



City of Hamilton
HAMILTON MUNICIPAL HERITAGE COMMITTEE
AGENDA

Meeting #: 21-008
Date: October 29, 2021
Time: 12:30 p.m.
Location: Due to the COVID-19 and the Closure of City Hall (CC)

All electronic meetings can be viewed at:

City's Website:
<https://www.hamilton.ca/council-committee/council-committee-meetings/meetings-and-agendas>

City's YouTube Channel:
<https://www.youtube.com/user/InsideCityofHamilton> or Cable 14

Loren Kolar, Legislative Coordinator (905) 546-2424 ext. 2604

1. CEREMONIAL ACTIVITIES
2. APPROVAL OF AGENDA
(Added Items, if applicable, will be noted with *)
3. DECLARATIONS OF INTEREST
4. APPROVAL OF MINUTES OF PREVIOUS MEETING
 - 4.1. September 24, 2021
5. COMMUNICATIONS
6. DELEGATION REQUESTS
7. CONSENT ITEMS
 - 7.1. Heritage Permit Applications - Delegated Approvals

- 7.1.a. Heritage Permit Application HP2021-045: Proposed Removal of Honey Locust Tree at 71 Main Street West, Hamilton (Ward 2) (By-law No. 06-011)
- 7.1.b. Heritage Permit Application HP2021-046 : Proposed installation of new signage and louvres at 110 King Street East, Hamilton (Ward 2) (Notice of Intention to Designate)
- 7.1.c. Heritage Permit Application HP2021-047: Replacement and painting of porch columns at 220 St. Clair Boulevard, Hamilton (Ward 3) (By-law No.92-140) (St. Clair Boulevard HCD)
- 7.1.d. Heritage Permit Application HP2021-049: Proposed alteration of roof and eaves at 135-137 Strathcona Avenue North, Hamilton (Ward 1), Designated Under Part IV of the Ontario Heritage Act (By-law No. 96-148)
- 7.2. Heritage Permit Review Sub-Committee Minutes
 - 7.2.a. August 31, 2021
 - 7.2.b. September 21, 2021

8. STAFF PRESENTATIONS

- 8.1. Heritage Permit Application HP2021-043, Under Part V of the Ontario Heritage Act, for Demolition of a Circa 1980 Detached Garage, 19 Mill Street South, Waterdown (PED21205) (Ward 15)
- 8.2. Waterdown Village Built Heritage Inventory Project Recommendations (PED21201) (Ward 15)
- 8.3. Recommendation to Designate 1099 King Street East, Hamilton (Jimmy Thompson Memorial Pool) Under Part IV of the Ontario Heritage Act PED21211 (Ward 3)
- 8.4. Heritage Permit Application HP2021-044, under Part V of the Ontario Heritage Act for the demolition of 983 Beach Boulevard, Hamilton (PED21208) (Ward 5)

9. PUBLIC HEARINGS / DELEGATIONS

10. DISCUSSION ITEMS

- 10.1. Inventory & Research Working Group Meeting Notes - August 23, 2021

11. MOTIONS

12. NOTICES OF MOTION

13. GENERAL INFORMATION / OTHER BUSINESS

13.1. Buildings and Landscapes

This list is determined by members of the Hamilton Municipal Heritage Committee. Members provide informal updates to the properties on this list, based on their visual assessments of the properties, or information they have gleaned from other sources, such as new articles and updates from other heritage groups.

13.1.a. Endangered Buildings and Landscapes (RED)

(Red = Properties where there is a perceived immediate threat to heritage resources through: demolition; neglect; vacancy; alterations, and/or, redevelopment)

- (i) Tivoli, 108 James Street North, Hamilton (D) – T. Ritchie
- (ii) Andrew Sloss House, 372 Butter Road West, Ancaster (D) – C. Dimitry
- (iii) Century Manor, 100 West 5th Street, Hamilton (D) – G. Carroll
- (iv) 18-22 King Street East, Hamilton (D) – W. Rosart
- (v) 24-28 King Street East, Hamilton (D) – W. Rosart
- (vi) 2 Hatt Street, Dundas (R) – K. Burke
- (vii) James Street Baptist Church, 98 James Street South, Hamilton (D) – J. Brown
- (viii) Long and Bisby Building, 828 Sanatorium Road (D) – G. Carroll
- (ix) 120 Park Street, North, Hamilton (R) – R. McKee
- (x) 398 Wilson Street East, Ancaster (D) – C. Dimitry
- (xi) Lampman House, 1021 Garner Road East, Ancaster (D) – C. Dimitry
- (xii) Cathedral Boys School, 378 Main Street East, Hamilton (R) – T. Ritchie
- (xiii) Firth Brothers Building, 127 Hughson Street North, Hamilton (NOID) – T. Ritchie
- (xiv) Auchmar Gate House, Claremont Lodge 71 Claremont Drive (R) – R. McKee
- (xv) Former Hanrahan Hotel (former) 80 to 92 Barton Street East (I)– T. Ritchie
- (xvi) Television City, 163 Jackson Street West (D) – J. Brown
- (xvii) 1932 Wing of the Former Mount Hamilton Hospital, 711 Concession Street (R) – G. Carroll
- (xviii) 215 King Street West, Dundas (I) – K. Burke
- (xix) 679 Main Street East, and 85 Holton Street South, Hamilton (Former St. Giles Church) (I)– D. Beland
- (xx) 219 King Street West, Dundas (R) – K. Burke
- (xxi) 216 Hatt Street, Dundas (I) – K. Burke

13.1.b. Buildings and Landscapes of Interest (YELLOW)

(Yellow = Properties that are undergoing some type of change, such as a change in ownership or use, but are not perceived as being immediately threatened)

- (i) Delta High School, 1284 Main Street East, Hamilton (D) – D. Beland
- (ii) 2251 Rymal Road East, Stoney Creek (R) – C. Dimitry
- (iii) Former Valley City Manufacturing, 64 Hatt Street, Dundas (R) – K. Burke
- (iv) St. Joseph's Motherhouse, 574 Northcliffe Avenue, Dundas (ND) – W. Rosart
- (v) Copley Building, 104 King Street West; 56 York Blvd., and 63-76 MacNab Street North (NOI) – G. Carroll
- (vi) Dunington-Grubb Gardens, 1000 Main Street East (within Gage Park) (R) – D. Beland
- (vii) St. Clair Blvd. Conservation District (D) – D. Beland
- (viii) 52 Charlton Avenue West, Hamilton (D) – J. Brown
- (ix) 292 Dundas Street East, Waterdown (R) – L. Lunsted
- (x) Chedoke Estate (Balfour House), 1 Balfour Drive, Hamilton (R) – T. Ritchie
- (xi) Binkley property, 50-54 Sanders Blvd., Hamilton (R) - J. Brown
- (xii) 62 6th Concession East, Flamborough (I) - L. Lunsted
- (xiii) Beach Canal Lighthouse and Cottage (D) – R. McKee
- (xiv) Cannon Knitting Mill, 134 Cannon Street East, Hamilton (R) – T. Ritchie
- (xv) 1 Main Street West, Hamilton (D) – W. Rosart
- (xvi) 54 - 56 Hess Street South, Hamilton (R) – J. Brown

13.1.c. Heritage Properties Update (GREEN)

(Green = Properties whose status is stable)

- (i) Royal Connaught Hotel, 112 King Street East, Hamilton (NOID) – T. Ritchie
- (ii) Auchmar, 88 Fennell Avenue West, Hamilton (D) – R. McKee
- (iii) Treble Hall, 4-12 John Street North, Hamilton (D) – T. Ritchie
- (iv) Former Post Office, 104 King Street West, Dundas (R) – K. Burke
- (v) Rastrick House, 46 Forest Avenue, Hamilton (D) – G. Carroll
- (vi) 125 King Street East, Hamilton (R) – T. Ritchie

13.1.d. Heritage Properties Update (BLACK)

(Black = Properties that HMHC have no control over and may be demolished)

No properties.

14. PRIVATE AND CONFIDENTIAL

15. ADJOURNMENT



Hamilton

HAMILTON MUNICIPAL HERITAGE COMMITTEE

Minutes 21-007

12:30 p.m.

Friday, September 24, 2021

Due to COVID-19 and the closure of City Hall, this meeting was held virtually

Present: Councillor M. Pearson
A. Denham-Robinson (Chair), D. Beland, J. Brown, K. Burke, G. Carroll, C. Dimitry (Vice-Chair), L. Lunsted, R. McKee, T. Ritchie and W. Rosart

THE FOLLOWING ITEMS WERE REFERRED TO THE PLANNING COMMITTEE FOR CONSIDERATION:

- 1. Heritage Permit Application HP2021-037, Under Part IV of the Ontario Heritage Act, for Façade Integration into Redevelopment of 18 - 28 King Street East, Hamilton (PED21195) (Ward 2) (Item 8.1)**

(Burke/Ritchie)

That Heritage Permit application HP2021-037, for redevelopment of the properties including integrating the designated heritage façades into a new six storey mixed use building, for the lands located at 18-28 King Street East, be approved, subject to the following conditions:

- (a) That a Conservation Plan in accordance with the City's Guidelines for Conservation Plans be prepared and submitted by the applicant to the satisfaction and approval of the Director of Planning and Chief Planner prior to the issuance of any Building Permit for demolition or new construction;
- (b) That the Conservation Plan completed by the applicant's heritage consultants address the following to the satisfaction and approval of the Director of Planning and Chief Planner prior to the issuance of any Building Permit for demolition or new construction:
 - (i) Structural drawings for the facade retention frame;
 - (ii) Demolition and dismantling plan that provides the methodology for labelling, dismantling, re-locating and storing heritage elements;
 - (iii) Inventory of items to be dismantled and stored;
 - (iv) Masonry key plan that shows the original location and condition of individual stones for 28 King Street East;

- (v) Monitoring plan for regular monitoring of stored elements and structural retention frames;
 - (vi) Repair methodologies and materials for heritage fabric including masonry specifications for suitable repair mortars and replacement stone;
 - (vii) Structural and architectural drawings for integration of the heritage facades into the new structure;
 - (viii) Window specifications for replacement windows to be installed in the heritage facades;
 - (ix) Construction management plan that includes protection and monitoring of the façade retention frame and sequencing and co-ordination of conservation work, demolition work and new construction;
 - (x) Project schedule and cost estimates for the proposed conservation work; and,
 - (xi) Identify what remains of the original storefronts and provide recommendations for the final storefront designs;
- (c) That the recommendations from the Conservation Plan submitted to the satisfaction of the Director of Planning and Chief Planner, be implemented to the satisfaction of the Director of Planning and Chief Planner, prior to the issuance of an Occupancy Permit;
- (d) That the following conditions with respect to cost estimates to implement the Conservation Plan and a Letter of Credit shall be satisfied prior to submission of an application for a Building Permit for removal of portions of the building:
- (i) The applicant shall provide cost estimates for 100% of the total cost of securing, protecting and stabilizing the retained portions, the cost of monitoring and security for a period of three years and the total cost of restoration and protective enclosure of the retained Designated portions. Such cost estimates shall be in a form satisfactory to the Director of Planning and Chief Planner;
 - (ii) The applicant shall provide a Letter of Credit to the Director of Planning and Chief Planner for 100% of the total estimated cost as per (i) above in a form satisfactory to the City's Finance Department (Development Officer, Budget, Taxation and Policy) to be held by the City as security for securing, protecting, stabilizing, monitoring and restoring the retained portions as required by this Heritage Permit:
- (1) The Letter of Credit shall be kept in force, whether or not the ownership of 18-28 King Street East changes at any time, until the completion of the required restoration of the retained portions and the erection of a permanent structure to enclose the rear of the retained portions and / or to

otherwise attach the retained portions to a new building in conformity with the approved design and requirements;

- (2) The Letter of Credit may be reduced in accordance with the City's Letter of Credit Policy for site plan applications;
 - (3) If the Letter of Credit is about to expire without renewal thereof and any part of securing, protecting, stabilizing, monitoring or restoring the retained portions has not been completed in conformity with their approved designs, the City may draw all of the Letter of Credit funds and hold them as security to guarantee completion unless the City's Finance Department (Development Officer, Budget, Taxation and Policy) is provided with a renewal of the Letter of Credit forthwith; and,
 - (4) In the event that the Owner fails to complete, to the satisfaction of the Director of Planning and Chief Planner, the required securing, protecting, stabilizing, monitoring or restoring of the retained portions and the erection of a permanent structure to enclose the rear of the retained portions and / or attach to a new building in conformity with its approved design within the time required, then the City, in addition to any other remedies that the City may have, may exercise its authority under section 446 of the Municipal Act to have its employees, agents or contractors enter 18-28 King Street East to complete any one or more of these requirements. The cost of completion of securing, protecting, stabilizing, monitoring or restoring the retained portions shall be paid in full by the Owner from the Letter of Credit. In the event that there is a surplus, the City shall pay the surplus to the Owner upon completion of the requirement(s). In the event that there is a deficit, the City may further exercise its authority under section 446 of the Municipal Act including but not limited to adding the deficit to the tax roll and collecting it in the same manner as property taxes;
- (e) That prior to the issuance of any Building Permit for demolition or new construction, the applicant enters into and registers on title a Heritage Easement Agreement and covenant with the City pursuant to the Ontario Heritage Act for the purposes of maintaining the heritage attributes consistent with the conditionally approved permit to the satisfaction and approval of the Director of Planning and Chief Planner, and that the Mayor and Clerk, or delegate, as the case may be, are hereby authorized to execute any such agreement;

- (f) That any minor changes to the plans and elevations following approval shall be submitted, to the satisfaction and approval of the Director of Planning and Chief Planner, prior to any application for a Building Permit and / or the commencement of any alterations;
- (g) That should a Building Permit for the proposed alterations, in accordance with this approval, not be obtained and acted upon by October 31, 2023 then this approval expires as of that date and no alterations shall be undertaken without a new approval issued by the City of Hamilton;
- (h) That the proposed alterations, in accordance with this approval, shall be completed no later than October 31, 2024. If the alterations are not completed by October 31, 2024, then this approval expires as of that date and no alterations shall be undertaken without a new approval issued by the City of Hamilton;
- (i) That the Director of Planning and Chief Planner be authorized to approve a request to extend the dates noted in conditions (g) and (h) of this approval if that request is submitted prior to the expiry and if progress is being made.

CARRIED

2. Heritage Permit Application HP2021-033, under Part IV of the *Ontario Heritage Act* for the relocation of 398 Wilson Street East, Ancaster (PED21196) (Ward 12)

- (a) That Heritage Permit application HP2021-033, for the relocation of the Part IV designated heritage building at 398 Wilson Street East, Ancaster, under section 34 of the Ontario Heritage Act, be deemed to be premature and therefore **be denied**;
- (b) That appropriate notice of the Council decision be served on the owner of 398 Wilson Street East, Ancaster, and the Ontario Heritage Trust, as required under Section 34 of the Ontario Heritage Act.

CARRIED

FOR INFORMATION:

(a) CHANGES TO THE AGENDA (Item 2)

The Clerk advised the Committee of the following changes:

5. COMMUNICATIONS

- 5.1. Correspondence respecting Heritage Permit Application HP2021-033, under Part IV of the Ontario Heritage Act for the relocation of 398 Wilson Street East, Ancaster (PED21196) (Ward 12)

Recommendation: Be received, and referred to Item 8.2, Heritage Permit Application HP2021-033, under Part IV of the Ontario Heritage Act for the relocation of 398 Wilson Street East, Ancaster (PED21196) (Ward 12), for consideration

- 5.1.a Myfanwy Armes
- 5.1.b R.H. Baker
- 5.1.c Ben Burke
- 5.1.d David Starr
- 5.1.e Margaret and Myles D'Arcey
- 5.1.f S. Robin Larin
- 5.1.g Bob Maton, President, Ancaster Village Heritage Community, Inc.
- 5.1.h Gail Moffatt
- 5.1.i Liz Scheid
- 5.1.j Rhonda Scott
- 5.1.k Sandra Starr
- 5.1.l Wendi Van Exan
- 5.1.m Ben Burke (additional information)
- 5.1.n Sandy Price

6. DELEGATION REQUESTS

- 6.1 Delegation Request from Megan Hobson, Heritage Consultant, respecting HP2021-037 - Facade Integration into Redevelopment of 18-28 King Street East (for today's meeting)
- 6.2 Delegation Request, Paula Kilburn, Advisory Committee for Persons with Disabilities respecting the Integration of Accessibility in Heritage Properties (for a future meeting)
- 6.3 Delegation Request from Brenda Khes, Applicant, respecting Heritage Permit Application HP2021-033, under Part IV of the Ontario Heritage Act for the relocation of 398 Wilson Street East, Ancaster (PED21196) (Ward 12) (for today's meeting)
- 6.4 Delegation Request from Bob Maton, Ancaster Village Heritage Community, respecting Heritage Permit Application HP2021-033, under Part IV of the Ontario Heritage Act for the relocation of 398 Wilson Street East, Ancaster (PED21196) (Ward 12)

8. STAFF PRESENTATIONS

8.2 Heritage Permit Application HP2021-033, under Part IV of the Ontario Heritage Act for the relocation of 398 Wilson Street East, Ancaster (PED21196) (Ward 12)

(Pearson/McKee)

That the Agenda for the August 5, 2021 Hamilton Municipal Heritage Committee be approved, as amended.

CARRIED

(b) DECLARATIONS OF INTEREST (Item 3)

No declarations of interest were made.

(c) APPROVAL OF MINUTES OF PREVIOUS MEETING (Item 4)

(i) August 5 (Item 4.1)

(Lunsted/Dimitry)

That the Minutes of the August 5, 2021 meeting of the Hamilton Municipal Heritage Committee be approved, as presented.

CARRIED

(d) COMMUNICATIONS (Item 5)

(i) Correspondence respecting Heritage Permit Application HP2021-033, under Part IV of the Ontario Heritage Act for the relocation of 398 Wilson Street East, Ancaster (PED21196) (Ward 12)

5.1(a) Myfanwy Armes

5.1(b) R.H. Baker

5.1(c) Ben Burke

5.1(d) David Starr

5.1(e) Margaret and Myles D'Arcey

5.1(f) S. Robin Larin

5.1(g) Bob Maton, President, Ancaster Village Heritage Community, Inc.

5.1(h) Gail Moffatt

5.1(i) Liz Scheid

5.1(j) Rhonda Scott

5.1(k) Sandra Starr

5.1(l) Wendi Van Exan

5.1(m) Ben Burke (additional information)

5.1(n) Sandy Price

(Carroll/Brown)

That the Correspondence respecting Heritage Permit Application HP2021-033, under Part IV of the Ontario Heritage Act for the relocation of 398 Wilson Street East, Ancaster (PED21196) (Ward 12) be received, and referred to Item 8.2, for consideration.

CARRIED

(e) DELEGATION REQUEST (Item 6)

(Brown/McKee)

That the following Delegation Requests be approved, as presented:

- (i) Delegation Request from Megan Hobson, Heritage Consultant, respecting HP2021-037 - Facade Integration into Redevelopment of 18-28 King Street East (for today's meeting) (Added Item 6.1)
- (ii) Delegation Request, Paula Kilburn, Advisory Committee for Persons with Disabilities respecting the Integration of Accessibility in Heritage Properties (for a future meeting) (Added Item 6.2)
- (iii) Delegation Request from Brenda Khes, Applicant, respecting Heritage Permit Application HP2021-033, under Part IV of the Ontario Heritage Act for the relocation of 398 Wilson Street East, Ancaster (PED21196) (Ward 12) (for today's meeting) (Added Item 6.3)
- (iv) Delegation Request from Bob Maton, Ancaster Village Heritage Community, respecting Heritage Permit Application HP2021-033, under Part IV of the Ontario Heritage Act for the relocation of 398 Wilson Street East, Ancaster (PED21196) (Ward 12) (Added Item 6.4)

CARRIED

(f) CONSENT ITEMS (Item 7)

(i) Policy & Design Working Group Meeting Notes (Item 7.1)

(Brown/Ritchie)

That the following items be received:

- (a) December 7, 2020 (Item 7.1(a))
- (b) January 25, 2021 (Item 7.1(b))
- (c) March 15, 2021 (Item 7.1(c))
- (d) April 19, 2021 (Item 7.1(d))
- (e) May 17, 2021 (Item 7.1(e))
- (f) June 21, 2021 (Item 7.1(f))

CARRIED

(ii) Heritage Permit Review Sub-Committee Minutes (Item 7.2)

(Dimitry/Ritchie)

That the following items be received:

- (a) July 20, 2021 (Item 7.2(a))
- (b) July 27, 2021 (Item 7.2(b))
- (c) August 17, 2021 (Item 7.2(c))

CARRIED

**(iii) Inventory & Research Working Group Meeting Notes June 21, 2021
(Item 7.3)**

(Lunsted/Ritchie)

That the Inventory & Research Working Group Meeting Notes of June 21, 2021, be received.

CARRIED

(iv) Heritage Permit Applications- Delegated Approvals (Item 7.4)

(Burke/Carroll)

That the following items be received:

- (a) Heritage Permit Application HP2021-032: Proposed construction of a rear addition sunroom to 140 Hatt Street, Dundas (Ward 13) (By-law 04-064) (Item 7.4(a))
- (b) Heritage Permit Application HP2021-035: Proposed installation of security signs to 114-116 MacNab Street South, Hamilton (MacNab Street Presbyterian Church) (Ward 2) (MacNab-Charles HCD) (Item 7.4(b))
- (c) Heritage Permit Application HP2021-036: Proposed installation of interior waterproofing, weeping tile and window well drains, 29 Mill Street North, Flamborough (Ward 15) (Mill Street HCD) (Item 7.4(c))
- (d) Heritage Permit Application HP2021-039: Replacement of the eavestroughs, soffits, fascia, and dormer cladding at 220 St. Clair Boulevard, Hamilton (Ward 3) (By-law No.92-140) (St. Clair Boulevard HCD) (Item 7.4(d))
- (e) Heritage Permit Application HP2021-040: Proposed alteration of investigative parking openings and brick removal at 35-43 Duke Street, Hamilton (Ward 2) (By-law No. 75-237) (Item 7.4(e))
- (f) Heritage Permit Application HP2021-042: Proposed Alteration of the Storefronts and Windows at 255-265 James Street North, Hamilton (Ward 2) (By-law No. 87-176) (Item 7.4(f))

- (g) Heritage Permit Application DP2021-026: Proposed replacement of existing windows at 220 St. Clair Boulevard, Hamilton (Ward 3) (St. Clair Boulevard HCD) (By-law No.92-140) (Item 7.4(g))
- (h) Heritage Permit Application HP2021-034: Proposed refurbishment of existing windows of the sanctuary to 21 Stone Church Road West (Barton Stone - Mount Hope United Church) (Ward 8) (By-law No. 17-119) (Item 7.4(h))

CARRIED

(g) STAFF PRESENTATIONS (Item 8)

- (i) Heritage Permit Application HP2021-037, Under Part IV of the Ontario Heritage Act, for Façade Integration into Redevelopment of 18 - 28 King Street East, Hamilton (PED21195) (Ward 2) (Item 8.1)**

Amber Knowles, Cultural Heritage Planner, addressed Committee with an overview of Heritage Permit Application HP2021-037, Under Part IV of the Ontario Heritage Act, for Façade Integration into Redevelopment of 18 - 28 King Street East, Hamilton (PED21195), with the aid of a PowerPoint presentation.

(Burke/McKee)

That the Presentation respecting Heritage Permit Application HP2021-037, Under Part IV of the Ontario Heritage Act, for Façade Integration into Redevelopment of 18 - 28 King Street East, Hamilton (PED21195), be received.

CARRIED

For further disposition of this matter, refer to Item 1 and (h)(i)

- (ii) Heritage Permit Application HP2021-033, under Part IV of the Ontario Heritage Act for the relocation of 398 Wilson Street East, Ancaster (PED21196) (Ward 12) (Added Item 8.2)**

Stacey Kursikowski, Cultural Heritage Planner, addressed Committee with an overview of Heritage Permit Application HP2021-033, under Part IV of the Ontario Heritage Act for the relocation of 398 Wilson Street East, Ancaster (PED21196), with the aid of a PowerPoint presentation.

(Carroll/McKee)

That the Presentation respecting Heritage Permit Application HP2021-033, under Part IV of the Ontario Heritage Act for the relocation of 398 Wilson Street East, Ancaster (PED21196), be received.

CARRIED

For further disposition of this matter, refer to Item 2 and (h)(ii) and (h)(iii)

(h) DELEGATIONS (Item 9)

(i) Megan Hobson, Heritage Consultant, respecting HP2021-037 - Facade Integration into Redevelopment of 18-28 King Street East (Added Item 9.1)

Megan Hobson, Heritage Consultant, addressed the Committee with an overview of HP2021-037 - Facade Integration into Redevelopment of 18-28 King Street East, with the aid of a PowerPoint presentation.

(Carroll/Dimitry)

That the Delegation from Megan Hobson, Heritage Consultant, respecting HP2021-037 - Facade Integration into Redevelopment of 18-28 King Street East, be received.

CARRIED

For further disposition of this matter, refer to Item 1 and (g)(i)

(ii) Brenda Khes, Applicant, respecting Heritage Permit Application HP2021-033, under Part IV of the Ontario Heritage Act for the relocation of 398 Wilson Street East, Ancaster (PED21196) (Ward 12) (Added Item 9.2)

Brenda Khes and Sergio Manchia addressed the Committee respecting Heritage Permit Application HP2021-033, under Part IV of the Ontario Heritage Act for the relocation of 398 Wilson Street East, Ancaster (PED21196). They are not in support of the recommendations in the report.

(Carroll/Burke)

That the Delegation from Brenda Khes and Sergio Manchia, respecting Heritage Permit Application HP2021-033, under Part IV of the Ontario Heritage Act for the relocation of 398 Wilson Street East, Ancaster (PED21196), be received.

CARRIED

For further disposition of this matter, refer to Item 2 and (h)(ii) and (h)(iii)

(iii) Bob Maton, Ancaster Village Heritage Community, respecting Heritage Permit Application HP2021-033, under Part IV of the Ontario Heritage Act for the relocation of 398 Wilson Street East, Ancaster (PED21196) (Ward 12)

Bob Maton, Ancaster Village Heritage Community, addressed the Committee in support of Heritage Permit Application HP2021-033, under Part IV of the Ontario Heritage Act for the relocation of 398 Wilson Street East, Ancaster (PED21196).

(Carroll/McKee)

That the Delegation from Bob Maton, Ancaster Village Heritage Community, respecting Heritage Permit Application HP2021-033, under Part IV of the Ontario Heritage Act for the relocation of 398 Wilson Street East, Ancaster (PED21196), be received.

CARRIED

For further disposition of this matter, refer to Item 2 and (h)(ii) and (h)(iii)

(i) GENERAL INFORMATION / OTHER BUSINESS (Item 13)

(i) Buildings and Landscapes (Item 13.1)

(Brown/Lunsted)

That the following updates be received:

(a) Endangered Buildings and Landscapes (RED):

(Red = Properties where there is a perceived immediate threat to heritage resources through: demolition; neglect; vacancy; alterations, and/or, redevelopment)

- (i) Tivoli, 108 James Street North, Hamilton (D) – T. Ritchie
- (ii) Andrew Sloss House, 372 Butter Road West, Ancaster (D) – C. Dimitry
- (iii) Century Manor, 100 West 5th Street, Hamilton (D) – G. Carroll
- (iv) 18-22 King Street East, Hamilton (D) – W. Rosart
- (v) 24-28 King Street East, Hamilton (D) – W. Rosart
- (vi) 2 Hatt Street, Dundas (R) – K. Burke

Signs have been posted on the property.

- (vii) James Street Baptist Church, 98 James Street South, Hamilton (D) – J. Brown
- (viii) Long and Bisby Building, 828 Sanatorium Road (D) – G. Carroll
- (ix) 120 Park Street, North, Hamilton (R) – R. McKee
- (x) 398 Wilson Street East, Ancaster (D) – C. Dimitry
- (xi) Lampman House, 1021 Garner Road East, Ancaster (D) – C. Dimitry
- (xii) Cathedral Boys School, 378 Main Street East, Hamilton (R) – T. Ritchie
- (xiii) Firth Brothers Building, 127 Hughson Street North, Hamilton (NOID) – T. Ritchie
- (xiv) Auchmar Gate House, Claremont Lodge 71 Claremont Drive (R) – R. McKee
- (xv) Former Hanrahan Hotel (former) 80 to 92 Barton Street East (I)– T. Ritchie
- (xvi) Television City, 163 Jackson Street West (D) – J. Brown

Alley ways in the area have been cleaned up by various community groups.

- (xvii) 1932 Wing of the Former Mount Hamilton Hospital, 711 Concession Street (R) – G. Carroll
- (xviii) 215 King Street West, Dundas (I) – K. Burke
- (xix) 679 Main Street East, and 85 Holton Street South, Hamilton (Former St. Giles Church) – D. Beland
- (xx) 219 King Street West, Dundas – K. Burke
- (xxi) 216 Hatt Street, Dundas – K. Burke

(b) Buildings and Landscapes of Interest (YELLOW):
(Yellow = Properties that are undergoing some type of change, such as a change in ownership or use, but are not perceived as being immediately threatened)

- (i) Delta High School, 1284 Main Street East, Hamilton (D) – D. Beland
- (ii) 2251 Rymal Road East, Stoney Creek (R) – C. Dimitry
- (iii) Former Valley City Manufacturing, 64 Hatt Street, Dundas (R) – K. Burke
- (iv) St. Joseph's Motherhouse, 574 Northcliffe Avenue, Dundas (ND) – W. Rosart
- (v) Copley Building, 104 King Street West; 56 York Blvd., and 63-76 MacNab Street North (NOI) – G. Carroll
- (vi) Dunington-Grubb Gardens, 1000 Main Street East (within Gage Park) (R) – D. Beland
- (vii) St. Clair Blvd. Conservation District (D) – D. Beland
- (viii) 52 Charlton Avenue West, Hamilton (D) – J. Brown
- (ix) 292 Dundas Street East, Waterdown (R) – L. Lunsted
- (x) Chedoke Estate (Balfour House), 1 Balfour Drive, Hamilton (R) – T. Ritchie
- (xi) Binkley property, 50-54 Sanders Blvd., Hamilton (R) - J. Brown
- (xii) 62 6th Concession East, Flamborough (I) - L. Lunsted
- (xiii) Beach Canal Lighthouse and Cottage (D) – R. McKee
- (xiv) Cannon Knitting Mill, 134 Cannon Street East, Hamilton (R) – T. Ritchie
- (xv) 1 Main Street West, Hamilton (D) – W. Rosart
- (xvi) 54 - 56 Hess Street South, Hamilton (R) – J. Brown

(c) Heritage Properties Update (GREEN):

(Green = Properties whose status is stable)

- (i) Royal Connaught Hotel, 112 King Street East, Hamilton (NOID) – T. Ritchie
- (ii) Auchmar, 88 Fennell Avenue West, Hamilton (D) – R. McKee
- (iii) Treble Hall, 4-12 John Street North, Hamilton (D) – T. Ritchie

- (iv) Former Post Office, 104 King Street West, Dundas (R) – K. Burke
- (v) Rastrick House, 46 Forest Avenue, Hamilton – G. Carroll

The property appears to be up for sale.

- (vi) 125 King Street East, Hamilton (R) – T. Ritchie

(d) Heritage Properties Update (black):

(Black = Properties that HMHC have no control over and may be demolished)

No properties.

CARRIED

(ii) Staff Work Plan as of September 14, 2021 (Item 13.2)

(McKee/Lunsted)

That the Staff Work Plan as of September 14, 2021, be received.

(j) ADJOURNMENT (Item 15)

(Burke/Brown)

That there being no further business, the Hamilton Municipal Heritage Committee, adjourned at 2:18 p.m.

CARRIED

Respectfully submitted,

Alissa Denham-Robinson, Chair
Hamilton Municipal Heritage Committee

Loren Kolar
Legislative Coordinator
Office of the City Clerk



Hamilton

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Planning Division
71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5
Phone: 905-546-2424, Ext. 1202
Fax: 905-540-5611

FILE: HP2021-045

October 14, 2021

Lorne McArthur, Superintendent – Forestry, City of Hamilton
71 Main Street West, Hamilton (Ward 2)

**Re: Heritage Permit Application HP2021-045:
Proposed Removal of Honey Locust Tree at 71 Main Street West, Hamilton
(Ward 2) (By-law No. 06-011)**

Please be advised that pursuant to By-law No. 05-364, as amended by By-law No. 07-322, which delegates the power to consent to alterations to designated property under the *Ontario Heritage Act* to the Director of Planning and Chief Planner, Heritage Permit Application HP2021-045 is approved for the designated property at 71 Main Street West, in accordance with the submitted Heritage Permit application for the following alterations:

- Removal of Honey Locust Tree (DBH 128 cm) located in northeast corner of property; and,
- Replacement with 70mm Kentucky Coffee Tree.

Subject to the following conditions:

- (a) Any minor changes to the plans and elevations following approval shall be submitted, to the satisfaction and approval of the Director of Planning and Chief Planner, prior to submission as part of any application for a Building Permit and / or the commencement of any alterations; and,
- (b) Implementation of the alterations, in accordance with this approval, shall be completed no later than October 31, 2023. If the alterations are not completed by October 31, 2023 then this approval expires as of that date and no alterations shall be undertaken without a new approval issued by the City of Hamilton.

Please note that this property is designated under Part IV of the *Ontario Heritage Act*, and that this permit is only for the above-noted alterations. Any departure from the approved plans and specifications is prohibited, and could result in penalties, as

**Re: Heritage Permit Application HP2021-045: Proposed
removal of Honey Locust Tree at 71 Main Street West,
Hamilton (Ward 2) (By-law No. 06-011)**

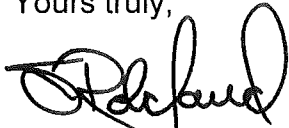
**October 8, 2021
Page 2 of 2**

provided for by the *Ontario Heritage Act*. The terms and conditions of this approval may be appealed to the Ontario Land Tribunal within 30 days of your receipt of this permit.

The issuance of this permit under the *Ontario Heritage Act* is not a waiver of any of the provisions of any By-law of the City of Hamilton, the requirements of the *Building Code Act*, the *Planning Act*, or any other applicable legislation.

We wish you success with your project, and if you have any further questions please feel free to contact Stacey Kursikowski, Cultural Heritage Planner, at 905-546-2424 ext. 1202, or via email at Stacey.Kursikowski@hamilton.ca

Yours truly,



Steve Robichaud, MCIP RPP
Director of Planning and Chief Planner

cc: Stacey Kursikowski, Cultural Heritage Planner
Chantal Costa, Plan Examination Secretary
Bob Nuttall, Acting Manager, Building Inspections
Tamara Reid, Supervisor-Operations and Enforcement
Loren Kolar, Legislative Coordinator
Christine Vernem, Legislative Secretary
Councillor Jason Farr, Ward 2

HERITAGE PERMIT DELEGATED AUTHORITY REPORT – HP2021-045
ADDRESS: 71 Main Street West, Hamilton (City Hall)

Owner: City of Hamilton

Applicant / Agent: Lorne McArthur, Superintendent – Forestry, City of Hamilton

Description of proposed alterations:

- Proposed removal of Honey Locust Tree (DBH 128 cm) located in the northeast corner of property; and,
- Replacement with 70 mm Kentucky Coffee Tree.

Reasons for proposed alterations:

- Tree has extensive internal rot, repeated failures and poses risk to public safety.

Documentation submitted with application:

- Tree Risk Assessment Form; and,
- Map showing location of subject tree.

Staff assessment:

Key factors in the evaluation of alterations affecting a heritage building or its setting are the consideration of:

- **“displacement effects”** (those adverse actions that result in the damage, loss or removal of valued heritage features); and,
- **“disruption effects”** (those actions that result in detrimental changes to the setting or character of a heritage feature).

In the consideration of any Heritage Permit application, staff must assess the impact of the displacement and disruption effects on the heritage resource, particularly in relation to the heritage attributes mentioned in the Designation By-law, in this case By-law No. 06-011.

The applicant proposes to remove the Honey Locust Tree (DBH 128 cm) from the northeast corner of the subject property and install a 70 mm Kentucky Coffee Tree in its place. This work is being done due to extensive internal rot, repeated failures and risk to public safety.

While there will be “displacement effects” as a result of the loss of the mature tree, a replacement tree of substantial size is proposed. The work is seen as a necessity due to the potential risk to the public’s safety as a result of the internal rot.

Minimal "disruption effects" are expected to the heritage context of the property. The replacement tree will be complimentary to the overall landscape of the property and ensure public safety.

Staff are supportive of the proposed work as it will remove the failing tree and prevent further risk to public safety. The replacement will be visually compatible with the overall landscape and character of the property.

Key dates:

Notice of Complete Application: September 15, 2021
Sub-committee meeting date: September 21, 2021

Sub-committee comments and advice:

The Sub-committee considered the application and passed the following motion:

(Alexander/Ritchie)

That the Heritage Permit Review Sub-committee advises that Heritage Permit application HP2021-045 be approved as submitted, subject to the following conditions:

- (a) Any minor changes to the plans and elevations following approval shall be submitted, to the satisfaction and approval of the Director of Planning and Chief Planner, prior to submission as part of any application for a Building Permit and / or the commencement of any alterations; and,
- (b) Implementations of the alterations, in accordance with this approval, shall be completed no later than October 31, 2023. If the alterations are not completed by October 31, 2023, then this approval expires as of that date and no alterations shall be undertaken without a new approval issued by the City of Hamilton.

CARRIED

Final Recommendation:

That the applicant be advised that Heritage Permit application HP2021-045 is approved in accordance with the submitted application, subject to the following conditions:

- (a) That any minor changes to the plans and elevations following approval shall be submitted, to the satisfaction and approval of the Director of Planning and Chief Planner, prior to submission as part of any application for a Building Permit and / or the commencement of any alterations; and,
- (b) Implementations of the alterations, in accordance with this approval, shall be completed no later than October 31, 2023. If the alterations are not completed by October 31, 2023, then this approval expires as of that date and no alterations shall be undertaken without a new approval issued by the City of Hamilton.

Approval:

Staff Approval:



___SM/AF___

Stacey Kursikowski, MCIP, RPP
Cultural Heritage Planner

SPM/MGR Initials

Authorized:



Steve Robichaud, MCIP RPP
Director of Planning and Chief Planner

Designation By-law (By-law No. 06-011)

Landscaped Grounds

Front (North)

- Forecourt together with former reflecting pool, walkways, existing multiple levels and topography, retaining walls, coniferous and deciduous trees;
- Grassed lawn and sycamore trees at the northwest corner of the property; and,
- Public art installation at the northwest corner of the property.



Hamilton

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Phone: 905-546-2424, Ext. 1291
Fax: 905-540-5611

FILE: HP2021-046

October 15, 2021

c/o Walie Taherie
110 King Street East, Hamilton, Royal Connaught
waliet@mtygroup.com

**Re: Heritage Permit Application HP2021-046:
Proposed installation of new signage and louvres at 110 King Street East,
Hamilton (Ward 2) (Notice of Intention to Designate)**

Please be advised that pursuant to By-law No. 05-364, as amended by By-law No. 07-322, which delegates the power to consent to alterations to designated property under the *Ontario Heritage Act* to the Director of Planning and Chief Planner, Heritage Permit application HP2021-046 is approved for the property at 110 King Street East, in accordance with the submitted Heritage Permit application for the following alterations:

- Removal of two storefront glazing panels;
- Installing two new black louvres and a smaller glass panel; and,
- Installing two new exterior signs and one blade sign.

Subject to the following conditions:

- a) Any minor changes to the plans and elevations following approval shall be submitted, to the satisfaction and approval of the Director of Planning and Chief Planner, prior to submission as part of any application for a Building Permit and / or the commencement of any alterations;
- b) Installation of the alterations, in accordance with this approval, shall be completed no later than October 31, 2023. If the alterations are not completed by October 31, 2023, then this approval expires as of that date and no alterations shall be undertaken without a new approval issued by the City of Hamilton;
- c) That the owner provides a detailed drawing of the sign attachment points with the goal of utilizing grout lines for sign attachment points and minimal or no drilling of holes in the limestone cladding to the satisfaction of the Director of Planning and Chief Planner; and,

**Re: Heritage Permit Application HP2021-046:
Proposed installation of new signage and louvres at
110 King Street East, Hamilton (Ward 2) (Notice of
Intention to Designate)**

**October 15,2021
Page 2 of 2**

d) That the proposed signs conform to the City of Hamilton's Sign By-law.

Please note that this property is protected by a Notice of Intention to Designate under Part IV of the *Ontario Heritage Act*, and that this permit is only for the above-noted alterations. Any departure from the approved plans and specifications is prohibited, and could result in penalties, as provided for by the *Ontario Heritage Act*. The terms and conditions of this approval may be appealed to the Ontario Land Tribunal within 30 days of your receipt of this permit.

The issuance of this permit under the *Ontario Heritage Act* is not a waiver of any of the provisions of any By-law of the City of Hamilton, the requirements of the *Building Code Act*, the *Planning Act*, or any other applicable legislation.

We wish you success with your project, and if you have any further questions please feel free to contact Amber Knowles, Cultural Heritage Planner, at 905-546-2424 ext. 1291, or via email at Amber.Knowles@hamilton.ca

Yours truly,



for

Steve Robichaud, MCIP RPP
Director of Planning and Chief Planner

cc: Amber Knowles, Cultural Heritage Planner
Chantal Costa, Plan Examination Secretary
Bob Nuttall, Acting Manager, Building Inspections
Tamara Reid, Supervisor-Operations and Enforcement
Loren Kolar, Legislative Coordinator
Christine Vernem, Legislative Secretary
Councillor Jason Farr, Ward 2

HERITAGE PERMIT DELEGATED AUTHORITY REPORT – HP2021-046
ADDRESS: 110 King Street East, Hamilton, (Royal Connaught)

Owner: Sukhwinder Singh Koura
Applicant / Agent: Walie Taherie

Description of proposed alterations:

- Removal of two storefront glazing panels, replaced with two new black louvers and a smaller glass panel; and,
- Installation of two new exterior signs and one blade sign.

Reasons for proposed alterations:

- Setting up unit for new tenancy

Documentation submitted with application:

- Images indicating glazing replacement locations; and,
- Signage details.

Staff assessment:

In accordance with Section 30(2) of the *Ontario Heritage Act* an application to alter a property subject to a Notice of Intention to Designate (NOID) must receive a Heritage Permit for any proposal to alter or demolish a building. A NOID was issued on November 6, 2020 and is subject to an appeal to the Ontario Land Tribunal.

Key factors in the evaluation of alterations affecting a heritage building or its setting are the consideration of:

- **“displacement effects”** (those adverse actions that result in the damage, loss or removal of valued heritage features); and,
- **“disruption effects”** (those actions that result in detrimental changes to the setting or character of a heritage feature).

In the consideration of any Heritage Permit application, staff must assess the impact of the displacement and disruption effects on the heritage resource, particularly in relation to the heritage attributes mentioned in the Notice of Intention to Designate.

The applicant proposes to remove two storefront glazing panels and replace them with two new black louvers and a smaller glass panel. Additionally, two new exterior signs will be installed on the north and west facing walls, with a blade sign protruding 24” out of the north wall similar to that of adjacent storefront signage on the north façade.

Minimal “disruption effects” are expected to the heritage context of the property. The exterior signs will be installed where adjacent storefront signage already exists along

the north and west façade. The fenestration pattern of the storefronts will remain the same after the installation of the louvers and the change is reversible.

There will be minimal “displacement effects” to the subject property as a result of this work. Drill holes from previous sign installations may be available for reuse to mitigate drilling into the building’s original limestone façade. As a condition of approval, the owner will be required to submit detailed drawing(s) of the sign attachment to ensure there are minimal impacts to the limestone cladding.

Staff are supportive of the proposed work as it will not detract from the heritage features of the property.

Key dates:

Notice of Complete Application: September 17, 2021
Sub-committee meeting date: September 21, 2021

Sub-committee comments and advice:

The Sub-committee considered the application and passed the following motion:

(Carroll/Ritchie)

That the Heritage Permit Review Sub-committee advises that Heritage Permit Application HP2021-046 be approved as submitted, subject to the following conditions:

- a) Any minor changes to the plans and elevations following approval shall be submitted, to the satisfaction and approval of the Director of Planning and Chief Planner, prior to submission as part of any application for a Building Permit and / or the commencement of any alterations;
- b) Installation of the alterations, in accordance with this approval, shall be completed no later than October 31, 2023. If the alterations are not completed by October 31, 2023, then this approval expires as of that date and no alterations shall be undertaken without a new approval issued by the City of Hamilton;
- c) That the applicant or its sign contractor provide the city a detailed drawing of the sign attachment points with the goal of utilizing grout lines for sign attachment points and minimal or no drilling of holes in the limestone cladding; and,
- d) That the proposed signs conform to the City of Hamilton’s Sign By-law.

CARRIED

Final Recommendation:

That the applicant be advised that Heritage Permit application HP2021-046 is approved in accordance with the submitted application, subject to the following conditions:

- a) That any minor changes to the plans and elevations following approval shall be submitted, to the satisfaction and approval of the Director of Planning and Chief Planner, prior to submission as part of any application for a Building Permit and / or the commencement of any alterations;
- b) Installation of the alterations, in accordance with this approval, shall be completed no later than October 31, 2023. If the alterations are not completed by October 31, 2023, then this approval expires as of that date and no alterations shall be undertaken without a new approval issued by the City of Hamilton;
- c) That the owner provides a detailed drawing of the sign attachment points with the goal of utilizing grout lines for sign attachment points and minimal or no drilling of holes in the limestone cladding to the satisfaction of the Director of Planning and Chief Planner; and,
- d) That the proposed signs conform to the City of Hamilton's Sign By-law.

Approval:

Staff Approval: Amber Knowles _____ SM_____

Amber Knowles
Cultural Heritage Planner
SPM/MGR Initials

Authorized: Ohé Azirain
for _____

Steve Robichaud, MCIP RPP
Director of Planning and Chief Planner

Reasons for Designation – Notice of Intention to Designate

Heritage attributes of the front façade in the 1931 addition include:

- The brown polished granite foundation veneer;
- The limestone ground floor articulated by its six bays;

Heritage attributes of the west elevation include

- The brown polished granite foundation veneer;
- The limestone ground floor.



Hamilton

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Fax: 905-540-5611

FILE: HP2021-047

October 15, 2021

Patrick Hale & Alissa Pellizzari-Hale
220 St Clair Boulevard
Hamilton, ON
L8M 2P1

**Re: Heritage Permit Application HP2021-047:
Replacement and painting of porch columns at 220 St. Clair Boulevard,
Hamilton (Ward 3) (By-law No.92-140) (St. Clair Boulevard HCD)**

Please be advised that pursuant to By-law No. 05-364, as amended by By-law No. 07-322, which delegates the power to consent to alterations to designated property under the *Ontario Heritage Act* to the Director of Planning and Chief Planner, Heritage Permit application HP2021-047 is approved for the designated property at 220 St. Clair Boulevard, in accordance with the submitted Heritage Permit application for the following alterations:

- Replacement of porch columns; and,
- Painting columns same colour as windows (Windswept Smoke).

Subject to the following conditions:

- a) Any minor changes to the plans and elevations following approval shall be submitted, to the satisfaction and approval of the Director of Planning and Chief Planner, prior to submission as part of any application for a Building Permit and / or the commencement of any alterations;
- b) Installation of the alterations, in accordance with this approval, shall be completed no later than October 31, 2023. If the alterations are not completed by October 31, 2023, then this approval expires as of that date and no alterations shall be undertaken without a new approval issued by the City of Hamilton; and,
- c) The existing capitals will be salvaged and re-installed on the new columns, where possible. Where this is not possible, final specifications for the capital design shall be submitted, to the satisfaction and approval of the Director of Planning and Chief Planner, prior to the commencement of the installation of the capitals.

**Re: Heritage Permit Application HP2021-047:
Replacement and painting of porch columns at 220 St.
Clair Boulevard, Hamilton (Ward 3) (By-law No.92-140)
(St. Clair Boulevard HCD)**

**October 15, 2021
Page 2 of 2**

Please note that this property is designated under Part V of the *Ontario Heritage Act*, and that this permit is only for the above-noted alterations. Any departure from the approved plans and specifications is prohibited, and could result in penalties, as provided for by the *Ontario Heritage Act*. The terms and conditions of this approval may be appealed to the Ontario Land Tribunal within 30 days of your receipt of this permit.

The issuance of this permit under the *Ontario Heritage Act* is not a waiver of any of the provisions of any By-law of the City of Hamilton, the requirements of the *Building Code Act*, the *Planning Act*, or any other applicable legislation.

We wish you success with your project, and if you have any further questions please feel free to contact Amber Knowles, Cultural Heritage Planner, at 905-546-2424 ext. 1291, or via email at Amber.Knowles@hamilton.ca

Yours truly,

for 

Steve Robichaud, MCIP RPP
Director of Planning and Chief Planner

cc: Amber Knowles, Cultural Heritage Planner
Chantal Costa, Plan Examination Secretary
Bob Nuttall, Acting Manager, Building Inspections
Tamara Reid, Supervisor-Operations and Enforcement
Loren Kolar, Legislative Coordinator
Christine Vernem, Legislative Secretary
Councillor Nrinder Nann, Ward 3

HERITAGE PERMIT DELEGATED AUTHORITY REPORT – HP2021-047
ADDRESS: 220 St. Clair Boulevard, Hamilton (Ward 3)

Owner/Applicant: Patrick Hale and Alissa Pellizzari-Hale

Description of proposed alterations:

- Replacement of porch columns; and,
- Painting columns same colour as windows (Windswept Smoke).

Reasons for proposed alterations:

- Porch columns have deteriorated and need replacement.

Documentation submitted with application:

- Images of existing condition; and,
- Proposed column design.

Staff assessment:

Key factors in the evaluation of alterations affecting a heritage building or its setting are the consideration of:

- **“displacement effects”** (those adverse actions that result in the damage, loss or removal of valued heritage features); and,
- **“disruption effects”** (those actions that result in detrimental changes to the setting or character of a heritage feature).

In the consideration of any Heritage Permit application, staff must assess the impact of the displacement and disruption effects on the heritage resource, particularly in relation to the heritage attributes mentioned in the Designation By-law, in this case the St. Clair Boulevard Heritage Conservation District (HCD) Plan (By-law No. 92-140).

The applicant proposes to replace the porch columns with ones of similar profile (tapered), and to paint the columns in Windswept Smoke to match windows approved as part of approved HP2021-026. This work is being done due to deterioration of the columns and structural integrity of the porch. The applicants are proposing to re-install the existing unique capitals of the columns onto the new columns. If this is deemed infeasible once the columns are removed and inspected, final specifications for new capitals will be submitted for staff review as a condition of approval.

Minimal “disruption effects” are expected to the heritage context of the property. The porch columns will be compatible with the overall character of the HCD and use comparable materials to the original columns. The unique capitals of the columns will be re-installed, if possible, or appropriate replacement capitals will be installed subject to

staff review and approval. The proposed paint colour will complement the colour of the new windows to be installed as part of approved HP2021-026. The chosen colour will be sympathetic to the existing and neighbouring dwellings.

There will be minimal “displacement effects” to the subject property as a result of this work. The proposed columns are to be constructed with materials complimentary to the St. Clair Boulevard HCD and as the existing columns are deteriorating, the change will increase visual appeal.

Staff are supportive of the proposed work as it will repair the designated features of the property and will be visually compatible with the previously proposed work on this property.

Key dates:

Notice of Complete Application: September 17, 2021
Sub-committee meeting date: September 21, 2021

Sub-committee comments and advice:

The Sub-committee considered the application and passed the following motion:

(Priamo/Wiegand)

That the Heritage Permit Review Sub-committee advises that Heritage Permit application HP2021-047 be approved as submitted, subject to the following conditions:

- a) Any minor changes to the plans and elevations following approval shall be submitted, to the satisfaction and approval of the Director of Planning and Chief Planner, prior to submission as part of any application for a Building Permit and / or the commencement of any alterations;
- b) Implementation of the alterations, in accordance with this approval, shall be completed no later than October 31, 2023. If the alterations are not completed by October 31, 2023, then this approval expires as of that date and no alterations shall be undertaken without a new approval issued by the City of Hamilton; and,
- c) That the applicant provides the city an updated design that includes a capital at the top of each column. The Sub Committee would support either wood or plaster capitals and additional column designs (such as Doric columns). The Sub committee allowed the applicant flexibility in the material and design of the capital.

CARRIED

Final Recommendation:

That the applicant be advised that Heritage Permit application HP2021-047 is approved in accordance with the submitted application, subject to the following conditions:

- a) That any minor changes to the plans and elevations following approval shall be submitted, to the satisfaction and approval of the Director of Planning and Chief Planner, prior to submission as part of any application for a Building Permit and / or the commencement of any alterations; and,
- b) Implementation of the alterations, in accordance with this approval, shall be completed no later than October 31, 2023. If the alterations are not completed by October 31, 2023, then this approval expires as of that date and no alterations shall be undertaken without a new approval issued by the City of Hamilton.
- c) The existing capitals will be salvaged and re-installed on the new columns, where possible. Where this is not possible, final specifications for the capital design shall be submitted, to the satisfaction and approval of the Director of Planning and Chief Planner, prior to the commencement of the installation of the capitals.

Approval:

Staff Approval: Amber Knowles SM _____
Amber Knowles SPM/MGR Initials
Cultural Heritage Planner

Authorized: Ohé Azirein
for Steve Robichaud, MCIP RPP
Director of Planning and Chief Planner

Excerpt from St. Clair Boulevard HCD Plan

4.1 Exterior Woodwork and Decorative Trim:

In undertaking repairs use the gentlest means to strip or clean wood or finishes, being mindful not to remove or harm sound wood. Small cosmetic repairs can often be accomplished with compatible wood fillers which are then painted. More serious problems may require wood insertions or splices. When total decay has occurred, new wood should be used to duplicate the original structural or decorative element. Make sure a competent carpenter is hired to undertake the work. Maintenance of wood elements will require regular inspections to ensure that there is no damage from excessive moisture - wood's number one enemy.



Hamilton

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Fax: 905-540-5611

FILE: HP2021-049

September 24, 2021

Daniel Perl
djperl@rogers.com

Re: Heritage Permit Application HP2021-049: Proposed alteration of roof and eaves at 135-137 Strathcona Avenue North, Hamilton (Ward 1), Designated Under Part IV of the *Ontario Heritage Act* (By-law No. 96-148)

Please be advised that pursuant to By-law No. 05-364, as amended by By-law No. 07-322, which delegates the power to consent to alterations to designated property under the *Ontario Heritage Act* to the Director of Planning and Chief Planner, Heritage Permit application HP2021-049 is approved for the designated property at 135-137 Strathcona Avenue North, Hamilton, in accordance with the submitted Heritage Permit application for the following alterations:

- Replace roof shingles of Sunday School building with metal shingles to match roofing at church building on the same property; and,
- Add steel covers to existing eaves.

Subject to the following conditions:

- a) Any minor changes to the plans and elevations following approval shall be submitted, to the satisfaction and approval of the Director of Planning and Chief Planner, prior to submission as part of any application for a Building Permit and / or the commencement of any alterations; and,
- b) Installation of the alterations, in accordance with this approval, shall be completed no later than September 30, 2023. If the alterations are not completed by September 30, 2023, then this approval expires as of that date and no alterations shall be undertaken without a new approval issued by the City of Hamilton.

Please note that this property is designated under Part IV of the *Ontario Heritage Act*, and that this permit is only for the above-noted alterations. Any departure from the approved plans and specifications is prohibited, and could result in penalties, as

Re: Heritage Permit Application HP2021-049: Proposed alteration of roof and eaves at 135-137 Strathcona Avenue North, Hamilton (Ward 1), Designated Under Part IV of the *Ontario Heritage Act* (By-law No. 96-148)

**September 24, 2021
Page 2 of 2**

provided for by the *Ontario Heritage Act*. The terms and conditions of this approval may be appealed to the Ontario Land Tribunal within 30 days of your receipt of this permit.

The issuance of this permit under the *Ontario Heritage Act* is not a waiver of any of the provisions of any By-law of the City of Hamilton, the requirements of the *Building Code Act*, the *Planning Act*, or any other applicable legislation.

We wish you success with your project, and if you have any further questions please feel free to contact Amber Knowles, Cultural Heritage Planner, at 905-546-2424 ext. 1291, or via email at Amber.Knowles@hamilton.ca

Yours truly,

Steve Robichaud, MCIP RPP
Director of Planning and Chief Planner

cc: Amber Knowles, Cultural Heritage Planner
Chantal Costa, Plan Examination Secretary
Bob Nuttall, Acting Manager, Building Inspections
Tamara Reid, Supervisor-Operations and Enforcement
Loren Kolar, Legislative Coordinator
Christine Vernem, Legislative Secretary
Councillor Maureen Wilson, Ward 1

HERITAGE PERMIT DELEGATED AUTHORITY REPORT – HP2021-049
ADDRESS: 135-137 Strathcona Avenue North, Hamilton

Owner: Hamilton Christian Fellowship
Applicant / Agent: Daniel Perl

Description of proposed alterations:

- Replace roof shingles of Sunday School building with metal shingles to match roofing at church building on the same property; and,
- Add steel covers to existing eaves.

Reasons for proposed alterations:

- Prevent leaking; and,
- Prevent growth in eaves.

Documentation submitted with application:

- Images of existing roof at Sunday School building;
- Images of existing roof at church building (proposed new roof at Sunday School Building to match);
- Shingle sample;
- Covered eaves specification; and,
- Images of existing and proposed roof venting.

Staff assessment:

Key factors in the evaluation of alterations affecting a heritage building or its setting are the consideration of:

- **“displacement effects”** (those adverse actions that result in the damage, loss or removal of valued heritage features); and,
- **“disruption effects”** (those actions that result in detrimental changes to the setting or character of a heritage feature).

In the consideration of any Heritage Permit application, staff must assess the impact of the displacement and disruption effects on the heritage resource, particularly in relation to the heritage attributes mentioned in the Designation By-law, in this case By-law No. 96-148.

The applicant proposes to replace the roof of the Sunday School building with a metal roof to match the roof of the church building also on site and to install covers on the existing eaves.

Minimal “disruption effects” are expected to the heritage context of the property. The proposed roof is of compatible material and colour and corresponds with the other protected heritage building on this lot. The eave covers are located within the eavestroughs and not visible.

There will be minimal “displacement effects” to the subject property as a result of this work. There will be no loss or removal of heritage features of the property. The current asphalt roofing of the Sunday School is not a heritage feature and the design of the roof will not negatively affect the significant façades of the Sunday School building. Additionally, the eave covers will not be visible and will limit the growth of vegetation in the eavestroughs which may mitigate negative affects on the heritage building.

Staff are supportive of the application as the roof replacement and eave covers will help mitigate any negative affects on the Sunday School building by preventing water damage and vegetative growth. Additionally, these alterations are visually minimal.

Key dates:

Notice of Complete Application: September 17, 2021

Sub-committee meeting date: September 21, 2021

Sub-committee comments and advice:

The Sub-committee considered the application and passed the following motion:

(MacLaren / Burke)

That the Heritage Permit Review Sub-committee advises that Heritage Permit Application HP2021-049 be approved as submitted, subject to the following conditions:

- a) Any minor changes to the plans and elevations following approval shall be submitted, to the satisfaction and approval of the Director of Planning and Chief Planner, prior to submission as part of any application for a Building Permit and / or the commencement of any alterations; and,
- b) Installation of the alterations, in accordance with this approval, shall be completed no later than September 30, 2023. If the alterations are not completed by September 30, 2023, then this approval expires as of that date and no alterations shall be undertaken without a new approval issued by the City of Hamilton.

CARRIED

Final Recommendation:

That the applicant be advised that Heritage Permit Application HP2021-049 is approved in accordance with the submitted application, subject to the following conditions:

- a) That any minor changes to the plans and elevations following approval shall be submitted, to the satisfaction and approval of the Director of Planning and Chief

Reasons for Designation – / HCD Excerpts

Designated Features

Important to the preservation of St. George's Anglican Church are the original features of all four facades of the church, including the brick masonry walls and stone foundation, buttresses, belfry, pointed-arched windows with stone sills, the stained glass windows, doors; the interior sanctuary, including the walls, windows, interior roof trusses and original wood panelling; and all four exterior facades of the adjacent Sunday school, including walls, windows, and the interior open space with its classrooms and mezzanine.

MINUTES OF THE HAMILTON HERITAGE PERMIT REVIEW SUB-COMMITTEE

Tuesday, August 31, 2021

Present: Karen Burke, Graham Carroll, Diane Dent, Charles Dimitry (Chair), Andy MacLaren, Carol Priamo, Steve Wiegand

Absent with Regrets: Melissa Alexander, Tim Ritchie (Vice Chair), Stefan Spolnik

Attending Staff: Stacey Kursikowski, Shannon McKie, Steve Robichaud

Applicant Representatives:

Nicolas Barrette, GBCA Architects
Christopher Borgal, GBCA Architects
Ralph DiCienzo, Lantek Environmental
Brenda Khes, GSP Group Inc.
Giovanni Fiscaletti, Spallacci Homes
Sergio Manchia, Urban Solutions
Spencer McKay, Urban Solutions
Nebojsa Ojdrovic, Ojdrovic Engineering

Meeting was called to order by the Chairman, Charles Dimitry, at 5:00pm

1) Approval of Agenda:

(Carroll/Priamo)

That the Agenda for August 31, be approved as presented.

2) Approval of Minutes from Previous Meetings:

(Priamo/MacLaren)

That the Minutes of August 17, 2021, be approved as presented.

3) Heritage Permit Applications

a. **HP2021-032: 398 Wilson Street East, Ancaster**

- Scope of work:
 - Proposed relocation of existing stone heritage building (Marr House – 398 Wilson Street East) to rear portion of amalgamated site (392-412 Wilson Street East)

- Reason for work:
 - Comprehensive redevelopment of the Site, while providing for the long-term conservation of the heritage dwelling (from B. Khes cover letter)
 - Remediation of the property to address subsurface soils and groundwater contamination on the Site (from B. Khes cover letter)

The above listed parties represented the property owners and spoke to the Sub-committee at the permit review.

The Sub-committee considered the application and together with input from the applicant and advice from staff, passed the following motions:

(Carroll/Priamo)

The Heritage Permit Review Sub-committee advises that Heritage Permit application HP2021-032 not be approved.

(Burke/Dent)

The Heritage Permit Review Sub-committee recommends that, after site remediation, the Marr Phillipa Building remains on the Wilson Street East streetscape either where it is located currently or as close as possible while still remaining on the Wilson Street East streetscape.

4) **Adjournment:** Meeting was adjourned at 7:00 pm

(MacLaren/Wiegand)

That the meeting be adjourned.

5) **Next Meeting:** Tuesday, September 21, 2021 from 5:00 – 8:30pm

MINUTES OF THE HAMILTON HERITAGE PERMIT REVIEW SUB-COMMITTEE

Tuesday, September 21, 2021

Present: Melissa Alexander, Karen Burke, Graham Carroll, Charles Dimitry (Chair), Andy MacLaren, Carol Priamo, Tim Ritchie (Vice Chair), Stefan Spolnik, Steve Wiegand

Attending Staff: Amber Knowles, Julian Lee, Stacey Kursikowski, Chloe Richer, Charlie Toman

Absent with Regrets: Diane Dent

Meeting was called to order by the Chairman, Charles Dimitry, at 5:00pm

1) Approval of Agenda:

(Carroll/Spolnik)

That the Agenda for September 21, 2021 be approved as presented.

2) Approval of Minutes from Previous Meetings:

(MacLaren/Ritchie)

That the Minutes of August 31, 2021, be approved as presented.

3) Heritage Permit Applications

a. **HP2021-044: 983 Beach Boulevard, Hamilton (Beach Boulevard HCD)**

- Scope of work:
 - Proposed demolition of existing dwelling due to unforeseen structural issues
 - Rebuild exact design and footprint previously approved under HP2019-027

- Reason for work:
 - Structural issues as a result of compromised foundation and structural integrity of original portion of dwelling

Terri Laan, a representative from the builder, and Stephanie Mah and Joey Giaimo, heritage consultants, represented the property owner and spoke to the Sub-committee at the permit review.

The Sub-committee considered the application and together with input from the applicant and advice from staff, passed the following motion:

(Carroll/MacLaren)

That the Heritage Permit Review Sub-committee advises that Heritage Permit application HP2021-044 be consented to, subject to the following conditions:

- a) That material specifications for the wood cladding intended for the original dwelling and front of the new garage and cladding for the proposed addition be consistent with the Hamilton Beach HCD guidelines and submitted for review, to the satisfaction and approval of the Director of Planning and Chief Planner, prior to submission as part of any application for a Building Permit and / or the commencement of any alterations.

- b) Installation of the alterations, in accordance with this approval, shall be completed no later than October 31, 2023. If the alteration(s) are not completed by October 31, 2023, then this approval expires as of that date and no alterations shall be undertaken without a new approval issued by the City of Hamilton.

- c) That the applicant salvage and integrate the leaded glass window in the front gable into the new dwelling.

b. HP2021-045: 71 Main Street West, Hamilton

- Scope of work:
 - Proposed removal of Honey Locust Tree (DBH 128 cm) located in the northeast corner of property
 - Replacement with 70mm Kentucky Coffee Tree

- Reason for work:
 - Tree has extensive internal rot, repeated failures and poses risk to public safety

Stacey Kursikowski represented the City of Hamilton and spoke to the Sub-committee at the permit review.

The Sub-committee considered the application and together with input from the applicant and advice from staff, passed the following motion:

(Alexander/Ritchie)

That the Heritage Permit Review Sub-committee advises that Heritage Permit application HP2021-045 be consented to, subject to the following conditions:

- a) That any minor changes to the plans and elevations following approval shall be submitted, to the satisfaction and approval of the Director of Planning and Chief Planner, prior to submission as part of any application for a Building Permit and / or the commencement of any alterations; and,

- b) Installation of the alterations, in accordance with this approval, shall be completed no later than October 31, 2023. If the alteration(s) are not completed by October 31, 2023, then this approval expires as of that date and no alterations shall be undertaken without a new approval issued by the City of Hamilton.

c. HP2021-046: 110 King Street East, Hamilton

- Scope of work:
 - Removal of two storefront glazing panels, replaced with two new black louvers and a smaller glass panel
 - Two new exterior sign and one blade sign

- Reason for work:
 - Set up unit for new tenancy

Walie Taherie represented the restaurant owner and spoke to the sub committee at the permit review.

The Sub-committee considered the application and together with input from the applicant and advice from staff, passed the following motion:

(Carroll/Ritchie)

That the Heritage Permit Review Sub-committee advises that Heritage Permit application HP2021-046 be consented to, subject to the following conditions:

- a) That any minor changes to the plans and elevations following approval shall be submitted, to the satisfaction and approval of the Director of Planning and Chief Planner, prior to submission as part of any application for a Building Permit and / or the commencement of any alterations; and,
- b) Installation of the alterations, in accordance with this approval, shall be completed no later than October 31, 2023. If the alteration(s) are not completed by October 31, 2023, then this approval expires as of that date and no alterations shall be undertaken without a new approval issued by the City of Hamilton.
- c) That the applicant or its sign contractor provide the city a detailed drawing of the sign attachment points with the goal of utilizing grout lines for sign attachment points and minimal or no drilling of holes in the limestone cladding.
- d) That the proposed signs conform to the City of Hamilton's Sign By-law.

d. HP2021-049: 137 Strathcona Avenue North, Hamilton

- Scope of work:
 - Replace roof shingles of 10 Tom Street with metal shingles to match roofing at church building at 135-7 Strathcona Ave N
 - Add metal covers to eavestroughs

- Reason for work:
 - Prevent leaking
 - Prevent growth in eaves

Keith Tuplin, represented the church and spoke to the Sub-committee at the review.

The Sub-committee considered the application and together with input from the applicant and advice from staff, passed the following motion:

(MacLaren/Burke)

That the Heritage Permit Review Sub-committee advises that Heritage Permit application HP2021-049 be consented to, subject to the following conditions:

- a) Any minor changes to the plans and elevations following approval shall be submitted, to the satisfaction and approval of the Director of Planning and Chief Planner, prior to submission as part of any application for a Building Permit and / or the commencement of any alterations;

- b) Implementation of the alterations, in accordance with this approval, shall be completed no later than October 31, 2023. If the alterations are not completed by October 31, 2023, then this approval expires as of that date and no alterations shall be undertaken without a new approval issued by the City of Hamilton.

e. HP2021-047: 220 St. Clair Boulevard, Hamilton (St. Clair HCD)

- Scope of work:
 - Replace porch columns with ones of similar profile (i.e. tapered) but streamlined capital
 - Paint columns same colour as windows (Windswept Smoke)
- Reason for work:
 - Porch columns have deteriorated and need replacement

Alisa & Patrick Hale, the property owners, spoke to the Sub-committee at the review.

The Sub-committee considered the application and together with input from the applicant and advice from staff, passed the following motion:

(Priamo/Wiegand)

That the Heritage Permit Review Sub-committee advises that Heritage Permit application HP2021-047 be consented to, subject to the following conditions:

- a) Any minor changes to the plans and elevations following approval shall be submitted, to the satisfaction and approval of the Director of Planning and Chief Planner, prior to submission as part of any application for a Building Permit and / or the commencement of any alterations;
- b) Implementation of the alterations, in accordance with this approval, shall be completed no later than October 31, 2023. If the alterations are not completed by October 31, 2023, then this approval expires as of that date and no alterations shall be undertaken without a new approval issued by the City of Hamilton.
- c) That the applicant provides the city an updated design that includes a capital at the top of each column. The Sub Committee would support either wood or plaster capitals and additional column designs (such as Doric columns). The Sub committee allowed the applicant flexibility in the material and design of the capital.

f. HP2021-043: 19 Mill Street South, Waterdown (Mill Street HCD)

- Scope of work:
 - Demolition of circa 1980 detached garage (wood construction with vinyl siding)

- Reason for work:
 - The location of the garage makes it difficult for busses to enter and exit the property
 - Ongoing issue of the garage being broken into

Shawn Madley, represented James Attridge, the property owner, and spoke to the Sub-committee at the review.

The Sub-committee considered the application and together with input from the applicant and advice from staff, passed the following motion:

(Spolnik/MacLaren)

That the Heritage Permit Review Sub-committee advises that Heritage Permit application HP2021-043 be consented to, subject to the following conditions:

- a) Implementation of the alterations, in accordance with this approval, shall be completed no later than October 31, 2023. If the alterations are not completed by October 31, 2023, then this approval expires as of that date and no alterations shall be undertaken without a new approval issued by the City of Hamilton.

Though it was not part of the motion moved by the Sub committee, a recommendation was made for a fencing option to screen the transportation vehicles and maintain the street view after the garage is demolished.

g. HP2021-048: 920 Beach Boulevard (Beach Boulevard HCD)

- Scope of work:
 - Pave the north section of the property and a new recently graded pad to the south, leaving 37% of the property grass covered/natural (769 sf paved out of 1219 sf).

- Reason for work:
 - The building design does not allow for parking at the rear or side as the primary driveway is too narrow beside the house due to fence and air conditioner constraints.

Colleen and Dave Connor, the property owners, spoke to the Subcommittee at the review.

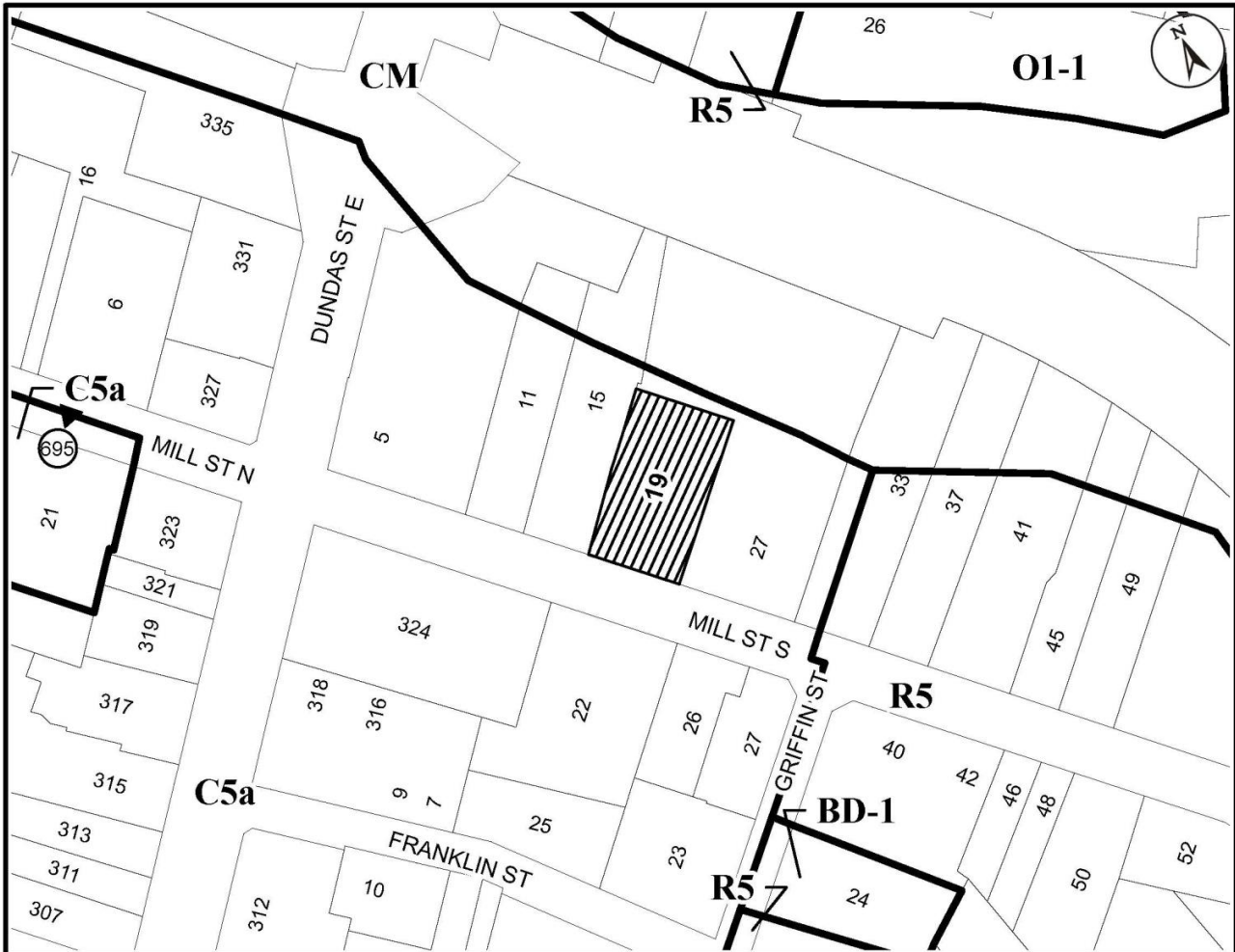
After discussion of various options for the property to maintain the heritage character of the Beach Boulevard HCD, including the use of permeable paving materials, the property owners deferred its application to a future meeting.

4) **Adjournment:** Meeting was adjourned at 7:45 pm

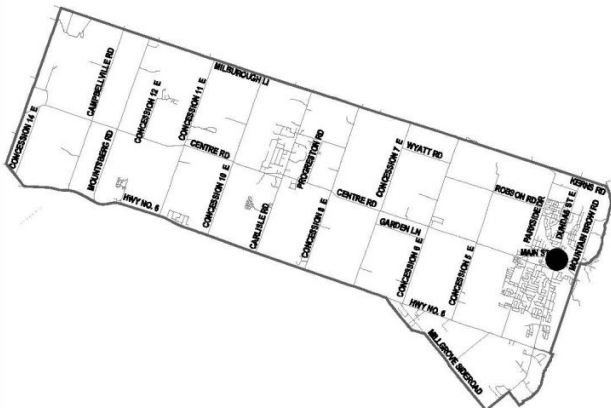
(MacLaren/Burke)

That the meeting be adjourned.

5) **Next Meeting:** Tuesday, October 19, 2021 from 5:00 – 8:30pm



● Site Location



Key Map - Ward 15

Location Map



Hamilton

PLANNING AND ECONOMIC DEVELOPMENT DEPARTMENT

File Name/Number:
HP2021-043

Date:
September 24, 2021

Appendix "A"

Scale:
N.T.S

Planner/Technician:
CR/AL

Subject Property

 19 Mill Street South

THE CORPORATION OF THE TOWN OF FLAMBOROUGH

BY-LAW 96- 34-H

A by-law to designate an area of the Town of Flamborough as a Heritage Conservation District (being the Mill Street Heritage Conservation District) under Section 41(1) of the Ontario Heritage Act, RSO 1990, c.0.18

WHEREAS, Part V of the Ontario Heritage Act, RSO 1990, c.0.18 as amended, contains provisions relating to heritage conservation districts;

AND, WHEREAS, Council under Section 40 of Part V of the said Ontario Heritage Act has by by-law defined a part of the Town of Flamborough as an area to be examined for future designation as a heritage conservation district;

AND, WHEREAS, the examination of that part of the Town of Flamborough defined has now been completed;

AND, WHEREAS, under Section 41 of the said Ontario Heritage Act where there is in effect in a municipality an official plan that contains provisions relating to the establishment of heritage conservation districts, Council may by by-law designate any defined area as a heritage conservation district;

AND, WHEREAS, there is in effect in the Town of Flamborough an official plan that contains provisions relating to the establishment of heritage conservation districts;


THE COUNCIL ENACTS AS FOLLOWS

1. The area shown on Schedule 'A' attached hereto is hereby designated as a Heritage Conservation District, being the Mill Street Heritage Conservation District, except those properties shown in hatch marks on Schedule 'A' which have previously been designated under Part IV of the Ontario Heritage Act.
2. This by-law does not come into force until approved by the Ontario Municipal Board.

READ AND PASSED IN COUNCIL THIS 27th DAY OF May, 1996.

