



**City of Hamilton**  
**HAMILTON MUNICIPAL HERITAGE COMMITTEE**  
**AGENDA**

**Meeting #:** 21-007  
**Date:** September 24, 2021  
**Time:** 12:30 p.m.  
**Location:** Due to the COVID-19 and the Closure of City Hall (CC)

All electronic meetings can be viewed at:

City's Website:  
<https://www.hamilton.ca/council-committee/council-committee-meetings/meetings-and-agendas>

City's YouTube Channel:  
<https://www.youtube.com/user/InsideCityofHamilton> or Cable 14

Loren Kolar, Legislative Coordinator (905) 546-2424 ext. 2604

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1. CEREMONIAL ACTIVITIES
2. APPROVAL OF AGENDA  
(Added Items, if applicable, will be noted with \*)
3. DECLARATIONS OF INTEREST
4. APPROVAL OF MINUTES OF PREVIOUS MEETING
  - 4.1. August 5, 2021
5. COMMUNICATIONS
6. DELEGATION REQUESTS
7. CONSENT ITEMS
  - 7.1. Policy & Design Working Group Meeting Notes

- 7.1.a. December 7, 2020
- 7.1.b. January 25, 2021
- 7.1.c. March 15, 2021
- 7.1.d. April 19, 2021
- 7.1.e. May 17, 2021
- 7.1.f. June 21, 2021
- 7.2. Heritage Permit Review Sub-Committee Minutes
  - 7.2.a. July 20, 2021
  - 7.2.b. July 27, 2021
  - 7.2.c. August 17, 2021
- 7.3. Inventory & Research Working Group Meeting Notes June 21, 2021
- 7.4. Heritage Permit Applications- Delegated Approvals
  - 7.4.a. Heritage Permit Application HP2021-032: Proposed construction of a rear addition sunroom to 140 Hatt Street, Dundas (Ward 13) (By-law 04-064)
  - 7.4.b. Heritage Permit Application HP2021-035: Proposed installation of security signs to 114-116 MacNab Street South, Hamilton (MacNab Street Presbyterian Church) (Ward 2) (MacNab-Charles HCD)
  - 7.4.c. Heritage Permit Application HP2021-036: Proposed installation of interior waterproofing, weeping tile and window well drains, 29 Mill Street North, Flamborough (Ward 15) (Mill Street HCD)
  - 7.4.d. Heritage Permit Application HP2021-039: Replacement of the eavestroughs, soffits, fascia, and dormer cladding at 220 St. Clair Boulevard, Hamilton (Ward 3) (By-law No.92-140) (St. Clair Boulevard HCD)
  - 7.4.e. Heritage Permit Application HP2021-040: Proposed alteration of investigative parging openings and brick removal at 35-43 Duke Street, Hamilton (Ward 2) (By-law No. 75-237)
  - 7.4.f. Heritage Permit Application HP2021-042: Proposed Alteration of the Storefronts and Windows at 255-265 James Street North, Hamilton (Ward 2) (By-law No. 87-176)

7.4.g. Heritage Permit Application DP2021-026: Proposed replacement of existing windows at 220 St. Clair Boulevard, Hamilton (Ward 3) (St. Clair Boulevard HCD) (By-law No.92-140)

7.4.h. Heritage Permit Application HP2021-034: Proposed refurbishment of existing windows of the sanctuary to 21 Stone Church Road West (Barton Stone - Mount Hope United Church) (Ward 8) (By-law No. 17-119)

## **8. STAFF PRESENTATIONS**

8.1. Heritage Permit Application HP2021-037, Under Part IV of the Ontario Heritage Act, for Façade Integration into Redevelopment of 18 - 28 King Street East, Hamilton (PED21195) (Ward 2)

## **9. PUBLIC HEARINGS / DELEGATIONS**

## **10. DISCUSSION ITEMS**

## **11. MOTIONS**

## **12. NOTICES OF MOTION**

## **13. GENERAL INFORMATION / OTHER BUSINESS**

### **13.1. Buildings and Landscapes**

This list is determined by members of the Hamilton Municipal Heritage Committee. Members provide informal updates to the properties on this list, based on their visual assessments of the properties, or information they have gleaned from other sources, such as new articles and updates from other heritage groups.

13.1.a. Endangered Buildings and Landscapes (RED)

(Red = Properties where there is a perceived immediate threat to heritage resources through: demolition; neglect; vacancy; alterations, and/or, redevelopment)

- (i) Tivoli, 108 James Street North, Hamilton (D) – T. Ritchie
- (ii) Andrew Sloss House, 372 Butter Road West, Ancaster (D) – C. Dimitry
- (iii) Century Manor, 100 West 5th Street, Hamilton (D) – G. Carroll
- (iv) 18-22 King Street East, Hamilton (D) – W. Rosart
- (v) 24-28 King Street East, Hamilton (D) – W. Rosart
- (vi) 2 Hatt Street, Dundas (R) – K. Burke
- (vii) James Street Baptist Church, 98 James Street South, Hamilton (D) – J. Brown
- (viii) Long and Bisby Building, 828 Sanatorium Road (D) – G. Carroll
- (ix) 120 Park Street, North, Hamilton (R) – R. McKee
- (x) 398 Wilson Street East, Ancaster (D) – C. Dimitry
- (xi) Lampman House, 1021 Garner Road East, Ancaster (D) – C. Dimitry
- (xii) Cathedral Boys School, 378 Main Street East, Hamilton (R) – T. Ritchie
- (xiii) Firth Brothers Building, 127 Hughson Street North, Hamilton (NOID) – T. Ritchie
- (xiv) Auchmar Gate House, Claremont Lodge 71 Claremont Drive (R) – R. McKee
- (xv) Former Hanrahan Hotel (former) 80 to 92 Barton Street East (I)– T. Ritchie
- (xvi) Television City, 163 Jackson Street West (D) – J. Brown
- (xvii) 1932 Wing of the Former Mount Hamilton Hospital, 711 Concession Street (R) – G. Carroll
- (xviii) 215 King Street West, Dundas (I) – K. Burke
- (xix) 679 Main Street East, and 85 Holton Street South, Hamilton (Former St. Giles Church) (I)– D. Beland
- (xx) 219 King Street West, Dundas (R) – K. Burke
- (xxi) 216 Hatt Street, Dundas (I) – K. Burke

13.1.b. Buildings and Landscapes of Interest (YELLOW)

(Yellow = Properties that are undergoing some type of change, such as a change in ownership or use, but are not perceived as being immediately threatened)

- (i) Delta High School, 1284 Main Street East, Hamilton (D) – D. Beland
- (ii) 2251 Rymal Road East, Stoney Creek (R) – C. Dimitry
- (iii) Former Valley City Manufacturing, 64 Hatt Street, Dundas (R) – K. Burke
- (iv) St. Joseph's Motherhouse, 574 Northcliffe Avenue, Dundas (ND) – W. Rosart
- (v) Copley Building, 104 King Street West; 56 York Blvd., and 63-76 MacNab Street North (NOI) – G. Carroll
- (vi) Dunington-Grubb Gardens, 1000 Main Street East (within Gage Park) (R) – D. Beland
- (vii) St. Clair Blvd. Conservation District (D) – D. Beland
- (viii) 52 Charlton Avenue West, Hamilton (D) – J. Brown
- (ix) 292 Dundas Street East, Waterdown (R) – L. Lunsted
- (x) Chedoke Estate (Balfour House), 1 Balfour Drive, Hamilton (R) – T. Ritchie
- (xi) Binkley property, 50-54 Sanders Blvd., Hamilton (R) - J. Brown
- (xii) 62 6th Concession East, Flamborough (I) - L. Lunsted
- (xiii) Beach Canal Lighthouse and Cottage (D) – R. McKee
- (xiv) Cannon Knitting Mill, 134 Cannon Street East, Hamilton (R) – T. Ritchie
- (xv) 1 Main Street West, Hamilton (D) – W. Rosart
- (xvi) 54 - 56 Hess Street South, Hamilton (R) – J. Brown

13.1.c. Heritage Properties Update (GREEN)

(Green = Properties whose status is stable)

- (i) Royal Connaught Hotel, 112 King Street East, Hamilton (NOID) – T. Ritchie
- (ii) Auchmar, 88 Fennell Avenue West, Hamilton (D) – R. McKee
- (iii) Treble Hall, 4-12 John Street North, Hamilton (D) – T. Ritchie
- (iv) Former Post Office, 104 King Street West, Dundas (R) – K. Burke
- (v) Rastrick House, 46 Forest Avenue, Hamilton (D) – G. Carroll
- (vi) 125 King Street East, Hamilton (R) – T. Ritchie

13.1.d. Heritage Properties Update (BLACK)

(Black = Properties that HMHC have no control over and may be demolished)

No properties.

13.2. Staff Work Plan as of September 14, 2021

14. PRIVATE AND CONFIDENTIAL

15. ADJOURNMENT



## Hamilton

### HAMILTON MUNICIPAL HERITAGE COMMITTEE

Minutes 21-006

12:30 p.m.

Thursday, August 5, 2021

Due to COVID-19 and the closure of City Hall, this meeting was held virtually

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**Present:** Councillor M. Pearson  
A. Denham-Robinson (Chair), D. Beland, J. Brown, K. Burke, G. Carroll, C. Dimitry (Vice-Chair), L. Lusted, R. McKee

**Absent:** T. Ritchie and W. Rosart

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**THE FOLLOWING ITEMS WERE REFERRED TO THE PLANNING COMMITTEE FOR CONSIDERATION:**

**FOR INFORMATION:**

**(a) CHANGES TO THE AGENDA (Item 2)**

The Clerk advised the Committee of the following changes:

**6. DELEGATION REQUESTS**

- 6.1 Delegation Request from Dr. S. Sheehan respecting the property at 85 Holton Street South (former St. Giles Church) (for today's meeting)

**7. CONSENT ITEMS**

- 7.1 Heritage Permit Applications - Delegated Approvals

7.1(a) Heritage Permit Application HP2021-029: Installation of exterior signage at the rear of the property for the new retail store at 5 Mill Street South, Waterdown (Ward 15), located within the Mill Street Heritage Conservation District (By-law No. 96-34-H)

7.1(b) Heritage Permit Application HP2021-031: Installation of exterior signage on main floor to 46 James Street North, Hamilton (Ward 2) (By-law No. 08-215)

- 7.2 Heritage Permit Review Sub-Committee Minutes - June 15, 2021

**13. GENERAL INFORMATION / OTHER BUSINESS**

13.3. Staff Work Plan

**(Brown/Lunsted)**

That the Agenda for the August 5, 2021 Hamilton Municipal Heritage Committee be approved, as amended.

**CARRIED**

**(b) DECLARATIONS OF INTEREST (Item 3)**

No declarations of interest were made.

**(c) APPROVAL OF MINUTES OF PREVIOUS MEETING (Item 4)**

**(i) June 25, 2021 (Item 4.1)**

**(Brown/Carroll)**

That the Minutes of the June 25, 2021 meeting of the Hamilton Municipal Heritage Committee be approved, as presented.

**CARRIED**

**(d) COMMUNICATIONS (Item 5)**

**(i) Statement from the Friends of St. Giles on meeting with New Vision United Church - June 30, 2021 (Item 5.1)**

**(Carroll/Dimitry)**

That the Resignation from Statement from the Friends of St. Giles on meeting with New Vision United Church - June 30, 2021, be received.

**CARRIED**

**(e) DELEGATION REQUEST (Item 6)**

**(i) Delegation Request from Dr. S. Sheehan respecting the property at 85 Holton Street South (former St. Giles Church) (for today's meeting) (Added Item 6.1)**

**(McKee/Burke)**

That the Delegation Request from Dr. S. Sheehan respecting the property at 85 Holton Street South (former St. Giles Church) be approved, for today's meeting.

**CARRIED**



**(f) CONSENT ITEMS (Item 7)**

**(Lunsted/Beland)**

That the following items be received:

- (i) Heritage Permit Applications - Delegated Approvals (Added Item 7.1)
  - (a) Heritage Permit Application HP2021-029: Installation of exterior signage at the rear of the property for the new retail store at 5 Mill Street South, Waterdown (Ward 15), located within the Mill Street Heritage Conservation District (By-law No. 96-34-H) (Added Item 7.1(a))
  - (b) Heritage Permit Application HP2021-031: Installation of exterior signage on main floor to 46 James Street North, Hamilton (Ward 2) (By-law No. 08-215) (Added Item 7.1(b))
- (ii) Heritage Permit Review Sub-Committee Minutes - June 15, 2021 (Added Item 7.2)

**CARRIED**

**(g) DELEGATIONS (Item 9)**

**(i) Dr. S. Sheehan respecting the property at 85 Holton Street South (former St. Giles Church) (Added Item 9.1)**

Dr. Sheehan addressed Committee with an update respecting the property at 85 Holton Street South (former St. Giles Church), with the aid of a PowerPoint presentation.

**(Lunsted/McKee)**

Dr. Sheehan addressed Committee with an update respecting the property at 85 Holton Street South (former St. Giles Church), be received.

**CARRIED**

**(ii) (Brown/McKee)**

That staff be directed to schedule Licensing and By-law Services staff to attend an upcoming Hamilton Municipal Heritage Committee meeting to discuss the Vacant Building Registry and impacts on heritage properties.

**CARRIED**

**(g) GENERAL INFORMATION / OTHER BUSINESS (Item 13)**

**(i) Buildings and Landscapes (Item 13.1)**

**(McKee/Burke)**

That the following updates be received:

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**(c) Heritage Properties Update (GREEN):**

**(Green = Properties whose status is stable)**

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- (v) Rastrick House, 46 Forest Avenue, Hamilton – G. Carroll
- (vi) 125 King Street East, Hamilton (R) – T. Ritchie

**(d) Heritage Properties Update (black):**

**(Black = Properties that HMHC have no control over and may be demolished)**

No properties.

**CARRIED**

**(ii) Verbal Update on the Plaquing Process at the City of Hamilton (Item 13.2)**

Christopher Redford addressed the Committee with a Verbal Update respecting Plaquing Process at the City of Hamilton.

**(McKee/Lunsted)**

That the Verbal Update respecting Plaquing Process at the City of Hamilton, be received.

**CARRIED**

**1. (McKee/Burke)**

That the Education and Communication Working Group gather information respecting Designation Plaquing, for a report back to the Hamilton Municipal Heritage Committee.

**CARRIED**

**2. (McKee/Lunsted)**

That staff be directed to explore the feasibility of a Hamilton Municipal Heritage Committee Plaquing Program.

**CARRIED**

**(iii) Staff Work Plan (Added Item 13.3)**

Amber Knowles, Chloe Richer, Cultural Heritage Planners, addressed committee with an overview of the current Staff Work Plan.

**(Dimitry/Carroll)**

That the Staff Work Plan, be received.

**CARRIED**

**(g) ADJOURNMENT (Item 15)**

**(Burke/Brown)**

That there being no further business, the Hamilton Municipal Heritage Committee, adjourned at 2:18 p.m.

**CARRIED**

Respectfully submitted,

Alissa Denham-Robinson, Chair  
Hamilton Municipal Heritage Committee

Loren Kolar  
Legislative Coordinator  
Office of the City Clerk

**MEETING NOTES**  
**POLICY AND DESIGN WORKING GROUP**

Monday December 7, 2020

10:00 am

City of Hamilton Web Ex Virtual Meeting

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Attendees: C. Dimitry, B. Janssen, L. Lunsted, R. McKee, W. Rosart,

Regrets: C. Priamo , K.Stacey, A. Denham- Robinson

Also Present: D. Addington

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**THE POLICY AND DESIGN WORKING GROUP NOTES FOR THE INFORMATION OF THE HAMILTON MUNICIPAL HERITAGE COMMITTEE WITH RESPECT TO:**

**(a) CHANGES TO THE AGENDA**

None

**(b) DECLARATIONS OF INTEREST**

None

**(c) REVIEW OF PAST MEETING NOTES**

**Notes of November 19, 2020:**

Notes approved.

**(d) C.H.I.A. – 1 property: 101 King Street East, Hamilton**

An overview of the proposed changes was given by David Addington, (City of Hamilton). The subject property is listed on the Municipal Heritage Register and is located within the Gore Park Cultural Landscape.

- Proposed development:

- Adding 3 storeys to the existing 3 storey building. This building is structurally sound.
- Remove an existing 1-storey addition at the rear to allow for a 7 storey addition
- Integrate the existing interior to the new addition
- Remove existing cladding and repair existing brick exterior using original brick where possible
- Remove existing windows which are not original

Working Group Members noted the following regarding the CHIA in general:

- In general, the working group liked the concept and was happy to see that existing brick would be used. The integration of the existing building into the design is very well done.
- Review of the proposed changes:
  - The group was unanimous in their dislike of the proposed cube structures on the front of the 4<sup>th</sup> and 5<sup>th</sup> storey. Although the CHIA indicates that the cubes are intentionally designed to contrast with the heritage aspects of the 2<sup>nd</sup> and 3<sup>rd</sup> storeys, the group felt they were too drastic a contrast.
    - C. Dimitry suggested that perhaps the cantilever on the 5<sup>th</sup> storey could be set back. He also wondered if there were any plans to leave some of the interior joists exposed as they are the only interior heritage feature left.
    - B. Janssen liked the proposed use of the brick and the work on the heritage features
    - L. Lunsted wondered if they could frame the cube in brick, similar to the building at 185 King St. E., to soften the look of the cube.
    - The group also suggested that the window glazing could be simplified
    - The cube shape is evident in several surrounding buildings but the impact of those is not as jarring. Some are set back so they are not as visible from the street.

**Recommendations regarding the CHIA for 101 King Street East, Hamilton**

- That the applicant provide alternative designs more in keeping with the heritage design of the building.

**(e) OTHER BUSINESS**

- R. McKee asked what the status was concerning the designation of Gore Park. D. Addington replied that it is still being worked on. There is also no change to the status of the Auchmar Gate House.
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**(f) ADJOURNMENT**

The Policy & Design Working Group Meeting adjourned at 9:45 am.

**Next meeting date:** To be determined

**MEETING NOTES**  
**POLICY AND DESIGN WORKING GROUP**

Monday March 15, 2021

3:30 pm

City of Hamilton Web Ex Virtual Meeting

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Attendees: C. Dimitry, B. Janssen, L. Lunsted, R. McKee, W. Rosart, A. Denham-Robinson

Regrets: C. Priamo, K. Stacey

Also Present: D. Addington  
Hannah Kosziwka

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**THE POLICY AND DESIGN WORKING GROUP NOTES FOR THE INFORMATION OF THE HAMILTON MUNICIPAL HERITAGE COMMITTEE WITH RESPECT TO:**

**(a) CHANGES TO THE AGENDA**

None

**(b) DECLARATIONS OF INTEREST**

A. Denham-Robinson stated that her office is working on the building being discussed in the C.H.I.A.

**(c) REVIEW OF PAST MEETING NOTES**

**Notes of December 7, 2020:**

Approved by general consensus with minor edits.

**(d) C.H.I.A. – 1 property: Chedoke Browlands / Long & Bisby Building**

An overview of the Cultural Heritage Impact Assessment (CHIA) was given by Cultural Heritage Planner, David Addington. It was noted that Council approved the Notice of Intent to Designate in February and the NOID has been issued. The property owner has noted to staff that not all of the windows are intact or present, and that a portion of the rear addition had been previously been removed due to fire damage.

The Long & Bisby building was built in 1920 as a nurses residence for staff working at the Mountain Sanitorium. It is the only building from that institution still standing.

Overview Proposed development:



- Building 630 residential units, a mix of townhouses and multi-unit residential buildings.
- The townhouses are proposed to be 2-3 storeys, the multi-unit residential buildings will range in height with 4, 5, and 8 storey buildings being proposed.
- The development will be built in phases.
- Approximately 9 acres of land near Chedoke Creek will remain as open space and ownership will be transferred to the City.
- The Long & Busby building will be retained, initially as the office for the developer and later potentially converted for amenity or office use.
- A tree preservation plan has been submitted with the development application.

Working Group Members noted the following regarding the CHIA:

- In general, the working group were pleased that the Long & Bisby building is being retained and recommended that a Conservation plan be completed for the building. A. Denham-Robinson noted that the a plan for the ongoing monitoring and securing of the building must be included.
- C. Dimitry wondered if there were more heritage features inside the Long & Bisby building which have not been identified as being worth retaining such as the fireplace surround and ceiling the nurses lounge.
- R. McKee felt it was not clear what was happening to the Cross of Lorraine, and more information was needed as to how it was going to be dealt with and a plan for its restoration should be provided. Was it going to be restored and was it going to be lit? Was there a plan to remove trees so that the Cross was more visible?
- R. McKee suggested that the Hamilton Mountain Historical Society may be interested in preserving the Cross and may be able to help with funds and restoration plans.
- L. Lunsted said that the plans include blasting near the Long & Bisby building for construction of underground parking, and there was potential for damage to the building. It is agreed that an engineer should report on the potential blasting impacts on the Long & Bisby building and referenced in the CHIA. We would like to see regular reporting and ongoing monitoring of the building when this is happening.
- B. Janssen would like to see more detail on the park lands and hopes that as many trees as possible will be retained. It was noted that landscape components were removed from the designation By-law at Planning Committee.
- The CHIA reports that the landscape has been significantly altered over time so there is no significant impact with any changes, however, the P&D Working group is not in agreement with this statement.

**Recommendations regarding the CHIA for Chedoke Browlands/Long & Bisby**

- That the CHIA be received and that the questions and issues noted by the working group be addressed in a resubmission of the CHIA.

**(e) OTHER BUSINESS**

- R. McKee had various questions about the potential timing of a designation of the Auchmar Gatehouse and how a designation by-law would apply to the property should the gatehouse be moved.

**(f) ADJOURNMENT**

The Policy & Design Working Group Meeting adjourned at 10.00 am.

**Next meeting date:** To be determined

**MEETING NOTES**  
**POLICY AND DESIGN WORKING GROUP**

Monday March 15, 2021

3:30 pm

City of Hamilton Web Ex Virtual Meeting

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Attendees: C. Dimitry, B. Janssen, L. Lunsted, R. McKee, W. Rosart, A. Denham-Robinson, Carol Priamo

Regrets: K.Stacey

Also Present: A. Golden  
Hannah Kosziwka

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**THE POLICY AND DESIGN WORKING GROUP NOTES FOR THE INFORMATION OF THE HAMILTON MUNICIPAL HERITAGE COMMITTEE WITH RESPECT TO:**

**(a) CHANGES TO THE AGENDA**

None

**(b) DECLARATIONS OF INTEREST**

None

**(c) REVIEW OF PAST MEETING NOTES**

**Notes of January 25, 2021**

Approved

**(d) C.H.I.A. – Revised Cultural Heritage Impact Assessment for 115-117 George Street & 220-222 Main Street West, by Goldsmith Borgal & Company Ltd. Architects, dated February 9, 2021**

This CHIA was previously discussed on October 19, 2020. In reviewing the revised CHIA, the group feels that their comments were not all addressed and the recommendations remain the same.

Working Group Members noted the following regarding the CHIA:

- In general, the working group was pleased with the additions to the CHIA with regards to the George Street addresses.

Individual comments:

**220 Main St. W.**

- C. Dimitry felt that there are at least 3 attributes for 220 Main St. W. which should be noted in the Reg. 9/06 criteria – Queen Anne style, the turrets and the brickwork
  - He would like the new design to have more actual brick rather than a representation and more of a heritage look
- C. Priamo asked if they have already applied for re-zoning for the higher number of stories. She does not approve of tearing the building down

**222 Main St. W.**

- C. Dimitri – would like to keep this building
- C. Priamo – feels that the 9/06 assessment in the CHIA is not accurate, and should be as follows:
  - 1 i) – should be a Yes
  - 1 ii) – it does have craftsmanship
  - 2 i) yes it has a theme – its historical development
  - 2 ii) Yes – if the building comes down then there is nothing left to help describe the neighbourhood
  - 3 i) Yes it is important in defining the character of the neighbourhood
  - 3 ii) Yes, it is linked to its surroundings
- B. Janssen feels that they have missed the mark and could do a lot more to recognize the heritage and history, if the building is demolished.

Overall comments:

The Working Group hoped for more features to be saved from 222 Main St. W. If possible they would prefer that the building be saved and a structure be built above it. They would prefer that more of the red brick be incorporated into the design. They do not agree with the Ref.. 9/06 criteria as written in the CHIA.

It is recognized that the setback of the Main Street buildings could be an issue in the design but it is an integral part of the original structure and would have contributed to the character of the neighbourhood.

**Recommendations regarding the CHIA for 115-117 George St. & 220-222 Main St. W.**

- That the CHIA be received and that the questions and issues noted by the working group be addressed in a resubmission of the CHIA.
- In addition, while 115-117 George Street are Registered, they recommend referring these buildings, as well as Arlo House at 206 Main St. W. to the Inventory and Research Working Group as possible candidates for Designation.

**(e) OTHER BUSINESS**

- R. McKee confirmed that the Cross of Lorraine is included in the designation of the Long & Bisby building.
- He also questioned if it is better to designate a building (Auchmar Gatehose) before or after moving it to another location.
- W. Rosart asked if information can be sent out to the group earlier. This will be discussed at the next meeting and potential timelines developed. However it all depends on when staff get the information and how urgent it is.

**(f) ADJOURNMENT**

The Policy & Design Working Group Meeting adjourned at 4:50 p.m..

**Next meeting date:** To be determined

**MEETING NOTES**  
**POLICY AND DESIGN WORKING GROUP**

Monday April 19, 2021

3:00 pm

City of Hamilton Web Ex Virtual Meeting

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Attendees: C. Dimitry, B. Janssen, L. Lunsted, R. McKee, W. Rosart, A. Denham-Robinson, Carol Priamo

Regrets: K.Stacey

Also Present: A. Golden  
Hannah Kosziwka

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**THE POLICY AND DESIGN WORKING GROUP NOTES FOR THE INFORMATION OF THE HAMILTON MUNICIPAL HERITAGE COMMITTEE WITH RESPECT TO:**

**(a) CHANGES TO THE AGENDA**

None

**(b) DECLARATIONS OF INTEREST**

None

**(c) REVIEW OF PAST MEETING NOTES**

**Notes of March 15, 2021**

When asked these notes had been forwarded to the developer yet, Alissa Golden advised that she was waiting for them to be approved at this meeting. She will then add her comments and forward them.

Approved

**(d) C.H.I.A. – Cultural Heritage Impact Assessment for 101 Hunter Street E. by Goldsmith Borgal & Company Ltd. February 26, 2021**

The proposal is to demolish the building. The report did not find any criteria which met the Ontario Regulation 9/06 criteria for Cultural Heritage Value or interest.

Alissa Golden made the following comments for our clarification:

- Hunter Street was the cutoff and was not included in the Downtown Built Heritage Inventory.

- She feels that there is contextual value
- The statement that there is no historical or associative value may need more research
- The study seems to focus on the impact to adjacent buildings

Overall, the group disagreed with the report and felt that there were aspects that did not meet the Regulation 9/06 criteria.

Individual comments:

- The city Secondary Plan currently in effect does not allow this type of development
- It does not conform with the Tall Building Study or the current Zoning By-laws
- Corktown is one of four historical areas and needs more study
- The Shadow impact study is not representative of reality
- The placement of the building on the lot should be reconsidered
- The City should be accountable for studies which have been done and follow their own recommendations.
- We feel there is technical merit
- The brick and foundation are in good shape
- We would have expected to see more in the 'Associative Value' category
- If the new building is built, the row houses on the East and West may not survive
- While other nearby properties are on the Register, there are no plans for designation and they are not on the workplan.
- There is associative value
- Buildings may start to disappear in the Corktown area, south of Hunter Street if they are not added to the Register
- We do not see any heritage aspects in the design
- The buildings could be integrated into the design as they are right on the corner of the property.
- There were multiple references to high rises which do not exist yet
- The report does not recommend any heritage incorporation of the existing buildings

### **Recommendations regarding the CHIA for 101 Hunter Street West**

The group does not agree with the Ontario Regulation 9/06 criteria as noted in the report. They feel that the existing buildings could be incorporated into the design or at the very least, some indication of the heritage of the buildings should be incorporated.

The proposal does not seem to conform with existing Zoning By-laws.

- (e) **C.H.I.A. – Cultural Heritage Impact Assessment for 455 and 457 Bay Street North prepared by ASI July 2020**

The proposal is for an addition at the rear of 455 Bay Street North, a designated building, and to construct a new residence on the adjacent vacant lot at 457 Bay Street North.

The major concerns of the group were with regards to maintaining the stability of the slope, and the number of mature trees which may need to be removed to facilitate the build. In particular there is a large tree which seems to be in front of the proposed new construction and removing it would significantly alter the streetscape.

- All heavy equipment will have access from the rear of the properties
- The City is taking over the operation of the marina and it may eventually close, resulting in great public access to the area at the rear of these lots.
- There are three tunnels near these lots which have heritage significance. They are currently boarded up but in future they may be recognized with a heritage plaque.
- It was felt that the design of both the rear addition and the new construction were more in keeping with Vancouver, rather than Hamilton, and they do not fit the area.

Overall comments:

The Working Group agrees in general with the report. They concur with the suggestion in section B.3.4.1.3 that exterior finishes for the new construction could make greater use of wood and brick materials, rather than the glass, steel and concrete. Engineering reports should evaluate the structural integrity and stability of the slope, and a landscape plan should be provided.

### **Recommendations regarding the CHIA for 455 and 457 Bay Street North**

- That the CHIA be received and that the issues noted by the working group be addressed.

### **(f) ADJOURNMENT**

The Policy & Design Working Group Meeting adjourned at 4:35 p.m..

**Next meeting date:** To be determined



**MEETING NOTES**  
**POLICY AND DESIGN WORKING GROUP**

Monday May 17, 2021

3:00 pm

City of Hamilton Web Ex Virtual Meeting

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Attendees: B. Janssen, L. Lunsted, A. Denham- Robinson, Carol Priamo

Regrets: K.Stacey, R.McKee, W. Rosart, C.Dimitry

Also Present: A. Golden  
H. Kosziwka, S. Kursikowski, C. Richer

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**THE POLICY AND DESIGN WORKING GROUP NOTES FOR THE INFORMATION OF THE HAMILTON MUNICIPAL HERITAGE COMMITTEE WITH RESPECT TO:**

**(a) CHANGES TO THE AGENDA**

None

**(b) DECLARATIONS OF INTEREST**

None

**(c) REVIEW OF PAST MEETING NOTES**

**Notes of April 19, 2021**

Approved with revisions – the names of the group members have been removed from the individual comments.

**(d) Introduction of the new Cultural Heritage Planners:** Stacey Kursikowski and Cloe Richer

**(e) C.H.I.A. – Cultural Heritage Impact Assessment for Trinity Baptist Church 922 Main Street East** by Megan Hobson, 17 August 2020.

The proposal is to add a six storey residential care facility to the east side of the church, containing 50 dwelling units, and to retain the existing church as amenity space. The new building will be separate, but access to the church will be through new entry points.

A presentation was made by Cultural Heritage Planner Stacey Kursikowski, outlining the proposed plans.

Individual comments:

- the plans call for 17 parking spaces – will this be enough?
- There are 16 stained glass windows and the plans call for the removal of two of them. Are these going to be retained somewhere else?
- There does not seem to be a good description of how the rooflines will come together, and why the 'joining' roof is required
- The church is currently only on the inventory. It should be on the register and perhaps even designated.
- There is a space between the two structures where the stained glass windows on the east side of the church will look onto. Could skylights be incorporated into the roof to allow some natural light into these spaces so that the stained glass windows can be highlighted.

The Cultural Heritage Planner had identified many of these questions already and is also asking if the east façade of the new structure could have a bit more definition on that side since it is the main entrance.

### **Recommendations regarding the CHIA for 922 Main Street East**

The Policy & Design Working Group is supportive of this CHIA and agrees with the recommendations. It is not necessary to have this resubmitted to us.

We would like the Cultural Heritage Planner to update us on any changes or responses regarding the questions and comments identified.

It is recommended that this property be sent to the Inventory & Research Group to have it included on the Register, with further research regarding eventual Designation.

### **(f) ADJOURNMENT**

The Policy & Design Working Group Meeting adjourned at 3:40 p.m..

**Next meeting date:** To be determined

**MEETING NOTES**  
**POLICY AND DESIGN WORKING GROUP**

Monday June 21, 2021

3:00 pm

City of Hamilton Web Ex Virtual Meeting

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Attendees: C. Dimitry, B. Janssen, L. Lunsted, A. Denham- Robinson, W. Rosart

Regrets: K.Stacey, R.McKee, , C. Priamo, S. Kusikowski

Also Present: C. Richer , H. Kosziwka,

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**THE POLICY AND DESIGN WORKING GROUP NOTES FOR THE INFORMATION OF THE HAMILTON MUNICIPAL HERITAGE COMMITTEE WITH RESPECT TO:**

**(a) CHANGES TO THE AGENDA**

None

**(b) DECLARATIONS OF INTEREST**

None

**(c) REVIEW OF PAST MEETING NOTES**

**Notes of May 17, 2021**

Approved with revision – correction to the spelling of Chloe Richer.

**(d) C.H.I.A. – Cultural Heritage Impact Assessment for 265 Mill Street South, Waterdown** by KSA Architectural Solutions, December 2020

The report was to support a Zoning By-Law amendment application. A presentation was made by Cultural Heritage Planner Chloe Richer and she had a few comments:

- Landscaping needs to be addressed
- The property is on the Register and may be put forward for designation if further research supports it
- Several of the attributes in the report say they 'partially' apply. The answer should be yes or no, not partially.

Individual comments:

- o The working group is in favour of the overall strategy

- We feel that all of the attributes under Contextual Value should read 'meets criteria'
- We would like the comments under the Historical Attributes to be stronger, not 'partially meets'
- We feel that there is potential for this building to be designated. The Waterdown Village Built Heritage Inventory lists this property as a Designation Candidate.
- We would like to know if there are more items on the interior which could be salvaged. Most of the documentation is about the staircase.
- While the additions to the rear are necessary, would it be possible to have these more in line with the current structure.
- Would it be possible to have a site visit to view the interior?

**Recommendations regarding the CHIA for 265 Mill Street South, Flamborough (Waterdown)**

The Policy & Design Working Group is supportive of this CHIA and agrees with the recommendations. It is not necessary to have this resubmitted to us.

We would like the Cultural Heritage Planner to update us on any changes or responses regarding the questions and comments identified.

It is recommended that this property be sent to the Inventory & Research Group for further research regarding eventual Designation.

- (e) **C.H.I.A. – Cultural Heritage Impact Assessment for 207 King Street, Dundas** by Wren Design, revised April 2021
- The working group is very pleased with the revisions to the CHIA. All of our concerns and questions have been addressed and answered.
  - The only question was if there will be accessible entry as it does not look like there is an AODA access in the front.

(f) **ADJOURNMENT**

The Policy & Design Working Group Meeting adjourned at 3:55 p.m.

**Next meeting date:** To be determined

**MINUTES OF THE HAMILTON HERITAGE PERMIT REVIEW SUB-COMMITTEE**

**Tuesday, July 20, 2021**

**Present:** Karen Burke, Graham Carroll, Diane Dent, Charles Dimitry (Chair), Andy MacLaren, Carol Priamo, Tim Ritchie (Vice Chair), Stefan Spolnik, Steve Wiegand

**Attending Staff:** Amber Knowles, Hannah Kosziwka, Stacey Kursikowski, Chloe Richer, Charlie Toman

**Absent with Regrets:** Melissa Alexander

Meeting was called to order by the Chairman, Charles Dimitry, at 5:00pm

**1) Approval of Agenda:**

(Burke/Dent)

That the Agenda for July 20, be approved as presented.

**2) Approval of Minutes from Previous Meetings:**

(Carroll/Dent)

That the Minutes of June 15, 2021, be approved as presented.

