



City of Hamilton
COMMITTEE OF ADJUSTMENT
AGENDA

Meeting #: 22-07
Date: April 7, 2022
Time: 1:00 p.m.
Location: Due to the COVID-19 and the Closure of City Hall (RM)

All electronic meetings can be viewed at:

City of Hamilton's Website:
<https://www.hamilton.ca/council-committee/council-committee-meetings/meetings-and-agendas>

City's Youtube Channel:
<https://www.youtube.com/user/InsideCityofHamilton>

Jamila Sheffield, Secretary Treasurer (905) 546-2424 ext. 4144
cofa@hamilton.ca

	Pages
1. PREVIOUSLY TABLED	
1.1. 1:05 p.m.HM/A-22:51112 Manning Ave., Hamilton (Ward 8) Agent Chermark Renovations Owner J. & P. Burns	7
1.2. 1:10 p.m.GL/A-22:433105 Fletcher Rd., Glanbrook (Ward 11) Agent A.J. Clarke – S. Fraser Owner Cachet Developments (Binbrook) Inc.	23
2. SUBURBAN	
2.1. 1:15 p.m.AN/B-22:13628 Mill Street, Ancaster (Ward 12) Agent Max Kerrigan Owner William R. MacLean	45

2.2.	1:20 p.m.GL/A-22:5455 Yale Dr., Glanbrook (Ward 11)	63
	Agent M. Hannay Owner Cachet	
2.3.	1:25 p.m.SC/A-21:417131 Green Rd., Stoney Creek (Ward 10)	75
	Agent IBI Group – M. Crough Owner Zenon Wincza	
2.4.	1:30 p.m.HM/B-22:1773 Chipman Ave., Hamilton (Ward 8)	91
	Agent 868 Investments Ltd. Owner Shivan Ramoosingh	
2.5.	1:35 p.m.HM/A-22:6051 East 39th St., Hamilton (Ward 7)	105
	Agent Shajidul Islam Owners C. Perdona & A. Khan	
2.6.	1:40 p.m.AN/A-22:61104 Kendrick Court, Ancaster (Ward 12)	113
	Agent Parkeight Inc. Owners L. & C. Battiston	
2.7.	1:50 p.m.SC/A-22:6629 John Murray St., Stoney Creek (Ward 9)	125
	Agent Svedas Archiects Inc. Owner HWCDSB – P. Ferrie	
2.8.	1:55 p.m.HM/A-22:6947 East 21st St., Hamilton (Ward 7)	137
	Agent M. Lanza Owner E. Mcwhiter	
2.9.	2:00 p.m.AN/A-22:7065 Lloyminn Ave., Ancaster (Ward 12)	145
	Agent Dusil Design & Landscape Inc. Owner M. Zizzo	
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	Owner G. Palmer	
2.11.	2:10 p.m.SC/A-22:5911 Kilbourn Ave., Stoney Creek (Ward 10)	165
	Agent A.J. Clarke – S. Fraser Owners W. & V. Casciani	

2.12. 2:15 p.m.SC/A-22:741367 & 1371 Hwy 8, Stoney Creek (Ward 10) 173
 Agent A.J. Clarke – S. Fraser
 Owners C. & K. Horrill

3. URBAN

3.1. 2:20 p.m.HM/A-22:55302 Charlton Ave. W., Hamilton (Ward 1) 183
 Owners A. Rambert & E. Saulig

3.2. 2:25 p.m.HM/A-22:57581 Mary St., Hamilton (Ward 2) 205
 Agent M. Fensham
 Owners C. & A. Myhr

3.3. 2:45 p.m.HM/A-22:64211 & 225 John St. S., 70 & 78 Young St., Hamilton (Ward 2) 221
 Agent GSP Group – S. Hastings
 Owner Corktown Plaza Inc.

3.4. 2:50 p.m.HM/A-22:67171 Kentley Dr., Hamilton (Ward 5) 259
 Owners H. Mederios & C. Couto

3.5. 2:55 p.m.HM/A-22:681278 Main St. E., Hamilton (Ward 4) 267
 Agent T. Goral
 Owner K. Deluca

3.6. 3:00 p.m.HM/A-21:454130 Wellington St. S., Hamilton (Ward 2) 293
 Agent M. Barton
 Owner 130 Wellington Corp.

3.6.a. *3:05 p.m.HM/B-21:117, HM/A-21:443, HM/A-21:444106
 Eastbourne Ave., Hamilton (Ward 3)*
 Agent W.E. Oughtred & Associations Inc.
 Owner Mark-Anthony Sanchez

ALL THREE FILES WITHDRAWN

- 3.7. 3:10 p.m.HM/A-22:71775 King St. E., Hamilton (Ward 3) 301
Agent V. Mohammed
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- 3.8. 3:15 p.m.HM/A-22:2027 Graham Ave. S., Hamilton (Ward 4) 313
Owners R. & C. Trowbridge
- 3.9. 3:20 p.m.HM/A-22:3610 Longwood Rd. S., Hamilton (Ward 1) 327
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Owner M. Mahmood
- 3.10. 3:25 p.m.HM/A-22:62430-436 Cannon St. E., Hamilton (Ward 3) 335
Agent T. Johns Consulting
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4. RURAL

- 4.1. 3:30 p.m.GL/A-22:561230 Woodburn Road, Glanbrook (Ward 11) 361
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Owner C. & L. Medcalf
- 4.2. 3:35 p.m.SC/A-22:58339 Fifty Road, Stoney Creek (Ward 10) 369
Agent Urban Solutions – M. Johnston
Owner 5000933 Ontario Inc. – A. DiCenzo
- 4.3. 3:40 p.m.DN/A-22:6516 Hillsdale Court, Dundas (Ward 13) 385
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- 4.4. 3:45 p.m.AN/A-22:721530 Jerseyville Rd. W., Ancaster (Ward 12) 393
Owner Leo Vyn
- 4.5. 3:50 p.m.SC/B-21:1201130 Ridge Road, Stoney Creek (Ward 9) 401
Agent J. Hribljan
Owner J. Fabjan

5. CLOSED

6. ADJOURNMENT



Hamilton

cCOMMITTEE OF ADJUSTMENT

City Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5
 Telephone (905) 546-2424, ext. 4221, 3935 Fax (905) 546-4202
 E-mail: cofa@hamilton.ca

NOTICE OF PUBLIC HEARING **Minor Variance**

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
- Applicant/agent on file, or
- Person likely to be interested in this application

APPLICATION NO.: HM/A-22:51

APPLICANTS: Agent Chermark Renovations Inc.
 Owners J. & P. Burns

SUBJECT PROPERTY: Municipal address **112 Manning Ave., Hamilton**

ZONING BY-LAW: Zoning By-law 6593, as Amended

ZONING: "C" (Urban Protected Residential) district

PROPOSAL: To permit the construction of a new second storey addition to the existing single family dwelling notwithstanding that:

1. Two (2) parking spaces shall be provided instead of the minimum required three (3) parking spaces.

NOTES:

1. Hamilton Zoning By-law 6593 requires parking for a single family dwelling to be provided at a rate of two (2) parking spaces for the first eight (8) habitable rooms contained within a dwelling, plus an additional 0.5 spaces for each additional habitable room in excess of eight (8). The proposed construction results in a total of ten (10) habitable rooms, therefore requiring a minimum of three (3) parking spaces to be provided on-site. It appears only two (2) parking spaces are provided on site. One (1) space being within the attached garage and one (1) space in the front yard.

This application will be heard by the Committee as shown below:

DATE: Thursday, March 17th, 2022
TIME: 2:05 p.m.
PLACE: Via video link or call in (see attached sheet for details)
 To be streamed at
www.hamilton.ca/committeeofadjustment
 for viewing purposes only

PUBLIC INPUT

Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

HM/A-22: 51

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Orally: If you would like to speak to this item at the hearing you may do so via video link or by calling in. Please see attached page for complete instructions, including deadlines for registering to participate.

MORE INFORMATION

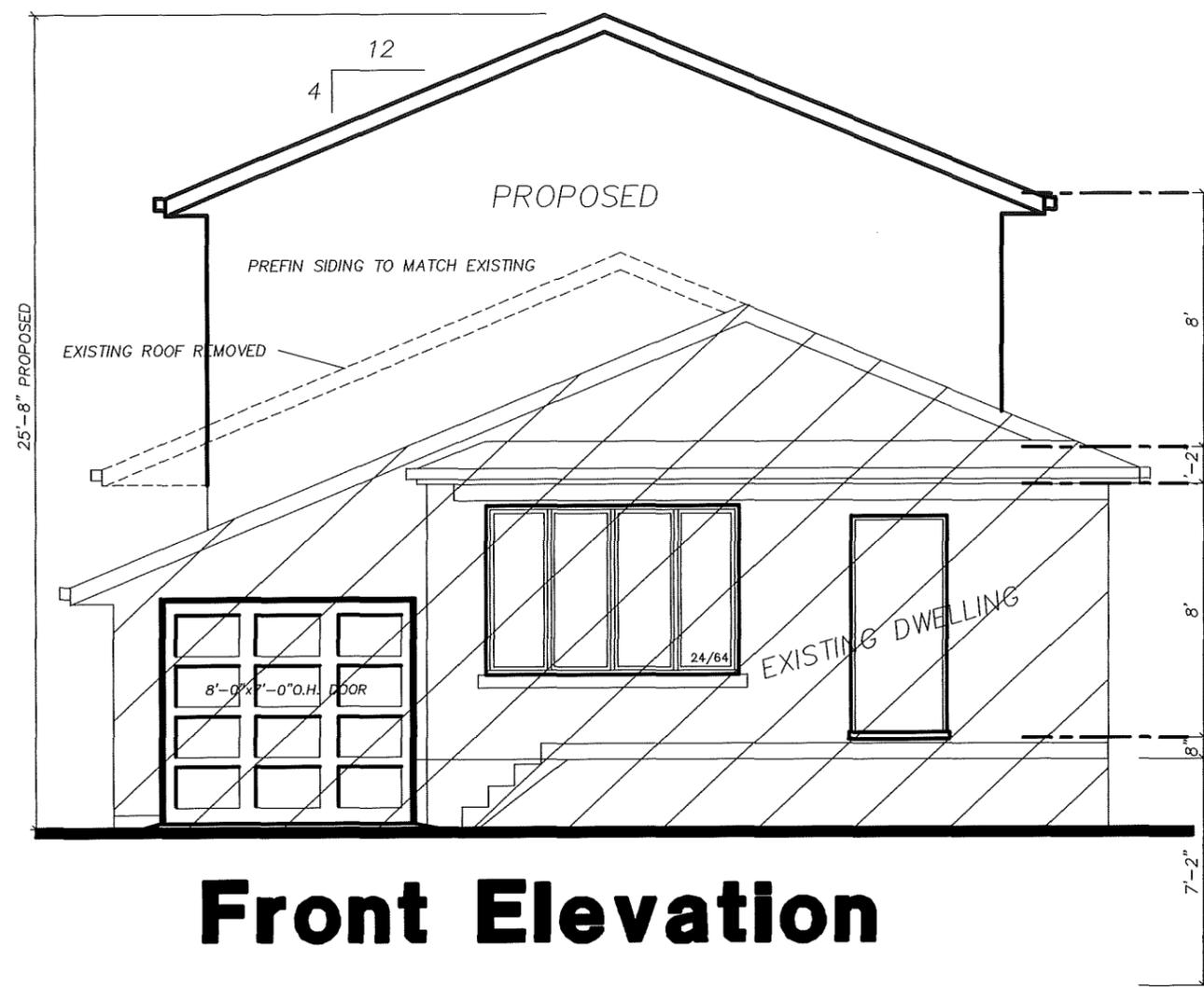
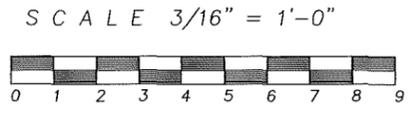
For more information on this matter, including access to drawings illustrating this request:

- Visit www.hamilton.ca/committeeofadjustment
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935
- Email Committee of Adjustment staff at cofa@hamilton.ca

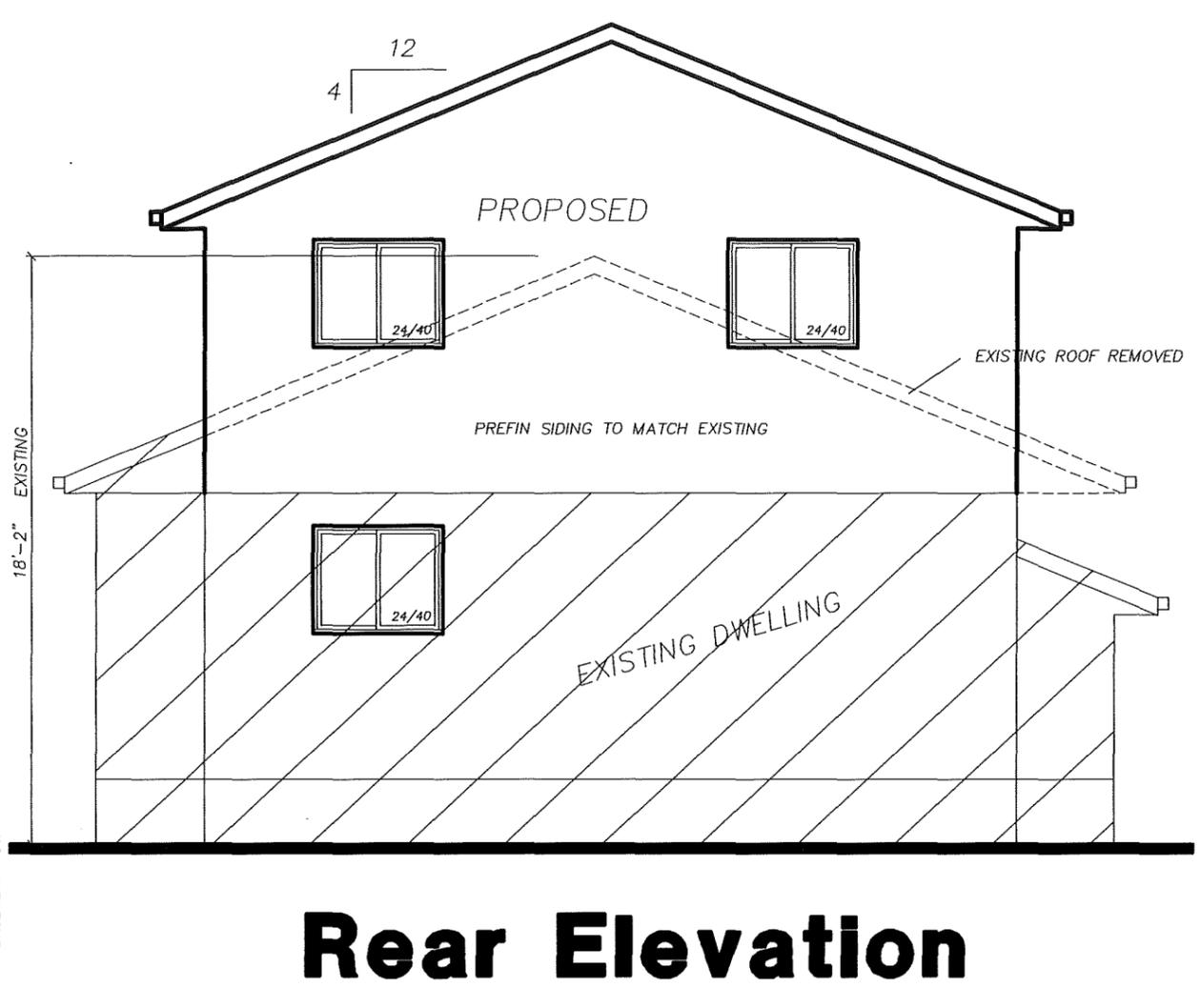
DATED: March 1st, 2022.

Jamila Sheffield,
Secretary-Treasurer
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public.



Front Elevation



Rear Elevation

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to design the work shown on the attached documents.

QUALIFICATION INFORMATION
 Required unless design is exempt under DIV. C 3.2.5.1 of the building code

Richard Weatherston
 NAME SIGNATURE BCIN 24787

REGISTRATION INFORMATION
 Required unless design is exempt under DIV. C 3.2.4.1 of the building code

R.G. CAD SERVICE INC. 29747
 FIRM NAME BCIN

R.G. CAD SERVICE INC.
 FIRM BCIN #29747
 RICHARD WEATHERSTON
 BCIN #24787

EXISTING FIRST FLOOR 1199 SQ.FT.
 PROPOSED SECOND FLOOR 533 SQ.FT.

* THESE DRAWINGS HAVE BEEN PRODUCED FOR THE HOMEOWNER AND ARE PROTECTED BY COPYRIGHT.

3666 SEPT. 21

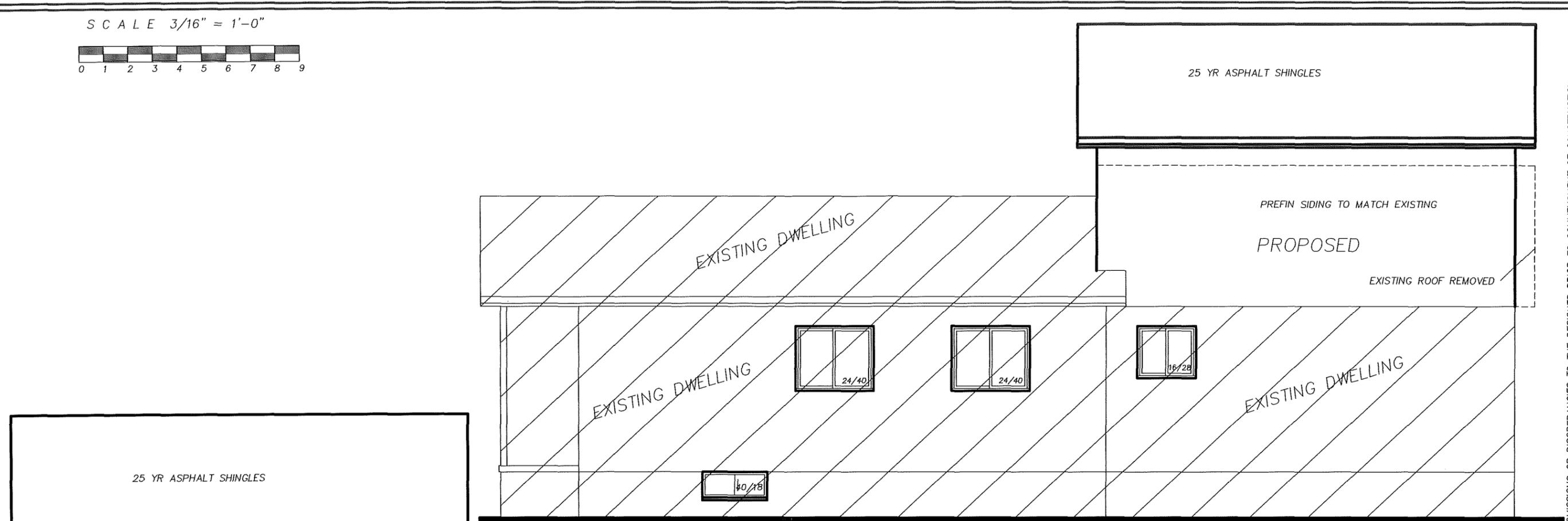
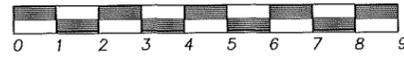
R.G.CAD SERVICE INC.
 228 GREEN RD. STONEY CREEK
 PHONE (905) 664-8061

PROPOSED SECOND FLOOR ADDITION/RENOVATION
112 MANNING AVE
 HAMILTON

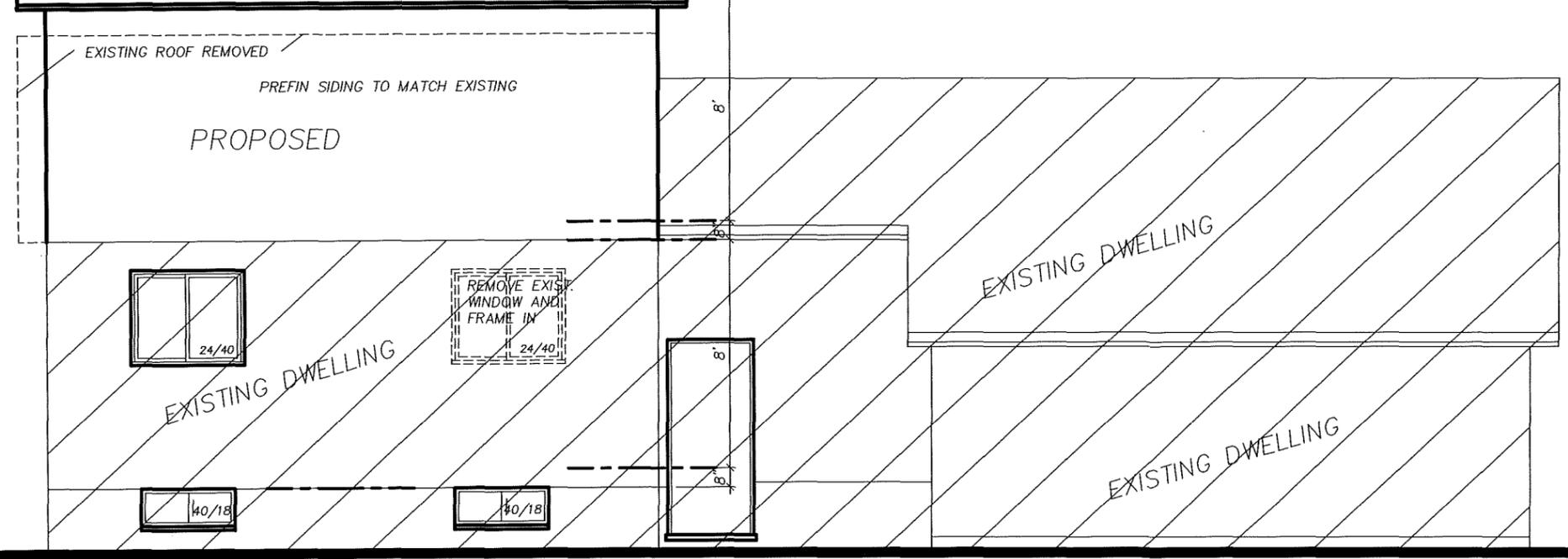
1

CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS AND REPORT ANY ERRORS. OMISSIONS OR DISCREPANCIES TO THE DESIGNER PRIOR TO COMMENCEMENT OF CONSTRUCTION.

SCALE 3/16" = 1'-0"



Right Side Elev



Left Side Elev.

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to design the work shown on the attached documents.

QUALIFICATION INFORMATION
 Required unless design is exempt under DIV. C 3.2.5.1 of the building code

Richard Weatherston *Richard Weatherston* 24787
 NAME SIGNATURE BCIN

REGISTRATION INFORMATION
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R.G. CAD SERVICE INC. 29747
 FIRM NAME BCIN

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3666 AUG.21

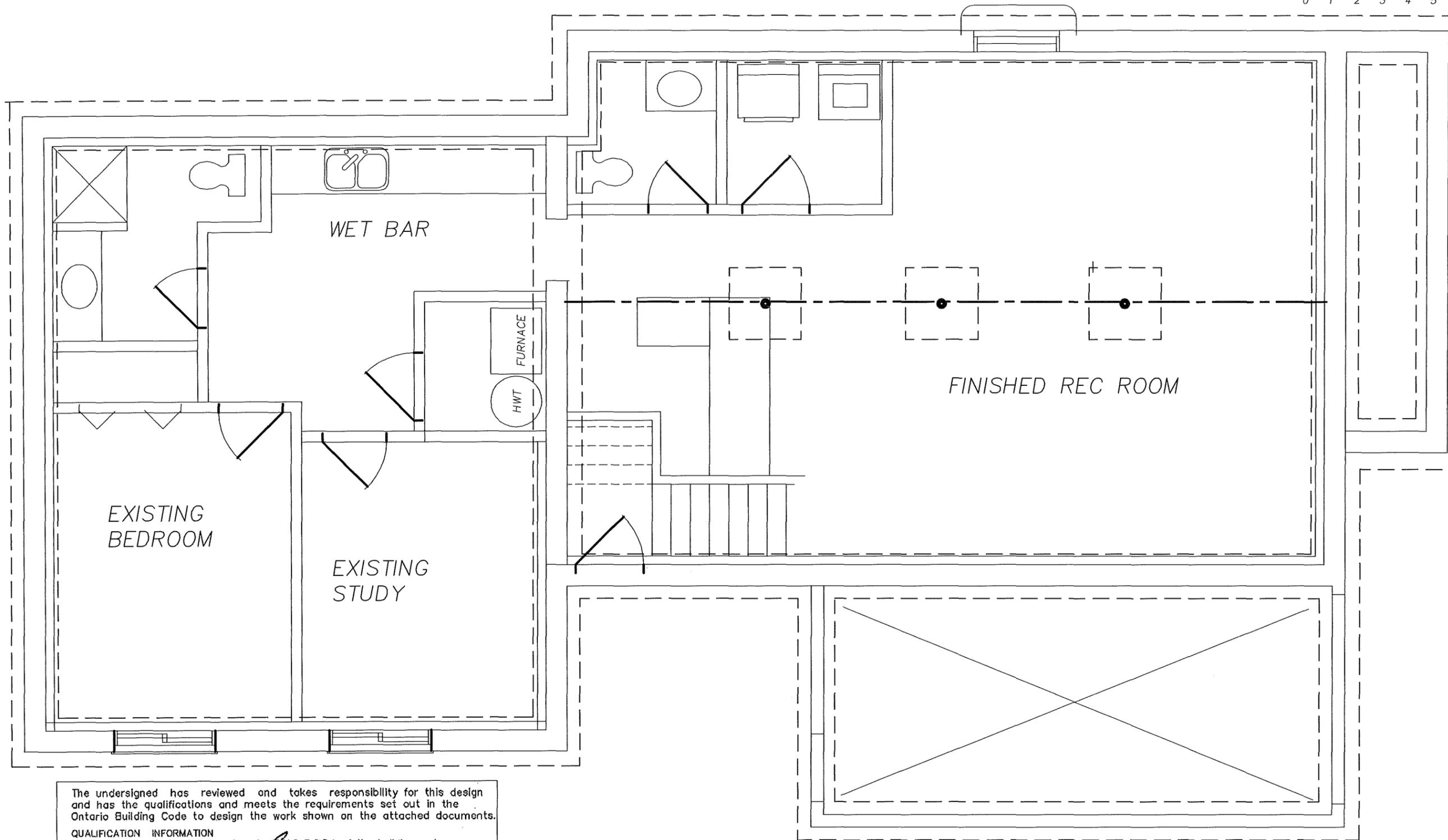
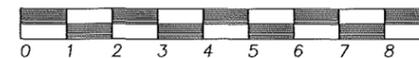
R.G.CAD SERVICE INC.
 228 GREEN RD. STONEY CREEK
 PHONE (905) 664-8061

PROPOSED ADDITION/RENOVATION
112 MANNING AVE
 HAMILTON

2

CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS AND REPORT ANY ERRORS, OMISSIONS OR DISCREPANCIES TO THE DESIGNER PRIOR TO COMMENCEMENT OF CONSTRUCTION.

SCALE 1/4" = 1'-0"

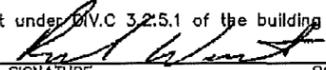


Basement & Fdn Plan

EXISTING

CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS AND REPORT ANY ERRORS, OMISSIONS OR DISCREPANCIES TO THE DESIGNER PRIOR TO COMMENCEMENT OF CONSTRUCTION.

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Required unless design is exempt under DIV.C 3.2.5.1 of the building code
Richard Weatherston  24787
NAME SIGNATURE BCIN

REGISTRATION INFORMATION
Required unless design is exempt under DIV. C 3.2.4.1 of the building code
R.G. CAD SERVICE INC. 29747
FIRM NAME BCIN

3666 AUG.21

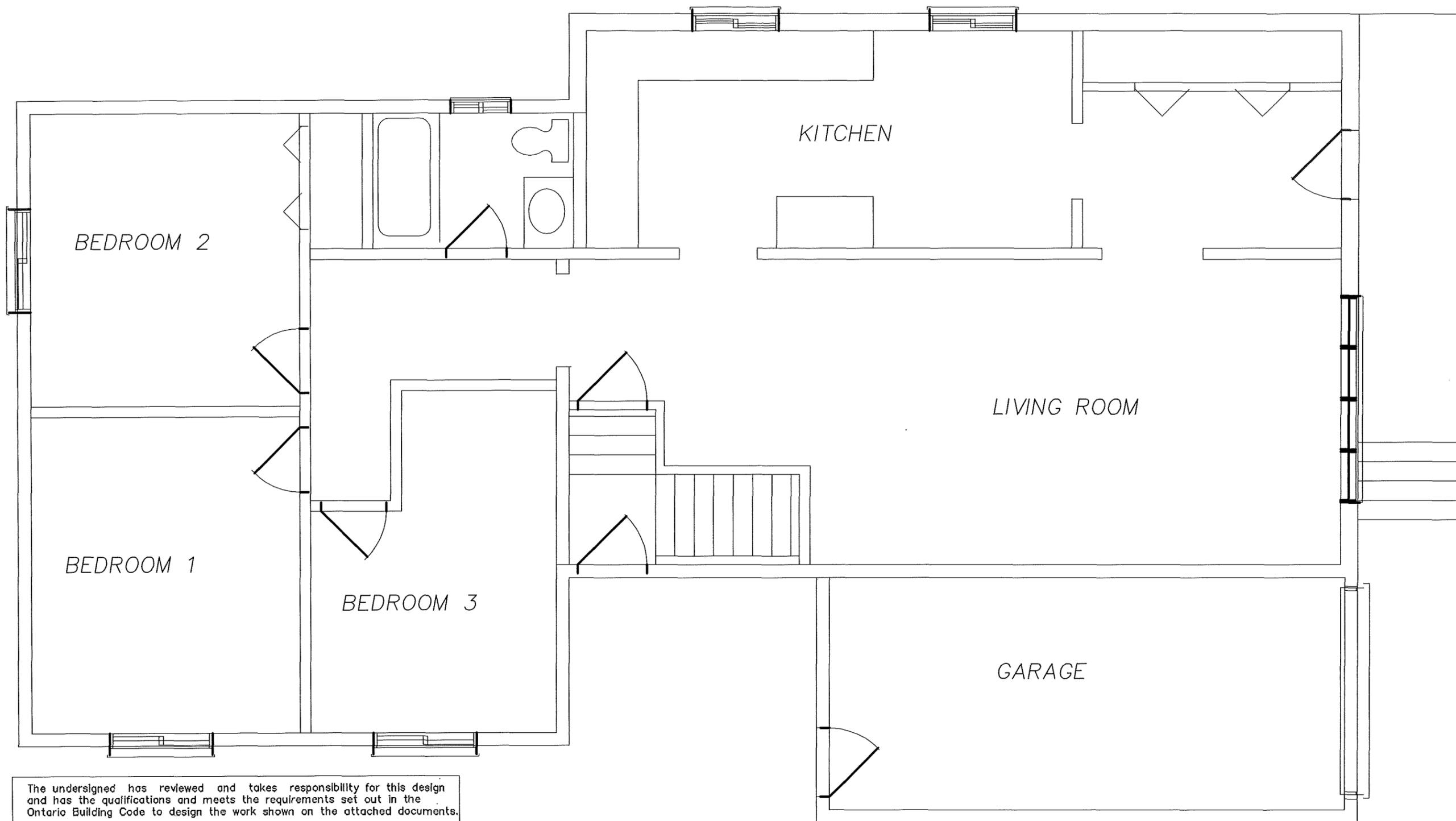
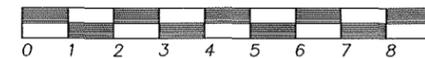
R.G.CAD SERVICE INC.
228 GREEN RD. STONEY CREEK
PHONE (905) 664-8061

PROPOSED ADDITION/RENOVATION
112 MANNING AVE
HAMILTON

3

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SCALE 1/4" = 1'-0"



First Floor Plan

EXISTING

CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS AND REPORT ANY ERRORS, OMISSIONS OR DISCREPANCIES TO THE DESIGNER PRIOR TO COMMENCEMENT OF CONSTRUCTION.

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Richard Weatherston *Richard Weatherston* 24787
 NAME SIGNATURE BCIN

REGISTRATION INFORMATION
 Required unless design is exempt under DIV. C 3.2.4.1 of the building code

R.G. CAD SERVICE INC. 29747
 FIRM NAME BCIN

Q.F.T.

3666 AUG.21

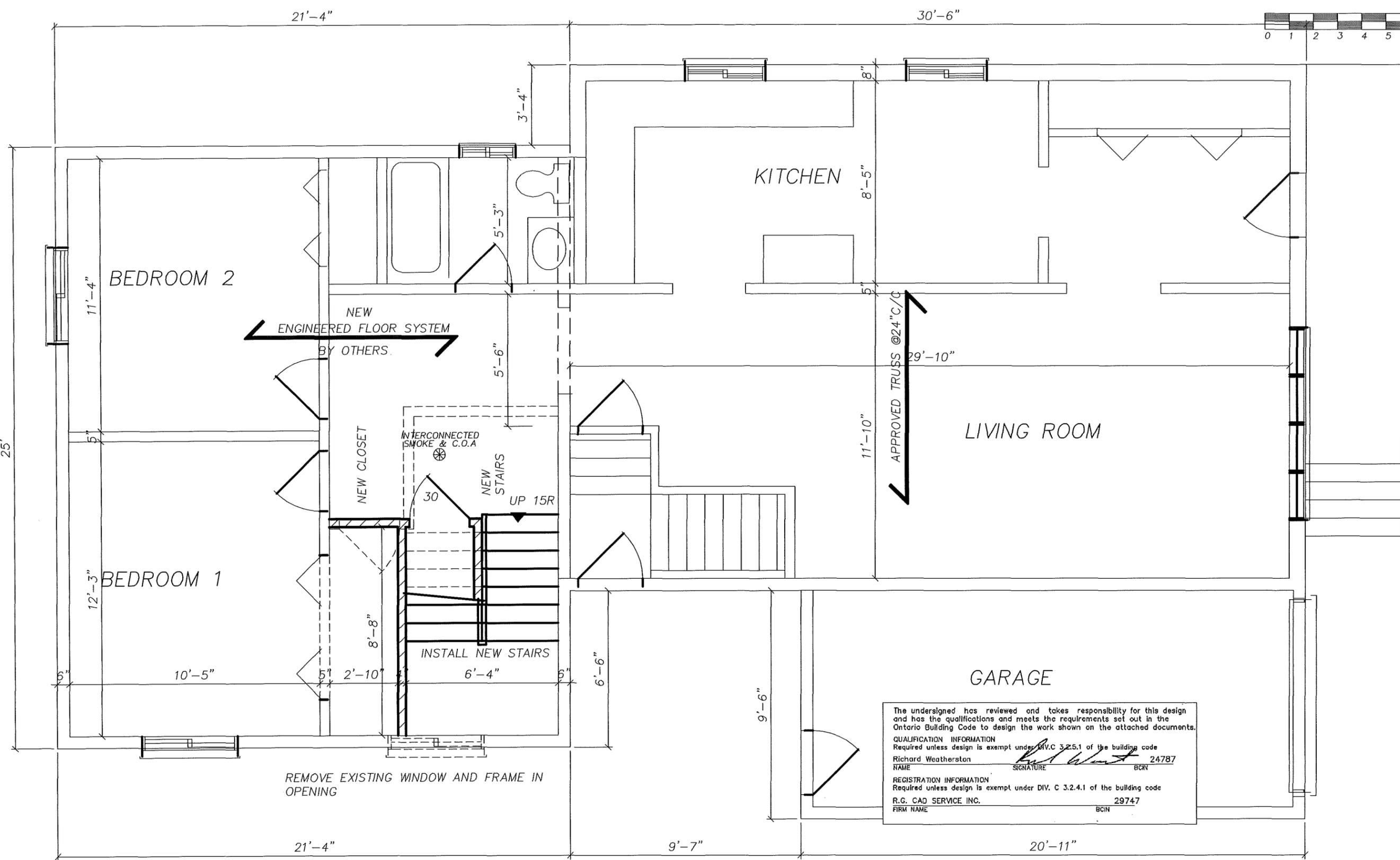
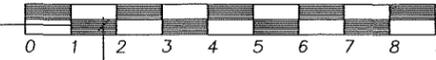
R.G.CAD SERVICE INC.
 228 GREEN RD. STONEY CREEK
 PHONE (905) 664-8061

PROPOSED ADDITION/RENOVATION
112 MANNING AVE
 HAMILTON

4

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SCALE 1/4" = 1'-0"



First Floor Plan

PROPOSED

CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS AND REPORT ANY ERRORS, OMISSIONS OR DISCREPANCIES TO THE DESIGNER PRIOR TO COMMENCEMENT OF CONSTRUCTION.

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to design the work shown on the attached documents.

QUALIFICATION INFORMATION
 Required unless design is exempt under DIV.C 3.2.5.1 of the building code

Richard Weatherston
 NAME SIGNATURE BCIN 24787

REGISTRATION INFORMATION
 Required unless design is exempt under DIV. C 3.2.4.1 of the building code

R.G. CAD SERVICE INC.
 FIRM NAME BCIN 29747

EXISTING FIRST FLOOR 1199 SQ.FT.

- NEW 2"x4"@16" STUD WALL
- EXISTING WALLS REMOVED

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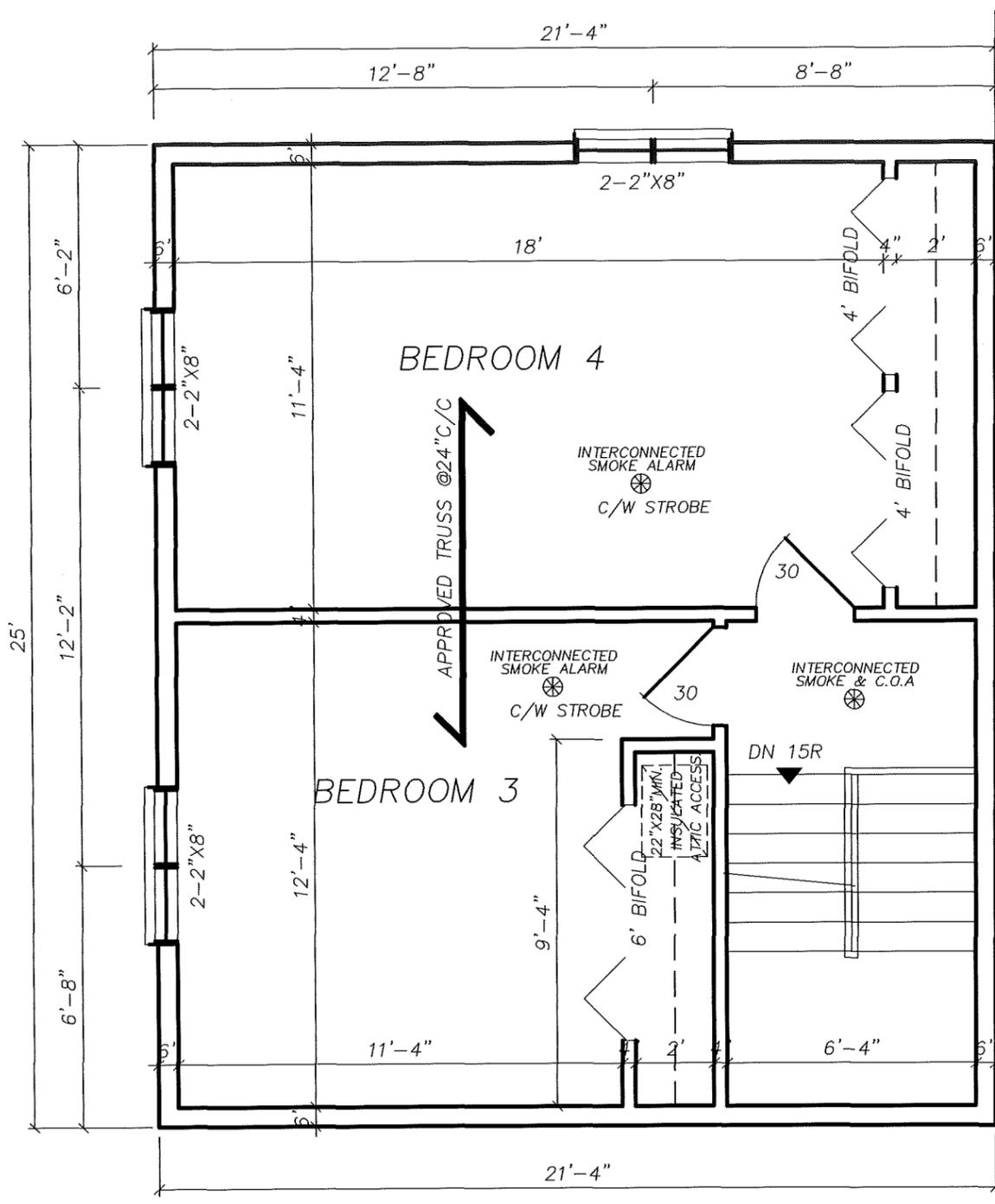
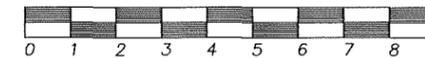
3666 AUG.21

R.G.CAD SERVICE INC.
 228 GREEN RD. STONEY CREEK
 PHONE (905) 664-8061

PROPOSED ADDITION/RENOVATION
112 MANNING AVE
 HAMILTON

5

SCALE 1/4" = 1'-0"



533 SQ.FT.

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to design the work shown on the attached documents.