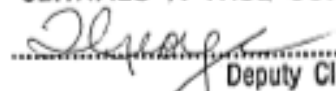


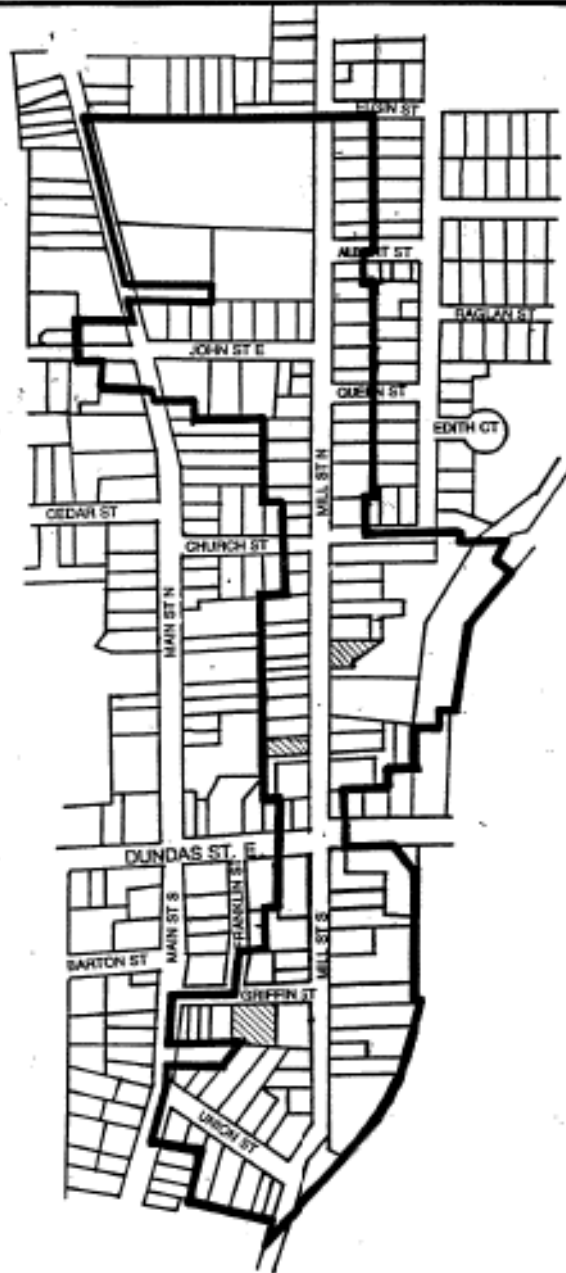
MAYOR



CLERK

CERTIFIED A TRUE COPY


.....
Deputy Clerk



MILL STREET
HERITAGE CONSERVATION
DISTRICT
Town of Flamborough

MILL STREET HERITAGE
CONSERVATION DISTRICT
BOUNDARY

— BOUNDARY LINE

▨ PART IV DESIGNATED
PROPERTIES (EXEMPTED)

THIS IS SCHEDULE 'A' TO
BY-LAW NO. 96-34-H
FOR THE MILL STREET
HERITAGE CONSERVATION
DISTRICT



Exterior of Garage, 19 Mill Street South, Waterdown
City of Hamilton 2021



Interior of Garage, 19 Mill Street South, Waterdown
City of Hamilton 2021



**Interior of Garage (Roof), 19 Mill Street South, Waterdown
City of Hamilton 2021**



**Interior of Garage (Rear), 19 Mill Street South, Waterdown
City of Hamilton 2021**



Exterior of Garage and Concrete Pad, 19 Mill Street South, Waterdown
City of Hamilton 2021



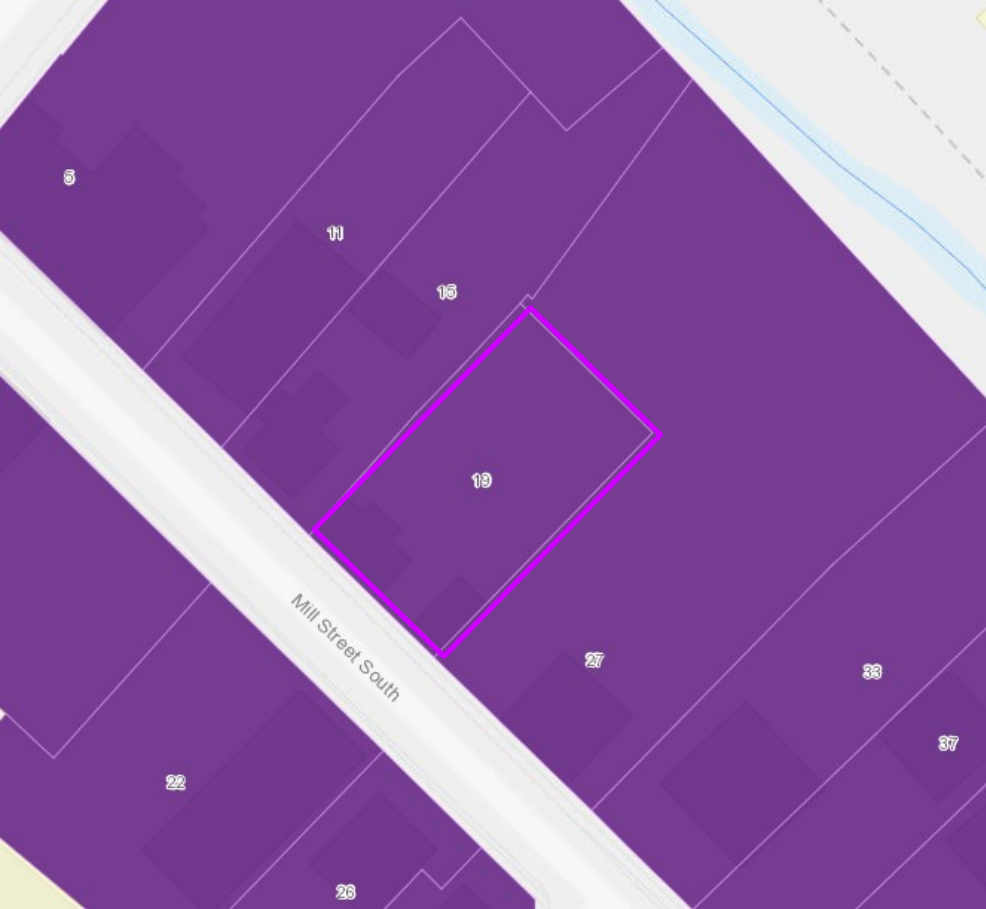
HERITAGE PERMIT APPLICATION HP2021-043,
UNDER PART V OF THE *ONTARIO HERITAGE ACT*,
FOR DEMOLITION OF A CIRCA 1980S DETACHED
GARAGE AT 19 MILL STREET SOUTH,
FLAMBOROUGH (WARD 15)

October 29, 2021

HP2021-043 – 19 Mill Street South (Flamborough)



HP2021-043 – 19 Mill Street South (Flamborough)



HP2021-043 – 19 Mill Street South (Flamborough)

Scope of work:

- Demolition of circa 1980 detached garage (wood construction with vinyl siding)

Reason for work:

- The location of the garage makes it difficult for busses to enter and exit the property
- Ongoing issue of the garage being broken into

HP2021-043 – 19 Mill Street South (Flamborough)

Relevant Bylaw Excerpt: Mill Street HCD

4.2.2 Features and Spaces Around Buildings

Keep parking areas and outbuildings including garages and utilities such as heat pumps and satellite dishes to the side or rear in traditional service areas.

4.4 Alterations to Non-Heritage Buildings

Locate new garages and parking spaces in unobtrusive areas, normally to the rear and side yards.

5.4 Hedges and Fences

Several properties within the district are defined by low ornamental fences of wood or iron or hedges of either deciduous or coniferous shrubs.

HP2021-043 – 19 Mill Street South (Flamborough)



HP2021-043 – 19 Mill Street South (Flamborough)



HP2021-043 – 19 Mill Street South (Flamborough)

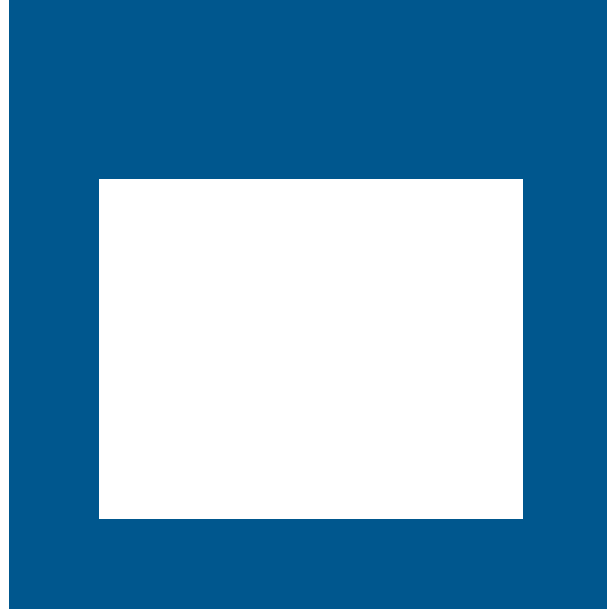
Heritage Permit Review Sub-Committee Consultation (HPRS)

- Reviewed application at HPRS meeting on **September 21, 2021**.
- The HPRS recommended that the application be **approved**.
- In addition, the HPRS recommended a fence be erected at the location of the garage to screen the transportation vehicles visible on site.

HP2021-043 – 19 Mill Street South (Flamborough)

Recommendation

- Implementation of the alterations, in accordance with this approval, shall be completed no later than November 30, 2023. If the alterations are not completed by November 30, 2023, then this approval expires as of that date and no alterations shall be undertaken without a new approval issued by the City of Hamilton;
- That the property owner shall submit a fencing option, to the satisfaction and approval of the Director of Planning and Chief Planner, prior to any application for a Building Permit and / or the commencement of any alterations; and
- That appropriate notice of the Council decision be served on the owner of 19 Mill Street South, Waterdown, as required under Section 42 of the *Ontario Heritage Act*.



THANK YOU



CITY OF HAMILTON
PLANNING AND ECONOMIC DEVELOPMENT DEPARTMENT
Planning Division

TO:	Chair and Members Hamilton Municipal Heritage Committee
COMMITTEE DATE:	October 29, 2021
SUBJECT/REPORT NO:	Heritage Permit Application HP2021-043, Under Part V of the <i>Ontario Heritage Act</i> , for Demolition of a Circa 1980 Detached Garage, 19 Mill Street South, Waterdown (PED21205) (Ward 15)
WARD(S) AFFECTED:	Ward 15
PREPARED BY:	Chloe Richer (905) 546-2424 Ext. 7163
SUBMITTED BY:	Steve Robichaud Director, Planning and Chief Planner Planning and Economic Development Department
SIGNATURE:	

RECOMMENDATION

That Heritage Permit application HP2021-043, for the demolition of a circa 1980 detached garage (wood construction with vinyl siding), for the lands located at 19 Mill Street South, be **approved**, subject to the following conditions:

- (a) Implementation of the alterations, in accordance with this approval, shall be completed no later than November 30, 2023. If the alterations are not completed by November 30, 2023, then this approval expires as of that date and no alterations shall be undertaken without a new approval issued by the City of Hamilton;
- (b) That the property owner shall submit a fencing option, to the satisfaction and approval of the Director of Planning and Chief Planner, prior to any application for a Building Permit and / or the commencement of any alterations;
- (c) That appropriate notice of the Council decision be served on the owner of 19 Mill Street South, Waterdown, as required under Section 42 of the *Ontario Heritage Act*.

OUR Vision: To be the best place to raise a child and age successfully.

OUR Mission: To provide high quality cost conscious public services that contribute to a healthy, safe and prosperous community, in a sustainable manner.

OUR Culture: Collective Ownership, Steadfast Integrity, Courageous Change, Sensational Service, Engaged Empowered Employees.

EXECUTIVE SUMMARY

The subject property is located at 19 Mill Street South (see Appendix “A” attached to Report PED21205) and designated under Part V of the *Ontario Heritage Act* by By-law No. 96-34-H (Mill Street Heritage Conservation District), attached as Appendix “B” to Report PED21205.

A Heritage Permit application (HP2021-043) was received on August 24, 2021 and the Notice of Complete Application was issued on September 17, 2021. The application proposes to demolish a circa 1980 detached garage (wood construction with vinyl siding). No replacement garage is proposed as part of HP2021-043. Photographs of the existing garage taken by staff can be found attached as Appendix “C” to Report PED21205.

The *Ontario Heritage Act* requires that Council make a decision on a Heritage Permit application within 90 days of the issuance of a Notice of Complete Application. If no decision is reached within the 90-day timeframe, Council shall be deemed to consent to the application. The subject application’s 90-day timeframe will be reached on December 16, 2021.

The Heritage Permit Review Subcommittee of the Hamilton Municipal Heritage Committee (HMHC) reviewed the subject application on September 21, 2021 and recommended approval. Applications to demolish buildings on designated properties is not delegated to City staff under By-law No. 05-364, therefore, the application is subject to Council approval.

Staff are of the opinion that the proposed scope of work will not impact the circa 1875-1890 Built Heritage Resource on site and removal of a contemporary accessory structure conforms with the Mill Street Heritage Conservation District Plan. As such staff recommend approval of the Heritage Permit application, subject to the recommended conditions to ensure that additional concerns, such as view of the rear of the property from the public realm, will be addressed through an appropriate fencing option.

Alternatives for Consideration – See Page 7

FINANCIAL – STAFFING – LEGAL IMPLICATIONS

Financial: N/A

Staffing: N/A

Legal: This Heritage Permit application has been processed and considered within the context of the applicable legislation.

Section 42 (1) of the *Ontario Heritage Act* states that:

“No owner of property situated in a heritage conservation district that has been designated by a municipality under this Part shall do any of the following, unless the owner obtains a permit from the municipality to do so:

1. Alter, or permit the alteration of, any part of the property, other than the interior of any structure or building on the property; and,
2. Erect, demolish or remove any building or structure on the property or permit the erection, demolition or removal of such a building or structure. 2005, c. 6, s. 32 (1).”

Section 42 (4) of the *Ontario Heritage Act* states that:

“Within 90 days after the notice of receipt is served on the applicant under subsection (3) or within such longer period as is agreed upon by the applicant and the council, the council may give the applicant,

- (a) the permit applied for;
- (b) notice that the council is refusing the application for the permit; or,
- (c) the permit applied for, with terms and conditions attached. 2005, c. 6, s. 32 (3).”

With respect to the delegation of Council's approval authority, Section 42 (16) of the *Ontario Heritage Act* states that:

“The council of a municipality may delegate by by-law its power to grant permits for the alteration of property situated in a heritage conservation district designated under this Part to an employee or official of the municipality if the council has established a municipal heritage committee and consulted with it before the delegation. 2005, c. 6, s. 32 (6).”

HISTORICAL BACKGROUND

The subject lands at 19 Mill Street South contain a Built Heritage Resource (a one-and-a-half storey, vernacular frame residence) that was constructed circa 1875-1890. The property also contains a garage constructed circa 1980, as per the Heritage Permit application. The Waterdown Heritage Conservation District Study, Heritage Building Inventory, notes “The present garage is reputed to have been the former tailor shop of a Mr. Stewart in the 1900s.” The year of demolition of the previous garage is unknown,

OUR Vision: To be the best place to raise a child and age successfully.

OUR Mission: To provide high quality cost conscious public services that contribute to a healthy, safe and prosperous community, in a sustainable manner.

OUR Culture: Collective Ownership, Steadfast Integrity, Courageous Change, Sensational Service, Engaged Empowered Employees.

however, staff conducted a site visit to verify the existing garage proposed for demolition is contemporary. For photographs taken by staff, see Appendix “C” attached to Report PED21205.

POLICY IMPLICATIONS AND LEGISLATED REQUIREMENTS

Urban Hamilton Official Plan (UHOP)

Volume 1, Section 3.4 – General Cultural Heritage Policies of the UHOP states that the City shall:

- “B.3.4.2.1
- (a) Protect and conserve the tangible cultural heritage resources of the City, including archaeological resources, built heritage resources, and cultural heritage landscapes for present and future generations;
 - (e) Encourage the ongoing care of individual cultural heritage resources and the properties on which they are situated together with associated features and structures by property owners, and provide guidance on sound conservation practices;
 - (h) Conserve the character of areas of cultural heritage significance, including designated heritage conservation districts and cultural heritage landscapes, by encouraging those land uses, development and site alteration activities that protect, maintain and enhance these areas; and,
 - (i) Use all relevant provincial legislation, particularly the provisions of the *Ontario Heritage Act*, the *Planning Act* R.S.O., 1990 c. P.13, the *Environmental Assessment Act*, the *Municipal Act*, the *Niagara Escarpment Planning and Development Act*, the *Cemeteries Act*, the *Greenbelt Act*, the *Places to Grow Act* and all related plans and strategies in order to appropriately manage, conserve and protect Hamilton’s cultural heritage resources.”

These policies from the UHOP demonstrate Council’s commitment to the identification, protection, and conservation of cultural heritage resources, and the recommendations of this Report meet the intent of these policies.

RELEVANT CONSULTATION

Heritage Permit Review Subcommittee

Pursuant to Sub-sections 28 (1) of the *Ontario Heritage Act* and the Council approved Heritage Permit Process (PED05096), the HMHC advises and assists Council on matters relating to Part IV and V of the *Ontario Heritage Act*.

The Heritage Permit Review Subcommittee of the HMHC reviewed the subject application at a special meeting held on September 21, 2021. After a presentation and question and answer period with the applicant's agent, the Subcommittee passed a motion to recommend approval of the application as submitted, subject to the following conditions:

- (a) Implementation of the alterations, in accordance with this approval, shall be completed no later than December 31, 2023. If the alterations are not completed by December 31, 2023 then this approval expires as of that date and no alterations shall be undertaken without a new approval issued by the City of Hamilton.

In addition, the Subcommittee recommended a fence be erected at the location of the garage to screen the transportation vehicles visible on site. The Subcommittee did not wish to make design recommendations regarding fencing options and are satisfied with staff making appropriate suggestions to the applicant regarding fencing options.

ANALYSIS AND RATIONALE FOR RECOMMENDATION

Heritage Permit application HP2021-043 proposes the following alterations:

- Demolition of a circa 1980 detached garage.

Staff deemed the application comprehensive and complete on September 17, 2021.

Key factors that are considered in the evaluation of any change affecting a heritage resource are consideration of:

- **Displacement effects:** those adverse actions that result in the damage, loss, or removal of valued heritage features; and,
- **Disruption effects:** those actions that result in detrimental changes to the setting or character of the heritage feature.

In the consideration of any Heritage Permit application, staff must assess the impact of the displacement and disruption effects on the heritage resource, particularly in relation

to the heritage attributes mentioned in the Mill Street Heritage Conservation District Plan.

The Mill Street Heritage Conservation District Plan summarizes heritage attributes, including:

- “The development of Mill Street South, Griffin and Union Streets attests to the development interests of Ebenezer Griffin;”
- “The buildings comprise an array of types and styles and include dwellings, stores, and churches;”
- “The predominant building character is one of vernacular construction with a variety of stylistic embellishments borrowed from the *Gothic Revival* and the *Italianate*,” and,
- “The landscape of the Heritage Conservation District contains... a range of building types and ages, sited on building lots with a variety of setbacks, attesting to the evolution of the area over a long period of time...”

Regarding garages and parking locations, the Mill Street Heritage Conservation District Plan includes the following:

- **“4.2.2 Features and Spaces Around Buildings**
Keep parking areas and outbuildings including garages and utilities such as heat pumps and satellite dishes to the side or rear in traditional service areas;” and,
- **“4.4 Alterations to Non-Heritage Buildings**
Locate new garages and parking spaces in unobtrusive areas, normally to the rear and side yards.”

There will be minimal “displacement effects” to the subject property as a result of this work. The original accessory structure which contained the former tailor shop of a Mr. Stewart in the 1900s was previously demolished at an unknown time. Though contemporary, the existing garage has been documented by photographs for future reference.

Minimal “disruption effects” are expected to the heritage context of the property. The demolition of the existing garage will open views to the rear of the property where transportation vehicles are parked. Staff support the suggestion of the Heritage Permit Review Subcommittee to introduce new fencing at the location of the garage as an appropriate screening measure to minimize the disruption effects. Recommendation (b) of Report PED21205 requires that a fencing option be submitted to the satisfaction and approval of the Director of Planning and Chief Planner prior to any application for a Building Permit and / or the commencement of any alterations. Staff would note that the existing fences found in the Mill Street Heritage Conservation District are typically

characterized as low ornamental fences of wood or iron, and would recommend a complimentary material and design of the new fence.

Staff further recommend that the applicant must complete the alterations within two years after the Heritage Permit is issued, which is expected to be November of 2021 (Recommendation (a) of Report PED21205). An extension to the deadlines noted above can be approved by the Director of Planning and Chief Planner.

Conclusions:

Staff are of the opinion that Heritage Permit application HP2021-043 can be supported as the proposed alterations are in keeping with the Mill Street Heritage Conservation District Plan, and displacement and disruption effects are minimal.

Additional concerns such as appropriate screening of the transportation vehicles parked on site can be addressed by introducing new fencing, as required by Recommendation (b) of Report PED21205. As such, staff recommend that the Heritage Permit application be conditionally approved.

ALTERNATIVES FOR CONSIDERATION

(1) Refuse the Heritage Permit Application.

HMHC may advise Council to refuse this application. This is not being recommended.

(2) Approve the Heritage Permit with Additional or Amended Conditions.

HMHC may advise Council to approve this application with additional or amended conditions of approval. This is not being recommended.

(3) Approve the Heritage Permit with No Conditions.

HMHC may advise Council to approve this application with no conditions. This alternative is not recommended.

ALIGNMENT TO THE 2016 – 2025 STRATEGIC PLAN

Built Environment and Infrastructure

Hamilton is supported by state of the art infrastructure, transportation options, buildings and public spaces that create a dynamic City.

Culture and Diversity

Hamilton is a thriving, vibrant place for arts, culture, and heritage where diversity and inclusivity are embraced and celebrated.

APPENDICES AND SCHEDULES ATTACHED

Appendix "A" to Report PED21205 - Location Map

Appendix "B" to Report PED21205 - By-law No. 96-34-H

Appendix "C" to Report PED21205 - Photographs Taken by Staff, September 27, 2021

CR:sd



CITY OF HAMILTON
PLANNING AND ECONOMIC DEVELOPMENT DEPARTMENT
Tourism and Culture Division

TO:	Chair and Members Hamilton Municipal Heritage Committee
COMMITTEE DATE:	October 29, 2021
SUBJECT/REPORT NO:	Waterdown Village Built Heritage Inventory Project Recommendations (PED21201) (Ward 15)
WARD(S) AFFECTED:	Ward 15
PREPARED BY:	Alissa Golden (905) 546-2424 Ext. 4654
SUBMITTED BY:	Carrie Brooks-Joiner Director, Tourism and Culture Planning and Economic Development Department
SIGNATURE:	

RECOMMENDATION

That staff be directed to list the properties identified in Appendix “A”, attached to Report PED21201 on the Municipal Heritage Register as non-designated properties that Council believes to be of cultural heritage value or interest in accordance with Section 27 of the *Ontario Heritage Act*.

EXECUTIVE SUMMARY

This Report presents the findings of the Waterdown Village Built Heritage Inventory (Waterdown Inventory) and recommends that 209 addresses be listed on the Municipal Heritage Register (Register) as non-designated properties of cultural heritage value or interest. Listing on the Register under Section 27 of the *Ontario Heritage Act* recognizes value of the property to the community, provides properties with interim protection from demolition, and can help facilitate informed decision-making and priority-based planning from staff and Council.

A list of significant built heritage resources (candidates for formal protection by designation under the *Ontario Heritage Act*) was also identified as part of the Waterdown Inventory project. Staff will report to the Hamilton Municipal Heritage Committee with recommendations for designation in a separate report.

Alternatives for Consideration - Not Applicable

FINANCIAL - STAFFING - LEGAL IMPLICATIONS

Financial: None.

Staffing: None.

Legal: None.

HISTORICAL BACKGROUND

The City of Hamilton is proactively updating its Inventory of Heritage Buildings through its Built Heritage Inventory Strategy, outlined in Report PED20133. The Built Heritage Inventory (BHI) process involves the identification of properties of heritage interest worthy of listing on the Municipal Heritage Register, and the identification of significant heritage buildings worthy of designation under the *Ontario Heritage Act*. The Waterdown Inventory is the third phase in the City's BHI work and follows the Downtown Hamilton Inventory completed in 2014 and the Durand Inventory completed in 2017.

The Waterdown Inventory began in May 2018 and was completed in conjunction with the Waterdown Community Node Secondary Plan Study and the Waterdown Transportation Management Plan Study, which are ongoing. The study area of the Waterdown Inventory project included the Secondary Plan study area, as well as the remaining lands to the east that make up the historic village boundaries of Waterdown, and is shown in Appendix "B" attached to Report PED21201.

In 2019, the Ward 15 Councillor moved motions to proactively list several properties on the Register prior to the completion of the Waterdown Inventory. These Council-approved motions also directed Planning and Economic Development Department staff to review these properties for potential designation as part of the designation workplan and within the scope of the Waterdown Inventory project.

The Waterdown Inventory followed the Council-adopted BHI process and involved:

- Compiling research and information on the historical evolution of the Village of Waterdown, in coordination with the Flamborough Archives and Heritage Society, local historians, key stakeholders, and residents;
- Conducting survey work to photograph, and fill out the City's standard built heritage inventory forms, for each property in the study area;
- Preparing a Historic Context Statement for the Village of Waterdown which is outlined in Appendix "B" attached to Report PED21201;

**SUBJECT: Waterdown Village Built Heritage Inventory Project
Recommendations (PED21201) (Ward 15) - Page 3 of 8**

- Identifying cultural heritage landscapes of interest warranting further review as part of the ongoing Secondary Plan study;
- Evaluating the heritage value or interest of each property and identifying candidates for recognition and protection;
- Preparing Cultural Heritage Evaluation reports in support of the properties identified as candidates for designation; and,
- Engaging and consulting with Waterdown residents, property owners and the general public about the project as outlined in Appendix “C” attached to Report PED21201.

In August 2020, the owners of properties identified for listing on the Municipal Heritage Register were notified by mailed letters of the draft Recommendations and invited to participate in a virtual open house of the Waterdown Inventory findings. The virtual open house was accessible online via the City of Hamilton project page and Engage Hamilton from August 24, 2020 to September 21, 2020.

Staff were contacted by approximately 100 owners by email or phone in response to the 233 notice letters that were sent. The majority of owners who contacted staff requested more information on the project and clarification on the implications for their property. Key messages during these conversations included:

- Explaining the goal of the project to proactively list properties on the Register;
- Clarifying the difference between registration and designation; and,
- Dispelling myths about the impact of heritage recognition on property and resale value and heritage requirements and regulations for listed properties when making changes or redeveloping.

Twelve properties were removed from staff’s recommended Register list based on confirmation of active or issued Building Permits for demolition, additional information from owners refuting the heritage value of their properties and conversations with the local Ward Councillor. In addition, the recommendation to list the City-owned Waterdown Union Cemetery, located at 9 Margaret Street, on the Register has been deferred to the Waterdown Community Node Secondary Plan process so that more suitable conservation measures can be explored.

POLICY IMPLICATIONS AND LEGISLATED REQUIREMENTS

The Recommendation of this Report is consistent with Provincial and Municipal legislation, policy and direction, including:

- Determining the cultural heritage value or interest of a property based on design/physical value, historical/associative value and contextual value criteria (*Ontario Heritage Act, Ontario Regulation 9/06*);
- Listing non-designated properties of heritage interest on the Municipal Heritage Register and consulting with the Municipal Heritage Committee prior to listing (*Ontario Heritage Act, Section 27*);
- Ensuring significant built heritage resources are conserved (*Provincial Policy Statement, 2020, Sub-section 2.6.1*);
- Celebrating and preserving Hamilton's cultural assets by updating, maintaining and providing public access to the Built Heritage Inventory (*Cultural Plan, 2013*); and,
- Identifying cultural heritage resources through a continuing process of inventory, survey and evaluation, as the basis for wise management of these resources (*Urban Hamilton Official Plan, Section B.3.4.2.1(b)*).

RELEVANT CONSULTATION

External

- Property owners
- Waterdown Community Node Secondary Plan Focus Group
- Waterdown-Mill Street Heritage Committee
- Inventory and Research Working Group of the Hamilton Municipal Heritage Committee

Internal

- Cultural Heritage Planner, Rural Team, Development Planning, Heritage and Design Section, Planning Division, Planning and Economic Development Department

**SUBJECT: Waterdown Village Built Heritage Inventory Project
Recommendations (PED21201) (Ward 15) - Page 5 of 8**

- Senior Project Manager, Rural Team, Development Planning, Heritage and Design Section, Planning Division, Planning and Economic Development Department
- Senior Planner, Community Planning and GIS Section, Planning Division, Planning and Economic Development Department
- Manager, Parks and Cemeteries Section, Environmental Services Division, Public Works Department
- Acting Senior Project Manager, Strategic Planning and Capital Compliance Section, Energy, Fleet and Facilities Management Division, Public Works Department
- Solicitor, Legal Services Section, Legal and Risk Management Services Division, Corporate Services Department
- Ward 15 Councillor

ANALYSIS AND RATIONALE FOR RECOMMENDATION

The framework used to evaluate the properties in the Waterdown Inventory study area is consistent with *Ontario Regulation 9/06 - Criteria for Determining Cultural Heritage Value or Interest*. A contextual approach was taken to determine the heritage value or interest of each property based on its contribution to the historic character of the Village of Waterdown, as identified in the Historic Context Statement attached as Appendix “B” to Report PED21201. Each property was classified as one of the following:

- **Significant Built Resource** - the property is of considerable historic, aesthetic and/or contextual value; it is likely well known to local, regional or national communities;
- **Character-Defining Resource** - the property strongly reinforces its historic context, clearly reflecting a characteristic pattern of development or activity, property type or attribute of the area;
- **Character-Supporting Resource** - the property maintains or supports its historic context, and can be related to a characteristic pattern of development or activity, property type or attribute of the area; or,
- **Inventoried Property** - the property does not currently contribute to its historic context but could acquire value in the future, or the property has been heavily modified to the point that its heritage value may have been lost. Cultural heritage value may be identified through further research or detailed field investigation.

**SUBJECT: Waterdown Village Built Heritage Inventory Project
Recommendations (PED21201) (Ward 15) - Page 6 of 8**

The final recommendations for the Waterdown Inventory project are based on the classifications outlined above, as follows:

- All properties identified as Significant Built Resources, Character-Defining Resources and Character-Supporting Resources, that are not already registered or designated under the *Ontario Heritage Act*, are recommended for listing on the Register (209 properties, outlined in Appendix “A” attached to Report PED21201);
- All properties identified as Significant Built Resources, that are not already designated, are candidates for potential designation under the *Ontario Heritage Act*. The recommendations to designate these properties will be addressed as part of a separate staff report.

The preliminary evaluations for each property listed in Appendix “A” attached to Report PED21201 are accessible online through the City of Hamilton’s Cultural Heritage Resource mapping at www.map.hamilton.ca/heritagemap, or by request to Planning and Economic Development staff.

Owner Opposition to Listing

Staff received formal correspondence from six property owners, or their representatives as outlined in Appendix “D” attached to Report PED21201 expressing their opposition to the staff recommendations to list their property on the Register:

- 313 Dundas Street East;
- 77 Main Street North;
- 10 Nelson Street;
- 304 Parkside Drive;
- 198 Victoria Street; and,
- 100 Wellington Street.

Owners cited concerns that listing would depreciate their property value and impact their ability to sell or redevelop in the future. Staff spoke to these owners at length about their concerns and provided additional information and resources dispelling these common misconceptions, including the recent staff Report PED20030 addressing the lack of empirical evidence that heritage designation negatively affects property value.

**SUBJECT: Waterdown Village Built Heritage Inventory Project
Recommendations (PED21201) (Ward 15) - Page 7 of 8**

Staff are not recommending that any properties recommended for listing on the Register be removed due to owner opposition. The *Ontario Heritage Act* does not require owner consent or notification prior to listing a property on the Register and it is ultimately Council's decision what is listed, after consultation with its Heritage Committee.

The Register is an administrative record of properties of heritage value or interest across the City of Hamilton. Listing on the Register is a way to recognize a property's heritage value or interest to a community. From a property owner's perspective, listing on the Register does not prevent an owner from making changes or constructing additions to existing buildings, nor does it require any additional heritage approvals (like heritage permits) to do so as part of the regular Building Permit process.

The main intent of listing is to flag properties of heritage interest to promote their conservation and retention. An owner of a listed property is required to give 60-days notice to the City of their intention to demolish or remove a building or structure on their property. Listing on the Register would not prevent demolition, but the 60-day interim protection from demolition is intended to allow staff time to discuss alternatives to demolition with the owner. In the case of significant heritage buildings, the 60-day delay could allow Council time to consider issuing a notice of intention to designate to prevent demolition.

New Legislated Process for Listing Objections

On July 1, 2021 amendments to the *Ontario Heritage Act*, were proclaimed (see Report PED19125(c)), resulting in a new legislated process for owners to object to their property being listed on the Register. Municipalities are now required to notify owners within 30 days of a council's decision to list a property on the Register. Under Section 27(7) of the *Ontario Heritage Act*, an owner can object to a property being included on the Register after receiving notice of it being listed. The owner's objection should be served on the clerk of the municipality and identify the reasons for the objection and all relevant facts. Council must consider the objection and decide whether to keep the property listed on the Register or to remove it. The owner must be given notice of a council's decision on the consideration of their objection within 90-days of the decision.

Staff note that the new Register listing objection process is in line with the City of Hamilton's existing practices. Since beginning the Built Heritage Inventory Strategy, staff have followed engagement best practices in this work, including consulting with owners before Register listing recommendations are brought forward, ensuring owner objections are included in the staff reports to Council for their consideration and notifying owners of Council's decision. In addition, the City of Hamilton has previously addressed owner's objections to Register listings by bringing those objections forward to the Hamilton Municipal Heritage Committee and Council for their consideration. Although the City's current process involves consultation and notification of property

**SUBJECT: Waterdown Village Built Heritage Inventory Project
Recommendations (PED21201) (Ward 15) - Page 8 of 8**

owners, under the new process, if an owner makes a formal objection after Council decides to list a property on the Register, Council will also need to consider and make a decision on that formal objection.

ALTERNATIVES FOR CONSIDERATION

N/A

ALIGNMENT TO THE 2016 - 2025 STRATEGIC PLAN

Community Engagement and Participation

Hamilton has an open, transparent and accessible approach to City government that engages with and empowers all citizens to be involved in their community

Culture and Diversity

Hamilton is a thriving, vibrant place for arts, culture, and heritage where diversity and inclusivity are embraced and celebrated.

Our People and Performance

Hamiltonians have a high level of trust and confidence in their City government.

APPENDICES AND SCHEDULES ATTACHED

Appendix "A" - Waterdown Inventory Register Recommendations

Appendix "B" - Waterdown Village Historic Context Statement

Appendix "C" - Public Consultation and Engagement Activities

Appendix "D" - Owner Opposition Letters

AG:la

Waterdown Inventory - Register Recommendations

Address	
20	ALBERT ST
24	ALBERT ST
28	ALBERT ST
4	BARTON ST
19	BARTON ST
21	BARTON ST
5	BUCHAN CRT
8	CEDAR ST
4	CHURCH ST
10	CHURCH ST
11	CHURCH ST
16	CHURCH ST
17	CHURCH ST
228	DUNDAS ST E
241	DUNDAS ST E
254	DUNDAS ST E
262	DUNDAS ST E
290	DUNDAS ST E
291	DUNDAS ST E
293	DUNDAS ST E
294	DUNDAS ST E
296	DUNDAS ST E
299	DUNDAS ST E
300	DUNDAS ST E
302	DUNDAS ST E
311	DUNDAS ST E
313	DUNDAS ST E
344	DUNDAS ST E
348	DUNDAS ST E
352	DUNDAS ST E
353	DUNDAS ST E
354	DUNDAS ST E
356	DUNDAS ST E
357	DUNDAS ST E
359	DUNDAS ST E
360	DUNDAS ST E
361	DUNDAS ST E
362	DUNDAS ST E
365	DUNDAS ST E

Address	
366	DUNDAS ST E
3	ELGIN ST
15	ELGIN ST
19	ELGIN ST
30	ELGIN ST
34	ELGIN ST
38	ELGIN ST
57	ELGIN ST
82	ELGIN ST
85	ELGIN ST
89	ELGIN ST
103	ELGIN ST
109	ELGIN ST
114	ELGIN ST
115	ELGIN ST
124	ELGIN ST
127	ELGIN ST
133	ELGIN ST
10	FLAMBORO ST
19	FLAMBORO ST
26	FLAMBORO ST
40	FLAMBORO ST
60	FLAMBORO ST
68	FLAMBORO ST
71	FLAMBORO ST
74	FLAMBORO ST
10	FRANKLIN ST
25	FRANKLIN ST
19	GEORGE ST
30	GEORGE ST
50	GEORGE ST
79	HAMILTON ST N
200	HAMILTON ST N
15	JOHN ST W
24	KELLY ST
25	KELLY ST
40	KELLY ST
44	KELLY ST
49	KELLY ST

Address	
55	KELLY ST
17	MAIN ST N
30	MAIN ST N
40	MAIN ST N
44	MAIN ST N
56	MAIN ST N
57	MAIN ST N
62	MAIN ST N
65	MAIN ST N
71	MAIN ST N
72	MAIN ST N
77	MAIN ST N
89	MAIN ST N
94	MAIN ST N
98	MAIN ST N
103	MAIN ST N
104	MAIN ST N
108	MAIN ST N
110	MAIN ST N
115	MAIN ST N
129	MAIN ST N
170	MAIN ST N
189	MAIN ST N
207	MAIN ST N
215	MAIN ST N
225	MAIN ST N
234	MAIN ST N
235	MAIN ST N
243	MAIN ST N
252	MAIN ST N
258	MAIN ST N
266	MAIN ST N
10	MAIN ST S
34	MAIN ST S
44	MAIN ST S
54	MAIN ST S
72	MAIN ST S
88	MAIN ST S
96	MAIN ST S
97	MAIN ST S

Address	
108	MAIN ST S
115	MAIN ST S
124	MAIN ST S
145	MAIN ST S
184	MAIN ST S
188	MAIN ST S
201	MAIN ST S
235	MAIN ST S
3	MARGARET ST
4	MARGARET ST
217	MILL ST N
221	MILL ST N
227	MILL ST N
228	MILL ST N
233	MILL ST N
239	MILL ST N
240	MILL ST N
245	MILL ST N
249	MILL ST N
250	MILL ST N
261	MILL ST N
262	MILL ST N
267	MILL ST N
270	MILL ST N
273	MILL ST N
275	MILL ST N
276	MILL ST N
281	MILL ST N
286	MILL ST N
289	MILL ST N
150	MILL ST S
181	MILL ST S
191	MILL ST S
280	MILL ST S
345	MOUNTAIN BROW RD
351	MOUNTAIN BROW RD
7	NELSON ST
10	NELSON ST
21	NELSON ST
33	NELSON ST

Address	
42	NELSON ST
61	NELSON ST
7	ORCHARD DR
304	PARKSIDE DR
306	PARKSIDE DR
312	PARKSIDE DR
316	PARKSIDE DR
328	PARKSIDE DR
338	PARKSIDE DR
340	PARKSIDE DR
342	PARKSIDE DR
346	PARKSIDE DR
348	PARKSIDE DR
352	PARKSIDE DR
354	PARKSIDE DR
356	PARKSIDE DR
358	PARKSIDE DR
360	PARKSIDE DR
1	RAGLAN ST
18	RAGLAN ST
21	RAGLAN ST
8	RENWOOD PL
19	REYNOLD ST
18	SCHOOL ST
27	VICTORIA ST
37	VICTORIA ST
44	VICTORIA ST
50	VICTORIA ST
73	VICTORIA ST
94	VICTORIA ST
115	VICTORIA ST
153	VICTORIA ST
157	VICTORIA ST
185	VICTORIA ST
198	VICTORIA ST
23	WELLINGTON ST
26	WELLINGTON ST
27	WELLINGTON ST
38	WELLINGTON ST
42	WELLINGTON ST

Address	
52	WELLINGTON ST
56	WELLINGTON ST
57	WELLINGTON ST
65	WELLINGTON ST
79	WELLINGTON ST
82	WELLINGTON ST
87	WELLINGTON ST
90	WELLINGTON ST
100	WELLINGTON ST
108	WELLINGTON ST
129	WELLINGTON ST

Historic Context Statement

February 2021

Waterdown Village Historic Context Statement

The Village of Waterdown, incorporated in 1878, is a significant historic settlement area in the community of Flamborough in the City of Hamilton. Located in the former Township of East Flamborough, Waterdown’s early Euro-Canadian settlement was influenced by the construction of the military road, known as Dundas Street, and the area’s natural topography.

The area now known as Waterdown was first developed in the early-nineteenth century as a thriving industrial and agricultural area. It functioned as an important transportation centre for the flow of people and goods by providing a gentle route up the Escarpment, acting as a hub for early stage coach routes and connecting to water transport at Brown’s Wharf (now LaSalle Park in the City of Burlington). The village continues to play an important role in the interconnected Greater Toronto Hamilton Area, resulting in significant volumes of pass-through traffic. Though many of Waterdown’s residents no longer work in the village, many of the commercial, residential industrial and institutional buildings on which the village was founded remain, as does its historic character and charm.

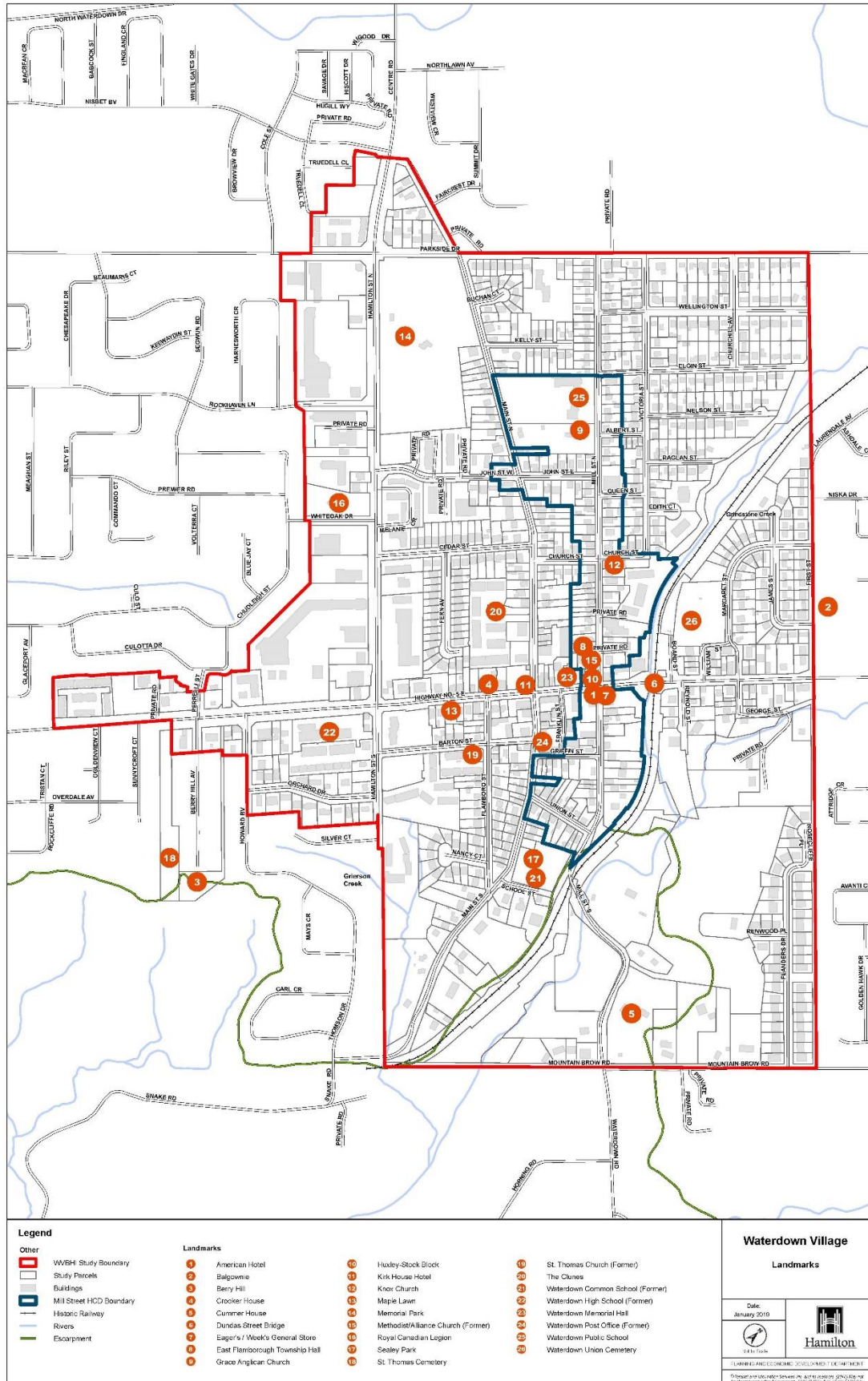
Village residents have continued to demonstrate their commitment and interest in conserving their collective history through the adaptive reuse and preservation of historic structures, an active and involved historical society and local heritage advocacy group, and the creation of the heritage conservation district in the core of Waterdown.

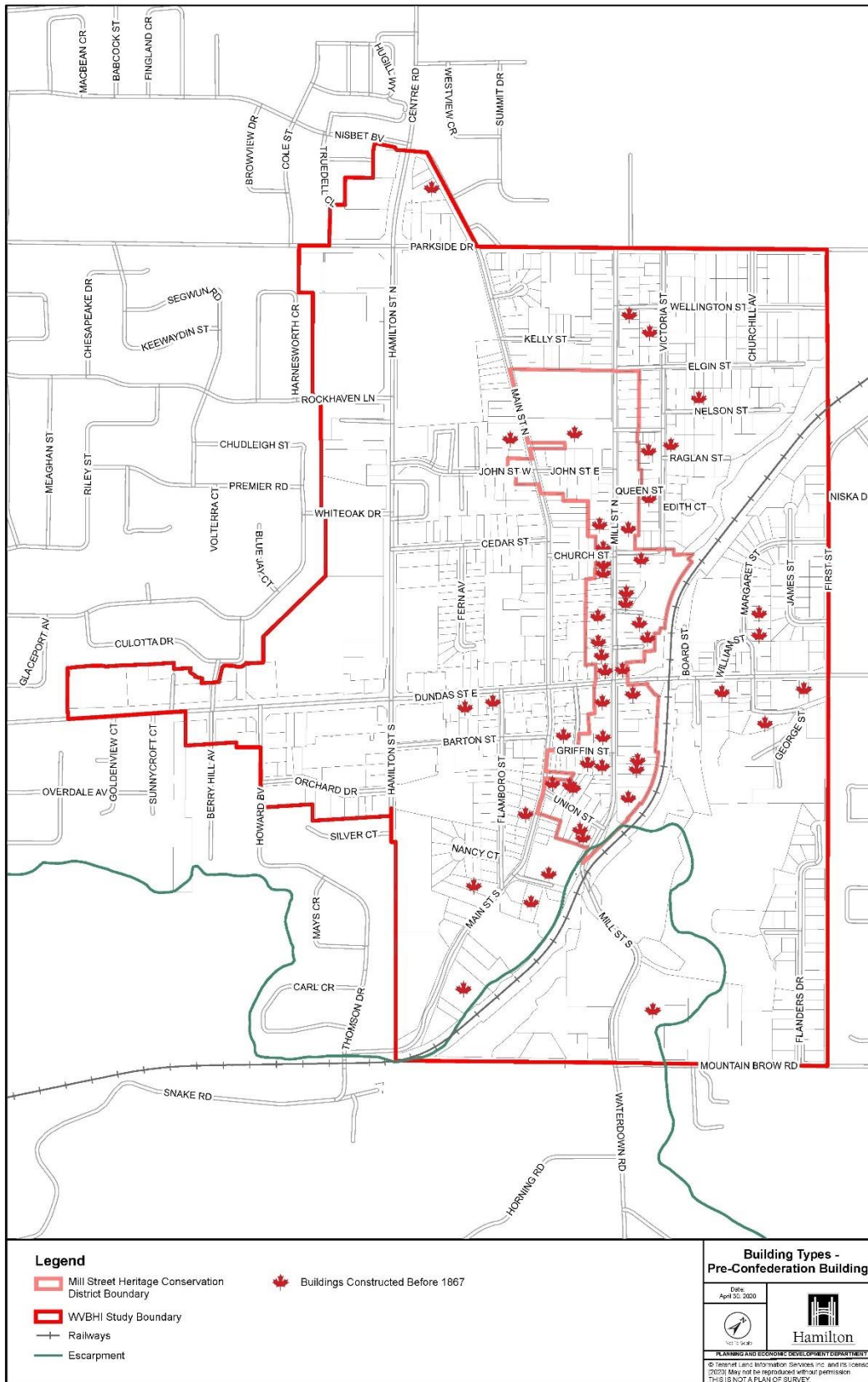
Heritage Attributes

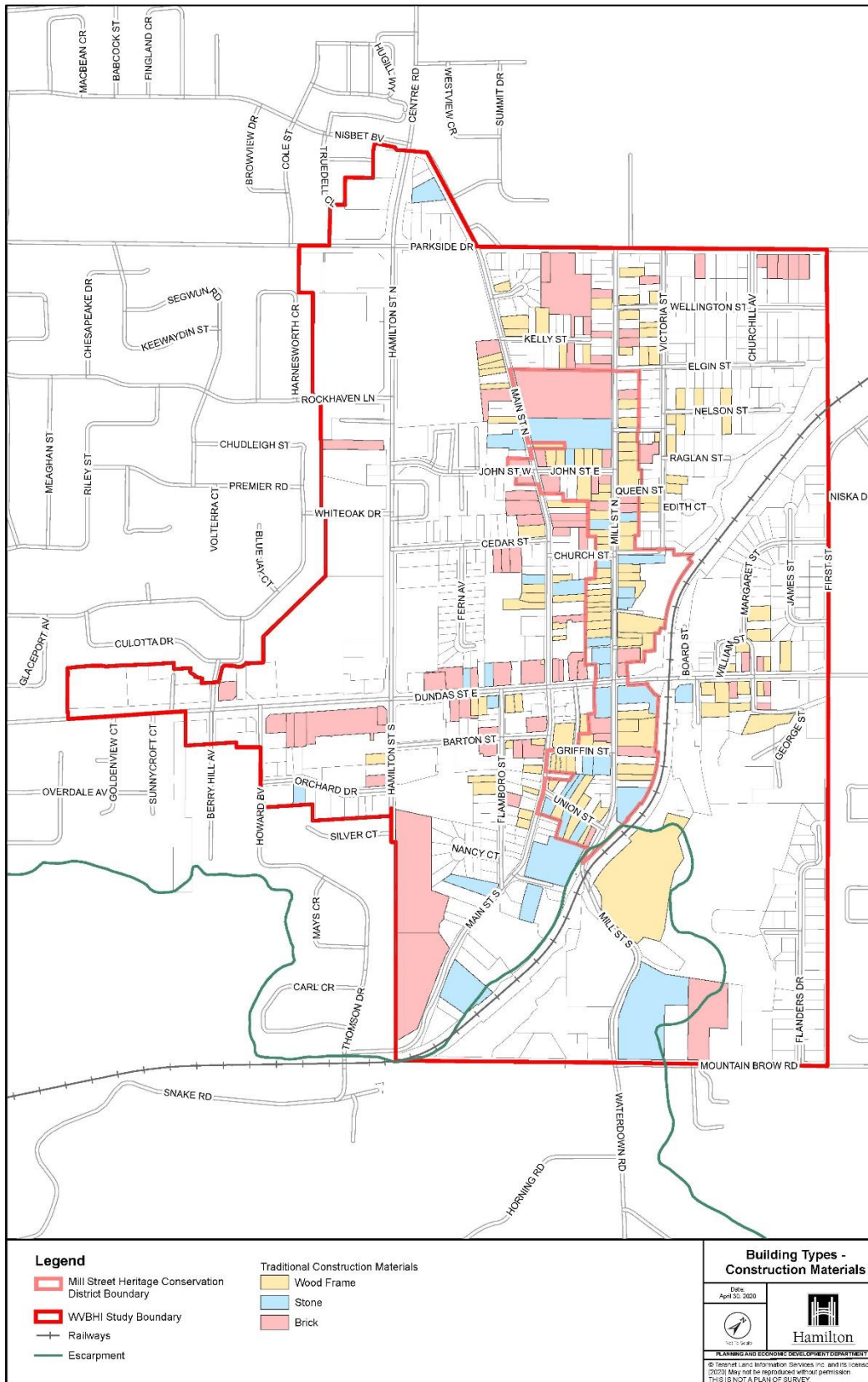
The tangible attributes that help contribute to, and define, the historic character of the Village of Waterdown include the:

- Natural topography of the Escarpment and its relation to the river valley and Grindstone Creek, including the Great Falls, the Upper Falls and Spring Creek, which provided power for the industrial development of the village;
- Human intervention of the natural topography and water ways, including the realignment of Grindstone Creek for the railway, the creation of dams and raceways for the mill sites;
- Mature tree canopy consisting of historic trees that remain from the early Euro-Canadian settlement period and early-twentieth century plantings;
- Dundas Street corridor, laid out by Lieutenant John Graves Simcoe as an early military road;
- Historic transportation corridors that responded to the natural topography of the area, such as Mill Street and Main Street;

- Historic alignment of the railway and its bridges;
- Early surveys and residential areas, such as the Griffin Survey, McMonnies and Stock Survey, Creen Survey, Kelly Survey and Vinegar Hill, and their lotting patterns (see map on **page 20**);
- Village landmark buildings and spaces that have an important role in the village’s history (see map on **page 3**);
- Waterdown Memorial Hall and Waterdown Memorial Park, commemorating the role of Waterdown residents in the First and Second World Wars, respectively, and their impact;
- Eclectic mix of historic nineteenth and early-twentieth century buildings reflecting the evolution of the village, including:
 - A significant concentration of pre-Confederation buildings (see map on **page 4**);
 - Vernacular workers cottages associated with the village’s early development;
 - Residential buildings influenced by, and representative of, architectural styles such as the Ontario Cottage, Ontario Farm House, Georgian, Regency, Romanesque Revival, Gothic Revival, Italianate, Queen Anne Revival, Second Empire, Edwardian Classicism, Craftsman and Cottage Bungalow, and early-twentieth century Period Revivals (Tudor, Colonial, Neo-Gothic, Cape Cod);
 - Original or historic accessory structures and coach houses;
 - Commercial buildings in the village core, such as the intersections of Dundas at Mill and Dundas at Main Streets;
 - Remaining historic industrial buildings from the nineteenth century;
 - Remaining historic institutional buildings from the nineteenth and early-twentieth centuries, including churches, schools and township buildings;
 - The use of traditional construction materials, such as stone, brick, and wood, and traditional cladding materials such as historic stucco - pebble dash and rough cast - and wood siding - clapboard and board-and-batten (see map on **page 5**); and,
- Contemporary natural and recreational areas, including Smokey Hollow and the Bruce Trail.







Historical Overview



Figure 1: Waterdown circa 1905, entering Smokey Hollow from the southwest (Flamborough Archives, BW 2166, Will Reid Collection)

The Village of Waterdown is located within the physiographic region known as the Niagara Escarpment, at a point where the escarpment meets the Norfolk Sand Plain and the Horseshoe Moraine. The Niagara Escarpment has greatly influenced land use in Southern Ontario, its rocky outcroppings limiting agricultural opportunities in certain areas and concentrating the construction of roads, railways, and urban settlements into the escarpment’s few breaks and valleys. For settlers, the escarpment served as an important source of building material such as cut stone, lime, and shale, and its numerous streams and waterfalls facilitated early industry, including eight former mill sites in the village along what is now known as the Grindstone Creek.

The Indigenous history of the area is embodied in its natural topography, water features, the remaining historic transportation corridors that were based off of early trail routes, and the archaeological resources and sites that have been identified and commemorated, as well as those that have yet to be discovered. The record of registered archaeological sites indicate that the Waterdown area has been inhabited by Indigenous peoples for thousands of years, beginning by at least 7,500 B.C.E. (before the common era).

Euro-Canadian settlement of Waterdown Village is represented by the surviving built heritage and street and lotting patterns, including a significant concentration of pre-Confederation buildings, a variety of historical housing types and other historical buildings built for industrial, institutional and commercial uses.

Indigenous Presence (7,500 BCE – Late-17th Century)

There are various understandings of Indigenous presence and stewardship of land in the Waterdown area over time. The area encompassing the former Township of East Flamborough and the Village of Waterdown has attracted human settlement since long before their formal establishment. Historical information indicates that the original inhabitants of the Waterdown area included the Neutral Nation, a powerful chiefdom which traded extensively throughout present-day Ontario and New York. The Grindstone Creek runs south through Waterdown towards Hamilton Harbour (formerly Macassa Bay) and was central to an extensive trail network traveled by the Neutral People, which abounded with food and resources such as sugar maple and salmon. These trails, the origins of contemporary roads such as Snake Road and Old Waterdown Road, led the Neutrals from the base of the escarpment to their settlements north and west of present-day Waterdown.



Figure 2: Snake Road, date? (Flamborough Archives, BW 1920, Will Reid Collection)

The seventeenth century was dominated by the Beaver Wars, conflicts between various Indigenous Nations precipitated by the French and English’s hunger for fur (particularly beaver pelts). Although alliances could change, generally the Indigenous Nations of the northern Great Lakes fought with the French, while the Haudenosaunee Confederacy had a strong relationship with the Dutch and British. As the population of fur-bearing animals diminished, Nations began encroaching on each others' territory. The Neutral Nation were caught in the middle of the conflict and collapsed by 1650. Only a few Neutral villages remained in the area afterwards and their inhabitants ultimately joined other nations.

The same fate befell the Wendat Hurons, who lived in other parts of present-day southern Ontario. Allied to the French, the Wendat were pushed off their lands by the Haudenosaunee Confederacy who were supplied with muskets by the Dutch and English. Other Indigenous groups to the north, the Anishinaabe and the Algonquian Nations, defended themselves from attacks and eventually succeeded in expelling the Haudenosaunee from what is now southern Ontario by 1700. The Mississaugas, an Anishinaabe nation who inhabited the lands east of the Neutrals, established settlement in the area following the Beaver Wars and were the predominant Indigenous group at the time of arrival by European settlers. In the late-seventeenth century, the Anishinaabe and Haudenosaunee nations established peace with the “Dish with One Spoon” Wampum promising that the two nations would share the bounty of the land (the dish) together (using one spoon). The lands on which Waterdown is located remain the traditional territory of the Mississaugas of the Credit First Nation and the Haudenosaunee Confederacy today.



Figure 3: Dish with One Spoon Wampum Belt reproduction (utoronto.ca)

Heritage attributes related to this period include:

- Snake Road
- Grindstone Creek (formerly known as Limestone Creek)
- Spring Creek
- Grierson Creek
- Great Falls (formerly known as Waterdown Falls and Palmers Falls)
- Arnold Falls (formerly known as Spring Creek Falls)
- Niagara Escarpment
- Registered archaeological sites with Indigenous affinities, including AiGx-373 (Archaic Period) and AiHc-277 (Pre-Contact Period)
- Areas of archaeological potential

Note: There are 13 other registered sites within 250 metres of the study area ranging from (Archaic to Woodland and Pre-Contact Periods)

There are no extant built resources related to this era in Waterdown's history.

Military Influence and Euro-Canadian Settlement (1700s – 1810s)

Beginning in the 1780s, Euro-Canadian settlement in the area superseded that of Indigenous populations. The American War for Independence greatly influenced settlement in the Flamborough and Waterdown area. Following the establishment of the United States of America in 1783, approximately 30,000 British Loyalists were displaced and sought refuge in Britain’s remaining North American colonies. In response to this demand for settlement lands, fifteen land surrender treaties were negotiated between the Crown and the Anishinaabe peoples living in present day Southern Ontario between 1783 and 1812. The colonial government interpreted these treaties as giving them authority to survey and eventually distribute lands to Loyalists and other European settlers.

In 1788, to further facilitate the surveying of new settlement lands, the western extent of Quebec’s District of Montreal was subdivided into four districts: Lunenburg, Mecklenburg, Nassau and Hesse. The area which would become East Flamborough, and subsequently the Village of Waterdown, was situated within the District of Nassau. In 1791, a portion of Quebec, including the new districts, was separated to establish the Province of Upper Canada.

Newly appointed Lieutenant Governor John Graves Simcoe (1752-1806) named Augustus Jones (1757-1836) Provincial Land Surveyor and directed him to travel west from the Niagara River to survey and lay out Townships. In 1792 Treaty No. 3, the Between the Lakes Purchase (**Figure 4**), was negotiated between the Crown and the Mississaugas, giving Upper Canada access to a vast swath of land between Lake Erie and Lake Ontario.

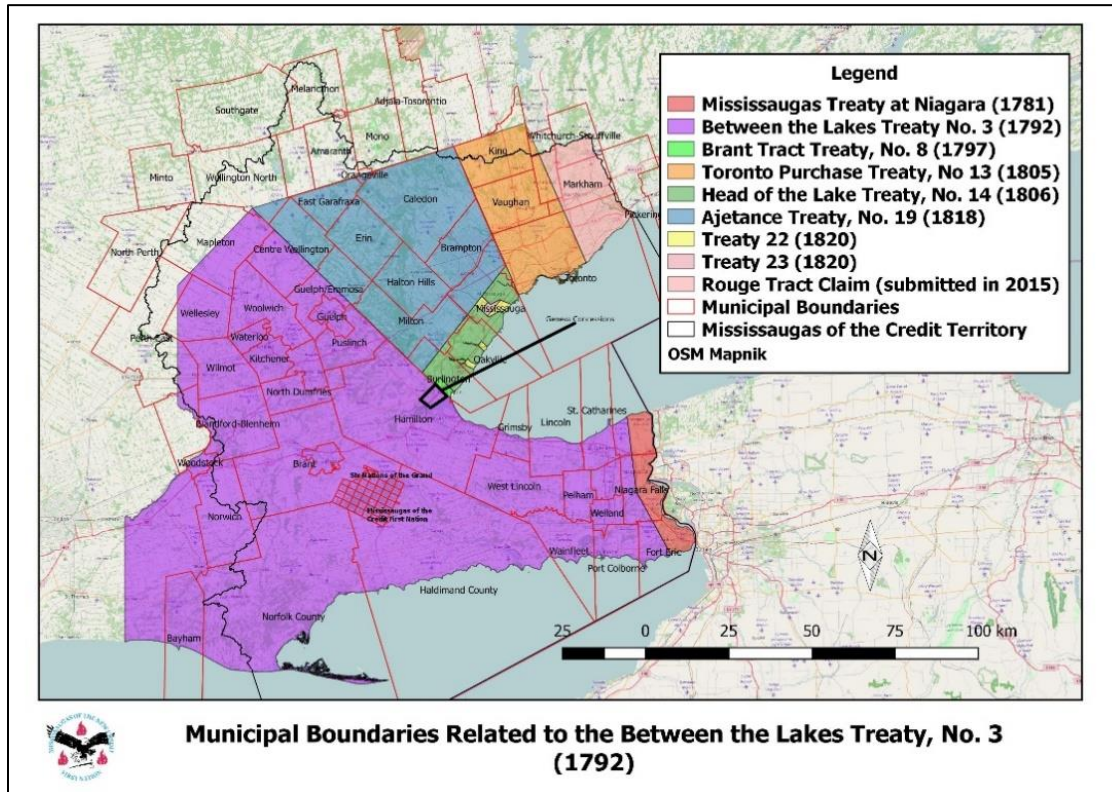


Figure 4: Between the Lakes Treaty No. 3 (1792) with present-day municipal boundaries (Mississaugas of the Credit First Nation, www.mncfn.ca)

The final component of Jones' initial survey was the Township of Geneva, four concessions along the broken front of Lake Geneva, now known as Burlington Bay. Geneva's concessions were surveyed from the "Indian Point", a line which divided the lands to the west purchased by the crown, and the lands to the east still claimed by the Mississaugas. Initially set out for refugees of the French Revolution, an additional ten concessions were surveyed to the north of Geneva and amalgamated with the Township and the lands surrounding the Town of Dundas to form the Township of Flamborough in 1793.

Construction began in 1793 on a highway commissioned by Lt. Governor John Simcoe, which initially ran westward from Burlington Bay to Joseph Brant's village on the Grand River (**Figure 5**). Subsequently, the previously established Land Board began accepting applications for property grants in Flamborough, awarding land mostly to members of the military and government officials who typically remained absentee landlords. In 1796, Lieutenant Alexander McDonnell was awarded approximately 3,000 acres including Lots 6 and 7 of Concession 3, the location of the original village core of Waterdown. Following boundary realignments and territorial renaming within Upper Canada between 1793 and 1798, the Township of Flamborough was split into the Townships of East and West Flamborough in 1798.

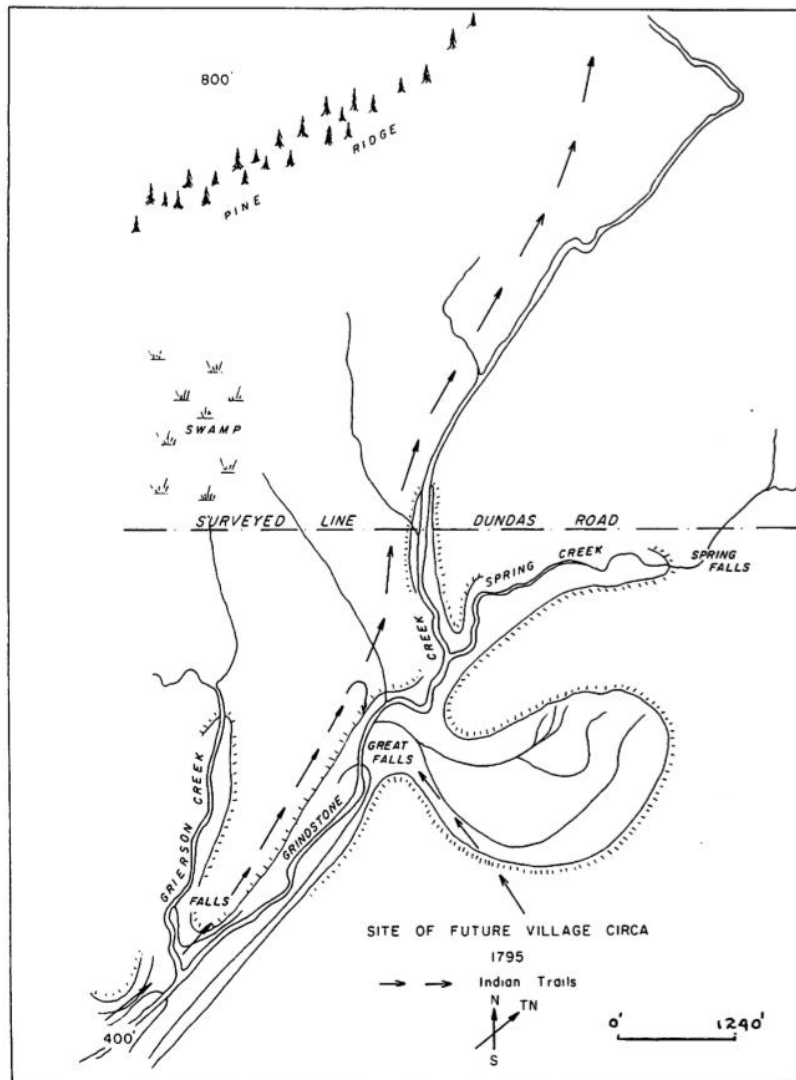


Figure 5: "Site of Future Village Area Circa 1795", showing supposed location of Indigenous trails (Donkin Thesis, page 31)

McDonnell's land went undeveloped and 800 acres were acquired by Alexander Brown (1776-1852), a retired official of the North West Fur Company, in 1805 who then established the area's first sawmill above the Great Falls at Smokey Hollow and the Grindstone Creek (**Figure 6**). That same year, Treaty No. 14, the Head of the Lake Treaty (**Figure 4**), was negotiated and the Crown acquired Mississauga lands east of East Flamborough, allowing for the easterly expansion of Lt. Governor Simcoe's highway, which would become Provincial Highway 5 and Dundas Street in Waterdown. While previously difficult to access and largely untouched, the road and potential for water power made settlement in East Flamborough appealing to many early Euro-Canadian settlers. Alexander Brown was responsible for early amenities constructed in the area following the War of 1812, including construction of the first school on the southwest corner of Mill and Dundas Streets (non-extant, where the American House is now) and establishing a stone quarry on his property at the head of the Grierson Creek near the southeast corner of Barton and Hamilton Streets, both circa 1815.

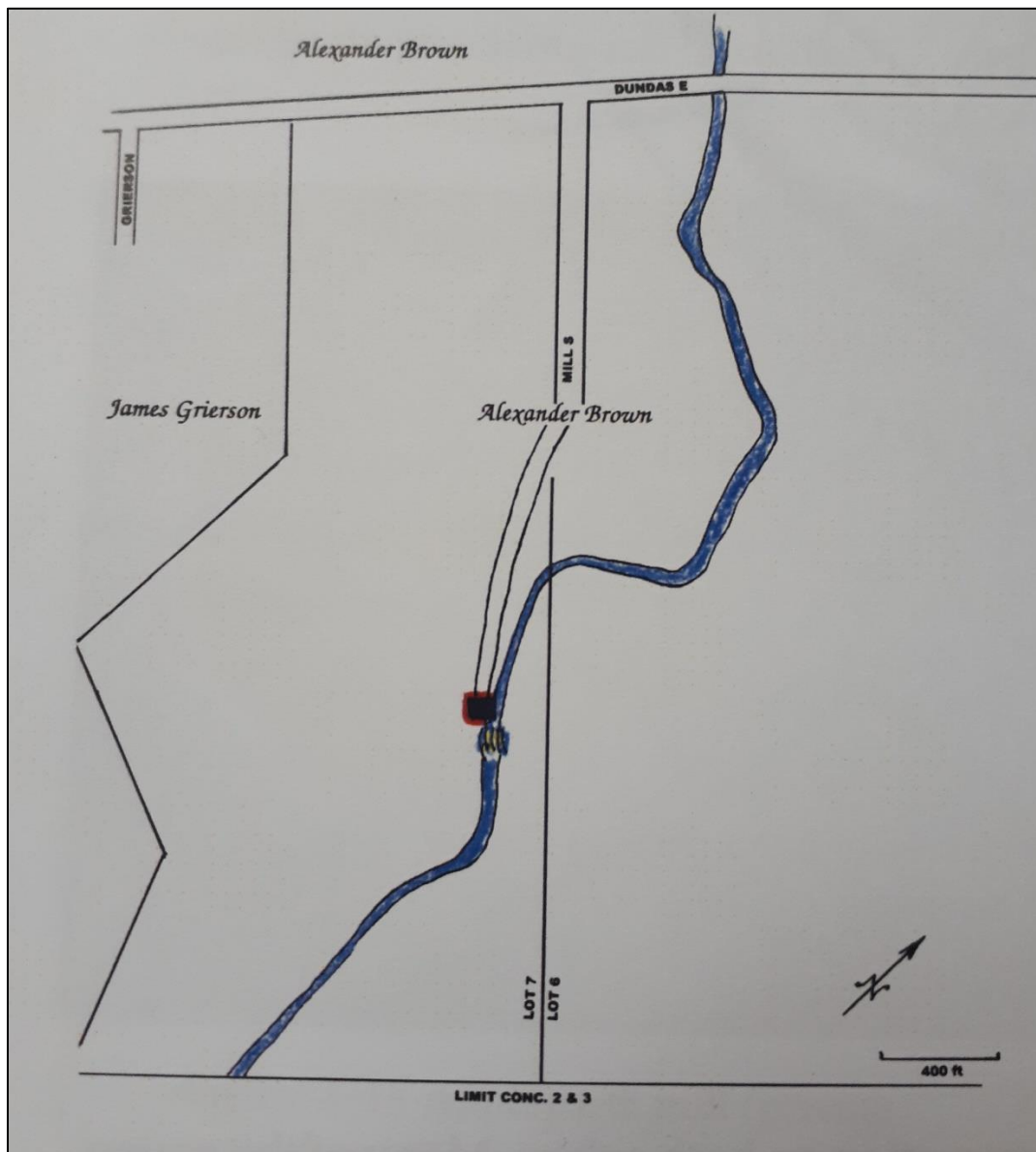


Figure 6: Map of the valley, properties, roads and mills south of Dundas Street circa 1800-1820 (Woods, p 24)

Important milestones from this period include:

- 1669 - French explorer Robert de la Salle travels through Flamborough
- 1700 – Anishinaabe and Algonquin Nations defend attacks by Iroquois, expel the nation from Southern Ontario
- 1760 – British conquest of New France
- 1763 – Royal Proclamation
- 1764 – Treaty of Niagara (Wampum at Niagara)
- 1775-1783 – American Revolutionary War
- 1791 – Upper and Lower Canada are formed
- 1792 – Between the Great Lakes Treaty (No. 3)
- 1793-1795 – Township Survey by Augustus Jones
- 1796 – Crown Grant of Lots 6 and 7, Concession 3 to Alexander McDonnell
- 1790s-1800s – Small pox and measles kill more than 1/3 of Mississauga of the Credit First Nation
- 1800 – Flamborough is divided into East and West
- 1805 - Mississauga Purchase, opened up the eastern portion of Dundas Street
- 1805 – McDonnell's Crown Land regranted to Alexander Brown – Brown builds sawmill on Grindstone near the Great Falls (Note: Brown would later build a second mill site at the Nelson Street Site in the 1830s)
- 1806 – Second phase of Dundas Street Construction
- 1812-1814 – War of 1812
- 1815 – Pledge of the Crown Wampum (Haudenosaunee)
- 1815 – First School built by Alexander Brown (where American House now stands)
- 1815 – A stone quarry is in operation on Brown's property at the head of the Grierson Creek (near the southeast corner of Barton and Hamilton Streets)

Heritage attributes related to this period include:

- Dundas Street
- Mill Street
- Township Survey boundaries defining historic village area (Concession 3, Lots 6 and 7)
- Physiography of historic quarrying activity at Barton and Hamilton Streets

There are no extant built resources related to this era in Waterdown's development.

Mill Development and Village Establishment (1820s – 1860s)

The 1820s brought the first division of Brown’s property when he sold 42 acres of Lot 7, including the creek and the stone quarry, to his brother-in-law James Grierson (1760-1848). In 1823, Brown sold the remaining portion of his property in Lot 7 to Ebenezer Culver Griffin (1800-1847), shifting his interest to merchandizing by building Brown’s Wharf (**Figure 10**) to the south at Port Flamboro (now LaSalle Park) and constructing a new stone house to the east of the village along Spring Creek with his wife Merren Grierson (1779-1863). The route from Mill Street in the village to Waterdown Road to Brown’s Wharf was a key transportation corridor during this time. Research indicates that stagecoach routes were established along the Governor’s Road by the 1820s and that the route passing through Waterdown that connected Ancaster to York (Toronto) was in place by the late-1820s. Dundas and Mill would have been the main crossroads of the settlement area, which most likely prompted the construction of the American Hotel on its southeast corner in 1824 (**Figure 11**).

Ebenezer Culver Griffin and his family are largely credited with establishing much of the Village of Waterdown. Ebenezer Griffin started a number of early businesses in the area, including a store at the corner of Mill and Dundas Street (**Figure 12**), a flour mill above the Great Falls (**Figure 13**), and a carding mill on Mill Street South. In the 1830s, Griffin had a village plan prepared and began to sell off lots. He also sold his mill operations at the Great Falls and received a grant to Concession 3, Lot 6.

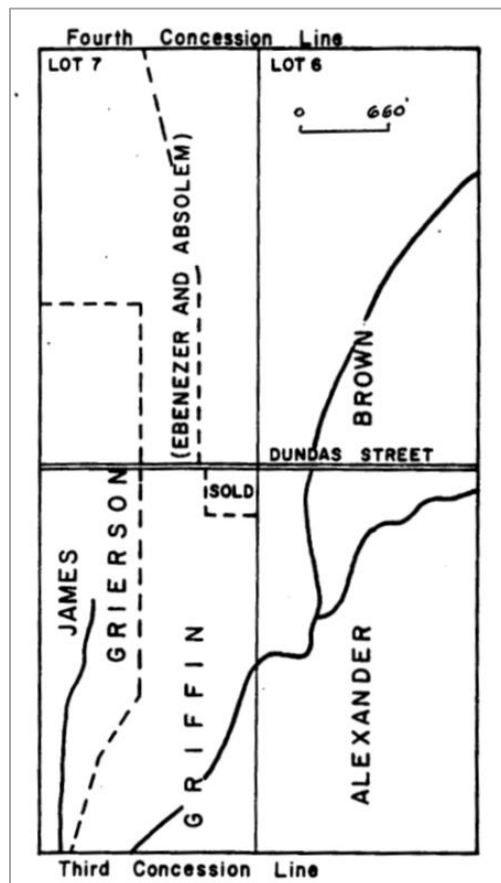


Figure 7: Land Ownership 1835 (Donkin Thesis, Map 5)

Settlement had begun along Dundas Street, particularly along what is known as Vinegar Hill (**Figure 14**), one of the oldest residential neighbourhoods of the village. This area is at the eastern entrance to Waterdown and is believed to be named after the smell from the fermentation of apples to create vinegar, which took place along this stretch of road where orchards were believed to have been prevalent. Following the establishment of Canada East and Canada West in 1841, the first assessment rolls for Flamboro East were drawn up. According to the records, the majority of the almost fifty households in the village were located in the Vinegar Hill area, which explains the creation of Union Cemetery (**Figure 15**) in this area.

Following Ebenezer Griffin's death in 1847, John Cummer bought the rights the Smokey Hollow (later the site of the Howland Flour Mill – **Figure 20**) and the remainder of Griffin's land was divided amongst his heirs and his estate was finally settled in 1856, shaping the character of the lands south of Dundas and what would become Main Street South (**Figure 9**).

The mid-nineteenth century saw the creation of many prominent institutional buildings in the village that still stand today, including the Methodist Church (**Figure 16**), the Waterdown Common School (**Figure 17**), the East Flamborough Township Hall (**Figure 16**), Knox Church, and the Anglican Church (**Figure 18**). The street network and regional connections also grew. Main Street (also known historically as Ransom Street, Snake Road and Gravel Road) was a well-travelled route before its allotment as a street. This route was impassable in bad weather until J.K. Griffin's construction of a toll road in its place providing the first direct connection from Carlisle to Hamilton. Griffin's home overlooking the road still stands (**Figure 19**). This road was used into the early-twentieth century as a stage coach route from Hamilton to Waterdown, Carlisle, Kilbride, Mountsberg and Milton.

The McMonies and Stock Survey, registered in 1856, was one of the earliest and largest surveys in the village after Griffin's (**Figure 8**). Much of the survey's original lotting pattern remains, generally laid out in blocks of uniform back-to-back rectangular lots that were 1 chain (66 feet) wide by 2.2 chains (145.2) feet deep, defining the character of the historic core of the village.