### 3) Heritage Permit Applications

a. **HP2021-034: 21 Stone Church Road West (Barton Stone - Mount Hope United Church)**

- Scope of work:
  - Refurbishing all windows of the sanctuary while utilizing available grants.
  - Scope of work for 2021/2022 is to refurbish all 4 sets of existing paired gothic arched windows on the south elevation of the sanctuary and refurbish all 4 sets of existing paired gothic arched windows on the north elevation of the sanctuary in 2023/2024
- Reason for work:
  - Repairs of damaged wood/seals

John and Joanne Eagles, trustees of the church, represented the property owner and spoke to the Sub-committee at the permit review.

The Sub-committee considered the application and together with input from the applicant and advice from staff, passed the following motion:

(Dent/MacLaren)

That the Heritage Permit Review Sub-committee advises that Heritage Permit application HP2021-034 be consented to, subject to the following conditions:

- a) That any minor changes to the plans and elevations following approval shall be submitted, to the satisfaction and approval of the Director of Planning and Chief Planner, prior to submission as part of any application for a Building Permit and / or the commencement of any alterations; and,
- b) Installation of the alterations, in accordance with this approval, shall be completed no later than July 31, 2024. If the alteration(s) are not completed by July 31, 2024, then this approval expires as of that date and no alterations shall be undertaken without a new approval issued by the City of Hamilton.

**b. HP2021-035: 114-116 MacNab Street South , Hamilton (MacNab Street Presbyterian Church)**

- Scope of work:
  - Installation of surveillance signs
- Reason for work:
  - Curb vandalism, illegal activities, etc. taking place on the Church premises

Frank Taylor, Building Manager, and Ken Post, a trustee of the church, represented the property owner and spoke to the Sub-committee at the permit review.

The Sub-committee considered the application and together with input from the applicant and advice from staff, passed the following motion:

(Dent/Carroll)

That the Heritage Permit Review Sub-committee advises that Heritage Permit application HP2021-035 be consented to, subject to the following conditions:

- a) That any minor changes to the plans and elevations following approval shall be submitted, to the satisfaction and approval of the Director of Planning and Chief Planner, prior to submission as part of any application for a Building Permit and / or the commencement of any alterations; and,
- b) Installation of the alterations, in accordance with this approval, shall be completed no later than July 31, 2023. If the alteration(s) are not completed by July 31, 2023, then this approval expires as of that date and no alterations shall be undertaken without a new approval issued by the City of Hamilton.
- c) That the proposed signage conform to the City of Hamilton's Sign By-law

**c. HP2021-036: 29 Mill Street North, Flamborough**

- Scope of work:
  - Interior waterproofing alterations to concrete block addition
  
- Reason for work:
  - Waterproofing to prevent damage.

Rachel Wheeler, a contractor, represented the owner and spoke to the sub committee at the permit review.

The Sub-committee considered the application and together with input from the applicant and advice from staff, passed the following motion:

(MacLaren/Burke)

That the Heritage Permit Review Sub-committee advises that Heritage Permit application HP2021-036 be consented to, subject to the following conditions:

- a) That any minor changes to the plans and elevations following approval shall be submitted, to the satisfaction and approval of the Director of Planning and Chief Planner, prior to submission as part of any application for a Building Permit and / or the commencement of any alterations; and,
- b) Installation of the alterations, in accordance with this approval, shall be completed no later than July 31, 2023. If the alteration(s) are not completed by July 31, 2023, then this approval expires as of that date and no alterations shall be undertaken without a new approval issued by the City of Hamilton.



**d. HP2021-032: 140 Hatt Street, Dundas**

- Scope of work:
  - Construction of a rear addition (sunroom)
  
- Reason for work:
  - Additional space and home improvement

Giancarlo Tari, Owner, Complete Home Construction Inc., represented the property owners and spoke to the Sub-committee at the review.

The Sub-committee considered the application and together with input from the applicant and advice from staff, passed the following motion:

(MacLaren/Spolnik)

That the Heritage Permit Review Sub-committee advises that Heritage Permit application HP2021-032 be consented to, subject to the following conditions:

- a) That any minor changes to the plans and elevations following approval shall be submitted, to the satisfaction and approval of the Director of Planning and Chief Planner, prior to submission as part of any application for a Building Permit and / or the commencement of any alterations; and,
- b) Installation of the alterations, in accordance with this approval, shall be completed no later than July 31, 2023. If the alteration(s) are not completed by July 31, 2023, then this approval expires as of that date and no alterations shall be undertaken without a new approval issued by the City of Hamilton.
- c) That the two heritage window openings at the rear of the buildings be maintained when they are enclosed by the sunroom addition.
- d) That revised plans be resubmitted to the satisfaction of the Director of Planning and Chief Planner indicating the existing rear window openings are to be retained in the sunroom addition.

4) **Adjournment:** Meeting was adjourned at 6:25 pm

That the meeting be adjourned.

5) **Next Meeting:** Tuesday, July 27, 2021 from 4:30 – 8:30pm

**MINUTES OF THE HAMILTON HERITAGE PERMIT REVIEW SUB-COMMITTEE**

**Tuesday, July 27, 2021**

**Present:** Melissa Alexander, Karen Burke, Graham Carroll, Charles Dimitry (Chair), Andy MacLaren, Carol Priamo, Tim Ritchie (Vice Chair), Steve Wiegand

**Attending Staff:** Amber Knowles, Hannah Kosziwka, Shannon McKie

**Absent with Regrets:** Diane Dent, Stefan Spolnik

Meeting was called to order by the Chairman, Charles Dimitry, at 4:30pm

**1) Approval of Agenda:**

(MacLaren/Priamo)

That the Agenda for July 27, be approved as presented.

**2) Approval of Minutes from Previous Meetings:**

Previous meeting's minutes will be received and reviewed at the August meeting.

### 3) Heritage Permit Applications

#### a. **HP2021-037: 18-28 King Street East, Hamilton (Gore Buildings)**

- Scope of work:
  - Proposed redevelopment integrating the designated heritage facades into a new 6-storey mixed use building.
- Reason for work:
  - Proposed redevelopment of site

The following parties represented the property owner, Hughson Business Space Corporation, and spoke to the Sub-committee at the permit review.

Evan Apostol, Wilson Blanchard  
Jonathan Dee, John G. Cooke & Associates LTD.  
Jeff Feswick, Historia Building Restoration Inc.  
Megan Hobson, Megan Hobson & Associates  
P Navarro, DPAI Architecture  
David Premi, DPAI Architecture

The Sub-committee considered the application and together with input from the applicant and advice from staff, passed the following motion:

(Ritchie/Burke)

That the Heritage Permit Review Sub-committee advises that Heritage Permit application HP2021-037 be consented to, subject to the following conditions:

- a) That any minor changes to the plans and elevations following approval shall be submitted, to the satisfaction and approval of the Director of Planning and Chief Planner, prior to submission as part of any application for a Building Permit and / or the commencement of any alterations; and,
- b) Installation of the alterations, in accordance with this approval, shall be completed no later than July 31, 2023. If the alteration(s) are not completed by July 31, 2023, then this approval expires as of that date and no alterations shall be undertaken without a new approval issued by the City of Hamilton.

c) That a Conservation Plan in accordance with the City's Guidelines for Conservation Plans be submitted to the satisfaction and approval of the Director of Planning and Chief Planner prior to the issuance of any Building Permit for demolition or new construction.

d) That a Heritage Easement agreement be reached with the City prior to the commencement of work.

e) The applicant shall provide a Letter of Credit to the Director of Planning for 100% of the total estimated cost in a form satisfactory to the City's Finance Department (Development Officer, Budget, Taxation and Policy) to be held by the City as security for securing, protecting, stabilizing, monitoring and restoring the retained portions as required by this Heritage Permit.

4) **Adjournment:** Meeting was adjourned at 6:45 pm

(Carroll/MacLaren)

That the meeting be adjourned.

5) **Next Meeting:** Tuesday, August 17, 2021 from 4:30 – 8:30pm

**MINUTES OF THE HAMILTON HERITAGE PERMIT REVIEW SUB-COMMITTEE**

**Tuesday, August 17, 2021**

**Present:** Karen Burke, Graham Carroll, Charles Dimitry (Chair), Andy MacLaren, Carol Priamo, Tim Ritchie (Vice Chair), Stefan Spolnik, Steve Wiegand

**Attending Staff:** Ohi Izirein, Amber Knowles, Hannah Kosziwka, Stacey Kursikowski, Chloe Richer

**Absent with Regrets:** Melissa Alexander, Diane Dent

Meeting was called to order by the Chairman, Charles Dimitry, at 5:00pm

**1) Approval of Agenda:**

(Burke/Ritchie)

That the Agenda for August 17, be approved as presented.

**2) Approval of Minutes from Previous Meetings:**

(Carroll/MacLaren)

That the Minutes of July 20, 2021 and July 27, 2021, be approved as presented.

### 3) Heritage Permit Applications

#### a. **HP2021-038: 24 Griffin Street, Waterdown**

- Scope of work:
  - Proposed replacement of front door
  - Replacement of seven windows (work already completed)
  
- Reason for work:
  - Replacement of front door due to poor condition
  - Windows previously replaced due to poor condition

Jim and Fay Mansfield, the property owners, spoke to the Sub-committee at the permit review.

The Sub-committee considered the application and together with input from the applicant and advice from staff, passed the following motion:

(Dent/MacLaren)

That the Heritage Permit Review Sub-committee advises that Heritage Permit application HP2021-038 be consented to, subject to the following conditions:

- a) That any minor changes to the plans and elevations following approval shall be submitted, to the satisfaction and approval of the Director of Planning and Chief Planner, prior to submission as part of any application for a Building Permit and / or the commencement of any alterations; and,
  
- b) Installation of the alterations, in accordance with this approval, shall be completed no later than August 31, 2023. If the alteration(s) are not completed by August 31, 2023, then this approval expires as of that date and no alterations shall be undertaken without a new approval issued by the City of Hamilton.



**b. HP2021-039: 220 St. Clair Boulevard, Hamilton**

- Scope of work:
  - Replacement of the eavestroughs, soffits, fascia, and dormer cladding
  
- Reason for work:
  - Replacement of damaged elements and colour change to match previously approved replacement windows (HP2021-026)

Patrick Hale and Alissa Pellizzari-Hale, the property owners, spoke to the Sub-committee at the permit review.

The Sub-committee considered the application and together with input from the applicant and advice from staff, passed the following motion:

(Carroll/Ritchie)

That the Heritage Permit Review Sub-committee advises that Heritage Permit application HP2021-039 be consented to, subject to the following conditions:

- a) That any minor changes to the plans and elevations following approval shall be submitted, to the satisfaction and approval of the Director of Planning and Chief Planner, prior to submission as part of any application for a Building Permit and / or the commencement of any alterations; and,
  
- b) Installation of the alterations, in accordance with this approval, shall be completed no later than August 31, 2023. If the alteration(s) are not completed by August 31, 2023, then this approval expires as of that date and no alterations shall be undertaken without a new approval issued by the City of Hamilton.

**c. HP2021-040: 35-43 Duke Street (Sandyford Place), Hamilton**

- Scope of work:
  - Investigative parging test openings
  - Removal of loose bricks from chimneys
  
- Reason for work:
  - Investigation into extent of deterioration of original masonry.

Stefan Nespoli, from Edison Engineers, represented the condo owners and spoke to the sub committee at the permit review.

The Sub-committee considered the application and together with input from the applicant and advice from staff, passed the following motion:

(MacLaren/Spolnik)

That the Heritage Permit Review Sub-committee advises that Heritage Permit application HP2021-040 be consented to, subject to the following conditions:

- a) That any minor changes to the plans and elevations following approval shall be submitted, to the satisfaction and approval of the Director of Planning and Chief Planner, prior to submission as part of any application for a Building Permit and / or the commencement of any alterations; and,
- b) Installation of the alterations, in accordance with this approval, shall be completed no later than August 31, 2023. If the alteration(s) are not completed by August 31, 2023, then this approval expires as of that date and no alterations shall be undertaken without a new approval issued by the City of Hamilton.

**d. HP2021-042: 255-265 James Street North**

- Scope of work:
  - Upper Windows:
    - Replace the existing (not original) residential windows on 2<sup>nd</sup> and 3<sup>rd</sup> floor of building with aluminum clad, one-over-one windows, black in colour.
  - Storefronts:
    - Replace five existing storefronts (single pane glass) with new black aluminum storefront frames at 255, 257, 259, 261 and 263 James Street North. All storefronts noted above will maintain their existing configurations.
    - Reconfigure the corner storefront at 265 James Street North to eliminate the recessed entry and form a straight storefront with an operable sliding door in similar proportions to the existing storefront.
    - Remove the existing knee wall and extend glass to the floor.
    - Increase the height of the entrance doors to 8' therefore eliminating or reducing the size of the transom above each entrance.
    - Paint the existing arched window frame black on the Colbourne Street frontage to match remaining
    - Replace glass in arched window as it is cracked.
  - Signage Band:
    - Install a new black aluminum clad band for consistent signage above storefronts on James Street.
  - Lighting:
    - Install wall sconce between all storefronts to illuminate facade of building – Eurofase Inc. “Dale” or “Crest” model outdoor wall mount light fixtures in Graphite Grey as per submitted specs.

Lorenzo DiDonato, the son of the property owner, represented his father and spoke to the Sub-committee at the review.

The Sub-committee considered the application and together with input from the applicant and advice from staff, passed the following motion:

(Ritchie/Priamo)

That the Heritage Permit Review Sub-committee advises that Heritage Permit application HP2021-042 be consented to, subject to the following conditions:

- a) Any minor changes to the plans and elevations following approval shall be submitted, to the satisfaction and approval of the Director of Planning and Chief Planner, prior to submission as part of any application for a Building Permit and / or the commencement of any alterations;
- b) That the applicant submits a sketch illustrating a revised storefront for 265 James Street North indicating proportionate segments to the existing storefront with the incorporation of a sliding door, to the satisfaction and approval of the Director of Planning and Chief Planner, prior to submission as part of any application for a Building Permit and / or the commencement of any alterations;
- c) Implementation of the alterations, in accordance with this approval, shall be completed no later than August 31, 2023. If the alterations are not completed by August 31, 2023, then this approval expires as of that date and no alterations shall be undertaken without a new approval issued by the City of Hamilton.

4) **Adjournment:** Meeting was adjourned at 7:45 pm

(Carroll/MacLaren)

That the meeting be adjourned.

5) **Next Meeting:** Tuesday, August 31, 2021 from 5:00 – 8:30pm

## **Inventory & Research Working Group (IRWG)**

### **Meeting Notes**

Monday, June 21, 2021 (6:00 pm – 8:00 pm)  
City of Hamilton WebEx Virtual Meeting

**Present:** Janice Brown (Chair); Rammy Saini (Secretary); Graham Carroll; Chuck Dimitry; Lyn Lunsted; Alissa Denham-Robinson; Ann Gillespie

**Regrets:** Brian Kowalesicz; Jim Charlton; Alissa Golden (Heritage Project Specialist)

**Also Present:** Chloe Richer (Heritage Planner); Stacey Kursikowski (Heritage Planner); Hannah Kosziwka (Waterloo Student Intern)

### **RECOMMENDATIONS**

THE INVENTORY & RESEARCH WORKING GROUP RECOMMENDS THE FOLLOWING TO THE HAMILTON MUNICIPAL HERITAGE COMMITTEE:

1. The Inventory & Research Working Group (IRWG) recommends researching best practices on reviewing, prioritizing and updating early designations (pre-2002) to align with the new Ontario Heritage Act, and adding this task as an ongoing project to the IRWG's Work Plan. The IRWG will report back to the Hamilton Municipal Heritage Committee with the findings.

### **NOTES**

#### **1. Chair's Remarks**

Janice welcomed all present and noted that soon we will have a third heritage planner.

#### **2. Declarations of Interest**

None.

#### **3. Review & Approval of Meeting Notes: May 20, 2021**

Approved by general consensus.

4. **Early Designations (pre-2002): Review, Prioritize, Update – Janice**  
The Ontario Heritage Act was updated in 2002, which means early designations (anything prior to 2002) have been completed and written differently to how they are completed now. The early designations, for example, do not always have identifying features or other heritage attributes recorded. Janice discussed with the IRWG how best to ensure that we do not lose the older designations.

With the new Ontario Heritage Act, it is possible that any designations to pre-2002 designations may affect their designation status. Between 1977 and 1979, there are 30 designations that could be in a difficult situation as they are not written to the same level of detail as is required presently. Dan Schneider<sup>1</sup> has strongly suggested that these designations should be reviewed and prioritized due to the potential for difficulties with their existing designation status. For example, 51 Herkimer Street is one of the earliest designations; its windows have since been altered at no fault of the owner, but this means the designation status could be impacted as per the existing Ontario Heritage Act (please see attachment as an example of an early designation).

The IRWG is interested in knowing more about what other cities have done to update their pre-2002 heritage permits. Stacey and Chloe are going to touch base with their heritage circles and see what information they can gather about how other cities/municipalities are updating their earlier designations. There are over 200 properties in the Hamilton area that have early designation status, but it is unclear which ones are most at threat. The IRWG discussed the potential nature of the work involved in updating the designations, especially with respect to time and resources. After having had this preliminary discussion/review, the IRWG has decided this is an issue that should be considered important enough to add to the working group's work plan. A

The IRWG would like to recommend that the working group research best practices on reviewing, prioritizing and updating early designations (pre-2002) to align with the new *Ontario Heritage Act*, and that this task be added as an ongoing project to the IRWG work plan. **See recommendation above.**

## 5. **Other Business**

- a) Ann Gillespie provided a brief update on the former Blackadar retirement residence at 99 Creighton Street (now vacant and under threat of demolition) and the adjacent 56-year old long-term care facility at 102 Creighton Street. The future of

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<sup>1</sup> Dan Schneider, BA, LLB, Dan Schneider Heritage Consulting, "OHA + M Blog for University of Waterloo, Heritage Resource Centre, Policy Advisor 2002-2005 - Changes to the OHA.

these properties currently remains unclear. Both properties were acquired by Elite Developments in 2020 with the intent of redeveloping the site for a 9-storey, 226-unit residential building. A formal consultation request was made to the City of Hamilton in April 2021. Only the 1875 building (99 Creighton St) has any historical and architectural interest (see accompanying Preliminary Research Report). Ann will continue her research on the property and bring back a recommendation to the IRWG at a later date.

**b)** Janice may not be available for a meeting in July, which is tentatively cancelled unless an urgent matter arises. Should the IRWG need to meet, Graham has kindly volunteered to chair the meeting. Rammy will be away in July and August; Ann has kindly volunteered to take meeting notes for those months.

## **6. Adjournment and Next Meeting Date**

The meeting was adjourned at 7:50 PM.

Next meeting: July 26<sup>th</sup> (if needed, otherwise Aug. 23<sup>rd</sup>), 6:00-8:00 PM, WebEx Online

The Corporation of the City of Hamilton

BY-LAW NO. 77- 21

To Designate:

Municipal No. 51 Herkimer Street

as Property of

HISTORIC AND ARCHITECTURAL VALUE AND INTEREST

WHEREAS the Council of The City of Hamilton did give notice of its intention to designate No. 51 Herkimer Street in accordance with subsection 3 of section 29 of The Ontario Heritage Act, 1974, S.O. 1974, Chapter 122;

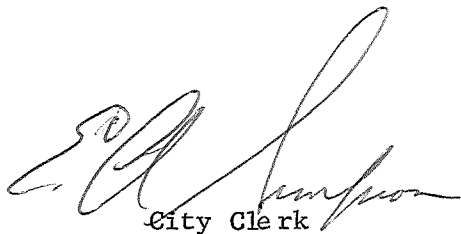
AND WHEREAS no notice of objection was served on the Clerk of the City of Hamilton;

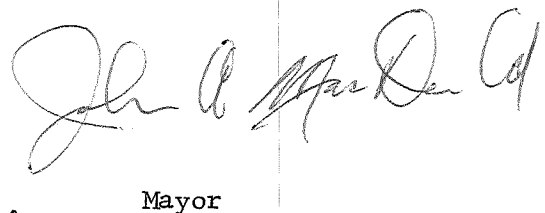
AND WHEREAS it is desired to designate No. 51 Herkimer Street in accordance with clause (a) of subsection 6 of section 29 of The Ontario Heritage Act, 1974.

NOW THEREFORE the Council of The Corporation of the City of Hamilton enacts as follows:

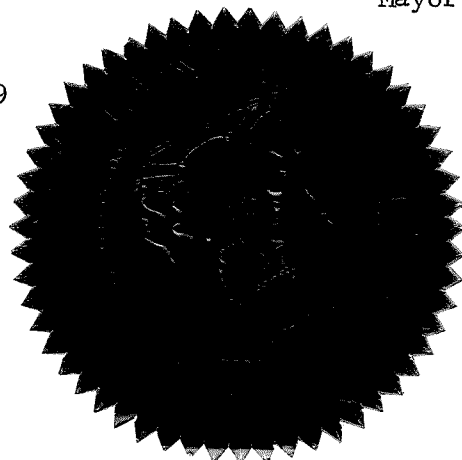
1. The property known as No. 51 Herkimer Street and more particularly described in schedule "A" hereto annexed is hereby designated as property of historic and architectural value and interest.
2. The City Solicitor is hereby authorized and directed to cause a copy of this by-law, together with reasons for the designation set out in schedule "B" to be registered against the property affected in the proper registry office.
3. The City Clerk is hereby authorized and directed;
  - (i) to cause a copy of this by-law, together with reasons for the designation to be served on the owners and The Ontario Heritage Foundation;
  - (ii) to publish a notice of this by-law in a newspaper having general circulation in the Municipality of the City of Hamilton.

PASSED this 25th day of January A.D. 1977.

  
City Clerk

  
Mayor

(1976) 39 R.B.C. 25, November 9





## SCHEDULE "A"

TO

BY-LAW NO. 77- 21

All and Singular the certain parcel or tract of land and premises situate lying and being in the City of Hamilton, in the Regional Municipality of Hamilton-Wentworth, in the Province of Ontario, being composed of parts of Lots Numbers Thirteen (13), Fourteen (14) and Fifteen (15) as shown on a plan of subdivision prepared for J. D. Pringle, A. Logie and W. Griffin, the Plan thereof registered in the Land Registry Office for the Registry Division of Wentworth as Number 40, and which said parcel or tract of land is situate on the south side of Herkimer Street between Park and MacNab Streets, and may be more particularly described as follows:

PREMISING the bearings used herein are assumed astronomic and derived from the Ontario Co-ordinate System, Zone 10, Central Meridian 79 degrees 30 minutes west longitude.

COMMENCING at an iron bar planted at the northwestern corner of Lot Number 13.

THENCE South 72 degrees and 06 minutes east along the northern limits of Lots Numbers 13, 14 and 15, and being also along the southern limit of Herkimer Street, 78.58 feet more or less to an iron bar planted where it is intersected by the production northerly of the western face of a concrete retaining wall.

THENCE South 18 degrees 10 minutes and 50 seconds west to and along the western face of the aforesaid concrete retaining wall 115.47 feet more or less to an iron bar planted in the line of a present existing chain link fence marking the southern limit of the herein described lands.

THENCE North 72 degrees and 52 minutes west along the line of the aforesaid fence 78.60 feet more or less to an iron bar planted in the western limit of Lot Number 13.

## SCHEDULE "A" (Cont'd)

TO

BY-LAW NO. 77- 21

THENCE North 18 degrees 09 minutes and 30 seconds east along the western limit of Lot Number 13, and being also along the eastern limit of Park Street, 116.54 feet more or less to the point of commencement.

The above-described parcel of land contains by admeasurement 9,115 square feet be the same more or less.

On the above-described parcel of land is erected the dwelling known as Municipal Number 51 Herkimer Street.

TO HAVE AND TO HOLD unto the said Grantee its successors and assigns, to and for its and their sole and only use forever. Subject nevertheless to the reservations, limitations, provisoes and conditions expressed in the original grant thereof from the Crown, save as hereinafter set out.

## SCHEDULE "B"

TO

BY-LAW NO. 77- 21

The interior and exterior of this property are recommended for conservation as property having historic and architectural value or interest by the Local Architectural Conservation Advisory Committee of the City of Hamilton, in the "Architectural Review & Evaluation Report" prepared by Professor Anthony Adamson, and in "Victorian Architecture in Hamilton" published by the Architectural Conservancy of Ontario and written by Professor A. G. McKay.

This building is of considerable architectural merit, representing a transition between two Ontario design periods. Its basic form and its restraint in decoration is of Georgian derivation, but its massing, roofline, bargeboard, bay window, and stone label mouldings over windows on the principal facade and its interior woodwork give it a distinctively Neo-Gothic spirit, a modern departure for Hamilton at mid-century, and the shape of things to come. The use of Hamilton limestone for basic wall construction, faced with imported ashlar-finished white sandstone is typical of the better buildings of the period.

The structure was built in 1858, by Donald Nicholson, the builder of Sandyford Place, as the residence for the Reverend Robert Burnett, minister of St. Andrew's Presbyterian Church, whose outstanding church building (today, St. Paul's) had been completed the previous year under the direction of architect William Thomas. It is a manifestation of the high-quality residential environment that developed as characteristic of much of Durand Neighbourhood. Today, this building stands as one of a mere handful of buildings of its era and character in the City of Hamilton.

DATED January 25th, 1977

THE CORPORATION OF THE CITY OF HAMILTON

BY-LAW NO. 77-21

To Designate:

Municipal No. 51 Herkimer Street

As Property of:

HISTORIC AND ARCHITECTURAL  
VALUE AND INTEREST

39148

No. **C.D.**  
Land Registry Division of Wentworth (No. 62)  
I CERTIFY that this instrument is registered as of

K. A. Rouff,  
City Solicitor.

*A.M.*  
11:47 FEB 9 1977 in the

Land  
Registry Office  
at Hamilton  
Ontario.

*D Cannon*  
LAND REGISTRAR

33

2  
Reg's Fees 10.00  
Estim. Comm. 4.00  
1.00 copy



Hamilton

Mailing Address:  
71 Main Street West  
Hamilton, Ontario  
Canada L8P 4Y5  
www.hamilton.ca

Planning and Economic Development Department  
Planning Division  
71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5  
Phone: 905-546-2424, Ext. 7163  
Fax: 905-540-5611

FILE: HP2021-032

August 3, 2021

Sheelagh Wood  
c/o Mel Benham, Complete Home Construction Inc.  
140 Hatt Street  
Dundas ON  
L9H 2G6

**Re: Heritage Permit Application HP2021-032:  
Proposed construction of a rear addition sunroom to 140 Hatt Street,  
Dundas (Ward 13) (By-law 04-064)**

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Please be advised that pursuant to By-law No. 05-364, as amended by By-law No. 07-322, which delegates the power to consent to alterations to designated property under the *Ontario Heritage Act* to the Director of Planning and Chief Planner, Heritage Permit application HP2021-036 is approved for the designated property at 140 Hatt Street, Dundas in accordance with the submitted Heritage Permit application for the following alterations:

- Construction of a rear addition (sunroom)

Subject to the following conditions:

- a) Any minor changes to the plans and elevations following approval shall be submitted, to the satisfaction and approval of the Director of Planning and Chief Planner, prior to submission as part of any application for a Building Permit and / or the commencement of any alterations;
- b) Installation of the alterations, in accordance with this approval, shall be completed no later than July 31, 2023. If the alterations are not completed by July 31, 2023, then this approval expires as of that date and no alterations shall be undertaken without a new approval issued by the City of Hamilton.
- c) That revised plans be resubmitted to the satisfaction of the Director of Planning and Chief Planner indicating the existing rear window openings are to be retained in the sunroom addition.

**Re: Heritage Permit Application HP2021-032:  
Proposed construction of a rear addition sunroom to  
140 Hatt Street, Dundas (Ward 13) (By-law 04-064)**

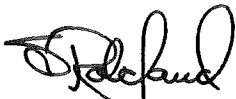
**August 3, 2021  
Page 2 of 2**

Please note that this property is designated under Part IV of the *Ontario Heritage Act*, and that this permit is only for the above-noted alterations. Any departure from the approved plans and specifications is prohibited, and could result in penalties, as provided for by the *Ontario Heritage Act*. The terms and conditions of this approval may be appealed to the Ontario Land Tribunal within 30 days of your receipt of this permit.

The issuance of this permit under the *Ontario Heritage Act* is not a waiver of any of the provisions of any By-law of the City of Hamilton, the requirements of the *Building Code Act*, the *Planning Act*, or any other applicable legislation.

We wish you success with your project, and if you have any further questions please feel free to contact Chloe Richer, Cultural Heritage Planner, at 905-546-2424 ext. 7163 or via email at [Chloe.Richer@hamilton.ca](mailto:Chloe.Richer@hamilton.ca).

Yours truly,



Steve Robichaud, MCIP RPP  
Director of Planning and Chief Planner

cc: Chloe Richer, Cultural Heritage Planner  
Chantal Costa, Plan Examination Secretary  
John Lane, Manager, Building Inspections  
Tamara Reid, Supervisor-Operations and Enforcement  
Loren Kolar, Legislative Coordinator  
Christine Vernem, Legislative Secretary  
Councillor Arlene Vanderbeek, Ward 13

**HERITAGE PERMIT DELEGATED AUTHORITY REPORT – HP2021-032**

**ADDRESS:** 140 Hatt Street, Dundas

**Owner:** Sheelagh Wood

**Applicant:** Mal Benham, Complete Home Construction Inc.

**Description of proposed alterations:**

- Construction of a rear addition (sunroom)

**Reasons for proposed alterations:**

- Additional space and home improvement

**Documentation submitted with application:**

- Image of Existing Rear Elevation
- Site Plan
- Proposed Basement, First Floor, and Roof Plans
- Proposed Partial Right and Left Elevations
- Proposed Rear Elevation
- Section of Proposed New Addition
- Existing Left and Front Elevations

**Staff assessment:**

Key factors in the evaluation of alterations affecting a heritage building or its setting are the consideration of:

- **“displacement effects”** (those adverse actions that result in the damage, loss or removal of valued heritage features); and,
- **“disruption effects”** (those actions that result in detrimental changes to the setting or character of a heritage feature).

In the consideration of any Heritage Permit application, staff must assess the impact of the displacement and disruption effects on the heritage resource, particularly in relation to the heritage attributes mentioned in the Designation By-law, in this case By-law 04-064.

The applicant proposes to construct a sunroom at the rear of the existing home. The proposed addition will be similar to the existing addition to the dwelling which consists of wood board and batten siding. The applicant has confirmed that the window openings on the rear elevation, which listed under the Reasons for Designation, will be retained and incorporated into the design of the proposed addition.

The Designation By-law identifies the rear elevation, brickwork, and window openings as designated features. As the brickwork and window openings will be retained, it is not

mandatory to amend the designation by-law following approval of the heritage permit application. The architectural plans submitted with the Heritage Permit application incorrectly identified the brickwork and window openings as being filled in and largely covered by new gypsum board (drywall). The applicant has resubmitted revised plans which show that these features will be retained.

Minimal “disruption effects” are expected to the heritage context of the property. The addition will be located on the rear of the structure and its design will not overpower the existing heritage home. The addition is setback from the side property line and does not extend past the existing dwelling on the side. The addition will not be visible from Hatt Street and existing vegetation will likely impede the view from John Street.

There will be minimal “displacement effects” to the subject property as a result of this work. The rear window openings and brickwork will be retained as interior features. The windows that are to be removed are modern replacements and will not result in the loss of a heritage attribute. Staff are satisfied that the retention of the window openings is a reasonable action to minimize displacement effects.

Staff support the proposed alterations as they are generally in keeping with the Designated By-law as it relates to retaining the cultural heritage value or interest of the property.

**Key dates:**

Sub-committee meeting date: July 20, 2021

Notice of Receipt: July 23, 2021

**Sub-committee comments and advice:**

The Sub-committee considered the application and passed the following motion:

(MacLaren / Wiegand)

That the Heritage Permit Review Sub-committee advises that Heritage Permit Application HP2021-032 be approved as submitted, subject to the following conditions:

- a) Any minor changes to the plans and elevations following approval shall be submitted, to the satisfaction and approval of the Director of Planning and Chief Planner, prior to submission as part of any application for a Building Permit and / or the commencement of any alterations;
- b) Installation of the alterations, in accordance with this approval, shall be completed no later than July 31, 2023. If the alterations are not completed by July 31, 2023 then this approval expires as of that date and no alterations shall be undertaken without a new approval issued by the City of Hamilton



- c) That revised plans be resubmitted to the satisfaction of the Director of Planning and Chief Planner indicating the existing rear window openings are to be retained in the sunroom addition.

CARRIED

**Final Recommendation:**

That the applicant be advised that Heritage Permit Application HP2021-032 is approved in accordance with the submitted application, subject to the following conditions:

- a) Any minor changes to the plans and elevations following approval shall be submitted, to the satisfaction and approval of the Director of Planning and Chief Planner, prior to submission as part of any application for a Building Permit and / or the commencement of any alterations;
- b) Installation of the alterations, in accordance with this approval, shall be completed no later than July 31, 2023. If the alterations are not completed by July 31, 2023 then this approval expires as of that date and no alterations shall be undertaken without a new approval issued by the City of Hamilton
- c) That revised plans be resubmitted to the satisfaction of the Director of Planning and Chief Planner indicating the existing rear window openings are to be retained in the sunroom addition.

**Approval:**

Staff Approval:

Chloe Richer  
Chloe Richer, CAHP  
Cultural Heritage Planner

C.T.O.I.  
SPM/MGR Initials

Authorized:

Steve Robichaud  
Steve Robichaud, MCIP RPP  
Director of Planning and Chief Planner

**Designation By-law Excerpt: 04-064**

The reasons for Designation apply to all elevations and the roof of the residence including all facades, entranceways, windows and chimneys, together with construction materials of brick, wood and glazing, building techniques, and specific interior features as follows:

**Front (North) Façade:**

- Symmetrical facade of five bays;
- Roof and roofline;
- six-over-six windows together with the openings, wood framing, sills, voussoirs, muntins and glazing;
- red brick laid in a Flemish bond; and,
- box cornice and mouldedwood fascia.

**Side (West) Elevation:**

- Side gable together with brick parapets and double brick chimneys;
- window openings together with wood sills and brick voussoirs; and,
- red brick laid in a Common bond.

**Rear (South) elevation:**

- Window openings together with wood sills and brick voussoirs, and,
- Red brick laid in a Common bond.

**Side (East) Elevation:**

- Side gable together with brick parapets and double brick chimneys; and,
- red brick laid in a Common bond.

**Interior:**

- Fireplaces together with wood mantles, hearths and ring for hanging cooking pots;
- built-in cupboards with wood panelled doors in the living room;
- wide plank pine flooring on the first and second floor;
- wood doors on the first and second floor; and,
- closet staircase on the first floor between the living room and kitchen.

# 7.4(b)



Mailing Address:  
71 Main Street West  
Hamilton, Ontario  
Canada L8P 4Y5  
www.hamilton.ca

Planning and Economic Development Department  
Planning Division  
71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5  
Phone: 905-546-2424, Ext. 1291  
Fax: 905-540-5611

FILE: HP2021-035

August 17, 2021

Trustees of MacNab Street Presbyterian Church  
114-116 MacNab St. South  
Hamilton, Ontario  
L8P 3C3

**Re: Heritage Permit Application HP2021-035:  
Proposed installation of security signs to 114-116 MacNab Street South,  
Hamilton (MacNab Street Presbyterian Church) (Ward 2) (MacNab-Charles  
HCD)**

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Please be advised that pursuant to By-law No. 05-364, as amended by By-law No. 07-322, which delegates the power to consent to alterations to designated property under the *Ontario Heritage Act* to the Director of Planning and Chief Planner, Heritage Permit application HP2021-035 is approved for the designated property at 114-116 MacNab Street South, Hamilton, in accordance with the submitted Heritage Permit application for the following alterations:

- Installation of surveillance signs

Subject to the following conditions:

- a) Any minor changes to the plans and elevations following approval shall be submitted, to the satisfaction and approval of the Director of Planning and Chief Planner, prior to submission as part of any application for a Building Permit and / or the commencement of any alterations;
- b) Installation of the alterations, in accordance with this approval, shall be completed no later than July 31, 2023. If the alterations are not completed by July 31, 2023, then this approval expires as of that date and no alterations shall be undertaken without a new approval issued by the City of Hamilton.
- c) That the proposed signs conform to the City of Hamilton's Sign By-law.

