hotel containing about two-hundred and twenty-five guest rooms, with a suitable lobby, a ball and banquet room, and dining and grill rooms.

"The hotel will be strictly fire proof construction, and in every detail will be first-class. Every guest room will have a separate or connecting bath.

"It is expected that the building will be completed and ready for occupancy in the Spring of 1914.

"An agreement providing for a lease of the property for thirty years from the date of completion of the hotel has been made with Frank A. Dudley, who has agreed that such lease will be taken over by an operating company to be organized by Frank A. Dudley and his associates, who are officers of the United Hotels Company. The name of the said operating company is to be "The Connaught Hotel Company." or some other name approved of by the Lieutenant-Governor of the Province of Ontario ... .

" ... It is proposed to raise \$450,000, or fifty per cent, of the total cost of the site and completed hotel by the sale of that amount of preferred capital stock, and to raise \$450,000, or the remaining fifty per cent, of the total cost by the issuance of a mortgage or mortgage bonds to that amount. ...

"The parties who are to form the operating company are connected with the United Hotels Company, of Niagara Falls, which latter company is interested in a chain of hotels extending from the Atlantic Coast to the Middle West.

“The needs of Hamilton for a first-class fire-proof hotel are felt not only by the travelling public, but by the manufacturing and commercial interests of Hamilton. In the splendid progress now being made by Hamilton, the most important thing lacking is a first-class, modern, fire-proof hotel. ...”

In addition to Frost and Dudley, the following leading businessmen were named as directors of the Hamilton Hotel Company Limited: Sir John M. Gibson, Lieutenant-Governor of Ontario and a founder of the Dominion Power & Transmission Company that brought hydroelectric power to Hamilton; C.S. Wilcox, president of the Steel Company of Canada; Cyrus Birge, vice-president of the Steel Company of Canada; H.H. Biggert, assistant-superintendent of International Harvester Company; A.C. Dann, superintendent of Oliver Plow Company; Col. J.R. Moodie, president of Dominion Power & Transmission Company; R.L. Innes, secretary-treasurer of Dominion Cannery Limited; A.W. Day, manager of the Right House; William Southam, Sr., president of the Spectator Printing Company; Frederick W. Rockwell, vice-president of United Hotels Company; and Paul J. Myler, vice-president of Canadian Westinghouse Company.

#### *4.4 The Design and Construction of the Royal Connaught Hotel*

Attached to the prospectus were a perspective drawing of the new hotel, a ground floor plan, a mezzanine floor plan and a typical floor plan – the only architectural drawings of the original hotel that seem to have survived (Fig. 6, 7, 8 and 9). The perspective drawing signed by architects Esenwein & Johnson was entitled “The Royal Connaught.” The name for the new hotel had been chosen in a contest held in January 1913 and won by a twelve-year-old Hamilton boy, who suggested that the hotel be named for the Governor General of Canada, the Duke of Connaught.

According to Chuck LaChiusa’s web page, Esenwein & Johnson enjoyed the most active architectural practice in Buffalo, New York at the turn of the twentieth century after Green & Wicks. August Esenwein (1856-1926) was educated in Stuttgart and worked in Paris before emigrating to Buffalo in 1880. In 1897, he formed a partnership with the American born and educated James Addison Johnson (1865-1939). He had previously worked for eminent architects, Richard Morris Hunt and McKim, Mead & White. Among the most notable Buffalo buildings by Esenwein & Johnson are: Hotel Statler (1908, demolished 1968), an extraordinary Art Nouveau design; and the octagonal General Electric Building (1912) sheathed in white-glazed terra cotta (Fig. 10).

As architects for the United Hotels Company of America, then the largest hotel chain in the United States, Esenwein & Johnson designed large first-class hotels throughout the northeastern United States and Ontario. Like the style adopted for many American and Canadian grand hotels in the Edwardian period, they designed the Royal Connaught Hotel as a second-generation skyscraper in a style now known as the Edwardian Classical style (Fig. 11). The hotel as built was not identical to the perspective in the prospectus, but its overall composition remained the same.

The land title shows that the Hamilton Hotel Company Limited bought Lot 6 and part of Lot 7 on the south side of King Street (the Waldorf Hotel) and part of Lot 27 at the end of March in 1914. In November six months after the Duke of Connaught had turned the sod at the site, the

Hamilton Hotel Company Limited entered into an agreement with the City to build over the King Street sidewalk and over the alley that used to run between King and Main Streets. At the end of the year, the Hamilton Hotel Company Limited made a formal lease agreement with the Connaught Hotel Company Limited (a site-specific entity under the United Hotels Company of America chain). The 30-year lease stipulated that “the Owner will forthwith commence the construction of a modern, fire-proof hotel, in accordance with the plans and specifications of Esenwein & Johnson, Architects ... .” It would be completed and ready for occupancy and operation by the first day of July, 1916.

*The Contract Record*, an important Canadian trade magazine for architects, engineers and builders, reported on the hotel’s construction in February 1916:

“The Royal Connaught Hotel, now being erected on King Street, Hamilton, Ont., for the Hamilton Hotel Company, Limited, is nearing completion, and will, when completed, be leased and operated by the United Hotels Company.

“The building is in two sections; the main building and the annex. The main building consisting of the basement and twelve stories is a steel skeleton supported on reinforced concrete spread footings, with the outside walls or curtain walls built of hollow interlocking tile faced with Bedford limestone up to the second floor level, tapestry [rug] brick from the second to the tenth floor, and architectural terra cotta from the tenth floor to the top of the coping on the north and east elevations and with yellow Kittinging brick on the south elevation and in the light court. There is an overhanging terra cotta cornice on the north and east sides, a cast iron marquee [marquee] over the main entrance, and a Bedford limestone port cochere [porte-cochère] over the ladies’ entrance in the private driveway [the alley] on the east side. ...

“The outside window frames and sash, in the annex and opening onto the light court of the main building, are metal and glazed with polished plate wire glass. On the east and north elevations the windows are of wood glazed with plain plate. In the upper stories, on the east and north elevation the top sash carry polished plate wire glass.” ...

“The main lobby is finished in Mycenaian marble wainscot and real marble floor and base. The columns are Mycenaian marble with plaster caps. The ceiling of the lobby is at the same height as the mezzanine ceiling and deep ornamental plaster beams extend across the ceiling and above the mezzanine gallery. Around the edge of the mezzanine gallery opening onto the lobby below is a wood balustrade, with a wide railing on top. The doors in the lobby are mahogany and the trim is pine to be decorated.

“The main dining room has marble floor and base and panelled pine wainscot nine feet high. The ceiling is high with heavy girders covered with ornamental plaster. All of the wood trim is pine for decorating.

“All of the wood trim in the restaurant and the bar and grill room is of quartered oak. The floors are marble with a marble base. There is a paneled wainscot in each room and in the restaurant there are four columns. The ceilings are beamed with ornamental plaster.

“On the mezzanine gallery and in the large banquet hall on the mezzanine floor the wood trim is pine for decorative purposes. The same applies to the two private dining rooms on this floor. There are eight large wood columns in the banquet hall set close to the wall and tight against

wood pilasters of the same design as the columns. The ceiling here is vaulted in five sections separated by heavy plastered beams.

“The service equipment includes, besides a complete kitchen layout, a laundry, a refrigerating plant and an auxiliary heating and power plant, including vacuum cleaning apparatus. There are two passenger elevators in the main building and two combined freight and service elevators, one in the main building and one in the annex. ...

“The building was designed by Esenwein & Johnson, architects, Buffalo, N. Y., with Mr. A. W. Peene as the local associate architect. Stone and Webster Construction Company of Boston, Mass., are the general contractors, ... .”

A list of subcontractors was appended to the article. Of special note are the Federal Terra Cotta Company of New York, which supplied the architectural terra cotta, and the Hamilton Bridge Works Company, responsible for the steel frame (Fig. 12).

Just before the hotel opened to the public in June 1916, *The Hamilton Spectator* provided its description:

“The Royal Connaught – acknowledged by experts to be one of the finest and most modernly equipped hotels in the Dominion of Canada – will open its doors on Monday. For two years the construction of this million-dollar, 12-story hostelry has been under way. ...

“The rotunda, wide, bright and roomy, is done in scageola [scagliola], massive pillars of this beautiful imitation marble stretching to the cream beam ceiling. The main entrance is, of course, off King Street, but there is an entrance also from the auto driveway at the east side, this being especially for the accommodation of the ladies. To the south of this drive entrance is the Chinese Chippendale room, which will be used as a ladies’ rest and writing-room. The drapings and decorations of this room are all of Oriental design.

“South of the Chippendale room is the main dining hall, done in quiet, restful tones and capable of seating 200 guests. Other club dining-rooms, smaller and more compact, lead from the main hall.

“The mezzanine floor boasts of wide, sweeping balconies, the eastern one being used as the men’s writing-room. On this floor are the manager’s private office and the general staff offices; also the ladies’ and gentlemen’s private dining-rooms. In the rear is the main banquet and convention hall, termed by H. L. Frost, father of the Royal Connaught hotel, the finest banquet hall in all North America. At the extreme south end of the hall a modern stage has been constructed. The walls are in purple, and mauve tints, which harmonize perfectly. The floor is of hardwood and will be covered with specially made carpet, which can be removed in an instant for dancing. The banquet hall will seat 500 [guests] at dinner, and used for convention purposes, it will have accommodation for nearly 800 people.

“The Royal Connaught has 244 rooms, each connected with a bath. ... There are 37 sample rooms [for travelling salesmen’s display of merchandise] ... .

“It is the careful attention to detail which most impresses the visitor, however. The kitchen, which can make or break any hotel, is thoroughly equipped. Cooking will be done on gas, coal and charcoal stoves, according to the different heats required for different dishes. A New York chef, who will bring a complete staff with him, will be in charge of this important department. ...

“The hotel has its own laundry. This department, situated in the basement, will give a six-hour service. ... The refrigeration plant is also located in the basement. This will do away entirely with messy ice. ...

“The continuous operation of a hotel of the magnitude of the Royal Connaught is a big undertaking, but in George O’Neil, the manager, the directors feel they have the right man in the right place. The Royal Connaught will have a permanent staff of 250 employes [employees], and ample provision has been made for the accommodation of the help. The employes’ sleeping quarters are in white, with modern equipment, and each employe will have a private locker. Rest-rooms, dining-rooms and sunny areas for recreation have also been provided for the help.

“An innovation is the installation of 30 electric clocks at convenient points throughout the building. These clocks are regulated from a central clock, which makes variations in the time of each impossible. Each room is equipped with a telephone connected with a central switchboard.

“This opening of Hamilton’s new hotel is the realization of H. L. Frost’s long-cherished dream. The enterprising, public-spirited head of the Frost Wire Fence company felt that Hamilton’s crying need was a first-class hotel, and he pounded away until a start was made. Manufacturers and officials of the Toronto, Hamilton and Buffalo railway were interested in the enterprise, and the result was the formation of the Royal Connaught Hotel company and the beginning of operations.

“The Connaught Hotel company, limited, is the title of the operating lessees of the Royal Connaught ... .”

The hotel officially opened on June 5, 1916 with Sir John Hendrie, Lieutenant-Governor of Ontario, and his predecessor, Sir John Gibson, in attendance.

A fire insurance plan issued in August 1916 shows the site layout of the twelve-storey main building facing King Street and two- and three-storey annex extending to Main Street (Fig. 13). The plan shows the dining room in the main building, the porte-cochère over the north-south alley, the light court at back and the annex’s laundry, electrical motors and garage with banquet hall above.

Early exterior and interior photographs of the hotel are contained in a booklet published by the Hotel Booklet Company of New York (Fig. 14). Another early corner view of the front facade and east elevation is found in a promotional book produced for the United Hotels Company of America (Fig. 15). Hand-tinted post cards, one of which is postmarked in 1919, give a sense of the colour scheme in the lobby and mezzanine – cream walls, columns and balustrade with gold accents, green carpet, mahogany woodwork and floral upholstery predominately in pastel blue (Fig. 16).

The hotel is also illustrated in a tourist’s guide published by the United Hotels Company of America in 1919. Interwoven in the text describing the Hamilton tour stop is the company’s following message about the hotel:

“The Royal Connaught at Hamilton is a new, modern, fireproof hotel, built by the public-spirited citizens of the city. It is the last word in hotel construction, equipment, decoration and furnishings. It was named with the consent of His Royal Highness the Duke of Connaught, who, with his

daughter the Princess Patricia, a cousin of King George IV of England, attended the ceremonies at the commencement of the construction, the Duke turning the first spade in the excavation. The hotel contains 250 rooms each with bath or bath connections, and is furnished and decorated by Canadian artists of reputation. It is operated under the direction of the United Hotels Company of America and is the Mecca for the social life of Hamilton. Its cuisine has become famous and its table d'hôte dinners attract guests from neighboring cities and communities. ... “

#### 4.5 *The Addition of the West Tower*

In 1924, the Hamilton Hotel Company Limited sold the property to its lessee – the Connaught Hotel Company Limited (the United Hotels Company of America) – and it assumed two mortgages. Six years later, the United Hotels Company Limited divested itself of its interests in the Royal Connaught Hotel. As explained in Brian Henley's and Janet Green's history of the hotel, the new board of directors, presided over by the publisher William James Southam, looked to expand the hotel premises. The Connaught Hotel Company Limited in 1930 purchased the remainder of Lot 7 and all of Lot 8 from the estate of the late Hon. William E. Sanford, who had operated a clothing factory next door to the hotel.

The architects of the west tower addition were Hutton & Souter, a prominent architectural firm in Hamilton in the early twentieth century. Gordon Johnston Hutton (1881-1942) was born in Hamilton, served an apprenticeship in architecture in Hamilton, and was employed by a Chicago architectural firm before returning home. William Russell Souter (1894-1971) was also born in Hamilton and studied architecture at the University of Pennsylvania. They formed a partnership in 1921. Before designing the Royal Connaught Hotel addition, they had designed the Norton Palmer Hotel in Windsor (1927) and the addition to that hotel (1929). Among the firm's best-known buildings are the Basilica of Christ the King (completed in 1933), the Dominion Public Building (completed in 1936 and now used as the John Sopinka Courthouse) and the Royal Connaught Hotel addition itself (Fig. 17).

A set of twelve plans, elevations, cross sections and details by Hutton & Souter have been preserved at the Archives of Ontario. A selection from these is presented in Figures 18 to 24. Other drawings of the hotel addition, including structural, heating and plumbing plans, have survived.

In their design, Hutton & Souter doubled the existing hotel's frontage on King Street East by adding six bays westward to John Street South. The design of the tower addition reflected the tripartite divisions of the original Esenwein & Johnson front facade while introducing new, up-to-date features. The new design incorporated a vertical fenestration pattern, the use of lightly coloured brick for the shaft and upper storeys that blended into the grey stone base and contemporary details – a wave pattern for the ground-floor stringcourse and stylized window spandrels and heads. These features were influenced by the Art Deco style which reached its zenith shortly after the *Exposition universale des arts décoratifs et industriels modernes* held in Paris in 1925. They gave the addition's symmetrical front facade a flatter, more vertically oriented look. Atop and set in from the twelve-plus-storey tower, Hutton & Souter placed a pavilion with stuccoed walls, an arcade of round-arched French windows and a tile-covered hip roof. Referred to as the roof garden, the pavilion added to the Hamilton skyline over and above the already tall skyscraper.

The tower's three bays on John Street South were even more modern in appearance than the front facade as Hutton & Souter deleted the uppermost division, letting the shaft's columns of windows climb uninterrupted to the rooftop. As well, Hutton & Souter stretched the tower's three-storey base by an additional five bays southward along John Street South.

On the ground floor, Hutton & Souter laid out eight stores with classically detailed, bronze-framed storefronts facing either King Street East or John Street South. Most of the storefronts (a traditional design consisting of a show window to either side of a central recessed entrance) could be accessed from the street and through an interior shopping arcade. The interior arcade, which was reached via a marquee over the John Street South sidewalk, had a marble floor and pilasters and a plaster cornice and frieze.

On the mezzanine and second floors, there was a large, two-storey, dual-purpose room used for holding banquets or playing badminton! The room had an oak floor, panelled wood dado, a plaster cornice in an egg-and-dart pattern, panelled plaster beams and a skylit ceiling. Men's and women's locker rooms, etc. were also provided for the badminton players. Completing the mezzanine floor were offices, and guest rooms occupied the rest of the second floor.

Above the second floor, in the tower, were guest rooms – each with its own bathroom. On the eleventh floor, there were eight sample rooms for travelling salesmen and two bedrooms for their accommodation.

Hutton & Souter specified an oak floor, wood dado and plaster walls, pilasters and beams for the interior of the roof garden.

As told in Henley's and Green's history, the addition, integrated into the existing hotel, was ready for public use in October 1931. Several floors of guest rooms remained unfinished, however – the effects of the Great Depression bearing down on the hotel industry.

#### *4.6 Many Owners and Many Renovations*

As for many grand hotels worldwide, the Royal Connaught Hotel struggled through the Great Depression. Tellingly, a booklet published by the hotel in 1941 to commemorate the 25<sup>th</sup> anniversary of the hotel's opening devotes several illustrated paragraphs to the hotel's financial difficulties:

"Lower revenue and greater costs during the past ten years have meant that no dividends have been paid to shareholders. It is further estimated that the value of the hotel has decreased by one third. ...

"Nearly 50 per cent [of hotel income] is consumed by wages and supplies. Other costs, which largely represent money spent in Hamilton, leave a minute portion for profit and income tax.

"To-day the average room rate has fallen to \$3.33, from \$4.19 in 1930 . . . and of available rooms in the Royal Connaught in 1940, only an average of 48.75 per cent were rented. ...

“It is sometimes said that ‘hotel meals are too expensive.’ But few realise how greatly the prices are effected [sic] by tremendous overhead, first quality foods, and special service. Many items, such as light, heat, power, china, glass, silver, linen, real estate and other tax taxes, insurance, advertising, printing, laundry and repairs are overlooked. Nevertheless, prices continue on downward trend. The average cheque in 1930 rated \$1.21; to-day, 63c. ...”

The booklet indicates that the patronage of clubs and other associations was important to the bottom line: “THE ROYAL CONNAUGHT, focal point of Hamilton social activity, serves also as headquarters for leading Community Clubs – for banquets – for mass meetings – for concerts – and for rallies. Thus, the hotel has become the Community Center of Hamilton.”

The booklet also contains a number of interior views, including the lobby (updated in 1937 when Vernon Cardy became president and general manager), the interior shopping arcade and the rooftop pavilion, by this time known as the Circus Roof (Fig. 25).

According to Henley’s and Green’s history and *The Hamilton Spectator* article they quote, more renovation took place during Cardy’s management. Cardy Corporation Ltd. became the sole property owner in 1947, and in the same year guest rooms that had never been finished were opened and four floors fitted for the use of the American Can Company. An additional elevator was installed for the company’s use during office hours and for patrons of the Circus Roof nightclub after hours. An aerial photograph taken in 1945 does not show an elevator penthouse while an undated post card (circa 1940s) shows the elevator penthouse above and behind the rooftop pavilion (Fig. 26). A fire insurance plan issued in October 1947 illustrates the site layout at the time (Fig. 27).

In 1949 Cardy Corporation Ltd. launched an extensive program of renovations, which was carried through to completion in 1952 by Sheraton Limited. Cardy had sold the property to Sheraton in 1950. As reported in *The Hamilton Spectator*, the renovations were focussed on interior updating, such as, refinishing the imitation marble columns in the lobby. However, exterior sandblasting was also undertaken.

By 1960, the building east of the hotel had been demolished for a parking lot, leaving the porte-cochère and the entire east elevation exposed from Caroline Street South (Fig. 28).

Sheraton completed another round of interior renovations in 1965.

In 1973, Sheraton sold the property to a Toronto-based consortium represented by Bernard Herman of City Parking Ltd. (later Citicom Inc.); and in 1974 the hotel underwent a massive multi-million-dollar renovation. Four pages of paid advertising in *The Hamilton Spectator* published on October 15, 1974 describe the changes. On the exterior, there was a new marquee and revolving door at the front entrance (Fig. 29); and inside, a remodelled lobby, a new shopping arcade from the lobby to the John Street South entrance, a new coffee shop, a remodelled entertainment lounge, renovated ballrooms and banquet rooms and a reduced number of guest rooms to make 240 large rooms out of the existing smaller rooms. The exterior walls were sandblasted again.



The following year, the 1914-16 annex was demolished for more surface parking. As told in Henley's and Green's history, two chandeliers which had hung in the annex banquet hall (the Crystal Ballroom) were moved to the remodelled lobby.

Despite investing more in renovations in 1981, Citicom Inc. in 1982 tasked hotel manager Barry Massey with selling the building or demolishing it if a new owner could not be found. But, in the nick of time, a buyer was found in 1984 – Connaught of Hamilton Inc. as recorded in the land title or Decade Four Development Group as it was otherwise known. In 1986, Decade Four put in a new restaurant and disco, redecorated the guest rooms, halls and meeting rooms, and added a swimming pool where the annex had been.

Just two years later, the hotel was sold to Joymarmon Properties Inc. under the leadership of Joyce Mongeon, president of the Hamilton chamber of commerce. In 1989 and 1990, Joymarmon's renovations included redecorating the lobby, dining room, seventh-floor guest rooms and eleventh floor.

The hotel's mortgager, Montreal Trust Company, ended the further plans of Joymarmon Properties Inc. and, under power of sale, sold the hotel to Kelloryn Hotels (Hamilton) Inc. – a subsidiary of AFM Hospitality Corporation – in 1993. The Royal Connaught Hotel then joined the Howard Johnson hotel chain run in Canada by AFM Hospitality Corporation.

In 2002, AFM Hospitality Corporation divested itself of its last real estate holding – the Royal Connaught Hotel. As reported in *The Hamilton Spectator*, Canmac Hotels Corporation, the new owner, struggled to fill the hotel's rooms. Bankrupt, the hotel closed late in 2004. It has remained vacant ever since.

## **5.0 Property Description (As-found Appearance)**

### *5.1 The Hotel in its Surroundings*

The Royal Connaught Hotel is a landmark in downtown Hamilton. With its twelve-plus-storey mass built out to the King Street East sidewalk and frontage running over 200 feet along the street, it has a commanding presence on this main thoroughfare. The rooftop pavilion that can be seen from James Street North and across Gore Park enhances the building's landmark status and is an identifiable feature on the skyline. The west tower and its three-storey base that extends along John Street South define the southeast corner of King Street East and John Street South. The west tower's proximity to the old Dominion Public Building designed by the same architects during the same time period is an interesting architectural relationship. The hotel's front facade design is carried around to the east elevation, which is completely exposed beside the open space of the parking lot. The south elevation, which functions as the back of the building, has less visual importance in the townscape.

Figures 30 to 38 show the hotel in its surroundings.

## 5.2 *Front Facade (North Elevation)*

The hotel's front facade (or north elevation) is composed of 1) the Edwardian-era building with curtain walls of limestone, brown rug brick and white-glazed terra cotta and 2) the monochromatic Art Deco addition (Fig. 39). Both parts are seamlessly integrated, and the tripartite divisions in the Edwardian building's elevation are perpetuated in the Art Deco addition.

Figures 40 to 49 illustrate aspects of the front facade in the Edwardian building, opened in 1916.

The building's main entrance is located in the centre of the 1916 building's ground floor, which is faced in light grey limestone from Bedford, Indiana. Originally, only one of the round arches of the sheltered main entrance contained doors into the hotel. The metal frame of the marquee is suspended over the main entrance, in the same location as the original marquee when the hotel opened. Above the main entrance's round-arched fanlights are two inscribed plaques carrying the name of the hotel. A shallow balcony resting on three scroll brackets and enclosed by a limestone balustrade projects over the main entrance. Originally, there were light standards atop the three stone piers in the balustrade, but the lights have been removed.

On the ground floor and mezzanine level, windows are decoratively framed with exaggerated voussoirs and keystones – a characteristic element of the Edwardian Classical style. The limestone stringcourse of plain raised roundels is another ornamental feature.

On the second floor (third storey), white-glazed terra cotta contrasts with the brown rug brick. The corners of the facade are marked with terra cotta quoins, window surrounds have terra cotta quoins and entablatures, and a moulded stringcourse in terra cotta spans the whole length of the facade above the second floor. The stringcourse caps the base of the facade, which follows the tripartite division of a Classical column – base, shaft and capital.

Above the base are the shaft's seven storeys. The shaft, with double-hung windows puncturing the brown rug brick wall, is the plainest part of the facade.

The facade's upper two storeys – the capital of the column – return to the decorative qualities of the base. The upper two storeys are completely executed in white-glazed terra cotta – a material the architects Esenwein & Johnson were particularly adept in using. Classical motifs appear in the terra cotta moulds – quoins, entablatures, garlands, dentils and scroll brackets enriched with acanthus leaves. The scroll brackets ornament the facade's overhanging cornice, which is typical of second-generation skyscrapers like the Royal Connaught Hotel.

Figures 50 to 59 illustrate aspects of the front facade in the Art Deco addition of 1931.

The limestone ground floor in the 1931 addition terminates in a brown polished granite foundation veneer. Six bays of bronze storefronts each in a delicate Classical frame pierce the limestone wall. The original recessed entrance of each storefront has been replaced, but the design of metal panels at the bottom of the storefront is true to the original. A stringcourse in an Art Deco wave pattern runs along the top of the ground floor.

Six pairs of slender round-arched windows, two storeys tall, light the facade's mezzanine and

second floors. Each pair is set in limestone surrounds – partly Classical in inspiration and partly Art Deco. Dentils – another Classical device – are arranged in a cornice that separates the facade’s base from its shaft.

The seven floors of the shaft have columns of windows ascending the lightly coloured brick curtain wall. The bronze window spandrels have pressed motifs in the Art Deco manner.

The facade’s upper floors – the capital of the composition – repeat the ground floor’s pairs of tall round-arched windows (in a variation of the ground-floor window design). The outer bays, however, extend the columns of windows up from the shaft. In each of the two outer bays, a wrought-iron French balcony has been placed.

Through the facade’s twelve-plus storeys, the fenestration is arranged in vertical columns, which gives vertical emphasis to the addition.

The rooftop feature is designed to resemble a garden pavilion where round-arched French windows open onto a terrace overlooking the city.

### 5.3 *East Elevation*

Figures 60 to 68 illustrate the hotel’s east elevation.

The design of the 1916 building’s front facade is carried to the east elevation. However, the features of the base extend only as far as the old east entrance, originally the ladies’ entrance and once sheltered by a porte-cochère. When the hotel opened, most of the east elevation’s ground floor was obscured by an adjacent four-storey building since demolished; and the fine features of the base were not extended farther down the alley where they would not have been readily appreciated.

The northernmost three bays of the base on the east elevation are beautifully clad in Indiana limestone, brown rug brick and white-glazed terra cotta. Of note are: the stone channels; stringcourse of roundels; stone window surrounds each made up of quoins and exaggerated voussoirs and keystone; terra cotta window surrounds with their quoins and entablatures; entrance with its stone pilasters, fanlight and exaggerated voussoirs and keystone; and oriel window above the entrance. The decorative treatment of the oriel window combines stone, terra cotta and brick.

The seven floors of the shaft are plain like the front facade.

The ornamental terra cotta of the front facade’s upper floors and cornice is repeated across the east elevation.

### 5.4 *West Elevation*

Figures 69 to 75 illustrate the hotel’s west elevation.

The hotel's west elevation, which is the John Street South side of the 1931 addition, consists of a three-storey, eight-bay base and a tower shaft that is nine floors tall and three bays wide.

The base repeats the design of the front facade's base, and includes a brown polished granite foundation veneer, limestone curtain wall, a series of storefronts with delicate Classical details, a stringcourse in an Art Deco wave pattern, pairs of slender, round-arched windows embellished with stone carving, and a dentillated cornice. All that remains of the marquee over the John Street South entrance to the interior shopping arcade is its steel frame.

The tower shaft represents a simplification of the front facade's shaft and upper storeys. On the west elevation, columns of windows with stylized pressed bronze spandrels climb continuously to the twelfth floor. They give the west elevation an appearance that is more modern than the front facade. The shaft is simply terminated with an arcaded brick cornice and stone coping.

The rooftop pavilion follows the design of the pavilion's front facade. On the west, it is two bays wide instead of the four-bay width of the pavilion's front facade.

### 5.5 *Rear (South) Elevation*

Figures 76 to 78 illustrate the hotel's rear (or south) elevation.

Meant to be the back of the hotel, the elevation is plain.

The rear elevation consists of the "L"-shaped 1916 building with a curtain wall of yellow Kittanning brick, the 1931 addition in whitish brick and the elevator shaft in yellow brick (the Howard Johnson sign is at the top). The rooftop pavilion is visible behind the elevator shaft. Of interest is a sliver of the brown rug brick and terra cotta of the east elevation wrapping around to the rear elevation.

The concrete foundation wall of the former swimming pool remains within the rear parking lot. Also, the former location of the annex is evident against the wall of the 1916 building.

### 5.6 *Interior*

Most of the hotel's interior finishes have been removed.

As of September 2011, the lobby and mezzanine space in the 1916 building remained. Their finishes appear to have deteriorated further since photographs were taken in 2009 (Fig. 79 to 82). While the basic structure of the lobby and mezzanine had survived, the balustrade was missing, the colour scheme altered from the original, and the chandeliers – not original to the lobby but moved to the lobby from the annex's banquet room – gone.

## 6.0 Cultural Heritage Evaluation

### 6.1 City of Hamilton Criteria

A set of criteria were endorsed by the City of Hamilton Municipal Heritage Committee on June 19, 2003 and were adopted by Council as The City of Hamilton: Cultural Heritage Evaluation Criteria on October 29, 2008 (Appendix “B” of Report PED08211). The criteria are used to assess the cultural heritage value of a property. This evaluation assists in determining a property’s merit for designation under the *Ontario Heritage Act* as well as deriving a Statement of Cultural Heritage Value or Interest and Description of Heritage Attributes.

#### 6.1.1 Archaeology

The reasons for designation of a property may address archaeological resources. Twelve criteria are used to evaluate an archaeological site or measure archaeological potential to determine what attributes, if any, warrant designation under Part IV of the *Ontario Heritage Act*.

The first eleven criteria for evaluating an archaeological site are predicated on the presence of a known archaeological site. In the case of 112 King Street East, there are no registered or reported archaeological sites located on the subject property. Therefore, only the criterion pertaining to archaeological potential applies in this assessment.

#### Criterion – Archaeological Potential

The subject property contains a former hotel building situated within the downtown area of Hamilton – an area that was intensely developed in the nineteenth century. Based on the history and intensity of activity on the subject property and the degree to which the building covers the property, the lot has experienced significant disturbance arising from the construction of buildings and installation of infrastructure. Due to the location and history of the subject property, it has minimal archaeological potential.

Therefore, archaeology is not considered a heritage value for 112 King Street East.

#### 6.1.2 Built Heritage

Twelve criteria are used to assess the built heritage value of a property. All twelve of the built heritage criteria were applicable to the subject property, and eleven of them were fully satisfied. The criterion pertaining to built integrity was partially satisfied.

**Criterion 1 – Thematic:** How well does the feature or property illustrate a historical theme that is representative of significant patterns of history in the context of the community, province or nation?

The Royal Connaught Hotel property is directly associated with the history of the hospitality industry in Hamilton. The property is the site of the Hamilton Hotel/Anglo American

Hotel/Waldorf Hotel (1856-1914) and is presently occupied by the Royal Connaught Hotel, a first-class hotel which opened in 1916 and closed in 2004.

**Criterion 2 – Event:** Is the property associated with a specific event that has made a significant contribution to the community, province or nation?

The Royal Connaught Hotel, a hotel in the tradition of grand hotels, was the centre of social life in Hamilton during much of the twentieth century. It was the scene of royal visits, political functions, football rallies, convention banquets, ballroom dances, nightclub entertainment, community club meetings, family celebrations and fine dining. In addition, the first Kiwanis Club in Canada was formed at the hotel on November 1, 1916.

**Criterion 3 – Person and/or Group:** Is the feature associated with the life or activities of a person or group that has made a significant contribution to the community, province or nation?

The impetus behind the building of the Royal Connaught Hotel came principally from Harry Louis Frost, an important manufacturer in Hamilton in the early twentieth century who had established the Canadian component of the Frost Wire Fence Company. Through his efforts as president of the Hamilton Board of Trade, the Hamilton Hotel Company Limited was organized to raise 50 per cent of the total cost of the hotel site and completed building by the sale of capital stock among the citizens of Hamilton. Because of his premature death in 1919 at the age of 44, the hotel became a monument to him and his life's work.

**Criterion 4 – Architectural Merit:** What is the architectural value of the resource?

The Royal Connaught Hotel of 1914-16 is an early and surviving example of a second-generation skyscraper – the earliest examples in Hamilton having been demolished. Designed in the Edwardian Classical style, it stands as an important building from the Edwardian era. The west tower addition, erected in 1931, is a notable example of the Art Deco style – the design of its front facade tempered to complement the tripartite Classical composition of the earlier Edwardian building.

**Criterion 5 – Functional Merit:** What is the functional quality of the resource? Is the structure a notable, rare, unique, typical or early example of a particular material or method of construction?

The Royal Connaught Hotel of 1914-16 is an early example of steel-frame construction in Hamilton. The steel for the frame was manufactured in Hamilton by the Hamilton Bridge Works Company.

**Criterion 6 – Designer:** What is the significance of this structure as an illustration of the work of an important designer?

The Royal Connaught Hotel of 1914-16 is a Canadian example of the work of prolific Buffalo

architects, Esenwein & Johnson. In addition to being the second-most active architectural practice in Buffalo at the turn of the twentieth century, they were architects for the United Hotels Company of America, the largest hotel chain in the United States in the early twentieth century. Their masterful use of white-glazed terra cotta – a material particularly associated with the Edwardian period – is evident in the hotel's front facade and east elevation. For this hotel project in Hamilton, they associated with Alfred W. Peene, a local architect known for his design of the Stinson Street Public School and Carnegie Public Library (now the Unified Family Court).

The west tower addition by Hutton & Souter, a prominent architectural firm in Hamilton in the early twentieth century, is considered to be among the firm's best-known buildings; the others are the Basilica of Christ the King at King Street West and Highway 403 and the Dominion Public Building (now the John Sopinka Courthouse) across John Street South from the Royal Connaught Hotel.