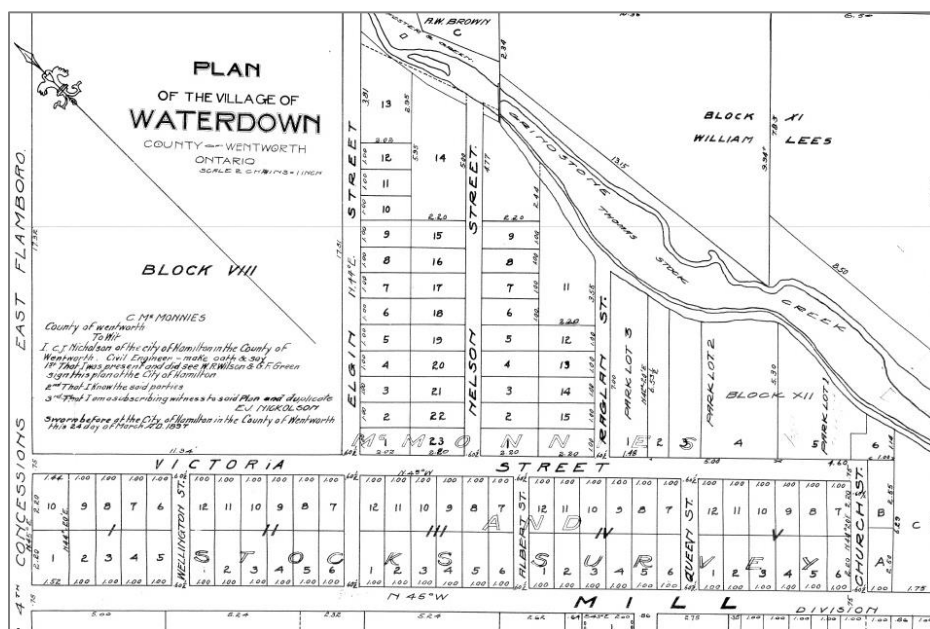


Figure 8: McMonies and Stock Survey, showing the lotting pattern along Mill, Victoria, Elgin, Nelson and Raglan Streets, as drawn in Registered Plan 355 from 1897

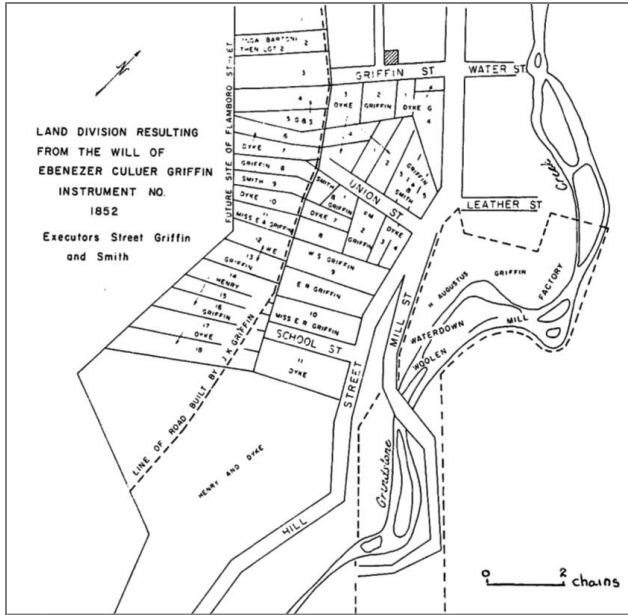


Figure 9: Land Division Resulting from the Will of Ebenezer Culver Griffin, 1852 (Donkin Thesis, Map 12)



Figure 12: American Hotel (right) and the General (Eager) Store (left) at the corner of Mill and Dundas Streets circa 1904 (Flamborough Archives, BW071, Will Reid Collection)



Figure 10: Brown's Wharf circa 1920 (Flamborough Archives, LP 6)



Figure 13: Winter scene of the mill site at the Great Falls (now known as Smokey Hollow), circa 1900s (Flamborough Archives, BW414, Will Reid Collection)



Figure 11: Horse-drawn wagon in front of the North American Hotel, unknown date (Flamborough Archives)



Figure 14: Vinegar Hill, looking west down Dundas Street to the bridge over Grindstone Creek, circa 1907 (Flamborough Archives, BW 2810)



Figure 15: Looking east at Union Cemetery over Grindstone Creek, pre-1911 (Flamborough Archives, BW2401, Will Reid Collection)



Figure 18: Grace Anglican Church circa 1908 (Flamborough Archives, BW238)



Figure 16: Methodist Church (left) and East Flamborough Township Hall (right) on Mill Street North circa 1915-1920 (Flamborough Archives, BW406)



Figure 19: J.K. Griffin Home circa 1977 (Flamborough Archives, BW579)



Figure 17: Waterdown Common School circa 1903 (Flamborough Archives, BW258)



Figure 20: Howland Flour Mill, established 1858, later Robertson's mill, pictured circa 1905 (Flamborough Archives, BW181)

By the end of the industrial boom, eight mill sites had been established in the village boundary along the Grindstone Creek, including: **Smokey Hollow**, established by Brown and subsequently owned by Ebenezer Griffin, Cummer and then Howland; **McNairn Corner** where Griffin also established a carding mill in late 1820s; **Upper Mill** north of Dundas where Griffin built a sawmill in the early 1830s; **Nelson Street**, established by Brown in 1832; **Dundas Street**, south of where Leander Hooper first built his dam and turning mill; **Water Street**, where carpenter Levi Hawk established his turning mill; and, **Leather Street**, established as a tannery by Henry Graham.

The establishment of new stagecoach routes played a significant role in the area’s development. Stagecoach routes brought travelers and travelers brought business leading to the need for more businesses to support the accommodation (hotels) and supply needs (general stores) of visitors to the village. Hotels, in particular, were needed for travelers to rest at stagecoach stations with as many as six in operation at one time during the heyday of the stagecoach routes (1860s-1870s). During the 1860s, these hotels included the American Hotel, Crown Inn, Royal Hotel, Boadicea House, and the Union Hotel.

Important milestones from this period include:

- 1820 – The first division of Lot 7 took place and Brown sold 42 acres to James Grierson, including the creek and stone quarry
- 1823 – Ebenezer Culver Griffin purchases over half of Alexander Brown’s property, including the lower portion of Grindstone Creek and the Great Falls
- 1824 – Griffin builds a store at southeast corner of Dundas and Mill Streets (which would later become Eager’s Store then Week’s Store)
- American Hotel is built
- 1827-28 – Griffin builds a mill at the Great Falls and also builds a mill at the McNairn Corner mill site
- 1829 - Stagecoach service through Waterdown begins, connecting Ancaster to York (Toronto)
- 1830 – Union Cemetery opens (First annual meeting of the cemetery company doesn’t take place until 1878)
- 1830s – Brown’s Wharf is established
- 1830-1831 – Griffin Village Survey is drawn (but not registered until 1854)
- 1832-3 – Griffin builds a sawmill north of Dundas Bridge; Brown builds a mill at the Nelson Street site
- 1838 – Methodist Church built on Mill Street North (wood-frame)
- 1840 – First Post Office is established
- 1844 – Dr. John Murray, Waterdown’s first doctor, began practicing
- 1847 – Ebenezer Culver Griffin dies and John Cummer buys the rights to Smokey Hollow
- 1852 - St. Thomas Catholic Church and Cemetery opens
- 1853 - Waterdown Public and Continuation School built (now the Scouts Hall in Sealey Park); J.K. Griffin enhances Snake Road and Main Street and institutes a toll gate at Valley Inn, which becomes an important stage coach route; Knox Church built (original stone portion)
- 1856 – East Flamborough Township Hall constructed; E.C. Griffin Estate settled, lands divided for heirs; McMonies and Stock Survey registered
- 1858 – Howland Flour Mill established in Smokey Hollow
- 1860 – Anglican Church built on Mill Street North
- 1865 - Hugh Carson & Sons quarry and construction business established; Griffin store at Mill and Dundas Streets sold to Joseph Culloden Eager; Wood-frame Methodist church on Mill Street North replaced with stone building
- 1867 – Confederation of Canada; Stone mill building constructed on Mill Street North at the Upper Mill site (later the Nicholson & Stetler Jam Factory)

Heritage attributes related to this period include:

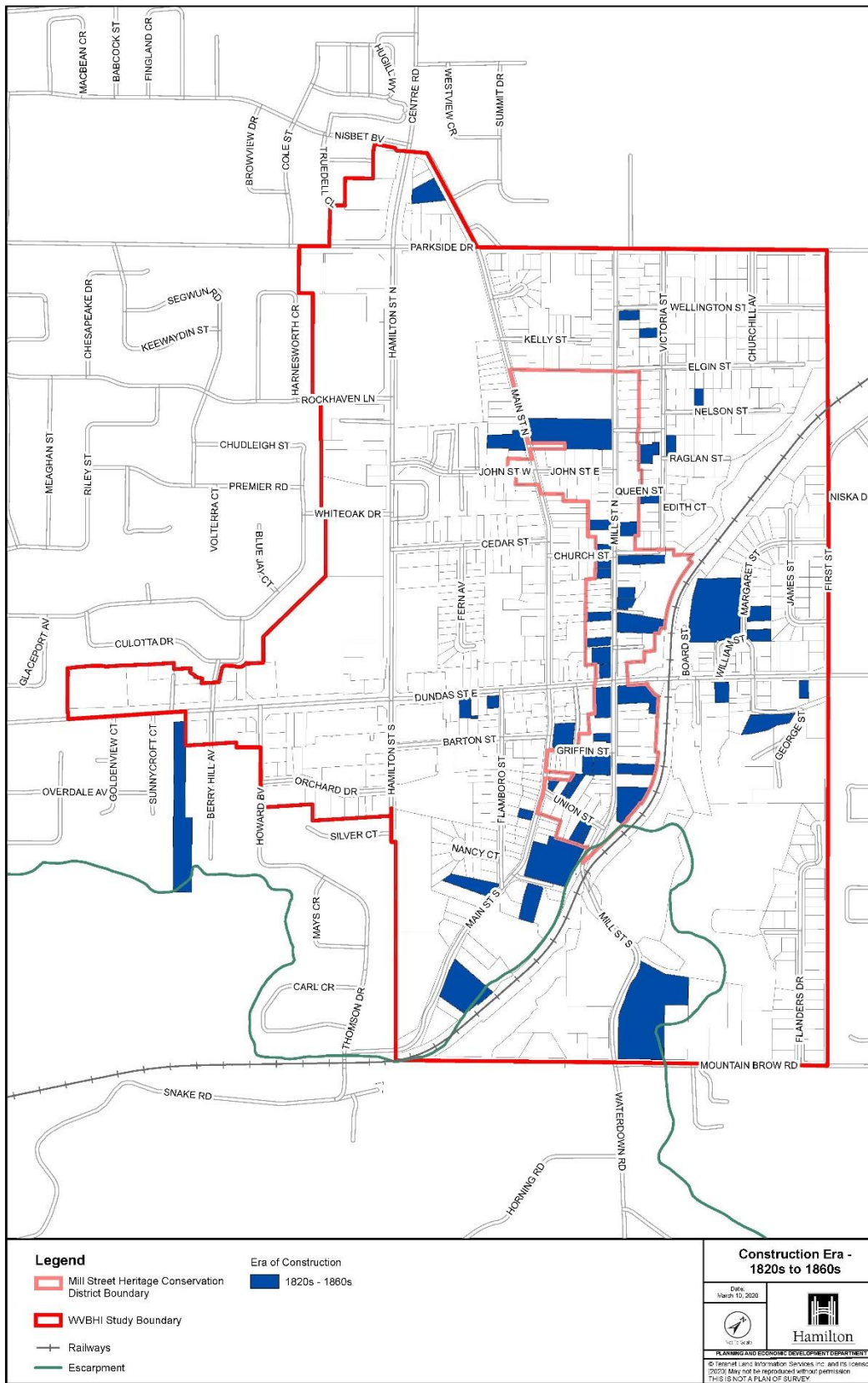
- *Survey and residential areas and their lotting patterns, including Vinegar Hill, the Griffin Survey (1830-1), the McMonies and Stock Survey (1856) and the Kelly Survey (1856) (see **page 20**)*
- *Extant transportation corridors constructed during this period, including:*
 - *Board Street, Franklin Street, John Street (between Main and Mill Streets), Main Street (expanded and enhanced), Margaret Street, Mill Street (expanded), Reynold Street, Union Street*
- *Extant buildings constructed during this period, including:*
 - *Pre-Confederation buildings*
 - *Buildings of stone construction connected to early limestone quarrying*
 - *Landmark institutional, commercial and industrial buildings: American House (1824), Eager-Weeks General Store (1824), Methodist Church (1838), Post Office (1846), Reid’s Harness Shop (1850), Common School (1853), Knox Church (1855), East Flamborough Township Hall (1856), Former Methodist Parsonage (1857), Former New Connexion Methodist Church (1859), Anglican Church (1860), Huxley-Stock Building (1860), Stone Mill Building (circa 1867)*
 - *Early settler homes: Magill House (1840), Read Baker House (1840), J.K. Griffin House (1844), Griffin Stone Cottage (1845), Cummer House (1846), Maplebank (1850), Terryberry Cottage (1850), Watson House (1850), Walnut Shade (1850), Robson Cottage (1850), Carson House (1850), Cummer Stone Row (1851), Creen House (1860), Raycroft Cottage (1860), Reid House (1860), Cook-Creen House (1865), Philip House (1867)*
- *Historic cemeteries that opened during this period, including Union Cemetery (1830) and the St. Thomas Cemetery (1852)*
- *Areas of archaeological potential with Euro-Canadian affinities, including:*
 - *Early mill sites along the Grindstone, including the Dundas Street Mill Site, Leather Street Mill Site, McNairn Corner Mill Site, Nelson Street Mill Site, Smokey Hollow Mill Site, Upper Mill Site, Victoria Mill Site and Water Street Mill Site*
 - *Non-extant transportation corridors including Leather Street, Spring Street, Water Street*
- *Registered archaeological site AiGx-306 of the former Brown homestead (located in Souharrisen Natural Area outside of village boundaries). The ruins of the former Brown homestead are now commemorated in the Souharrisen Natural Area.*

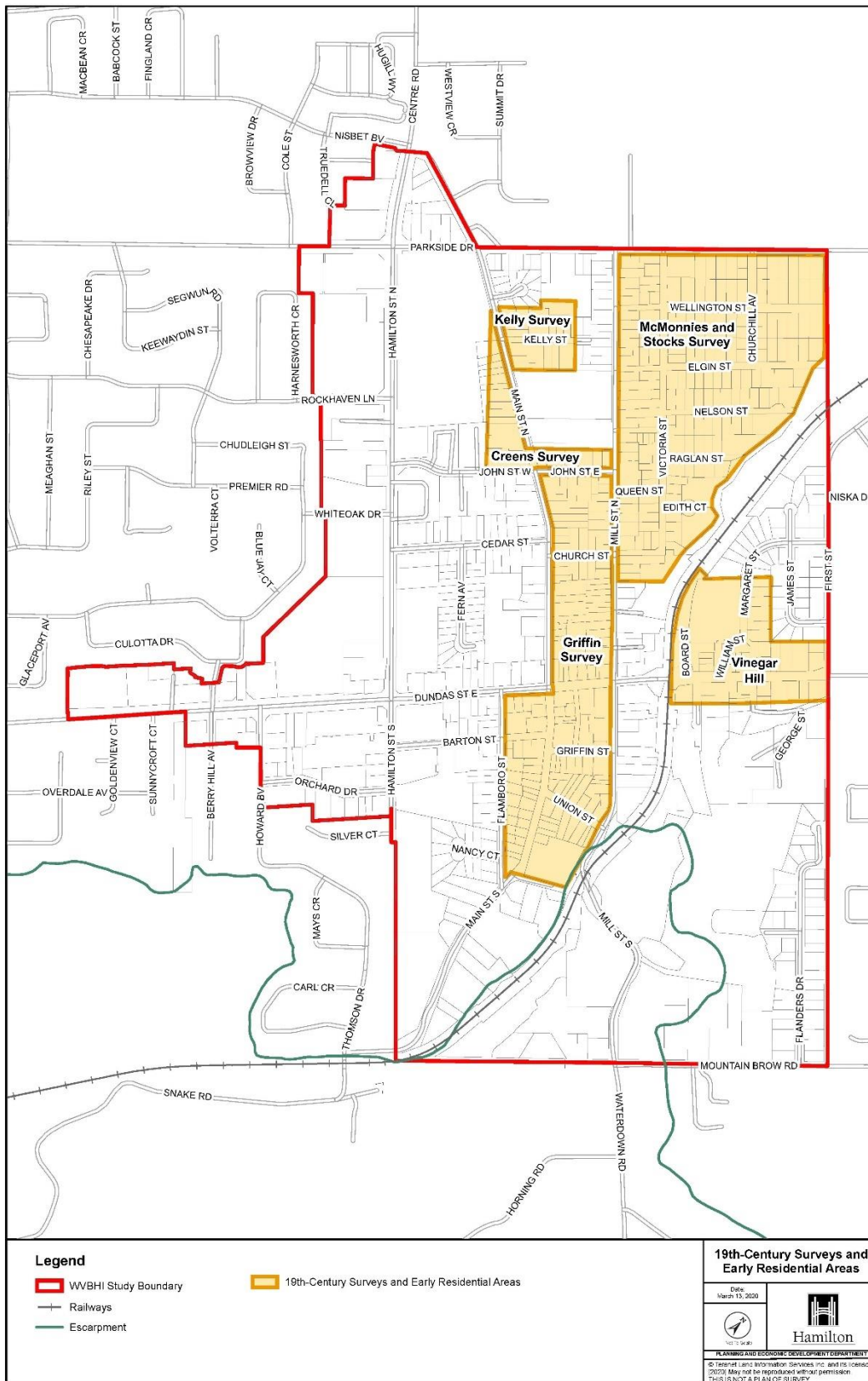
51 properties from this era make up 6% of Waterdown’s extant built resources.

35 are already protected under the Ontario Heritage Act by registration or designation.

17 are recommended for listing on the Municipal Heritage Register.

7 are recommended for designation under the Ontario Heritage Act.





Village Incorporation and Stability (1870s – 1900s)

By the late-nineteenth century the mills were well-established, and Smokey Hollow was the industrial heart of Waterdown (**Figure 21**). The village’s commercial core grew along Dundas Street between Mill and Main Streets, focusing on goods and services for villagers and local farmers, with the intersection of Main and Dundas Streets becoming the key intersection (**Figure 22**). The Village of Waterdown was incorporated in 1878 after community members petitioned to be incorporated as a separate political entity from the Township of East Flamborough. The first election was held in the former Bell House building on Dundas Street in the heart of the village (**Figure 23**). Charles Sealey - a farmer, a store and sawmill owner and owner of the Glenlee Park / Farm property (formerly the Grierson property at the western edge of the village) - was elected the first Reeve of Waterdown. Shortly afterwards, Sealey constructed his house, known as “Chestnut Grove” (**Figure 24**) on Dundas, believed to be named after the large number of horse chestnut trees that used to stand behind the house. Waterdown’s first telephone was installed as part of the Hamilton-Toronto long distance line circa 1882 in J.T. Stock’s general store on the northwest corner of Mill and Dundas Streets (**Figure 28**).

The second half of the nineteenth century saw a number of German speaking families arrive in Waterdown to find employment in the mills and factories, such as the Klodt, Metzger, Burkholder, Hasselfeldt, Kink and Slater families. Many settled in the north east corner of the village on Nelson and Raglan Streets close to the Nelson Street mill site, creating a small enclave that became known as Deutsche Town. They erected modest one-and-one-half storey worker cottages, built close to the streets, together with a German Evangelical Church on nearby Mill Street North.

As the village continued to develop its western limits shifted, changing from a farming area to residential, and several grand brick homes were constructed along Dundas Street, including the Carson House (**Figure 25**) and the Crooker House (**Figure 26**), as well as the southern corners of John and Main Streets. Houses in the village had well-tended gardens, fences separating front lawns from dirt roads, some of which had wooden sidewalks and street trees. Some of the previously-established hotels had since closed, and new ones opened, most notably the Kirk House Hotel (**Figure 27**), established by Patrick Kirk (1843-1894) circa 1888. The prominent brick hotel at Main and Dundas Streets is believed to have been built on the site of an earlier 1860s wood-frame hotel, known as the Right House Hotel, owned and run by William Heisse.

Waterdown’s industrial sites experienced highs and lows during this period, including the loss of Read Baker’s rake factory at the Leather Street mill site to fire in 1885 and the establishment of Ferdinand Slater’s Lumber Mill at the Upper Mill Site that same year. By the early 1890s this industrial area contained over seventeen buildings, including the two stone mills of W.P. Howland, three houses and nine outbuildings.

Dr. John Owen McGregor (1850-1928) was a former village doctor, later elected Reeve in 1895, who moved to the village in 1885 and built his residence and office on Main Street North, a building which is believed to have been constructed by remodelling the former St. Andrew’s Presbyterian Church manse. Later known as “The Clunes”, the McGregor property was one of the largest private open spaces in the village and was the site of many public events and garden parties. In the 1890s, Frederick W. Crooker (1862-1927), son of successful merchant and druggist William Crooker, established a general store at the northeast corner of Main and Dundas Streets in what became known as the Crooker Building, an

impressive structure that was considered the finest and largest mercantile building in the village (**Figure 22**). Other important milestones from this period include: the first Flamborough and Waterdown Agricultural Society Fair held in 1882; registration of Plan 355 of the Village of Waterdown in 1887, which formalized Griffin’s early village survey and combined it with the McMonies and Stock Survey; the establishment of the Waterdown Women’s Institute in 1897; and, expansion of the Knox Church in 1901.



Figure 21: Smokey Hollow circa 1870 (Flamborough Archives, BW1679)



Figure 22: Looking north up Main Street past Dundas circa 1900; (L to R) Kirk House Crooker Building (Flamborough Archives, BW745)



Figure 23: Former Bell House building on Dundas Street circa 1900 (Flamborough Archives, BW230)

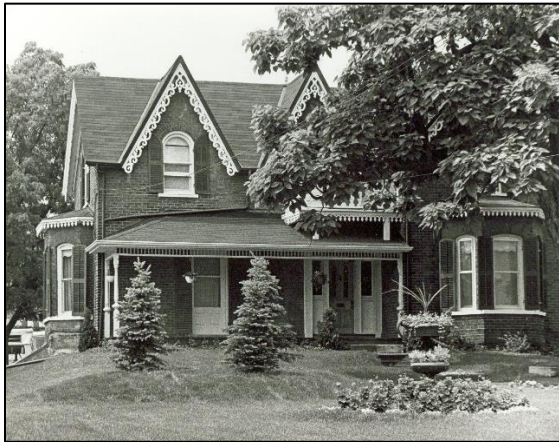


Figure 24: Chestnut Grove circa 1977 (Flamborough Archives, BW 461)



Figure 25: 288 Dundas Street East (Carson House) in the late-nineteenth century (Facebook, Posted by J. Vance, Oct 21, 2018)



Figure 26: Crooker House circa 1966 (Flamborough Archives, BW568)



Figure 27: The Kirk Hotel, Waterdown, circa 1920 (Flamborough Archives, BW 746)



Figure 28: Reid, Saddle and Harness Store circa 1900, previously Stock's Store (Flamborough Archives, BW 126)



Figure 29: Village of Waterdown, Wentworth County Atlas Map, 1875

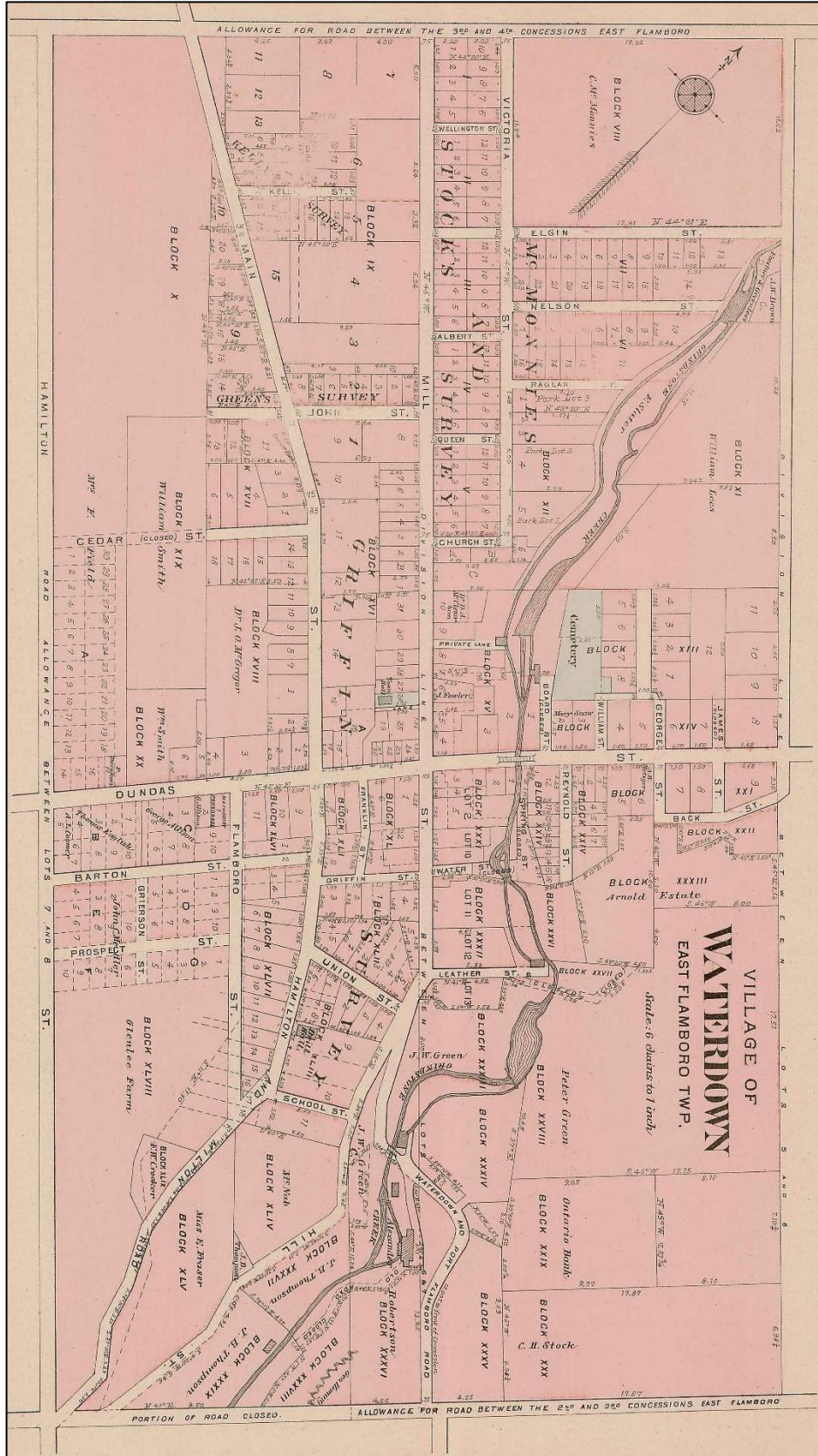


Figure 30: Village of Waterdown, Imperial Atlas, 1903

Important milestones from this period include:

- 1870 – Sealey House built (just west of village boundary, now on Orchard Drive)
- 1871 – Eager House built
- 1875 – Forstner’s Mill established at the Upper Mill site (later the Slater Lumber Mill)
- 1878 - Incorporation of the Village of Waterdown; First election held in the former Bell House
- 1879 – Charles Sealey elected first Reeve of Waterdown
- 1880 – Charles Sealey moves into Chestnut Grove
- 1882 – First telephone exchange installed in Stock’s General Store; First Flamborough and Waterdown Agricultural Society Fair
- 1885 – Leather Street mill site (Read Baker’s rake factory) burns down; Dr. John Owen McGregor moves to Waterdown, builds his office and residence on Main Street North; Carson House built; Ferdinand Slater purchases the Upper Mill site, establishes Slater’s Lumber Mill
- 1886 – Crooker House built
- 1887 - Plan 355 for the Village of Waterdown registered, which combined the Griffin and McMonnies and Stock surveys
- 1888 - Kirk House Hotel is established
- 1897 – Waterdown Women’s Institute established
- 1900 – Dam below Dundas Street destroyed by a spring flood (never rebuilt)
- 1901 – Knox Church expansion (brick)

Heritage attributes related to this period include:

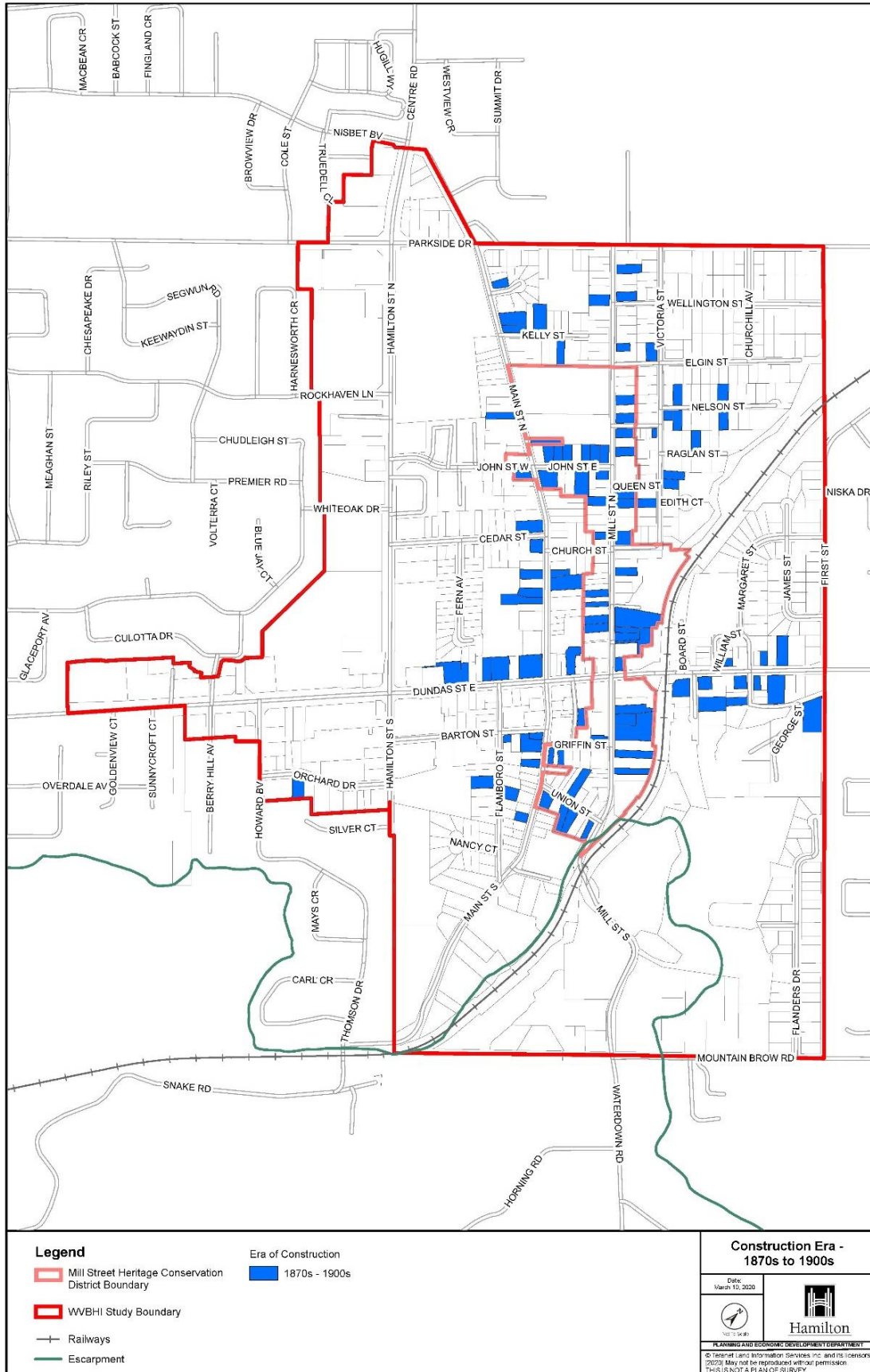
- Boundary of incorporated village (1878)
- Survey areas and their lotting patterns, including the Creen Survey (1870)
- Extant buildings constructed during this period, including:
 - Landmark residential and institutional buildings: Sealey House (1870), Eager House (1871), Chestnut Grove (1880), Carson House (1885), McGregor House (1885), Crooker House (1886), Kirk Hotel (1888), Griffin Farm House (1890), Knox Church expansion (1901)
 - Vernacular residences, including those influenced by, and representative of, architectural styles such as the Ontario Cottage and Ontario Farm House (see **pages 28 and 29**)
- Extant transportation corridors constructed during this period, including:
 - Albert Street, Barton Street, Cedar Street, Church Street, Elgin Street, Flamboro Street, Griffin Street, Kelly Street, Nelson Street, Queen Street, Raglan Street, School Street, Victoria Street, Wellington Street
- Areas of archaeological potential with Euro-Canadian affinities, including:
 - Non-extant transportation corridors including: Hill Street

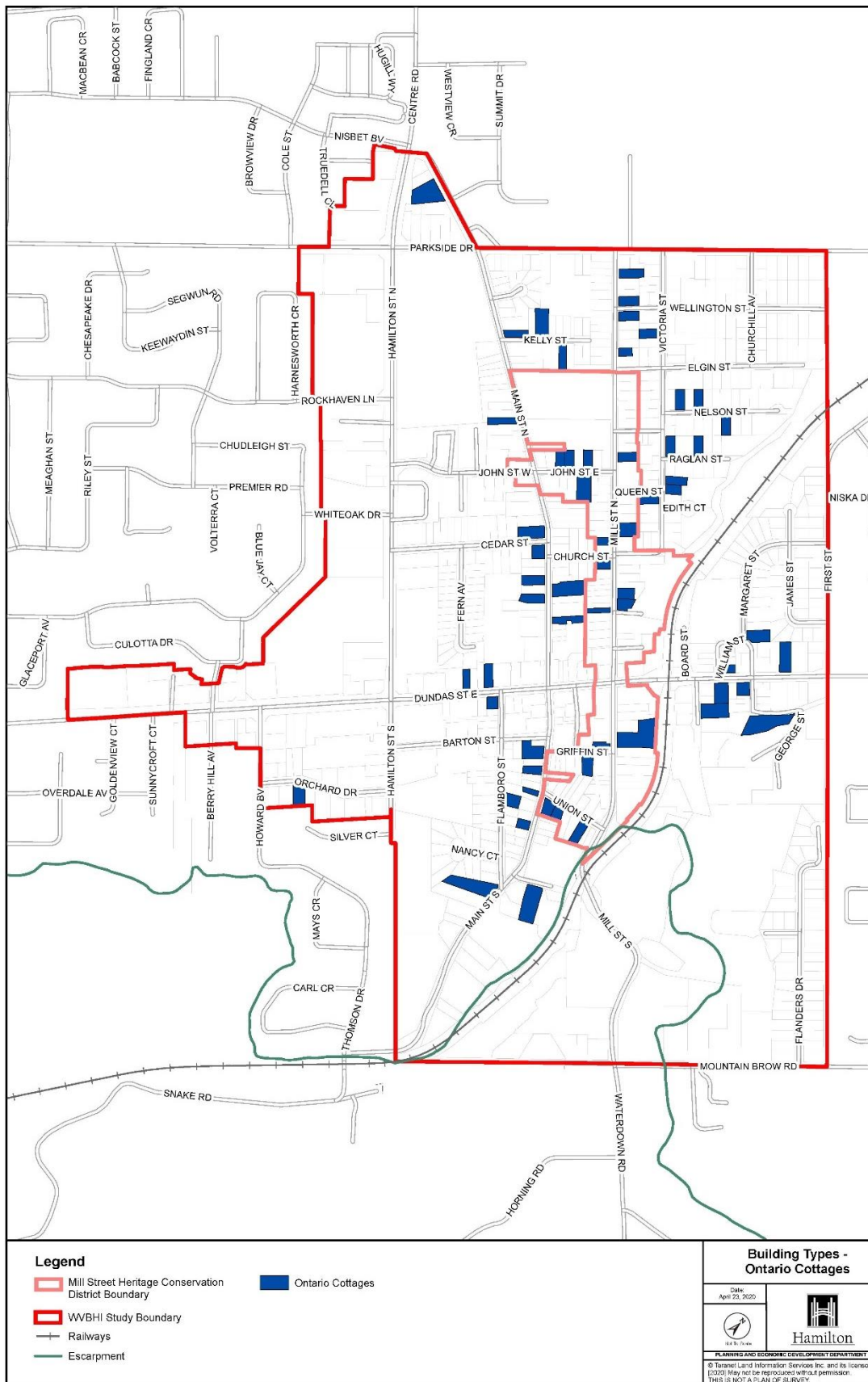
98 properties from this era make up 12% of Waterdown’s extant built resources.

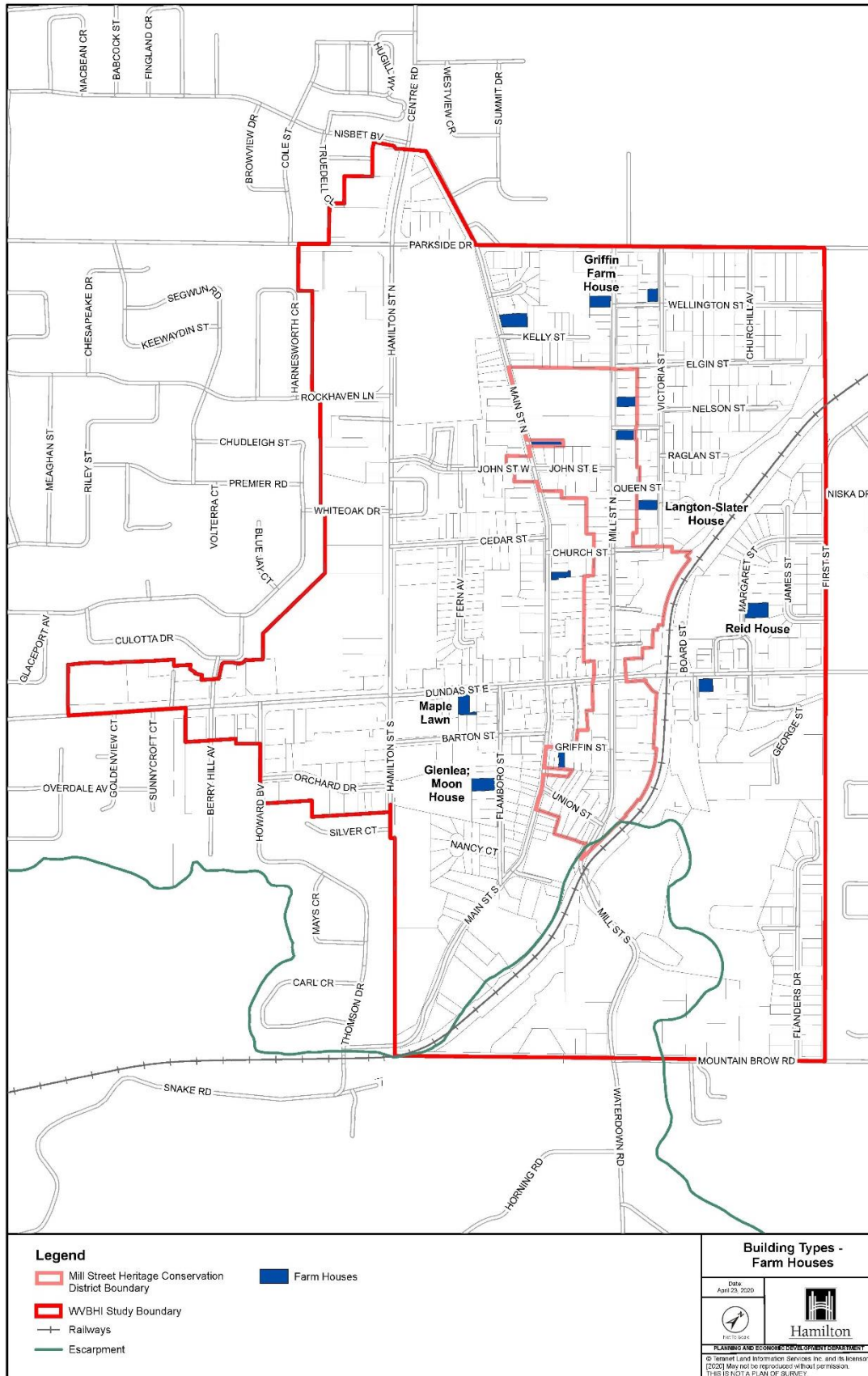
49 are already protected under the Ontario Heritage Act by registration or designation.

43 are recommended for listing on the Municipal Heritage Register.

4 are recommended for designation under the Ontario Heritage Act.







A Time of Unrest and Great Change (1910s – 1940s)

The early-twentieth century was a time of significant change in the village. By 1900, many industrial mills were non-existent, mainly due to fire, flood and drought (**Figure 31**). Notable is the 1910 fire that destroyed Robertson Mill (formerly Howland’s Mill) in Smokey Hollow (**Figure 35**). The remaining mills relied on steam power due to the diminished water supply from the Grindstone Creek.



Figure 31: View of Smokey Hollow from Sealey Park showing construction of the railway and burned-out mills, circa 1912 (Flamborough Archives, BW 2461)

This period was defined by its two world wars, major fires in the heart of the village, significant public infrastructure investment and the beginning of post-war subdivision development. Electricity was first introduced in Waterdown in 1911. Around the same time, the Canadian Pacific Railway corridor was constructed between (circa 1911-1912), connecting the northern part of East Flamborough to Hamilton for passenger and commercial travel. The railway routing took advantage of the natural path of Grindstone Creek through and down the escarpment and with it came significant changes to the character of the river valley, including rerouting of the river and the elimination of most of the evidence of the former mills and mill raceways (**Figure 32**, **Figure 33**).



Figure 32: Railway under construction by Canadian Pacific Railway north of Dundas Street Bridge circa 1911 (Flamborough Archives, BW 94, Will Reid Collection)



Figure 33: Passenger Train at Waterdown South Railway Station, circa 1920 (Flamborough Archives, BW 1095)

Waterdown residents made a considerable contribution during World War I (1914-1918) for its population; 108 people in total with a higher than national average of women enlisting. During this time the 129th Battalion Waterdown Training Group used the Drill Shed on the former Common School grounds, now part of Sealey Park (**Figure 36**). Nearing the end of the First World War in 1918, the Waterdown Review also printed its first issue. The Waterdown Women’s Institute spearheaded the construction of Memorial Hall in 1922 to honour those many villagers who served their country in World War I (**Figure 37**). The hall was officially dedicated at a Memorial Service on January 14, 1923.

By the early 1920s the Waterdown Public and Continuation School (Common School) was overcrowded and a new school was needed in Waterdown. Built on a property on Mill Street North that was previously used as a fairground (**Figure 38**), the new school opened in 1921 as the Waterdown and East Flamborough Union School Section No. 3, later renamed to Mary Hopkins School in honour of the first teacher in Waterdown (**Figure 39**). A new high school was built a few years later. The Waterdown High School, located on the southwest corner of Dundas and Hamilton Streets, opened in 1928 (**Figure 40**).

The village experienced a handful of damaging fires in the early-twentieth century (1906, 1915, 1918), but none as impactful as the Great Fire of 1922, so named because it is the biggest fire in Waterdown’s history. It began the afternoon of May 23, 1922 at Davies’ heading mill when sparks from a boiler landed in the sawdust that covered the floor. The heading mill only lost its roof but the adjacent roller rink (constructed entirely of dry wood) was completely demolished. The wind caused the fire to make a series of jumps along Dundas Street that would result in the destruction of eleven businesses and three private houses (**Figure 34**). The Waterdown fire department tried to gain control of the fire but were unable to do so. As a result, the Hamilton Fire Department was called in. Following the Great Fire, a waterworks system was installed in the village in 1926 and a water tower built on Main Street North in 1928. Waterdown received its first fire truck in 1932.



Figure 34: The aftermath of the Great Fire in 1922, looking southeast from the Kirk House roof (Flamborough Archives, BW 2165)

By 1929, the new Public School and High School had opened and the former Common School building was partially-demolished after a fire. What was left of the Common School was located on lands owned by William Oscar Sealey, one of Wentworth County's most prominent citizens who served as a Reeve in East Flamborough, was a member of Wentworth County Council, and, in 1908, was elected to the Dominion Parliament as a Liberal Candidate where he served until 1911. In 1931, William Oscar Sealey officially presented Sealey Park to the village, named in honour of his father Charles, first Reeve of Waterdown.

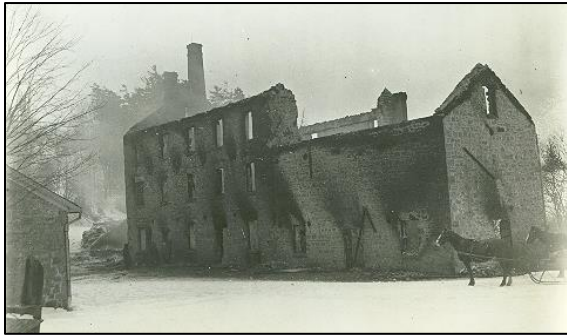


Figure 35: Robertson's Flour Mill the morning after it burned down in 1910 in Smokey Hollow (Flamborough Archives, BW 182, Will Reid Collection)



Figure 38: Waterdown Public School under construction in 1921 (Flamborough Archives, BW 186, C. A. Newell Collection)



Figure 36: 129th Battalion Waterdown Training Group on the old Common School grounds, circa 1915-1916 (Flamborough Archives, BW 2365)



Figure 39: Waterdown Public School on Mill Street North, circa 1950 (Flamborough Archives, BW 1745)



Figure 37: Memorial Hall, no date (Flamborough Archives)



Figure 40: Waterdown High School, circa 1928 (Flamborough Archives, BW 879)

The village grew conservatively during the 1930s, influenced by wartime austerity, with some infilling of homes and larger estate properties severed and subdivided for more modest housing. Following World War II (1939-1945), the village saw its first significant residential intensification effort with the registration of the Waterdown Heights Subdivision in 1945 (**Figure 41**). The subdivision was surveyed on the former McMories property in the northeast corner of the village and consisted of generous standardized lots for modest post-war homes and street names paying homage to the British, including Churchill Avenue and Wellington Street (**Figure 42**).

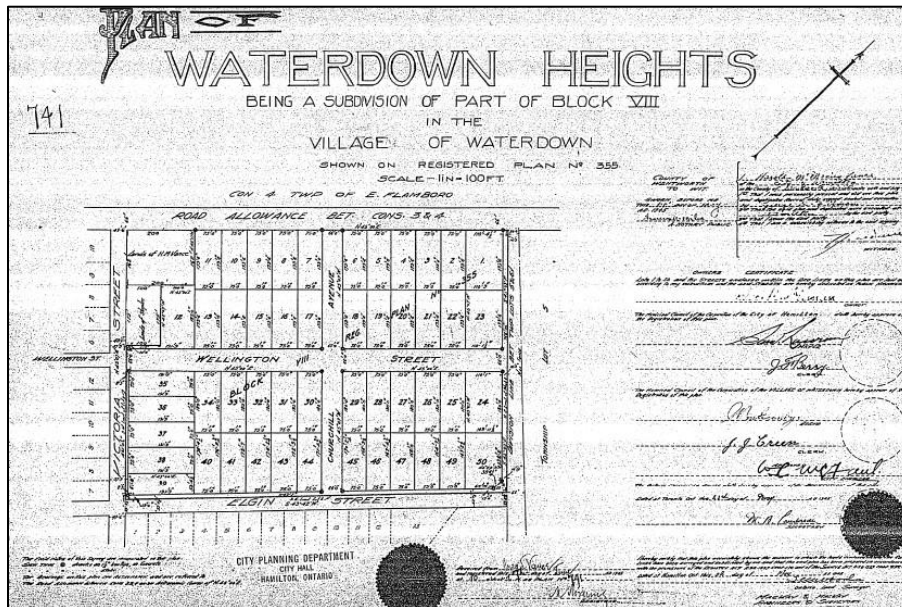


Figure 41: Plan of Waterdown Heights, Registered Plan 355 (City of Hamilton)



Figure 42: Photograph of Wellington Street from the 1951 Hamilton Spectator article "Waterdown Being Rapidly Built Up With New Homes" (Hamilton Public Library, Special Collections Image 32022189119932)

The decade ended with the village honouring those who lost their lives in World War II. Memorial Park began as a former sand and gravel quarry. The Waterdown Amateur Athletic Association, Waterdown Women's Institute and the Waterdown Board of Trade purchased the property and, joined by the Flamboro & Waterdown Agricultural Society, created Memorial Park. The Park was formally dedicated on August 18th, 1949. In 1950, the Canadian Pacific Railway discontinued passenger service to the Waterdown South Station.



Figure 43: Work starting on Memorial Park, circa 1946 (Flamborough Archives, BW 2405)

Important milestones from this period include:

- 1904 - Baptist Church burns down
- 1910 – Robertson’s Flour Mill (formerly the Howland Flour Mill) burns down
- 1911 - Electricity is turned on
- 1911-1912 – Canadian Pacific Railway corridor built through Waterdown, connecting the northern part of East Flamborough to Hamilton for passenger and commercial travel
- 1914 – St. Thomas Roman Catholic Church built
- 1914-1918 – World War I
- 1918 – Waterdown Review prints its first issue on May 17th, 1918
- 1921 – Waterdown Public School (now known as Mary Hopkins School) is built on Mill Street North; Hugh Carson & Sons quarry and construction business taken over by son Frederick Carson and renamed Fred Carson & Sons, focusing on construction
- 1922 – Waterdown Memorial Hall built; The Great Fire
- 1923 – Dundas Street paved
- 1924 – Weeks family takes over Eager’s General Store
- 1926 – Waterworks system installed
- 1928 - Water tower constructed on Main Street North
- 1928 - Waterdown High School opens at Dundas and Hamilton Streets
- 1931 – Sealey Park established by W.O. Sealey, remnants of former Common School conserved
- 1932 - Waterdown receives its first fire truck
- 1939-1945 – World War II
- 1945 – Waterdown Heights Subdivision is registered
- 1949 - Memorial Park dedicated on August 18, 1949 as a tribute to those who lost their lives in World War II
- 1950 – Canadian Pacific Railway discontinues passenger service to South Waterdown Station

Heritage attributes related to this period include:

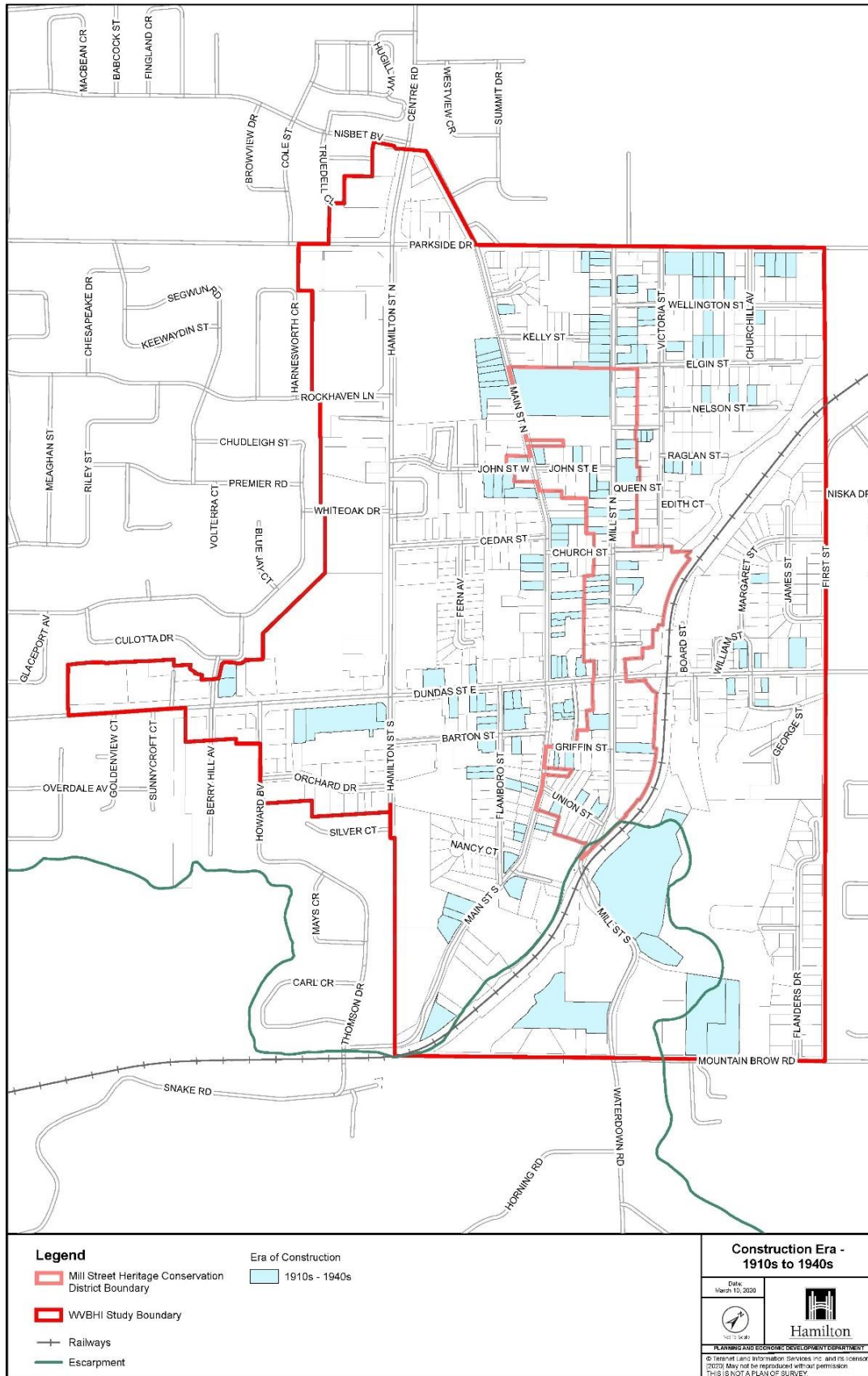
- *Waterdown Heights Subdivision (1945), including its streets, lotting patterns and extant homes*
- *Extant buildings constructed during this period, including:*
 - *Landmark institutional buildings: St. Thomas Roman Catholic Church (1914), Waterdown Public School (1921), Waterdown Memorial Hall (1922), Waterdown High School (1928)*
 - *Buildings constructed during World War I or World War II (see **page 37**)*
 - *Vernacular residences, including those influenced by, and representative of, early-twentieth century, wartime and post-war architectural styles*
- *Extant public spaces constructed during this period, including:*
 - *Sealey Park (1931)*
 - *Waterdown Memorial Park (1949)*
- *Extant transportation corridors and features constructed during this period, including:*
 - *Canadian Pacific Railway corridor (1911-1912)*
 - *Remnants of the 1916 spur line bridge over the Grindstone Creek (behind Edith Court)*
- *Areas of archaeological potential with Euro-Canadian affinities, including:*
 - *Site of former Drill Shed in Sealey Park*
 - *Site of the former Vance House / Waterdown South Train Station*

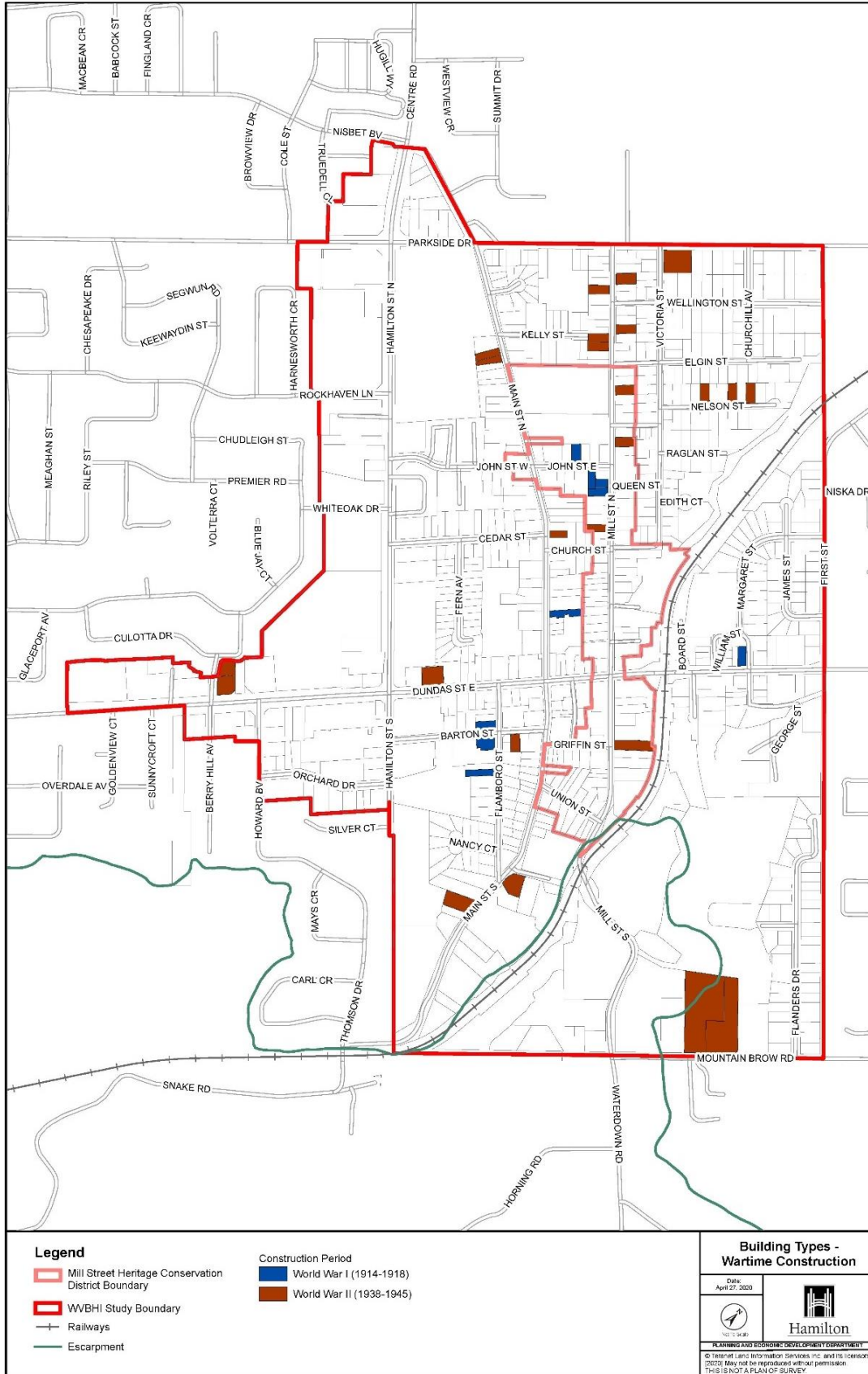
151 properties from this era make up 19% of Waterdown's extant built resources.

29 are already protected under the Ontario Heritage Act by registration or designation.

95 are recommended for listing on the Municipal Heritage Register.

0 are recommended for designation under the Ontario Heritage Act.





Residential Intensification (1950s – 1960s)

The construction of homes in the Waterdown Heights Subdivision continued into the 1950s. By the 1960s, the village’s identity was very different than it was before the Second World War. Following Waterdown Heights, a number of larger properties and estates began to be subdivided across the village, including Hawksview Gardens (1952), Waterdown Gardens (1954) and Margaret Gardens (1958). In 1956, a building housing a municipal office and fire hall was built at Barton and Main Streets (**Figure 44, Figure 45**).

Residential growth in the mid-twentieth century came hand-in-hand with the rise of the automobile. Soon the stretch of Dundas Street (Highway 5) through Waterdown was slated for expansion, which was vehemently fought by residents at the time. By 1962 the Waterdown South train station closed altogether. The former station was burned down by arson a few years later. Auto-centric development came to the village with the construction of the Village Plaza strip mall on Hamilton Street in 1964. The seven-storey residential building at 100 John Street West was the first high rise constructed in the village and marked the start of its changing character following a 1966 by-law permitting apartments up to 10 storeys and the introduction of sanitary sewer systems in 1967. The mid-twentieth century also saw the introduction of significant community organizations and amenities in the village, including the Royal Canadian Legion Branch 551 in 1954 (**Figure 46**) and the Bruce Trail (1965).



Figure 44: Municipal Office and Fire Hall Building from Barton Street, 1956 (Flamborough Archives, BW 1858)



Figure 45: Municipal Office and Fire Hall from Main Street South, 1956 (Flamborough Archives, BW 1859)



Figure 46: Legion parade band on Dundas Street, 1957 (Flamborough Archives, BW 1842)

Important milestones from this period include:

- 1951 - *St. Thomas Roman Catholic Public School opens*
- 1952 - *Hawksview Gardens Subdivision registered*
- 1954 – *Waterdown Gardens Subdivision registered; Royal Canadian Legion Branch 551 started*
- 1955-56 – *Dundas Bridge Work*
- 1956 - *Municipal Office and Fire Hall building built at Barton and Main Streets*
- 1956 – *Legion Hall built on Hamilton Street North*
- 1958 – *Margaret Gardens Subdivision registered*
- 1961 – *Highway 5 Expansion fought by residents*
- 1962 - *Berry Hill Court Survey registered*
- 1962 – *South Waterdown Canadian Pacific Railway Station closes*
- 1964 - *The Village Plaza on Hamilton Street North is built*
- 1965 – *Bruce Trail first runs through Waterdown*
- 1966 – *Old Waterdown South Station burns down; Kirk Family sells the Kirk House Hotel*
- 1967 – *Sanitary system begins to be installed in Waterdown*
- 1968 – *First high rise built / John Street West subdivision registered*

Heritage attributes related to this period include:

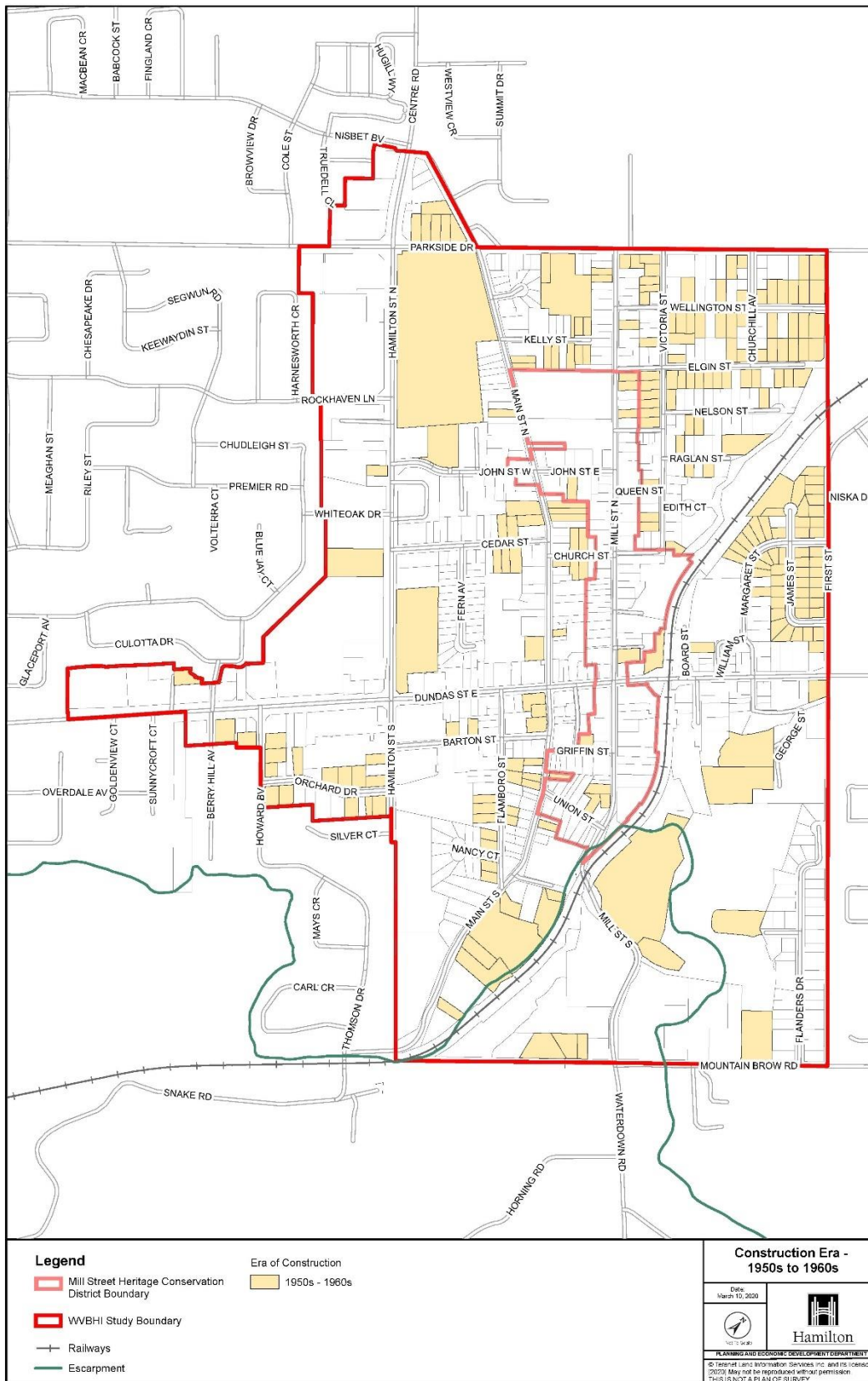
- *Extant buildings constructed during this period, including:*
 - *Homes built in the Waterdown Heights Subdivision (1945)*
 - *Municipal Office and Fire Hall Building (1956)*
 - *Vernacular residences, including those influenced by, and representative of, post-war and mid-century architectural styles*
- *Bruce Trail route*

233 properties from this era make up 29% of Waterdown’s extant built resources.

9 are already protected under the Ontario Heritage Act by registration or designation.

54 are recommended for listing on the Municipal Heritage Register.

0 are recommended for designation under the Ontario Heritage Act.



Development, Amalgamation and Identity (1970s – 2010s)

Following the construction of Waterdown’s first high-rise building in 1968, two additional towers constructed in the complex on John Street West, known as Waterdown Towers. The Waterdown Towers project also included the construction of a quarter-mile of John Street West to Hamilton Street, which was previously unopened. Three other buildings were constructed during this high-rise boom, including Braeburn Apartments at 1 Hamilton Street South (1971), 2 Edith Court (1974) and 4 Edith Court (1976). The high-rise trend was curbed a few short years after it began when amendments were passed to restrict new apartment buildings to certain areas in the village and limited building heights to 35 feet along Dundas Street from Hamilton Street to the bridge east of Mill Street. Planners had predicted that if developers had taken advantage of the high rise apartment permissions in the zoning, the village population would have tripled in size.

In 1974, Waterdown was amalgamated with East and West Flamborough and Beverly Township to form the Township of Flamborough in the Regional Municipality of Hamilton-Wentworth. The year before in 1973 the Waterdown-East Flamborough Heritage Society was founded to ensure that the local history of the community would not be lost after amalgamation (**Figure 48**). In 1985 the Township of Flamborough became the Town of Flamborough.

In the late-twentieth century residential intensification continued in the remaining underdeveloped land in the village, including Buchan Court (1975), Melanie Crescent town home complex (1977) and Renwood Park (1981). During this time the Heritage Society and Local Architectural Conservation Advisory Committee (LACAC) worked diligently to protect many of the village’s significant heritage properties under the *Ontario Heritage Act*, including the designation of the Mill Street Heritage Conservation District in 1996.

In 2001, Waterdown became a part of the new City of Hamilton when six municipalities, Hamilton, Dundas, Ancaster, Flamborough, Glanbrook and Stoney Creek, were amalgamated.



Figure 47: New water tower under construction, c. 1977
(Flamborough Archives, BW 1508)



Figure 48: Historic Waterdown walking tour outside of the Crooker House, 1979 (Flamborough Archives, BW 122)

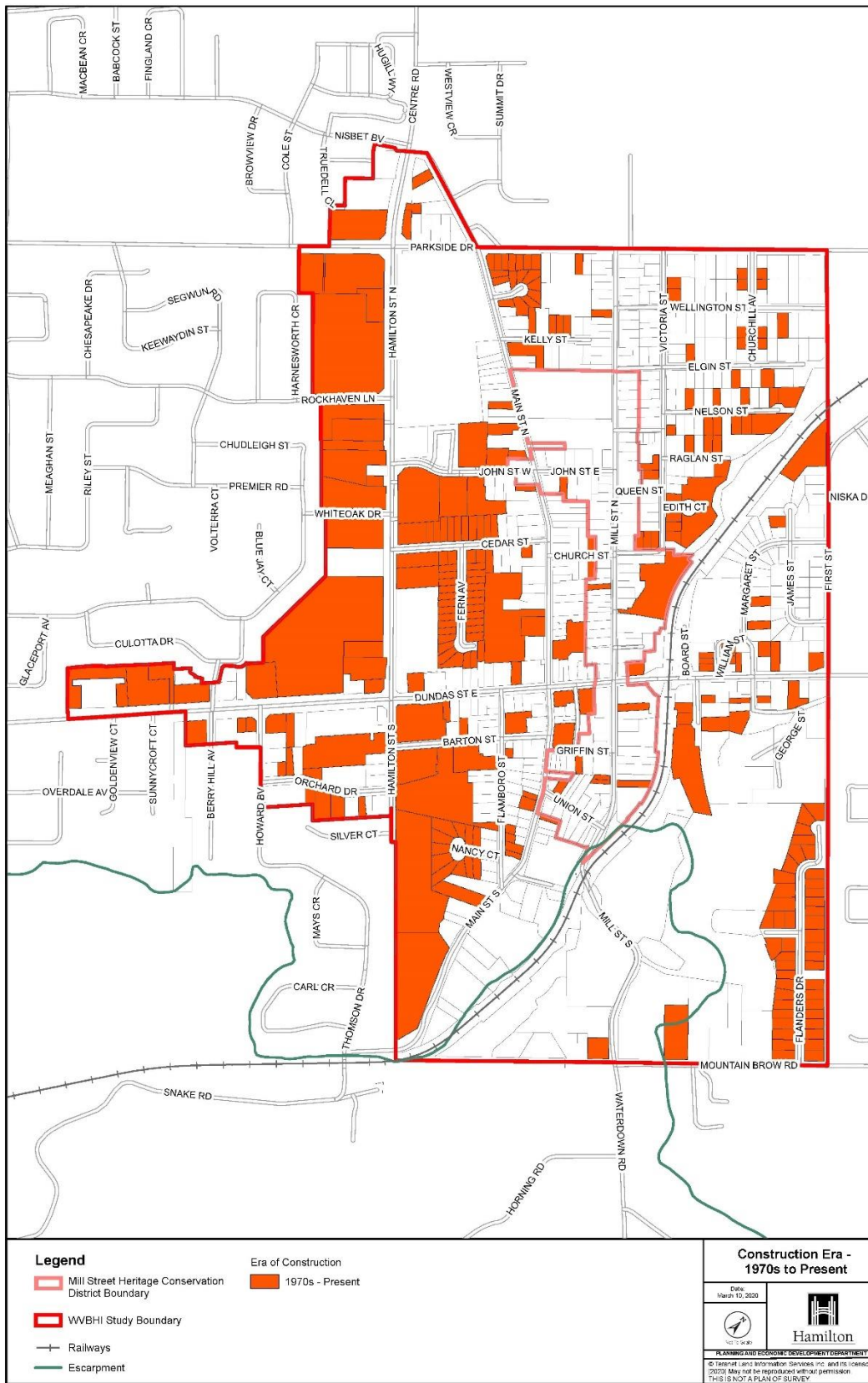
Important milestones from this period include:

- 1970 – Glenlea Survey registered
- 1971 – Edith Court Subdivision registered; Braeburn Apartments built at Hamilton and Dundas Streets
- 1972 – Waterdown passes zoning to limit new high rise development
- 1973 – East Flamborough - Waterdown Heritage Society formed
- 1974 – Township of Flamborough established
- 1975 – Buchan Court Subdivision registered
- 1976 – New Royal Canadian Legion Branch 551 constructed on Hamilton Street North
- 1977 - New water tower constructed off Main Street North (at Kelly Street)
- 1977 – Melanie Crescent town home complex constructed
- 1981 – Renwood Park Subdivision registered
- 1985 - Township of Flamborough becomes the Town of Flamborough
- 1992 – Dundas Street reconstruction; Fire Station 24 built on Parkside Drive
- 1995 – Royal Coachman established in the former Kirk House Hotel
- 1996 - Mill Street Heritage Conservation District established
- 2001 – Town of Flamborough amalgamated into new City of Hamilton

Heritage attributes related to this period include:

- *Mill Street Heritage Conservation District boundary*
- *Water Tower (1983)*
- *Legion Building (1976)*

***278 properties from this era make up 34% of Waterdown’s extant built resources.
10 are already protected under the Ontario Heritage Act by registration or designation.
2 are recommended for listing on the Municipal Heritage Register.
0 are recommended for designation under the Ontario Heritage Act.***



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Interviews

Wilf Arndt
Donald Buchan
Lyn Lunsted
Andy MacLaren
Dawn and Jamie Norris
Nathan Tidridge
Diane Woods
Jonathan Vance
Garth Wetherall
Sylvia Wray

Public Engagement and Consultation Activities for the Waterdown Village Built Heritage Inventory Project:

- **May 2018** – Launch of project website – www.hamilton.ca/heritageinventory
 - **June 2018** – Project information table at Hamilton Municipal Heritage Committee Awards in Waterdown
 - **January 2019** – Project introduction at Waterdown Focus Group Meeting #1 (in coordination with Waterdown Community Node Secondary Plan and Waterdown Transportation Management Plan); Launch of the “Historic Village of Waterdown Story Map” (www.map.hamilton.ca/waterdownhistory)
 - **February 2019** – Project introduction to the City’s Built Heritage Inventory e-mailing list; Launch of online survey for public input on Waterdown’s history and value; First Public Information Centre cancelled due to inclement weather; Information table at annual Heritage Day ceremony at City Hall
 - **March 2019** – Project introduction to the Waterdown-Mill Street Heritage Committee (in coordination with the Secondary Plan team)
 - **April 2019** – Project introduction presentations to the Mary Hopkins School Council and Waterdown BIA (in coordination with the Secondary Plan team)
 - **May 2019** – Waterdown History Jane’s Walk, in coordination with Lyn Lunsted (Flamborough Archives and Heritage Society) and Nathan Tidridge (Local Historian and Teacher); Project introductions to the Mississaugas of the Credit First Nation, Waterdown High School Council (in coordination with the Secondary Plan team)
 - **June 2019** – Project introduction to Flamborough Seniors Center Discussion Group; Project information tables at Waterdown Library and Waterdown Ribfest
 - **September 2019** – Project update at Waterdown Focus Group Meeting #2 (in coordination with the Secondary Plan and Transportation Management Plan teams)
 - **October 2019** – Rescheduled Community Workshop (in coordination with the Secondary Plan and Transportation Management Plan teams); Information table at Waterdown Farmers Market
 - **February 2020** – Information table at Hamilton Municipal Heritage Committee public workshop event; Information table at annual Heritage Day event at City Hall
- *Public consultation on hold due to COVID-19 Pandemic. Final open house originally scheduled for April 2020 postponed. ***
- **July 2020** – Project update at Waterdown Focus Group Meeting #4 (in coordination with the Secondary Plan and Transportation Management Plan teams)

- **August 2020** – On August 24, 2020, letters were sent to owners of properties recommended for listing on the Register and as candidates for designation notifying them of a virtual open house; Virtual open house materials posted on project webpage and on Engage Hamilton from August 24 to September 21 (912 views of the virtual open house page during this time period, with an average of 33 views per day); Presentation of draft recommendations to the Inventory and Research Working Group of the Hamilton Municipal Heritage Committee
- **September 2020** – Presentation of draft recommendations to the Waterdown Mill Street Heritage Committee
- **August 2021** – Notification to objecting property owners of upcoming staff report on final recommendations

Golden, Alissa

From: Adam Sicilia [redacted]
Sent: September 9, 2020 9:29 PM
To: Golden, Alissa
Cc: Partridge, Judi
Subject: Waterdown Village Built Heritage Inventory

Follow Up Flag: Follow up
Flag Status: Flagged

Hello Alissa,

I am writing in response to the letter I received regarding the possible designation of my property as a heritage building. I object to any designation of my property as heritage. As the property owner, how does this happen without me requesting it? I am not opposed to cities maintaining and celebrating their cultural heritage. However, I am opposed to unnecessary bureaucracy imposing its will on honest, taxpaying business and property owners. If Waterdown were truly a valued historical area in the city of Hamilton, why the unending development? Tax rates for Waterdown are already much higher, without similar services as even the other suburbs (e.g., bussing). Would my property value increase or decrease unnecessarily under a heritage designation? What are the repercussions of that? Not to mention, the increased cost of repairs and building improvements. It is a modest building, serving the purpose of my business and livelihood. I am proud to be the owner and as that, do not see the benefit or necessity of a heritage designation.

Sincerely,

Frank Sicilia
313 Dundas St. East
Waterdown, ON
[redacted]

Golden, Alissa

From: Tim Haist [redacted]
Sent: September 11, 2020 5:11 PM
To: Golden, Alissa
Subject: Your letter of 08/24/20 re: Waterdown built heritage inventory

Follow Up Flag: Follow up
Flag Status: Flagged

We appreciate your concerns regarding building demolition upon resale; however, as owners of our home at 77 Main St. N. Waterdown On L0R 2H0 we would prefer NOT to be be part of the Municipal Heritage register program.

Without prejudice please remove our property from your list.

--

Regards,
Tim and Linda Haist

Golden, Alissa

From: Cynthia McGuire [redacted]
Sent: September 21, 2020 2:35 PM
To: Golden, Alissa
Subject: Waterdown Village Heritage Inventory - 10 Nelson Street, Waterdown

Follow Up Flag: Follow up
Flag Status: Flagged

Hi Alissa, I am emailing you on behalf of my mother, Rena Bryson. This is to confirm her voice message left for you today; she does not want her house at 10 Nelson Street to be part of the Heritage Inventory.

If you have any questions or concerns, you can call her at [redacted] or email/call me.

Thanks and good luck with your project.

Regards,
Cindy McGuire
[redacted]

Golden, Alissa

From: Hilda Holdright [redacted]
Sent: September 16, 2020 3:32 PM
To: Golden, Alissa
Subject: Municipal Heritage Register

Follow Up Flag: Follow up
Flag Status: Completed

Hi Alissa.

We received a notice dated August 24 that our home at 304 Parkside Drive in Waterdown was being considered to be placed on a list for the Municipal Heritage Register. I understand this does not mean it would be deemed a heritage home, but would only provide short term protection against demolition.

We are considering selling our home in the future and would prefer not have this in any details that may come up in a real estate deal.

So, as per our conversation on Sept. 2/20 we wish to be taken off of the list for consideration for the Municipal Heritage Register.

Thank you
Hilda Holdright
Home owner

Sent from my iPhone



IBI GROUP
200 East Wing – 360 James Street North
Hamilton ON L8L 1H5 Canada
tel 905 546 1010
ibigroup.com

September 21, 2020

Ms. Alissa Golden RPP MCIP
Heritage Project Specialist
Tourism and Culture Division
City of Hamilton
71 Main Street West
Hamilton, Ontario
L8P 4Y5

Dear Ms. Golden:

RE: 198 VICTORIA ST - WATERDOWN VILLAGE BUILT HERITAGE INVENTORY

Please accept this letter as a formal submission and objection to the proposed inclusion of 198 Victoria St ("subject lands") on the City's Municipal Heritage Register ("Register"), as currently proposed through the Waterdown Village Built Heritage Inventory study. We are retained as planning consultants for our client, the property Owner. In this capacity, we submit this letter as the authorized agent to submit comments on behalf of our client.

The subject lands are located on the south-east corner of Parkside Drive and Victoria Street, with dual frontages. In comparison to the immediate context, the lands are larger than surrounding lots, in many cases with over twice the lot width and/or area. The lands are shown in the air photo below, obtained from the City's online mapping viewer.



Figure 1 – Subject Lands (light red shaded area)

Ms. Alissa Golden RPP MCIP – September 21, 2020

We thank the City for continued efforts and commitments to public engagement, and specifically hosting the Virtual Open House during the COVID-19 period where physical meetings are restricted or prohibited.

We have reviewed the following materials, each currently posted on the project webpage at <https://www.hamilton.ca/city-planning/heritage-properties/waterdown-village-built-heritage-inventory> :

1. Virtual Open House Panels
2. Preliminary Evaluations for Victoria St
3. Draft Recommendations mapping
4. General info and text on project website

Based on our review of the above, we note the following classifications, designations and information provided by the City for the subject lands:

1. Existing Heritage Status – Inventoried
2. Recommendations – Register Additions
3. Classification – Character Supporting Resource
4. Early Surveys and 19th Century Residential Areas – McMonnies and Stocks Survey
5. Era of Euro-Canadian Settlement – 1910s – 1940s; A Time of Unrest and Great Change

From this review, we do not agree that the subject lands should be added to the Register, and believe that the lands are most appropriately left as listed on the City’s inventory (i.e. as an “Inventoried Property”). Below, we offer some analysis using the existing information provided through this study.

Dwelling Attributes

According to the Preliminary Evaluation Form for the subject lands, attached as Appendix A to this letter, the construction date of the dwelling is listed as 1941. It is noted that this is an approximate date, and it would appear based on this information that the dwelling itself is not of a dwelling style or construction date which would qualify as a heritage resource as compared to other dwellings of the area which were constructed in the late 19th and early 20th centuries, during times of significant village history. There is no information indicating that the style of dwelling nor the exact dwelling itself has important heritage characteristics worthy of inclusion on the Register. Rather, it appears the dwelling may be constructed to mimic a style or styles from an earlier period.

Property Attributes

It is noted in the Preliminary Evaluation that the subject lands *may* be associated with a significant family in the area (i.e. Vance family), and that “(f)urther research on this property has the potential to yield information that contributes to an understanding of the Village’s history.”. In our view, the records of ownership and dwelling construction do not clearly indicate association with the history and development of the village. In comparison to other parts of the village, the lands are developed in a more-recent era associated with change, following the period of village

Ms. Alissa Golden RPP MCIP – September 21, 2020

establishment and incorporation. As such, there is no clear link between the lands and significant events of village history and development.