**Re: Heritage Permit Application HP2021-035:  
Proposed installation of security signs to 114-116  
MacNab Street South, Hamilton (MacNab Street  
Presbyterian Church) (Ward 2) (MacNab-Charles HCD)**

**August 17, 2021  
Page 2 of 2**

Please note that this property is designated under Part V of the *Ontario Heritage Act*, and that this permit is only for the above-noted alterations. Any departure from the approved plans and specifications is prohibited, and could result in penalties, as provided for by the *Ontario Heritage Act*. The terms and conditions of this approval may be appealed to the Ontario Land Tribunal within 30 days of your receipt of this permit.

The issuance of this permit under the *Ontario Heritage Act* is not a waiver of any of the provisions of any By-law of the City of Hamilton, the requirements of the *Building Code Act*, the *Planning Act*, or any other applicable legislation.

We wish you success with your project, and if you have any further questions please feel free to contact Amber Knowles, Cultural Heritage Planner, at 905-546-2424 ext. 1291 or via email at Amber.Knowles@hamilton.ca.

Yours truly,



Steve Robichaud, MCIP RPP  
Director of Planning and Chief Planner

cc: Amber Knowles, Cultural Heritage Planner  
Chantal Costa, Plan Examination Secretary  
John Lane, Manager, Building Inspections  
Tamara Reid, Supervisor-Operations and Enforcement  
Loren Kolar, Legislative Coordinator  
Christine Vernem, Legislative Secretary  
Councillor Jason Farr, Ward 2

**HERITAGE PERMIT DELEGATED AUTHORITY REPORT – HP2021-035**

**ADDRESS:** 114-116 MacNab Street South, Hamilton (MacNab Street Presbyterian Church)

**Owner:** Trustees of MacNab Street Presbyterian Church

**Applicant:** Kenneth Howard Post

**Description of proposed alterations:**

- Installation of security signs.

**Reasons for proposed alterations:**

- Curb vandalism, illegal activities, etc. taking place on the Church premises.

**Documentation submitted with application:**

- Proposed signage;
- Photos of proposed location; and,
- Specifications of proposed attachment product and method.

**Staff assessment:**

Key factors in the evaluation of alterations affecting a heritage building or its setting are the consideration of:

- **“displacement effects”** (those adverse actions that result in the damage, loss or removal of valued heritage features); and,
- **“disruption effects”** (those actions that result in detrimental changes to the setting or character of a heritage feature).

In the consideration of any Heritage Permit application, staff must assess the impact of the displacement and disruption effects on the heritage resource, particularly in relation to the heritage attributes mentioned in the Designation By-law, in this case the MacNab-Charles Heritage Conservation District Guidelines.

The applicant proposes to install three security signs indicating that there is 24 hour surveillance footage on the property. This work is being completed to curb vandalism, drug use, and other various illegal activity that has been taking place on the property. Existing security cameras have been useful after a crime has occurred but have not been an effective deterrent as they are hidden. Signage is proposed as it will announce the surveillance efforts on the property.

The Heritage Conservation District’s Urban Design Guidelines identify that outdoor signage should be minimal and that the size and design should be regulated by the Committee.

Minimal “disruption effects” are expected to the heritage context of the property as a result of the signage. The signs are limited in size and the design is standard for a security sign and thus will have a minimal negative visual impact to the property. This signage should aid in preventing vandalism and other activities that may cause greater disruption effects to the property.

There will be minimal “displacement effects” to the subject property as a result of this work. The signs will be screwed into the mortar joints, which can be filled back in if the signs need to be removed. The signs will also aid in preventing further displacement effects from occurring to the property. Vandalism has damaged the structure. Signage indicating 24 hour video surveillance may decrease this vandalism, protecting the designated features of the property from further damage.

Staff support the proposed alterations as they are in keeping with the designation By-law.

**Key dates:**

Sub-committee meeting date: July 20, 2021

Notice of Receipt: July 22, 2021

**Sub-committee comments and advice:**

The Sub-committee considered the application and passed the following motion:

(Dent / Priamo)

That the Heritage Permit Review Sub-committee advises that Heritage Permit Application HP2021-035 be approved as submitted, subject to the following conditions:

- a) Any minor changes to the plans and elevations following approval shall be submitted, to the satisfaction and approval of the Director of Planning and Chief Planner, prior to submission as part of any application for a Building Permit and / or the commencement of any alterations;
- b) Installation of the alterations, in accordance with this approval, shall be completed no later than July 31, 2023. If the alterations are not completed by July 31, 2023 then this approval expires as of that date and no alterations shall be undertaken without a new approval issued by the City of Hamilton
- c) That the proposed signs conform to the City of Hamilton’s Sign By-law

CARRIED

**Final Recommendation:**

That the applicant be advised that Heritage Permit Application HP2021-035 is approved in accordance with the submitted application, subject to the following conditions:

- a) Any minor changes to the plans and elevations following approval shall be submitted, to the satisfaction and approval of the Director of Planning and Chief Planner, prior to submission as part of any application for a Building Permit and / or the commencement of any alterations;
- b) Installation of the alterations, in accordance with this approval, shall be completed no later than July 31, 2023. If the alterations are not completed by July 31, 2023 then this approval expires as of that date and no alterations shall be undertaken without a new approval issued by the City of Hamilton
- c) That the proposed signs conform to the City of Hamilton's Sign By-law

**Approval:**

Staff Approval: Amber Knowles SM      O.I.       
Amber Knowles, CAHP SPM/MGR Initials  
Cultural Heritage Planner

Authorized: Steve Robichaud  
Steve Robichaud, MCIP RPP  
Director of Planning and Chief Planner

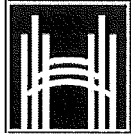
**HCD Excerpt:**

Urban Design Guidelines - Information Environment

Guidelines

- Regulate size, location, and design of commercial signage, subject to the District Advisory Committee's and LACAC's approval;
- Strengthen the historical character of the District by encouraging the replacement of current signage with appropriate historic signage, where feasible;
- Emphasize and promote the historical aspect of the District by providing historical plaques, possibly for all buildings, specifying original dates and owners and/or for the District itself to be placed at the entrance.





**Hamilton**

Mailing Address:  
71 Main Street West  
Hamilton, Ontario  
Canada L8P 4Y5  
www.hamilton.ca

Planning and Economic Development Department  
Planning Division  
71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5  
Phone: 905-546-2424, Ext. 7163  
Fax: 905-540-5611

FILE: HP2021-036

August 3, 2021

David Russell  
c/o Rachel Wheeler  
29 Mill Street North  
Flamborough, ON  
L0R 2H0

**Re: Heritage Permit Application HP2021-036:  
Proposed installation of interior waterproofing, weeping tile and window  
well drains, 29 Mill Street North, Flamborough (Ward 15) (Mill Street HCD)**

---

Please be advised that pursuant to By-law No. 05-364, as amended by By-law No. 07-322, which delegates the power to consent to alterations to designated property under the *Ontario Heritage Act* to the Director of Planning and Chief Planner, Heritage Permit application HP2021-036 is approved for the designated property at 29 Mill Street North, Flamborough in accordance with the submitted Heritage Permit application for the following alterations:

- Alterations including interior waterproofing, weeping tile and window well drains, primarily to the concrete block addition

Subject to the following conditions:

- a) Any minor changes to the plans and elevations following approval shall be submitted, to the satisfaction and approval of the Director of Planning and Chief Planner, prior to submission as part of any application for a Building Permit and / or the commencement of any alterations;
- b) Installation of the alterations, in accordance with this approval, shall be completed no later than July 31, 2023. If the alterations are not completed by July 31, 2023, then this approval expires as of that date and no alterations shall be undertaken without a new approval issued by the City of Hamilton.

Please note that this property is designated under Part V of the *Ontario Heritage Act*, and that this permit is only for the above-noted alterations. Any departure from the approved plans and specifications is prohibited, and could result in penalties, as

**Re: Heritage Permit Application HP2021-036:  
Proposed instillation of interior waterproofing on the  
concrete block addition to 29 Mill Street North,  
Flamborough (Ward 15) (Mill Street HCD)**

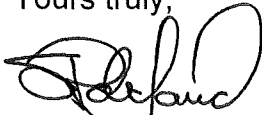
**August 3, 2021  
Page 2 of 2**

provided for by the *Ontario Heritage Act*. The terms and conditions of this approval may be appealed to the Ontario Land Tribunal within 30 days of your receipt of this permit.

The issuance of this permit under the *Ontario Heritage Act* is not a waiver of any of the provisions of any By-law of the City of Hamilton, the requirements of the *Building Code Act*, the *Planning Act*, or any other applicable legislation.

We wish you success with your project, and if you have any further questions please feel free to contact Chloe Richer, Cultural Heritage Planner, at 905-546-2424 ext. 7163 or via email at [Chloe.Richer@hamilton.ca](mailto:Chloe.Richer@hamilton.ca).

Yours truly,



Steve Robichaud, MCIP RPP  
Director of Planning and Chief Planner

cc: Chloe Richer, Cultural Heritage Planner  
Chantal Costa, Plan Examination Secretary  
John Lane, Manager, Building Inspections  
Tamara Reid, Supervisor-Operations and Enforcement  
Loren Kolar, Legislative Coordinator  
Christine Vernem, Legislative Secretary  
Councillor Judi Partridge, Ward 15

**HERITAGE PERMIT DELEGATED AUTHORITY REPORT – HP2021-036**  
**ADDRESS:** 29 Mill Street North, Flamborough

**Owner:** David Russell

**Applicant:** Rachel Wheeler - Basement Technologies

**Description of proposed alterations:**

- Alterations including interior waterproofing, weeping tile and window well drains, primarily to the concrete block addition

**Reasons for proposed alterations:**

- Prevent water damage

**Documentation submitted with application:**

- Plan of Existing Foundation
- Plan of Proposed Water Management System
- Section View of Proposed Water Management System
- Section View of Window Well
- Section View of Exhaust Hoods

**Staff assessment:**

Key factors in the evaluation of alterations affecting a heritage building or its setting are the consideration of:

- “**displacement effects**” (those adverse actions that result in the damage, loss or removal of valued heritage features); and,
- “**disruption effects**” (those actions that result in detrimental changes to the setting or character of a heritage feature).

In the consideration of any Heritage Permit application, staff must assess the impact of the displacement and disruption effects on the heritage resource, particularly in relation to the heritage attributes specified in the Designation By-law and/or Heritage Conservation District Plan, in this case the Mill-John-Union-Griffin Heritage Conservation District Plan.

The applicant proposes to install alterations primarily to the concrete block addition of the residence. These alterations include interior waterproofing, weeping tile, and window well drains. This work is being done to prevent water damage to the dwelling as there have been issues with drainage in the past.

The Heritage Conservation District Plan does recommend avoiding the application of new surfaces or coating that will alter the appearance of the original material; however,

the concrete block portion of the structure is an addition and the alterations will be to the interior.

Minimal "disruption effects" are expected to the heritage context of the property. The proposed interior work is to be done primarily on the addition of the rear foundation. No significant visible impacts to the heritage property are anticipated and the work will not have any detrimental effects on the heritage character of the dwelling.

There will be minimal "displacement effects" to the subject property as a result of this work. The work is primarily proposed for a concrete block addition to the dwelling. This work will not impact any original exterior features of the home. Additionally, the proposed work is intended to prevent weather-related damage to the home which may, over time, impact the heritage features of the home.

Staff support the proposed alterations as they are in keeping with the Heritage Conservation District Plan.

**Key dates:**

Sub-committee meeting date: July 20, 2021

Notice of Receipt: July 23, 2021

**Sub-committee comments and advice:**

The Sub-committee considered the application and passed the following motion:

(MacLaren / Burke)

That the Heritage Permit Review Sub-committee advises that Heritage Permit Application HP2021-036 be approved as submitted, subject to the following conditions:

- a) Any minor changes to the plans and elevations following approval shall be submitted, to the satisfaction and approval of the Director of Planning and Chief Planner, prior to submission as part of any application for a Building Permit and / or the commencement of any alterations;
- b) Installation of the alterations, in accordance with this approval, shall be completed no later than July 31, 2023. If the alterations are not completed by July 31, 2023 then this approval expires as of that date and no alterations shall be undertaken without a new approval issued by the City of Hamilton

CARRIED

**Final Recommendation:**

That the applicant be advised that Heritage Permit Application HP2021-036 is approved in accordance with the submitted application, subject to the following conditions:

- a) Any minor changes to the plans and elevations following approval shall be submitted, to the satisfaction and approval of the Director of Planning and Chief Planner, prior to submission as part of any application for a Building Permit and / or the commencement of any alterations;
- b) Installation of the alterations, in accordance with this approval, shall be completed no later than July 31, 2023. If the alterations are not completed by July 31, 2023 then this approval expires as of that date and no alterations shall be undertaken without a new approval issued by the City of Hamilton

**Approval:**

Staff Approval:

Chloe Richer      Chloe Richer /O.I.

Chloe Richer, CAHP  
Cultural Heritage Planner

SPM/MGR Initials

Authorized:

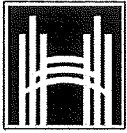
Steve Robichaud  
Steve Robichaud, MCIP RPP  
Director of Planning and Chief Planner

**HCD Excerpt:**

Mill Street HCD Guidelines

4.2.5 Foundations and Walls

Protect original wall surfaces from cleaning methods that may permanently alter or damage the appearance of the surface or give a “falsely” new look to the building, for example, sandblasting, strong liquid chemical solutions and high-pressure water cleaning. Avoid application of new surfaces or coating that alter the appearance of the original material, especially where they are substitutes for masonry repairs. This may include the application of waterproof and water repellent coatings, paint, aluminum or vinyl siding and stucco.



Hamilton

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Planning and Economic Development Department  
Planning Division  
71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5  
Phone: 905-546-2424, Ext. 1291  
Fax: 905-540-5611

FILE: HP2021-039

August 25, 2021

Patrick Hale & Alissa Pellizzari-Hale  
220 St Clair Boulevard  
Hamilton, ON  
L8M 2P1

**Re: Heritage Permit Application HP2021-039:  
Replacement of the eavestroughs, soffits, fascia, and dormer cladding at  
220 St. Clair Boulevard, Hamilton (Ward 3) (By-law No.92-140) (St. Clair  
Boulevard HCD)**

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Please be advised that pursuant to By-law No. 05-364, as amended by By-law No. 07-322, which delegates the power to consent to alterations to designated property under the *Ontario Heritage Act* to the Director of Planning and Chief Planner, Heritage Permit application HP2021-039 is approved for the designated property at 220 St. Clair Boulevard, Hamilton, in accordance with the submitted Heritage Permit Application for the following alterations:

- Replacement of the eavestroughs, soffits, fascia
- Replacement of dormer and side bay window cladding

**Subject to the following conditions:**

- a) Any minor changes to the plans and elevations following approval shall be submitted, to the satisfaction and approval of the Director of Planning and Chief Planner, prior to submission as part of any application for a Building Permit and / or the commencement of any alterations; and,
- b) Installation of the alterations, in accordance with this approval, shall be completed no later than August 31, 2023. If the alterations are not completed by August 31, 2023, then this approval expires as of that date and no alterations shall be undertaken without a new approval issued by the City of Hamilton.

**Re: Heritage Permit Application HP2021-039:  
Replacement of the eavestroughs, soffits, fascia, and  
dormer cladding at 220 St. Clair Boulevard, Hamilton  
(Ward 3) (By-law No.92-140) (St. Clair Boulevard HCD)**

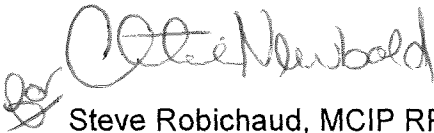
**August 25, 2021  
Page 2 of 2**

Please note that this property is designated under Part V of the *Ontario Heritage Act*, and that this permit is only for the above-noted alterations. Any departure from the approved plans and specifications is prohibited, and could result in penalties, as provided for by the *Ontario Heritage Act*. The terms and conditions of this approval may be appealed to the Ontario Land Tribunal within 30 days of your receipt of this permit.

The issuance of this permit under the *Ontario Heritage Act* is not a waiver of any of the provisions of any By-law of the City of Hamilton, the requirements of the *Building Code Act*, the *Planning Act*, or any other applicable legislation.

We wish you success with your project, and if you have any further questions please feel free to contact Amber Knowles, Cultural Heritage Planner, at 905-546-2424 ext. 1291, or via email at [Amber.Knowles@hamilton.ca](mailto:Amber.Knowles@hamilton.ca)

Yours truly,



Steve Robichaud, MCIP RPP  
Director of Planning and Chief Planner

cc: Amber Knowles, Cultural Heritage Planner  
Chantal Costa, Plan Examination Secretary  
Bob Nuttall, Acting Manager, Building Inspections  
Tamara Reid, Supervisor-Operations and Enforcement  
Loren Kolar, Legislative Coordinator  
Christine Vernem, Legislative Secretary  
Councillor Nringer Nann, Ward 3



**HERITAGE PERMIT DELEGATED AUTHORITY REPORT – HP2021-039**  
**ADDRESS:**

**Owner/Applicant:** Patrick Hale & Alissa Pellizzari-Hale

**Description of proposed alterations:**

- Replacement of the eavestroughs, soffits, fascia; and,
- Replacement of dormer and side bay window cladding.

**Reasons for proposed alterations:**

- Reorientation of downspouts to prevent property damage and flooding; and,
- Replacement of eavestroughs, soffits, fascia and cladding to address existing damage and replace with colour to match previously approved replacement windows (HP2021-026).

**Documentation submitted with application:**

- Plan of existing and proposed eavestrough locations;
- Photos of existing siding; and,
- Colour and material examples.

**Staff assessment:**

Key factors in the evaluation of alterations affecting a heritage building or its setting are the consideration of:

- “**displacement effects**” (those adverse actions that result in the damage, loss or removal of valued heritage features); and,
- “**disruption effects**” (those actions that result in detrimental changes to the setting or character of a heritage feature).

In the consideration of any Heritage Permit application, staff must assess the impact of the displacement and disruption effects on the heritage resource, particularly in relation to the heritage attributes mentioned in the Designation By-law, in this case the St. Clair Boulevard Heritage Conservation District Plan.

The applicant proposes to replace the existing eavestroughs with ones at new drainage points. Soffits and fascia will be replaced in kind. The applicant will additionally be replacing the existing vinyl horizontal siding on the dormer and side bay windows with vinyl board and batten siding in a colour to match the previously approved windows (HP2021-026). The intent of the work is to repair and prevent water damage to the property while creating a more cohesive appearance to the home in the choice of colours.

Minimal “disruption effects” are expected to the heritage context of the property as the proposed work will complement the colour of the new windows to be installed as part of approved HP2021-026. The chosen colour will be sympathetic to the existing and neighbouring dwellings and as the existing siding is damaged, the change will be more visually appealing.

There will be minimal “displacement effects” to the subject property as a result of this work. The material being replaced is not original to the home and is being replaced with the similar materials. The proposed work will prevent further water damage and flooding to the dwelling and surrounding property, as well as prevent the flooding from impacting neighbouring dwellings.

Staff are supportive of the proposed work as it will repair and prevent further damage to the designated features of the property and will be visually compatible with the previously proposed window replacement.

**Key dates:**

Sub-committee meeting date: August 17, 2021  
Notice of Complete Application: August 18, 2021

**Sub-committee comments and advice:**

The Sub-committee considered the application and passed the following motion:

(Carroll / Ritchie)

That the Heritage Permit Review Sub-committee advises that Heritage Permit Application HP2021-039 be approved as submitted, subject to the following conditions:

- a) Any minor changes to the plans and elevations following approval shall be submitted, to the satisfaction and approval of the Director of Planning and Chief Planner, prior to submission as part of any application for a Building Permit and / or the commencement of any alterations; and,
- b) Installation of the alterations, in accordance with this approval, shall be completed no later than August 31, 2023. If the alterations are not completed by August 31, 2023, then this approval expires as of that date and no alterations shall be undertaken without a new approval issued by the City of Hamilton.

CARRIED

**Final Recommendation:**

That the applicant be advised that Heritage Permit Application HP2021-039 is approved in accordance with the submitted application, subject to the following conditions:

- a) Any minor changes to the plans and elevations following approval shall be submitted, to the satisfaction and approval of the Director of Planning and Chief Planner, prior to submission as part of any application for a Building Permit and / or the commencement of any alterations; and,
- b) Installation of the alterations, in accordance with this approval, shall be completed no later than August 31, 2023. If the alterations are not completed by August 31, 2023, then this approval expires as of that date and no alterations shall be undertaken without a new approval issued by the City of Hamilton.

**Approval:**

Staff Approval: Amber Knowles SM \_\_\_\_\_  
Amber Knowles, CAHP SPM/MGR Initials  
Cultural Heritage Planner

Authorized: Steve Robichaud  
Steve Robichaud, MCIP RPP  
Director of Planning and Chief Planner

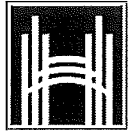
**Relevant Guidelines Excerpt:** St. Clair Boulevard HCD Appendix E: Guidelines for Maintenance, Repair and Restoration

2.1 Roof: Repair and Maintenance

Make sure that rainwater gutters are regularly cleaned to prevent backup and ice dams; and that downspouts are in working order and direct water away from the walls.

4.1 Exterior Woodwork and Decorative Trim:

In undertaking repairs use the gentlest means to strip or clean wood or finishes, being mindful not to remove or harm sound wood. Small cosmetic repairs can often be accomplished with compatible wood fillers which are then painted. More serious problems may require wood insertions or splices. When total decay has occurred, new wood should be used to duplicate the original structural or decorative element.



Hamilton

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Phone: 905-546-2424 Ext. 1291  
Fax: 905-540-5611

FILE: HP2021-040

September 7, 2021

Wentworth Condominium Corporation No. 96 c/o KingCondo Management  
c/o Stefan Nespoli  
42 Bridgeport Rd East  
Waterloo, ON  
N2J 0B3

**Re: Heritage Permit Application HP2021-040:  
Proposed alteration of investigative parking openings and brick removal at  
35-43 Duke Street, Hamilton (Ward 2) (By-law No. 75-237)**

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Please be advised that pursuant to By-law No. 05-364, as amended by By-law No. 07-322, which delegates the power to consent to alterations to designated property under the *Ontario Heritage Act* to the Director of Planning and Chief Planner, Heritage Permit Application HP2021-040 is approved for the designated property at 35-43 Duke Street, Hamilton, in accordance with the submitted Heritage Permit Application for the following alterations:

- Investigative parking test openings; and,
- Removal of loose bricks from chimneys.

Subject to the following conditions:

- a) Any minor changes to the plans and elevations following approval shall be submitted, to the satisfaction and approval of the Director of Planning and Chief Planner, prior to submission as part of any application for a Building Permit and / or the commencement of any alterations; and,
- b) Implementation of the alterations, in accordance with this approval, shall be completed no later than September 30, 2023. If the alterations are not completed by September 30, 2023, then this approval expires as of that date and no alterations shall be undertaken without a new approval issued by the City of Hamilton.

Please note that this property is designated under Part IV of the *Ontario Heritage Act*, and that this permit is only for the above-noted alterations. Any departure from the approved plans and specifications is prohibited, and could result in penalties, as

Re: Heritage Permit Application HP2021-040:  
Proposed alteration of investigative parking openings  
and brick removal at 35-43 Duke Street, Hamilton  
(Ward 2) (By-law No. 75-237)

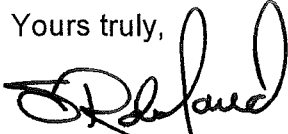
September 7, 2021  
Page 2 of 2

provided for by the *Ontario Heritage Act*. The terms and conditions of this approval may be appealed to the Conservation Review Board within 30 days of your receipt of this permit.

The issuance of this permit under the *Ontario Heritage Act* is not a waiver of any of the provisions of any By-law of the City of Hamilton, the requirements of the *Building Code Act*, the *Planning Act*, or any other applicable legislation.

We wish you success with your project, and if you have any further questions please feel free to contact Amber Knowles, Cultural Heritage Planner, at 905-546-2424 ext. 1291, or via email at [Amber.Knowles@hamilton.ca](mailto:Amber.Knowles@hamilton.ca)

Yours truly,



Steve Robichaud, MCIP RPP  
Director of Planning and Chief Planner

cc: Amber Knowles, Cultural Heritage Planner  
Chantal Costa, Plan Examination Secretary  
Bob Nuttall, Acting Manager, Building Inspections  
Tamara Reid, Supervisor-Operations and Enforcement  
Loren Kolar, Legislative Coordinator  
Christine Vernem, Legislative Secretary  
Councillor Jason Farr, Ward 2

**HERITAGE PERMIT DELEGATED AUTHORITY REPORT – HP2021-040**  
**ADDRESS: 35-43 Duke Street, Hamilton**

**Owner:** Wentworth Condominium Corporation No. 96 c/o KingCondo Management  
**Applicant:** Stefan Nespoli

**Description of proposed alterations:**

- Investigative parging test openings; and,
- Removal of loose bricks from chimneys.

**Reasons for proposed alterations:**

- Investigation into extent of deterioration of original masonry

**Documentation submitted with application:**

- Photos of proposed locations
- Specifications on method of access and opening creation

**Staff assessment:**

Key factors in the evaluation of alterations affecting a heritage building or its setting are the consideration of:

- **“displacement effects”** (those adverse actions that result in the damage, loss or removal of valued heritage features); and,
- **“disruption effects”** (those actions that result in detrimental changes to the setting or character of a heritage feature).

In the consideration of any Heritage Permit application, staff must assess the impact of the displacement and disruption effects on the heritage resource, particularly in relation to the heritage attributes mentioned in the Designation By-law, in this case Bylaw No. 75-237.

The applicant proposes to create several openings in the parging on the side and rear elevations to inspect the extent of deterioration underneath. Any loose bricks on the chimneys will also be removed as a part of this work.

Minimal “disruption effects” are expected to the heritage context of the property. The work is investigative in nature and will determine the extent of water damage underneath the cementitious parging. The openings will not be made on the front elevation which minimizes any potential visual impacts of the work. Loose bricks may

be removed from the chimneys for safety reasons, but this work is not expected to have any detrimental changes to the character of the property or its designated features.

There will be minimal “displacement effects” to the subject property as a result of this work. As this work is primarily investigative, there will be no loss due to damage or removal of heritage features of the property. Any bricks that will be removed within the scope of the work will be damaged and a safety concern from falling. This work may determine that there will be future loss of heritage attributes due to water damage, but these findings will be addressed as a part of a future heritage permit.

Staff are supportive of the application as it will determine the damage that has taken place to the Designated property and whether any of the Designated heritage features of the property have been or may be damaged. This investigative work will inform the next steps of this repair process.

**Key dates:**

Sub-committee meeting date: August 17, 2021  
Notice of Complete Application: August 18, 2021

**Sub-committee comments and advice:**

The Sub-committee considered the application and passed the following motion:

(MacLaren/ Spolnik)

That the Heritage Permit Review Sub-committee advises that Heritage Permit Application HP2021-040 be approved as submitted, subject to the following conditions:

- a) Any minor changes to the plans and elevations following approval shall be submitted, to the satisfaction and approval of the Director of Planning and Chief Planner, prior to submission as part of any application for a Building Permit and / or the commencement of any alterations; and,
- b) Implementation of the alterations, in accordance with this approval, shall be completed no later than September 30, 2023. If the alterations are not completed by September 30, 2023, then this approval expires as of that date and no alterations shall be undertaken without a new approval issued by the City of Hamilton.

CARRIED

**Final Recommendation:**

That the applicant be advised that Heritage Permit Application HP2021-040 is approved in accordance with the submitted application, subject to the following conditions:

- a) That any minor changes to the plans and elevations following approval shall be submitted, to the satisfaction and approval of the Director of Planning and Chief



Planner, prior to submission as part of any application for a Building Permit and / or the commencement of any alterations; and,

- b) Implementation of the alterations, in accordance with this approval, shall be completed no later than September 30, 2023. If the alterations are not completed by September 30, 2023, then this approval expires as of that date and no alterations shall be undertaken without a new approval issued by the City of Hamilton.

**Approval:** \_\_\_\_\_

*Amber Knowles*

Staff Approval:

Amber Knowles  
Cultural Heritage Planner

SM for Anita Fabac

SPM/MGR Initials

Authorized:

*Steve Robichaud*

Steve Robichaud, MCIP RPP  
Director of Planning and Chief Planner

**Relevant Bylaw Excerpt: 75-237**

The ashlar stone work is of simple, plain lines. There was unanimity of the expert witnesses that the Front Facade was of prime importance for preservation. Attention was drawn to the window pediments, carved cave brackets, lintels, three-sided dormers with hipped roof and side lights and the cornice. As for the interior, reference was made to the staircases, fireplaces and undercut mouldings of plaster. All these elements create a building of exceptional architectural significance to the municipality, the province and, quite possibly, to the nation.



Hamilton

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Planning and Economic Development Department  
Planning Division  
71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5  
Phone: 905-546-2424, Ext. 1202  
Fax: 905-540-5611

FILE: HP2021-042

September 13, 2021

Mike Di Donato  
c/o Lorenzo Di Donato  
12 Neilor Crescent  
Etobicoke, ON  
M9C 1K4

**Re: Heritage Permit Application HP2021-042:  
Proposed Alteration of the Storefronts and Windows at 255-265 James  
Street North, Hamilton (Ward 2) (By-law No. 87-176)**

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Please be advised that pursuant to By-law No. 05-364, as amended by By-law No. 07-322, which delegates the power to consent to alterations to designated property under the *Ontario Heritage Act* to the Director of Planning and Chief Planner, Heritage Permit application HP2021-042 is approved for the designated property at 255-265 James Street North, Hamilton, in accordance with the submitted Heritage Permit application for the following alterations:

- Upper Windows:
  - Replace the existing (not original) residential windows on 2<sup>nd</sup> and 3<sup>rd</sup> floor of building with aluminum clad, one-over-one windows, black in colour.
- Storefronts:
  - Replace five existing storefronts (single pane glass) with new black aluminum storefront frames at 255, 257, 259, 261 and 263 James Street North. All storefronts noted above will maintain their existing configurations.
  - Reconfigure the corner storefront at 265 James Street North to eliminate the recessed entry and form a straight storefront with an operable sliding door in similar proportions to the existing storefront.
  - Remove the existing knee wall and extend glass to the floor.
  - Increase the height of the entrance doors to 8' therefore eliminating or reducing the size of the transom above each entrance.
  - Paint the existing arched window frame black on the Colbourne Street frontage to match remaining
  - Replace glass in arched window as it is cracked.

Re: Heritage Permit Application HP2021-042:  
Proposed Alteration of the Storefronts and Windows  
at 255-265 James Street North, Hamilton (Ward 2) (By-  
law No. 87-176)

September 8, 2021  
Page 2 of 3

- Signage Band:
  - Install a new black aluminum clad band for consistent signage above storefronts on James Street.
  
- Lighting:
  - Install wall sconce between all storefronts to illuminate facade of building – Eurofase Inc. “Dale” or “Crest” model outdoor wall mount light fixtures in Graphite Grey as per submitted specs.

Subject to the following conditions:

- a) That any minor changes to the plans and elevations following approval shall be submitted, to the satisfaction and approval of the Director of Planning and Chief Planner, prior to submission as part of any application for a Building Permit and / or the commencement of any alterations;
  
- b) That the applicant submits a sketch illustrating a revised storefront for 265 James Street North indicating proportionate segments to the existing storefront with the incorporation of a sliding door, to the satisfaction and approval of the Director of Planning and Chief Planner, prior to submission as part of any application for a Building Permit and / or the commencement of any alterations;
  
- c) That the applicant submits further details indicating the height of the existing aluminum band above the storefront for comparison to the height of the proposed aluminum band to ensure that the ornate arched brickwork and terracotta detailing along the storefronts remains visible, to the satisfaction and approval of the Director of Planning and Chief Planner, prior to submission as part of any application for a Building Permit and / or the commencement of any alterations; and,
  
- d) Implementation of the alterations, in accordance with this approval, shall be completed no later than September 30, 2023. If the alterations are not completed by September 30, 2023, then this approval expires as of that date and no alterations shall be undertaken without a new approval issued by the City of Hamilton.

Please note that this property is designated under Part IV of the *Ontario Heritage Act*, and that this permit is only for the above-noted alterations. Any departure from the approved plans and specifications is prohibited, and could result in penalties, as provided for by the *Ontario Heritage Act*. The terms and conditions of this approval may be appealed to the Conservation Review Board within 30 days of your receipt of this permit.

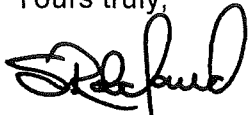
**Re: Heritage Permit Application HP2021-042:  
Proposed Alteration of the Storefronts and Windows  
at 255-265 James Street North, Hamilton (Ward 2) (By-  
law No. 87-176)**

**September 8, 2021  
Page 3 of 3**

The issuance of this permit under the *Ontario Heritage Act* is not a waiver of any of the provisions of any By-law of the City of Hamilton, the requirements of the *Building Code Act*, the *Planning Act*, or any other applicable legislation.

We wish you success with your project, and if you have any further questions please feel free to contact Stacey Kursikowski, Cultural Heritage Planner, at 905-546-2424 ext. 1202, or via email at [Stacey.Kursikowski@hamilton.ca](mailto:Stacey.Kursikowski@hamilton.ca)

Yours truly,



Steve Robichaud, MCIP RPP  
Director of Planning and Chief Planner

cc: Stacey Kursikowski, Cultural Heritage Planner  
Chantal Costa, Plan Examination Secretary  
Bob Nuttall, Acting Manager, Building Inspections  
Tamara Reid, Supervisor-Operations and Enforcement  
Loren Kolar, Legislative Coordinator  
Christine Vernem, Legislative Secretary  
Councillor Jason Farr, Ward 2

**HERITAGE PERMIT DELEGATED AUTHORITY REPORT – HP2021-042**  
**ADDRESS: 255-265 James Street North, Hamilton**

**Owner:** Mike Di Donato

**Applicant:** Lorenzo Di Donato

**Description of proposed alterations:**

- Upper Windows:
  - Replace the existing (not original) residential windows on 2<sup>nd</sup> and 3<sup>rd</sup> floor of building with aluminum clad, one-over-one windows, black in colour.
  
- Storefronts:
  - Replace five existing storefronts (single pane glass) with new black aluminum storefront frames at 255, 257, 259, 261 and 263 James Street North. All storefronts noted above will maintain their existing configurations.
  - Reconfigure the corner storefront at 265 James Street North to eliminate the recessed entry and form a straight storefront with an operable sliding door in similar proportions to the existing storefront.
  - Remove the existing knee wall and extend glass to the floor.
  - Increase the height of the entrance doors to 8' therefore eliminating or reducing the size of the transom above each entrance.
  - Paint the existing arched window frame black on the Colbourne Street frontage to match remaining
  - Replace glass in arched window as it is cracked.
  
- Signage Band:
  - Install a new black aluminum clad band for consistent signage above storefronts on James Street.
  
- Lighting:
  - Install wall sconce between all storefronts to illuminate facade of building – Eurofase Inc. “Dale” or “Crest” model outdoor wall mount light fixtures in Graphite Grey as per submitted specs.

**Reasons for proposed alterations:**

- Overall enhancement of building and storefronts

**Documentation submitted with application:**

- Cladding, Lighting, Window, Storefront door, and Storefront system specs;
- Renderings; and,
- Product brochures.