QUALIFICATION INFORMATION
 Required unless design is exempt under DIV.C 3.2.5.1 of the building code

Richard Weatherston *Richard Weatherston* 24787
 NAME SIGNATURE BCIN

REGISTRATION INFORMATION
 Required unless design is exempt under DIV. C 3.2.4.1 of the building code

R.G. CAD SERVICE INC. 29747
 FIRM NAME BCIN

Second Floor Plan

PROPOSED

CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS AND REPORT ANY ERRORS, OMISSIONS OR DISCREPANCIES TO THE DESIGNER PRIOR TO COMMENCEMENT OF CONSTRUCTION.

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3666 AUG.21

R.G.CAD SERVICE INC.
 228 GREEN RD. STONEY CREEK
 PHONE (905) 664-8061

PROPOSED ADDITION/RENOVATION
112 MANNING AVE
 HAMILTON

6

GENERAL NOTES

FOOTINGS

1. ALL FOOTINGS TO CONFORM TO THE ONTARIO BUILDING CODE SECTION 9.15
2. ALL FOOTINGS TO BE 20MPa MIN AND BEAR ON SOUND UNDISTURBED SOIL CAPABLE OF SUSTAINING A SAFE BEARING CAPACITY OF 2500 PSF AT A DEPTH OF 4'-0" BELOW THE FINISHED GRADE ELEVATION. IF UPON EXCAVATING A LESSER SOIL BEARING CAPACITY IS ENCOUNTERED, THE ENGINEER IS TO BE NOTIFIED AND A NEW FOOTING DESIGN WILL BE PRODUCED.
3. ALL STEP FOOTINGS TO HAVE A MINIMUM OF 24" HORIZONTAL RUN AND A MAXIMUM VERTICAL STEP OF NOT MORE THAN 24".

SLABS ON GRADE

1. SLABS-ON-GRADE TO CONFORM TO THE ONTARIO BUILDING CODE SECTION 9.16.
2. CONCRETE SLABS BELOW GRADE TO BE 3" THICK MINIMUM AND TO BEAR ON 4" GRANULAR FILL COMPACTED LEVEL WITH TOP OF FOOTINGS.
3. HABITABLE ROOMS LOCATED ON CONCRETE SLABS TO BE DAMPPROOFED WITH 6 MIL POLYETHYLENE.
4. CONCRETE SLABS AT GRADE ELEVATION TO BE A MINIMUM OF 4" THICK AND REINFORCED WITH 6 X 6 -6/8 WWF OR POLYPROPYLENE FIBRES.

CONCRETE FOUNDATION WALLS

1. FOUNDATION WALLS TO CONFORM TO THE ONTARIO BUILDING CODE SECTION 9.15.4. AND BE A MIN OF 20MPa CONCRETE.
2. ALL CONCRETE WALLS TO BE A MINIMUM OF 8" THICK UNLESS NOTED OTHERWISE.
3. FOUNDATION WALLS TO EXTEND A MINIMUM OF 6" ABOVE FINISHED GRADE ELEVATION.
4. BASEMENT WINDOW WITH A WIDTH OF GREATER THAN 4'-0 TO BE REINFORCED WITH 2-10M BARS EXTENDING 12" ON EACH SIDE.
5. ALL FORM TIE HOLES TO BE FILLED AND SEALED TO OBC. 9.13.5.1.
6. APPLY A MINIMUM OF ONE HEAVY COAT OF BITUMINOUS OR OTHER APPLICATION OF DAMPROOFING TO GRADE LEVEL.
7. ANCHOR BOLTS FOR SILL PLATES TO BE 1/2" DIAMETER MINIMUM. GALVANIZED AND PLACED AT 7'-10" O.C. MAXIMUM.

BASEMENT COLUMNS, BEAMS AND BEARING WALLS

1. STUD BEARING WALLS IN BASEMENTS SUPPORTING NOT MORE THAN 1 FLOOR TO BE A MINIMUM OF 2" X 4" AT 16" O.C. ON 4 MIL POLY VAPOUR BARRIER ON 1 COURSE OF HALF HEIGHT ASHLAR BLOCK AND ANCHORED AT 7'-10" O.C. MAXIMUM.
2. STUD BEARING WALLS IN BASEMENTS SUPPORTING 2 FLOORS TO BE A MINIMUM OF 2" X 4" AT 12" O.C. ON 4 MIL POLY VAPOUR BARRIER ON 1 COURSE OF HALF HEIGHT ASHLAR BLOCK AND ANCHORED AT 7'-10" O.C. MAXIMUM.
3. PIPE COLUMNS SUPPORTING 2 FLOORS TO HAVE A MINIMUM OUTSIDE DIAMETER OF 2-7/8 AND A MINIMUM WALL THICKNESS OF 3/16" WITH A 6" X 6" X 1/4" MINIMUM STEEL BEARING PLATE AT EACH END.
4. STEEL COLUMN TOP PLATES TO BE CONNECTED TO BEAM WITH 2-1/2" DIA. BOLTS MINIMUM OR WELDED TO BEAM FLANGES.
5. ALL STEEL BEAMS TO BE SHOP PRIMED WITH RED OXIDE PRIMER AND HAVE A MINIMUM END BEARING OF NOT LESS THAN 3-1/2".
6. ALL WOOD BEAMS TO CONFORM TO OBC 9.23.8.
7. WOOD BEAMS FRAMED INTO MASONRY OR CONCRETE AT OR BELOW GRADE LEVEL SHALL BE TREATED TO PREVENT DECAY, OR A 1/2" AIR SPACE SHALL BE PROVIDED AT THE REAR AND SIDES OF THE WOOD BEAM IN ACCORDANCE WITH OBC 9.23.2.2.

ABOVE GRADE MASONRY VENEER

1. WHERE THE TOP OF THE FOUNDATION WALL IS REDUCED IN THICKNESS TO PERMIT INSTALLATION OF BRICK FACING THE BRICK AND CONCRETE BLOCK WALLS TO HAVE APPROVED METAL TIES AT 8" O.C. VERTICAL AND 2'-11" O.C. HORIZONTALLY WITH THE SPACE BETWEEN THE WYTHES SOLIDLY FILLED WITH MORTAR.
2. MAXIMUM CORBEL OVER FOUNDATION WALLS TO BE 1" WHERE MASONRY IS AT LEAST 3-1/2" THICK AND 1/2" WHERE MASONRY IS LESS THAN 3-1/2" THICK.
3. BRICK VENEER TIES TO BE GALVANIZED CORROSION RESISTANT CORRUGATED 22 GA X 7/8" WIDE SPACED IN ACCORDANCE WITH OBC. TABLE 9.20.9.A.
4. PROVIDE FLASHING IN ACCORDANCE WITH OBC SECTION 9.20.13. UNDER STARTER COURSE AND EXTENDED A MINIMUM OF 6" UP THE WALL AND UNDER THE BUILDING PAPER.
5. PROVIDE DRAINAGE WEEP HOLES IN BASE OF STARTER COURSE AT 32" O.C. AND AS INDICATED IN ACCORDANCE WITH OBC SECTION 9.20.13.9.
6. PROVIDE A MINIMUM OF 1" AIR SPACE BETWEEN THE BRICK VENEER AND THE WALL SHEATHING.

WOOD FRAMING

1. ALL WOOD STRUCTURAL MEMBERS HAVE BEEN SELECTED BASED UPON USING NO.2 CONSTRUCTION GRADE SPRUCE UNLESS OTHERWISE NOTED.
2. INSTALL DOUBLE JOISTS UNDER ALL PARALLEL PARTITIONS.
3. INSTALL TRIPLE JOISTS UNDER ALL PARALLEL BEARING PARTITIONS UNLESS OTHERWISE NOTED.
4. ALL FLOOR JOISTS, ROOF JOISTS AND RAFTERS TO HAVE A MINIMUM END BEARING OF 1-1/2".
5. INSTALL METAL JOIST HANGERS FOR SUPPORT OF JOISTS FRAMED INTO SIDES OF WOOD BEAMS, TRIMMERS AND HEADERS WHEN REQUIRED.
6. INSTALL BRIDGING BETWEEN SUPPORTS AT INTERVALS OF NOT MORE THAN 6'-11" OR AS NOTED IN THE PLANS ALSO IN ACCORDANCE WITH OBC 9.23.9.4.
7. ALL HEADER JOISTS AROUND FLOOR OPENINGS TO BE DOUBLED WHEN THEY EXCEED 3'-11" IN LENGTH.
8. LOAD BEARING PARTITION WALLS AT RIGHT ANGLES TO THE FLOOR JOISTS TO BE LOCATED NOT MORE THAN 2'-11" FROM THE JOIST SUPPORT WHEN WALL DOES NOT SUPPORT A FLOOR AND NOT MORE THAN 2'-0" FROM THE JOIST SUPPORT IF IT SUPPORTS ANOTHER FLOOR.
9. STUD BEARING WALLS NOT SHEATHED ON AT LEAST ONE SIDE SHALL HAVE MID HEIGHT BLOCKING OR EQUAL LATERAL SUPPORT.

INSULATION AND VAPOUR BARRIERS

1. THE UPPER PART OF FOUNDATION WALLS ENCLOSING A HEATED AREA SHALL BE INSULATED FROM UNDERSIDE OF THE SUB FLOOR TO NOT MORE THAN 8" FROM BASEMENT FINISHED FLOOR AND PROTECTED WITH A MOISTURE BARRIER AND/OR VAPOUR BARRIER.
2. PROVIDE RIGID PERIMETER INSULATION FOR CONCRETE SLABS ON GRADE WHICH FORM HABITABLE AREAS.
3. MASONRY WALLS OF HOLLOW UNITS WHICH PENETRATE THROUGH THE CEILING SHALL BE CAPPED WITH SOLID MASONRY UNITS OR BE SEALED WITH FLASHING MATERIAL WHICH EXTENDS ACROSS THE FULL WIDTH OF THE MASONRY AT OR NEAR THE CEILING OR ROOF SPACE TO PREVENT MOISTURE WITHIN THE VOIDS FROM ENTERING THE ROOF SPACE.
4. DUCTWORK IN ATTICS OR ROOF SPACES SHALL HAVE ALL JOINTS TAPED OR BE OTHERWISE SEALED TO ENSURE THEY ARE AIRTIGHT THROUGHOUT THEIR LENGTH.

ROOF CONSTRUCTION

1. HIP AND VALLEY RAFTERS TO BE NOT LESS THAN 2" GREATER IN DEPTH THAN THE COMMON RAFTERS AND NOT LESS THAN 1 1/2" THICK.
2. ATTIC ACCESS HATCHES TO BE 22" X 28" MINIMUM WITH BUILT UP SIDES OF 5/8" PLYWOOD WHERE LOOSE INSULATION IS TO BE USED. HATCH COVER IS TO BE INSULATED AND WEATHERSTRIPPED OVER HEATED AREAS.
3. PROVIDE TYPE S ROLL ROOFING EAVE PROTECTION FROM THE EDGE OF THE ROOF FOR A DISTANCE OF NOT LESS THAN 12" BEYOND THE INTERNAL FACE OF THE EXTERIOR WALLS.
4. ROOF AND CEILING FRAMING TO BE DOUBLED ON EACH SIDE OF OPENING GREATER THAN 2 RAFTERS OR JOIST SPACING IN WIDTH.

FLASHING

1. FLASHING BETWEEN ROOF SHINGLES AND WALL SIDING TO EXTEND 3" UP BEHIND SIDING AND 4" HORIZONTALLY.
2. FLASHING REQUIRED AT INTERSECTIONS OF ROOF AND WALLS, VALLEYS AND OVER PARAPET WALLS.
3. FLASH AROUND ALL CHIMNEYS AND PROVIDE CHIMNEY SADDLES ON ALL CHIMNEYS WHERE THE WIDTH EXCEEDS 2'-6".
4. FLASHING IS REQUIRED UNDER ALL MASONRY, WINDOW SILLS AND HEADS OF OPENINGS AND SHALL EXTEND FROM THE FRONT EDGE OF THE MASONRY UP BEHIND THE SILL OR LINTEL.

NATURAL VENTILATION

1. ROOF SPACES OR ATTICS SHALL BE VENTILATED IN ACCORDANCE WITH OBC SECTION 9.19.1 WITH OPENINGS TO THE EXTERIOR HAVING A TOTAL UNOBSTRUCTED AREA OF NOT LESS THAN 1/300 OF THE INSULATED CEILING AREA OF WHICH 50% IS LOCATED IN THE SOFFITS SO AS TO PROVIDE EFFECTIVE AIR CIRCULATION.
2. INSULATION SHALL BE INSTALLED IN MANNER WHICH WILL NOT REDUCE THE FLOW OF AIR THROUGH THE VENTS OR THROUGH ANY PORTION OF THE ROOF SPACE OR ATTIC.
3. MAINTAIN R20 MINIMUM INSULATION AT ROOF AND WALL JUNCTIONS NEAR EAVES.
4. PROVIDE FIBREGLASS VENT PANELS IN ATTIC NEAR WALL/SOFFIT AT EAVES TO ENSURE AIR FLOW.

STAIRS AND HANDRAILS

1. EXCEPT TO AREAS USED ONLY AS SERVICE ROOMS, ALL STAIRS SERVING DWELLING UNITS SHALL HAVE A MAXIMUM RISE OF 7-7/8", A MINIMUM RUN OF 8-1/4" AND WITH A MINIMUM TREAD WIDTH OF 9-1/4".
2. HEADROOM FOR STAIRS WITHIN DWELLING UNITS TO BE 6'-5" MINIMUM MEASURED VERTICALLY FROM A LINE DRAWN THROUGH THE FRONT OF THE NOSING.
3. HANDRAILS ARE NOT REQUIRED FOR STAIRS WITHIN A DWELLING UNIT THAT HAS FEWER THAN 3 RISERS.
4. HANDRAILS SHALL BE INSTALLED ON AT LEAST ONE SIDE OF ALL STAIRS LESS THAN 3'-7" IN WIDTH AND SHALL BE 32" TO 36" ABOVE A LINE DRAWN THROUGH THE NOSING.
5. EXTERIOR STAIRS WITH 3 OR MORE RISERS REQUIRED A HANDRAIL ON AT LEAST ONE SIDE.
6. CURVED STAIRS, IF UNSPECIFIED SHALL HAVE A MINIMUM RUN OF 5-7/8" WITH AN AVERAGE RUN OF NOT LESS THAN 7-7/8".

WINDOWS AND DOORS

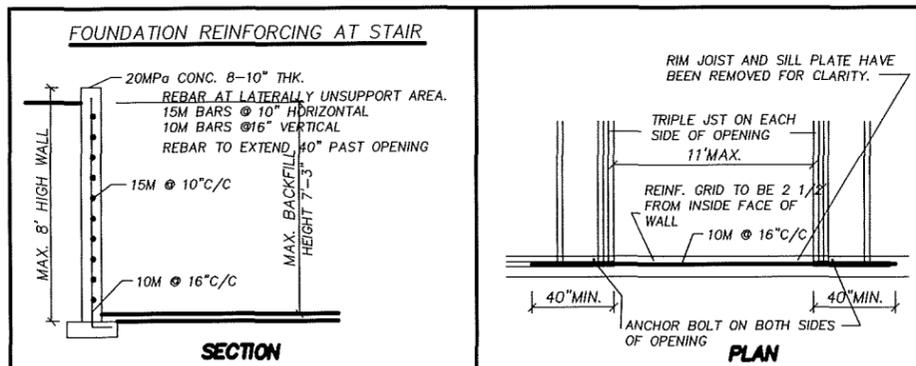
1. WINDOW TO HAVE 10% GLASS AREA OF THE FLOOR AREA SERVED IN LIVING ROOMS, DINNING ROOMS AND KITCHENS.
2. WINDOWS TO HAVE 5% MINIMUM GLASS AREA OF THE FLOOR SERVED IN BEDROOM AREAS.
3. HABITABLE ROOMS SHALL HAVE A MINIMUM OF 3 SQUARE FEET OPENING AREA TO PROVIDE NATURAL VENTILATION.
4. ALL WINDOWS AND SLIDING GLASS DOORS TO HAVE DOUBLE GLAZING, THERMAL GLAZING OR BE EQUIPPED WITH STORM DOORS.
5. EXTERIOR DOORS TO HAVE A THERMAL RESISTANCE OF R7 MINIMUM IF NO STORM DOORS ARE PROVIDED.

MISCELLANEOUS

1. WHERE A GARDEN HOSE BIB IS INSTALLED IN A POTABLE WATER SYSTEM TO SUPPLY A 1/2" OR 3/4" HOSE. THE BIB SHALL CONTAIN AN INTEGRATED BACK SIPHONAGE PREVENTOR.
2. CLASS "B" GAS VENTS MUST BE INSTALLED WITH REQUIRED CLEARANCES FROM ALL COMBUSTABLE MATERIALS IN ACCORDANCE WITH THE O.B.C.
3. THE DESIGNER TAKES NO RESPONSABILITY UNTIL HE HAS SIGNED THE (SCHEDULE 1) DESIGNERS INFORMATION SHEET FOR THAT SPECIFIED LOT. THIS TAKES AFFECT ON JAN. 1 2006 AS NOTED IN BILL 124.
4. ALL TRUSS DESIGN TO BE SELF SUPPORTED ON EXTERIOR WALLS UNLESS DISCUSSED WITH DESIGNER PRIOR TO PERMIT APPLICATION.
5. TRIPLE STUDS UNDER ALL GIRDER TRUSS AND ROOF POINT LOADS.

STUD WALLS IN THE MAIN BATHROOM SHALL BE REINFORCED TO PERMIT FUTURE INSTALLATION OF GRAB BARS ADJACENT TO WATER CLOSET AND TUB AS INDICATED IN CLAUSE 3.8.3.1(d) AND 3.8.3.13.1(f).

NOTE: ANY INFORMATION NOT SHOWN ON THESE DRAWINGS SHALL COMPLY TO DIVISION C SECTION 9 OF THE ONTARIO BUILDING CODE.

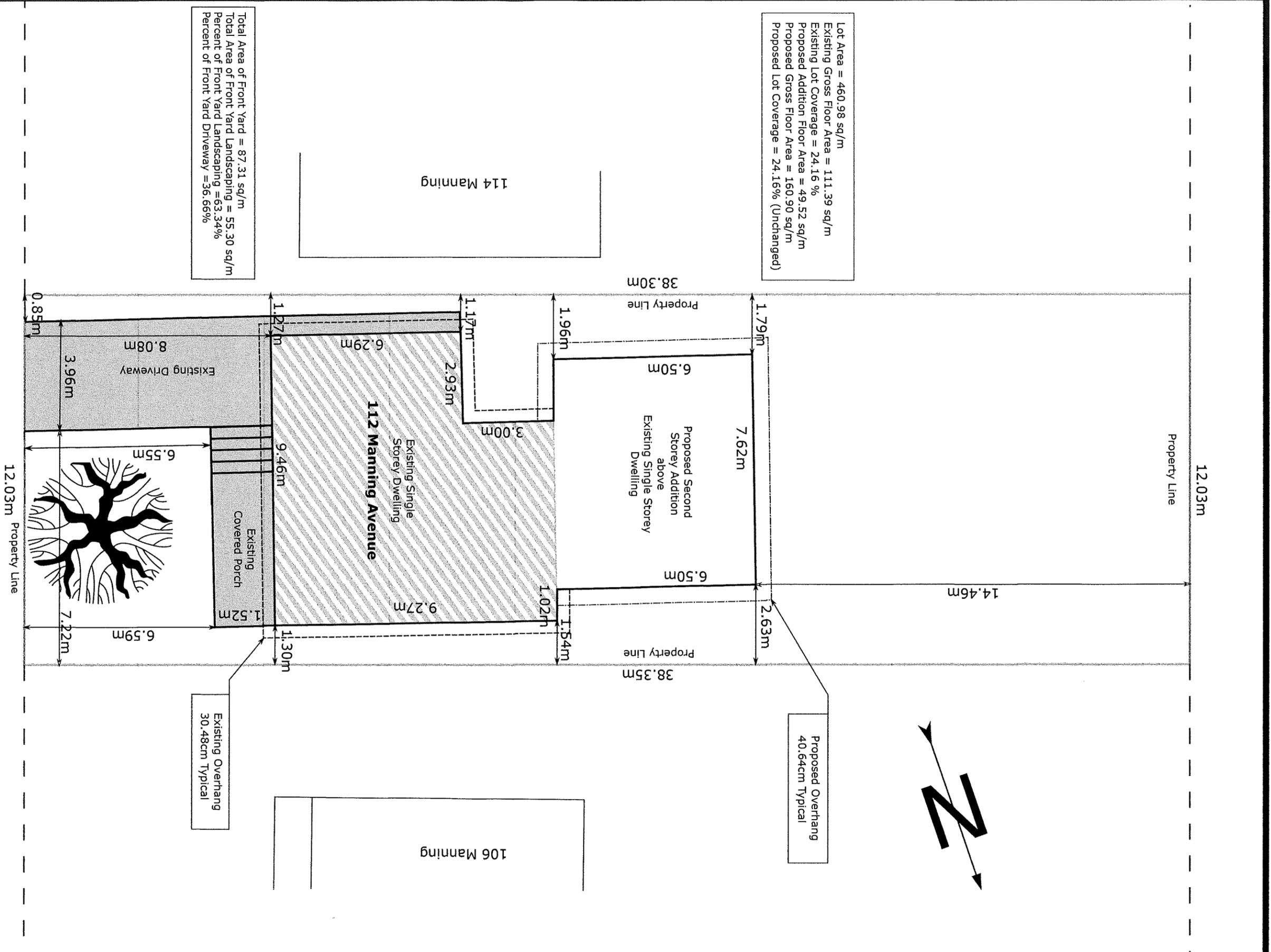


The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to design the work shown on the attached documents.

QUALIFICATION INFORMATION
 Required unless design is exempt under Div. C 3.2.5.1 of the building code
 Richard Weatherston 24787
 NAME SIGNATURE BCK

REGISTRATION INFORMATION
 Required unless design is exempt under Div. C 3.2.4.1 of the building code
 R.G. CAD SERVICE INC. 29747
 FIRM NAME BCK

CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS AND REPORT ANY ERRORS, OMISSIONS OR DISCREPANCIES TO THE DESIGNER PRIOR TO COMMENCEMENT OF CONSTRUCTION.



Lot Area = 460.98 sq/m
 Existing Gross Floor Area = 111.39 sq/m
 Existing Lot Coverage = 24.16 %
 Proposed Addition Floor Area = 49.52 sq/m
 Proposed Gross Floor Area = 160.90 sq/m
 Proposed Lot Coverage = 24.16% (Unchanged)

Total Area of Front Yard = 87.31 sq/m
 Total Area of Front Yard Landscaping = 55.30 sq/m
 Percent of Front Yard Landscaping = 63.34%
 Percent of Front Yard Driveway = 36.66%

Proposed Overhang
 40.64cm Typical

Existing Overhang
 30.48cm Typical



MANNING AVENUE

All measurements in Metric

DATE
 Jan 12, 2022

SITE PLAN



Committee of Adjustment
 City Hall, 5th Floor,
 71 Main St. W.,
 Hamilton, ON L8P4Y5

Phone: (905) 546-2424 ext. 4221
 Email: cofa@hamilton.ca

APPLICATION FOR A MINOR VARIANCE

FOR OFFICE USE ONLY.	
APPLICATION NO. _____	DATE APPLICATION RECEIVED _____
PAID _____	DATE APPLICATION DEEMED COMPLETE _____
SECRETARY'S SIGNATURE _____	

The Planning Act

Application for Minor Variance or for Permission

The undersigned hereby applies to the Committee of Adjustment for the City of Hamilton under Section 45 of the *Planning Act*, R.S.O. 1990, Chapter P.13 for relief, as described in this application, from the Zoning By-law.

1, 2	NAME	MAILING ADDRESS
Registered Owners(s)	[REDACTED]	
Applicant(s)*		
Agent or Solicitor		

Note: Unless otherwise requested all communications will be sent to the agent, if any.

3. Names and addresses of any mortgagees, holders of charges or other encumbrances:

BMO LIMERIDGE MALL,
 999 UPPER WENTWORTH STREET
 HAMILTON
 ONTARIO

Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled

4. Nature and extent of relief applied for: BUILDING 2 ROOMS IN ATTIC

Secondary Dwelling Unit Reconstruction of Existing Dwelling

5. Why it is not possible to comply with the provisions of the By-law?

THIS IS A SINGLE FAMILY HOME

6. Legal description and Address of subject lands (registered plan number and lot number or other legal description and where applicable, **street and street number**):

~~LOT # 196~~, REGISTERED PLAN # 196, LOT # 79
112 ^{PS} MANNING AVE, HAMILTON, ONTARIO, L9A 3E9
1 STOREY DWELLING, STONE AND ALUMINUM SIDING.

7. PREVIOUS USE OF PROPERTY

Residential Industrial Commercial

Agricultural Vacant Other

Other _____

8.1 If Industrial or Commercial, specify use _____

8.2 Has the grading of the subject land been changed by adding earth or other material, i.e. has filling occurred?

Yes No Unknown

8.3 Has a gas station been located on the subject land or adjacent lands at any time?

Yes No Unknown

8.4 Has there been petroleum or other fuel stored on the subject land or adjacent lands?

Yes No Unknown

8.5 Are there or have there ever been underground storage tanks or buried waste on the subject land or adjacent lands?

Yes No Unknown

8.6 Have the lands or adjacent lands ever been used as an agricultural operation where cyanide products may have been used as pesticides and/or sewage sludge was applied to the lands?

Yes No Unknown

8.7 Have the lands or adjacent lands ever been used as a weapon firing range?

Yes No Unknown

8.8 Is the nearest boundary line of the application within 500 metres (1,640 feet) of the fill area of an operational/non-operational landfill or dump?

Yes No Unknown

8.9 If there are existing or previously existing buildings, are there any building materials remaining on site which are potentially hazardous to public health (eg. asbestos, PCB's)?

Yes No Unknown

8.10 Is there any reason to believe the subject land may have been contaminated by former uses on the site or adjacent sites?

Yes No Unknown

8.11 What information did you use to determine the answers to 8.1 to 8.10 above?

HAVE LIVED HERE FOR 27 YEARS

8.12 If previous use of property is industrial or commercial or if YES to any of 8.2 to 8.10, a previous use inventory showing all former uses of the subject land, or if appropriate, the land adjacent to the subject land, is needed.

Is the previous use inventory attached? Yes No

9. ACKNOWLEDGEMENT CLAUSE

I acknowledge that the City of Hamilton is not responsible for the identification and remediation of contamination on the property which is the subject of this Application – by reason of its approval to this Application.

Jan 10, 2022
Date

[Signature]
Signature Property Owner(s)

JOHN BURNS
Print Name of Owner(s)

10. Dimensions of lands affected:
 Frontage 28.50' WIDTH 39' 5 3/4"
 Depth 125' x 10 1/4"
 Area 4,886 sq/500
 Width of street _____

11. Particulars of all buildings and structures on or proposed for the subject lands: (Specify ground floor area, gross floor area, number of stories, width, length, height, etc.)

Existing: ~~NO~~ 1/2 STOREY RESIDENTIAL BLDG
SINGLE STOREY DWELLING
NO POOL

Proposed
ATTIC ADDITION OF 2 ROOMS

12. Location of all buildings and structures on or proposed for the subject lands; (Specify distance from side, rear and front lot lines)

Existing: FRONT 28.50'
NORTH SIDE 5.94'
SOUTH SIDE 5.87'
REAR 45'

Proposed: NO CHANGE IN FOOTPRINT
CREAT 2 ROOMS IN ATTIC.

13. Date of acquisition of subject lands:
2005

14. Date of construction of all buildings and structures on subject lands:
PLAN DATED 1986

15. Existing uses of the subject property (single family, duplex, retail, factory etc.):
SINGLE FAMILY

16. Existing uses of abutting properties (single family, duplex, retail, factory etc.):
SINGLE FAMILY UNITS

17. Length of time the existing uses of the subject property have continued:

18. Municipal services available: (check the appropriate space or spaces)

Water	<input checked="" type="checkbox"/>	Connected	<input checked="" type="checkbox"/>
Sanitary Sewer	<input checked="" type="checkbox"/>	Connected	<input checked="" type="checkbox"/>
Storm Sewers	<input checked="" type="checkbox"/>		

19. Present Official Plan/Secondary Plan provisions applying to the land:

20. Present Restricted Area By-law (Zoning By-law) provisions applying to the land:

21. Has the owner previously applied for relief in respect of the subject property?

Yes No

If the answer is yes, describe briefly.

22. Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?

Yes No

23. Additional Information

24. The applicant shall attach to each copy of this application a plan showing the dimensions of the subject lands and of all abutting lands and showing the location, size and type of all buildings and structures on the subject and abutting lands, and where required by the Committee of Adjustment such plan shall be signed by an Ontario Land Surveyor.



Hamilton

COMMITTEE OF ADJUSTMENT

City Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5
 Telephone (905) 546-2424, ext. 4221, 3935 Fax (905) 546-4202
 E-mail: cofa@hamilton.ca

NOTICE OF PUBLIC HEARING Minor Variance

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
- Applicant/agent on file, or
- Person likely to be interested in this application

APPLICATION NO.:	GL/A-22:43
APPLICANTS:	Agent A.J. Clarke & Associates S. Fraser Owner Cachet Developments (Binbrook)
SUBJECT PROPERTY:	Municipal address 3105 Fletcher Rd., Glanbrook
ZONING BY-LAW:	Zoning By-law Glanbrook Zoning By-law No. 464 & Hamilton Zoning By-law No. 05-200, as Amended 16-168 as approved by OMB File No. PL150224 (Glanbrook Zoning By-law No. 464) and 16-169 as approved by OMB File No. PL150224 (Hamilton Zoning By-law No. 05-200)
ZONING:	"H-R4-295", "H-RM2-296", "H-RM3-297", "H-RM3-298", "H-C3-299", "P1", "P5" and "I2, 477, H16" district Residential "R4" zone; Residential Multiple "RM2" zone; Residential Multiple "RM3" zone; General Commercial "C3" zone; Neighbourhood Park (P1) zone; Conservation/Hazard Lane (P5) zone and Community Institutional (I2) zone
PROPOSAL:	To permit the construction of a single detached dwelling on each of the lots zoned "H-R4-295" and "I2,477,H16", to permit street townhouse dwellings to be constructed on each of the lots zoned "H-RM2-296" and "I2,477,"H16" and to permit block townhouse dwellings, to apartment buildings, stacked townhouses and/or back-to-back townhouses (maisonettes) to be constructed on each of the blocks zoned "H-RM3-297" and "H-RM3-298" pursuant to Draft Plan of Subdivision File No. 25T-201405 notwithstanding that:

Variances required for lands zoned "H-R4-295" pursuant to Glanbrook Zoning By-law No. 464

1. A minimum lot frontage of 10.0m except 11.2m for a corner lot shall be permitted instead of the minimum required lot frontage of 10.0m except 13.0m for a corner lot.
2. Bay windows, bow windows and box windows, either with or without foundations shall be permitted to project into any required front, rear or flankage yards a distance of not more than 0.9m instead of the requirement that only bay windows, either with or without foundations may project into any required front, rear or flankage yards a distance of not more than 0.9m.
3. Patio decks, including the associated stairs, shall be permitted to be minimum of 2.4m from a flanking street line instead of the requirement that patio decks shall be a minimum of 7.5m from any street line.

GL/A-22: 43

Page 2

Variations required for lands zoned "H-RM2-296" pursuant to Glanbrook Zoning By-law No. 464

1. A minimum lot frontage of 6.0m except 8.4m for a corner lot shall be permitted instead of the minimum required lot frontage of 6.0m except 9.0m for a corner lot.
2. A minimum side yard of 2.4m on an end unit on a corner lot abutting a flanking street shall be permitted instead of the minimum required side yard of 3.0 m on an end unit on a corner lot abutting a flanking street.
3. Bay windows, bow windows and box windows, either with or without foundations shall be permitted to project into any required front, rear or flankage yards a distance of not more than 0.9m instead of the requirement that only bay windows, either with or without foundations may project into any required front, rear or flankage yards a distance of not more than 0.9m
4. Patio decks, including the associated stairs, shall be permitted to be 0.0m from any interior side lot line and a minimum of 2.4m from a flanking street line instead of the requirement that patio decks shall be a minimum of 1.0m from any interior side lot line and a minimum of 7.5m from any street line.

Variations required for lands zoned "H-RM3-297" and "H-RM3-298" pursuant to Glanbrook Zoning By-law No. 464

1. Bay windows, bow windows and box windows, either with or without foundations shall be permitted to project into any required front, rear or flankage yards a distance of not more than 0.9m instead of the requirement that only bay windows, either with or without foundations may project into any required front, rear or flankage yards a distance of not more than 0.9m.
2. Patio decks, including its associated stairs, shall be permitted to be a minimum of 4.5m from a flanking street line instead of the requirement that patio decks shall be a minimum of 7.5m from any street line and minimum of 3.0m from a rear lot line.

Variations required for Single Detached Dwellings on lands zoned "I2, 477, H16" pursuant to Hamilton Zoning By-law No. 05-200

1. A minimum lot width of 10.0m except 11.2m for a corner lot shall be permitted instead of the minimum required lot width of 10.0m except 13.0m for a corner lot for Single Detached Dwelling lots.
2. Bay windows, bow windows, box windows and alcoves, either with or without foundations, shall be permitted to encroach into any required yard to a maximum of 0.9m and that no such feature shall have a width greater than 3.0 metres instead of the requirement that a bay window or alcove, without foundation, may encroach into any required yard to a maximum of 0.6 metres, or half the distance of the required yard, whichever is the lesser and that no such feature shall have a width greater than 3.0 metres.

Variations required for Street Townhouse Dwellings on lands zoned "I2, 477, H16" pursuant to Hamilton Zoning By-law No. 05-200

1. A minimum flankage yard of 2.4m shall be provided instead of the minimum required flankage yard of 3.0m.
2. Bay windows, bow windows, box windows and alcoves, either with or without foundations, shall be permitted to encroach into any required yard to a maximum of 0.9m and that no such feature shall have a width greater than 3.0 metres instead of the requirement that a bay window or alcove, without foundation, may encroach into any required yard to a maximum of 0.6 metres, or half the distance of the required yard, whichever is the lesser and that no such feature shall have a width greater than 3.0 metres.

GL/A-22:43

Page 3

NOTE:

- i) The variances are written as requested by the applicant.
- ii) The "H" (Holding) provision shall be removed prior to development of the lots.
- iii) Draft Plan of Subdivision File No. 25T-201405 shall be registered.

This application will be heard by the Committee as shown below:

DATE: Thursday, March 17th, 2022
TIME: 3:10 p.m.
PLACE: Via video link or call in (see attached sheet for details)
 To be streamed at
www.hamilton.ca/committeeofadjustment
 for viewing purposes only

PUBLIC INPUT

Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

Orally: If you would like to speak to this item at the hearing you may do so via video link or by calling in. Please see attached page for complete instructions, including deadlines for registering to participate.

MORE INFORMATION

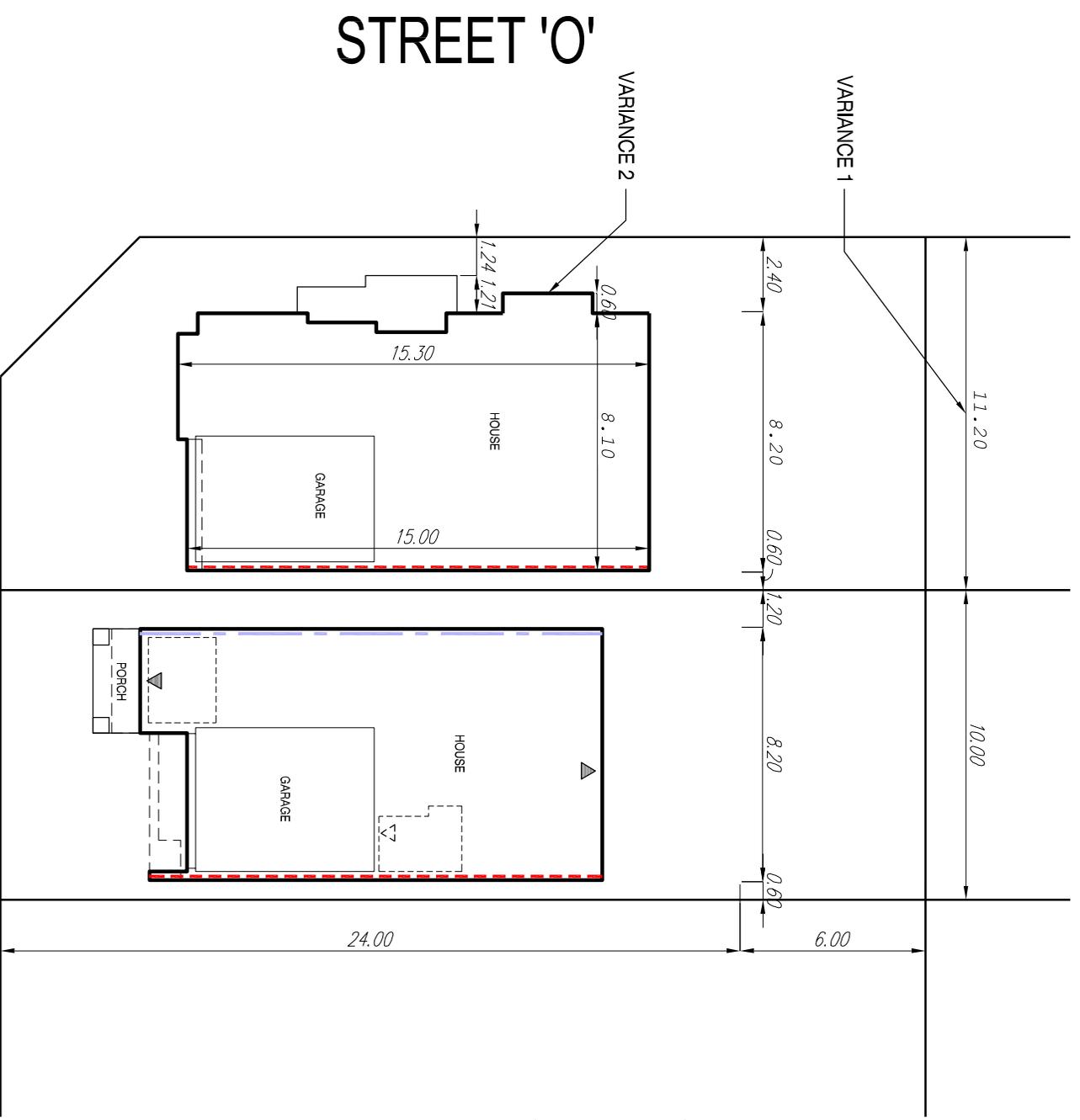
For more information on this matter, including access to drawings illustrating this request:

- Visit www.hamilton.ca/committeeofadjustment
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935
- Email Committee of Adjustment staff at cofa@hamilton.ca

DATED: March 1st, 2022.

Jamila Sheffield,
 Secretary-Treasurer
 Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public.