**Criterion 7 – Location Integrity:** Is the structure in its original location?

Among internationally accepted principles of heritage conservation, an historic building is understood to be inseparable from the setting in which it is located. Therefore, an historic building in its original location has greater cultural heritage value than one that has been moved from its original site. The Royal Connaught Hotel of 1914-16 and the west tower addition of 1931 remain in their original location.

**Criterion 8 – Built Integrity:** Is the structure and its component parts all there?

The architectural features of the front facade, east elevation and west elevation of the Royal Connaught Hotel are mostly intact. Alterations to the entrances on King Street East, the east and John Street South are likely reversible. Because the rug brick used in the 1914-16 curtain wall is inherently textured, the effects of past sandblasting have probably been minimized. The visual effect of the addition of projecting ground-floor windows on the east elevation is lessened by their location toward the back of the building. None of these interventions critically detracts from the building's heritage character.

The south or rear elevation has been altered by the removal of the annex to the 1916 building and the addition of the elevator shaft which rises above the rooftop pavilion and interferes with it visually.

The hotel's interior has been changed many times. Remaining in its original location and with a number of its original elements in place is the lobby and mezzanine.

**Criterion 9 – Landmark:** Is it a visually conspicuous feature in the area?

The Royal Connaught Hotel is a landmark in downtown Hamilton. Although other more recent buildings are taller, it still has a commanding presence on King Street East. The view of the hotel from James Street North across Gore Park is important in the townscape. The view of the

rooftop pavilion is an especially memorable image.

**Criterion 10 – Character:** What is the influence of the structure on the present character of the area?

The Royal Connaught Hotel contributes to King Street East, a boulevard of historic and infill buildings built to the lot line and next to one another. Because of its twelve-plus-storey height and long frontage, the hotel dominates the King Street East block between Catharine Street South and John Street South. It draws the eye eastward along the boulevard, and in close proximity it creates a physical character that reflects the metropolitan appearance sought by large North American cities in the early twentieth century.

**Criterion 11 – Setting:** What is the integrity of the historical relationship between the structure and its immediate surroundings?

The historical and visual relationship between the hotel's west tower addition and, by the same architects, the Dominion Public Building on the west side of John Street South is interesting. They were completed within five years of one another. The buildings share the same monochromatic palette, a tripartite division in the composition of each of their front facades and columns of windows.

**Criterion 12 – Public Perception:** Is the property or feature regarded as important within its area?

The Royal Connaught Hotel project was initiated locally and financed in large part by the citizens of Hamilton. Erected as a grand hotel with first-class accommodation and exceptional service, the building was at the centre of the city's social life. It held pride of place during much of the twentieth century.

### 6.1.3 Cultural Heritage Landscapes

The reasons for designation of a property may address any cultural heritage landscape present at the site or any contribution the property makes to a cultural heritage landscape. A cultural heritage landscape is an historic area that contains a group of features linked together in their setting or surroundings. Examples that could merit designation under Part IV of the *Ontario Heritage Act* include a farmstead, a complex of industrial structures, a religious compound, a school campus, a park or garden and a fairground.

Nine criteria are used to determine the relative importance of a cultural heritage landscape. Only the lot containing the former hotel building has been evaluated. Accordingly, the subject property is not considered to be a cultural heritage landscape for the purposes of this assessment.



## 6.2 *Criteria in Ontario Regulation 9/06*

In 2006, the Province of Ontario released Ontario Regulation 9/06 containing criteria for determining cultural heritage value or interest. Under Section 29 of the *Ontario Heritage Act*, municipal councils may designate individual property to be of cultural heritage value when the property meets one or more criteria set out in the regulation. In several ways, the provincial criteria are similar to the City's. Below, the cultural heritage value of the Royal Connaught Hotel property is assessed according to the nine provincial criteria organized in three sets – criteria pertaining to 1) design value or physical value; 2) historical value or associative value; and 3) contextual value.

For the Royal Connaught Hotel property, all nine criteria were met.

### 6.2.1 Design Value or Physical Value

**Criterion 1** – The property has design value or physical value because it is a rare, unique, representative or early example of a style, type, expression, material or construction method.

The Royal Connaught Hotel of 1914-16 is an early and surviving example of a second-generation skyscraper – the earliest examples in Hamilton having been demolished. Designed in the Edwardian Classical style, it stands as an important building from the Edwardian era. It is also an early example of steel-frame construction in Hamilton. The steel for the frame was manufactured in Hamilton by the Hamilton Bridge Works Company.

The west tower addition, erected in 1931 and seamlessly integrated into the Edwardian building, is a unique example of the Art Deco style in that the design of its front facade is tempered to complement the tripartite Classical composition of the earlier Edwardian building.

**Criterion 2** – The property has design value or physical value because it displays a high degree of craftsmanship or artistic merit.

The Royal Connaught Hotel of 1914-16 displays a high degree of artistic merit in the masterful use of white-glazed terra cotta – a material particularly associated with the Edwardian period. The carved stonework in both the 1916 Edwardian building and the 1931 Art Deco addition is also well-executed. Likewise, the metalwork in the 1931 addition – in the storefronts and window spandrels – has great visual appeal.

**Criterion 3** – The property has design value or physical value because it demonstrates a high degree of technical or scientific achievement.

In terms of the local hotel industry, the Royal Connaught Hotel of 1914-16 represents a significant advance in fireproof hotel construction. The seamless integration of the Art Deco addition into the Edwardian building by cutting through the Edwardian building's west curtain wall and extending its floor plan westward also shows a high degree of technical achievement

for the early twentieth century in Hamilton.

#### 6.2.2. Historical Value or Associative Value

**Criterion 4** – The property has historical value or associative value because it has direct associations with a theme, event, belief, person, activity, organization or institution that is significant to a community.

The Royal Connaught Hotel property is directly associated with the history of the hospitality industry in Hamilton. The property is the site of the Hamilton Hotel/Anglo American Hotel/Waldorf Hotel (1856-1914) and is presently occupied by the first-class Royal Connaught Hotel (1916-2004).

The Royal Connaught Hotel is directly associated with important social events. A hotel in the tradition of grand hotels, it was the centre of social life in Hamilton during much of the twentieth century. It was the scene of royal visits, political functions, football rallies, convention banquets, ballroom dances, nightclub entertainment, community club meetings, family celebrations and fine dining. In addition, the first Kiwanis Club in Canada was formed at the hotel on November 1, 1916.

The hotel is directly associated with Harry Louis Frost, an important manufacturer in Hamilton in the early twentieth century who had established the Canadian component of the Frost Wire Fence Company. Through his efforts as president of the Hamilton Board of Trade, the Hamilton Hotel Company Limited was organized to raise 50 per cent of the total cost of the hotel site and completed building by the sale of capital stock among the citizens of Hamilton. Because of his premature death in 1919 at the age of 44, the hotel became a monument to him and his life's work.

**Criterion 5** – The property has historical value or associative value because it yields, or has the potential to yield, information that contributes to an understanding of a community or culture.

The building of the Royal Connaught Hotel at the end of the Edwardian period in the form of a skyscraper symbolizes the ambition of the citizens of Hamilton for the city to reflect a metropolitan appearance and to offer first-class hotel accommodation and exceptional service on par with other large cities.

**Criterion 6** – The property has historical value or associative value because it demonstrates or reflects the work or ideas of an architect, artist, builder, designer or theorist who is significant to a community.

The Royal Connaught Hotel of 1914-16 is a Canadian example of the work of prolific Buffalo architects, Esenwein & Johnson. In addition to being the second-most active architectural practice in Buffalo at the turn of the twentieth century, they were architects for the United Hotels Company of America, the largest hotel chain in the United States in the early twentieth century.

Known for their masterful use of white-glazed terra cotta, the artistic qualities of the material are evident in the hotel's front facade and east elevation. For this hotel project in Hamilton, they associated with Alfred W. Peene, a local architect known for his design of the Stinson Street Public School and Carnegie Public Library.

The west tower addition by Hutton & Souter, a prominent architectural firm in Hamilton in the early twentieth century, is considered to be among the firm's best-known buildings; the others are the Basilica of Christ the King at King Street West and Highway 403 and the Dominion Public Building (now the John Sopinka Courthouse) across John Street South from the Royal Connaught Hotel.

### 6.2.3 Contextual Value

**Criterion 7** – The property has contextual value because it is important in defining, maintaining or supporting the character of an area.

The Royal Connaught Hotel supports the character of King Street East, a boulevard of historic and infill buildings built to the lot line and next to one another. Because of its twelve-plus-storey height and long frontage, the hotel dominates the King Street East block between Catharine Street South and John Street South. It draws the eye eastward along the boulevard, and in close proximity it creates a physical character that reflects the metropolitan appearance sought by large North American cities in the early twentieth century.

**Criterion 8** – The property has contextual value because it is physically, functionally, visually or historically linked to its surroundings.

The hotel's west tower addition is linked historically and visually to the Dominion Public Building on the west side of John Street South. Designed by the same architects, they were completed within five years of one another. The buildings share the same monochromatic palette, a tripartite division in the composition of each of their front facades and columns of windows.

**Criterion 9** – The property has contextual value because it is a landmark.

The Royal Connaught Hotel is a landmark in downtown Hamilton. Although other buildings are taller, it still has a commanding presence on King Street East. The view of the hotel from James Street North across Gore Park is important in the townscape. The view of the rooftop pavilion is an especially memorable image.

## **7.0 Cultural Heritage Value**

### *7.1 Conclusions and Recommendation*

The Royal Connaught Hotel property satisfies all nine criteria in Ontario Regulation 9/06. It fully meets eleven out of the twelve built heritage criteria adopted by the City of Hamilton.

In terms of the City criterion of built integrity, the architectural features of the front facade, east elevation and west elevation are mostly intact and demonstrative of their original character. The south or rear elevation has been altered by the removal of the annex to the 1914-16 building and the addition of the elevator shaft which rises above the rooftop pavilion and interferes with it visually. The hotel's interior has been changed many times, and most of its Edwardian and Art Deco features have been stripped out. The lobby and mezzanine in the Edwardian building remain in their original spot and with a number of their original elements in place.

The Royal Connaught Hotel property exhibits outstanding cultural heritage value and is worthy of designation under the *Ontario Heritage Act*. It is recommended that the City of Hamilton designate the property under Part IV of the *Ontario Heritage Act* and, in so doing, protect its heritage attributes for posterity.

## 7.2 *Statement of Cultural Heritage Value or Interest and Description of Heritage Attributes*

The following is the recommended text for inclusion in the designation by-law.

The property known as the Royal Connaught Hotel has outstanding cultural heritage value to the citizens of Hamilton. Built in 1914-16 and expanded in 1931, the hotel is important for its place in the history of Hamilton, in the city's architectural development and in the downtown townscape today.

### Its Place in the History of Hamilton

The Royal Connaught Hotel property has long been associated with the history of the hospitality industry in Hamilton. It is the site of the Hamilton Hotel/Anglo American Hotel/Waldorf Hotel (1856-1914) and is presently occupied by the former Royal Connaught Hotel, a first-class hotel which opened in 1916 and closed in 2004. In terms of the local hotel industry, the Royal Connaught Hotel of 1914-16 represents a significant advance in fireproof hotel construction.

The impetus behind the building of the hotel came principally from Harry Louis Frost, an important manufacturer in Hamilton in the early twentieth century who had established the Canadian component of the Frost Wire Fence Company. Through his efforts as president of the Hamilton Board of Trade, the Hamilton Hotel Company Limited was organized to raise 50 per cent of the total cost of the hotel site and completed building by the sale of capital stock among the citizens of Hamilton. Because of his premature death in 1919 at the age of 44, the hotel became a monument to him and his life's work.

The Royal Connaught Hotel, a hotel in the tradition of grand hotels, was the centre of social life in Hamilton during much of the twentieth century. It was the scene of royal visits, political functions, football rallies, convention banquets, ballroom dances, nightclub entertainment, community club meetings, family celebrations and fine dining. In addition, the first Kiwanis Club in Canada was formed at the hotel on November 1, 1916.

### Its Place in the Architectural Development of Hamilton

The Royal Connaught Hotel of 1914-16 is an early and surviving example of a second-generation skyscraper – the earliest examples in Hamilton having been demolished. Designed in the Edwardian Classical style, it stands as an important building from the Edwardian era. The building of the Royal Connaught Hotel at the end of the Edwardian period in the form of a skyscraper symbolizes the ambition of the citizens of Hamilton for the city to reflect a metropolitan appearance and to offer first-class hotel accommodation and exceptional service on par with other large cities.

The Royal Connaught Hotel of 1914-16 is also an early example of steel-frame construction in Hamilton. The steel for the frame was manufactured in Hamilton by the Hamilton Bridge Works Company.

The Royal Connaught Hotel of 1914-16 is a Canadian example of the work of prolific Buffalo architects, Esenwein & Johnson. In addition to being the second-most active architectural practice in Buffalo at the turn of the twentieth century, they were architects for the United Hotels Company of America, the largest hotel chain in the United States in the early twentieth century. Esenwein & Johnson were known for their masterful use of white-glazed terra cotta – a material particularly associated with the Edwardian period – and the artistic qualities of the material are evident in the hotel's front facade and east elevation.

The west tower addition of 1931 by Hutton & Souter, a prominent architectural firm in Hamilton in the early twentieth century, is considered to be among the firm's best-known buildings; the others are the Basilica of Christ the King at King Street West and Highway 403 and the Dominion Public Building (now the John Sopinka Courthouse) across John Street South from the Royal Connaught Hotel.

The west tower addition is a unique example of the Art Deco style in that the design of its front facade is tempered to complement the tripartite Classical composition of the earlier Edwardian building. The seamless integration of the Art Deco addition into the Edwardian building by cutting through the Edwardian building's west curtain wall and extending its floor plan westward shows a high degree of technical achievement for the early twentieth century in Hamilton.

The metalwork in the Art Deco addition – in the storefronts and window spandrels – has great visual appeal. The carved stonework in both the 1931 addition and 1916 building is also well-executed.

### Its Place in Downtown Hamilton

The hotel's west tower addition is linked historically and visually to the Dominion Public Building on the west side of John Street South. Designed by the same architects, the buildings were completed within five years of one another. They share the same monochromatic palette, a

tripartite division in the composition of each of their front facades and columns of windows.

The Royal Connaught Hotel contributes to King Street East, a boulevard of historic and infill buildings built to the lot line and next to one another. Because of its twelve-plus-storey height and long frontage, the hotel dominates the King Street East block between Catharine Street South and John Street South. It draws the eye eastward along the boulevard, and in close proximity it creates a physical character that reflects the metropolitan appearance sought by large North American cities in the early twentieth century.

The Royal Connaught Hotel is a landmark in downtown Hamilton. Although other more recent buildings are taller, it still has a commanding presence on King Street East. The view of the hotel from James Street North across Gore Park is important in the townscape. The view of the rooftop pavilion is an especially memorable image.

#### Description of Heritage Attributes

The former hotel building's cultural heritage value is embodied in 1) its front facade, 2) east elevation, 3) west elevation, 4) the slender portion of the south elevation where the brick and terra cotta of the east elevation wrap around to the south elevation, and 5) the lobby and mezzanine in the interior.

#### Front Facade (North Elevation)

Heritage attributes of the front facade in the 1916 building include:

- all features in limestone on the ground and mezzanine floors and their fenestration;
- the brown rug brick and white-glazed terra cotta curtain wall and the fenestration of the floor above the mezzanine floor (the hotel's second floor or third storey, which together with the ground and mezzanine floors forms the front facade's base);
- the seven floors of brown rug brick wall and windows with their terra cotta sills, which comprise the front facade's shaft; and,
- the front facade's upper two storeys and overhanging cornice – the capital of the composition – completely executed in white-glazed terra cotta and lit by windows that follow the fenestration pattern in the shaft.

Heritage attributes of the front facade in the 1931 addition include:

- the brown polished granite foundation veneer;
- the limestone ground floor and its six bays of bronze storefronts;

- the limestone mezzanine and second floors containing six bays of slender round-arched window pairs;
- the seven floors above the base of the composition – the shaft – which have columns of windows with bronze spandrels ascending the lightly coloured brick curtain wall;
- the front facade's upper floors – the capital of the composition – containing four pairs of round-arched windows, two outer bays which extend the columns of windows up from the shaft, two wrought-iron balconies and a partially flat and partially pedimented parapet decorated with arcaded brick; and,
- the rooftop pavilion designed to resemble a hip-roofed garden pavilion where round-arched French windows open onto a terrace.

### East Elevation

Heritage attributes of the hotel's east elevation include:

- the northernmost three bays of the base (the ground, mezzanine and second floors) clad in limestone, brown rug brick and white-glazed terra cotta and containing the east entrance, oriel window above and other windows;
- the fourth bay of the base in from the building's northeast corner, with its terra cotta window trim and stringcourses;
- the remaining bays of the brown rug brick base, with their terra cotta stringcourses and double-hung windows;
- the seven brown rug brick floors of the shaft and its windows with terra cotta sills; and,
- the upper two storeys and overhanging cornice – the capital of the composition – completely executed in white-glazed terra cotta and lit by windows that follow the fenestration pattern in the shaft.

### West Elevation

Heritage attributes of the west elevation include:

- the brown polished granite foundation veneer;
- the limestone ground floor and its bays of bronze storefronts;
- the limestone mezzanine and second floors containing eight bays of slender round-arched window pairs;

- the nine floors in the tower shaft where columns of windows with bronze spandrels ascend the lightly coloured brick curtain wall;
- the arcaded brick cornice and stone coping terminating the shaft; and,
- the rooftop pavilion, which is two bays wide on the west.

#### South Elevation (Rear Elevation)

Heritage attributes of the south or rear elevation include:

- the slender portion of the south elevation where the brick and terra cotta of the east elevation wrap around to the south elevation.

#### Interior

Heritage attributes of the interior include:

- the lobby and mezzanine space, their Classical columns, beamed and panelled ceiling, and other surviving features of the original design.



Appendix A: Illustrations

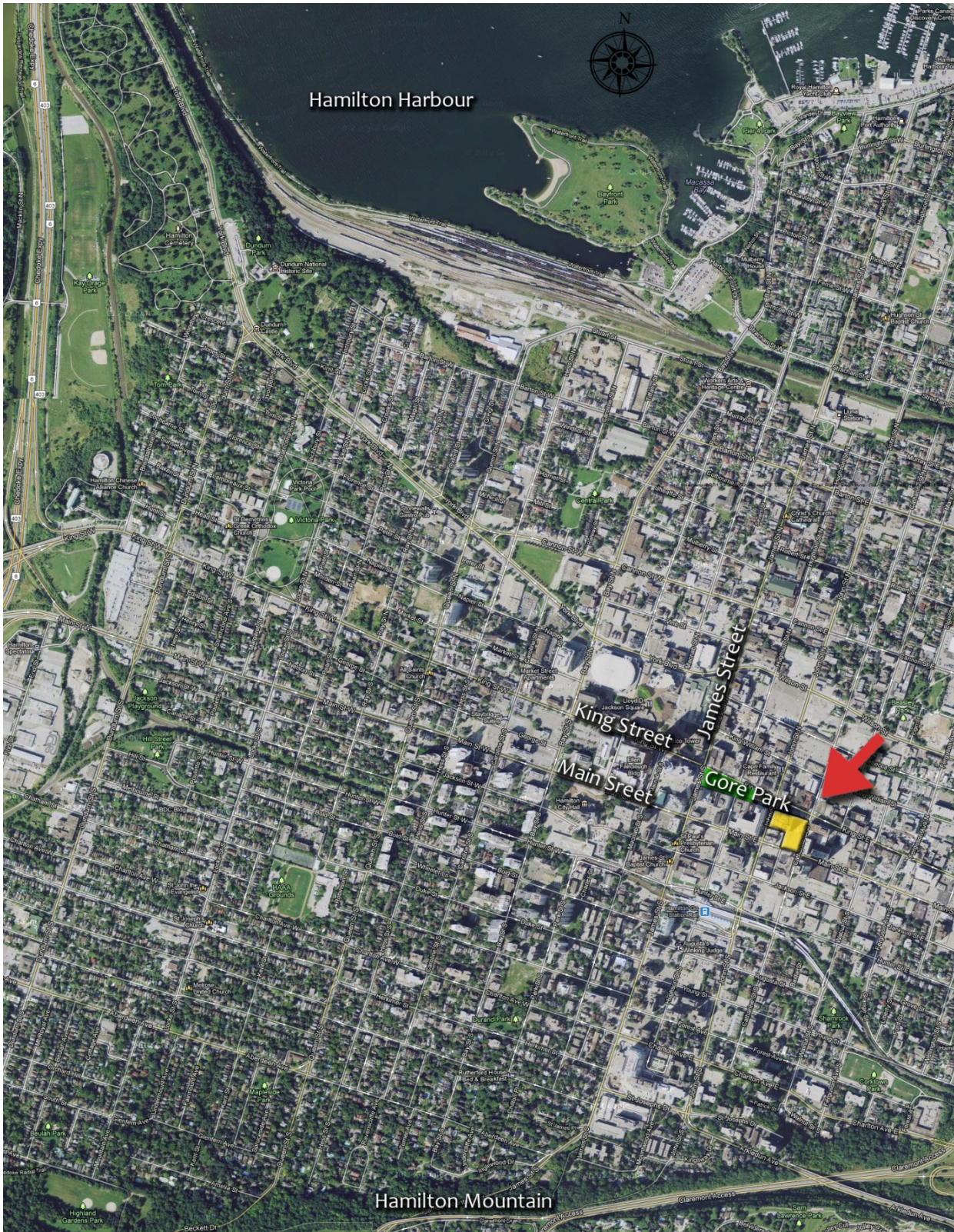


Fig. 2 Royal Connaught Hotel identified by an arrow added to a Google air photo covering central Hamilton, 2013



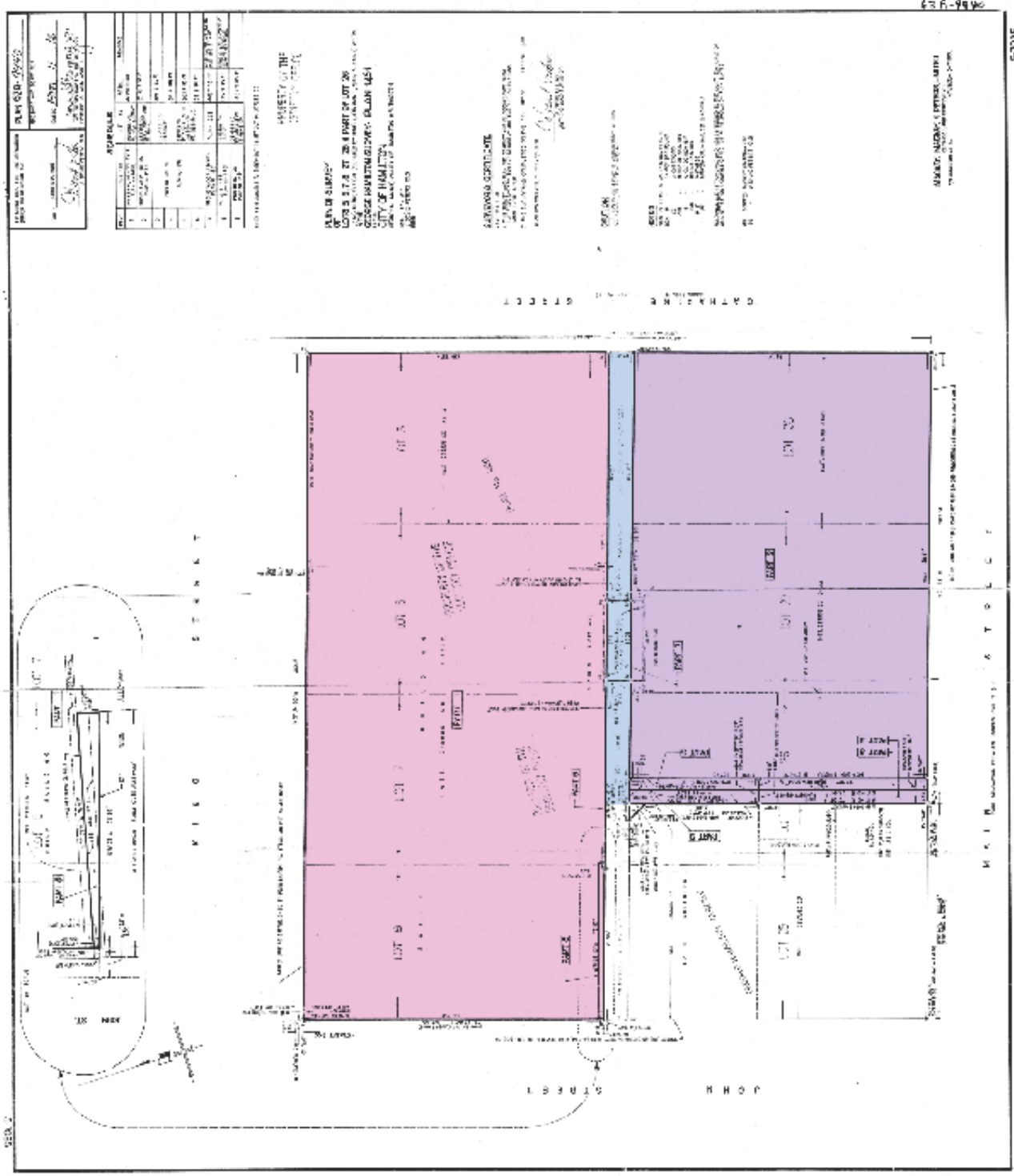


Fig. 3 J. David Peters, "Plan of Survey of Lots 5, 6, 7, 8, 27, 28 & Part of Lot 26 being in the block bounded by King, Catharine, Main & John Streets in the George Hamilton Survey, Plan 1431, in the City of Hamilton ... - Plan 62R-9940," 1988. The property and the east-west public alley are shown shaded.



212 King Street East looking west from Catharine Street, May 25, at 8:05 a.m. c. 1899-1905. *Public Archives of Canada*

Fig. 4 "King Street East looking west from Catharine Street, May 25, at 8:05 a.m. c. 1899-1905. Public [National] Archives of Canada," published in T. Melville Bailey et al, *Around and About Hamilton, 1785-1985* (Hamilton, Ont.: Head-of-the-Lake Historical Society, 1986), p. 70.



Fig. 5 Top left: Canadian Express Building, Montreal in *Montreal Architecture: A Guide to Styles and Buildings*, p. 126; Top right: Traders Bank of Canada, Toronto in *Toronto Architecture: A City Guide*, p. 88; Bottom Left: Bank of Hamilton, Hamilton from Hamilton Public Library PreView Image Database; Bottom Right: Federal Life Assurance Company Head Office, Hamilton in *The Federal Life Assurance Co. of Canada Directors' Report for 1913*, Hamilton Central Library.



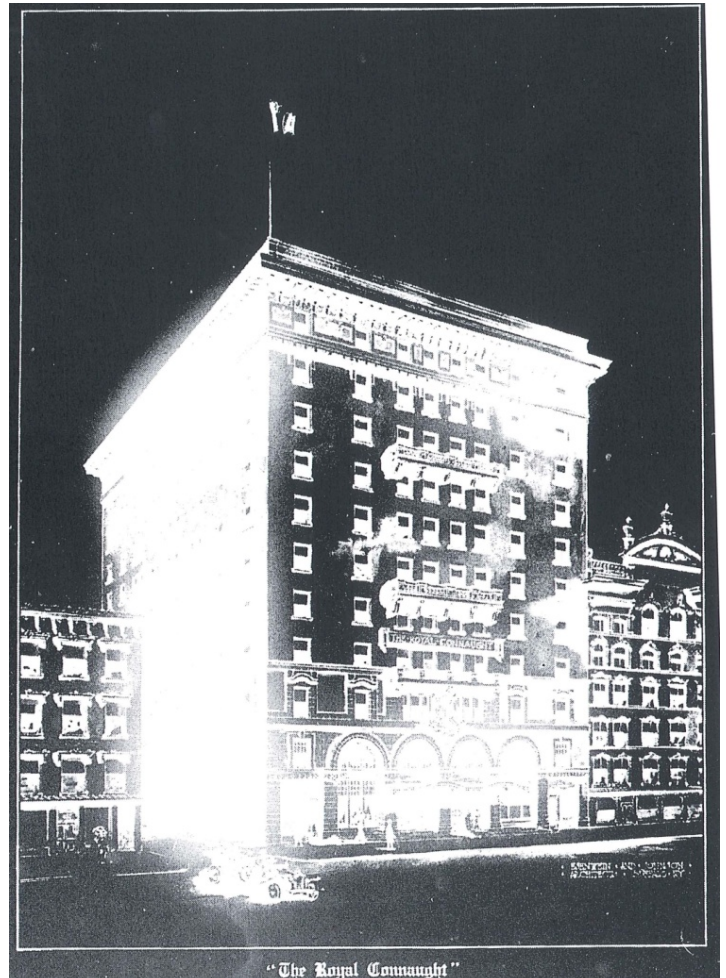


Fig. 6 Hamilton Hotel Company Ltd., *Prospectus of The Hamilton Hotel Company Limited*, 30 Jan. 1913: "The Royal Connaught." The cropped image on the left is from the Hamilton Public Library PreView Image Database, and the full perspective on the right is from microfiche seen at the Toronto Reference Library.

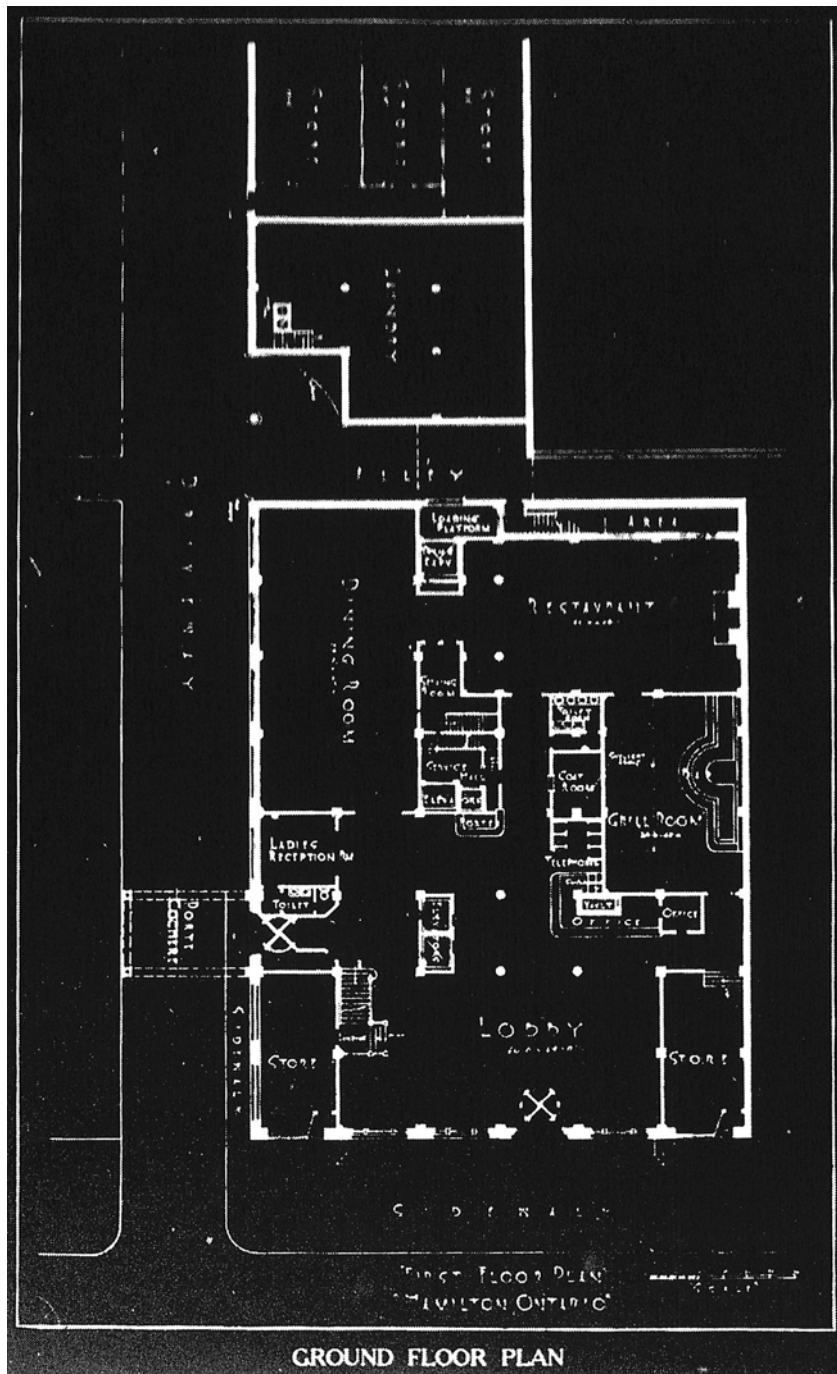


Fig. 7 Hamilton Hotel Company Ltd., *Prospectus of The Hamilton Hotel Company Limited*, 30 Jan. 1913: Ground Floor Plan.