<b>Staff assessment:</b>
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Key factors in the evaluation of alterations affecting a heritage building or its setting are the consideration of:

- “**displacement effects**” (those adverse actions that result in the damage, loss or removal of valued heritage features); and,
- “**disruption effects**” (those actions that result in detrimental changes to the setting or character of a heritage feature).

In the consideration of any Heritage Permit application, staff must assess the impact of the displacement and disruption effects on the heritage resource, particularly in relation to the heritage attributes mentioned in the Designation By-law, in this case Bylaw 87-176.

The applicant proposes to replace the windows on the proposed property, renovate the existing storefronts, install a new signage band, and install lighting on the façade.

Upper floor windows:

The upper floor windows which are not original will be replaced. These windows were installed in the 1980's and are in poor condition. The new frames are proposed to be black to visually enhance the brickwork of the structure and not detract from the heritage attributes. The windows will be one-over-one, aluminum clad vinyl windows.

Storefronts:

The existing storefronts will be altered as a part of the proposed work. Five of the storefront along James Street North will be replaced with new glass and black aluminum frames. The existing knee wall will be removed and the transoms above each entrance may be either eliminated or shrunk in size to accommodate an 8' entry door. The corner storefront at 265 James Street North has been reconfigured inside which will eliminate the need for the recessed entry. As such, a straightened storefront will be installed with similar proportions to the existing storefront with the integration of a sliding door.

Signage Bank:

A new black aluminum signage band will be installed to allow for an area for consistent tenant signage. This band will extend higher than the existing band but will not impact the terracotta carvings on the structure. The signage bank will incorporate pot lighting for improved pedestrian safety.

Lighting:

Lighting in the form of wall sconces will be installed on the dividing pillars of the building to illuminate and enhance the structure and assist in improving pedestrian safety. These lights will be graphite grey in colour to compliment the new windows and storefront frames.

Minimal “disruption effects” are expected to the heritage context of the property as a result of this work as many of the original heritage features of the building have already been lost. Additionally, these changes are meant to visually enhance the property

without detracting from any of the heritage features. The black detailing of the windows, storefronts and lighting will compliment the original brickwork of the property and further enhance, rather than detract, from the property.

There will be minimal “displacement effects” to the subject property as a result of this work. The materials being replaced are not original or early features of the structure and their loss will not constitute a loss of heritage features of the property.

Staff are supportive of the application as it will visually enhance the property, while assisting in ensuring the long-term protection of this heritage resource. Staff are of the opinion that this application will enhance the overall heritage character of the property and streetscape.

**Key dates:**

Sub-committee Meeting Date: August 17, 2021  
Notice of Complete Application: August 18, 2021

**Sub-committee comments and advice:**

The Sub-committee considered the application and passed the following motion:

(Ritchie/ Priamo)

That the Heritage Permit Review Sub-committee advises that Heritage Permit Application HP2021-042 be approved as submitted, subject to the following conditions:

- a) Any minor changes to the plans and elevations following approval shall be submitted, to the satisfaction and approval of the Director of Planning and Chief Planner, prior to submission as part of any application for a Building Permit and / or the commencement of any alterations;
- a) That the applicant submits a sketch illustrating a revised storefront for 265 James Street North indicating proportionate segments to the existing storefront with the incorporation of a sliding door, to the satisfaction and approval of the Director of Planning and Chief Planner, prior to submission as part of any application for a Building Permit and / or the commencement of any alterations;
- b) Implementation of the alterations, in accordance with this approval, shall be completed no later than August 31, 2023. If the alterations are not completed by August 31, 2023, then this approval expires as of that date and no alterations shall be undertaken without a new approval issued by the City of Hamilton.

CARRIED

**Final Recommendation:**

That the applicant be advised that Heritage Permit Application HP2021-042 is approved in accordance with the submitted application, subject to the following conditions:



- b) That any minor changes to the plans and elevations following approval shall be submitted, to the satisfaction and approval of the Director of Planning and Chief Planner, prior to submission as part of any application for a Building Permit and / or the commencement of any alterations;
- c) That the applicant submits a sketch illustrating a revised storefront for 265 James Street North indicating proportionate segments to the existing storefront with the incorporation of a sliding door, to the satisfaction and approval of the Director of Planning and Chief Planner, prior to submission as part of any application for a Building Permit and / or the commencement of any alterations;
- d) That the applicant submits further details indicating the height of the existing aluminum band above the storefront for comparison to the height of the proposed aluminum band to ensure that the ornate arched brickwork and terracotta detailing along the storefronts remains visible, to the satisfaction and approval of the Director of Planning and Chief Planner, prior to submission as part of any application for a Building Permit and / or the commencement of any alterations; and,
- e) Implementation of the alterations, in accordance with this approval, shall be completed no later than September 30, 2023. If the alterations are not completed by September 30, 2023, then this approval expires as of that date and no alterations shall be undertaken without a new approval issued by the City of Hamilton.

**Approval:**

Staff Approval: \_\_\_\_\_ SM for AF

Stacey Kursikowski, MCIP, RPP  
Cultural Heritage Planner

SPM/MGR Initials

Authorized: \_\_\_\_\_

Steve Robichaud, MCIP RPP  
Director of Planning and Chief Planner

**Relevant Bylaw Excerpt:**

*Designated Features:*

Important to the preservation of 255-265 James Street North includes but is not limited to the following: original features of the two east (James) and north (Colbourne) facades, including the brick walls, the round-arched window and the carriage entrance facing Colbourne Street, the terra cotta ornamentation, and the double-hung sash windows.

# 7.4(g)



Hamilton

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Planning and Economic Development Department  
Planning Division  
71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5  
Phone: 905-546-2424, Ext. 1202  
Fax: 905-540-5611

FILE: HP2021-026

July 19, 2021

Patrick Hale & Alisa Pellizzari-Hale  
220 St. Clair Boulevard  
Hamilton, ON  
L8M 2P1

**Re: Heritage Permit Application HP2021-026:  
Proposed replacement of existing windows at 220 St. Clair Boulevard,  
Hamilton (Ward 3) (St. Clair Boulevard HCD) (By-law No.92-140)**

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Please be advised that pursuant to By-law No. 05-364, as amended by By-law No. 07-322, which delegates the power to consent to alterations to designated property under the *Ontario Heritage Act* to the Director of Planning and Chief Planner, Heritage Permit Application HP2021-026 is approved for the designated property at 220 St. Clair Boulevard, Hamilton, in accordance with the submitted Heritage Permit Application for the following alterations:

- Replacement of all original wood windows throughout entirety of dwelling, seven windows on front elevation are subject to this Heritage Permit as they are visible from the public right-of-way on this Part V designated building.
- All windows will be replaced with new 2.25" frame vinyl casement windows with the elegant contour profile in the colour 'Windswept Smoke'.
- Existing leaded details from windows in restored wooden frame to be retained and attached to the wooden jamb using antique hinges and door catches as confirmed with the window manufacturer/installer.

Subject to the following conditions:

- a) Any minor changes to the plans and elevations following approval shall be submitted, to the satisfaction and approval of the Director of Planning and Chief Planner, prior to submission as part of any application for a Building Permit and / or the commencement of any alterations; and,
- b) Installation of the alterations, in accordance with this approval, shall be completed no later than July 31, 2023. If the alterations are not completed by July 31, 2023,

Re: Heritage Permit Application HP2021-026:  
Proposed replacement of existing windows at 220 St.  
Clair Boulevard, Hamilton (Ward 3) (St. Clair  
Boulevard HCD) (By-law No.92-140)

July 19, 2021  
Page 2 of 2

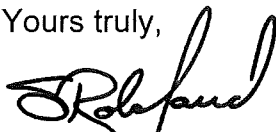
then this approval expires as of that date and no alterations shall be undertaken without a new approval issued by the City of Hamilton.

Please note that this property is designated under Part V of the *Ontario Heritage Act*, and that this permit is only for the above-noted alterations. Any departure from the approved plans and specifications is prohibited, and could result in penalties, as provided for by the *Ontario Heritage Act*. The terms and conditions of this approval may be appealed to the Ontario Land Tribunal within 30 days of your receipt of this permit.

The issuance of this permit under the *Ontario Heritage Act* is not a waiver of any of the provisions of any By-law of the City of Hamilton, the requirements of the *Building Code Act*, the *Planning Act*, or any other applicable legislation.

We wish you success with your project, and if you have any further questions please feel free to contact Stacey Kursikowski, Cultural Heritage Planner, at 905-546-2424 ext. 1202 or via email at [Stacey.Kursikowski@hamilton.ca](mailto:Stacey.Kursikowski@hamilton.ca).

Yours truly,



Steve Robichaud, MCIP RPP  
Director of Planning and Chief Planner

cc: Stacey Kursikowski, Cultural Heritage Planner  
Chantal Costa, Plan Examination Secretary  
John Lane, Manager, Building Inspections  
Tamara Reid, Supervisor-Operations and Enforcement  
Loren Kolar, Legislative Coordinator  
Christine Vernem, Legislative Secretary  
Councillor Nrinder Nann, Ward 3

**HERITAGE PERMIT DELEGATED AUTHORITY REPORT – HP2021-026**  
**ADDRESS: 220 St. Clair Boulevard**

**Owner:** Patrick Hale & Alisa Pellizzari-Hale

**Description of proposed alterations:**

- Replacement of all original wood windows throughout entirety of dwelling, seven windows on front elevation are subject to this Heritage Permit as they are visible from the public right-of-way on this Part V designated building.
- All windows will be replaced with new 2.25" frame vinyl casement windows with the elegant contour profile in the colour 'Windswept Smoke'.
- Existing leaded details from windows in restored wooden frame to be retained and attached to the wooden jamb using antique hinges and door catches as confirmed with the window manufacturer/installer.

**Reasons for proposed alterations:**

- Windows are damaged and no longer functioning.

**Documentation submitted with application:**

- Photos of existing conditions;
- Cost estimates;
- Window specifications;
- Mock-up of proposed window impact; and,
- Proposed colour swatch.

**Staff assessment:**

Key factors in the evaluation of alterations affecting a heritage building or its setting are the consideration of:

- "**displacement effects**" (those adverse actions that result in the damage, loss or removal of valued heritage features); and,
- "**disruption effects**" (those actions that result in detrimental changes to the setting or character of a heritage feature).

In the consideration of any heritage permit application, staff must assess the impact of the displacement and disruption effects on the heritage resource, particularly in relation to the heritage attributes mentioned in the St. Clair Boulevard Heritage Conservation District, in this case By-law No. 92-140.

There will be minimal displacement effects resulting from the proposed work. The proposed work will see the removal of existing, original windows; however, this impact

will be minimal as the existing windows are damaged and no longer functioning. The decorative leaded component of the existing windows will be retained as a part of the proposed work and be reinstalled to be visible from the public right-of-way. The leaded component will be attached to the restored wooden frame, behind a replacement window. The retention of this leaded portion is a priority for retention as it is a visually unique characteristic of the home and while the window portion is damaged, the decorative component being retained and restored will assist in reducing proposed displacement effects.

There will be minimal disruption effects resulting from the proposed work. There are existing examples of modern window replacements on the streetscape. The colour of the frames will be sympathetic to the existing façade of the home, complimenting the yellow brick and red dyed mortar. The single hung windows were not a specified feature of the home within the Heritage Conservation District Plan and the replacement to a casement window will not pose a major disruption effect.

Staff are supportive of the application as it is in line with the Heritage Conservation District as the proponents have confirmed a viable option for securing the current leaded portions to the new wooden window jamb with complementary hinges. The work will be in line with other similar modifications in the district and will minimize any displacement effects through the retention of the leaded decorative piece and the casement windows are permissible under the Heritage Conservation Plan as single hung windows were not a specified feature. Overall, the disruption and displacement effects will be minimized throughout this work through thoughtful accommodations to aid in preserving the unique heritage component of the leaded windows.

<b>Key dates:</b>
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<p>Sub-committee meeting date: May 18, 2021          Notice of Receipt: June 8, 2021</p>
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<b>Sub-committee comments and advice:</b>
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The Sub-committee considered the application and passed the following motion:

(Ritchie/Soilnik)

That the Heritage Permit Review Sub-committee advises that Heritage Permit Application HP2021-026 be approved as submitted, subject to the following conditions:

- a) Any minor changes to the plans and elevations following approval shall be submitted, to the satisfaction and approval of the Director of Planning and Chief Planner, prior to submission as part of any application for a Building Permit and / or the commencement of any alterations; and,
- b) Installation of the alterations, in accordance with this approval, shall be completed no later than July 31, 2023. If the alterations are not completed by July 31, 2023,

then this approval expires as of that date and no alterations shall be undertaken without a new approval issued by the City of Hamilton.

CARRIED

**Final Recommendation:**

That the applicant be advised that Heritage Permit Application HP2021-026 is approved in accordance with the submitted application, subject to the following conditions:

- a) Any minor changes to the plans and elevations following approval shall be submitted, to the satisfaction and approval of the Director of Planning and Chief Planner, prior to submission as part of any application for a Building Permit and / or the commencement of any alterations; and,
- b) Installation of the alterations, in accordance with this approval, shall be completed no later than July 31, 2023. If the alterations are not completed by July 31, 2023, then this approval expires as of that date and no alterations shall be undertaken without a new approval issued by the City of Hamilton.

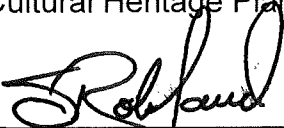
**Approval:**

Staff Approval:

  
\_\_\_\_\_  
Stacey Kursikowski  
Cultural Heritage Planner

SM/AF \_\_\_\_\_  
SPM/MGR Initials

Authorized:

  
\_\_\_\_\_  
Steve Robichaud, MCIP RPP  
Director of Planning and Chief Planner

<b>HCD Excerpt</b>
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**St. Clair Boulevard****5.1 Windows and Doors: Repair and Maintenance**

The inspection and assessment of these features for structural soundness is of critical importance. Retention and repair of original window frames, sash, glass and door paneling is recommended. Badly decayed areas in an otherwise sound window or door should be repaired using compatible filler materials or appropriate joinery detailing. Retain existing glazing where possible and save door and window hardware during repairs.

Replacement wood windows or doors should be completed in kind. Aluminum, coated metal or vinyl units are not recommended. A replacement window or door must match the original in style, shape and placement. Replacement using historic photographs where available will be required to meet the above criteria.

**5.2 Windows and Doors: Restoration**

Always try to repair the existing original windows and doors if possible as they are important features of older buildings. When the replacement of a window is required try to use the existing frames.

New replacement sash should maintain the original muntin profile and dimensions. This may require new shaping blades to be cut to reproduce the molding profile. Try to make double hung windows work properly. Don't forget that original storm windows and doors are also heritage features. Where new glazing is required, it should resemble some of the qualities of older, single pane glass where possible.

Entrances which include transoms and sidelights often exhibit a high degree of craftsmanship. The retention of this skilled work is desirable and worthy of restoration through proper conservation techniques. The employment of experienced master carpenters may be necessary to complete this level of workmanship. Preparation of drawings and photographs will assist in the development of shop drawings.





**Hamilton**

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Planning and Economic Development Department  
Planning Division  
71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5  
Phone: 905-546-2424, Ext. 1202  
Fax: 905-540-5611

FILE: HP2021-034

August 5, 2021

Barton Stone – Mount Hope United Church  
21 Stone Church Road West  
Hamilton, Ontario  
L9B 1A1

**Re: Heritage Permit Application HP2021-034:  
Proposed refurbishment of existing windows of the sanctuary to 21 Stone  
Church Road West (Barton Stone – Mount Hope United Church) (Ward 8)  
(By-law No. 17-119)**

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Please be advised that pursuant to By-law No. 05-364, as amended by By-law No. 07-322, which delegates the power to consent to alterations to designated property under the *Ontario Heritage Act* to the Director of Planning and Chief Planner, Heritage Permit application HP2021-034 is approved for the designated property at 21 Stone Church Road West, Hamilton, in accordance with the submitted Heritage Permit application for the following alterations:

- Restoration of all eight sets of existing paired gothic arched windows on the sanctuary portion of the church as per the scope of work set out by Furlan Contracting;
- The work will be completed between now and 2024 to allow two sets of windows to be completed each year to coincide with available grant funding.

Subject to the following conditions:

- a) Any minor changes to the plans and elevations following approval shall be submitted, to the satisfaction and approval of the Director of Planning and Chief Planner, prior to submission as part of any application for a Building Permit and / or the commencement of any alterations;
- b) Installation of the alterations, in accordance with this approval, shall be completed no later than July 31, 2024. If the alterations are not completed by July 31, 2024, then this approval expires as of that date and no alterations shall be undertaken without a new approval issued by the City of Hamilton.

**Re: Heritage Permit Application HP2021-034:  
Proposed refurbishment of existing windows of the  
sanctuary to 21 Stone Church Road West (Barton  
Stone – Mount Hope United Church) (Ward 8) (By-law  
No. 17-119)**

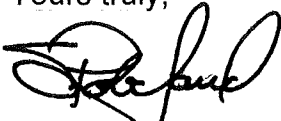
**August 5, 2021  
Page 2 of 2**

Please note that this property is designated under Part IV of the *Ontario Heritage Act*, and that this permit is only for the above-noted alterations. Any departure from the approved plans and specifications is prohibited, and could result in penalties, as provided for by the *Ontario Heritage Act*. The terms and conditions of this approval may be appealed to the Ontario Land Tribunal within 30 days of your receipt of this permit.

The issuance of this permit under the *Ontario Heritage Act* is not a waiver of any of the provisions of any By-law of the City of Hamilton, the requirements of the *Building Code Act*, the *Planning Act*, or any other applicable legislation.

We wish you success with your project, and if you have any further questions please feel free to contact Stacey Kursikowski, Cultural Heritage Planner, at 905-546-2424 ext. 1202 or via email at [Stacey.Kursikowski@hamilton.ca](mailto:Stacey.Kursikowski@hamilton.ca).

Yours truly,



Steve Robichaud, MCIP RPP  
Director of Planning and Chief Planner

cc: Stacey Kursikowski, Cultural Heritage Planner  
Chantal Costa, Plan Examination Secretary  
John Lane, Manager, Building Inspections  
Tamara Reid, Supervisor-Operations and Enforcement  
Loren Kolar, Legislative Coordinator  
Christine Vernem, Legislative Secretary  
Councillor John-Paul Danko, Ward 8

**HERITAGE PERMIT DELEGATED AUTHORITY REPORT – HP2021-034**  
**ADDRESS: 21 Stone Church Road West**

**Owner:** Barton Stone – Mount Hope United Church (c/o Joanne Eagles)

**Description of proposed alterations:**

- Restoration of all eight sets of existing paired gothic arched windows on the sanctuary portion of the church as per the scope of work set out by Furlan Contracting;
- The work will be completed between now and 2024 to allow two sets of windows to be completed each year to coincide with available grant funding.

**Reasons for proposed alterations:**

- Repairs of damaged wood/seals

**Documentation submitted with application:**

- Contractor quotes including detailed scope of work
- Grant application
- Pictures of existing windows

**Staff assessment:**

Key factors in the evaluation of alterations affecting a heritage building or its setting are the consideration of:

- **“displacement effects”** (those adverse actions that result in the damage, loss or removal of valued heritage features); and,
- **“disruption effects”** (those actions that result in detrimental changes to the setting or character of a heritage feature).

In the consideration of any Heritage Permit application, staff must assess the impact of the displacement and disruption effects on the heritage resource, particularly in relation to the heritage attributes mentioned in the Designation By-law, in this case By-law No. 17-119.

The applicant proposes to remove and restore the existing original windows as they have been damaged by the elements over the years. The applicant provided a detailed scope of work from a preferred qualified contractor outlining the process to remove and repair the windows and will include removing window sash, stops and parting strips as well as the glazing and original glass and the repair of existing woodwork. The original glass will be re-used and any broken glass will be replaced in kind.

The designation By-law identifies the paired gothic arched windows as a heritage attribute of the property and thus care must be taken to ensure that these features will be adequately protected throughout the work.

Minimal "disruption effects" are expected to the heritage context of the property. The existing original windows are being repaired, and any broken components will be replaced in-kind. The proposed work is restorative and will not result in any negative disruption effects as it is repairing damage caused over time to the original features.

There will be minimal "displacement effects" to the subject property as a result of this work. The window restoration will ensure that the original windows can remain in the sanctuary for years to come and is a preventative measure to ensure these features are not lost due to damage. The repairs are in keeping with The Venice Charter International Charter for the Conservation and Restoration of Monuments and Sites (1964), as well as the Standards and Guidelines for the Conservation of Historic Places in Canada (Standards and Guidelines) and The Ontario Heritage Tool Kit. Staff are satisfied that the proposed work will not cause any undue "displacement effects" to the property.

Staff support the proposed alterations as they are in keeping with the designation By-law.

**Key dates:**

Sub-committee meeting date: July 20, 2021

Notice of Receipt: July 21, 2021

**Sub-committee comments and advice:**

The Sub-committee considered the application and passed the following motion:

(Dent / MacLaren)

That the Heritage Permit Review Sub-committee advises that Heritage Permit Application HP2021-034 be approved as submitted, subject to the following conditions:

- a) Any minor changes to the plans and elevations following approval shall be submitted, to the satisfaction and approval of the Director of Planning and Chief Planner, prior to submission as part of any application for a Building Permit and / or the commencement of any alterations;
- b) Installation of the alterations, in accordance with this approval, shall be completed no later than July 31, 2024. If the alterations are not completed by July 31, 2024 then this approval expires as of that date and no alterations shall be undertaken without a new approval issued by the City of Hamilton

CARRIED

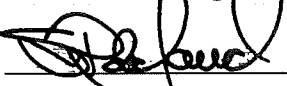
**Final Recommendation:**

That the applicant be advised that Heritage Permit Application HP2021-034 is approved in accordance with the submitted application, subject to the following conditions:

- a) Any minor changes to the plans and elevations following approval shall be submitted, to the satisfaction and approval of the Director of Planning and Chief Planner, prior to submission as part of any application for a Building Permit and / or the commencement of any alterations;
- b) Installation of the alterations, in accordance with this approval, shall be completed no later than July 31, 2024. If the alterations are not completed by July 31, 2024 then this approval expires as of that date and no alterations shall be undertaken without a new approval issued by the City of Hamilton

**Approval:**

Staff Approval:  O.I.  
Stacey Kursikowski, MCIP, RPP  
Cultural Heritage Planner  
SPM/MGR Initials

Authorized:   
Steve Robichaud, MCIP RPP  
Director of Planning and Chief Planner

**Designation By-law (By-law 17-119)**

Cultural Heritage Attributes that reflect pastoral context include:

- The fence pillars that are constructed from stone of the original stone fence; and,
- The mature trees along Upper James Street.

Cultural Heritage Attributes that reflect the Gothic Revival style of architecture include: •

- One-storey limestone construction;
- Gable roof with cornice returns;
- Paired gothic arched windows; and,
- Arched door on the east façade.

Cultural Heritage Attributes that reflect the value of the historic cemetery include:

- The tomb headstones and their arrangement



**CITY OF HAMILTON**  
**PLANNING AND ECONOMIC DEVELOPMENT DEPARTMENT**  
**Planning Division**

<b>TO:</b>	Chair and Members Hamilton Municipal Heritage Committee
<b>COMMITTEE DATE:</b>	September 24, 2021
<b>SUBJECT/REPORT NO:</b>	Heritage Permit Application HP2021-037, Under Part IV of the <i>Ontario Heritage Act</i> , for Façade Integration into Redevelopment of 18 - 28 King Street East, Hamilton (PED21195) (Ward 2)
<b>WARD(S) AFFECTED:</b>	Ward 2
<b>PREPARED BY:</b>	Amber Knowles (905) 546-2424 Ext. 1291
<b>SUBMITTED BY:</b>	Steve Robichaud Director, Planning and Chief Planner Planning and Economic Development Department
<b>SIGNATURE:</b>	

**RECOMMENDATION**

That Heritage Permit application HP2021-037, for redevelopment of the properties including integrating the designated heritage façades into a new six storey mixed use building, for the lands located at 18-28 King Street East, be **approved**, subject to the following conditions:

- (a) That a Conservation Plan in accordance with the City's Guidelines for Conservation Plans be prepared and submitted by the applicant to the satisfaction and approval of the Director of Planning and Chief Planner prior to the issuance of any Building Permit for demolition or new construction;
- (b) That the Conservation Plan completed by the applicant's heritage consultants address the following to the satisfaction and approval of the Director of Planning and Chief Planner prior to the issuance of any Building Permit for demolition or new construction:
  - (i) Structural drawings for the facade retention frame;
  - (ii) Demolition and dismantling plan that provides the methodology for labelling, dismantling, re-locating and storing heritage elements;

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*OUR Vision: To be the best place to raise a child and age successfully.*

*OUR Mission: To provide high quality cost conscious public services that contribute to a healthy, safe and prosperous community, in a sustainable manner.*

*OUR Culture: Collective Ownership, Steadfast Integrity, Courageous Change, Sensational Service, Engaged Empowered Employees.*

- (iii) Inventory of items to be dismantled and stored;
  - (iv) Masonry key plan that shows the original location and condition of individual stones for 28 King Street East;
  - (v) Monitoring plan for regular monitoring of stored elements and structural retention frames;
  - (vi) Repair methodologies and materials for heritage fabric including masonry specifications for suitable repair mortars and replacement stone;
  - (vii) Structural and architectural drawings for integration of the heritage facades into the new structure;
  - (viii) Window specifications for replacement windows to be installed in the heritage facades;
  - (ix) Construction management plan that includes protection and monitoring of the façade retention frame and sequencing and co-ordination of conservation work, demolition work and new construction;
  - (x) Project schedule and cost estimates for the proposed conservation work; and,
  - (xi) Identify what remains of the original storefronts and provide recommendations for the final storefront designs;
- (c) That the recommendations from the Conservation Plan submitted to the satisfaction of the Director of Planning and Chief Planner, be implemented to the satisfaction of the Director of Planning and Chief Planner, prior to the issuance of an Occupancy Permit;
- (d) That the following conditions with respect to cost estimates to implement the Conservation Plan and a Letter of Credit shall be satisfied prior to submission of an application for a Building Permit for removal of portions of the building:
- (i) The applicant shall provide cost estimates for 100% of the total cost of securing, protecting and stabilizing the retained portions, the cost of monitoring and security for a period of three years and the total cost of restoration and protective enclosure of the retained Designated portions. Such cost estimates shall be in a form satisfactory to the Director of Planning and Chief Planner;
  - (ii) The applicant shall provide a Letter of Credit to the Director of Planning and Chief Planner for 100% of the total estimated cost as per (i) above in a form satisfactory to the City's Finance Department (Development Officer, Budget, Taxation and Policy) to be held by the City as security for securing, protecting, stabilizing, monitoring and restoring the retained portions as required by this Heritage Permit:
- (1) The Letter of Credit shall be kept in force, whether or not the ownership of 18-28 King Street East changes at any time, until the completion of



- the required restoration of the retained portions and the erection of a permanent structure to enclose the rear of the retained portions and / or to otherwise attach the retained portions to a new building in conformity with the approved design and requirements;
- (2) The Letter of Credit may be reduced in accordance with the City's Letter of Credit Policy for site plan applications;
- (3) If the Letter of Credit is about to expire without renewal thereof and any part of securing, protecting, stabilizing, monitoring or restoring the retained portions has not been completed in conformity with their approved designs, the City may draw all of the Letter of Credit funds and hold them as security to guarantee completion unless the City's Finance Department (Development Officer, Budget, Taxation and Policy) is provided with a renewal of the Letter of Credit forthwith; and,
- (4) In the event that the Owner fails to complete, to the satisfaction of the Director of Planning and Chief Planner, the required securing, protecting, stabilizing, monitoring or restoring of the retained portions and the erection of a permanent structure to enclose the rear of the retained portions and / or attach to a new building in conformity with its approved design within the time required, then the City, in addition to any other remedies that the City may have, may exercise its authority under section 446 of the *Municipal Act* to have its employees, agents or contractors enter 18-28 King Street East to complete any one or more of these requirements. The cost of completion of securing, protecting, stabilizing, monitoring or restoring the retained portions shall be paid in full by the Owner from the Letter of Credit. In the event that there is a surplus, the City shall pay the surplus to the Owner upon completion of the requirement(s). In the event that there is a deficit, the City may further exercise its authority under section 446 of the *Municipal Act* including but not limited to adding the deficit to the tax roll and collecting it in the same manner as property taxes;
- (e) That prior to the issuance of any Building Permit for demolition or new construction, the applicant enters into and registers on title a Heritage Easement Agreement and covenant with the City pursuant to the *Ontario Heritage Act* for the purposes of maintaining the heritage attributes consistent with the conditionally approved permit to the satisfaction and approval of the Director of Planning and Chief Planner, and that the Mayor and Clerk, or delegate, as the case may be, are hereby authorized to execute any such agreement;

- (f) That any minor changes to the plans and elevations following approval shall be submitted, to the satisfaction and approval of the Director of Planning and Chief Planner, prior to any application for a Building Permit and / or the commencement of any alterations;
- (g) That should a Building Permit for the proposed alterations, in accordance with this approval, not be obtained and acted upon by October 31, 2023 then this approval expires as of that date and no alterations shall be undertaken without a new approval issued by the City of Hamilton;
- (h) That the proposed alterations, in accordance with this approval, shall be completed no later than October 31, 2024. If the alterations are not completed by October 31, 2024, then this approval expires as of that date and no alterations shall be undertaken without a new approval issued by the City of Hamilton;
- (i) That the Director of Planning and Chief Planner be authorized to approve a request to extend the dates noted in conditions (g) and (h) of this approval, if that request is submitted prior to the expiry and if progress is being made.

## **EXECUTIVE SUMMARY**

The subject properties at 18-28 King Street East (see Appendix “A” attached to Report PED21195) are designated under Part IV of the *Ontario Heritage Act* by By-law No. 18-321, attached as Appendix “B” to Report PED21195.

This Heritage Permit application (HP2021-037) was received on July 6, 2021 and the Notice of Complete Application was issued on July 29, 2021. The application proposes to redevelop the current property while integrating the designated heritage façades into the new six storey mixed use building. The Kerr Building facade (18-22 King Street East) will be retained, the Skinner Building façade (24 King Street East) will be replicated, the Glassco Building façade (28 King Street East) will be dismantled and rebuilt. The vacant lot at 30 King Street East will be used as a courtyard. The proposal can be found in the Cultural Heritage Impact Assessment Addendum, attached as Appendix “C” to Report PED21195.

The *Ontario Heritage Act* requires that Council make a decision on a Heritage Permit application within 90 days of the issuance of a Notice of Complete Application. If no decision is reached within the 90-day timeframe, Council shall be deemed to consent to the application. The subject application’s 90-day timeframe will be reached on October 27, 2021.

The Heritage Permit Review Subcommittee of the Hamilton Municipal Heritage Committee (HMHC) reviewed the subject application on July 27, 2021, and

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recommended approval. When demolition of a designated heritage building is proposed as part of a Heritage Permit application, the application is subject to Council decision.

Staff are of the opinion that the proposed scope of work will ensure the conservation of significant cultural heritage resources. As such staff recommend approval of the Heritage Permit application, subject to the recommended conditions to ensure that additional concerns, such as the stabilization of the retained portions, will be addressed through a comprehensive conservation plan.

***Alternatives for Consideration – See Page 13***

**FINANCIAL – STAFFING – LEGAL IMPLICATIONS**

Financial: N/A

Staffing: N/A

Legal: This Heritage Permit application has been processed and considered within the context of the applicable legislation.

Section 34 (1) of the *Ontario Heritage Act* states that:

“No owner of property designated under Section 29 shall do either of the following, unless the owner applies to the council of the municipality in which the property is situate and receives consent in writing to the demolition or removal:

1. Demolish or remove, or permit the demolition or removal of, any of the property’s heritage attributes, as set out in the description of the property’s heritage attributes in the by-law that was required to be registered under clause 29 (12) (b) or subsection 29 (19), as the case may be; and,
2. Demolish or remove a building or structure on the property or permit the demolition or removal of a building or structure on the property, whether or not the demolition or removal would affect the property’s heritage attributes, as set out in the description of the property’s heritage attributes in the by-law that was required to be registered under clause 29 (12) (b) or subsection 29 (19), as the case may be. 2019, c. 9, Sched. 11, s. 12.”

Section 34 (4.2) of the *Ontario Heritage Act* states that:

“The council, after consultation with its municipal heritage committee, if one is established, and within the time period determined under subsection (4.3),

- (a) shall,
  - (i) consent to the application;
  - (ii) consent to the application, subject to such terms and conditions as may be specified by the council; or,
  - (iii) refuse the application;
- (b) shall serve notice of its decision on to the owner of the property and on the Trust; and,
- (c) shall publish its decision in a newspaper having general circulation in the municipality.”

With respect to the delegation of Council’s approval authority, Section 33 (15) of the *Ontario Heritage Act* states that:

“The power to consent to alterations to property under this section may be delegated by by-law by the council of a municipality to an employee or official of the municipality if the council has established a municipal heritage committee, and has consulted with the committee prior to delegating the power.”

## **HISTORICAL BACKGROUND**

18-20 King Street East was constructed circa 1840 and early occupants were Archibald and Thomas C. Kerr, who established their successful wholesale dry goods business there as early as 1848. 22 King Street East was constructed circa 1840 for H. E. Smith. By the 1850’s, both buildings were under single ownership.

The architect of 18-20 King Street East, William Thomas, was considered a key figure in Canadian architecture, designing important buildings throughout Ontario as well as in other Provinces. The building’s composition, design and materials provide a representative example of Renaissance Revival architecture dating to the pre-Confederation period and display a high-degree of craftsmanship. The buildings retain their original architectural features on the upper levels of their front facades and are among very few pre-Confederation stone commercial buildings remaining in Hamilton.

24 King Street East was constructed in 1875-1876 for James A. Skinner. Skinner was a crockery merchant who opened his “China Palace” at another location around 1850 and the current building was built as an expansion. James A. Skinner and Co. was recognized as “the largest importer of crockery, glassware, etc. and largest shippers to

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Manitoba, British Columbia and the Northwest". Later, Minden's Ladies Wear operated in this location between 1924 and 1951.

The building at 24 King Street East was originally designed and constructed in the Victorian Style of architecture with vertical brick coursing, stone window sills, metal hood mouldings and a metal cornice. Several alterations have been undertaken to the building and only the brick façade (painted), three window openings on the fourth level and the cornice and brackets remain.

28 King Street East was constructed in 1874 for William H. Glassco & Sons to house their furrier business, established in 1843 and first located in a building further to the east along King Street East. The building housed a large cold storage vault that was considered to be advanced at the time. G.F. Glassco & Sons operated in this location until 1931 and a succession of other furrier businesses subsequently operated out of the building.

The composition, design and materials of the building at 28 King Street East provide a representative example of Victorian architecture. At the time of its construction, the building was less elaborate than the buildings on either side; however, the building has retained most of its original architectural features on the upper levels of its front façade.

The buildings face Gore Park and are integral components to the King Street East streetscape and the character of the 'Gore' area. Gore Park is surrounded by largely intact groupings of three to four storey commercial row buildings, many displaying early architectural styles and high levels of craftsmanship in both design and construction.

The City of Hamilton issued a Notice of Intention to Designate 18-22 King Street East, as well as a Notice of Intention to Designate 24-28 King Street East, under Part IV of the *Ontario Heritage Act* on December 13, 2013. The Notices of Intention to Designate had the effect of voiding the Demolition Permit that had been issued on January 25, 2013.

In 2016 - 2017 a redevelopment proposal was submitted through the Heritage Permit process and Site Plan Control application process (SPA-17-087). On January 25, 2017 Council approved Heritage Permits HP2016-027 and HP2016-028 to retain the façade of 18-22 King Street East and to demolish 24 and 28 King Street East, respectively. In 2018, Heritage Permit HP2018-035 was approved for the retention and restoration of the front portions of 24 and 28 King Street East, replacing HP2016-028 for the demolition of those buildings and this permit expired on September 30, 2020 (attached as Appendix "D" to Report PED21195). Heritage Permit HP2016-027 was extended in 2020 and expired on January 31, 2021.