STREET 'O'

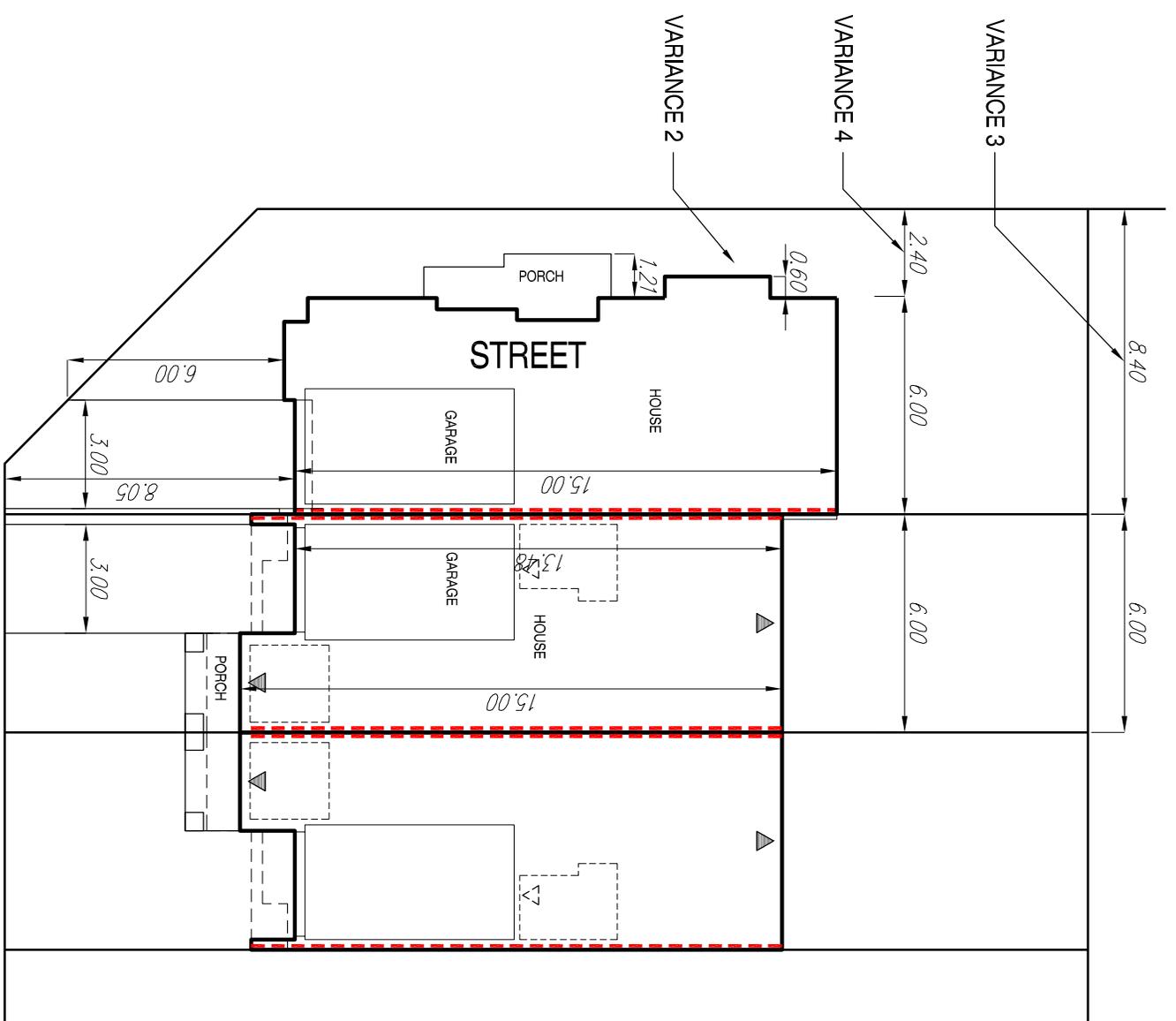
DETACHED SINGLES

N.T.S.

VARIANCE 1
 H-R4-295 ZONE OF APPROVED BY-LAW # 16-168: TO PERMIT A MINIMUM LOT FRONTAGE OF 10 M (11.2M FOR A CORNER LOT) WHEREAS THE ZONING BY-LAW REQUIRES 10 M (13.0 M FOR A CORNER LOT).

VARIANCE 2
 H-R4-295 AND H-RM2-296 ZONE OF APPROVED BY-LAW # 16-168 - ENCROACHMENT INTO YARDS: TO PERMIT BAY WINDOWS, BOW WINDOWS AND BOX WINDOWS, EITHER WITH OR WITHOUT FOUNDATIONS, TO PROJECT INTO ANY REQUIRED FRONT, REAR OR FLANKAGE YARD A DISTANCE OF NOT MORE THAN 0.9 M, WHEREAS THE ZONING BY-LAW ONLY SPECIFIES BAY WINDOWS.

STREET



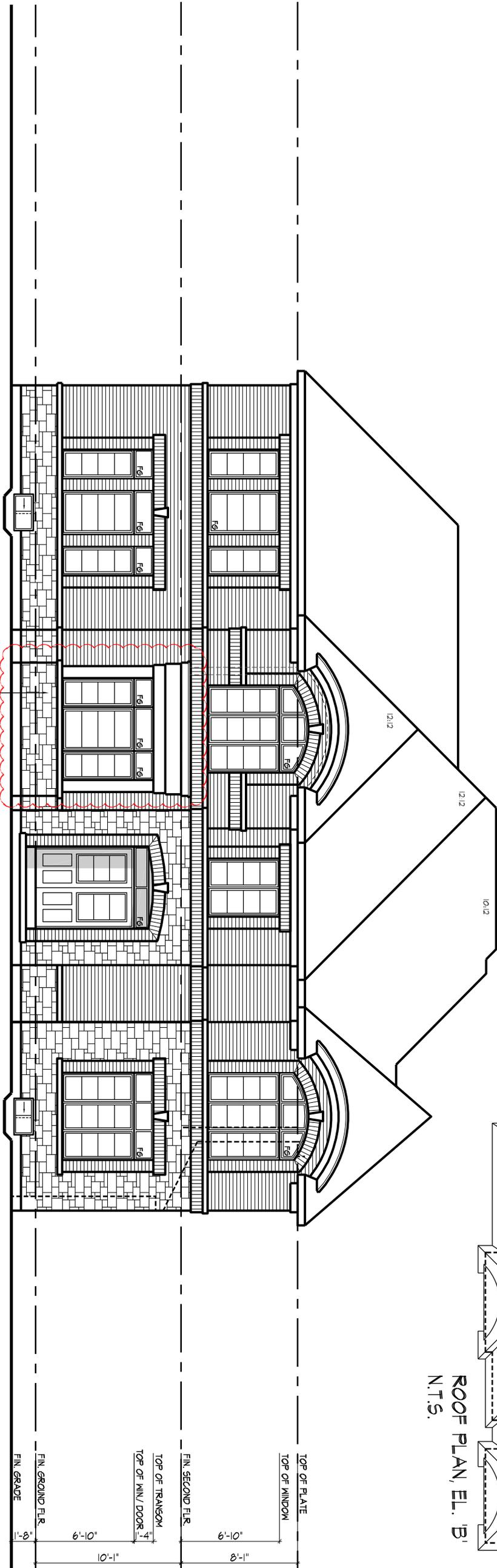
STREET

TOWNHOUSES

N.T.S.

VARIANCE 3
 H-RM2-296 ZONE OF APPROVED BY-LAW #16-168: TO PERMIT A MINIMUM LOT FRONTAGE OF 6 M EXCEPT 8.4 M FOR A CORNER LOT, WHEREAS THE ZONING BY-LAW REQUIRES 6M EXCEPT 9.0 M FOR A CORNER LOT.

VARIANCE 4
 H-RM2-296 ZONE OF APPROVED BY-LAW #16-168: TO PERMIT A MINIMUM SIDE YARD OF 2.4 M ON AN END UNIT ON A CORNER LOT ABUTTING A FLANKING STREET, WHEREAS THE ZONING BY-LAW REQUIRES 3.0 M.

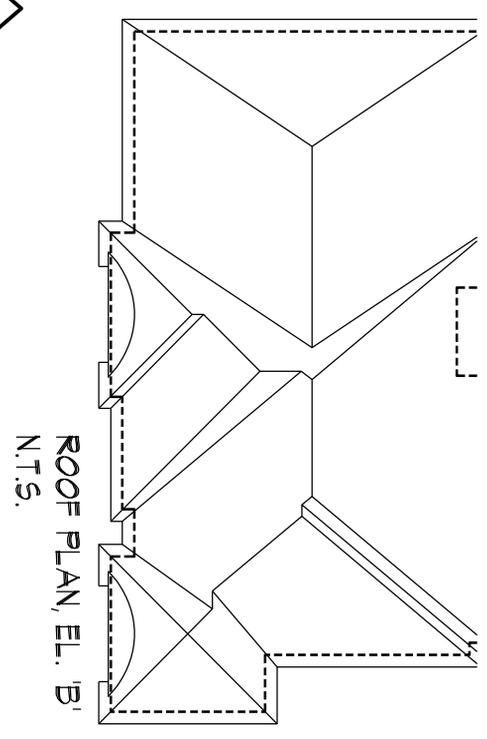


FLANKAGE ELEVATION

VARIANCE #2 TO PERMIT BAY, BOM & BOX WINDOW PROJECTIONS W/ OR W/O FOUNDATION

VARIANCE 2

H-R4-245 AND H-RM2-246 ZONE OF APPROVED BY-LAW # 16-168 - ENCROACHMENT INTO YARDS: TO PERMIT BAY WINDOWS, BOM WINDOWS AND BOX WINDOWS, EITHER WITH OR WITHOUT FOUNDATIONS, TO PROJECT INTO ANY REQUIRED FRONT, REAR OR FLANKAGE YARD A DISTANCE OF NOT MORE THAN 0.9 M, WHEREAS THE ZONING BY-LAW ONLY SPECIFIES BAY WINDOWS.



ATTACHMENT 1

OPEN SPACE

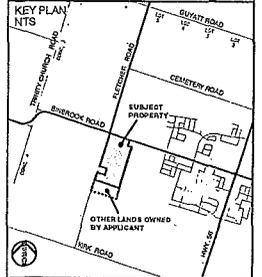
RESIDENTIAL

DRAFT PLAN OF SUBDIVISION

PART OF LOT 5, BLOCK 4, CONVESSION 4
GEOGRAPHIC TOWNSHIP OF BINBROOK
NOW IN THE CITY OF HAMILTON

**25T-2014-05
ZAC-14-028
UHOPA-14-014**

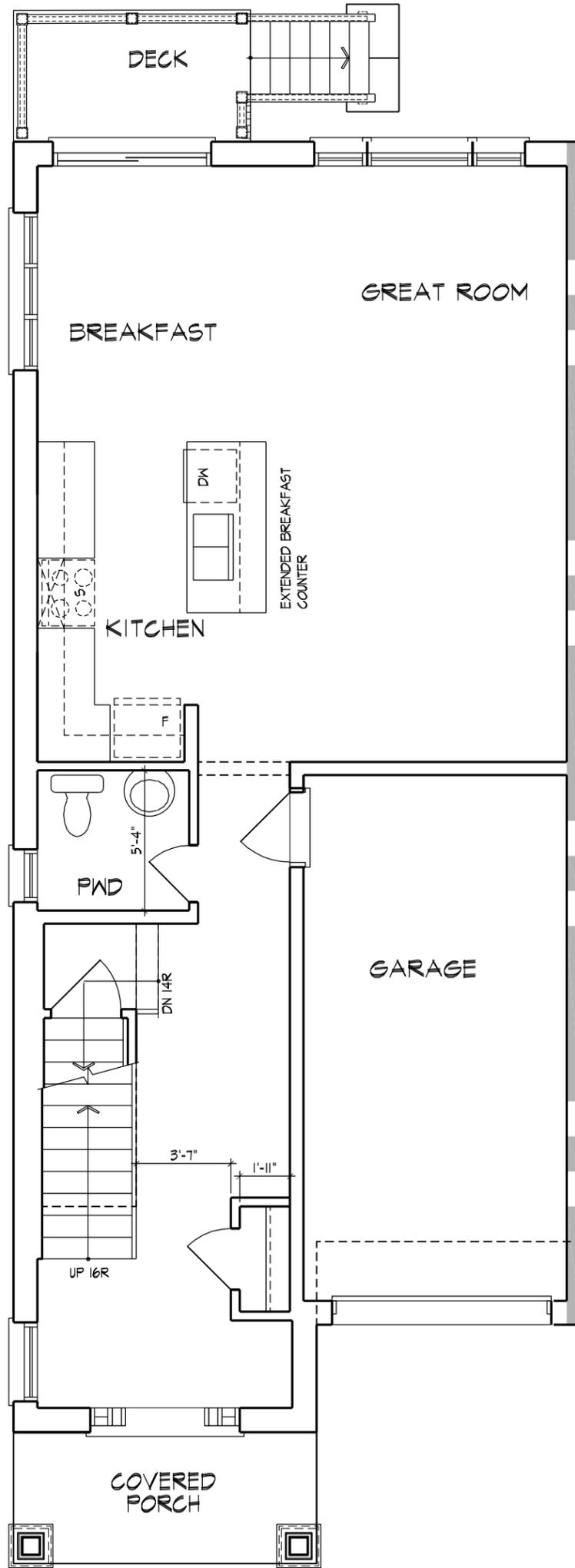
April 29, 2016



- ADDITIONAL INFORMATION REQUIRED UNDER SECTION 51 (17) OF THE PLANNING ACT, R.S.O., 1990**
- (1) ALL LOTS ON EXISTING PLAN
 - (2) ALL LOTS ON EXISTING AND NEW PLAN
 - (3) ALL LOTS ON NEW PLAN
 - (4) THE USES TO BE USED ACCORDING TO THE NATURE OF LAND
 - (5) ALL LOTS ON EXISTING AND NEW PLAN
 - (6) ALL LOTS ON EXISTING AND NEW PLAN
 - (7) ALL LOTS ON EXISTING AND NEW PLAN
 - (8) ALL LOTS ON EXISTING AND NEW PLAN
 - (9) ALL LOTS ON EXISTING AND NEW PLAN
 - (10) ALL LOTS ON EXISTING AND NEW PLAN
 - (11) ALL LOTS ON EXISTING AND NEW PLAN
 - (12) ALL LOTS ON EXISTING AND NEW PLAN
 - (13) ALL LOTS ON EXISTING AND NEW PLAN
 - (14) ALL LOTS ON EXISTING AND NEW PLAN
 - (15) ALL LOTS ON EXISTING AND NEW PLAN
 - (16) ALL LOTS ON EXISTING AND NEW PLAN
 - (17) ALL LOTS ON EXISTING AND NEW PLAN

SCHEDULE OF LAND USE

LAND USE	BLOCK	AREA (sq. m)	AREA (sq. ft)
DETACHED RESIDENTIAL	1-5, 8-10, 21	214	214
DETACHED RESIDENTIAL	1, 2, 7, 11, 17	1	1
DETACHED RESIDENTIAL	33 and 35	9	9
DETACHED RESIDENTIAL	24 and 25	24	24
DETACHED RESIDENTIAL	36	36	36
DETACHED RESIDENTIAL	37	37	37
DETACHED RESIDENTIAL	38	38	38
DETACHED RESIDENTIAL	39	39	39
DETACHED RESIDENTIAL	40 and 41	40	40
DETACHED RESIDENTIAL	42 and 43	42	42
DETACHED RESIDENTIAL	44 and 45	44	44
DETACHED RESIDENTIAL	46 and 47	46	46
DETACHED RESIDENTIAL	48 and 49	48	48
DETACHED RESIDENTIAL	50 and 51	50	50
DETACHED RESIDENTIAL	52 and 53	52	52
DETACHED RESIDENTIAL	54 and 55	54	54
DETACHED RESIDENTIAL	56 and 57	56	56
DETACHED RESIDENTIAL	58 and 59	58	58
DETACHED RESIDENTIAL	60 and 61	60	60
DETACHED RESIDENTIAL	62 and 63	62	62
DETACHED RESIDENTIAL	64 and 65	64	64
DETACHED RESIDENTIAL	66 and 67	66	66
DETACHED RESIDENTIAL	68 and 69	68	68
DETACHED RESIDENTIAL	70 and 71	70	70
DETACHED RESIDENTIAL	72 and 73	72	72
DETACHED RESIDENTIAL	74 and 75	74	74
DETACHED RESIDENTIAL	76 and 77	76	76
DETACHED RESIDENTIAL	78 and 79	78	78
DETACHED RESIDENTIAL	80 and 81	80	80
DETACHED RESIDENTIAL	82 and 83	82	82
DETACHED RESIDENTIAL	84 and 85	84	84
DETACHED RESIDENTIAL	86 and 87	86	86
DETACHED RESIDENTIAL	88 and 89	88	88
DETACHED RESIDENTIAL	90 and 91	90	90
DETACHED RESIDENTIAL	92 and 93	92	92
DETACHED RESIDENTIAL	94 and 95	94	94
DETACHED RESIDENTIAL	96 and 97	96	96
DETACHED RESIDENTIAL	98 and 99	98	98
DETACHED RESIDENTIAL	100 and 101	100	100
DETACHED RESIDENTIAL	102 and 103	102	102
DETACHED RESIDENTIAL	104 and 105	104	104
DETACHED RESIDENTIAL	106 and 107	106	106
DETACHED RESIDENTIAL	108 and 109	108	108
DETACHED RESIDENTIAL	110 and 111	110	110
DETACHED RESIDENTIAL	112 and 113	112	112
DETACHED RESIDENTIAL	114 and 115	114	114
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GROUND FLOOR PLAN, EL. 'A'

GROUND FLOOR PLAN - DECK CONDITION

BSHERRER | FRI FEB 18/22 11:14 AM | K:\PROJECTS\2019\219017\CACHET\WORKING\TOWNS\219017\WT2105-END.DWG

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION
Brian Sherrer 22454

NAME SIGNATURE BCIN

REGISTRATION INFORMATION
HUNT DESIGN ASSOCIATES INC. 19695



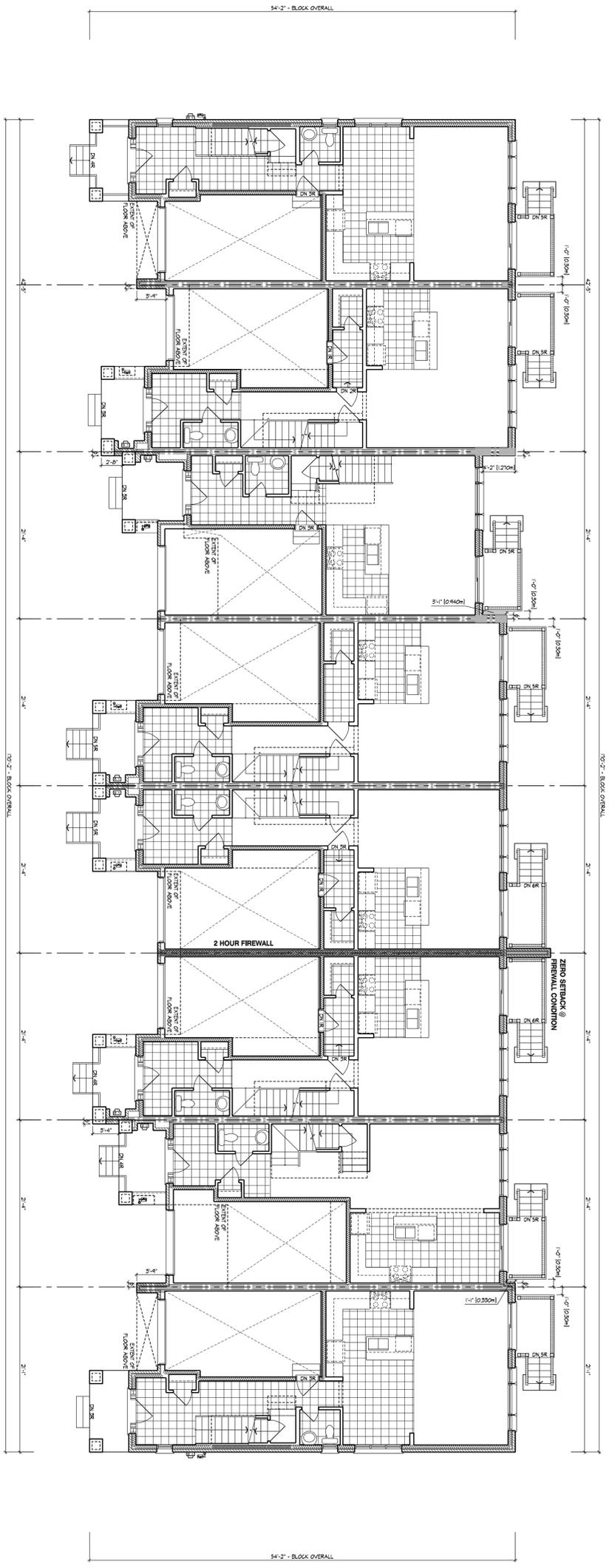
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HAMILTON, ON.

Drawn By Checked By Scale File Number
BRI BRI 3/16"=1'-0" 219017WT2105END

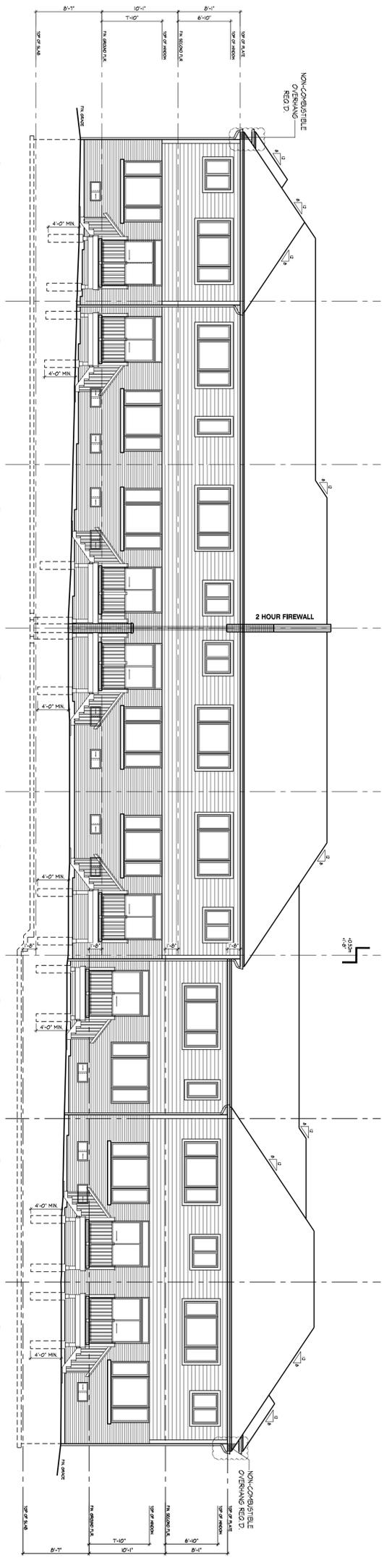
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1 of 1

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2106-END
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2106-END
GROUND FLOOR PLAN



2106-END
2103
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2106-END
REAR ELEVATION

BUILDING AREA 8241.85 sq ft
795.87 sq m

INCLUDING COLD CEILINGS

GENERAL NOTES

1. PROVIDE FIRESTOPPS AS REQUIRED BY O.B.C. 8.10.16
2. REFER TO UNIT WORKING DRAWINGS, ENGINEERS DRAWINGS AND STRIP PLAN FOR ADDITIONAL INFORMATION AND VERIFICATION.
3. REFER TO 900° TRUSS MANUFACTURERS DETAILS AND HANDBOOKS.
4. CONTRACTOR MUST VERIFY ALL DIMENSIONS ON THE JOB BEFORE ANY DISASSEMBLES TO HUNT PROPERTY ASSOCIATES INC. HOLD BEFORE PROCEEDING WITH CONSTRUCTION. VERIFY ALL DIMENSIONS AND SPECIFICATIONS ARE INSISTENT OF SERVICE AND ARE THE PROPERTY OF H.O.A.L
5. COMBUSTIBLE PROJECTIONS ON THE EXTENSION OF THE BUILDING SHALL NOT BE PERMITTED WITHIN 1' (300MM) OF A PUBLIC WAY OR 2.4m (7'10") OF A COMBUSTIBLE PROJECTION ON ANOTHER BUILDING ON THE SAME PROPERTY AS PER PART 9 SECTION 9.10.14.5(9)

LEGEND

- ▲ POLISHED IN PLACE STEPS WITH MASONRY VENEER ON SIDES.
- ▲ DROP OR RAISE BANDING BY AMOUNT INDICATED.
- ▲ ADD BANDING AND/OR TRIM AS INDICATED.
- ▲ ADDED CAMBERED HEADERS.
- ▲ 8'-0" X 8'-0" GARAGE DOORS.
- ▲ DROPPED OR RAISED SLOTT AS INDICATED.
- ▲ ADJUSTED ROOF OVERHANG AS INDICATED ON ROOF PLAN.
- ▲ PROVIDE GUARD PER CONSTRUCTION NOTE 11.
- ▲ POYER SUNKEN AS INDICATED.
- ▲ LIGHT FIXTURE RELOCATED AS INDICATED.

WALL TYPE LEGEND

FRR	LINE TYPE	DETAILS
1	---	SECTION 1.1.1
2	---	SECTION 1.1.2
3	---	SECTION 1.1.3
4	---	SECTION 1.1.4
5	---	SECTION 1.1.5
6	---	SECTION 1.1.6
7	---	SECTION 1.1.7
8	---	SECTION 1.1.8
9	---	SECTION 1.1.9
10	---	SECTION 1.1.10

DETAILS

NO.	TITLE
01-12	MASONRY VENEER 7/8" STICKS & STOVE WALL SECTION
01-13	MASONRY VENEER 7/8" STICKS & STOVE GARAGE WALL SECTION
01-14	7/8" SHIM WALL SECTION WALL/LEAF TRUSS / 7/8" CORE BLOCK
01-15	7/8" SHIM WALL SECTION WALL/LEAF TRUSS / 7/8" CORE BLOCK
01-16	7/8" SHIM WALL SECTION WALL/LEAF TRUSS / 7/8" CORE BLOCK
01-17	7/8" SHIM WALL SECTION WALL/LEAF TRUSS / 7/8" CORE BLOCK
01-18	7/8" SHIM WALL SECTION WALL/LEAF TRUSS / 7/8" CORE BLOCK
01-19	7/8" SHIM WALL SECTION WALL/LEAF TRUSS / 7/8" CORE BLOCK
01-20	7/8" SHIM WALL SECTION WALL/LEAF TRUSS / 7/8" CORE BLOCK
01-21	7/8" SHIM WALL SECTION WALL/LEAF TRUSS / 7/8" CORE BLOCK
01-22	7/8" SHIM WALL SECTION WALL/LEAF TRUSS / 7/8" CORE BLOCK
01-23	7/8" SHIM WALL SECTION WALL/LEAF TRUSS / 7/8" CORE BLOCK
01-24	7/8" SHIM WALL SECTION WALL/LEAF TRUSS / 7/8" CORE BLOCK
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01-44	7/8" SHIM WALL SECTION WALL/LEAF TRUSS / 7/8" CORE BLOCK
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01-47	7/8" SHIM WALL SECTION WALL/LEAF TRUSS / 7/8" CORE BLOCK
01-48	7/8" SHIM WALL SECTION WALL/LEAF TRUSS / 7/8" CORE BLOCK
01-49	7/8" SHIM WALL SECTION WALL/LEAF TRUSS / 7/8" CORE BLOCK
01-50	7/8" SHIM WALL SECTION WALL/LEAF TRUSS / 7/8" CORE BLOCK

HUNT HILL

DESIGN ASSOCIATES INC.

1000 VICTORIA PARKWAY, SUITE 1000
 7906 272 5133 | 7906 277 7500 | www.hunt-hill.com
 HAMILTON, ON

CACHET ESTATE HOMES - 219017

TOWNHOUSE SCHEMATIC DECK VARIANCE

SCHEMATIC GROUND FLOOR

DATE: 2019-11-14

BY: [Signature]

SCALE: 1/8" = 1'-0"

BLOCK NUMBER DECK VARIANCE EXAMPLE

*A. J. Clarke and Associates Ltd.*

SURVEYORS • PLANNERS • ENGINEERS

City of Hamilton
Committee of Adjustment
71 Main Street West, 5th Floor
Hamilton, ON L8P 4Y5

January 5, 2022

Attn: Jamila Sheffield, Secretary-Treasurer
Delivered via e-mail: Jamila.Sheffield@hamilton.ca

Re: 3105 Fletcher Road, Hamilton (Binbrook) – Minor Variance Application

Dear Madam:

A. J. Clarke and Associates Ltd. has been retained by the owners of 3105 Fletcher Road for the purposes of submitting the enclosed Minor Variance Application. Below is a summary of the materials submitted to your attention:

- One (1) electronic copy of the completed and signed Minor Variance Application form;
- One (1) cheque in the amount of \$3,320 representing the required application fee;
- One (1) electronic copy of the Draft Plan of Subdivision;
- One (1) electronic copy of the Architectural Plans, demonstrating the required variances.

Please Note: A separate cheque payable to the City of Hamilton for \$145.00 is provided as per the 2022 fee increase.

The lands that are subject to the requested Minor Variance are designated “Neighbourhoods” on Schedule E-1 of the Urban Hamilton Official Plan, “Low Density Residential 2e” as per the Binbrook Village Secondary Plan, and are zoned “H-R4-295; Holding - Residential”, and “H-RM2-296” Zones in the Township of Glanbrook Zoning By-law 464. Additionally, By-laws 16-167, 16-168, and 16-169 were previously approved by the Ontario Municipal Board (OMB) under Case Number: PL150224.

The existing “H-R4-295” zone contains the following provisions:

Minimum Lot Frontage

- i. 10 m (13 m for a corner lot);



Encroachment into Yards

- i. Bay windows, either with or without foundations may project into any required front, rear or flankage yards a distance of not more than 0.9 m;

The existing “H-RM2-296” zone contains the following provisions:

Minimum Lot Frontage

- i. 6 m except 9 m for a corner lot;

Minimum Side Yard

- i. 3.0 m on an end unit on a corner lot abutting a flanking street;

Encroachment into Yards

- i. Bay windows, either with or without foundations may project into any required front, rear or flankage yards a distance of not more than 0.9 m;

Minor Variance

The intent of the application is to permit a Minor Variance to the existing Minimum Lot Frontage, and Encroachment into Yards provisions of the “H-R4-295” zone for the subject lands. The required variances are as follows:

1. To permit a **10 m (11.2 m for a corner lot)** minimum lot frontage requirement, whereas the by-law requires **10 m (13.0 m for a corner lot)**.
2. To permit **bay windows, bow windows, box windows**, either with or without foundations, to project into any required front, rear, or flankage yard a distance of not more than 0.9 m, whereas the by-law only specifies **bay windows**.

Further, the intent of the application is to additionally permit a Minor Variance to the existing Minimum Lot Frontage, and Minimum Side Yard provisions of the “H-RM2-296” zone for the subject lands. The required variances are as follows:

1. To permit a **6 m (except 8.4 m for a corner lot)** minimum lot frontage requirement, whereas the by-law requires **6 m (except 9.0 m for a corner lot)**.
2. To permit a **2.4 m** on an end unit on a corner lot abutting a flanking street minimum side yard requirement, whereas the by-law requires **3.0 m** on an end unit on a corner lot abutting a flanking street.



3. To permit **bay windows, bow windows, box windows**, either with or without foundations, to project into any required front, rear, or flankage yard a distance of not more than 0.9 m, whereas the by-law only specifies **bay windows**.

This minor variance application is made under the authority of Section 45(1) of the Planning Act. Accordingly, a Minor Variance must meet the requisite four tests as described in Section 45 (1) of the Act. The tests and professional planning opinion are outlined below:

1. **Do the proposed variances maintain the intent and purpose of the Urban Hamilton Official Plan.**

The proposed variances maintain the intent and purpose of the Urban Hamilton Official Plan as the subject site is designated “Neighbourhoods”, which permits residential development. Further, the subject site is also designated “Low Density Residential 2e” as per the Binbrook Village Secondary Plan, which permits a range and mix of residential housing types, including single-detached and townhouse dwellings.

The variances will provide relief from the “H-R4-295” zone by permitting;

1. A minimum lot frontage of **10 m (11.2 m for a corner lot)**, whereas the current provisions require a minimum lot frontage of **10 m (13.0 m for a corner lot)**. Typical practice across the City is for required corner lot frontage to increase by the difference between the required exterior (flankage) yard and the interior side yard. In this case, the required exterior side yard is 2.4 m and required interior side yard is 1.2m, therefore the difference of 1.2 m should be added to the minimum interior lot frontage of 10 m to arrive at a minimum 11.2 m corner lot frontage. This also creates a less drastic change in frontage between interior lots and corner lots, creating a more desirable streetscape.
2. **Bay windows, bow windows, and box windows**, either with or without foundations, to project into any required front, rear, or flankage yard, a distance of not more than 0.9 m. The current provisions specify only **bay windows**. The Glanbrook zoning by-law does not provide a definition for Bay Windows, however typically Bow Windows and Box Windows would fall under the same category as Bay Windows. The required variance simply ensures that Box Windows and Bay Windows are permitted, notwithstanding that the Glanbrook zoning by-law does not define Bay Windows.

The lot frontage regulation is a zoning requirement intended to ensure that adequate separation distance between the side yards of single-detached dwellings, and adequate site access from the street can be provided. The current zoning by-law permits a lot frontage of 10 m (13.0 m for a corner lot). The only distinction in the requested Minor Variance from what already is permitted, is a -1.8 m reduction considering corner lots, however the required



exterior side yard of 2.4 m will be maintained. The minimum corner lot frontage is also more consistent with other single detached residential zones across the City of Hamilton. For example, the R4-218 zone on lands located east of the subject property allows a minimum corner lot frontage of 11.0 m.

Additional to the above, the only distinction in the requested Minor Variance from what already is permitted regarding encroachment into yards, is the clarification of permitted window types (bay windows, bow windows, and box windows). The current zoning by-law specifies bay windows only, for which there is no definition in the Glanbrook zoning by-law.

The variances will provide relief from the “H-RM2-296” zone by permitting;

1. A minimum side yard of **2.4 m** on an end unit on a corner lot abutting a flanking street, whereas the current provisions require a minimum side yard of **3.0 m** on an end unit on a corner lot. This will make the minimum exterior side yard provisions of the H-RM2-296 zone consistent with the H-R4-295 zone, allowing for a more consistent and desirable streetscape.
2. A minimum lot frontage of **6 m** (except 8.4 m for a corner lot), whereas the current provisions require a minimum lot frontage of 6 m (except **9.0 m** for a corner lot). Typical practice across the City for townhouse zones is to increase corner lot frontage by adding the required exterior (flankage) yard to the minimum interior lot frontage. In this case, the required exterior side yard being requested above to maintain consistency with the H-R4-295 zone is 2.4 m, and minimum interior lot frontage is 6m, therefore the minimum corner lot frontage should be 8.4 m.
3. **Bay windows, bow windows, and box windows**, either with or without foundations, to project into any required front, rear, or flankage yard, a distance of not more than 0.9 m. The current provisions specify only **bay windows**. The Glanbrook zoning by-law does not provide a definition for Bay Windows, however typically Bow Windows and Box Windows would fall under the same category as Bay Windows. The required variance ensures and clarifies that Box Windows and Bay Windows are permitted, notwithstanding that the Glanbrook zoning by-law does not define Bay Windows.

The minimum side yard and lot frontage regulations are zoning requirements intended to ensure desirable and functional streetscapes, and to ensure that adequate site access from the street can be provided. The current zoning by-law permits a lot frontage of 6 m (except 9.0 m for a corner lot). The only distinction in the requested Minor Variance from what already is permitted, is a -0.6 m reduction considering corner lots, however the required exterior side yard of 2.4 m will be maintained. This provides consistency between the H-RM2-296 and H-R4-295 zones, allowing for a more desirable streetscape while maintaining its functionality. Furthermore, the requested variance provides better consistency with other



zones across the City. For example, the RM2-194 zone for lands to the east of the subject property permits a corner lot frontage of 8.0 m and an exterior side yard of 2.4 m.

Additional to the above, the only distinction in the requested Minor Variance from what already is permitted regarding encroachment into yards, is the clarification of permitted window types (bay windows, bow windows, and box windows). The current zoning by-law specifies bay windows only, for which there is no definition in the Glanbrook zoning by-law.

Based on the above, it is my professional opinion that the proposed variances maintain the intent and purpose of the Urban Hamilton Official Plan.

2. Do the proposed variances maintain the intent and purpose of the Township of Glanbrook Zoning By-law 464 (i.e., By-law 16-168 approved by the OMB)?

The variances will provide relief from the “H-R4-295” zone by permitting;

1. A minimum lot frontage of **10 m (11.2 m)** for a corner lot), whereas the current provisions require a minimum lot frontage of **10 m (13.0 m)** for a corner lot). Typical practice across the City is for required corner lot frontage to increase by the difference between the required exterior (flankage) yard and the interior side yard. In this case, the required exterior side yard is 2.4 m and required interior side yard is 1.2m, therefore the difference of 1.2 m should be added to the minimum interior lot frontage of 10 m to arrive at a minimum 11.2 m corner lot frontage. This also creates a less drastic change in frontage between interior lots and corner lots, creating a more desirable streetscape.
2. **Bay windows, bow windows, and box windows**, either with or without foundations, to project into any required front, rear, or flankage yard, a distance of not more than 0.9 m. The current provisions specify only **bay windows**. The Glanbrook zoning by-law does not provide a definition for Bay Windows, however typically Bow Windows and Box Windows would fall under the same category as Bay Windows. The required variance simply ensures that Box Windows and Bay Windows are permitted, notwithstanding that the Glanbrook zoning by-law does not define Bay Windows.

The lot frontage regulation is a zoning requirement intended to ensure that adequate separation distance between the side yards of single-detached dwellings, and adequate site access from the street can be provided. The current zoning by-law permits a lot frontage of 10 m (13.0 m for a corner lot). The only distinction in the requested Minor Variance from what already is permitted, is a -1.8 m reduction considering corner lots, however the required exterior side yard of 2.4 m will be maintained. The minimum corner lot frontage is also more consistent with other single detached residential zones across the City of Hamilton. For



example, the R4-218 zone on lands located east of the subject property allows a minimum corner lot frontage of 11.0 m.

Additional to the above, the only distinction in the requested Minor Variance from what already is permitted regarding encroachment into yards, is the clarification of permitted window types (bay windows, bow windows, and box windows). The current zoning by-law specifies bay windows only, for which there is no definition in the Glanbrook zoning by-law.

The variances will provide relief from the “H-RM2-296” zone by permitting;

1. A minimum side yard of **2.4 m** on an end unit on a corner lot abutting a flanking street, whereas the current provisions require a minimum side yard of **3.0 m** on an end unit on a corner lot. This will make the minimum exterior side yard provisions of the H-RM2-296 zone consistent with the H-R4-295 zone, allowing for a more consistent and desirable streetscape.
2. A minimum lot frontage of **6 m** (except **8.4 m** for a corner lot), whereas the current provisions require a minimum lot frontage of **6 m** (except **9.0 m** for a corner lot). Typical practice across the City for townhouse zones is to increase corner lot frontage by adding the required exterior (flankage) yard to the minimum interior lot frontage. In this case, the required exterior side yard being requested above to maintain consistency with the H-R4-295 zone is 2.4 m, and minimum interior lot frontage is 6m, therefore the minimum corner lot frontage should be 8.4 m.
3. **Bay windows, bow windows, and box windows**, either with or without foundations, to project into any required front, rear, or flankage yard, a distance of not more than 0.9 m. The current provisions specify only **bay windows**. The Glanbrook zoning by-law does not provide a definition for Bay Windows, however typically Bow Windows and Box Windows would fall under the same category as Bay Windows. The required variance ensures and clarifies that Box Windows and Bay Windows are permitted, notwithstanding that the Glanbrook zoning by-law does not define Bay Windows.

The minimum side yard and lot frontage regulations are zoning requirements intended to ensure desirable and functional streetscapes, and to ensure that adequate site access from the street can be provided. The current zoning by-law permits a lot frontage of 6 m (except 9.0 m for a corner lot). The only distinction in the requested Minor Variance from what already is permitted, is a -0.6 m reduction considering corner lots, however the required exterior side yard of 2.4 m will be maintained. This provides consistency between the H-RM2-296 and H-R4-295 zones, allowing for a more desirable streetscape while maintaining its functionality. Furthermore, the requested variance provides better consistency with other zones across the City. For example, the RM2-194 zone for lands to the east of the subject property permits a corner lot frontage of 8.0 m and an exterior side yard of 2.4 m.



Additional to the above, the only distinction in the requested Minor Variance from what already is permitted regarding encroachment into yards, is the clarification of permitted window types (bay windows, bow windows, and box windows). The current zoning by-law specifies bay windows only, for which there is no definition in the Glanbrook zoning by-law.

Based on the above, it is my professional opinion that the proposed variances maintain the intent and purpose of the Township of Glanbrook Zoning By-law 464.

3. Are the proposed variances appropriate for the development of the subject lands?

The variances requested are minimally altering the existing lot frontage, side yard, and encroachments regulations within the “H-R4-295” and “H-RM2-296” zones.

Within the “H-R4-295” zone, the requested Minor Variances will reduce the minimum lot frontage requirement from **13.0 m** for a corner lot to **11.2 m**. This variance will result in a 1.8 m reduction to the minimum lot frontage requirement. This reduction will create better consistency with other nearby zones in the City and create a more consistent and desirable streetscape with less drastic changes in frontages/unit massings, while maintaining the required exterior side yard of 2.4m.

Within the “H-RM2-296” zone, the requested Minor Variances will reduce the minimum lot frontage requirement from **9.0 m** for a corner lot to **8.4 m**. This variance will result in a 0.6 m reduction to the minimum lot frontage requirement. Further, the minimum side yard requirement will be reduced from **3.0 m** on an end unit on a corner lot to **2.4 m**. This variance will result in a 0.6 m reduction to the minimum side yard requirement, and will create better consistency with other nearby zones in the City.

With respect to the variance being requested for encroachments, to permit Bow and Box Windows, the Glanbrook zoning by-law does not provide a definition for Bay Windows, however, typically Bow Windows and Box Windows would fall under the same category as Bay Windows. The required variance simply ensures that Box Windows and Bay Windows are permitted, notwithstanding that the Glanbrook zoning by-law does not define Bay Windows.

The variances are therefore appropriate for the development of the subject lands and consistent with other residential zones across the City of Hamilton.

4. Are the proposed variances minor in nature?

There are no perceived impacts stemming from the variances to the lot frontage and side yard, as discussed above, as it is in keeping with the general built form for single-detached and townhouse dwellings within this neighbourhood. Furthermore, the variance requested



for encroachments is simply for clarification purposes, to clarify that Bow Windows and Box Windows are also permitted (considering that Bay Windows is not defined in the Glanbrook zoning by-law). Accordingly, it is my professional planning opinion that the variances are minor in nature.