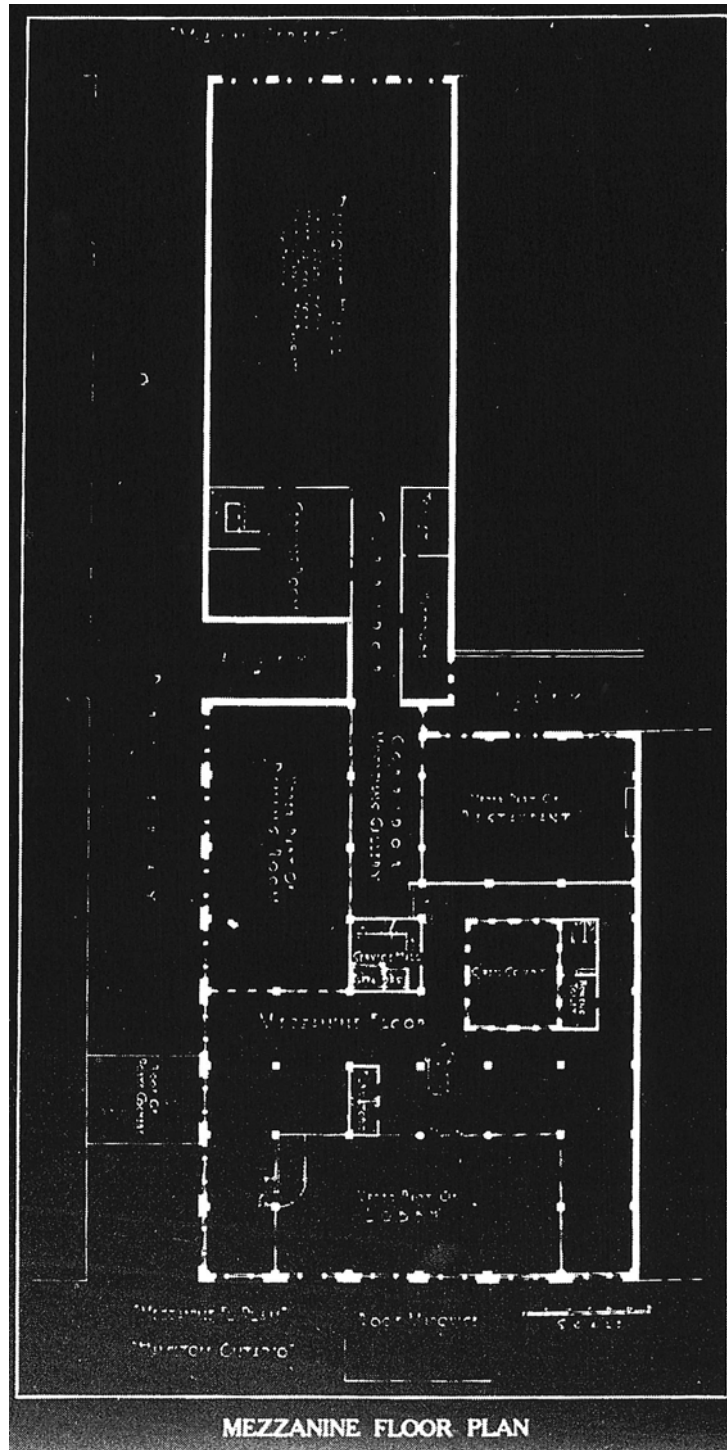


Fig. 8 Hamilton Hotel Company Ltd., *Prospectus of The Hamilton Hotel Company Limited*, 30 Jan. 1913: Mezzanine Floor Plan.







Fig. 10 Top: Hotel Statler, Buffalo; Bottom: General Electric Building, Buffalo; both reproduced at [www.buffaloah.com](http://www.buffaloah.com).

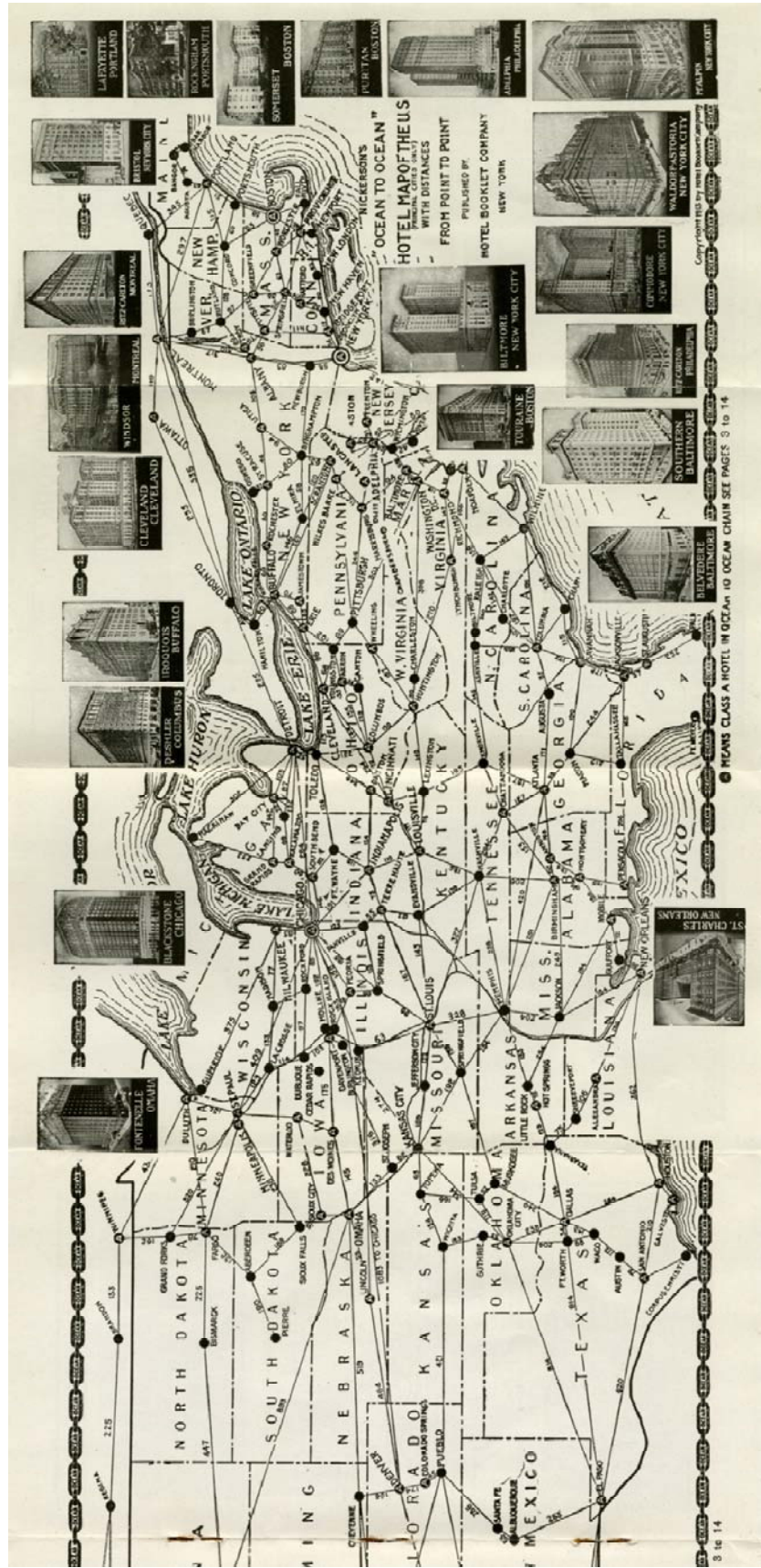


Fig. 11 Detail from "Nickerson's 'Ocean to Ocean' Hotel Map of the U.S. (Principal Cities Only) with Distances from Point to Point," 1913, published in V.G. Cardy, *Class A Hotels: Points about Hamilton and New York* (New York: Hotel Booklet Co., [1912/1919?]), North York Central Library.



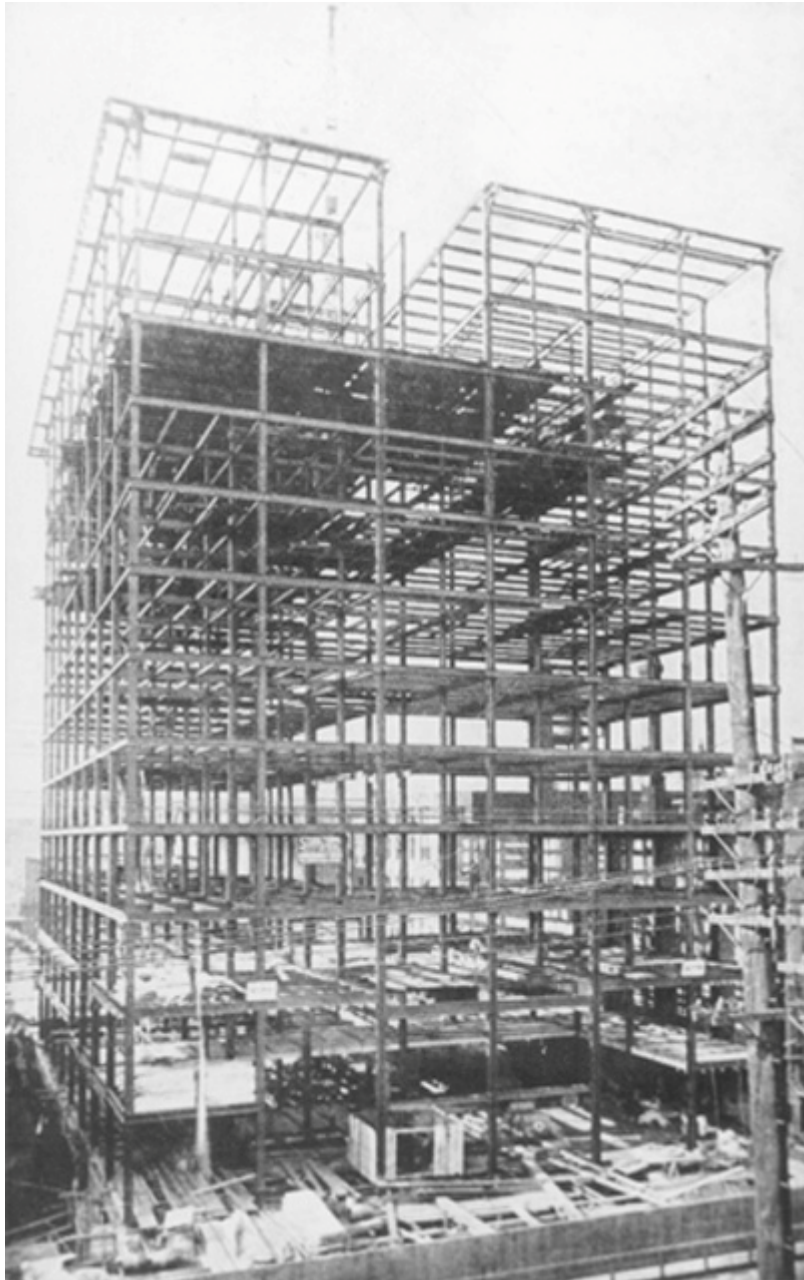


Fig. 12 Photograph of the hotel's steel frame under construction, 191?, PreView Image Database, Hamilton Public Library, [www.preview.hpl.ca](http://www.preview.hpl.ca).

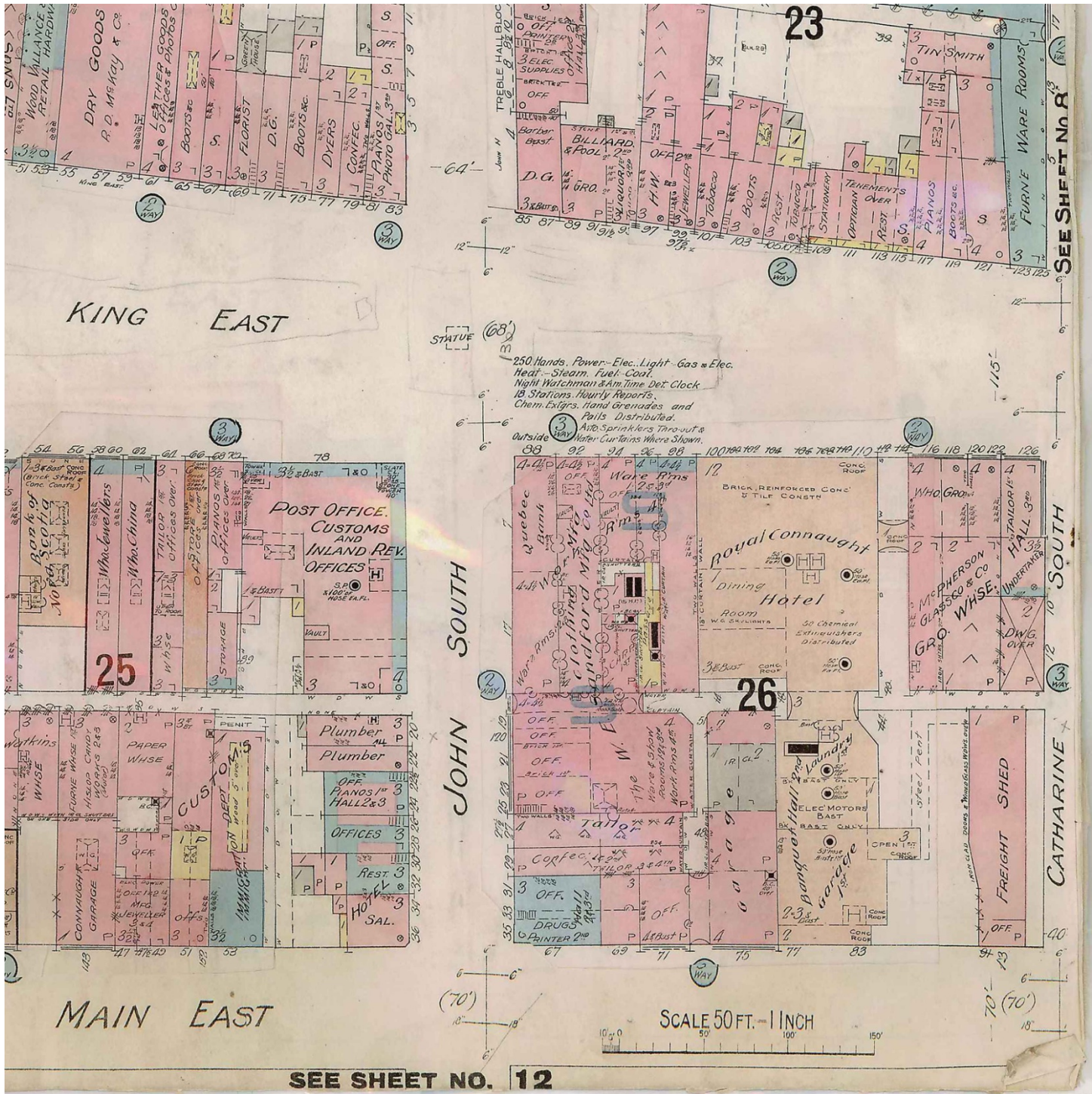
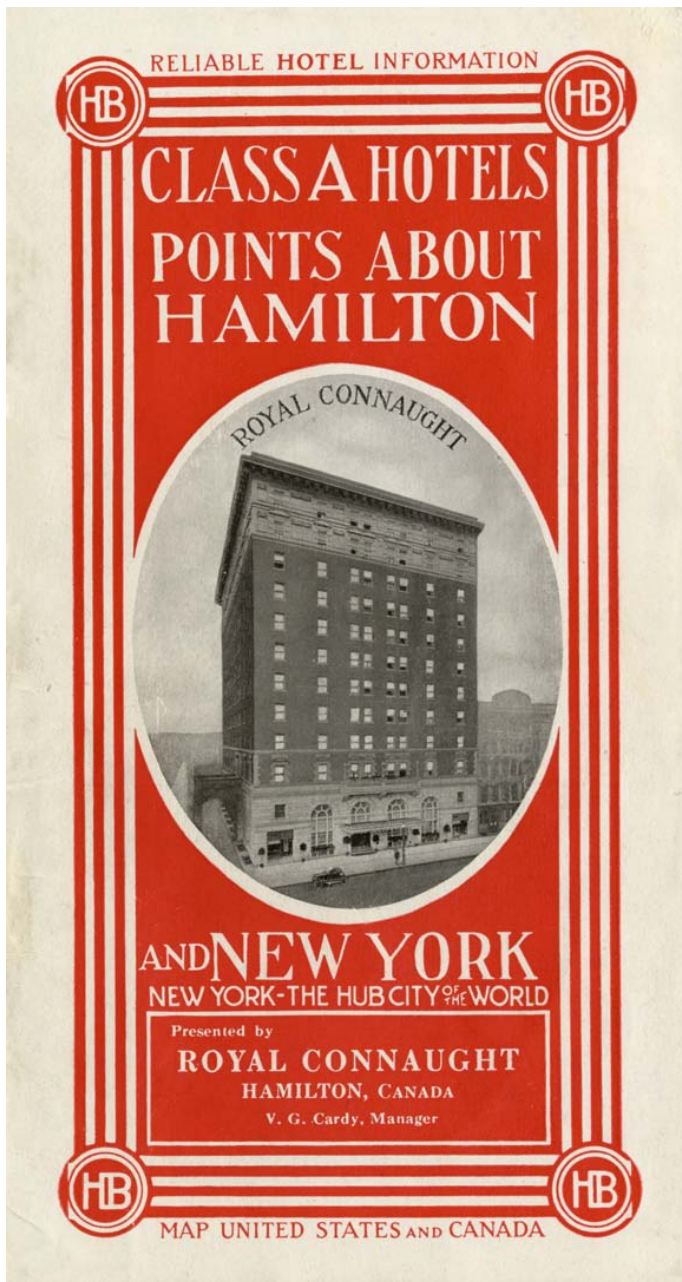


Fig. 13 Detail from Charles E. Goad, "Insurance Plan of the City of Hamilton, Ontario, Canada" (Toronto, Montreal & Winnipeg: Charles E. Goad, Aug. 1916), pl. 7, Hamilton City Hall.





The Lobby—Royal Connaught

**ROYAL CONNAUGHT**  
HAMILTON, CANADA

DIRECTION UNITED HOTELS COMPANY OF AMERICA

A new hotel which bears worthily an honored name, and exemplifies the public spirit of Hamilton's leading citizens.

The highest type of hotel construction, decoration and furnishings. It is the Mecca for the social life of Hamilton.

GEORGE H. O'NEIL, General Manager

V. G. CARDY, Resident Manager



The Mezzanine—Royal Connaught

Fig. 14 Cover and frontispiece in V.G. Cardy, *Class A Hotels: Points about Hamilton and New York* (New York: Hotel Booklet Co., [1912/1919?]), North York Central Library.





ROYAL CONNAUGHT  
Hamilton, Canada

Fig. 15 Emerson D. Owen, *United Hotels Company of America: The premier chain of first class hotels in the United States and Dominion of Canada; Affiliated – The American Hotels Corporation* (New York: United Travel and Hotel Bureau, n.d.), Hamilton City Hall.



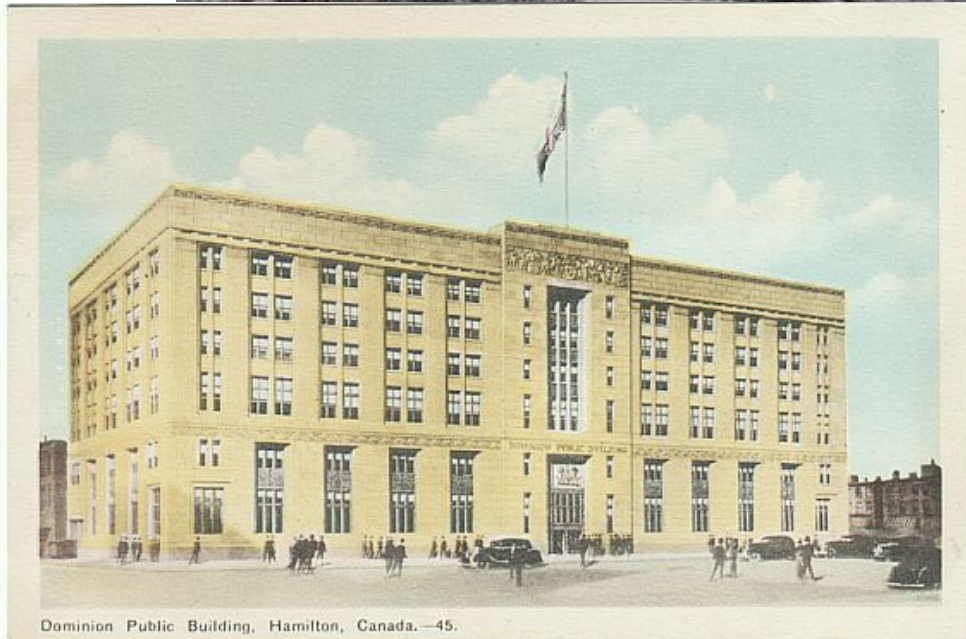


Fig. 16 Top: E.C. Kropp Co., "Interior Royal Connaught Hotel, Hamilton, Ont., Canada," postmarked 13 Jan. 1919, [www.hamiltonpostcards.com/pages/royalconnaught.html](http://www.hamiltonpostcards.com/pages/royalconnaught.html); Bottom: E.C. Kropp Co., "Mezzanine Floor, Royal Connaught Hotel, Hamilton, Canada," n.d., [www.hamiltonpostcards.com/pages/royalconnaught.html](http://www.hamiltonpostcards.com/pages/royalconnaught.html).





Norton Palmer Hotel, Windsor, Canada.—21.



Dominion Public Building, Hamilton, Canada.—45.

Fig. 17 Top: Norton Palmer Hotel, Windsor, Canada, an undated post card reproduced at [www.playle.com](http://www.playle.com); Middle: Basilica of Christ the King, Hamilton, 1937, PreView Image Database, Hamilton Public Library, [www.preview.hpl.ca](http://www.preview.hpl.ca); Bottom: Dominion Public Building, Hamilton, Canada, an undated post card reproduced at [www.playle.com](http://www.playle.com).



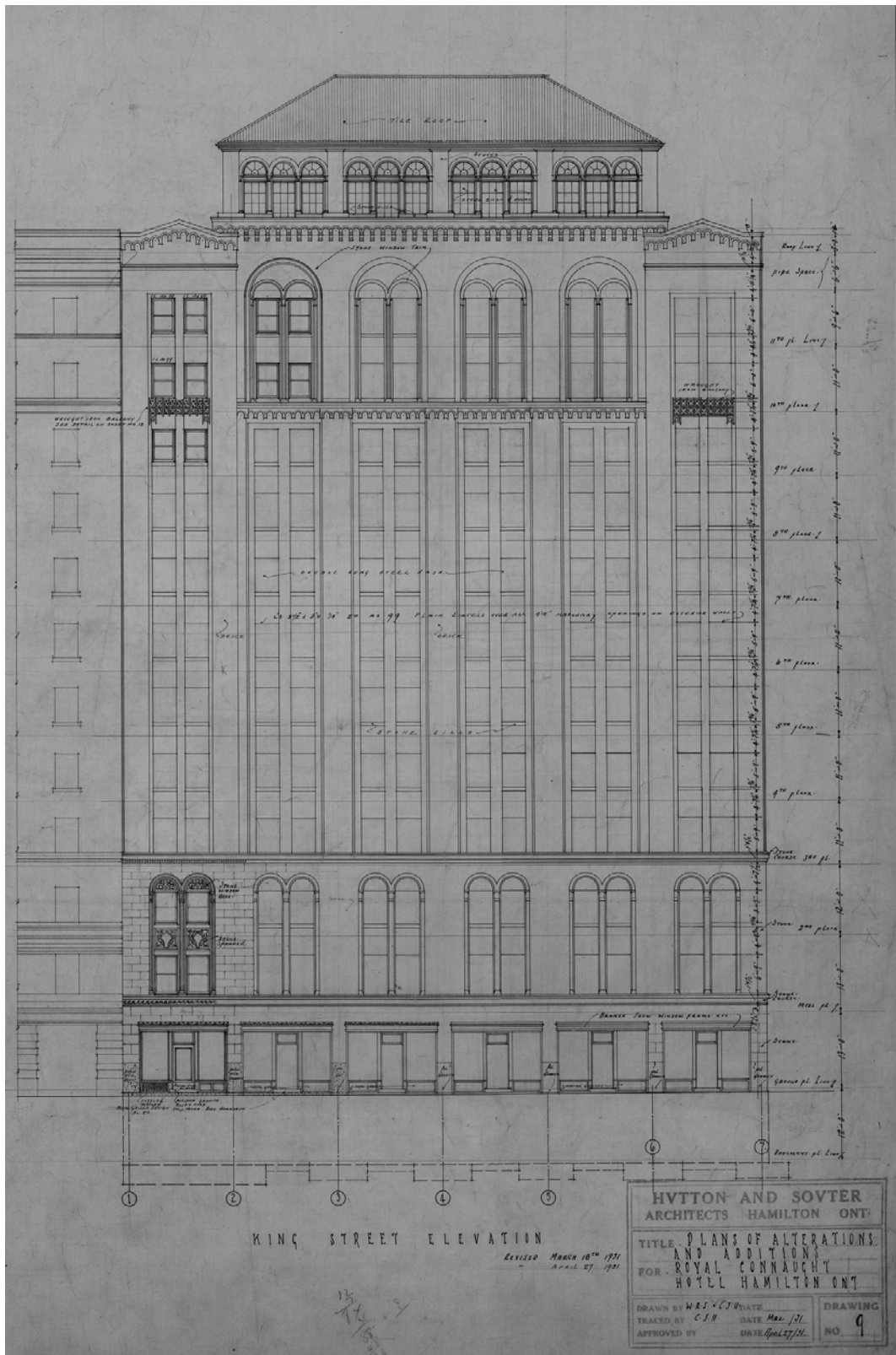


Fig. 18 Hutton & Souter, Architects, "Plans of Alterations and Additions for Royal Connaught Hotel Hamilton," 27 Apr. 1931, Souter, Bell, Howard and Souter Fonds, Archives of Ontario, C12-1-0-458, Container # L-717, Barcode B732587, Drawing No. 9 – King Street Elevation.

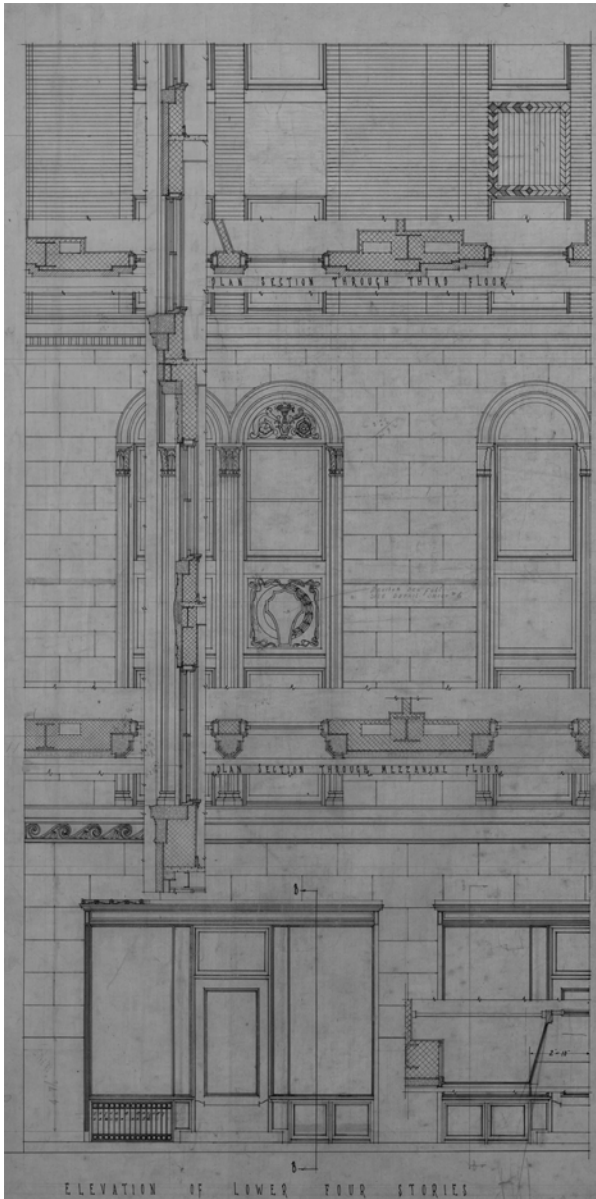


Fig. 19 Hutton & Souter, Architects, "Plans of Alterations and Additions for Royal Connaught Hotel Hamilton," 27 Apr. 1931, Souter, Bell, Howard and Souter Fonds, Archives of Ontario, C12-1-0-458, Container # L-717, Barcode B732587, Drawing No. 12 – Elevation of Lower Four Stories & Elevation of Top Three Stories.

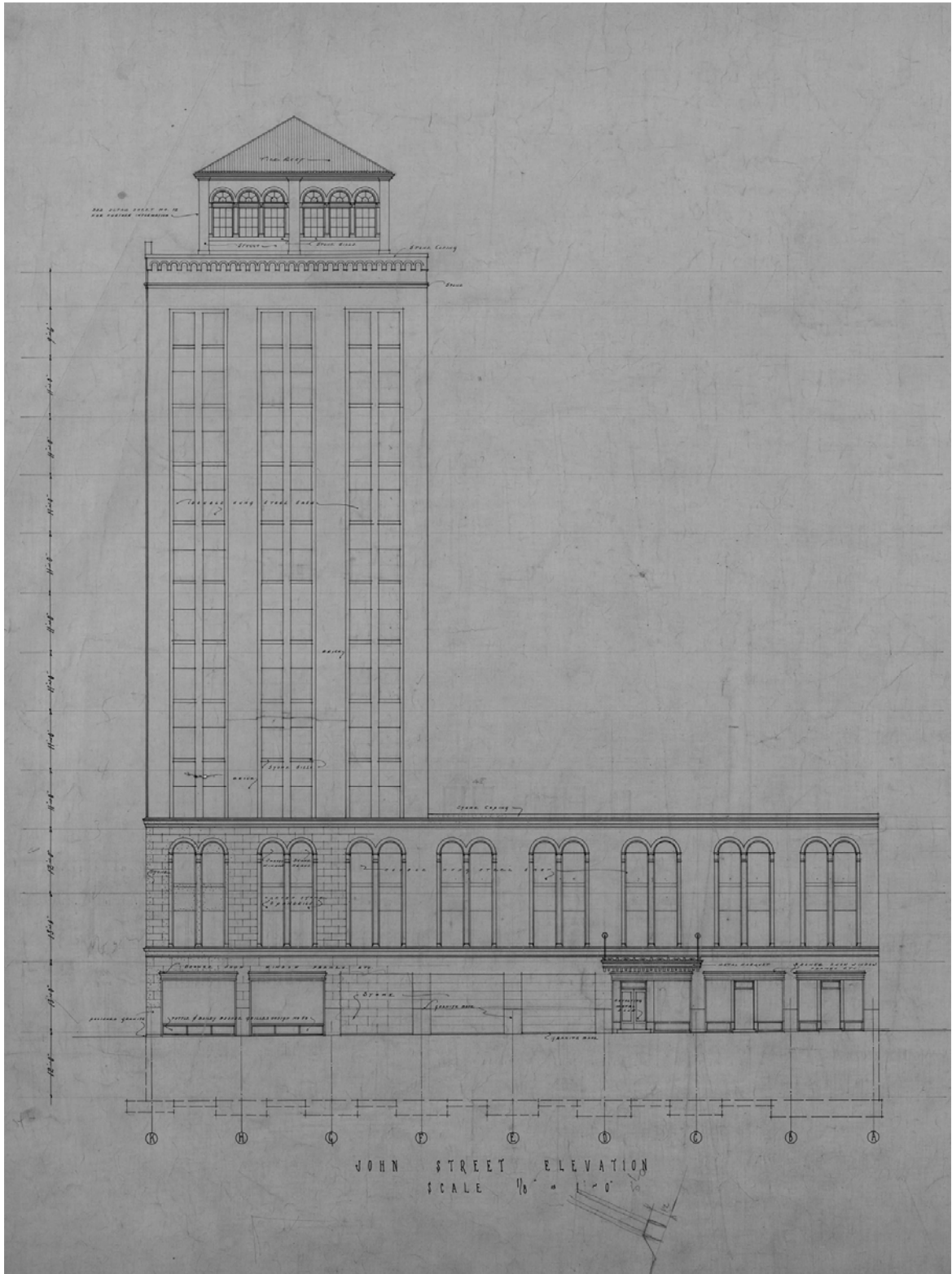


Fig. 20 Hutton & Souter, Architects, "Plans of Alterations and Additions for Royal Connaught Hotel Hamilton," 27 Apr. 1931, Souter, Bell, Howard and Souter Fonds, Archives of Ontario, C12-1-0-458, Container # L-717, Barcode B732587, Drawing No. 10 – John Street Elevation.

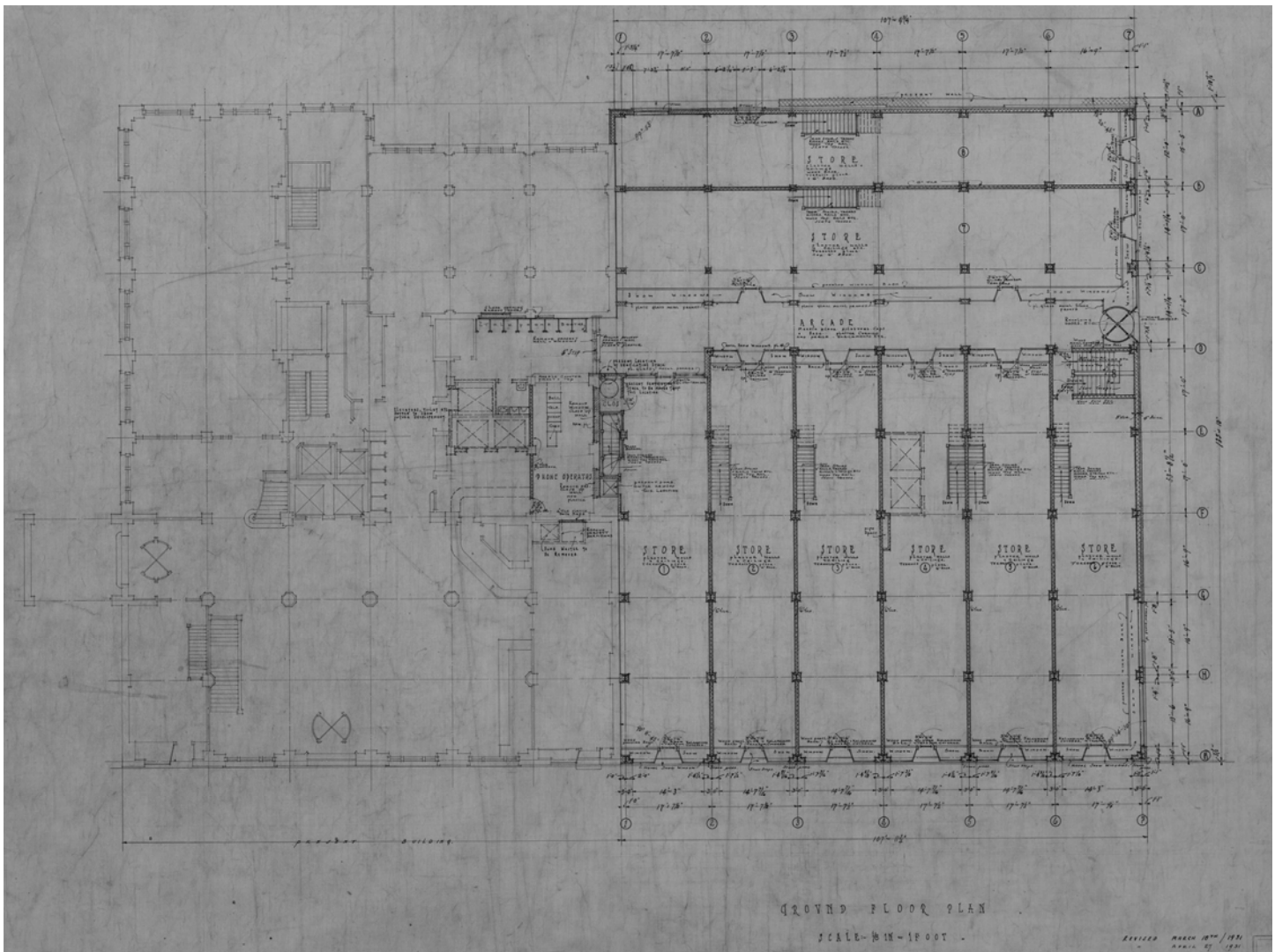


Fig. 21 Hutton & Souter, Architects, "Plans of Alterations and Additions for Royal Connaught Hotel Hamilton," 27 Apr. 1931, Souter, Bell, Howard and Souter Fonds, Archives of Ontario, C12-1-0-458, Container # L-717, Barcode B732587, Drawing No. 2 – Ground Floor Plan.