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The current Heritage Permit application (HP2021-037), was received on July 6, 2021 and included a Cultural Heritage Impact Assessment Addendum prepared by Megan Hobson which addressed the current retention and redevelopment proposal (attached as Appendix “C” to Report PED21195). A Notice of Complete Application was issued on July 29, 2021.

The Site Plan application (SPA-17-087) has since lapsed and the new development proposal is being considered under Site Plan Control application SPA-21-116.

## **POLICY IMPLICATIONS AND LEGISLATED REQUIREMENTS**

### **Urban Hamilton Official Plan**

Volume 1, Section 3.4 – Cultural Heritage Resources Policies of the Urban Hamilton Official Plan (UHOP) states that the City shall:

- “B.3.4.2.1(a) Protect and conserve the tangible cultural heritage resources of the City, including archaeological resources, built heritage resources, and cultural heritage landscapes for present and future generations.
- B.3.4.2.1 (i) Use all relevant provincial legislation, particularly the provisions of the *Ontario Heritage Act*, the *Planning Act* R.S.O., 1990 c. P.13, the *Environmental Assessment Act*, the *Municipal Act*, the *Niagara Escarpment Planning and Development Act*, the *Cemeteries Act*, the *Greenbelt Act*, the *Places to Grow Act* and all related plans and strategies in order to appropriately manage, conserve and protect Hamilton’s cultural heritage resources.
- B. 3.4.5.2 The City shall encourage the retention and conservation of significant built heritage resources in their original locations. In considering planning applications under the *Planning Act* and heritage permit applications under the *Ontario Heritage Act*, there shall be a presumption in favour of retaining the built heritage resource in its original location.
- B. 3.4.5.5 Where a significant built heritage resource is to be unavoidably lost or demolished, the City shall ensure the proponent undertakes one or more of the following mitigation measures, in addition to a thorough inventory and documentation of the features that will be lost:
- (a) preserving and displaying of fragments of the former buildings' features and landscaping;
  - (b) marking the traces of former locations, shapes, and circulation lines;

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- (c) displaying graphic and textual descriptions of the site's history and former use, buildings, and structures; and,
- (d) generally reflect the former architecture and use in the design of the new development, where appropriate and in accordance with Section B.3.3 - Urban Design Policies.”

These policies from the Urban Hamilton Official Plan demonstrate Council's commitment to the identification, protection, and conservation of cultural heritage resources, and the recommendations of this Report meet the intent of these policies.

### **Downtown Hamilton Secondary Plan**

Volume 2, Section 6.1- Downtown Hamilton Secondary Plan of the Urban Hamilton Official Plan (UHOP) states that:

- “B 6.1.11.1 (d) Conservation of existing cultural heritage resources shall be a priority in all development. New development shall be compatible with on-site and adjacent cultural heritage resources. Adaptive re-use will be given priority for all built heritage resources;
- (e) The City may require that as part of development proposals that cultural heritage resources be retained on-site and incorporated, used or adaptively re-used, as appropriate with the proposed development. Retention and protection of cultural heritage resources on lands subject to development may be a requirement as a condition of development approval. Specifically, heritage easements under subsection 37(1) of the *Ontario Heritage Act* may be required and negotiated, as well as development agreements, respecting the care and conservation of the affected heritage property.”

These policies from the Downtown Hamilton Secondary Plan demonstrate Council's commitment to the protection and conservation of cultural heritage resources, as they relate to the Downtown Hamilton area, and the recommendations of this Report meet the intent of these policies.

## **RELEVANT CONSULTATION**

### **Heritage Permit Review Subcommittee**

Pursuant to Sub-sections 28 (1) of the *Ontario Heritage Act* and the Council approved Heritage Permit Process (PED05096), the HMHC advises and assists Council on matters relating to Part IV and V of the *Ontario Heritage Act*.

**SUBJECT: Heritage Permit Application HP2021-037, Under Part IV of the *Ontario Heritage Act*, for Façade Integration into Redevelopment of 18 - 28 King Street East, Hamilton (PED21195) (Ward 2) - Page 10 of 13**

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The Heritage Permit Review Subcommittee of the HMHC reviewed the subject application at a special meeting held on July 27, 2021. After a presentation and question and answer period with the applicant's agent and consultant, the Subcommittee passed a motion to recommend approval of the application as submitted, subject to the following conditions:

- (a) Any minor changes to the plans and elevations following approval shall be submitted, to the satisfaction and approval of the Director of Planning and Chief Planner, prior to submission as part of any application for a Building Permit and / or the commencement of any alterations;
- (b) Installation of the alterations, in accordance with this approval, shall be completed no later than July 31, 2023. If the alterations are not completed by July 31, 2023 then this approval expires as of that date and no alterations shall be undertaken without a new approval issued by the City of Hamilton;
- (c) That a Conservation Plan in accordance with the City's Guidelines for Conservation Plans be submitted to the satisfaction and approval of the Director of Planning and Chief Planner;
- (d) That a Heritage Easement Agreement be reached with the City prior to the commencement of work; and,
- (e) That a Letter of Credit be provided to be held by the City based on the cost estimates for 100% of the total cost of securing, protecting and stabilizing the retained portions, the cost of monitoring and security for a period of three years and the total cost of restoration and protective enclosure of the retained Designated portions. Such cost estimates shall be in a form satisfactory to the Director of Planning and Chief Planner.

## **ANALYSIS AND RATIONALE FOR RECOMMENDATION**

Heritage Permit application (HP2021-037) proposes the following alterations:

- Retention and restoration of the front facades of 18-22 King Street East;
- Facade replication of 24 King Street East;
- Facade dismantling and rebuilding of 28 King Street East;
- Removal of the buildings behind the front facades;
- Restoration of the gable roof and dormers of 18-22 King Street East;
- Construction of a six-storey mixed-use building behind the heritage facades; and,
- Installation of store fronts including signage bands.

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**SUBJECT: Heritage Permit Application HP2021-037, Under Part IV of the *Ontario Heritage Act*, for Façade Integration into Redevelopment of 18 - 28 King Street East, Hamilton (PED21195) (Ward 2) - Page 11 of 13**

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A Cultural Heritage Impact Assessment Addendum, prepared by Megan Hobson dated July 6, 2021 (see Appendix “C” attached to Report PED21195) was submitted with the Heritage Permit application (HP2021-037) in support of the proposal and staff deemed it comprehensive and complete.

Key factors that are considered in the evaluation of any change affecting a heritage resource are consideration of:

- **Displacement effects:** those adverse actions that result in the damage, loss, or removal of valued heritage features; and,
- **Disruption effects:** those actions that result in detrimental changes to the setting or character of the heritage feature.

In the consideration of any Heritage Permit application, staff must assess the impact of the displacement and disruption effects on the heritage resource, particularly in relation to the heritage attributes mentioned in the Designation By-law, in this case By-law No. 18-321.

The Designation By-law identifies only the front façade and related elements on the front facades of 18-22, 24, and 28 King Street East such as cornices and parapet walls, window openings and sashes, and original masonry (see Appendix “B” attached to Report PED21195).

Minimal “disruption effects” are expected to the heritage context of the property. The front facades will be retained and when this is not possible, such as with 24 King Street East, the original facade will be replicated. Investigation of the condition of the masonry of 24 King Street East determined that the brick has deteriorated to such an extent that retention of this facade is not feasible, resulting in the proposed replication with new brick and the cornice being repaired and reinstated on the replicated facade. The east pier and upper courses of masonry for 28 King Street East have shifted because the east wall is leaning eastward due to lack of lateral support from 30 King Street East which was demolished in 2012. Due to this current condition, dismantling and rebuilding of this facade is proposed. Recommendations (a) to (c) of Report PED21195 require a Conservation Plan that will contain a demolition and dismantling plan that provides the methodology for labelling, dismantling, re-locating and storing heritage elements, as well as protection and monitoring of the facades and repair methodologies. A Letter of Credit will also be required to ensure the securing, protecting, stabilizing, monitoring and restoring the heritage facades (Recommendation (d) of Report PED21195).

The retained facades will minimize the disruption effects that loss of the entire buildings would entail. Due to the current condition of these buildings, imminent conservation efforts on the front facades are needed to preserve the heritage attributes. The side

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and rear facades of the buildings are not listed as heritage attributes and as the structure is in poor condition, cannot be feasibly retained. The proposed design of the redevelopment will allow the front facades to remain the focal point of the new structure, using a neutral colour and set back from the facades.

There will be minimal “displacement effects” to the subject property as a result of this work. The front facades have been thoroughly documented to identify what can be retained, repaired, reused, or replicated. There is significant water damage to the structures, so removal of the existing structures and retention and repair of the front facades and notable heritage features will prevent continuing damage to the facades. While typically staff would like to see additional retention to further minimize displacement effects, the existing damage to the structure is too severe and staff are satisfied that the applicants have retained and reincorporated as much of the heritage features as possible in order to minimize these negative effects to the greatest extent possible under these circumstances.

In addition to requiring a Conservation Plan and Letter of Credit as conditions of HP2021-037, which is consistent with the previous Heritage Permits for this site, staff have also proposed a condition for the applicant to enter into a Heritage Easement (Recommendation (e) of Report PED21195). This Easement will provide a further legal obligation for the owners to protect and preserve the heritage facades of 18-28 King Street East through requirements to maintain the facades and their features in good condition, have adequate insurance, and provide further protection against demolition. This agreement would be registered on title and would run with the property.

Staff further recommend that minor changes to the plans and elevations can be submitted to the approval of the Director of Planning and Chief Planner (Recommendation (f) of Report PED21195) and that the applicant must obtain a Building Permit within two years after the Heritage Permit is issued, which is expected to be October of 2021 (Recommendation (g) of Report PED21195). The alterations are to be completed within one year of the deadline to obtain a Building Permit (Recommendation (h) of Report PED21195) and an extension to the deadlines noted above can be approved by the Director of Planning and Chief Planner.

### **Conclusions:**

Staff are of the opinion that Heritage Permit application (HP2021-037) can be supported as the proposed alterations are in keeping with Designation By-law No. 18-321 and will minimize any future displacement or disruption effects that may occur if the condition of the building continues to deteriorate.

Additional concerns such as the restoration methods and how the facades will be retained during demolition and construction of a new building can be addressed in a

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comprehensive Conservation Plan, as required by Recommendations (a) to (c) of Report PED21195. As such, staff recommend that the Heritage Permit application be conditionally approved.

## **ALTERNATIVES FOR CONSIDERATION**

### **(1) Refuse the Heritage Permit Application.**

HMHC may advise Council to refuse this application. This is not being recommended.

### **(2) Approve the Heritage Permit with Additional or Amended Conditions.**

HMHC may advise Council to approve this application with additional or amended conditions of approval. This is not being recommended.

### **(3) Approve the Heritage Permit with No Conditions.**

HMHC may advise Council to approve this application with no conditions. This alternative is not recommended, as it would not be consistent with municipal and provincial policy that state that the cultural heritage resources shall be preserved. Furthermore, it would prevent staff review of additional details to ensure that the Heritage Permit approval will result in high-quality conservation and the implementation of the appropriate conservation methods.

## **ALIGNMENT TO THE 2016 – 2025 STRATEGIC PLAN**

### **Built Environment and Infrastructure**

*Hamilton* is supported by state of the art infrastructure, transportation options, buildings and public spaces that create a dynamic City.

### **Culture and Diversity**

*Hamilton* is a thriving, vibrant place for arts, culture, and heritage where diversity and inclusivity are embraced and celebrated.

## **APPENDICES AND SCHEDULES ATTACHED**

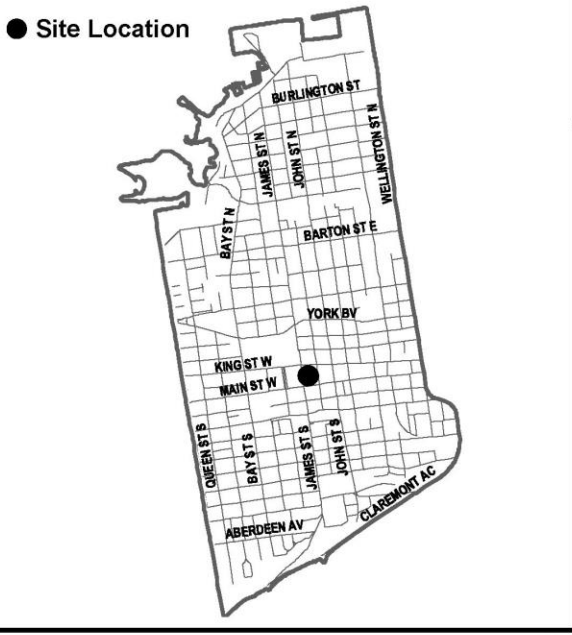
Appendix “A” to Report PED21195 - Location Map

Appendix “B” to Report PED21195 - Designation By-law No. 18-321

Appendix “C” to Report PED21195 - Cultural Heritage Impact Assessment Addendum by Megan Hobson

Appendix “D” to Report PED21195 – Heritage Permit HP2018-035

AK:sd



Key Map - Ward 2

## Location Map

PLANNING AND ECONOMIC DEVELOPMENT DEPARTMENT

File Name/Number: HP-2021-037	Date: September 9, 2021
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Appendix "A"	Scale: N.T.S	Planner/Technician: AK/VS
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**Subject Property**

18-28 King Street East

Key Map - Ward 2

**Authority:** Item 7.6, Council  
CM: December 11, 2013  
Ward: 2

**Bill No. 321**

## **CITY OF HAMILTON**

### **BY-LAW NO. 18-321**

#### **To Designate Lands Located at 18-22 and 24-28 King Street East (Gore Buildings), City of Hamilton, as Properties of Cultural Heritage Value**

**WHEREAS** the Council of the City of Hamilton did give notice of its intention to designate the property mentioned in section 1 of this by-law in accordance with subsection 29(3) of the *Ontario Heritage Act*, R.S.O. 1990, Chapter 0.18;

**WHEREAS** no notice of objection was served on the City Clerk as required by subsection 29(5) of the said Act; and,

**WHEREAS** it is desired to designate the property mentioned in section 1 of this by-law in accordance with clause 29(6) (a) of the said Act.

**NOW THEREFORE** the Council of the City of Hamilton enacts as follows:

1. The properties located at 18-22 and 24-28 King Street East within the City of Hamilton, Ontario and more particularly described in Schedule "A" hereto annexed and forming part of this by-law, are hereby designated as properties of cultural heritage value.
2. The City Solicitor is hereby authorized and directed to cause a copy of this by-law, together with the statements of cultural heritage value or interest and description of heritage attributes set out in Schedules "B(i)" and "B(ii)" hereto annexed and forming part of this by-law, to be registered against the property affected in the proper registry office.
3. The City Clerk is hereby authorized and directed,
  - (a) to cause a copy of this by-law, together with reasons for the designation, to be served on The Ontario Heritage Trust by personal service or by registered mail; and,
  - (b) to publish a notice of this by-law once in a newspaper having general circulation in the City of Hamilton.

**PASSED** this 19<sup>th</sup> day of December, 2018.

---

F. Eisenberger  
Mayor

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J. Pilon  
Acting City Clerk

Schedule "A"

To

By-law No. 18-321

**The Gore Buildings**  
18-22 King Street East  
24-28 King Street East  
Hamilton, Ontario

**18-22 King Street East:**

PIN: 17167-0074 (LT)

Legal Description: Part Lot 14, Plan 1431, George Hamilton Survey and Part Lot 15, Plan 1431, George Hamilton Survey, as in VM101331; City of Hamilton

**24-28 King Street East:**

PIN: 17167-0112 (LT)

Legal Description: Part Lot 14, Plan 1431, George Hamilton Survey, as in CD156699 & AB124346; City of Hamilton

Schedule "B(i)"  
To  
By-law No. 18-321

**THE GORE BUILDINGS (24-28 King Street East):**

**The Skinner Building  
24 King Street East, Hamilton**

**The Glasco Building  
28 King Street East, Hamilton**

**STATEMENT OF CULTURAL HERITAGE VALUE AND DESCRIPTION OF HERITAGE  
ATTRIBUTES**

**Statement of Cultural Heritage Value or Interest**

The four storey buildings located at 24-28 King Street East, Hamilton possess cultural heritage value due to their historical associations with the growth and commercial prosperity of the City of Hamilton in the nineteenth century and contextual associations with Gore Park and the King Street East streetscape. 28 King Street East also has physical design value as an example of the Victorian Style of architecture.

24 King Street East was constructed in 1875-6 for James A. Skinner. Skinner was a crockery merchant who opened his "China Palace" at another location around 1850 and the current building was built as an expansion. James A. Skinner and Co. was recognized as "the largest importer of crockery, glassware, etc. and largest shippers to Manitoba, British Columbia and the Northwest". Later, Minden's Ladies Wear operated in this location between 1924 and 1951.

The building at 24 King Street East was originally designed and constructed in the Victorian Style of architecture with vertical brick coursing, stone window sills, metal hood mouldings and a metal cornice. Several alterations have been undertaken to the building and only the brick façade (painted), three window openings on the fourth level and the cornice and brackets remain.

28 King Street East was constructed in 1874 for William H. Glassco & Sons to house their furrier business, established in 1843 and first located in a building further to the east along King Street East. The building housed a large cold storage vault that was considered to be advanced at time. G.F. Glassco & Co. operated in this location until 1931 and a succession of other furrier businesses subsequently operated out of the building.

The composition, design and materials of the building at 28 King Street East provide a representative example of Victorian architecture. At the time of its construction, the building was less elaborate than the buildings on either side; however, the building has retained most of its original architectural features on the upper levels of its front façade.

The buildings face Gore Park and are integral components of the King Street East streetscape and the character of the 'Gore' area. Gore Park is surrounded by largely intact groupings of three to four storey commercial row buildings, many displaying early architectural styles and high levels of craftsmanship in both design and construction.

### **Description of Heritage Attributes**

#### **24 King Street East (The Skinner Building):**

The heritage attributes of the four storey building are derived from its historical and contextual value. The heritage attributes include the upper levels of the front façade of 24 King Street East, including, but not limited to:

- The brick façade of the third and fourth levels of the front façade;
- The window openings and stone sills on the third and fourth levels of the front façade;
- The cornice and stone end brackets;
- All surviving original brick and stone materials and features remaining under the existing storefront cladding and signage on the ground and second levels; and,
- The parapet walls.

Notwithstanding the above list of heritage attributes any alterations to the existing storefronts, entrances and signage on the ground and second levels and any structural changes to the building that are likely to affect the heritage attributes shall be regulated through the City's Heritage Permit process.

#### **28 King Street East (The Glasco Building):**

The heritage attributes of the four storey building are derived from its built heritage value as an example of the Victorian Style of architecture. The heritage attributes include the upper levels of the front façades of 28 King Street East, including, but not limited to:

- All stone masonry walls and pilasters on the second, third and fourth levels of the front façade;
- All window openings and sills on the second, third and fourth levels of the front façade;
- The original two-over-two wood window sashes and frames in the third and fourth level window openings;



- The wood framed picture windows and leaded transoms in the second level window openings;
- The projecting stone horizontal mouldings between the second and third levels and the third and fourth levels;
- The cornice and parapet walls;
- A stone pilaster at the northeast corner of the ground level; and,
- All surviving original stone materials and features remaining under the existing storefront cladding and signage on the ground level.

Notwithstanding the above list of heritage attributes, any alterations to the existing storefronts, entrances and signage on the ground level and any structural changes to the building that are likely to affect the heritage attributes shall be regulated through the City's Heritage Permit process.

Schedule "B(ii)"  
To  
By-law No. 18-321

**THE GORE BUILDINGS (18-22 King Street East):**

**The Kerr-Thomas Building  
18-20 King Street East, Hamilton**

**The Smith-Thomas Building  
22 King Street East, Hamilton**

**STATEMENT OF CULTURAL HERITAGE VALUE AND DESCRIPTION OF HERITAGE  
ATTRIBUTES**

**Statement of Cultural Heritage Value or Interest**

The three storey buildings located at 18-22 King Street East, Hamilton possess cultural heritage value due to their historical associations with the growth and commercial prosperity of the City of Hamilton in the nineteenth century, their physical design associations with the architect William Thomas and the Renaissance Revival Style of architecture, and contextual associations with Gore Park and the King Street East streetscape.

18-20 King Street East was constructed circa 1840 and early occupants were Archibald and Thomas C. Kerr, who established their successful wholesale dry goods business there as early as 1848. 22 King Street East was constructed circa 1840 for H. E. Smith. By the 1850s, both buildings were under single ownership.

Architect William Thomas was considered a key figure in Canadian architecture, designing important buildings throughout Ontario as well as in other Provinces. The building's composition, design and materials provide a representative example of Renaissance Revival architecture dating to the pre-Confederation period and display a high-degree of craftsmanship. The buildings retain their original architectural features on the upper levels of their front façades and are among very few pre-Confederation stone commercial buildings remaining in Hamilton.

The buildings face Gore Park and are integral components to the King Street East streetscape and the character of the 'Gore' area. Gore Park is surrounded by largely intact groupings of three to four storey commercial row buildings, many displaying early architectural styles and high levels of craftsmanship in both design and construction.

**Description of Heritage Attributes**

The heritage attributes of the three storey buildings are derived from their built heritage value as examples of the Renaissance Revival Style of architecture as designed by William Thomas,

architect. The heritage attributes include the upper levels of the front façades of 18-20 King Street East and 22 King Street East, including, but not limited to:

- All stone blocks, coursing, quoins and voussoirs on the second and third levels of the front façades;
- All window surrounds, sills and hood mouldings on the second and third levels of the front façades;
- The stone cornices and parapet walls of both buildings;
- All surviving original stone materials and features remaining under the existing storefront cladding and signage on the ground level; and,
- The gable roof and dormers of 18-20 King Street East.

Notwithstanding the above list of heritage attributes, any alterations to the existing storefronts, entrances and signage on the ground level and any structural changes to the building that are likely to affect the heritage attributes shall be regulated through the City's Heritage Permit process.



Hamilton

Mailing Address:  
71 Main Street West  
Hamilton, Ontario  
Canada L8P 4Y5  
www.hamilton.ca

Planning and Economic Development Department  
Planning Division  
71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5  
Phone: 905-546-2424, Ext. 4281  
Fax: 905-540-5611

FILE: HP2018-035

September 7, 2018

Wellings Planning Consultants Inc.  
c/o Glenn Wellings  
513 Locust Street, Unit B  
Burlington, ON L7S 1V3

**Re: Heritage Permit Application HP2018-035:  
Retention and restoration of the front portions of 24 and 28 King Street East, Hamilton and a fifth storey addition (Ward 2) (Notice of Intention to Designate)**

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Please be advised that pursuant to By-law No. 05-364, as amended by By-law No. 07-322, which delegates the power to consent to alterations to designated property under the *Ontario Heritage Act* to the Director of Planning and Chief Planner, Heritage Permit Application HP2018-035 is approved for the designated property at 24 and 28 King Street East, in accordance with the submitted Heritage Permit Application for the following alterations:

- Retention and restoration of the front portions of 24 and 28 King Street East (approximately half the depth of the site) including:
  - **24 King Street East:** Removal of unsympathetic coatings and application of new rendering where required, new stone lintels and sills and repair of pressed metal cornice; and,
  - **28 King Street East:** Removal of unsympathetic coatings and cleaning of surface, repair pressed metal cornice and projecting horizontal mouldings and replacement of all windows to match original window fenestration.
- Installation of modern storefronts including signage band on buildings including repair and cleaning of original pilasters where remaining; and,
- One-storey addition on top of buildings.

**Re: Heritage Permit Application HP2018-035:  
Retention and restoration of the front portions of 24  
and 28 King Street East, Hamilton and a fifth storey  
addition (Ward 2) (Notice of Intention to Designate)**

**September 7, 2018**

**Page 2 of 4**

Subject to the following conditions:

- a) That the following conditions with respect to cost estimates and a Letter of Credit shall be satisfied prior to submission of an application for a Building Permit for removal of portions of the building:
  - i. The owner shall provide cost estimates for 100% of the total cost of securing, protecting and stabilizing the retained portions, the cost of monitoring and security for a period of three years and the total cost of restoration and protective enclosure of the retained Designated portions. Such cost estimates shall be in a form satisfactory to the Director of Planning and Chief Planner.
  - ii. The owner shall provide a Letter of Credit to the Director of Planning and Chief Planner for 100% of the total estimated cost as per (i) in a form satisfactory to the City's Finance Department (Development Officer, Budget, Taxation and Policy) to be held by the City as security for securing, protecting, stabilizing, monitoring and restoring the retained portions as required by this Heritage Permit:
    1. The Letter of Credit shall be kept in force, whether or not the ownership of 24 and 28 King Street East changes at any time, until the completion of the required restoration of the retained portions and the erection of a permanent structure to enclose the rear of the retained portions and / or to otherwise attach the retained portions to a new building in conformity with the approved design and requirements.
    2. The Letter of Credit may be reduced in accordance with the City's Letter of Credit Policy.
    3. If the Letter of Credit is about to expire without renewal thereof and any part of securing, protecting, stabilizing, monitoring or restoring the retained portions has not been completed in conformity with their approved designs, the City may draw all of the Letter of Credit funds and hold them as security to guarantee completion unless the City's Finance Department (Development Officer, Budget, Taxation and Policy) is provided with a renewal of the Letter of Credit forthwith.
    4. In the event that the Owner fails to complete, to the satisfaction of the Director of Planning and Chief Planner, the required securing, protecting, stabilizing, monitoring or restoring of the retained portions and the erection of a permanent structure to enclose the rear of the retained portions and / or

Re: **Heritage Permit Application HP2018-035:  
Retention and restoration of the front portions of 24  
and 28 King Street East, Hamilton and a fifth storey  
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**September 7, 2018  
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attach to a new building in conformity with its approved design within the time required, then the City, in addition to any other remedies that the City may have, may exercise its authority under section 446 of the *Municipal Act* to have its employees, agents or contractors enter 24 and 28 King Street East to complete any one or more of these requirements. The cost of completion of securing, protecting, stabilizing, monitoring or restoring the retained portions shall be paid in full by the Owner from the Letter of Credit. In the event that there is a surplus, the City shall pay the surplus to the Owner upon completion of the requirement(s). In the event that there is a deficit, the City may further exercise its authority under section 446 of the *Municipal Act* including but not limited to adding the deficit to the tax roll and collecting it in the same manner as property taxes.

- b) That a Conservation Plan in accordance with the City's Guidelines for Conservation Plans be submitted to the satisfaction and approval of the Director of Planning and Chief Planner prior to the issuance of any Building Permit for demolition or new construction;
- c) That the leaded glass transoms on the second floor of 28 King Street East, Hamilton be salvaged to the satisfaction of the Director of Planning and Chief Planner prior to the issuance of any Building Permit for demolition or new construction;
- d) That any minor changes to the plans and elevations following approval shall be submitted, to the satisfaction and approval of the Director of Planning and Chief Planner, prior to submission as part of any application for a Building Permit and / or the commencement of any alterations; and,
- e) That implementation / installation of the alteration(s), in accordance with this approval, shall be completed no later than September 30, 2020. If the alteration(s) are not completed by September 30, 2020, then this approval expires as of that date and no alterations shall be undertaken without a new approval issued by the City of Hamilton.

Please note that this property is designated under Part IV of the *Ontario Heritage Act*, and that this permit is only for the above-noted alterations. Any departure from the approved plans and specifications is prohibited, and could result in penalties, as provided for by the *Ontario Heritage Act*. The terms and conditions of this approval may be appealed to the Conservation Review Board within 30 days of your receipt of this permit.

**Re: Heritage Permit Application HP2018-035:  
Retention and restoration of the front portions of 24  
and 28 King Street East, Hamilton and a fifth storey  
addition (Ward 2) (Notice of Intention to Designate)**

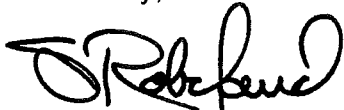
**September 7, 2018**

**Page 4 of 4**

The issuance of this permit under the *Ontario Heritage Act* is not a waiver of any of the provisions of any By-law of the City of Hamilton, the requirements of the *Building Code Act*, the *Planning Act*, or any other applicable legislation.

We wish you success with your project, and if you have any further questions please feel free to contact Chelsey Tyers, Cultural Heritage Planner, at 905-546-2424 ext. 1202, or via email at [Chelsey.tyers@hamilton.ca](mailto:Chelsey.tyers@hamilton.ca).

Yours truly,



Steve Robichaud, MCIP RPP  
Director of Planning and Chief Planner

cc: Chelsey Tyers, Cultural Heritage Planner  
Chantal Costa, Plan Examination Secretary  
John Lane, Manager, Building Inspections  
Loren Kolar, Legislative Coordinator  
Councillor Jason Farr, Ward 2

# CHIA ADDENDUM



## GORE BUILDINGS 18-30 KING STREET EAST HAMILTON, ONTARIO

06 JULY 2021

**MEGAN HOBSON** CAHP  
M.A. DIPL. HERITAGE CONSERVATION  
BUILT HERITAGE CONSULTANT  
[mhobson@bell.net](mailto:mhobson@bell.net)



## INTRODUCTION

This *Heritage Impact Assessment (HIA) Addendum* has been prepared by heritage consultant Megan Hobson on behalf of Hughson Business Space Corporation to assess impacts of a revised development proposal for 18-30 King Street East prepared by David Premi Architects. The purpose of this HIA Addendum is to ensure that heritage attributes identified in the *Designation By-law* are conserved and that the conservation approach is consistent with the *Standards and Guidelines for the Conservation of Historic Places in Canada*.

The proposal includes a conservation strategy for preserving three architecturally significant stone façades at 18-22 King Street East (Kerr Buildings) and 28 King Street East (Glassco Building) and replicating one severely deteriorated and heavily modified brick façade at 24 King Street East (Skinner Building). The conservation strategy is based on a detailed condition assessment and recommendations provided by heritage engineer Jonathan Dee of John G. Cook & Associates, heritage masonry contractor Jeff Feswick of Historia Restoration and construction manager Henry Schultuis of Shultuis Construction. A summary of the engineer's findings and recommendations are included as an Appendix to this report.

The revised architectural drawings show how the heritage façades will be seamlessly integrated into the proposed 6-storey building. Design measures have been successfully employed so that all new work is visually compatible with the heritage façades. The proposal provides an opportunity to rehabilitate three architecturally significant facades and to maintain an important historic streetwall that defines the south side of the Gore Park Cultural Landscape. Architectural drawings by David Premi Architects are included as an Appendix of this report.

## DEVELOPMENT APPLICATION HISTORY

In December 2012, a demolition permit was issued for 18-30 King Street East and the building at 30 King Street East was demolished under that permit. Due to community interest in the heritage value of the remaining buildings, demolition was halted so that an alternative development proposal could be developed. Discussions included offers of financial assistance from the City of Hamilton under Hamilton Heritage Property Improvement Grant Program and the GORE Building Improvement Grant Program, if the properties were not demolished and/or Designated under Part IV of the *Ontario Heritage Act*. In 2013, the buildings were Designated under Part IV of the *Ontario Heritage Act*.

A revised development proposal was given Conditional Site Plan approval on November 27, 2017 with an addendum containing further conditions being added on August 2, 2018. A *Cultural Heritage Impact Assessment and Conservation Plan* prepared by Goldsmith Borgal Architects was submitted and heritage permits were issued based on recommendations in those reports.

The following Heritage Permits have been issued and reflect the evolution of the proposal in response to heritage interests:

- HP 2016-027
  - for façade retention and penthouse addition to 18-22 King Street East
- HP 2016-028
  - for demolition of the buildings at 24 & 28 King Street East

- HP 2018-035
  - for retention and restoration of the front portion of 24 & 28 King Street East and a 5<sup>th</sup> storey addition
- HP 2020-002
  - for renewal of previously approved HP2016-027 for 18-22 King Street East

In 2019, the building permits and heritage grant offer were extended to allow the applicant more time to complete the requirements of the Conditional Site Plan Approval, with an understanding that all the facades will be conserved and integrated into the proposed development. Since that time, further investigation of the condition of the masonry of 24 King Street East (Skinner Building) has determined that the brick has deteriorated to such an extent that retention of this façade is not feasible. The current proposal provides a strategy for meeting the intent of the earlier agreement through replication of this façade with new brick. This approach is appropriate because the original work and materials can be easily replicated and because it is already understood that this façade does not have architectural value. The ornate cornice that is the only original decorative feature remaining on this façade has architectural value but is in poor condition. This original feature will be repaired and will be reinstated on the replicated façade.

KING E	PHOTO	HERITAGE VALUES	2016 CHIA (GBCA)	2018 REVISED CHIA (GBCA)	2021 HIA ADDENDUM (HOBSON)
18-22 KERR BULDINGS		Historical Architectural Contextual	Façade retention <i>in situ</i>	Façade retention <i>in situ</i>	Façade retention <i>in situ</i>
24 SKINNER BUILDING		Historical Contextual	Demolition	Façade retention <i>in situ</i>	Façade replication
28 GLASSCO BUILDING		Historical Architectural Contextual	Demolition	Façade retention <i>in situ</i>	Façade retention dismantling & rebuilding

TABLE 1.0 – evolution of the conservation strategy

## HERITAGE RECOGNITION

In December of 2013, the City of Hamilton passed *Designation By-law 18-321* to designate lands located at 18-22 and 24-28 King Street East (Gore Buildings). The *Reasons for Designation* are included in the Appendix of this report

The Pre-Confederation stone façade at 18-22 King Street East attributed to William Thomas and the stone façade at 28 King Street East by an unknown architect have historical, contextual and architectural value. The brick façade at 24 King Street East has historical and contextual value but is not Designated for its architectural value, because it has been heavily altered.

The following heritage attributes are identified in the *Designation By-law*:

### Heritage Attributes

#### 18-22 King Street East (Kerr Buildings)

- All stone blocks, coursing, quoins and voussoirs on the second and third levels of the front façades;
- All window surrounds, sills and hood mouldings on the second and third levels of the front façades;
- The stone cornices and parapet walls of both buildings;
- All surviving original stone materials and features remaining under the existing storefront cladding and signage on the ground level; and,
- The gable roof and dormers of 18-20 King Street East.

#### 24 King Street East (Skinner Building)

- The brick façade of the third and fourth levels of the front façade;
- The window openings and stone sills on the third and fourth levels of the front façade;
- The cornice and stone end brackets;
- All surviving original brick and stone materials and features remaining under the existing storefront cladding and signage on the ground and second levels; and,
- The parapet walls

#### 28 King Street East (Glassco Building)

- All stone masonry walls and pilasters on the second, third and fourth levels of the front façade;
- All window openings and sills on the second, third and fourth levels of the front façade;
- The original two-over-two wood window sashes and frames in the third and fourth level window openings;
- The wood framed picture windows and leaded transoms in the second level window openings;
- The projecting stone horizontal mouldings between the second and third levels and the third and fourth levels;
- The cornice and parapet walls;
- A stone pilaster at the northeast corner of the ground level; and,
- All surviving original stone materials and features remaining under the existing storefront cladding and signage on the ground level.

## REVISED DEVELOPMENT PROPOSAL

The revised development proposal consists of a 6-storey office building with retail on the ground floor and one level of below-grade parking. The new building will be timber frame construction and will have an internal courtyard. Access to the underground parking garage will be located on the alleyway behind the building. The lot where 30 King Street East formerly stood, will remain open as publicly accessible amenity space.

The architecturally significant stone facades of 18-22 King Street East (Kerr Buildings) and 28 King Street East (Glassco Building) will be preserved and integrated into the development. The severely deteriorated and heavily modified brick façade of 24 King Street East (Skinner Building) is too deteriorated to be preserved and will be replicated with new brick.