I trust that you will find the enclosed satisfactory for your purposes. Please confirm receipt of this submission and we look forward to being scheduled for the next available Committee of Adjustment hearing date. If you have any questions or require additional information, please do not hesitate to contact this office.

Yours truly,

A handwritten signature in blue ink, appearing to read 'S. Fraser', with a stylized flourish at the end.

Stephen Fraser MCIP, RPP
Principal, Planner
A. J. Clarke and Associates Ltd.

Copy via email: Cachet Developments (Binbrook) Inc. Attn: Andrew Eldebs



Committee of Adjustment
 City Hall, 5th Floor,
 71 Main St. W.,
 Hamilton, ON L8P4Y5

Phone: (905) 546-2424 ext. 4221
 Email: cofa@hamilton.ca

APPLICATION FOR A MINOR VARIANCE

FOR OFFICE USE ONLY.	
APPLICATION NO. _____	DATE APPLICATION RECEIVED _____
PAID _____	DATE APPLICATION DEEMED COMPLETE _____
SECRETARY'S SIGNATURE _____	

The Planning Act

Application for Minor Variance or for Permission

The undersigned hereby applies to the Committee of Adjustment for the City of Hamilton under Section 45 of the *Planning Act*, R.S.O. 1990, Chapter P.13 for relief, as described in this application, from the Zoning By-law.

1, 2	NAME	MAILING ADDRESS
Registered Owners(s)		
Applicant(s)*		
Agent or Solicitor		

Note: Unless otherwise requested all communications will be sent to the agent, if any. *Please send all communications to both Agent and Owner.*

3. Names and addresses of any mortgagees, holders of charges or other encumbrances:
N/A

Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled

4. Nature and extent of relief applied for:

Variance 1 - H-R4-295 zone of approved by-law # 16-168: to permit a Minimum Lot Frontage of 10 m (11.2 m for a corner lot) whereas the zoning by-law requires 10 m (13.0 m for a corner lot).
 Variance 2 - H-R4-295 and H-RM2-296 zone of approved by-law # 16-168 - Encroachment Into Yards: to permit Bay Windows, Bow Windows and Box Windows, either with or without foundations, to project into any required front, rear or flankage yard a distance of not more than 0.9 m, whereas the zoning by-law only specifies Bay Windows.
 Variance 3 - H-RM2-296 zone of approved by-law #16-168: to permit a Minimum Lot Frontage of 6 m except 8.4 m for a corner lot, whereas the zoning by-law requires 6m except 9.0 m for a corner lot.
 Variance 4 - H-RM2-296 zone of approved by-law #16-168: to permit a Minimum Side Yard of 2.4 m on an end unit on a corner lot abutting a flanking street, whereas the zoning by-law requires 3.0 m.

- Secondary Dwelling Unit Reconstruction of Existing Dwelling

5. Why it is not possible to comply with the provisions of the By-law?

Please see attached cover letter.

6. Legal description and Address of subject lands (registered plan number and lot number or other legal description and where applicable, **street and street number**):

3105 Fletcher Road, Binbrook

PT LT 5 BLK 4 CON 4 BINBROOK, BEING PARTS 1,2,3 62R20456; S/T EASM'T IN GROSS OVER PART 2 62R20456 AS IN BN7298

Approved draft plan of subdivision 25T-2014-05

7. PREVIOUS USE OF PROPERTY

- Residential Industrial Commercial
 Agricultural Vacant Other

Other _____

8.1 If Industrial or Commercial, specify use _____

8.2 Has the grading of the subject land been changed by adding earth or other material, i.e. has filling occurred?

- Yes No Unknown

8.3 Has a gas station been located on the subject land or adjacent lands at any time?

- Yes No Unknown

8.4 Has there been petroleum or other fuel stored on the subject land or adjacent lands?

- Yes No Unknown

8.5 Are there or have there ever been underground storage tanks or buried waste on the subject land or adjacent lands?

- Yes No Unknown

8.6 Have the lands or adjacent lands ever been used as an agricultural operation where cyanide products may have been used as pesticides and/or sewage sludge was applied to the lands?

- Yes No Unknown

8.7 Have the lands or adjacent lands ever been used as a weapon firing range?

- Yes No Unknown

8.8 Is the nearest boundary line of the application within 500 metres (1,640 feet) of the fill area of an operational/non-operational landfill or dump?

- Yes No Unknown

8.9 If there are existing or previously existing buildings, are there any building materials remaining on site which are potentially hazardous to public health (eg. asbestos, PCB's)?

- Yes No Unknown

8.10 Is there any reason to believe the subject land may have been contaminated by former uses on the site or adjacent sites?

Yes No Unknown

8.11 What information did you use to determine the answers to 8.1 to 8.10 above?

Phase 1 Environmental Site Assessment Report by EXP, dated September 9, 2021.

8.12 If previous use of property is industrial or commercial or if YES to any of 8.2 to 8.10, a previous use inventory showing all former uses of the subject land, or if appropriate, the land adjacent to the subject land, is needed. N/A

Is the previous use inventory attached? Yes No

9. ACKNOWLEDGEMENT CLAUSE

I acknowledge that the City of Hamilton is not responsible for the identification and remediation of contamination on the property which is the subject of this Application – by reason of its approval to this Application.

December 20, 2021

Date



Signature Property Owner(s)

Cachet Developments (Binbrook) Inc. (Ramsey Shaheen)

Print Name of Owner(s)

10. Dimensions of lands affected:

Frontage	<u>+/- 345 m</u>
Depth	<u>+/- 924 m</u>
Area	<u>89.8 acres</u>
Width of street	<u>See attached approved draft plan of subdivision</u>

11. Particulars of all buildings and structures on or proposed for the subject lands: (Specify ground floor area, gross floor area, number of stories, width, length, height, etc.)

Existing: _

N/A

Proposed

Single Detached Dwellings

Approximate gross floor area = 1,600 to 3,000 square feet

Approximate ground floor area = 135 to 155 square metres

Townhouse Dwellings

Approximate gross floor area = 1,300 to 2,100 square feet

Approximate ground floor area = 70 to 106 square metres

Width, length and height of buildings are as per the approved zoning (H-R4-295).

12. Location of all buildings and structures on or proposed for the subject lands: (Specify distance from side, rear and front lot lines)

Existing:

N/A

Proposed:

Please refer to zones H-R4-295 and H-RM2-296 within zoning by-law 16-168, approved by the Ontario Municipal Board.

13. Date of acquisition of subject lands:

November 15, 2021

14. Date of construction of all buildings and structures on subject lands:

Construction anticipated to commence in 2023.

15. Existing uses of the subject property (single family, duplex, retail, factory etc.):

Agricultural

16. Existing uses of abutting properties (single family, duplex, retail, factory etc.):

Existing properties to the north, south east and west are agricultural.

17. Length of time the existing uses of the subject property have continued:

The subject property has always been agricultural.

18. Municipal services available: (check the appropriate space or spaces)

Water Connected

Sanitary Sewer Connected

Storm Sewers

19. Present Official Plan/Secondary Plan provisions applying to the land:

Official Plan designation - Neighbourhoods

Binbrook Village Secondary Plan designation - Low Density Residential 2e (singles) and Low Density Residential 2h Site Specific Policy J (townhomes).

20. Present Restricted Area By-law (Zoning By-law) provisions applying to the land:

Approved By-Law No. 16-168 zones the Detached Residential blocks on approved Draft Plan of Subdivision 25T-2014-05 as H-R4-295, and the subdivision Townhouses as H-RM2-296. We are requesting relief from the zoning as indicated in section 4.

21. Has the owner previously applied for relief in respect of the subject property?

Yes No

If the answer is yes, describe briefly.

We previously applied for relief from the interior side yard provisions of the H-R4-295 zone, to permit a Minimum Side Yard of 1.2 m on the non-garage side and 0.6 m on the garage side, whereas the zoning by-law requires 1.2 m on the garage side and 0.6 m on the non-garage side. Further variance requirements have come to our attention, which we would like to address through this application.

22. Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?

Yes No

23. Additional Information

24. The applicant shall attach to each copy of this application a plan showing the dimensions of the subject lands and of all abutting lands and showing the location, size and type of all buildings and structures on the subject and abutting lands, and where required by the Committee of Adjustment such plan shall be signed by an Ontario Land Surveyor.



Hamilton

COMMITTEE OF ADJUSTMENT

City Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5
 Telephone (905) 546-2424, ext. 4221, 3935 Fax (905) 546-4202
 E-mail: cofa@hamilton.ca

NOTICE OF PUBLIC HEARING

Application for Consent/Land Severance

APPLICATION NUMBER: AN/B-22:13

SUBJECT PROPERTY: 628 Mill Street, Ancaster

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
- Applicant/agent on file, or
- Person likely to be interested in this application

APPLICANT(S): Agent Max Kerrigan
 Owner William R. MacLean

PURPOSE OF APPLICATION: To permit the conveyance of a parcel of land and to retain a parcel of land for residential purposes. The existing dwelling is proposed to be demolished.

Severed lands:
 24.38m[±] x 42.75m[±] and an area of 1048.12m^{2±}

Retained lands:
 24.38m[±] x 44.3m[±] and an area of 1089.75m^{2±}

The Committee of Adjustment will hear this application on:

DATE: Thursday, April 7th , 2022
TIME: 1:15 p.m.
PLACE: Via video link or call in (see attached sheet for details)

To be streamed at
www.hamilton.ca/committeeofadjustment
 for viewing purposes only

PUBLIC INPUT

Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

Orally: If you would like to speak to this item at the hearing you may do so via video link or by calling in. Please see attached page for complete instructions, including deadlines for registering to participate.

AN/B-22: 13
PAGE 2

MORE INFORMATION

For more information on this matter, including access to drawings illustrating this request:

- Visit www.hamilton.ca/committeeofadjustment
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935
- Email Committee of Adjustment staff at cofa@hamilton.ca

DATED: March 22nd, 2022

Jamila Sheffield,
Secretary-Treasurer
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public.

PLAN OF SURVEY OF:
PART OF LOT 47, CONCESSION 2
IN THE GEOGRAPHIC TOWNSHIP OF ANCASTER
NOW IN THE
CITY OF HAMILTON

SCALE 1:250 m.
5 0 5 10 METRES 15

ASHENHURST NOUWENS LIMITED

628 MILL STREET
ANCASTER | CITY OF HAMILTON | ONTARIO

EXISTING CONDITIONS

SEVERANCE APPLICATION
RESIDENTIAL R3 ZONE | 87-57 ANCASTER ZONING BY-LAW

Drawings prepared July 2021 by Max Kerrigan MCIP RPP

SCHEDULE				
PART	LOT	CONCESSION	P.I.N.	AREA (SQ. M.)
1	PART OF LOT 47	2	ALL OF 17564-0235(LT)	2122.03

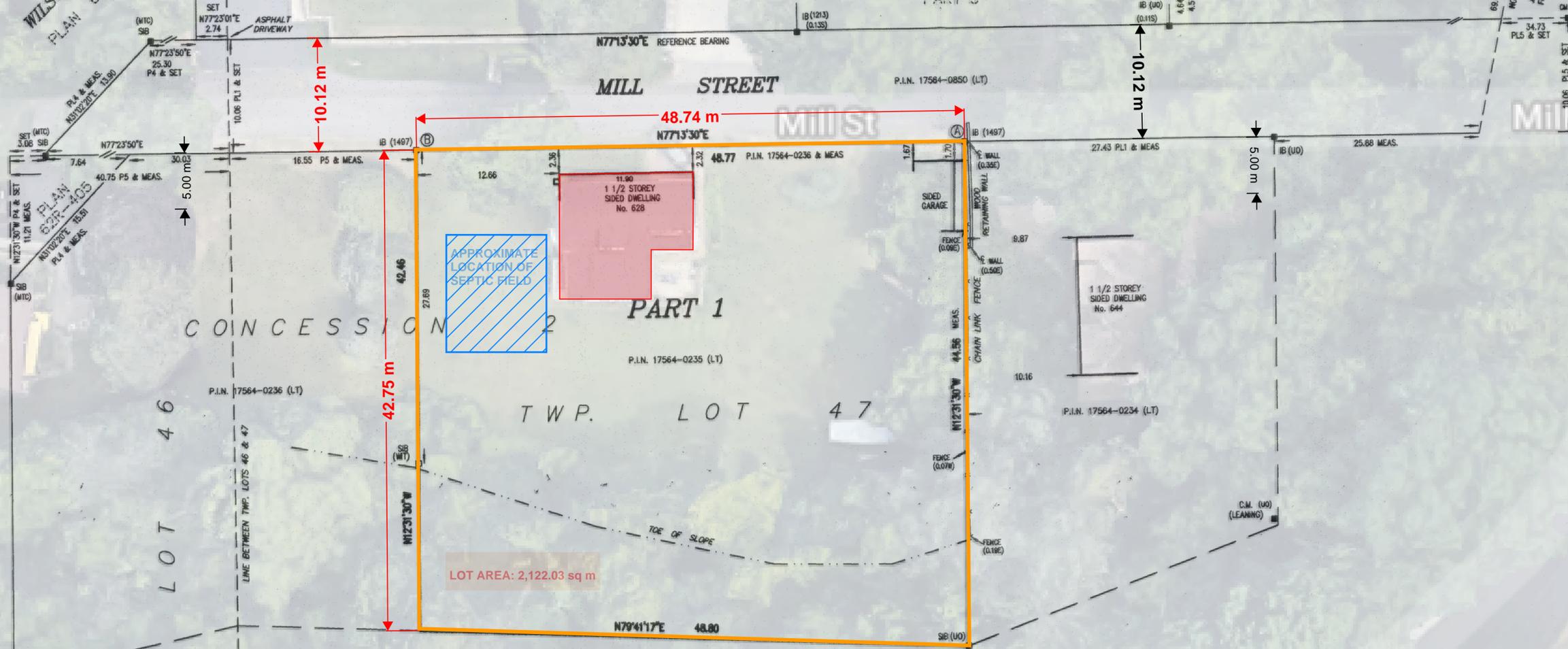
PLAN 62 R-19244

RECEIVED AND DEPOSITED
DATE 2012.01.27
E. Hall
REPRESENTATIVE FOR
LAND REGISTRAR FOR THE LAND TITLES
DIVISION OF WENTWORTH (62)

I REQUIRE THIS PLAN TO BE
DEPOSITED UNDER THE LAND
TITLES ACT.
DATE JAN. 25, 2012
GUIDO CONSOLI
ONTARIO LAND SURVEYOR

METRIC NOTE
DISTANCES SHOWN ON THIS PLAN
ARE IN METRES AND CAN BE
CONVERTED TO FEET BY DIVIDING
BY 0.3048

WILSON STREET
PLAN 62R-405



- LEGEND**
- S.I.B. DENOTES STANDARD IRON BAR
 - I.B. DENOTES IRON BAR
 - I.P. DENOTES IRON PIPE
 - C.M. DENOTES CONCRETE MONUMENT
 - WT. DENOTES WITNESS
 - O.U. DENOTES ORIGIN UNKNOWN
 - - FOUND □ - PLANTED
 - PL1 = PLAN 281 MISC. (1213) = J.D. PETERS O.L.S.
 - PL2 = PLAN 62R-5013 (1243) = E. BARICH O.L.S.
 - PL3 = PLAN 62R-8551 (824) = A.T. McLAREN O.L.S.
 - PL4 = PLAN 62R-405 PL5 = PLAN 159 MISC.
 - (MTC) = MINISTRY OF TRANSPORTATION & COMMUNICATIONS
 - 1497 = J.P. NOUWENS, O.L.S.

SURVEYOR'S CERTIFICATE
I CERTIFY THAT:
1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT AND THE LAND TITLES ACT AND THE REGULATIONS MADE UNDER THEM.
2. THIS SURVEY WAS COMPLETED ON THE 24th DAY OF JAN. 2012

JAN. 25, 2012
DATE
GUIDO CONSOLI
ONTARIO LAND SURVEYOR

ROTATION NOTE
BEARINGS CAN BE CONVERTED TO GRID BEARINGS BY FOR COMPARISON BY ROTATING THE BEARINGS SHOWN BY 00°45'30" COUNTER-CLOCKWISE.

OBSERVED REFERENCE POINTS: UTM ZONE 17, NAD83 ORIG. COORDINATES TO URBAN ACCURACY PER SEC. 14(2) OF O.REG. 216/10			
POINT ID	NORTHING	EASTING	
(A)	N 4787452.318	E 583594.512	
(B)	N 4787440.909	E 583547.103	

COORDINATES CANNOT, IN THEMSELVES, BE USED TO RE-ESTABLISH CORNERS OR BOUNDARIES SHOWN ON THIS PLAN

BEARING NOTE
BEARINGS ARE ASTRONOMIC AND ARE REFERRED TO THE SOUTHERLY LIMIT OF MILL STREET, AS SHOWN ON PLAN 281 MISC. AS HAVING A BEARING OF N77°13'30"E.
A UTM GRID BEARING WAS DERIVED FROM OBSERVED REFERENCE POINTS (A) AND (B) BY REAL TIME NETWORK (RTN) OBSERVATIONS UTM ZONE 17, (81 DEGREES LONGITUDE) NAD83 ORIG.
DISTANCES SHOWN ARE IN GROUND VALUES. TO RELATE TO GRID VALUES MULTIPLY BY THE G.S.F. OF 0.99965

HENDRY LANE
PLAN 159 MISC.
P.I.N. 17564-0849 (LT)

LOT AREA: 2,122.03 sq m

PLAN OF SURVEY OF:
PART OF LOT 47, CONCESSION 2
IN THE GEOGRAPHIC TOWNSHIP OF ANCASTER
NOW IN THE
CITY OF HAMILTON

SCALE 1:250 m.
5 0 5 10 METRES 15

ASHENHURST NOUWENS LIMITED

628 MILL STREET
ANCASTER | CITY OF HAMILTON | ONTARIO

PROPOSED PARCELS

SEVERANCE APPLICATION - PROPOSED PARCELS
RESIDENTIAL R3 ZONE | 87-57 ANCASTER ZONING BY-LAW

Drawings prepared July 2021 by Max Kerrigan MCIP RPP

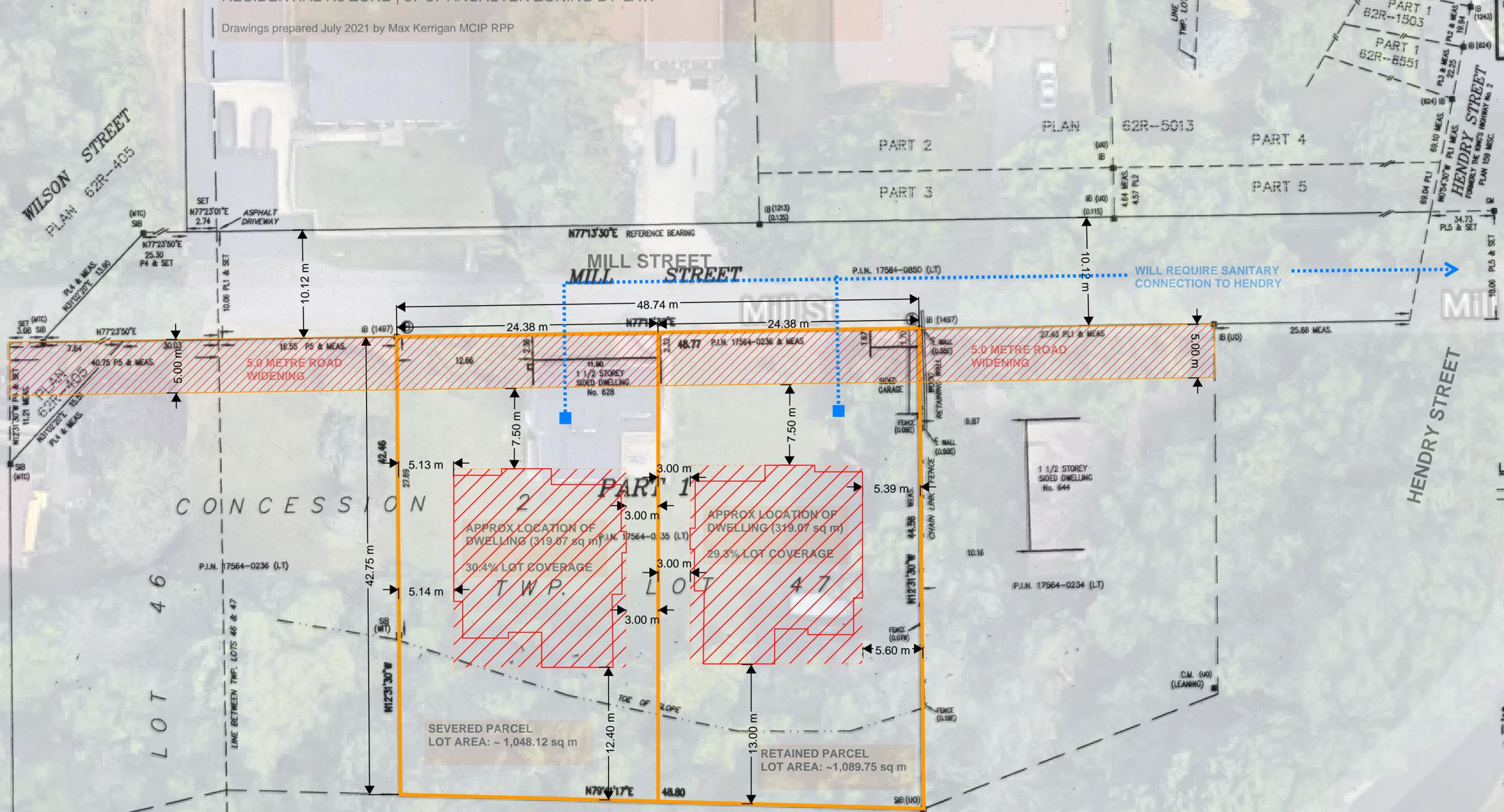
SCHEDULE				
PART	LOT	CONCESSION	P.I.N.	AREA (sq. m.)
1	PART OF LOT 47	2	ALL OF 17564-0235(LT)	2122.03

PLAN 62 R-19244

RECEIVED AND DEPOSITED
DATE: 2012.01.27
E. Hall
REPRESENTATIVE FOR
LAND REGISTRAR FOR THE LAND TITLES
DIVISION OF WENTWORTH (62)

I REQUIRE THIS PLAN TO BE
DEPOSITED UNDER THE LAND
TITLES ACT.
DATE: JAN. 25, 2012
GUIDO CONSOLI
ONTARIO LAND SURVEYOR

METRIC NOTE
DISTANCES SHOWN ON THIS PLAN
ARE IN METRES AND CAN BE
CONVERTED TO FEET BY DIVIDING
BY 0.3048



LEGEND

- S.I.B. DENOTES STANDARD IRON BAR
- I.B. DENOTES IRON BAR
- I.P. DENOTES IRON PIPE
- C.M. DENOTES CONCRETE MONUMENT
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I CERTIFY THAT:
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ROTATION NOTE
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(A)	N 4787452.318	E 583594.512
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DISTANCES SHOWN ARE IN GROUND VALUES.
TO RELATE TO GRID VALUES MULTIPLY BY THE G.S.F. OF 0.99965

HENDRY LANE
HENDRY LANE
PLAN 159 MISC.
P.I.N. 17564-0849 (LT)

ASHENHURST NOUWENS LIMITED
Professional Engineers & Ontario Land Surveyors
315 YORK BOULEVARD, SUITE 201, HAMILTON, ONTARIO L8R 3K5
(905) 529-8318 (905) 529-4314 1-800-824-6224
FAX: (905) 529-8851 e-mail: an@AshenurstNouwens.com

DRAWN BY	B.K.	CALCD BY	CHR'D BY	G.V.C.
DATE	JAN. 25, 2012	FILE No.	11286-RPL	

December 21 2021

Committee of Adjustment
71 Main Street West, 5th Floor
Hamilton, Ontario, L8P 4Y5
Phone: 905-546-2424 Ext. 4221
Email: cofa@hamilton.ca

Project: 628 Mill Street, Hamilton

Subject: Consent to Sever Application

To Whom it may Concern,

On behalf of the Owner, I am pleased to submit an application for consent to create a new lot on the lands known as 628 Mill Street ('subject property") in Ancaster, Hamilton.

Generally, the proposed consent request is to sever the existing lot into two separate lots with the intent to develop two custom single family residential dwellings.

Existing Conditions

The subject property is located on a dead-end residential street consisting of five other single family homes. Homes on Mill Street are serviced by municipal water, however, are not serviced by sanitary. The street is considered a rural cross-section, and does not have sidewalks; nor does it meet the ultimate width identified in the City's Official Plan.

Official Plan

The subject property is zoned Residential 3 (R3) in the Ancaster Zoning By-Law (87-57), and is designated Neighbourhoods in the City of Hamilton Urban Official Plan.

The subject lands are not within a Secondary Plan area.

Zoning

The subject property is zoned Residential 3 (R3) in the Ancaster Zoning By-Law (87-57).

The proposed severed and retained parcels conform to the minimum lot area, lot frontage, and side yard requirements of the By-Law as demonstrated in the enclosed Site Sketch.

Natural Heritage

The subject property sits immediately below a natural heritage 'Core Area' consisting of a Significant Woodland and the Tiffany Falls Environmentally Significant Area (ESA). In order to conform to Official Plan, the development of the subject property shall not negatively impact these natural heritage features, or their ecological functions.

The proposed severance and/or eventual development proposal will not impact the adjacent natural heritage assets. That said, any Environmental Impact Statement (EIS) deemed necessary will be completed in order to demonstrate this.

In addition, it has been brought to our attention that due to the location of the property (Core Areas within and adjacent to it), that under the City's Site Plan Control By-law a Site Plan application would be required. As such, if deemed necessary, we will undertake the necessary planning review.

Development Engineering

The subject property is required to adhere to the City's *Adequate Services By-Law* whereby the properties are required a connection to Sanitary within the urban boundary.

As such, we anticipate engaging in this process in due time.

Additionally, the subject property may be required to adhere to recommendations resulting from the 2016 *Pilot Study Assessment of Increase in Lot Coverage in Rurally Serviced Roadway Neighbourhoods, Community of Ancaster (PW16100) (Ward 12) (Item 8.3)*.

Phase 1 of this Study consisted of an assessment of increases in lot coverage in rurally serviced roadway neighbourhoods in Ancaster, as a result of a large influx of severances and intensification proposals having an impact on local drainage patterns.

Phase 2 of the Pilot Study was to include the undertaking of a *Detailed Drainage Assessment Study* of all of the Existing Residential (ER) Neighbourhoods in Ancaster with rural drainage servicing to determine the threshold capacity and break-point of the existing drainage networks. This Study has yet to be undertaken.

Due to the high level theoretical nature of the Phase 1 Pilot Study Assessment combined with limited geographic scope of the study area, it was recommended that the approval of lot severances in all rural cross section drainage neighbourhoods in Ancaster be deferred until a Detailed Drainage Assessment Study (Phase 2) was completed.

Analysis of Proposal

As per the City's Official Plan - consents for new lot creation, for both the severed and retained lands, for residential uses in the Neighbourhoods designation shown on Map E-1 – Urban Land Use Designation of the City's Official Plan, (for which the subject lands are situated) shall be permitted provided the following conditions are met:

The lots comply with the policies of this Plan, including secondary plans, where one exists;

The creation of additional lots within the urban area conform/comply to the Official Plan. The proposed severance demonstrates a form of intensification within the urban boundary that is context sensitive, and aligns with the City's intensification goals.

The lots comply with existing Neighbourhood Plans;

It is my opinion that the creation of an additional lot within a lot fabric that can accommodate a gentle form of intensification is justified.

The lots are in conformity with the Zoning By-law or a minor variance is approved;

The proposed severance contemplates the creation of two development lots that both conform to the City's Zoning By-Law. The proposed severance is intended for the development of two single family bungalow residences that conform to the regulations of Residential 3 (R3) in the Ancaster Zoning By-Law (87-57).

The lots reflect the general scale and character of the established development pattern in the surrounding area by taking into consideration lot frontages and areas, building height, coverage, mass, setbacks, privacy and overview;

The two proposed lots would suitably reflect the existing character and scale of Mill Street and the immediate neighbourhood context.

The lots are fully serviced by municipal water and wastewater systems;

As previously indicated, the lots are serviced by municipal water, but not serviced by sanitary. It is anticipated that necessary connections will be established as part of the development process.

The lots have frontage on a public road.

The proposed lots front on Mill Street, which is considered a public road.

Conclusion

Residential intensification is a key component of Hamilton's growth strategy and is essential to meet the City's growth targets. The City's Official Plan supports the intensification of the existing built area, provided the proposed form of intensification is sympathetic in form and character, and is a positive addition to the City, and is in the interest of good planning.

The proposed severance optimizes a notably wide individual lot through a form of gentle intensification that is neighbourhood and context sensitive and consistent with local policy objectives.

Regarding the *Pilot Study Assessment of Increase in Lot Coverage in Rurally Serviced Roadway Neighbourhoods*, it should be noted that the study was intended for ER Zones. The subject property is zoned R3, however, has been captured by a recommendation that came to light following a lack of decision/progress on Phase 2 of the Study.

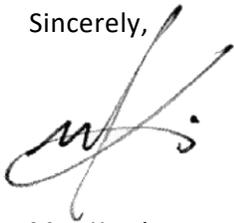
That said, We (the applicant) are sensitive to the intent of the Pilot Study, and intend to actively consult City staff and incorporate preferred stormwater quantity and quality measures on-site to mitigate any adverse impacts associated with increases in lot coverage including but not limited to reducing hardscapes, incorporation of LID strategies, and storing stormwater on-site.

Please find enclosed the following documents to complete our submission:

1. Signed Application Form (incl. Sworn Affidavit);
2. Copy of Cheque payable to the City of Hamilton in the amount of \$3,235.00; and,
3. Site Sketch.

We anticipate that the enclosed application materials and cover letter provide sufficient support for a successful application.

Sincerely,

A handwritten signature in black ink, appearing to read 'MK', with a stylized flourish extending upwards and to the right.

Max Kerrigan
MCIP RPP



Hamilton

Committee of AdjustmentCity Hall, 5th Floor,

71 Main St. W.,

Hamilton, ON L8P4Y5

Phone: (905) 546-2424 ext. 4221

Email: cofa@hamilton.ca

**APPLICATION FOR CONSENT TO SEVER LAND
UNDER SECTION 53 OF THE PLANNING ACT**

Office Use Only

Date Application Received:	Date Application Deemed Complete:	Submission No.:	File No.:
----------------------------	-----------------------------------	-----------------	-----------

1 APPLICANT INFORMATION

	NAME	MAILING ADDRESS
Purchaser*		
Registered Owners(s)		
Applicant(s)**		
Agent or Solicitor		

***Purchaser must provide a copy of the portion of the agreement of purchase and sale that authorizes the purchaser to make the application in respect of the land that is the subject of the application. (O. Reg. 786/21)**

**** Owner's authorisation required if the applicant is not the owner or purchaser.**

1.3 All correspondence should be sent to Purchaser Owner
 Applicant Agent/Solicitor

2 LOCATION OF SUBJECT LAND Complete the applicable lines

2.1 Area Municipality City of Hamilton	Lot	Concession	Former Township Ancaster
Registered Plan N°.	Lot(s)	Reference Plan N°.	Part(s)
Municipal Address 628 Mill Street			Assessment Roll N°.

2.2 Are there any easements or restrictive covenants affecting the subject land?

Yes No

If YES, describe the easement or covenant and its effect:

3 PURPOSE OF THE APPLICATION

3.1 Type and purpose of proposed transaction: (check appropriate box)

a) Urban Area Transfer (do not complete Section 10):

creation of a new lot

addition to a lot

an easement

Other: a charge

a lease

a correction of title

b) Rural Area / Rural Settlement Area Transfer (Section 10 must also be completed):

creation of a new lot

creation of a new non-farm parcel

(i.e. a lot containing a surplus farm dwelling
resulting from a farm consolidation)

addition to a lot

Other: a charge

a lease

a correction of title

an easement

3.2 Name of person(s), if known, to whom land or interest in land is to be transferred, leased or charged:

3.3 If a lot addition, identify the lands to which the parcel will be added:

4 DESCRIPTION OF SUBJECT LAND AND SERVICING INFORMATION

4.1 Description of land intended to be **Severed (lease, easement, charge etc.):**

Frontage (m)	Depth (m)	Area (m ² or ha)
24.38 metres		1048.12 sq m

Existing Use of Property to be severed:

Residential

Agriculture (includes a farm dwelling)

Other (specify) _____

Industrial

Agricultural-Related

Commercial

Vacant

Proposed Use of Property to be severed:

Residential

Agriculture (includes a farm dwelling)

Other (specify) _____

Industrial

Agricultural-Related

Commercial

Vacant

Building(s) or Structure(s):

Existing: 1.5 storey dwelling

Proposed: 1.5 storey bungalow dwelling

Existing structures to be removed: 1.5 storey dwelling

Type of access: (check appropriate box)

provincial highway

municipal road, seasonally maintained

municipal road, maintained all year

right of way

other public road

Type of water supply proposed: (check appropriate box)

publicly owned and operated piped water system

privately owned and operated individual well

lake or other water body

other means (specify) _____

Type of sewage disposal proposed: (check appropriate box)

- publicly owned and operated sanitary sewage system
- privately owned and operated individual septic system
- other means (specify)

4.2 Description of land intended to be **Retained (remainder)**:

Frontage (m)	Depth (m)	Area (m ² or ha)
24.38 metres		1089.75 sq m

Certificate Request for Retained Lands: Yes*

* If yes, a statement from an Ontario solicitor in good standing that there is no land abutting the subject land that is owned by the owner of the subject land other than land that could be conveyed without contravening section 50 of the Act. **(O. Reg. 786/21)**

Existing Use of Property to be retained:

- Residential
- Agriculture (includes a farm dwelling)
- Other (specify) _____
- Industrial
- Agricultural-Related
- Commercial
- Vacant

Proposed Use of Property to be retained:

- Residential
- Agriculture (includes a farm dwelling)
- Other (specify) _____
- Industrial
- Agricultural-Related
- Commercial
- Vacant

Building(s) or Structure(s):

Existing: NA

Proposed: 1.5 storey bungalow dwelling

Existing structures to be removed: _____

Type of access: (check appropriate box)

- provincial highway
- municipal road, seasonally maintained
- municipal road, maintained all year
- right of way
- other public road

Type of water supply proposed: (check appropriate box)

- publicly owned and operated piped water system
- privately owned and operated individual well
- lake or other water body
- other means (specify)

Type of sewage disposal proposed: (check appropriate box)

- publicly owned and operated sanitary sewage system
- privately owned and operated individual septic system
- other means (specify)

4.3 Other Services: (check if the service is available)

- electricity
- telephone
- school bussing
- garbage collection

5 CURRENT LAND USE

5.1 What is the existing official plan designation of the subject land?

Rural Hamilton Official Plan designation (if applicable): _____

Urban Hamilton Official Plan designation (if applicable) Neighbourhoods

Please provide an explanation of how the application conforms with a City of Hamilton Official Plan.

This application demonstrates an optimization of the current lot fabric in the form of a context sensitive and appropriate form of gentle density.

5.2 What is the existing zoning of the subject land?

If the subject land is covered by a Minister's zoning order, what is the Ontario Regulation Number? _____

5.3 Are any of the following uses or features on the subject land or within 500 metres of the subject land, unless otherwise specified. Please check the appropriate boxes, if any apply.

Use or Feature	On the Subject Land	Within 500 Metres of Subject Land, unless otherwise specified (indicate approximate distance)
An agricultural operation, including livestock facility or stockyard*	<input type="checkbox"/>	
A land fill	<input type="checkbox"/>	
A sewage treatment plant or waste stabilization plant	<input type="checkbox"/>	
A provincially significant wetland	<input type="checkbox"/>	
A provincially significant wetland within 120 metres	<input type="checkbox"/>	
A flood plain	<input type="checkbox"/>	
An industrial or commercial use, and specify the use(s)	<input type="checkbox"/>	
An active railway line	<input type="checkbox"/>	
A municipal or federal airport	<input type="checkbox"/>	

*Complete MDS Data Sheet if applicable

6 PREVIOUS USE OF PROPERTY

- Residential Industrial Commercial
 Agriculture Vacant Other (specify)

6.1 If Industrial or Commercial, specify use _____

6.2 Has the grading of the subject land been changed by adding earth or other material, i.e., has filling occurred?

- Yes No Unknown

6.3 Has a gas station been located on the subject land or adjacent lands at any time?

- Yes No Unknown

6.4 Has there been petroleum or other fuel stored on the subject land or adjacent lands?

- Yes No Unknown

6.5 Are there or have there ever been underground storage tanks or buried waste on the subject land or adjacent lands?

- Yes No Unknown

6.6 Have the lands or adjacent lands ever been used as an agricultural operation where cyanide products may have been used as pesticides and/or biosolids was applied to the lands?

- Yes No Unknown

6.7 Have the lands or adjacent lands ever been used as a weapons firing range?

- Yes No Unknown

6.8 Is the nearest boundary line of the application within 500 metres (1,640 feet) of the fill area of an operational/non-operational landfill or dump?

- Yes No Unknown

6.9 If there are existing or previously existing buildings, are there any building materials remaining on site which are potentially hazardous to public health (e.g., asbestos, PCB's)?

- Yes No Unknown

- 6.10 Is there reason to believe the subject land may have been contaminated by former uses on the site or adjacent sites?
 Yes No Unknown
- 6.11 What information did you use to determine the answers to 6.1 to 6.10 above?
- 6.12 If previous use of property is industrial or commercial or if YES to any of 6.2 to 6.10, a previous use inventory showing all former uses of the subject land, or if appropriate, the land adjacent to the subject land, is needed.
 Is the previous use inventory attached?
 Yes No

7 PROVINCIAL POLICY

- 7.1 a) Is this application consistent with the Policy Statements issued under subsection of the *Planning Act*? (Provide explanation)
 Yes No

This application demonstrates an optimization of the current lot fabric in the form of a context sensitive and appropriate form of gentle density.
- b) Is this application consistent with the Provincial Policy Statement (PPS)?
 Yes No (Provide explanation)

Efficient use of land within an urban boundary
- c) Does this application conform to the Growth Plan for the Greater Golden Horseshoe?
 Yes No (Provide explanation)

The optimization of land resources within an urban area
- d) Are the subject lands within an area of land designated under any provincial plan or plans? (If YES, provide explanation on whether the application conforms or does not conflict with the provincial plan or plans.)
 Yes No
- e) Are the subject lands subject to the Niagara Escarpment Plan?
 Yes No
 If yes, is the proposal in conformity with the Niagara Escarpment Plan?
 Yes No
 (Provide Explanation)
- f) Are the subject lands subject to the Parkway Belt West Plan?
 Yes No
 If yes, is the proposal in conformity with the Parkway Belt West Plan?
 Yes No (Provide Explanation)
- g) Are the subject lands subject to the Greenbelt Plan?
 Yes No

If yes, does this application conform with the Greenbelt Plan?
 Yes No (Provide Explanation)

8 HISTORY OF THE SUBJECT LAND

8.1 Has the subject land ever been the subject of an application for approval of a plan of subdivision or a consent under sections 51 or 53 of the *Planning Act*?
 Yes No Unknown

If YES, and known, indicate the appropriate application file number and the decision made on the application.

8.2 If this application is a re-submission of a previous consent application, describe how it has been changed from the original application.

8.3 Has any land been severed or subdivided from the parcel originally acquired by the owner of the subject land? Yes No

If YES, and if known, provide for each parcel severed, the date of transfer, the name of the transferee and the land use.

8.4 How long has the applicant owned the subject land?

8.5 Does the applicant own any other land in the City? Yes No
 If YES, describe the lands in "11 - Other Information" or attach a separate page.

9 OTHER APPLICATIONS

9.1 Is the subject land currently the subject of a proposed official plan amendment that has been submitted for approval? Yes No Unknown

If YES, and if known, specify file number and status of the application.

9.2 Is the subject land the subject of any other application for a Minister's zoning order, zoning by-law amendment, minor variance, consent or approval of a plan of subdivision?
 Yes No Unknown

If YES, and if known, specify file number and status of the application(s).

File number _____ Status _____

10 RURAL APPLICATIONS

10.1 **Rural Hamilton Official Plan Designation(s)**

- | | | |
|--|-------------------------------------|---|
| <input type="checkbox"/> Agricultural | <input type="checkbox"/> Rural | <input type="checkbox"/> Specialty Crop |
| <input type="checkbox"/> Mineral Aggregate Resource Extraction | <input type="checkbox"/> Open Space | <input type="checkbox"/> Utilities |
| <input type="checkbox"/> Rural Settlement Area (specify) _____ | _____ | _____ |

Settlement Area

Designation

If proposal is for the creation of a non-farm parcel resulting from a farm consolidation, indicate the existing land use designation of the abutting or non-abutting farm operation.