We note that the following distinctions between a "Character Supporting Resource" and an "Inventoried Property":

- **Character-Supporting Resource (CSR)** – the property maintains or supports its historic context and can be related to a characteristic pattern of development or activity, property type or attribute of the area.
- **Inventoried Property (IP)** – *the property is not currently considered to contribute to its historic context but could acquire value in the future*, or the property has been heavily modified to the point that its heritage value may have been lost. *Cultural heritage value may be identified through further research or detailed field investigation (emphasis added)*

In our opinion, the property is most appropriately identified as an "Inventoried Property" as there is no clearly established link between the dwelling, site development, and/or property attributes with specific heritage events, attributes, resources or families of the village. The records provide that there may be an association with the Vance family, but again this is not clearly established. Further research could clarify this relationship, consistent with one of the main elements for "Inventoried Property" status as noted above. For this reason alone the subject lands should remain as "Inventoried Property". Should more information be discovered at a later date, the status of the subject lands may be re-evaluated.

Thank you for accepting this letter. We trust it will be added to the record of consultation and provided for consideration before any decisions are made. In addition, please add the undersigned to the notification list.

Sincerely,



Mike Crough RPP MCIP
Associate, Senior Planner

Email: mike.crough@ibigroup.com

Cc: Property Owner

Ms. Alissa Golden RPP MCIP – September 21, 2020

Appendix A – Preliminary Property Evaluation

Ms. Alissa Golden RPP MCIP – September 21, 2020



WATERDOWN VILLAGE BUILT HERITAGE INVENTORY FORM

Vance House

198 VICTORIA ST

Heritage Status: Inventoried

Construction Date: 1941

Architect / Builder:

Original Owner: (Harold McMonies Vance)

Architectural Style / Influence: Vernacular

Number of Storeys: 2

Construction Material:



Preliminary Evaluation:

Classification: Character-Supporting Resource (CSR)

Preliminary Design/Physical Value:

The property is reflective of a vernacular early-20th century dwelling including the two-storey massing, hip roof with projecting eaves, side brick chimney, flat-headed window openings with ornamental shutters and horizontal siding.

Preliminary Historical/Associative Value:

The property may be associated with a significant family (Vance) in the history of the village. The property is comprised of the "Lands of H.M. Vance", as described in the Waterdown Heights Subdivision registered in 1945. The estimated date of construction of the home is 1941 and it is believed to have been constructed for Harold McMonies Vance (1902-1984), great grandson of James McMonies, the area's first Member of Parliament. H.M. Vance's son, John Peter Fleming Vance (1933-2017) was a co-author of the township history book published in 1967 and was the founding president of the Waterdown-East Flamborough Heritage Society. Further research on this property has the potential to yield information that contributes to an understanding of the Village's history.

Preliminary Contextual Value:

The property is important in supporting the character of the area. The single-detached circa 1941 vernacular dwelling helps support the historic character of Victoria Street, an historic transportation corridor in the village, consisting of late-19th and early-20th century dwellings.

Golden, Alissa

From: Sandy [redacted]
Sent: September 1, 2020 5:24 PM
To: Golden, Alissa
Cc: judi.partridge@sympatico.ca
Subject: 100 Wellington St -Heritage list of properties of Interest

Follow Up Flag: Follow up
Flag Status: Flagged

Alissa,

I have considered your points but still feel this list is not in my best interest.

I bought my home 17 years ago as a single mother of three and I have spend a lot of time and effort and money on upkeep of the exterior and have updated all of the interior finishes with the final goal to eventually sell and downsize.

I am now reaching retirement and was planning on selling my property in the next 2 years.

Your plan I feel is putting my property and my hard work and investment in jeopardy.

As I bought the property without these conditions I believe I have the right to keep this arrangement until I relinquish ownership of the property.

I do understand your concerns and initiative in keeping a similar style of houses in the core village however, this should be handled in a different way through style approvals and building permits but not while the property remains as is with the current owners. You may see this list as a stop gap measure but it impacts the homeowners and their investments.

Instead proper bylaws and development rules should be put in place.

I am very concerned that your plan will discourage and impede new owners from buying my property or others you have identified in the village and that will unfairly impact my financial plans and investment for retirement.

I have also discussed with my realtor and he feels this will deter sales in our area and even with the best intent public option will not change restrictions including heritage lists and other conditions that deter Home sales.

Sandra Griffin
[redacted]



Hamilton

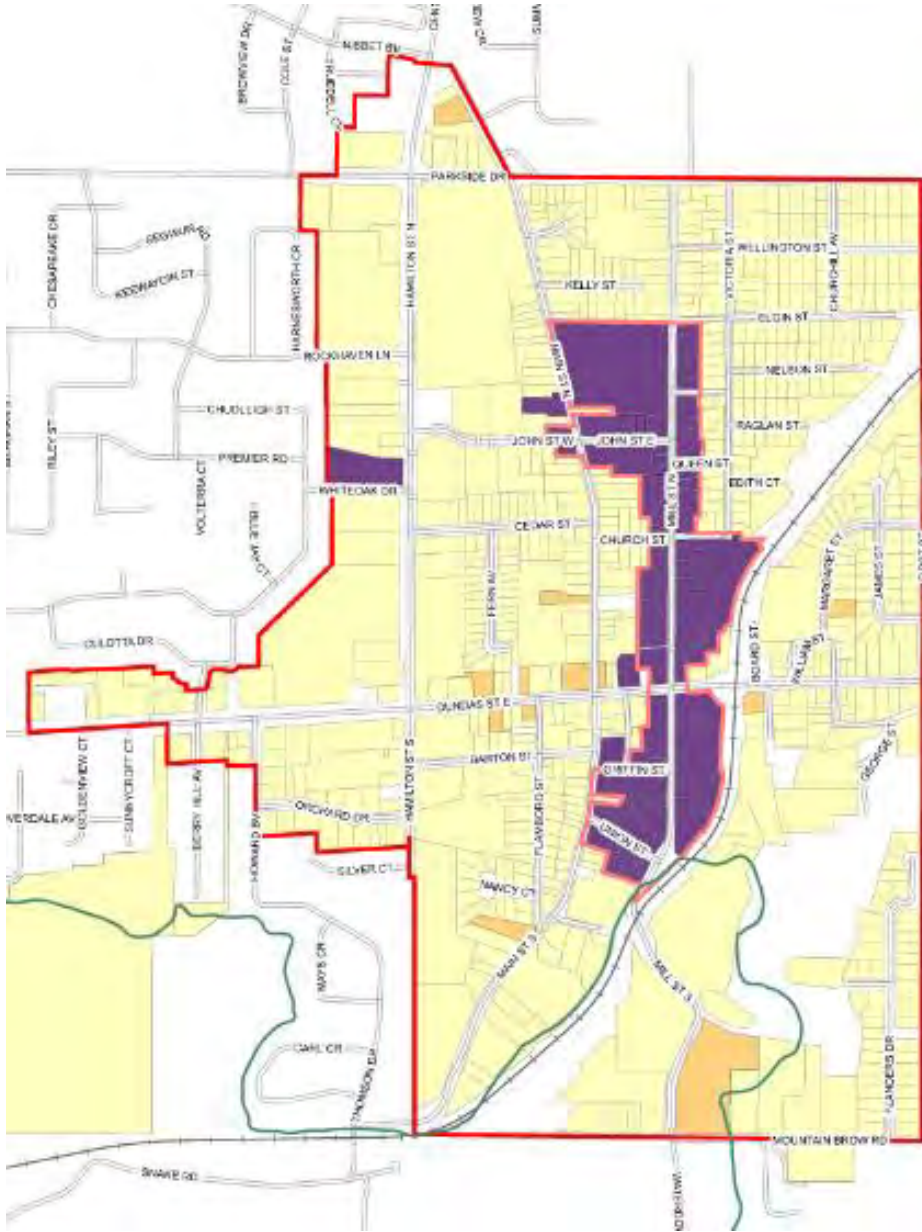
WATERDOWN VILLAGE BUILT HERITAGE INVENTORY Report PED21201

Hamilton Municipal Heritage Committee (via WebEx)
October 29, 2021

What is the Waterdown Inventory?

- **Third phase of City's Built Heritage Inventory Strategy** to proactively update the Inventory
- Conducting updated field surveys and preliminary evaluations of the properties in Waterdown
- Project objectives:
 - Determine what we have and where it is located
 - Identify candidates for listing on the Register and designation under the *Ontario Heritage Act*

Waterdown Village



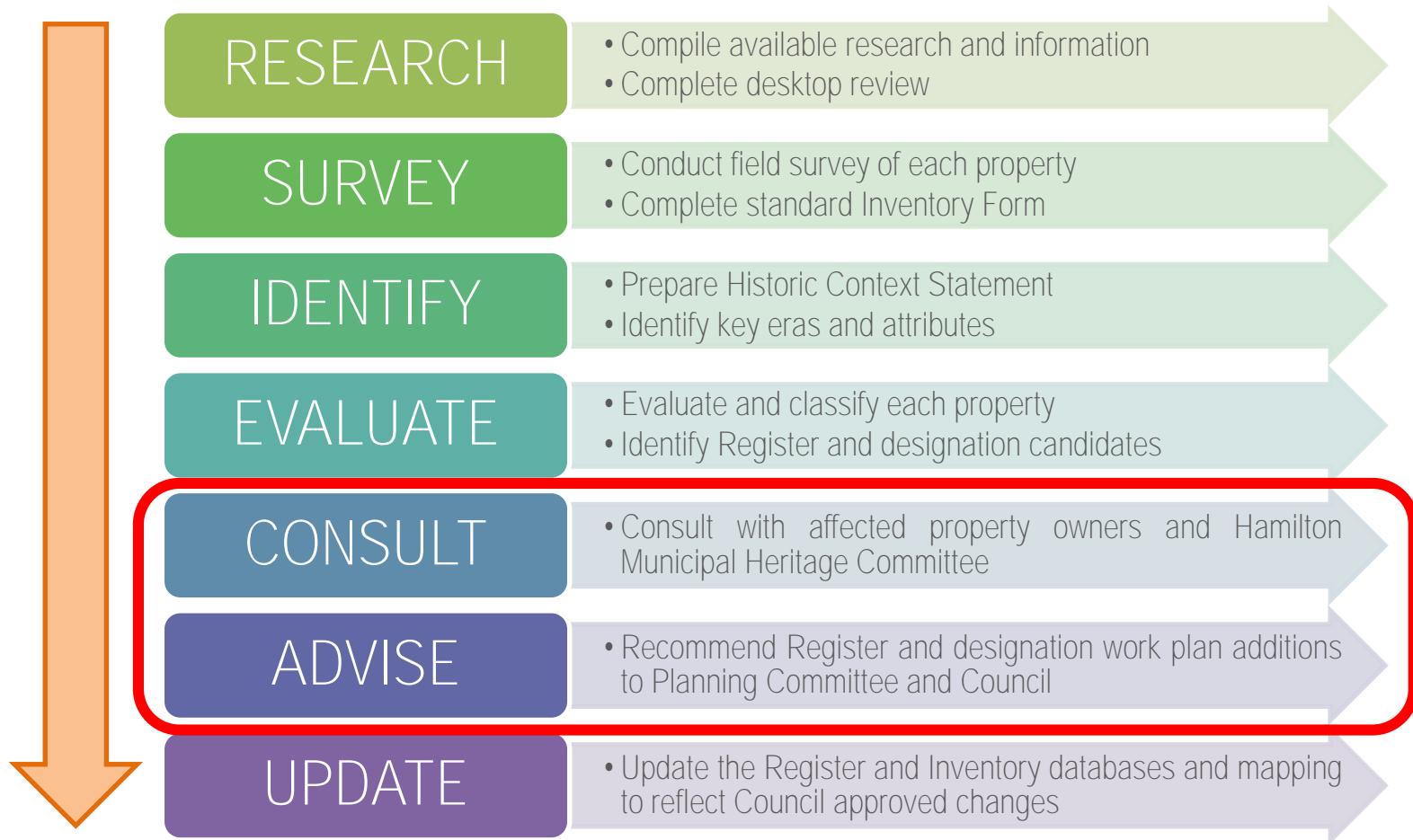
Inventoried Properties (683)

Registered Properties (13)

Designated Properties (120)

Primarily in the Mill Street Heritage Conservation District

Heritage Inventory Process



Engagement and Consultation

- Project webpage, online surveys, interactive mapping
- Project E-newsletter updates
- Presentations to the BIA, School Councils, Waterdown-Mill Street Heritage Committee, Flamborough Seniors Centre Discussion Group,
- **Information tables at the Waterdown Farmers' Market, Waterdown Library, Waterdown Ribfest, HMHC Awards, Heritage Day**
- **Waterdown History Jane's Walk**
- Mail out of open house invitations to affected property owners
- Virtual Open House on draft recommendations
- Meetings, phone calls and emails with individual owners and residents
- Follow-up notices to opposing owners

How were the properties evaluated?

- Contextual approach
 - *Historic Context Statement* developed
 - Heritage value of individual properties evaluated and classified based on their contribution to the character of the village

Historic Context Statement - Eras

Indigenous Presence
(7,500 BCE – Late-17th Century)

Military Influence and Euro-Canadian Settlement
(1700s – 1810s)

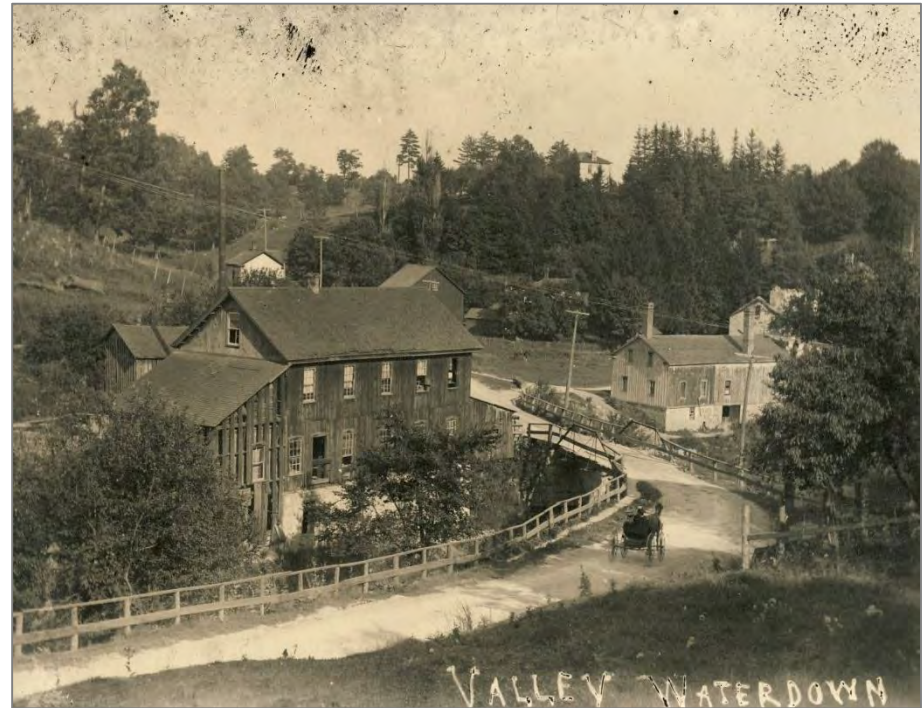
Mill Development and Village Establishment
(1820s – 1860s)

Village Incorporation and Stability
(1870s – 1900s)

A Time of Unrest and Great Change
(1910s – 1940s)

Residential Intensification
(1950s – 1960s)

Development, Amalgamation and Identity
(1970s – 2010s)



www.map.hamilton.ca/waterdownhistory

Heritage Attributes Summary

- Natural topography (Escarpment, Grindstone Creek) and human intervention (railway, mill sites)
- Mature tree canopy
- Historic transportation corridors (Dundas, Mill, Main)
- Early surveys and residential areas
- Village landmark buildings and spaces
- Eclectic mix of historic nineteenth and early-twentieth century buildings reflecting the evolution of the village
- Contemporary natural and recreational areas, including Smokey Hollow and the Bruce Trail

How were the properties classified?



SIGNIFICANT BUILT RESOURCE (SBR)

A property with considerable historic, aesthetic and/or contextual value that is likely well known to citizens at a local, municipal or regional level



CHARACTER-DEFINING RESOURCE (CDR)

A property that strongly reinforces the historic context and clearly reflects a characteristic pattern of development or activity, property type or attribute of the area



CHARACTER-SUPPORTING RESOURCE (CSR)

A property that maintains or supports the historic context and can be related to a characteristic pattern of development or activity, property type or attribute of the area



INVENTORIED PROPERTY (IP)

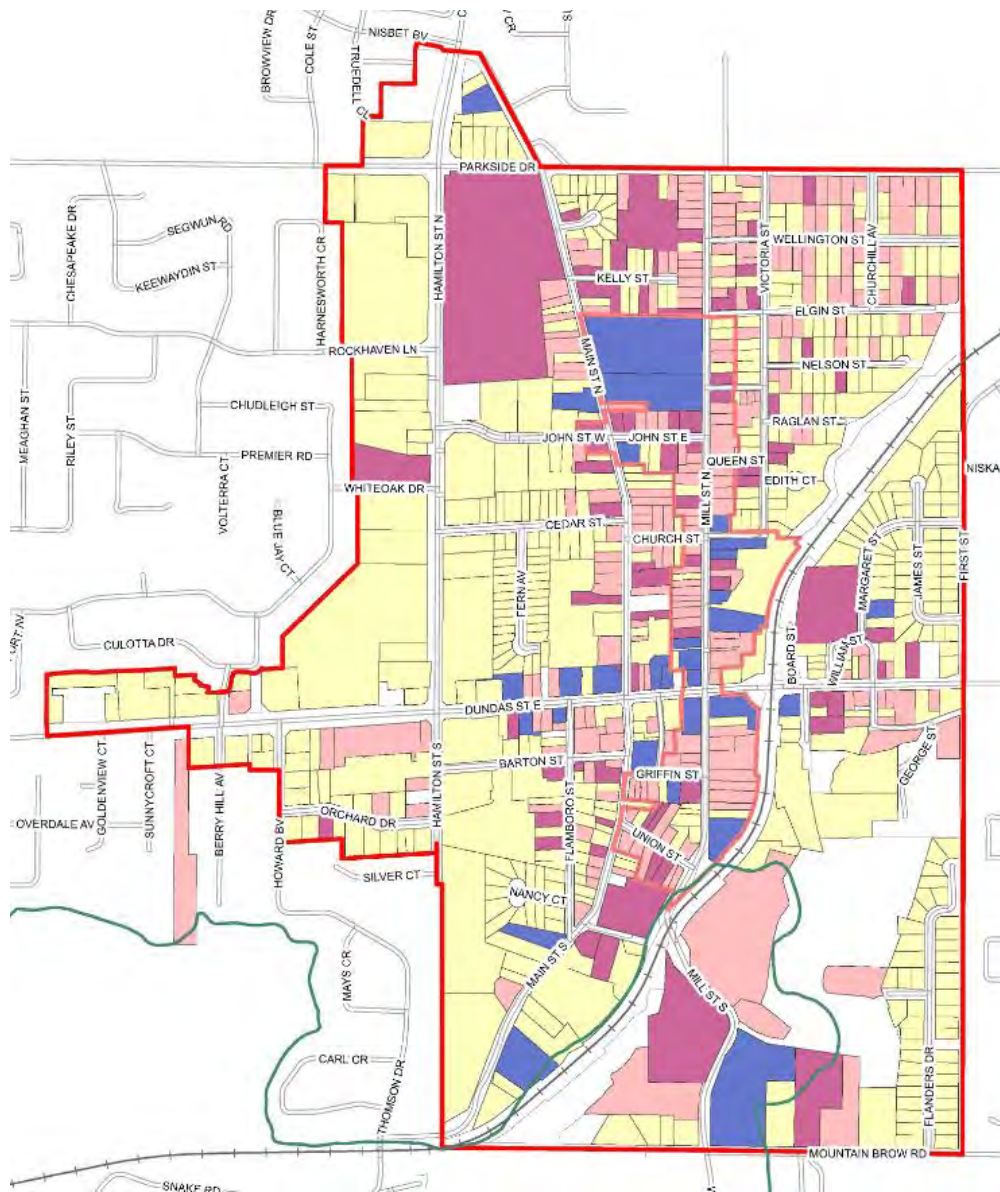
A property that is not currently considered to contribute to the historic context, but could acquire value in the future, or has been heavily modified to the point that its heritage value may have been lost (could be confirmed through further research and detailed field investigation)

Recommendation Framework





- All properties identified as Significant Built Resources, Character-Defining Resources and Character-Supporting Resources are recommended for inclusion in the Register.
- All properties identified as Significant Built Resources are candidates for potential designation under the Ontario Heritage Act.

Note: some properties identified as SBRs, CDRs and CSRs are already designated or registered and do not require any further action.

Property Classifications



Classifications

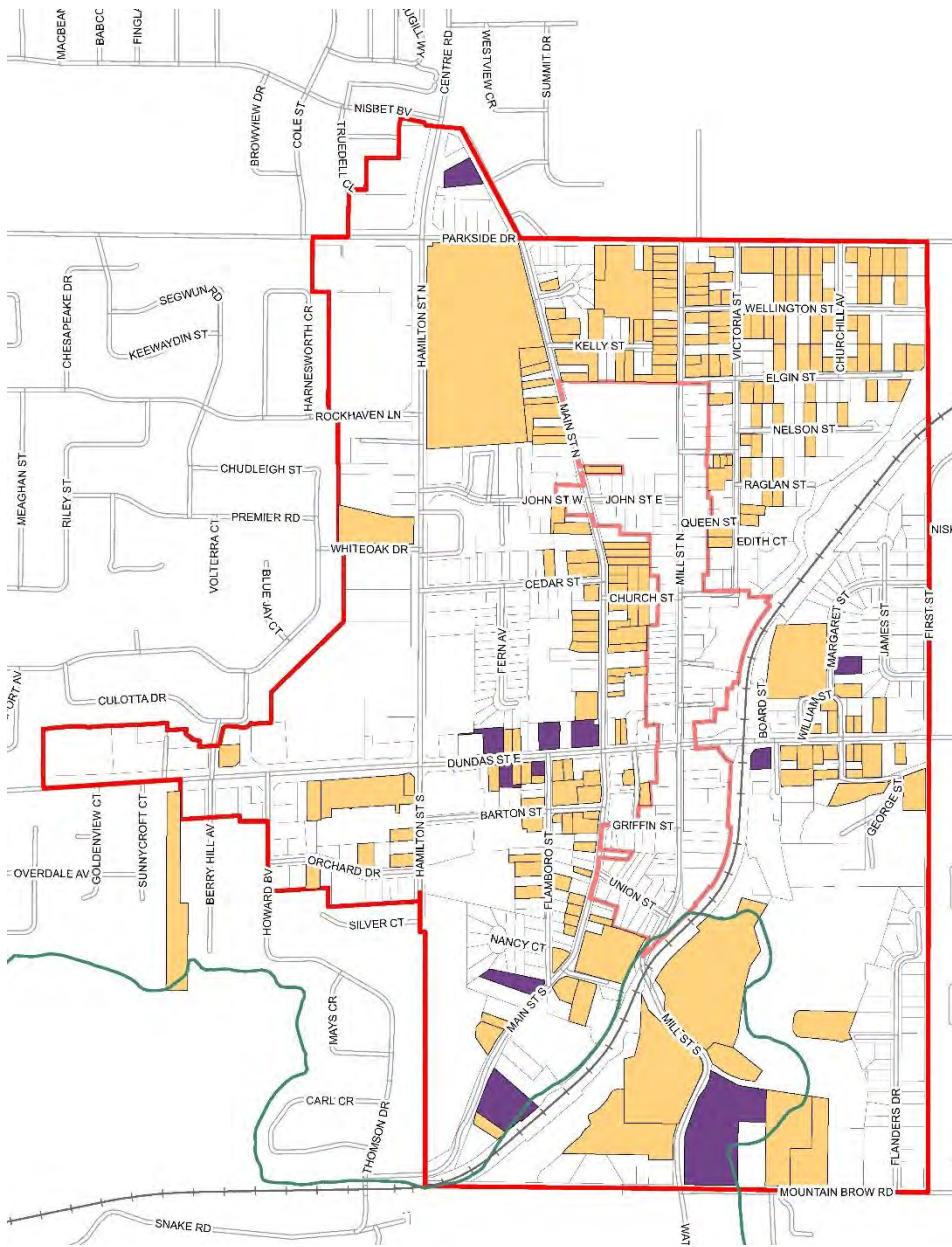
-  Significant Built Resources
-  Character-Defining Resources
-  Character-Supporting Resources
-  Inventoried Properties

SBRs (30)
CDRs (75)
CSRs (232)
Inventoried (478)

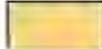
Recommendations

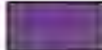
- Register additions: 209 properties of heritage interest (see Appendix “A”)
- Designation candidates: 11 properties
 - Almost all already listed on Register
 - Recommendations on designation to be brought forward in separate report

Recommendations



Draft Recommendations

 Register Additions

 Designation Candidates

Formal Opposition Letters (see Appendix “D”)

- 313 Dundas Street East
- 77 Main Street North
- 10 Nelson Street
- 304 Parkside Drive
- 198 Victoria Street
- 100 Wellington Street



313 Dundas Street East (CSR)



77 Main Street North (CSR)



10 Nelson Street (CSR)



304 Parkside Drive (CSR)



198 Victoria Street (CSR)



100 Wellington Street (CSR)

Owner Consent

- **Owner's consent or consultation is not required** prior to Council adding a property to the Register
- Public consultation and owner engagement was an important part of this project to:
 - educate about process and community heritage
 - address concerns and clarify the implications
 - ensure that those owners who have voiced concern or opposition are noted for **Council's consideration before they make a final decision**
- The Act now requires that an owner be notified after a property is added to the Register
 - Council must consider the owner opposition and decide whether to keep the property on the Register or remove it (see page 7 of Report PED21201)

Conclusions

- Listing the 209 properties in Waterdown Village on the Register:
 - Recognizes the heritage value and interest
 - Provides interim protection from demolition
- Staff do not recommend that any Register additions be removed solely based on owner opposition
 - Any advice to remove a Register recommendation should be based on whether it is believed to be of cultural heritage value or interest

Thank-you!

Alissa Golden
Heritage Project Specialist
alissa.golden@hamilton.ca
905-546-2424, extension 4654

Project webpage:
www.hamilton.ca/heritageinventory





CITY OF HAMILTON
PLANNING AND ECONOMIC DEVELOPMENT
Planning Division

TO:	Chair and Committee Members Hamilton Municipal Heritage Committee
COMMITTEE DATE:	October 29, 2021
SUBJECT/REPORT NO:	Recommendation to Designate 1099 King Street East, Hamilton (Jimmy Thompson Memorial Pool) Under Part IV of the <i>Ontario Heritage Act</i> PED21211 (Ward 3)
WARD(S) AFFECTED:	Ward 3
PREPARED BY:	Amber Knowles 905-546-2424 Ext. 1291
SUBMITTED BY:	Steve Robichaud Director, Planning & Chief Planner Planning and Economic Development
SIGNATURE:	

RECOMMENDATION

- (a) That City Council state its intention to designate under Part IV, Section 29 of the *Ontario Heritage Act*, the property at 1099 King Street East, Hamilton (Jimmy Thompson Memorial Pool) in accordance with the Statement of Cultural Heritage Value or Interest and Description of Heritage Attributes of 1099 King Street East, Hamilton, attached as Appendix “B” to Report PED21211;
- (b) That the Clerk be directed to give notice of intention to designate the property at 1099 King Street East, Hamilton as a property of cultural heritage value or interest in accordance with the requirements of section 29 of the *Ontario Heritage Act* subject to the following:
 - (i) If there are no objections to the designation in accordance with the *Ontario Heritage Act*, City Council directs staff to introduce the necessary by-law to designate 1099 King Street East, Hamilton to be of cultural heritage value or interest to City Council; or,
 - (ii) If there are objections in accordance with the *Ontario Heritage Act*, City Council directs staff to report back to Council to allow Council to consider the objection and make a decision on whether or not to withdraw the notice of intention to designate the property.

EXECUTIVE SUMMARY

The designation process for 1099 King Street East being Jimmy Thompson Memorial Pool (see Appendix “A” attached to Report PED21211), was initiated on September 3, 2013 when staff received a third-party request for designation, under Part IV of the *Ontario Heritage Act*.

On December 11, 2013, Council approved the recommendations contained in staff Report PED13182 and, following consultation with the Hamilton Municipal Heritage Committee (HMHC) on December 19, 2013, the property was included in the City of Hamilton’s Register of Property of Cultural Heritage Value or Interest and added to the work plan for designation.

In May of 2018, the City of Hamilton Planning Division retained Golder Associates Ltd. to prepare a comprehensive Cultural Heritage Assessment for 1099 King Street East, Hamilton (Jimmy Thompson Memorial Pool). The historical research, evaluation of the significance of the property, and detailed description of the heritage attributes, were finalized by Golder Associates Ltd. on May 31, 2021. The Statement of Cultural Heritage Value or Interest and Description of Heritage Attributes was drafted as part of the Cultural Heritage Assessment and is attached as Appendix “B” to Report PED21211; the draft Notice of Intention to Designate is attached as Appendix “C” to Report PED21211; and the full Cultural Heritage Assessment Report by Golder Associates Ltd. is attached as Appendix “D” to Report PED21211.

The subject property has been evaluated using both the City of Hamilton’s Framework for Evaluating the Cultural Heritage Value or Interest of Property for Designation under Part IV of the *Ontario Heritage Act*, and the Criteria for Determining Cultural Heritage Value or Interest, as defined in Ontario Regulation 9/06 of the *Ontario Heritage Act*, in accordance with the Council-approved Designation Process.

It has been determined that 1099 King Street East, Hamilton has design / physical value, historical / associative value and contextual value, and meets nine of the City’s 12 criteria and seven of nine criteria as defined in Ontario Regulation 9/06. Therefore, staff recommend designation of the property under Part IV of the *Ontario Heritage Act*.

Alternatives for Consideration – See Page 8.

FINANCIAL – STAFFING – LEGAL IMPLICATIONS

Financial: Not applicable.

Staffing: Not applicable.

**SUBJECT: Recommendation to Designate 1099 King Street East, Hamilton
(Jimmy Thompson Memorial Pool) Under Part IV of the *Ontario
Heritage Act* (Ward 3) PED21211 - Page 3 of 9**

Legal: The designation process will follow the requirements of the *Ontario Heritage Act* and provide for adequate notice of Council's intention to designate the property. Formal objections may be made under the *Ontario Heritage Act* and considered by Council before either withdrawing the notice of intention to designate or passing a designation by-law. Once a designation by-law has been passed, any further objection would be heard before the Ontario Land Tribunal.

Designation under Part IV of the *Ontario Heritage Act* allows the City of Hamilton to recognize a property's cultural heritage value or interest and to conserve and manage the property through the Heritage Permit process enabled under Sections 33 (alterations) and 34 (demolition or removal) of the *Act*.

Where alterations to designated properties are contemplated, a property owner is required to apply for, obtain, and comply with a Heritage Permit, for any alteration that "is likely to affect the property's heritage attributes, as set out in the description of the property's heritage attributes" (Sub-section 33(1)). Designation does not restrict the use of a property, prohibit alterations or additions, or restrict the sale of a property. The City of Hamilton also provides heritage grant and loan programs to assist in the continuing conservation of properties, once they are designated.

HISTORICAL BACKGROUND

The subject property, municipally known as 1099 King Street East, Hamilton (Jimmy Thompson Memorial Pool) (see Appendix "A" attached to Report PED21211) is located at the north-west corner of King Street East and Balsam Avenue North in Hamilton. The lands directly to the north and west of the property were redeveloped in 2018 as the Bernie Morelli Recreation Centre and Bernie Custis Secondary School, respectively. The Tim Hortons field is located north of the Pool. Access to the property is through the front doors on the south façade of the structure from King Street East, Hamilton.

Conceived as a municipal pool in 1928, the Jimmy Thompson Memorial Pool opened in January of 1930 and later that year served as the swimming events venue for the inaugural British Empire Games, later the Commonwealth Games. After the Games it reverted to a municipal pool and home to the Hamilton Aquatic Club, and in 1971 was named for Jimmy Thompson, a former Olympic athlete, swimming coach and instructor.

OUR Vision: To be the best place to raise a child and age successfully.

OUR Mission: To provide high quality cost conscious public services that contribute to a healthy, safe and prosperous community, in a sustainable manner.

OUR Culture: Collective Ownership, Steadfast Integrity, Courageous Change, Sensational Service, Engaged Empowered Employees.

**SUBJECT: Recommendation to Designate 1099 King Street East, Hamilton
(Jimmy Thompson Memorial Pool) Under Part IV of the *Ontario
Heritage Act* (Ward 3) PED21211 - Page 4 of 9**

In 1974/1975 upgrades to the Jimmy Thompson Memorial Pool included:

- Removal of the skylights, re-roofed with metal and addition of dropped ceiling;
- Removal of Corinthian capitals and decorative bases from interior columns;
- Construction of the south entrance and washroom addition;
- Reconfiguration of check rooms and construction of lifeguard change rooms;
- Addition of judge's booth within the gallery area;
- Removal of diving board;
- Opening of corridor wall to provide access from female's change room to rear exit;
- Replacement of red roof tiles from frontispiece; and,
- Addition and later removal of rear emergency escape and connection to Scott Park Secondary School.

Today the property is owned by the City of Hamilton.

On September 3, 2013, staff received a third-party request for designation of 1099 King Street East, Hamilton (Jimmy Thompson Memorial Pool), under Part IV of the *Ontario Heritage Act*. On December 11, 2013, Council approved the recommendations contained in staff Report PED13182 and, following consultation with the Hamilton Municipal Heritage Committee on December 19, 2013, the property was included in the City of Hamilton's Register of Property of Cultural Heritage Value or Interest and added to the work plan for designation.

In May of 2018, the City of Hamilton Planning Division retained Golder Associates Ltd. to prepare a comprehensive Cultural Heritage Assessment of 1099 King Street East, Hamilton. The historical research, evaluation of the significance of the property, and detailed description of the architectural features of the property are contained in the Cultural Heritage Assessment (May 31, 2021), prepared by Golder Associates Ltd. (Appendix "D" attached to Report PED21211). The Cultural Heritage Assessment contains evaluation using the City's Council-adopted heritage evaluation criteria and the criteria contained in Ontario Regulation 9/06.

Through the consultants' evaluation, it has been determined that 1099 King Street East, Hamilton (Jimmy Thompson Memorial Pool) has design/physical value, historical/associative value and contextual value and the property is now being recommended for designation under Part IV of the *Ontario Heritage Act* (see Statement of Cultural Heritage Value or Interest and Description of Heritage Attributes, attached as Appendix "B" to Report PED21211, and the draft Notice of Intention to Designate, attached as Appendix "C" to Report PED21211).

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POLICY IMPLICATIONS AND LEGISLATED REQUIREMENTS

Provincial Policy Statement, 2020:

Section 2.6 of the Provincial Policy Statement pertains to Cultural Heritage and Archaeology and provides that:

“2.6.1 Significant built heritage resources and significant cultural heritage landscapes shall be conserved.”

The recommendations to designate the subject lands under Part IV of the *Ontario Heritage Act* of Report PED21211 are consistent with this policy.

Urban Hamilton Official Plan:

Volume 1, Section B.3.4 - Cultural Heritage Resources Policies of the Urban Hamilton Official Plan (UHOP) include the following:

“B.3.4.2.1(a) The City of Hamilton shall, in partnership with others where appropriate, protect and conserve the tangible cultural heritage resources of the City, including archaeological resources, built heritage resources, and cultural heritage landscapes for present and future generations.

B.3.4.2.1(b) The City of Hamilton shall, in partnership with others where appropriate, identify cultural heritage resources through a continuing process of inventory, survey, and evaluation, as a basis for the wise management of these resources.

B.3.4.2.3 The City may by By-law designate individual and groups of properties of cultural heritage value under Parts IV and V respectively of the *Ontario Heritage Act*, including buildings, properties, cultural heritage landscapes, heritage conservation districts, and heritage roads or road allowances.”

The recommendations to designate the subject lands under Part IV of the *Ontario Heritage Act* of Report PED21211 comply with these policies.

RELEVANT CONSULTATION

Pursuant to Sub-section 29 (2) of the *Ontario Heritage Act*, Council is required to consult with its HMHC respecting designation of property under Sub-section (1) of the Act. Typically, Cultural Heritage Assessments are reviewed by the Inventory and Research Working Group of the HMHC in accordance with the Council approved process attached as Appendix “E” to Report PED21211.

**SUBJECT: Recommendation to Designate 1099 King Street East, Hamilton
(Jimmy Thompson Memorial Pool) Under Part IV of the *Ontario
Heritage Act* (Ward 3) PED21211 - Page 6 of 9**

A draft Cultural Heritage Assessment prepared by Golder Associates Ltd. was presented to the Inventory and Research Working Group of the HMHC at their meeting October 28, 2019, and with revisions at their meeting of November 25, 2019. The Inventory and Research Working Group recommended that staff proceed with the recommendation to designate the subject property under the *Ontario Heritage Act* and provided areas for revision and further exploration within the report which were consistent with those identified by staff. Golder Associates Ltd. addressed the revisions and submitted a final report dated May 31, 2021 (attached as Appendix “D” to Report PED21XXX).

The Director of Recreation, Manager of Business Support, and the Ward Councillor have been informed of this report and its recommendation for designation. The Director of Recreation and Manager of Business Support has advised of their support for the report recommendations.

ANALYSIS AND RATIONALE FOR RECOMMENDATION

The intent of a designation under Part IV of the *Ontario Heritage Act*, is to enable a process for the management and conservation of cultural resources. Once a property is designated, the municipality is enabled to manage alterations to the property through the Heritage Permit process and to ensure that the significant features of the property are maintained through the provision of financial assistance programs and the enforcement of Property Standards By-laws.

Cultural Heritage Evaluation:

Designation is guided by the process of cultural heritage evaluation and assessment. The evaluation process, as documented in the Cultural Heritage Assessment, attached as Appendix “D” to Report PED21211, identifies those heritage values associated with the property.

Council-Adopted Evaluation Criteria:

A set of criteria were endorsed by the City of Hamilton’s Municipal Heritage Committee on June 19, 2003 and were adopted by Council as The City of Hamilton: Cultural Heritage Evaluation Criteria on October 29, 2008 (Appendix “B” to Report PED08211). The criteria are used to identify the cultural heritage values of a property, and to assess their significance. This evaluation assists in determining a property’s merit for designation under the *Ontario Heritage Act*, as well as deriving a Statement of Cultural Heritage Value or Interest and Description of Heritage Attributes.

As identified in the Cultural Heritage Assessment attached as Appendix “D” to Report

**SUBJECT: Recommendation to Designate 1099 King Street East, Hamilton
(Jimmy Thompson Memorial Pool) Under Part IV of the *Ontario
Heritage Act (Ward 3) PED21211 - Page 7 of 9***

PED21211, the property was determined to have met nine of the City's 12 criteria pertaining to built heritage value.

Ontario Regulation 9/06: Criteria for Determining Cultural Heritage Value or Interest:

Section 29 (1) of the *Ontario Heritage Act* permits the Council of a municipality to designate property to be of cultural heritage value or interest where property meets the criteria prescribed by provincial regulation. In 2006, the Province issued Ontario Regulation 9/06: Criteria for Determining Cultural Heritage Value or Interest. According to Sub-section 1 (2) of Ontario Regulation 9/06, a property may be designated under Section 29 of the *Ontario Heritage Act* where it meets one or more of the identified criteria. Ontario Regulation 9/06 identifies criteria in three broad categories: Design/Physical Value, Historical/Associative Value and Contextual Value.

As outlined in the attached Cultural Heritage Assessment (Appendix "D" attached to Report PED21211), the subject property satisfies seven of the nine criteria contained in Ontario Regulation 9/06 in all three categories.

(1) **Design/Physical Value:**

- (i) The property is a rare and well executed example of a pre-1950 competition and public indoor pool and a unique example of Edwardian Classicism;
- (ii) The property demonstrates a high degree of artistic merit in its construction with the di-chromatic tiling on the interior, as well as the exterior Flemish bond brick work, decorative courses and double order voussoirs of the semi-circular arched windows and the string courses and cornices; and,
- (iii) The property demonstrates a high degree of technical achievement. The functional merit of the Jimmy Thompson Memorial Pool is high considering its age and the infancy of pool technology when it was constructed.

(2) **Historical/Associative Value:**

- (i) The property has direct associations with the British Empire Games (Commonwealth Games) between August 16 to 23, 1930, a 'mega-event' or large-scale international sporting event. Additionally, the pool is associated with Jimmy Thompson who from 1932 to 1965 is estimated to have taught 60,000 children to swim at the pool and coached many individuals and teams to regional, national, and international titles;
- (ii) The property was not deemed to yield or have the potential to yield information that contributes to an understanding of a community or culture; and,

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**SUBJECT: Recommendation to Designate 1099 King Street East, Hamilton
(Jimmy Thompson Memorial Pool) Under Part IV of the *Ontario
Heritage Act* (Ward 3) PED21211 - Page 8 of 9**

- (ii) The property was not deemed to demonstrate or reflect the work or ideas of an architect, artist, builder, designer, or theorist who is significant to a community.
- (3) **Contextual Value:**
- (i) The property is considered to have contextual value as it contributes to the local architectural character. Its two-storey height transitions the elevation between the three to four storey buildings on the south side of King Street East with the two-storey housing on Balsam Avenue North all of which are visible in view planes facing west on King Street East;
 - (ii) The property is linked to its surroundings as the last remaining structure of the British Empire Games, and in addition to the continued recreation and sport land use. In keeping with its function as a municipal pool, it is still centred within residential neighbourhoods, and is visually prominent on the east-west artery of King Street East; and,
 - (iii) The property is considered a landmark due to its unusual massing and architectural style, combined with its siting on an intersection along a one-way street making a visually conspicuous local landmark.

Conclusion:

Golder Associates Ltd., have determined that 1099 King Street East, Hamilton (Jimmy Thompson Memorial Pool), is of cultural heritage value or interest, sufficient to warrant designation under Part IV of the *Ontario Heritage Act*. Staff concur with the findings of the Cultural Heritage Assessment and recommend designation of 1099 King Street East, Hamilton (Jimmy Thompson Memorial Pool) under Part IV of the *Ontario Heritage Act* according to the Statement of Cultural Heritage Value or Interest and the Description of Heritage Attributes, attached as Appendix “B” to Report PED21211 and the draft Notice of Intention to Designate attached as Appendix “C” to Report PED21211.

ALTERNATIVES FOR CONSIDERATION

Under Part IV of the *Ontario Heritage Act*, the designation of property is a discretionary activity on the part of Council. Council, as advised by its Municipal Heritage Committee, may consider two alternatives: agree to designate property, or decline to designate property.

Decline to Designate:

By declining to designate, the municipality would be unable to provide long-term, legal protection to this significant heritage resource (designation provides protection against

**SUBJECT: Recommendation to Designate 1099 King Street East, Hamilton
(Jimmy Thompson Memorial Pool) Under Part IV of the *Ontario
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inappropriate alterations, new construction and demolition), and would not fulfil the expectations established by existing municipal and provincial policies.

Designation does not restrict the use of property, prohibit alterations and additions, nor does it restrict the sale of a property, or affect its resale value. Staff do not consider declining to designate the property to be an appropriate conservation alternative.

ALIGNMENT TO THE 2016 – 2025 STRATEGIC PLAN

Clean and Green

Hamilton is environmentally sustainable with a healthy balance of natural and urban spaces.

Built Environment and Infrastructure

Hamilton is supported by state of the art infrastructure, transportation options, buildings and public spaces that create a dynamic City.

Culture and Diversity

Hamilton is a thriving, vibrant place for arts, culture, and heritage where diversity and inclusivity are embraced and celebrated.

APPENDICES AND SCHEDULES ATTACHED

Appendix “A” to Report PED21211 - Location Map

Appendix “B” to Report PED21211 - Statement of Cultural Heritage Value or Interest
and Description of Heritage Attributes

Appendix “C” to Report PED21211 - Notice of Intention to Designate

Appendix “D” to Report PED21211 - Cultural Heritage Assessment Report on Jimmy
Thompson Memorial Pool

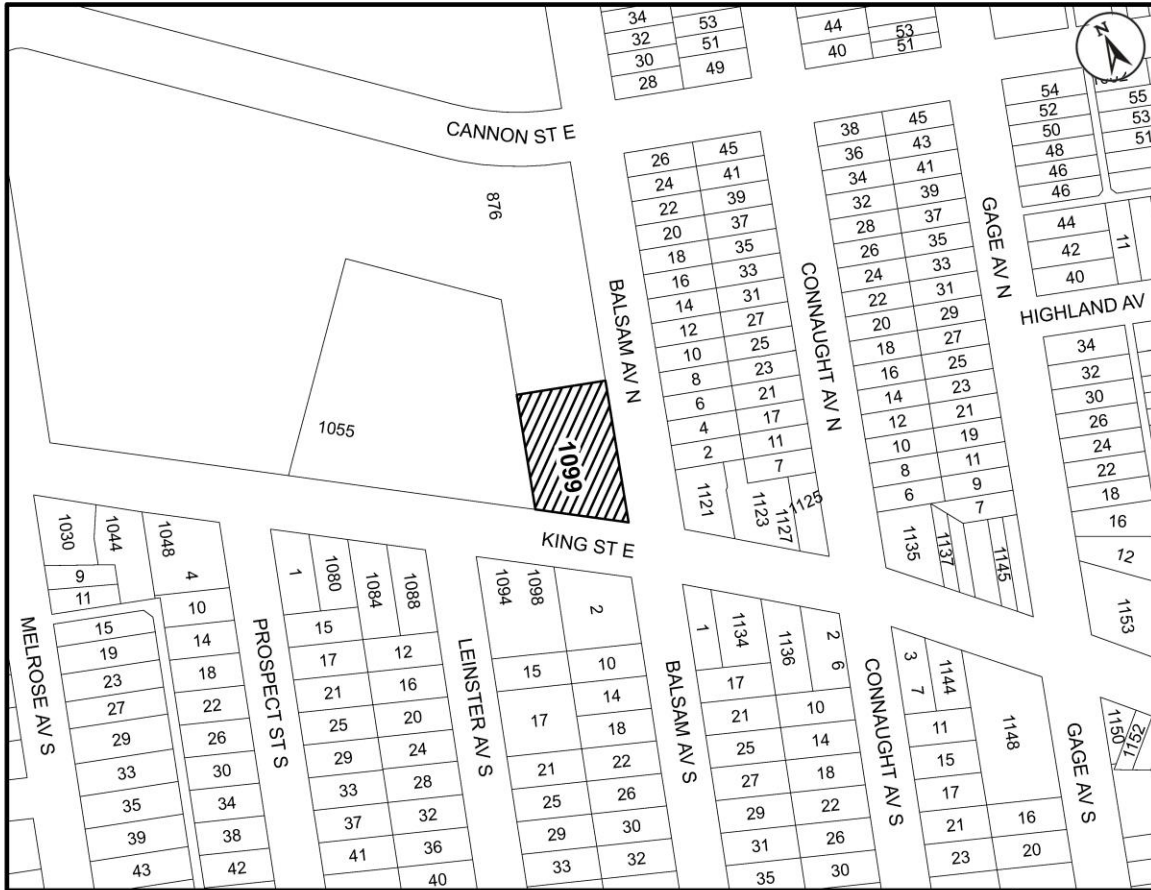
Appendix “E” to Report PED21211 - Council-Adopted Heritage Designation Process

AK:sd

OUR Vision: To be the best place to raise a child and age successfully.

OUR Mission: To provide high quality cost conscious public services that contribute to a healthy, safe and prosperous community, in a sustainable manner.

OUR Culture: Collective Ownership, Steadfast Integrity, Courageous Change, Sensational Service, Engaged Empowered Employees.



● Site Location



Key Map - Ward 3

Location Map



Hamilton

PLANNING AND ECONOMIC DEVELOPMENT DEPARTMENT

File Name/Number:
1099 King St E - Jimmy Thompson Memorial Pool

Date:
October 1, 2021

Appendix "A"

Scale:
N.T.S

Planner/Technician:
AK/NB

Subject Property



1099 King Street East, Hamilton
(Ward 3)

1099 King Street East, Hamilton

STATEMENT OF CULTURAL HERITAGE VALUE OR INTEREST AND DESCRIPTION OF HERITAGE ATTRIBUTES

Statement of Cultural Heritage Value or Interest

The Jimmy Thompson Memorial Pool at 1099 King Street East is situated on a 0.16 ha lot at the southwest corner of the intersection of King Street East and Balsam Avenue North in Ward 3 of the City of Hamilton.

Conceived as a municipal pool in 1928, the Jimmy Thompson Memorial Pool opened in January of 1930 and later that year served as the swimming events venue for the inaugural British Empire Games, later Commonwealth Games. After the Games it reverted to use as a municipal pool and home to the Hamilton Aquatic Club, and in 1971 was named for Jimmy Thompson, a former Olympic athlete and swimming coach and instructor.

The Jimmy Thompson Memorial Pool is of cultural heritage value as a rare example of a pre-1950 indoor pool, and one built to a high degree of craftsmanship and incorporating the latest engineering, safety, and international competition standards of its time. It is associated with, and the last surviving structure of, the 1930 British Empire Games, and the swimming events of those games, which additionally were the only ones open to female competitors. It is also associated with James ‘Jimmy’ Thompson who from 1932 to 1965 is estimated to have taught 60,000 children to swim at the pool and coached many individuals and teams to regional, national, and international titles.

Through its siting, massing, and orientation the Pool is a visual landmark, but its contextual value also extends to its Edwardian Classicism style and construction in textured red brick, which contributes to the local architectural character. It is also physically and historically linked to use of the area to the north for recreation and sport, a land use that continues today.

Description of Heritage Attributes

The key attributes that express the design value or physical value of the Jimmy Thompson Memorial Pool include its:

- Five-bay, two-storey south facade built in the Edwardian Classicism style with:
 - Semi-circular headed windows with two orders of gauged brick voussoirs and keystone, and filled with decorative brick;
 - Flemish bond masonry combined with stone string courses and strong cornice;
 - ‘Kicked’ hip roof with skylights; and,
 - Tall brick chimney on the west facade;

- Interior features including:
 - Roof trusses;
 - Spoon-shaped basin with di-chromatic tiling;
 - Tiled pool barrier wall;
 - Sub-floor access passages;
 - Ascending concrete bleachers;
 - Tiled changing rooms; and,
 - Iron coal furnace door;

Attributes that reflect the property's contextual attributes include its:

- Continued use for a municipal pool and as part of a larger recreation and sport land use area;
- Orientation to the street with minimal setback; and,
- Landmark qualities from its siting and clear sightlines on King Street East.

CITY OF HAMILTON

Notice of Intention to Designate
1099 King Street East, Hamilton
(Jimmy Thompson Memorial Pool)

The City of Hamilton intends to designate 1099 King Street East, Hamilton, under Section 29 of the *Ontario Heritage Act*, as being a property of cultural heritage value.

Statement of Cultural Heritage Value or Interest

The Jimmy Thompson Memorial Pool at 1099 King Street East is situated on a 0.16 ha lot at the southwest corner of the intersection of King Street East and Balsam Avenue North in Ward 3 of the City of Hamilton.

Conceived as a municipal pool in 1928, the Jimmy Thompson Memorial Pool opened in January of 1930 and later that year served as the swimming events venue for the inaugural British Empire Games, later Commonwealth Games. After the Games it reverted to use as a municipal pool and home to the Hamilton Aquatic Club, and in 1971 was named for Jimmy Thompson, a former Olympic athlete and swimming coach and instructor.

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Through its siting, massing, and orientation the Pool is a visual landmark, but its contextual value also extends to its Edwardian Classicism style and construction in textured red brick, which contributes to the local architectural character. It is also physically and historically linked to use of the area to the north for recreation and sport, a land use that continues today.

The Statement of Cultural Heritage Value or Interest, Description of Heritage Attributes and supporting Cultural Heritage Assessment may be found online via www.hamilton.ca or viewed at the Office of the City Clerk, 71 Main Street West, 1st Floor, City Hall, Hamilton, Ontario, L8P 4Y5, during regular business hours.

Any person may, within 30 days after the date of the publication of the Notice, serve written notice of their objections to the proposed designation, together with a statement for the objection and relevant facts.

Dated at Hamilton, this [REDACTED] day of [REDACTED], 2021.

Andrea Holland
City Clerk
Hamilton, Ontario

CONTACT: Amber Knowles, Cultural Heritage Planner, Phone: (905) 546-2424 ext. 1291, E-mail: amber.knowles@hamilton.ca

Website: www.hamilton.ca/heritageplanning

FINAL REPORT

Cultural Heritage Assessment

*Jimmy Thompson Memorial Pool, 1099 King Street East, City of Hamilton,
Ontario*

Submitted to:

City of Hamilton

Tourism & Culture
Planning & Economic Development
71 Main Street West, 5th Floor
Hamilton, Ontario
L8P 4Y5

Submitted by:

Golder Associates Ltd.

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1899505-1000-R01

31 May 2021



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Acknowledgements

City of Hamilton Staff, Planning & Economic Development

Executive Summary

The Executive Summary highlights key points from the report only, for complete information and findings as well as limitations, the reader should examine the complete report.

In May 2018, the City of Hamilton (the City) retained Golder Associates Ltd. (Golder) to conduct a Cultural Heritage Assessment for the Jimmy Thompson Memorial Pool at 1099 King Street East in the City's Ward 3. The City initiated the assessment after relatives of Mr. Thompson requested in 2013 that the property be considered for designation under Part IV of the *Ontario Heritage Act*. The property is listed in the *Register of Property of Cultural Heritage Value or Interest Section B-1 – Non-Designated Properties*.

Based on a preliminary cultural heritage assessment of the property by Golder in 2013, City staff recommended further cultural heritage assessment, and this was assigned to Golder in 2018 as part of the City's low priority workplan under the City's Roster of Professional Consulting 2016-2017 (Category 27: Built Heritage and Cultural Heritage Landscapes).

Following guidelines provided in the City's *A Framework for Evaluating the Cultural Heritage Value or Interest of Property for Designation under Part IV of the Ontario Heritage Act* (2016) and the *City of Hamilton Cultural Heritage Assessment Report Outline* (n.d.), this document provides: an overview of the property's geographic and historical context; an inventory of its landscape and built features; an analysis of the structural sequence, construction and architectural style of built features on the property; an evaluation of the property's cultural heritage value based on criteria developed by the City and those prescribed under *Ontario Regulation 9/06*; and conclusions and recommendations for future action.

Golder's cultural heritage assessment concluded that:

- ***The property at 1099 King Street East (Jimmy Thompson Memorial Pool) be designated under Part IV of the Ontario Heritage Act.***

Study Limitations

Golder Associates Ltd. has prepared this report in a manner consistent with guidance developed by the City of Hamilton, the Ontario Ministry of Heritage, Sport, Tourism and Culture Industries, and Canada's Historic Places, subject to the time limits and physical constraints applicable to this report. No other warranty, expressed or implied is made.

This report has been prepared for the specific site, design objective, developments and purpose described to Golder Associates Ltd. by the City of Hamilton (the Client). The factual data, interpretations and recommendations pertain to a specific project as described in this report and are not applicable to any other project or site location.

The information, recommendations and opinions expressed in this report are for the sole benefit of the Client. No other party may use or rely on this report or any portion thereof without Golder Associates Ltd.'s express written consent. If the report was prepared to be included for a specific permit application process, then upon the reasonable request of the Client, Golder Associates Ltd. may authorize in writing the use of this report by the regulatory agency as an Approved User for the specific and identified purpose of the applicable permit review process. Any other use of this report by others is prohibited and is without responsibility to Golder Associates Ltd. The report, all plans, data, drawings and other documents as well as electronic media prepared by Golder Associates Ltd. are considered its professional work product and shall remain the copyright property of Golder Associates Ltd., who authorizes only the Client and Approved Users to make copies of the report, but only in such quantities as are reasonably necessary for the use of the report by those parties. The Client and Approved Users may not give, lend, sell, or otherwise make available the report or any portion thereof to any other party without the express written permission of Golder Associates Ltd. The Client acknowledges the electronic media is susceptible to unauthorized modification, deterioration and incompatibility and therefore the Client cannot rely upon the electronic media versions of Golder Associates Ltd.'s report or other work products.

Unless otherwise stated, the suggestions, recommendations and opinions given in this report are intended only for the guidance of the Client in the design of the specific project.

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1.0 INTRODUCTION

In May 2018, the City of Hamilton (the City) retained Golder Associates Ltd. (Golder) to conduct a Cultural Heritage Assessment for the Jimmy Thompson Memorial Pool at 1099 King Street East in the City's Ward 3. The City initiated the assessment after relatives of Mr. Thompson requested in 2013 that the property be considered for designation under Part IV of the *Ontario Heritage Act*. The property is listed in the *Register of Property of Cultural Heritage Value or Interest Section B-1 – Non-Designated Properties*.

Based on a preliminary cultural heritage assessment of the property by Golder in 2013 (Golder 2013), City staff recommended further cultural heritage assessment, and this was assigned to Golder in 2018 as part of the City's low priority workplan under the City's Roster of Professional Consulting 2016-2017 (Category 27: Built Heritage and Cultural Heritage Landscapes).

Following guidelines provided in the City's *A Framework for Evaluating the Cultural Heritage Value or Interest of Property for Designation under Part IV of the Ontario Heritage Act* (2016) and the *City of Hamilton Cultural Heritage Assessment Report Outline* (n.d.), this document provides:

- An overview of the property's geographic and historical context;
- An inventory of the property's landscape and built features;
- An analysis of the structural sequence, construction, and architectural style of built features on the property;
- An evaluation of the property's cultural heritage value or interest (CHVI) based on criteria developed by the City and those prescribed under *Ontario Regulation 9/06*; and,
- Recommendations for future action including draft Statement of Cultural Heritage Value or Interest (CHVI).

2.0 SCOPE AND METHOD

To assess the property, Golder undertook:

- Archival and secondary source research;
- Field investigations to document and identify any cultural heritage resources within the property, and to understand the wider built and landscape context; and,
- Resource evaluation using municipal, provincial, and federal government guidance.

Several primary and secondary sources, including historic maps and plans, aerial imagery, photographs, and newspaper and research articles were compiled from the McMaster University Lloyd Reeds Map Collection and Digital Archives, Ontario Land Registry, and online sources. The City's Development Planning, Heritage & Design Section also provided a number of documents to aid in this study.

Field investigations were conducted on May 24, 2018 and included photographing all exterior and interior features on the property and wider context with Samsung Galaxy S6 and Apple iPhone digital cameras. Architectural features were documented with a *Canadian Inventory of Historic Buildings Recording Form* (Parks Canada 1980).

From the collected information, the property was evaluated using the City's *A Framework for Evaluating the Cultural Heritage Value or Interest of Property for Designation under Part IV of the Ontario Heritage Act* (2016)

and *Ontario Regulation 9/06, Criteria for Determining Cultural Heritage Value or Interest*. Other widely used and recognized manuals relating to evaluating cultural heritage resources were also consulted including:

- *Ontario Heritage Tool Kit* series (5 vols., Ministry of Heritage, Sport, Tourism and Culture Industries [MHSTCI] 2006);
- *Well-Preserved: The Ontario Heritage Foundation's Manual of Principles and Practices for Architectural Conservation* (Fram 2003);
- *Standards and Guidelines for the Conservation of Historic Places in Canada* (Canada's Historic Places 2010);
- *The Evaluation of Historic Buildings and Heritage Planning: Principles and Practice* (Kalman 1979, 2014); and,
- *Informed Conservation: Understanding Historic Buildings and their Landscapes for Conservation* (Clark 2001).

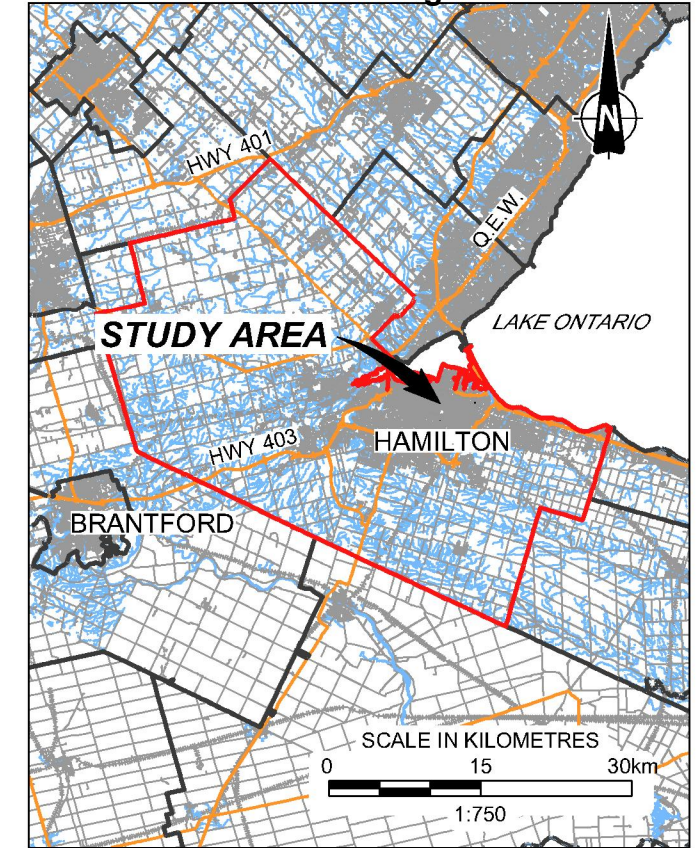
3.0 PROPERTY LOCATION

The Jimmy Thompson Memorial Pool at civic address 1099 King Street East was originally within Part of Lot 7, Concession 2 of the former Barton Township, Wentworth County, now in the southeast portion of Ward 3 in the single-tier municipality of the City of Hamilton (Figure 1). It is approximately 3 km east of downtown Hamilton, and on the southeast corner of a block bounded on the north by Cannon Street East, on the south by King Street East, on the east by Balsam Avenue North and on the west by Melrose Avenue North.

A right trapezoid in shape, the parcel measures approximately 32.9 m on the north, 34 m on the south, 53.1 m on the east, and 43 m on the west. Overall, the property encloses approximately 0.16 hectares (0.4 acres), with the 1,300 square metre footprint of the building centred on the lot.



BING AERIAL IMAGERY and OBM MAPPING



KEY PLAN

LEGEND

- APPROXIMATE STUDY AREA
- CITY OF HAMILTON BOUNDARY
- TOWNSHIP/MUNICIPALITY BOUNDARY
- HAMILTON** TOWNSHIP/MUNICIPALITY

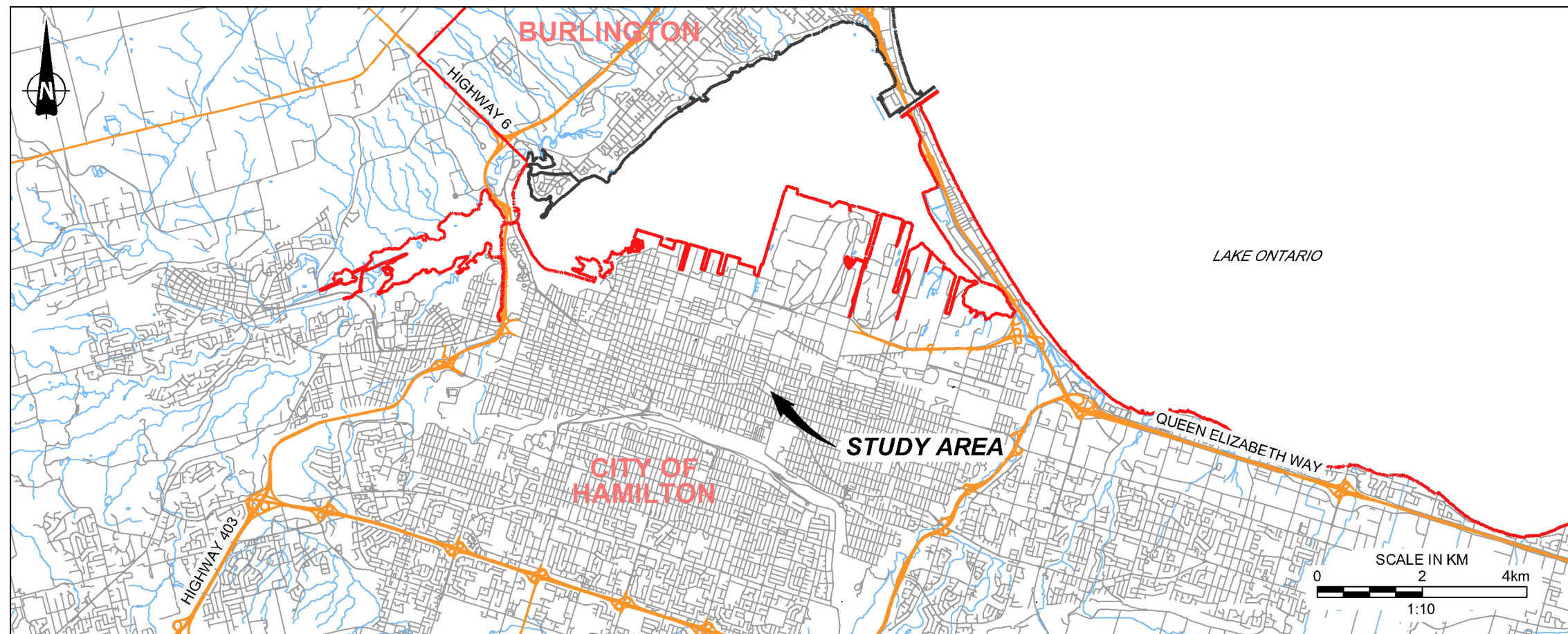
REFERENCE

DRAWING BASED ON MNR LIO, OBTAINED 2017, PRODUCED BY GOLDER ASSOCIATES LTD UNDER LICENCE FROM ONTARIO MINISTRY OF NATURAL RESOURCES, © QUEENS PRINTER 2017;
 PROPERTY LINE AND CONTOUR DATA PROVIDED BY THE CITY OF HAMILTON;
 BING AERIAL IMAGE AS OF MAY 23, 2018 (IMAGE DATE UNKNOWN); AND
 AND CANMAP STREETFILES V2008.4.

NOTES

THIS DRAWING IS SCHEMATIC ONLY AND IS TO BE READ IN CONJUNCTION WITH ACCOMPANYING TEXT.

BING IMAGERY USED FOR ILLUSTRATION PURPOSES ONLY AND NOT TO BE USED FOR MEASUREMENTS.
 ALL LOCATIONS ARE APPROXIMATE.



REGIONAL MAP

<small>PROJECT</small>	CULTURAL HERITAGE ASSESSMENT REPORT 1099 KING STREET EAST THE JIMMY THOMPSON MEMORIAL POOL CITY OF HAMILTON, ONTARIO			
<small>TITLE</small>	LOCATION MAP			
	<small>PROJECT No.</small>	1899502	<small>FILE No.</small>	1899502-R01001
	<small>CADD</small>	Z.B./M/S	<small>SCALE</small>	AS SHOWN
<small>CHECK</small>		Oct. 25/18	<small>REV.</small>	
FIGURE 1				

Client: City of Hamilton
 Drawing file: 1899502-R01001.dwg
 Oct 25, 2018 - 9:52am
 Original Format is Tabloid 279mm x 432mm
 25mm

4.0 PHYSIOGRAPHIC CONTEXT

The property is within the Iroquois Plain physiographic zone, an area of rolling terrain encompassing much of the Lake Ontario shoreline from Cobourg to Niagara. The property's physiographic context can be further defined as within the Ontario Lakehead subsection of the Iroquois Plain, and is composed of well-drained, stone-free and sandy loam soil plains (Chapman & Putnam 1984:190). Approximately 1 km to the south is the Niagara Escarpment physiographic region, a massive limestone and dolostone outcrop running from the Niagara River to the Bruce Peninsula and Manitoulin Island. The topography of the lot is flat and at an elevation of 86 metres above sea level.

5.0 SETTLEMENT CONTEXT

5.1 Barton Township, Wentworth County

Following the Toronto Purchase of 1787, today's southern Ontario was within the old Province of Quebec and divided into four political districts: Lunenburg, Mechlenburg, Nassau, and Hesse. These became part of the Province of Upper Canada in 1791, and renamed the Eastern, Midland, Home, and Western Districts, respectively. The property is within the former Nassau District, then later the Home District, which originally included all lands between an arbitrary line on the west running north from Long Point on Lake Erie to Georgian Bay, and a line on the east running north from Presqu'île Point on Lake Ontario to the Ottawa River. Each district was further subdivided into counties and townships. In 1816, Wentworth County was created within the Gore District from the southwest portions of York County in the Home District, and the west portion of the Niagara Districts. Of Wentworth's eight townships (later eleven) the Study Area is within Barton Township.

Barton Township was initially surveyed by Deputy Provincial Land Surveyor Augustus Jones, who completed the work in 1796 (Gentilcore & Donkin 1973:42). Jones employed the single-front method, where only the concessions were surveyed and lots of 120 to 200 acres were delineated to be five times as long as they were wide (Schott 1981:77-93) (Figure 2). In Barton Township, the concession lines were oriented east to west and numbered north to south, while the side roads crossed the township running north to south (McIlwraith 1999:54).

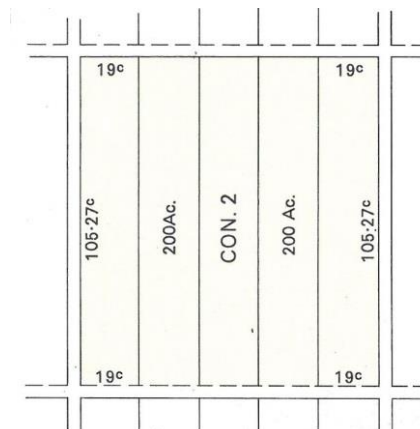


Figure 2: The single front survey system, used from 1783 to 1818. As depicted here, each lot is 200 acres (Ac.), created from surveying 19 chains by 105.27 chains (1 chain = 66 feet / 20.12 metres) (Gentilcore 1969:61)

Similar to most counties along the north shore of Lake Ontario, initial European settlement was by soldiers and refugees displaced by the American War of Independence, but the settlement of Barton Township appears to have begun well before Augustus Jones' survey. Early American immigrant Richard Beasely had established a post to trade with Mississauga and other western Ojibwa groups at the 'Head-of-the-Lake', or Burlington Heights, as early as 1785 (Triggs 2004:159), and Robert Land was believed to have squatted on land near Barton and Leeming Streets (Freeman 2001:13). Once the survey was complete, European settlement of the township accelerated, although the system of land allocation disproportionately favoured those with social status. James Kirkpatrick and Samuel Ryckman, both of whom had aided Jones on the land survey, were generously compensated for their labour: Ryckman received 11,042 acres and Kirkpatrick 4,147 acres, which together comprised 6.3% of Barton Township (Widdis 1982:447).

Nevertheless, the population grew exponentially. In 1815 Barton Township had 102 ratepayers and 72 one-storey houses, yet just under a decade later in 1823, the township had three sawmills and one grist mill, and close to 4,978 acres of improved land, with 2,841 acres above the 'mountain' and 2,137 acres below. The 1832 assessment for Barton Township shows that growth in the area had more than doubled since the end of the War of 1812, with almost 6,500 acres made arable, and 152 framed or log houses under two storeys, 42 houses with two storeys, and two brick or stone houses had been erected. There were also sixteen merchant shops and six storehouses, while farm animals included 314 horses over the age of three, 149 oxen, 547 milk cows and 140 young cattle (Page and Smith 1875).

Smith's *Canadian Gazetteer*, published in 1846, recorded the cultivated land of Barton Township as extending over 8,993 acres and quoted the 1841 census, which enumerated 1,434 inhabitants living in the township (Smith 1846:8). By this time Hamilton—named for early merchant George Hamilton, who had laid out the town in 1813—was the district town for Gore District and regarded as the 'key to the west' for its strategic position at the head of Lake Ontario (Smith 1846:65, 75). Incorporated as a town in 1833, by 1845 it could boast an urban population of 6,475 that supported a thriving roster of 'Professions and Trades', a stone jail and courthouse, a brick market house, and eleven churches for the Catholic and Protestant denominations, including Baptist and Methodist African-Canadian congregations. Daily stagecoach and steamboat service to the other major towns of southwestern Ontario was also available (Smith 1846:75-76).

Hamilton's development during the second half of the 19th century was marred by a failed investment in the Great Western Railway and the depression of 1857-58, but the town eventually recovered and by the 1870s had emerged as a manufacturing centre, earning the moniker of being the 'Birmingham of Canada', then later 'Steeltown' (Palmer 1979:15). This had a knock-on effect for the building industry, which increased 92% between 1850 and 1871 (Palmer 1979:16). Hamilton continued to grow through the first half of the 20th century, becoming the fifth largest city in Canada with a population of 150,000 by 1930 (Phillips & Boucher 2003:394). However, despite playing a leading role in supporting the war effort during both the First and Second World Wars, its textile industry would falter in the 1960s, and by the 1980s significant manufacturing and steel plant employers such as International Harvester and Stelco were forced to institute major layoffs.

In 1974, the Regional Municipality of Hamilton-Wentworth replaced Wentworth County, and in 2001 the Regional Municipality and its six constituent municipalities were amalgamated into the City of Hamilton. Population growth since then has been modest. In 2006, the population numbered 504,560 while in 2011 it had grown to 519,950 (Stats Canada 2011).

5.2 Property History to 1928

The property was originally at the centre of the 112-acre Lot 7, Concession 2 North of King Street East, Barton Township, Wentworth County. In 1797 the lot was granted by Crown patent to Walter Butler Sheehan, who was a nephew of Colonel John Butler, a Connecticut Loyalist who led his irregular force the Butler's Rangers during the American War of Independence and settled in the Niagara region after the war (Bowler and Wilson 1979). Sheehan owned several lots in Hamilton at the time of the patent plan, and it is unclear if he built on the lot.

By 1859 the lot was bisected by King Street East, and the north two-thirds was owned by James Philip Gage (Figure 3) of the locally prominent Gage family, namesake to Gage Avenue, two streets to the east of the property and Gage Park, approximately 460 m to the south. Just over a decade and a half later, the 1875 township map lists George Gage as owning the lot's northern two-thirds, as well as a portion of an adjacent lot (Page and Smith 1875) (Figure 4). A building is also depicted on the township map, possibly surrounded by an orchard.

Four structures, two of which were masonry, are indicated on the 1907 national topographic series map (Figure 5) but by 1911 the index to Goad's Fire Insurance Plan shows that nearly the entirety of the north half of the lot had become a 'City Park' (Figure 6). This park, later named Scott Park, had been established by the Board of Park Management along with Gage Park; while the latter was planned as landscaped pleasure grounds, Scott Park from 1919 onward was a sports facility (Terpstra 1985:123). Tyrrell's 1924 *Atlas of Hamilton* shows unknown features (possibly related to athletics) in the area of the property, with a lawn bowling green to the north, and a cricket pitch to the west (Figure 7). Four years later it would be selected as a venue for the inaugural British Empire Games.



Figure 3: Detail of the 1859 Wentworth County Map, with red arrow indicating the location of 1099 King Street East (Gregory 1859).

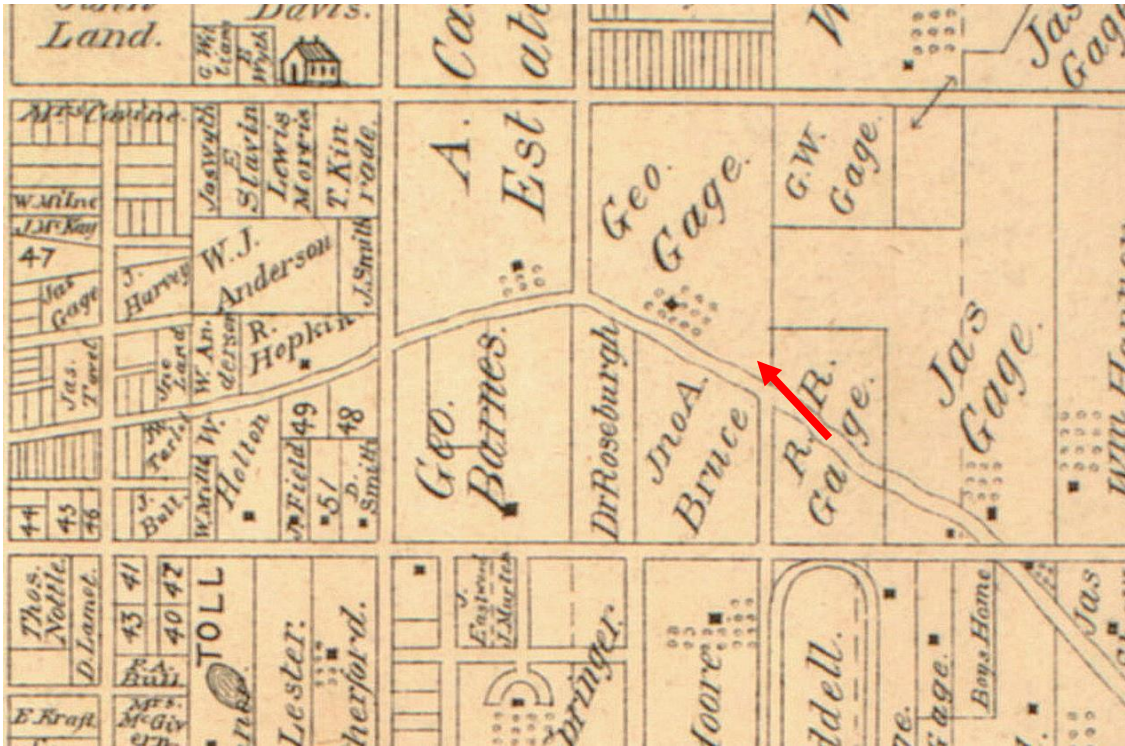


Figure 4: Detail of the 1875 Barton Township Map (Page and Smith 1875).

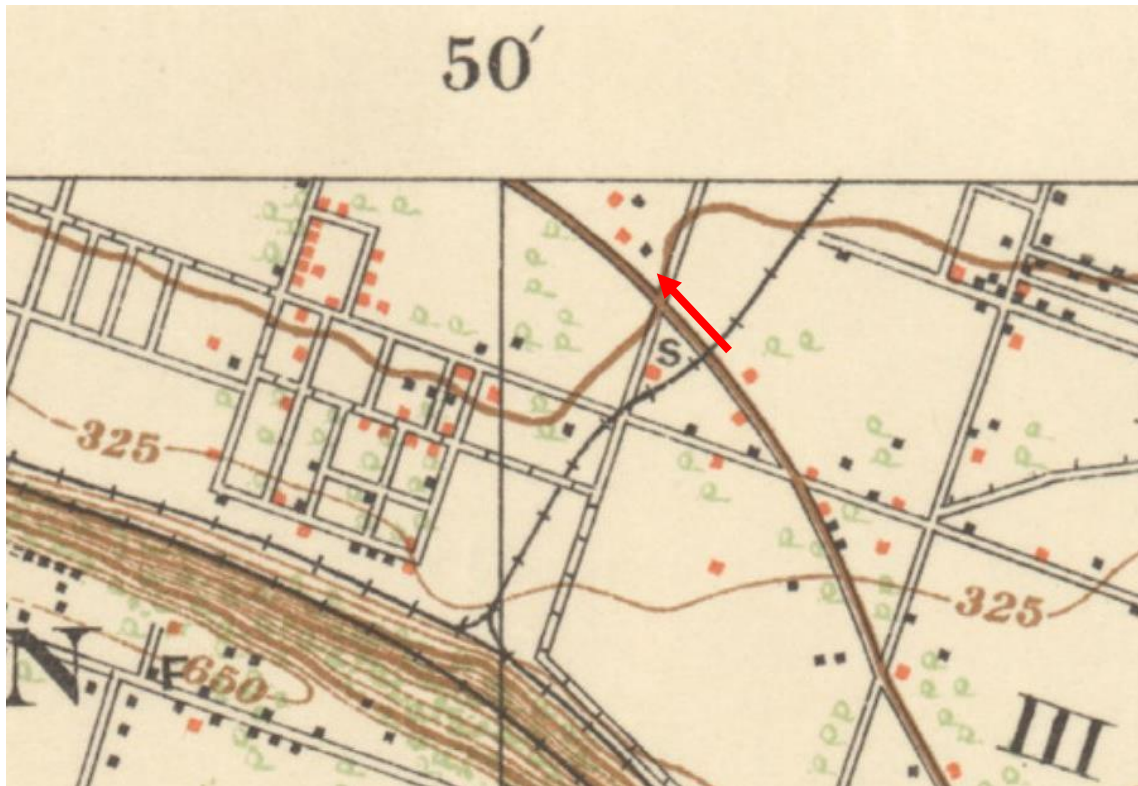


Figure 5: Detail of the 1907 Topographic Map of Grimsby (Department of Militia and Defence 1907).