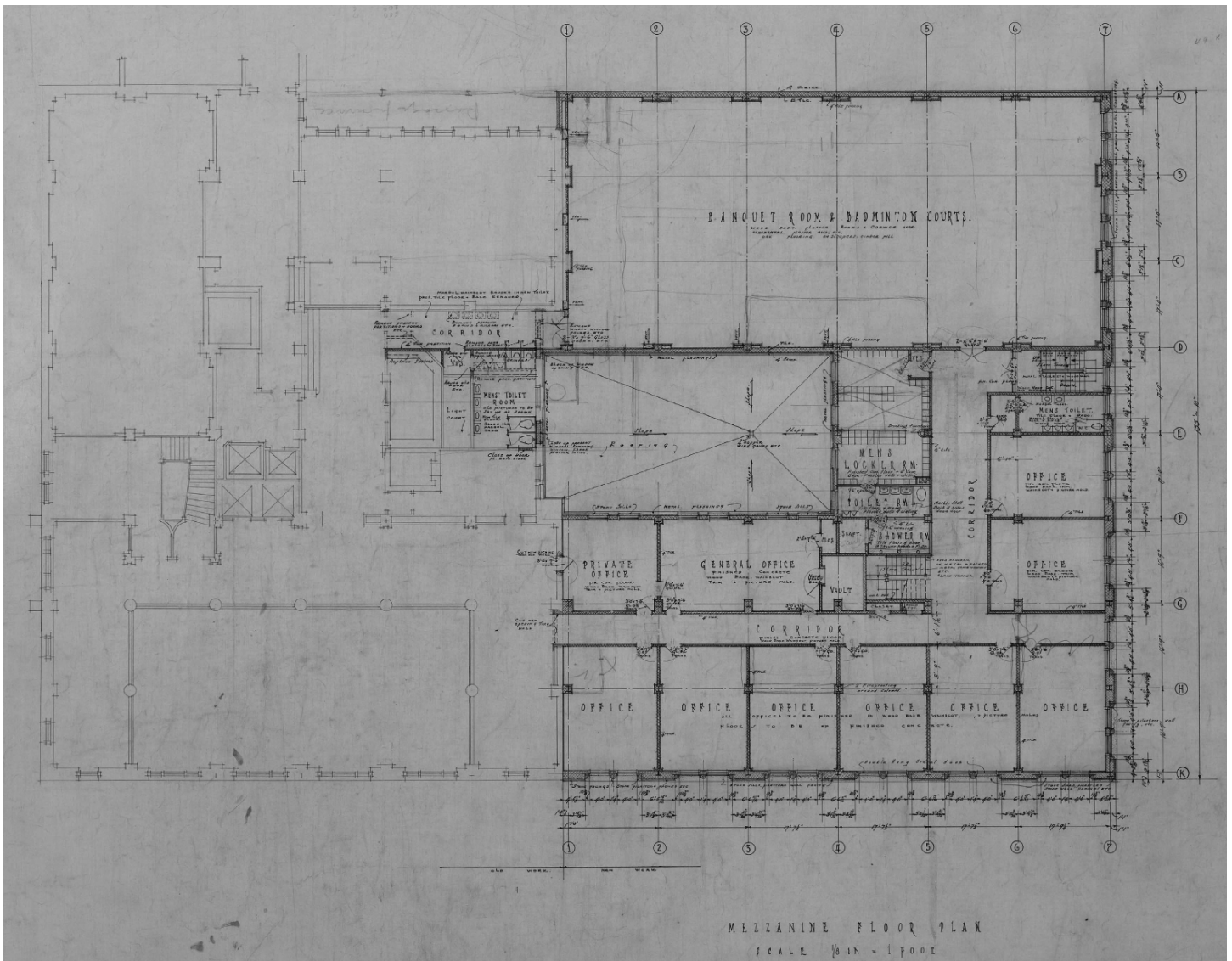


Fig. 22 Hutton & Souter, Architects, "Plans of Alterations and Additions for Royal Connaught Hotel Hamilton," 27 Apr. 1931, Souter, Bell, Howard and Souter Fonds, Archives of Ontario, C12-1-0-458, Container # L-717, Barcode B732587, Drawing No. 3 – Mezzanine Floor Plan.



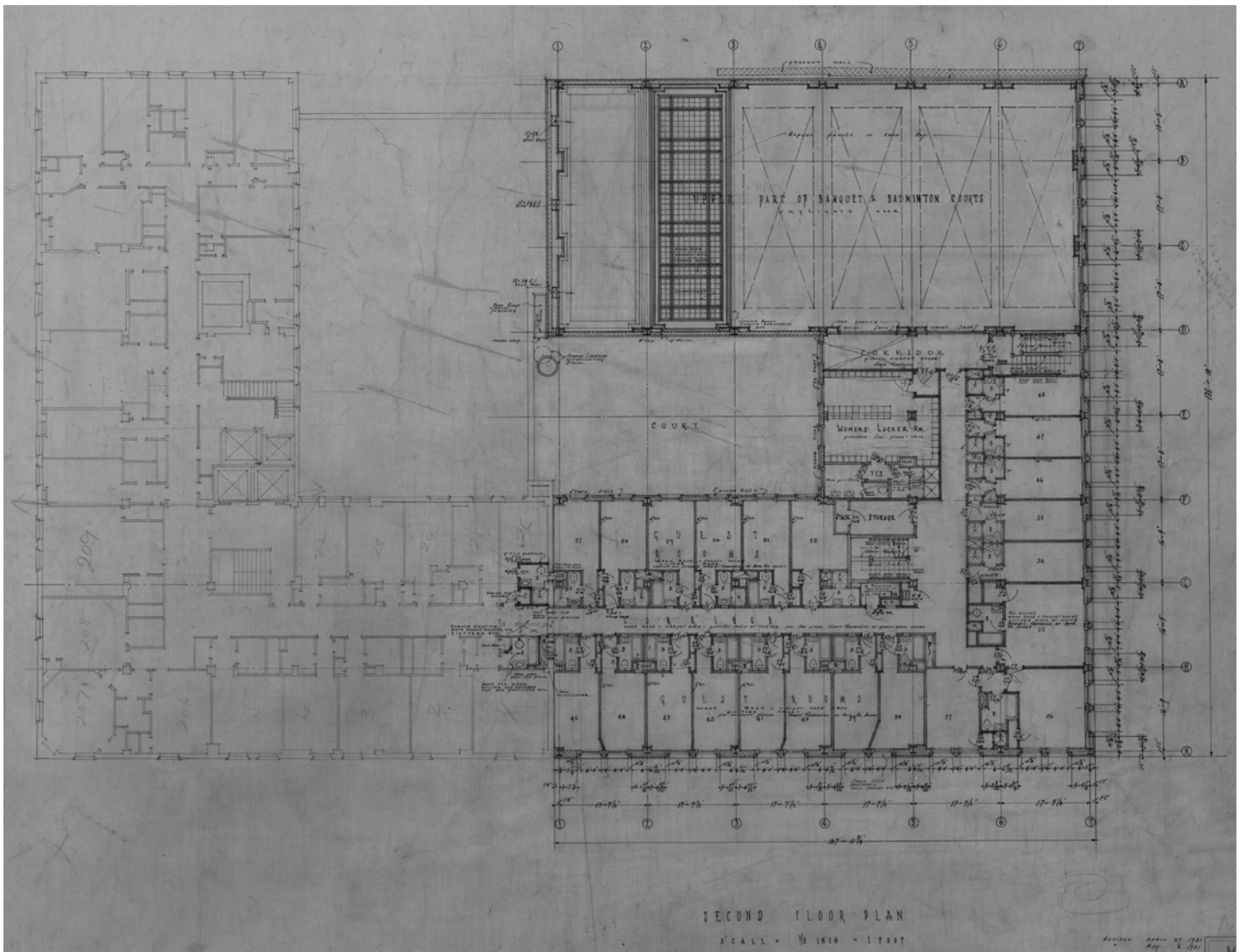


Fig. 23 Hutton & Souter, Architects, "Plans of Alterations and Additions for Royal Connaught Hotel Hamilton," 27 Apr. 1931, Souter, Bell, Howard and Souter Fonds, Archives of Ontario, C12-1-0-458, Container # L-717, Barcode B732587, Drawing No. 4 – Second Floor Plan.

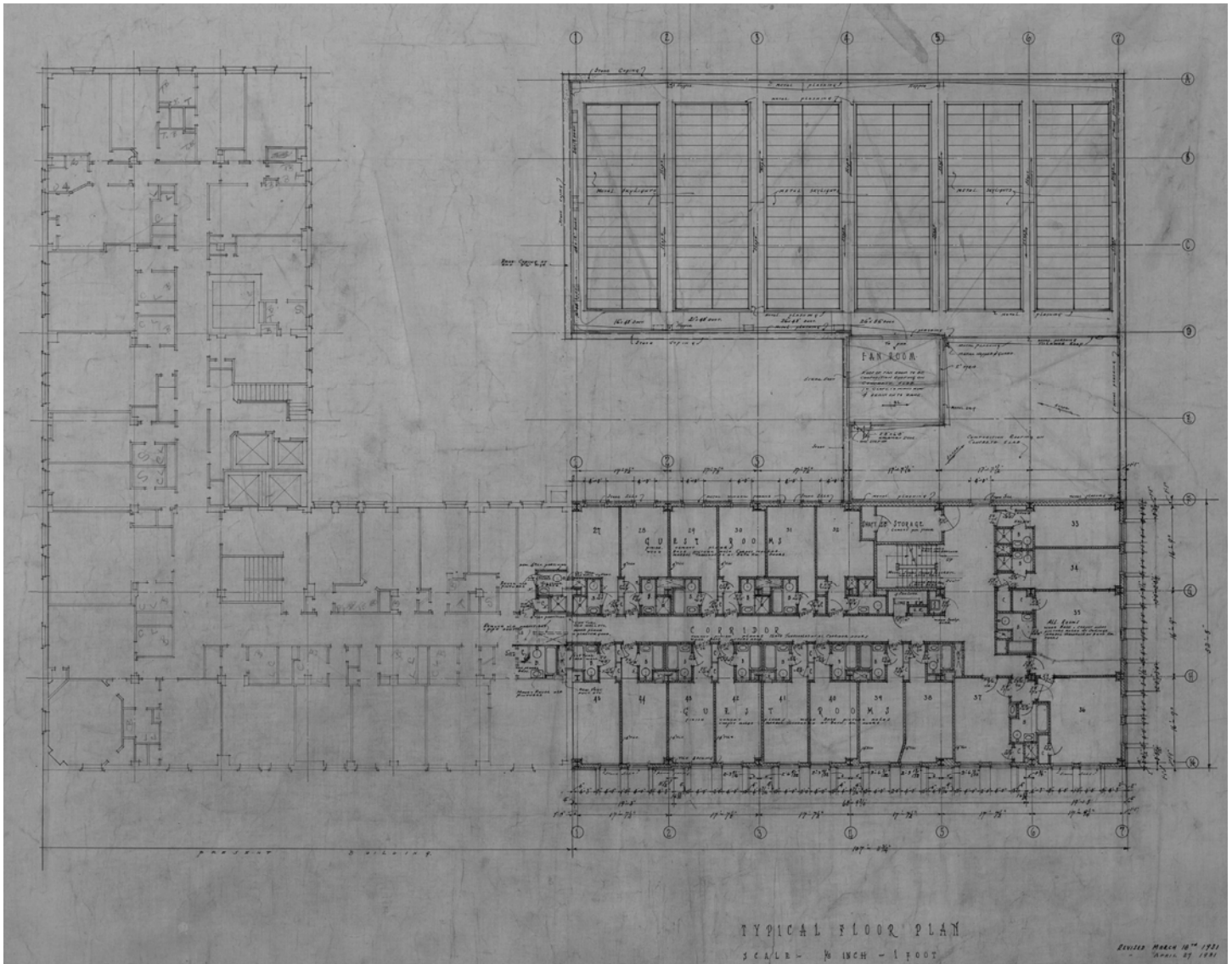


Fig. 24 Hutton & Souter, Architects, "Plans of Alterations and Additions for Royal Connaught Hotel Hamilton," 27 Apr. 1931, Souter, Bell, Howard and Souter Fonds, Archives of Ontario, C12-1-0-458, Container # L-717, Barcode B732587, Drawing No. 5 – Typical Floor Plan.



The Lobby



The Arcade



The Circus Roof

Fig. 25 Royal Connaught Hotel, *The Royal Connaught Hotel: To Commemorate 25 Years of Community Service* [Hamilton, Ont.: Royal Connaught Hotel, 1941], Hamilton Central Library.





Fig. 26 Left: Aerial view of Downtown Hamilton, 1945, PreView Digital Database, Hamilton Public Library, [www.preview.hpl.ca](http://www.preview.hpl.ca); Right: Undated post card showing the Royal Connaught Hotel, 1940s?, PreView Digital Database.

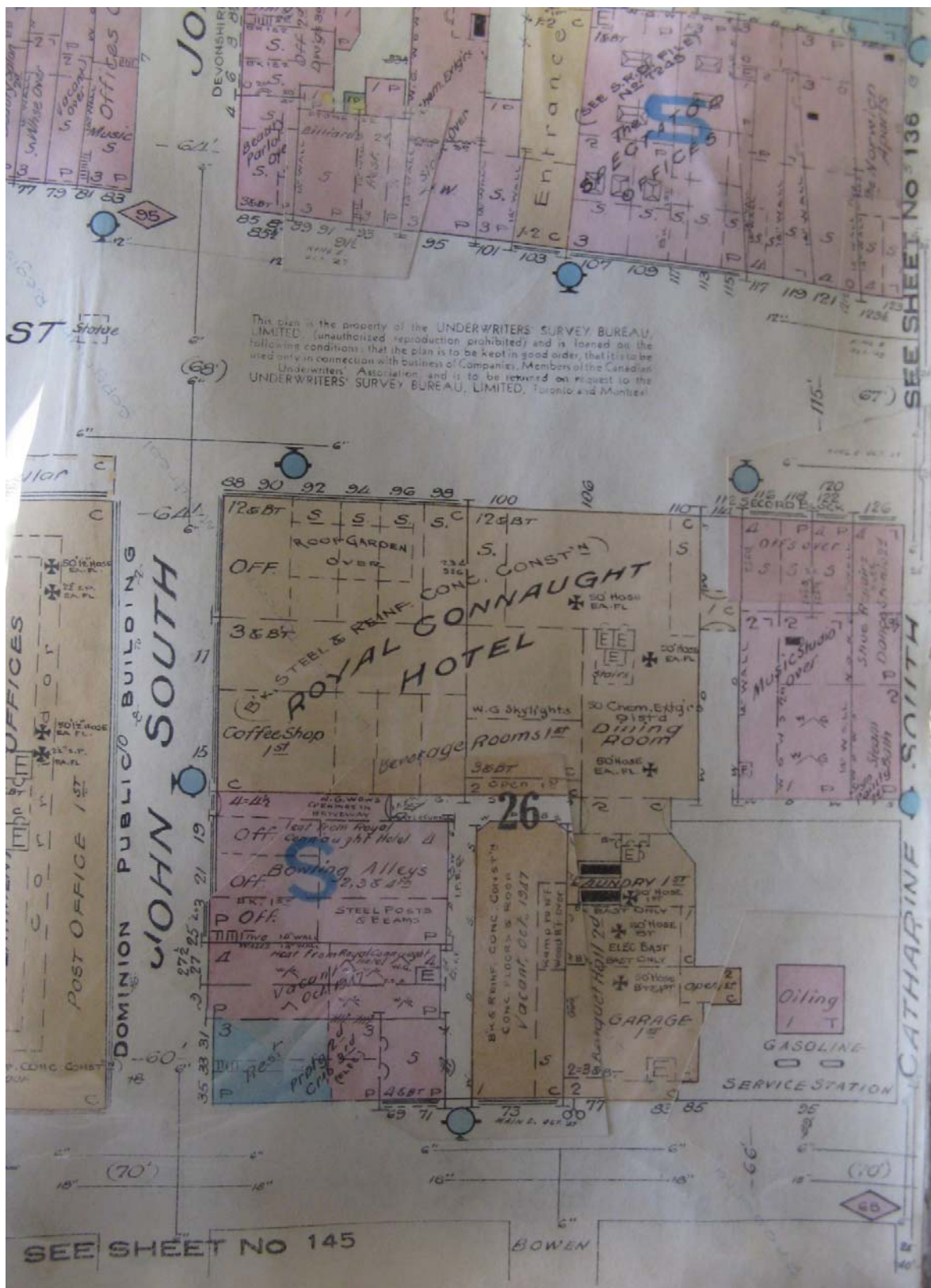


Fig. 27 Detail from Underwriters' Survey Bureau, "Insurance Plan of the City of Hamilton, Ont." (Toronto & Montreal: Underwriters' Survey Bureau, rev. Oct. 1947), pl. 135, Hamilton Central Library.





KING Cenotaph E. Statue

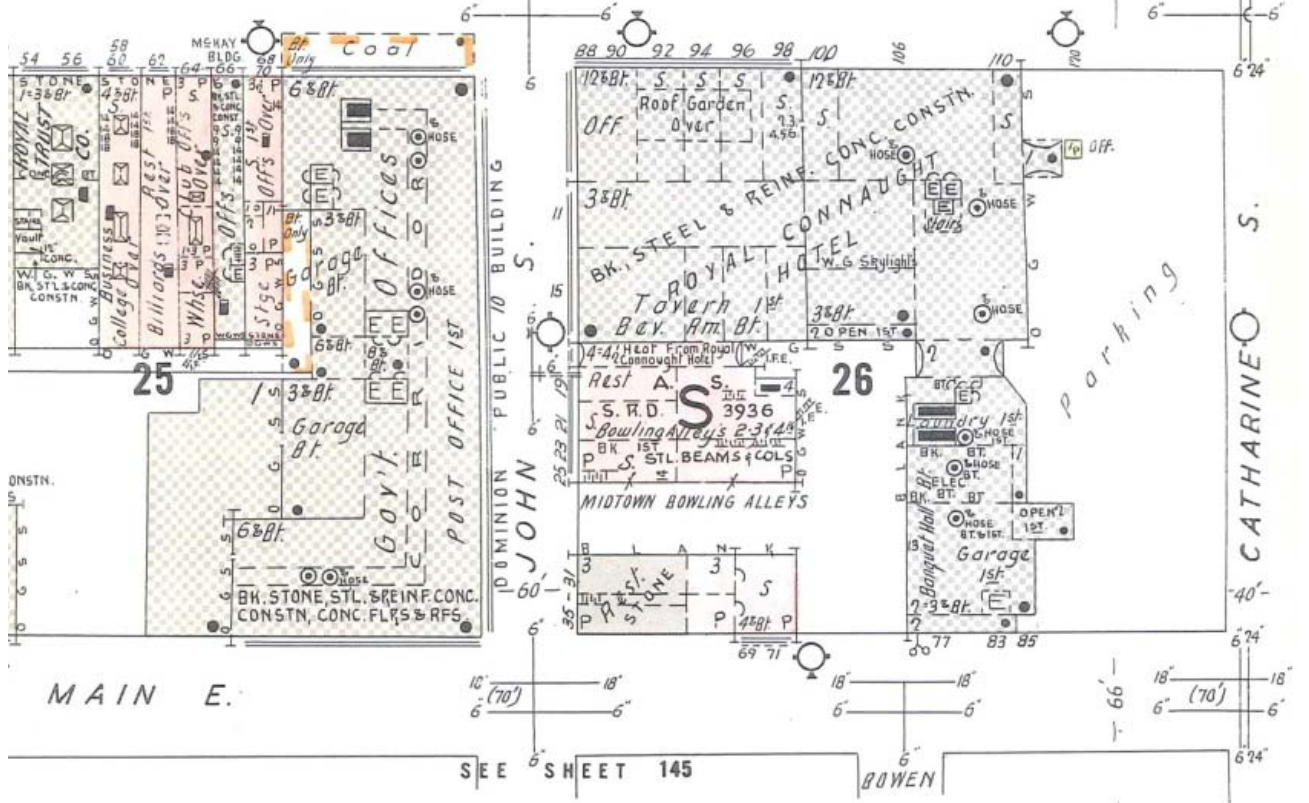
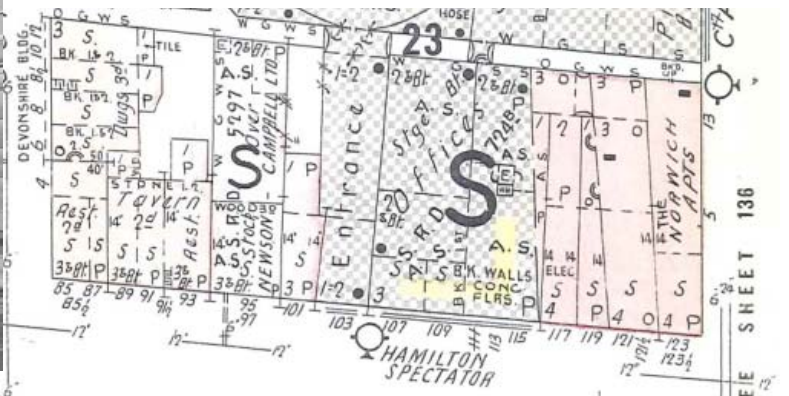


Fig. 28 Top: Photograph of east elevation's base, the porte-cochère and adjacent parking lot, 1960, PreView Digital Database, Hamilton Public Library, [www.preview.hpl.ca](http://www.preview.hpl.ca); Bottom: Detail from Underwriters' Survey Bureau, "Insurance Plan of the City of Hamilton." V. 1 (Toronto: Underwriters' Survey Bureau, Apr. 1964), Toronto Reference Library.



Fig. 29 Undated photograph [197?], PreView Digital Database, Hamilton Public Library, [www.preview.hpl.ca](http://www.preview.hpl.ca).





Fig. 30 Corner view of the hotel's east elevation and front facade and the King Street East streetscape, looking west from Catharine Street North



Fig. 31 Corner view of the front facade and west tower's west elevation, looking east from the King Street East island (notice the corner of the old Dominion Public Building on the far right of the frame)



Fig. 32 South side of King Street East, looking east from Hughson Street (arrow points to rooftop pavilion)





Fig. 33 View of hotel from James Street North, looking southeast across Gore Park





Fig. 34 East side of John Street South, looking south



Fig. 35 East side of John Street South, looking north



Fig. 36 View of hotel, looking north from Main Street East and John Street South



Fig. 37 Corner view of the south (rear) and east elevations from the east side of Catharine Street South (note Dominion Public Building on west side of John Street South)



Fig. 38 Corner view of the rear and east elevations from Main Street East and Catharine Street South, looking north to the north side of King Street East





Fig. 39 Front facade (north elevation)





Fig. 40 Main entrance



Fig. 41 Detail of stone balustrade of balcony above the main entrance





Fig. 42 Terra cotta surrounds for windows above the main entrance



Fig. 43 East end of front facade's base



Fig. 44 Detail of ground-floor stone stringcourse decorated with roundels

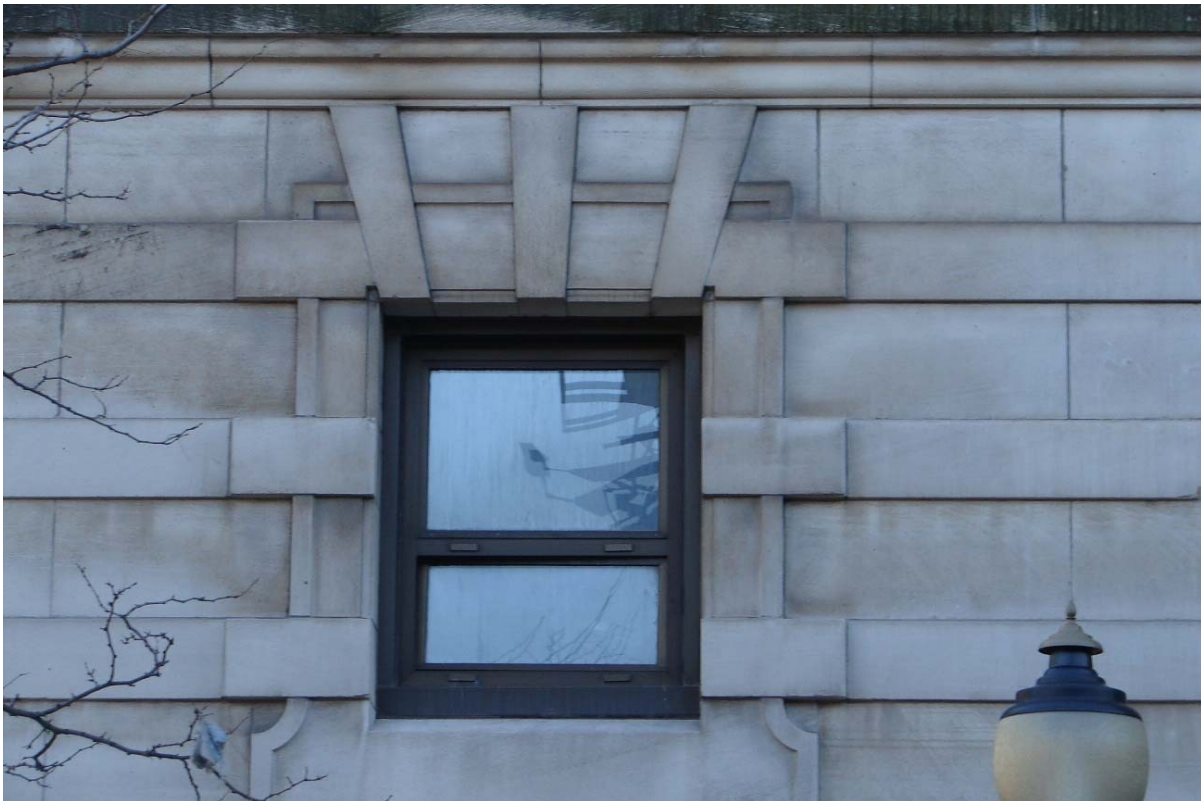


Fig. 45 Mezzanine-floor window with quoins and exaggerated voussoirs and keystone for its stone surrounds





Fig. 46 Second-floor window with terra cotta surrounds



Fig. 47 Shaft and capital of Edwardian building's front facade





Fig. 48 Pair of windows in shaft



Fig. 49 Detail of terra cotta upper floors in front facade of Edwardian building





Fig. 50 Detail of ground floor in Art Deco addition



Fig. 51 Brown polished granite foundation veneer



Fig. 52 Typical storefront on ground floor



Fig. 53 Detail of metal panels in storefront





Fig. 54 Detail of ground-floor stringcourse in Art Deco wave pattern



Fig. 55 Pair of round-arched windows lighting mezzanine and second floors



Fig. 56 Shaft and upper floors in Art Deco addition



Fig. 57 Windows in shaft





Fig. 58 Window pair on upper floors



Fig. 59 Wrought-iron balcony in outer bay of upper floors





Fig. 60 East elevation





Fig. 61 Northernmost three bays of the east elevation's base



Fig. 62 Detail of ground-floor stonework





Fig. 63 Stone window surrounds



Fig. 64 Terra cotta window surrounds



Fig. 65 East entrance (originally, the ladies' entrance) and oriel window above



Fig. 66 Fanlight and stone arch over east entrance





Fig. 67 Oriel window in limestone, terra cotta and rug brick



Fig. 68 Detail of upper two floors in terra cotta





Fig. 69 Top: West elevation's tower shaft; Bottom: West elevation's base



Fig. 70 Marquee frame over John Street South entrance



Fig. 71 Bays nearest King Street East on west elevation's base





Fig. 72 Storefront in west elevation's ground floor (note also brown polished granite foundation veneer and limestone stringcourse in an Art Deco wave pattern)

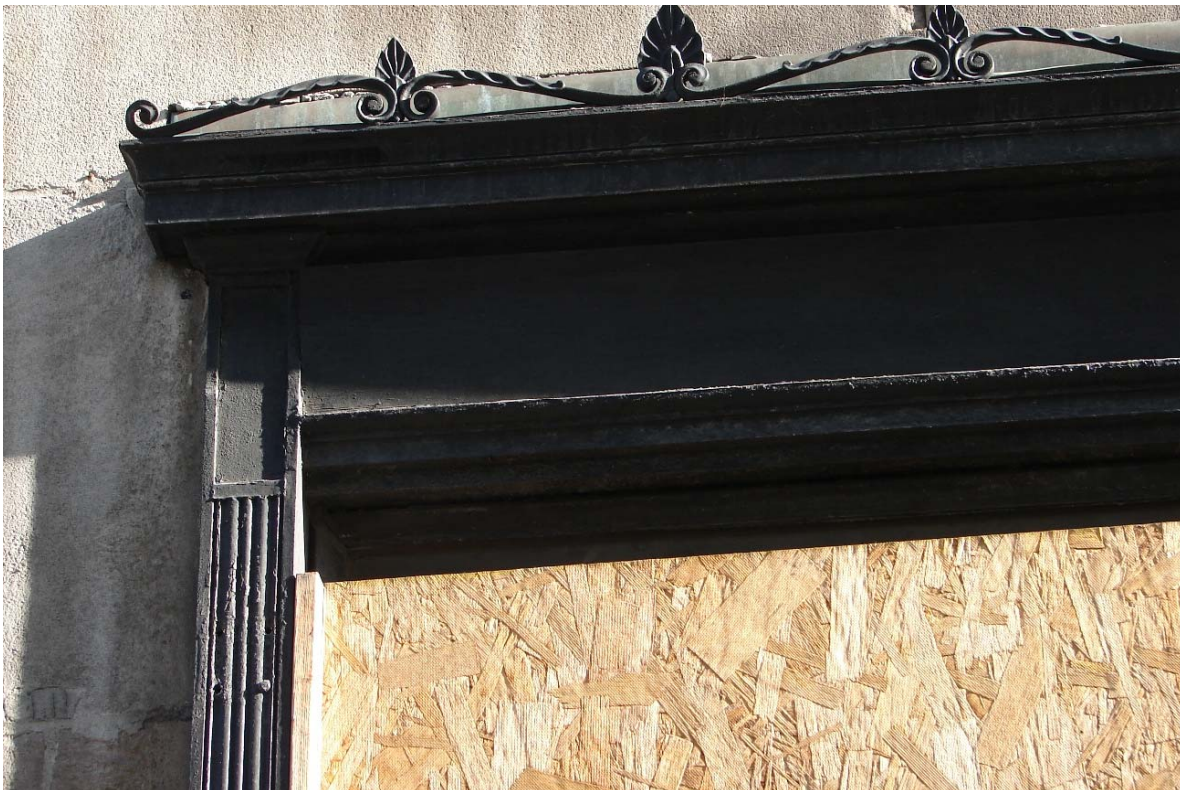


Fig. 73 Detail of storefront, showing top of fluted pilaster, entablature and crestring





Fig. 74 Window pairs on mezzanine and second floors of west elevation's base (note also dentils in cornice above)



Fig. 75 Windows in west elevation's tower shaft (note bronze spandrels in the Art Deco style)





Fig. 76 Rear (south) elevation



Fig. 78 Concrete foundation wall of former swimming pool



Fig. 77 Top of the rear elevation of Art Deco addition





Fig. 79 Lobby in 2009



Fig. 80 Mezzanine in 2009



Fig. 81 Lobby in 2011



Fig. 82 Mezzanine in 2011

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## **Appendix C: Qualifications of Authors**

*Paul Dilse* has specialized in heritage planning and historical study since his graduation from the professional planning school at the University of Waterloo in 1979.

He has written official plan policies on heritage conservation for the former Municipality of Metropolitan Toronto and for the City of Cambridge (his related official plan background study, in which he delineated the boundaries of prospective heritage conservation districts across the municipality, has remained a reference document there for three decades). In association with Peter Stewart, he has surveyed the entire municipality of the Town of Caledon to compile a comprehensive inventory of built heritage resources located on 1,643 properties. Also in collaboration with Mr. Stewart, he has assessed the cultural heritage value of two French Canadian Roman Catholic churches in rural Essex County. He successfully defended their designation under the *Ontario Heritage Act* at the Conservation Review Board. As well, he has documented the cultural heritage landscape of the David Dunlap Observatory in Richmond Hill, whose designation he helped uphold at the Conservation Review Board. He has also provided expert witness testimony at the Ontario Municipal Board, successfully defending the designation of the first heritage conservation district in the Town of Markham; and contributing to the positive outcome in favour of retaining a complex of rare garden apartments in the Leaside neighbourhood of Toronto.

In addition to the Thornhill-Markham heritage conservation district, he has written heritage conservation district plans for Old Port Credit Village in Mississauga (in association with Mr. Stewart), the MacGregor/Albert neighbourhood in Waterloo and Lower Main Street South in Newmarket (also in association with Mr. Stewart). He has conducted a heritage conservation district study of the George Street and Area neighbourhood in Cobourg, which has been designated. For Mr. Stewart's consulting team, he authored a report on the feasibility of establishing heritage conservation districts in Downtown Brampton. Additionally with him, he has prepared conservation-based design guidelines for the historic commercial centres of Alliston, Beeton, Tottenham and Picton. Currently, he is studying three areas in Downtown Whitby for protection as heritage conservation districts.

Since 2004 when municipalities in Central and Southwestern Ontario started requesting heritage impact assessments from him, he has written 47 such reports. He has written text for commemorative plaques and papers in support of them, including Ontario Heritage Trust plaques at the King Edward Hotel and Royal York Hotel, both in Toronto. As well, he has planned an extensive program to interpret the history of the Freeport Sanatorium at the Grand River Hospital in Kitchener. His major work in 2011, a history of the Legislative Building in Queen's Park and a statement on its cultural heritage value, forms part of an historic structure report commissioned by the Legislative Assembly of Ontario.