The two floors to be added above the heritage façades will have a generous setback, so that the ornate cornices of all the buildings and the front roof slope and rounded dormers of the Kerr Buildings can be retained. New storefronts will be introduced so that individual storefronts for each building are maintained and will be framed by the surviving masonry piers on the ground floor.








GORE BUILDINGS - Rendering of the proposed development for 18-30 King Street East [David Premi Architects]

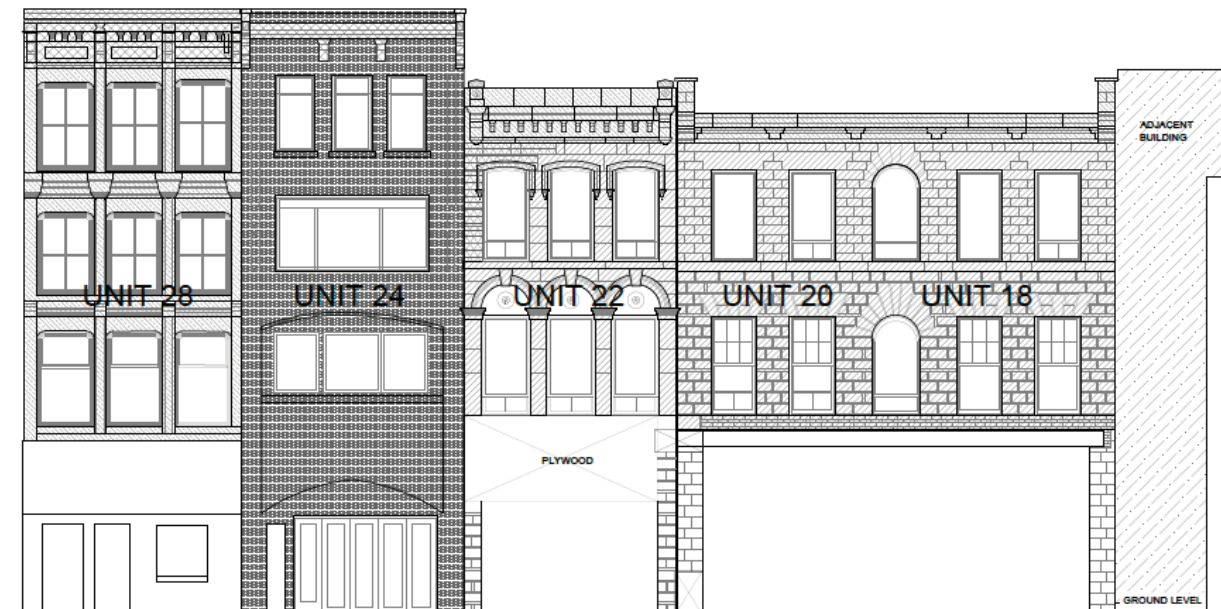
## CONSERVATION STRATEGY

The heritage facades will be integrated into the development according to the following conservation strategy:

- **18-22 King Street East (Kerr Buildings)**
  - the stone façade will be conserved *in situ* and will be temporarily supported on a façade retention frame during construction of the new building
  - the stone cornice will be dismantled and will be reinstated when the façade is secured to the new building
  - the front slope of the roof will be rebuilt with three dormers to restore it to its original appearance
- **24 King Street East (Skinner Building)**
  - the brick façade will be replicated and the original window openings on the 2<sup>nd</sup> & 3<sup>d</sup> floor will be restored
  - the original metal cornice will be dismantled and will be reinstated on the replicated façade
- **28 King Street East (Glassco Building)**
  - the stone façade and metal cornice will be dismantled and rebuilt

### LEGEND

	EXISTING FACADE MASONRY TO BE REBUILT PRIOR TO BEING RETAINED IN-SITU.
	EXISTING FACADE MASONRY TO BE RETAINED IN-SITU.
	EXISTING FACADE MASONRY TO BE DISMANTLED, SALVAGED, REPAIRED AS REQ. OFF SITE, AND RESET.
	EXISTING FACADE TO BE DISMANTLED, REPLACED WITH NEW MATERIAL.
	DECORATIVE ELEMENTS (METAL CORNICE AND SIM.) TO BE REMOVED, SALVAGED AND REINSTATED



GORE BUILDINGS – conservation strategy for heritage facades [John G. Cooke & Associates]

The conservation strategy outlined in this *HIA Addendum* is consistent with guidance in the *Standards and Guidelines for the Conservation of Heritage Places in Canada* pertaining to rehabilitation projects because it is based on an understanding of the current condition of the heritage façades, an appreciation of heritage values associated with each façade and the requirements of the architectural program. The benefits of the proposal include a continuous floor plate from 18-28 King Street East for more flexible interior space, new street level amenity space, new private amenity spaces on the roof terraces and creation of additional frontages for retail spaces along the entire length of the west elevation and opening onto the interior courtyard. Risks associated with the proposed interventions are significant but can be successfully mitigated through a detailed *Conservation Plan* and *Construction Management Plan* that provides a framework for coordination of heritage conservation work, demolition, dismantling and new construction. Risks associated with doing nothing and allowing the buildings to further deteriorate is a significant concern, given that the buildings have been vacant with services disconnected since 2013.

## CURRENT CONDITIONS

The proposed conservation strategy is based on detailed site investigation undertaken by heritage engineer Jonathan Dee of John G. Cooke & Associates, construction manager Henry Schultuis of Schultuis Construction, and heritage masonry contractor Jeff Feswick of Historia Restoration. Previous technical reports were reviewed and several site visits were undertaken to identify condition issues and identify the most feasible approach for integrating the façades into the new development. The roof and masonry façades of 18-22 King Street East (Kerr Buildings) were inspected from a boom lift and the masonry façade of the 28 King Street East (Glassco Building) was inspected from scaffolding. 3-D scanning of the façades was undertaken by John G. Cooke and Associates, to supplement measured drawings already prepared by Goldsmith Borgal Architects.

A summary of the current conditions and the rationale for the conservation approach proposed for each façade is outlined by Jonathan Dee of John G. Cook & Associates and is included in the Appendix of this report.

Since the previous application, non-structural elements have been removed from the interior of the buildings as part of the remediation required prior to issue of a demolition permit for the rear portion of the buildings. Now that the interior partition walls and plaster have been removed, structural elements are fully exposed. This has allowed more detailed investigation of structural components to be undertaken and documentation of newly revealed heritage elements on the interior of the Kerr Buildings. These findings have informed the revised conservation strategy and are outlined below and supporting documentation is attached as an appendix.

### **Significant condition issues identified by heritage engineer Jonathan Dee of John. G. Cooke & Associates:**

- **18-22 King Street East (Kerr Buildings)** – portions of the roof adjacent to the heritage façade have collapsed. This issue was identified in earlier condition assessments and continues to be a major concern. In order to protect the façade from further water damage and facilitate stabilization of the façade on the façade retention frame, dismantling of the stone cornice and the stone parapet walls above the roofline is recommended.

- **24 King Street East (Skinner Building)** - the brick façade is severely deteriorated due to water damage, to the extent that retention of this facade is not feasible.
- **28 King Street East (Glassco Building)** – the east pier and the upper courses of masonry have shifted because the east side wall is leaning eastward due to lack of lateral support provided by 30 King Street East since it was demolished in 2012, to the extent that the upper portion of the building will have to be dismantled and rebuilt. Given the extent of the damage, total dismantling and rebuilding is recommended as a more cost-effective approach.
- **18-22 King Street East (Kerr Buildings)** and **28 King Street East (Glassco Building)** - the windows have deteriorated due to exposure to the elements, to the extent that repair of original wood windows is not feasible.

**Interior heritage elements identified by heritage consultant Megan Hobson:**

- there are **7 Doric columns** on the 1<sup>st</sup>, 2<sup>nd</sup> & 3<sup>rd</sup> floors of 18-22 King Street East (Kerr Buildings) that may date from c. 1852 when the building was enlarged by William Thomas. These columns have been identified as elements that have potential for salvage and reuse in the new development.
- there are **ornate plaster cornices**, skylights and an arched window in a room overlooking the courtyard on the 1<sup>st</sup> floor of 18-22 King Street East (Kerr Buildings) that dates from c. 1852 when the building was enlarged by William Thomas. The plasterwork has been identified as a rare example of ornate plasterwork in a Pre-Confederation commercial building. This room will be documented prior to demolition.

## CURRENT DEVELOPMENT PROPOSAL IMPACTS & MITIGATION

The impacts of the current proposal are similar to those evaluated in the 2018 Revised CHIA by GBCA. All of the heritage attributes of the Designated heritage facades will be preserved, with the exception of the parapet walls above the roofline.

### HERITAGE ATTRIBUTES

- TO BE PRESERVED
- TO BE REPLICATED
- TO BE SALVAGED (parapet walls)

#### 18-22 King Street East (Kerr Buildings)

- All stone blocks, coursing, quoins and voussoirs on the second and third levels of the front façades;
- All window surrounds, sills and hood mouldings on the second and third levels of the front façades;
- The stone cornices and parapet walls of both buildings;
- All surviving original stone materials and features remaining under the existing storefront cladding and signage on the ground level; and,
- The gable roof and dormers of 18-20 King Street East.

#### 24 King Street East (Skinner Building)

- The brick façade of the third and fourth levels of the front façade;
- The window openings and stone sills on the third and fourth levels of the front façade;
- The cornice and stone end brackets;
- All surviving original brick and stone materials and features remaining under the existing storefront cladding and signage on the ground and second levels; and,
- The parapet walls

#### 28 King Street East (Glassco Building)

- All stone masonry walls and pilasters on the second, third and fourth levels of the front façade;
- All window openings and sills on the second, third and fourth levels of the front façade;
- The original two-over-two wood window sashes and frames in the third and fourth level window openings;
- The wood framed picture windows and leaded transoms in the second level window openings;
- The projecting stone horizontal mouldings between the second and third levels and the third and fourth levels;
- The cornice and parapet walls;
- A stone pilaster at the northeast corner of the ground level; and,
- All surviving original stone materials and features remaining under the existing storefront cladding and signage on the ground level.



### 18-22 King Street East (Kerr Buildings)

The façade of 18-22 King Street East will be retained *in situ* on a 'façade retention frame' so that the rear portions of the buildings can be removed, the site can be excavated for the below ground parking level, and the foundation and structural framework for the proposed 6-storey building can be constructed. The heritage façades will then be physically attached to the new building using masonry anchors. Retention *in situ* is the recommended approach for this façade because of its early construction date and method of construction consisting of finely jointed and overlapping ashlar sandstone blocks with a rubble stone backing.



18-22 KING E (KERR BUILDINGS) – significant deterioration of stone cornice due to failure of the roof and gutters



18-22 KING E (KERR BUILDINGS)

Left: further failure of the roof behind the cornice



Right: significant masonry deterioration exposed on the interior now that finishes have been removed

The 'façade retention frame' will be designed by John G. Cooke & Associates, a firm that has experience designing and implementing retention frames for heritage façades. Structural drawing and further details

regarding the design and installation of the retention frame will be provided in a separate *Conservation Plan*. Historia Restoration, the heritage masonry contractor, will work in collaboration with John G. Cooke to ensure that heritage elements are safe and secure at all stages of the project. The exposed top of the wall will be capped and the rubble backing will be covered with plywood and a waterproof membrane to protect them from the elements. Regular monitoring will be carried out with regular reports provided to heritage staff.

Detailed investigation carried out by John G. Cooke and Historia Restoration confirm that the stone cornices and stone parapets on the roof are badly deteriorated. The stone cornices will be carefully dismantled prior to demolition of the rear portions of the buildings. Individual stones will be catalogued and labelled so that they can be reinstated in their original locations when the new roof is constructed. This approach allows for repairs to be made off-site in Historia's climate-controlled workshop over the winter and while site work and new construction are underway. Further details regarding the removal, safe handling and storage of dismantled elements will be provided in a separate *Documentation & Salvage Plan*.

Original masonry on the 1<sup>st</sup> floor of 18-22 King Street East (Kerr Buildings), previously covered with modern cladding, will be preserved and integrated into the new storefront. Further investigation is needed to determine if these elements will be stabilized *in situ* or dismantled and rebuilt. Dismantling may be preferable due to the considerable amount of repairs and cleaning that will be required and to facilitate installation of the new storefronts. Further details will be provided in a separate *Conservation Plan*. If a suitable stone cannot be sourced to restore the large amount of masonry that is missing on the ground floor, then an alternative design has been provided that references the original design and is constructed with wood panelling and glazing set in a metal clad wood frame, similar to the storefront design that was previously approved. Any original stone on the ground floor will be preserved in this option also.

#### **24 King Street East (Skinner Building)**

The brick façade of 24 King Street East is so extensively deteriorated that retention is not feasible. This façade has been extensively and irreversibly altered and most of the original features have been removed. Therefore, this façade will be rebuilt with new brick that replicates all of the original design details. The original cornice will be taken down and repaired off site by Historia Restoration and will be reinstated on the replicated façade. The replication of this façade will provide an opportunity to reinstate the original window openings on the 2<sup>nd</sup> & 3<sup>rd</sup> floor. This is considered an improvement that will restore the original rhythm of the fenestration and be more consistent with the adjacent heritage façades. More detailed information about the current condition of the brick and why repair is not recommended is provided by Jonathan Dee of John G. Cooke & Associates and is included in the Appendix of this report.



24 KING E (SKINNER BUILDING)

Left: cracked and delaminating cement render on the brick façade

Right: severe deterioration of the brick is evident now that finishes have been removed from the interior

### 28 King Street East (Glassco Building)

The stone façade of 28 King Street East has significant condition issues along the full height of the east pier. Investigation undertaken by John G. Cooke Associates and Historia Restoration confirms that there are open joints in the masonry due to eastward movement. The deflection of the east wall was measured using a plumb line and is significant and appears to be ongoing. Given the extent of the damage and the limited amount of masonry on this façade, dismantling and rebuilding is being proposed rather than stabilization *in situ*. Original masonry on the 1<sup>st</sup> floor of 28 King Street East (Glassco Building), previously covered with modern cladding, will be preserved and integrated into the new storefront. More detailed information about the current condition of this façade and the recommended approach to conserving it through dismantling and rebuilding is provided by Jonathan Dee of John G. Cooke & Associates and is included in the Appendix of this report.



28 KING E (GLASSCO BUILDING)

Left: temporary cabling installed to secure the masonry on the northeast corner has not prevented ongoing movement of the east wall

Right: the east pier of the masonry façade has now shifted to the east and separated from the window frame

## New Construction

A new 6-storey timber framed building will be built behind the rehabilitated heritage façades. The new structure will have continuous floorplates to accommodate the proposed layout. The floor plates of the new structure will be consistent with existing masonry openings on 18-22 King Street East (Kerr Buildings) and 24 King Street East (Skinner Building). The only overlap will occur on the 4<sup>th</sup> floor of 28 King Street East (Glassco Building) where the new floor plate crosses the lower portion of the windows. The window opening will not be altered but the floorplate will be visible through the glazing. This is considered a minor visual impact because it is limited to 28 King Street East and occurs on an upper floor that will not be highly visible from ground level.



PROPOSED DEVELOPMENT – King Street East Elevation [DPAI] – yellow line indicates the continuous floor plates of the new building – the only area where the new floorplates are not consistent with existing window sill heights is on the 3<sup>rd</sup> floor of 28 King Street East (Glassco Building)

New windows will be installed that replicate the style and configuration of the original windows. Given the poor condition of the remaining original windows, replacement with a suitable replacement window is an appropriate conservation strategy. Adverse impact will be mitigated through the design of suitable replacement windows. Each façade has unique windows and the replacement windows will replicate the original windows for each building based on physical evidence and historic documentation.

The existing storefronts have been heavily modified in a manner that is not complimentary to the heritage façades. Therefore, the renewal of the storefronts will have a positive impact. Original masonry that survives on the 1<sup>st</sup> floor of 18-22 King Street East (Kerr Buildings) and 28 King Street East (Glassco Building) will be preserved and integrated into a new storefront design.

The proposed setback of the 5<sup>th</sup> & 6<sup>th</sup> floors is respectful of the heritage facades and will allow the ornate roof cornices of the heritage buildings to remain visually prominent from the street. The proposed

alterations and additions will support the new use and will not have a significant impact on heritage value. Adverse impacts have been successfully mitigated by the setback, material and design of the upper floors that includes replication of the roof slope above 18-20 King Street East (Kerr Buildings). The replicated roof offers an opportunity to restore the third dormer that is currently missing that will have a positive impact.

The design of the 5<sup>th</sup> & 6<sup>th</sup> floor and the new storefronts is contemporary and distinguishable in a manner that is complementary and deferential to the heritage façades. These alterations are consistent with design guidelines for buildings adjacent to the Gore Park Cultural Landscape and will support a new use that includes conservation of heritage façades that are currently at risk and in need of significant investment to ensure their long-term conservation.

### COMMEMORATIVE STRATEGY

Adverse impacts due to demolition of the rear portion of the buildings will be mitigated through documentation of the layout and interior features prior to demolition. A number of interior elements have been identified as potential salvage items that could be incorporated into the new development. These artefacts can be used to tell the story of the occupants and commercial activities associated with these buildings. A number of strategies will be considered for integrating salvaged items into the new development including the following:

- Salvaged beams can be used to build landscape features in the outdoor amenity spaces
- Salvaged brick can be installed on the lower portion of the east wall to enhance the outdoor amenity space
- Doric columns can be used as architectural elements in the courtyard area
- Fragments or photographs of ornamental plaster work can be displayed in the interior

Further details will be provided in a separate *Conservation Plan*.

### POTENTIAL SALVAGE ITEMS



18-22 KING E (THE KERR BUILDINGS) – photo-documentation of ornamental plasterwork and Doric columns on the 1<sup>st</sup> floor revealed during remediation work

## RECOMMENDATIONS

In order to mitigate the risks of the proposed conservation strategy, the following conditions of approval are recommended:

- Conservation Plan that includes further details regarding:
  - structural drawings for the façade retention frame
  - demolition and dismantling plan that provides the methodology for labelling, dismantling, re-locating and storing heritage elements and the location and description of the storage location
  - inventory of items to be dismantled and stored
  - masonry key plan that shows the original location and condition of individual stones
  - monitoring plan for regular monitoring of stored elements and providing updates to heritage staff
  - protection and monitoring measures for elements to be retained *in situ* based on the project timeline
  - repair methodologies and materials for heritage fabric including masonry specifications for suitable repair mortars and replacement stone
  - structural and architectural drawings for integration of the heritage façades into the new structure, including detailed drawings and masonry specifications for the method for securing the heritage façade to the new building, wall assembly of the integrated building envelope, roof flashings and gutters by a qualified professional
  - window specifications for replacement windows to be installed in the heritage façades
  - construction management plan that includes protection & monitoring of the façade retention frame and sequencing & co-ordination of conservation work, demolition work and new construction
  - project schedule and cost estimates for the proposed conservation work

It is also recommended that securities be required such as:

- a Heritage Easement Agreement between the owner and the City to ensure that conservation of the heritage façades is carried out in accordance with the Heritage Permit
- a Security Deposit held by the City based on cost estimates for the proposed conservation work. This deposit can be returned in increments, as work is completed to the satisfaction of the Director of Development Planning, but a significant portion should be retained until occupancy has been achieved.

## SUPPORTING DOCUMENTATION

- Appendix A: Gore Buildings: Reasons for Designation  
Appendix B: Engineer's Report, Jonathan Dee, John G. Cooke & Associates  
Appendix C: Architectural Drawings, David Premi Architects

Schedule "B(i)"  
To  
By-law No. 18-321

**THE GORE BUILDINGS (24-28 King Street East):**

**The Skinner Building  
24 King Street East, Hamilton**

**The Glasco Building  
28 King Street East, Hamilton**

**STATEMENT OF CULTURAL HERITAGE VALUE AND DESCRIPTION OF HERITAGE  
ATTRIBUTES**

**Statement of Cultural Heritage Value or Interest**

The four storey buildings located at 24-28 King Street East, Hamilton possess cultural heritage value due to their historical associations with the growth and commercial prosperity of the City of Hamilton in the nineteenth century and contextual associations with Gore Park and the King Street East streetscape. 28 King Street East also has physical design value as an example of the Victorian Style of architecture.

24 King Street East was constructed in 1875-6 for James A. Skinner. Skinner was a crockery merchant who opened his "China Palace" at another location around 1850 and the current building was built as an expansion. James A. Skinner and Co. was recognized as "the largest importer of crockery, glassware, etc. and largest shippers to Manitoba, British Columbia and the Northwest". Later, Minden's Ladies Wear operated in this location between 1924 and 1951.

The building at 24 King Street East was originally designed and constructed in the Victorian Style of architecture with vertical brick coursing, stone window sills, metal hood mouldings and a metal cornice. Several alterations have been undertaken to the building and only the brick façade (painted), three window openings on the fourth level and the cornice and brackets remain.

28 King Street East was constructed in 1874 for William H. Glassco & Sons to house their furrier business, established in 1843 and first located in a building further to the east along King Street East. The building housed a large cold storage vault that was considered to be advanced at time. G.F. Glassco & Co. operated in this location until 1931 and a succession of other furrier businesses subsequently operated out of the building.

The composition, design and materials of the building at 28 King Street East provide a representative example of Victorian architecture. At the time of its construction, the building was less elaborate than the buildings on either side; however, the building has retained most of its original architectural features on the upper levels of its front façade.

The buildings face Gore Park and are integral components of the King Street East streetscape and the character of the 'Gore' area. Gore Park is surrounded by largely intact groupings of three to four storey commercial row buildings, many displaying early architectural styles and high levels of craftsmanship in both design and construction.

### **Description of Heritage Attributes**

#### **24 King Street East (The Skinner Building):**

The heritage attributes of the four storey building are derived from its historical and contextual value. The heritage attributes include the upper levels of the front façade of 24 King Street East, including, but not limited to:

- The brick façade of the third and fourth levels of the front façade;
- The window openings and stone sills on the third and fourth levels of the front façade;
- The cornice and stone end brackets;
- All surviving original brick and stone materials and features remaining under the existing storefront cladding and signage on the ground and second levels; and,
- The parapet walls.

Notwithstanding the above list of heritage attributes any alterations to the existing storefronts, entrances and signage on the ground and second levels and any structural changes to the building that are likely to affect the heritage attributes shall be regulated through the City's Heritage Permit process.

#### **28 King Street East (The Glasco Building):**

The heritage attributes of the four storey building are derived from its built heritage value as an example of the Victorian Style of architecture. The heritage attributes include the upper levels of the front façades of 28 King Street East, including, but not limited to:

- All stone masonry walls and pilasters on the second, third and fourth levels of the front façade;
- All window openings and sills on the second, third and fourth levels of the front façade;
- The original two-over-two wood window sashes and frames in the third and fourth level window openings;



- The wood framed picture windows and leaded transoms in the second level window openings;
- The projecting stone horizontal mouldings between the second and third levels and the third and fourth levels;
- The cornice and parapet walls;
- A stone pilaster at the northeast corner of the ground level; and,
- All surviving original stone materials and features remaining under the existing storefront cladding and signage on the ground level.

Notwithstanding the above list of heritage attributes, any alterations to the existing storefronts, entrances and signage on the ground level and any structural changes to the building that are likely to affect the heritage attributes shall be regulated through the City's Heritage Permit process.

Schedule "B(ii)"  
To  
By-law No. 18-321

**THE GORE BUILDINGS (18-22 King Street East):**

**The Kerr-Thomas Building  
18-20 King Street East, Hamilton**

**The Smith-Thomas Building  
22 King Street East, Hamilton**

**STATEMENT OF CULTURAL HERITAGE VALUE AND DESCRIPTION OF HERITAGE  
ATTRIBUTES**

**Statement of Cultural Heritage Value or Interest**

The three storey buildings located at 18-22 King Street East, Hamilton possess cultural heritage value due to their historical associations with the growth and commercial prosperity of the City of Hamilton in the nineteenth century, their physical design associations with the architect William Thomas and the Renaissance Revival Style of architecture, and contextual associations with Gore Park and the King Street East streetscape.

18-20 King Street East was constructed circa 1840 and early occupants were Archibald and Thomas C. Kerr, who established their successful wholesale dry goods business there as early as 1848. 22 King Street East was constructed circa 1840 for H. E. Smith. By the 1850s, both buildings were under single ownership.

Architect William Thomas was considered a key figure in Canadian architecture, designing important buildings throughout Ontario as well as in other Provinces. The building's composition, design and materials provide a representative example of Renaissance Revival architecture dating to the pre-Confederation period and display a high-degree of craftsmanship. The buildings retain their original architectural features on the upper levels of their front façades and are among very few pre-Confederation stone commercial buildings remaining in Hamilton.

The buildings face Gore Park and are integral components to the King Street East streetscape and the character of the 'Gore' area. Gore Park is surrounded by largely intact groupings of three to four storey commercial row buildings, many displaying early architectural styles and high levels of craftsmanship in both design and construction.

**Description of Heritage Attributes**

The heritage attributes of the three storey buildings are derived from their built heritage value as examples of the Renaissance Revival Style of architecture as designed by William Thomas,

architect. The heritage attributes include the upper levels of the front façades of 18-20 King Street East and 22 King Street East, including, but not limited to:

- All stone blocks, coursing, quoins and voussoirs on the second and third levels of the front façades;
- All window surrounds, sills and hood mouldings on the second and third levels of the front façades;
- The stone cornices and parapet walls of both buildings;
- All surviving original stone materials and features remaining under the existing storefront cladding and signage on the ground level; and,
- The gable roof and dormers of 18-20 King Street East.

Notwithstanding the above list of heritage attributes, any alterations to the existing storefronts, entrances and signage on the ground level and any structural changes to the building that are likely to affect the heritage attributes shall be regulated through the City's Heritage Permit process.



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July 5, 2021

Attn: Mr. Jeff Feswick  
(jeff@historiarestitution.ca)

Project No. 21063

**Re: Gore Park Façades  
18 to 28 King St E – Consolidated Approach and Rationale**

Dear Mr. Feswick,

We have previously written three letters with respect to the façades at 18 to 28 King St. E, relaying our initial thoughts and further developing the approach to these façades in line with our scope of work. Given the further developments in our understanding, and pursuant to the request from Megan Hobson for the upcoming heritage permit application she will be making on behalf of the project, we hereby provide this letter which may be considered as a consolidated and updated report, reflecting our present understanding of the façades and the approach for each. This letter is meant to supplement but also replace the letters we have previously issued, and make it unnecessary to read the latter in the context of a heritage application that otherwise provides the broader context. There is some repetition of text from previous letters. The conclusions arrived at herein do not differ significantly from those that we communicated previously.

Accompanied by Historia Restoration staff, the undersigned recently visited the site with Megan Hobson on Friday June 25, 2021, as an opportunity to further review conditions and discuss the approach to the façades further. Your staff was able to remove interior finishes in several areas which advanced our understanding. We are also now in receipt of the 2015 report on conditions at 24 and 28 King prepared by Tacoma Engineers.

The buildings in question include four distinct façades, at 18-20, 22, 24, and 28 King St. E. For each, it is understood that the project intent is to demolish the building behind. Below, each façade is discussed in turn, beginning with a description of the condition and construction, the recommended conservation approach (where we believe this is possible), and some details we have identified to be developed further as the project proceeds to design development.

### **Façade at 18-20 King St E**

#### Construction and Condition

This façade consists of ashlar exterior stone with an interior wythe of squared rubble stone backup built to course. The exterior ashlar appears to consist of sandstone, likely Whirlpool Sandstone which was in apparently common use in the City in the era of construction, though conclusively determining this would require the appropriate laboratory analysis. The facade is load-bearing and includes wood window headers and beam connections set into the backup masonry. The interior wythe includes inset bands of wood, to act as a nailer strip for fastening interior finishes and windows. The exterior wythe is self-supporting, with round arches or lintels (sometimes with false joints to appear as a flat arch) to span window openings. The lower level of masonry is mostly nonexistent, having been removed to presumably accommodate a large storefront opening. During this previous intervention steel beams were introduced below the 2<sup>nd</sup> floor window piers, as well as steel columns to the foundation wall.

The façade is generally intact and plumb but some out-of-plane movement is apparent at the west end. Though the displacement does not register conclusively on the 3D scan, the façade is quite clearly separating from the west return wall and a continuous crack is visible at the interior from the third floor where the return wall is constructed of brick (see Fig. 1). On the most recent inspection, interior finish removals allowed access to view the keying/interface between at the second floor, which at this level

consisted of stone masonry. While at this level keying of the stone was again noted, the continuation of the crack was visible (see Fig. 2). The separation of the façade from the return wall would be a significant concern if left unaddressed. As the conservation intent, described below, is to introduce both temporary and permanent lateral restraint to the faced, and we understand the plan is to move forward with the project promptly, we believe the interim risk posed by this condition is relatively low.



Fig 1: 18-20, 3<sup>rd</sup> floor, West return wall separation



Fig 2: 18-20, 2<sup>nd</sup> floor, West return wall separation

Generally, the wall masonry is in fair-to-good condition, with the notable exception of the upper courses. These are in poor condition, owing to the water entry from the failed roof along the full length of the wall. The roof includes a gutter profile along its edge, which was roofed using the same shingles as the balance of the roof, and which has rotted and failed along the full length. This is directing all water that flows down the roof onto the tops of the cornice stones. These cornice stones and the courses immediately under them have many washed out joints and must be reset. The stones themselves are in better condition than one might otherwise expect, and are repairable. The piers to either side of the upper masonry must also be rebuilt. See Figures 3, 4, and 5.



Fig 3: 18-20, failed roof rotted framing above cornice



Fig 4: 18-20. Failed roof, pier at upper corner of façade

The large amount of water that has been directed at this wall has resulted in areas of efflorescence on the façade. This is caused by moisture within the wall being transported to the surface of the masonry, where it dries. When the water dries it leaves behind any dissolved salts on the surface. We expect that the masonry is currently quite saturated and masonry can take many years to dry fully. As a result,

we would expect that even if removed from the surface today, these salt deposits will quickly return. See Figure 6.



Fig 5: 18-20, cornice and bands of stone below.



Fig 6: 18-20, upper façade, efflorescence noted

The ground level masonry that remains was not treated with much consideration during previous interventions. Generally, stones were chipped or partially cut to receive new material, including the beams. If the intention were to restore this stone to its original appearance, a large number of Dutchman and other similar repairs would be required, introducing new material matching to the old. Paint is also present and ought to be removed. See Figure 7.



Fig 7: 18-20 & 22, example of ground level masonry

It is understood that the round dormers in the roof, set back from the wall are required to be retained for heritage purposes but it is clear that the framing for these is compromised. The roof framing all around them is also compromised and much of it is rotted. While preserving the existing framing and material for these dormers is not feasible, their general profile and position on the building was captured in the 3D laser scanning data and their form could be replicated with new material.

Wood elements that are embedded throughout the backup masonry, such as beam ends, lintels, and nailer strips, are in varying condition. Rot is evident on some. Other elements appear to have fared well. While rotted elements must naturally be addressed, there is also the potential for hidden rot, either internally, or at the side of the member facing the interior of the wall (and so not visible). The nailer strips introduce weak points in the wall and these will be removed.

### Conservation Approach

The proposed approach is to stabilize the façade and to retain it in-situ for eventual permanent attachment to the new building to be constructed on the site. A temporary steel frame would be erected on the sidewalk in front of the building, to temporarily support the façade during demolition and construction. We recommend the installation of a permanent steel “skeleton” at the interior of the existing masonry, following the pier and spandrel lines. This would consist of vertical and horizontal steel members, regularly anchored to the existing masonry. Aside from providing a convenient means by which to attach to the temporary and permanent structures for lateral stability that is independent of existing floor levels, the steel framing would tie together the façade elements. This would help ensure it behaves as a unit during subsequent modifications to remove embedded structural elements or modify load paths for gravity loads.

The conservation work would occur in two phases, with an initial *stabilization* phase and a future *conservation* phase. The final stone repairs, finishpointing, window installation, etc. would occur in the latter.

The intended minimum scope for *stabilization* phase work at the 18-20 King façade is as follows:

- Removal and salvage of cornice and upper level masonry for off-site storage and repairs.
- Repointing of several courses of masonry below the upper level to be removed (to be completed in advance of removals above in order to limit removal extent).
- Install stainless steel helical anchors, located at mortar joint intersections (to minimize damage to stone arrises), at several piers where out-of-plane deformation is apparent.
- Localized rebuilding and separation of return walls, to suit extent of return wall to be retained, which is to be coordinated with new construction.
- Protect the top of the wall (below removals) with a plywood cover and peel-and-stick membrane.
- Removal of all interior finishes to expose interior masonry.
- Selective repointing of interior masonry and of exterior masonry throughout.
- Removal of all wood nailer strips and replacement with masonry.
- Install permanent steel ‘skeleton’ frame anchored to interior of the masonry, following the spandrel and pier lines. This frame will be used to link the façades at 18-20 and 22 King together, ensure integrity of the façade masonry is maintained, as well as provide an attachment point for temporary and permanent restraint of the façade for lateral loads.
- Install temporary steel framing to retain façade prior to demolition of building behind.
- Ensure gravity loads are brought to foundations, or provide new permanent foundation system, depending on coordination with new construction.
- Install survey targets and/or vibration monitors for monitoring façade for movement/vibration during new construction (depending on foundation conditions, soil conditions, construction methodologies).

### Details to be Developed and Other Considerations

While this is not comprehensive, investigations and discussions to date have determined that there are a number of known aspects that require further development by the project team:

- Wall Assembly: The masonry is saturated in many upper areas and we expect this to take many years to fully resolve. While the damage to the stone from observed efflorescence appears to be fairly minimal so far, and we wouldn’t expect this to change, the result of continuing efflorescence would not be very attractive. If this is a serious concern, we believe that providing a means for moisture to dry towards the interior would help mitigate the issue. This could be done formally by having a building science consultant design a dynamic buffer zone, or less so by ensuring the project architects leave an air space with some natural ventilation on the interior side of the masonry wall. Though contrary to sustainability goals in general, the more waste heat that can be allowed to pass through this wall will help with overall drying, and mitigating future deterioration.

- **Embedded Wood:** The wood elements embedded in the wall must be assessed individually and thought put to the potential for future rot (and how to then address) if any wood is to remain embedded in the masonry. We do not believe wholesale replacement of backup masonry lintels with new stainless steel loose lintels is at all inappropriate if desired. The wood nailers will be addressed and replaced with masonry, in order to achieve as much masonry integrity as possible prior to temporarily stabilizing the façades.
- **Ground Level Masonry:** Given the condition of the ground level masonry, a high percentage of stones will require Dutchman or other repair. While this is more of an architectural consideration, we can confidently say that a perfect match between new and existing materials will be very difficult to achieve, and an imperfect result may give a mottled or otherwise unpleasant look. It may be appropriate to leave these stones as an artifact, or integrate them into the new façade material in a way that is complementary, and without expecting them to look perfect.
- **Foundation Wall:** It is understood that a new concrete foundation wall will be constructed below this façade for lower level parking. We believe construction is achievable, and that a methodology can be developed using the existing steel beams and columns at the ground floor level, whereby the existing foundation wall is removed and replaced sequentially. This will need to be coordinated with the new construction details.
- **Construction Monitoring:** For façades conserved in-situ, monitoring is often required depending on soil conditions and construction methodologies. Coordination is required to determine these. For vibrations we often recommend following the limits established in the DIN 4150-3 Standard, per line 3 of Table 1, copied below. While these limits are quite conservative, and are sometimes prone to being exceeded, we could make further determinations on limits based on observations before or during construction.