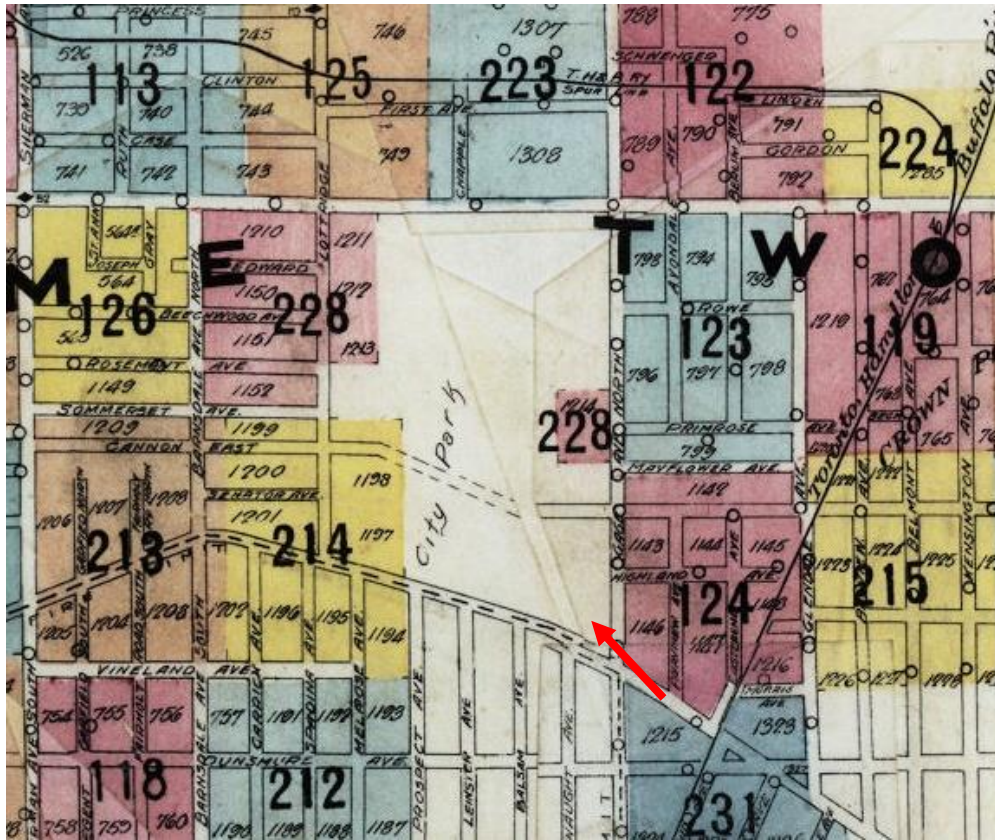


Figure 6: Detail of the index for the 1911 Fire Insurance Plan (Goad 1911).

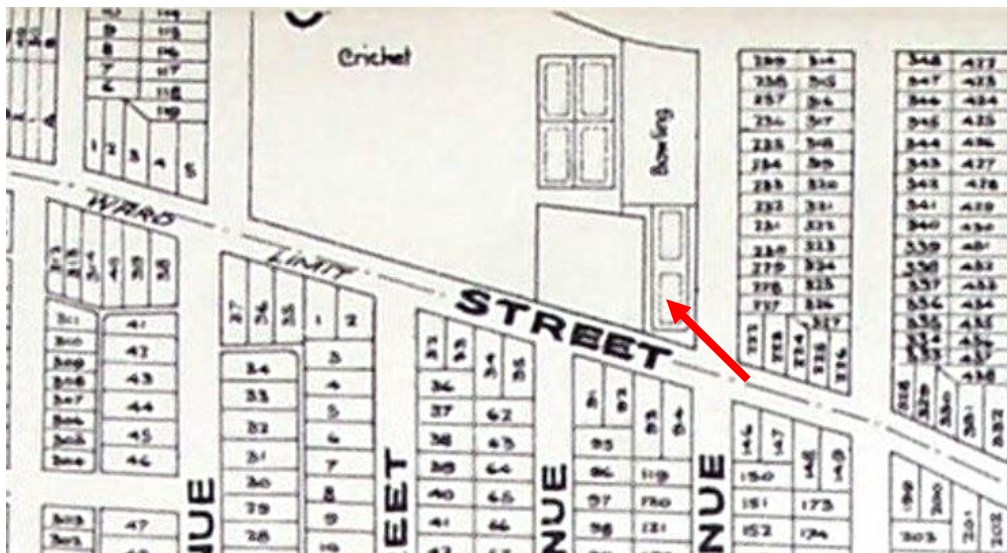


Figure 7: Detail from Tyrrell's 1924 Atlas (Tyrrell 1924: 18)

5.3 The British Empire Games & Hamilton Municipal Pool

The first indoor pool in Hamilton was built for the YMCA in 1890, by then based at the intersection of James and Jackson Streets (YMCA 2006:4), and after 1919 the municipality supported free swimming instruction there for children brought in from across the city (Bouchier & Cruikshank 2011:323) (Figure 8). However, at that time most residents swam at the beaches in Burlington Harbour, but these were increasingly polluted and there were increasing calls to create public facilities.

Public pressure for a municipal pool coincided with lobbying by Melvin Marks 'Bobby' Robinson for a British-empire wide sporting competition (Figure 9). A sports editor for the *Hamilton Spectator*, Robinson had managed the Canadian track and field team at the 1928 Amsterdam Olympics and had the energy and connections to capitalize on the increasing level of imperial sentiment in Canada as well as Hamilton's goal to become a 'world class' city (Phillips and Bouchier 2014:399). The genesis of a British Empire Games can be traced to a proposal by arch-imperialist and Hamilton resident Clementina Fessenden for an 'Empire Day' in 1897 and the 'Festival of Empire' held for the coronation of King Edward V in 1911, as well as the idea forwarded in 1924 by Norton Crowe, national secretary of the Amateur Athletic Union of Canada, to hold an Empire games every four years and on a cycle two years apart from Olympics (Gorman 2010:616). Robinson believed Hamilton to be the ideal host city as it called itself the 'geographical centre of empire', and in 1928 had been selected for the Canadian Olympic trials (Gorman 2010:616). The same year, Thomas McQueston, chair of the Public Works Committee, helped to draft an 'omnibus' style bylaw (By-law No. 3728) that funded both construction of a municipal pool but also beautification of the north-western entrance to Hamilton, a project of McQueston's that found far less public support than that for a public pool (Bouchier & Cruikshank 2011:324).

After the \$110,000 cost for the pool was secured from Council, work to design and build the municipal pool could begin. Architect for the project was Reginald Edwardes McDonnell, an English emigrant who arrived in Montreal to work with firm Brown and Vallance in 1911, then moved to Calgary the following year, where he began work for the Merchants Bank of Canada, eventually designing over thirty branches in Alberta, Saskatchewan, Manitoba, and Ontario (Hill 2021a). He also won the commission in 1914 for Calgary's Ranchmen's Club, which stands at 710 13th Avenue S.W. After moving to Hamilton in 1923, he partnered with Frederick W. Warren, but by 1928 was working independently (Hill 2021a; Archeion 2012, OAA n.d.). The extent of McDonnell's role for the municipal pool is unknown, and it may have been limited to the façade and interior decoration. Although his name is included in the caption for a photograph published in the December 14, 1929 *Hamilton Spectator* (Figure 10), only the pool's engineer Ernest Howard Darling is credited in a 1929 *Hamilton Herald* article of the same date and on a sign erected outside the building during construction (Darling 1933:423) (Figure 11); Darling's (1933) later account of the pool's features also makes no mention of McDonnell.

A Hamiltonian, E.H. Darling had originally partnered with local architects Stewart Thomson McPhie and B. Frank Kelly between 1913 and 1916, during which he designed the Crooks Hollow Dam, then entered "private practice as a consulting engineer on bridges, buildings, reinforced concrete, structural steel and industrial engineering" (Hill 2021b; *Engineering Institute of Canada* 1919:128). Darling's 1933 account of the construction outlined the wide range of considerations involved with the pool's design, from preventing cracks in the concrete to controlling humidity and ensuring adequate lighting. The latter was probably the contribution of firm Cockburn & Son, listed in the 1929 *Hamilton Spectator* caption as "Electrical Designers". The task of building these designs fell to local firm J. Earle Smith Construction Company, who are known from other municipal projects such as the Jarvis Public and Continuation School (1936) and the Charles H. Bray School in Ancaster (1953) (*Jarvis Record* 1936; Joe Flickr Photostream 2011).

The photograph published in the December 14, 1929 *Hamilton Spectator* suggests the pool's exterior was substantially complete by that date, but it was not officially opened until January 29, 1930¹ (Wilson 2010). Seven months later it was the swimming venue for the 'British Empire Games' that Robinson had been instrumental in organizing (Figure 12). Between 16 and 23 August 1930, Hamilton welcomed 450 competitors from eleven nations (Newfoundland, England, Scotland, Wales, Ireland, Australia, New Zealand, South Africa, Bermuda, British Guiana, and Canada) and attracted a crowd of over 20,000 to the opening ceremonies (Phillips & Boucher 2014:399).

Advertisements hyperbolically billed the municipal pool as 'one of finest in the Western Hemisphere', although Boucher & Cruikshank (2011:325) note this may have some grounding in truth. For the previous eight modern Olympics all swimming events were held in rivers and lakes, while the 1924 Paris Olympics was held in an artificial facility, yet one open to the elements (Comité Olympique Français 1924:439) (Figure 13). The Hamilton pool was 'considered to be a progressive marvel of engineering and public hygiene', 'regularly inspected by board of health', had 'well-drained floors, clean dressing rooms and toilets, laundered and sterilized bathing suits and towels', and there was 'a supervisor trained to oversee bathers at all times' (Boucher & Cruikshank 2011:325-326). During the Games, Canadian records were broken in the men's 100-yard backstroke but more importantly in the women's 400-yard freestyle relay; at these inaugural games, which later became the Commonwealth Games, swimming events were the only competitions open to women. These swimming events were a spectator favourite, and when 1500 people pushed through the doors they had to be restrained by police. England won the games with 61 medals, one of which had been won in the pool by Joyce Cooper (Williams 2014:480).

After the games, the pool returned to its public function, and in 1932 James 'Jimmy' Thompson was hired by the city to manage the facility, and he led both learn to swim and competitive programs (Figure 14 and Figure 15).

The 1938 topographic map (Figure 16) indicates two smaller buildings west of the pool, possibly remnants of the games, and in 1944 Scott Park was proposed for a sports complex to honour Canada's war service (Boucher & Cruikshank 2011:327-328). This was never undertaken although in 1950 the former British Empire Games site to the north was redeveloped for the Hamilton Tiger Cats as Ivor Wynne Stadium (Figure 17). In 1966, Scott Park Secondary School was added to the property to the west of the pool (Figure 18) and construction of other municipal swimming facilities, which had been postponed by the Second War, now took off with 66 built by 1971 (Boucher & Cruikshank 2011:330). The same year, the original municipal pool was renamed to honour the memory of Jimmy Thompson.

Ivor Wynne Stadium was replaced by Tim Hortons Field in 2012 and Scott Park Secondary School was demolished in 2015; the new Bernie Custis Secondary School to the west, and the adjoining Bernie Morelli Recreation Centre to the north were under construction at the time of Golder's field assessment.

¹ Darling (1933:421) incorrectly states the pool was built in "1932" for the first British Empire Games.

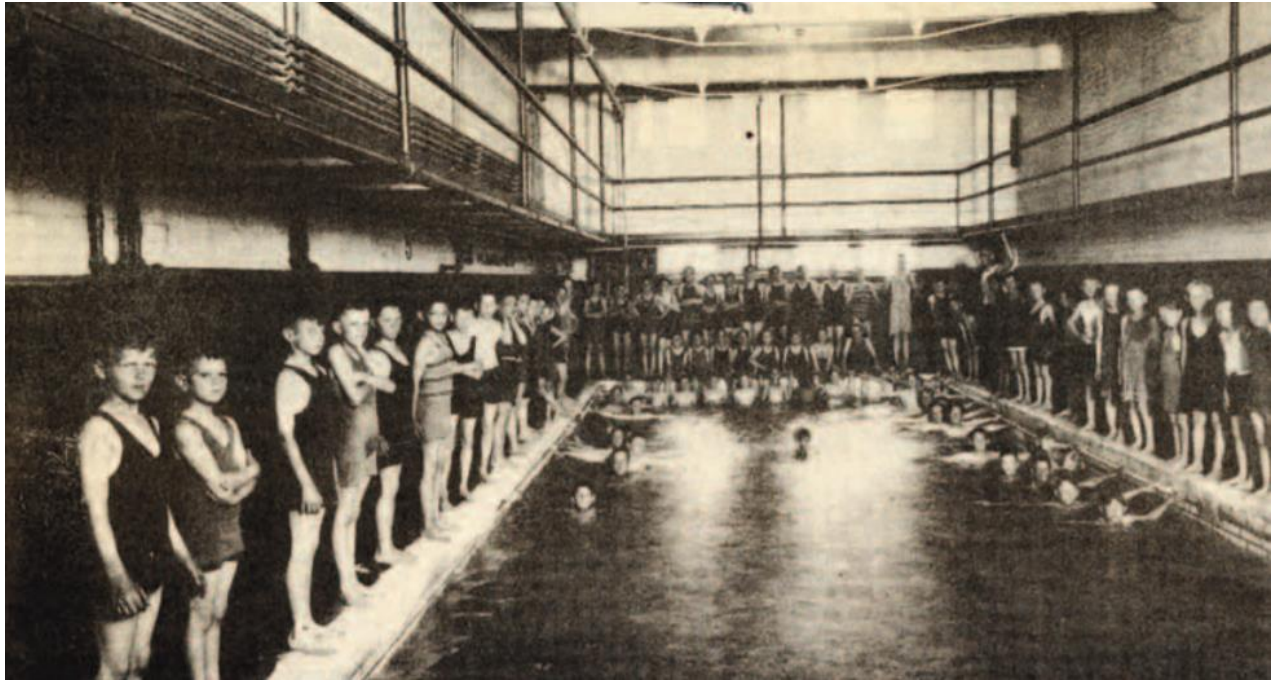


Figure 8: Circa 1930 photograph of the Hamilton YMCA pool (reproduced in YMCA 2006:8).



Figure 9: Melvin Marks 'Bobby' Robinson at the British Empire Games, 1930 (reproduced in Bradburn 2015).



Figure 10: Photograph of the pool published in the December 14, 1929 *Hamilton Spectator* (courtesy Inventory & Research Working Group of the Hamilton Municipal Heritage Committee).



Figure 11: Front façade of the pool, presumed while the building was still under construction since there is a board leaning against the wall that names the J. Earle Smith Construction Company and E.H. Darling. This photo also appears to pre-date December 1929 as the "Municipal Swimming Pool" sign below the cornice had yet to be added (see Figure 10, from Darling 1933:423)

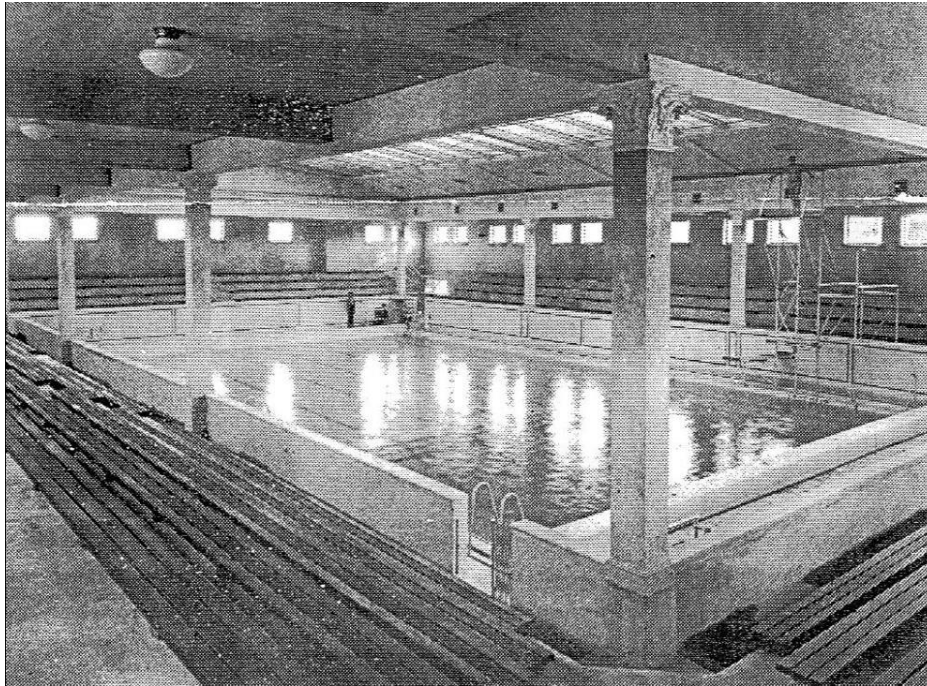
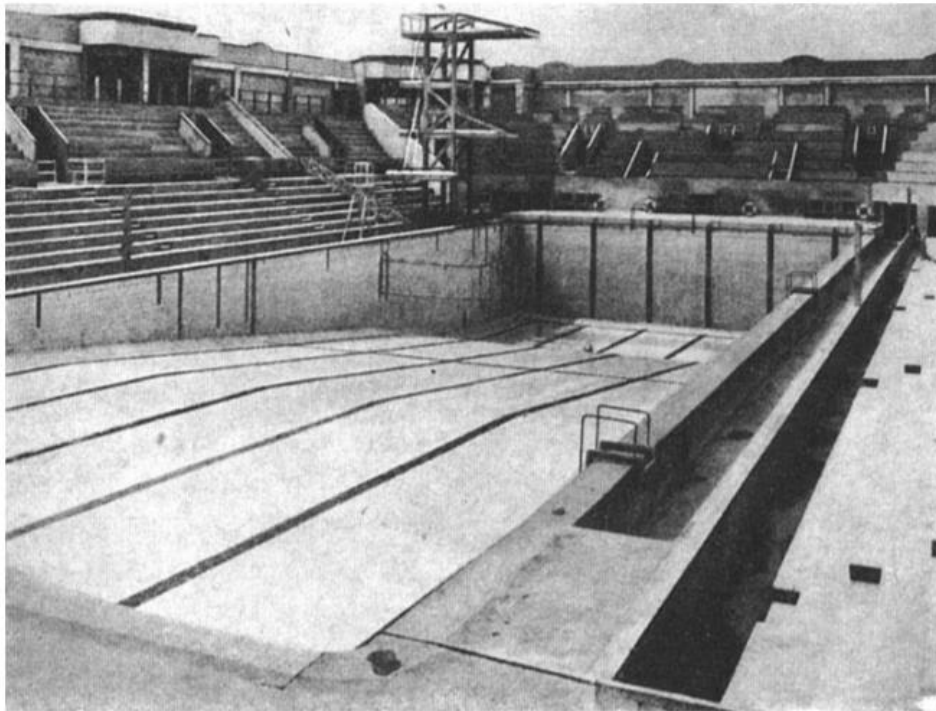


Figure 12: 1930 photograph from the British Empire Games programme showing the pillars with 'Corinthian' capitals, skylights, dome lighting over the bleachers, and a tall diving board (reproduced from Boucher & Cruikshank 2011:325).



VUE DE LA PISCINE VIDE

Figure 13: Pool constructed for the 1924 Paris Olympics (Comité Olympique Français 1924:439)



Figure 14: Children swimming in the Hamilton Municipal Pool (undated, *Hamilton Spectator* archives <http://thespecstories.com/2015/01/29/flashback-pool-days/>).



Figure 15: Hamilton Aquatic Club members posing on a diving board (Hamilton Archives, 1955).

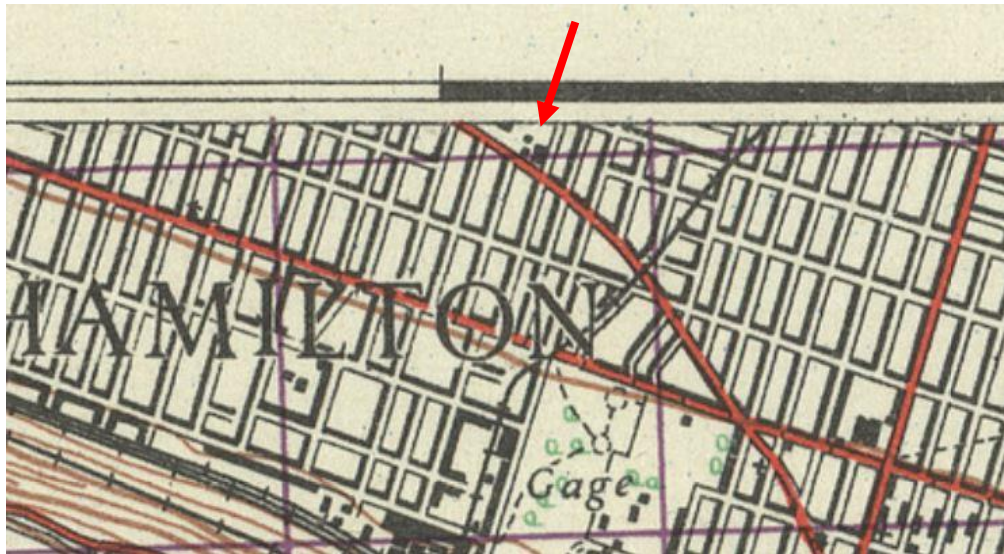


Figure 16: Detail of the 1938 topographic map, showing the location of 1099 King Street East (Department of National Defence 1938).



Figure 17: Detail of the 1950 aerial photo of east Hamilton, with 1099 King Street East indicated by a red arrow (McMaster Archives 1950).



Figure 18: Detail of the 1966 aerial photo of east Hamilton, with 1099 King Street East indicated by a red arrow (McMaster Archives 1966).

5.4 James (Jimmy) Gilmore Thompson, 1906-1966

James 'Jimmy' Thompson was born in Dundee, Scotland in 1906 and had emigrated to Toronto with his parents as a teenager. He entered swimming competitions in his local pool at Harrison Bath and for the YMCA teams at 15, and set records for the Humber River Swim and Hamilton Cross-the-Bay Swim (Spectator 1966; Swim Ont). Selected for the 1928 Canadian Olympic mission to Amsterdam, Thompson took home bronze with the 880-yard freestyle relay team and when he returned began coaching at the Harrison Baths, primarily underprivileged youths (Spectator 1966). Two years later, in the pool that now bears his name, Thompson won gold with the men's freestyle 4 x 200-yard relay team at the British Empire Games (Anon. n.d.).

In 1932 Thompson moved to Hamilton and joined the Delta Aquatic Club, which soon changed its name to the Hamilton Aquatic Club and appointed Thompson as its first coach (Lovegrove 1982). He would coach at the club based at the Municipal Pool for the next 33 years, and is credited for the successful careers of swimmers George Larson, Jack McCormick, Den Gazell, Dan Sherry and Patty Thompson, as well as leading the club to 92 national and 205 provincial swimming titles, and eleven straight national titles of the Hamilton Water Polo Club, which Thompson established and served as first coach (Lovegrove 1982; City of Hamilton 2017). He also coached

synchronized swimming, but is perhaps best known for teaching an estimated 60,000 children of all backgrounds and abilities to swim, a feat that earned him the moniker 'Mr. Swimming' (Figure 19). He actively took on maintenance of the pool, which he ensured was 'scrubbed every day with hard bristle brushes' and boasted had water 'purer than the city's drinking water' (City of Hamilton 2017).

Four-hundred and fifty people turned out for Jimmy Thompson Appreciation Night Dinner at the Royal Connaught Hotel on Nov. 14, 1957, and in 1959 Thompson was named Hamilton's Citizen of the Year (*West Hamilton Journal* 1982; *Hamilton Spectator* 1966:22). A year before his retirement after 33 years at the Hamilton Aquatic Club he was named Canada's Swimming Coach of the Year in 1964. Thompson passed away on January 26, 1966 and despite his modest obituary in the local paper, he was mourned by thousands in both Hamilton and Toronto. The Municipal Pool was renamed in his honour in 1971, and Thompson was since inducted into the Ontario Aquatic Hall of Fame (1990), the Hamilton Sports Hall of Fame, and the Canadian Aquatic Hall of Fame.



Figure 19: Jimmy Thompson and young students in the pool (undated, *Hamilton Spectator* archives <http://thespectator.com/2015/01/29/flashback-pool-days/>).

6.0 PROPERTY DESCRIPTION

This section provides an inventory of the landscape and built heritage features on the Jimmy Thompson Memorial Pool.

6.1 Setting

The property is located at the northwest corner of King Street East and Balsam Avenue North (Figure 20). The setting of the property can be characterized as urban residential. Structures within the immediate area are primarily residential, consisting of several three-story multi-family brick apartment buildings and one-half-storey single family detached dwellings directly south, southeast and southwest of the property, and one-half single family detached dwellings to the east (Figure 21 to Figure 25). The residential buildings fronting King Street East and Balsam Ave are contemporary in age and massing to the Pool. The lands directly to the north and west of the property were under redevelopment in 2018 and today are the Bernie Morelli Recreation and Bernie Custis Secondary School, respectively. A large sports arena (Tim Hortons Field) is located north of the Pool. Access to the property is through the front doors on the south façade of the structure from King Street East.

One street tree stands on southeast corner and the setback from the right-of-way on the south and east is relatively minimal. Like much of the surrounding area, the topography of the property is relatively flat with a slight decrease in elevation towards the west.

From the front entrance of the Pool are unobstructed views to the residential areas south, west, and east, as the structure is sited at the corner of the intersection.



Figure 20: Looking northwest at the Jimmy Thompson Memorial Pool from the southwest corner of King Street East and Balsam Avenue South.



Figure 21: Looking north along Balsam Avenue at the Jimmy Thompson Memorial Pool (left) and its immediate surroundings.



Figure 22: Looking west along King Street East at the Jimmy Thompson Memorial Pool (right) and its surrounding.



Figure 23: Looking south along Balsam Avenue North at the Jimmy Thompson Memorial Pool (right) and residential dwellings (left) within the Pool's vicinity.



Figure 24: Looking east along King Street East at the Jimmy Thompson Memorial Pool (centre left) and its surroundings. Note several three-story multi-family brick apartment buildings along King Street East that are contemporary in age and mass of the Pool.

6.2 Built Heritage

6.2.1 Exterior

The Jimmy Thompson Memorial Pool was constructed using elements of Edwardian Classicism (Figure 25). The low-pitched hipped roof with projecting eaves is a common feature on Edwardian Classicism structures, as are the white-washed walls on the north, east, and west facades of the structure. While the hipped roof of the frontispiece and its wings has red shingles (originally red tiles) and plain projecting eaves and verges, the main roof of the pool is hipped, covered with metal, and has plain flush eaves and verges (Figure 27). The south façade (frontispiece) features large Romanesque arches with a stone keystone on each, above translucent glass-block windows (Figure 25). The arches previously extended further down the façade of the structure but are now obscured by the addition of the 1974/75 bathroom and entrance block (Figure 26). The building has a cement foundation with a concrete plinth. The entire frontispiece and its wings are constructed from red brick in Flemish bond, with a stone course running across the building, just above the keystones, and a second course in line with the top of the glass-block windows. These courses continue onto the wings, which extend to the east and west from the south façade and are recessed slightly. Both wings have a glass-block window at a first storey height on the south façade and one at the second storey height on the east and west facades.

The east and west façades of the Pool feature two tones of off-white paint, and a series of small rectangular single sash windows with translucent glass-blocks providing light to the interior (Figure 28-Figure 31). The fenestrations are organized asymmetrically between the two stories of the structure. The ground level of the east façade of has 10 window openings and the second level has 14 window openings. One of the ground-floor windows has been replaced with an air vent and some of the windows have a centre opening with a single-hung window. The ground level of the west façade has 11 window openings, and the second level has 12 window openings. Five of the ground-floor windows have been boarded, one has been replaced with an air vent, and the remainder are fitted with centre openings with a single-hung window. On the second level of the west façade, four of the windows have centre openings with a single-hung window.

The second level and a portion of the ground level of the west half of the north façade is obscured from the construction of an extension to the new Hamilton-Wentworth District School Board Secondary School. Two window openings with translucent glass-blocks and an air intake vent are visible along the second level, and a series of window openings fitted with air vents and one fitted with translucent glass-blocks is visible on the ground level. A large emergency exit door is located at the northeast corner of the façade.

A chimney extends from the side of the west façade, painted white on the bottom and left as exposed red brick above the roof of the structure (Figure 28 - Figure 29). This façade, like the north and east, has sets of glass-block windows with lug sills, broken into even sections by brick pilasters. Several of the ground storey windows have been altered or boarded up.

Extending from the south façade is an additional brick structure, one storey in height that was added to the Pool to provide public washrooms. This addition has the same concrete foundation as the Pool, with a flat roof and double doors in the centre, in line with the central arch on the south façade. The main entrance has a flat structural opening with plain trim within and outside the structural opening. The main doors are metal and consist of two leaves with two glass panels per leaf and includes a side light transom. Another set of doors follows the main doors creating a vestibule. The secondary doors are also metal and consist of two leaves with two glass panels per leaf and includes a side light transform on either side. There are no windows in the addition.



Figure 25: Looking north at the south facade of the Jimmy Thompson Memorial Pool and the 1974/75 addition.



Figure 26: Sill and glass block of the west window as seen from inside the 1974/75 addition.



Figure 27: Projective eaves and verges, looking at the south east corner of the frontispiece.



Figure 28: Looking northeast at the south and west facades of the Jimmy Thompson Memorial Pool.



Figure 29: Looking southeast at the west facade of the Jimmy Thompson Memorial Pool.



Figure 30: Looking northwest at the east facade of the Jimmy Thompson Memorial Pool.



Figure 31: Looking southwest at the east and north facades of the Jimmy Thompson Memorial Pool.

6.2.2 Interior

6.2.3 Overview

The interior of the building is described in site plans as having two floors: ground floor and pool floor (Figure 32 - Figure 33).

The ground floor is split level, with a lobby area at grade and the remainder of the floor partially below grade. The front entrance of the building leads into the lobby of the ground floor. From the lobby, there are short stairs leading down to the lower level of the ground floor, as well as stairs leading up to the pool floor.

The original construction of the building included an attic space within the frontispiece of the building. Furthermore, the building was also originally fitted with central skylights, which permitted natural light to flow into the pool floor. These skylights were removed in 1974/75 and re-roofed with metal. A dropped ceiling is now hung from the metal trusses of the former skylights, thus creating an extension north from the original attic space.

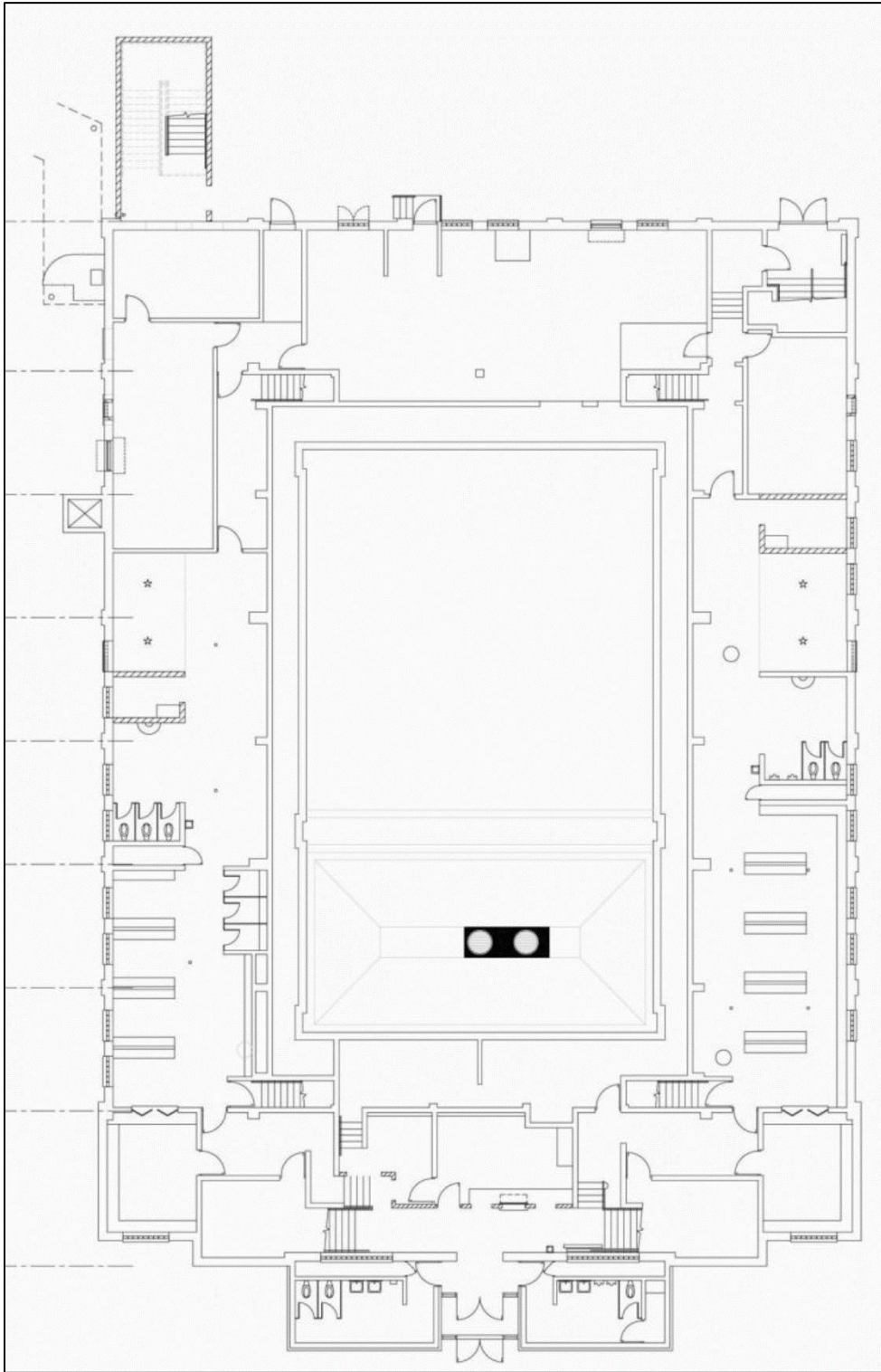


Figure 32: Plan of Ground Floor, 2004.

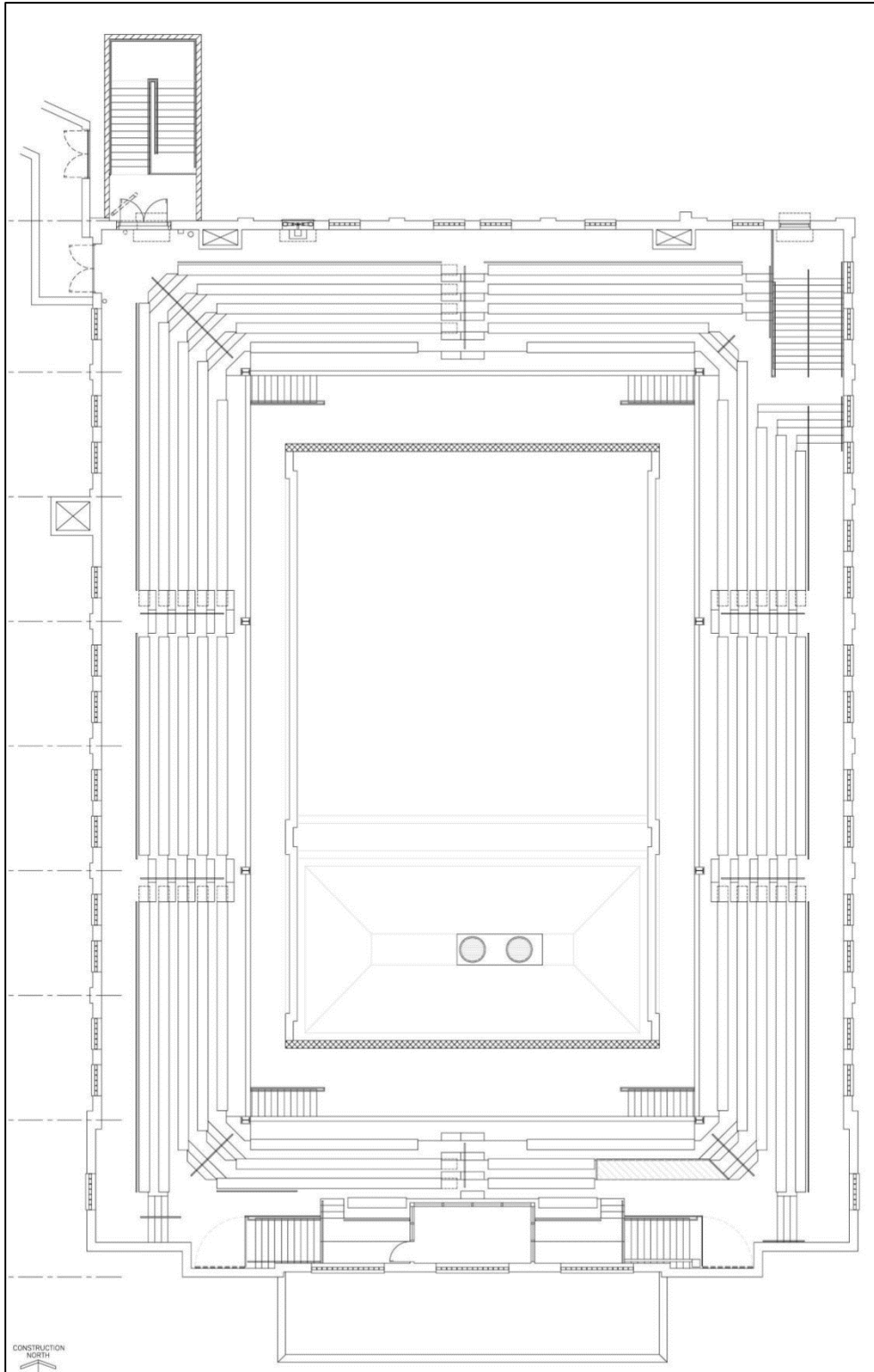


Figure 33: Plan of Pool Floor, 2004.

6.2.3.1 Ground Floor

6.2.3.1.1 Lobby Level

The lobby level of the ground floor sits at the same elevation as the street level entrance from King Street East (Figure 34). In 1974/1975, to provide public washroom facilities, an addition was construction onto the main entrance at the lobby floor level. This addition now functions as the main entrance to the building with a centre vestibule, female's washroom on the west side of the addition and a male's washroom to the east side of the addition. The original south façade, which is covered by the 1974/75 addition appears to remain intact (Figure 35).

Access to the lobby level can be gained from the main entrance. At the east and west ends of the lobby level, there are stairs to the lower level of the ground floor, as well as a set of stairs to the pool floor (Figure 36). The staircases are original, but the railings appear to be later additions.

Directly north of the main entrance and between the two sets of staircases is a large office room as well as an additional smaller room likely utilized as a secondary office (Figure 37 & Figure 38). The configuration of the two offices was established by 1974 but based on the style of some of the concrete blocks within the partitions of the office suggest that the offices were likely created in the 1960s (Golder 2013). A set of staircases are present from the smaller office room to the ground floor.



Figure 34: Looking south at the main entrance and vestibule associated with the 1974/75 addition.



Figure 35: Looking southeast at the intact original south facade located behind the 1974/75 addition.



Figure 36: Looking west along the lobby floor at stairs leading up to the pool floor.



Figure 37: Looking northwest at entrance to office rooms and stairs leading up to the pool floor and stairs leading down to the ground floor.



Figure 38: Looking west at the large office space in the foreground, as well as the small office space and stairs to the ground floor in the background.

The lower level of the ground floor consists of various storage rooms, male and female check and change rooms, lifeguard change room, a pipe tunnel, a mechanical/ filtration room and furnace room.

The male and female staffed check rooms, located at the south east and south west corners of the lower level, respectively, were significantly altered during the 1974/75 additions. Both rooms were subdivided in a similar configuration, resulting in smaller male and female check rooms, and the construction of male and female lifeguard changerooms (Figure 39 - Figure 42).

The male and female change rooms are located directly north of their respective check rooms and along the east and west sides of the lower level, respectively (Figure 43 - Figure 59). Both change rooms occupy the same area as per the original construction, except for the northern third of the male change room, which has been converted into an electrical/storage utility room in 1974/75, as well as the conversion of parts of the change rooms into small utility/janitorial rooms within both change rooms. The configuration of the change room amenities (toilets, showers, and lockers) was modified in 1974/75, and fixtures have been modernized over time. The ceramic tiles within the male change room and its associated utility/janitorial room and corridor appears to be from the 1974/75 updates to the building. With the exception of the service/janitor sink within the utility/janitorial room, the ceramic tiles within the female change room and its associated rooms has been replaced since 1974/75. There are stairs at the south ends of both change rooms that lead to the pool level. Additionally, at the north end of both change rooms, there is a corridor with stairs leading to the pool level (Figure 60).

Three additional utilities rooms are located in the north and north west parts of the lower level (Figure 61 -Figure 70). The furnace room is directly north of the female change room, and in its original configuration; although the equipment appears to have been replaced over time (Figure 63 - Figure 64). The original heating systems was likely a coal furnace that has been replaced with a gas furnace system. The chute cover to the original coal furnace remains (Figure 65). The central air conditioning room is located at the north west corner of the lower level. This room was originally a storage room, which has been converted to house the central air conditioning (Figure 66 - Figure 67). The mechanical/filtration room is in its original configuration at the north end of the lower level (Figure 69 - Figure 70). It appears that all the equipment has been replaced over time. The mechanical room provides access to the pipe tunnel that surrounds the perimeter of the pool. The pipe tunnel's remains in its original configuration. The pipe tunnel provides access to the pool's light fixtures, as well as its pipe and electrical systems, which have been replaced over time (Figure 71 - Figure 73).

A storage room is located under the south end of the pool deck. This area was inaccessible at the time of the site visit. However, according to Golder (2013), the room has low ceilings and provides access to changing the four pool lights at the south end of the pool. Additionally, the walls of the room were graffitied with the names of former pool staff from 1967.

The main emergency exit was constructed at the north east corner of the ground floor. This exit connects to the pool level by a wide staircase, as well as to the male change room through a corridor. An additional exit was constructed at the north west corner; however, there was no direct access to this exit of the main emergency exit from the female change room unit 1974/75. It was at this time that an opening was created at the north end of the corridor north of the female change room to provide direct access to an exit (Figure 59, Figure 68).



Figure 39: Female lifeguard change room (1974/75), looking southwest.



Figure 40: Male check room, looking south. Room was reconfigured in 1974/75.



Figure 41: Female check room, looking north into female change room. Room was reconfigured in 1974/75.



Figure 42: Looking south into the female check room. Room was reconfigured in 1974/75.



Figure 43: Male change room, looking north. Floor tiles appear to be from 1974/75. Note slope in ceiling from pool bleachers.



Figure 44: Male change room, looking north.



Figure 45: Utility room (1974/75) withing male change room, looking east.



Figure 46: Male change room, looking south.

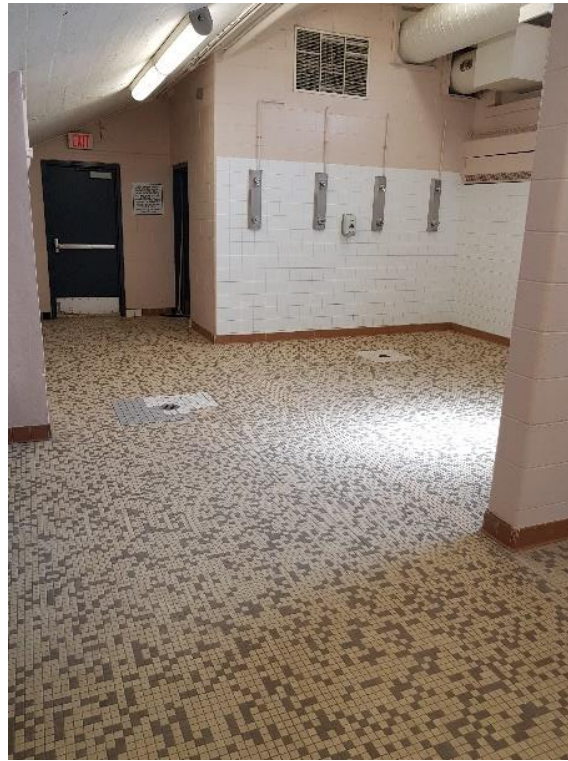


Figure 47: Male change room, looking north.

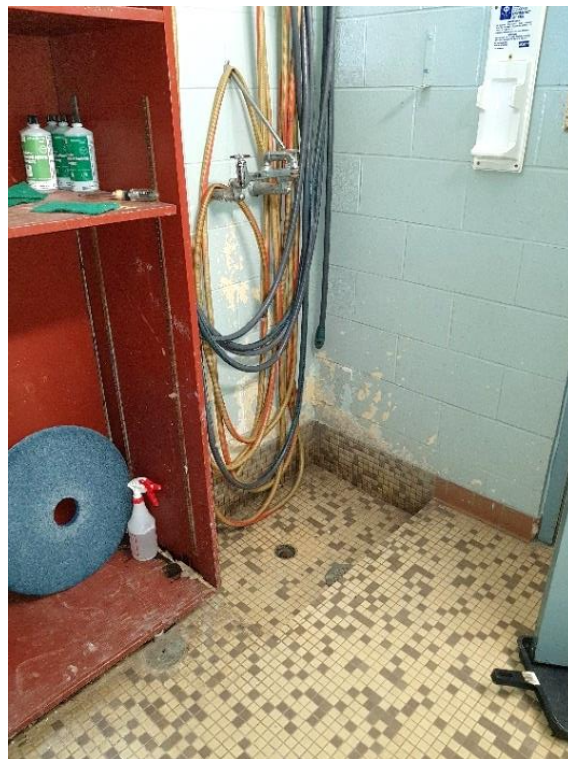


Figure 48: Janitorial room (1974/75) within male change room, looking north east.



Figure 49: Corridor north of male change room, looking north. Reconfigured in 1974/75.



Figure 50: Electrical room, looking south. Enclosed in 1974/75 to create a designated electrical room.



Figure 51: Electrical room, looking north.



Figure 52: Female change room, looking north. Note slope in ceiling from pool bleachers.

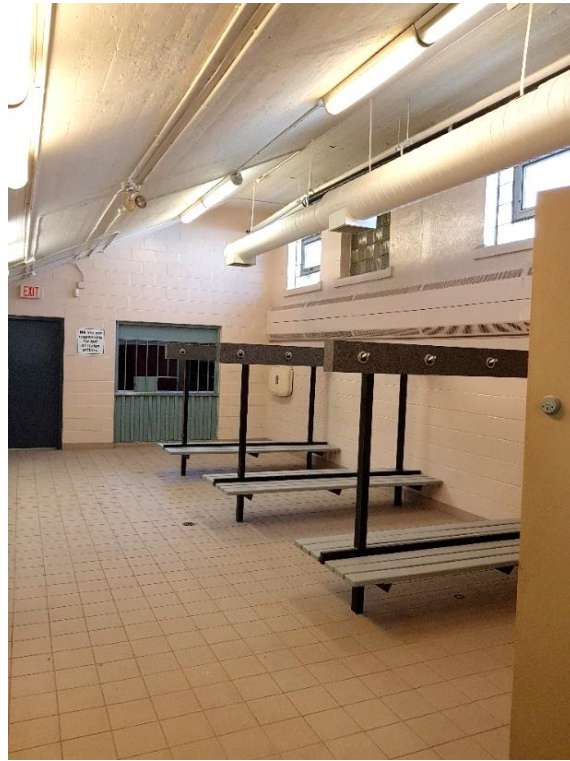


Figure 53: Female change room, looking south.



Figure 54: Utility room (1974/75) within female change room, looking west.



Figure 55: Air vent within utility room of the female change room, looking west and up.



Figure 56: Female change room, looking south west. Air vents installed during 1974/75 updates.



Figure 57: Female change room, looking north west.



Figure 58: Janitorial room (1974/75) within female change room, looking south west.



Figure 59: Corridor north of female change room, looking north. Wall at north end was opened and a door installed in 1974/75 for access to an emergency exit.

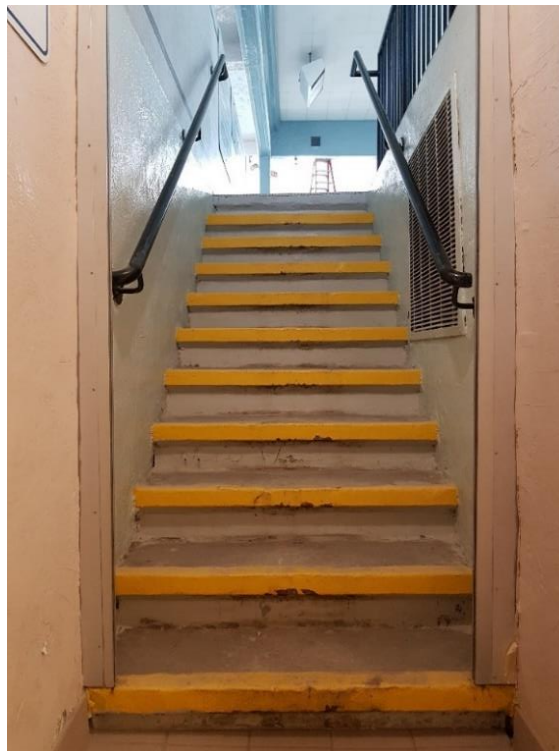


Figure 60: Stairs from the corridor north of the female change room to the pool floor.



Figure 61: Stairs from corridor to a/c room, emergency exit and mechanical/filtration room. Note, stairs from corridor to subsequent rooms were constructed in 1974/75 when the wall was opened, looking north.

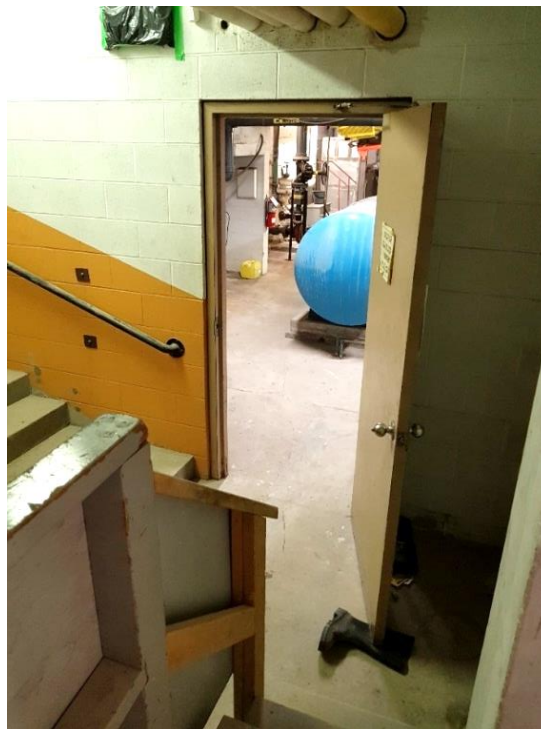


Figure 62: Stairs (1974/75) from opening at the north end of the corridor to subsequent rooms, looking north east.



Figure 63: Furnace room, looking south west. All equipment has been updated over time.

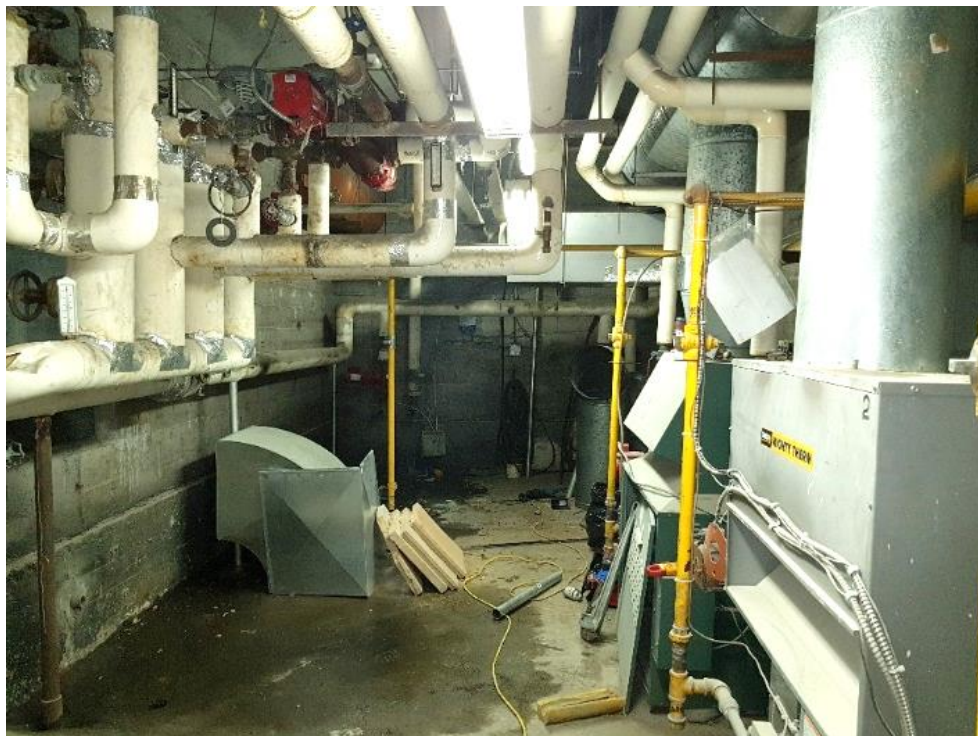


Figure 64: Furnace room, looking south. All equipment has been updated over time.



Figure 65: Chute to the original coal furnace.



Figure 66: Air conditioning room, formerly employed as a storage room.



Figure 67: Ground floor: covered window within a/c room along west wall, looking west.



Figure 68: Rear exit, which was utilized as an emergency exit from the female change room after 1974/75, looking north.



Figure 69: Mechanical/filtration room, looking east. All equipment has been replaced over time.



Figure 70: Mechanical/filtration room, looking west. All equipment has been replaced over time.



Figure 71: Pipe tunnel that runs around the perimeter of the pool. Note, electrical and pipes within pipe tunnel has been updated.



Figure 72: Under water pool light; this light appears to be original. Note, marks of the board forms are visible on the cement.



Figure 73: Updated under water pool light.

6.2.3.2 Pool Floor

The configuration of the pool floor appears to be original and unaltered. The pool floor is symmetrical in design, with the pool centred on the north-south axis of the floor plan. The east and west sides of the pool floor consist of five rows of bleachers divided into three sections by stairs (Figure 74). The north end of the pool floor consists of five rows of bleachers divided into two sections by stairs. The south end of the pool floor consists of four rows of bleachers divided into two sections by stairs, as well as galley and judge's booth (Figure 75). The bleachers are concrete and finished with wooden board for seating. The wooden boards have been replaced over time. The judge's booth was constructed likely during the 1974/75 updates to the Pool and centre over the gallery area. The stairs between the bleachers and the upper walkway around the outer perimeter of the pool floor are furnished with handrails, which are not original.

All sides of the pool floor have glass-block window, which have been replaced over time (Figure 76). Some of the windows have centres that can be opened, and some windows are blind. The larger windows are located on the front (south) elevation within the arches (Figure 77).

The ceiling is supported by four columns on both sides (east and west) of the pool (Figure 74). The shafts of the columns are square and were originally finished with a Corinthian capital and decorative base. The Corinthian capital and decorative base have since been removed.

The bleachers and pool deck are separated by a low, concrete wall (Figure 77). The pool side of the wall is finished with small, white ceramic square tiles with black ceramic tile bordering, which appear to be original. The lettering on the tiles were coloured onto the tiles by hand at a later date (Figure 78). Entrance to the pool deck from the bleachers is accessed by stairs at the corners of the pool (Figure 79).

Additionally, the deck level of the pool is connected by staircases at all four corners to the change rooms on the lower level of the ground floor, thus, connecting to the respective ends of the male and female change rooms (Figure 80 - Figure 81). Over each staircase, there is decorative semi-circular platform finished in small, white ceramic square tiles that extend out from the edge of the columns.

The gutters of the pool are located along the east and west sides of the pool. The pool is primarily finished with small, white ceramic tiles, and the swimming lanes. The lane numbers and distance markers are ascribed in black ceramic tiles that have been replaced over time. The shallow end of the pool is located on the north end of the pool, and the deep end is located at the south end of the pool. The shallow and deep ends of the pool are delineated by red ceramic tiles and appears to be a later addition. The pool depths are ascribed by hand on the east and west sides of the pool. The pool is fitted with four underwater lights at the south end, two at the north end and seven lights on the east and west sides.

The emergency exit located at the north east corner of the ground floor is accessible by a set of wide stairs at the north east corner of the pool floor; these stairs are original (Figure 82). In 2004, an emergency escape from the pool floor was constructed on the north wall at the west end; this exit has since been removed to accommodate the construction of the new Hamilton-Wentworth District School Board Secondary School.

A link to the former Scott Park Secondary School was formerly present on the west wall at the north end of the pool floor. This link was removed with the demolition of the school in June 2015.



Figure 74: Bleacher rows along the west side of the pool, looking north. Note, the absence of the Corinthian capitals and decorative base on the columns. Roof columns are evident. The drop ceiling over the former skylight is visible.

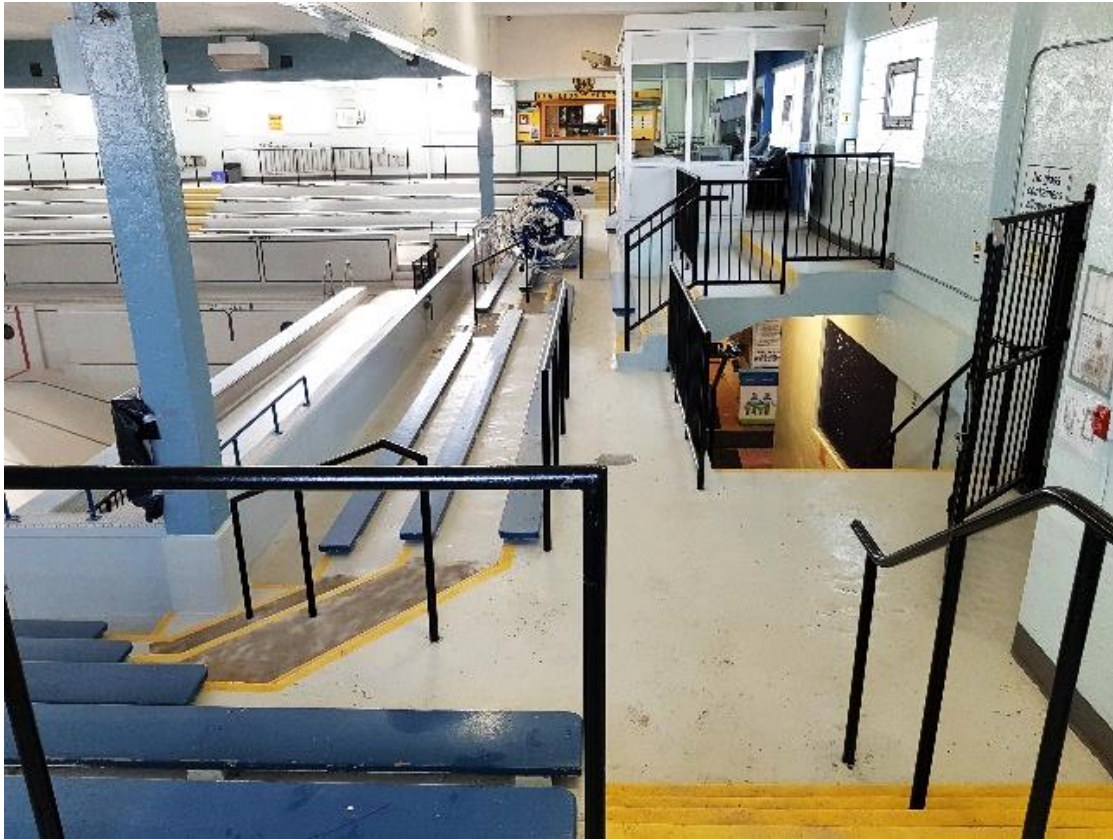


Figure 75: South side of the pool, looking east. The judge's booth, gallery, south bleachers, and stairs to the lobby floor are visible.



Figure 76: Updated glass-block windows along west side of pool. Note, some of the windows are fitted with a centre single-hung opening.



Figure 77: Wall separating bleachers from the deck level, looking south. Gutters are visible between the deck and pool.



Figure 78: Letters are ascribed by hand; a later addition likely to meet health and safety requirements.



Figure 79: Entrance to the pool deck from the bleachers, looking east.

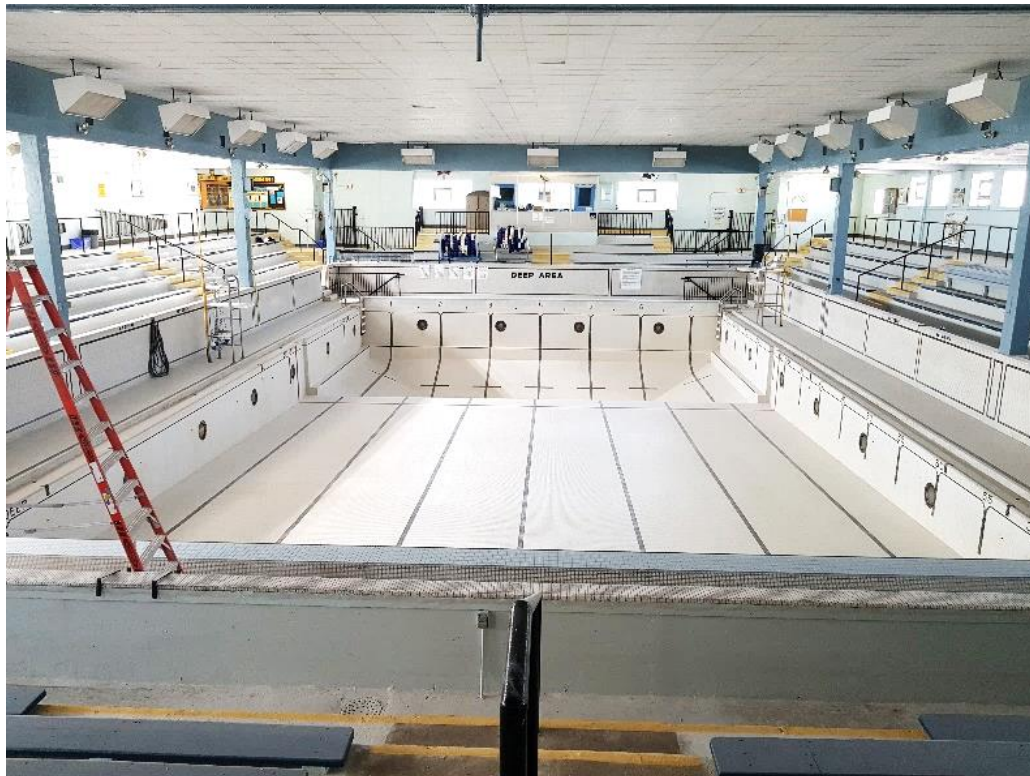


Figure 80: Pool floor, looking south. Stairs to the change rooms, Romanesque arches along the south, pool lights, gutters along the east and west limits of the pool, and drop ceiling covering the former skylights are visible.



Figure 81: Pool floor, looking north. Stairs to the change rooms, gutters along the east and west limits of the pool, and drop ceiling covering the former skylights are visible.

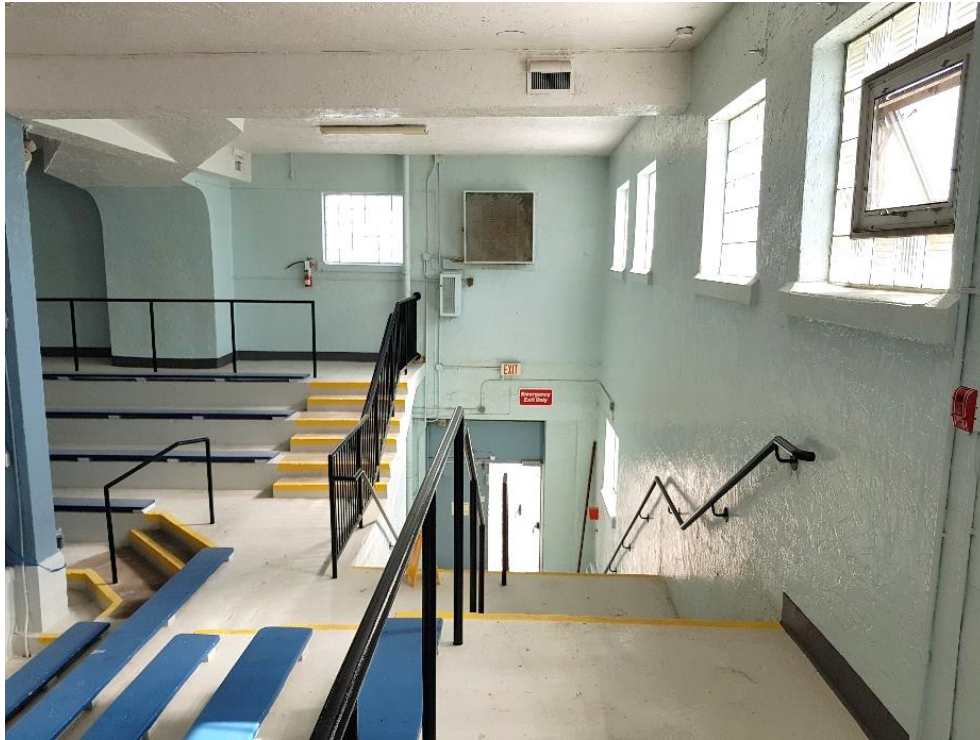


Figure 82: Access to the emergency exit from the pool floor, looking north.

6.2.3.3 Roof Level

The south end of the building (frontispiece) consists of a timber-framed hipped-roof that includes an attic space, which is original to the building (Figure 83 - Figure 88). The attic is accessible by ladder from the pool level through an opening above the judge's booth. The east and west walls of the attic are constructed of brick, and the north and south walls are constructed of a combination of brick and cinder blocks (Figure 83 - Figure 85). All four walls have a timber wall plate. A single window is located on the north wall at the east end (Figure 83). The roof deck appears to be constructed with tongue and groove timber (Figure 87).

The original construction of the building included central skylights, which permitted natural light to flow into the pool floor. These skylights were removed in 1974/75 and re-roofed with metal. The original metal trusses remain, from which a dropped ceiling is hung (Figure 88). This now enclosed area is accessible from the north wall of the attic.



Figure 83: Looking east within the attic space of the frontispiece. The arrow points to red roof tiles, which may be the original to the frontispiece.



Figure 84: Looking south east within the attic space of the frontispiece.

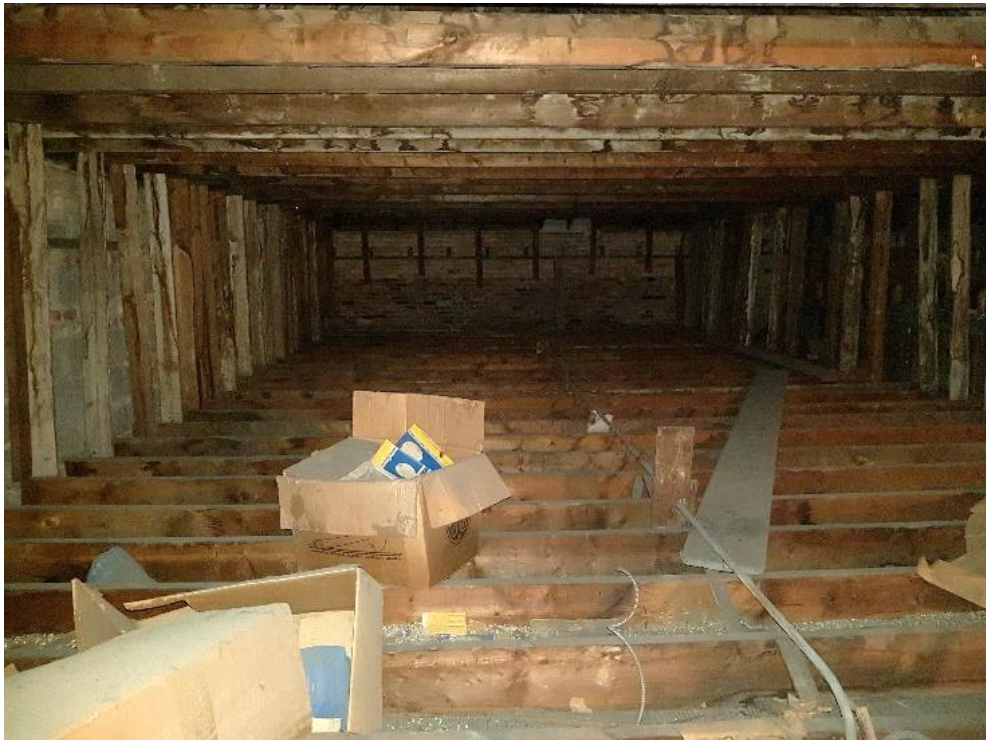


Figure 85: Looking south west within the attic space of the frontispiece.



Figure 86: Timber-framed hipped roof of the frontispiece.



Figure 87: Roof deck on the frontispiece appears to be constructed in tongue and groove method.



Figure 88: Original metal trusses of the skylight, looking northwest.

6.3 Interpretation

6.3.1 Structural Sequence

Like many historic buildings in Hamilton, the number of alterations and structural sequence evident in the physical elements of the Jimmy Thompson Memorial Pool are relatively few. However, from a combination of field investigations and historical data, there are at least 2 phases that can be defined for the property.

6.3.1.1 Phase 1: circa 1930 - 1973

The first phase represents construction of the Hamilton Municipal Pool in 1930, and its elements. Elements from this phase include:

- Frontispiece;
 - Two-storey massing of brick with a cement foundation;
 - Low-pitch, hipped roof with projecting eaves and verges;
 - Red roof tiles
 - Romanesque arches;
 - Band courses of stone and decorative red brick in Flemish bond;
- Large brick chimney from the furnace room on the west façade;

- Coal chute;
- Single sash, eight pane windows with lug sills;
 - Replaced with translucent glass-block windows, some with centre openings, prior to 1974;
- Seven-lane ceramic tiled pool and tiled pool barrier wall (Figure 89);
- Pipe tunnel and pool lighting system;
- Concrete bleachers fitted with wooden seating;
- Corinthian-style columns;
- Central skylights;
- Gallery;
- A diving board;
- Footprint and room layout prior to 1974 (Figure 90)

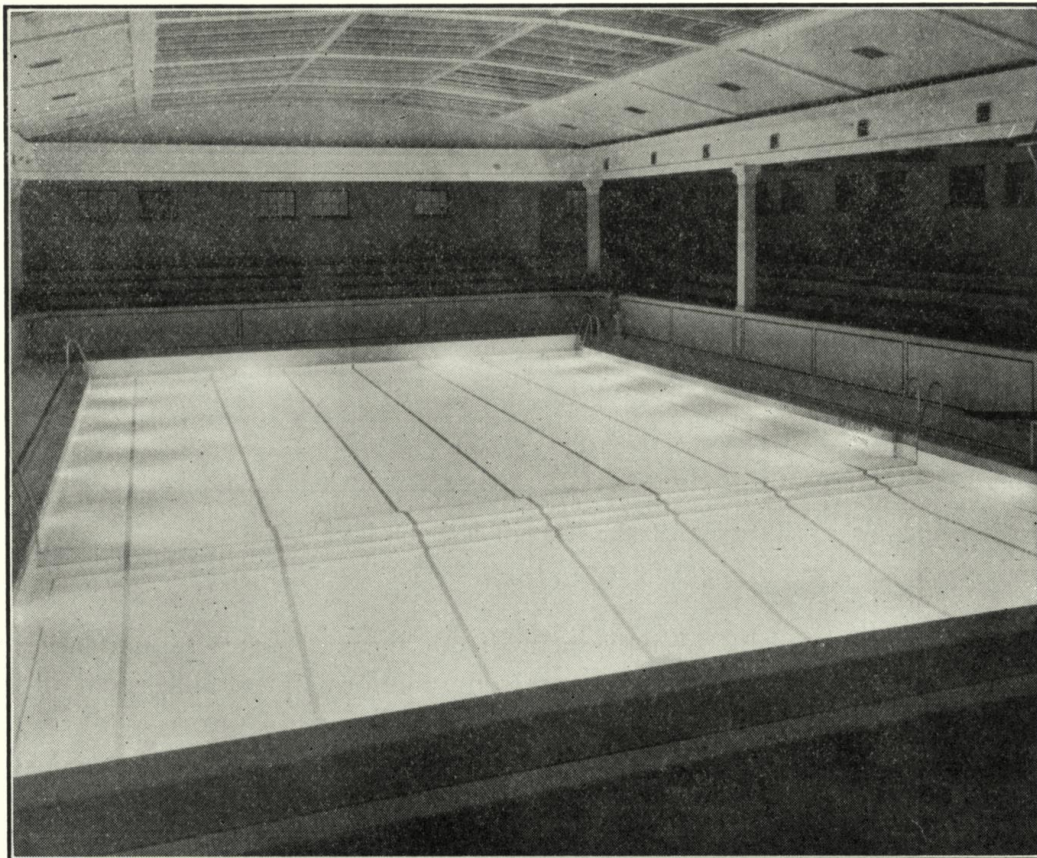


Figure 89: "The Pool" (from Darling 1933:424).

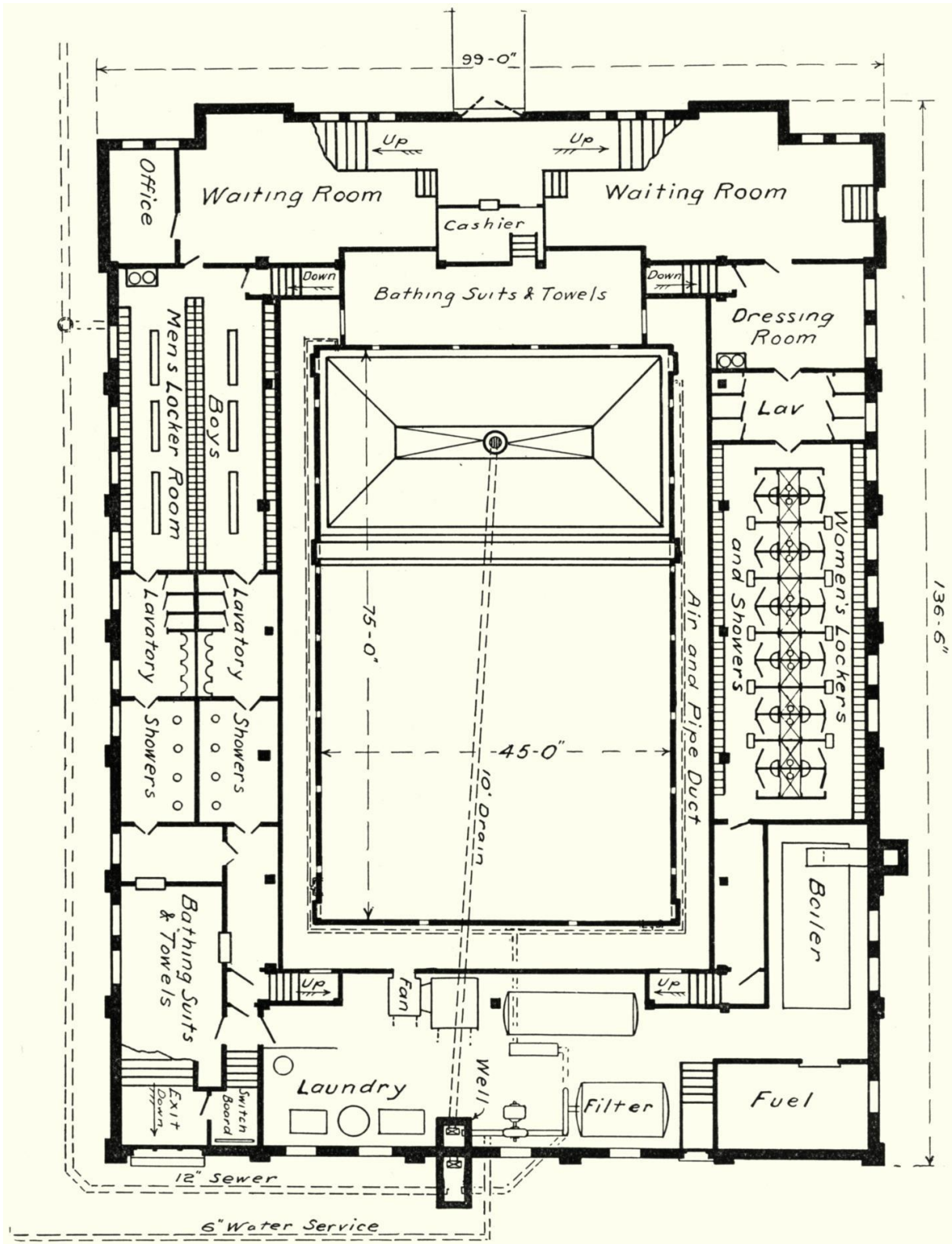


Figure 90: "Plan of the Municipal Swimming: Pool, Hamilton, Ontario" (from Darling 1933:422). North is oriented to the bottom of the page.

6.3.1.2 Phase 2: 1974/75 - Present

The second phase represents alterations to the Hamilton Municipal Pool, then called the Jimmy Thompson Memorial Pool from 1974 onwards (Figure 91 to Figure 94). Elements from this phase include:

- Removal of the skylights, re-roofed with metal and addition of dropped ceiling;
- Removal of Corinthian capital and decorative base from interior columns;
- Construction of the south entrance and washroom addition;
- Reconfiguration of check rooms and construction of lifeguard change rooms;
- Addition of judge's booth within the gallery area;
- Removal of diving board;
- Opening of corridor wall to provide access from female's change room to rear exit;
- Replace red roof tiles from frontispiece;
- Addition and later removal of rear emergency escape and connection to Scott Park Secondary School.