10.2 **Type of Application** (select type and complete appropriate sections)

- Agricultural Severance or Lot Addition
 Agricultural Related Severance or Lot Addition
 Rural Resource-based Commercial Severance or Lot Addition
 Rural Institutional Severance or Lot Addition
 Rural Settlement Area Severance or Lot Addition
- } (Complete Section 10.3)
- Surplus Farm Dwelling Severance from an Abutting Farm Consolidation (Complete Section 10.4)
- Surplus Farm Dwelling Severance from a Non-Abutting Farm Consolidation (Complete Section 10.5)

10.3 **Description of Lands**

a) Lands to be Severed:

Frontage (m): (from Section 4.1)	Area (m ² or ha): (from in Section 4.1)
----------------------------------	--

Existing Land Use: _____ Proposed Land Use: _____

b) Lands to be Retained:

Frontage (m): (from Section 4.2)	Area (m ² or ha): (from Section 4.2)
----------------------------------	---

Existing Land Use: _____ Proposed Land Use: _____

10.4 **Description of Lands (Abutting Farm Consolidation)**

a) Location of abutting farm:

(Street) (Municipality) (Postal Code)

b) Description abutting farm:

Frontage (m):	Area (m ² or ha):
---------------	------------------------------

Existing Land Use(s): _____ Proposed Land Use(s): _____

c) Description of consolidated farm (excluding lands intended to be severed for the surplus dwelling):

Frontage (m):	Area (m ² or ha):
---------------	------------------------------

Existing Land Use: _____ Proposed Land Use: _____

d) Description of surplus dwelling lands proposed to be severed:

Frontage (m): (from Section 4.1)	Area (m ² or ha): (from Section 4.1)
----------------------------------	---

Front yard set back: _____

e) Surplus farm dwelling date of construction:

- Prior to December 16, 2004 After December 16, 2004

f) Condition of surplus farm dwelling:

- Habitable Non-Habitable

g) Description of farm from which the surplus dwelling is intended to be severed (retained parcel):

Frontage (m): (from Section 4.2)	Area (m ² or ha): (from Section 4.2)
----------------------------------	---

Existing Land Use: _____ Proposed Land Use: _____

10.5 Description of Lands (Non-Abutting Farm Consolidation)

a) Location of non-abutting farm

(Street) (Municipality) (Postal Code)

b) Description of non-abutting farm

Frontage (m):	Area (m ² or ha):
---------------	------------------------------

Existing Land Use(s): _____ Proposed Land Use(s): _____

c) Description of surplus dwelling lands intended to be severed:

Frontage (m): (from Section 4.1)	Area (m ² or ha): (from Section 4.1)
----------------------------------	---

Front yard set back: _____

d) Surplus farm dwelling date of construction:

Prior to December 16, 2004 After December 16, 2004

e) Condition of surplus farm dwelling:

Habitable Non-Habitable

f) Description of farm from which the surplus dwelling is intended to be severed (retained parcel):

Frontage (m): (from Section 4.2)	Area (m ² or ha): (from Section 4.2)
----------------------------------	---

Existing Land Use: _____ Proposed Land Use: _____

11 OTHER INFORMATION

Is there any other information that you think may be useful to the Committee of Adjustment or other agencies in reviewing this application? If so, explain below or attach on a separate page.

Attached

12 ACKNOWLEDGEMENT CLAUSE

I acknowledge that The City of Hamilton is not responsible for the identification and remediation of contamination on the property which is the subject of this Application – by reason of its approval to this Application.

2022-02-03 _____

Date

Signature of Owner



Hamilton

COMMITTEE OF ADJUSTMENT

City Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5
 Telephone (905) 546-2424, ext. 4221, 3935 Fax (905) 546-4202
 E-mail: cofa@hamilton.ca

NOTICE OF PUBLIC HEARING Minor Variance

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
- Applicant/agent on file, or
- Person likely to be interested in this application

APPLICATION NO.: GL/A-22:54

APPLICANTS: Agent Max Kerrigan
 Owner William R. MacLean

SUBJECT PROPERTY: Municipal address **55 Yale Dr., Glanbrook**

ZONING BY-LAW: Zoning By-law 464, as Amended 18-014

ZONING: "R4-218(A)" (Residential) district

PROPOSAL: To permit the construction of a single detached dwelling, notwithstanding that;

1. A minimum easterly side yard of 1.8m shall be permitted on a lot flanking an open space block whereas the zoning By-law states that on a lot flanking an open space block, the minimum side yard abutting the opens space shall be 2.4 metres.

Note: Applicant shall ensure that the maximum height of 10.7m is not exceeded. No elevation plans were provided to confirm compliance.

Applicant shall ensure that the floor elevation of a garage shall be a minimum of 30 centimetres above the centre line of the street adjacent to the garage. No details were provided from which to confirm compliance.

Applicant shall ensure that the maximum encroachments for eaves and gutters and all other projections are in accordance with Section 7.26 of the Glanbrook zoning By-law 464.

This application will be heard by the Committee as shown below:

DATE: Thursday, April 7th, 2022
TIME: 1:20 p.m.
PLACE: Via video link or call in (see attached sheet for details)
 To be streamed at
www.hamilton.ca/committeeofadjustment
 for viewing purposes only

PUBLIC INPUT

Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

GL/A-22: 54

Page 2

Orally: If you would like to speak to this item at the hearing you may do so via video link or by calling in. Please see attached page for complete instructions, including deadlines for registering to participate.

MORE INFORMATION

For more information on this matter, including access to drawings illustrating this request:

- Visit www.hamilton.ca/committeeofadjustment
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935
- Email Committee of Adjustment staff at cofa@hamilton.ca

DATED: March 22nd, 2022.

Jamila Sheffield,
Secretary-Treasurer
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public.

**PLANNING JUSTIFICATION LETTER –
MOUNT HOPE LOT 207 MINOR VARIANCE APPLICATION**

Date: February 8, 2022

To: Secretary-Treasurer
Committee of Adjustment
Planning and Economic Development Department, City of Hamilton
71 Main Street West, 5th Floor
Hamilton, ON, L8P 4Y5

**Re: Planning Justification Letter – Mount Hope Lot 207 - 55 Yale Drive
Minor Variance Application**

Dear Committee,

This Planning Justification Letter is for the Mount Hope Community in the City of Hamilton and is in support of a Minor Variance to Residential Lot 207, municipally addressed as 55 Yale Drive. The following provides an introduction to the subject lands, a description of the proposed development, a review of the requested minor variance, and an analysis of the four main criteria for evaluating a minor variance.

1.0 INTRODUCTION

The Mount Hope Community is bound by Airport Road West to the north, an existing subdivision to the east, White Church Road West to the south and agricultural lands to the west, which have been identified as being within the Airport Employment Growth District Secondary Plan area. Highway 6 intersects the subject lands and separates the lands into two parts. The majority of the lands are within the Mount Hope Secondary Plan area.

The Mount Hope Community will be a complete community, providing a balance of services and facilities to meet the needs of people at all stages of life. The community will consist of a predominately residential character with a proposed commercial development to the north, adjacent to Airport Road West, and a Neighbourhood Park central within the community. The lands located to the west of Highway 6 are proposed to be used as a storage pond that will accommodate stormwater resulting from major events. The proposed Mount Hope Community is integrated with the existing Mount Hope neighbourhood to the east by connecting with Provident Way and Rosebury Way.

Housing typologies within the proposed development include single-detached homes, traditional townhouses, and rear lane townhouses. The medium density built form is proposed and strategically located at the northern extent of the site in proximity to Airport Road West, the district commercial area to the north, and potential future transit routes.

The Mount Hope Community, as seen in the Plan of Subdivision (Appendix A), will consist of up to 647 units of which 207 are single-detached dwellings. This Planning Justification Letter and the proposed Minor Variance Application focuses specifically on Lot 207, as it relates to a flanking side yard setback for a single detached dwelling. Lot 207 is located along a future local street, 'Yale Drive', which is situated centrally within the approved Mount Hope subdivision and is the eastern end lot backing onto the north

side of the future Neighbourhood Park (Block 268). Lot 207 shares its flanking side yard lot line with a large Neighbourhood Park entry at the elbow of Yale Drive (between Lots 207 & 262).

The requested variance is intended to allow for the proposed built form to be implemented while maintaining the original community vision as well as its goals and objectives.

2.0 MINOR VARIANCE REVIEW

2.1 Requested Variances

A minor variance for single detached Lot 207, within the Mount Hope Community, is requested to allow for the intended built form to be implemented, as planned throughout the remainder of the community. The following provides a brief description of the minor variance requested:

Flanking Side Yard – Reduce the Flanking Side Yard Setback from 2.4 metres to 1.8 metres

Lot 207 was draft approved with a total lot width of 12.20 metres accommodating the full 2.4 metre flanking side yard, which is required to meet the zoning regulation. Through further detailed design development, the required catch basin and storm water line, which were originally to be located directly along the shared property line of Lots 206 & 207, were required to be relocated to be completely within the interior side yard of Lot 207. The adjustment of this location is also tied to existing infrastructure that has been installed within the Public Street. This minor adjustment necessitates an increase to the interior side yard setback from 0.6 metres to a total of 1.25 metres to accommodate the catch basin infrastructure. As a result of this engineering requirement, a reduction of the flanking side yard setback from 2.4m to 1.8m is requested, to allow for the standard building footprint to be shifted by the same 0.6m in order to accommodate the infrastructure within the interior side yard. Appendix B provides the siting and grading plan for Lot 207 that depicts the requested side yard setbacks along with the new location of the catch basin and storm water line.

2.2 Is the variance minor?

The following list describes why the reduction of one flanking side yard setback from 2.4 metres to 1.8 metres is minor:

- Lot 207 represents less than 0.5% of all the single detached lots within the community plan.
- The lot is not located on a primary street.
- The flanking side yard is not directly visible from a primary streetscape.
- The flanking side yard is directly adjacent to a Neighbourhood Park. Furthermore, the difference of 0.6 metres would not be visibly discernible as there is no adjacent building that as a result would be closer.
- The minor variance is not intended to increase the building size. It allows for consistency as it would ensure the same product and floorplans, initially proposed, are built throughout in the community, including directly adjacent to Lot 207.

2.3 Is the variance desirable for the appropriate development or use of the land, building or structure?

The requested minor variance is desirable and appropriate and will not have an adverse impact on the existing or future homes within the community.

- The minor variance will allow the house on Lot 207 to be constructed in a fashion that will be consistent with the neighbouring homes.
- The minor variance is being requested to accommodate an engineering requirement that is necessary in order to provide appropriate stormwater management.
- The minor variance will not have an adverse impact on the future Neighbourhood Park, or the existing / future homes within the neighbourhood.

2.4 Does the proposal maintain the general intent and purpose of the Zoning By-law?

The requested minor variance maintains the general intent and purpose of the Zoning By-law while also fully complying with all other regulations.

- The proposed flanking side yard setback does not adversely impact the proposal's ability to meet the general intent of the Zoning By-law for the development, in that the use and intensity of the development is maintained.
- Lot 207 continues to meet or exceed the regulations for all other zoning requirements including the interior side, front, and rear yard setbacks.
- The proposed minor variance provides a setback that aligns with the parent Zoning Bylaw No.464 (R4-218) of 1.2 metres minimum.
- The proposed minor variance would permit the required engineering setbacks for the stormwater line within the interior side yard.

2.5 Does the proposal maintain the general intent and purpose of the Official Plan?

The requested minor variance maintains the general intent and purpose of the Official Plan and does not adversely impact the proposal's ability to provide positive and desirable streetscapes or to appropriately integrate with the Neighbourhood Park.

- The Official Plan does not specifically speak to side yard setbacks.
- Secondary Plan Chapter B, Policy 5.4.10 c. speaks to storm drainage facilities complying with City requirements. The proposed minor variance would ensure that the storm drainage facilities required for the development comply with City requirements.
- Official Plan Chapter B, Policy 3.3.2.9.d.ii states that water pollution should be reduced through providing adequate stormwater management facilities.
 - The proposed minor variance supports this Official Plan policy by modifying the location of the house on Lot 207 to accommodate a stormwater line and catch basin in the appropriate location.

3.0 ANALYSIS AND CONCLUSION

The Mount Hope Community promotes efficient development and the creation of a compact and complete community. A minor variance is requested for a decrease in the flanking side yard setback requirement for Lot 207. The requested minor variance does not alter the community vision but enables the original intent of the approved built form and any public exposure viewpoints associated with them. It also works to ensure that the proposed development aligns with the intent, policies, and regulations outlined throughout provincial and municipal planning legislation. The proposal is considered to be compatible with and complementary to the planned development in the immediate area. Based on this, it is our professional opinion, that the requested minor variance for Residential Lot 207 constitutes good planning, and in addition, meets the four main criteria for the evaluation of a minor variance application.

Regards,



Michael C. Hannay MCIP RPP | Principal, MBTW | WAI

APPENDIX A

APPROVAL CERTIFICATE

APPROVED UNDER SECTION 51 OF THE PLANNING ACT, R.S.O. 1990, c.P. 13, AS AMENDED, BY THE GENERAL MANAGER OF PLANNING AND ECONOMIC DEVELOPMENT DEPARTMENT OF THE CITY OF HAMILTON UNDER THE AUTHORITY OF BY-LAW 07-323.

THIS 13th DAY OF August 2021

FOR GENERAL MANAGER, PLANNING AND ECONOMIC DEVELOPMENT
CITY OF HAMILTON

OF WENTWORTH (62) AT 10:14 O'CLOCK ON THE 31st DAY OF August 2021 AND ENTERED IN THE PARCEL REGISTER FOR PROPERTY IDENTIFIER 17400-1035(LT)

AND REQUIRED CONSENTS ARE REGISTERED AS PLAN DOCUMENT No. WE1542167

REPRESENTATIVE FOR LAND REGISTRAR

THIS PLAN COMPRISES ALL OF PIN 17400-1035(LT)

PART OF LOTS 2 TO 21, INCLUSIVE, ARE SUBJECT TO AN EASEMENT AS IN INSTRUMENT H253780

PLAN OF SUBDIVISION
OF PART OF
LOT 4
CONCESSION 5
GEOGRAPHIC
TOWNSHIP OF GLANFORD
IN THE
CITY OF HAMILTON

SCALE 1: 1000 METRIC

S.D. McLAREN, O.L.S. - 2021

CURVE DATA					
LOT/BLOCK	RADIUS	ARC	CHORD	BEARING	
C1	1	21,000	5,571	5,555	N09°40'20"E
C2	2	21,000	9,131	9,059	N10°23'00"W
C3	3	21,000	9,184	9,111	N35°22'05"W
C4	4	21,000	2,673	2,671	N51°32'55"W
C5	21	21,000	3,945	3,939	N60°35'15"W
C6	22	21,000	8,234	8,182	N77°57'05"E
C7	23	21,000	9,059	8,989	N84°21'35"E
C8	24	21,000	9,078	9,008	N29°37'00"E
C9	25	21,000	0,026	0,026	N171°15'00"E
C10	30	21,000	7,920	7,873	N06°21'30"E
C11	31	21,000	11,101	10,972	N19°35'25"W
C12	BLOCK 269	21,000	9,685	9,580	N47°55'10"W
C13	BLOCK 268	21,000	3,364	3,358	N63°22'55"W
C14	32	21,000	0,593	0,593	N72°27'20"W
C15	34	21,000	11,936	11,925	N69°02'35"W
C16	35	21,000	13,593	13,577	N60°00'50"W
C17	41	100,000	7,793	7,791	N34°29'10"E
C18	57	99,000	11,514	11,507	N69°56'00"W
C19	58	99,000	10,267	10,262	N63°37'50"W
C20	59	99,000	8,857	8,854	N50°05'50"W
C21	60	99,000	0,565	0,565	N55°22'10"W
C22	113	21,000	0,769	0,769	N181°9'20"E
C23	114	21,000	6,653	6,626	N28°26'50"E
C24	115	21,000	11,999	11,836	N53°53'35"E
C25	121	80,000	7,131	7,129	N34°09'55"E
C26	151	80,000	19,846	19,796	N24°30'15"E
C27	152	80,000	0,174	0,174	N172°00'05"E
C28	207	21,000	4,658	4,649	N79°04'55"W
C29	BLOCK 268	21,000	12,463	12,281	N77°33'40"E
C30	BLOCK 262	21,000	14,866	14,558	N40°16'45"E
C31	261	21,000	1,000	1,000	N18°38'10"E

BEARING NOTE:
BEARINGS ARE UTM GRID, DERIVED FROM OBSERVED REFERENCE POINTS A AND B, BY REAL TIME NETWORK OBSERVATIONS, UTM ZONE 17, NAD83 (CSRS) (2010)

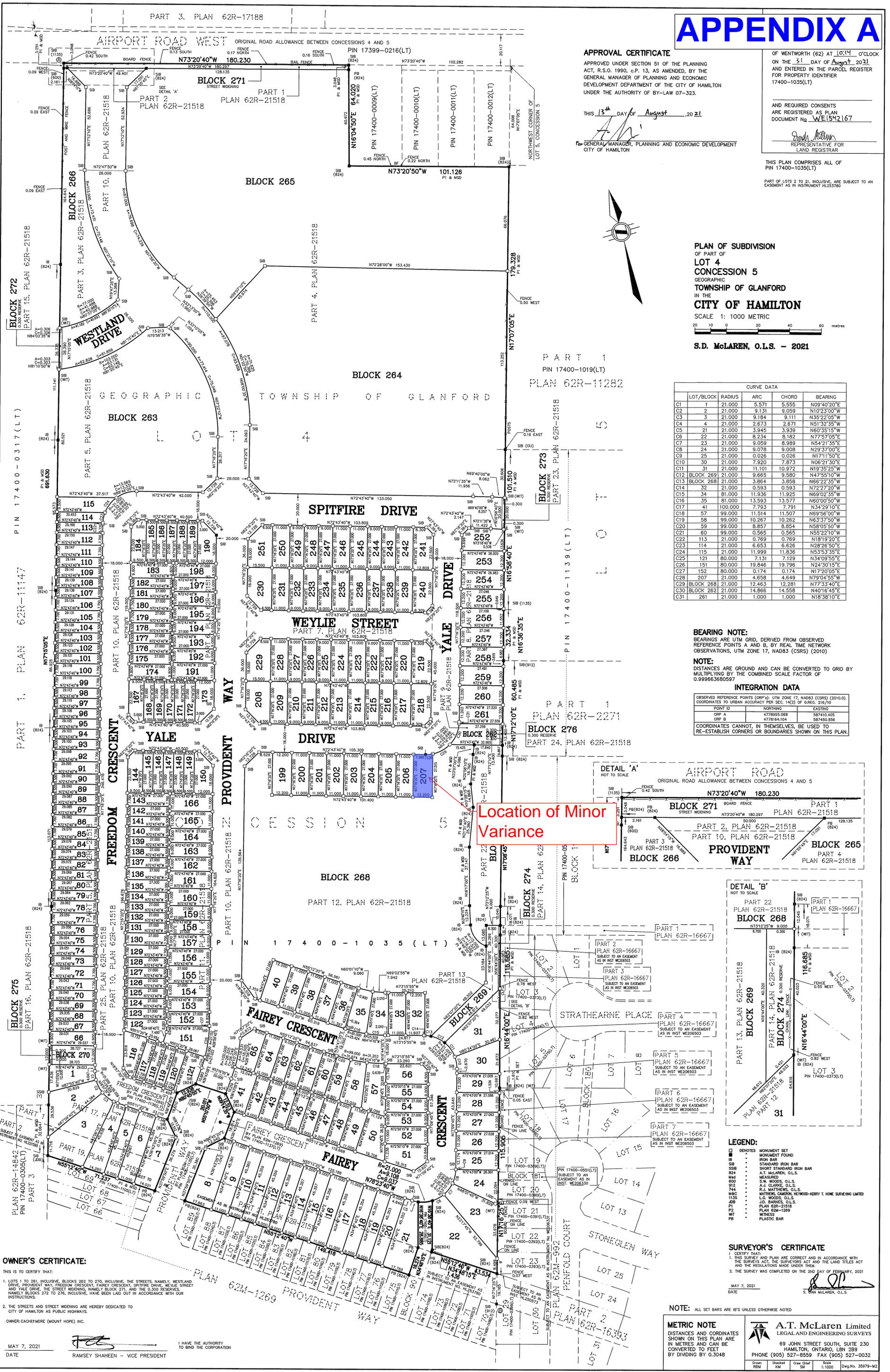
NOTE:
DISTANCES ARE GROUND AND CAN BE CONVERTED TO GRID BY MULTIPLYING BY THE COMBINED SCALE FACTOR OF 0.99963680997

INTEGRATION DATA

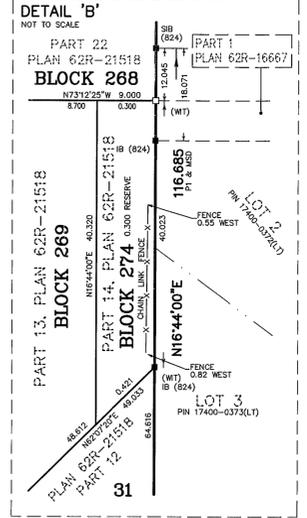
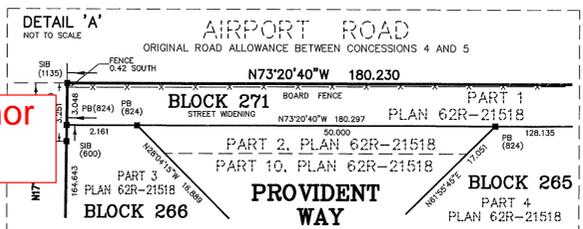
OBSERVED REFERENCE POINTS (ORP): UTM ZONE 17, NAD83 (CSRS) (2010.0), COORDINATES TO UTM ACCURACY PER SEC. 14(2) OF OREG. 216/10

POINT ID	NORTHING	EASTING
ORP A	4778995.068	587410.405
ORP B	4778164.104	587450.856

COORDINATES CANNOT, IN THEMSELVES, BE USED TO RE-ESTABLISH CORNERS OR BOUNDARIES SHOWN ON THIS PLAN.



Location of Minor Variance



- LEGEND:**
- MONUMENT SET
 - MONUMENT FOUND
 - IRON BAR
 - STANDARD IRON BAR
 - SHORT STANDARD IRON BAR
 - AT McLAREN, O.L.S.
 - MEASURED
 - ON LINE
 - R.I. MATTHEWS, O.L.S.
 - MATTHEWS, CONROY, HENWOOD-HENRY T. HOME SURVEYING LIMITED
 - L.O. WOODS, O.L.S.
 - J.D. BARNES, O.L.S.
 - PLAN 62R-21518
 - PLAN 62M-1269
 - WITNESS
 - PLASTIC BAR

SURVEYOR'S CERTIFICATE

I CERTIFY THAT:
1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEY ACT AND THE SURVEYORS ACT AND THE LAND TILES ACT AND THE REGULATIONS MADE UNDER THEM.
2. THE SURVEY WAS COMPLETED ON THE 2ND DAY OF FEBRUARY, 2021

MAY 7, 2021
DATE

S. DAN McLAREN, O.L.S.

NOTE: ALL SET BARS ARE IBS UNLESS OTHERWISE NOTED

METRIC NOTE
DISTANCES AND COORDINATES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

A.T. McLaren Limited
LEGAL AND ENGINEERING SURVEYS
69 JOHN STREET SOUTH, SUITE 230
HAMILTON, ONTARIO, L8N 2B9
PHONE (905) 527-8559 FAX (905) 527-0032

Sheet	Overall	Drawn	Scale
1100	1:1000	Dwg.No.	35979-M2

OWNER'S CERTIFICATE:

THIS IS TO CERTIFY THAT:

1. LOTS 1 TO 281, INCLUSIVE, BLOCKS 262 TO 270, INCLUSIVE, THE STREETS, NAMELY WESTLAND DRIVE, PROVIDENT WAY, FREEDOM CRESCENT, FAIREY CRESCENT, SPITFIRE DRIVE, WEYLIE STREET AND YALE DRIVE, THE STREET WIDENING, NAMELY BLOCK 271, AND THE 0.300 RESERVES, NAMELY BLOCKS 272 TO 276, INCLUSIVE, HAVE BEEN Laid OUT IN ACCORDANCE WITH OUR INSTRUMENTS;

2. THE STREETS AND STREET WIDENING ARE HEREBY DEDICATED TO THE CITY OF HAMILTON AS PUBLIC HIGHWAYS.

OWNER: CACHETMORE (MOUNT HOPE) INC.

MAY 7, 2021
DATE

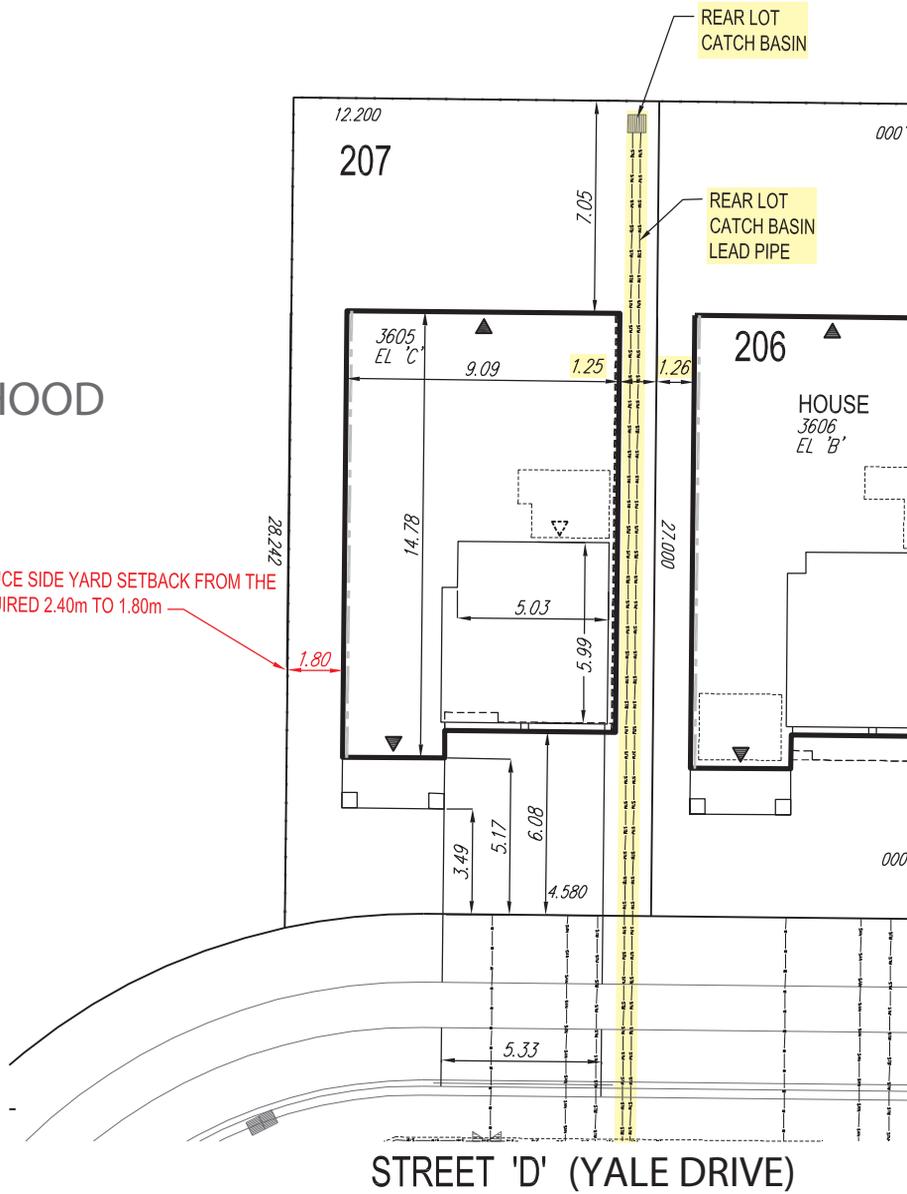
RAMSEY SHAHEEN - VICE PRESIDENT

I HAVE THE AUTHORITY TO BIND THE CORPORATION

APPENDIX B

NEIGHBOURHOOD PARK

REDUCE SIDE YARD SETBACK FROM THE REQUIRED 2.40m TO 1.80m



STREET 'D' (YALE DRIVE)



LOT GRADING REVIEW:

LOT #: _____ HAS BEEN REVIEWED FOR THE GRADES ONLY AS BEING IN CONFORMITY FOR THE DRAINAGE CONCEPTS AND RELATIVE ELEVATIONS SHOWN ON THE APPROVED SUBDIVISION GRADING PLANS FILED WITH THE CITY ENGINEER. THE UNDERSIGNED ASSUMES NO RESPONSIBILITY FOR THE CORRECTNESS OF THE BUILDING DIMENSIONS AND/OR CONFORMITY TO ANY APPLICABLE ZONING BY-LAWS.

NAME: PAUL HECIMOVIC DATE: _____

SIGNATURE: _____

GENERAL NOTES:

1. BUILDER TO VERIFY LOCATION OF UTILITIES AND OTHER SERVICES. IF MIN. DIMENSIONS ARE NOT MAINTAINED, BUILDER IS TO RELOCATE AT BUILDER'S EXPENSE.
2. BUILDER TO VERIFY ELEV. OF STM. AND SAN. LATERALS IN RELATION TO BASEMENT US OF FOOTING ELEVATIONS FOR COMPLIANCE WITH MUNICIPAL STANDARDS PRIOR TO EXCAVATION.
3. APPROVED PERMIT DRAWINGS & CONSTRUCTION NOTES MUST BE REVIEWED AND FOLLOWED IN CONJUNCTION WITH THE SITING AND GRADING PLAN. BUILDER TO VERIFY BUILDING ENVELOPE ON SITE PLAN MATCHES APPROVED PERMIT DRAWINGS & CONSTRUCTION NOTES PRIOR TO POURING CONCRETE. IF THERE ARE ANY DISCREPANCIES, THEY ARE TO BE BROUGHT TO THE ATTENTION OF HUNT DESIGN ASSOCIATES INC.
4. UNLESS NOTED ON BUILDING ENVELOPE OR APPROVED PERMIT DRAWINGS & CONSTRUCTION NOTES, ALL TOP OF FOUNDATION WALLS INCLUDING GARAGE WALLS TO BE CONSISTENT WITH THE ELEVATION PROVIDED FOR FTW ON SITING AND GRADING PLAN. THE EXTERIOR OF THE FOUNDATION WALL TO BE PROVIDED WITH A REDUCTION OF THICKNESS FOR MASONRY VENEER AS REQUIRED.



ENGINEERED FILL LOTS	SANITARY MANHOLE	WATER SERVICE	BELL PEDESTAL	HYDRO TRANSFORMER	SANITARY LINE	DOWNSPOUTS	SUMP PUMP AND SURFACE DISCHARGE LOCATION	FF FINISHED FLOOR
STREET TREE	STORM MANHOLE	HYDRO SERVICE	CABLE PEDESTAL	PADMOUNTED MOTOR	STORM WATER LINE	WINDOWS PERMITTED	UPGRADE ELEVATION	TFW TOP OF FOUNDATION WALL
RETAINING WALL	VALVE & CHAMBER	SHEET DRAINAGE	HYDRO POLE	EXISTING GRADES	WATERLINE	45 MINUTE FIRE RATED WALL	CHAIN LINK FENCE	BF BASEMENT FLOOR
CATCH BASIN	VALVE & BOX	STREET LIGHT PEDESTAL	HYDRO POLE GUY	PROPOSED GRADES	HYDRO LINE	THAN 1.2m TO LOT LINE.	FENCE AND GATE	UF UNDERSIDE OF FOOTING
DOUBLE / SINGLE STM & SAN CONNECTION	HYDRANT	STREET LIGHT	STREET SIGN	SWALE DIRECTION	GAS LINE	(NO WINDOWS PERMITTED)	PRIVACY FENCE	WOD WALKOUT DECK
		TRAFFIC SIGNAL POWER PEDESTAL	COMMUNITY MAILBOX	EMBANKMENT / BERM MAX 3:1 SLOPE	CABLE LINE	EXTERIOR DOOR LOCATION	ACOUSTIC FENCE	MOD MODIFIED
					BELL	EXTERIOR DOOR LOCATION IF GRADE PERMITS		REV REVERSED
					HYDRO, GAS, BELL, CABLE LINE			ND NO DOOR
								HIGHLIGHTED GRADE

SITING AND GRADING PLAN

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

NAME: _____ SIGNATURE: _____ BCIN: _____



www.huntdesign.ca

CACHET ESTATE HOMES - 219017
MOUNT HOPE, HAMILTON, ON.

Drawn By: _____ Checked By: _____ Scale: 1:250 File Number: 219017.WSP-02.DWG Lot / Page Number: 207



Hamilton

Committee of Adjustment

City Hall, 5th Floor,
71 Main St. W.,
Hamilton, ON L8P4Y5

Phone: (905) 546-2424 ext. 4221

Email: cofa@hamilton.ca

APPLICATION FOR A MINOR VARIANCE

FOR OFFICE USE ONLY.	
APPLICATION NO. _____	DATE APPLICATION RECEIVED _____
PAID _____	DATE APPLICATION DEEMED COMPLETE _____
SECRETARY'S SIGNATURE _____	

The Planning Act

Application for Minor Variance or for Permission

The undersigned hereby applies to the Committee of Adjustment for the City of Hamilton under Section 45 of the *Planning Act*, R.S.O. 1990, Chapter P.13 for relief, as described in this application, from the Zoning By-law.

1, 2	NAME	MAILING ADDRESS	
Registered Owners(s)			
Applicant(s)*			
Agent or Solicitor			

Note: Unless otherwise requested all communications will be sent to the agent, if any.

3. Names and addresses of any mortgagees, holders of charges or other encumbrances:

N/A

Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled

4. Nature and extent of relief applied for:

1) reduce flankage side yard setback from 2.4m to 1.8m

- Second Dwelling Unit Reconstruction of Existing Dwelling

5. Why it is not possible to comply with the provisions of the By-law?

Please refer to planning justification letter prepared by MBTW.

6. Legal description and Address of subject lands (registered plan number and lot number or other legal description and where applicable, **street and street number**):

55 Yale Drive
Hamilton, ON

7. PREVIOUS USE OF PROPERTY

Residential Industrial Commercial

Agricultural Vacant

Other _____

8.1 If Industrial or Commercial, specify use _____

8.2 Has the grading of the subject land been changed by adding earth or other material, i.e. has filling occurred?

Yes No Unknown

8.3 Has a gas station been located on the subject land or adjacent lands at any time?

Yes No Unknown

8.4 Has there been petroleum or other fuel stored on the subject land or adjacent lands?

Yes No Unknown

8.5 Are there or have there ever been underground storage tanks or buried waste on the subject land or adjacent lands?

Yes No Unknown

8.6 Have the lands or adjacent lands ever been used as an agricultural operation where cyanide products may have been used as pesticides and/or sewage sludge was applied to the lands?

Yes No Unknown

8.7 Have the lands or adjacent lands ever been used as a weapon firing range?

Yes No Unknown

8.8 Is the nearest boundary line of the application within 500 metres (1,640 feet) of the fill area of an operational/non-operational landfill or dump?

Yes No Unknown

8.9 If there are existing or previously existing buildings, are there any building materials remaining on site which are potentially hazardous to public health (eg. asbestos, PCB's)?

Yes No Unknown

8.10 Is there any reason to believe the subject land may have been contaminated by former uses on the site or adjacent sites?

Yes No Unknown

8.11 What information did you use to determine the answers to 8.1 to 8.10 above?

Phase 1 Environmental Site Assessment Report prepared by Soil-Mat Engineers & Consultants Ltd., dated January 12, 2017

8.12 If previous use of property is industrial or commercial or if YES to any of 8.2 to 8.10, a previous use inventory showing all former uses of the subject land, or if appropriate, the land adjacent to the subject land, is needed.

Is the previous use inventory attached? Yes No

9. **ACKNOWLEDGEMENT CLAUSE**

I acknowledge that the City of Hamilton is not responsible for the identification and remediation of contamination on the property which is the subject of this Application – by reason of its approval to this Application.

February 8, 2022
Date


Signature Property Owner(s)

Ramsey Shaheen
Print Name of Owner(s)

10. Dimensions of lands affected:

Frontage See attached plans
Depth See attached plans
Area See attached plans
Width of street See attached plans

11. Particulars of all buildings and structures on or proposed for the subject lands: (Specify ground floor area, gross floor area, number of stories, width, length, height, etc.)

Existing: _

N/A

Proposed

See attached plans

12. Location of all buildings and structures on or proposed for the subject lands; (Specify distance from side, rear and front lot lines)

Existing:

N/A

Proposed:

See attached plans

13. Date of acquisition of subject lands:
 January 10, 2019

14. Date of construction of all buildings and structures on subject lands:
 Not yet constructed

15. Existing uses of the subject property (single family, duplex, retail, factory etc.):
 Agricultural

16. Existing uses of abutting properties (single family, duplex, retail, factory etc.):
 Residential and Agricultural

17. Length of time the existing uses of the subject property have continued:

18. Municipal services available: (check the appropriate space or spaces)
 Water Yes _____ Connected _____
 Sanitary Sewer Yes _____ Connected _____
 Storm Sewers Yes _____

19. Present Official Plan/Secondary Plan provisions applying to the land:
 Official Plan: Neighbourhoods / Mount Hope Secondary Plan: Low Density Residential 2

20. Present Restricted Area By-law (Zoning By-law) provisions applying to the land:
 By-Law No. 18-014 Zoning Code R4-218 (A)

21. Has the owner previously applied for relief in respect of the subject property? (Zoning By-law Amendment or Minor Variance)
 Yes No

If yes, please provide the file number:

21.1 If a site-specific zoning by-law amendment has been received for the subject property, has the two-year anniversary of the by-law being passed expired?
 Yes No

21.2 If the answer is no, the decision of Council, or Director of Planning and Chief Planner that the application for Minor Variance is allowed must be included. Failure to do so may result in an application not being "received" for processing.

22. Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?
 Yes No

23. Additional Information (please include separate sheet if needed)

24. The applicant shall attach to each copy of this application a plan showing the dimensions of the subject lands and of all abutting lands and showing the location, size and type of all buildings and structures on the subject and abutting lands, and where required by the Committee of Adjustment such plan shall be signed by an Ontario Land Surveyor.



Hamilton

COMMITTEE OF ADJUSTMENT

City Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5
 Telephone (905) 546-2424, ext. 4221, 3935 Fax (905) 546-4202
 E-mail: cofa@hamilton.ca

NOTICE OF PUBLIC HEARING Minor Variance

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
- Applicant/agent on file, or
- Person likely to be interested in this application

APPLICATION NO.: SC/A-21:417

APPLICANTS: Owner Zenon Wincza
 Agent IBI Group c/o M. Crough

SUBJECT PROPERTY: Municipal address **131 Green Rd., Stoney Creek**

ZONING BY-LAW: Zoning By-law 3692-92, as Amended by By-law No. 21-077 & 21-167

ZONING: R1 district Single Residential

PROPOSAL: To permit an existing accessory building in the rear yard of an existing single detached dwelling to be converted into a Secondary Dwelling Unit – Detached notwithstanding that;

1. A maximum gross floor area of 155.53 m² shall be provided for the proposed secondary dwelling unit – detached, whereas the By-Law states that the maximum gross floor area shall not exceed the lesser of 75.0 square metres or the Gross Floor Area of the Single Detached Dwelling, the Semi-Detached Dwelling Unit or the Street Townhouse Dwelling Unit.

Notes:

Variances have been written as requested by the applicant.

Eaves or gutters, for other than an accessory building, which may project into any required yard a distance of 0.25 metres. Applicant shall ensure that the eaves or gutters do not encroach beyond the maximum permitted distance; otherwise, further variances may be required.

This application will be heard by the Committee as shown below:

DATE: Thursday, April 7th, 2022
TIME: 1:25 p.m.
PLACE: Via video link or call in (see attached sheet for details)
 To be streamed at
www.hamilton.ca/committeeofadjustment
 for viewing purposes only

SC/A-21: 417

Page 2

PUBLIC INPUT

Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

Orally: If you would like to speak to this item at the hearing you may do so via video link or by calling in. Please see attached page for complete instructions, including deadlines for registering to participate.