**Table 1: Guideline values for vibration velocity to be used when evaluating the effects of short-term vibration on structures**

Line	Type of structure	Guideline values for velocity, $v$ , in mm/s			
		Vibration at the foundation at a frequency of			Vibration at horizontal plane of highest floor at all frequencies
		1 Hz to 10 Hz	10 Hz to 50 Hz	50 Hz to 100 Hz*)	
1	Buildings used for commercial purposes, industrial buildings, and buildings of similar design	20	20 to 40	40 to 50	40
2	Dwellings and buildings of similar design and/or occupancy	5	5 to 15	15 to 20	15
3	Structures that, because of their particular sensitivity to vibration, cannot be classified under lines 1 and 2 and are of great intrinsic value (e.g. listed buildings under preservation order)	3	3 to 8	8 to 10	3

\*) At frequencies above 100 Hz, the values given in this column may be used as minimum values.

Building and settlement monitoring may also be advisable depending on excavation, excavation shoring, and soil conditions. Often monitoring of excavation shoring for lateral movement is already a project requirement, and it may be possible to add scope to include targets placed along any retained facades. Depending on soil and foundation conditions it may also be advisable to seek comment from geotechnical consultant regarding the potential for settlement due the lowering of the groundwater table that may be caused by the excavation and/or the future below-grade structure. Some soils are especially prone to this issue.



## Façade at 22 King St E

### Construction and Condition

The façade of 22 King is generally similar to that of 18-20 King, except that it is non-loadbearing and the backup material is brick. Like 18-20, steel framing was introduced to dispense with much of the original ground level masonry. Wood elements are similarly embedded in the interior masonry.

In term of general stability, the façade at 22 King appears to be plumb in the out-of-plane direction. However, the upper level appears to have moved laterally, in-plane, to the east, towards the building at 24 King. This is most evident at the third-floor pier adjacent to that building, where one stone has slid along its bed joint with the stone below (see Figs 8 and 9). The stones above have slid east, towards the building at 24, while the stones below have remained in place. There is a significant crack visible in the interior backup brick at this location.



Fig 8: 22, cornice and bands of stone below. Sliding indicated. Fig 9: 22, sliding at base of 3<sup>rd</sup> flr pier, E side.

The differential movement at the upper level of the façade is due to differences in construction between levels. Within the second level, the third floor framing is visible and is supported by a series of beams and piers along the east and west sides of the building. These piers and the façade backup masonry appear to be independent from the building at 24 King. However, at the roof framing, this condition is different. The roof joists are let into the brick return wall to the east (24 King) and plaster removals revealed keying between the façade backup and the east return wall. We believe this difference in construction and connectivity explains the observed displacement. It suggests that the upper level of 22 King is being pulled eastward by 24 King. The lower levels are structurally separate and are not.



Fig 10: 22, beam and piers underside 3<sup>rd</sup> floor framing



Fig 11: 22, roof framing, connected to adjacent bldg's.

The effect of the movement from 24 King appears is most pronounced at but is not be limited to the easternmost pier. Some stress has been put on the other piers of this façade. For both intermediate piers, finish removals uncovered a very slender brick backup pier, and both were slightly, but visibly rotated. We believe that these intermediate piers may be stabilized in-situ, but not so for the easternmost pier, which would require rebuilding.



Fig 12: Cornice and stones above, at 22 King



Fig 13: Deteriorated stone below cornice.

Aside from the above issue, much of the masonry of the façade is in fairly good condition given the circumstances, and certainly is repairable in-situ, with the notable exception of the cornice and the courses immediately above and below it. As with 18-20 King, the upper courses must be removed and reset, and we again recommend they be removed off-site for repair, with the wall to be capped temporarily. Unlike 18-20 King, the band of stones immediately below the cornice is in very poor condition in this case, and the stones are not repairable. Small corbels set into this band of stone are similarly deteriorated. This has been caused by moisture transmission leading to subflorescence and possibly freeze-thaw damage, resulting in extensive flaking and delamination of the stone. In some places it is possible to remove a delaminated piece of the sandstone and expose a layer of white salt behind it. This band of stone will require replacement with a new stone units, cut from a similar sandstone. See Figures 12 to 14.



Fig 14: Subflorescence and stone flaking

### Conservation Approach

As for 18-20, the proposed approach is to stabilize the façade and to retain it in-situ, with the same overall approach. Given the slender piers and stress from the movement of 24 King, the use of a steel skeleton frame is, in our view, critical in this case. Again, the conservation work would occur in two phases, with an initial *stabilization* phase and a future *conservation* phase, with the upper level masonry to be removed in the former and reinstated in the latter. Like 18-20, the construction would include a

foundation wall replacement, and this would be facilitated by sequencing and making use of the existing storefront beams.

The intended minimum scope for stabilization phase work at the 22 King façade is as follows:

- Removal and salvage of cornice and upper level masonry for off-site storage and repairs.
- Removal of the band below the cornice and eventual replacement with new stone cut to suit.
- Repointing of several courses of masonry below the upper level to be removed (to be completed in advance of removals above in order to limit removal extent).
- Rebuild easternmost pier, for two uppermost storeys, plus selective removal and shoring of masonry above it to accommodate.
- Protect the top of the wall (below removals) with a plywood cover and peel-and-stick membrane.
- Removal of all interior finishes to expose interior masonry.
- Selective repointing of interior masonry and of exterior masonry throughout.
- Removal of all wood nailer strips and replacement with masonry.
- Install permanent steel 'skeleton' frame anchored to interior of the masonry, following the spandrel and pier lines. This frame will be used to link the façades at 18-20 and 22 King together, ensure integrity of the façade masonry is maintained, as well as provide an attachment point for temporary and permanent restraint of the façade for lateral loads.
- Install temporary steel framing to retain façade prior to demolition of building behind. Unlike 18-20 King, this building does not have its own return walls to contribute to lateral stability during construction and this will be taken into account.
- Ensure gravity loads are brought to foundations, or provide new permanent foundation system, depending on coordination with new construction.
- Install survey targets and/or vibration monitors for monitoring façade for movement/vibration during new construction (depending on foundation conditions, soil conditions, construction methodologies).

#### Details to be Developed and Other Considerations

As for 18-20 King.

#### **Façade at 24 King St E**

##### Construction and Condition

The façade of 24 King consists of stuccoed multi-wythe brick. The stucco is failing and has debonded and spalled in many areas. Aside from the ground floor interventions, the intermediate windows piers at levels 2 and 3 have been removed and a steel beam introduced bearing on slender piers that do not appear to be keyed into the adjacent piers. Original pressed-metal window hoods once present at all second through fourth level windows have been removed. It appears as though concrete may have been introduced into the wall in some areas, but this is not confirmed.

The preceding description of differential in-plane movement at 22 King are suggestive of a problem with the building at 24 King. The previous interventions on the façade at 24 King to remove piers and create large window openings at three of the four floors is likely a contributing factor, especially as it looks as though the remaining piers at each end were built with some stack bonded brick to more easily create the reveals in their profile. Notably, the ground level pier at the interface with 28 was also removed once a steel column was installed below storefront beams, despite that pier being present for all levels above. This represents a significant lack of vertical continuity of stiffness in this façade. Overall, the previous interventions with respect to pier removals have significantly impacted the façade's in-plane lateral strength and stiffness. We believe this is a contributing factor to issues observed at 22 King and possibly at 28 King, and we suspect that there could also be some interaction or interdependence between the façades at 24 and 28 King.

Though the uppermost two floor levels were not accessed due to safety concerns about severe water damage at the floor structure (see Fig. 15), the lower two levels were accessed. The interior of the brick

masonry piers in these locations was noticeably saturated throughout. This is causing significant deterioration of the brick – not just spalling, but complete loss of integrity in many cases – likely due to repeated freeze-thaw cycles while in a saturated condition (see Fig. 16).

The exterior brick was noted to have been roughened with a chipper to help with the application of the existing stucco. The piers at either end of the façade include stack-bond masonry over much of their height, affecting their integrity and their resistance to in-plane lateral loads. There is evidence that these stack bond bricks at the piers are delaminating and the continuous vertical mortar joints have opened up.



Fig 15: 24 King, 3<sup>rd</sup> floor level, severe water damage.



Fig 16: 24 King, saturated, deteriorated brick.

### Conservation Approach

We do not believe it is reasonable to retain and conserve this façade in-situ. In fact, it is likely a contributor to the issues on adjacent façades. Similarly, we do not advise salvaging and reusing the existing masonry material given the possibility of introducing saturated or otherwise compromised brick into a new assembly. Previous use of non-permeable cement parging products has retained moisture and resulted in damaged and saturated bricks that may not be suitable for re-use.

It is understood that the project intent is to dismantle the existing façade, salvage the stamped metal cornice at roof level, and rebuild the façade with new material. We support this approach from a technical perspective. We leave the decision on replication of previous conditions more to the architectural and heritage planning members of the project team, though we are confident that this is feasible from a technical point of view.

### Details to be Developed and Other Considerations

New material selection is likely the top priority here, as well as providing a suitable substrate for reattachment of the salvaged and repaired decorative metal elements. This aspect is primarily driven by other members of the project team, including the architect and building structural engineer.

### **Façade at 28 King St E**

#### Construction and Condition

The façade of 28 King is constructed of ashlar stone, again believed to be Whirlpool Sandstone. The façade is non-loadbearing, except for a very small strip of flooring. The stones are generally very large, and stacked. Notably, there is very little interior backup masonry, except for some brick backup around windows. Piers have no backup masonry and interior finishes are affixed directly to the interior face of the pier stones.

The façade at 28 King has an obvious and significant issue with respect to the stability of the masonry, especially at the northeast corner. The east wall of the building is moving outward (towards the east), bringing part of the north façade masonry along with it. It is our understanding that existing risks of

collapse have already been considered by the project engineer and municipality, and mitigated by closing the adjacent laneway (at 30 King St E) and the sidewalk in front of the building, and so we are not commenting further in that regard.

The entire easternmost pier and easternmost spandrel panel of the façade at 28 are displaced and in need of rebuilding. The east pier stones are keyed into the east wall which itself is significantly out of plumb. The east wall has pulled on the façade, causing issues that are most apparent in the east bay (see Figs. 17 and 18). The uppermost level remains a question, and we expect significant rebuilding to be required here too. Finally, there is evidence of racking in this façade.

The uppermost level remains a question, and we expect significant rebuilding to be required here too.



Fig 17: 28 King, E-most pier, looking down, note rotation, and gaps



Fig 18: 28 King, E-most pier/spandrel, looking up note gaps in head joints.

The condition of the masonry units themselves is generally quite good and is generally repairable, with the notable exception of the ground level masonry. The latter is mostly missing and damaged following the previous creation of large storefront openings as was done for other façades here.

### Conservation Approach

While the stone itself is in good condition, the general stability concerns are such that a departure from the in-situ retention approach, as established for 18-22, is recommended in this case. In keeping with the minimal intervention approach to heritage conservation, the next step would be to salvage the existing material, which is of high quality, and to reinstate it. We recommend systematically dismantling the stone façade, identifying and labeling each stone, and transporting these to an off-site storage facility for repairs and to wait until the new construction is ready to receive them back on the site. This approach is not an uncommon one – for example, the stones for the entrance portals of the now-demolished IBM/Celestica buildings at Don Mills & Eglinton in Toronto are presently in storage for eventual reinstatement on an entirely new building.

Given the possibility of inter-reliance between this façade and 24 King, as well as the east return wall, the demolition/dismantling methodology will be such that work proceeds sequentially between the buildings across all levels.

The new construction at this facade would include a new concrete foundation wall built to receive both the new stones and an interior steel framing system, complete with a new anchorage and lateral support system for the existing stone, tied in turn to the new building structure.

It is fortunate that the nature of the construction of 28 facilitates rebuilding, with large ashlar stones and minimal backup material, as opposed to the rubble stone backup present throughout 18-22. The removal and reinstatement will also allow construction with an appropriate system for lateral anchorage and attachment, which we suspect is absent in the existing construction. The large size of the existing

stone units, with stones extending for full pier heights for example, and the lack of backup masonry result in a façade that is particularly well to removal and reinstatement using a crane and slings or even existing lewis pin holes, and working from a lift if to avoid the risks of working from scaffolding.

We are aware that some community members or authorities having jurisdiction may advocate for in-situ retention for this façade as well. We do not believe such an approach is advisable. A significant amount of stone is known to be required to be removed and reset already. However, we believe it is very likely that during the course of work we will find that additional stones have compromised bed joints or have been displaced, and are required to be reset. We can also foresee issues with a mason attempting to rebuild a significant portion of the façade while matching it to the lines of a retained portion, which is out of plumb/level. It will also be awkward working a new permanent framing and anchorage system around and into an existing assembly, especially at inwardly projecting stones and where the tops of stones are not accessible for new anchorage, as discussed in the section below. Finally, though secondary, is our opinion that the alternative, with two partial approaches, would be asking the Owner to carry additional cost and significant additional, and in our view unreasonable, construction risk.

#### Details to be Developed and Other Considerations

- The projecting cornice and sill band stones are noted to have counterbalancing interior cantilevers, to mitigate their tendency to rotate outward. The interior projections will likely conflict with This will need to be addressed when reinstating the stones and in the design. We propose to recut the backs of the stones, and restrain them from rotating by way of the new stainless steel anchorage system. A similar approach was developed by the undersigned at the Sir John A. Macdonald Building and lobby addition to the American Embassy, both in Ottawa, ON.
- Similar consideration to addressing the ground level masonry will be required, as noted for 18-20 King, as the stone at this level has a fair amount of damage.

We trust the above provides a comprehensive description of the approach to the façades at 18-28 King St. E., and that while there certainly remains work to be done, the information and opinions herein are helpful in the team's application for permits and approvals from authorities having jurisdiction. As always, if there are any questions that follow from the above or if there is additional input that you might find helpful, please don't hesitate to contact the undersigned.

Sincerely,

**JOHN G. COOKE & ASSOCIATES LTD.**



Jonathan Dee, P.Eng., ing., CAHP  
Associate

JD/jd  
21063/ltr\_4

SEAL

no.	FOR REVIEW	description	date
1			APR 23, 2021






PROJECT:  
 GORE BLOCK FACADES  
 HAMILTON, ONTARIO  
 RETENTION PROJECT

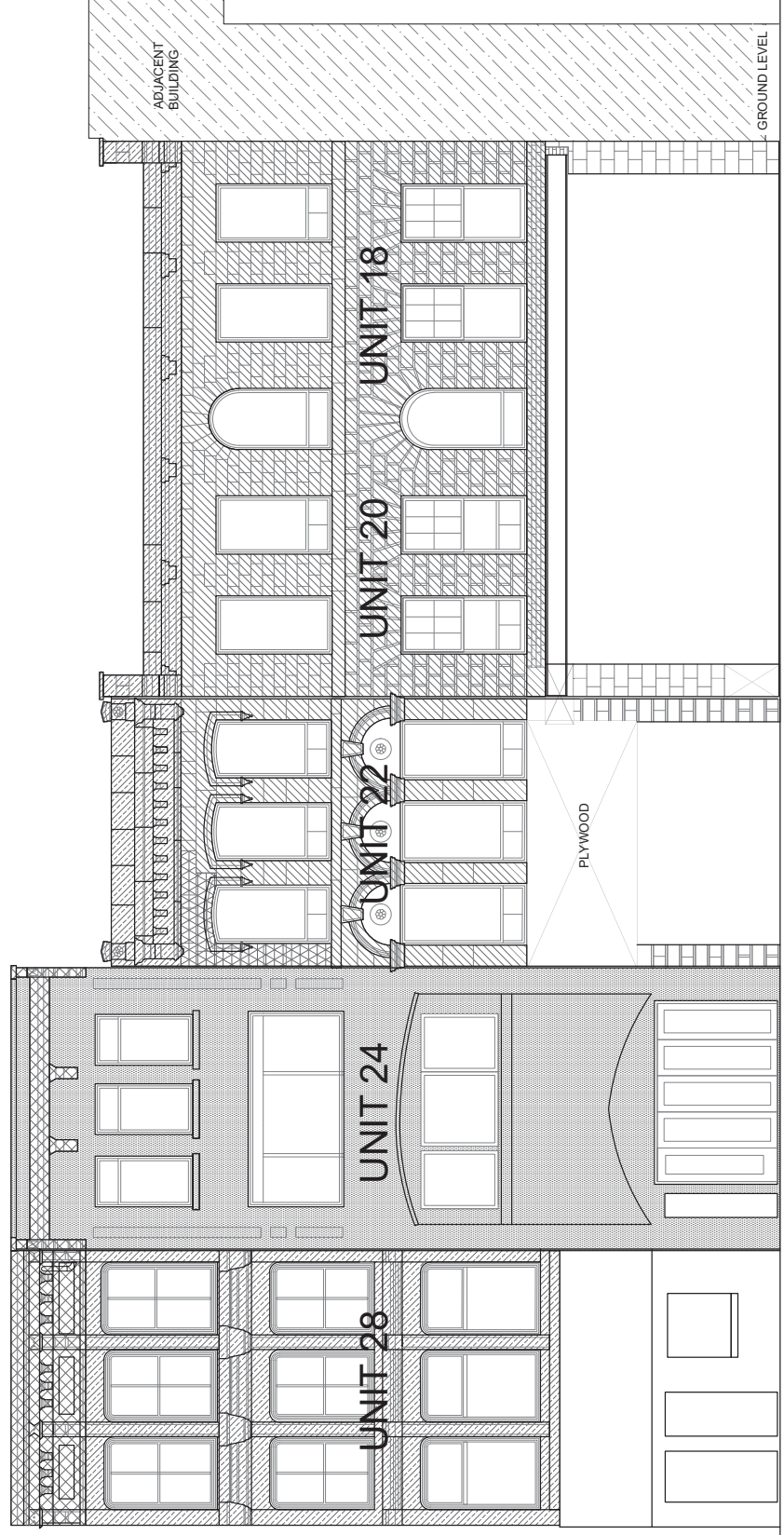
DRAWING:  
 NORTH FACADE ELEVATION

DESIGNED BY: \_\_\_\_\_ ID: \_\_\_\_\_  
 DRAWN BY: \_\_\_\_\_ RC: \_\_\_\_\_  
 SCALE: NTS DATE: 04-26-2021

PROJECT No: 21063  
 DRAWING No: SK-S1

**LEGEND**

-  EXISTING FACADE MASONRY TO BE REBUILT PRIOR TO BEING RETAINED IN-SITU.
-  EXISTING FACADE MASONRY TO BE RETAINED IN-SITU.
-  EXISTING FACADE MASONRY TO BE DISMANTLED, SALVAGED, REPAIRED AS REQ. OFF SITE, AND RESET.
-  EXISTING FACADE TO BE DISMANTLED, REPLACED WITH NEW MATERIAL.
-  DECORATIVE ELEMENTS (METAL CORNICE AND SIM.) TO BE REMOVED, SALVAGED AND REINSTATED



NTS  
 — NORTH FACADE ELEVATIONS — 1 — SK-S1

**Hughson Business Space**  
Type: **Mixed-Use Building**  
15-30 King Street East  
Hamilton, ON L8N 1A5 CANADA

**CPAI**  
1-905-522-0220  
200 Wellington Street East  
Hamilton, ON L8N 1H1

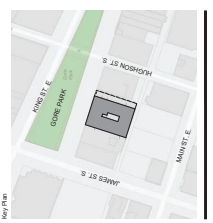
**interiors**  
interiors  
urban design

Drawings are to be used for information only. The client must verify all dimensions and details with the architect and engineer. The architect and engineer are not responsible for the accuracy of the information provided in this drawing. This drawing is not to be used for construction without the approval of the architect and engineer.

Scale: \_\_\_\_\_

**SITE STATISTICS:**

BUILDING AREA	1,204.00 M <sup>2</sup>
PROPOSED LOT AREA	6,859.00 M <sup>2</sup>
PARKING REQUIRED	21
PARKING PROVIDED	24

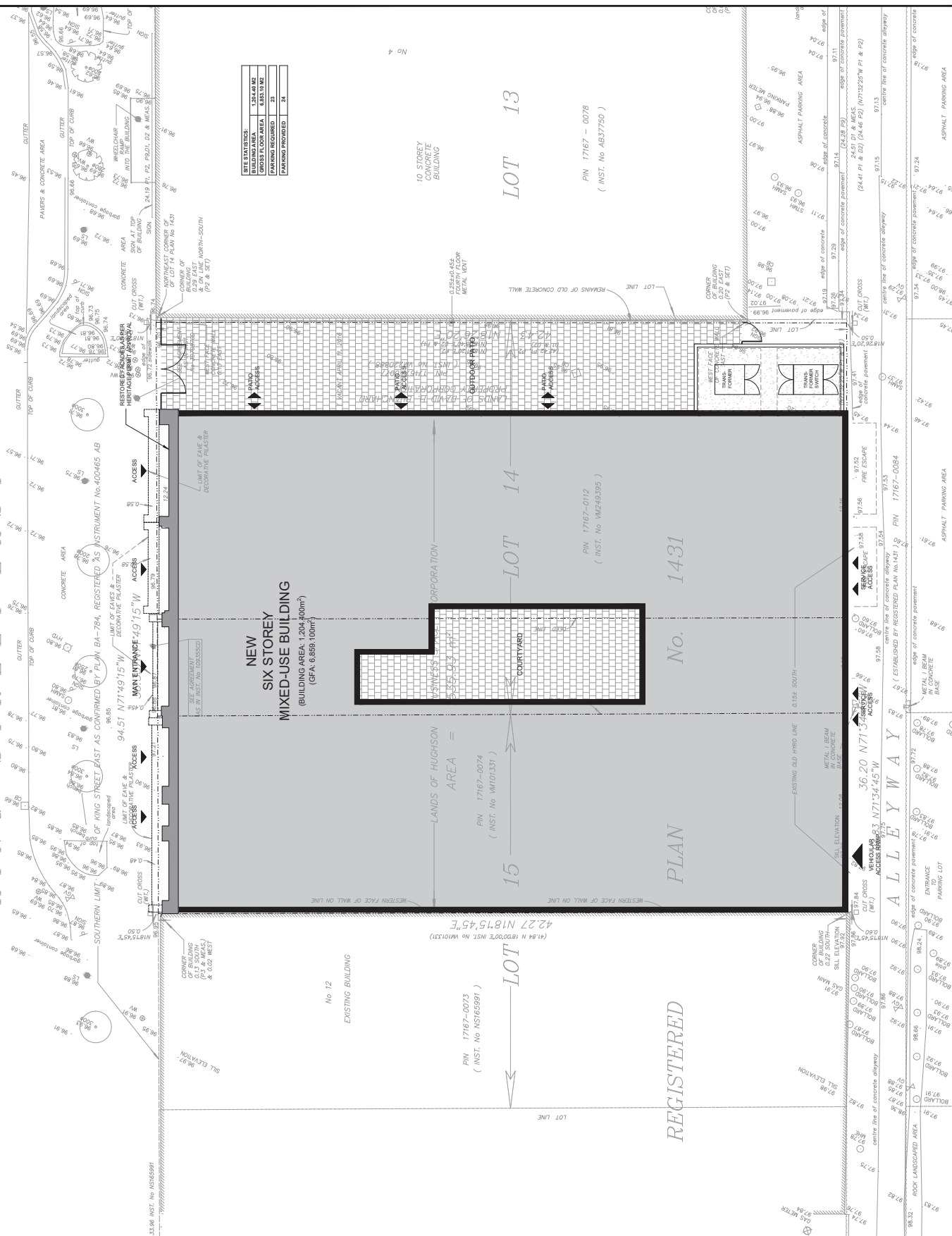


02 ISSUED FOR INFORMATION (2) 2021-07-26  
01 ISSUED FOR INFORMATION 2021-05-11

Drawn By: \_\_\_\_\_  
Checked By: \_\_\_\_\_  
Project No.: 1802

**PRELIMINARY SITE PLAN**

Drawn No.: **A01**



**SITE STATISTICS:**

BUILDING AREA	1,204.00 M <sup>2</sup>
PROPOSED LOT AREA	6,859.00 M <sup>2</sup>
PARKING REQUIRED	21
PARKING PROVIDED	24

REGISTERED

PLAN

No. 1431

LOT 13

LOT 14

LOT 15

10 STOREY CONCRETE BUILDING

PIN 17167-0078  
(INST. No A837750)

PIN 17167-0112  
(INST. No M4249395)

PIN 17167-0073  
(INST. No NS165991)

36.20 M  
N71°34.45'W

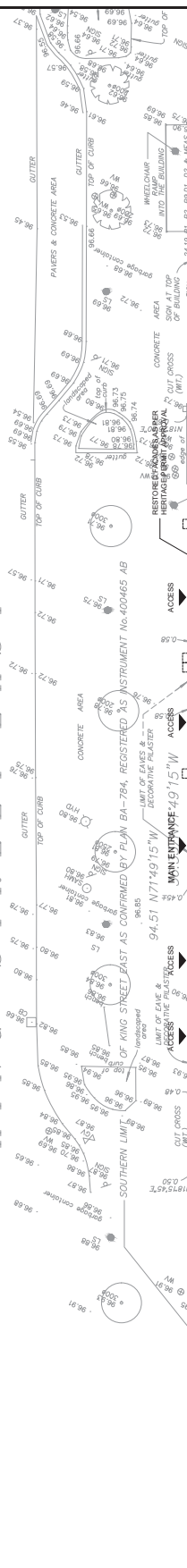
42.27 N181°54.5'E  
(14.84 N 180°07'E NS1 No M101331)

LANDS OF HUGHSON  
AREA =  
5,655.33 M<sup>2</sup>

NEW SIX STOREY  
MIXED-USE BUILDING  
(BUILDING AREA: 1,204.00m<sup>2</sup>)  
(GFA: 6,859.10m<sup>2</sup>)

33.96 INST. No NS165991

ALLEYWAY

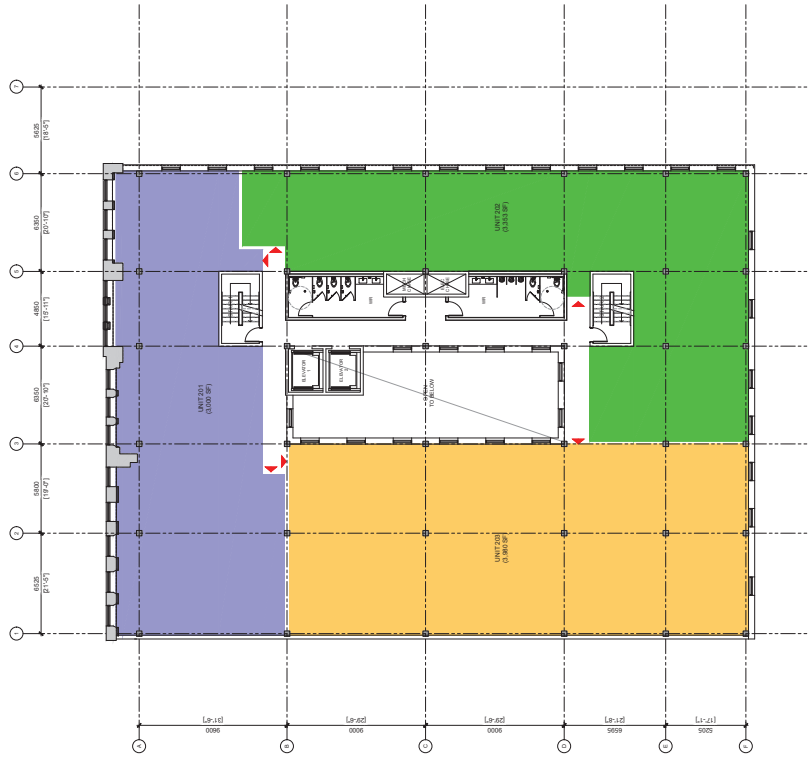




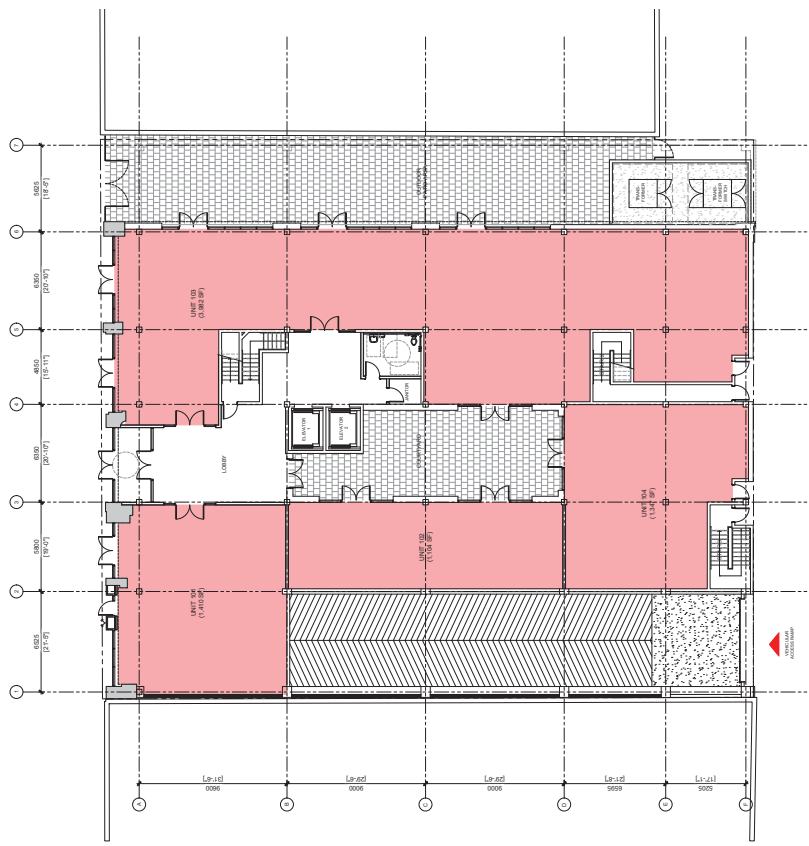
Hughson Business Space  
 Commercial Office  
 Mixed-Use Building  
 18-30 King Street East  
 Hamilton, ON L8P 1A5, CANADA

**cpai** | 905-522-0220  
 100 Wellington Street West  
 Suite 1800  
 Hamilton, ON L8P 1H1  
 commercial  
 interiors  
 urban design

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 This drawing is not to be used for construction without the approval of the architect.  
 Date: \_\_\_\_\_  
 Scale: \_\_\_\_\_



2 SECOND FLOOR PLAN  
 SCALE: 1/32



1 GROUND FLOOR PLAN  
 SCALE: 1/32

FLOOR PLAN STATISTICS:	
UNIT 201	3,000 SF
UNIT 202	3,333 SF
UNIT 203	3,233 SF
<b>LEANABLE AREA:</b>	<b>9,566 SF</b>
<b>GFA:</b>	<b>12,144.02 SQ</b>

FLOOR PLAN STATISTICS:	
UNIT 101	1,415 SF
UNIT 102	1,555 SF
UNIT 104	1,347 SF
<b>LEANABLE AREA:</b>	<b>4,317 SF</b>
<b>GFA:</b>	<b>11,847.92 SQ</b>

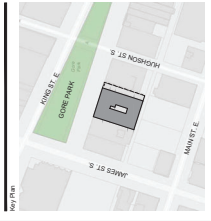


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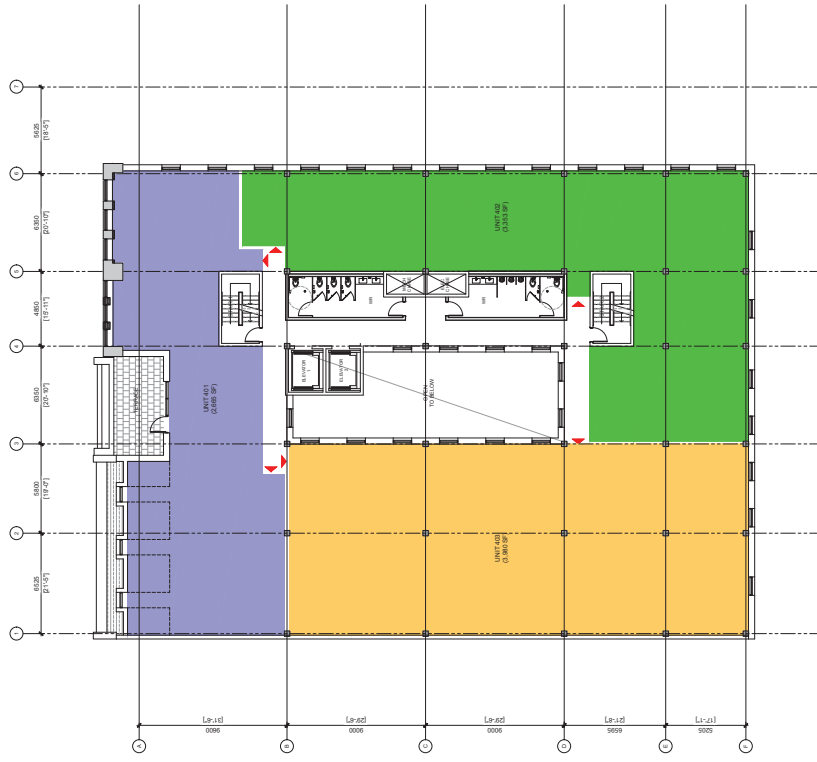
Hughson Business Space  
 Conversion  
 Mixed-Use Building  
 15-30 King Street East  
 Hamilton, ON L8P 1A5, CANADA

**cpai** | 905-522-0220  
 100 Wellington Street West  
 Suite 1100  
 Hamilton, ON L8P 1H1  
 www.cpaiconsultants.com  
 interior architecture  
 urban design

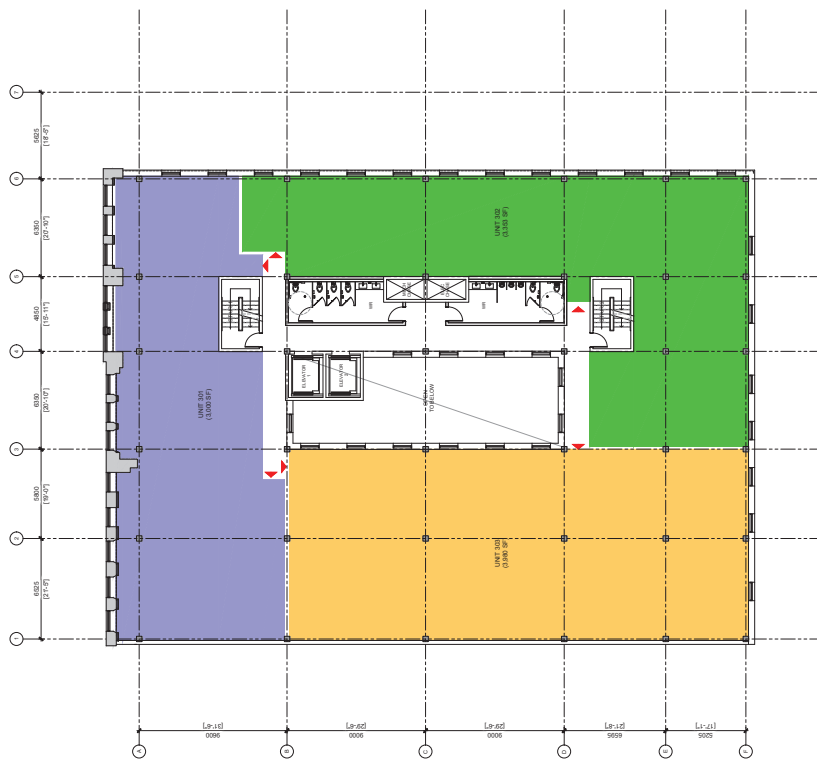
Drawings are not to be scaled.  
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 This drawing is not to be used for construction without the approval of the architect.  
 Date: \_\_\_\_\_  
 Scale: \_\_\_\_\_



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No.	Issue/Revisions	Date
01	Issue/Revisions	Date
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Project No.: 152102		
Scale: 1/8" = 1'-0"		
Drawing No.: A03.02		
Client: _____		
Contract No.: _____		
Contract Date: _____		
Contract Value: _____		
Project Manager: _____		
Architect: _____		
Architect's License No.: _____		
Professional Seal: _____		



2 FOURTH FLOOR PLAN  
 SCALE: 1/8" = 1'-0"



1 THIRD FLOOR PLAN  
 SCALE: 1/8" = 1'-0"

Hughson Business Space  
 Conversion of  
 Mixed-Use Building

15-30 King Street East  
 Hamilton, ON L8P 1A5, CANADA

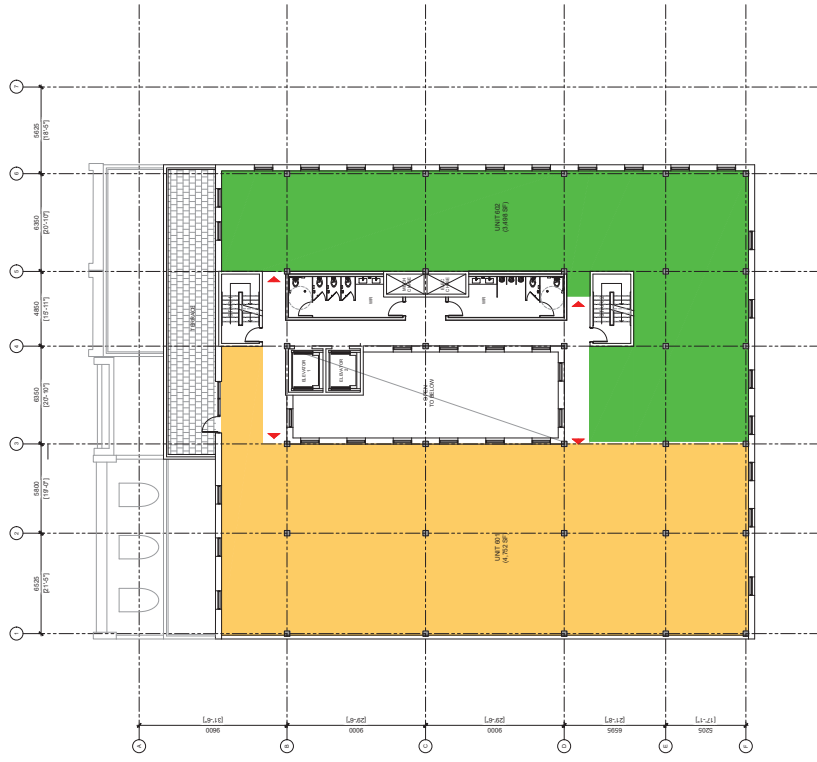
**cpai** | 905-522-0220  
 100 Wellington Street West  
 Suite 1000  
 Hamilton, ON L8P 1H1  
 info@cpai.ca  
 www.cpai.ca  
 interior architecture  
 urban design

Drawings are not to be scaled.  
 Contractor must verify all dimensions on the job and report any discrepancies immediately. Discrepancies must be reported immediately upon discovery. The contractor must be held responsible for the accuracy of the information provided in this drawing. This drawing is not to be used for construction without the approval of the architect.