Paul Dilse is qualified as a planner and historian by the Canadian Association of Heritage Professionals, of which he is a founding member.



*Peter Stewart* is a partner in the firm of George Robb Architect. In addition to professional accreditation as an architect since 1974, he is a member of the Canadian Association of Heritage Professionals (member of the Board from 2002 to 2006) and a member of the Architectural Conservancy of Ontario (member of the Board from 2006 to present).

The firm has had an ever-increasing involvement in conservation and adaptive reuse projects involving built heritage resources since its involvement in the restoration of the Duff-Baby House in Windsor for the Ontario Heritage Foundation (now Trust) in 1993. Other projects for the OHT have included exterior restoration of the Mather Walls Museum in Kenora, partial exterior restoration of the George Brown House in Toronto and the condition assessment for Fools' Paradise, the home and studio of artist Dorothy McCarthy. Other recent projects have included the Eyer Homestead restoration and adaptive reuse for the Town of Richmond Hill (Parks and Recreation Ontario Innovation Award, 2011), exterior restoration of the former Lincoln County Courthouse for the City of St. Catharines in 2005 (Canadian Association of Heritage Professionals Building Award, 2005), the Leslie Log House restoration and adaptive reuse for the City of Mississauga (Mississauga Heritage Foundation Award, 2011) and several projects at the Todmorden Mills Museum and Arts Centre for the City of Toronto Culture Division from 2007 to the present. Other City of Toronto projects involving cultural heritage properties have been undertaken at Spadina House Museum, Montgomery Inn Museum, CanStage Theatre on Berkeley Street and the Theatre Passe Muraille building.

Heritage conservation district plans, in association with Mr. Dilse, have included Old Port Credit Village in Mississauga (2004) and Lower Main Street South in Newmarket (2010). As a sub-consultant to Bousfield Planning, Mr. Stewart contributed to the team that updated the Churchville Heritage Conservation District Plan in 2006. In association with MHBC Planning, Mr. Stewart was involved in the Oil Springs Heritage Conservation District Plan (ACO and CAHP Planning Awards, 2011) and is currently a member of their team, which is in the process of finalizing heritage conservation district plans for both Downtown Oakville and the Brooklin and College Hill Neighbourhood in Guelph.

Most recently, his firm was lead consultant, in association with MHBC Planning, in the analysis of the cottage community and its surroundings at Rondeau Provincial Park. The resulting assessment, *Rondeau - A Cultural Heritage Landscape*, received a planning award from the Canadian Association of Heritage Professionals in 2012.



**CITY OF HAMILTON**  
**PLANNING AND ECONOMIC DEVELOPMENT DEPARTMENT**  
**Planning Division**

<b>TO:</b>	Chair and Committee Members Hamilton Municipal Heritage Committee
<b>COMMITTEE DATE:</b>	August 20, 2020
<b>SUBJECT/REPORT NO:</b>	Designation of 1389 Progreston Road, Carlisle (Flamborough), (Evergreen Farm) under Part IV of the <i>Ontario Heritage Act</i> (PED20125) (Ward 15)
<b>WARD(S) AFFECTED:</b>	Ward 15
<b>PREPARED BY:</b>	Miranda Brunton (905) 546-2424 Ext. 1202
<b>SUBMITTED BY:</b>	Steve Robichaud Director, Planning and Chief Planner Planning and Economic Development Department
<b>SIGNATURE:</b>	

### RECOMMENDATION

- (a) That maintenance of the designation of 1389 Progreston Road, Carlisle (Flamborough), (Evergreen Farm) shown in Appendix “A” to Report PED20125, as a property of cultural heritage value pursuant to the provisions of Part IV of the *Ontario Heritage Act*, be approved;
- (b) That the Statement of Cultural Heritage Value or Interest and Description of Heritage Attributes, attached as Appendix “B” to Report PED20125, be approved;
- (c) That the City Clerk be directed to take appropriate action to continue with the designation of 1389 Progreston Road, Carlisle (Flamborough) (Evergreen Farm) under Part IV of the *Ontario Heritage Act*, in accordance with the Notice of Intention to Designate, attached as Appendix “D” to Report PED20125.

### EXECUTIVE SUMMARY

The purpose of this report is to provide the Hamilton Municipal Heritage Committee (HMHC) with a chronology of events leading to the designation of the subject property,

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OUR Vision: To be the best place to raise a child and age successfully.

OUR Mission: To provide high quality cost conscious public services that contribute to a healthy, safe and prosperous community, in a sustainable manner.

OUR Culture: Collective Ownership, Steadfast Integrity, Courageous Change, Sensational Service, Engaged Empowered Employees.

**SUBJECT: Designation of 1389 Progreston Road, Carlisle (Flamborough),  
(Evergreen Farm) under Part IV of the *Ontario Heritage Act*  
(PED20125) (Ward 15) - Page 2 of 10**

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provide the HMHC an opportunity to discuss the designation and to confirm whether the property should be designated.

The subject property, located at 1389 Progreston Road, Carlisle (Flamborough), referred to as 'Evergreen Farm' is comprised of a mid-nineteenth century frame house, detached bank barn, drive shed and stone rubble ruins from a Mill on an irregularly-shaped, approximately 4.52 hectare property.

In September of 2019, in response to concerns that the heritage resources on the property could potentially be removed for new development as indicated by the Realtor's listing, the Inventory and Research Working Group recommended that Evergreen Farm be added to the City of Hamilton's Municipal Register of Properties of Cultural Heritage Value or Interest (the 'Register'). Following approvals of the recommendation from Planning Committee and Council, the property was added to the Register on December 11, 2019. However as there was an existing demolition application for the property that predated the addition to the Municipal Register, the property was not subject to the 60-day protection generally afforded to properties that are listed on the Municipal Register.

On April 21, 2020 a demolition permit was issued for the subject property. On April 22, 2020, the Committee of the Whole approved the Councillor's motion to designate the property. The Notice of Intention to Designate the subject property was issued on April 23, 2020 which voided all building and demolition permits issued for the subject property. Due to COVID-19 precautions, all meetings for the HMHC were cancelled and Council was not able to consult with the HMHC prior to issuing the Notice of Intent to Designate. Staff's cultural heritage evaluation of the subject property determined that the subject property has design/physical value, historical/associative value and contextual value, and meets five (5) of the nine (9) criteria for designation set out in Ontario Regulation 9/06.

On May 8, 2020, the City of Hamilton received a Notice of Objection to the proposed designation of the subject property from the property owner (attached as Appendix "E" to Report PED20125) The reasons given, amongst others, were that the house did not meet any of the prescribed criteria in Regulation 9/06 for determining cultural heritage value or interest including: no design value or interest, no physical value, no historical or associative value and no contextual value.

**Alternatives for Consideration – See Page 9**

**FINANCIAL – STAFFING – LEGAL IMPLICATIONS**

Financial: N/A

**SUBJECT: Designation of 1389 Progreston Road, Carlisle (Flamborough), (Evergreen Farm) under Part IV of the *Ontario Heritage Act* (PED20125) (Ward 15) - Page 3 of 10**

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Staffing: N/A

Legal: Due to COVID-19 and the cancellation of all public meetings hosted by the City of Hamilton, Council was not able to consult with the Hamilton Municipal Heritage Committee prior to issuance of the Notice of Intention to Designate. Formal objections may be made under the *Ontario Heritage Act*, and heard before the Conservation Review Board, prior to further consideration by Council of the designation By-law.

Designation under Part IV of the *Ontario Heritage Act* allows municipalities to recognize a property's cultural heritage value or interest, and to conserve and manage the property through the Heritage Permit process enabled under Sections 33 (alterations) and 34 (demolition or removal) of the Act.

Where alterations to designated properties are contemplated, a property owner is required to apply for, obtain, and comply with a Heritage Permit, for any alteration that "is likely to affect the property's heritage attributes, as set out in the description of the property's heritage attributes" (Sub-section 33(1)). Designation does not restrict the use of a property. Designation does not mean alterations, additions, or demolition of a property could never take place. However, a Heritage Permit is required for any alterations to an identified heritage attribute of a designated property. The City of Hamilton also provides heritage grant and loan programs to assist in the continuing conservation of properties, once they are designated.

## **HISTORICAL BACKGROUND**

A summary of events leading up to and following the designation of 1389 Progreston Road, Carlisle (Flamborough), is provided below:

Date	Summary of events
1991	1389 Progreston Road, Carlisle (Flamborough), referred to as Evergreen Farms, was first identified by the Local Architectural Conservation Advisory Committee (LACAC) during their 1991 Historical building Survey of the Town of Flamborough and included on the Inventory.



**SUBJECT: Designation of 1389 Progreston Road, Carlisle (Flamborough),  
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July 27, 2018	Owner applies for a site plan waiver for property because Core Natural Heritage features exist on the property. The site plan waiver was issued, on the basis that the owner had obtained all necessary permits and approvals from the Conservation Authority; however, heritage status was not considered as part of this review.
July 27, 2018	The owner submits multiple building permit applications for the property, these include a permit for the demolition of the existing house and a new septic system and waterline from well for the new house.
August 14, 2018	Review letter for demolition permit issued with a list of outstanding items (deficiencies) needed prior to issuance. These included the disconnection of utilities and owner agreement form (an owner agreement form is a commitment from the owner to rebuild within two (2) years and to obtain a building permit prior to demolition).
August 17, 2018	The owner submits a building permit application for a new house.
September 4, 2018	Review letter for building permit application sent with list of outstanding items. These included a requirement for verification from Conservation Halton and nine (9) building code items to be addressed.
May, 2019	Applications to extend building and demolition permit applications granted.
Summer 2019	The property is listed for sale during the summer, the listing advertised plans for a new house on the property.
September 20, 2019	Members of the Inventory and Research Working Group (IRWG), of the Hamilton Municipal Heritage Committee, noticed the property was listed for sale and became concerned about the future of the heritage resource on the property. Preliminary analysis by IRWG found that the property met the criteria specified for designation as defined in Ontario Regulation 9/06, recommending that the property be added to the Municipal Register and to Staff's Designation Work Plan.
October, 2019	Applications to extend building and demolition permit applications granted.

**SUBJECT: Designation of 1389 Progreston Road, Carlisle (Flamborough),  
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November 1, 2019	Courtesy letter mailed to property owner notifying that there was a request to add the property to the Register (refer to Appendix "C" to Report PED20125).
November 21, 2019	Hamilton Municipal Heritage Committee reviews IRWG's recommendation to add the property to heritage register and forwards it to the Planning Committee.
December 3, 2019	Planning Committee reviews recommendation to add property to the Register and forwards this to Council.
December 11, 2019	Council ratified the recommendation, directing staff to add the subject property to the Municipal Register. Although the subject property was added to the Municipal Register at this time, there was an open demolition permit application for the subject property dating back to 2018. As the open application predated the addition to the Municipal Register, the property was not subject to the 60-day protection generally afforded to properties that are listed on the Municipal Register.
April 21, 2020	A demolition permit was issued for the one-and-one-half storey wood-frame home constructed circa 1870 located at 1389 Progreston Road, Carlisle. A new septic and waterline permit and building permit for the construction of a new residence was also issued.
April 22, 2020	Committee of Whole (COW) meeting. Ward Councillor brought forward a motion to Designate the subject property (refer to Appendix "D" to Report PED20125). COW approved the motion directing the issuance of the Notice of Intention to Designate. Due to Covid-19 precautions, City Hall was closed and all other committee meetings were cancelled, including the Hamilton Municipal Heritage Committee. As such, Council was unable to consult with the Heritage Committee prior to approving the designation of the subject property.
April 23, 2020	Notice of Intention to Designate the subject property was issued in the newspaper (Hamilton Spectator) (refer to Appendix "E" to Report PED20125).
April 23, 2020	Property owner served with the Notice of Intention to Designate in the form of a letter via registered mail and through email. The Ontario Heritage Trust was also provided with the Notice of Intention to Designate via registered mail.

**SUBJECT: Designation of 1389 Progreston Road, Carlisle (Flamborough),  
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April 23, 2020	Following issuance of the Notice of Intention to Designate, all existing building and demolition permits for the subject property were void in accordance with s. 30 of the <i>Ontario Heritage Act</i> . This include the demolition permit and the septic, waterline, and new building permits.
April 30, 2020	Notice of Intention to Designate, with Statement of Cultural Heritage Value or Interest, was published on the City of Hamilton webpage.
May 8, 2020	The City of Hamilton received a Notice of Objection from the property owner (refer to Appendix “F” to Report PED20125). The objection cites defects in the Notice of Intent to Designate such as failure to consult with the Hamilton Municipal Heritage Committee as required. The objection also contains opinion evidence from consultants hired by the owner stating that there are insufficient grounds for designating the property.

## **POLICY IMPLICATIONS AND LEGISLATED REQUIREMENTS**

### **Provincial Policy Statement:**

Section 2.6 of the Provincial Policy Statement pertains to Cultural Heritage and Archaeology and the following section applies, amongst others:

“2.6.1 Significant built heritage resources and significant cultural heritage landscapes shall be conserved.”

The actions of Council and the recommendations of Report PED20125 are consistent with this policy as the property’s designation under Part IV of the *Ontario Heritage Act* would formally protect the built heritage resources located at 1389 Progreston Road, Carlisle (Flamborough).

### **Greenbelt Plan:**

Section 4.4.1 of the Greenbelt Plan pertains to Cultural Heritage:

“4.4.1 *Cultural heritage resources* shall be *conserved* in order to foster a sense of place and benefit communities.”

The action of Council and recommendations of Report PED20125 comply with this section of the Greenbelt Plan as the property is recommended for designation in order to formally protect and conserve the tangible built heritage of 1389 Progreston Road,

**SUBJECT: Designation of 1389 Progreston Road, Carlisle (Flamborough),  
(Evergreen Farm) under Part IV of the *Ontario Heritage Act*  
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Carlisle (Flamborough) for the community.

**Rural Hamilton Official Plan:**

Volume 1, Section B.3.4 - Cultural Heritage Resources Policies of the Rural Hamilton Official Plan (RHOP) provides direction in the management of cultural heritage resources. The following policies are applicable to the recommendations in Report PED20125:

- “B.3.4.2.1 (a) Protect and conserve the tangible cultural heritage resources of the City, including archaeological resources, built heritage resources, and cultural heritage landscapes for present and future generations.
- B.3.4.2.1 (b) Identify cultural heritage resources through a continuing process of inventory, survey, and evaluation, as a basis for the wise management of these resources.
- B.3.4.2.3 The City may by by-law designate individual and groups of properties of cultural heritage value under Parts IV and V respectively of the *Ontario Heritage Act*, including buildings, properties, cultural heritage landscapes, heritage conservation districts, and heritage roads or road allowances.”

The action of Council and recommendations of Report PED20125 comply with these policies as the property is recommended for designation in order to formally protect and conserve the tangible built heritage of 1389 Progreston Road, Carlisle (Flamborough).

**RELEVANT CONSULTATION**

As outlined in the *Ontario Heritage Act* Section 9(2), [w]here the council of a municipality has appointed a municipal heritage committee, the council shall, before giving notice of its intention to designate a property under subsection (1), consult with its municipal heritage committee”. In normal “pre-covid-19” circumstances, the Hamilton Municipal Heritage Committee would have been consulted prior to Council ratifying a decision to designate a property. However, following direction from the Provincial Government regarding the novel coronavirus (COVID-19) pandemic, City Council closed all Municipal facilities and cancelled all public meetings, including Hamilton Municipal Heritage Committee meetings. As such, Council was not able to consult with the Hamilton Municipal Heritage Committee prior to the issuance of the Notice of Intention to Designate for the subject property.

**ANALYSIS AND RATIONALE FOR RECOMMENDATION**



The intent of municipal designation, under Part IV of the *Ontario Heritage Act*, is to enable a process for the management and conservation of cultural resources. Once a property is designated, the municipality is enabled to manage change and alterations to the property through the Heritage Permit process and to ensure that the significant features of the property as identified in the designation by-law are maintained through the provision of financial assistance programs and the enforcement of Property Standards By-laws.

Ontario Regulation 9/06: Criteria for Determining Cultural Heritage Value or Interest:

Section 29 (1) of the *Ontario Heritage Act* permits the Council of a municipality to designate property to be of cultural heritage value or interest where property meets the criteria prescribed by Provincial regulation. In 2006, the Province issued Ontario Regulation 9/06: Criteria for Determining Cultural Heritage Value or Interest. According to Sub-section 1 (2) of Ontario Regulation 9/06, a property may be designated under Section 29 of the *Ontario Heritage Act* where it meets one or more of the identified criteria. Ontario Regulation 9/06 identifies criteria in three broad categories: Design/Physical Value, Historical/Associative Value and Contextual Value.

Research from IRWG's preliminary evaluation and additional research by the Heritage Planner informed the following reasons for designation:

1. Design / Physical Value:

The *physical and architectural design* of the house has merit as it is an interesting example of historic preservation through the incorporation of an existing building into a new build. Additionally, the house is a rare example of a vernacular residence influenced by the Gothic Revival style and is a rare example of a remaining farmstead in the Flamborough area with intact house and bank barn.

2. Historical / Associative Value:

The property has important *historical associations* as its first owners, James Kievel then Freeman Green, were associated with the establishment and early development of Progreston. Freeman Green's Woolen Mill, formerly located on the property, was an important pillar in the local economy.

3. Contextual Value:

The property has *contextual value* in defining the historic character of the Carlisle

settlement area. It is functionally linked to its surroundings and considered a local landmark. The property is prominently situated on Bronte Creek and is associated with prominent members of the local community, namely James Kieval and Freeman Green.

### Conclusion

It was determined that the subject property has design/physical value, historical/associative value and contextual value meeting five (5) of the nine (9) criteria as defined in Ontario Regulation 9/06. For the reasons for designation summarized above, and further outlined in the Statement of Cultural Heritage Value or Interest in Appendix "B" to PED20125, staff support its designation.

### **ALTERNATIVES FOR CONSIDERATION**

Under Part IV of the *Ontario Heritage Act*, the designation of property is a discretionary activity on the part of Council. Council may generally consider two alternatives: agree to designate property or decline to designate property.

In this instance as Council has already issued a Notice of Intent to Designate, the Committee could recommend that Council proceed with the designation as issued, the current recommendation of Report PED20125, withdraw the current designation and issue a new and modified designation, or that it withdraw the designation completely.

#### **1) Withdraw current designation and issue a new and modified designation**

After reviewing Report PED20125 and the Statement of Cultural Heritage Value and Description of Heritage Attributes for the subject property (attached as Appendix "B" to Report PED20125), the HMHC may recommend changes to the Statement of Cultural Heritage Value or Heritage Attributes. This would require the current Notice of Intention to Designate to be withdrawn and a new Notice of Intention to Designate be issued with the Statement of Cultural Heritage Value and Description of Heritage Attributes.

#### **2) Withdraw designation**

In withdrawing the designation, without issuing a new designation, the municipality would be unable to provide long-term, legal protection to this significant heritage resource. Designation provides protection against inappropriate alterations, new construction and demolition. Withdrawing the designation of the property will likely result in demolition of the building.

Furthermore, without designation, the property would not be eligible for the City's heritage grant and loan programs. Designation does not restrict the use of property,

prohibit alterations and additions, nor does it restrict the sale of a property, or affect its resale value.

## **ALIGNMENT TO THE 2016 – 2025 STRATEGIC PLAN**

### **Clean and Green**

*Hamilton* is environmentally sustainable with a healthy balance of natural and urban spaces.

### **Built Environment and Infrastructure**

*Hamilton* is supported by state of the art infrastructure, transportation options, buildings, and public spaces that create a dynamic City.

### **Culture and Diversity**

*Hamilton* is a thriving, vibrant place for arts, culture, and heritage where diversity and inclusivity are embraced and celebrated.

## **APPENDICES AND SCHEDULES ATTACHED**

- Appendix “A” - Location Map
- Appendix “B” - Statement of Cultural Heritage Value or Interest and Description of Heritage Attributes
- Appendix “C” - Letter to Owner - Register Addition
- Appendix “D” - Excerpt from City Council Minutes 20-008
- Appendix “E” - Notice of Intention to Designate
- Appendix “F” - Notice of Objection

**1389 Progreston Road, Carlisle (Flamborough)**

**STATEMENT OF CULTURAL HERITAGE VALUE OR INTEREST AND  
DESCRIPTION OF HERITAGE ATTRIBUTES**

**Statement of Cultural Heritage Value or Interest**

The subject property, located at 1389 Progreston Road, is comprised of a mid-nineteenth century frame house and detached bank barn of cultural heritage value and interest. The irregularly-shaped 10.4-acre property is located on the northwest corner of Progreston Road and Green Springs Road, near its intersection with Bronte Creek (formally Twelve Mile Creek), in the Carlisle Settlement Area, in the former Township of East Flamborough, in the City of Hamilton.

**HISTORICAL / ASSOCIATIVE VALUE**

The subject property, known historically as the Evergreen Farm and the Green House, is comprised of a one-and-one-half storey wood-frame home constructed circa 1870 and a detached wood-frame bank barn constructed circa 1900. The historical value of the property lies in its association with James Kievel, Freeman Green and the establishment and early development of the historic settlement area of Progreston. James Kievel first purchased the lot in 1855 and built a saw mill with a waterwheel at the foot fall of the Twelve Mile Creek (now Bronte Creek), a log house and multiple other mill related buildings. . Kievel, Andrew Paton, Joseph Tansley and William Campbell, laid out what would become known as Progresstown (later Progreston).

Freeman Green, a carpenter, son of ‘Billy Green the Scout’, and his wife Harriet Ann Howard purchased 10 acres from James Kievel in 1869. The purchased land included the owner’s log house and a former grist mill building. The Greens then started a woolen mill in the former grist mill building, the Progreston Woolen Mill, which became an important pillar in the local economy, sourcing materials and labour from the local community. Freeman sourced and processed wool from local farmers and hired local knitters to knit such items as socks and mittens from yarn produced by the mill. In addition to running a successful woolen mill, Freeman invented an improvement for the spinning wheel, gaining him international recognition. This improvement included a pendulum apparatus and these spinning wheels were called the ‘Freeman Green’s Canadian Spinning Wheel’. Operation of the mill was passed through the Green family until the mill burnt down in 1911. Although the mill was not rebuilt, the Green family descendants started a small wood working business that also served the local community. In 1982, the Green family property was sold.

**DESIGN / PHYSICAL VALUE**

The cultural heritage value of the property also lies in its design value as a representative example of a vernacular residence influenced by the Gothic Revival style. The one-and-one-half-storey house is clad in board and batten finish with high peaked gables above the second-floor windows. The bank barn, believed to have been



constructed in the late-nineteenth century, is wood framed with a rubble stone foundation. The house is also an early example of adaptive reuse in the early 1870s when the Greens added significant additions to Kievel's original log cabin.

## CONTEXTUAL VALUE

The contextual value of the property lies in its contribution to defining the historic character of the settlement area of Carlisle. The property is physically, visually, functionally and historically linked to its surroundings, and is considered to be a local landmark. Physically, the property is located on the prominent corner of Progreston Road and Green Springs Road where it intersects with Bronte Creek, in the historic settlement area formerly known as Progreston. Visually and architecturally, the house and bank barn are reminders of the history of the site and both support, as well as define, the historic character of the settlement area of Carlisle. Historically, the property is associated with prominent members of the local community, namely James Kievel and Freeman Green, who were instrumental in the establishment and development of Progresstown. Functionally, the property's location along side Bronte Creek was integral to the operation of the Green's mill (no longer existent) which was a pillar of the local economy. The property is a rare example of the few remaining farmsteads within the Flamborough rea, with intact house and bank barn.

## Description of Heritage Attributes

The house, as it stands today is the result of multiple additions and expansions added around the original circa 1850s log cabin core, including the front (east facing) section of the house believed to be constructed in 1870 by the Greens. Key attributes that embody the heritage value of the property include:

- On the east facing section of the house, all four exterior elevations of the one-and-one-half storey dwelling, including its:
  - Cross-gable roof with projecting front gables and semi-circular windows below;
  - Board-and-batten cladding;
  - Symmetrical front facade with central entrance, flanking bay windows and covered porch with wooden columns and decorative bargeboard;
  - Segmentally-arched window openings; and,
  - Remaining historic two-over-two hung wood windows.
- All four elevations of the detached barn, including its:
  - Gable roof;
  - Stone foundation, including existing window and door openings; and,
  - The vertical wooden board cladding.
- The location of the dwelling and barn within the landscape.



Hamilton

Mailing Address:  
71 Main Street West  
Hamilton, Ontario  
Canada L8P 4Y5  
www.hamilton.ca

Planning Division, Planning and Economic Development  
Physical Address: 71 Main Street West, 5<sup>th</sup> Floor  
Phone: 905.546.2424 x1202 Fax: 905.540.5611  
Email: [Miranda.Brunton@hamilton.ca](mailto:Miranda.Brunton@hamilton.ca)

November 1, 2019

FILE: 1389 Progreston Road, Flamborough

Property Owner  
1389 Progreston Road  
Flamborough, ON  
L0R 1H0

Dear Property Owner(s):

**Re: Request to include 1389 Progreston Road, Flamborough, in the Municipal Register of Properties of Cultural Heritage Value or Interest (Ward 15)**

This letter is to inform you of a recommendation to include 1389 Progreston Road, Flamborough, in the Municipal *Register of Property of Cultural Heritage Value or Interest* ("the Register").

The Inventory & Research Working Group discussed the cultural heritage value of your property. As an outcome of this meeting, the Working Group is recommending to the *Hamilton Municipal Heritage Committee* that the subject property be added to the *Municipal Register*. A completed "Built Heritage Inventory Form" and a preliminary evaluation of Cultural Heritage Value or Interest of 1389 Progreston Road, Flamborough, are attached for further information.

The *Hamilton Municipal Heritage Committee* provides advice to Council on all matters related to the *Ontario Heritage Act*. As such, this recommendation will be brought forward to the: *Hamilton Municipal Heritage Committee* meeting on Thursday, November 21<sup>st</sup>, noon – 2pm in room 264 at Hamilton City Hall. Through a motion, the item may then be recommended to Planning Committee on December 3rd and then to Council on December 11<sup>th</sup>.

As the owner of the property, you are welcome to come and speak to the *Hamilton Municipal Heritage Committee* regarding the possible addition of your property to the Register. Please contact me at 905-546-2424, Ext. 1202, or via email at [Miranda.Brunton@hamilton.ca](mailto:Miranda.Brunton@hamilton.ca) and discuss how to make a delegation request.

### **What is the Register?**

The *Register* is a heritage conservation management tool under the *Ontario Heritage Act*. Non-designated properties added to the *Register* are not protected with a

designation by-law under the *Ontario Heritage Act*, and as such, Heritage Permits are not required to be obtained for alterations. The *Register* is an administrative record consisting of properties identified by Council as being of cultural heritage value or interest. Consultation with the Hamilton Municipal Heritage Committee and a Council resolution is required to include a property in the *Register*.

Inclusion in the Register under Section 27 (1.2) of the *Ontario Heritage Act* requires that Council be given a 60-day notice of the intention to demolish or remove any building or structure on the property, and the demolition and removal of any building or structure is prohibited during this time period. The 60-day period allows staff the opportunity to discuss alternatives for the property should a notice of intention to demolish be received by Council, or if a development application under the *Planning Act* is received, including:

- Discussions with the owner respecting retention, adaptive re-use and financial incentives;
- Photo-documentation of the property prior to demolition; and,
- Designation under the *Ontario Heritage Act*.

For more information, please consult the attached information sheet or visit the City's Heritage Planning website at: [www.hamilton.ca/heritageplanning](http://www.hamilton.ca/heritageplanning). Staff is available to discuss this process should you have any further questions or comments.

The Hamilton Municipal Heritage Committee meetings are open to the public and any requests to speak at a committee meeting should be submitted to the City Clerk's office before a scheduled meeting.

If you have any questions, please do not hesitate to contact me at 905-546-2424, Ext. 1202, or via email at [Miranda.Brunton@hamilton.ca](mailto:Miranda.Brunton@hamilton.ca).

Kind regards,

Miranda Brunton  
Cultural Heritage Planner  
Development Planning, Heritage and Design

Attach. (3)

## What is the Register?

- The *Register of Property of Cultural Heritage Value or Interest*, also known as the "Register".
- A heritage conservation management tool under the *Ontario Heritage Act*.
- An administrative record consisting of:
  - Properties designated under Parts IV and V of the Ontario Heritage Act; and,
  - Non-designated properties identified by Council as being of cultural heritage value or interest.

### WHAT DOES IT MEAN TO BE A NON-DESIGNATED PROPERTY ON THE REGISTER?

- Non-designated properties on the Register are not subject to Heritage Permits.
- If changes or impacts are proposed to a Registered non-designated property as part of a development application under the *Planning Act*, staff may:
  - Comment on how to accommodate changes in a fashion sympathetic to the heritage character and context; and,
  - Require a Cultural Heritage Impact Assessment be prepared to assess the potential adverse effects and how they can be mitigated.
- Council must be given 60-days notice of the intention to demolish or remove any building or structure on the property. The 60-day period of interim protection allows staff the opportunity to discuss alternatives to pursue conservation options for the property including:
  - Discussions with the owner respecting retention, adaptive re-use and financial incentives;
  - Photo-documentation of the property prior to demolition; and,
  - Designation under the Ontario Heritage Act.

### HOW ARE NON-DESIGNATED PROPERTIES ADDED TO THE REGISTER?

- It requires Council approval and consultation with the Hamilton Municipal Heritage Committee to add or remove a property.
- Register recommendations can originate from:
  - A request from the owner, a third party or the Hamilton Municipal Heritage Committee;
  - A development application screening;
  - A preliminary screening report for a designation request; or,
  - Ongoing inventory work.



# What is Heritage Designation?

- Under the Ontario Heritage Act municipalities can pass by-laws to designate properties of cultural heritage value or interest as a way of recognizing a property's value to a community.
- Designation provides a framework for managing changes appropriately to ensure the long-term protection of significant cultural heritage resources.

## WHY DESIGNATE A PROPERTY?

- Recognize the importance of a property to a community.
- Identify and protect the cultural heritage value of a property.
- Encourage good stewardship and conservation.
- Promote knowledge and understanding about the property and the development of the community.

## HOW ARE PROPERTIES DESIGNATED UNDER THE *ONTARIO HERITAGE ACT*?

- By-laws are passed by Council that define the heritage value and attributes of a property.
- Initiated by request of Council, Hamilton Municipal Heritage Committee, owners and/or a third party.
- Part IV designations under the Ontario Heritage Act consist of individual properties deemed by municipal By-law to have cultural heritage value or interest.
- Part V designations under the Ontario Heritage Act comprise an area or grouping of properties, known as a Heritage Conservation District, designated by a single municipal By-law.

## WHAT DOES IT MEAN TO BE A DESIGNATED HERITAGE PROPERTY?

- Municipalities manage the physical changes to designated properties through the Heritage Permit process.
- Eligible for grant and loan programs to facilitate eligible conservation and restoration work.

Excerpt from City Council Minutes 20-008

**6.2 Designating Evergreen Farm located at 1389 Progreston Road, Carlisle a Property of Cultural Heritage Value or Interest**

**(Partridge/Jackson)**

WHEREAS the City's Inventory and Research Working Group, at their meeting of September 23, 2019 recommended that 1389 Progreston Road, Carlisle, Pt Lot 4, Pt Lot 5 Concession 8 E, known historically as Evergreen Farm, be added to the City of Hamilton Municipal Register of Properties of Cultural Heritage Value or Interest;

WHEREAS the minutes of the City's Inventory and Research Working Group were approved by the City's Municipal Heritage Committee at their meeting of November 21, 2019 and at the December 3, 2019 Planning Committee meeting;

WHEREAS 1389 Progreston Road was added to the City's Municipal Register of Properties of Cultural Heritage Value or Interest;

WHEREAS 1389 Progreston Road, Carlisle is under imminent threat of demolition;

WHEREAS the historical 1389 Progreston Road "Evergreen Farm" is one the last known historical framed homestead farms of its kind left in Ward 15 Flamborough, and

WHEREAS the City has designated other properties that have been under imminent threat of demolition such as 18-28 King Street East, Hamilton.

THEREFORE BE IT RESOLVED

That staff be directed to take appropriate action to designate 1389 Progreston Road under Part IV of the Ontario Heritage Act, including preparation and giving the required public notice of the Notice of Intention to Designate and a Statement of Cultural Heritage Value or Interest and Description of Heritage Attributes.

**Result: Motion CARRIED by a vote of 16 to 0, as follows:**

- YES - Ward 1 Councillor Maureen Wilson
- YES - Ward 2 Councillor Jason Farr
- YES - Ward 3 Councillor Nrinder Nann
- YES - Deputy Mayor Ward 4 Councillor Sam Merulla
- YES - Ward 5 Councillor Chad Collins
- YES - Ward 6 Councillor Tom Jackson
- YES - Ward 7 Councillor Esther Pauls
- YES - Ward 8 Councillor John-Paul Danko
- YES - Mayor Fred Eisenberger
- YES - Ward 15 Councillor Judi Partridge

YES - Ward 14 Councillor Terry Whitehead  
YES - Ward 13 Councillor Arlene VanderBeeK  
YES - Ward 12 Councillor Lloyd Ferguson  
YES - Ward 11 Councillor Brenda Johnson  
YES - Ward 10 Councillor Maria Pearson  
YES - Ward 9 Councillor Brad Clark



## CITY OF HAMILTON

**NOTICE OF INTENTION TO  
DESIGNATE****1389 Progreston Road, Flamborough (Evergreen Farm)**

The City of Hamilton intends to designate 1389 Progreston Road, Flamborough, under Section 29 of the *Ontario Heritage Act*, as being a property of cultural heritage value.

**Statement of Cultural Heritage Value or Interest**

Freeman Green, son of 'Billy Green the Scout', and his wife Harriet Ann Howard purchased the property from James Kievel in 1869. The property included the former owner's four room log house and building, constructed circa 1855, that previously served as a grist mill. In the early 1870s, the Green's added significant additions to the original four room log cabin. Freeman and Harriet started a woolen mill in the former grist mill building. The Progreston Woolen Mill became an important pillar in the local economy as the mill processed wool from local farmers and employed local knitters. In addition to processing wool, the mill also produced yarn and blankets. Operation of the mill was passed through the Green family until it burnt down in 1911. The house is an excellent example of a vernacular residence influenced by the Gothic Revival style and decorative elements. The barn is wood framed with a rubble stone foundation, fitting perfectly into the undulating landscape. The property is important in supporting the historic character of the area and maintaining the historic fabric of the Carlisle area and is physically, visually, and historically linked to its surroundings.