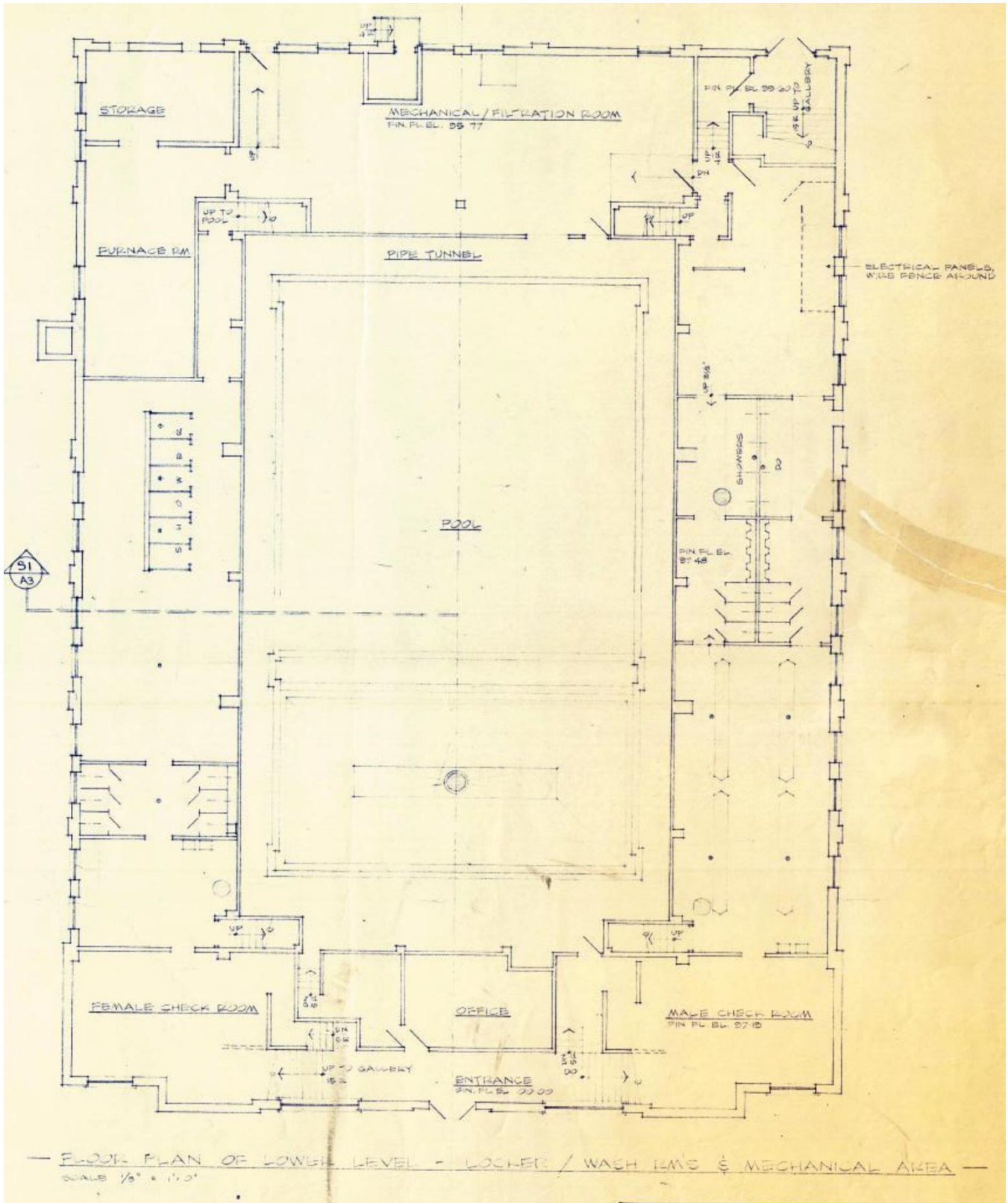


Figure 91: Ground floor showing existing conditions in 1974 (Golder 2013).

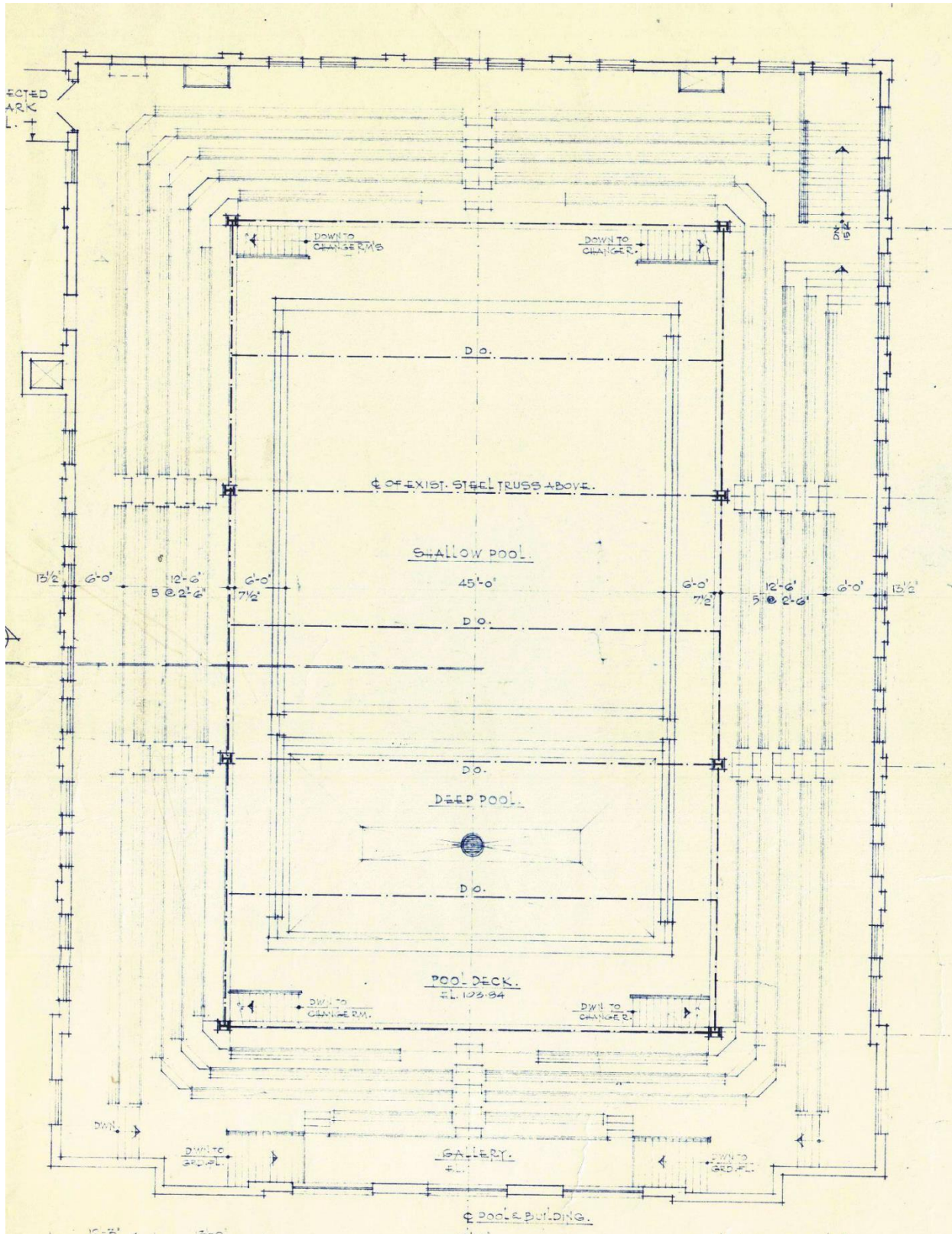


Figure 92: Pool floor showing existing conditions in 1974 (Golder 2013).

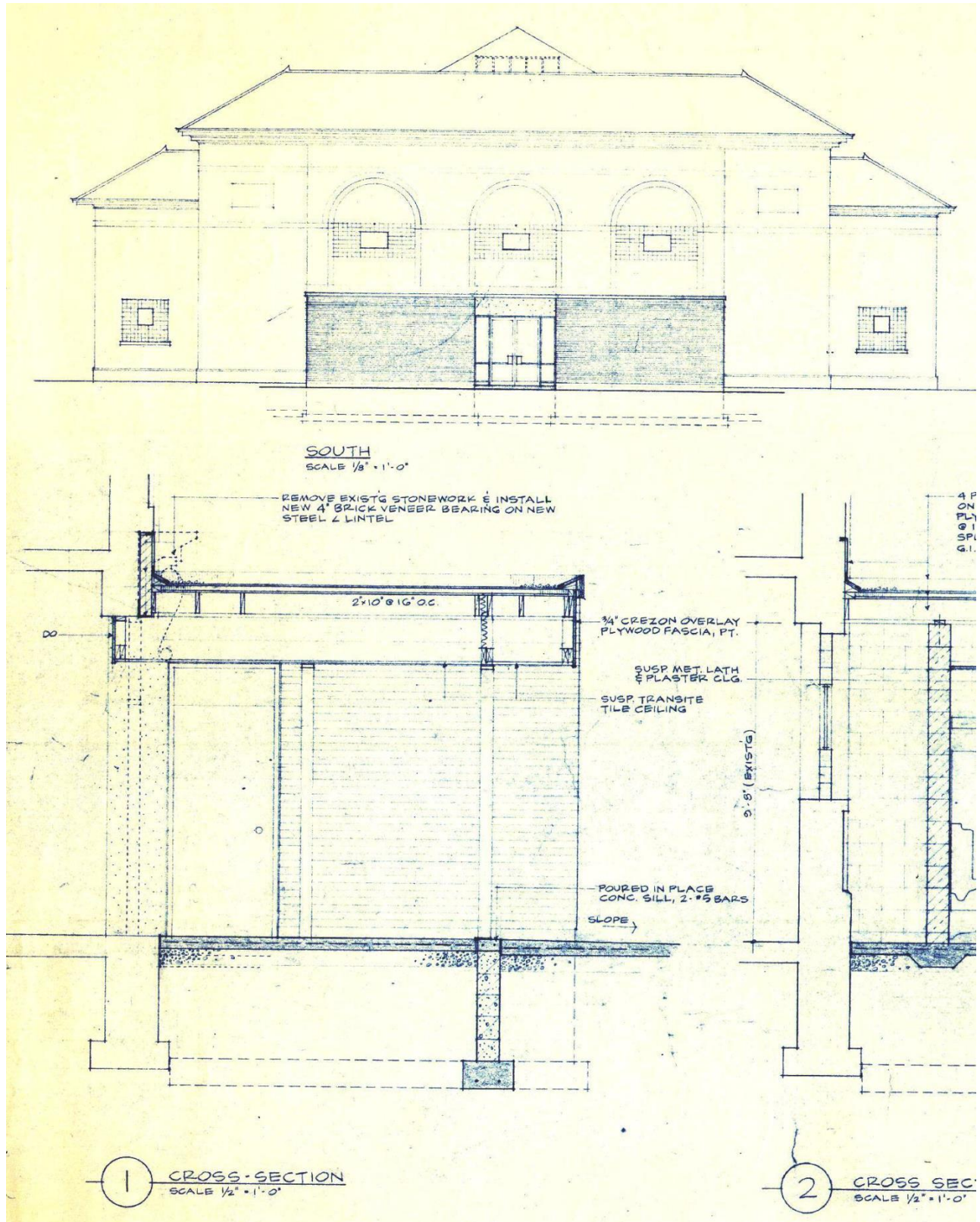


Figure 93: Front (King Street) elevation showing plan for new addition, 1974 (Golder 2013).

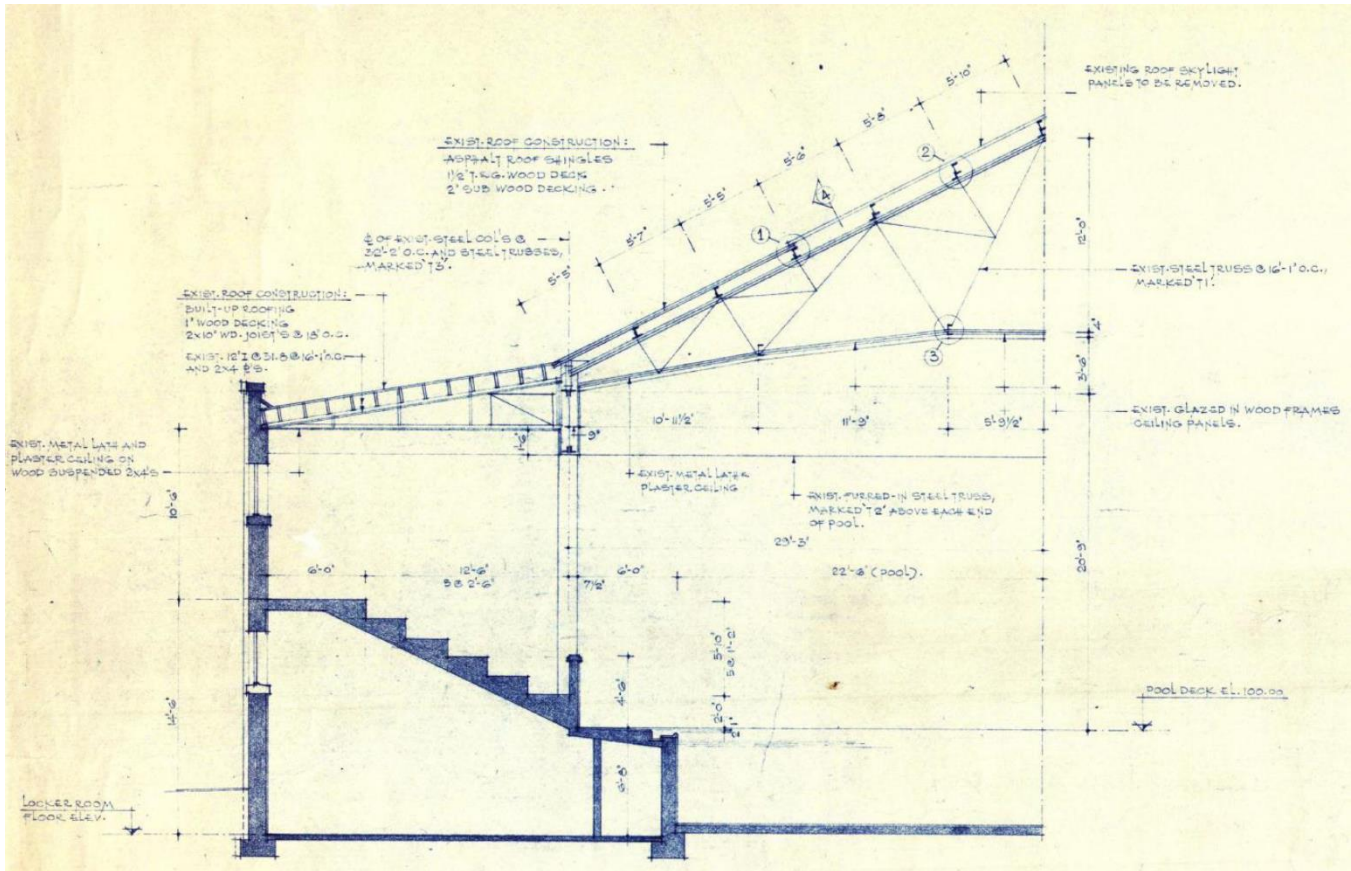


Figure 94: East/west half sectional view through centre of building showing bleachers and skylight roof truss.

6.3.2 Architectural Analysis

It is notable that an architect or engineer for the pool was not named in the promotional material for the British Empire Games, as at the time it was 'considered to be a progressive marvel of engineering and public hygiene' (Bouchier & Cruickshank 2011:325). Although controlled, indoor water facilities designed specifically for swimming (as opposed to bathing) developed under the Greeks before 500 BC, then sustained by the Romans until around the fifth century AD (Pick 2010:7-14), this technology did not re-emerge on a significant scale until the Baths and Wash Houses Act was passed in Britain in 1846, and even then their primary purpose was for bathing, not swimming. The oldest known example of a purpose-built swimming pool dates to only 76 years prior to the Jimmy Thompson Memorial Pool and was for a school in the West Yorkshire town of Halifax (Gordon & Inglis 2009). Chlorination for pools had not been refined until the first decade of twentieth century, and not regulated until the 1920s. Recirculation too was a recent invention of the early 20th century, although many pools before 1930 were 'fill and draw', requiring the water be completely changed every 12 hours or less (Olsen 2007:132).

Standardization in pool profile and dimensions was another component only adopted a few years before the Jimmy Thompson Memorial Pool was built. The 'spoon-shape' selected for its bottom was recognized as the safest and most multi-purpose of types by the late 1910s (Pick 2010:71), and its 75-foot length was the maximum pre-metric dimension for international competition. At 45-feet wide it could accommodate 9 lanes using the international standard 5-foot width, although its original construction had eight lanes at a 5-foot-6-inch width, seen

in the lines marked in black tile. It was further reduced to seven lanes —the divisions marked by single black tiles and numbering— to meet the nearly 7-foot standard established after 1950 (Ramsey & Sleeper 1994:685).

It is uncertain if the pool design also included innovation or idiosyncrasy compared to other pools of the same period. In the plans and elevations the bleachers appear similar to the pools used for the 1924 Paris games, which also has what may be sub-floor passages (Figure 95). This passage was not to provide access to the pool wall lights in the Jimmy Thompson Memorial Pool; different coloured tile around their circumference, as well as their position 'cutting' through original line marks, indicate these were added later. Skylights had long been a feature of public pools, as seen in the 1904 Bramley Baths in Leeds, and its 'kicked' hip roof supported by pillars in an outer parapet appears similar to the 1925 Crystal Gardens pool in Victoria BC (Figure 96 and Figure 97). It also shares with this latter building a red brick outer wall and contrasting detailing (Figure 98).

In overall architectural style the pool is within the Edwardian Classicism tradition and not, as reported in Golder's 2013 report, built in the Mediterranean Revival or Italian Renaissance Revival styles. While these styles were popular in the 1920s and 1930s, this was primarily across the former Spanish colonies in the southern United States and found little expression in Canada apart from scattered exceptions such as the concrete Sunnyside Bathing Pavilion in Toronto (Massey & Maxwell 229). The hip roof, red brick with contrasting string courses, as well as lesenes or pilaster strips and even the semi-circular headed windows on the principal facade all point to an Edwardian or inter-war aesthetic. The architect or engineer responsible for the design evidently took inspiration from the residential buildings surrounding Scott Park by that time, which are primarily red brick and built in the Edwardian Classicism style. Later 20th century municipal pool construction in the City was less inclined to mirror the local built environment, with some having an entirely functional exterior design.

The neo-classicism of the exterior extended to the interior, where Corinthian capitals graced the pillars surrounding the pool. This reference to the classical world may have been to link the sports facility with the Greek and Roman sporting traditions yet may have also been intended to link the British empire celebrated at the Games with the ancient Roman empire, a connection often explicitly made by imperialists in the years after the First World War to legitimize British power over its Commonwealth dominions.

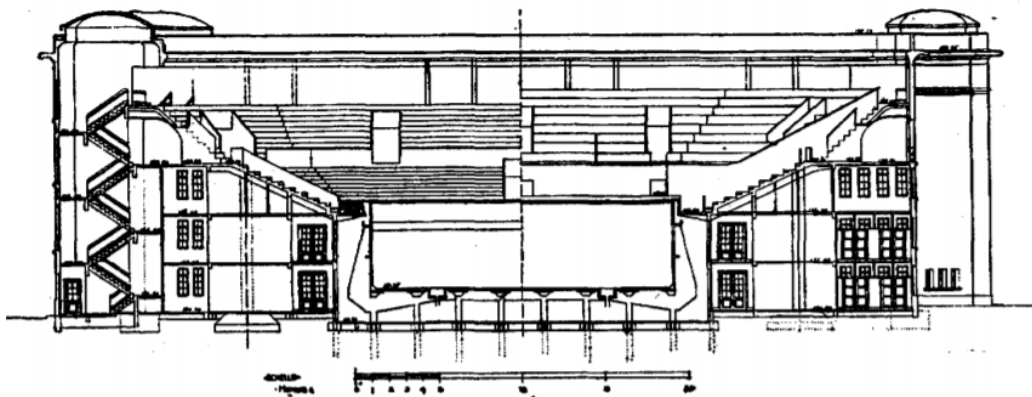


Figure 95: Section of Le stade nautique des Tourelles, France (Comité Olympique Français 1924:438).



Figure 96: Bramley Baths in Leeds (Leeds Digital Magazine Ltd. 2013).



Figure 97: Interior of the Crystal Gardens circa 1926 (McCord Museum MP-0000.158.148, <http://collections.museum-mccord.qc.ca/en/collection/artifacts/MP-0000.158.148>).



Figure 98: The Crystal Gardens today (from <http://tanglewoodconservatories.com/heritage/crystal-garden/>).

7.0 CULTURAL HERITAGE EVALUATION

The following evaluation follows the City's guidance category for built heritage and references the *Ontario Regulation 9/06 Criteria for Determining Cultural Heritage Value or Interest*.

7.1 Historical or Associative Value

7.1.1 Thematic

In relation to established heritage themes, the Jimmy Thompson Memorial Pool could be linked to the 'Modern Ontario' segment of the Political theme identified in *A Topical Organization of Ontario History*, and the 'Citizens, Engagement and Protest' and 'Built Form' themes defined in the 'A Story of Us/ A Story of Place' report submitted as part of the City's Cultural Plan. Although neither reference the British Empire Games or first municipal pool, the Cultural Plan does note the City's 'vigorous tradition of amateur sports in the 1920s and 1930s [that] has contributed to the city's identity as a place of athletic achievement'. The Jimmy Thompson Memorial Pool is directly associated with this athletic achievement, as well as a site of civic engagement through recreation, learn-to-swim programs, and spectating at swimming events.

Another significant thematic association is with the history of women's international sports. Swimming was the only sport open to women in the 1930 British Empire Games and these were held exclusively within the Jimmy Thompson Memorial Pool. For women athletes, the restricted opportunity at the British Empire Games somewhat reversed the increasingly level of involvement women had gained in Olympic competition, yet nevertheless the medals won by Joyce Cooper of England, Valerie Davis of Wales and Sarah Stewart of Scotland in Hamilton were pivotal to the development of women's sport in Britain and subsequent British Empire and later Commonwealth Games saw increasingly larger numbers of female participants and events (Williams 2014:480).

7.1.2 Event

The Jimmy Thompson Memorial Pool is directly associated with the British Empire Games between August 16 to 23rd, 1930, a 'mega-event' or large-scale international sporting event that 'aim to attract thousands of visitors and the attention of the world's media to the host city, giving this city a high international profile and favourable image during the event and hopefully name recognition afterwards' (Phillips and Bouchier 2003:390-391). This mega-event was the first ever to be hosted in a Canadian city (Phillips and Bouchier 2003:390-391).

7.1.3 Person and/or Group

The strongest direct association with a person or group significant to the community is with Jimmy Thompson, who for 33 years served as instructor and coach within the building, but who also took an active role in maintaining its physical condition. 'Mr. Swimming's' career and legacy is widely recognized and respected in the sporting community as well as the public, a high number of which learned to swim under Thompson's direction.

The genesis of the pool can also be directly associated with Bobby Robinson and his successful planning and execution of the first British Empire Games, and indirectly to Thomas B. McQueston, then chair of the Public Works Committee, and later a provincial cabinet minister.

A group with significant association with the pool is the Hamilton Aquatic Club, which has produced an impressive number of high performing athletes and won titles while representing Hamilton at the national and international level. Jimmy Thompson was a leading figure in the club, but support in subsequent years came from other recognized individuals such as Jack McCormick and Brian Bond, and athletes and club ambassadors such as Patty Thompson and Irene Macdonald.

Although there is an association with architect Reginald Edwardes McDonnell, who was recognized for his work across Canada and high-profile projects such as the Calgary Ranchmen's Club, the Pool is not mentioned as one of his key works and in some reports his role was omitted (Hill 2021a; Archeion 2012, OAA n.d.). Engineer Ernest Howard Darling appears to have had a greater influence on the pool's design, but while he was a respected member of the Canadian engineering community (*Engineering Institute of Canada* 1919), he is not considered to have a significant legacy or influence on the engineering profession at a local, provincial, or national level.

7.2 Architecture and Design

7.2.1 Architectural Merit

Architecturally the Jimmy Thompson Memorial Pool is a rare and well executed example of a competition and public indoor pool and the last surviving structure of the 1930 British Empire Games 'mega-event'. Only five other public indoor pools are listed in the national Canadian Register² with some no longer in use as pools, and the date of construction for Jimmy Thompson Memorial Pool prior to 1945 makes it relatively rare globally—in the UK there are only 117 public pools built before the end of the Second World War (Gordon & Inglis 2009).

That its exterior style has been interpreted in two contrasting ways (i.e., initially as Mediterranean then as Edwardian Classicism for this report) gives an indication of its architectural uniqueness, while its materials, decoration, fenestration, and massing give it a prominence from the street front, yet at the same time a balance with surrounding architecture. Like other classically influenced structures in the City there is a 'permanence and stability' in the building's architecture, while on the interior there is a lightness that comes from the tiling, open plan and pool, and natural light, even if this is less pronounced today than it was originally when the Corinthian capitals and the skylights were visible. In its construction is demonstrated a high level of competence to lay the di-chromatic tiling on the interior, as well as the exterior Flemish bond brick work, decorative courses and double order voussoirs of the semi-circular arched windows and the string courses and cornices. Despite its long use history, internal alterations, and the front lobby added between 1974 and 1975, the architectural merit of the pool remains high.

7.2.2 Functional Merit

The functional merit of the Jimmy Thompson Memorial Pool is high considering its age and the infancy of pool technology when it was constructed. Its 75-foot length and spoon-shape basin anticipated internal competition and safety standards still in use today, while its surrounding access passageways have allowed it to be modified for lighting and heating conversion from coal. As a facility to learn swimming it exceeded the conditions of the contemporary YMCA pool (Figure 8) as it afforded more natural light, larger changing rooms, and could accommodate beginner to advanced level instruction. For competition it could accommodate the projected number of spectators for the British Empire Games but was not oversize as a local competition venue in subsequent years.

7.2.3 Designer

The pool's design was shared between architect Reginald Edwardes, engineer Ernest Howard Darling, and possibly electrical designers Cockburn & Son, with Darling assuming what appears to be the leading role. As mentioned above, Darling was a respected engineer but not considered influential, and the pool was not representative nor showcase the high level of talent that architect Reginald Edwardes McDonnell applied to other

² YMCA Building (Winnipeg) (built 1911-13); Crystal Gardens (1925); Sherbrooke Pool (1930) the Beatty Pool (1930), Swimming Pool RR22A (1959).

commissions such the Calgary Ranchman's Club. No biographical information could be found on Cockburn & Son.

7.3 Integrity

7.3.1 Location Integrity & Built Integrity

The tabular approach used below to judge heritage integrity (Table 1) combines the advice under 'Location integrity' and 'Built integrity' in the City's *Framework for Cultural Heritage Evaluation* with Kalman's *The Evaluation of Historic Buildings* (1979), and a method for determining levels of change in conservation areas proposed in a report commissioned by Historic England in 2004 (The Conservation Studio 2004). A rating on the survival of original machinery—an important consideration for industrial site integrity—has also been added. Although the scoring for each element is inherently qualitative, when tabulated as a whole the heritage integrity of a structure can be determined more quantitatively.

Table 1: Location & Built Integrity Assessment for the Jimmy Thompson Memorial Pool.

Element	Original Material / Type	Alteration	Survival (%)	Rating	Comment
Site Location	1099 King Street East	No change	100	Very Good	Original site
Footprint	Rectangular plan	The front lobby was added in 1974/75 and it is now connected to the Bernie Morelli Seniors Centre on the north	80	Very Good	The lobby is relatively compatible in materials and form, and the connection to the Seniors Centre has taken a minimal intervention approach
Exterior Walls	Brick	No change	100	Very Good	No further comment
Doors	Unknown, possibly wood	All replaced	0	Poor	All original doors were replaced, possibly during the 1974/75 addition.
Windows	Unknown	Many windows have been altered or made partially blind	55	Good	The rating reflects the removal of window framing and glazing, but also the survival of exterior window features and that no new window openings have been cut through in the original fabric.
Roof	Metal truss and glass; timber-	The skylights and red tiles removed	70	Good	The original roof form and trusses are intact, but the

Element	Original Material / Type	Alteration	Survival (%)	Rating	Comment
	framed and red tiles				skylights have been removed
Chimney	Brick	No Change	100	Very Good	The large brick chimney from the furnace room is still present on the west side of the structure.
Water Systems	Unknown	No new gutters or rainwater leaders	100	Very good	No potentially visually incompatible water systems have been added
Exterior Decoration	Cornice, string courses, keystones, double order voussoirs and decorative brick within windows	Portion of main façade obscured by addition, otherwise intact.	90	Very Good	The level of surviving architectural decoration is very good even though the decoration as designed was minimal.
Porches, Verandahs, or additions	None	None added except for lobby (see 'Footprint' above).	100	Very Good	Rating reflects that there were no porches or similar additions on the structure originally, to have been removed.
Interior Plan	Pool in centre with rooms and bleachers oriented around it	No significant alterations to interior room divisions	90	Very Good	Aside from some reconfiguration of existing rooms, there has been no significant alteration to the interior floor plan.
Interior Walls	Plastered	CMU exposed in some places	90	Very good	There have been no significant changes to the interior walls.
Interior trim	Columns with Corinthian capitals; tilework	Capitals removed and some changes to tilework	50	Fair	All Corinthian capitals have been removed.
Interior features	Access stairs and bleachers	Lights added to pool walls, enclosed officials' room	80	Very good	The bleachers and majority of the stairs have been retained, and some pool

Element	Original Material / Type	Alteration	Survival (%)	Rating	Comment
(e.g., hearth, stairs, etc.)					lights have been replaced over time.
Landscape	Open ground to north and west.	New construction on north and west since 2000	65	Fair	The landscape to the south and east remains consistent to the original landscape but to the north and west, the landscape has been altered recently through new construction.
AVERAGE OF RATE OF CHANGE / HERITAGE INTEGRITY			78%	Very Good	Rating of Very Good is based on original element survival of between 75-100%

7.4 Environmental Context

7.4.1 Landmark

Its two-storey height and unusual massing and architectural style, combined with its siting on an intersection, minimal setback, and orientation facing drivers as they travel along a one-way street, makes the Jimmy Thompson Memorial Pool a visually conspicuous local landmark. Views of the building are only partially obscured by mature trees.

7.4.2 Character

In its lack of stark contrast to surrounding buildings the Jimmy Thompson Memorial Pool contributes to the local architectural character. Its two-storey height transitions the elevation between the three to four storey buildings on the south side of King Street East with the two-storey housing on Balsam Avenue North (all of which are visible in view planes facing west on King Street East, due to the open space on the northeast corner of Balsam Avenue North and King Street East). The Pool is also constructed of comparable textured red brick as surrounding buildings, and its string courses, hip roof, and other Edwardian Classicism decoration and composition mirrors or complements the style of the nearby single-detached residential and apartment block structures.

7.4.3 Setting

As the last remaining structure of British Empire Games, the integrity of the setting has obviously been diminished, although the Pool was not oriented to face the other venue structures to the north, and in addition to the continued recreation and sport land use to the north, many of the surrounding buildings either predate or are approximately contemporaneous with the Pool. In keeping with its function as a municipal pool, it is still centred within residential neighbourhoods, and yet visually prominent on the east-west artery of King Street East.

7.5 Social Value

7.5.1 Public Perception

Quantifying the symbolic importance of the Jimmy Thompson Memorial Pool through interviews or questionnaire survey was beyond the scope of this assessment, but it can be inferred that the building has a high level of social importance, possibly for residents across the City. This is reflected in the memories and sentiments recorded in the City's newspapers about Jimmy Thompson and learning to swim (eg. Wilson 2010) as well as the strong opposition to plans to demolish the building. These suggest that the public perception of the Jimmy Thompson Memorial Pool is as a valued local community asset and one with historical importance for the City as a whole.

7.6 Ontario Regulation 9/06 Evaluation

For the reasons stated above, 1099 King Street East meets criteria of *O.Reg 9/06*:

1) The property has **design or physical value** because it:

Criteria	Evaluation
<i>Is a rare, unique, representative or early example of a style, type, expression, material or construction method.</i>	Meets criterion. See Section 7.2.1.
<i>Displays a high degree of craftsmanship or artistic merit.</i>	Meets criterion. See Section 7.2.1.
<i>Demonstrates a high degree of technical or scientific achievement.</i>	Meets criterion. See Section 7.2.2.

2) The property has **historic value or associative value** because it:

Criteria	Evaluation
<i>Has direct associations with a theme, event, belief, person, activity, organization, or institution that is significant to a community.</i>	Meets criterion. See Section 7.1.
<i>Yields, or has the potential to yield information that contributes to an understanding of a community or culture.</i>	Does not meet criterion.
<i>Demonstrates or reflects the work or ideas of an architect, artist, builder, designer, or theorist who is significant to a community</i>	Does not meet criterion.

3) The property has **contextual value** because it:

Criteria	Evaluation
<i>Is important in defining, maintaining or supporting the character of an area.</i>	Meets criterion. See Sections 7.4.2 and 7.4.3.
<i>Is physically, functionally, visually or historically linked to its surroundings.</i>	Meets criterion. See Section 7.4.3.
<i>Is a landmark.</i>	Meets criterion. See Section 7.4.1

8.0 CULTURAL HERITAGE VALUE: CONCLUSIONS AND RECOMMENDATIONS

8.1 Recommendation

This cultural heritage assessment of the Jimmy Thompson Memorial Pool (1099 King Street East) concludes that the property is of cultural heritage value or interest since it meets all eleven of the City's heritage evaluation criteria for built heritage, and seven of nine criteria of *Ontario Regulation 9/06*.

Golder therefore recommends that:

- ***The Jimmy Thompson Memorial Pool (1099 King Street East) be designated under Part IV of the Ontario Heritage Act.***

To articulate the cultural heritage value of the property, a revised Statement of Cultural Heritage Value or Interest (CHVI) is proposed below:

8.1.1 Statement of CHVI

Since 1099 King Street East was determined to be of cultural heritage value or interest, Golder have prepared a draft Statement of Cultural Heritage Value or Interest:

8.1.1.1 Description of Property – 1099 King Street East

The Jimmy Thompson Memorial Pool at 1099 King Street East is situated on a 0.16 ha lot at the southwest corner of the intersection of King Street East and Balsam Avenue North in Ward 3 of the City of Hamilton.

8.1.1.2 Statement of Cultural Heritage Value or Interest

Conceived as a municipal pool in 1928, the Jimmy Thompson Memorial Pool opened in January 1930 and later that year served as the swimming events venue for the inaugural British Empire Games, later Commonwealth Games. After the Games it reverted to use as a municipal pool and home to the Hamilton Aquatic Club, and in 1971 was named for Jimmy Thompson, a former Olympic athlete and swimming coach and instructor.

The Jimmy Thompson Memorial Pool is of cultural heritage value as a rare example of a pre-1950 indoor pool, and one built to a high degree of craftsmanship and incorporating the latest engineering, safety, and international competition standards of its time. It is associated with, and the last surviving structure of, the 1930 British Empire Games, and the swimming events of those games, which additionally were the only ones open to female competitors. It is also associated with James 'Jimmy' Thompson who from 1932 to 1965 is estimated to have taught 60,000 children to swim at the pool and coached many individuals and teams to regional, national, and international titles.

Through its siting, massing, and orientation the Pool is a visual landmark, but its contextual value also extends to its Edwardian Classicism style and construction in textured red brick, which contributes to the local architectural character. It is also physically and historically linked to use of the area to the north for recreation and sport, a land use that continues today.

8.1.1.3 Description of Heritage Attributes

The key attributes that express the design value or physical value of the Jimmy Thompson Memorial Pool include its:

- Five-bay, two-storey south facade built in the Edwardian Classicism style with:

- Semi-circular headed windows with two orders of gauged brick voussoirs and keystone, and filled with decorative brick;
- Flemish bond masonry combined with stone string courses and strong cornice;
- 'Kicked' hip roof with skylights;
- Tall brick chimney on the west facade;
- Interior features including:
 - Roof trusses;
 - Spoon-shaped basin with di-chromatic tiling;
 - Tiled pool barrier wall;
 - Sub-floor access passages;
 - Ascending concrete bleachers;
 - Tiled changing rooms; and,
 - Iron coal furnace door;

Attributes that reflect the property's contextual attributes include its

- Continued use for a municipal pool and as part of a larger recreation and sport land use area;
- Orientation to the street with minimal setback; and,
- Landmark qualities from its siting and clear sightlines on King Street East.

9.0 SUMMARY STATEMENT AND RECOMMENDATIONS

Following guidelines provided in the City's *A Framework for Evaluating the Cultural Heritage Value or Interest of Property for Designation under Part IV of the Ontario Heritage Act* (2016) and the *City of Hamilton Cultural Heritage Assessment Report Outline* (n.d.), this Cultural Heritage Assessment of the Jimmy Thompson Memorial Pool has investigated the property's geographic and historical context, and has inventoried its landscape and built features and determined the structural sequence, construction and architectural style of built features on the property. From this information, the property's cultural heritage value based on criteria developed by the City and those prescribed under *Ontario Regulation 9/06* was evaluated, and concludes that:

Golder's cultural heritage assessment concluded that:

- ***The Jimmy Thompson Memorial Pool (1099 King Street East) is of cultural heritage value or interest and should be designated under Part IV of the Ontario Heritage Act.***

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Signature Page

Golder Associates Ltd.



Ragavan Nithiyantham, MA, CAHP
Cultural Heritage Specialist/ Archaeologist



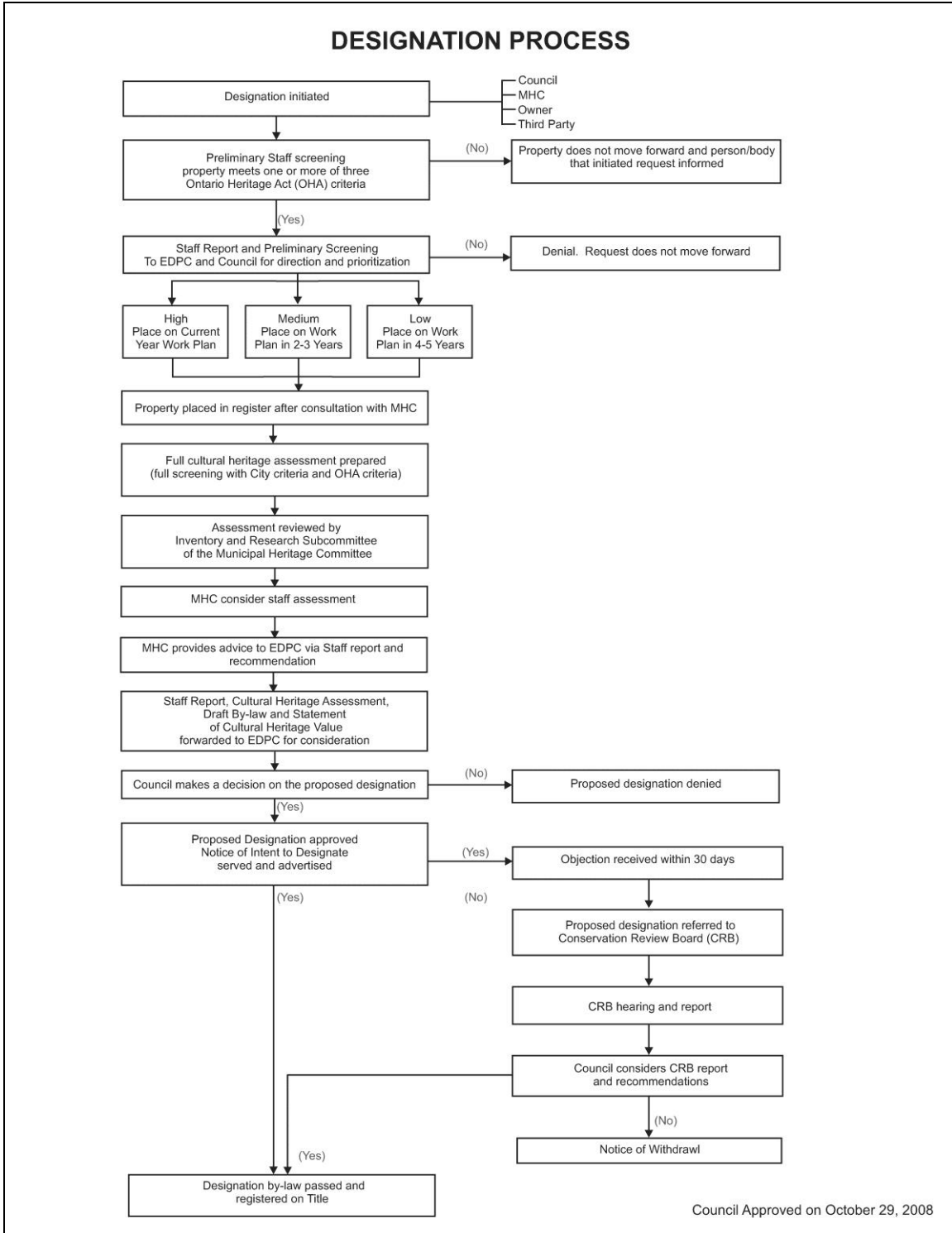
Henry Cary, PhD, CAHP, RPA
Senior Cultural Heritage Specialist/ Senior Archaeologist

RN/HC/ly

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Recommendation to Designate 1099 King Street East, Hamilton (Jimmy Thompson Memorial Pool) Under Part IV of the *Ontario Heritage Act* PED21211 (Ward 3)

Hamilton Municipal Heritage Committee

October 29, 2021

Aerial Image



Front / South Elevation



3

Background

- Staff received a third-party request for designation in September 2013
- In December 2013 the subject property was added to the Municipal Heritage Register and added to the work plan for designation
- In May 2018 the City retained Golder Associates Ltd to complete a Cultural Heritage Impact Assessment, which was revised and finalized in May 2021
- The Cultural Heritage Assessment recommended the property's designation under Part IV of the *Ontario Heritage Act*

Historical Background

- Opened in 1930 to serve for the inaugural British Empire Games, later the Commonwealth Games
- Home to the Hamilton Aquatic Club
- Named for Jimmy Thompson, a former Olympic athlete, swimming coach and instructor.



Photograph of the pool published in the December 14, 1929 Hamilton Spectator

Historical Background



Front façade of the pool, presumed while the building was still under construction since there is a board leaning against the wall that names the J. Earle Smith Construction Company and E.H. Darling.

Architect: Reginald Edwardes McDonnell
Engineer: Ernest Howard Darling

James (Jimmy) Gilmore Thompson,
1906-1966

- 1928 Amsterdam Olympics
- Gold with relay team at British Empire Games in 1930 at pool that now bears his name
- Coach of Hamilton Aquatic Club
- Coach for 33 years
- Teaching est. 60,000 children to swim
- 'Mr. Swimming'
- 1959 Thompson was named Hamilton's Citizen of the Year

Historical Background



Relevant Consultation

- The recommendation to add the property to the Register and the designation work plan was supported by the **Hamilton Municipal Heritage Committee** at their December 19, 2013 meeting
- The **Inventory and Research Working Group** of the Hamilton Municipal Heritage Committee reviewed and commented on the Cultural Heritage Assessment at their October 28 and November 25, 2019 meetings
- The **Ward 3 Councillor** has been informed of the recommendation to designate the subject property
- Note: The ***Ontario Heritage Act (OHA)*** requires that Council consult with its Municipal Heritage Committee respecting designation of property under Section 29 of the OHA

Cultural Heritage Evaluation for Heritage Designation

The property was found meet seven of the nine criteria contained in Ontario Regulation 9/06 in all three categories.

Design / Physical Value:

- The property is a rare and well executed example of a pre-1950 competition and public indoor pool and a unique example of Edwardian Classicism, demonstrates a high degree of artistic merit and technical achievement

Historical / Associative Value:

- The property has direct associations with the British Empire Games and Jimmy Thompson

Contextual Value:

- The property is important for contributing to the local architectural character, being the last remaining structure of the British Empire Games, and as a landmark

Heritage Attributes

Five-bay, two-storey south facade built in the Edwardian Classicism style with:



Semi-circular headed windows with two orders of gauged brick voussoirs and keystone, and filled with decorative brick

Flemish bond masonry combined with stone string courses and strong cornice

'Kicked' hip roof with skylights



Tall brick chimney on the west facade

Heritage Attributes

Interior features including:



Roof trusses



Spoon-shaped basin with di-chromatic tiling

Tiled pool barrier wall

Ascending concrete bleachers



Tiled changing rooms

Iron coal furnace door



Heritage Attributes

Attributes that reflect the property's contextual attributes include its:



Continued use for a municipal pool and as part of a larger recreation and sport land use area

Orientation to the street with minimal setback

Landmark qualities from its siting and clear sightlines on King Street East

Recommendation to Designate 1099 King Street East, (Jimmy Thompson Memorial Pool) Under Part IV of the *Ontario Heritage Act* PED21211 (Ward 3)

Conclusion:

- The subject property meets seven of nine criteria for designation under Ontario Regulation 9/06
- As such, staff recommend the subject property be designated under Part IV of the *Ontario Heritage Act*
- With respect to the potential changes to the building, any proposal to affecting the heritage attributes will be subject to the approval of a Heritage Permit and any other required applications

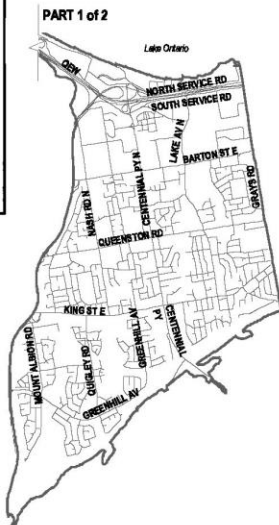
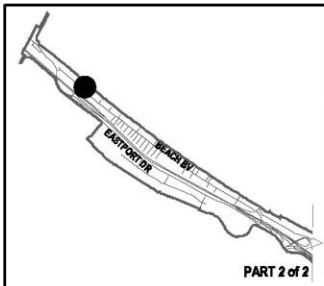


Hamilton

THANK YOU



● Site Location



Key Map - Ward 5

Location Map



Hamilton

PLANNING AND ECONOMIC DEVELOPMENT DEPARTMENT

File Name/Number:
HP2021-044

Date:
September 23, 2021

Appendix "A"

Scale:
N.T.S

Planner/Technician:
SK/VJS

Subject Property

 983 Beach Boulevard

The Corporation of the City of Hamilton

BY-LAW NO. 00- 135

To Designate:

**AS A HERITAGE CONSERVATION DISTRICT
THE AREA OF THE HAMILTON BEACH NEIGHBOURHOOD
COMPRISED OF 869 TO 1019 BEACH BOULEVARD (LAKE SIDE)
AND 870 TO 1064 BEACH BOULEVARD (BAY SIDE)
EXCLUDING 913 BEACH BOULEVARD; INCLUDING 2 FOURTH AVENUE**

WHEREAS subsections 1 and 3 of section 41 of the Ontario Heritage Act, R.S.O. 1990, Chapter O.18, provides as follows:

41. (1) Subject to subsection (2), where there is in effect in a municipality an official plan that contains provisions relating to the establishment of heritage conservation districts, the council of the municipality may by by-law designate the municipality or any defined area or areas thereof as a heritage conservation district.

(3) A by-law passed under subsection (1) does not come into force without the approval of the Board.

AND WHEREAS the Official Plan of the City of Hamilton contains provisions relating to the establishment of heritage conservation districts;

AND WHEREAS it is intended to designate the area defined by the said by-law.

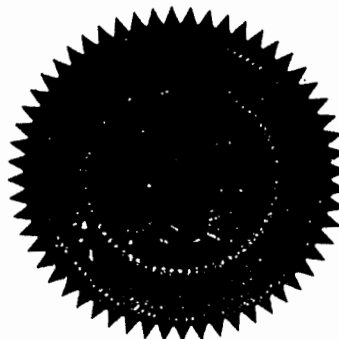
NOW THEREFORE the Council of The Corporation of the City of Hamilton enacts as follows:

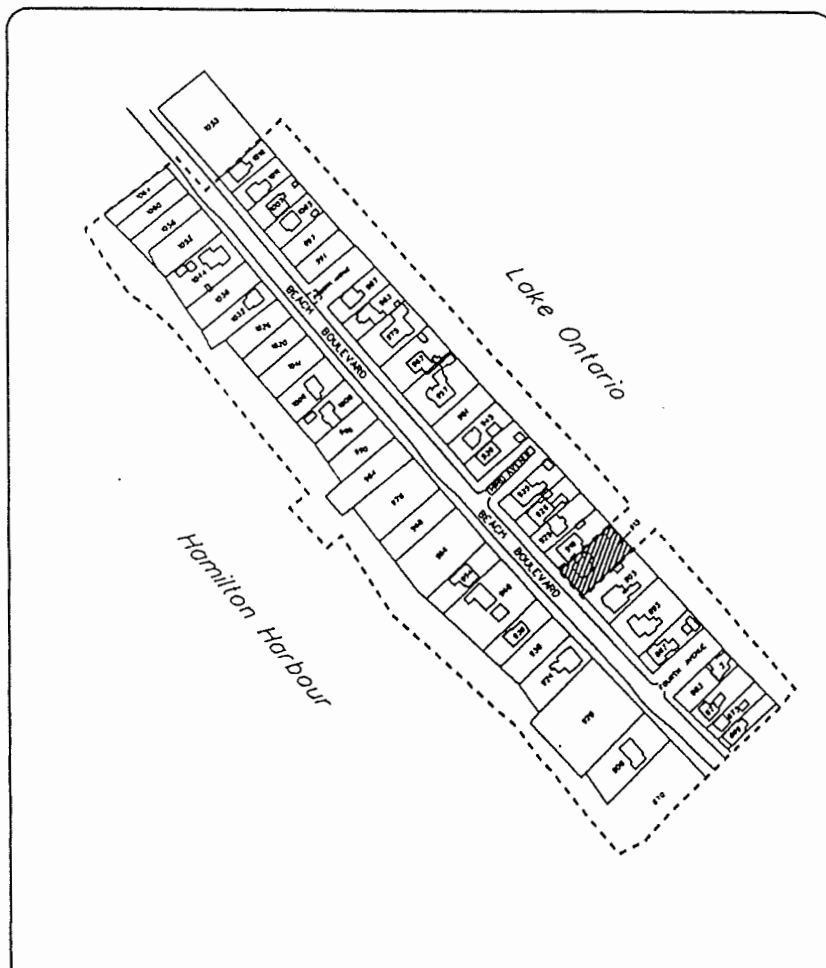
1. The area more particularly shown on Schedule "A" hereto annexed and forming part of this by-law, is hereby designated as a Heritage Conservation District.
2. This by-law shall come into force upon approval of the Ontario Municipal Board.

PASSED this 9th day of August A.D. 2000

ACTING MUNICIPAL CLERK

MAYOR





This is Schedule "A" to By-Law No. 00 _____
 Passed the _____ day of _____, 00.

[Signature]
 Clerk

[Signature]
 Mayor

City of Hamilton

Schedule "A"

Map Forming Part of
 By-Law No. 00-____

Community Planning and Development Division

Legend

- Lands Subject to Heritage Conservation District Boundary By-Law No. _____
- Designated under Part IV, Ontario Heritage Act (exempt from By-Law No. _____)

North 	Scale NOT TO SCALE	Reference File No. HCD-HB
	Date July, 2000	Drawn By J.S.

Hamann Engineering
Structural Consultants Ltd.

44 Caronridge Crescent, Toronto, Ontario, M1W 1L2
Tel: (416) 391-1676
Email: hamannengineering@outlook.com

June 14 2021

Chris Farner
147 Beach Blvd.
Hamilton,
Ontario L8H 6V8

Re: 983 Beach Blvd., Hamilton
Our Project No. 21041

To whom it may concern:

We visited the above site June 2nd 2021 and met with Mr. Chris Farner. The purpose of our visit was to perform a visual inspection of the condition of the foundations in order to determine to what extent to the structural capacity has been compromised.

Our conclusion is that the foundations are severely compromised by the original type of construction and by weathering and decay over the life span of the building. We recommend the building be demolished, as explained in the body of our report.

EXISTING HOUSE

The existing house was built as a beach front cottage, approximately 75 years ago. The house consisted of a three room bungalow with what may have been an accessible attic. At some point in the history of the building a rear addition and garage were added. See attached front elevation photo.

The floor framing consists of timber joists supported on timber beams. See attached photo 4448. Foundations consisted of timber posts or log sections sitting unimbedded on the insitu beach sand subsoil. See attached photo 4454. There were no exterior foundation walls.

This type of construction is consistent with unheated seasonal summer cottages, built without engineering or compliance with the Ontario Building Code of the day. The nature of the construction is prone to moisture deterioration and decay. This is exacerbated in this house as the front grade has been raised over time, leaving the floor framing buried. See attached photos 4468 & 4469.

The rear addition and garage had been demolished at the time of our visit.

STRUCTURAL CONDITIONS

Due to collapsing of the original timber post foundations over time, loose laid block masonry piers have been added to shore the floor framing and exterior walls. See attached photos 4447 & 4452.

The piers have been arbitrarily jammed below the framing sitting directly on the insitu beach sand. This has left the framing twisted and out of alignment.

Beams have been left without support entirely, as shown in photo 4448.

Joists and beams consist entirely of 2x6 material, and are undersized for the spans as built.

STRUCTURAL REPAIR

The clearance between the floor framing and the grade varies from approximately 20" at the rear to zero at the front.

Repair to meet the Ontario Building code would require permanent frost free foundations to replace the existing adhoc supports.

Ground floor framing would have to be replaced to meet structural capacity requirements as well as removal of moisture damaged timber.

Wall studs in the front half of the house founded below grade are presumed to be moisture rotted due to contact with the soil, and would have to be replaced.

Hamann Engineering
Structural Consultants Ltd.

44 Caronridge Crescent, Toronto, Ontario, M1W 1L2
Tel: (416) 391-1676
Email: hamannengineering@outlook.com

STRUCTURAL REPAIR cont'd

Lifting of the building would be required to conduct the repairs described above, and we consider this to be extremely difficult, if not impossible due the random and disconnected layout of beams and joists.

CONCLUSIONS

It is our opinion there is no merit in terms of cost or quality in restoration/preservation of the existing building. The architecture is very plain and simple and can be reproduced in new construction without loss of character. It is our opinion that even without cost considerations, the building foundation is not repairable without demolition of the above grade structure. We therefor recommend replacement and not rehabilitation for this house.

We trust the above is satisfactory.

Yours truly

**HAMANN ENGINEERING
STRUCTURAL CONSULTANTS LTD.**



S.D. Hamann, P.Eng.
Attach.





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PHOTO 4448



PHOTO 4454

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PHOTO 4468



PHOTO 4469



PHOTO 4447



PHOTO 4452



983 BEACH BLVD

ISSUED FOR HERITAGE REVISION MEETING

PROJECT ADDRESS: 983 BEACH BLVD, HAMILTON, ONTARIO
PROJECT TYPE: ADDITION TO EXISTING HOUSE
STORIES ABOVE GROUND: 2 + UTILITY SPACE ABOVE MIN. GROUND LEVEL

PROJECT TEAM:
WAYBACK ARCHITECTS
 647A BLOOR STREET WEST
 TORONTO, ONTARIO
 M6G 1L1
 CONTACT: STEPHEN VAN DER MEER
 (647) 215-6081

SHEET LIST

A0.01	COVER
A0.03	ASSEMBLIES
A0.04	LOCATION MAP
A1.01	UTILITY SPACE ABOVE MIN. GROUND WATER LEVEL
A1.02	LEVEL 01 EXISTING
A1.03	DEMOLITION LEVEL 01
A1.04	LEVEL 01
A2.01	ELEVATION
A2.02	ELEVATION
A2.05	ELEVATIONS
R6	UPDATED RENDERINGS
R7	UPDATED RENDERINGS

TYPICAL PROJECT NOTES:

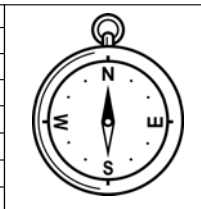
- 1) NO WORK TO ENCRANCH ONTO ADJOINING PROPERTIES ABOVE OR BELOW GRADE, INCLUDING EAVES, OVERHANGS AND FOOTINGS
- 2) CONTRACTOR TO VERIFY WALLS TO BE REMOVED AS NON-LOADBEARING PRIOR TO REMOVALS, OTHERWISE SEEK APPROVAL OF STRUCTURAL ENGINEER
- 3) THERMALLY INSULATED WALL, CEILING AND FLOOR ASSEMBLIES SHALL BE CONSTRUCTED WITH A CONTINUOUS AIR AND VAPOUR BARRIER SYSTEM AS PER OBC 9.25.3 AND 9.25.4
- 4) PROVIDE ALL BRACING, SHORTING AND NEEDING NECESSARY FOR THE SAFE EXECUTION OF WORK
- 5) CONTRACTOR TO VERIFY REINFORCE EXISTING STRUCTURAL SYSTEM, INCLUDING FOUNDATIONS, FOR LOADS IMPOSED BY THE PROPOSED CONSTRUCTION
- 6) STRUCTURAL INTEGRITY: MEMBERS SHALL BE FRAMED, FASTENED, TIED, BRACES & ANCHORED TO PROVIDE THE NECESSARY STRENGTH, RIGIDITY & STABILITY REQUIRED
- 7) INSTALL SMOKE & CARBON MONOXIDE DETECTORS TO CONFORM TO OBC 3.10.13 & 3.33.4
- 8) CONTRACTOR TO INSTALL PRODUCTS AND MATERIALS PER MANUFACTURERS RECOMMENDATIONS, PROVIDE CUTSHEETS FOR REVIEW PRIOR TO INSTALLATION

WAYBACK Architects 647A Bloor Street West
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21.07.21	CITY OF HAMILTON SITE WORKS PERM. REV. APP.	21.08.24	CITY OF HAMILTON SITE WORKS PERM. REV. APP.
21.08.18	CITY OF HAMILTON SITE WORKS PERM. REV. APP.	21.08.18	CITY OF HAMILTON SITE WORKS PERM. REV. APP.
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21.02.24	FOUNDATION - FINISHED DRAWING	21.08.24	CITY OF HAMILTON SITE WORKS PERM. REV. APP.
21.08.18	CITY OF HAMILTON SITE WORKS PERM. REV. APP.	21.08.18	CITY OF HAMILTON SITE WORKS PERM. REV. APP.
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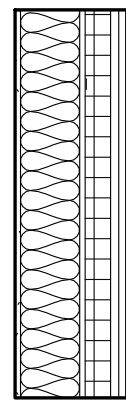


Project Name
 983 BEACH BLVD
 Client
 NICOLE + GERRY
 Project No.
 1582
 Drawn by
 SYDM

COVER A0.01

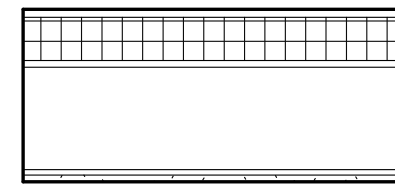
NOTE:

WALL ASSEMBLIES LISTED
EXTERIOR TO INTERIOR



W1 - NEW ASSEMBLY - SHOU SUGI BAN VERTICAL SIDING R27

- 3/4" (1x6) SHOU SUGI BAN TREATED WESTERN HEMLOCK CLADDING VERTICAL
- 3/4" (1X2) SHOU SUGI BAN TREATED WESTERN HEMLOCK STRAPPING VERTICAL (REVERSE BOARD + BATTEN)
- 1" AIR SPACE C/W HORIZONTAL STRAPPING
- 1 1/4" ROCKWOOL INSULATION (R5)
- AIR / WEATHER BARRIER - DELTA VENT SA SEMI - PERM AIR / WEATHER BARRIER C/W DELTA MULTIBAND 60 TAPE
- 1/2" PLYWOOD
- 2X6 WD FRAMING C/W SEMI-RIGID INSULATION (R22)
- VAPOUR BARRIER
- 1/2" GYPSUM BOARD



W1B - NEW ASSEMBLY TO MATCH EXISTING - HORIZONTAL WHITE SIDING R27

- 3/4" (1X6) PNTD SPRUCE STEP BEVEL CLADDING HORIZONTAL
- 1 3/4" PT WD STRAPPING VERTICAL TO SIT FLUSH W/ W1 C/W 1" AIR SPACE
- 1 1/4" ROCKBOARD INSULATION C/W HORIZONTAL STRAPPING (R5)
- AIR / WEATHER BARRIER - DELTA VENT SA SEMI - PERM AIR / WEATHER BARRIER C/W DELTA MULTIBAND 60 TAPE
- 1/2" PLYWOOD
- 2X6 WD FRAMING C/W SEMI-RIGID INSULATION (R22)
- VAPOUR BARRIER
- 1/2" GYPSUM BOARD



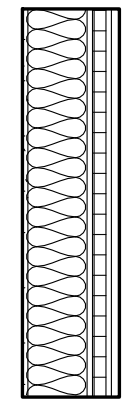
W3A - REPLACEMENT WALL @ PEAK ROOF COTTAGE

- 3/4" (1X6) PNTD SPRUCE STEP BEVEL CLADDING HORIZONTAL
- 1-3/4" PT WD STRAPPING VERTICAL
- 1-1/4" EXT. SEMI-RIGID INSULATION
- AIR / WEATHER BARRIER - DELTA VENT SA SEMI - PERM AIR / WEATHER BARRIER C/W DELTA MULTIBAND 60 TAPE
- 1/2" PLYWOOD
- NEW 2X6 WD FRAMING C/W SEMI-RIGID INSULATION (R22)
- VAPOUR BARRIER
- 1/2" GYPSUM BOARD

W3 - ALTERNATE

SUBSTITUTE CLADDING @ BASE OF WALL
STIQUIK CEMENT BOARD FINISH SYSTEM C/W
PEBBLE DASH FINISH

- CEMENT BOARD
- DRAINAGE MAT
- MOISTURE BARRIER



WALL CLOSER THAN 1200mm TO PROPERTY LINE SUBSTITUTE EXTERIOR CLADDING ASSEMBLY FOR NON COMBUSTIBLE ELEMENTS:

- 3/4" PNTD CEMENT BOARD CLADDING TO MATCH ADJACENT WOOD
- METAL GIRTS
- 1/2" EXTERIOR GYPSUM BOARD SUBSTRATE

F1 - NEW ASSEMBLY R5 - SEE F3 FOR INTERIOR INSULATION

- MATCH CLADDING SYSTEM TO ADJACENT W1 OR W1B CLADDING
- 1 1/4" ROCKWOOL INSULATION / TRANSITIONING TO 1" RIGID INSULATION WITHIN 6" OF GRADE (R5) PARGING WHERE EXPOSED
- WATERPROOFING MEMBRANE TO THE TOP OF THE CONCRETE STRUCTURE
- CONCRETE STRUCTURE



R1 - NEW ASSEMBLY R45

- SBS TORCH APPLIED ROOFING MEMBRANE
- 3/4" PLYWOOD OR PROTECTION BOARD
- 4" RIGID INSULATION (R20)
- 5/8" PLYWOOD
- STRUCTURAL FRAMING - SEE STRUCTURAL
- 5" 2LB SPRAY FOAM INSULATION (ALSO ACTS AS VAPOUR BARRIER) (R25)
- 1/2" STRAPPING
- 5/8" GYPSUM BOARD @ INTERIOR
- 1/2" EXTERIOR GYPSUM BOARD W/ 2 STEP STUCCO FINISH @ EXTERIOR

R2 - RETROFIT + NEW ASSEMBLY R31

- ASPHALT SHINGLES
- ICE + WATER SHIELD OR EQUIVALENT
- 5/8" PLYWOOD
- STRUCTURAL FRAMING - EXISTING + NEW SEE STRUCTURAL
- 6" 2LB SPRAY FOAM INSULATION (ALSO ACTS AS VAPOUR BARRIER) (R31)
- 1/2" STRAPPING
- 5/8" GYPSUM BOARD

R2B - ALTERNATIVE ASSEMBLY (VENTED) R31

- ASPHALT SHINGLES
- ICE + WATER SHIELD OR EQUIVALENT
- 5/8" PLYWOOD
- 1" PT WOOD STRAPPING C/W DELTA-VENT SA SEMI-PERM MEMBRANE
- 5/8" PLYWOOD
- STRUCTURAL FRAMING - EXISTING + NEW SEE STRUCTURAL
- 6" 2LB SPRAY FOAM INSULATION (ALSO ACTS AS VAPOUR BARRIER) (R31)
- 1/2" STRAPPING
- 5/8" GYPSUM BOARD

FL5 - NEW ASSEMBLY

- 5/4 KEBONY DECK BOARDS
- 2X8 PT LUMBER REVERSE PROFILED

FL4 - NEW ASSEMBLY R31

- SBS TORCH APPLIED MEMBRANE
- 1/2" SLOPED PLYWOOD
- SLOPE PROFILED 2X4
- 3/4" PLWOOD
- 9.5 TJI JOISTS - SEE STRUCTURAL
- C/W 6" 2LB SPRAY FOAM INSULATION (R31)
- 1/2" WD STRAPPING (WHERE EXPOSED)
- 5/8" GYPSUM BOARD (WHERE EXPOSED)

FL4 & FL5 ARE COMPLIMENTARY - SEE DETAILS

FL2 - NEW ASSEMBLY

- 3/4" ENGINEERED HARDWOOD FLOORING OR
- 3/4" DITRA (HEAT) FLOOR UNDERLAY + PORCELAIN TILE FLOORING
- 3/4" PLYWOOD
- WOOD JOISTS - SEE STRUCTURAL
- 1/2" WD STRAPPING (WHERE EXPOSED)
- 5/8" GYPSUM BOARD (WHERE EXPOSED)

FL3 - NEW ASSEMBLY

- 1 1/2" NATURAL STONE & MORTAR BED
- DITRA FLOOR UNDERLAYMENT
- 3/4" PLYWOOD
- WOOD JOISTS - SEE STRUCTURAL

FL1 - NEW ASSEMBLY R20

- 4" CONCRETE
- VAPOUR BARRIER
- 4" RIGID INSULATION
- 6" CRUSHED STONE DRAINAGE MEDIUM

P1 - NEW ASSEMBLY

- 1/2" GYPSUM BOARD
- 2X4 WOOD FRAMING
- 1/2" GYPSUM BOARD
- ACOUSTIC INSULATION WHERE INDICATED

P2 - NEW ASSEMBLY

- 1/2" GYPSUM BOARD
- 2X6 WOOD FRAMING
- 1/2" GYPSUM BOARD
- ACOUSTIC INSULATION WHERE INDICATED

GL - WINDOWS

OPTION #1

PNTD METAL CLAD WOOD WINDOWS W/ PAINT GRADE INTERIOR FINISH BY TORP
<https://www.torpin.com/collections/doors-and-windows>
U-VALUE OF 1.4 OR BETTER TO MEET O.B.C. SB-12 EEDS STANDARD

OPTION #2

PNTD ALUMINUM WINDOWS W/ PRE-PAINTED INTERIORS TO MATCH BY ALUMILEX
<http://www.alumilex.com/en/>
U-VALUE OF 1.4 OR BETTER TO MEET O.B.C. SB-12 EEDS STANDARD

OPTION #3

WOOD WINDOWS W/ PAINT GRADE INTERIOR BY TORP - HERITAGE COTTAGE
<https://www.torpin.com/collections/doors-and-windows>
U-VALUE TO MEET EXISTING OR BETTER

NOTE: STAINED WD FINISH REQUIRED BY HERITAGE @ FRONT FACADE

NOTE: DELTA - FLEXXBAND FLEXIBLE FLASHING TAPE @ EDGES OF ALL OPENINGS TO TIE INTO ADJACENT AIR/WEATHER BARRIER

PROVIDE SHOP DRAWINGS FOR REVIEW

SEE CODE SHEET FOR U-VALUES TEMPERED GLASS WHERE REQUIRED BELOW 3' ABOVE FINISHED FLOOR TYP.

FIRE RATED WINDOW + FRAME
ULC FIRE RATED GLASS IN PNTD ULC RATED STEEL FIRE FRAME OR FIRE SHUTTER (AS AN ALTERNATIVE) WHERE INDICATED ON PLANS @ EXISTING COTTAGE WINDOW NORTH ELEVATION

GG - GLASS GUARD

- CRYSTAL CLEAR TEMPERED GLAZING SET IN STRUCTURAL S.S. SHOE.
- MOUNTED ACCORDING TO STRUCTURAL DETAIL
- PROVIDE GLAZING SAMPLES & ENGINEER STAMPED DRAWINGS FOR SHOE + GLASS

SE SHOWER ENCLOSURE

- 1/2" CRYSTAL CLEAR TEMPERED GLAZING FRAMELESS WHERE POSSIBLE
- REVIEW W/ ARCHITECT ON SITE
- PROVIDE GLAZING SAMPLES

NOTE: FLUSH TO TILE FINISH SO ANY FRAMES THAT ARE REQUIRED MUST BE PRE-INSTALLED TO ALLOW FOR DETAIL TO WORK.

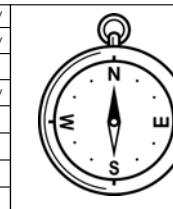
TYPICAL PROJECT NOTES:

- 1) NO WORK TO ENCRUCH ONTO ADJOINING PROPERTIES ABOVE OR BELOW GRADE, INCLUDING EAVES, OVERHANGS AND FOOTINGS
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- 6) STRUCTURAL INTEGRITY: MEMBERS SHALL BE FRAMED, FASTENED, TIED, BRACED & ANCHORED TO PROVIDE THE NECESSARY STRENGTH, RIGIDITY & STABILITY REQUIRED
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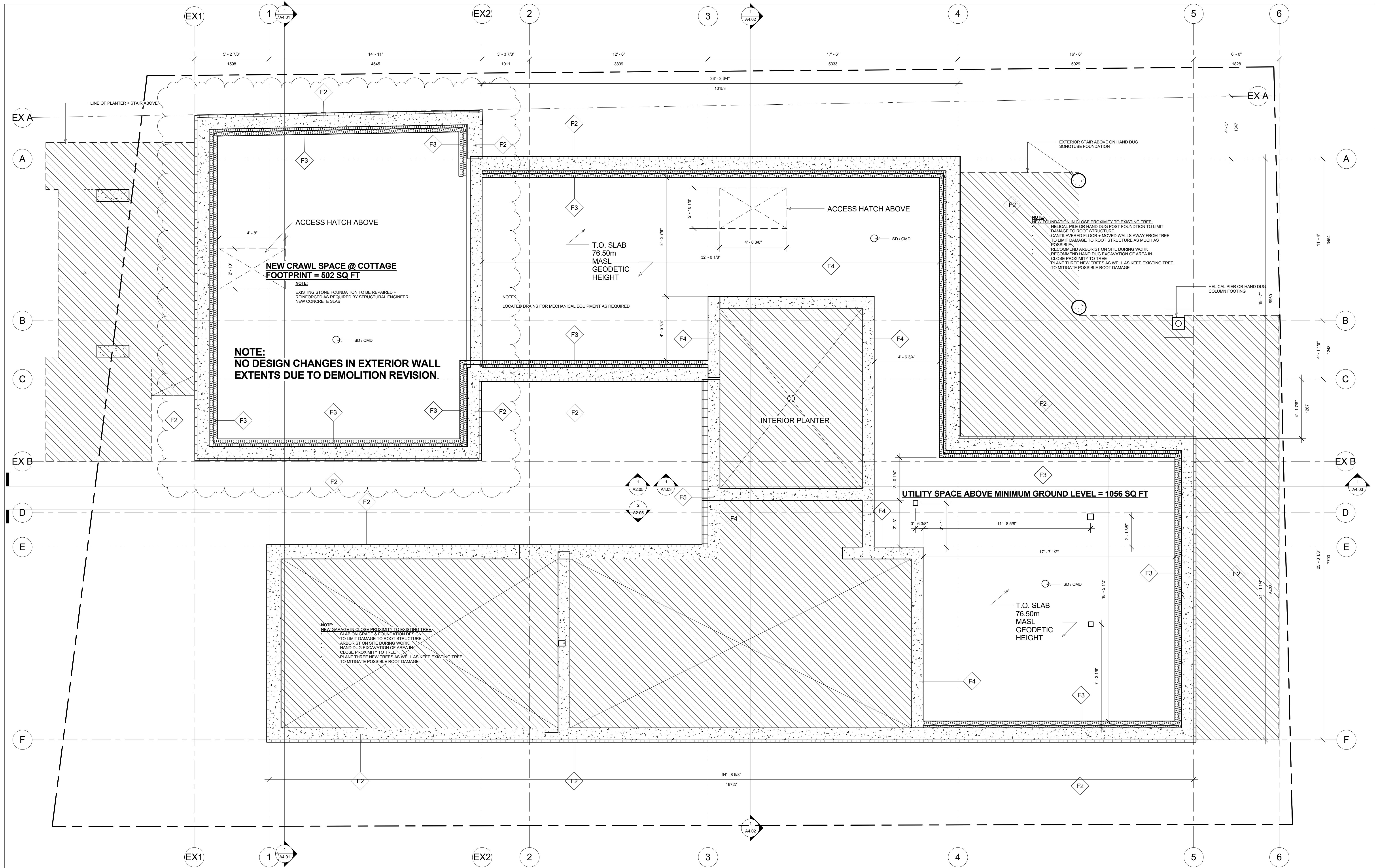
Date	Issued for
20.10.20	FOUNDATION - FINISHED DRAWING
20.10.18	CITY OF AMHERST SITE PLAN APPLICATION REV. 1
20.10.18	CITY OF AMHERST - PRELIMINARY NOTES
20.10.17	REVISED FOR BUILDING PERMIT
20.10.16	CITY OF AMHERST SITE PLAN APPLICATION FINAL
20.10.15	CITY OF AMHERST SITE PLAN APPLICATION REV. 1
20.10.14	REVISED FOR PERMIT
20.10.13	CITY OF AMHERST SITE PLAN APPLICATION REV. 1
20.10.12	REVISED FOR CONSTRUCTION
20.10.11	CITY OF AMHERST INTERIOR FINISH REV. 1
20.10.10	CITY OF AMHERST SITE PLAN APPLICATION



Project Name
983 BEACH BLVD
Client
NICOLE + GERRY
Project No.
1505
Drawn by
A001

ASSEMBLIES

A0.03



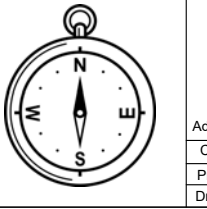
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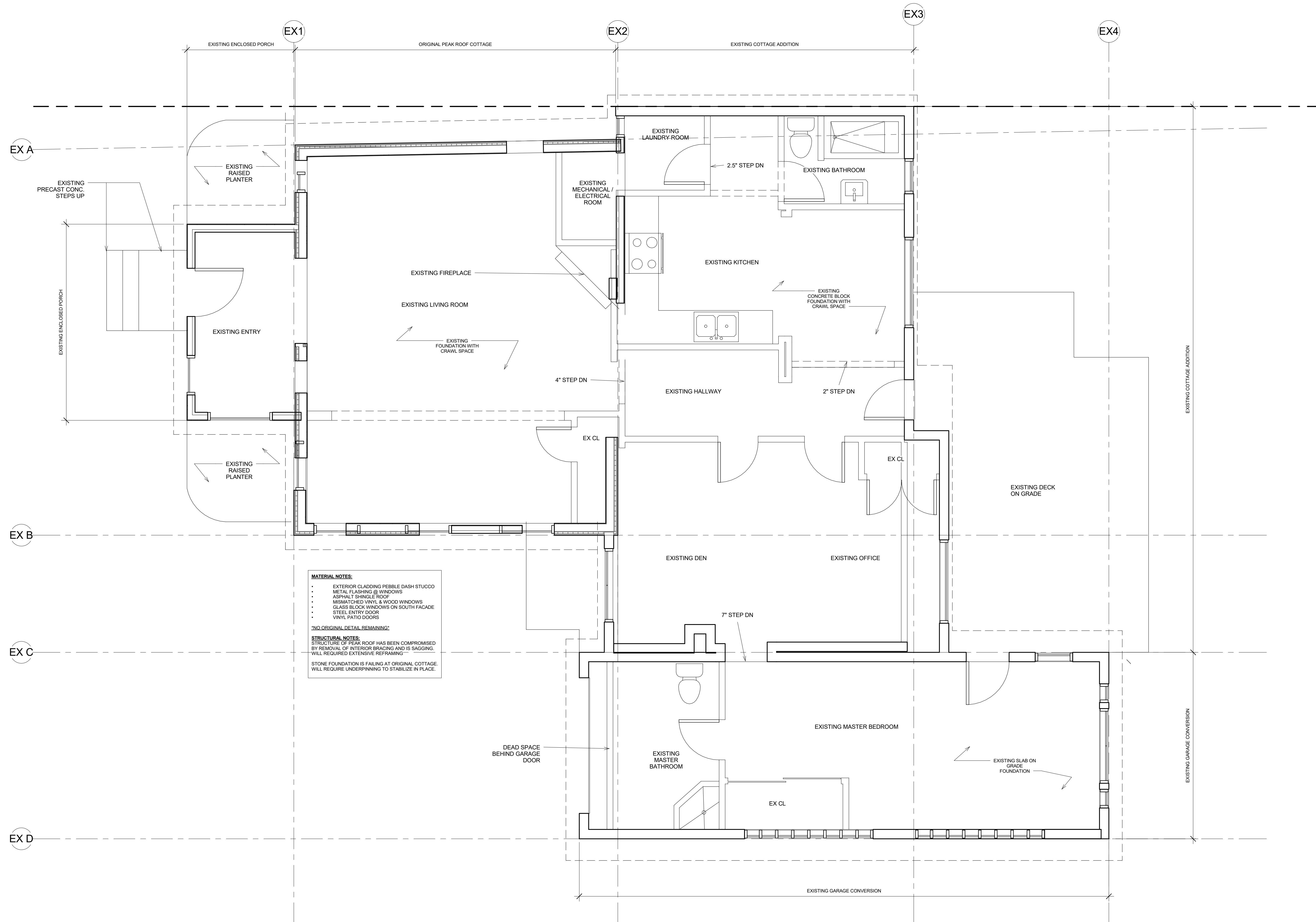
Date	Revised	By	For
20.12.20	FOUNDATION - FINISHED DRAWING	20.03.20	CITY OF AMALTON SITE PLAN APPLICATION REV.
20.08.19	CITY REQUEST - FINISHING NOTES	20.08.19	CITY OF AMALTON SITE PLAN APPLICATION REV.
20.08.17	REVISED FOR BUILDING PERMIT	20.05.17	REVISED TO CALL FOR THEIR RECORDS
20.08.08	CITY OF AMALTON SITE PLAN APPLICATION FINAL	20.01.21	CITY OF AMALTON SITE PLAN APPLICATION REV.
20.07.17	REVISED PER PLAN	19.11.20	REVISED FOR CONSTRUCTION
20.07.17	REVISED PER PLAN	19.02.20	CITY OF AMALTON SITE PLAN APPLICATION REV.
20.07.17	CITY OF AMALTON SITE PLAN APPLICATION REV.	19.02.20	CITY OF AMALTON SITE PLAN APPLICATION



Project Name
983 BEACH BLVD
Client
NICOLE J. GERRY
Project No.
1506
Drawn by
SYDM

UTILITY SPACE ABOVE MINIMUM GROUND WATER LEVEL

A1.01



MATERIAL NOTES:

- EXTERIOR CLADDING PEBBLE DASH STUCCO
- METAL FLASHING @ WINDOWS
- ASPHALT SHINGLE ROOF
- MISMATCHED VINYL & WOOD WINDOWS
- GLASS BLOCK WINDOWS ON SOUTH FACADE
- STEEL ENTRY DOOR
- VINYL PATIO DOORS

"NO ORIGINAL DETAIL REMAINING"

STRUCTURAL NOTES:

- STRUCTURE OF PEAK ROOF HAS BEEN COMPROMISED BY REMOVAL OF INTERIOR BRACING AND IS SAGGING. WILL REQUIRE EXTENSIVE REFRAMING
- STONE FOUNDATION IS FAILING AT ORIGINAL COTTAGE. WILL REQUIRE UNDERPINNING TO STABILIZE IN PLACE.