MORE INFORMATION

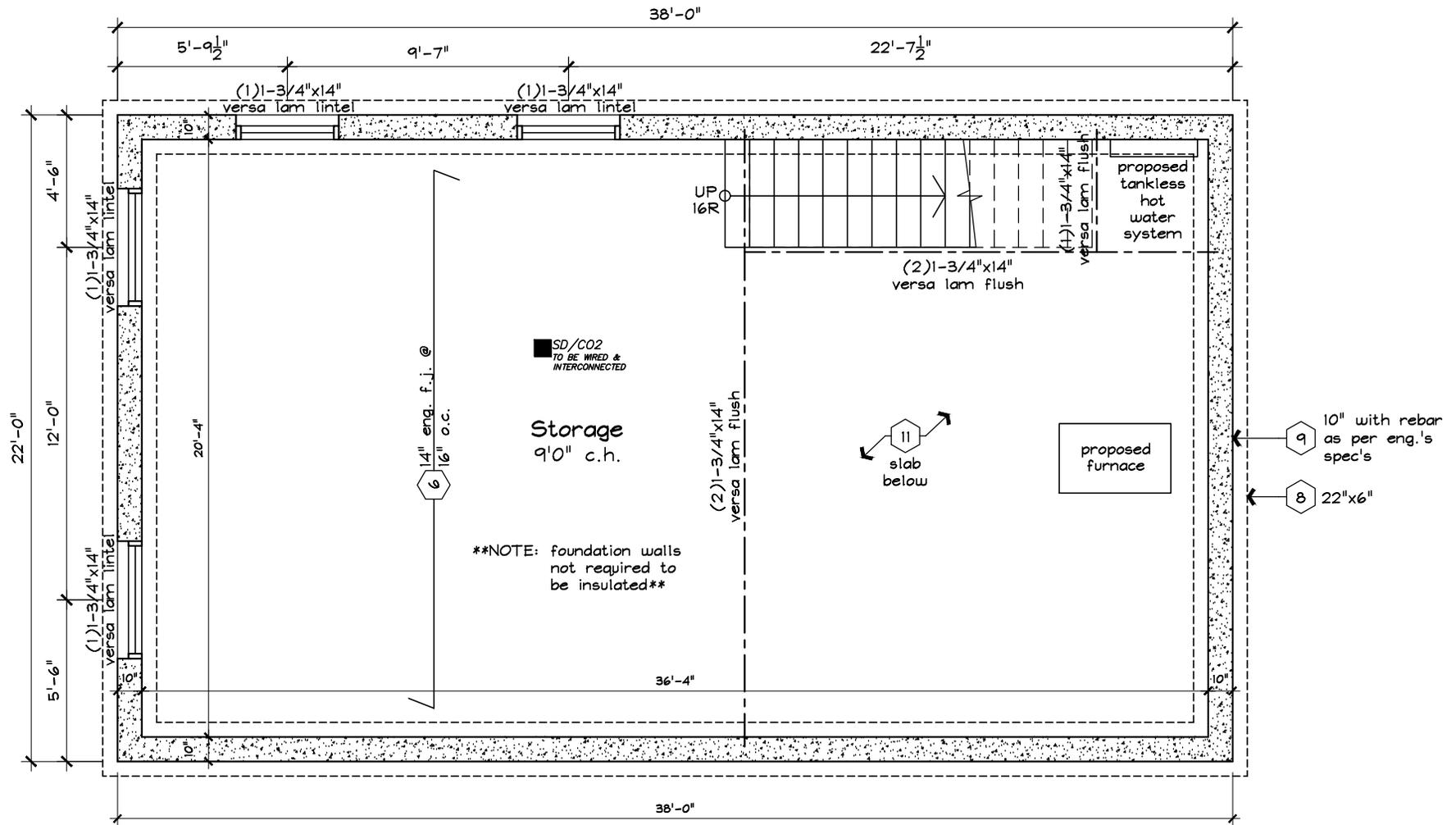
For more information on this matter, including access to drawings illustrating this request:

- Visit www.hamilton.ca/committeeofadjustment
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935
- Email Committee of Adjustment staff at cofa@hamilton.ca

DATED: March 22nd, 2022.

Jamila Sheffield,
Secretary-Treasurer
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public.



SHEET

A2

OF 9

EXISTING
BASEMENT
3/16" = 1'-0"

NO.	DATE	ISSUE DESCRIPTION
1	12.15.20	ISSUED FOR APPROVAL

The contractor will check and verify all dimensions and job conditions on the job and report any discrepancies to the designer prior to the commencement of construction. The designer is not liable for any changes made by the contractor without the designers knowledge and permission. All drawings are the property of the designer and may not be copied, reproduced or altered without written permission from the designer.

131 GREEN ROAD
STONEY CREEK, ON
L8G 3X2

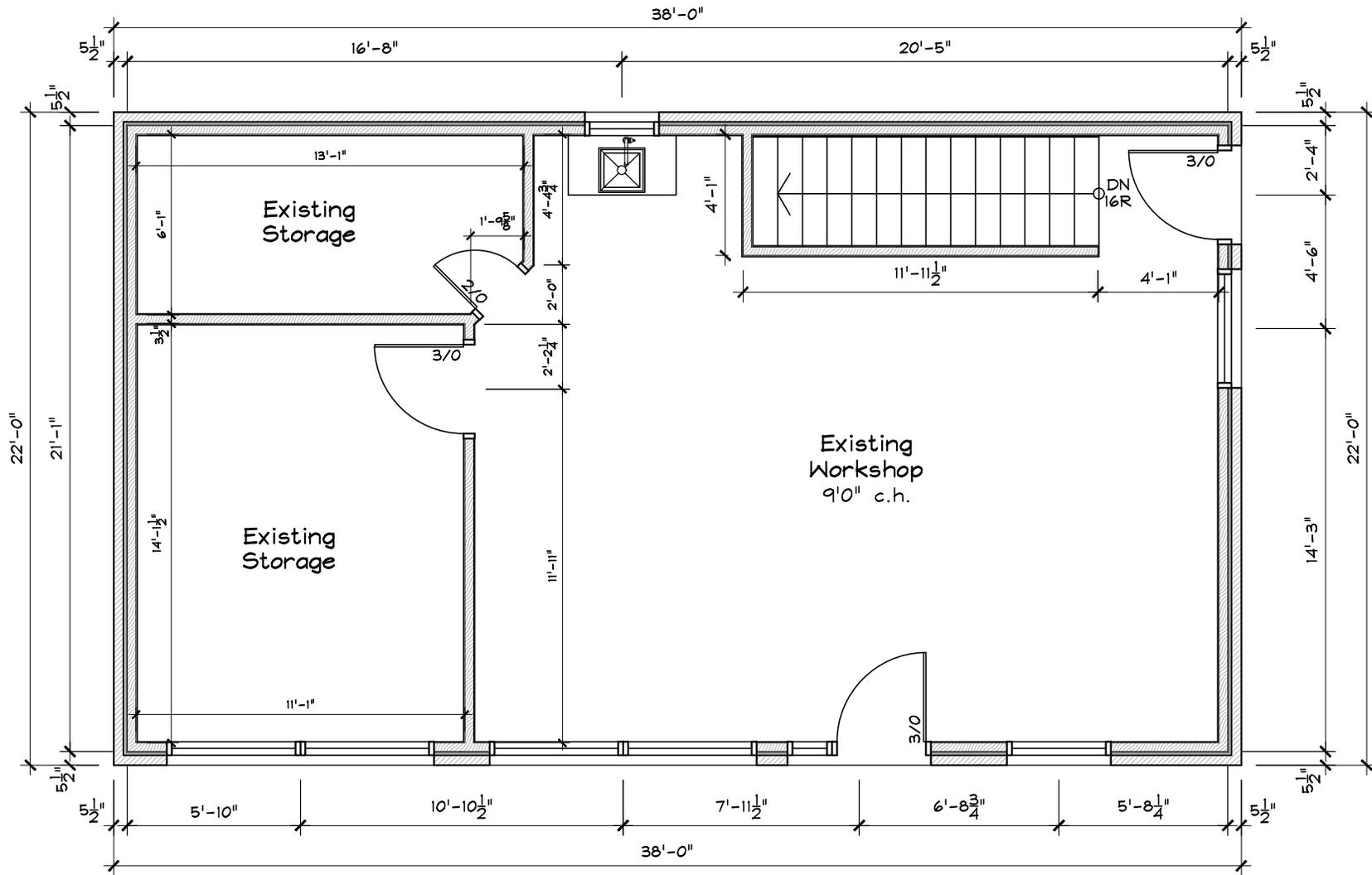
JB DRAFTING AND DESIGN

193 East 43rd Street ■ Hamilton, ON ■ L8T 3C3
jbdraftinganddesign@live.ca ■ 905.517.6027

PRELIMINARY
signature required

12.15.20

Jennifer Bognar review and takes responsibility for the design work described in this document
firm bcin 103416 ■ individual bcin 33001



SHEET

A3

OF 9

EXISTING
FIRST FLOOR
3/16" = 1'-0"

NO.	DATE	ISSUE DESCRIPTION
1	12.15.20	ISSUED FOR APPROVAL

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131 GREEN ROAD
STONE CREEK, ON
L8G 3X2

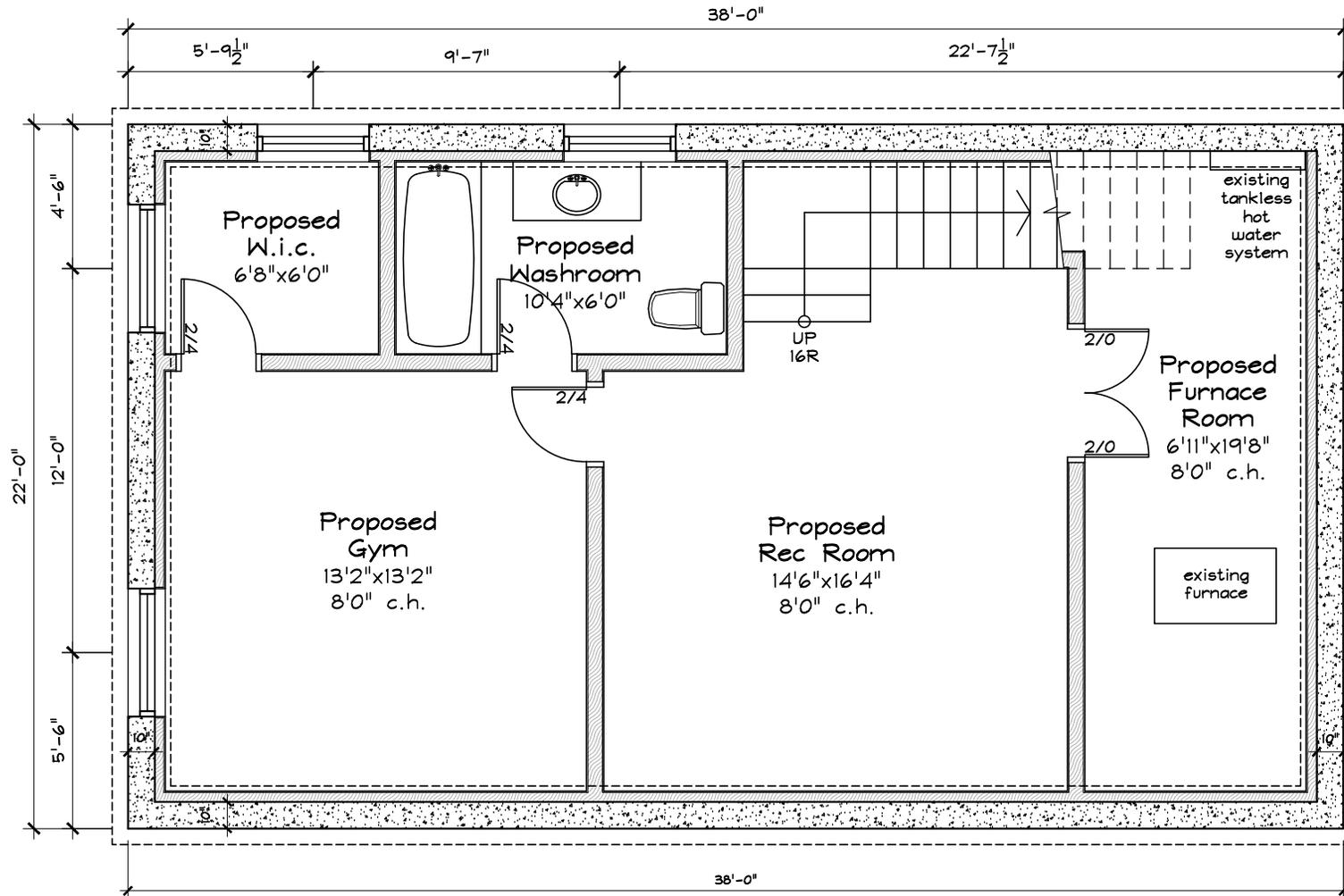
JB DRAFTING AND DESIGN

■ 193 East 43rd Street ■ Hamilton, ON ■ L8T 3C3
■ jbdraftinganddesign@live.ca ■ 905.517.6027

PRELIMINARY
signature required

12.15.20

Jennifer Bognar review and takes responsibility for the design work described in this document
firm bcin 103416 ■ individual bcin 33001



SHEET

A4

of 9

PROPOSED
BASEMENT
3/16" = 1'-0"

NO.	DATE	ISSUE DESCRIPTION
1	12.15.20	ISSUED FOR APPROVAL

The contractor will check and verify all dimensions and job conditions on the job and report any discrepancies to the designer prior to the commencement of construction. The designer is not liable for any changes made by the contractor without the designers knowledge and permission. All drawings are the property of the designer and may not be copied, reproduced or altered without written permission from the designer.

131 GREEN ROAD
STONE CREEK, ON
L8G 3X2

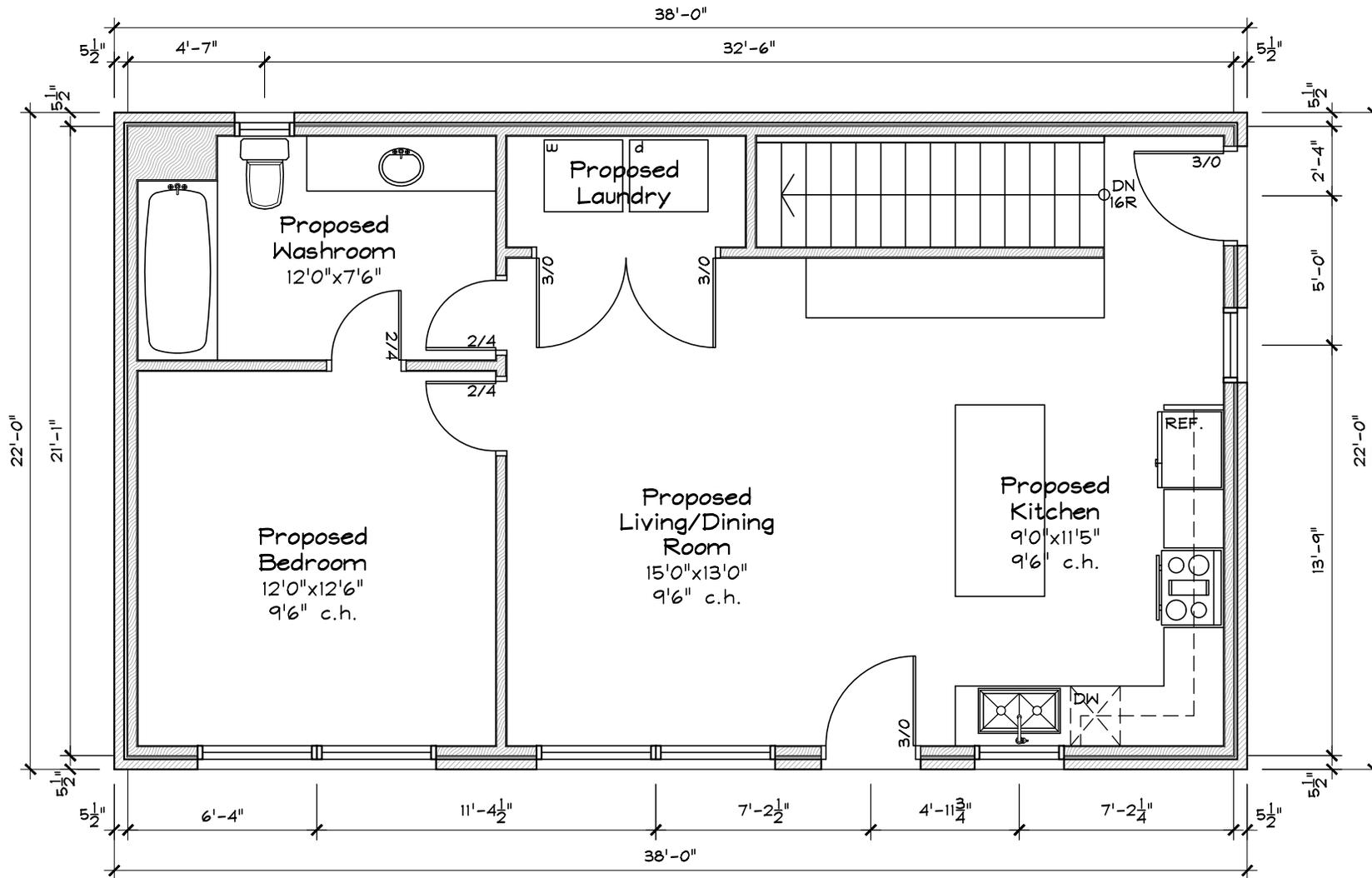
JB DRAFTING AND DESIGN

193 East 43rd Street ■ Hamilton, ON ■ L8T 3C3
jbdraftinganddesign@live.ca ■ 905.517.6027

PRELIMINARY
signature required

12.15.20

Jennifer Bognar review and takes responsibility for the design work described in this document
firm bcin 103416 ■ individual bcin 33001



SHEET

A5

of 9

PROPOSED
FIRST FLOOR
3/16" = 1'-0"

NO.	DATE	ISSUE DESCRIPTION
1	12.15.20	ISSUED FOR APPROVAL

The contractor will check and verify all dimensions and job conditions on the job and report any discrepancies to the designer prior to the commencement of construction. The designer is not liable for any changes made by the contractor without the designers knowledge and permission. All drawings are the property of the designer and may not be copied, reproduced or altered without written permission from the designer.

131 GREEN ROAD
STONEY CREEK, ON
L8G 3X2

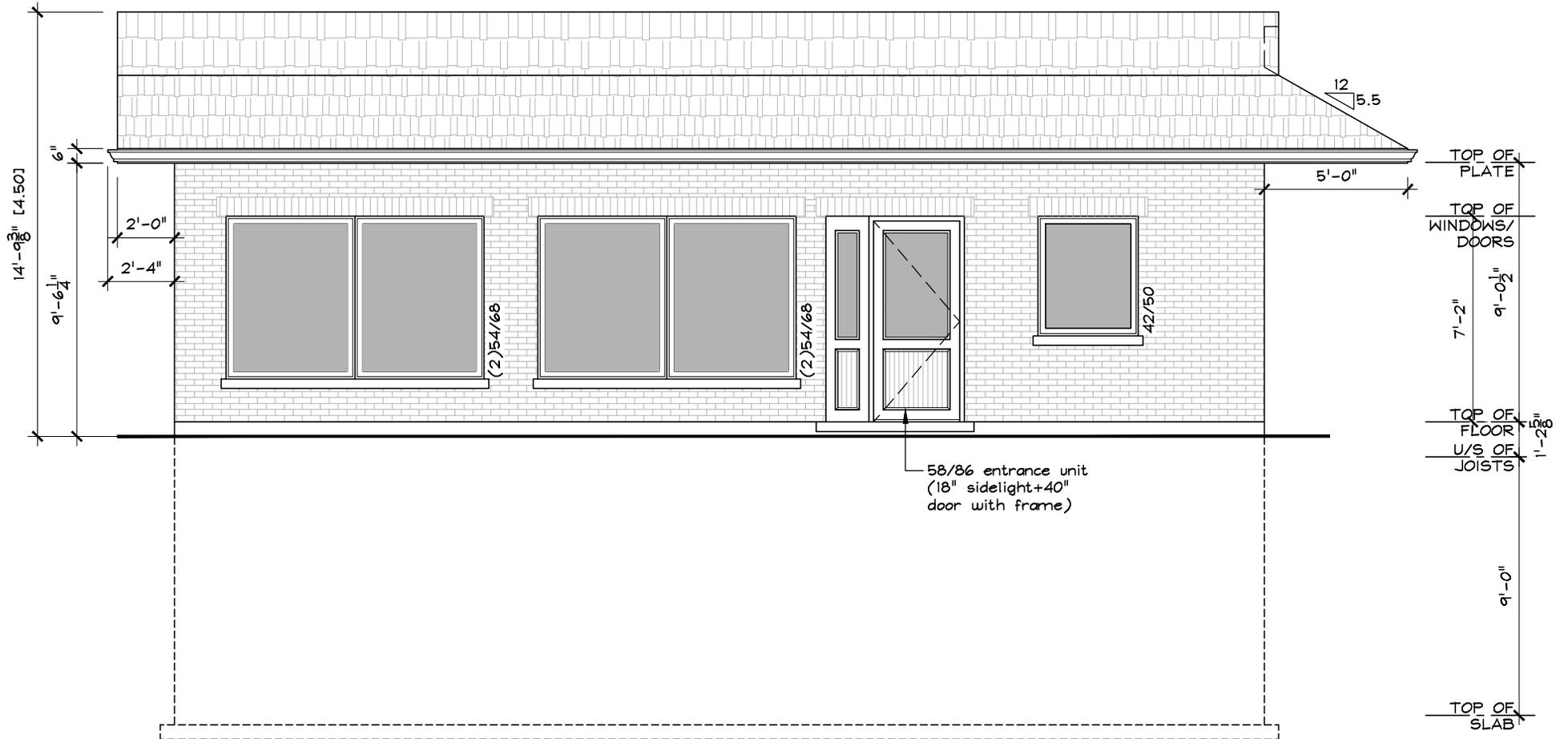
JB DRAFTING AND DESIGN

193 East 43rd Street ■ Hamilton, ON ■ L8T 3C3
jbdraftinganddesign@live.ca ■ 905.517.6027

PRELIMINARY
signature required

12.15.20

Jennifer Bognar review and takes responsibility for the design work described in this document
firm bcin 103416 ■ individual bcin 33001



SHEET
A6
OF 9

EXISTING
FRONT ELEV.
3/16" = 1'-0"

NO.	DATE	ISSUE DESCRIPTION
1	12.15.20	ISSUED FOR APPROVAL

The contractor will check and verify all dimensions and job conditions on the job and report any discrepancies to the designer prior to the commencement of construction. The designer is not liable for any changes made by the contractor without the designers knowledge and permission. All drawings are the property of the designer and may not be copied, reproduced or altered without written permission from the designer.

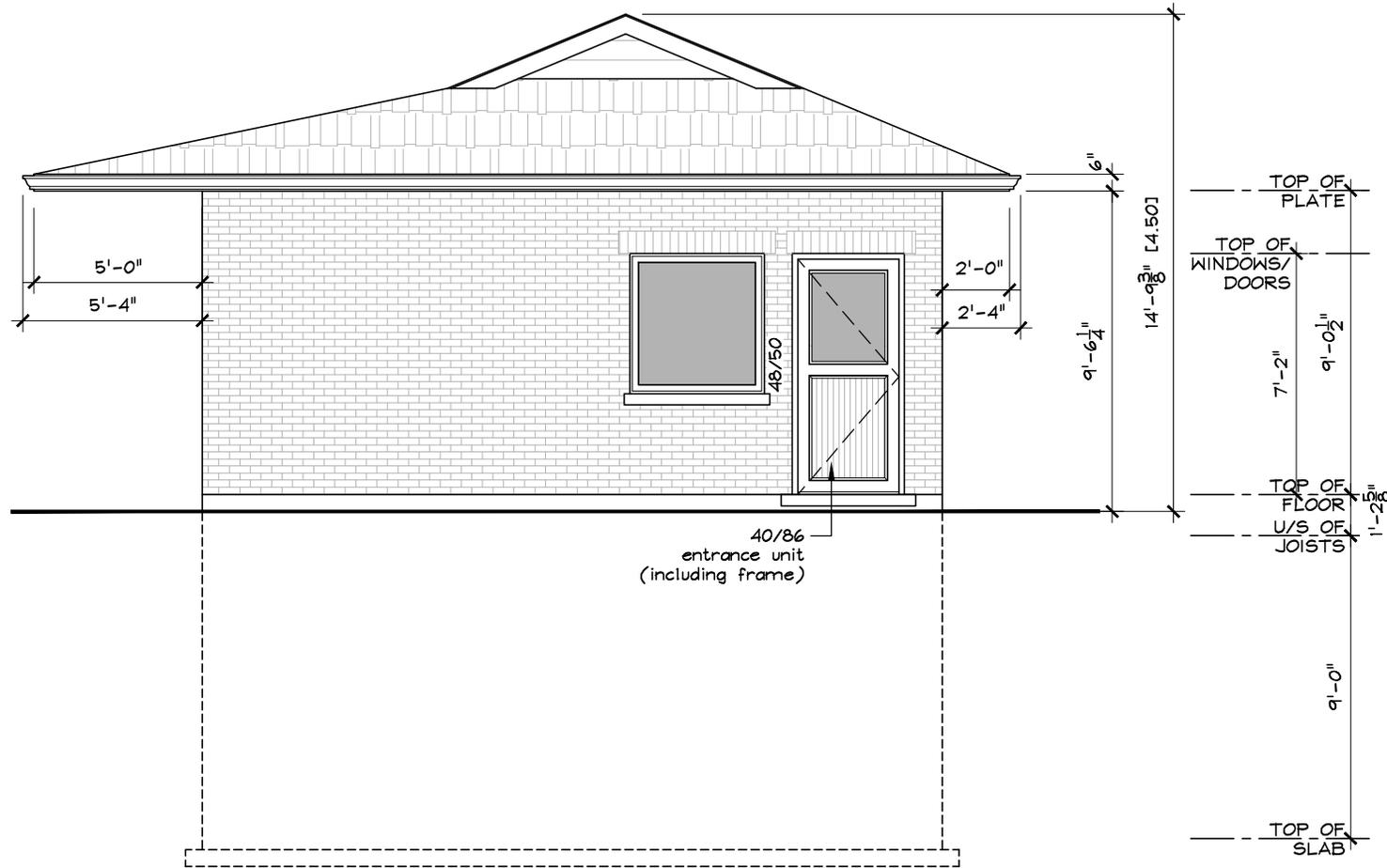
131 GREEN ROAD
STONEY CREEK, ON
L8G 3X2

JB DRAFTING AND DESIGN

193 East 43rd Street ■ Hamilton, ON ■ L8T 3C3
jbdraftinganddesign@live.ca ■ 905.517.6027

PRELIMINARY
signature required
12.15.20

Jennifer Bognar review and takes responsibility for the design work described in this document
firm bcin 103416 ■ individual bcin 33001



SHEET

A7

of 9

EXISTING RIGHT
SIDE ELEV.
3/16" = 1'-0"

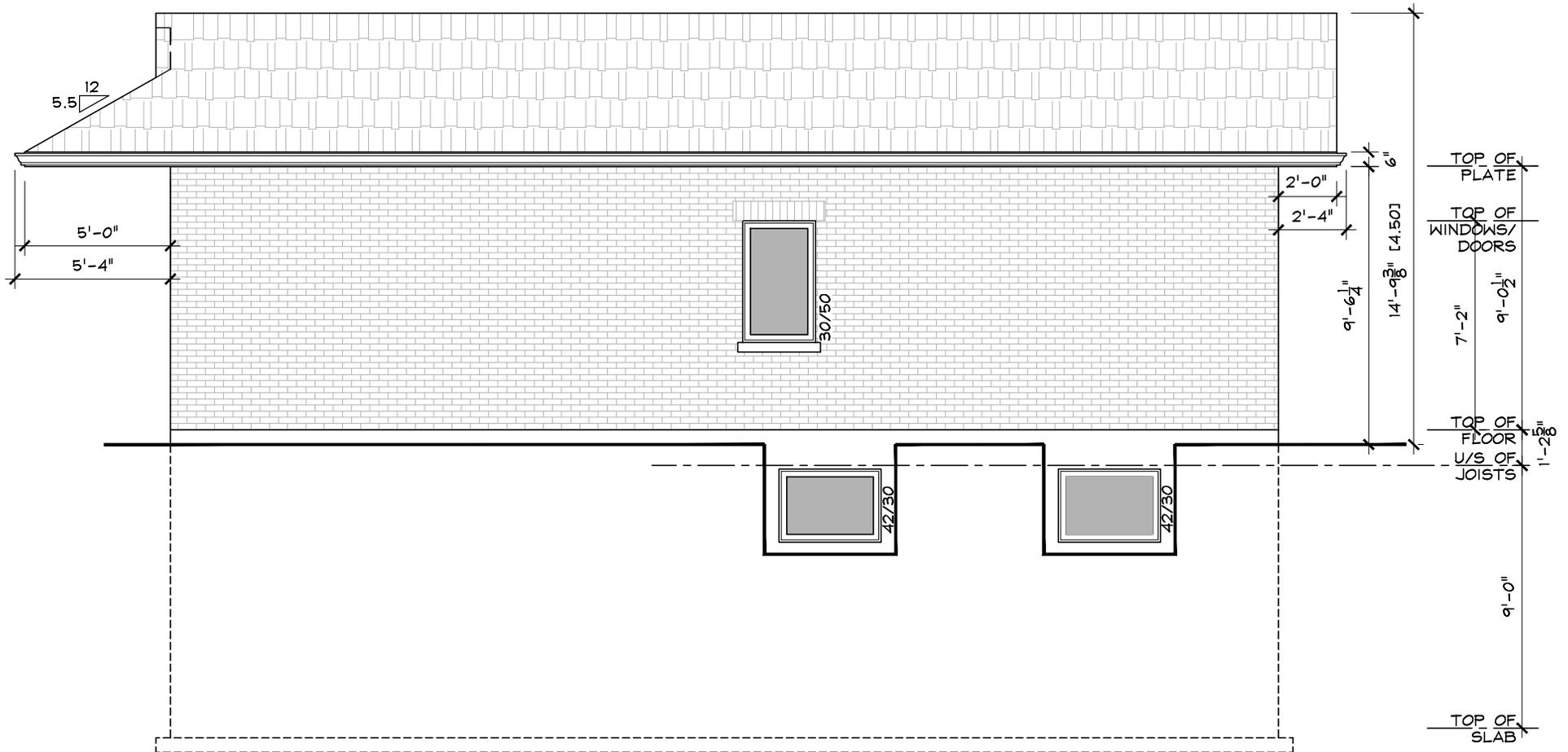
NO.	DATE	ISSUE DESCRIPTION
1	12.15.20	ISSUED FOR APPROVAL

The contractor will check and verify all dimensions and job conditions on the job and report any discrepancies to the designer prior to the commencement of construction. The designer is not liable for any changes made by the contractor without the designers knowledge and permission. All drawings are the property of the designer and may not be copied, reproduced or altered without written permission from the designer.

131 GREEN ROAD
STONEY CREEK, ON
L8G 3X2

JB DRAFTING AND DESIGN
 ■ 193 East 43rd Street ■ Hamilton, ON ■ L8T 3C3
 ■ jbdraftinganddesign@live.ca ■ 905.517.6027

PRELIMINARY
 12.15.20 signature required
 Jennifer Bognar review and takes responsibility for the design work described in this document
 firm bcin 103416 ■ individual bcin 33001



SHEET

A8

of 9

EXISTING
REAR ELEV.
3/16" = 1'-0"

NO.	DATE	ISSUE DESCRIPTION
1	12.15.20	ISSUED FOR APPROVAL

The contractor will check and verify all dimensions and job conditions on the job and report any discrepancies to the designer prior to the commencement of construction. The designer is not liable for any changes made by the contractor without the designers knowledge and permission. All drawings are the property of the designer and may not be copied, reproduced or altered without written permission from the designer.

131 GREEN ROAD
STONE CREEK, ON
L8G 3X2

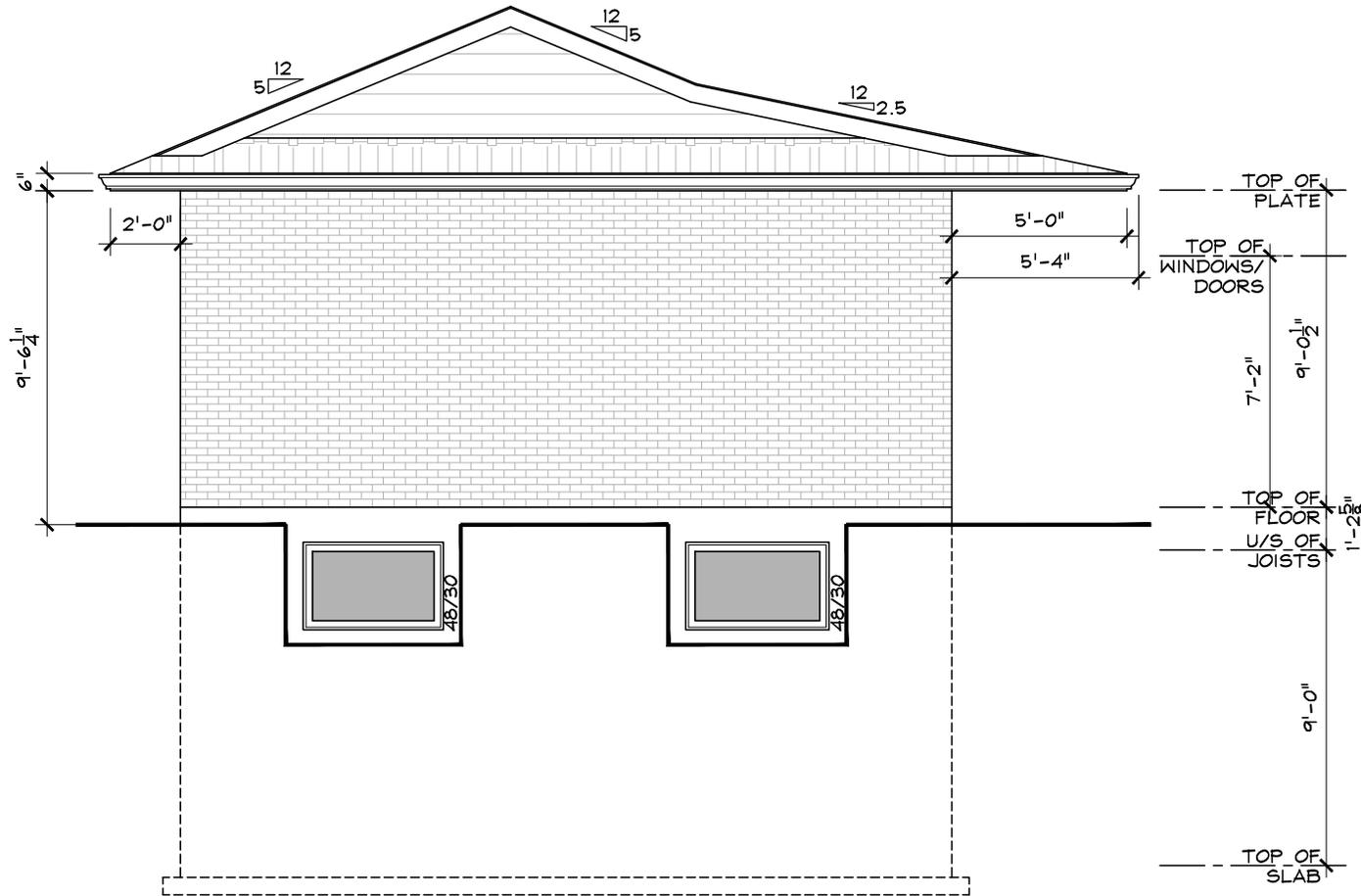
JB DRAFTING AND DESIGN

193 East 43rd Street ■ Hamilton, ON ■ L8T 3C3
jbdraftinganddesign@live.ca ■ 905.517.6027

PRELIMINARY
signature required

12.15.20

Jennifer Bognar review and takes responsibility for the design work described in this document
firm bcin 103416 ■ individual bcin 33001



SHEET

A9

of 9

EXISTING LEFT
SIDE ELEV.
3/16" = 1'-0"

NO.	DATE	ISSUE DESCRIPTION
1	12.15.20	ISSUED FOR APPROVAL

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Committee of Adjustment
 City Hall, 5th Floor,
 71 Main St. W.,
 Hamilton, ON L8P4Y5

Phone: (905) 546-2424 ext. 4221
 Email: cofa@hamilton.ca

APPLICATION FOR A MINOR VARIANCE

FOR OFFICE USE ONLY.	
APPLICATION NO. _____	DATE APPLICATION RECEIVED _____
PAID _____	DATE APPLICATION DEEMED COMPLETE _____
SECRETARY'S SIGNATURE _____	

The Planning Act

Application for Minor Variance or for Permission

The undersigned hereby applies to the Committee of Adjustment for the City of Hamilton under Section 45 of the *Planning Act*, R.S.O. 1990, Chapter P.13 for relief, as described in this application, from the Zoning By-law.

1, 2	NAME	MAILING ADDRESS
Registered Owners(s)		
Applicant(s)*		
Agent or Solicitor		

Note: Unless otherwise requested all communications will be sent to the agent, if any.

3. Names and addresses of any mortgagees, holders of charges or other encumbrances:

Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled

4. Nature and extent of relief applied for:
Refer to the planning justification brief

Secondary Dwelling Unit Reconstruction of Existing Dwelling

5. Why it is not possible to comply with the provisions of the By-law?
The secondary unit exceed the Gross Floor Area permitted

6. Legal description and Address of subject lands (registered plan number and lot number or other legal description and where applicable, **street and street number**):
Lot 4 on Registered Plan No. 1186. Known as 131 Green Road, Stoney Creek, City of Hamilton.

7. PREVIOUS USE OF PROPERTY

Residential Industrial Commercial
Agricultural Vacant Other

Other _____

- 8.1 If Industrial or Commercial, specify use _____

- 8.2 Has the grading of the subject land been changed by adding earth or other material, i.e. has filling occurred?

Yes No Unknown

- 8.3 Has a gas station been located on the subject land or adjacent lands at any time?

Yes No Unknown

- 8.4 Has there been petroleum or other fuel stored on the subject land or adjacent lands?

Yes No Unknown

- 8.5 Are there or have there ever been underground storage tanks or buried waste on the subject land or adjacent lands?

Yes No Unknown

- 8.6 Have the lands or adjacent lands ever been used as an agricultural operation where cyanide products may have been used as pesticides and/or sewage sludge was applied to the lands?

Yes No Unknown

- 8.7 Have the lands or adjacent lands ever been used as a weapon firing range?

Yes No Unknown

- 8.8 Is the nearest boundary line of the application within 500 metres (1,640 feet) of the fill area of an operational/non-operational landfill or dump?

Yes No Unknown

- 8.9 If there are existing or previously existing buildings, are there any building materials remaining on site which are potentially hazardous to public health (eg. asbestos, PCB's)?

Yes No Unknown

8.10 Is there any reason to believe the subject land may have been contaminated by former uses on the site or adjacent sites?

Yes No Unknown

8.11 What information did you use to determine the answers to 8.1 to 8.10 above?

Client knowledge

8.12 If previous use of property is industrial or commercial or if YES to any of 8.2 to 8.10, a previous use inventory showing all former uses of the subject land, or if appropriate, the land adjacent to the subject land, is needed.

Is the previous use inventory attached? Yes No

9. ACKNOWLEDGEMENT CLAUSE

I acknowledge that the City of Hamilton is not responsible for the identification and remediation of contamination on the property which is the subject of this Application – by reason of its approval to this Application.

November 2nd, 2021

Date

Signature Property Owner(s)

Zenon Wincza

Print Name of Owner(s)

10. Dimensions of lands affected:

Frontage	23.55 m
Depth	38.40 m
Area	774.82 m ²
Width of street	20.00 m

11. Particulars of all buildings and structures on or proposed for the subject lands: (Specify ground floor area, gross floor area, number of stories, width, length, height, etc.)

Existing: _

Accessory Building:	Width: 6.71 m
Ground Floor Area: 77.76 m ²	Length: 11.58 m
Gross Floor Area: 155.52 m ²	Length: 11.58 m
Number of Storeys: 1 Storey + Basement	Height: 4.50 m

Proposed

Same as existing

12. Location of all buildings and structures on or proposed for the subject lands; (Specify distance from side, rear and front lot lines)

Existing:

Distance from Existing detached dwelling: 9.4 m
Rear Yard: 1.22 m
Interior Side Yard: 1.22 m
Exterior Side Yard: 9.07 m

Proposed:

Same as existing

13. Date of acquisition of subject lands:
2016
-
14. Date of construction of all buildings and structures on subject lands:
-
15. Existing uses of the subject property (single family, duplex, retail, factory etc.):
Single Detached Dwelling
16. Existing uses of abutting properties (single family, duplex, retail, factory etc.):
Single Detached Dwellings, and Row Dwellings
17. Length of time the existing uses of the subject property have continued:
18. Municipal services available: (check the appropriate space or spaces)
- | | | | |
|----------------|-------------------------------------|-----------|-------------------------------------|
| Water | <input checked="" type="checkbox"/> | Connected | <input checked="" type="checkbox"/> |
| Sanitary Sewer | <input checked="" type="checkbox"/> | Connected | <input checked="" type="checkbox"/> |
| Storm Sewers | <input checked="" type="checkbox"/> | | |
19. Present Official Plan/Secondary Plan provisions applying to the land:
Official Plan : Neighbourhoods / Secondary O.P.: Low Density Residential 2b
20. Present Restricted Area By-law (Zoning By-law) provisions applying to the land:
N/A
21. Has the owner previously applied for relief in respect of the subject property?
Yes No
If the answer is yes, describe briefly.

Minor variance approval and a building permit to allow
for the construction of the accessory structure in the rear yard of the subject lands
22. Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?
Yes No
23. Additional Information
24. The applicant shall attach to each copy of this application a plan showing the dimensions of the subject lands and of all abutting lands and showing the location, size and type of all buildings and structures on the subject and abutting lands, and where required by the Committee of Adjustment such plan shall be signed by an Ontario Land Surveyor.