The Statement of Cultural Heritage Value or Interest, Description of Heritage Attributes may be found online via [www.hamilton.ca](http://www.hamilton.ca).

Any person may, within 30 days after the date of the publication of the Notice, serve written notice of their objections to the proposed designation, together with a statement for the objection and relevant facts, **subject to any orders, legislation, or regulations issued by the Province in response to the Covid-19 Pandemic Emergency.**

Dated at Hamilton, this 23 day of April, 2020.

City Clerk  
Hamilton, Ontario

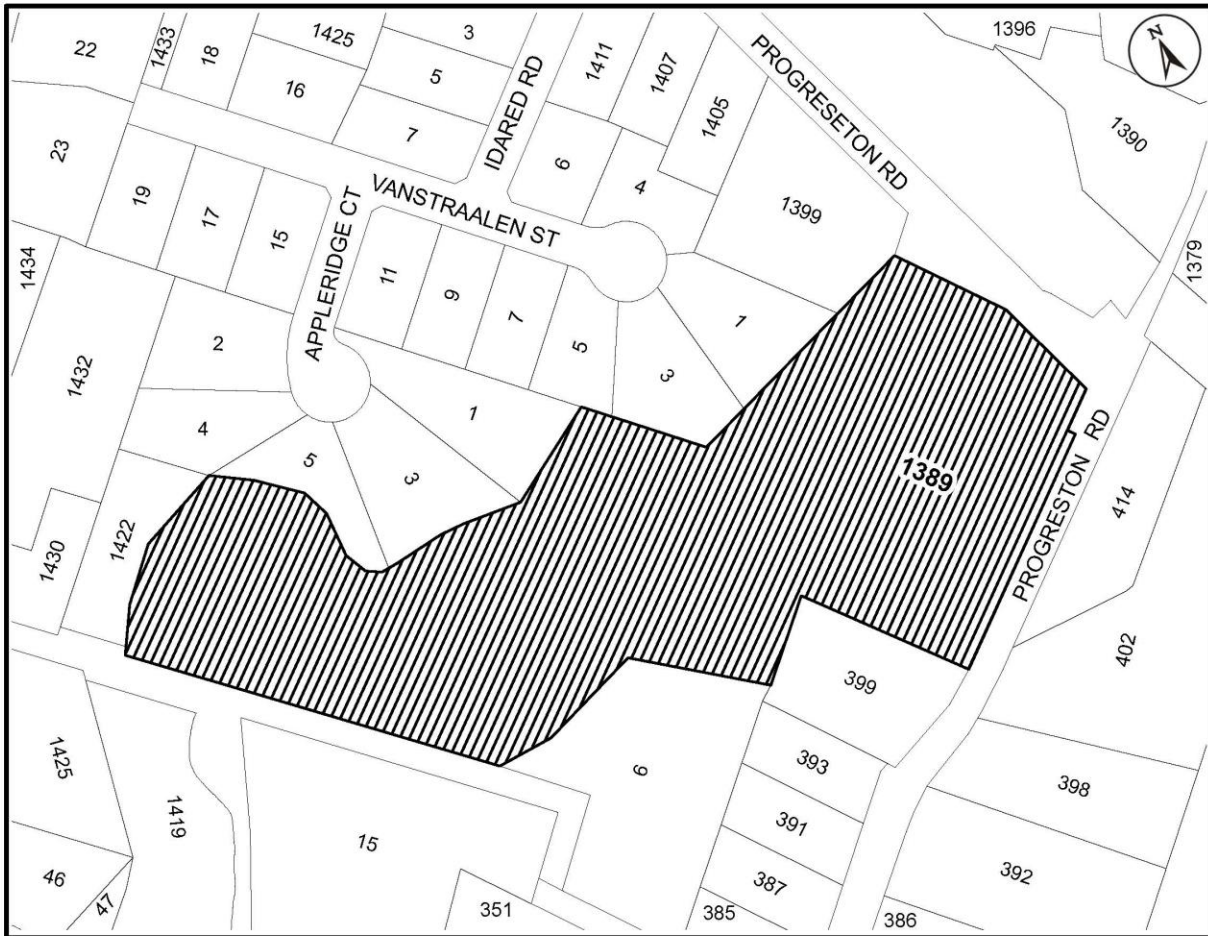
**CONTACT:** Miranda Brunton, Cultural Heritage Planner,  
Phone: (905) [546-2424](tel:546-2424) ext. 1202, E-mail: [Miranda.brunton@hamilton.ca](mailto:Miranda.brunton@hamilton.ca)

Website: [www.hamilton.ca/heritageplanning](http://www.hamilton.ca/heritageplanning)

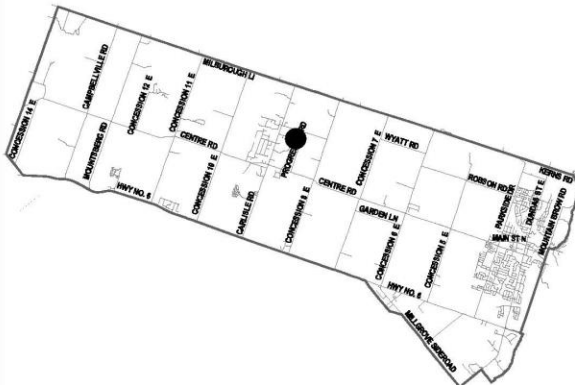


Hamilton





● Site Location



Key Map - Ward 15

# Location Map



Hamilton

PLANNING AND ECONOMIC DEVELOPMENT DEPARTMENT

File Name/Number:  
1389 Progreton Rd

Date:  
July 15, 2020

Appendix "A"

Scale:  
N.T.S

Planner/Technician:  
MB/AL

### Subject Property

 1389 Progreton Road

**Turkstra Mazza**

Hamilton London Toronto

**Scott Snider**  
Professional Corporation  
15 Bold Street  
Hamilton Ontario Canada L8P 1T3  
Direct Line 519 434 3684  
Receptionist 905 529 3476 (905 LAW-FIRM)  
Facsimile 905 529 3663  
[ssnider@tmalaw.ca](mailto:ssnider@tmalaw.ca)

**VIA EMAIL & COURIER**

May 8, 2020

City of Hamilton  
50 Main Street East, 5<sup>th</sup> Floor  
Hamilton, ON L8N 1E9

Attention: Andrea Holland, City Clerk

Dear Ms. Holland:

**Re: Notice of Objection to Designation  
1389 Progreston Road, Flamborough (Evergreen Farm)  
Incomplete Notice of Intention to Designate – Served April 23, 2020  
Our File No. 13489**

---

We are counsel to John Ernest (Jack) Dennison, the owner of 1389 Progreston Road (“subject property”), in this matter.

On April 23, 2020, Mr. Dennison was served with a Notice of Intention to Designate (“NOID” or “Notice”) for the subject property under Section 29 of the *Ontario Heritage Act* (“OHA”), RSO 1990, c. O.18, as amended. This Notice did not include a full statement explaining the cultural heritage value or interest of the property and did not include any description of the heritage attributes of the property. This was clearly contrary to the Notice obligations under Section 29(4)(b) of the OHA. The Notice did direct Mr. Dennison to the City’s website which did not have the required information posted until a week later. And yet, on April 23<sup>rd</sup>, Mr. Dennison was also served with a letter from the City’s Chief Building Official purporting to void demolition and building permits that had been issued to Mr. Dennison in accordance with all applicable law.

Furthermore, there is no evidence that the City consulted with its Municipal Heritage Committee before issuing the NOID. This is also contrary to the OHA and in particular Section 29(2) of the Act.

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**TURKSTRA MAZZA ASSOCIATES, LAWYERS**

Attn: Ms. A. Holland, City Clerk  
May 8, 2020

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Setting aside these important procedural errors, the Notice has had a profound impact on our client's plans for the subject property. The applications for the building permits were made in 2018 and a number of steps were taken to prepare for the demolition in accordance with the demolition permit including disconnecting the gas to the home, disconnecting the furnace, removing the electrical panel and preparing the interior for the removal of the furnace. Mr. Dennison's plan was to begin pouring footings for the new dwelling this past April. All of this has been put on hold by virtue of the NOID.

Given the impact of the NOID, Mr. Dennison immediately retained a team of experienced consultants to do what apparently the City has never done: a proper assessment of the heritage attributes of the home, an engineering assessment of the structural condition of the home and an evaluation of the planning merits of the proposed designation. This team included the following:

1. **Leah D. Wallace, MCIP RPP, Consulting Heritage Planner.** Ms. Wallace is a former member and Chair of the Local Architectural Conservation Advisory Committee for the Town of Flamborough, was the Heritage Planner and Senior Planner at the Town of Niagara-on-the-Lake and has been a planner/heritage planner for over 35 years.
2. **Mark Shoalts, P. Eng. of Shoalts Engineering.** Mr. Shoalts is not only a professional engineer but he is also a member of the Canadian Association of Heritage Professionals and the current president of the Ontario Association of Heritage Professionals. He has extensive experience in structural engineering in the heritage conservation context.
3. **John Ariens, MCIP RPP, IBI Group.** Mr. Ariens is a Hamilton- based land use planner well known to the City with decades of planning experience.

#### **The NOID Should Be Withdrawn:**

In addition to the procedural errors, the NOID is not justified. The Reports/assessments of Ms. Wallace, Mr. Shoalts and Mr. Ariens are attached. While the assessments go into considerable detail, the fundamental conclusion can be easily stated: the designation of the residence on the subject property is not justified and the NOID should be withdrawn. The technical conclusions can be summarized as follows:

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**TURKSTRA MAZZA ASSOCIATES, LAWYERS**

Attn: Ms. A. Holland, City Clerk  
May 8, 2020

Page 3

- i) **Ms. Wallace: Heritage Attribute Assessment Report for House:** Ms. Wallace concludes that the house on the subject property does not meet the criteria of design/physical value, associative value or contextual value. As such, there is no basis in the OHA or Ontario Regulation 9/06 for the designation of the house.
- ii) **Mark Shoalts: Structural Condition Assessment and Recommendations:** Mr. Shoalts' engineering assessment found that the house has serious structural issues that would require extensive and difficult repairs to enable it to remain in service. Any attempt to restore the oldest sections of the house would require extensive and extremely invasive work to replace the failing structure, the very nature of which would destroy much of the original interior and exterior finishes that remain. The house would need to be outfitted with completely new interior and exterior finishes, leaving the appearance to the world at large of a new dwelling.
- iii) **John Ariens: Planning Opinion:** Mr. Ariens finds that the City's Rural Hamilton Official Plan does not contain any heritage designations for the subject property nor does it identify Progreston Road as a Heritage Road. He concludes that it would not be appropriate to designate the existing house.

All of these experts make other recommendations for some recognition of the history of the property that would not include the designation of any part of the house under the OHA. In short, there is no basis for interfering with Mr. Dennison's plans to demolish the existing residence and construct of a new home on the subject property.

As Council is aware, if it does not withdraw the NOID and issue a notice of withdrawal, our client's objection must be referred to the Conservation Review Board for a hearing and report. This process will take a considerable amount of time which is particularly uncertain given the COVID-19 pandemic emergency. We urge Council to act on the clear and persuasive recommendations of the experts retained by Mr. Dennison and withdraw the NOID for the existing house on the property. Mr. Dennison should be permitted to proceed with his construction project while considering other options for recognizing the history of the property as recommended by his experts. These discussions can proceed without the profound interference in Mr. Dennison's plans for the house on the property.

In the meantime, pursuant to Section 29(5) of the OHA, we hereby attach our clients' Notice of Objection. As noted, we are also attaching the reports of Ms. Wallace, Mr. Shoalts and Mr. Ariens.

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TURKSTRA MAZZA ASSOCIATES, LAWYERS



Attn: Ms. A. Holland, City Clerk  
May 8, 2020

Page 4

Yours truly,



Scott Snider

SSnd  
13489/4  
Att'd.

cc: Steve Robichaud, Director of Planning  
Anita Fabac, Manager of Development Planning: Heritage and Design  
Ed VanderWindt, Chief Building Official: Director, Building Division  
Miranda Brunton, Cultural Heritage Planner  
Jennifer Sheryer, City Solicitor  
Alissa Golden, Cultural Heritage Specialist  
Jack Dennison, Property Owner

---

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TURKSTRA MAZZA ASSOCIATES, LAWYERS

**IN THE MATTER** of the *Ontario Heritage Act*, R.S.O. 1990, Chapter O. 18;

**AND IN THE MATTER** of the Notice of Intention to Designate 1389  
Progreston Road, Flamborough, as a property of cultural heritage value.

### **NOTICE OF OBJECTION TO DESIGNATION**

John Ernest (Jack) Dennison, through his solicitors, Turkstra Mazza Associates, hereby makes a written Notice of Objection to the City of Hamilton (the "City") to the proposed designation of the subject property located at 1389 Progreston Road under Part IV of the OHA.

#### **RELIEF REQUESTED:**

1. The immediate withdrawal of the Notice of Intent to Designate ("NOID").

#### **FACTUAL BACKGROUND:**

2. A detailed description of the factual context can be found in the attached *Heritage Attribute Assessment Report for House of Ms. Leah Wallace*, Heritage and Planning Services, dated May 7, 2020. (See **Attachment 1**).
3. The property was added to Hamilton's Municipal Register of Properties of Cultural Heritage Value or Interest as a non-designated property in December 2019. The basis for including the subject property in the Register was a preliminary evaluation of the property that was conducted as part of the Waterdown Village Built Heritage Inventory, although the lands are not located in or near Waterdown. This evaluation indicated that the property "may be added to the work plan for designation should circumstances warrant this action". While the subject property was added to the Register, the owner was never given notice and the Register list was not updated on the website.

May 8, 2020

4. The NOID was issued as a result of direction from Hamilton Council on April 22, 2020. There is no evidence that the property was added to any work plan for designation nor that any further research or evaluation was undertaken relating to the designation beyond what was included in the preliminary evaluation noted above.
5. There is no indication that Council consulted with the City's Municipal Heritage Committee before issuing the NOID as required under Section 29(2) of the OHA.
6. No person from the City or from any City of Hamilton Heritage Committee attended at the property to physically evaluate the house and the property.

#### **REASONS FOR OBJECTION:**

7. Simply put, the house on the subject property does not meet any of the prescribed criteria in Regulation 9/06 for determining cultural heritage value or interest. The house does not have design value or physical value, the house does not have historical or associative value and the house does not have contextual value.
8. This evaluation is described in detail in Ms. Wallace's report. (Attachment 1).
9. The Statement of Cultural Heritage Value or Interest (the "Statement") places considerable emphasis on the original log cabin that was constructed by James Kievel. The Statement makes reference to the "adaptive reuse" of the log cabin which was allegedly incorporated into the home in the early 1870s. In fact, there is no evidence of the original log cabin in the existing dwelling or elsewhere on the property.
10. The house does not have design/physical value. It has undergone significant alterations over the years including construction of a number of structurally unsound and unattractive additions. The house is not a rare, unique,

May 8, 2020

representative or early example of a style, type, expression, material or construction method. Nor does it display a high degree of artistic merit or craftsmanship.

11. The front porch posts are of modern construction and have been installed upside down. Shoalts Engineering conducted a Structural Condition Assessment of the house. (**"Shoalts Assessment", Attachment 2**). Shoalts concluded that the house has serious structural issues that would require extensive and difficult repairs if it were to remain in service. Any attempt to "restore" the house would require the removal and replacement of much of the substandard construction. It would require extensive and extremely invasive work to replace the failing structure which would destroy much of the original interior and exterior finishes that remain. Following "restoration, the house would need to be outfitted with completely new interior and exterior finishes. The appearance to the world would be of a new dwelling.
12. The house also does not have historical/associative value. It does not reflect the work of an architect, artist, builder, designer or theorist who is significant to a community. The designer and builder of the house are not known. The house is not associated with the original owner, James Kievel, as it does not contain any remnants of the original log cabin. Any associative value of the house with milling and industry in the area is tentative at best.
13. The house does not have contextual value in and of itself. The house is merely one component of the landscape. The Statement refers to it as a "local landmark" but offers no verification of this determination or what components of the property contribute to its "landmark" status. The house itself is not a landmark and is not important in defining the character of Progreton.
14. As noted in the Planning Analysis (**IBI Group- Attachment 3**), the City's Rural Hamilton Official Plan does not contain any heritage designations for the subject



May 8, 2020

property and Progreston Road is not designated as a Heritage Road. The Policies for Carlisle do not identify any heritage significance to the home or property or Road. There is no current, in-force planning policy that would recognize the subject property as of heritage significance.

15. Such further and other grounds as counsel may advise.

All of which is respectfully submitted.

Dated this 8<sup>th</sup> day of May, 2020.



---

Scott Snider  
Shelley Kaufman  
Turkstra Mazza Associates  
15 Bold Street  
Hamilton ON L8P 1T3

## **Attachment 1**

# 1389 Progreston Road, Carlisle, City of Hamilton

## Heritage Attribute Assessment Report for House



7/5/2020  
Heritage and Planning Services  
Leah D. Wallace, MCIP RPP

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## 1. Introduction

This report is prepared at the request Jack Dennison, the owner of 1389 Progreston Road in Carlisle, City of Hamilton. It assesses the cultural heritage value or interest of the house on the property using *Regulation 9/06 – Criteria for Determining Cultural Heritage Value or Interest*, with particular emphasis on the Design or Physical value of the building. This report does not address other structures or features on the property nor does it provide additional research regarding the history of the property and its owner. It should be read in conjunction with the report produced by Shoalts Engineering which assesses the structural condition of the house.

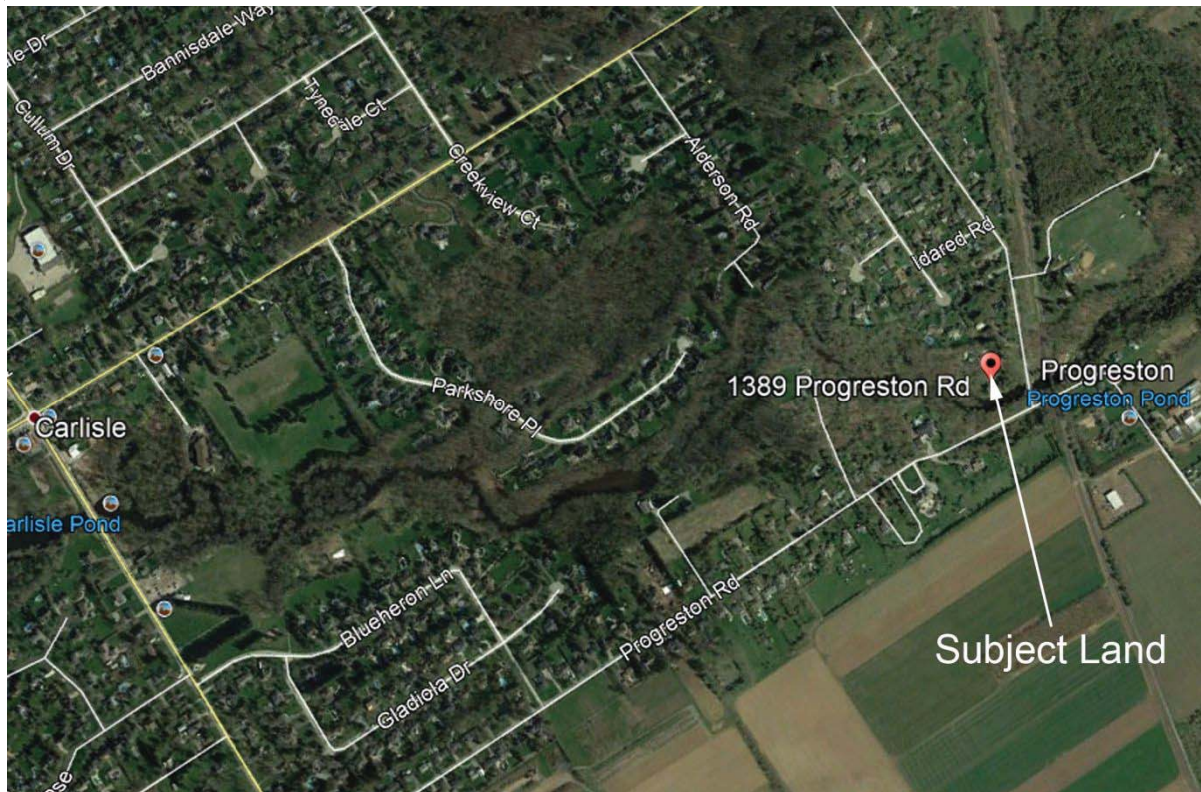
The house was included in the Description of Heritage Attributes in the full Notice of Intention to Designate 1389 Progreston Road, Flamborough (Evergreen Farm), which was published on the City of Hamilton's web site on April 30, 2020. **(APPENDIX I)**. This notice was published seven (7) days after the owner and the Ontario Heritage Trust received the simplified version of the Notice of Intention to Designate **(APPENDIX II)**, which was also published in the *Hamilton Spectator* on April 23, 2020 and served on the owner. The owner never received the full notice with the Statement of Significance and the list of heritage attributes, as required in Section 29(4)(b) of the Ontario Heritage Act (OHA) Instead, he was directed to the City's web site via the notice. When he was unable to find the full description, he was directed to the posting via an email from City staff on April 30, 2020, the same day the posting was published on the City's web site.

### Subject Lands

The property is located on the northwest corner of Progreston Road and Green Springs Road Carlisle, in the former Town of East Flamborough, City of Hamilton. The property consists of approximately 10.4 acres (4.2 hectares). Bronte Creek runs through the property. The subject house sits on a height of land above the creek. There are also a barn and drive shed, which is partially converted into a garage, on the property to the west of the house.

The property was added to the Register of City of Hamilton Municipal Register of Properties of Cultural Heritage Value or Interest as a non-designated property in December 2019, though the owner, who applied to demolish the house in 2018, was not notified of this fact and Register list was not updated on the web site. In their August 2019 meeting notes the Inventory and Research Working Group indicated that a preliminary evaluation of the cultural heritage value or interest of 1389 Progreston Road was conducted as part of the Waterdown Village Built Heritage Inventory, although the lands are not located in or near Waterdown; but in Carlisle. They also indicated that, in future, the property *may be added to the work plan for designation should circumstances warrant this action*. In December 2019, Council approved the recommendations of the working group and added the property to the Register, though the owner, who had applied to the Building Department to demolish the house, never received notice of this inclusion.

On April 22, 2020, Councillor J. Partridge made motion at Council directing staff to take appropriate action to designate 1389 Progreston Road under Part IV of the OHA and notice was given on the next day. There is no indication that the property was added to the work plan or that any further research and evaluation was undertaken relating to the designation other than the preliminary evaluation. There is also no indication that Council consulted with the municipal heritage committee before giving notice of intention to designate as required in Section 29(2) of the OHA. No person from the city or from any City of Hamilton heritage committee attended at the property to physically evaluate the house and the property.



## 2. Description of House

The following description of the house is based on observations made on a site visit carried out on April 27, 2020.

The house is a symmetrical three bay 1 ½ storey frame building clad in board and batten siding. The gable roof is intersected by the two steeply pitched dormers containing round arched windows. The central entrance is flanked by two (2) bay windows. The shallow porch is supported by four (4) posts, one of which has fallen, and is surmounted by a low pitched roof which is slightly higher than that covering the bay windows. Decorative scroll work exists between the posts, though some of this decoration fell when the post collapsed.



Several additions to the house were made over the years, particularly to the rear and on the north side of the building. Some are clad in board and batten siding while others are clad in wide clapboard.

The interior of the house has been altered over the years and it is difficult to discern the original arrangement or purpose of the rooms although a small portion of the original layout of the front rooms does remain as do the two early bay windows. Trim has been removed or altered in most of the rooms as have walls and openings between rooms. The second floor was altered in the 20<sup>th</sup> century extinguishing any original details.

The additions to the house are architecturally undistinguished and in poor condition. A general discussion of the physical condition of the house can be found in Mark Shoalts' structural report.

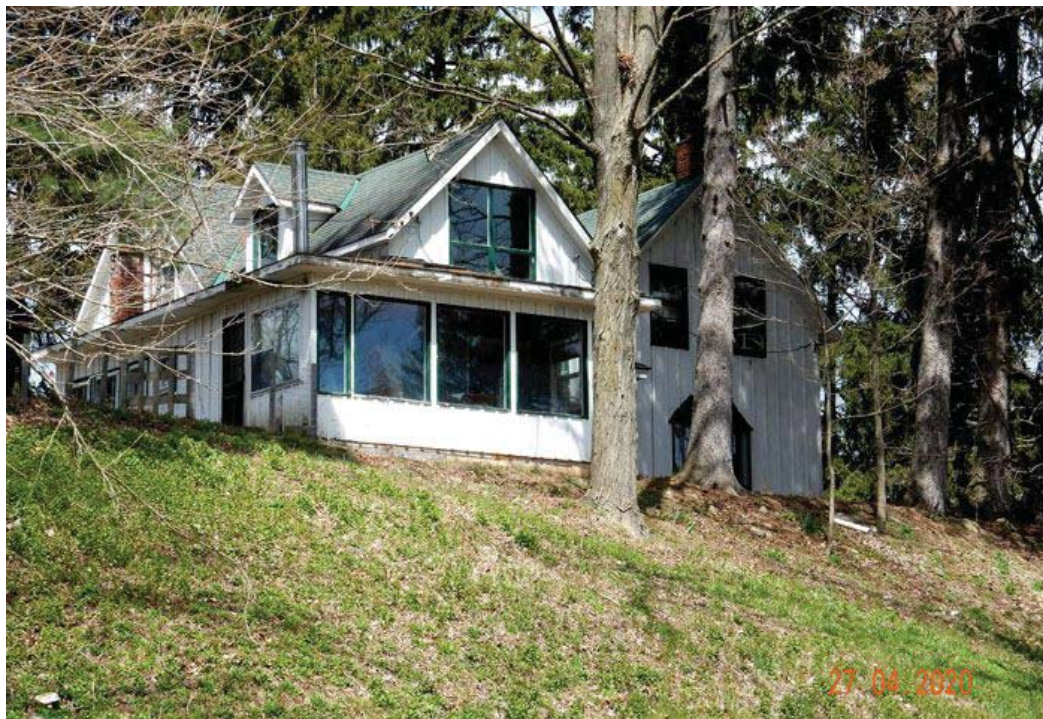


*Figure 1: 1389 Progreston Road, Facade from Progreston Road*





*Figure 2: Rear Elevation, 1389 Progreston Road*



*Figure 3: South Elevation, 1389 Progreston Road from Bronte Creek*





*Figure 4: Rear Elevation, 1389 Progreston Road*



*Figure 5: North Elevation, 1389 Progreston Road*





*Figure 6: Rear Elevation, 1389 Progreston Road*



*Figure 7: Corner of Porch and Gable Above, 1389 Progreston Road*



*Figure 8: Interior Front Room with Bay Window, 1389 Progreston Road*



*Figure 9: Interior Rear Addition, 1389 Progreston Road*





Figure 10: Interior Ground Floor New Trim and Damage Ceiling and Plaster, 1389 Progreston Road



Figure 11: Interior Second Floor Room, Flooring Removed, 1389 Progreston Road



The house is Gothic Revival in Style. The design of the structure is derived from such publications as *Cottage Residences* written in 1840 by the American architect A.J. Downing. Designs based on Downing's work tend to be picturesque in composition and eclectic in their selection of architectural detail. Another 19<sup>th</sup> century promoter of the Gothic cottage style was the Canada Farmer which identified these types of dwellings as cheap country dwelling houses and provided plans and drawings for their construction. <sup>1</sup>

Common details of the Gothic style in Ontario were:

- The simple pointed window
- A decorative vergeboard or bargeboard
- Hood moulds]
- Multiple dormers and gables
- Bay windows
- Verandas
- Steep roof
- Frame buildings finished with board and battens.

Though the house at 1389 Progreston Road does not display all of the characteristic details of the Gothic Revival style, it does have several including bay windows, a relatively steep roof and board and batten cladding.

### 3. Criteria for Determining Cultural Heritage Value or Interest

Ontario Regulation 9/06 prescribes criteria set out in subsection (2) for the purposes of determining cultural heritage value or interest. A property may be designated if it meets one or more of the criteria listed in the Regulation. These criteria include:

#### Design or Physical Value

1. It is rare, unique, representative or early example of a style, type, expression, material or construction method; or
2. Displays a high degree of craftsmanship or artistic merit; or
3. Demonstrates a high degree of technical or scientific achievement.

#### Historical or Associative Value

1. It has direct associations with a theme, event, belief, person, activity, organization or institution that is significant to a community; or
2. Yields, or has the potential to yield, information that contributes to an understanding of a community or culture; or

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<sup>1</sup> John Blumenson, *Ontario Architecture*, Fitzhenry & Whiteside, 1990, p.41

3. Demonstrates or reflects the works or ideas of an architect, artist, builder, designer or theorist who is significant to a community.

### Contextual Value

1. Is important in defining the character of an area; or
2. Is physically, functionally, visually or historically linked to its surroundings; or
3. Is a landmark.

## Identification and Significance and Heritage Attributes of the House at 1389 Progreton Road

This evaluation only pertains to the house and not to any other structures on the property.

### 1. Physical Value

Physically the house has undergone a number of significant alterations over the years including construction of a number of structurally unsound and unattractive additions that have detracted from its Gothic Revival style. The house is not a rare, unique, representative or early example of a style, type, expression, and material or construction method nor does it display a high degree of artistic merit or craftsmanship. This resulted in accelerated deterioration of the building. There are a number of Gothic Revival buildings in the former East Flamborough that better represent the Ontario version of this style; are of more robust construction and are in better condition. Some of these include:

- 134 Main Street South, Waterdown
- 50 Mill Street North, Waterdown
- 62 Mill Street North, Waterdown
- 370 8<sup>th</sup> Concession Road, East Flamborough Township
- 561 7<sup>th</sup> Concession Road, East Flamborough Township
- 512 9<sup>th</sup> Concession Road, East Flamborough Township
- 259 Campbellville Road, East Flamborough Township

Mr. Shoalts has indicated that the original house sits on a stone foundation over a crawl space. The construction is circular sawn lumber and the oldest section of the house is of vertical plank construction. Heavy timber framing indicative of an early date is not in evidence nor is there any evidence of an original log cabin. This fact was also observed on April 27, 2020 site visit.

The suggestion of the existence of the cabin may come from other documentation and is noted in the 1997 publication entitled *and they came to East Flamborough*.<sup>2</sup> Since the log

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<sup>2</sup> Waterdown-East Flamborough Historical Society, *...and they came to East Flamborough*, 1997, p.68

cabin was not incorporated into the new house in the late 1860's, there is no adaptive reuse of an existing early log cabin.

There is general agreement between the consultants who visited the site that the front porch posts are of modern construction and can be purchased at any building centre. They have been installed upside down. The decorative scroll work was then installed between the posts. There is no evidence that the scroll work came from the house. The City of Hamilton has not provided any early images that might show the scroll work in its original position. In any case, the porch is of poor construction and would have to be replaced.

While there are several original 2 over 2 bay windows, most of the windows have been replaced with modern windows with lower casement openings and much of the window trim has also been replaced. The front door is a modern replacement that is not appropriate to either the style or age of the house.

## 2. Associative Value

The house does not reflect the work of an architect, artist, builder, designer or theorist who is significant to a community. The designer and builder of the house are not known. The house is not associated with the original owner, James Kievel since it does not contain any remnants of the original log cabin constructed by James Kievel. While Freeman Green and his wife constructed the house and converted the original grist mill to a woollen mill, there has not been a mill on the site or any milling activity since 1911, when the mill burned. The associative value with milling and industry in Progreston is tentative.

## 3.Contextual Value

The contextual value of the physical house on its own has very little value on its own and is only one component of the landscape. The Statement of Cultural Heritage Value or Interest asserts that the property is *considered to be a local landmark* but offers no verification of this determination or what components of the property contribute to its landmark status. The house itself, divorced from the property, is not the landmark and is not important in defining the character of Progreston.

## 4. Conclusion

There is no evidence that additional research was undertaken on the property at 1389 Progreston Road by City staff or the heritage committee beyond the preliminary notes provided by the Inventory and Research Working Group in August, 2019. The notes provided by the Working Group appear to have been derived from previous research undertaken by such groups as the Waterdown-East Flamborough Heritage Society. At no time did any committee member or any City staff attend at the property to make on site observations and notes. No additional reports or historical research was provided in between December 2019 when City Council approved adding the property to the City of

Hamilton Municipal Register of Properties of Cultural Heritage Value or Interest as a non-designated property and when Councillor J. Partridge tabled a motion to proceed with issuing the Notice of Intention to Designate the property on April 22, 2020. There is no evidence that the Municipal Heritage Committee was consulted before Council's decision, although this is a requirement under the Section 29(2) of the OHA.

On April 27, 2020, during a site visit, it was determined that the house had suffered from unsympathetic alterations over the years including later additions and interior alterations that obliterated any original features that might remain. In appropriate construction methods and shoddy construction accelerated deterioration of both the exterior and interior of the building. Any restoration of the structure would result in removal of most of the remaining original features which would have to be replaced in kind resulting in a facsimile of the original house.

Some of the heritage attributes listed in the Statement of Significance published by the City on April 30, 2020 do not exist or are modern interventions of no architectural or historical significance including the covered porch with wooden columns and decorative bargeboard. The semi-circular windows below the front gables are modern replacements added in 1982 by the current owner. A site visit by City staff and heritage committee members could have determined these facts and also confirmed that the log cabin built by James Kievel was not incorporated into the house when it was constructed in the second half of the 19<sup>th</sup> century.

The Regulation 9/06 review of the house undertaken in this report concluded that, on its own, it does not meet the criteria of Historical/Associative, Design/Physical or Contextual Value. However, the setting of the house, not the house itself, on a promontory overlooking Bronte Creek and Progreston Road, has some value within the context of the entire property and its landscape and in the context of the development of the community of Progreston. With the understanding the much of the original features still extant on the exterior of the existing house cannot be salvaged and would have to be replaced; a new house, located in the same place on the property with a similar mass and scale, design and materials, will afford the same contextual value to the landscape as the existing structure.