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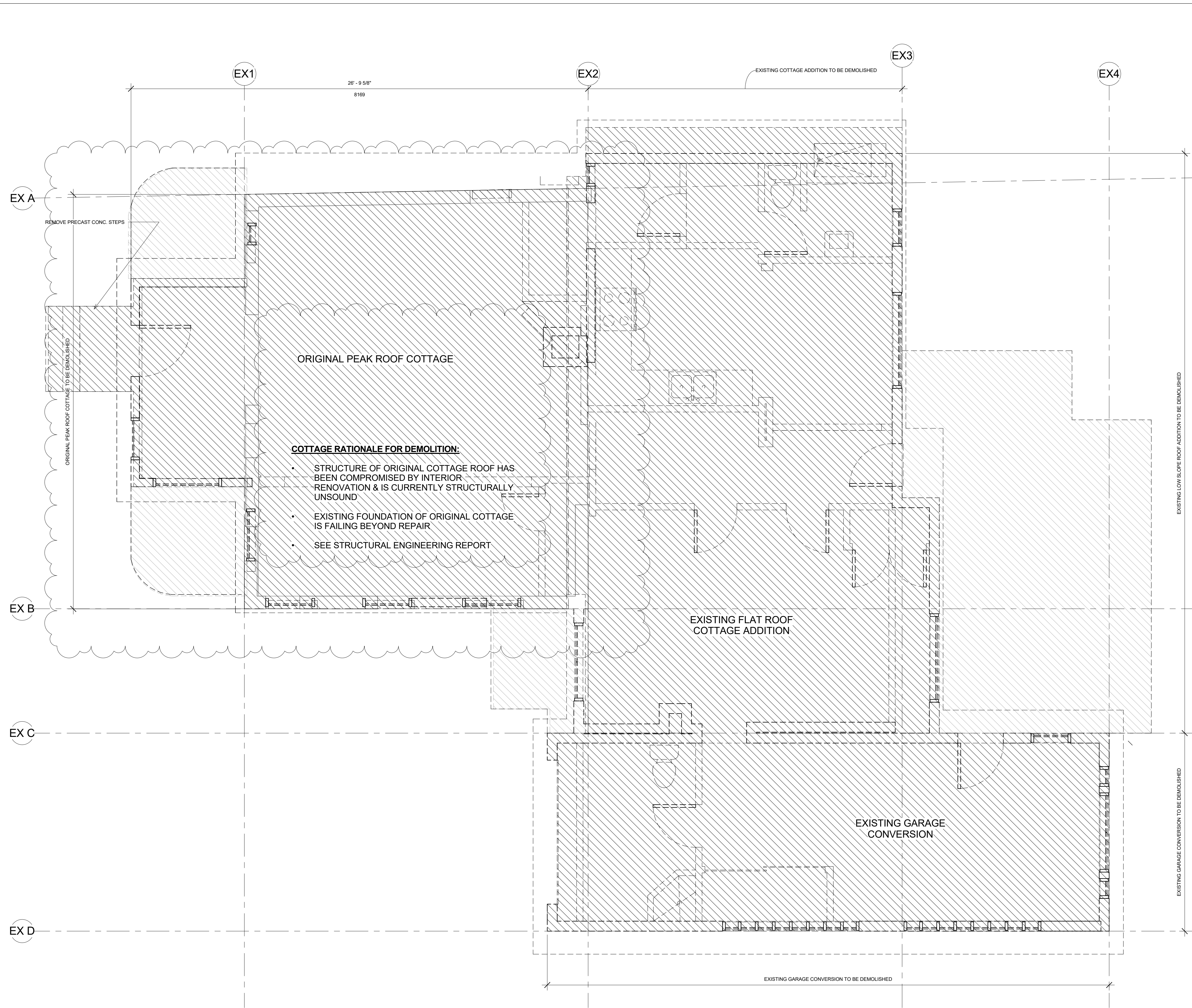
Date	Issued for	By	
20.12.24	FOUNDATION - FINISHED DRAWING	20.08.24	CITY OF AMHERST SITE PLAN APPLICATION REV.
20.10.18	CITY-BUILDING - PRELIMINARY NOTES	20.08.24	CITY OF AMHERST SITE PLAN APPLICATION REV.
20.09.17	REVISED FOR BUILDING PERMIT	20.05.21	REVISED TO CALL FOR THEIR RECORDS
20.08.08	CITY OF AMHERST SITE PLAN APPLICATION FINAL	20.05.21	CITY OF AMHERST SITE PLAN APPLICATION REV.
20.07.17	REVISED TO PERMITS	18.11.22	ISSUED FOR CONSTRUCTION
20.06.21	CITY OF AMHERST SITE PLAN APPLICATION REV.	18.02.24	CITY OF AMHERST (AMHERST RECORD)
20.05.24	CITY OF AMHERST SITE PLAN APPLICATION	18.02.24	CITY OF AMHERST SITE PLAN APPLICATION



Project Name
983 BEACH BLVD
Client
NICOLE + GERRY
Drawing No.
1502
Drawn by
SYDM

LEVEL 01 EXISTING

A1.02



GARAGE RATIONALE FOR DEMOLITION:

- NOT AN ORIGINAL STRUCTURE:
- CONCRETE BLOCK WALLS
- GLASS BLOCK WINDOWS
- VINYL SLIDING DOORS
- SLAB ON GRADE
- NO INSULATION
- TOO SMALL FOR MODERN VEHICLE

COTTAGE RATIONALE FOR DEMOLITION:

- STRUCTURE OF ORIGINAL COTTAGE ROOF HAS BEEN COMPROMISED BY INTERIOR RENOVATION & IS CURRENTLY STRUCTURALLY UNSOUND
- EXISTING FOUNDATION OF ORIGINAL COTTAGE IS FAILING BEYOND REPAIR
- SEE STRUCTURAL ENGINEERING REPORT

EXISTING GARAGE CONVERSION EXISTING LOW SLOPE ROOF ADDITION



VIEW FROM BACKYARD

ORIGINAL COTTAGE GARAGE & ADDITION



VIEW FROM BEACH BLVD

ADDITION RATIONALE FOR DEMOLITION:

- NOT AN ORIGINAL STRUCTURE:
- CONCRETE BLOCK FOUNDATION WALLS
- MULTIPLE FLOOR LEVELS INSIDE
- MISMATCHED WINDOWS
- VINYL SLIDING DOORS

BLOCK FOUNDATION IS FAILING

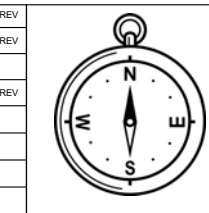
TYPICAL PROJECT NOTES:

- 1) NO WORK TO ENCRUCH ONTO ADJOINING PROPERTIES ABOVE OR BELOW GRADE, INCLUDING EAVES, OVERHANGS AND FOOTINGS
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- 3) THERMALLY INSULATED WALL, CEILING AND FLOOR ASSEMBLIES SHALL BE CONSTRUCTED WITH A CONTINUOUS AIR AND VAPOUR BARRIER SYSTEM AS PER OBC 9.25.3 AND 9.25.4
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- 5) CONTRACTOR TO VERIFY EXISTING STRUCTURAL SYSTEM INCLUDING FOUNDATIONS FOR LOADS IMPOSED BY THE PROPOSED CONSTRUCTION
- 6) STRUCTURAL INTEGRITY: MEMBERS SHALL BE FRAMED, FASTENED, TIED, BRACES & ANCHORED TO PROVIDE THE NECESSARY STRENGTH, RIGIDITY & STABILITY REQUIRED
- 7) INSTALL SMOKE & CARBON MONOXIDE DETECTORS TO CONFORM TO OBC 1.16.19 & 3.3.4.
- 8) CONTRACTOR TO INSTALL PRODUCTS AND MATERIALS PER MANUFACTURERS RECOMMENDATIONS, PROVIDE CUTSHEETS FOR REVIEW PRIOR TO INSTALLATION

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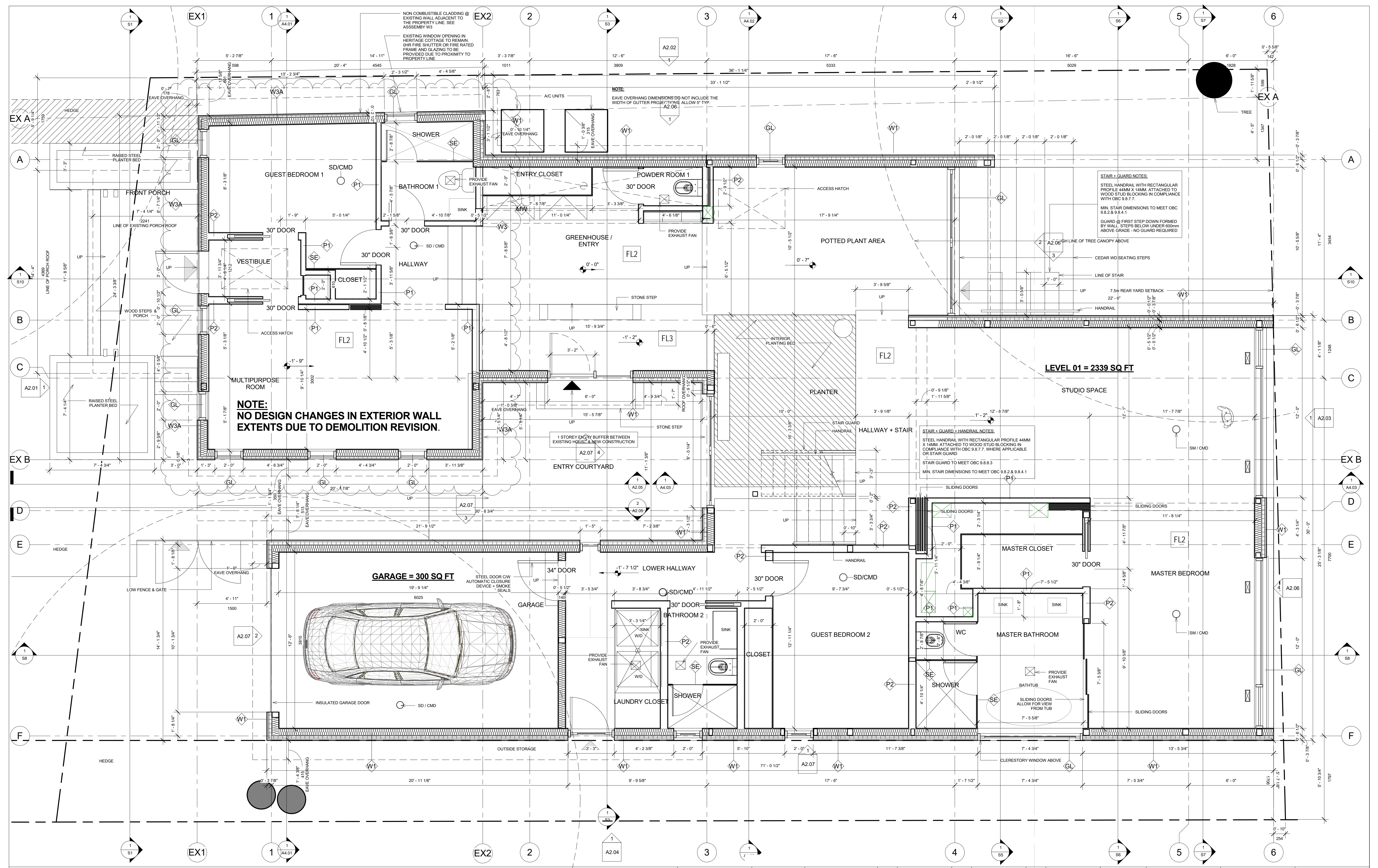
20.10.20	FOUNDATION - FINISHED DRAWING	20.10.20	CITY OF HAMILTON SITE PLAN APPLICATION REV.
20.10.18	FOUNDATION - PRELIMINARY NOTES	20.10.18	CITY OF HAMILTON SITE PLAN APPLICATION REV.
20.10.17	REVISED FOR BUILDING PERMIT	20.10.17	REVISED TO CALL FOR THEIR RECORDS
20.10.16	CITY OF HAMILTON SITE PLAN APPLICATION FINAL	20.10.16	CITY OF HAMILTON SITE PLAN APPLICATION REV.
20.10.15	REVISED TO PERMITS	20.10.15	REVISED FOR CONSTRUCTION
20.10.14	CITY OF HAMILTON SITE PLAN APPLICATION REV.	20.10.14	CITY OF HAMILTON SITE PLAN APPLICATION REV.
20.10.13	CITY OF HAMILTON SITE PLAN APPLICATION REV.	20.10.13	CITY OF HAMILTON SITE PLAN APPLICATION REV.



Project Name
983 BEACH BLVD
Client
NICOLE + GERRY
Project No.
1506
Drawn by
SYDM

DEMO LEVEL 01

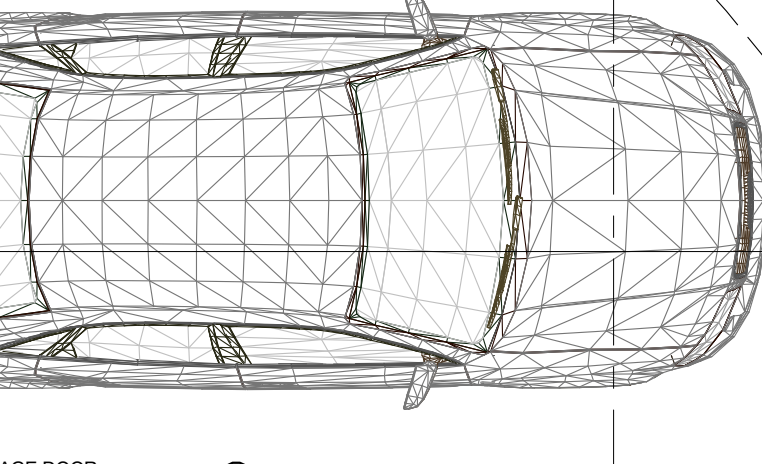
A1.03



NOTE:
NO DESIGN CHANGES IN EXTERIOR WALL EXTENTS DUE TO DEMOLITION REVISION.

LEVEL 01 = 2339 SQ FT

GARAGE = 300 SQ FT



STAIR + GUARD NOTES:
STEEL HANDRAIL WITH RECTANGULAR PROFILE 4MM X 14MM ATTACHED TO WOOD STUD BLOCKING IN COMPLIANCE WITH OBC 9.8.7.7. WHERE APPLICABLE OR STAIR GUARD.
MIN. STAIR DIMENSIONS TO MEET OBC 9.8.2 & 9.8.4.1
GUARD @ FIRST STEP DOWN FORMED BY WALL. STEPS BELOW UNDER 600mm ABOVE GRADE - NO GUARD REQUIRED

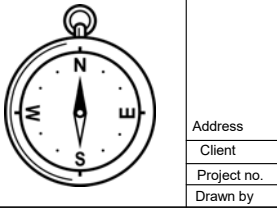
STAIR + GUARD + HANDRAIL NOTES:
STEEL HANDRAIL WITH RECTANGULAR PROFILE 4MM X 14MM ATTACHED TO WOOD STUD BLOCKING IN COMPLIANCE WITH OBC 9.8.7.7. WHERE APPLICABLE OR STAIR GUARD.
MIN. STAIR DIMENSIONS TO MEET OBC 9.8.2 & 9.8.4.1

- TYPICAL PROJECT NOTES:**
- NO WORK TO ENCRUSH ONTO ADJOINING PROPERTIES ABOVE OR BELOW GRADE, INCLUDING EAVES, OVERHANGS AND FOOTINGS
 - CONTRACTOR TO VERIFY WALLS TO BE REMOVED AS NON-LOADBEARING PRIOR TO REMOVALS, OTHERWISE SEEK APPROVAL OF STRUCTURAL ENGINEER
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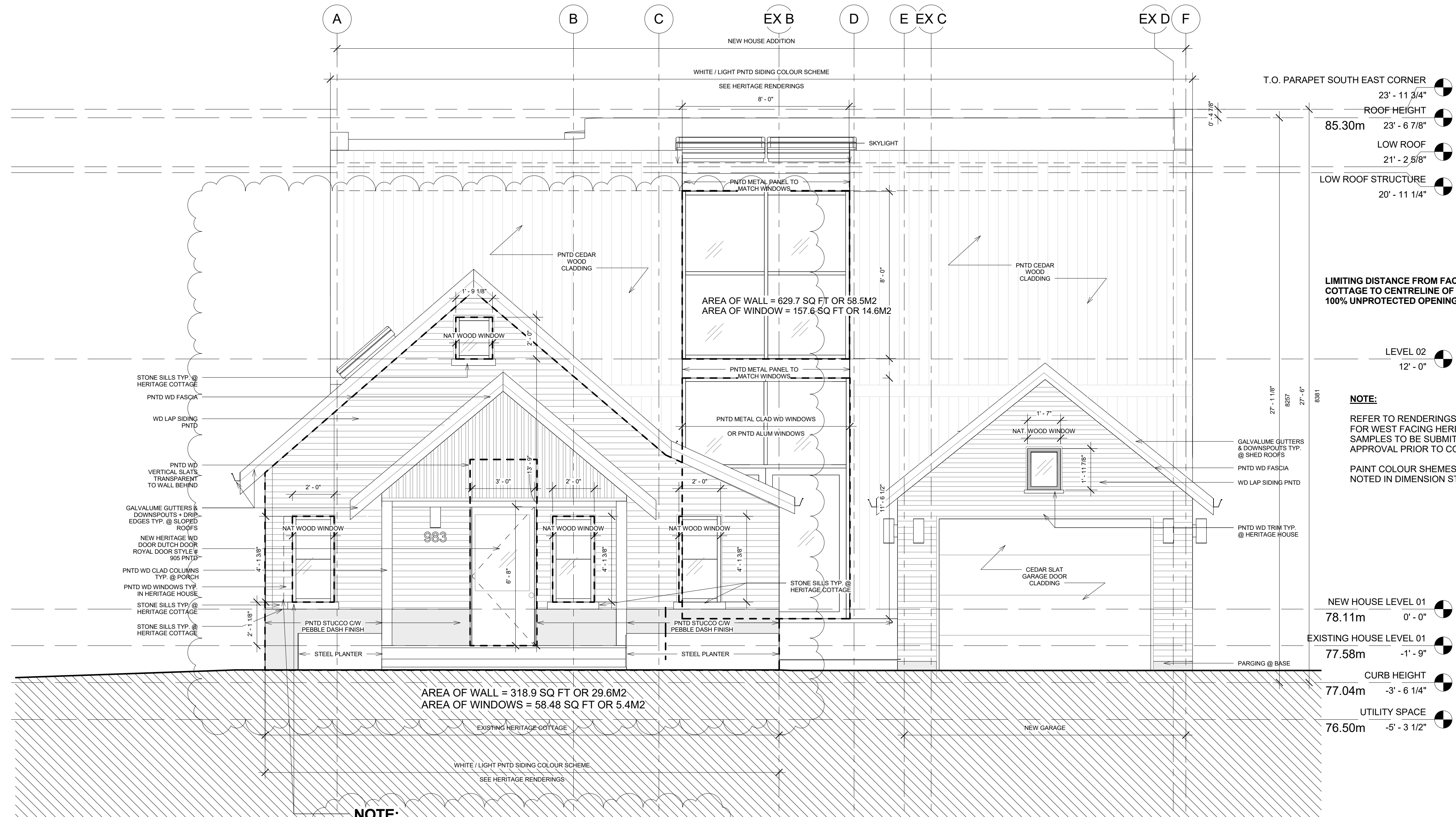


NO.	DESCRIPTION	DATE	BY
01	FOUNDATION - FINISHED DRAINAGE	2024.01	CITY OF AMHERST SITE PLAN APPLICATION REV.
02	FOUNDATION - FINISHED DRAINAGE	2024.01	CITY OF AMHERST SITE PLAN APPLICATION REV.
03	FOUNDATION - FINISHED DRAINAGE	2024.01	CITY OF AMHERST SITE PLAN APPLICATION REV.
04	FOUNDATION - FINISHED DRAINAGE	2024.01	CITY OF AMHERST SITE PLAN APPLICATION REV.
05	FOUNDATION - FINISHED DRAINAGE	2024.01	CITY OF AMHERST SITE PLAN APPLICATION REV.
06	FOUNDATION - FINISHED DRAINAGE	2024.01	CITY OF AMHERST SITE PLAN APPLICATION REV.
07	FOUNDATION - FINISHED DRAINAGE	2024.01	CITY OF AMHERST SITE PLAN APPLICATION REV.
08	FOUNDATION - FINISHED DRAINAGE	2024.01	CITY OF AMHERST SITE PLAN APPLICATION REV.
09	FOUNDATION - FINISHED DRAINAGE	2024.01	CITY OF AMHERST SITE PLAN APPLICATION REV.
10	FOUNDATION - FINISHED DRAINAGE	2024.01	CITY OF AMHERST SITE PLAN APPLICATION REV.



Project Name
983 BEACH BLVD
Client
NICOLE J. GERVY
Drawn by
SYDM

LEVEL 01
A1.04



1 WEST ELEVATION
3/8" = 1'-0"

NOTE:
THE ONLY CHANGES TO THE EXTERIOR ARE:

- ONE SLIGHTLY SMALLER WINDOW TO ACCOMODATE INCREASED THICKNESS OF WALLS DUE TO O.B.C. REQUIRED INSULATION VALUES
- CHIMNEY OF COTTAGE WAS REMOVED

- T.O. PARAPET SOUTH EAST CORNER 23' - 11 3/4"
- ROOF HEIGHT 23' - 6 7/8"
- 85.30m
- LOW ROOF 21' - 2 5/8"
- LOW ROOF STRUCTURE 20' - 11 1/4"

LIMITING DISTANCE FROM FACE OF EXISTING COTTAGE TO CENTRELINE OF BEACH BLVD = 23.45M
100% UNPROTECTED OPENINGS PERMITTED

- LEVEL 02 12' - 0"

NOTE:
REFER TO RENDERINGS FOR COLOUR SCHEME FOR WEST FACING HERITAGE FACADE. MATERIAL SAMPLES TO BE SUBMITTED TO HERITAGE FOR APPROVAL PRIOR TO CONSTRUCTION.
PAINT COLOUR Schemes FOR HOUSE ELEVATIONS NOTED IN DIMENSION STRINGS.

- NEW HOUSE LEVEL 01 78.11m 0' - 0"
- EXISTING HOUSE LEVEL 01 77.58m -1' - 9"
- CURB HEIGHT 77.04m -3' - 6 1/4"
- UTILITY SPACE 76.50m -5' - 3 1/2"

TYPICAL PROJECT NOTES:
1) NO WORK TO ENCRUCH ONTO ADJOINING PROPERTIES ABOVE OR BELOW GRADE, INCLUDING EAVES, OVERHANGS AND FOOTINGS
2) CONTRACTOR TO VERIFY WALLS TO BE REMOVED AS NON-CARRIERS PRIOR TO REMOVALS, OTHERWISE SEEK APPROVAL OF STRUCTURAL ENGINEER
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4) PROVIDE ALL BRACING, SHORTING AND NEEDING NECESSARY FOR THE SAFE EXECUTION OF WORK
5) CONTRACTOR TO VERIFY PREPARED EXISTING STRUCTURAL SYSTEM, INCLUDING FOUNDATIONS, FOR LOADS IMPOSED BY THE PROPOSED CONSTRUCTION
6) STRUCTURAL INTEGRITY: MEMBERS SHALL BE FRAMED, FASTENED, TIED, BRACES & ANCHORED TO PROVIDE THE NECESSARY STRENGTH, RIGIDITY & STABILITY REQUIRED
7) INSTALL SMOKE & CARBON MONOXIDE DETECTORS TO CONFORM TO OBC 1.15.13 & 1.3.3.4
8) CONTRACTOR TO INSTALL PRODUCTS AND MATERIALS PER MANUFACTURERS RECOMMENDATIONS, PROVIDE CUTSHEETS FOR REVIEW PRIOR TO INSTALLATION

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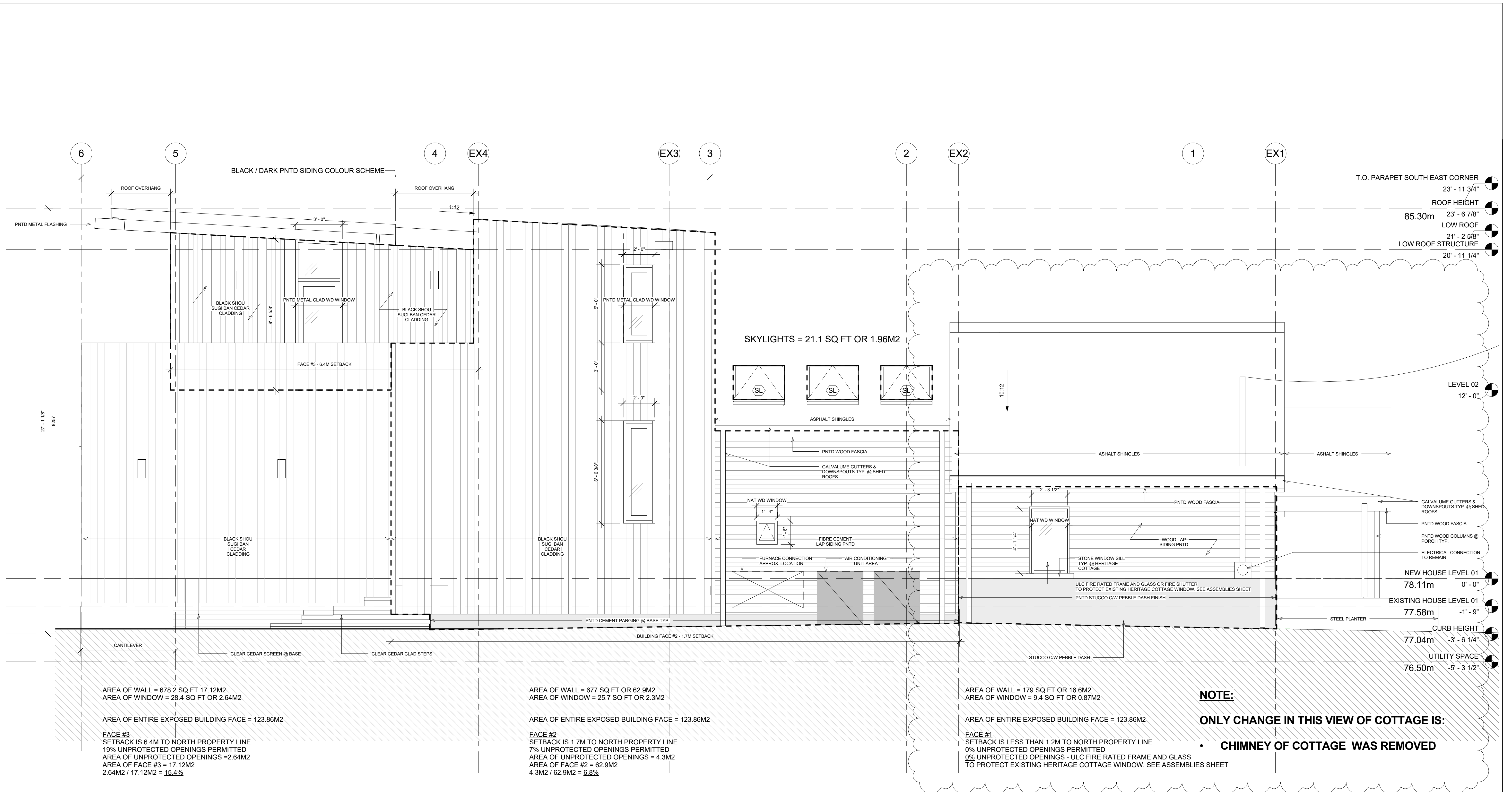


20.10.20	FOUNDATION - FINISHED DRAWING	20.10.20	CITY OF AMALTON SITE PLAN APPLICATION REV.
20.10.18	CITY REQUEST - PRELIMINARY NOTES	20.10.18	CITY OF AMALTON SITE PLAN APPLICATION REV.
20.10.17	REVISED FOR BUILDING PERMIT	20.10.17	REVISED TO CALL FOR THEIR RECORDS
20.10.16	CITY OF AMALTON SITE PLAN APPLICATION FINAL	20.10.16	CITY OF AMALTON SITE PLAN APPLICATION REV.
20.10.17	REVISED TO PERMITS	20.10.17	REVISED FOR CONSTRUCTION
20.10.17	REVISED TO PERMITS	20.10.17	CITY OF AMALTON AMENDED RECORD
20.10.17	CITY OF AMALTON SITE PLAN APPLICATION REV.	20.10.17	CITY OF AMALTON SITE PLAN APPLICATION



Project Name
983 BEACH BLVD
Client
NICOLE - GERRY
Project No.
1586
Drawn by
SYDM

ELEVATION A2.01



1 NORTH ELEVATION
3/8" = 1'-0"

AREA OF WALL = 678.2 SQ FT OR 17.12M²
 AREA OF WINDOW = 28.4 SQ FT OR 2.64M²
 AREA OF ENTIRE EXPOSED BUILDING FACE = 123.86M²
FACE #3
 SETBACK IS 6.4M TO NORTH PROPERTY LINE
 19% UNPROTECTED OPENINGS PERMITTED
 AREA OF UNPROTECTED OPENINGS = 2.64M²
 AREA OF FACE #3 = 17.12M²
 2.64M² / 17.12M² = 15.4%

AREA OF WALL = 677 SQ FT OR 62.9M²
 AREA OF WINDOW = 25.7 SQ FT OR 2.3M²
 AREA OF ENTIRE EXPOSED BUILDING FACE = 123.86M²
FACE #2
 SETBACK IS 1.7M TO NORTH PROPERTY LINE
 7% UNPROTECTED OPENINGS PERMITTED
 AREA OF UNPROTECTED OPENINGS = 4.3M²
 AREA OF FACE #2 = 62.9M²
 4.3M² / 62.9M² = 6.8%

AREA OF WALL = 179 SQ FT OR 16.6M²
 AREA OF WINDOW = 9.4 SQ FT OR 0.87M²
 AREA OF ENTIRE EXPOSED BUILDING FACE = 123.86M²
FACE #1
 SETBACK IS LESS THAN 1.2M TO NORTH PROPERTY LINE
 0% UNPROTECTED OPENINGS PERMITTED
 0% UNPROTECTED OPENINGS - ULC FIRE RATED FRAME AND GLASS
 TO PROTECT EXISTING HERITAGE COTTAGE WINDOW. SEE ASSEMBLIES SHEET

NOTE:
 ONLY CHANGE IN THIS VIEW OF COTTAGE IS:
 • CHIMNEY OF COTTAGE WAS REMOVED

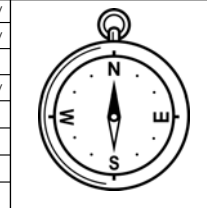
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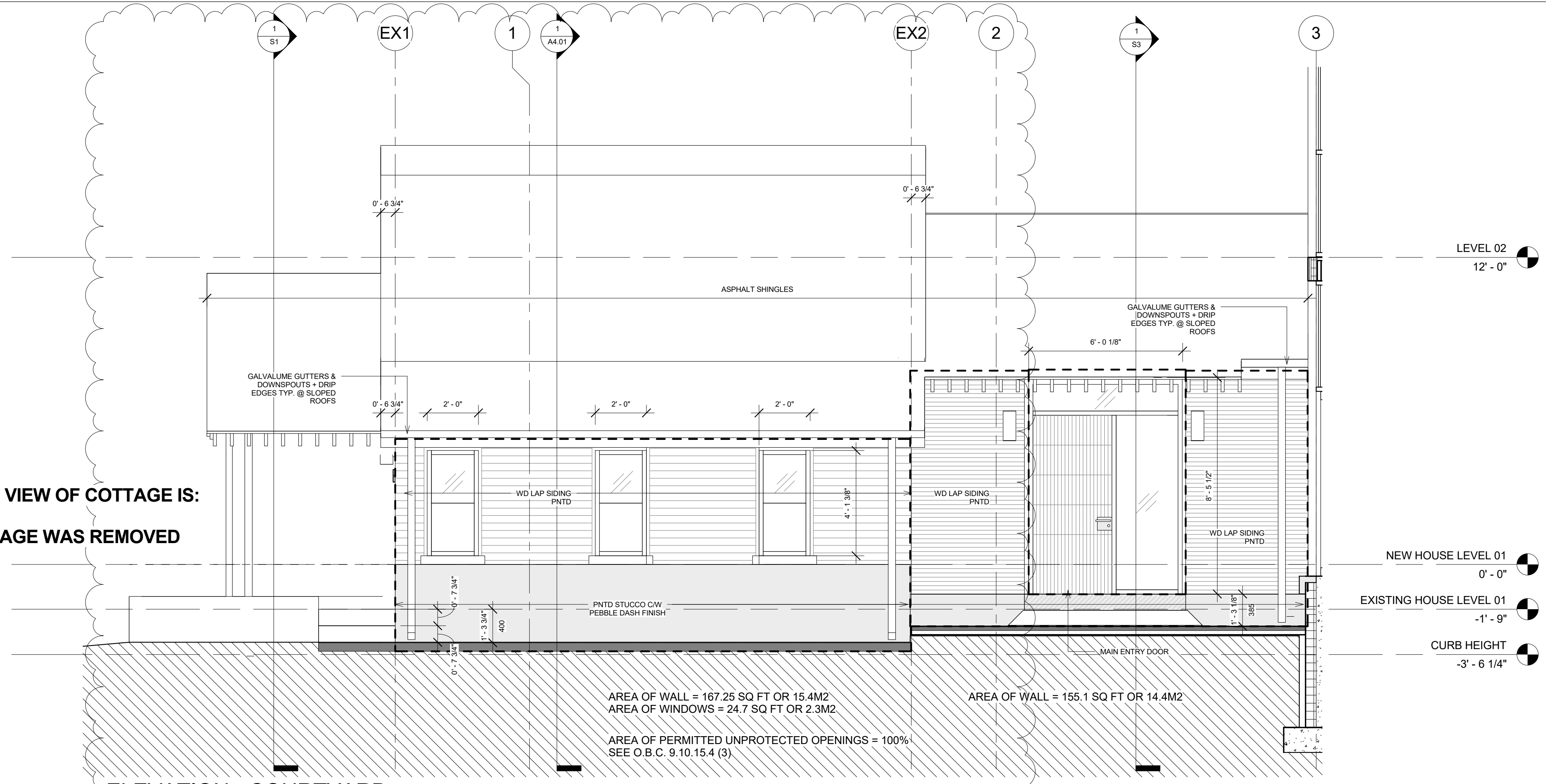
Date	Description	By	For
20.10.20	FOUNDATION - FINISHED DRAWING	20.10.20	CITY OF AMALTON SITE PLAN APPLICATION REV.
20.10.18	20% REDRAW - FINANCIAL NOTES	20.10.18	CITY OF AMALTON SITE PLAN APPLICATION REV.
20.10.17	REVISED FOR BUILDING PERMIT	20.10.17	REVISED TO OVAL FOR THEIR RECORDS
20.10.16	CITY OF AMALTON SITE PLAN APPLICATION FINAL	20.10.16	CITY OF AMALTON SITE PLAN APPLICATION REV.
20.10.17	REVISED FINALS	20.10.17	REVISED FOR CONSTRUCTION
20.10.17	REVISED FINALS	20.10.17	CITY OF AMALTON HERITAGE REVIEW
20.10.17	CITY OF AMALTON SITE PLAN APPLICATION REV.	20.10.17	CITY OF AMALTON SITE PLAN APPLICATION
20.10.17	CITY OF AMALTON SITE PLAN APPLICATION REV.	20.10.17	CITY OF AMALTON SITE PLAN APPLICATION



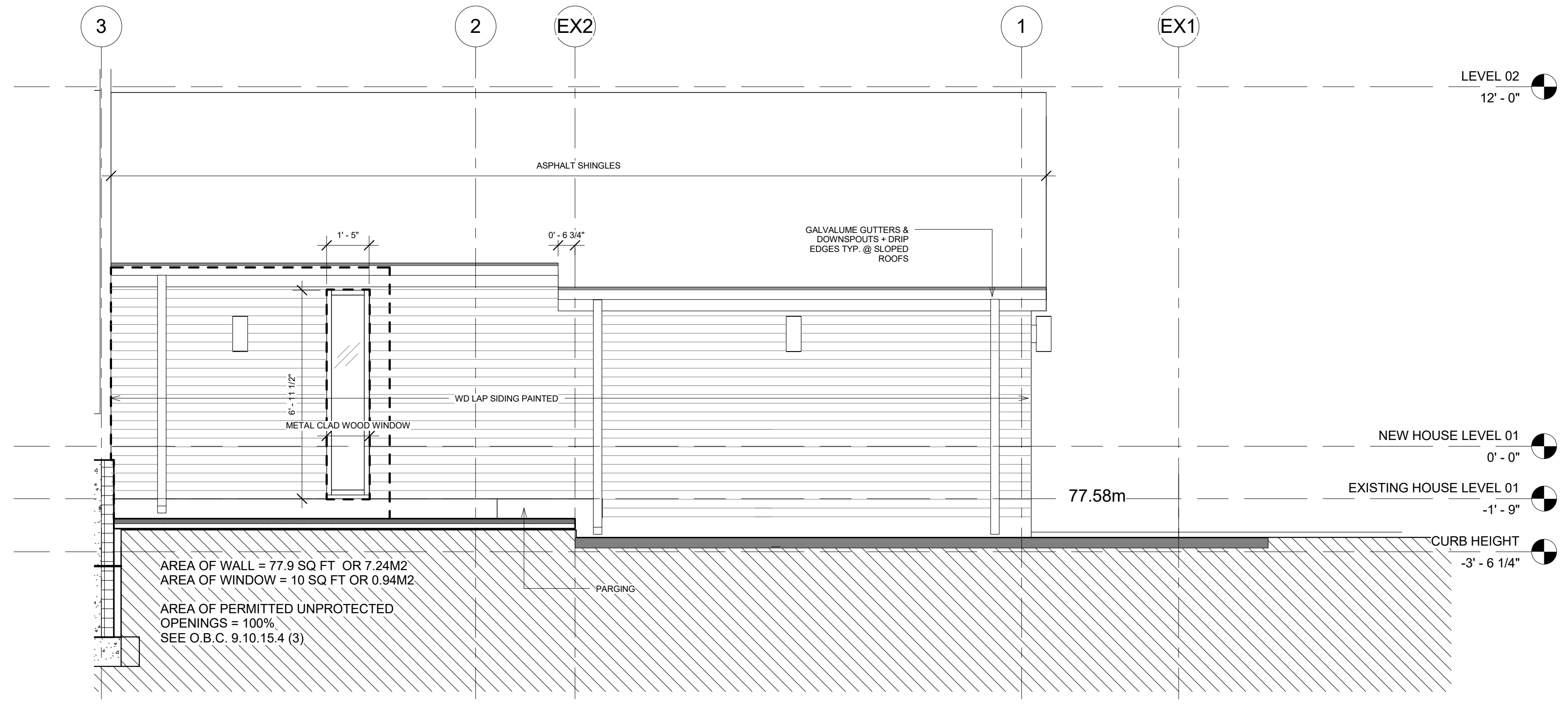
Project Name
 983 BEACH BLVD
 Client
 NICOLE + GERRY
 Project No.
 1506
 Drawn by
 SYDM

ELEVATION
 A2.02

NOTE:
ONLY CHANGE IN THIS VIEW OF COTTAGE IS:
• CHIMNEY OF COTTAGE WAS REMOVED



1 SOUTH
3/8" = 1'-0"



2 NORTH
3/8" = 1'-0"

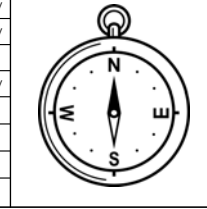
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Date	Revision	Description	By	Check
20.12.20	FOUNDATION - FINISHED DRAWING			
20.08.18	CITY BRACKET - PRELIMINARY NOTES			
20.08.17	REVISED FOR BUILDING PERMIT			
20.08.16	CITY OF VANCOUVER PLAN APPLICATION FINAL			
20.07.17	REVISED FOR PERMITS			
20.07.16	CITY OF VANCOUVER PLAN APPLICATION REV. 004			
20.06.16	CITY OF VANCOUVER PLAN APPLICATION REV. 003			
20.06.15	CITY OF VANCOUVER PLAN APPLICATION REV. 002			
20.06.14	CITY OF VANCOUVER PLAN APPLICATION REV. 001			



Project Name
983 BEACH BLVD
Client
NICOLE + GERRY
Drawing No.
1585
Drawn by
SYDM

ELEVATIONS

A2.05



NOTE:
APPEARANCE IS EXACTLY THE SAME AS WHAT WAS ORIGINALLY APPROVED WITHOUT A CHIMNEY.
ALL OTHER CHANGES ARE STRUCTURAL AND NOT VISIBLE.

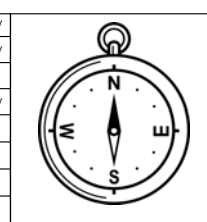
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20.10.24	FOUNDATION - FINISHED DRAWING	20.10.24	CITY OF AMHERST SITE PLAN APPLICATION REV.
20.10.18	CITY REQUEST - PRELIMINARY NOTES	20.10.18	CITY OF AMHERST SITE PLAN APPLICATION REV.
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20.10.16	CITY OF AMHERST SITE PLAN APPLICATION FINAL	20.10.21	CITY OF AMHERST SITE PLAN APPLICATION REV.
20.07.17	REVISED PER CITY	18.11.21	REVISED FOR COORDINATION
20.07.17	CITY OF AMHERST SITE PLAN APPLICATION REV.	18.02.22	CITY OF AMHERST AMENDING REQUEST
21.07.21	CITY OF AMHERST SITE REVISED REV. APP.	20.06.24	CITY OF AMHERST SITE PLAN APPLICATION
		19.07.24	CITY OF AMHERST SITE PLAN APPLICATION
		Date	Issued for



Project Name
 983 BEACH BLVD
 Client
 NICOLE + GERRY
 Project No.
 1586
 Drawn by
 SYDM

UPDATED
 RENDERINGS

R7



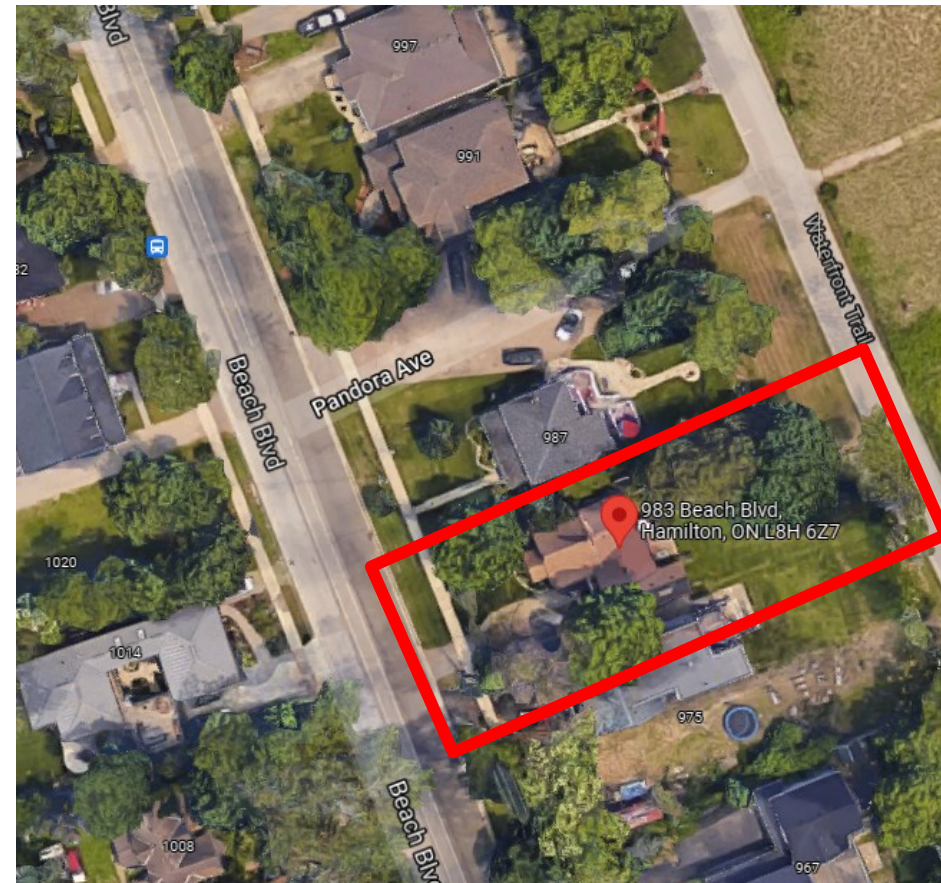
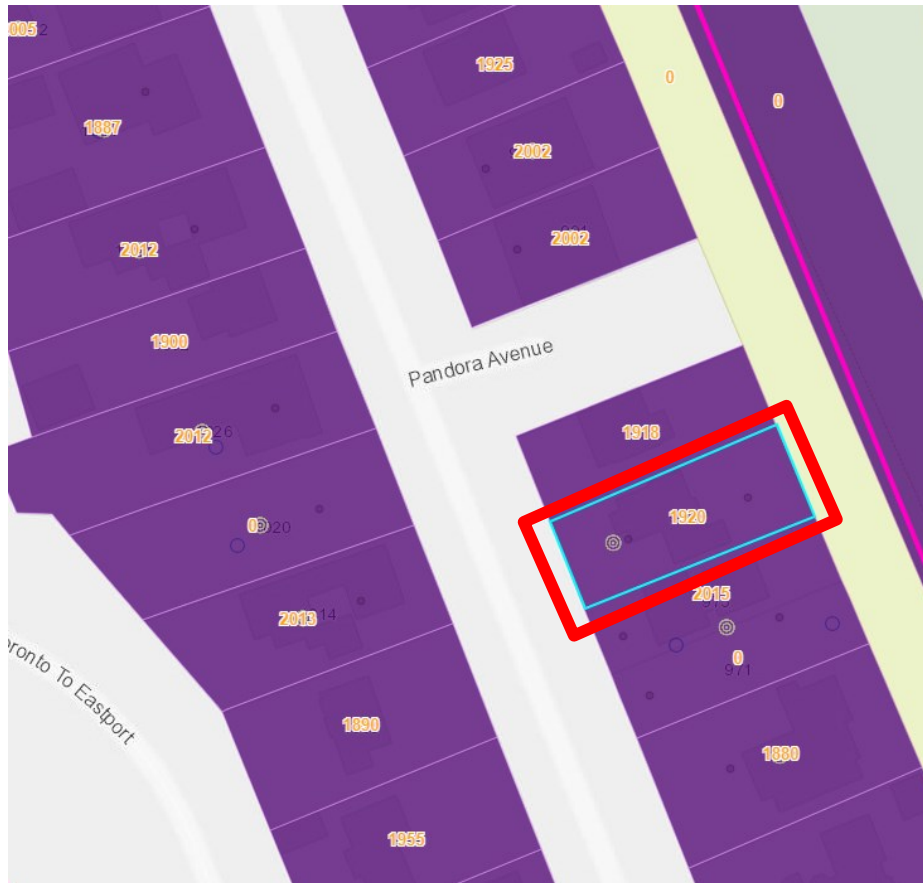
HERITAGE PERMIT APPLICATION HP2021-033
DESIGNATED UNDER PART IV OF THE
ONTARIO HERITAGE ACT FOR PROPOSED
DEMOLITION AND RECONSTRUCTION OF 983
BEACH BOULEVARD, HAMILTON

October 29, 2021

HP2021-044 – 983 BEACH BOULEVARD, HAMILTON



HP2021-044 – 983 BEACH BOULEVARD, HAMILTON



HP2021-044 – 983 BEACH BOULEVARD, HAMILTON

Property Overview:

- Part V designated as part of Hamilton Beach HCD
- Constructed circa 1920 as a seasonal cottage

Proposal:

- Proposed demolition of existing dwelling due to unforeseen structural issues
- Rebuild exact design and footprint previously approved under HP2019-027

Applicant's Reason for Demolition:

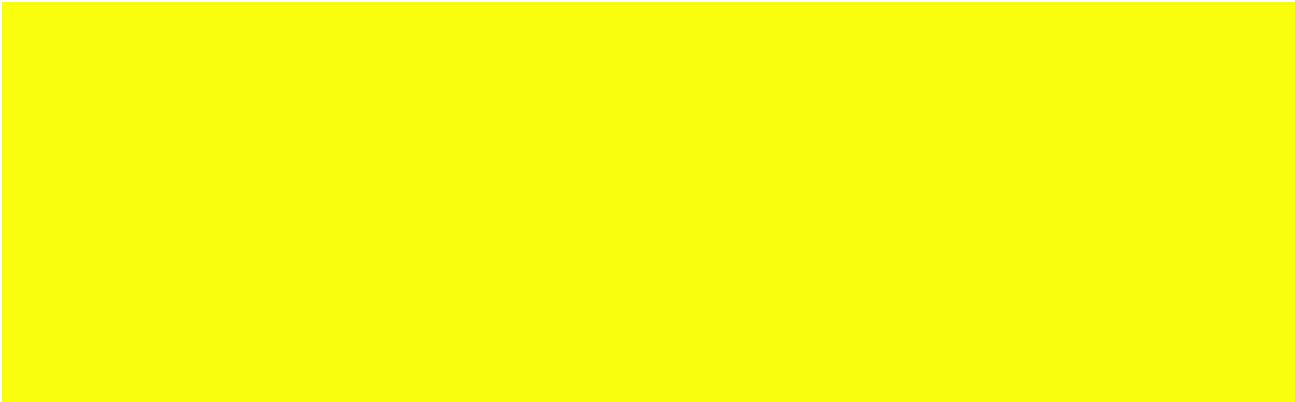
- Compromised structural integrity due to original construction of dwelling



Fig. 1.8. West elevation (Giaimo, 2021)

HP2021-044 – 983 BEACH BOULEVARD, HAMILTON

Previous Applications:

- Site Plan Control Application (DAB-20-110):
 - Proposal consistent with the plans approved
 - Generally maintaining same setbacks, massing, FFE, dimensions
 - New dwelling required to comply with ZBL
- Heritage Permit (HP2019-027):
 - 
 - Demolition of existing rear addition;
 - Demolition of existing garage addition;
 - Construction of new, two-storey addition at rear of existing original cottage; and,
 - Construction of detached garage addition at side of existing original cottage

HP2021-044 – 983 BEACH BOULEVARD, HAMILTON



Proposed Elevation – only change visually is removal of chimney and some window openings in order to meet current OBC code



HP2021-044 – 983 BEACH BOULEVARD, HAMILTON

Structural Engineering Assessment Report, prepared by Hamann Engineering Structural Consultants, dated June 14, 2021:

- Original floor framing consists of timber joists supported on timber beams
- Foundation consisted of timber posts or log sections sitting unimbedded on the insitu beach sand subsoil
- No exterior foundation walls – consistent with unheated seasonal summer cottages
- Timber post foundation has collapsed and loose laid block masonry piers added to short the framing
- Concluded – no merit in terms of cost or quality in restoration/preservation
- Even without cost considerations, foundation not repairable without demolition



HP2021-044 – 983 BEACH BOULEVARD, HAMILTON



HP2021-044 – 983 BEACH BOULEVARD, HAMILTON

Cultural Heritage Impact Assessment, prepared by Giaimo Architects, dated August 31, 2021:

- CHIA submitted given request for demolition of Part V designated property
- Minimal original interior features remain
- Criteria 9/06:
 - Has potential to yield information about the understanding of the beach community
 - Supports the character of the area
 - Representative of summer residences and cottages indicating historic use of the strip



Fig. 5.16. Fully renovated interiors



Fig. 5.19. Example of new ceiling and beams;
Beams are not original to this house and
were salvaged from another property

HP2021-044 – 983 BEACH BOULEVARD, HAMILTON

Policy & Design Working Group:

- Reviewed CHIA at the **September 20, 2021** meeting and were satisfied with the assessment.

Heritage Permit Review Subcommittee Consultation (HPRS):

- Reviewed application at a meeting on **September 21, 2021** and recommended that the application as submitted be **approved**.
- Additional recommendations – salvage and incorporate original window from front gable

Staff Conclusions:

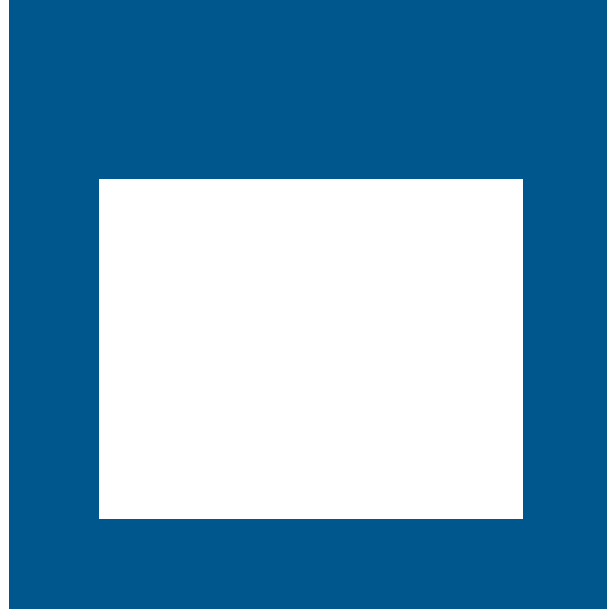
- Existing condition is rapidly deteriorating due to original construction as a seasonal cottage;
- Supporting documentation clearly indicates a significant concern for on-site safety;
- In agreement with recommendation of HPRS.

HP2021-044 – 983 BEACH BOULEVARD, HAMILTON

Staff Recommendation:

(a) That Heritage Permit Application HP2021-044, for the demolition of the Part V designated heritage building and construction of a new single detached dwelling for lands located at 983 Beach Boulevard, under Section 42 of the *Ontario Heritage Act*, be **approved** with the following conditions:

- i. Implementation of the demolition and construction of the new dwelling, in accordance with this approval, shall be completed no later than November 30, 2023. If the alterations are not completed by November 30, 2023, then this approval expires as of that date and no alterations shall be undertaken without a new approval issued by the City of Hamilton;
- ii. That material specifications for the wood cladding proposed for the new dwelling and front of the new garage and cladding for the proposed addition be consistent with the Hamilton Beach Heritage Conservation District (HCD) guidelines and submitted for review, to the satisfaction and approval of the Director of Planning and Chief Planner, prior to submission as part of any application for a Building Permit and / or the commencement of any alterations;
- iii. That the existing leaded glass window in the front gable be salvaged prior to demolition and reincorporated into the front gable of the new dwelling; and,
- iv. That the existing wrought iron fence in the front yard be repaired and maintained in its current location.



THANK YOU



CITY OF HAMILTON
PLANNING AND ECONOMIC DEVELOPMENT DEPARTMENT
Planning Division

TO:	Chair and Members Hamilton Municipal Heritage Committee
COMMITTEE DATE:	October 29, 2021
SUBJECT/REPORT NO:	Heritage Permit Application HP2021-044, under Part V of the <i>Ontario Heritage Act</i> for the demolition of 983 Beach Boulevard, Hamilton (PED21208) (Ward 5)
WARD(S) AFFECTED:	Ward 5
PREPARED BY:	Stacey Kursikowski 905-546-2424 Ext. 1202
SUBMITTED BY:	Steve Robichaud Director, Planning and Chief Planner Planning and Economic Development Department
SIGNATURE:	

RECOMMENDATION

- (a) That Heritage Permit Application HP2021-044, for the demolition of the Part V designated heritage building and construction of a new single detached dwelling for lands located at 983 Beach Boulevard, under Section 42 of the *Ontario Heritage Act*, be **approved** with the following conditions:
- (i) Implementation of the demolition and construction of the new dwelling, in accordance with this approval, shall be completed no later than November 30, 2023. If the alterations are not completed by November 30, 2023, then this approval expires as of that date and no alterations shall be undertaken without a new approval issued by the City of Hamilton;
 - (ii) That material specifications for the wood cladding proposed for the new dwelling and front of the new garage and cladding for the proposed addition be consistent with the Hamilton Beach Heritage Conservation District (HCD) guidelines and submitted for review, to the satisfaction and approval of the Director of Planning and Chief Planner, prior to submission as part of any application for a Building Permit and / or the commencement of any alterations;

OUR Vision: To be the best place to raise a child and age successfully.

OUR Mission: To provide high quality cost conscious public services that contribute to a healthy, safe and prosperous community, in a sustainable manner.

OUR Culture: Collective Ownership, Steadfast Integrity, Courageous Change, Sensational Service, Engaged Empowered Employees.

- (iii) That the existing leaded glass window in the front gable be salvaged prior to demolition and reincorporated into the front gable of the new dwelling;
- (iv) That the existing wrought iron fence in the front yard be repaired and maintained in its current location;
- (b) That appropriate notice of the Council decision be served on the owner of 983 Beach Boulevard, Hamilton, as required under Section 42 of the *Ontario Heritage Act*.

EXECUTIVE SUMMARY

The subject property is located at 983 Beach Boulevard, Hamilton on the east side of Beach Boulevard, south of Pandora Avenue (see Appendix “A” attached to Report PED21208). The property is designated under Part V of the *Ontario Heritage Act* as it is located within the Hamilton Beach Heritage Conservation District (HCD) by By-law No. 00-135 (see Appendix “B” attached to Report PED21208).

Staff concur with the advice of the HPRS and recommend that the Heritage Permit Application HP2021-044 to demolish and construct a new single detached dwelling for the lands known as 983 Beach Boulevard be approved, as discussed below.

In 2019, the applicant had applied for a Heritage Permit (HP2019-027) to demolish an addition at the rear of the dwelling and a garage addition, neither of which were original to the property. The applicant’s intention at the time was to retain and restore the original portion of the dwelling while constructing a new addition at the rear. This Heritage Permit was granted approval on September 3, 2019 and the development proposal was subject to Site Plan Control Application (DAB-19-135 reissued as DAB-20-110) which received final approval on November 10, 2020.

Since the approval in 2019, demolition work associated with Heritage Permit HP2021-027 has identified several structural deficiencies in the foundation of the original building, compromising its integrity. As a result, the agent representing the owner of 983 Beach Boulevard submitted a Heritage Permit Application proposing to demolish the original portion of the dwelling due to these unforeseen structural deficiencies.

The Heritage Permit Review Subcommittee (HPRS) of the Hamilton Municipal Heritage Committee (HMHC) were consulted at the September 21, 2021 meeting and were supportive of the application as submitted. Staff have also reviewed the submitted documentation and are of the opinion that the proposed demolition and new construction is warranted and supportable based on the evidence provided by the qualified consultants.

Alternatives for Consideration – See Page 8

FINANCIAL – STAFFING – LEGAL IMPLICATIONS

Financial: N/A

Staffing: N/A

Legal: Given the property’s designation under Part V of the *Ontario Heritage Act*, this Heritage Permit Application has been processed and considered within the context of the applicable legislation, as per the date in which the application was submitted to the City of Hamilton (September 6, 2021). This application follows Section 42 of the *Ontario Heritage Act* for demolition of a Part V designated property and construction of a new single detached dwelling within the Heritage Conservation District.

Section 42 (1) of the *Ontario Heritage Act* states that:

“No owner of property situated in a heritage conservation district that has been designated by a municipality under this Part shall do any of the following, unless the owner obtains a permit from the municipality to do so:

- (1) Alter, or permit the alteration of, any part of the property, other than the interior of any structure or building on the property; and,
- (2) Erect, demolish or remove any building or structure on the property or permit the erection, demolition or removal of such a building or structure. 2005, c. 6, s. 32 (1).”

Section 42 (4) of the *Ontario Heritage Act* states that:

“Within 90 days after the notice of receipt is served on the applicant under Subsection (3) or within such longer period as is agreed upon by the applicant and the council, the council may give the applicant,

- (a) The permit applied for;
- (b) Notice that the council is refusing the application for the permit; or,
- (c) The permit applied for, with terms and conditions attached. 2005, c. 6, s. 32 (3).”

The City’s Heritage Permit process follows the legislative process required by the *Ontario Heritage Act* in relation to the requirement for Council approval to consent to

demolition or removal of a building or structure designated under Part IV or V of the *Ontario Heritage Act*.

The Heritage Permit Application (HP2021-044) was received on September 6, 2021 and the Notice of Receipt was issued on September 15, 2021. The *Ontario Heritage Act* requires that Council make a decision on a Heritage Permit Application within 90 days of the issuance of a Notice of Receipt. If no decision is reached within the 90-day timeframe, Council shall be deemed to consent to the application. The subject application's 90-day timeframe will be reached on December 5, 2021.

HISTORICAL BACKGROUND

The subject property was designated under Part V of the *Ontario Heritage Act* in 2000 as part of the Hamilton Beach HCD by By-law No. 00-135. The HCD Plan area was historically known as a lakeside community with a long, rich history of human settlement, hunting and fishing grounds, as well as an important travel route around the lake. The HCD Plan area has an eclectic mix of single detached dwellings, many still reminiscent of the original summer cottage and seasonal homes constructed along the beach strip in the early twentieth century.

The dwelling located at 983 Beach Boulevard was built in 1920 as a seasonal cottage/summer residence. It is a one-storey single detached dwelling, constructed of conventional wood framing, clad with painted pebble dash stucco which is believed to have covered original wood shiplap siding. The dwelling remains quite simple, lacking any decorative wooden detailing, ornamental craftsmanship, porches or verandahs that were common features identified within the HCD Plan. The interior of the dwelling has been significantly modified over time with very few original features still present. The dwelling's architectural design, scale and massing compliments the character of the HCD Plan area, while contributing to the understanding of the community as a historic beach strip and vacation destination.

Over time, various additions were made to the original structure including a one-storey rear living space and one-and-a-half storey attached garage. These additions were sympathetic in scale and clad in similar materials to complement the original cottage structure. In 2019, the applicant received Site Plan and Heritage Permit approval to demolish the rear addition and attached garage to make way for a new addition and detached garage. This proposal is in keeping with that approval. Earlier this year, demolition of these sections of building was completed, exposing the structural deficiencies of the original cottage portion, resulting in the current request to demolish and construct a new single detached dwelling on exact footprint of the existing structure, with minor expansion of the garage footprint.

POLICY IMPLICATIONS AND LEGISLATED REQUIREMENTS

Urban Hamilton Official Plan

Volume 1, Chapter B, Section 3.4.6.3-5 of the Urban Hamilton Official Plan (UHOP) speaks to Heritage Conservation Districts and states that “the City may in accordance with the Ontario Heritage Act by by-law prohibit or set limitations with respect to property alteration, erection, demolition, or removal of buildings or structures, or classes of buildings or structures, within the heritage conservation district study area.”

While the intent of the Official Plan policies pertaining to cultural and built heritage is to ensure the preservation and conservation of these resources and demolition being a last resort, there are certain situations in which preservation cannot be achieved. Staff review each application on its own merits and policies set out a number of requirements in order to ensure the proposal is adequately and appropriately assessed by qualified candidates. Demolition of heritage resources is seen as a last resort, however, based on the assessment provided through supporting documentation, staff are of the opinion that the applicant has demonstrated that the proposed reconstruction is in keeping with the overall intent of the Official Plan.

RELEVANT CONSULTATION

Previous Applications

In 2019, a Heritage Permit Application (HP2019-027) was submitted for the subject property. The applicant proposed to extensively renovate and restore the existing original cottage, demolish the existing rear addition and garage, and construct a new two-storey addition at the rear and a new detached garage. This Heritage Permit Application was granted approval on September 3, 2019. A subsequent Site Plan Control Application (DAB-19-035 reissued as DAB-20-110) was approved on November 10, 2020 for the above noted scope of work. This proposal is consistent with the plans approved through the Site Plan Control Application as the constructed dwelling will generally maintain the same setbacks, massing, finished floor elevation and dimensions of the existing structure. The new dwelling will be required to comply with the Zoning By-law and a detailed zoning review will be done at the Building Permit stage.

Heritage Permit Review Subcommittee

Pursuant to Section 28 (1) of the *Ontario Heritage Act* and the Council approved Heritage Permit Process (Report PED05096), the HMHC advises and assists Council on matters relating to Part IV and V of the *Ontario Heritage Act*.

SUBJECT: Heritage Permit Application HP2021-044, under Part V of the *Ontario Heritage Act* for the demolition of 983 Beach Boulevard, Hamilton (PED21208) (Ward 5) - Page 6 of 9

The HPRS of the HMHC reviewed the subject application at the September 21, 2021 meeting. After a presentation and question and answer period with the applicant's project team, the Subcommittee passed a motion to recommend approval of the application as submitted, subject to the following conditions:

- (a) Implementation of the demolition, in accordance with this approval, shall be completed no later than November 30, 2023. If the alterations are not completed by November 30, 2023, then this approval expires as of that date and no alterations shall be undertaken without a new approval issued by the City of Hamilton;
- (b) That material specifications for the wood cladding proposed for the reconstructed dwelling and front of the new garage and cladding for the proposed addition be consistent with the Hamilton Beach HCD guidelines and submitted for review, to the satisfaction and approval of the Director of Planning and Chief Planner, prior to submission as part of any application for a Building Permit and / or the commencement of any alterations; and,
- (c) That the existing leaded glass window in the front gable be salvaged prior to demolition and reincorporated into the front gable of the new dwelling.

Staff are in agreement with the recommendations of the HPRS and the above noted conditions are reflected in Recommendations (a)(i-iii). Staff added a fourth recommendation pertaining to the repair and maintenance of the existing wrought iron fence.

ANALYSIS AND RATIONALE FOR RECOMMENDATION

The Heritage Permit Application (HP2021-044) is seeking approval to demolish the one-storey wooden frame dwelling as a result of significant structural deficiencies. In support of the application, the following documents were submitted:

- Completed Heritage Permit Application form;
- Cultural Heritage Impact Assessment, prepared by Giaimo Architects, dated August 31, 2021;
- Structural Engineering Report, prepared by Hamann Engineering Structural Consultants Ltd., dated June 14, 2021 (see Appendix "C" attached to Report PED21208); and,
- Revised Plans, prepared by Way Back Architects, revision date July 21, 2021 (see Appendix "D" attached to Report PED21208).

Key factors that are considered in the evaluation of any change affecting a heritage resource are:

- **Displacement effects:** those adverse actions that result in the damage, loss, or removal of valued heritage features; and,
- **Disruption effects:** those actions that result in detrimental changes to the setting or character of the heritage feature.

In consideration of any Heritage Permit Application, staff must assess the impact of the displacement and disruption effects on the heritage resources. No heritage attributes for the subject property are identified but the proposal was assessed against the guidelines of the HCD Plan, while taking into account the recommendations of the supporting documentation and initial desire and intent of the owner to maintain the original dwelling given their appreciation of the structure.

As part of the supporting documentation, the Structural Engineering Report provided a detailed assessment and images of the issues compromising the building's structural integrity. The report noted that the dwelling was constructed in a manner that was typical for an unheated summer residence at that time. As a result, the foundation was built using timber posts or log sections situated directly on the insitu beach sand subsoil with no exterior foundation walls. Over time, the moisture and weather conditions have resulted in deterioration and decay of the timber posts. In an attempt to add support and shore the floor framing and exterior walls of the dwelling, masonry block piers were added below the dwelling. These piers were loosely laid on the beach sand subsoil and have since shifted, resulting in alignment issues with the framing. Due to the initial foundation's construction method, use of materials, in addition to exposure to natural elements and ground movement over the past 100 years, the building's structural integrity has significantly been compromised and restoration/preservation is deemed to be not repairable without demolition by the Structural Engineer. Staff agree with the findings of the Structural Engineering Report.

While the proposal would result in the displacement of the original structure, reconstruction will maintain the overall built form and design that currently exists, as per the approved Site Plan (DAB-19-035/DAB-20-110) which will ensure safe on-site conditions while maintaining the character within the HCD. Given the level of structural deficiencies documented through the Structural Engineer's Report and the Cultural Heritage Impact Assessment, the overall displacement and replacement is the most suitable and appropriate option in staff's opinion.

Minimal disruption effects are expected to the overall heritage context of the HCD Plan area as the applicant is seeking to reconstruct a dwelling that will be consistent with what exists on site today while ensuring appropriate scale, massing, detailing, materials

and visual impact, as per the approved Site Plan. Recommendations a) i) – iii) of Report PED21208 set out requirements to ensure that the new structure is constructed in a manner that reduces the overall disruption effects as a result of the proposal. In particular, the applicant is required to:

- Utilize building materials that are compatible with the character of the Hamilton Beach HCD while reinstating wood shiplap siding on the exterior of the reconstructed portion of the building, consistent with what was originally used;
- Restore the existing wrought iron fence around the perimeter of the front yard; and,
- Salvage and reuse the existing leaded glass window in the front gable.

all of which assist in contributing to the overall character of the property within the HCD Plan area.

(3) Conclusions:

Based on the review of the submission documents, Staff are of the opinion that Heritage Permit Application HP2021-044 can be supported as the existing condition of the dwelling is rapidly deteriorating due to the original construction of the building as a summer, seasonal cottage. While demolition and new construction is not a desired outcome for a heritage resource, the supporting documentation clearly indicate a significant concern for the safety on-site, as well as the feasibility for any rehabilitation. Staff are satisfied that the proposal will be in keeping with the character and overall intent of the HCD Plan and therefore recommend that the Heritage Permit application be approved with the outlined recommendations.

ALTERNATIVES FOR CONSIDERATION

(1) Refuse the Heritage Permit Application.

HMHC may advise Council to refuse this application. This is not being recommended.

(2) Approve the Heritage Permit with Additional or Amended Conditions.

HMHC may advise Council to approve this application with additional or amended conditions of approval. This is not being recommended.

(3) Approve the Heritage Permit with No Conditions.

HMHC may advise Council to approve this application with no conditions. This alternative is not recommended.

ALIGNMENT TO THE 2016 – 2025 STRATEGIC PLAN

Healthy and Safe Communities

Hamilton is a safe and supportive City where people are active, healthy, and have a high quality of life.

Culture and Diversity

Hamilton is a thriving, vibrant place for arts, culture, and heritage where diversity and inclusivity are embraced and celebrated.

APPENDICES AND SCHEDULES ATTACHED

Appendix “A” to Report PED21208 - Location Map

Appendix “B” to Report PED21208 - By-law No. 00-135

Appendix “C” to Report PED21208 - Structural Engineering Report, prepared by
Hamann Engineering Structural Consultants Ltd.

Appendix “D” to Report PED21208 - Proposed Plans, prepared by WayBack Architects

SK:sd

Inventory & Research Working Group (IRWG)

Meeting Notes

Monday, August 23, 2021 (6 pm)
City of Hamilton WebEx Virtual Meeting

Members Present: Janice Brown (Chair); Ann Gillespie (Acting Secretary); Graham Carroll; Chuck Dimitry; Lyn Lunsted; Alissa Denham-Robinson.

Regrets: Brian Kowalesicz; Jim Charlton; Rammy Saini

Staff Present: Cultural Heritage Planners Chloe Richer and Stacey Kursikowski; Hannah Kosziwka (University of Waterloo Student Intern)

Regrets: Amber Knowles, Cultural Heritage Planner

RECOMMENDATIONS

THE INVENTORY & RESEARCH WORKING GROUP (IRWG) RECOMMENDS THE FOLLOWING TO THE HAMILTON MUNICIPAL HERITAGE COMMITTEE:

1. 537 KING STREET EAST, HAMILTON

The IRWG recommends that **537 King Street East, Hamilton** be added to the Municipal Heritage Register and to the staff work plan for heritage designation under the *Ontario Heritage Act*.

The following represents a summary of the key reasons for our recommendation. Complete details can be found in the attached Built Heritage Inventory Form, Preliminary Evaluation, and supporting documentation.

Key Reasons for Recommendation:

537 King Street East, formerly known as Rebels Rock Tavern, is a unique example of late Victorian residential architecture with Queen Anne influences. Its hexagonal tower is not found on any neighbouring houses or in close proximity to this residence. It displays rare artistic adornments, notably, terra cotta inserts above and below most windows, in brick courses and below the upper windows arranged in a decorative panel. The building also has an unusual window opening with the chimney on the east side.

2. 99 CREIGHTON ROAD, DUNDAS

The IRWG recommends that **99 Creighton Road, Dundas** be added to the Municipal Heritage Register.

The following represents a summary of the key reasons for our recommendation.

Complete details can be found in the attached Built Heritage Inventory Form, Preliminary Evaluation, and supporting documentation.

Key Reasons for Recommendation:

The Greening Wire Works was founded in 1853 by Timothy (1816–1900) and Nathaniel (1828–1919) Greening as a small operation fabricating wire mesh on Hatt Street in Dundas. The site at the north-east corner of Creighton Road (now #99) and Governor’s Road was its third location, where a small factory, allegedly the first concrete building in Dundas, was erected around 1875. The business, by then known as the T. Greening Wire Works and later Timothy Greening and Sons, remained in Dundas until 1894 when it relocated to Chatham. The Dundas operation was a small-scale offshoot of the much larger B. Greening Wireworks established in 1859 by Timothy’s brother Benjamin Greening in Hamilton. By the mid-20th century, this wire-manufacturing facility had grown into one of the city’s major industries, offering a wide range of wire products including rope and screens, with branch plants in Midland and Oshawa.

The key historical figure connecting the Dundas and Hamilton operations was John Maw (1841–1920). In 1865, he and James Littler established the firm of Littler, Maw and Co. to manufacture iron and woodworking machinery; their factory was known as the Dundas Tool Works. This business ended with John Maw as the sole proprietor around 1887–88 after which he was employed by the B. Greening Wireworks as superintendent. John Maw acquired the T. Greening Wire Works property around 1904, after which he converted the factory into two residential units, which in more recent years has served as a retirement residence. His own home, a substantial late 19th century brick residence, survives today at 223 Governor’s Road and is situated at the top of the hill overlooking 99 Creighton Road.

The building at 99 Creighton Road is historically important due to its association with an important local business, the T. Greening Wire Works, and John Maw, a prominent Dundas entrepreneur with later connections to the B. Greening Wireworks. The former factory may have architectural significance if the claim that it was the first concrete building in Dundas could be substantiated. The property is linked historically with its surroundings through the connection of John Maw to both the building at 99 Creighton Road and the residence owned for many years by the Maw family at 223 Governor’s Road.

NOTES

1. Chair’s Remarks

Janice welcomed all present.

2. Declarations of Interest

There were none.

3. Review and Approval of Meeting Notes – June 21, 2021

The notes were approved with two minor amendments (moved by Graham; seconded by Lyn)

4. Staff Presentation – Pre-2002 Designations and Other Municipal Approaches to Updating Old Designation By-laws (Chloe and Stacey)

BACKGROUND: See item 4 of the Meeting Notes for June 23, 2021. To follow-up, staff prepared two documents: a List of pre-2002 Designation By-laws with links to the by-laws and a By-law Update Process table (attached), which documented how other municipalities have updated older and vaguer designation by-laws or how/ if they plan to do so, as well as their approach to handling Heritage Permits: which ones are delegated to staff and which ones are forwarded to their municipal heritage committees. These two reports were put together by Hannah Kosziwka and made available for review prior to the meeting. The pre-2002 list of by-laws covering all the former six municipalities of the amalgamated City of Hamilton is extensive and includes about 200 properties.

Chloe Richer explained that to gather information for the By-law Update Process table, she had contacted the Ontario Heritage Trust, which maintains a list of all Heritage Planners in Ontario. Eight municipalities of varying sizes responded to Chloe's inquiry, based on the questions put together by the IRWG at its June meeting.

The updating of pre-2002 by-laws varied significantly and depended to some extent on the size of the municipality. In terms of the Heritage Permit review process for these early designations, most leaned towards issuing a permit for any exterior alterations on the assumption that this covered all significant heritage attributes even though they were not specifically identified. Stacey Kursikowski explained that the preliminary table is a work-in-progress that would continue to be expanded and refined.

COMMENTS AND QUESTIONS

- The I&RWG needs some clear direction to move forward with a plan for updating the long list of pre-2002 properties.
- How do we differentiate between minor and major alternations in terms of the approval of Heritage Permits?
- Would minor alterations be considered ongoing maintenance work such as repointing of masonry and repainting of woodwork and should minor alterations of this nature be delegated to staff?
- Did any other municipality receive direction from its Council?
- It was suggested that we make a high priority list, given the number of by-laws involved.
- It was agreed that staff should continue with their research and provide an

update at the next IRWG meeting on September 27th.

- It was also agreed that HMHC should be made aware of this initiative of the IRWG, working with the assistance of Cultural Heritage Planning staff.

5. Heritage Register Request – 537 King Street East, Hamilton (Graham)

BACKGROUND: On August 15, 2021, a message was sent by Devy Thomson to Amber Knowles to request that this property be added to the Heritage Register. It is a 2½ storey late Victorian (Queen Anne style) brick residence featuring an unusual hexagonal corner tower and distinctive terra cotta detailing. The building housed the Rebel's Rock Irish Pub for about 20 years; however, the owners retired in July and the business was closed. The property was subsequently sold to a developer, leading Devyn to express concern that the intent may be to demolish the residence, as was the case with two other houses located nearby on King Street East. Graham Carroll and Janice Brown subsequently visited and photographed the property.

Graham presented his completed Built Heritage Inventory Form and Preliminary Evaluation and showed the group numerous photos, making a strong case that this property was both worthy of listing on the Heritage Register and OHA designation. He noted that houses with turrets were rare in the east end of Hamilton, and had so far found only five, all located in the Gage Park area. In contrast, they were much more common in the wealthier neighbourhoods, such as Durand, notable for its grand mansions, a number of which feature impressive turrets.

COMMENTS QUESTIONS

- Could the real estate agent who sold the property be contacted to find out if they are aware of any plans which might pose a threat to the building?
- Should the Gibson and Landsdale Neighbourhood Association also be contacted for more information in this regard?

All members and staff present supported Graham's heritage evaluation and the above recommendation will be made to the Hamilton Municipal Heritage Committee.

6. Status of 99 Creighton Road, Dundas (Chloe and Ann)

BACKGROUND: See item 5a) of the Meeting Notes for June 23, 2021.

At a formal consultation (May 20, 2021) with the owner, Elite Developments, Chloe requested that a Cultural Heritage Impact Assessment (CHIA) be completed for the property at 99 Creighton Road, which has not yet been submitted.

Ann Gillespie advised that since the last meeting she had completed a Built Heritage Inventory Form and Preliminary Evaluation for the property at 99 Creighton Road but was still working on her background documentation report. For two reasons, she was unable, at the present time, to find sufficient grounds to check off any of the Physical/ Design Value criteria. Firstly, the original 1875 factory built to house the T.

Greening Wireworks has been transformed beyond recognition by turn-of-the-century alterations and additions to convert the building into two residential units. Secondly, she could find no documentation to verify the concrete construction (most likely in block form) of the original building, now entirely obscured by its stucco finish. However, with access to the building interior, the researcher preparing the CHIA should be able to shed light on the construction material but may still find no evidence that it was the first concrete building in Dundas, as claimed by one unreferenced written source (see accompanying background documentation). In terms of the Historical/ Associative Value criteria, she concluded that the property has direct associations with an important local business, the T. Greening Wireworks, and a prominent Dundas businessman John Maw, whose partnership with John Littler (Littler, Maw & Co.) owned the Dundas Tool Works. Committee members supported her evaluation and it was agreed to recommend that the property at 99 Creighton Road be added to the Heritage Register (see above recommendation).