Scale

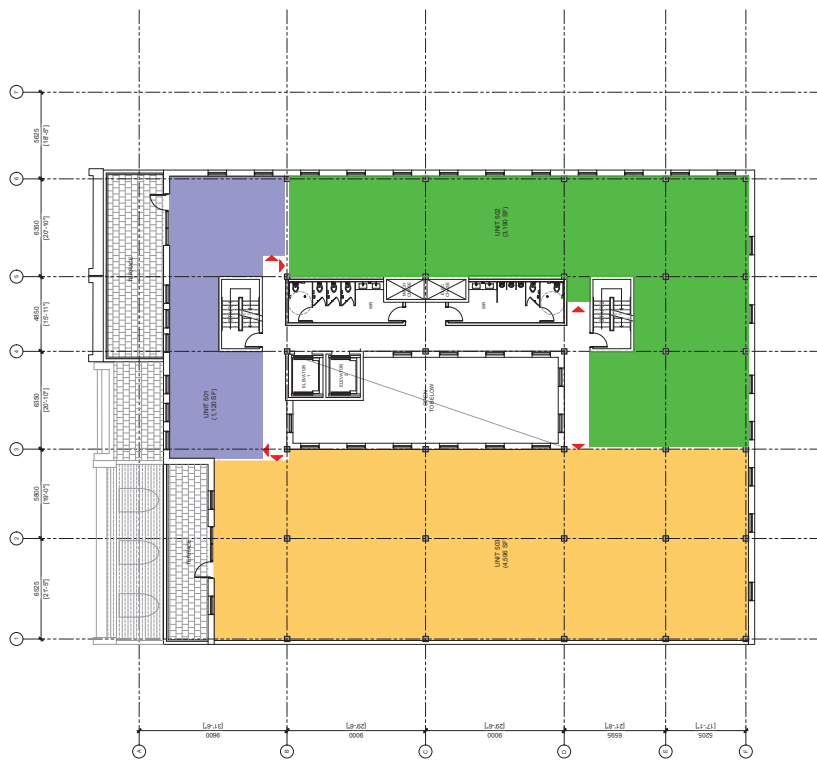


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Project No.: 152102		
Drawn By: OS	Checked By: OS	Date: 2021-07-04
Project No.: 152102	Scale:	1:100
Drawing No.: A03.033		



FLOOR PLAN STATISTICS:	
UNIT 601	4,792 SF
UNIT 602	3,483 SF
UNIT 603	6,210 SF
UNIT 604	7,664 SF
UNIT 605	7,664 SF
UNIT 606	9,952 SF
LEASABLE AREA:	766,45 M <sup>2</sup>
GFA:	992,38 M <sup>2</sup>

2 SIXTH FLOOR PLAN  
 SCALE: 1:100



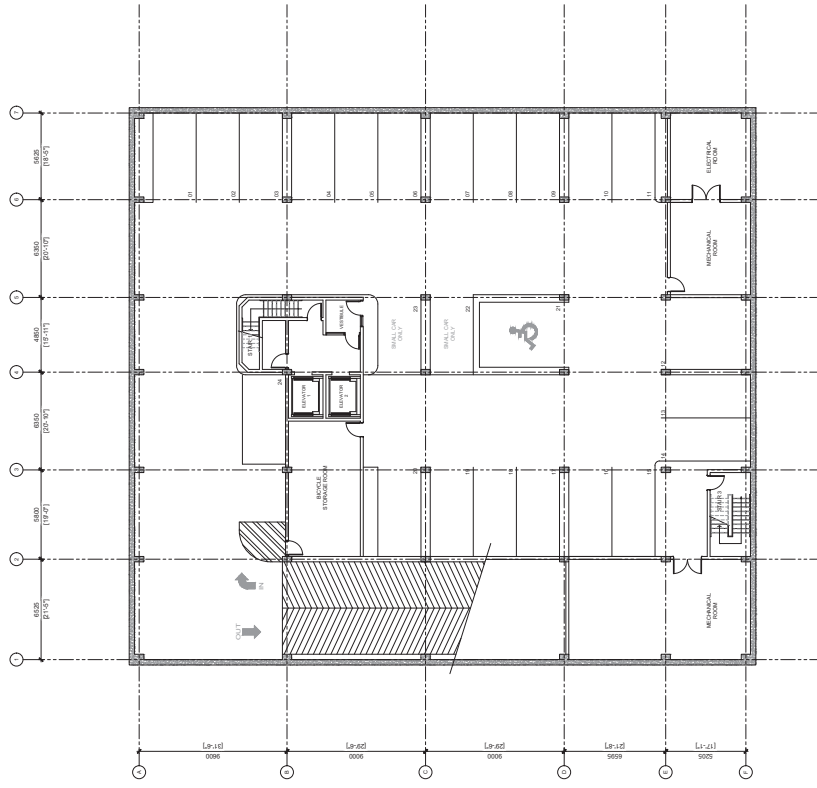
FLOOR PLAN STATISTICS:	
UNIT 501	1,120 SF
UNIT 502	3,120 SF
UNIT 503	4,592 SF
UNIT 504	6,996 SF
UNIT 505	6,996 SF
UNIT 506	6,996 SF
UNIT 507	8,996 SF
UNIT 508	8,996 SF
UNIT 509	8,996 SF
UNIT 510	8,996 SF
LEASABLE AREA:	837,60 M <sup>2</sup>
GFA:	1,086,60 M <sup>2</sup>

1 FIFTH FLOOR PLAN  
 SCALE: 1:100

Hughson Business Space  
 Conversion  
 Mixed-Use Building  
 18-30 King Street East  
 Hamilton, ON L8P 1A5, Canada

**cpai** | 905-522-0220  
 100 Wellington Street West  
 Suite 200  
 Hamilton, ON L8P 1H1  
**interiors**  
**infrastructure**  
**urban design**

Changes are noted in red.  
 Contractor must verify all dimensions on the job and report any discrepancy immediately. Dimensions shown on drawings are for information only and are not to be used for construction without being confirmed by the contractor. This drawing is not to be used for construction without being confirmed by the contractor.  
 Scale



FLOOR PLAN STATISTICS:  
 24 PARKING STALLS

1 UNDERGROUND PARKING LEVEL  
 SCALE: 1/8" = 1'-0"

02	ISSUED FOR INFORMATION (2)	2021-07-05	2021-09-02
01	ISSUED FOR INFORMATION	2021-06-02	
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Client Name:	CPA Inc.		
Project No.:	18-012		
Scale:	1/8" = 1'-0"		
Drawn By:	JES		
Checked By:	JES		
Project No.:	18-012		
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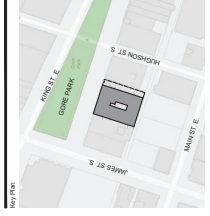
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A04.11

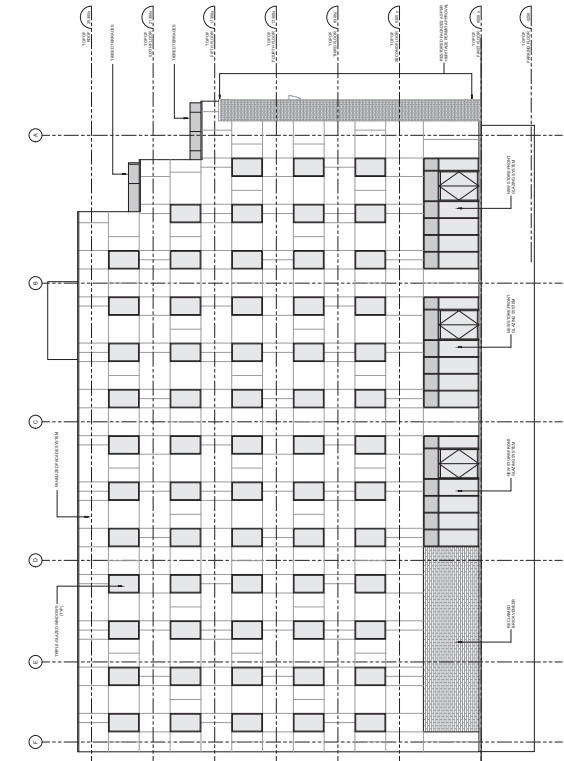
Hughson Business Space  
 Office Building  
 15-30 King Street East  
 Hamilton, ON L8P 1A5, Canada

CPAI  
 905-522-0220  
 25 Wellington Street  
 Hamilton, ON L8P 1H1

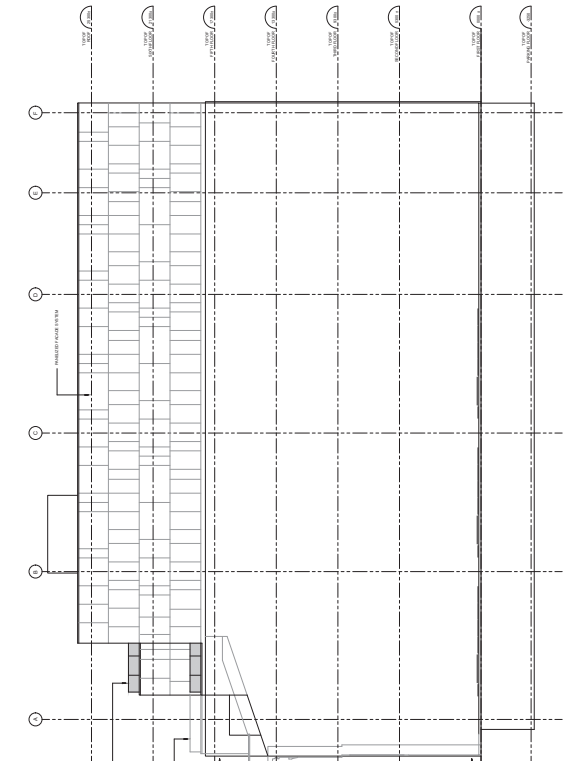
Drawings are not to be used for construction until the contractor has verified all dimensions on the job and reported any discrepancies to the architect immediately. The architect shall not be held responsible for any errors or omissions in the drawings. This drawing is not to be used for construction until the contractor has verified all dimensions on the job and reported any discrepancies to the architect immediately.



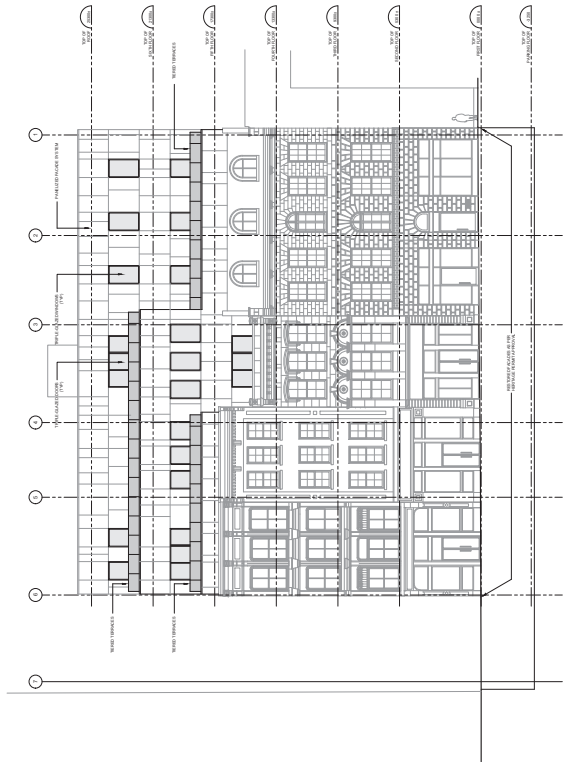
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Project No.:	152102	Scale:
Drawn By:	OS	Checked By:
Project No.:	152102	Scale:



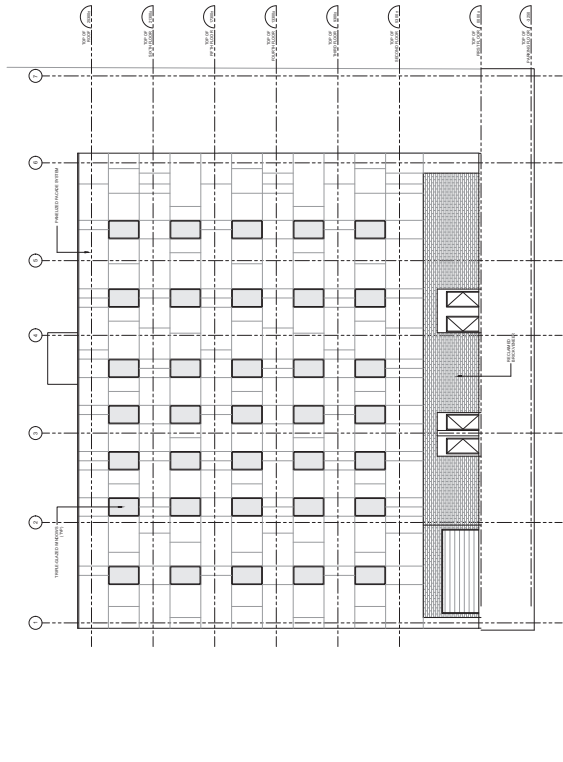
2 SIDE ELEVATION (EAST)  
 SCALE 1/8" = 1'-0"



4 SIDE ELEVATION (WEST)  
 SCALE 1/8" = 1'-0"



1 FRONT ELEVATION (NORTH)  
 SCALE 1/8" = 1'-0"



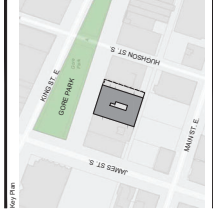
3 REAR ELEVATION (SOUTH)  
 SCALE 1/8" = 1'-0"

A05.11

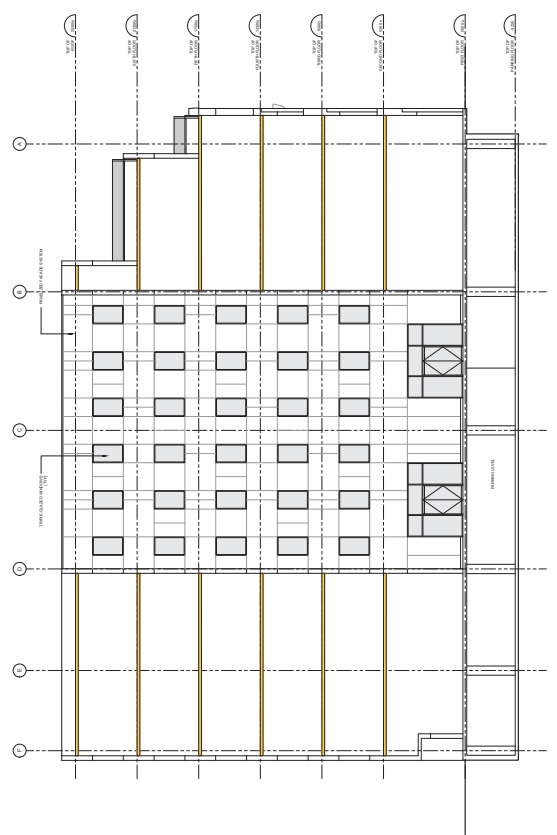
Hughson Business Space  
Conversion of  
Mixed-Use Building  
15-30 King Street East  
Hamilton, ON L8P 1A5, Canada

CPAI  
905-522-0220  
100 Wellington  
C-200  
Hamilton, ON L8P 1H1  
interiors  
urban design

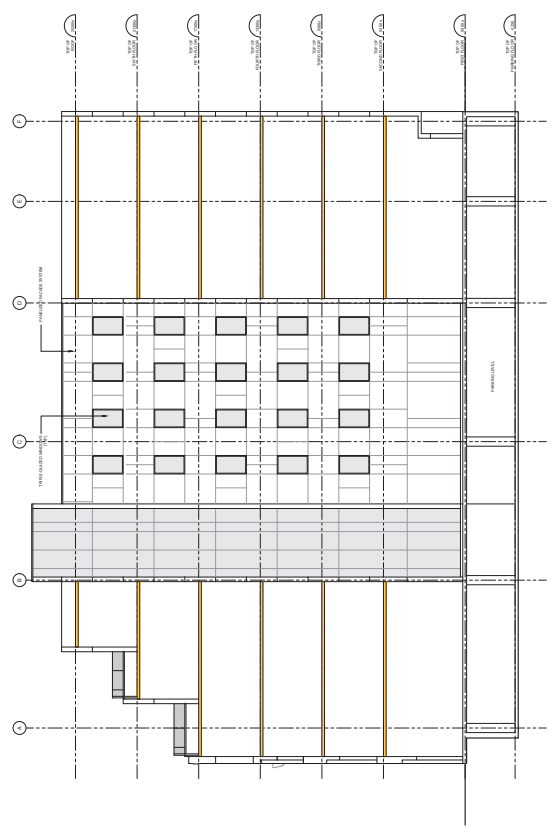
Drawings are not to be scaled.  
Contractor must verify all dimensions on the job and report any  
discrepancies immediately to the architect. The architect shall not be  
responsible for any errors or omissions in the drawings. The architect shall  
be retained at the completion of the work.  
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approved by the relevant authority.  
Scale



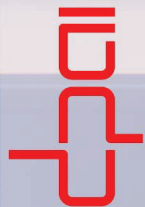
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No.	Issue/Revisions	Date
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PRELIMINARY BUILDING SECTIONS		
Sheet Name	Checked By	Date
Drawn By: OS	Checked By:	
Project No.: 192102	Scale:	1:1
Drawing No.		



1 BUILDING SECTION THROUGH COURTYARD - EAST  
SCALE: 1/8" = 1'-0"



2 BUILDING SECTION THROUGH COURTYARD - WEST  
SCALE: 1/8" = 1'-0"













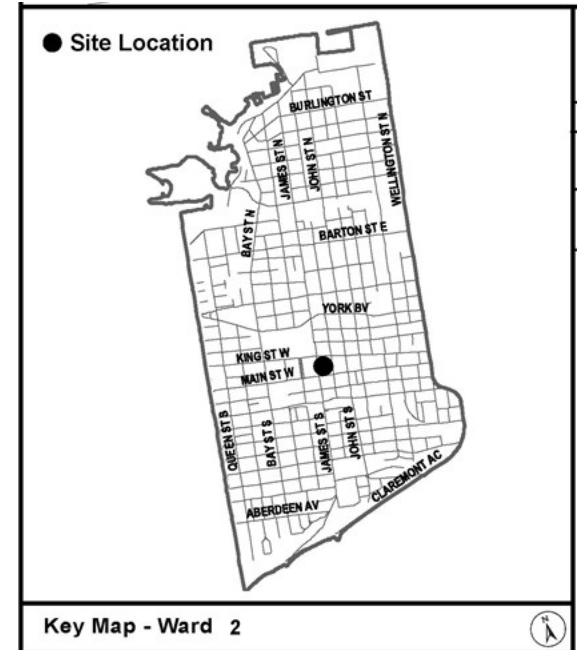
HERITAGE PERMIT APPLICATION HP2021-037,  
UNDER PART IV OF THE *ONTARIO HERITAGE ACT*,  
FOR FACADE INTEGRATION INTO  
REDEVELOPMENT OF 18 - 28 KING STREET EAST,  
HAMILTON (WARD 2)

September 24, 2021

# HP2021-037 - 18-28 King Street East (Hamilton)



# HP2021-037 - 18-28 King Street East (Hamilton)



# HP2021-037 - 18-28 King Street East (Hamilton)

## Scope of work:

- Proposed redevelopment integrating the designated heritage facades into a new 6-storey mixed use building.
- Retention of the Kerr Building (18-22) facades, replication the Skinner Building (24) facade and dismantling and rebuilding the Glassco Building facade (28)
- 30 King St E proposed to be a courtyard

## Reason for work:

- Redevelopment of site

# HP2021-037 - 18-28 King Street East (Hamilton)



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## HERITAGE ATTRIBUTES

- TO BE PRESERVED
- TO BE REPLICATED
- TO BE SALVAGED (parapet walls)

### 18-22 King Street East (Kerr Buildings)

- All stone blocks, coursing, quoins and voussoirs on the second and third levels of the front façades;
- All window surrounds, sills and hood mouldings on the second and third levels of the front façades;
- The stone cornices and parapet walls of both buildings;
- All surviving original stone materials and features remaining under the existing storefront cladding and signage on the ground level; and,
- The gable roof and dormers of 18-20 King Street East.

### 24 King Street East (Skinner Building)

- The brick façade of the third and fourth levels of the front façade;
- The window openings and stone sills on the third and fourth levels of the front façade;
- The cornice and stone end brackets;
- All surviving original brick and stone materials and features remaining under the existing storefront cladding and signage on the ground and second levels; and,
- The parapet walls

### 28 King Street East (Glassco Building)

- All stone masonry walls and pilasters on the second, third and fourth levels of the front façade;
- All window openings and sills on the second, third and fourth levels of the front façade;
- The original two-over-two wood window sashes and frames in the third and fourth level window openings;
- The wood framed picture windows and leaded transoms in the second level window openings;
- The projecting stone horizontal mouldings between the second and third levels and the third and fourth levels;
- The cornice and parapet walls;
- A stone pilaster at the northeast corner of the ground level; and,
- All surviving original stone materials and features remaining under the existing storefront cladding and signage on the ground level.

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Existing conditions:



Fig 1: 18-20, 3<sup>rd</sup> floor, West return wall separation



Fig 2: 18-20, 2<sup>nd</sup> floor, West return wall separation



Fig 4: 18-20. Failed roof, pier at upper corner of façade

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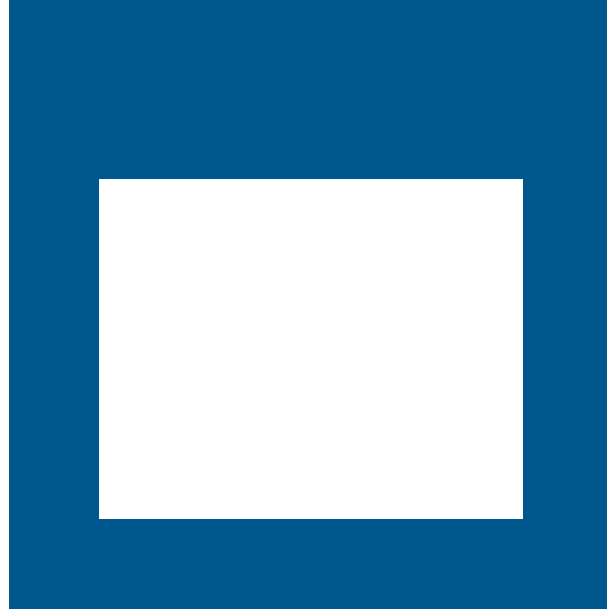
## Proposed Conditions:

- That a Conservation Plan in accordance with the City's Guidelines for Conservation Plans be prepared and submitted by the applicant to the satisfaction and approval of the Director of Planning and Chief Planner prior to the issuance of any Building Permit for demolition or new construction;
- That a Letter of Credit shall be satisfied prior to submission of an application for a Building Permit for removal of portions of the building;
- That prior to the issuance of any Building Permit for demolition or new construction, the applicant enters into and registers on title a Heritage Easement Agreement and covenant with the City;
- That any minor changes to the plans and elevations following approval shall be submitted, to the satisfaction and approval of the Director of Planning and Chief Planner, prior to any application for a Building Permit and / or the commencement of any alterations;

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## Proposed Conditions:

- That should a Building Permit for the proposed alterations, in accordance with this approval, not be obtained and acted upon by October 31, 2023 then this approval expires as of that date and no alterations shall be undertaken without a new approval issued by the City of Hamilton;
- That the proposed alterations, in accordance with this approval, shall be completed no later than October 31, 2024. If the alterations are not completed by October 31, 2024, then this approval expires as of that date and no alterations shall be undertaken without a new approval issued by the City of Hamilton;
- That the Director of Planning and Chief Planner be authorized to approve a request to extend the dates noted in the above conditions of this approval, if that request is submitted prior to the expiry and if progress is being made.



THANK YOU

Designation Work Plan Priorities as of September 14, 2021

Work Plan Year	Name	Address	Community	Designation Request Date	HMHC Buildings & Landscapes List	Status
2021	Residence	105 FILMAN RD	Ancaster	1/28/21		Shifted from low to high priority in 2021
	Desjardins Canal	COOTES DR	Dundas	2/25/09		
	Former Blacksmith Shop	2 HATT ST	Dundas	8/17/17	Red	
	Dundas Post Office	104 KING ST W	Dundas	9/23/09	Green	
	Lennard House	7 ROLPH ST	Dundas	3/25/19		
	Maple Lawn	292 DUNDAS ST E	Flamborough	8/13/19	Yellow	Draft CHA (WVBHI)
	Former Kirk Hotel; Royal Coachman	1 MAIN ST N	Flamborough	6/17/19		Draft CHA (WVBHI)
	Village Fish and Chips	9 MAIN ST N	Flamborough	7/08/19		Draft CHA (WVBHI)
	Cannon Knitting Mill	134 CANNON ST E	Hamilton	8/20/14		
	Auchmar Gatehouse	71 CLAREMONT DR	Hamilton	5/27/09	Red	
	W.H. Ballard Public School	801 DUNSMURE RD	Hamilton	4/08/14		
	Residence	105 ERIE AVE	Hamilton	5/01/13		
	King George School	77 GAGE AVE N	Hamilton	5/13/14		NOID Issued
		54 HESS ST S	Hamilton	5/28/21	Red	COUNCIL RATIFIED JUNE 23 2021
		56 HESS ST S	Hamilton	5/28/21	Red	COUNCIL RATIFIED JUNE 23 2021
	Gore Park	1 HUGHSON ST S	Hamilton	4/23/08		
	Bell Building	17 JACKSON ST W	Hamilton	8/20/14		
	Oak Hall	10 JAMES ST N	Hamilton	8/20/14		
	Former Hamilton Distillery Company Building	16 JARVIS ST	Hamilton	8/20/14		
	Barton Reservoir	111 KENILWORTH ACCESS	Hamilton	2/25/09		OBL
	Kenilworth Library	103 KENILWORTH AVE N	Hamilton	2/11/14		
	Former Bank of Nova Scotia	54 KING ST E	Hamilton	8/20/14		
	Royal Connaught	82 112 KING ST E	Hamilton	4/08/08	Green	NOID Under Appeal
Residence	215 KING ST S	Dundas	5/28/21			
Jimmy Thompson Memorial Pool	1099 KING ST E	Hamilton	9/02/13		Draft CHA	
Church	1395 1401 KING ST E	Hamilton	8/03/09			

Work Plan Year	Name	Address		Community	Designation Request Date	HMHC Buildings & Landscapes List	Status
	Hambly House	170		LONGWOOD RD N	Hamilton	2/14/11	
	Former County Courthouse	50		MAIN ST E	Hamilton	8/20/14	
	Former Cathedral School	378		MAIN ST E	Hamilton	8/03/13	OBL
	Gage Park	1000		MAIN ST E	Hamilton	3/22/06	Yellow
	Memorial School	1175		MAIN ST E	Hamilton	4/08/14	
	Residence	7		RAVENSCLIFFE AVE	Hamilton	6/09/11	
	Former Union School	634		RYMAL RD W	Hamilton	6/06/13	
	Medical Superintendent's Residence ("Residence 37")	650	672	SANATORIUM RD	Hamilton	22/08/17	
	Regency Cottage	39		LAKEVIEW DR	Stoney Creek	2/11/11	
	Former Elfrida United Church	2251		RYMAL RD E	Stoney Creek	12/19/12	
2022	Ancaster Village – Wilson Street (Collection of 30 properties)	490	454	OLD DUNDAS RD WILSON ST E	Ancaster	4/28/20	
	Stone House	558		WILSON ST E	Ancaster	5/04/20	
	Charlton-Hughson-Forest-John Block	39	49	CHARLTON AVE E FOREST AVE 183 187 HUGHSON ST S	Hamilton	9/23/14	
	Former Mount Hamilton Hospital Maternity Wing	711		CONCESSION ST	Hamilton	1/28/21	
	Copp Block	165	205	KING ST E (Except No. 193)	Hamilton	8/20/14	
2023	Hughson House	103		CATHARINE ST N	Hamilton	8/20/14	
	Hamilton Hydro/ Horizon Utilities	55		JOHN ST N	Hamilton	8/20/14	
	First Pilgrim United Church	200		MAIN ST E	Hamilton	8/20/14	
	St. John's Evangelical Lutheran Church	37		WILSON ST	Hamilton	8/20/14	
2024	Stelco Tower	100		KING ST W	Hamilton	8/20/14	
	Hamilton Club	6		MAIN ST E	Hamilton	8/20/14	
	Landmark Place/ Century 21 Building	100		MAIN ST E	Hamilton	8/20/14	
	Commercial Building	189		REBECCA ST	Hamilton	8/20/14	

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2025	Gartshore Building	64	HATT ST	Dundas	3/26/17	Yellow	Formal Consultation Application
	Undercliffe	64	ABERDEEN AVE	Hamilton	6/13/17		
	Gateside	131	135 ABERDEEN AVE	Hamilton	6/13/17		
	Former Eastcourt Carriage House	24	BLAKE ST	Hamilton	11/10/20		
	Hereford House	13	15 BOLD ST	Hamilton	6/13/17		
	Royal Alexandra	19	21 BOLD ST	Hamilton	6/13/17		
	George Armstrong School	460	CONCESSION ST	Hamilton	7/29/14		
2026	Residence	192	BOLD ST	Hamilton	6/13/17		
	Henson Court	170	CAROLINE ST S	Hamilton	6/13/17		
	Central Presbyterian Church and Sunday School	252	CAROLINE ST S 165 CHARLTON AVE W	Hamilton	6/13/17		
	Eggshell Terrace	14	24 CHARLTON AVE W	Hamilton	6/13/17		
2027	Residence	99	DUKE ST	Hamilton	6/13/17		
		191	BAY ST S				
	Lakelet Vale and Drive House	50	54 SANDERS BLVD	Hamilton	26/05/2020	Yellow	Shifted from a low to medium priority in 2020
2028	Residence	173	BAY ST S	Hamilton	6/13/17		
	Maple Lawn	254	BAY ST S	Hamilton	6/13/17		
	Widderly	274	BAY ST S	Hamilton	6/13/17		
	Bright Side / Sunny Side	280	BAY ST S	Hamilton	6/13/17		
	Balfour House	282	BAY ST S	Hamilton	6/13/17		
	Residence	41	CHARLTON AVE W	Hamilton	6/13/17		
2029	Residence	72	CHARLTON AVE W	Hamilton	6/13/17		
	Duke Street Double House	14	DUKE ST	Hamilton	6/13/17		
	Residence	98	DUKE ST	Hamilton	6/13/17		
2030	Herkimer Terrace	11	17 HERKIMER ST	Hamilton	6/13/17		
	Herkimer Street Terrace	44	46 HERKIMER ST	Hamilton	6/13/17		
	Kildallan	370	HESS ST S	Hamilton	6/13/17		



Work Plan Year	Name	Address	Community	Designation Request Date	HMHC Buildings & Landscapes List	Status
	Residence	378 HESS ST S	Hamilton	6/13/17		
	Residence	384 HESS ST S	Hamilton	6/13/17		
	HREA Residence	203 MACNAB ST S	Hamilton	6/13/17		
2031	Moodie Residence	37 ABERDEEN AVE	Hamilton	6/13/17		
	Residence	125 ABERDEEN AVE	Hamilton	6/13/17		
	Gibson Residence	311 BAY ST S	Hamilton	6/13/17		
	Residence	312 BAY ST S	Hamilton	6/13/17		
2032	Cartwright Residence	321 BAY ST S	Hamilton	6/13/17		
	Whitton Residence	351 353 BAY ST S	Hamilton	6/13/17		
	Pigott Residence	358 BAY ST S	Hamilton	6/13/17		
	Wood House	64 CHARLTON AVE W	Hamilton	6/13/17		
2033	First Christian Reformed Church	181 CHARLTON AVE W	Hamilton	6/13/17		
	Herkimer Apartments	86 HERKIMER ST	Hamilton	6/13/17		
2034	Residence	880 CENTRE RD	Flamborough	11/26/17		
	The Castle; Amisfield	1 DUKE ST	Hamilton	6/13/17		
	Residence	347 QUEEN ST S	Hamilton	6/13/17		
	Residence	403 QUEEN ST S	Hamilton	6/13/17		
2035	Webster House / Springdale	6 WEBSTERS FALLS RD	Flamborough	3/25/18		
	Edmonds House	1320 WOODBURN RD	Glanbrook	6/24/18		
	The Powerhouse	21 JONES ST	Stoney Creek	7/18/18		
	Markson / Goldblatt House	45 AMELIA ST	Hamilton	3/25/19		
2036	Residence	65 CENTRAL DR	Ancaster	1/28/21		
	Residence	3819 INDIAN TRAIL	Ancaster	1/28/21		
	Residence	3513 JERSEYVILLE RD W	Ancaster	1/28/21		
	Residence	1032 LOWER LIONS CLUB	Ancaster	1/28/21		
2037	Residence	713 OLD DUNDAS RD	Ancaster	1/28/21		
	Residence	2059 POWERLINE RD	Ancaster	1/28/21		
	Residence	2224 POWERLINE RD	Ancaster	1/28/21		