# APPENDIX I – Notice of Intention to Designate – Statement of Significance & Heritage Attributes

## Notice of Intention to Designate 1389 Progreston Road, Flamborough (Evergreen Farm)

APRIL 30 2020

The City of Hamilton intends to designate 1389 Progreston Road, Flamborough, under Section 29 of the Ontario Heritage Act, as being a property of cultural heritage value.

### Statement of Cultural Heritage Value or Interest

Freeman Green, son of 'Billy Green the Scout', and his wife Harriet Ann Howard purchased the property from James Kievel in 1869. The property included the former owner's four room log house and building, constructed circa 1855, that previously served as a grist mill. In the early 1870s, the Green's added significant additions to the original four room log cabin. Freeman and Harriet started a woolen mill in the former grist mill building. The Progreston Woolen Mill became an important pillar in the local economy as the mill processed wool from local farmers and employed local knitters. In addition to processing wool, the mill also produced yarn and blankets. Operation of the mill was passed through the Green family until it burnt down in 1911. The house is an excellent example of a vernacular residence influenced by the Gothic Revival style and decorative elements. The barn is wood framed with a rubble stone foundation, fitting perfectly into the undulating landscape. The property is important in supporting the historic character of the area and maintaining the historic fabric of the Carlisle area and is physically, visually, and historically linked to its surroundings.

### Statement of Cultural Heritage Value or Interest and Description of Heritage Attributes

The subject property, located at 1389 Progreston Road, is comprised of a mid-nineteenth century frame house and detached bank barn of cultural heritage value and interest. The irregularly-shaped 10.4-acre property is located on the northwest corner of Progreston Road and Green Springs Road, near its intersection with Bronte Creek (formally Twelve Mile Creek), in the Carlisle Settlement Area, in the former Township of East Flamborough, in the City of Hamilton.

### Historical/Associative Value

The subject property, known historically as the Evergreen Farm and the Green House, is comprised of a one-and-one-half storey wood-frame home constructed circa 1870 and a detached wood-frame bank barn constructed circa 1900. The historical value of the property lies in its association with James Kievel, Freeman Green and the establishment and early development of the historic settlement area of Progreston. James Kievel first purchased the lot in 1855 and quickly built a saw mill with a waterwheel at the foot fall of the Twelve Mile Creek

(now Bronte Creek), multiple other mill related buildings and a log house. Kievel, along with Andrew Paton, Joseph Tansley and William Campbell, laid out what would become known as Progresstown (later Progreston).

Freeman Green, a carpenter, son of 'Billy Green the Scout', and his wife Harriet Ann Howard purchased 10 acres from James Kievel in 1869. The purchased land included the owner's log house and a former grist mill building. The Greens then started a woolen mill in the former grist mill building, the Progreston Woolen Mill, which became an important pillar in the local economy, sourcing materials and labour from the local community. Freeman sourced and processed wool from local farmers and hired local knitters to knit such items as socks and mittens from yarn produced by the mill. In addition to running a successful woolen mill, Freeman invented an improvement for the spinning wheel, gaining him international recognition. This improvement included a pendulum apparatus and these spinning wheels were called the 'Freeman Green's Canadian Spinning Wheel'. Operation of the mill was passed through the Green family until it burnt down in 1911. Although the mill was not rebuilt, the Green family descendants started a small wood working business that also served the local community. In 1982, the property was sold out of the Green family.

## Design/Physical Value

The cultural heritage value of the property also lies in its design value as a representative example of a vernacular residence influenced by the Gothic Revival style. The one-and-one-half-storey house is clad in board and batten finish with high peaked gables above the second-floor windows. The bank barn, believed to have been constructed in the late-nineteenth century, is wood framed with a rubble stone foundation. The house is also an early example of adaptive reuse in the early 1870s when the Greens added significant additions to Kievel's original log cabin. The property is a rare example of the few remaining farmsteads within the Flamborough area, with intact house and bank barn.

## Contextual Value

The contextual value of the property lies in its contribution to defining the historic character of the settlement area of Carlisle. The property is physically, visually, functionally and historically linked to its surroundings, and is considered to be a local landmark. Physically, the property is located on the prominent corner of Progreston Road and Green Springs Road where it intersects with Bronte Creek, in the historic settlement area formerly known as Progreston. Visually and architecturally, the house and bank barn are reminders of the history of the site and both support, as well as define, the historic character of the settlement area of Carlisle. Historically, the property is associated with prominent members of the local community, namely James Kievel and Freeman Green, who were instrumental in the establishment and development of Progresstown. Functionally, the property's location alongside Bronte Creek was integral to the operation of the Green's mill (no longer existent) which was a pillar of the local economy.

## Description of Heritage Attributes

The house, as it stands today is the result of multiple additions and expansions added around the original circa 1850s log cabin core, including the front (east facing) section of the house believed to be constructed in 1870 by the Greens. Key attributes that embody the heritage value of the property include:

- On the east facing section of the house, all four exterior elevations of the one-and-one-half storey dwelling, including its:
  - Cross-gable roof with projecting front gables and semi-circular windows below;
  - Board-and-batten cladding;
  - Symmetrical front facade with central entrance, flanking bay windows and covered porch with wooden columns and decorative bargeboard;
  - Segmentally-arched window openings; and,
  - Remaining historic two-over-two hung wood windows.
- All four elevations of the detached barn, including its:
  - Gable roof;
  - Stone foundation, including existing window and door openings; and,
  - The vertical wooden board cladding.
- The location of the dwelling and barn within the landscape.

## Written Notice of Objection

Any person may, within 30 days after the date of the publication of the Notice, serve written notice of their objections to the proposed designation, together with a statement for the objection and relevant facts, **subject to any orders, legislation, or regulations issued by the Province in response to the Covid-19 Pandemic Emergency.**

Dated at Hamilton, this 23 day of April, 2020.

A. Holland, City Clerk  
Hamilton, Ontario

Contact: Miranda Brunton, Cultural Heritage Planner, Phone: 905-546-2424 ext. 1202,  
Email: [miranda.brunton@hamilton.ca](mailto:miranda.brunton@hamilton.ca)

## **APPENDIX II – Notice of Intention to Designate 1389 Progreston Road – Served on the Owner**





Hamilton

Mailing Address:  
71 Main Street West  
Hamilton, Ontario  
Canada L8P 4Y5  
www.hamilton.ca

Planning and Economic Development Department  
Planning Division  
71 Main Street West, 6<sup>th</sup> Floor  
Hamilton, Ontario L8P 4Y5  
Phone: 905-546-2424, Ext. 4281 Fax: 905-540-5611

SENT BY REGISTERED MAIL

April 23, 2020

John Ernest Dennison  
1389 Progreston Road  
Flamborough, On  
L0R 1H0

Dear John Dennison:

**Re: Heritage Designation under Part IV of the *Ontario Heritage Act*  
1389 Progreston Road, Flamborough (Evergreen Farm)**

Attached please find the Notice of Intention to Designate 1389 Progreston Road, Flamborough. The Notice of Intention to Designate has been published in the Hamilton Spectator on April 23, 2020.

Please be advised that any demolition or building permits are now void. A copy of the letter from the Chief Building Official advising of this is attached. Should you wish to file a notice of objection to the Notice of Intention to Designate, please refer to Section 29 of the *Ontario Heritage Act*.

Yours truly,

Steve Robichaud, *MCIP OPPI RPP*  
Director of Planning

MB  
1 Attach.

cc: Councillor Judy Partridge, Ward 15  
Jennifer Sheryer, City Solicitor  
Ed VanderWindt, Director, Building Division  
Loren Kolar, Legislative Coordinator  
Miranda Brunton, Cultural Heritage Planner  
Alissa Golden, Cultural Heritage Specialists

CITY OF HAMILTON

## Notice of Intention to Designate

### 1389 Progreston Road, Flamborough (Evergreen Farm)

The City of Hamilton intends to designate 1389 Progreston Road, Flamborough, under Section 29 of the *Ontario Heritage Act*, as being a property of cultural heritage value.

#### Statement of Cultural Heritage Value or Interest

Freeman Green, son of 'Billy Green the Scout', and his wife Harriet Ann Howard purchased the property from James Kievel in 1869. The property included the former owner's four room log house and building, constructed circa 1855, that previously served as a grist mill. In the early 1870s, the Green's added significant additions to the original four room log cabin. Freeman and Harriet started a woolen mill in the former grist mill building. The Progreston Woolen Mill became an important pillar in the local economy as the mill processed wool from local farmers and employed local knitters. In addition to processing wool, the mill also produced yarn and blankets. Operation of the mill was passed through the Green family until it burnt down in 1911. The house is an excellent example of a vernacular residence influenced by the Gothic Revival style and decorative elements. The barn is wood framed with a rubble stone foundation, fitting perfectly into the undulating landscape. The property is important in supporting the historic character of the area and maintaining the historic fabric of the Carlisle area and is physically, visually, and historically linked to its surroundings.

The Statement of Cultural Heritage Value or Interest, Description of Heritage Attributes may be found online via [www.hamilton.ca](http://www.hamilton.ca).

Any person may, within 30 days after the date of the publication of the Notice, serve written notice of their objections to the proposed designation, together with a statement for the objection and relevant facts, **subject to any orders, legislation, or regulations issued by the Province in response to the Covid-19 Pandemic Emergency.**

Dated at Hamilton, this 23 day of April, 2020.

City Clerk  
Hamilton, Ontario

**CONTACT:** Miranda Brunton, Cultural Heritage Planner, Phone: (905) 546-2424 ext. 1202,  
E-mail: [Miranda.brunton@hamilton.ca](mailto:Miranda.brunton@hamilton.ca)

**Website: [www.hamilton.ca/heritageplanning](http://www.hamilton.ca/heritageplanning)**

## Bibliography

Blumenson, John: Ontario Architecture, Fitzhenry & Whiteside, 1990.

Waterdown-East Flamborough Historical Society: ...and they came to East Flamborough,  
Waterloo Printing, 1997.

# LEAH D. WALLACE, MA MCIP RPP

15 Brock Street, RR#3, NIAGARA-ON-THE-LAKE, ONTARIO L0S 1J0

Telephone: 905-468-0582 Cell/Text: 905-941-1950

leahdw@sympatico.ca

## CURRICULUM VITAE

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### PRESENT POSITION

Consulting Heritage Planner  
Niagara-on-the-Lake

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### EDUCATION

University of British Columbia  
Master of Arts, 1978

University of Guelph  
Honours B.A., 1973

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### PROFESSIONAL MEMBERSHIPS

Ontario Professional Planners Institute (OPPI)  
Canadian Institute of Planners (MCIP)

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## CAREER HISTORY

2016 – Present	Consulting Heritage Planner
2012 – 2016	Senior Planner, Town of Niagara-on-the-Lake
2000 – 2012	Heritage Planner, Town of Niagara-on-the-Lake
1994 – 2000	Contract Heritage Planner Hynde Paul Associates Incorporated, St. Catharines
1984 – 1994	Planning Consultant Robert J. Miller & Associates Ltd., Mississauga
1979 – 1984	Editor and Division Manager Longmans Canada, Toronto

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## APPOINTMENTS AND AWARDS

2017 - Present	Member, Board of Directors, Lower Grand River Land Trust, Cayuga Ontario (Ruthven Park)
2007 - 2014	Member, Niagara-on-the-Lake Citizens' War of 1812 Bicentennial Committee and the Niagara Region Bi-national Bicentennial Working Group
2006 – 2019	Faculty Member, Willowbank School of Restoration Arts, Queenston
2002 – 2004	Municipal Sector Focus Group on Changes to the Ontario Heritage Act, Provincial Consultations, Ministry of Culture
2002	Member, Bi-national Coordinating Committee, First Bi-national Doors Open, Niagara Region
2000 – Present	Chair, Ruthven Park Building Conservation Committee Lower Grand River Land Trust
1999	Heritage Community Program Recognition Award, Ontario Heritage Foundation (Trust)
1997 – 2000	Member, Ruthven Park Building Conservation Committee Lower Grand River Land Trust, Cayuga
1997 – 2002	Member, Bay Area Artists for Women's Art Hamilton-Burlington
1989 – 2000	Member and Chair (1991–1997), Local Architectural Conservation Advisory Committee Town of Flamborough

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## PUBLICATIONS AND PRESENTATIONS

Presenter, Ontario Heritage Conference (Ottawa), Municipal Grant Programs and Bill C323, Ontario Heritage Trust Session, 2017

Article, *Up in Flames*, Ontario Planning Journal, January/February 2015

Article, *Heritage Conservation Districts*, Heritage Matters Journal, March 2010

Contributing Author, One Hundred Years One Hundred Artefacts, Niagara Historical Museum, 2007

Field Session Manager, National Trust for Historic Preservation (Buffalo, New York National Conference), Mobile Workshop – Adaptive Re-use of Culturally Sensitive Properties, Canadian Experiences

CIDA Sponsored Walking Tour and Public Planning Session, Niagara-on-the-Lake for Visitors from Xi'an, China Studying the Reconstruction of an Ancient Urban Area

Article, *Heritage Conservation Districts*, Heritage Matters Journal, March 2010

Presenter, Heritage Planning in Niagara-on-the-Lake in association with the Ministry of Culture and the Regional Municipality of Niagara, Association of Municipal Clerks and Treasurers of Ontario Conference

Restoration Case Study: Ruthven Park National Historic Site – Course Presented to Students at the School of Restoration Arts, Willowbank

Presenter, Heritage Conservation Districts – The Good, the Bad & the Ugly Canadian Association of Professional Heritage Consultants Conference

Presenter, Protecting Special Places: Tax Relief Incentives for Heritage Properties, OPPI/OALA Conference – Power of Place

Presenter, Co-curator, The Sacred Sites Tour, Art Gallery of Hamilton, An Architectural Evaluation of the Sacred Sites, The Art Gallery of Hamilton, Lecture Series

The Sacred Site Project, Research Project Exploring the Contemporary and Historical Relationships between Artists and Faith Communities in Hamilton-Wentworth, Art Gallery of Hamilton

Presenter, ARCHINET, An Interactive Guide to Canadian Building Styles Paper presented at Continuity with Change, the 1997 Community Heritage Ontario Conference, Huronia

Presenter, Flamborough and Its Community Identity, Wentworth North Riding Association Town Hall Meeting

Presenter, Suitable Housing for Arts Groups: The Planning Process, The Art of Coming Together Conference, Hamilton Artists Inc.

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## PROJECTS

ARCHINET, An Interactive Guide to Canadian Building Styles

Architectural and Historical Appraisal of the National Fireproofing Company of Canada (Halton Ceramics Limited) Burlington, Ontario, Architectural Conservancy of Ontario and the Burlington Local Architectural Conservation Advisory Committee

Municipal Register of Properties of Cultural Heritage Value or Interest (inclusion of non-designated properties), Town of Niagara-on-the-Lake, Project Manager,

Community Vision Statement, Town of Niagara-on-the-Lake, Project Manager

Queen-Picton Streets Heritage Conservation District Expansion Study and Draft of Revised District Plan, Town of Niagara-on-the-Lake

Dock Area Public Realm and Urban Design Master Plan, Project Manager

Official Plan Review; Community Engagement Sessions, Background Reports, Heritage Policies, Third Draft of Official Plan, Project Manager

Heritage Impact Assessment, Plan of Subdivision, 1382 Decew Road, City of Thorold

Heritage Impact Assessment, Hotel Expansion, 124 on Queen Hotel and Spa, Old Town, Town of Niagara-on-the-Lake

Heritage Permit and Minor Variance Application, 7 Queen Street (Exchange Brewery), Town of Niagara-on-the-Lake

Heritage Impact Assessment, Randwood Estate, Hotel Development, 144-176 John Street, Old Town, Town of Niagara-on-the-Lake

Heritage Impact Assessment, 200 John Street & 588 Charlotte Street, Proposed Plan of Subdivision, Old Town, Town of Niagara-on-the-Lake

Heritage Impact Report, 1317 York Road, Consent Application, St. Davids, Town of Niagara-on-the-Lake

Heritage Impact Assessment, 240-246 Main Street East, Plan of Subdivision Application, Town of Grimsby

Heritage Impact Report, 705 Nashville Road, Proposed Demolition, (Kleinburg-Nashville Heritage Conservation District) City of Vaughan

Heritage Impact Assessment, 6320 Pine Grove Avenue, Severance Application, City of Niagara Falls

Built Heritage Assessment and Recommendations, 133 Main Street East (Nelles House), Town of Grimsby

Heritage Impact Assessment, 133 Main Street East, Application for Official Plan and Zoning By-law Amendments, Town of Grimsby

Heritage Impact Assessment, 95 Cline Mountain Road, Niagara Escarpment Commission Development Permit Application, Town of Grimsby

Peer Review, Proposed Development, Guelph Avenue, City of Cambridge

Heritage Designation Evaluation, 4105 Fly Road, Campden, Town of Lincoln

Heritage Impact Assessment, 4918 King Street, Beamsville, Town of Lincoln

Conservation Plan, 9-11 Queen Street, Town of Niagara-on-the-Lake



## **Attachment 2**

Structural Condition Assessment and Recommendations for  
1389 Progreston Road, Carlisle



In late April 2020, Jack Dennison, owner of 1389 Progreston Road in Carlisle, requested Mark Shoalts, P.Eng, CAHP, to review the residence and to provide a report on its structural condition. The building is a single family dwelling, constructed in several stages with numerous renovations and alterations. Mark Shoalts made a site visit for a review of the house on April 30, 2020. No research into the age or associations of the building was carried out, other than reviewing minutes of a City of Hamilton Inventory and Research Working Group meeting of September 23, 2019 and a related advertisement in the Hamilton Spectator on April 23, 2020.

This report describes the present structural and physical condition of the dwelling. There are relatively recent additions to the rear and side of the building that are of low quality and are irrelevant to any heritage considerations. This report is not concerned with the chronology or condition of the later work other than as it relates to the present condition of the oldest structure.

## Executive Summary

The existing residence at 1389 Progreston Road in Carlisle was originally a modest 1 ½ storey late-nineteenth century single family dwelling and it has had numerous alterations and additions over the years. At present, it is visibly deteriorated both inside and out, and has serious building envelope issues that are directly related to and/or causing many of the immediately apparent major problems. It is in need of substantial repairs, in part because of maintenance issues and in part because of the original construction method and materials. The structure has some serious problems and because of the type of construction, it is very difficult to properly repair it. The roof and rainwater management system have reached or exceeded their practical service life and are in need of immediate replacement. Many of the windows require immediate and extensive repair and restoration. The exterior wood cladding and trims require extensive repairs and much of it must be replaced.

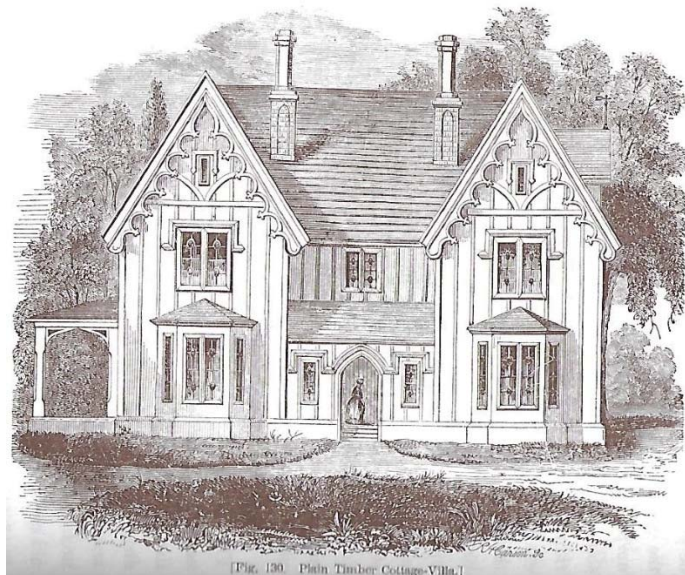
The interior of the building has experienced deterioration as a direct result of the roofing and window issues and is in need of major plaster and finishing repairs. Before these can be done, the wall and roof structures and the exterior envelope must be restored and a major project of mechanical and electrical upgrading must be carried out. In conjunction with this work, upgrading of the thermal envelope should be performed. The mechanical and electrical systems are essentially obsolete and must be replaced but the construction method used for the original building prevents the installation of wiring or thermal insulation in the exterior walls, necessitating the framing of a complete new wall cavity on the interior to accommodate this work. The house would require essentially 100% interior refinishing subsequent to the structural repairs and the building system replacement.

In light of the dubious claims for cultural heritage value, the extensive alterations to the building, and the enormous expense of compensating construction required to maintain the remnants of the building that are salvageable, it is our recommendation that the house be replaced with a new, sympathetically designed residence.

### Building Background

Despite the statements in a description of the property attributed to a member of the City of Hamilton Inventory and Research Working Group, there is no evidence of a log building or any parts of one in the existing dwelling at 1389 Progreton Road. The claim that a four-room log house was built on this site in 1857 or 1858 is itself questionable. At that late date, log buildings would have been distinctly old-fashioned and viewed as primitive or second class, especially in such proximity to the growing City of Hamilton, which was at that exact time building an impressive and sophisticated state-of-the-art waterworks facility. In the decade from 1851 to 1861, approximately 28% of the houses built in Canada West were constructed of log<sup>1</sup> and these were primarily settlers' and homesteaders' houses. If a house was in fact built on this site in the late 1850s, whether of log or frame it should have been in very good condition less than twenty years later when a major renovation was undertaken. Such a relatively new house could have easily been incorporated as a kitchen wing or other use in a new, fashionable dwelling befitting a prosperous miller. There is no trace of a log building in the present house, leading one to surmise that it never existed in this exact location or, perhaps, it was in such good condition that it was moved completely off-site to be used elsewhere. The "early 1870s... significant additions" mentioned by the Inventory and Research Working Group was in fact the construction of this house.

The oldest section of the present house is very unlikely to have been constructed earlier than the 1870s, and it is clearly an interpretation of a style advocated by Andrew Jackson Downing, a 19<sup>th</sup> Century American architect. Downing's The Architecture of Country Houses was first published in 1851, with several subsequent editions over the next fifteen years. His "Plain Timber Cottage-Villa" inspired many builders in Canada West (which became Ontario in 1867) during the third quarter of the 19<sup>th</sup> century, including the builders of this house.



Plain Timber Cottage-Villa, A.J. Downing, 1851

The Gothic Revival front section of the house had one or two rear additions in the late 19<sup>th</sup> century, and at least three small additions in the 20<sup>th</sup> century. Along with these additions came

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<sup>1</sup> Construction Materials in Colonial Ontario 1831-61 by W.R. Wightman



alterations to the existing parts of the house, and later in the 20<sup>th</sup> century more alterations were undertaken to the original house and to all of the various appendages.

#### Building Description

1389 Progreton Road is a Gothic Revival 1 ½ storey house with board and batten siding and restrained exterior trim details. The original plan was a typical farmhouse ell (L-shaped plan) with the main house facing east and a kitchen wing on the west side at the north end. All of this original section of the house sat on a stone foundation enclosing a low crawlspace. Some time later there was an addition to the west side of the house that extended the kitchen wing and added a room to the south in either one or two stages. The addition was likely done in the late 19<sup>th</sup> century because the basement walls are stone, and stone gave way to concrete and concrete block for foundations in the early 20<sup>th</sup> century. An unusual curved section of wall in the basement appears to have been done as a bench to retain the soil under the existing shallow stone foundation supporting the earlier house.



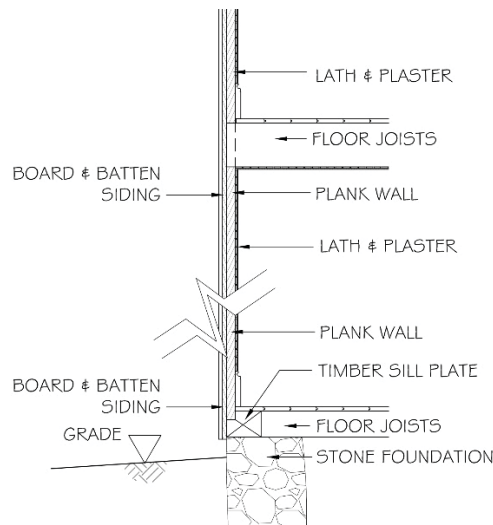
Later basement wall (foreground) supporting earlier shallow wall (background)  
Also note temporary prop under failing joist

The floor system of the first two additions shows the first transition toward 20<sup>th</sup> century construction with a subfloor of roughsawn square-edged pine and a finish floor of narrower dressed pine rather than the earlier method of a single layer of thicker T&G pine floor laid directly on the joists. The joists and flooring, as well as the timber sill plates visible in the basement and crawlspace are all of circular sawn lumber. The joists in the southwest wing are a motley collection of small pieces, ranging in thickness from less than ¾" to more than 2" and looking more like slabs from a mill than proper lumber, and they are installed with random spacing. What at first appears to be a beam supporting the centre of the span is actually another slab with the round bark face down, much too thin to provide any support to the joists. There is no evidence of a post having been removed so the purpose of this slab is unknown.



Randomly sized and spaced circular-sawn floor joists

While the circular saw had been invented before 1857, it took many years for new technology to be adopted by existing mills and vertically sawn lumber was the norm into the 1860s in this area. By the 1870s circular sawmills were becoming much more common, evidence that the 1870s date given for the construction of the existing house is logical. Depending upon the sawyer, daily production of lumber from a circular sawmill could be up to ten times that from a muley or vertical frame saw. It would be unheard of for a log house to be built in an area that boasted a circular sawmill, so the floor built of circular sawn lumber is not part of some much-altered log dwelling built in the 1850s or earlier. The oldest section of the house is of vertical plank construction, not commonly used in Canada West but certainly easily done when one had access to plentiful and economical sawn lumber such as that available from a circular sawmill. Vertical plank construction consists of 2" planks set in a rabbet in a timber sill plate, with the second storey joists morticed into and carried by the vertical planks. There are no studs or other primary framing members in the walls. The exterior was clad with vertical 1" boards nailed to the 2" planks with the joints offset, and battens were nailed over the exterior joints. The interior was finished by nailing wood lath to the planks and plastering it. The whole wall assembly is approximately 3 1/2" thick including the plaster but not including the battens.



Wall cross-section

The one exception to the lack of ornamentation on the house is the front porch with its scrolls and turned posts. The posts are laminated finger-jointed pine, installed upside down, clearly of late 20<sup>th</sup> century construction. The scrollwork is older, apparently salvaged from another building. Flanking the porch on each side are bay windows, original to the house. Above the bay windows are gothic dormers, with what appear to be round-headed windows but are in fact rectangular windows with fixed-over-awning lights, installed in 1982 from the interior against the round-headed trim. The gable trims, soffit, fascia, and frieze on the house appear largely original. The battens have a nicely moulded profile rather than the more common slightly bevelled plain batten.



Porch with upside-down posts

### Building Condition

The house at 1389 Progreton has some serious structural problems. The original floor joists in some of the sections of the house are undersized, which is not uncommon in older buildings, but some of them have deteriorated as well and should be sistered or replaced. The wall structure has areas that have deteriorated to the point where they require replacement. The house has roofing issues as a result of configuration, overhanging trees, and aging materials. Valleys run into changes in pitch, chimneys, and lower roofs. There are a number of roof leaks that have damaged interior fabric. Of even greater concern is the management of runoff from the eaves of the roof. Much of the house has no eavestroughs at all, and those troughs that exist are damaged, plugged with spruce needles, or falling off.





North side showing various roof issues

The grade is too high around most of the house, with the wood finish and structure either very close to grade or in places below grade. The water running off of the roof saturates the wall and the ground ensuring a prime environment for deterioration and decay of the wood cladding and structure. There are locations where the wall has rotted completely through.



Hole rotted through wall, grade too high

Unlike a frame building, repair of a deteriorated plank wall is a difficult and very invasive undertaking. The timber sill plate has rotted sections that must be cut out and replaced but as can be seen from the wall section, the plate supports and is concealed behind the floor joists and it supports the plank wall. It cannot be replaced without removing the board and batten siding, the baseboard, taking up flooring, and shoring both floors and the roof structure. In the locations where the plate has rotted, the wall planks are rotted as well. Wall planks cannot be



cut short and spliced in because there is no framing, so there is no lateral support without continuous planks. A damaged plank must be replaced from sill plate to roof plate. This means removing the siding from the exterior and breaking loose the lath from the interior. In very short order the interior and exterior wall finishes of the house have been destroyed, and the structural integrity is gone if more than one plank or one very short piece of plate in any stretch of wall must be replaced.

The front porch, mentioned in the Working Group notes, is not heritage fabric. Whether or not the current porch was built to replace an earlier porch can only be determined by destructive investigation or by older photographs or other information. In any event, the existing porch is poorly and improperly built (the upside-down posts were noted earlier) and it has deteriorated to a state where removal is the only reasonable option.



Front porch with rotting modern post and failing floor structure

The floor system in the kitchen wing requires work on or replacement of numerous elements. As noted earlier, much of the framing is undersized which could be acceptable if it were in good condition. Unfortunately, several floor joists have deteriorated to the point where they have no strength left. Decay can reduce the strength of wood by up to 10% before it can even be detected. By the time that decay has created weight loss of 5% - 10%, wood has lost 20% - 80% of its strength<sup>2</sup>. Joists that can be penetrated more than ½" with a hand-held awl have no effective service life left. Other floor joists have dropped where mortised into the timber sill plate. Foundation walls have been altered leaving areas of framing with no support. Temporary props have been inserted under failing floor framing.

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<sup>2</sup> Wood Handbook, Wood as an Engineering Material Forest Products Laboratory, USDA



Deteriorated floor joist, awl inserted >2"



Deteriorated floor joist, awl inserted >2"



Dropped joist, sawn timber sill plate, altered foundation, missing support

## Conclusions

1389 Progreton Road is a house that purportedly has at its core parts of a mid-19<sup>th</sup> century log dwelling, however careful examination of the building failed to show any trace of it. The original house appears to have been constructed no earlier than the mid-1870s and there exist several additions and substantial alterations done starting not long after that through to the late 20<sup>th</sup> century. There is nothing of heritage value in at least three of the additions and many of the alterations have destroyed the integrity of much of the oldest part of the house.

The house has serious structural issues that would require extensive and difficult repairs to enable it to remain in service.

“Restoration” of 1389 Progreton would not be restoration for the most part, but would require removal and replacement of much of the substandard construction and require substantial repairs to many deteriorated elements. The oldest section of the house could theoretically be restored but it would require extensive and extremely invasive work to replace the failing structure, the very nature of which would destroy much of the original interior and exterior finishes that remain. The existing stone foundation is not in particularly bad condition for what it is, but it is not suitable for an efficient, permanent year-round dwelling in the 21<sup>st</sup> century. If the additions are removed, the original core is lifted and a new basement is constructed beneath it, additions are built and framing added into the original house, new mechanical, electrical, and thermal separation elements are installed, and the house is then outfitted with completely new interior and exterior finishes, the appearance to the world at large would be of a new dwelling. The compromises that it would take to achieve this lead one to the conclusion that construction of a new dwelling, designed to be sympathetic to the neighbourhood but constructed to the highest modern standards, would be of far greater value to the owners and to the community at large.



Mark Shoalts, P.Eng., CAHP  
Shoalts Engineering  
May 6, 2020



Mark Shoalts, P.Eng., CAHP  
Principal, Shoalts Engineering  
President, Shoalts Bros. Construction Limited



Mark Shoalts is a professional engineer, a member of Professional Engineers Ontario, The Association of Professional Engineers and Geoscientists of New Brunswick, The Ontario Society of Professional Engineers, the Canadian Association of Heritage Professionals, the Heritage Canada Foundation, and the Early American Industries Association. Mark is the current president of the Ontario Association of Heritage Professionals, and he is past chair of the Pelham Heritage Advisory Committee and a past member of the Niagara Region's Culture and Heritage Committee, working on Regional policy for the preservation and promotion of heritage resources in Niagara. He has hands-on experience in historical restoration, having personally performed restoration work on many sites such as Butler's Barracks and Fort George in Niagara-on-the-Lake, Balls Falls in Vineland, and Dundurn Castle in Hamilton. Mark teaches a course at Willowbank School of Restoration Arts in Queenston.

Mark Shoalts is the fourth generation of his family to be involved in building construction and historical restoration. His great-grandfather was a housebuilder, and his grandfather was a carpenter and builder. Mark's father and uncles went into the construction industry in the 1950s and carried out some of the early restoration work on public and private heritage properties in Niagara throughout the 1960s. Mark began working for his father at Shoalts Bros. Construction as a high school student in the early 1970s, continuing through his post-secondary education and working fulltime as a carpenter and project superintendent through the 1980s. From the late 1970s through the 1990s Shoalts Bros. performed more than 30 contracts on Parks Canada properties in Niagara, including both construction and design work. During this period, Mark moved from a hands-on construction role into a design and administration role, performing restoration work on important national historic sites, including Ruthven Park in Cayuga, Dundurn Castle in Hamilton, Willowbank in Queenston, and The Church of Our Lady Immaculate in Guelph. He received a Peter J. Stokes Heritage Commendation from the Town of Niagara-on-the-Lake for the complete exterior restoration of the 1817 Miller House in Niagara-on-the-Lake. While Shoalts Bros. Construction still exists, it is inactive as a construction company and Mark is engaged exclusively in consulting. Mark was the structural engineer for the award-winning 2010-2011 restoration of the Sharon Temple, a national historic site in Sharon, Ontario, and the prime consultant for the restoration and additions to the Dineen Building at 140 Yonge St. in Toronto which garnered awards from the City of Toronto, the Architectural Conservancy of Ontario, and the Canadian Association of Heritage Professionals. He did the exterior assessment of 1 Front St. in Toronto, one of the most important Beaux Arts buildings in the country. Mark was also a consultant for the 2011 exterior restoration of the Fredericton City Hall, and performed the exterior assessment of the Old Arts Building at the University of New Brunswick, both national historic sites.

Mark has presented numerous seminars on structural engineering in the heritage conservation context and has been on panels at the National Trust/Canadian Association of Heritage Professionals national heritage conferences and at the Ontario heritage conferences.