Hamilton

COMMITTEE OF ADJUSTMENT

City Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5
 Telephone (905) 546-2424, ext. 4221, 3935 Fax (905) 546-4202
 E-mail: cofa@hamilton.ca

NOTICE OF PUBLIC HEARING

Application for Consent/Land Severance

APPLICATION NUMBER: HM/B-22:17

SUBJECT PROPERTY: 73 Chipman Ave., Hamilton

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
- Applicant/agent on file, or
- Person likely to be interested in this application

APPLICANT(S): Agent 868 Investments Ltd.
 Owner Shivan Ramoosingh

PURPOSE OF APPLICATION: To permit the conveyance of a parcel of land and to retain a parcel of land containing an existing dwelling to remain for residential purposes.

Severed lands:
 30.48m[±] x 46.73m[±] and an area of 1424.33m^{2±}

Retained lands:
 15.88m[±] x 46.73m[±] and an area of 742.04m^{2±}

The Committee of Adjustment will hear this application on:

DATE: Thursday, April 7th , 2022
TIME: 1:30 p.m.
PLACE: Via video link or call in (see attached sheet for details)

To be streamed at
www.hamilton.ca/committeeofadjustment
 for viewing purposes only

PUBLIC INPUT

Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

Orally: If you would like to speak to this item at the hearing you may do so via video link or by calling in. Please see attached page for complete instructions, including deadlines for registering to participate.

HM/B-22: 17
PAGE 2

MORE INFORMATION

For more information on this matter, including access to drawings illustrating this request:

- Visit www.hamilton.ca/committeeofadjustment
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935
- Email Committee of Adjustment staff at cofa@hamilton.ca

DATED: March 22nd, 2022

Jamila Sheffield,
Secretary-Treasurer
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public.

I REQUIRE THIS PLAN TO BE DEPOSITED UNDER THE LAND TITLES ACT.

PLAN 62R-21707

RECEIVED AND DEPOSITED DATE: June 28, 2021

DATE: JUNE 18, 2021

BRYAN JACOBS ONTARIO LAND SURVEYOR

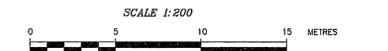
C. Adelt LAND REGISTRAR FOR THE LAND TITLES DIVISION OF WENTWORTH (No. 62)

SCHEDULE

PART	LOT	PLAN	P.I.N.
1	PART OF LOT 8	REGISTERED PLAN 1053	PART OF P.I.N. 16943-0109 (LT)
2	PART OF LOT 8	REGISTERED PLAN 1053	PART OF P.I.N. 16943-0109 (LT)
3	PART OF LOT 8	REGISTERED PLAN 1053	PART OF P.I.N. 16943-0109 (LT)
4	PART OF LOT 8	REGISTERED PLAN 1053	PART OF P.I.N. 16943-0109 (LT)

PARTS 1, 2, 3 & 4: COMPRISE ALL OF P.I.N. 16943-0109 (LT). PARTS 2 & 4: SUBJECT TO AN EASEMENT AS IN INST. No. HL20221.

PLAN OF SURVEY OF LOT 8 REGISTERED PLAN 1053



B.A. JACOBS SURVEYING LTD. ONTARIO LAND SURVEYOR

LEGEND AND NOTES:

- DENOTES SURVEY MONUMENT FOUND
- DENOTES SURVEY MONUMENT PLANTED
- CP DENOTES CONCRETE PIN
- SIB DENOTES STANDARD IRON BAR
- SSIB DENOTES SHORT STANDARD IRON BAR
- IB DENOTES IRON BAR
- IB# DENOTES ROUND IRON BAR
- (OU) DENOTES ORIGIN UNKNOWN
- WT. DENOTES WITNESS
- P1 DENOTES REGISTERED PLAN 1053
- P2 DENOTES PLAN 62R-17823
- D1 DENOTES INSTRUMENT No. HL20221
- (1629) DENOTES B.A. JACOBS O.L.S.
- (RHW) DENOTES REGION OF HAMILTON WENTWORTH

DISTANCES AND COORDINATES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048. BEARINGS ARE UTM GRID, DERIVED FROM SPECIFIED CONTROL POINTS 07719710263 AND 07720090007, UTM ZONE 17, NAD83 (ORIGINAL).

DISTANCES ARE GROUND AND CAN BE CONVERTED TO GRID BY MULTIPLYING BY THE COMBINED SCALE FACTOR OF 0.9996707.

ALL SET SIB MONUMENTS WERE USED DUE TO LACK OF OVERBURDEN AND/OR PROXIMITY OF UNDERGROUND UTILITIES IN ACCORDANCE WITH SECTION 11 (4) OF O.REG. 525/91.

SPECIFIED CONTROL POINTS (SCPs): UTM ZONE 17, NAD83 (ORIGINAL), COORDINATES TO URBAN ACCURACY PER SEC. 14 (2) OF O.REG. 216/10.

POINT ID	NORTHING	EASTING
SCP 07719710263	4784453.070	589709.084
SCP 07720090007	4784855.419	590442.572

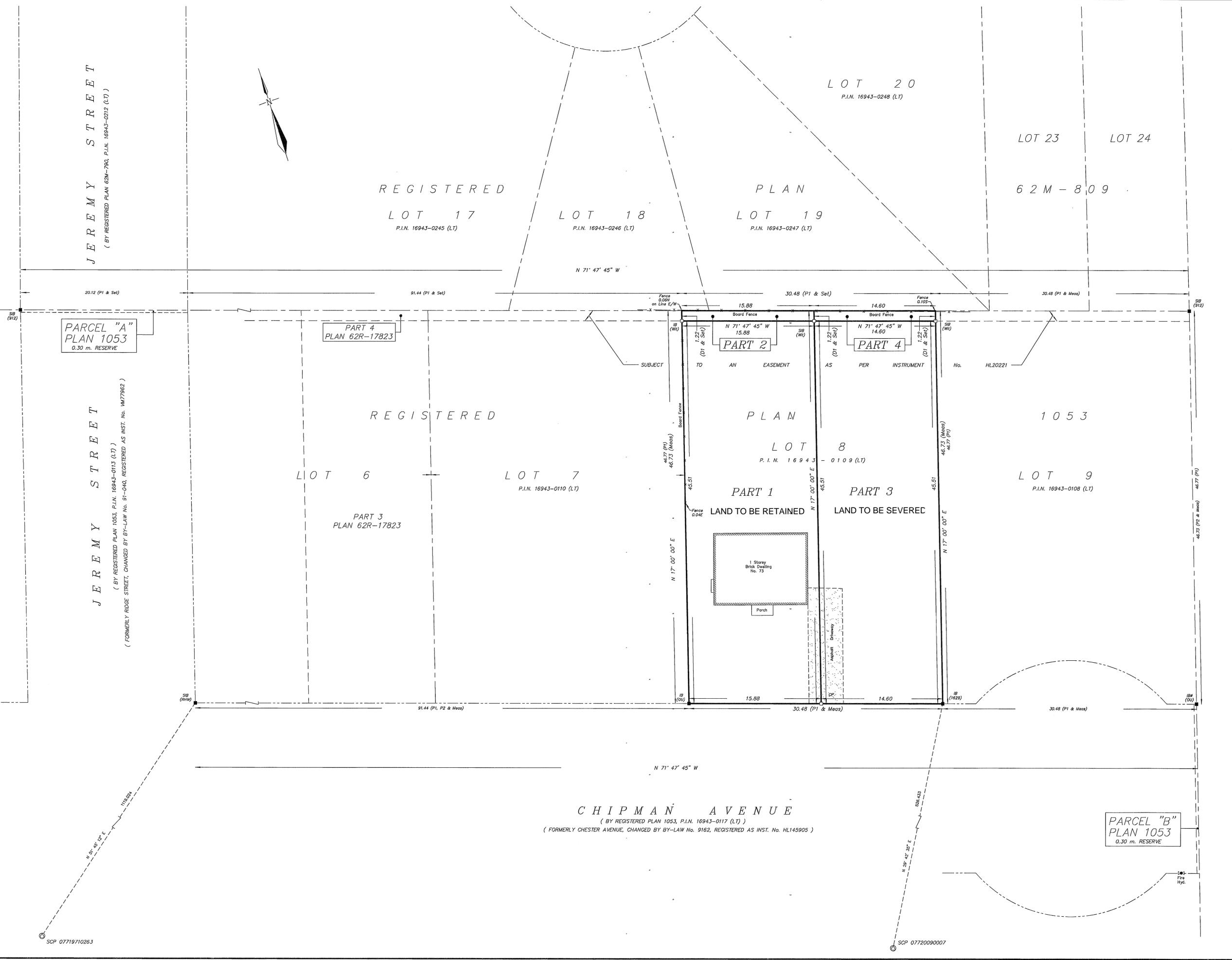
COORDINATES CANNOT, IN THEMSELVES, BE USED TO RE-ESTABLISH CORNERS OR BOUNDARIES SHOWN ON THIS PLAN

SURVEYOR'S CERTIFICATE

I CERTIFY THAT: 1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT AND THE LAND TITLES ACT AND THE REGULATIONS MADE UNDER THEM. 2. THE SURVEY WAS COMPLETED ON JUNE 17, 2021.

JUNE 18, 2021 DATE BRYAN JACOBS ONTARIO LAND SURVEYOR

B.A. JACOBS SURVEYING LTD. 152 JACKSON STREET EAST, SUITE 102 HAMILTON, ONTARIO (L8N 1L3) PHONE 905-521-1535 ba.jacobs@rogers.com



PARCEL "A" PLAN 1053 0.30 m. RESERVE

PART 4 PLAN 62R-17823

PART 2

PART 4

PLAN

LOT 8

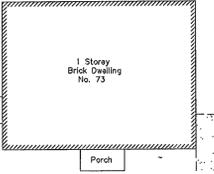
P.I.N. 16943-0109 (LT)

PART 1

PART 3

LAND TO BE RETAINED

LAND TO BE SEVERED



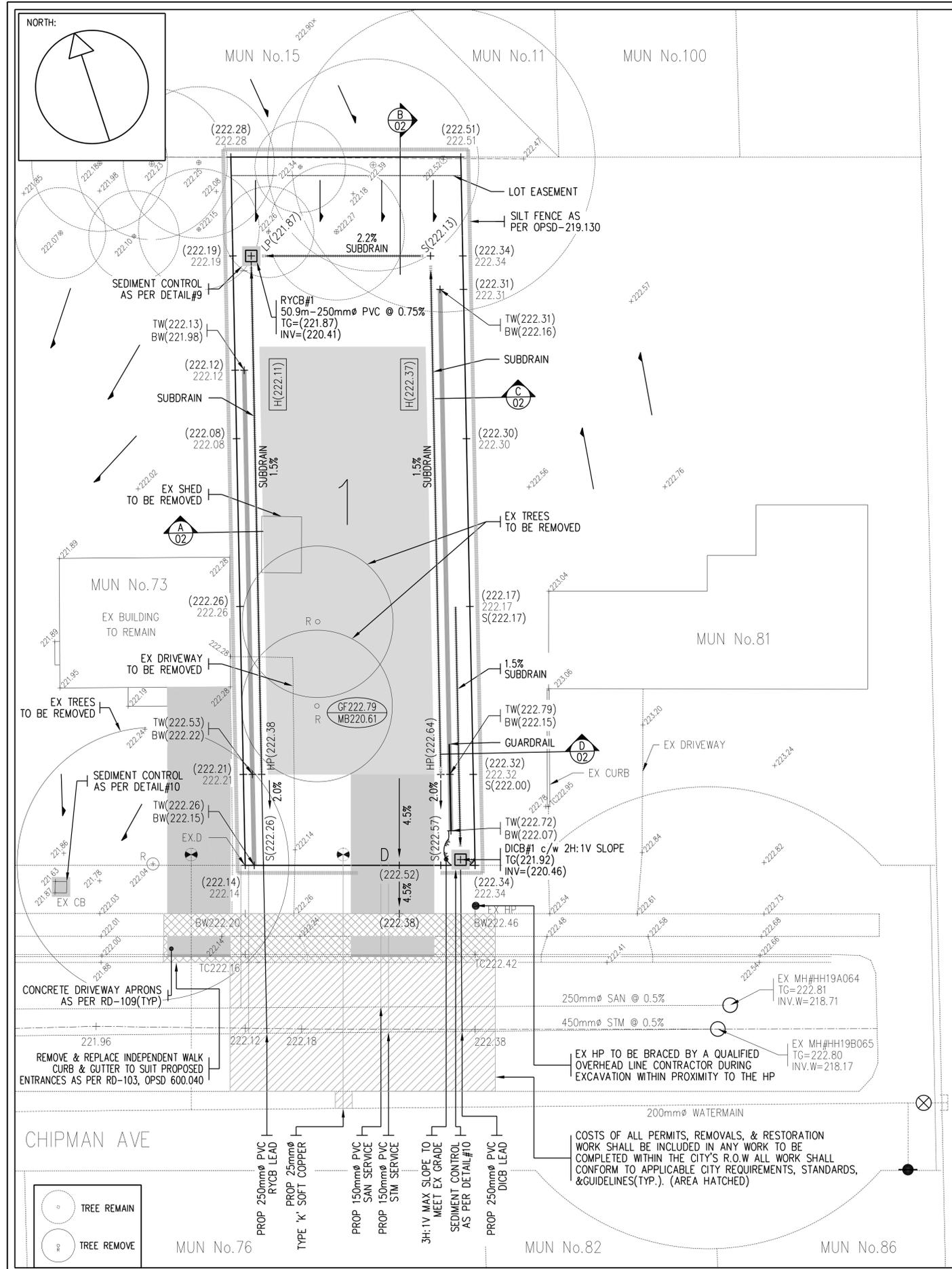
PARCEL "B" PLAN 1053 0.30 m. RESERVE

CHIPMAN AVENUE

(BY REGISTERED PLAN 1053, P.I.N. 16943-0117 (LT)) (FORMERLY CHESTER AVENUE, CHANGED BY BY-LAW No. 9162, REGISTERED AS INST. No. HL145905)

SCP 07719710263

SCP 07720090007



**APPENDIX 2
LOT GRADING NOTES
GENERAL GRADING NOTES**

- ALONG ADJOINING PROPERTIES GRADE TO MEET EXISTING OR PROPOSED ELEVATIONS WITH SODDED SLOPES (MIN. 3H TO 1V) AND/OR RETAINING WALLS AS SPECIFIED.
- ALL RETAINING WALLS, WALKWAYS, CURBS, ETC., SHALL BE PLACED A MINIMUM OF 0.45m OFF THE PROPERTY LINE. ALL WALLS 1.0m OR HIGHER SHALL BE DESIGNED BY A P.ENG.
- SLOPES OF SWALES FOR BOTH "BACK TO FRONT" AND "SPLIT" DRAINAGE SHALL BE NO LESS THAN 2.0% GRADE AND NO GREATER THAN 33% GRADE (3:1 SLOPES).
- WHEN MATCHING TO EXISTING PROPERTIES WHERE A 2.0% GRADE CANNOT BE ACHIEVED, A 1.5% GRADE IS PERMITTED PROVIDED A 150mm SUB-DRAIN IS INSTALLED BELOW THE BOTTOM OF THE SWALE AND DRAINED TO A SUITABLE OUTLET, (WITH A MINIMUM 0.3m COVER OVER THE SUB-DRAIN), OR OTHER MITIGATION MEASURES.
- MINIMUM GRADE FOR A WRAP-AROUND SWALE IN THE BACKYARD SHALL BE 1.0%.
- UNLESS OTHERWISE NOTED, THE GROUND BETWEEN PROPOSED ELEVATIONS ON SIDE LOTS SHALL BE GRADED AS A STRAIGHT LINE.
- TOP OF FOUNDATION WALLS FOR BUILDINGS SHALL BE 150mm (MINIMUM) ABOVE FINISHED GRADE.
- DRIVEWAY SLOPES SHALL NOT BE LESS THAN 2% AND NOT MORE THAN 7.0% (REVERSED SLOPED DRIVEWAYS IN NEW DEVELOPMENTS ARE NOT PERMITTED).
- GARAGE FLOOR ELEVATION TO BE SET MINIMUM 0.3m HIGHER THAN BACK OF WALK, UNLESS OTHERWISE SPECIFIED.
- ALL FILL PLACED ON LOTS SHALL BE COMPACTED TO A MINIMUM 95% SPD (UNLESS OTHERWISE RECOMMENDED BY THE GEOTECHNICAL ENGINEER). ALL MATERIAL SHALL BE PLACED IN LAYERS NOT EXCEEDING 300mm LIFTS.
- FOR DELINEATION OF TREE PROTECTION ZONES, BUFFERS, REMOVALS AND PROTECTION SCHEMATICS, ETC., REFER TO TREE PROTECTION PLAN.
- LOT GRADING FOR ALL LOTS IN THE SUBDIVISION SHALL CONFORM STRICTLY WITH THIS PLAN. ANY CHANGES, UNLESS APPROVED PRIOR TO CONSTRUCTION BY THE CITY, SHALL RESULT IN NON ACCEPTANCE OF THE SUBDIVISION BY THE CITY.
- IF GRADING IS REQUIRED ON LANDS ADJACENT TO THE DEVELOPMENT WHICH ARE NOT OWNED BY THE DEVELOPER, THEN THE DEVELOPER MUST OBTAIN WRITTEN PERMISSION FROM THE ADJACENT PROPERTY OWNER TO ALLOW THE DEVELOPER TO GRADE ON THE ADJACENT LANDS, OTHERWISE RETAINING WALLS MUST BE USED.
- THE WRITTEN PERMISSION REQUIRED FROM THE ADJACENT LANDOWNER SHALL BE OBTAINED PRIOR TO ENTERING THE LANDS. SHOULD PERMISSION NOT BE OBTAINED OR IS WITHDRAWN PRIOR TO COMMENCING THE WORK, THEN THE DEVELOPER SHALL LIMIT HIS ACTIVITIES TO THE LIMITS OF THE DEVELOPMENT SITE.
- DRIVEWAY AND DRIVEWAY APPROACHES SHALL BE LOCATED SUCH THAT HYDRO VAULTS AND OTHER STREET FURNITURE ARE A MINIMUM OF 1.2m FROM THE PROJECTIONS OF THE OUTSIDE GARAGE WALLS.

NOTES:

- ANY CHANGES IN GRADES AND CATCH BASINS REQUIRE THE APPROVAL OF THE CITY'S MANAGER OF DEVELOPMENT ENGINEERING.
- ALL DRIVEWAYS FROM PROPERTY LINES FOR THE FIRST 7.5m SHALL BE WITHIN 5.0% MAXIMUM GRADE, THEREAFTER, ALL DRIVEWAYS SHALL BE WITHIN 10% MAXIMUM GRADES.
- WATER SERVICES:
 - CONSTRUCTION OF PRIVATE SERVICES SHALL BE IN ACCORDANCE WITH CITY STANDARDS & SPECIFICATIONS (LATEST EDITION) AND MINISTRY OF ENVIRONMENT (MOE) GUIDELINES (LATEST EDITION).
 - TO BE INSTALLED WITH A MINIMUM COVER OF 1.60m.
 - 'W' DENOTES WATER SERVICE CONNECTION (25mmØ TYPE 'K' SOFT COPPER) AS PER WM-207.01 OR AS DETAILED.
 - TO BE LOCATED 1.0m ON LEFT SIDE OF CENTER LINE OF LOT OPPOSITE SANITARY PRIVATE DRAIN OR AS DETAILED, WITH CURB STOP ADJACENT TO THE STREET LINE.
 - GRANULAR BEDDING AS PER WM-200.01 AND WM-200.02 TO BE GRANULAR 'D' AS PER FORM 600.
- THE APPROVAL OF THIS PLAN DOES NOT EXEMPT THE OWNER'S BONDED CONTRACTOR FROM THE REQUIREMENTS TO OBTAIN THE VARIOUS PERMITS/APPROVALS NORMALLY REQUIRED TO COMPLETE A CONSTRUCTION PROJECT, SUCH AS, BUT NOT LIMITED TO THE FOLLOWING:
 - ROAD CUT PERMITS.
 - APPROACH APPROVAL PERMITS.
 - COMMITTEE OF ADJUSTMENT.
 - SEWER/WATER PERMITS.
 - RELOCATION OF SERVICES.
 - ENCROACHMENT AGREEMENTS (IF REQUIRED).
- ROAD CUT NOTE: ROAD CUTS ARE TO BE BACKFILLED AS PER RD-100.01 USING GRANULAR BACKFILL MATERIAL AND RESTORED USING BASE COURSE ASPHALT (SUPERPAVE 19.0 CAT D) AND SURFACE ASPHALT (SUPERPAVE 9.5 CAT D) TO MATCH EXISTING ASPHALT ELEVATIONS AND THICKNESS.
- TREE REMOVAL IS SUBJECT TO THE MIGRATORY BIRDS CONVENTION ACT, 1994. THE REMOVAL OF VEGETATION SHOULD BE AVOIDED DURING THE PERIOD EXTENDING FROM MATCH 31st TO AUGUST 31st, EACH YEAR.

DESIGN CRITERIA FOR INFILL DEVELOPMENTS OR LOTS OF RECORD
GRADING OF SINGLE OR MULTI-FAMILY RESIDENTIAL LOTS THAT ARE DEVELOPED THROUGH SEVERANCE APPLICATIONS SHALL DEMONSTRATE THAT THE PROPOSED DEVELOPMENT WILL NOT ADVERSELY AFFECT EXISTING BUILDINGS, SIGNIFICANTLY ALTER EXISTING DRAINAGE PATTERNS, OR ADVERSELY AFFECT NEIGHBORING PROPERTIES. GRADING DESIGN CRITERIA SHALL INCLUDE:

- POSITIVE DRAINAGE AWAY FROM BUILDING SHOULD BE PROVIDED AT ALL TIMES.
- SIDE AND REAR YARD SWALES TO BE LOCATED ENTIRELY WITHIN THE INFILL/SEVERED PROPERTY, UNLESS PERMISSION FROM THE ADJACENT HOMEOWNER IS GRANTED TO IMPROVE AND MODIFY EXISTING DRAINAGE ON BOTH LOTS, I.E.; PROPOSED SWALES MUST BE CONTAINED WITHIN THE LAND PARCEL BEING DEVELOPED.
- IN SOME CASES, SIDE AND REAR YARD SLOPES LESS THAN 2% MAY BE ACCEPTABLE, BUT MUST BE REVIEWED AND APPROVED BY CITY STAFF ON A CASE-BY-CASE BASIS.

BACKYARD GRADING NOTES

- DEFINITION: "REQUIRED BACK YARD" SHALL MEAN THE LESSER OF THE DISTANCE REGULATED BY THE ZONING BY-LAW OR 6m.
- THE MAXIMUM SLOPE IN THE BACK YARD ADJACENT TO THE BUILDING FOR A DISTANCE EQUAL TO THE REQUIRED BACK YARD SHALL BE 5%, EXCEPT AS SET OUT IN ITEMS BELOW.
- THE 5% RESTRICTION SHALL NOT APPLY TO THE SIDES OF A SWALE ALONG THE SIDES OR BACK OF THE LOT, PROVIDING THE TOTAL WIDTH OF THE SWALE SHALL NOT EXCEED ONE (1) METRE ON EACH LOT.
- WHERE THE 5% RESTRICTION ON THE BACKYARD GRADES RESULTS IN ELEVATION DIFFERENCES BETWEEN DIFFERENT PROPERTIES, RETAINING WALLS SHALL BE CONSTRUCTED ALONG THE SIDES AND THE BACK OF THE LOT. SLOPES WITH A MAXIMUM OF THREE HORIZONTAL TO ONE VERTICAL MAY REPLACE THE WALLS WHERE THE DIFFERENCE IN ELEVATION IS LESS THAN 0.3m.
- GENERALLY, SLOPES SHALL BE PLACED ON THE LOWER LOT, WHEREAS RETAINING WALLS SHALL BE PLACED ON THE HIGHER LANDS.
- THE 5% RESTRICTION DOES NOT PRECLUDE RETAINING WALLS IN THE REQUIRED BACKYARDS PROVIDING THE TERRACES ARE MAINTAINED TO THE 5% GRADE AS SET OUT IN ITEM B) ABOVE. THE INTENTION OF THIS PROVISION IS TO PROVIDE FOR FLEXIBILITY OF HOUSE CONSTRUCTION.
- THERE IS NO CONTROL ON THE STEEPNESS OF THE SLOPES IN SIDE YARDS, FRONT YARDS AND BACK YARDS, OUTSIDE THE AREA DEFINED IN A) ABOVE, PROVIDING THE SLOPES ARE STABLE FOR THE SOILS OF THE AREA (MINIMUM 3H:1V).

ROOFWATER LEADERS
ALL ROOFWATER LEADERS SHALL DISCHARGE ONTO SPLASH PADS AND THEN TO GRASSED OR LANDSCAPED AREAS A MINIMUM OF 0.6m FROM THE BUILDING FACE.

SUMP PUMPS
SUMP PUMPS WITH CHECK VALVES ARE TO BE INSTALLED IN EACH DWELLING TO PUMP THE WEeping TILES TO THE STORM PRIVATE DRAIN. THE SUMP OUTLET SHALL EXTEND A MINIMUM OF 150mm ABOVE THE PROPOSED GRADE AT THE DWELLING (BASEMENT CEILING) PRIOR TO DISCHARGING TO THE STORM PRIVATE DRAIN.

EROSION AND SEDIMENT CONTROL NOTES

- ALL EROSION AND SEDIMENT CONTROL MEASURES (TEMPORARY SEDIMENT CONTROL FENCES, STORM SEWER BULKHEADS, ROCK CHECK DAMS, WORK LIMIT FENCES, SEDIMENT BASINS, ETC.) MUST BE INSTALLED PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- TEMPORARY VEHICLE TRACKING CONTROLS TO BE CONSTRUCTED AS PER REQUIREMENTS IN "EROSION & SEDIMENT CONTROL GUIDELINE FOR URBAN CONSTRUCTION" DATED DECEMBER 2006, AT ALL ACCESS POINTS. CONTRACTOR SHALL MAINTAIN THESE AS REQUIRED AND AS DIRECTED BY THE CITY ENGINEER.
- OVERLAND SHEET FLOW EROSION PROTECTION SHALL BE AS PER OPSD-219.130. IF EXCESSIVE SEDIMENT BUILDUP/BLOCKAGE OCCURS (VISUAL INSPECTION) THEN REPLACEMENT OF THE FILTER CLOTH IS REQUIRED.
- CATCH BASIN SEDIMENT CONTROL DEVICE, I.E. "SILTSACK" BY ACF ENVIRONMENT OR APPROVED EQUIVALENT, TO BE PLACED AS PER MANUFACTURER'S RECOMMENDATIONS. REGULAR MAINTENANCE IS REQUIRED ("SILTSACK" SUMPS SHALL BE INSPECTED FOR SEDIMENT ACCUMULATION AND FILTER CLOTH BLOCKAGE ON A WEEKLY BASIS). THESE SEDIMENT TRAPS ARE NOT TO BE REMOVED UNTIL THE CURBS AND THE BOULEVARDS SODDED. SEDIMENT TRAPS SHALL ALSO BE PLACED AT ALL CATCH BASIN LOCATIONS IN AREAS TO BE VEGETATED AND MAINTAINED UNTIL GROUND COVER IS ESTABLISHED.
- REGULAR MAINTENANCE FOR ALL CATCH BASINS (ON THE PUBLIC ROADWAY AND ON PRIVATE PROPERTY) AND INLET CHAMBERS IS REQUIRED (SEDIMENT TRAPS AND SUMPS SHALL BE INSPECTED FOR SEDIMENT ACCUMULATION, TRASH BUILDUP AND FILTER CLOTH BLOCKAGE ON A WEEKLY BASIS AND AFTER ANY MAJOR RAINFALL EVENT). ACCUMULATED SEDIMENT SHALL BE REMOVED BY MECHANICAL MEANS. FLUSHING OF SEDIMENT INTO THE STORM SEWER SYSTEM IS PROHIBITED. IF STANDING WATER REMAINS IN THE CATCH BASIN 24 HOURS (MINIMUM) AFTER A STORM THEN CLEANING OR REPLACEMENT OF THE FILTER CLOTH IS REQUIRED.
- TOPSOIL PILES SHALL ALSO BE TEMPORARILY SEED TO PREVENT EROSION. PLACEMENT OF VEGETATION SHALL BE IN ACCORDANCE WITH OPSS.572. WHERE REQUIRED, EROSION CONTROL BLANKETS SHALL BE PLACED AS PER OPSS.572, AT THE DIRECTION OF THE CITY ENGINEER.
- ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE VISUALLY INSPECTED AFTER EACH WORKING DAY AND MAINTAINED WHEN REQUIRED AS DIRECTED BY THE CONSULTANT AND TO THE SATISFACTION OF THE CITY/CONSERVATION AUTHORITY. THE CONSULTANT SHALL KEEP A DAILY RECORD OF INSPECTION, MAINTENANCE, ETC. AND PRESENT THE CITY WITH A COPY OF THE REPORT ON A MONTHLY BASIS.
- ANY DISTURBED AREAS NOT SCHEDULED FOR FURTHER CONSTRUCTION WITHIN 45 DAYS WILL BE PROVIDED WITH A SUITABLE TEMPORARY MULCH AND SEED COVER WITHIN 7 DAYS OF THE COMPLETION OF THAT PARTICULAR PHASE OF CONSTRUCTION.
- ALL DISTURBED EXTERNAL AREAS SHALL BE REVEGETATED WITH PERMANENT COVER (AS DETAILED) WITHIN 7 DAYS OF THE COMPLETION OF THAT PARTICULAR PHASE OF CONSTRUCTION.
- ADDITIONAL EROSION AND SEDIMENT CONTROL LOCATIONS/MEASURES MAY BE REQUIRED AS DETERMINED BY THE CITY/CONSERVATION AUTHORITY AND OTHER STREET FURNITURE ARE A MIN. OF 1.20m FROM THE PROJECTIONS OF THE OUTSIDE GARAGE WALLS.

KEY MAP:

NTS

LEGEND:	CONTOUR LINE
MINIMUM GARAGE FLOOR ELEVATION (G123.45)	SHEET FLOW
MINIMUM BASEMENT FLOOR ELEVATION (MB123.45)	SWALE
PROPOSED MIN. BACK OF HOUSE ELEVATION (H123.45)	FENCE
FINISHED FLOOR ELEVATION (FFE123.45)	SILT FENCE
EXISTING ELEVATION 123.45	HYDRO POLE OR STREET LIGHT (HP • OR • SL)
FUTURE ELEVATION 123.45	PEDESTAL (BELL AND/OR CABLE)
PROPOSED ELEVATION (123.45)	WHEELCHAIR RAMP AS PER (OPSD 310.030) (DEPRESSED CURB)
SWALE ELEVATION S(123.45)	SUMP PUMP
HIGH POINT ELEVATION HP(123.45)	WALK OUT
BOTTOM OF BANK BB(123.45)	ORDINARY CONSTRUCTION
BOTTOM OF CURB BC(123.45)	AIR CONDITIONER
BOTTOM OF RETAINING WALL OR BACK OF SIDEWALK BW(123.45)	OVERLAND FLOW ROUTE
TOP OF BANK TB(123.45)	
TOP OF CURB TC(123.45)	
TOP DEPRESSED OF CURB TDC(123.45)	
TOP OF RETAINING WALL TW(123.45)	
SANITARY PRIVATE DRAIN S	

FOR APPROVALS

No.	DATE	BY	REVISION

BENCHMARK:
TOWNSHIP: WEST FACE, NORTHWEST CORNER OF 89 STONE CHURCH ROAD ON THE SOUTHEAST CORNER OF STONE CHURCH ROAD AND WEST 5th STREET. PLAQUE IS SET ON THE SECOND ROW OF BLOCKS UP FROM THE GROUND 0.50m IN FROM THE CORNER.
ORTHOMETRIC ELEV: 222.830 m

STAMP:

CONSULTANT:
ENGINEERING LIMITED
URBEX
161 REBECCA STREET
HAMILTON ON, L8R 1B9
TEL 905-522-3328
FAX 905-522-0452
EMAIL info@urbex.biz

MUNICIPALITY:
THE CITY OF HAMILTON

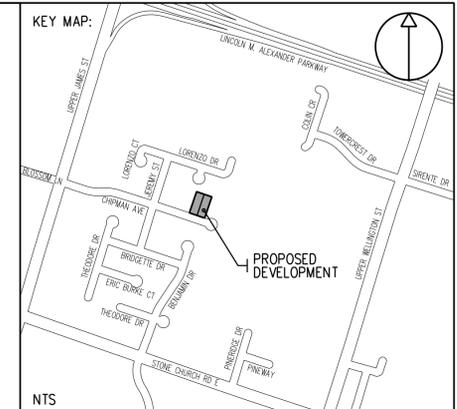
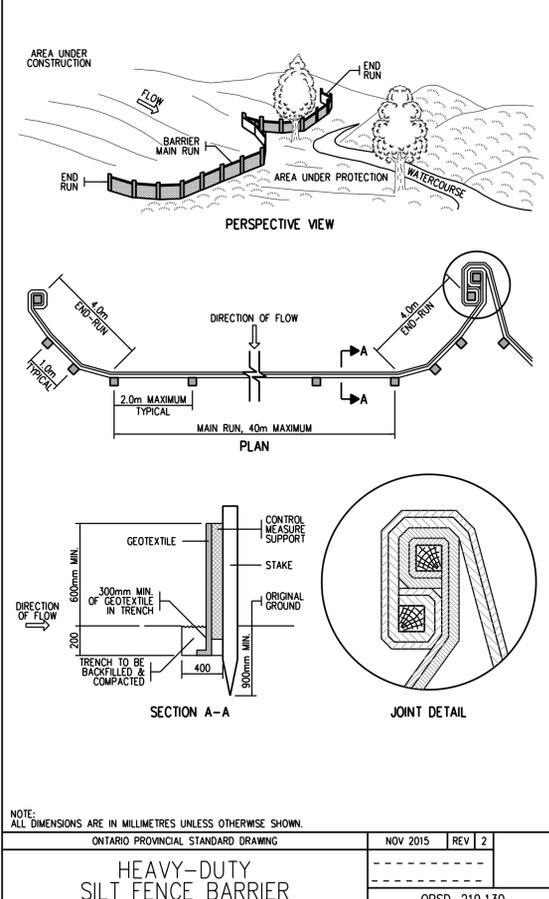
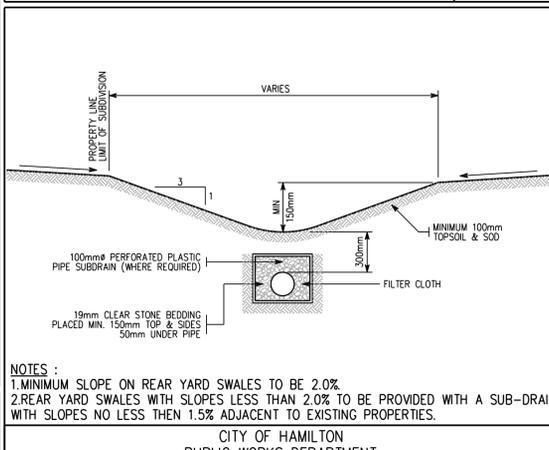
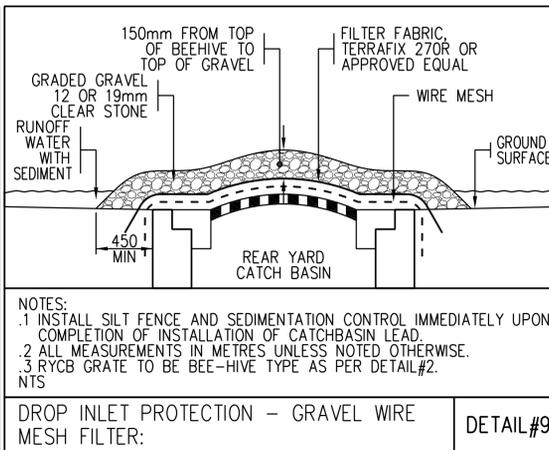
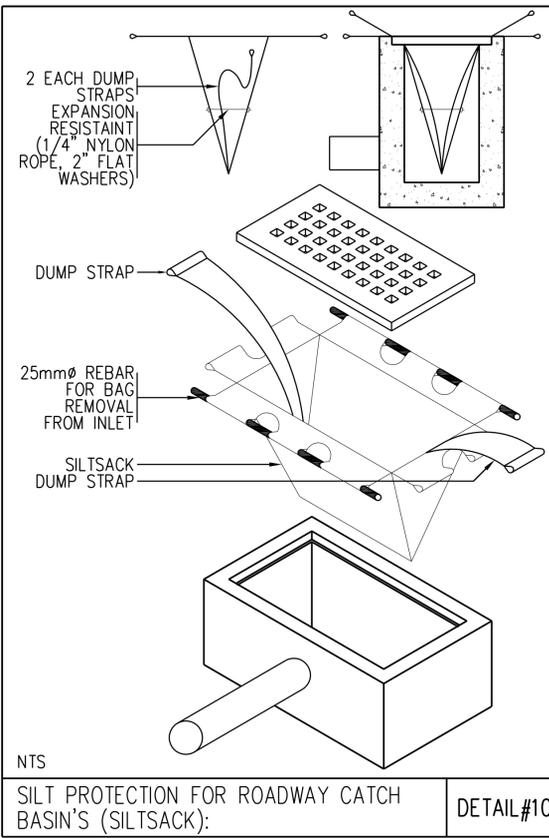
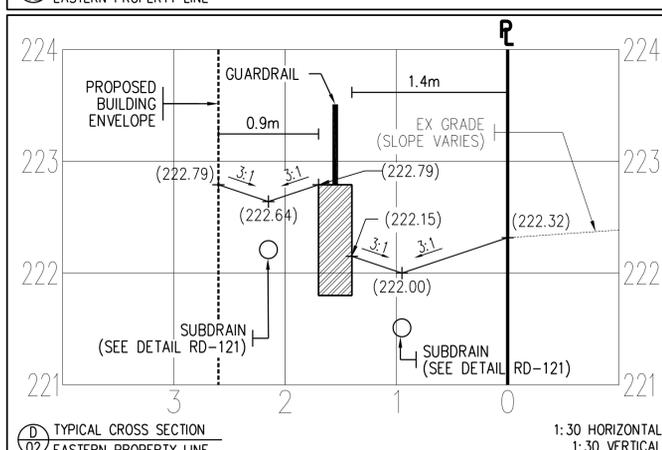
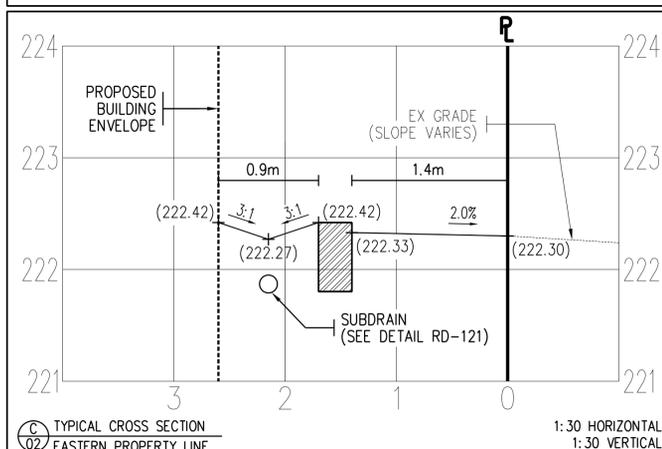
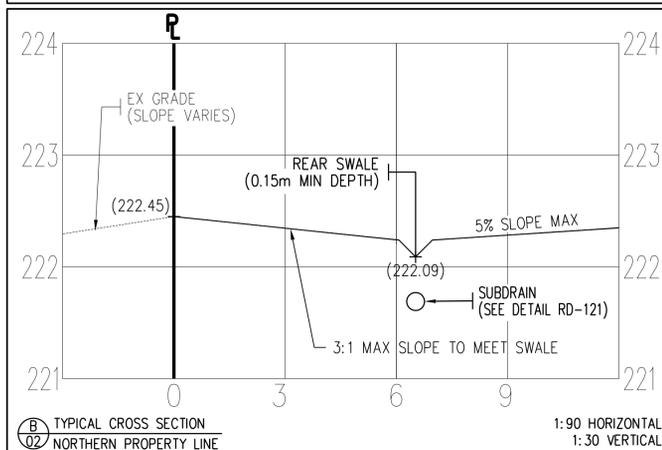
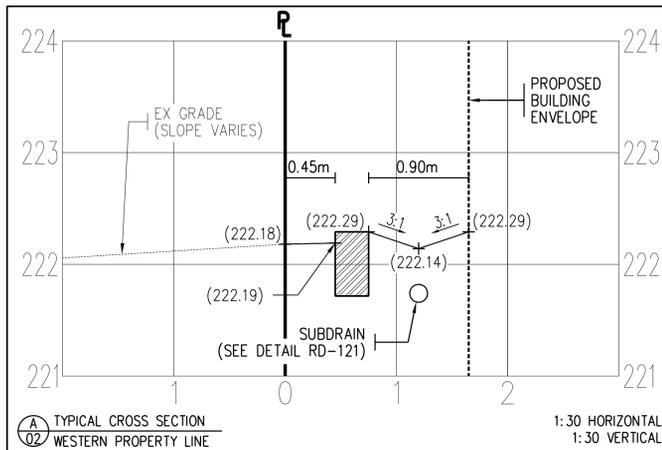
**73 CHIPMAN AVENUE PROPERTIES
HAMILTON, ONTARIO**

**GRADING PLAN / EROSION &
SEDIMENTATION CONTROL PLAN**

FILE NAME:
01-CHIPMAN-GRD-2020-4-27.dwg

LAST SAVED BY: BRUCE	SCALE: 1:150
LAST SAVED DATE: 1/22/2021 11:51 AM	SHEET No.: 01

D0188-P00-20 73 CHIPMAN AVENUE PROPERTIES



LEGEND:

MINIMUM GARAGE FLOOR ELEVATION (G123.45)	CONTOUR LINE
MINIMUM BASEMENT FLOOR ELEVATION (MB123.45)	SHEET FLOW
PROPOSED MIN. BACK OF HOUSE ELEVATION (H123.45)	SWALE
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FOR APPROVALS

No.	DATE	BY	REVISION

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FAX 905-522-0452
EMAIL info@urbex.biz

MUNICIPALITY:
THE CITY OF HAMILTON
73 CHIPMAN AVENUE PROPERTIES
HAMILTON, ONTARIO

DETAIL PLAN

FILE NAME:
02-CHIPMAN-DETAIL-2020-4-27.dwg

LAST SAVED BY:
BRUCE

LAST SAVED DATE:
1/22/2021 11:57 AM

SCALE:

SHEET No.:
01

D0188-P00-20 73 CHIPMAN AVENUE PROPERTIES



Hamilton

Committee of AdjustmentCity Hall, 5th Floor,

71 Main St. W.,

Hamilton, ON L8P4Y5

Phone: (905) 546-2424 ext. 4221

Email: cofa@hamilton.ca

**APPLICATION FOR CONSENT TO SEVER LAND
UNDER SECTION 53 OF THE PLANNING ACT**

Office Use Only

Date Application Received:	Date Application Deemed Complete:	Submission No.:	File No.:
----------------------------	-----------------------------------	-----------------	-----------

1 APPLICANT INFORMATION

1.1, 1.2

Registered Owners(s)	
Applicant(s)*	
Agent or Solicitor	

* Owner's authorisation required if the applicant is not the owner.