7. Meeting Adjournment: 7:40 p.m.

8. Next Meeting: Monday, September 27, 2021, 6 p.m (WebEx Online)



BUILT HERITAGE INVENTORY FORM

Address _____ Community _____

Also known as _____ Legal Description _____

P.I.N. _____ Roll No. _____ Ward _____ Neighbourhood _____

Heritage Status: Inventory Registered Designated (Part IV / Part V) Easement (City / OHT) NHS
 HCD (if applicable): _____ Cultural Heritage Landscape (if applicable): _____

Property Status (Observed): Occupied Building Vacant Building Vacant Lot Parking Lot

Integrity: Preserved / Intact Modified Compromised Demolished (date) _____

Construction Period: Pre 1867 1868-1900 1901-1939 1940-1955 1956-1970 Post 1970
 Year (if known) _____ Architect / Builder / Craftsperson (if known) _____

Massing: Single-detached Semi-detached, related Semi-detached, unrelated Row, related Row, unrelated Other _____

Storeys: 1 1 ½ 2 2 ½ 3 3 ½ 4 or more Irregular Other _____

Foundation Construction Material: Stone Brick Concrete Wood Other _____ Finish: _____

Building Construction Material: Brick Frame (wood) Stone Log Other _____ Finish: _____

Building Cladding: Wood Stone Brick Stucco Synthetic Other _____ Finish: _____

Roof Type: Hip Flat Gambrel Mansard Gable Other _____ Type: _____

Roof Materials: Asphalt Shingle Wood Shingle Slate Tile/Terra Cotta Tar/Gravel Metal Other _____

Architectural Style / Influence:

- | | | | | |
|---|---|---|--|--|
| <input type="checkbox"/> Art Deco / Moderne
(1920s-1950s) | <input type="checkbox"/> Craftsman / Prairie
(1900s-1930s) | <input type="checkbox"/> International
(1930-1965) | <input type="checkbox"/> Ontario Cottage
(1840-1900) | <input type="checkbox"/> Romanesque Revival
(1850-1910) |
| <input type="checkbox"/> Beaux-Arts Classicism
(1900-1945) | <input type="checkbox"/> Colonial Revival
(1900-Present) | <input type="checkbox"/> Italian Villa
(1830-1900) | <input type="checkbox"/> Period Revivals
(1900-Present) | <input type="checkbox"/> Second Empire
(1860-1900) |
| <input type="checkbox"/> Bungalow
(1900-1945) | <input type="checkbox"/> Edwardian
(1900-1930) | <input type="checkbox"/> Italianate
(1850-1900) | <input type="checkbox"/> Post-Modern
(1970-Present) | <input type="checkbox"/> Vernacular |
| <input type="checkbox"/> Classical Revival
(1830-1860) | <input type="checkbox"/> Georgian / Loyalist
(1784-1860) | <input type="checkbox"/> Neo-Classical
(1800-1860) | <input type="checkbox"/> Queen Anne
(1880-1910) | <input type="checkbox"/> Victory Housing
(1940-1950) |
| <input type="checkbox"/> Chateau
(1880-1940) | <input type="checkbox"/> Gothic Revival
(1830-1900) | <input type="checkbox"/> Neo-Gothic
(1900-1945) | <input type="checkbox"/> Regency
(1830-1860) | <input type="checkbox"/> 1950s Contemporary
(1945-1965) |
| <input type="checkbox"/> Other | | | | |

Notable Building Features:

- Porch: _____ Sill(s): _____ Tower/Spire Bargeboard Eaves: _____
- Verandah: _____ Lintel(s): _____ Dome Transom Verges: _____
- Balcony: _____ Shutters: _____ Finial Side light Dormer: _____
- Door(s) : _____ Quoins: _____ Pilaster Pediment Chimney: _____
- Stairs: _____ Voussoirs: _____ Capital Woodwork Parapet: _____
- Fire wall: _____ Cornice: _____ Panel Date stone Bay: _____
- Windows: _____ Column Cresting Other _____

Notes:

Context:

- Historic Context Statement: Yes No Name of HCS Area: _____
- Streetscape (Residential / Commercial) Terrace / Row Complex / Grouping Landmark
- Multi-address parcel (list addresses): _____ Other _____
- Related buildings: _____

Plan: Square Rectangular L U T H Cross Irregular Other _____

Wings: _____ **Setback:** Shallow Deep At ROW Other _____ Corner Lot

Accessory Features and Structures:

- Features (e.g. stone wall, fountain): _____ Structures (e.g. shed, outbuilding): _____
- _____

Additional Notes:

Related Files: _____

Fire Insurance Mapping:

Additional Documentation and Research Attached (if applicable):

Surveyed by:	Date:	Survey Area:
Staff Reviewer:	Date:	

PRELIMINARY EVALUATION

Physical / Design Value:	
<input type="checkbox"/>	The property's style, type or expression is: <input type="checkbox"/> rare <input type="checkbox"/> unique <input type="checkbox"/> representative <input type="checkbox"/> early
<input type="checkbox"/>	The property displays a high degree of: <input type="checkbox"/> craftsmanship <input type="checkbox"/> artistic merit
<input type="checkbox"/>	The property demonstrates a high degree of: <input type="checkbox"/> technical achievement <input type="checkbox"/> scientific achievement
Historical / Associative Value:	
<input type="checkbox"/>	The property has direct associations with a potentially significant: <input type="checkbox"/> theme <input type="checkbox"/> event <input type="checkbox"/> belief <input type="checkbox"/> person <input type="checkbox"/> activity <input type="checkbox"/> organization <input type="checkbox"/> institution
<input type="checkbox"/>	The property yields, or has the potential to yield, information that contributes to an understanding of a community or culture
<input type="checkbox"/>	The property demonstrates or reflects the work or ideas of a potentially significant: <input type="checkbox"/> architect <input type="checkbox"/> artist <input type="checkbox"/> builder <input type="checkbox"/> designer <input type="checkbox"/> theorist
Contextual Value:	
<input type="checkbox"/>	The property is important in: <input type="checkbox"/> defining <input type="checkbox"/> maintaining <input type="checkbox"/> supporting the character of the area
<input type="checkbox"/>	The property is linked to its surroundings: <input type="checkbox"/> physically <input type="checkbox"/> functionally <input type="checkbox"/> visually <input type="checkbox"/> historically
<input type="checkbox"/>	The property is a landmark

<p>Classification:</p> <p><input type="checkbox"/> Significant Built Resource (SBR)</p> <p><input type="checkbox"/> Character-Defining Resource (CDR)</p> <p><input type="checkbox"/> Character-Supporting Resource (CSR)</p> <p><input type="checkbox"/> Inventory Property (IP)</p> <p><input type="checkbox"/> Remove from Inventory (RFI)</p> <p><input type="checkbox"/> None</p>

<p>Recommendation:</p> <p><input type="checkbox"/> Add to Designation Work Plan</p> <p><input type="checkbox"/> Include in Register (Non-designated)</p> <p><input type="checkbox"/> Remove from Register (Non-designated)</p> <p><input type="checkbox"/> Add to Inventory – Periodic Review</p> <p><input type="checkbox"/> Inventory – No Further Review (Non-extant)</p> <p><input type="checkbox"/> No Action Required</p>
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Evaluated by:	Date:
HMHC Advice:	Date
Planning Committee Advice:	Date:
Council Decision:	Date:
Database/GIS Update:	AMANDA Update:

537 King street east, formerly known as Rebels Rock Tavern is a unique example of Late Victorian with Queen Anne influences. The hexagonal tower is not found on any neighbouring structures or in close proximity to the home. The home displays rare artistic adornments by having terra cotta inserts above and below most windows, in brick courses and below the upper windows arranged in a decorative panel. The home also has an unusual widow opening with the chimney on the east side. This unique home merits protection by being placed on the Heritage Register and the Designation Work Plan







Terra Cotta on east facade



Terra Cotta Panel on south side of tower



Window opening within chimney.



East Facade



West side window with Voussoirs



BUILT HERITAGE INVENTORY FORM

Address _____ Community _____

Also known as _____ Legal Description _____

P.I.N. _____ Roll No. _____ Ward _____ Neighbourhood _____

Heritage Status: Inventory Registered Designated (Part IV / Part V) Easement (City / OHT) NHS
 HCD (if applicable): _____ Cultural Heritage Landscape (if applicable): _____

Property Status (Observed): Occupied Building Vacant Building Vacant Lot Parking Lot

Integrity: Preserved / Intact Modified Compromised Demolished (date) _____

Construction Period: Pre 1867 1868-1900 1901-1939 1940-1955 1956-1970 Post 1970
 Year (if known) _____ Architect / Builder / Craftsperson (if known) _____

Massing: Single-detached Semi-detached, related Semi-detached, unrelated Row, related Row, unrelated Other _____

Storeys: 1 1 ½ 2 2 ½ 3 3 ½ 4 or more Irregular Other _____

Foundation Construction Material: Stone Brick Concrete Wood Other _____ Finish: _____

Building Construction Material: Brick Frame (wood) Stone Log Other _____ Finish: _____

Building Cladding: Wood Stone Brick Stucco Synthetic Other _____ Finish: _____

Roof Type: Hip Flat Gambrel Mansard Gable Other _____ Type: _____

Roof Materials: Asphalt Shingle Wood Shingle Slate Tile/Terra Cotta Tar/Gravel Metal Other _____

Architectural Style / Influence:

- | | | | | |
|---|---|---|--|--|
| <input type="checkbox"/> Art Deco / Moderne
(1920s-1950s) | <input type="checkbox"/> Craftsman / Prairie
(1900s-1930s) | <input type="checkbox"/> International
(1930-1965) | <input type="checkbox"/> Ontario Cottage
(1840-1900) | <input type="checkbox"/> Romanesque Revival
(1850-1910) |
| <input type="checkbox"/> Beaux-Arts Classicism
(1900-1945) | <input type="checkbox"/> Colonial Revival
(1900-Present) | <input type="checkbox"/> Italian Villa
(1830-1900) | <input type="checkbox"/> Period Revivals
(1900-Present) | <input type="checkbox"/> Second Empire
(1860-1900) |
| <input type="checkbox"/> Bungalow
(1900-1945) | <input type="checkbox"/> Edwardian
(1900-1930) | <input type="checkbox"/> Italianate
(1850-1900) | <input type="checkbox"/> Post-Modern
(1970-Present) | <input type="checkbox"/> Vernacular |
| <input type="checkbox"/> Classical Revival
(1830-1860) | <input type="checkbox"/> Georgian / Loyalist
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(1800-1860) | <input type="checkbox"/> Queen Anne
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(1940-1950) |
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(1880-1940) | <input type="checkbox"/> Gothic Revival
(1830-1900) | <input type="checkbox"/> Neo-Gothic
(1900-1945) | <input type="checkbox"/> Regency
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- Verandah: _____ Lintel(s): _____ Dome Transom Verges: _____
- Balcony: _____ Shutters: _____ Finial Side light Dormer: _____
- Door(s) : _____ Quoins: _____ Pilaster Pediment Chimney: _____
- Stairs: _____ Voussoirs: _____ Capital Woodwork Parapet: _____
- Fire wall: _____ Cornice: _____ Panel Date stone Bay: _____
- Windows: _____ Column Cresting Other _____

Notes:

Context:

- Historic Context Statement: Yes No Name of HCS Area: _____
- Streetscape (Residential / Commercial) Terrace / Row Complex / Grouping Landmark
- Multi-address parcel (list addresses): _____ Other _____
- Related buildings: _____

Plan: Square Rectangular L U T H Cross Irregular Other _____

Wings: _____ **Setback:** Shallow Deep At ROW Other _____ Corner Lot

Accessory Features and Structures:

- Features (e.g. stone wall, fountain): _____ Structures (e.g. shed, outbuilding): _____
- _____

Additional Notes:

Related Files: _____

Fire Insurance Mapping:

Additional Documentation and Research Attached (if applicable):

Surveyed by:	Date:	Survey Area:
Staff Reviewer:	Date:	

PRELIMINARY EVALUATION

Physical / Design Value:	
<input type="checkbox"/>	The property's style, type or expression is: <input type="checkbox"/> rare <input type="checkbox"/> unique <input type="checkbox"/> representative <input type="checkbox"/> early
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<input type="checkbox"/>	The property demonstrates a high degree of: <input type="checkbox"/> technical achievement <input type="checkbox"/> scientific achievement
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<input type="checkbox"/>	The property has direct associations with a potentially significant: <input type="checkbox"/> theme <input type="checkbox"/> event <input type="checkbox"/> belief <input type="checkbox"/> person <input type="checkbox"/> activity <input type="checkbox"/> organization <input type="checkbox"/> institution
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<input type="checkbox"/>	The property is important in: <input type="checkbox"/> defining <input type="checkbox"/> maintaining <input type="checkbox"/> supporting the character of the area
<input type="checkbox"/>	The property is linked to its surroundings: <input type="checkbox"/> physically <input type="checkbox"/> functionally <input type="checkbox"/> visually <input type="checkbox"/> historically
<input type="checkbox"/>	The property is a landmark

<p>Classification:</p> <p><input type="checkbox"/> Significant Built Resource (SBR)</p> <p><input type="checkbox"/> Character-Defining Resource (CDR)</p> <p><input type="checkbox"/> Character-Supporting Resource (CSR)</p> <p><input type="checkbox"/> Inventory Property (IP)</p> <p><input type="checkbox"/> Remove from Inventory (RFI)</p> <p><input type="checkbox"/> None</p>

<p>Recommendation:</p> <p><input type="checkbox"/> Add to Designation Work Plan</p> <p><input type="checkbox"/> Include in Register (Non-designated)</p> <p><input type="checkbox"/> Remove from Register (Non-designated)</p> <p><input type="checkbox"/> Add to Inventory – Periodic Review</p> <p><input type="checkbox"/> Inventory – No Further Review (Non-extant)</p> <p><input type="checkbox"/> No Action Required</p>
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Evaluated by:	Date:
HMHC Advice:	Date
Planning Committee Advice:	Date:
Council Decision:	Date:
Database/GIS Update:	AMANDA Update:

Former Blackadar Retirement Residence, 99 Creighton Road (north-east corner of Governor's Road and Creighton Road)

Preliminary Research by Ann Gillespie, August 2021

Current Status

Attention was first drawn to a proposed residential development in Dundas by *Dundas Star News* reporter Craig Campbell on May 31st, 2021 and posted on Toronto.com: (www.toronto.com/news-story/10405846-dundas-blackadar-property-owner-consults-city-on-proposed-9-storey-development). It will affect the former Blackadar retirement residence at 99 Creighton Street (now vacant and under threat of demolition). The future of the adjacent 56-year-old long-term care facility at 101 Creighton Road remains unclear. Both properties were acquired by Elite Developments in 2021 with the intent of redeveloping the site for a 9-storey, 226-unit residential building. A formal consultation was held with City of Hamilton in May 2021. The two buildings occupy a triangular parcel of land extending from the intersection of Creighton Road and Governor's Road, east to the boundary of the property at 223 Governor's Road and north to a creek adjacent to the former retirement residence.

Historical / Architectural Background

In 1875 or by 1875, there was a building on a much larger site identified as the T. Greening Wire Works in the exact location and with same size and approximately the same shape as the former Blackadar Retirement Residence, as illustrated on the map of Dundas in the 1875 Wentworth County Atlas (below). This map shows a larger triangular parcel of land owned by A. Crosby, extending as far north as Mercer Street. Close to the intersection of Governor's, it shows a long rectangular building situated in the same location and with the same orientation, identified as the T. Greening Wire Works, which leads to the conjecture that it was the same building with numerous later alterations. The first significant additions and alterations were likely made in 1904 (if this date is correct) when the property was converted to two residential units. It may be conjectured that the original factory building had a flat roof and that the existing hipped roof was added at the time of conversion. The bare concrete block walls could have been stuccoed at the same time to give the building a less utilitarian and more residential look. No historic photo of the original wireworks building has yet been located.

The Greening Wire Works was founded in 1853 by Timothy (1816–1900) and Nathaniel (1828–1919) Greening as a small operation fabricating wire mesh on Hatt Street in Dundas. The site at the north-east corner of Creighton Road (now #99 and #101) and Governor's Road was its third location, where a small factory, allegedly the first concrete building (presumably in block form), was erected around 1875. Timothy retired in 1878 and the business was carried on in Dundas by his two sons, Johnson and Charles, until 1894 when the Greening Wire Works was relocated to

Chatham. Timothy remained in Dundas until he passed away in 1900. Nathaniel, after spending sixteen years of retirement in Dundas, moved to Burlington, where he died in 1919.

The concrete factory was converted into two residential units by John Maw around 1904. John Maw is listed in the City of Hamilton Directory for 1878–79 as the manager of a tool and machine works and living on Governor’s Road. The house owned and occupied by John Maw stands at the crest of the hill, now on a separate adjacent lot at 223 Governor’s Road. According to a 1994 Dundas LACAC inventory, it was built in 1865 as a one-storey dwelling which was later expanded to two storeys. In 1896, the residence was owned by J.H. Wilson and was known as “Starfield”*. However, in several Town of Dundas directories for the 1930s, the occupant is listed as H. Maw, retired and in 1967, it was still occupied by a member of the Maw family, identified as living at 223 Governor’s Road.

John Maw (1841–1920) arrived in Dundas about 1860 and first worked as an apprentice machinist at McKechnie & Bertram’s Canada Tool Works. In 1865, he formed a partnership with James Littler (Littler, Maw & Co.) to establish the Dundas Tool Works, where they manufactured iron and woodworking machinery, such as lathes, drills, and planers. The company survived several moves and partnership changes with John Maw left as the sole surviving owner in 1882. The business was closed around 1887-88. During the 1880s he became Superintendent for the B. Greening Wireworks in Hamilton and when he retired in 1906, he joined the company as a director. He married Annabella Thomson in 1864 and had eight children. Son Frank James Maw (1872–1955) joined the B. Greening Wireworks in 1890 and became Chairman of the Board of Directors, retiring in 1955. Daughter Mary Elizabeth Maw (1867–1943) married George Herbert Howard in 1896. Howard had a noteworthy career, which began with an apprenticeship at John Bertram & Sons Co. and ended with his election as a director of this company. The genealogical description states that the “Howard home is now part of the Blackadar Nursing Home”, which implies that he and his wife moved into part of the former factory building converted by John Maw into two residential units.

* This information is derived from the caption for a photo published in *Picturesque Dundas – 1972* (Dundas Historical Society Museum), a reprint of the original 1896 publication; see **Historical Maps and Photos**.

SOURCES (Dundas Museum & Archives)

Maps

Illustrated Historical Atlas of the County of Wentworth, Ont. (Toronto: Page & Smith, 1875: map of the Town of Dundas, pp. 42-43; see **Historical Maps and Photos**.

Map of Dundas by Gordon Jackson on a 1942 base map (original); redrawn by M. Brand, January 2014 (shows the T. Greening Wire Works and the brickworks building); see PDF at the end of this document.

NOTE: The DM&A has a copy of the 1914 Fire Insurance Plan of Dundas, but its geographical area does not extend as far south as the intersection of Creighton and Governor's Road. If it did, the construction materials used for the factory would have been shown.

Directories

Various directories for the Town of Dundas and the City of Hamilton and Vicinity (including Dundas) for available years from 1865 to 1967.

Manuscripts and Transcripts

Former Dundas L.A.C.A.C Inventory, #14 – Governor's Road – Maw residence, 223 Governor's Road.

Lineage of the Maw Family

History of Little, Maw & Co. (Dundas Tool Works)

"Reminiscences of an Old Boy", *Dundas Star* column by W.H. Moss (1920s); see text below.

"History of the Greening Wire Works", manuscript by T. Roy Woodhouse; see text below.

Greening Wireworks Collection

Receipt for sale of wire cloth by T. Greening & Sons Office and Works, Governor's Road, 29 April 1878

Receipt for sale of wire cloth, 7 March 1883.

Letter from T. Greening to a customer, 11 March 1875: referred to Benjamin Greening & Co., Hess Street, Hamilton in response to a request for "Barley Mill Wire".

B. Greening Wireworks – 1959 clipping: *Hamilton Spectator* article by John Robinson

This article marked the 100th anniversary of the founding of the B. Greening Wire Company Ltd. by Benjamin Greening. Known as the Victoria Wire Mills, it was claimed to be the first wire works in Canada. "The company made wire rope, screens, guards, ornamental iron and wire works and drew wire for these and other products." Benjamin remained the owner of the company until his death in 1877. S.O. Greening then assumed ownership and had the company incorporated as a limited liability company. It prospered under his direction and the product line was expanded. In the 1880s, John Maw joined the firm as superintendent, "bringing with him an experience and a driving force that earlier had led him to form his own machine company in Dundas". H.B. Greening succeeded John Maw as superintendent shortly after the turn-of-the century. In 1926, J.L. Maw (or Frank James Maw, son known to have joined the business?) entered the business, followed a year later by S.O. Greening, great-grandson of the founder. In 1945 they were elected vice-presidents in charge of manufacturing operations (Maw) and sales (Greening) respectively. By the 1950s, the plant had been expanded to more than 400,000 square feet with an 80,000 sq. ft. branch facility in Midland and second one in Orangeville, which specialized in the production of heavy gauge wire.

B. Greening Wire Company Limited, *Wire Cloth, Mining and Cement Screen Made from Steel, Iron, Brass, Copper & Phosphor Bronze*, (Hamilton, Ont.: Reid Press, 1918). Hamilton Public Library, Local History and Archives (not currently available as the reading room is not yet open to the public).

Vintage Hamilton – 1947 aerial view showing the B. Greening factory:

www.facebook.com/VintageHamilton/posts/in-this-aerial-image-form-the-local-history-archives-department-hamilton-public-/2549808105037467

“From Reminiscences of an Old Boy”

Timothy Greening, who had a wire works in the brick row just west of the armouries, built the brick house, now the residence of the family of the late John Maw, and also the concrete building facing on the Creighton Road, which was then used as a wire works factory. For some time, a brickyard was operated on the property [west of] the Maw farm on the Governor’s Road facing the Creighton Road. I think Charles Munn was the brick maker. Later for a very short time a brickyard was operated on the property just west of the Maw farm. The bricks in the house and barns built by R. T. Wilson on the hill just north of the park were made there.

“History of the Greening Wire Works”

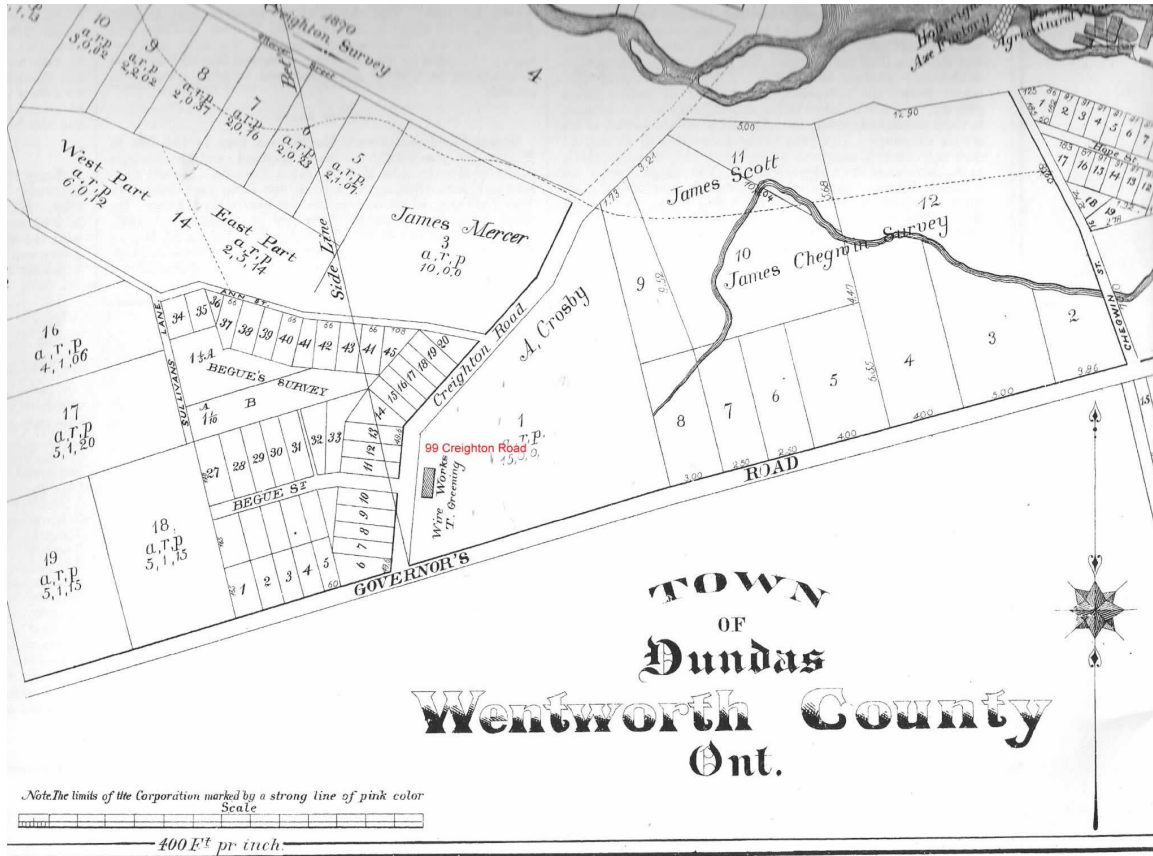
In 1853 Timothy Greening and his half-brother Nathan founded the Greening Wire Works, a modest business in a shed behind Timothy’s home on Hatt Street, where the two brothers worked alone at first. About 1860 they built the large brick building on the north-east corner of Hatt and Matilda Streets, where they employed five men to turn out two thousand square feet of wire mesh per week.

In 1875 they built a new concrete factory, (claimed to be the first concrete building in town), on the east side of the Creighton Road, where Nathan retired from the partnership on November 14, 1878. Timothy, with his two sons, Johnson and Charles, carried on under the name of Timothy Greening and Sons. They employed eight to ten men.

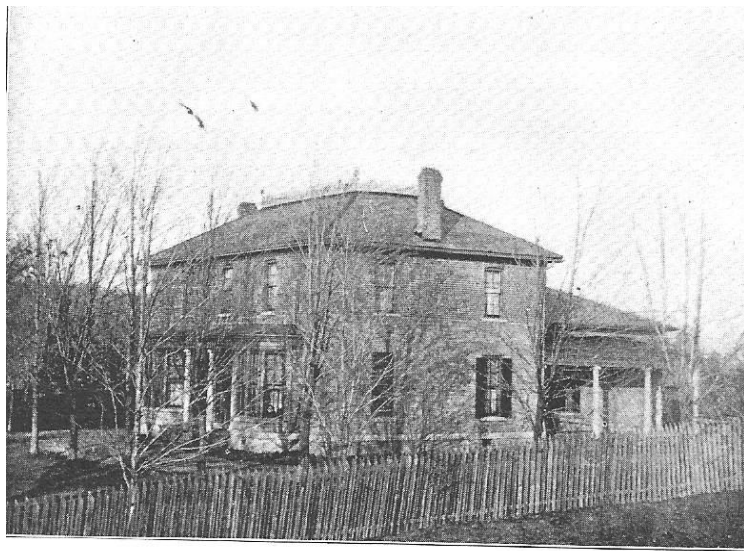
In March 1894, the factory was moved to Chatham, where Charles remained to operate the business, but his brother Johnson moved to San Francisco, and his father Tim returned to Dundas to enjoy retirement. Timothy died here on October 23rd, 1900, aged over 80, but his business premises survive. The concrete building was converted into two residences by John Maw in 1904, and the brick factory at Hatt and Matilda Streets has similarly been a double house since 1876, but if you look closely at the east wall, you can still see traces on the bricks of a sign whose black paint still spells, Greenings Wire Works (likely 227-233 Hatt Street: a four-unit rowhouse).

Nathaniel, after spending sixteen years of retirement in Dundas, moved to Burlington, where he died December 30th, 1919, aged 92 years.

HISTORICAL MAPS AND PHOTOS



Section of the map of Dundas from the 1875 Atlas of Wentworth County, showing the property of A. Crosby and the location of the T. Greening Wire Works.



“STARFIELD,”
RESIDENCE OF J. H. WILSON.
223 Governor’s Road

PHOTOS (taken by Ann Gillespie between June and August 2021)



West façade of the former Blackadar Retirement Residence, facing Creighton Road. Wrap-around verandah and enclosed porches are relatively recent additions.



View of the north-west corner of the building with the mysterious tower.



East (rear) façade with three wings that were likely a later addition to the factory building. There are two entrances at each end of the building.



View from the corner of Creighton Road and Governor's Road showing the 1960s long-term care facility (Blackadar Continuing Care Centre) at 101 Governor's Road.



View looking north-west from the crest of the hill adjacent to 223 Governor's Road.



South and east façades of former Maw residence facing Governor's Road at #223.



West façade of residence at 223 Governor's Road on the crest of the hill overlooking the property at 99 and 101 Governor's Road.

Lot 11
John Showers 1797
Richard Hatt 1800
78 Acres

Lot 12
Michael Showers SR. 1798
R. Hatt 1808

Lot 13
Michael Showers SR. 1807
R. Hatt 1808
John O. Hatt 1837
J.B. Ewart (Part) 1838
WN. Hatt (S. Part) 1851

Lot 14
David Morden 1806
R. Hatt 1806
John O. Hatt 1834
J.B. Ewart (Part) 1838

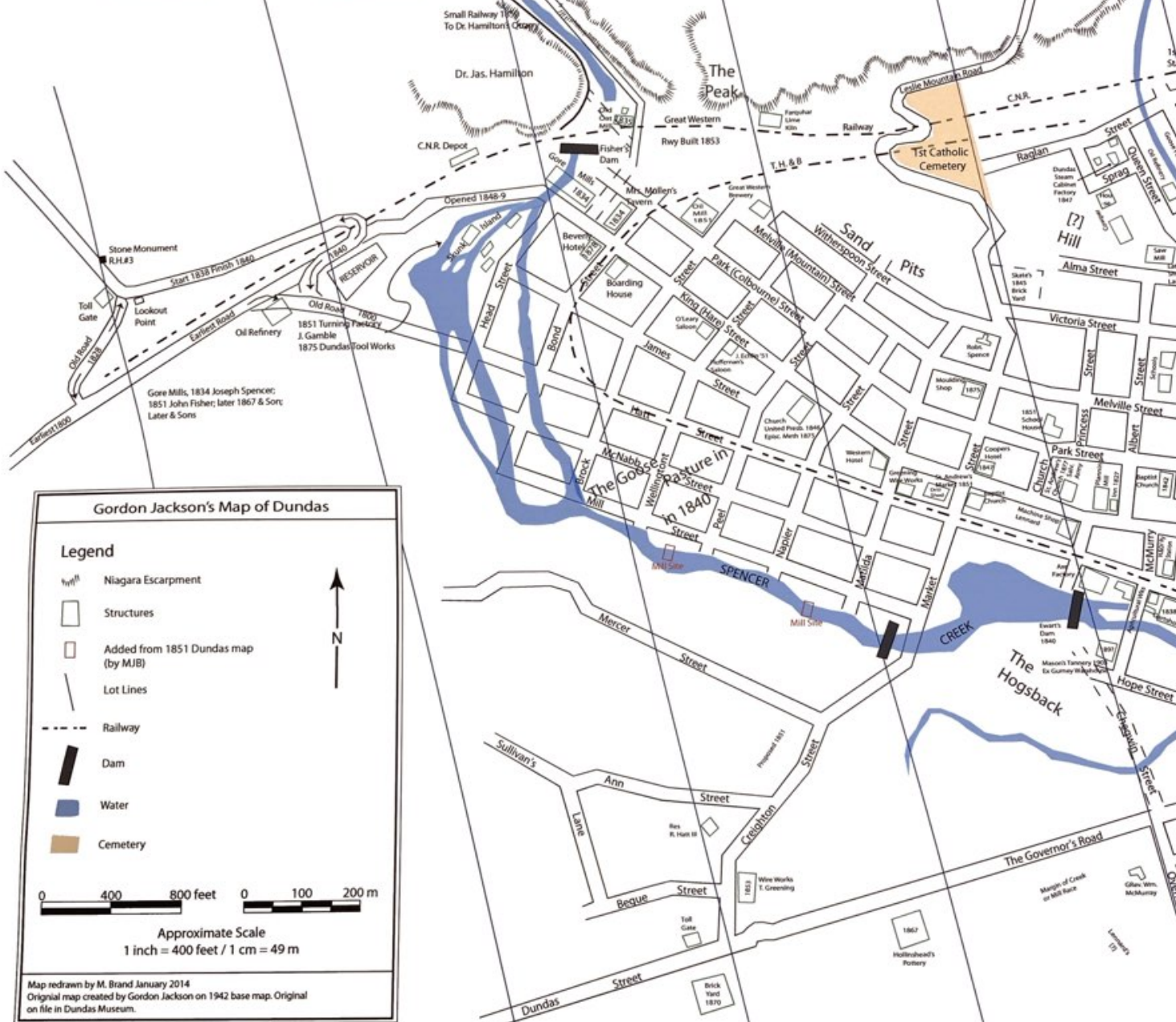
Lot 15
Ralph Morden 1798
S. Parts to various 1801-17
Geo. Rolph (N. Part 1822

DUNDAS

Approximate Scale - 1 INCH - 400 FEET

H.G. MacKay 122 Acres 1909
Joseph Webster 78 Acres 1819
Joseph Webster 122 ACs 1822
Joseph Spencer 122 Acs 1831

John O. Hatt 1837
John Gamble 1838
James Hamilton 1841
Willian Hatt S Part 1851



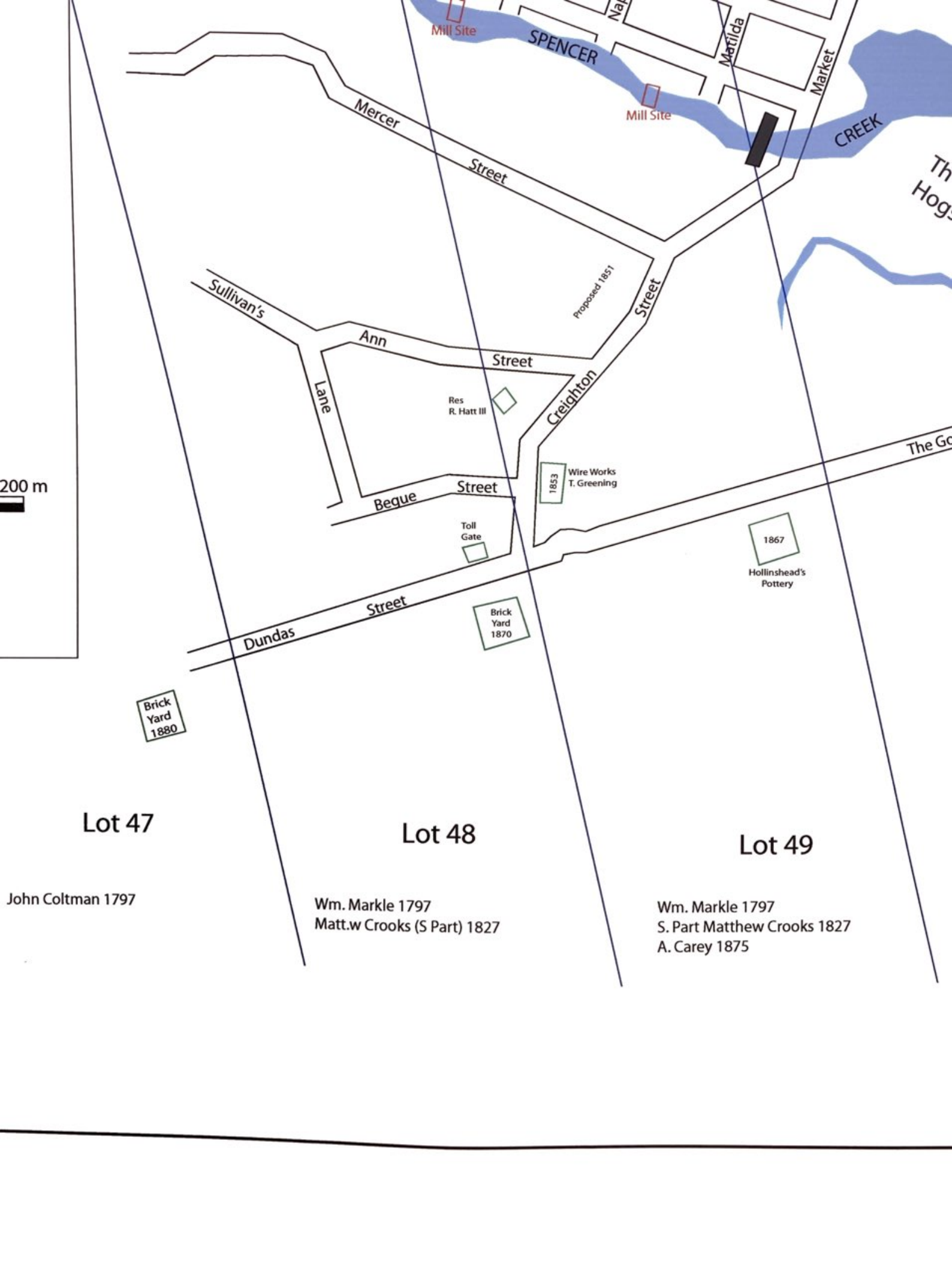
Lot 46
Richard Beasley 1798

Lot 47
John Coltman 1797

Lot 48
Wm. Markle 1797
Matt.w Crooks (S Part) 1827

Lot 49
Wm. Markle 1797
S. Part Matthew Crooks 1827
A. Carey 1875

Lot 50
Wm. Markle 1797
Wm. Crooks (Pa
Isaac Markle (Pa
Manual Overfie
B & S. Overfield
A Carey 1875



200 m

Lot 47

Lot 48

Lot 49

John Coltman 1797

Wm. Markle 1797
 Matt.w Crooks (S Part) 1827

Wm. Markle 1797
 S. Part Matthew Crooks 1827
 A. Carey 1875

Brick
 Yard
 1880

Brick
 Yard
 1870

1867
 Hollinshead's
 Pottery

1853
 Wire Works
 T. Greening

Res
 R. Hatt III

Proposed 1851

Mill Site

Mill Site

SPENCER

CREEK

Mercer

Street

Sullivan's

Ann

Street

Lane

Beque

Street

Dundas

Street

Creighton

Street

Matilda

Market

The
 Hog

The G

Name	Community	Street #	Street #2	Street Name	Extant	Date Heritage	Part IV	By-Law Number	By-Law PDF
Smith - Gooderman House	Ancaster	117		WILSON ST W	Yes	1855	Yes	2000-83	https://spatialsolutions.hamilton.ca/images/CulturalHeritage/2000-83.pdf
Ancaster Old Town Hall	Ancaster	310		WILSON ST E	Yes	1871	Yes	76-101	https://spatialsolutions.hamilton.ca/images/CulturalHeritage/76-101.pdf
Stone House	Ancaster	375		WILSON ST E	Yes	1848	Yes	77-54	https://spatialsolutions.hamilton.ca/images/CulturalHeritage/77-54.pdf
Richard Hammill House	Ancaster	314		WILSON ST E	Yes	1860	Yes	78-86	https://spatialsolutions.hamilton.ca/images/CulturalHeritage/78-86.pdf
Marr House / Heritage Bookstore	Ancaster	398		WILSON ST E	Yes	1850	Yes	78-87	https://spatialsolutions.hamilton.ca/images/CulturalHeritage/78-87.pdf
Richardson-Ashworth House / The Spa at Ancaster	Ancaster	343		WILSON ST E	Yes	1860	Yes	78-88	https://spatialsolutions.hamilton.ca/images/CulturalHeritage/78-88.pdf
Woodend	Ancaster	838		MINERAL SPRINGS RD	Yes	1862	Yes	79-26	https://spatialsolutions.hamilton.ca/images/CulturalHeritage/79-26.pdf
Philip Shaver House	Ancaster	1034		GARNER RD W	Yes	1835	Yes	83-95	https://spatialsolutions.hamilton.ca/images/CulturalHeritage/83-95.pdf
Forest Lane Farms House	Ancaster	1541		FIDDLER'S GREEN RD	Yes	1860	Yes	84-55	https://spatialsolutions.hamilton.ca/images/CulturalHeritage/84-55.pdf
Andrew Sloss House	Ancaster	372		BUTTER RD W	Yes	1855	Yes	85-39	https://spatialsolutions.hamilton.ca/images/CulturalHeritage/85-39.pdf
Richardson-Hyslop-Frebold House	Ancaster	243		GARNER RD E	Yes	1858	Yes	85-90	https://spatialsolutions.hamilton.ca/images/CulturalHeritage/85-90.pdf
Shaver Stone House	Ancaster	1028		GARNER RD W	Yes	1863	Yes	85-91	https://spatialsolutions.hamilton.ca/images/CulturalHeritage/85-91.pdf
Craigeleith	Ancaster	1051		OLD MOHAWK RD	Yes	1870	Yes	89-88	https://spatialsolutions.hamilton.ca/images/CulturalHeritage/89-88.pdf
Ancaster Old Mill	Ancaster	548		OLD DUNDAS RD	Yes	1788	Yes	90-1	https://spatialsolutions.hamilton.ca/images/CulturalHeritage/90-1.pdf
Hermitage Ruins and Gatehouse	Ancaster	739		SULPHUR SPRINGS RD	Yes	1855	Yes	90-91	https://spatialsolutions.hamilton.ca/images/CulturalHeritage/90-91.pdf
Griffin House	Ancaster	733		MINERAL SPRINGS RD	Yes	1828	Yes	90-92	https://spatialsolutions.hamilton.ca/images/CulturalHeritage/90-92.pdf
St. John's Anglican Church	Ancaster	260		WILSON ST E	Yes	1869	Yes	91-102	https://spatialsolutions.hamilton.ca/images/CulturalHeritage/91-102.pdf
Carluke Community Centre	Ancaster	435		CARLUKE RD W	Yes	1858	Yes	93-16	https://spatialsolutions.hamilton.ca/images/CulturalHeritage/93-16.pdf

Shaver Family Cemetery Doctor's Office / Dundas Historical Society Museum	Ancaster Dundas	1156 133	WILSON ST W 139 PARK ST W	Yes Yes	1848 Yes 1830 Yes	93-68 2865-76	https://spatialsolutions.hamilton.ca/images/CulturalHeritage/93-68.pdf https://spatialsolutions.hamilton.ca/images/CulturalHeritage/2865-76.pdf
Dundas Town Hall	Dundas	60	MAIN ST	Yes	1849 Yes	2930-77	https://spatialsolutions.hamilton.ca/images/CulturalHeritage/2930-77.pdf
Orchard Hill	Dundas	5	OVERFIELD ST	Yes	1840 Yes	3075-78	https://spatialsolutions.hamilton.ca/images/CulturalHeritage/3075-78.pdf
Foxbar	Dundas	7	OVERFIELD ST	Yes	1850 Yes	3075-78	https://spatialsolutions.hamilton.ca/images/CulturalHeritage/3075-78.pdf
Platt Nash House	Dundas	22	CROSS ST	Yes	1840 Yes	3075-78	https://spatialsolutions.hamilton.ca/images/CulturalHeritage/3075-78.pdf
Carnegie Library Building	Dundas	10	KING ST W	Yes	1910 Yes	3196-80	https://spatialsolutions.hamilton.ca/images/CulturalHeritage/3196-80.pdf
Ballindalloch	Dundas	192	GOVERNORS RD	Yes	1860 Yes	3215-80	https://spatialsolutions.hamilton.ca/images/CulturalHeritage/3215-80.pdf
Donneycarney Chapman's Book / Victoria Hall	Dundas Dundas	665 11	GOVERNORS RD CROSS ST	Yes Yes	1850 Yes 1840 Yes	3215-80 3215-80	https://spatialsolutions.hamilton.ca/images/CulturalHeritage/3215-80.pdf
Farmer's Rest Hotel	Dundas	207	209 KING ST W	Yes	1847 Yes	3310-81	https://spatialsolutions.hamilton.ca/images/CulturalHeritage/3310-81.pdf
Stone Cottage Colonel William E.S. Knowles House	Dundas Dundas	24 31	NAPIER ST N SYDENHAM ST	Yes Yes	1851 Yes 1869 Yes	3458-84 3458-84	https://spatialsolutions.hamilton.ca/images/CulturalHeritage/3458-84.pdf
Robert Garry's Cottage William B. Martlin Residence	Dundas Dundas	60 27	MELVILLE ST SYDENHAM ST	Yes Yes	1883 Yes 1856 Yes	3458-84 3458-84	https://spatialsolutions.hamilton.ca/images/CulturalHeritage/3458-84.pdf https://spatialsolutions.hamilton.ca/images/CulturalHeritage/3458-84.pdf
Red Clay Brick House	Dundas	31	NAPIER ST N	Yes	1857 Yes	3458-84	https://spatialsolutions.hamilton.ca/images/CulturalHeritage/3458-84.pdf
Booth's Furniture	Dundas	49	KING ST W	Yes	1874 Yes	3476-84	https://spatialsolutions.hamilton.ca/images/CulturalHeritage/3476-84.pdf
Grove Cemetery Cottage	Dundas	129	YORK RD	Yes	1855 Yes	3597-86	https://spatialsolutions.hamilton.ca/images/CulturalHeritage/3597-86.pdf
Worker's Cottage	Dundas	15	WITHERSPOON ST	Yes	1875 Yes	3647-87	https://spatialsolutions.hamilton.ca/images/CulturalHeritage/3647-87.pdf

Worker's Cottage	Dundas	7	CROSS ST	Yes	1853	Yes	3702-88	https://spatialsolutions.hamilton.ca/images/CulturalHeritage/3702-88.pdf
Dundas Central Public School	Dundas	73	MELVILLE ST	Yes	1857	Yes	3751-88	https://spatialsolutions.hamilton.ca/images/CulturalHeritage/3751-88.pdf
Lees' Bakery Shop	Dundas	155	157 KING ST W	Yes	1840	Yes	3797-88	https://spatialsolutions.hamilton.ca/images/CulturalHeritage/3797-88.pdf
Former Mayor Thomas Wilson House	Dundas	39	ELGIN ST	Yes	1859	Yes	3814-89	https://spatialsolutions.hamilton.ca/images/CulturalHeritage/3814-89.pdf
Longwood	Dundas	11	MARKET ST S	Yes	1855	Yes	3902-90	https://spatialsolutions.hamilton.ca/images/CulturalHeritage/3902-90.pdf
William Innes Home	Dundas	306	KING ST W	Yes	1839	Yes	3960-91	https://spatialsolutions.hamilton.ca/images/CulturalHeritage/3960-91.pdf
Laing Apartments	Dundas	13	KING ST W	Yes	1882	Yes	3961-91	https://spatialsolutions.hamilton.ca/images/CulturalHeritage/3961-91.pdf
Victoria School	Dundas	781	GOVERNORS RD	Yes	1916	Yes	3990-92	https://spatialsolutions.hamilton.ca/images/CulturalHeritage/3990-92.pdf
Brick Cottage	Dundas	324	MACNAB ST	Yes	1845	Yes	3998-92	https://spatialsolutions.hamilton.ca/images/CulturalHeritage/3998-92.pdf
Picone's Food Market	Dundas	32	34 KING ST W	Yes	1843	Yes	3999-92	https://spatialsolutions.hamilton.ca/images/CulturalHeritage/3999-92.pdf
Collins Hotel	Dundas	33	KING ST W	Yes	1841	Yes	4168-94	https://spatialsolutions.hamilton.ca/images/CulturalHeritage/4168-94.pdf
Walter Chisholm / Laing Home	Dundas	15	PARK ST E	Yes	1860	Yes	4213-95	https://spatialsolutions.hamilton.ca/images/CulturalHeritage/4213-95.pdf
Russell Family Home	Dundas	183	HATT ST	Yes	1859	Yes	4268-96	
Former John Miller Home	Dundas	177	HATT ST	Yes	1838	Yes	4268-96	https://spatialsolutions.hamilton.ca/images/CulturalHeritage/4268-96.pdf
Woodhouse / O'Neill Home	Dundas	247	HATT ST	Yes	1876	Yes	4268-96	
Vernacular Brick Semi-detached Cottage	Dundas	253	HATT ST	Yes	1840	Yes	4268-96	
John Anderson Family Home	Dundas	178	HATT ST	Yes	1848	Yes	4268-96	
Former Thomas Van Noble Home	Dundas	200	HATT ST	Yes	1860	Yes	4268-96	https://spatialsolutions.hamilton.ca/images/CulturalHeritage/4268-96.pdf
Watson / James Turnbull Home	Dundas	190	HATT ST	Yes	1840	Yes	4268-96	
Former George Manning Home	Dundas	194	HATT ST	Yes	1905	Yes	4268-96	https://spatialsolutions.hamilton.ca/images/CulturalHeritage/4268-96.pdf

Original Hatt Property	Dundas	30	YORK ST	Yes	1833	Yes	4370-97	https://spatialsolutions.hamilton.ca/images/CulturalHeritage/4370-97.pdf
John Cowper House	Dundas	16	SYDENHAM ST	Yes	1860	Yes	4530-00	https://spatialsolutions.hamilton.ca/images/CulturalHeritage/4530-00.pdf
The Armoury (Lions Memorial Community Centre)	Dundas	10	MARKET ST S	Yes	1874	Yes	4578-00	https://spatialsolutions.hamilton.ca/images/CulturalHeritage/4578-00.pdf
Commercial Block	Dundas	63	KING ST W	Yes	1875	No		
Commercial Block - Cruikshanks'	Dundas	59	61 KING ST W	Yes	1875	No		
Dundas District Lofts	Dundas	397	KING ST W	Yes	1929	No		
St. Albans The Martyr (Anglican) Church	Flamboroug h	758	OLD HIGHWAY 8	Yes	1869	Yes	02-243	https://spatialsolutions.hamilton.ca/images/CulturalHeritage/02-243.pdf
Westfield Heritage Village	Flamboroug h	1049	KIRKWALL RD	Yes	1854	Yes	02-270	https://spatialsolutions.hamilton.ca/images/CulturalHeritage/02-270.pdf
Abrey-Zimmerman House	Flamboroug h	165	CARLISLE RD	Yes	1847	Yes	2000-105-H	https://spatialsolutions.hamilton.ca/images/CulturalHeritage/2000-105-H.pdf
	Flamboroug h	159	CARLISLE RD	No		Yes	2000-105-H	https://spatialsolutions.hamilton.ca/images/CulturalHeritage/2000-105-H.pdf
Page-McCarthy Houses	Flamboroug h	374	376 MOUNTSBERG RD	Yes	1850	Yes	2000-17-H	https://spatialsolutions.hamilton.ca/images/CulturalHeritage/2000-17-H.pdf
Kerr-Woolsey House Former East	Flamboroug h	99	MOUNTSBERG RD	Yes	1860	Yes	2000-95-H	https://spatialsolutions.hamilton.ca/images/CulturalHeritage/2000-95-H.pdf
Flamborough Township Hall	Flamboroug h	25	MILL ST N	Yes	1857	Yes	78-21-H	https://spatialsolutions.hamilton.ca/images/CulturalHeritage/78-21-H.pdf
Beverly Township Hall	Flamboroug h	795	OLD HIGHWAY 8	Yes	1850	Yes	79-101-H	https://spatialsolutions.hamilton.ca/images/CulturalHeritage/79-101-H.pdf
Drs. John and Sheila Marriott Stone House	Flamboroug h	392	CONCESSION 6 RD E	Yes	1860	Yes	79-102-H	
West Flamborough Township Hall	Flamboroug h	283	BROCK RD	Yes	1875	Yes	79-65-H	https://spatialsolutions.hamilton.ca/images/CulturalHeritage/79-65-H.pdf
Griffin Stone Cottage	Flamboroug h	24	GRIFFIN ST	Yes	1849	Yes	80-118-H	https://spatialsolutions.hamilton.ca/images/CulturalHeritage/80-118-H.pdf
McKinley-McGinty Home	Flamboroug h	232	HIGHWAY 8	Yes	1848	Yes	80-119-H	https://spatialsolutions.hamilton.ca/images/CulturalHeritage/80-119-H.pdf
Rockton Stone Barn	Flamboroug h	11	CARRUTHERS LANE	Yes	1850	No	82-81-H	https://spatialsolutions.hamilton.ca/images/CulturalHeritage/82-81-H.pdf

The Hall Parry Home	Flamboroug h	1916	CENTRE RD	Yes	1855 Yes	82-81-H	https://spatialsolutions.hamilton.ca/images/CulturalHeritage/82-81-H.pdf
Green House; Cook House	Flamboroug h	50	MILL ST N	Yes	1865 Yes	82-81-H	https://spatialsolutions.hamilton.ca/images/CulturalHeritage/82-81-H.pdf
Old Lynden United Church	Flamboroug h	3989	GOVERNORS RD	Yes	1870 Yes	84-127-H	https://spatialsolutions.hamilton.ca/images/CulturalHeritage/84-127-H.pdf
The David Inksetter Home	Flamboroug h	104	INKSETTER RD	Yes	1854 Yes	84-127-H	https://spatialsolutions.hamilton.ca/images/CulturalHeritage/84-127-H.pdf
The Cooper Home	Flamboroug h	22	HAUSER PL	Yes	1862 Yes	84-79-H	https://spatialsolutions.hamilton.ca/images/CulturalHeritage/84-79-H.pdf
George Lochner Cottage	Flamboroug h	2463	HIGHWAY 5 W	Yes	1844 Yes	84-79-H	https://spatialsolutions.hamilton.ca/images/CulturalHeritage/84-79-H.pdf
Colonel Dailley's Home	Flamboroug h	1965	SAFARI RD	Yes	1850 Yes	85-117-H	https://spatialsolutions.hamilton.ca/images/CulturalHeritage/85-117-H.pdf
The Audrey Hopkins Home	Flamboroug h	769	CROOKS HOLLOW RD	Yes	1810 Yes	85-117-H	https://spatialsolutions.hamilton.ca/images/CulturalHeritage/85-117-H.pdf
Strabane United Church	Flamboroug h	1565	BROCK RD	Yes	1877 Yes	85-117-H	https://spatialsolutions.hamilton.ca/images/CulturalHeritage/85-117-H.pdf
The Rising Sun Hotel	Flamboroug h	807	CENTRE RD	Yes	1850 Yes	86-121-H	https://spatialsolutions.hamilton.ca/images/CulturalHeritage/86-121-H.pdf
The Pearson Home / Avonsyde Dairy	Flamboroug h	493	DUNDAS ST E	Yes	1857 Yes	86-121-H	https://spatialsolutions.hamilton.ca/images/CulturalHeritage/86-121-H.pdf
Former James Home	Flamboroug h	428	ORKNEY RD	Yes	1860 Yes	86-88-H	https://spatialsolutions.hamilton.ca/images/CulturalHeritage/86-88-H.pdf
The Bozyk Home	Flamboroug h	184	HIGHWAY 8	Yes	1880 Yes	86-88-H	https://spatialsolutions.hamilton.ca/images/CulturalHeritage/86-88-H.pdf
Cherry Hill	Flamboroug h	259	CONCESSION 8 RD E	Yes	1844 Yes	86-88-H	https://spatialsolutions.hamilton.ca/images/CulturalHeritage/86-88-H.pdf
Chestnut Grove; Drummond House	Flamboroug h	315	DUNDAS ST E	Yes	1880 Yes	87-150-H	https://spatialsolutions.hamilton.ca/images/CulturalHeritage/87-150-H.pdf
Three Gables Antiques and Things	Flamboroug h	78	HIGHWAY 8	Yes	1849 Yes	87-150-H	https://spatialsolutions.hamilton.ca/images/CulturalHeritage/87-150-H.pdf
Webster's Falls Bridge	Flamboroug h	590	HARVEST RD	Yes	1938 Yes	87-150-H	https://spatialsolutions.hamilton.ca/images/CulturalHeritage/87-150-H.pdf
The Brink Home	Flamboroug h	382	MOXLEY RD	Yes	1821 Yes	93-67-H	https://spatialsolutions.hamilton.ca/images/CulturalHeritage/93-67-H.pdf
Robson Home / Valens Home	Flamboroug h	1667	REGIONAL RD 97	Yes	1851 Yes	93-68-H	https://spatialsolutions.hamilton.ca/images/CulturalHeritage/93-68-H.pdf

The Rous-Howard Family Cemetery	Flamboroug h	1	LYNDEN RD	Yes	1834 Yes	93-69-H	https://spatialsolutions.hamilton.ca/images/CulturalHeritage/93-69-H.pdf
Wallace - Magill House	Flamboroug h	173	MAIN ST N	Yes	1840 Yes	95-66-H	https://spatialsolutions.hamilton.ca/images/CulturalHeritage/95-66-H.pdf
Troy School	Flamboroug h	2295	TROY RD	Yes	1878 Yes	95-67-H	https://spatialsolutions.hamilton.ca/images/CulturalHeritage/95-67-H.pdf
The Riddle House	Flamboroug h	1561	KIRKWALL RD	Yes	1850 Yes	98-126-H	https://spatialsolutions.hamilton.ca/images/CulturalHeritage/98-126-H.pdf
Former Waterdown Post Office	Flamboroug h	31	MAIN ST S	Yes	1857 No		
Double-Trunked Grafted Sugar Maple	Glanbrook		HALL RD / WOODBURN RD	No	1825 Yes	244-82	https://spatialsolutions.hamilton.ca/images/CulturalHeritage/244-82.pdf
Joseph Clark Farmhouse	Glanbrook	2174	NEBO RD	Yes	1841 Yes	258-82	https://spatialsolutions.hamilton.ca/images/CulturalHeritage/258-82.pdf
Auchmar	Hamilton	88	FENNELL AVE W	Yes	1855 Yes	00-037	https://spatialsolutions.hamilton.ca/images/CulturalHeritage/00-037.pdf
Late Victorian Residence	Hamilton	17	AUGUSTA ST	Yes	1895 Yes	01-076	https://spatialsolutions.hamilton.ca/images/CulturalHeritage/01-076.pdf
Lyric Century Theater	Hamilton	14	MARY ST	No	1913 Yes	01-225	https://spatialsolutions.hamilton.ca/images/CulturalHeritage/01-225.pdf
The Cellar	Hamilton	135	FENNELL AVE W	Yes	1891 Yes	02-308	https://spatialsolutions.hamilton.ca/images/CulturalHeritage/02-308.pdf
Mountain Sanatorium Brow Site	Hamilton	870	SCENIC DR	Yes	1920 Yes	21-036	
Sandyford Place	Hamilton	35	43 DUKE ST	Yes	1858 Yes	75-237	https://spatialsolutions.hamilton.ca/images/CulturalHeritage/75-237.pdf
Stone Manse	Hamilton	51	HERKIMER ST	Yes	1858 Yes	77-21	https://spatialsolutions.hamilton.ca/images/CulturalHeritage/77-21.pdf
Frederick J. Rastrick House	Hamilton	46	FOREST AVE	Yes	1840 Yes	77-227	https://spatialsolutions.hamilton.ca/images/CulturalHeritage/77-227.pdf
Dundurn Castle	Hamilton	600	YORK BLVD	Yes	1835 Yes	77-239	https://spatialsolutions.hamilton.ca/images/CulturalHeritage/77-239.pdf
Whitehern - McQuesten House	Hamilton	41	JACKSON ST W	Yes	1850 Yes	77-239	https://spatialsolutions.hamilton.ca/images/CulturalHeritage/77-239.pdf
Georgian-style House	Hamilton	171	FOREST AVE	Yes	1860 Yes	77-287	https://spatialsolutions.hamilton.ca/images/CulturalHeritage/77-287.pdf
Rock Castle	Hamilton	95	ARKLEDUN AVE	Yes	1848 Yes	78-7	https://spatialsolutions.hamilton.ca/images/CulturalHeritage/78-7.pdf

Central Public School	Hamilton	75	HUNTER ST W	Yes	1851	Yes	78-9	https://spatialsolutions.hamilton.ca/images/CulturalHeritage/78-9.pdf
Hamilton Customs House	Hamilton	51	STUART ST	Yes	1858	Yes	79-218	https://spatialsolutions.hamilton.ca/images/CulturalHeritage/79-218.pdf
Former Bank of Montreal	Hamilton	1	MAIN ST W	Yes	1928	Yes	79-222	https://spatialsolutions.hamilton.ca/images/CulturalHeritage/79-222.pdf
Bellevue	Hamilton	14	BELVIDERE AVE	No	1848	Yes	83-183	https://spatialsolutions.hamilton.ca/images/CulturalHeritage/83-183.pdf
The Parsonage	Hamilton	1073	WEST 5TH ST	Yes	1858	Yes	83-182	https://spatialsolutions.hamilton.ca/images/CulturalHeritage/83-182.pdf
Victoria Hall	Hamilton	68	70 KING ST E	Yes	1887	Yes	84-249	https://spatialsolutions.hamilton.ca/images/CulturalHeritage/84-249.pdf
Brick Residence	Hamilton	172	HESS ST N	Yes	1858	Yes	84-250	https://spatialsolutions.hamilton.ca/images/CulturalHeritage/84-250.pdf
Brick Ontario Cottage								
Style House	Hamilton	150	QUEEN ST S	Yes	1873	Yes	84-251	https://spatialsolutions.hamilton.ca/images/CulturalHeritage/84-251.pdf
Hamilton Waterworks (Pumphouse)	Hamilton	900	WOODWARD AVE	Yes	1859	Yes	84-30	https://spatialsolutions.hamilton.ca/images/CulturalHeritage/84-30.pdf
The Right House	Hamilton	35	41 KING ST E	Yes	1890	Yes	84-31	https://spatialsolutions.hamilton.ca/images/CulturalHeritage/84-31.pdf
Sun Life Building	Hamilton	42	JAMES ST S	Yes	1905	Yes	84-67	https://spatialsolutions.hamilton.ca/images/CulturalHeritage/84-67.pdf
Sun Life Building	Hamilton	42	JAMES ST S	Yes	1905	Yes	84-67	https://spatialsolutions.hamilton.ca/images/CulturalHeritage/84-67.pdf
Pigott Building	Hamilton	36	40 JAMES ST S	Yes	1928	Yes	84-68	https://spatialsolutions.hamilton.ca/images/CulturalHeritage/84-68.pdf
Balfour House	Hamilton	250	JAMES ST S	Yes	1880	Yes	85-174	https://spatialsolutions.hamilton.ca/images/CulturalHeritage/85-174.pdf
Ballinahinch	Hamilton	316	JAMES ST S	Yes	1849	Yes	85-175	https://spatialsolutions.hamilton.ca/images/CulturalHeritage/85-175.pdf
Semi-detached Residence	Hamilton	109	GEORGE ST	Yes	1870	Yes	85-176	
Semi-detached Residence	Hamilton	107	GEORGE ST	Yes	1870	Yes	85-176	https://spatialsolutions.hamilton.ca/images/CulturalHeritage/85-176.pdf
Bastien House	Hamilton	433	BAY ST N	Yes	1885	Yes	85-177	https://spatialsolutions.hamilton.ca/images/CulturalHeritage/85-177.pdf
The Moorings	Hamilton	913	BEACH BLVD		1891	Yes	85-235	https://spatialsolutions.hamilton.ca/images/CulturalHeritage/85-235.pdf

Castle Dean	Hamilton	235	LOCKE ST N	Yes	1830	Yes	86-124	https://spatialsolutions.hamilton.ca/images/CulturalHeritage/86-124.pdf
James Jobson Brick Rowhouses	Hamilton	207	CAROLINE ST S	Yes	1887	Yes	86-15	https://spatialsolutions.hamilton.ca/images/CulturalHeritage/86-15.pdf
James Jobson Brick Rowhouses	Hamilton	209	CAROLINE ST S	Yes	1887	Yes	86-16	https://spatialsolutions.hamilton.ca/images/CulturalHeritage/86-16.pdf
James Jobson Brick Rowhouses	Hamilton	211	CAROLINE ST S	Yes	1887	Yes	86-17	https://spatialsolutions.hamilton.ca/images/CulturalHeritage/86-17.pdf
Pasadena Apartments	Hamilton	27	BOLD ST	Yes	1914	Yes	86-170	https://spatialsolutions.hamilton.ca/images/CulturalHeritage/86-170.pdf
Christ's Church Cathedral and Schoolhouse	Hamilton	252	256 JAMES ST N	Yes	1852	Yes	86-177	https://spatialsolutions.hamilton.ca/images/CulturalHeritage/86-177.pdf
Traditional Cottage Style Residence	Hamilton	455	BAY ST N	Yes	1890	Yes	86-18	https://spatialsolutions.hamilton.ca/images/CulturalHeritage/86-18.pdf
Grant's Sail Loft	Hamilton	469	BAY ST N	Yes	1869	Yes	86-19	https://spatialsolutions.hamilton.ca/images/CulturalHeritage/86-19.pdf
Hamilton Conservatory of Music	Hamilton	126	JAMES ST S	Yes	1905	Yes	86-20	https://spatialsolutions.hamilton.ca/images/CulturalHeritage/86-20.pdf
Stone Terrace	Hamilton	158	JAMES ST S	Yes	1850	Yes	86-21	https://spatialsolutions.hamilton.ca/images/CulturalHeritage/86-21.pdf
Queen Street Pumping Station - Engineer's Residence	Hamilton	188	MARKLAND ST	Yes	1892	Yes	86-22	https://spatialsolutions.hamilton.ca/images/CulturalHeritage/86-22.pdf
Pioneer Homestead / Linquenda	Hamilton	28	SOUTH ST	Yes	1847	Yes	86-23	https://spatialsolutions.hamilton.ca/images/CulturalHeritage/86-23.pdf
St. Paul's Presbyterian Church	Hamilton	64	JAMES ST S	Yes	1854	Yes	86-263	https://spatialsolutions.hamilton.ca/images/CulturalHeritage/86-263.pdf
Landed Banking and Loan Company Building	Hamilton	47	JAMES ST S	Yes	1908	Yes	86-271	https://spatialsolutions.hamilton.ca/images/CulturalHeritage/86-271.pdf
T.B. McQuesten High Level Bridge	Hamilton		YORK BLVD	Yes	1932	Yes	86-272	https://spatialsolutions.hamilton.ca/images/CulturalHeritage/86-272.pdf
Hamilton Waterworks (Pumping Station)	Hamilton	900	WOODWARD AVE	Yes	1913	Yes	86-310	https://spatialsolutions.hamilton.ca/images/CulturalHeritage/86-310.pdf
Griffiths Palatial Home	Hamilton	252	JAMES ST S	Yes	1891	Yes	86-313	https://spatialsolutions.hamilton.ca/images/CulturalHeritage/86-313.pdf
Coburn Queen Anne Revival Style Home	Hamilton	262	JAMES ST S	Yes	1892	Yes	86-313	

Charles Counsell Home	Hamilton	268	JAMES ST S	Yes	1894	Yes	86-313	
Hamilton Brass Manufacturing Co. Building	Hamilton	255	265 JAMES ST N	Yes	1873	Yes	87-176	https://spatialsolutions.hamilton.ca/images/CulturalHeritage/87-176.pdf
Gardener's Cottage	Hamilton	25	TECUMSEH ST	Yes	1856	Yes	87-245	https://spatialsolutions.hamilton.ca/images/CulturalHeritage/87-245.pdf
William Pring House	Hamilton	158	MARY ST	Yes	1855	Yes	87-246	https://spatialsolutions.hamilton.ca/images/CulturalHeritage/87-246.pdf
Hamilton Carnegie Building	Hamilton	55	MAIN ST W	Yes	1913	Yes	87-250	https://spatialsolutions.hamilton.ca/images/CulturalHeritage/87-250.pdf
Former West Avenue School	Hamilton	255	WEST AVE N	Yes	1885	Yes	88-182	https://spatialsolutions.hamilton.ca/images/CulturalHeritage/88-182.pdf
Canadian Westinghouse Head Office	Hamilton	286	SANFORD AVE N	Yes	1917	Yes	88-202	https://spatialsolutions.hamilton.ca/images/CulturalHeritage/88-202.pdf
St. Paul's Ecumenical Church	Hamilton	384	BARTON ST E	Yes	1906	Yes	88-209	
Church of the Ascension	Hamilton	65	CHARLTON AVE E	Yes	1850	Yes	88-66	https://spatialsolutions.hamilton.ca/images/CulturalHeritage/88-66.pdf
MacNab Terrace	Hamilton	256	MACNAB ST N	Yes	1879	Yes	89-176	https://spatialsolutions.hamilton.ca/images/CulturalHeritage/89-176.pdf
MacNab Terrace	Hamilton	258	MACNAB ST N	Yes	1879	Yes	89-176	https://spatialsolutions.hamilton.ca/images/CulturalHeritage/89-176.pdf
Former Stinson Street School	Hamilton	200	STINSON ST	Yes	1894	Yes	89-219	https://spatialsolutions.hamilton.ca/images/CulturalHeritage/89-219.pdf
Former Strathcona Fire Hall	Hamilton	37	STRATHCONA AVE N	Yes	1897	Yes	89-271	https://spatialsolutions.hamilton.ca/images/CulturalHeritage/89-271.pdf
Late Victorian Brick Residence	Hamilton	105	ABERDEEN AVE	Yes	1893	Yes	89-296	https://spatialsolutions.hamilton.ca/images/CulturalHeritage/89-296.pdf
Brick Residence	Hamilton	112	ABERDEEN AVE	Yes	1881	Yes	89-297	https://spatialsolutions.hamilton.ca/images/CulturalHeritage/89-297.pdf
MacNab Terrace	Hamilton	260	MACNAB ST N	Yes	1879	Yes	89-298	https://spatialsolutions.hamilton.ca/images/CulturalHeritage/89-298.pdf
John R. Marshall House	Hamilton	33	UNDERMOUNT AVE	Yes	1916	Yes	90-106	https://spatialsolutions.hamilton.ca/images/CulturalHeritage/90-106.pdf
Tivoli Theatre / Carriage Factory	Hamilton	108	JAMES ST N	No	1875	Yes	90-255	https://spatialsolutions.hamilton.ca/images/CulturalHeritage/90-255.pdf

Twentieth Century Club Building	Hamilton	172	176	LOCKE ST S	Yes	1905	Yes	90-249	https://spatialsolutions.hamilton.ca/images/CulturalHeritage/90-249.pdf
Former James Street Baptist Church	Hamilton	98		JAMES ST S	Yes	1878	Yes	90-33	https://spatialsolutions.hamilton.ca/images/CulturalHeritage/90-33.pdf
Kerr House	Hamilton	988		CONCESSION ST	Yes	1855	Yes	90-337	https://spatialsolutions.hamilton.ca/images/CulturalHeritage/90-337.pdf
2 units of 3-unit Rowhouse	Hamilton	74		GEORGE ST	Yes	1873	Yes	90-34	
2 units of 3-unit Rowhouse	Hamilton	72		GEORGE ST	Yes	1873	Yes	90-34	https://spatialsolutions.hamilton.ca/images/CulturalHeritage/90-34.pdf
Corktown 5-unit Residential Terrace	Hamilton	219		FERGUSON AVE S	Yes	1894	Yes	90-89	https://spatialsolutions.hamilton.ca/images/CulturalHeritage/90-89.pdf
Corktown 5-unit Residential Terrace	Hamilton	225		FERGUSON AVE S	Yes	1894	Yes	90-89	https://spatialsolutions.hamilton.ca/images/CulturalHeritage/90-89.pdf
Corktown 5-unit Residential Terrace	Hamilton	223		FERGUSON AVE S	Yes	1894	Yes	90-89	https://spatialsolutions.hamilton.ca/images/CulturalHeritage/90-89.pdf
Corktown 5-unit Residential Terrace	Hamilton	221		FERGUSON AVE S	Yes	1894	Yes	90-89	https://spatialsolutions.hamilton.ca/images/CulturalHeritage/90-89.pdf
Corktown 5-unit Residential Terrace	Hamilton	227		FERGUSON AVE S	Yes	1894	Yes	90-89	https://spatialsolutions.hamilton.ca/images/CulturalHeritage/90-89.pdf
Raich House	Hamilton	179		MARY ST	Yes	1845	Yes	91-070	https://spatialsolutions.hamilton.ca/images/CulturalHeritage/91-070.pdf
Zion United Church	Hamilton	69		PEARL ST N	Yes	1874	Yes	91-185	https://spatialsolutions.hamilton.ca/images/CulturalHeritage/91-185.pdf
Former Princess Elizabeth School	Hamilton	235		BOWMAN ST	Yes	1922	Yes	92-031	https://spatialsolutions.hamilton.ca/images/CulturalHeritage/92-031.pdf
Former Church of St. Thomas	Hamilton	16		WEST AVE S	Yes	1869	Yes	92-239	https://spatialsolutions.hamilton.ca/images/CulturalHeritage/92-239.pdf
John Sopinka Court House	Hamilton	45		MAIN ST E	Yes	1935	Yes	93-011	https://spatialsolutions.hamilton.ca/images/CulturalHeritage/93-011.pdf
Stewart Memorial Church	Hamilton	112	114	JOHN ST N	Yes	1848	Yes	93-089	https://spatialsolutions.hamilton.ca/images/CulturalHeritage/93-089.pdf
Fearman House	Hamilton	90		STINSON ST	Yes	1863	Yes	93-124	https://spatialsolutions.hamilton.ca/images/CulturalHeritage/93-124.pdf
Gartshore-Thomson Building	Hamilton			BAY ST N	Yes	1870	Yes	94-094	https://spatialsolutions.hamilton.ca/images/CulturalHeritage/94-094.pdf
Hamilton GO Centre (former TH&B Railway Station)	Hamilton	36		HUNTER ST E	Yes	1933	Yes	94-125	https://spatialsolutions.hamilton.ca/images/CulturalHeritage/94-125.pdf

Hamilton GO Centre (former TH&B Railway Station)	Hamilton	36	HUNTER ST E	Yes	1933	Yes	94-125	https://spatialsolutions.hamilton.ca/images/CulturalHeritage/94-125.pdf
Veevers Home	Hamilton	22	VEEVERS DR	Yes	1850	Yes	94-126	https://spatialsolutions.hamilton.ca/images/CulturalHeritage/94-126.pdf
Hamilton CN Railway Station	Hamilton	360	JAMES ST N	Yes	1930	Yes	95-115	https://spatialsolutions.hamilton.ca/images/CulturalHeritage/95-115.pdf
Stone Terrace	Hamilton	154	JAMES ST S	Yes	1854	Yes	95-116	
Stone Terrace	Hamilton	160	JAMES ST S	Yes	1854	Yes	95-116	
Stone Terrace	Hamilton	156	JAMES ST S	Yes	1854	Yes	95-116	
Stone Terrace	Hamilton	152	JAMES ST S	Yes	1854	Yes	95-116	https://spatialsolutions.hamilton.ca/images/CulturalHeritage/95-116.pdf
Stone Terrace	Hamilton	142	JAMES ST S	Yes	1854	Yes	95-116	
Stone Terrace	Hamilton	150	JAMES ST S	Yes	1854	Yes	95-116	
Stone Terrace	Hamilton	146	JAMES ST S	Yes	1854	Yes	95-116	
Stone Terrace	Hamilton	148	JAMES ST S	Yes	1854	Yes	95-116	
Stone Terrace	Hamilton	144	JAMES ST S	Yes	1854	Yes	95-116	
Former St. Mark's Anglican Church	Hamilton	130	BAY ST S	Yes	1877	Yes	95-13	https://spatialsolutions.hamilton.ca/images/CulturalHeritage/95-13.pdf
Ferguson Avenue Terrace	Hamilton	215	FERGUSON AVE S	Yes	1886	Yes	95-161	
Ferguson Avenue Terrace	Hamilton	213	FERGUSON AVE S	Yes	1886	Yes	95-161	
Ferguson Avenue Terrace	Hamilton	207	FERGUSON AVE S	Yes	1886	Yes	95-161	https://spatialsolutions.hamilton.ca/images/CulturalHeritage/95-161.pdf
Ferguson Avenue Terrace	Hamilton	211	FERGUSON AVE S	Yes	1886	Yes	95-161	
Burlington Canal Lighthouse and Keeper's Dwelling	Hamilton	1155	BEACH BLVD	Yes		Yes	96-115	https://spatialsolutions.hamilton.ca/images/CulturalHeritage/96-115.pdf
Burlington Canal Lighthouse and Keeper's Dwelling	Hamilton	1157	BEACH BLVD	Yes		Yes	96-115	
Former St. George's Anglican Church and Sunday School	Hamilton	137	STRATHCONA AVE N	Yes	1890	Yes	96-148	https://spatialsolutions.hamilton.ca/images/CulturalHeritage/96-148.pdf
Lister Block	Hamilton	28	44 JAMES ST N	Yes	1923	Yes	96-175	https://spatialsolutions.hamilton.ca/images/CulturalHeritage/96-175.pdf

Century Manor (Hamilton Psychiatric Hospital)	Hamilton	100	WEST 5TH ST	Yes	1884 Yes	97-198	https://spatialsolutions.hamilton.ca/images/CulturalHeritage/97-198.pdf
Hamilton Cemetery Gatehouse	Hamilton	777	YORK BLVD	Yes	1854 Yes	99-167 NOID (November 6, 2020)	https://spatialsolutions.hamilton.ca/images/CulturalHeritage/99-167.pdf
Royal Connaught Copley / Commercial Block	Hamilton	82 56	112 KING ST E YORK BLVD	Yes Yes	1914 Yes 1856 Yes	NOID_Bill23 1	
Babies' Dispensary Guild Former King George School	Hamilton	286 77	VICTORIA AVE N GAGE AVE N	Yes Yes	1924 No 1912 Yes		
Battlefield House, Park and Museum	Stoney Creek	77	KING ST W	Yes	1796 Yes	3419-91	https://spatialsolutions.hamilton.ca/images/CulturalHeritage/3419-91.pdf
Levi Lewis Homestead	Stoney Creek	265	LEWIS RD	Yes	1843 Yes	3420-91	https://spatialsolutions.hamilton.ca/images/CulturalHeritage/3420-91.pdf
Ingleddale House	Stoney Creek	1489	BASELINE RD	Yes	1815 Yes	3494-91	https://spatialsolutions.hamilton.ca/images/CulturalHeritage/3494-91.pdf
Corman House	Stoney Creek	7	PLACID PL	Yes	1810 Yes	3608-92	https://spatialsolutions.hamilton.ca/images/CulturalHeritage/3608-92.pdf
The Institute Building	Stoney Creek	34	KING ST E	Yes	1901 Yes	3626-92	https://spatialsolutions.hamilton.ca/images/CulturalHeritage/3626-92.pdf
The Van Duzer House	Stoney Creek	1446	HIGHWAY 8	Yes	1895 Yes	3638-92	https://spatialsolutions.hamilton.ca/images/CulturalHeritage/3638-92.pdf
Billy Green House	Stoney Creek	30	RIDGE RD	Yes	1820 Yes	3683-92	https://spatialsolutions.hamilton.ca/images/CulturalHeritage/3683-92.pdf
Fifty United Church	Stoney Creek	1455	HIGHWAY 8	Yes	1869 Yes	3771-93	https://spatialsolutions.hamilton.ca/images/CulturalHeritage/3771-93.pdf
Wood / Ferrell House	Stoney Creek	172	SEVENTH RD E	Yes	1840 Yes	3914-93	https://spatialsolutions.hamilton.ca/images/CulturalHeritage/3914-93.pdf
Spera House	Stoney Creek	228	RIDGE RD	Yes	1874 Yes	4134-94	https://spatialsolutions.hamilton.ca/images/CulturalHeritage/4134-94.pdf
Evanleigh / Pettit House	Stoney Creek	1317	HIGHWAY 8	Yes	1856 Yes	4150-95	https://spatialsolutions.hamilton.ca/images/CulturalHeritage/4150-95.pdf
Erland Lee (Museum) Home	Stoney Creek	552	RIDGE RD	Yes	1801 Yes	4324-95	https://spatialsolutions.hamilton.ca/images/CulturalHeritage/4324-95.pdf

Glover House	Stoney Creek	199	GLOVER RD	Yes	1888	Yes	4325-95	https://spatialsolutions.hamilton.ca/images/CulturalHeritage/4325-95.pdf
Smith's Knoll / Battlefield Cemetery	Stoney Creek	70	KING ST W	Yes	1813	Yes	4329-95	https://spatialsolutions.hamilton.ca/images/CulturalHeritage/4329-95.pdf
Langside / Jacob Smith House	Stoney Creek	982	HIGHWAY 8	Yes	1847	Yes	4356-95	https://spatialsolutions.hamilton.ca/images/CulturalHeritage/4356-95.pdf
Spruceway / Fred B. Henry House	Stoney Creek	1420	HIGHWAY 8	Yes	1916	Yes	4422-96	https://spatialsolutions.hamilton.ca/images/CulturalHeritage/4422-96.pdf
Isaac Land House	Stoney Creek	72	LAKE AVENUE DR	Yes	1912	Yes	4498-97	https://spatialsolutions.hamilton.ca/images/CulturalHeritage/4498-97.pdf
William Horton Jones House	Stoney Creek	11	MANOR PL	Yes	1850	Yes	5002-99	https://spatialsolutions.hamilton.ca/images/CulturalHeritage/5002-99.pdf
Grandview / Nash-Jackson House	Stoney Creek	77	KING ST W	Yes	1818	Yes	5055-00	https://spatialsolutions.hamilton.ca/images/CulturalHeritage/5055-00.pdf