Representative sample project list for Mark Shoalts, P.Eng., CAHP

Butler's Barracks NHS, NOTL ON (multiple buildings)  
Fort George NHS, NOTL ON (multiple buildings)  
Redan Battery, Queenston Heights NHS, Queenston ON  
Butlers Burying Ground, NOTL ON  
Balls Falls, Jordan, ON (multiple buildings)  
Cottonwood Mansion, Selkirk, ON  
Old St. John's Church, Niagara Falls, ON  
Fort Mississauga NHS, NOTL, ON  
Niagara Apothecary Museum NHS, NOTL, ON  
Marshville Heritage Village, Wainfleet, ON (multiple buildings)  
St. Mark's Church and Rectory, NOTL, ON  
Dundurn Castle NHS, Hamilton, ON  
Post Office, Dunnville, ON  
Chedoke House, Hamilton, ON  
Auchmar Estate, Hamilton, ON  
Museum of Steam and Technology NHS, Hamilton, ON  
Whitehern NHS, Hamilton, ON  
Willowbank NHS, Queenston, ON  
Our Lady of the Immaculate Conception NHS, Guelph, ON  
Trinity United Church, Thorold, ON  
Ruthven Park NHS, Cayuga, ON  
Water Tower, Carnegie Library, and Town Hall, St. Mary's ON  
Elgin & Wintergarden Theatres NHS, Toronto, ON  
Dineen Building, Toronto, ON  
Sharon Temple NHS, Sharon, ON  
Fredericton City Hall NHS, Fredericton, NB  
Pure Spirits Building, Distillery District NHS, Toronto, ON  
Holy Trinity Anglican Church, Niagara Falls, ON  
Spadina House Stables, Toronto, ON  
Bethune-Thompson House NHS, Williamstown, ON  
St. George's Church, St. Catharines, ON  
WAHC (Former Customs House) NHS, Hamilton, ON  
Carnegie Building, Grimsby, ON  
Knox Presbyterian Church, Woodstock, ON  
Battlefield Park NHS, Stoney Creek, ON  
Salem Chapel BME NHS, St. Catharines, ON  
Beaverdams Church, Thorold, ON  
Exchange Brewery, NOTL, ON  
McLelland's General Store, NOTL, ON  
Lakeside Park, St. Catharines, ON (multiple buildings)  
Presqu'ile Point Lighthouse, Brighton, ON  
Officers' Quarters NHS, Fredericton, NB  
Sir Howard Douglas Hall NHS, UNB, Fredericton, NB

## **Attachment 3**



**IBI GROUP**  
200 East Wing – 360 James Street North  
Hamilton ON L8L 1H5 Canada  
tel 905 546 1010  
[ibigroup.com](http://ibigroup.com)

May 8, 2020

Mr. Jack Dennison  
3083 Lakeshore Road  
Burlington, ON L7N 1A3

Dear Mr. Dennison:

**HERITAGE DESIGNATION - 1389 PROGRESTON ROAD, CARLISLE, ON**

In accordance with your request, I have investigated the current planning policy status of the above property and can advise as follows.

The property is located at municipal address 1389 Progreston Road, just north of the intersection with Green Springs Road. It is legally described as being Part of Lots 4 and 5 of the 8<sup>th</sup> Concession of the former Township of East Flamborough, now in the City of Hamilton. This area is part of the rural Hamlet of Carlisle located approximately 10 kilometers north of Waterdown. The southwest corner of the property includes a section of the Bronte Creek and the associated flood plain. The existing house sits on higher lands overlooking the creek and is not constrained by any flooding hazards. I visited the lands on April 30<sup>th</sup>, 2020 and have walked the grounds and all buildings. I have also read the reports prepared by Ms. Wallace and Mr. Shoalts regarding the heritage significance of this house together with the structural integrity.

From a planning standpoint, these lands are included in the Rural Hamilton Official Plan. In particular Map 4 - Carlisle Rural Settlement Area, designates these lands as Settlement Residential, while the creek and valley lands are designated Natural Open Space (Hazard Lands). The house and accessory buildings are Zoned Settlement Residential S1 while the creek and valley lands are Zoned Conservation Hazard Lands P7 Zone. The residential use of this property fully complies with the Official Plan and Zoning By-law.

Provincial Policies and Plans all have policy direction regarding heritage and the conservation/restoration of important built heritage resources. For the most part Provincial planning direction is implemented at the municipal level through the area municipal Official Plan and Zoning By-law. In this regard, the Rural Hamilton Official Plan is the key planning policy document as it fully complies with and implements provincial planning direction and policies. It conforms to the upper tier provincial planning and, therefore, it is the focus of my planning analysis.

The Rural Hamilton Official Plan Map 4 referenced above does not contain any heritage designations and Progreston Road is not designated as a Heritage Road. Furthermore, the policies of Section A.3.1 dealing with the Carlisle Rural Settlement Area also do not identify any heritage significance on the home or property or road. Appendix F, which is entitled Rural Cultural Heritage Resources, also does not identify these lands. The Implementation Section of the Rural Official Plan (F.1.2.4) requires that rural settlement area secondary plans have to identify rural heritage resources and no such identification applies to these lands.

With respect to specific planning policies dealing with built heritage resources, the Official Plan general policies which are contained in the Urban Hamilton Official Plan also apply. Policy 3.4.1.4 “encourages” the rehabilitation, renovation and restoration of built heritage resources. The key consideration here is that this is an encouragement and is not mandatory. Policy 3.4.2.1 states

Mr. Jack Dennison – May 8, 2020

that the City will “where appropriate” (a) preserve and protect cultural heritage resources and (f) will also use relevant provincial legislation, particularly the Ontario Heritage Act in order to “appropriately” manage, conserve and protect cultural heritage resources. The policy direction is prefaced with the word “appropriate”. This provides policy flexibility and keeps the implementation grounded and specific to individual property circumstances.

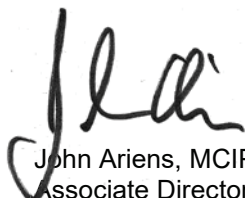
The report from Ms. Wallace, a recognized and well respected Heritage Consultant and the only heritage planning expert who has visited the site and inspected the buildings, confirms that there is no evidence of the former log house. She also opines that the house does not meet any of the criterion for determining any cultural value or interest. She also cites that there are many other and better or more robust examples of Gothic Revival homes in the Flamborough area. Her conclusion is that a new home in the same location and carrying forward many of the same design components will achieve the same contextual value as the existing home.

The report from Mr. Shoalts, P. Eng. assesses the structural components of the home based on actual site investigations. He determined that the house has serious structural problems and that it is difficult, if not impossible, to properly repair. He also did not find any evidence of a former log home. He concludes by stating that, due to the extensive alterations already made to the home and the enormous costs of construction to maintain, restore or repair that which is salvageable, he recommends that the house be replaced with a new sympathetically designed residence.

Having read the reports by these heritage experts it is my professional planning opinion that it is not “appropriate” to designate the existing home. As such, I recommend that under the above circumstances that the Council of the City of Hamilton rescind the proposed designation as per clause 6 b of section 29 c of the Ontario Heritage Act. I have seen the drawing of the new home for which the Building Permit was revoked and this home is, in essence, a “facsimile” of that which is there today. It is in the same location and includes a similar front façade and design treatment as the original house. It thereby maintains that contextual value that Ms. Wallace identified.

To commemorate and remember what is there today I would further suggest that the demolition be delayed until a photographic summary is made of the existing home and I would also encourage the placement of a heritage plaque closer to the creek commemorating the former mill site and home at this location.

Yours Truly,



John Ariens, MCIP, RPP  
Associate Director | Practice Lead, Planning  
**IBI Group**



# HMHC Education and Communication Working Group

## Meeting Notes

Wednesday August 19<sup>th</sup>, 2020 (6:00pm)  
City WebEx, Virtual Meeting

**Present:** Alissa Denham-Robinson (Chair), Janice Brown, Robin McKee, Graham Carroll, Kathy Stacey, Tim Ritchie, Miranda Brunton (Heritage Planning Staff – Meeting Host)

**Regrets:** Chuck Dimitry

**Also present:** N/a

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### RECOMMENDATIONS:

1. Re: HMHC Heritage Recognition Award Nominations 2019-2020

That the attached list of Heritage Recognition Award Nominations (dated: August 19, 2020) be approved as recommended.

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**1. Changes to the Agenda**

1. N/a

**2. Declaration of Interest**

1. A.Denham-Robinson and K.Stacey declared interest regarding award nominations (where noted).

**3. Previous Meeting Notes**

1. Aug 5, 2020 (Copy attached) – Approved by general consensus, the notes prepared by Chair A.Denham-Robinson; with minor amendments for spelling.

**4. Publications & Print Projects:**

1. Word Search Puzzles (Project On-going)

- a. Works in progress include a puzzle for Hamilton Mountain and Schools (past and present). C.Dimitry provided a draft puzzle for members to trial.
- b. Engagement with School Board Programming and History Curriculum.
  - J.Brown – reached out to Superintendent of programming for the Public Board (no response received yet). G.Carroll reached out to a contact with the Catholic Board (no response received). Follow-up will occur once schools return in a safe manner.
- c. Engagement with Local Archives and Heritage Societies
  - Working Group to contact other Societies/Archives ex. Stoney Creek, Glanbrook, etc.)

- d. Engagement with Hamilton Public Library
  - G.Carroll reached out to the Manager the Local History & Archives to inquire, but libraries just in the process of re-opening. G.Carroll will follow-up.
- e. Engagement with Tourism & Culture Division.
  - A.Denham-Robinson to contact staff representative.
- f. Engagement with Dundas Museum & Archives
  - K.Stacey reached out to Museum Staff and they are excited to have puzzles and colouring sheets (both individual and booklet format). The museum is just getting back up and running. Focus will be on Fall activities.
- g. Engagement via the City's Website under Heritage Resources
  - Miranda Brunton to connect with Planning Staff and City IT services to inquire.

2. Heritage Colouring Pages – Volume 2 (Project On-going)

- a. No Update.

**5. Public Outreach and Events:**

1. HMHC Heritage Recognition Awards 2019-20

- a. Working Group reviewed the list of nominations; property by property. The Group was in general consensus for the approval of the nominations as reviewed. Recommendations to be forwarded to HMHC.  
(R.McKee/G.Carroll)

2. HMHC Heritage Recognition Awards Celebration

- a. M.Brunton reached out to the staff person who organized the Arts Council Awards. Some suggestions and comments received included:
  - Pre-record rather than live – to alleviate issues and look more polished.
  - Could be a presentation or social media post
  - Could have guest presenters
  - Use various social media channels
  - Keep simple and streamlined
  - Need to script the presentation
- b. Proposed Awards Recognition Event (Virtual/Social Media) - details still to be confirmed.
  - Date: To be confirmed.
  - Format: To be confirmed (video, powerpoint, etc.)
  - Available Staff resources: To be confirmed
  - Production: To be confirmed
  - Budget To be confirmed

**6. Policy & Administration:**

N/a

**7. New Business:**

N/a

**8. Next Meeting:**      Wednesday September 9<sup>th</sup>, 2020 at 6pm.

<b>SUMMARY OF NOMINATIONS: Hamilton Municipal Heritage Committee - Heritage Recognition Awards (2019-20)</b>		
	<b>CATEGORY</b>	<b>Quantity of Awards</b>
1.	<b>Heritage Property Conservation</b>	11
2.	<b>Heritage Property Developer</b>	1
3.	<b>Adaptive Reuse of a Heritage Property</b>	3
4.	<b>Cultural Heritage Landscape</b>	3
5.	<b>Sustainable Design in Heritage</b>	1
6.	<b>Making Heritage Accessible</b>	3
7.	<b>Education in Heritage</b>	2
8.	<b>Heritage Group, Society or Specialty Team</b>	1
	<b>TOTAL</b>	<b>25</b>



<b>AWARD CATEGORY #1 of 8: Heritage Property Conservation</b>				
		<b>Property Address</b>	<b>Name / Description</b>	<b>Brief Notes</b>
1.	✓	18 Turner Ave., Hamilton, On	c. 1933, built by Pigott Const., designed by William Souter (Registered) Non-Designated Property	<ul style="list-style-type: none"> <li>▪ Heritage Date: 1937</li> <li>▪ Registered: June 2017</li> </ul>
2.	✓	73 Aberdeen Ave., Hamilton, On	c. 1917 Georgian House (Registered) Non-Designated Property	<ul style="list-style-type: none"> <li>▪ Heritage Date: 1926</li> <li>▪ Registered: June 2017</li> </ul>
3.	✓	244 James St. S., Hamilton, On	Consultant Office (Registered) Non-Designated Property	<ul style="list-style-type: none"> <li>▪ Heritage Date: 1888</li> <li>▪ Registered: June 2017</li> </ul>
4.	✓	1059 Highway 8, Stoney Creek	Carpenter House	<ul style="list-style-type: none"> <li>▪ Heritage Date: TBD</li> </ul>
5.	✓	1455 Highway 8, Stoney Creek	Fifty United Church	<ul style="list-style-type: none"> <li>▪ Heritage Date: TBD</li> </ul>

6.	✓	1 Markland, Hamilton, On	Frost Residence (Designated)	<ul style="list-style-type: none"> <li>▪ Heritage Date: 1920</li> <li>▪ By-law: 94-184</li> </ul>
7.	✓	2081 Upper James St., \ 2081 Highway 6, Glanbrook, On	Fletcher Home (to be confirm) Stoneholm Farm (Inventoried)	<ul style="list-style-type: none"> <li>▪ Heritage Date: 1853</li> </ul>
8.	✓	1446 Hwy 8, Stoney Creek	The Van Duzer House (designated)	<ul style="list-style-type: none"> <li>▪ Heritage Date: 1895</li> <li>▪ By-law: 3638-92</li> </ul>
9.	✓	31 / 33 Melville St., Dundas	Parsonage to Knox Presbyterian Church (Designated)	<ul style="list-style-type: none"> <li>▪ Heritage Date: 1830</li> <li>▪ By-law: 3899-90</li> </ul>
10.	✓	558 Wilson St. E., Ancaster, On	Miller's House – (Registered) Non-Designated Property	<ul style="list-style-type: none"> <li>▪ Heritage Date: 1853</li> </ul>
11.	✓	176 Wilson St. E. Ancaster, On	Fraser House – (Registered) Non-Designated Property	<ul style="list-style-type: none"> <li>▪ Heritage Date: 1881? (1882 – 1184)</li> </ul>

TENTATIVE & SUBJECT TO APPROVAL

<b>AWARD CATEGORY #2 of 8: Heritage Property Developer</b>				
		<b>Property Address</b>	<b>Name / Description</b>	<b>Brief Notes</b>
1.	✓	27 Bold St.	The Pasadena (designated)	<ul style="list-style-type: none"> <li>▪ Heritage Date: 1914</li> <li>▪ By-law: 86-170</li> </ul>

<b>AWARD CATEGORY #3 of 8: Adaptive Reuse of a Heritage Property</b>				
		<b>Property Address</b>	<b>Name / Description</b>	<b>Brief Notes</b>
1.	✓	199 Glover Road, Stoney Creek	Orchard Terrace Care Centre (Designated)	<ul style="list-style-type: none"> <li>▪ Heritage Date: 1888</li> <li>▪ By-law: 4325-95</li> </ul>
2.	✓	118 Stinson Street, Hamilton, On	EJC Dentistry – (Inventoried Property)	
3.	✓	90 Stinson St., Hamilton, On	Fearman House – (Designated Property)	<ul style="list-style-type: none"> <li>▪ Heritage Date: 1863</li> <li>▪ By-law: 93-124</li> <li>▪ Good Shepherd Centre (Emmanuel House) Residential Hospice</li> </ul>

<b>AWARD CATEGORY #4 of 8: Cultural Heritage Landscape</b>				
		<b>Property Address</b>	<b>Name / Description</b>	<b>Brief Notes</b>
1.	✓	Civic Plan and the Durand Neighbourhood Association	The Durand Neighbourhood Character Project	<ul style="list-style-type: none"> <li>▪ Project explored innovative, community driven approaches to help shape new development in the neighbourhood - Useful tool for future</li> <li>▪ Provides a greater understanding of neighbourhood heritage and attitudes towards character</li> </ul>
2.	✓	777 York Boulevard, Hamilton, Ontario	Hamilton Cemetery Gardens	<ul style="list-style-type: none"> <li>▪ Site contains a wealth of Hamilton History. Monuments linked to Hamilton's people, places and events.</li> <li>▪ Extensive improvements undertaken to create and maintain cultural heritage landscapes</li> <li>▪ Recognition of Cemetery Gardener Chris Schofield</li> </ul>
3.	✓	Mountainbrow Boulevard	Mountainbrow Boulevard Streetscape	<ul style="list-style-type: none"> <li>▪ Reconstruction Project along the Mountain Brow.</li> <li>▪ Improvements made to improve aesthetics and provide a more pedestrian and cycling friendly pathway.</li> </ul>

TENTATIVE SUBJECT TO CHANGE

<b>AWARD CATEGORY #5 of 8: Sustainable Design in Heritage</b>				
		<b>Property Address</b>	<b>Name / Description</b>	<b>Brief Notes</b>
1.	✓	158 McNab St. N.	Euphoria Hair Boutique	<ul style="list-style-type: none"> <li>Recognition of landscape works completed to transform and improve the neighbourhood.</li> </ul>

<b>AWARD CATEGORY #6 of 8: Making Heritage Accessible</b>				
		<b>Property Address</b>	<b>Name / Description</b>	<b>Brief Notes</b>
1.	✓	8 St. Ann St., Hamilton, On	St. Stanislaus Roman Catholic Polish Church Elevator Addition and ramp	<ul style="list-style-type: none"> <li>Heritage Date: 1912</li> </ul>
2.	✓	130 Barton St. E., Hamilton, Ontario	St. Stephen of Hungary Roman Catholic Parish Elevator Addition	<ul style="list-style-type: none"> <li>Heritage Date: 1949</li> </ul>
3.	✓	285 Locke St. S., Hamilton On	Locke Street Library (Inventoried)	<ul style="list-style-type: none"> <li>Heritage Date: 1925</li> <li>Oldest public library branch in the system (opened Feb 2, 1925)</li> </ul>



<b>AWARD CATEGORY #7 of 8: Education in Heritage</b>				
		<b>Name</b>	<b>Related Heritage Property / Landscape</b>	<b>Brief Notes</b>
1.	✓	Bill King	Auchmar	<ul style="list-style-type: none"> <li>▪ Author, Former LACAC member, Volunteer with Doors Open, Janes Walks, Friends of Auchmar to feature the history of Auchmar, Leads Downtown walking tours</li> </ul>
2.	✓	Jon Soyka		<ul style="list-style-type: none"> <li>▪ Author, Videographer, President of Golden Horseshoe Postcard Club, Video Club, various education sessions,</li> </ul>

<b>AWARD CATEGORY #8 of 8: Heritage Group, Society or Specialty Team</b>				
		<b>Name</b>	<b>Related Heritage Property / Landscape</b>	<b>Brief Notes</b>
1.	✓	Stoney Creek Historical Society	Historic Stoney Creek	<ul style="list-style-type: none"> <li>▪ Historical Society established 112 years ago, in operation for 74 years (1908 – 1948) and (1986 – present), various works to champion heritage properties within Stoney Creek, offers community education, includes the local archives – a valuable resource to the community.</li> </ul>

# HAMILTON **THE** SPECTATOR

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LETTERS TO THE EDITOR

OPINION

## Sept. 9: Cathedral High needs heritage designation, questioning Aberdeen stats and other letters to the editor

Wed., Sept. 9, 2020

🕒 4 min. read

### **I'm questioning Aberdeen statistics**

I'm calling out our Ward 1 councillor on statistics she is using to prove her argument that Aberdeen Ave. is dangerous. Ms. Wilson is using a 10 year-span of statistics produced by Public Works. Most of those years were before the numerous pedestrian-activated traffic lights were installed, before crossing guards were stationed at every corner in the neighbourhood, before advanced greens allowed for safer left hand turns, before bike lanes were installed on Herkimer Street and Charleton Avenue, before speed limits were lowered to 40 km. I'm sure we would be more impressed if she would publish those statistics by year to show the trend of incidents either upward or downward.

There is an elementary school at each end of Stanley Avenue. Every school day Stanley Avenue and Herkimer Street are filled with buses and cars dropping off children. We don't need an increase in vehicles on our side streets where the children actually are. Ms. Wilson's solution is to "monitor the effects" and to "respond as needed."

Why don't we wait to see the impact of the Queen Street makeover on Aberdeen traffic? We may be able to save millions. COVID already has the City swimming in red ink and we can't afford to make costly mistakes.

*Nancy Elliott, Hamilton*

### **Attila and Genghis couldn't do worse**

This is an America where police shoot and kill black citizens with apparent impunity, where federal troops patrol burning city streets and armed white vigilantes shoot and kill peaceful protesters. An America beset by a pandemic during which government inaction and blundering has caused 190,000 deaths, where 4 per cent of the world's population has almost 25 per cent of the COVID cases, where it is not safe for children to return to schools and unemployment soars in a recession made deeper by government folly; I watched Donald Trump and Mike Pence, tell Americans that things would be worse should Joe Biden and Kamala Harris be elected.

A presidency of Attila the Hun and Genghis Khan could not make things worse than the chaos that is America today.

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*Jim Young,  
Burlington*

**China's appeal all about money**

A reader asks why face masks are made in China.

The answer is simple ... money. Big companies decided long ago they could open in countries with lower wages and no unions manufacture their goods at a much lower cost, then bring them back and sell at original cost, thereby making more profit. The more profit the more they moved out of their country, shutting down production and decimating industries.

Case in point. U.S. Steel "saved" Stelco. They acquired all the priority information such as recipes for steelmaking and the technology only Stelco. Contracts were removed and sent to U.S. The technology was sold world wide. Then they forced Canadian operations into bankruptcy.

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*Bob Reed, Simcoe*

**Put a tax on financial transactions**

Aaron Wudrick missed an important area where the government could raise funds to pay for pandemic expenses: that is, taxing financial transactions. This would be like a 'sales tax' on investment transactions, stock trading and the like. This recommendation was made by French economist author, Thomas Piketty. This strategy has the potential to raise significant funds without major impact on the transactions themselves. This idea needs to be seriously explored.

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*Renate Manthei,  
Hamilton*

**Street racers should face harsher penalties**

I agree that penalty for street racing, killing that poor innocent woman on Queenston Road, should be very harsh. Some time ago, I was driving on Fennell Ave, in between Garth and West 5th, when two cars went flying by, probably going way over 120 km/h. There are numerous traffic lights on that street, which obviously didn't stop them. There are two schools on the south part of Fennell, Mohawk and Hillfield. North of Fennell is residential and a hospital. These guys didn't show any respect for that. Street racing penalties should be very harsh to prevent anyone from getting killed or injured.

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*Jack Terrana, Ancaster*

**Old Cathedral High should be designated**

As a Ward 3 resident who lives not far from the former Cathedral High School, I was glad to hear that the building can serve so well as Good Shepherd's temporary men's shelter.

Ward Coun. Nann has said that Hamilton deserves beautiful buildings. Old Cathedral is a perfect example of a beautiful, historic building in Ward 3.

The local community has wanted heritage designation for Old Cathedral since 1989. The Stinson Community Association requested designation for Cathedral seven years ago.

The Good Shepherd project is a great opportunity to complete the community's efforts to preserve this beautiful building for future Hamiltonians. It's an ideal chance for a both/and situation: we can support the shelter project – and the renovations and abatement it may require – and also protect the unique character of this important and beautiful building that hosted generations of local schoolchildren.

Hamiltonians might believe that Old Cathedral is already designated, since media reported on an initial decision by the City to designate it, back in 2018. But the designation was actually deferred.

To see the stunning original plans for the school, check out the designation report online. About 50 pages in, you'll find the wonderful 1928 architectural drawings from the Archives of Ontario.

All of the supporting work for designation has been done; it's just that last step that's needed. It's time to complete this 30-year community effort and get designation for Old Cathedral across the finish line.

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*Dr. Sarah Sheehan, Hamilton*

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Read more about: [China](#)

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## Staff Designation Work Plan

*\*Initial target date if different from current date.*

Year			Common Name	Address		Former Municipality	Heritage Status	Buildings & Landscapes List	New Information
Added	Initial*	Target							
2009	2017	2020	Desjardins Canal		Cootes Dr	Dundas	Register	-	
2013	2015	2020	Jimmy Thompson Pool	1099	King St E	Hamilton	Register	-	
2008	2009	2020	Royal Connaught	82-112	King St E	Hamilton	Register	Yes (Green)	
2017	2018	2020	Former Blacksmith Shop	2	Hatt St	Dundas	Register	Yes (Red)	
2011	2018	2020	Residence	7	Ravenscliffe Ave	Hamilton	Register	-	
2009	2013	2020	Dundas Post Office	104	King St W	Dundas	Register	Yes (Green)	
2009	2013	2020	Auchmar Gatehouse	71	Claremont Dr	Hamilton	Register	Yes (Black)	
2008	2011	2020	Gore Park	1	Hughson St S	Hamilton	Register	-	
2011	2017	2020	Treble Hall	4-12	John St N	Hamilton	Register	Yes (Green)	
2009	2016	2020	Barton Reservoir	111	Kenilworth Access	Hamilton	Register	-	
2009	2015	2020	Former Grace Anglican Church	1395-1401	King St E	Hamilton	Register	-	
2011	2017	2020	Hambly House	170	Longwood Rd N	Hamilton	Register	-	
2006	2011	2020	Gage Park	1000	Main St E	Hamilton	Register	Yes (Yellow)	
2013	2016	2020	Former Cathedral Boys School	378	Main St E	Hamilton	Register	-	Temporary Shelter proposed (no development)



									application)
2011	2018	2020	San House (Medical Superintendent's Residence/Residence 37)/Patterson Building	540-672 (650-672)	Sanatorium Rd	Hamilton	Register	-	
2012	2018	2020	Regency Cottage	39	Lakeview Dr	Stoney Creek	Register	-	
2014	-	2020	W.H. Ballard School	801	Dunsmure Rd	Hamilton	Register	-	
2014	-	2020	Memorial School	1175	Main St E	Hamilton	Register	-	
2013	-	2020	Residence	105	Erie Ave	Hamilton	Register	-	
2014	-	2020	Kenilworth Library	103	Kenilworth Ave N	Hamilton	Register	-	
2013	-	2020	Former Union School	634	Rymal Rd W	Hamilton	Register	-	
2019	-	2020	Royal Coachman	1	Main Street	Waterdown	Register	-	
2019	-	2020	-	9	Main Street	Waterdown	Register	-	
2019	-	2020	Maple Lawn	292	Dundas Street East	Waterdown	Register	Yes (Yellow)	
2018	-	2020	-	828	Sanatorium Road	Hamilton	Register	Yes (Red)	
2014	-	2020	Cannon Knitting Mill	134	Cannon St E	Hamilton	Register	-	
2014	-	2020	Bell Building	17	Jackson St W	Hamilton	Register	-	
2014	-	2020	Oak Hall	10	James St N	Hamilton	Register	-	
2014	-	2020	Former Bank of Nova Scotia	54	King St E	Hamilton	Register	-	
2012	-	2020	Former Elfrida United	2251	Rymal Rd E	Stoney	Register	Yes (Yellow)	

			Church			Creek			
2020	-	2020	-	490	Old Dundas Rd	Ancaster	Register	-	
2020	-	2020	-	454	Wilson Street E	Ancaster	Register	-	
2020	-	2020	-	450	Wilson Street E	Ancaster	Register	-	
2020	-	2020	-	449	Wilson Street E	Ancaster	Register	-	
2020	-	2020	Village Gate Montessori School	442	Wilson Street E	Ancaster	Register	-	
2020	-	2020	Mount Mary-Wynnstay Estate	437	Wilson Street E	Ancaster	Register	-	
2020	-	2020	-	430	Wilson Street E	Ancaster	Register	-	
2020	-	2020	-	426	Wilson Street E	Ancaster	Register	-	
2020	-	2020	-	425	Wilson Street E	Ancaster	Register	-	
2020	-	2020	Needle Emporium	420	Wilson Street E	Ancaster	Register	-	
2020	-	2020	Masonic Lodge	419	Wilson Street E	Ancaster	Register	-	
2020	-	2020	-	413	Wilson Street E	Ancaster	Register	-	
2020	-	2020	Old Ancaster Hotel	380	Wilson Street E	Ancaster	Register	-	
2020	-	2020	-	363	Wilson	Ancaster	Register	-	

					Street E				
2020	-	2020	Ancaster Memorial School	357	Wilson Street E	Ancaster	Register	-	
2020	-	2020	-	347	Wilson Street E	Ancaster	Register	-	
2020	-	2020	Postans House	346	Wilson Street E	Ancaster	Register	-	
2020	-	2020	Purple Pony	340	Wilson Street E	Ancaster	Register	-	
2020	-	2020	-	327	Wilson Street E	Ancaster	Register	-	
2020	-	2020	-	311	Wilson Street E	Ancaster	Register	-	
2020	-	2020	-	303	Wilson Street E	Ancaster	Register	-	
2020	-	2020	-	297	Wilson Street E	Ancaster	Register	-	
2020	-	2020	-	289	Wilson Street E	Ancaster	Register	-	
2020	-	2020	-	287	Wilson Street E	Ancaster	Register	-	
2020	-	2020	-	286	Wilson Street E	Ancaster	Register	-	
2020	-	2020	-	283	Wilson Street E	Ancaster	Register	-	
2020	-	2020	Former General Store	280	Wilson Street E	Ancaster	Register	-	
2020	-	2020	-	277	Wilson	Ancaster	Register	-	

					Street E				
2020	-	2020	Ryerson United Church	265	Wilson Street E	Ancaster	Register	-	
2020	-	2020	Fraser House	176	Wilson Street E	Ancaster	Register	-	
2020	-	2020	Former Carriage Factory	241	Wilson Street E	Ancaster	Register	-	
2020	-	2020	-	558	Wilson Street E	Ancaster	Register	-	
2014	-	2021	Former Hamilton Distillery Company Building	16	Jarvis St	Hamilton	Register	-	
2014	-	2021	Former County Courthouse	50	Main St E	Hamilton	Register	-	
2019	-	2021	Lennard House	7	Rolph Street	Dundas	Register	-	
2014	-	2022	Charlton-Hughson-Forest-John Block	39-49; 40, 50; 189	Charlton Ave E; Forest Ave; Hughson St S	Hamilton	Register	-	
2014	-	2022	Copp Block	165-205 (Except 193)	King St E	Hamilton	Register	-	
2014	-	2023	Hughson House	103	Catharine St N	Hamilton	Register	-	
2014	-	2023	Hamilton Hydro	55	John St N	Hamilton	Register	-	
2014	-	2023	First Pilgrim United Church	200	Main St E	Hamilton	Register	-	
2014	-	2023	St. John's Evangelical	37	Wilson St	Hamilton	Register	-	

			Lutheran Church						
2014	-	2024	Stelco Tower	100	King St W	Hamilton	Register	-	
2014	-	2024	Landmark Place/Century 21 Building	100	Main St E	Hamilton	Register	-	
2014	-	2024	Hamilton Club	6	Main St E	Hamilton	Register	-	
2014	-	2024	Commercial Building	189	Rebecca St	Hamilton	Register	-	
2014	-	2025	George Armstrong School	460	Concession St	Hamilton	Register	-	
2017	-	2025	Gartshore Building	64	Hatt St	Dundas	Register	Yes (Yellow)	
2017	-	2025	Undercliffe	64	Aberdeen Ave	Hamilton	Register	-	
2017	-	2025	Gateside	131-135	Aberdeen Ave	Hamilton	Register	-	
2017	-	2025	Hereford House/Royal Alexdandra	13-15; 19-21	Bold St; Bold St	Hamilton	Register	-	
2017	-	2026	Residence	192	Bold St	Hamilton	Register	-	
2017	-	2026	Henson Court	170	Caroline St S	Hamilton	Register	-	
2017	-	2026	Central Presbyterian Church	252	Caroline St S	Hamilton	Register	-	
2017	-	2026	Eggshell Terrace	14-24	Charlton Ave W	Hamilton	Register	-	
2020	-	2026	Binkley Drive House	50	Sanders Blvd	Hamilton	Register	Yes (Yellow)	
2020	-	2026	Lakelet Vale	54	Sanders Blvd	Hamilton	Register	Yes (Yellow)	
2017	-	2027	Residence	99	Duke St	Hamilton	Register	-	
2017	-	2027	Residence	191	Bay St S	Hamilton	Register	-	



2017	-	2028	Residence	173	Bay St S	Hamilton	Register	-	
2017	-	2028	Maple Lawn	254	Bay St S	Hamilton	Register	-	
2017	-	2028	Widderly	274	Bay St S	Hamilton	Register	-	
2017	-	2028	Bright Side/Sunny Side	280	Bay St S	Hamilton	Register	-	
2017	-	2028	Balfour House	282	Bay St S	Hamilton	Register	-	
2017	-	2028	Residence	41	Charlton Ave W	Hamilton	Register	-	
2017	-	2029	Residence	72	Charlton Ave W	Hamilton	Register	-	
2017	-	2029	Stone Houses	14	Duke St	Hamilton	Register	-	
2017	-	2029	Residence	98	Duke St	Hamilton	Register	-	
2017	-	2030	Herkimer Terrace	11-17	Herkimer St	Hamilton	Register	-	
2017	-	2030	Semi-detached Residence	44-46	Herkimer St	Hamilton	Register	-	
2017	-	2030	Residence	370	Hess St S	Hamilton	Register	-	
2017	-	2030	Residence	378	Hess St S	Hamilton	Register	-	
2017	-	2030	Residence	384	Hess St S	Hamilton	Register	-	
2017	-	2030	HREA Residence	203	MacNab St S	Hamilton	Register	-	
2017	-	2031	Moodie Residence	37	Aberdeen Ave	Hamilton	Register	-	
2017	-	2031	Residence	125	Aberdeen Ave	Hamilton	Register	-	
2017	-	2031	Gibson Residence	311	Bay St S	Hamilton	Register	-	
2017	-	2031	Residence	312	Bay St S	Hamilton	Register	-	
2017	-	2032	Cartwright Residence	321	Bay St S	Hamilton	Register	-	
2017	-	2032	Whitton Residence	351-353	Bay St S	Hamilton	Register	-	
2017	-	2032	Pigott Residence	358	Bay St S	Hamilton	Register	-	

2017	-	2032	Semi-detached Residence	64	Charlton Ave W	Hamilton	Register	-	
2017	-	2033	First Hamilton Christian Reformed Church	181	Charlton Ave W	Hamilton	Register	-	
2017	-	2033	Herkimer Apartments	86	Herkimer St	Hamilton	Register	-	
2017	-	2034	Residence	347	Queen St S	Hamilton	Register	-	
2017	-	2034	Residence	403	Queen St S	Hamilton	Register	-	
2017	-	2034	The Castle/Amisfield	1	Duke St	Hamilton	Register	-	
2019	-	2035	Goldblatt House	45	Amelia Street	Hamilton	Register	-	