1.3 All correspondence should be sent to Owner Applicant Agent/Solicitor**2 LOCATION OF SUBJECT LAND** Complete the applicable lines

2.1 Area Municipality	Lot 8	Concession	Former Township
Registered Plan N°. 1053	Lot(s)	Reference Plan N°.	Part(s)
Municipal Address 73 Chipman Ave, Hamilton ON L9A2S9			Assessment Roll N°. 070871033400000

2.2 Are there any easements or restrictive covenants affecting the subject land?

 Yes No

If YES, describe the easement or covenant and its effect:

There are some underground pipe that run to the back edge of the property

3 PURPOSE OF THE APPLICATION

3.1 Type and purpose of proposed transaction: (check appropriate box)

a) Urban Area Transfer (do not complete Section 10): creation of a new lotOther: a charge

- addition to a lot
- an easement

- a lease
- a correction of title

b) **Rural Area / Rural Settlement Area Transfer (Section 10 must be completed):**

- creation of a new lot
- creation of a new non-farm parcel
(i.e. a lot containing a surplus farm dwelling
resulting from a farm consolidation)
- addition to a lot

- Other: a charge
 a lease
 a correction of title
 an easement

3.2 Name of person(s), if known, to whom land or interest in land is to be transferred, leased or charged:

Shivam Rammoonsingh

3.3 If a lot addition, identify the lands to which the parcel will be added:

4 DESCRIPTION OF SUBJECT LAND AND SERVICING INFORMATION

4.1 Description of land intended to be **Severed**:

Frontage (m)	Depth (m)	Area (m ² or ha)
30.48 14.60	46.73	14282258

Existing Use of Property to be severed:

- Residential
- Agriculture (includes a farm dwelling)
- Other (specify) _____
- Industrial
- Agricultural-Related
- Commercial
- Vacant

Proposed Use of Property to be severed:

- Residential
- Agriculture (includes a farm dwelling)
- Other (specify) _____
- Industrial
- Agricultural-Related
- Commercial
- Vacant

Building(s) or Structure(s):

Existing: Single Family Dwelling

Proposed: NONE

Type of access: (check appropriate box)

- provincial highway
- municipal road, seasonally maintained
- municipal road, maintained all year
- right of way
- other public road

Type of water supply proposed: (check appropriate box)

- publicly owned and operated piped water system
- privately owned and operated individual well
- lake or other water body
- other means (specify) _____

Type of sewage disposal proposed: (check appropriate box)

- publicly owned and operated sanitary sewage system
- privately owned and operated individual septic system
- other means (specify) _____

4.2 Description of land intended to be **Retained**:

Frontage (m)	Depth (m)	Area (m ² or ha)
15.88	46.73	742.04

Existing Use of Property to be retained:

- Residential
- Agriculture (includes a farm dwelling)
- Other (specify) _____
- Industrial
- Agricultural-Related
- Commercial
- Vacant

Proposed Use of Property to be retained:

- Residential
 Industrial
 Commercial
 Agriculture (includes a farm dwelling)
 Agricultural-Related
 Vacant
 Other (specify) _____

Building(s) or Structure(s):

Existing: NONE

Proposed: Single Family Dwelling

Type of access: (check appropriate box)

- provincial highway
 right of way
 municipal road, seasonally maintained
 other public road
 municipal road, maintained all year

Type of water supply proposed: (check appropriate box)

- publicly owned and operated piped water system
 lake or other water body
 privately owned and operated individual well
 other means (specify) _____

Type of sewage disposal proposed: (check appropriate box)

- publicly owned and operated sanitary sewage system
 privately owned and operated individual septic system
 other means (specify) _____

4.3 Other Services: (check if the service is available)

- electricity
 telephone
 school bussing
 garbage collection

5 CURRENT LAND USE

5.1 What is the existing official plan designation of the subject land?

Rural Hamilton Official Plan designation (if applicable): _____

Urban Hamilton Official Plan designation (if applicable) Single Family Dwelling/ Residential

Please provide an explanation of how the application conforms with a City of Hamilton Official Plan.

Land to be severed and the land to be retained both conform to the COH plan in terms of lot size. Both lots will be used for Single Family Dwelling

5.2 What is the existing zoning of the subject land?

If the subject land is covered by a Minister's zoning order, what is the Ontario Regulation Number? "C" - Urban Protected Residential

5.3 Are any of the following uses or features on the subject land or within 500 metres of the subject land, unless otherwise specified. Please check the appropriate boxes, if any apply.

Use or Feature	On the Subject Land	Within 500 Metres of Subject Land, unless otherwise specified (indicate approximate distance)
An agricultural operation, including livestock facility or stockyard	<input type="checkbox"/>	NA
A land fill	<input type="checkbox"/>	NA
A sewage treatment plant or waste stabilization plant	<input type="checkbox"/>	NA
A provincially significant wetland	<input type="checkbox"/>	NA

A provincially significant wetland within 120 metres	<input type="checkbox"/>	NA
A flood plain	<input type="checkbox"/>	NA
An industrial or commercial use, and specify the use(s)	<input type="checkbox"/>	Car Repair Shop, 350M
An active railway line	<input type="checkbox"/>	NA
A municipal or federal airport	<input type="checkbox"/>	NA

6 PREVIOUS USE OF PROPERTY

- Residential Industrial Commercial
 Agriculture Vacant Other (specify)

- 6.1 If Industrial or Commercial, specify use _____
- 6.2 Has the grading of the subject land been changed by adding earth or other material, i.e., has filling occurred?
 Yes No Unknown
- 6.3 Has a gas station been located on the subject land or adjacent lands at any time?
 Yes No Unknown
- 6.4 Has there been petroleum or other fuel stored on the subject land or adjacent lands?
 Yes No Unknown
- 6.5 Are there or have there ever been underground storage tanks or buried waste on the subject land or adjacent lands?
 Yes No Unknown
- 6.6 Have the lands or adjacent lands ever been used as an agricultural operation where cyanide products may have been used as pesticides and/or biosolids was applied to the lands?
 Yes No Unknown
- 6.7 Have the lands or adjacent lands ever been used as a weapons firing range?
 Yes No Unknown
- 6.8 Is the nearest boundary line of the application within 500 metres (1,640 feet) of the fill area of an operational/non-operational landfill or dump?
 Yes No Unknown
- 6.9 If there are existing or previously existing buildings, are there any building materials remaining on site which are potentially hazardous to public health (e.g., asbestos, PCB's)?
 Yes No Unknown
- 6.10 Is there reason to believe the subject land may have been contaminated by former uses on the site or adjacent sites?
 Yes No Unknown
- 6.11 What information did you use to determine the answers to 6.1 to 6.10 above?
Personal knowledge of the land and information received from previous owner
- 6.12 If previous use of property is industrial or commercial or if YES to any of 6.2 to 6.10, a previous use inventory showing all former uses of the subject land, or if appropriate, the land adjacent to the subject land, is needed.
Is the previous use inventory attached?
 Yes No

7 PROVINCIAL POLICY

- 7.1 a) Is this application consistent with the Policy Statements issued under subsection of the *Planning Act*? (Provide explanation)
- Yes No

Yes, the application has already been approved once before by COH and Committee of Adjustments, but due to COVID 19 and time constraints, we weren't able to complete the process in the required time. This is a 2nd application for the same exact severance.

- b) Is this application consistent with the Provincial Policy Statement (PPS)?
 Yes No (Provide explanation)

The PPS calls for more efficient use of land, for sufficient housing and job creation among other things. Once approved, this 2nd lot will add a single family dwelling to the neighborhood and create short term job opportunities for local tradesmen.

- c) Does this application conform to the Growth Plan for the Greater Golden Horseshoe?
 Yes No (Provide explanation)

Severing this lot into 2 will allow for increased housing within the GGH which conforms to the plans laid out.

- d) Are the subject lands within an area of land designated under any provincial plan or plans? (If YES, provide explanation on whether the application conforms or does not conflict with the provincial plan or plans.)
 Yes No

Application does conform.

- e) Are the subject lands subject to the Niagara Escarpment Plan?
 Yes No

If yes, is the proposal in conformity with the Niagara Escarpment Plan?
 Yes No
 (Provide Explanation)

- f) Are the subject lands subject to the Parkway Belt West Plan?
 Yes No

If yes, is the proposal in conformity with the Parkway Belt West Plan?
 Yes No (Provide Explanation)

- g) Are the subject lands subject to the Greenbelt Plan?
 Yes No

If yes, does this application conform with the Greenbelt Plan?
 Yes No (Provide Explanation)

8 HISTORY OF THE SUBJECT LAND

- 8.1 Has the subject land ever been the subject of an application for approval of a plan of subdivision or a consent under sections 51 or 53 of the *Planning Act*?
 Yes No Unknown

If YES, and known, indicate the appropriate application file number and the decision made on the application.

File Number - 726-1150 COA File#HM/B-20:11

- 8.2 If this application is a re-submission of a previous consent application, describe how it has been changed from the original application.

NO CHANGE. Application was fully approved but due to COVID19 and time constraints all the requirements was not r

- 8.3 Has any land been severed or subdivided from the parcel originally acquired by the owner of the subject land? Yes No

If YES, and if known, provide for each parcel severed, the date of transfer, the name of

the transferee and the land use.

8.4 How long has the applicant owned the subject land?

Since November 1st 2020

8.5 Does the applicant own any other land in the City? Yes No
 If YES, describe the lands in "11 - Other Information" or attach a separate page.

9 OTHER APPLICATIONS

9.1 Is the subject land currently the subject of a proposed official plan amendment that has been submitted for approval? Yes No Unknown

If YES, and if known, specify file number and status of the application.

9.2 Is the subject land the subject of any other application for a Minister's zoning order, zoning by-law amendment, minor variance, consent or approval of a plan of subdivision? Yes No Unknown

If YES, and if known, specify file number and status of the application(s).

File number _____ Status _____

10 RURAL APPLICATIONS

10.1 Rural Hamilton Official Plan Designation(s)

- Agricultural Rural Specialty Crop
 Mineral Aggregate Resource Extraction Open Space Utilities
 Rural Settlement Area (specify) _____
Settlement Area Designation

If proposal is for the creation of a non-farm parcel resulting from a farm consolidation, indicate the existing land use designation of the abutting or non-abutting farm operation.

10.2 Type of Application (select type and complete appropriate sections)

- Agricultural Severance or Lot Addition
 Agricultural Related Severance or Lot Addition
 Rural Resource-based Commercial Severance or Lot Addition
 Rural Institutional Severance or Lot Addition
 Rural Settlement Area Severance or Lot Addition
- } (Complete Section 10.3)
- Surplus Farm Dwelling Severance from an Abutting Farm Consolidation (Complete Section 10.4)
- Surplus Farm Dwelling Severance from a Non-Abutting Farm Consolidation (Complete Section 10.5)

10.3 Description of Lands

a) Lands to be Severed:

Frontage (m): (from Section 4.1) 14.60	Area (m ² or ha): (from in Section 4.1) 682.258
---	---

Existing Land Use: NONE Proposed Land Use: Residential

b) Lands to be Retained:

Frontage (m): (from Section 4.2) 15.88	Area (m ² or ha): (from Section 4.2) 742.072
---	--

Existing Land Use: Residential Proposed Land Use: Residential

10.4 Description of Lands (Abutting Farm Consolidation)

a) Location of abutting farm:

(Street) (Municipality) (Postal Code)

b) Description abutting farm:

Frontage (m):	Area (m ² or ha):
---------------	------------------------------

Existing Land Use(s): _____ Proposed Land Use(s): _____

c) Description of consolidated farm (excluding lands intended to be severed for the surplus dwelling):

Frontage (m):	Area (m ² or ha):
---------------	------------------------------

Existing Land Use: _____ Proposed Land Use: _____

d) Description of surplus dwelling lands proposed to be severed:

Frontage (m): (from Section 4.1)	Area (m ² or ha): (from Section 4.1)
----------------------------------	---

Front yard set back: _____

e) Surplus farm dwelling date of construction:

Prior to December 16, 2004 After December 16, 2004

f) Condition of surplus farm dwelling:

Habitable Non-Habitable

g) Description of farm from which the surplus dwelling is intended to be severed (retained parcel):

Frontage (m): (from Section 4.2)	Area (m ² or ha): (from Section 4.2)
----------------------------------	---

Existing Land Use: _____ Proposed Land Use: _____

10.5 Description of Lands (Non-Abutting Farm Consolidation)

a) Location of non-abutting farm

(Street) (Municipality) (Postal Code)

b) Description of non-abutting farm

Frontage (m):	Area (m ² or ha):
---------------	------------------------------

Existing Land Use(s): _____ Proposed Land Use(s): _____

c) Description of surplus dwelling lands intended to be severed:

Frontage (m): (from Section 4.1)	Area (m ² or ha): (from Section 4.1)
----------------------------------	---

Front yard set back: _____

d) Surplus farm dwelling date of construction:

Prior to December 16, 2004 After December 16, 2004

e) Condition of surplus farm dwelling:

Habitable Non-Habitable

f) Description of farm from which the surplus dwelling is intended to be severed (retained parcel):

Frontage (m): (from Section 4.2)	Area (m ² or ha): (from Section 4.2)
----------------------------------	---

Existing Land Use: _____ Proposed Land Use: _____

11 OTHER INFORMATION

Is there any other information that you think may be useful to the Committee of Adjustment or other agencies in reviewing this application? If so, explain below or attach on a separate page.

As mentioned above, this exact severance application has been fully approved once before. I reached as far as paying \$63,000 security deposit to finalize the severance. However we were not able to finish all the requirements in time. The previous owner started the application, I took over in mid November and was not able to finish by the July deadline. The proposed severance in this application HAS NOT BEEN CHANGE IN ANYWAY from the previous one which was approved. The previous File Number was S726-1150 and the COA File #HM/B20:11. My Corporation also owns 1 property located on 1527-1529 King St E Hamilton.

12 SKETCH (Use the attached Sketch Sheet as a guide)

12.1 The application shall be accompanied by a sketch showing the following in metric units:

- (a) the boundaries and dimensions of any land abutting the subject land that is owned by the owner of the subject land;
- (b) the approximate distance between the subject land and the nearest township lot line or landmark such as a bridge or railway crossing;
- (c) the boundaries and dimensions of the subject land, the part that is intended to be severed and the part that is intended to be retained;
- (d) the location of all land previously severed from the parcel originally acquired by the current owner of the subject land;
- (e) the approximate location of all natural and artificial features (for example, buildings, barns, railways, roads, watercourses, drainage ditches, banks of rivers or streams, wetlands, wooded areas, wells and septic tanks) that,
 - i) are located on the subject land an on land that is adjacent to it, and
 - ii) in the applicant's opinion, may affect the application;
- (f) the current uses of land that is adjacent to the subject land (for example, residential, agricultural or commercial);
- (g) the location, width and name of any roads within or abutting the subject land, indicating whether it is an unopened road allowance, a public travelled road, a private road or a right of way;
- (h) the location and nature of any easement affecting the subject land.

13 ACKNOWLEDGEMENT CLAUSE

I acknowledge that The City of Hamilton is not responsible for the identification and remediation of contamination on the property which is the subject of this Application - by reason of its approval to this Application.

7th February 2022

 Date

Shivam Ramoorsingh

 Signature of Owner





Hamilton

COMMITTEE OF ADJUSTMENT

City Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5
 Telephone (905) 546-2424, ext. 4221, 3935 Fax (905) 546-4202
 E-mail: cofa@hamilton.ca

NOTICE OF PUBLIC HEARING Minor Variance

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
- Applicant/agent on file, or
- Person likely to be interested in this application

APPLICATION NO.: HM/A-22:60

APPLICANTS: Agent Shajidul Islam

SUBJECT PROPERTY: Municipal address **51 East 39th St., Hamilton**

ZONING BY-LAW: Zoning By-law 6593, as Amended

ZONING: "C" (Urban Protected Residential) district

PROPOSAL: To permit the establishment of a secondary dwelling unit within the existing single family dwelling; notwithstanding that;

1. A minimum parking space size of 2.6m x 5.9m shall be permitted for the two required parking spaces instead of the minimum 2.7m x 6.0m parking spaces size required.
2. A minimum 36% of the gross area of the front yard shall be permitted to be maintain landscaped area instead of the minimum 50.0% landscaped area required.

Notes: The applicant requested a variance to permit alterations to the exterior appearance and character of the front façade; however, the requested variance is not required as the proposed new entrance to the front façade is intended to allow access to the primary dwelling.

The applicant shall ensure that the maximum permitted two bedrooms are maintained for the secondary dwelling unit. Please note that further variances shall be required if the storage room is converted to an additional bedroom.

This application will be heard by the Committee as shown below:

DATE: Thursday, April 7th, 2022
TIME: 1:35 p.m.
PLACE: Via video link or call in (see attached sheet for details)
 To be streamed at
www.hamilton.ca/committeeofadjustment
 for viewing purposes only

PUBLIC INPUT

Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

HM/A-22: 60

Page 2

Orally: If you would like to speak to this item at the hearing you may do so via video link or by calling in. Please see attached page for complete instructions, including deadlines for registering to participate.

MORE INFORMATION

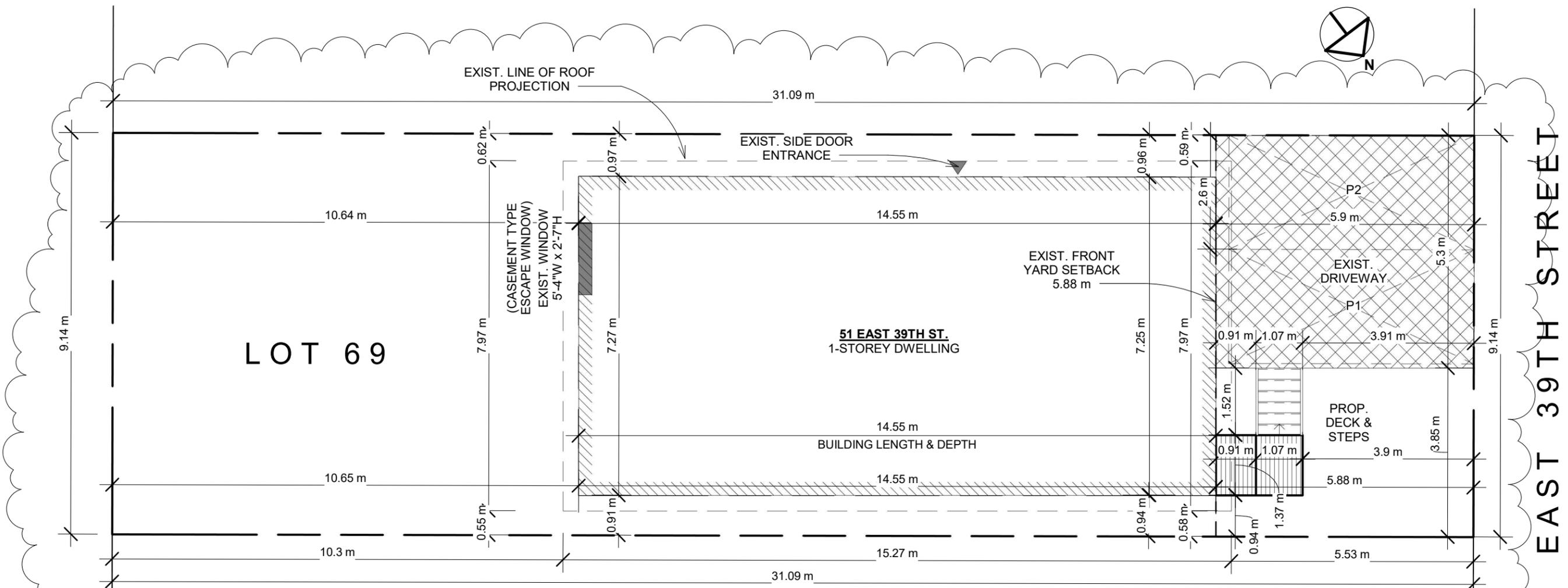
For more information on this matter, including access to drawings illustrating this request:

- Visit www.hamilton.ca/committeeofadjustment
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935
- Email Committee of Adjustment staff at cofa@hamilton.ca

DATED: March 22nd, 2022.

Jamila Sheffield,
Secretary-Treasurer
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public.



SITE STATISTICS (ALL AREAS ARE IN M.SQ)				
ZONE: C		LOT NO: 69		LOT AREA: 284.28
DESCRIPTION	EXISTING	ADDITION	TOTAL	%
LOT FRONTAGE	9.14	0	9.14	
LOT DEPTH	31.09	0	31.09	
BUILDING AREA	105.59	0	105.59	37.14%
GROSS FLOOR AREA (GFA)	206.01	0	206.01	
BUILDING LENGTH	14.55	0	14.55	
BUILDING DEPTH	14.55	0	14.55	
LOT COVERAGE	105.59	2.71	108.30	38.10%
NO. OF STORIES (HEIGHT)	1 (5.54)	0	1 (5.54)	
PARKING SPACES	2	0	2	
DECK	0	2.71	2.71	0.95%

FRONT YARD LANDSCAPING	AREA (M.SQ)	BACK YARD LANDSCAPING	M.SQ
EXISTING DRIVEWAY + PORCH	31.19	EXISTING BACK YARD	97.19
PROPOSED DRIVEWAY + PORCH	33.9	PROPOSED BACK YARD AREA	97.19
FRONT YARD AREA	53.77	PROPOSED BACK YARD SOFT LANDSCAPING	97.19
EXISTING SOFT LANDSCAPING	22.62		
PROPOSED SOFT LANDSCAPING AREA	19.88		

ZONING STATISTICS (M)		
SETBACK	EXISTING	PROPOSED
FRONT YARD	5.88	5.88
REAR YARD	10.64	10.64
SIDE YARD	0.96	0.96
SIDE YARD	0.91	0.91

1 PROPOSED SITE PLAN

1/8" = 1'-0"

NOTE:
NO CHANGES TO EXISTING GRADES, GFA, FSI, LOT COVERAGE



NOTES:
DRAWINGS MUST NOT BE SCALED
DRAWINGS TO BE READ IN CONJUNCTION WITH THE GENERAL NOTES AND THE O.B.C.
All drawings & information shown on these drawings must be checked & verified on site prior to construction or fabrication of its components. Unless noted otherwise, no provision has been made in the design for conditions occurring during construction.
It shall be the responsibility of the contractor to provide all necessary bracing, shoring, sheet piling, or other temporary supports, to safeguard all existing or adjacent structures affected by construction. All dimensions are given in imperial units unless otherwise indicated.
All drawings are the property of the Architect / Designer & must be returned upon request.



ADDRESS:
51 E 39th St
Hamilton, ON L8V 4G9

PROJECT:
LEGAL BASEMENT

Site Plan

Date: 2022-02-18
Drawn by: S.M
Checked by: S.I

A0.01
Scale: 1/8" = 1'-0"



Committee of Adjustment
 City Hall, 5th Floor,
 71 Main St. W.,
 Hamilton, ON L8P4Y5

Phone: (905) 546-2424 ext. 4221
 Email: cofa@hamilton.ca

APPLICATION FOR A MINOR VARIANCE

FOR OFFICE USE ONLY.	
APPLICATION NO. _____	DATE APPLICATION RECEIVED _____
PAID _____	DATE APPLICATION DEEMED COMPLETE _____
SECRETARY'S SIGNATURE _____	

The Planning Act

Application for Minor Variance or for Permission

The undersigned hereby applies to the Committee of Adjustment for the City of Hamilton under Section 45 of the *Planning Act*, R.S.O. 1990, Chapter P.13 for relief, as described in this application, from the Zoning By-law.

1, 2	NAME	MAILING ADDRESS
Registered Owners(s)		
Applicant(s)*		
Agent or Solicitor		

Note: Unless otherwise requested all communications will be sent to the agent, if any.

3. Names and addresses of any mortgagees, holders of charges or other encumbrances:

Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled

4. Nature and extent of relief applied for:

two, 2.7m x 6.0m required on site parking spaces , whereas parking space provided is 5.4 m x 5.9 m
- he proposed front door and porch have altered the exterior appearance and character of the existing single family dwelling as is not permitted as per bylaw 21-076 (19)(xv).

Secondary Dwelling Unit Reconstruction of Existing Dwelling

5. Why it is not possible to comply with the provisions of the By-law?

two, 2.7m x 6.0m required on site parking spaces

The proposed front door and porch have altered the exterior appearance and character of the existing single family dwelling as is not permitted as per bylaw 21-076 (19)(xv).

6. Legal description and Address of subject lands (registered plan number and lot number or other legal description and where applicable, **street and street number**):

51 E 39th St Hamilton, ON L8V 4G9
LOT 69

7. PREVIOUS USE OF PROPERTY

Residential Industrial Commercial
Agricultural Vacant Other

Other _____

8.1 If Industrial or Commercial, specify use _____

8.2 Has the grading of the subject land been changed by adding earth or other material, i.e. has filling occurred?

Yes No Unknown

8.3 Has a gas station been located on the subject land or adjacent lands at any time?

Yes No Unknown

8.4 Has there been petroleum or other fuel stored on the subject land or adjacent lands?

Yes No Unknown

8.5 Are there or have there ever been underground storage tanks or buried waste on the subject land or adjacent lands?

Yes No Unknown

8.6 Have the lands or adjacent lands ever been used as an agricultural operation where cyanide products may have been used as pesticides and/or sewage sludge was applied to the lands?

Yes No Unknown

8.7 Have the lands or adjacent lands ever been used as a weapon firing range?

Yes No Unknown

8.8 Is the nearest boundary line of the application within 500 metres (1,640 feet) of the fill area of an operational/non-operational landfill or dump?

Yes No Unknown

8.9 If there are existing or previously existing buildings, are there any building materials remaining on site which are potentially hazardous to public health (eg. asbestos, PCB's)?

Yes No Unknown

8.10 Is there any reason to believe the subject land may have been contaminated by former uses on the site or adjacent sites?

Yes No Unknown

8.11 What information did you use to determine the answers to 8.1 to 8.10 above?

INFORMATION FROM OWNER

8.12 If previous use of property is industrial or commercial or if YES to any of 8.2 to 8.10, a previous use inventory showing all former uses of the subject land, or if appropriate, the land adjacent to the subject land, is needed.

Is the previous use inventory attached? Yes No

9. ACKNOWLEDGEMENT CLAUSE

I acknowledge that the City of Hamilton is not responsible for the identification and remediation of contamination on the property which is the subject of this Application – by reason of its approval to this Application.

• Feb 4, 2022
Date

• *Amanda Khan*
Signature Property Owner(s)

• Cristian Perdomo AMANDA KHAN
Print Name of Owner(s)

10. Dimensions of lands affected:

Frontage	9.14
Depth	31.10
Area	284.28
Width of street	6 m

11. Particulars of all buildings and structures on or proposed for the subject lands: (Specify ground floor area, gross floor area, number of stories, width, length, height, etc.)

Existing: _

1 STOREY DETACHED DWELLING
BASEMENT GFA 1104.32 SFT
GROUND FLOOR GFA 1137.47 SFT

Proposed

1 STOREY DETACHED DWELLING
BASEMENT GFA 1104.32 SFT
GROUND FLOOR GFA 1137.47 SFT

12. Location of all buildings and structures on or proposed for the subject lands; (Specify distance from side, rear and front lot lines)

Existing:

FRONT SET BACK : 4.1 M
REAR SETBACK: 10.64 M
SIDE SETBACK: 0.91 M
SIDE SETBACK: 0.97 M

Proposed:

FRONT SET BACK : 4.1 M
REAR SETBACK: 10.64 M
SIDE SETBACK: 0.91 M
SIDE SETBACK: 0.97 M

13. Date of acquisition of subject lands:
September 1, 2021
-
14. Date of construction of all buildings and structures on subject lands:
May 2021
-
15. Existing uses of the subject property (single family, duplex, retail, factory etc.):
SINGLE FAMILY
16. Existing uses of abutting properties (single family, duplex, retail, factory etc.):
SINGLE FAMILY
17. Length of time the existing uses of the subject property have continued:
18. Municipal services available: (check the appropriate space or spaces)
- | | | | |
|----------------|--------------------------|-----------|--------------------------|
| Water | <input type="checkbox"/> | Connected | <input type="checkbox"/> |
| Sanitary Sewer | <input type="checkbox"/> | Connected | <input type="checkbox"/> |
| Storm Sewers | <input type="checkbox"/> | | |
19. Present Official Plan/Secondary Plan provisions applying to the land:
20. Present Restricted Area By-law (Zoning By-law) provisions applying to the land:
21. Has the owner previously applied for relief in respect of the subject property?
Yes No
If the answer is yes, describe briefly.
22. Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?
Yes No
23. Additional Information
24. The applicant shall attach to each copy of this application a plan showing the dimensions of the subject lands and of all abutting lands and showing the location, size and type of all buildings and structures on the subject and abutting lands, and where required by the Committee of Adjustment such plan shall be signed by an Ontario Land Surveyor.



Hamilton

COMMITTEE OF ADJUSTMENT

City Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5
 Telephone (905) 546-2424, ext. 4221, 3935 Fax (905) 546-4202
 E-mail: cofa@hamilton.ca

NOTICE OF PUBLIC HEARING
Minor Variance

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
- Applicant/agent on file, or
- Person likely to be interested in this application

APPLICATION NO.: AN/A-22:61

APPLICANTS: Agent Parkeight Inc.
 Owners L. & C. Battiston

SUBJECT PROPERTY: Municipal address **104 Kendrick Court, Ancaster**

ZONING BY-LAW: Zoning By-law 87-57, as Amended 03-095

ZONING: "R5-410" (Residential Five) district

PROPOSAL: To permit the construction of a single storey addition (sun room) in the rear yard of the existing single detached dwelling notwithstanding that:

1. A rear yard setback of 4.55m shall be provided instead of the minimum required 7.0m rear yard setback.

2. A maximum lot coverage of 42% shall be provided instead of the required 40% maximum lot coverage

This application will be heard by the Committee as shown below:

DATE: Thursday, April 7th, 2022
TIME: 1:40 p.m.
PLACE: Via video link or call in (see attached sheet for details)
 To be streamed at
www.hamilton.ca/committeeofadjustment
 for viewing purposes only

PUBLIC INPUT

Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

Orally: If you would like to speak to this item at the hearing you may do so via video link or by calling in. Please see attached page for complete instructions, including deadlines for registering to participate.

AN/A-22: 61

Page 2

MORE INFORMATION

For more information on this matter, including access to drawings illustrating this request:

- Visit www.hamilton.ca/committeeofadjustment
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935
- Email Committee of Adjustment staff at cofa@hamilton.ca

DATED: March 22nd, 2022.

Jamila Sheffield,
Secretary-Treasurer
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public.



① 3D PERSPECTIVE REAR YARD

**PARK
EIGHT**
ENG // ARCH

REAR ADDITION

104 KENDRICK CRT. ANCASTER

Project No. 21115

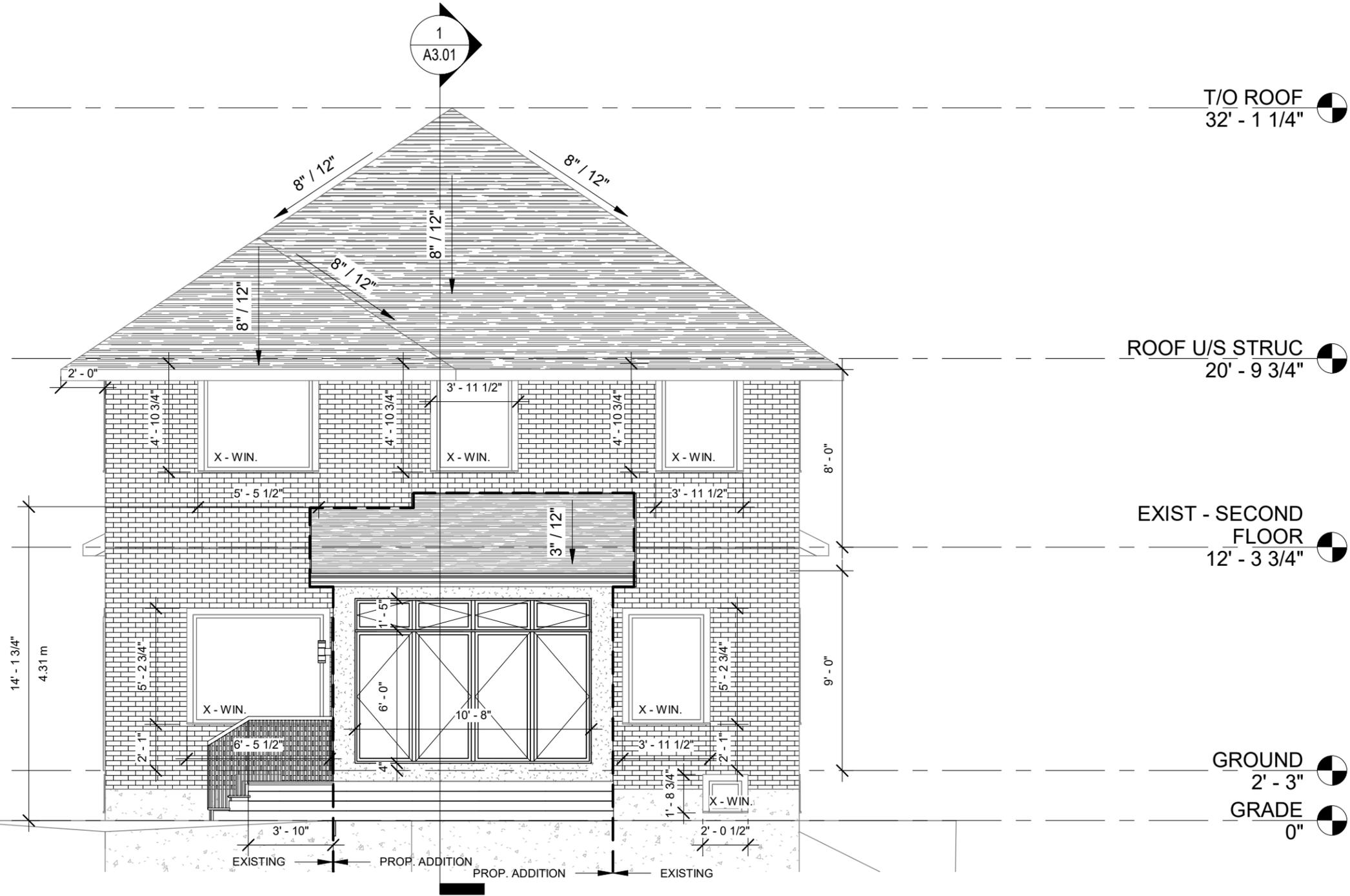
Revisions

Scale

COVER

A0.01

Sheet No. ©2021



① NORTH ELEVATION
3/16" = 1'-0"

Spatial Separation - Construction of Exterior Walls					
Wall	Area of EBF (m ²)	L.D. (m)	L/H or H/L	Permitted Max. % of Openings	Proposed % of Openings
ADD'N REAR	12.5	4.55	N/A	76%	54%
ADD'N SIDE	15.3	4.36	N/A	67%	26%
ADD'N SIDE (DRIVE)	15.3	3.79	N/A	48.17%	43%

PARK EIGHT
ENG // ARCH

REAR ADDITION

104 KENDRICK CRT. ANCASTER

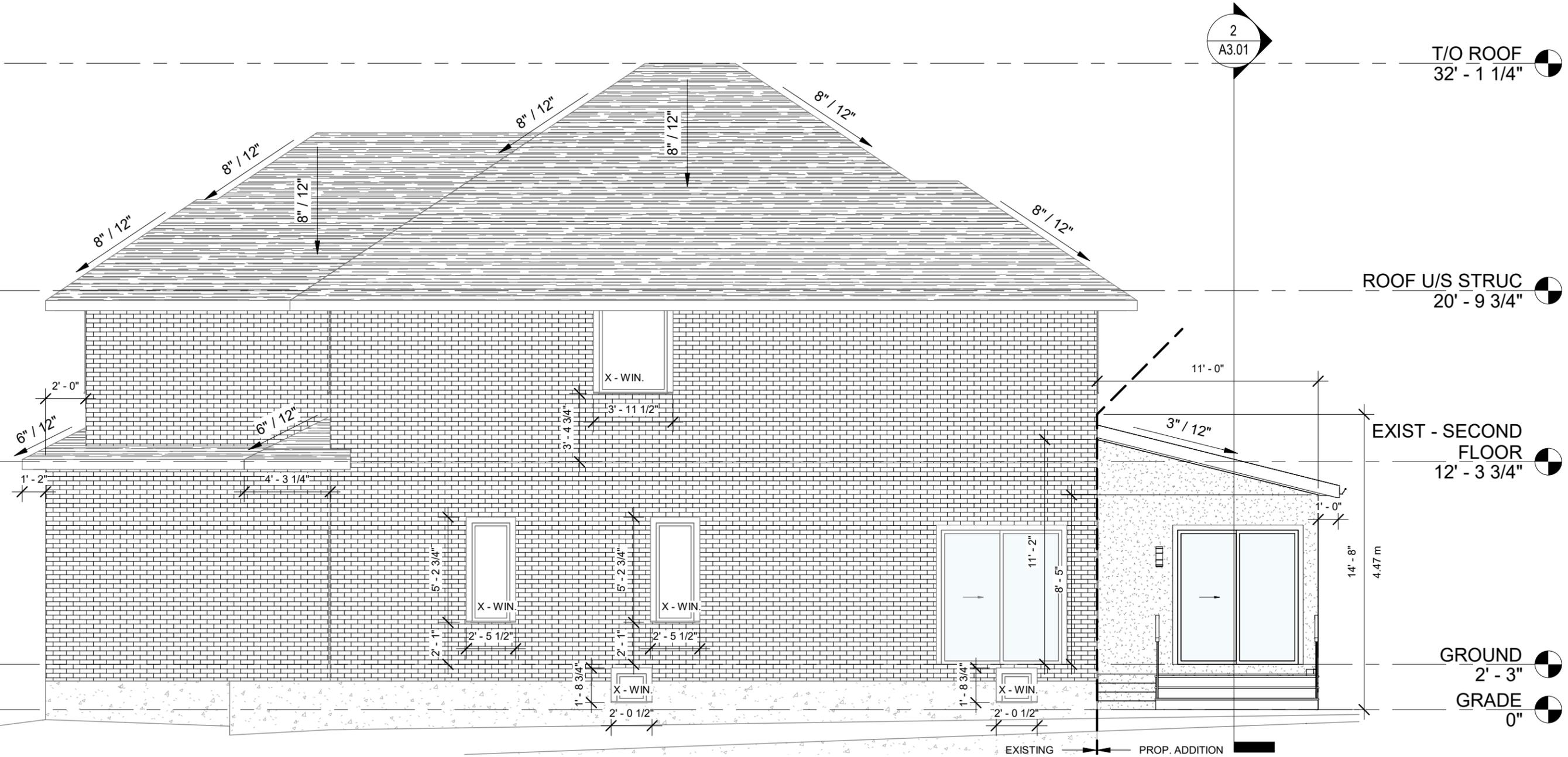
Project No. 21115
Revisions

Scale As indicated

ELEVATIONS

A2.01

Sheet No. ©2021



① EAST ELEVATION
3/16" = 1'-0"

PARK EIGHT
ENG // ARCH

REAR ADDITION
104 KENDRICK CRT. ANCASTER

Project No. 21115

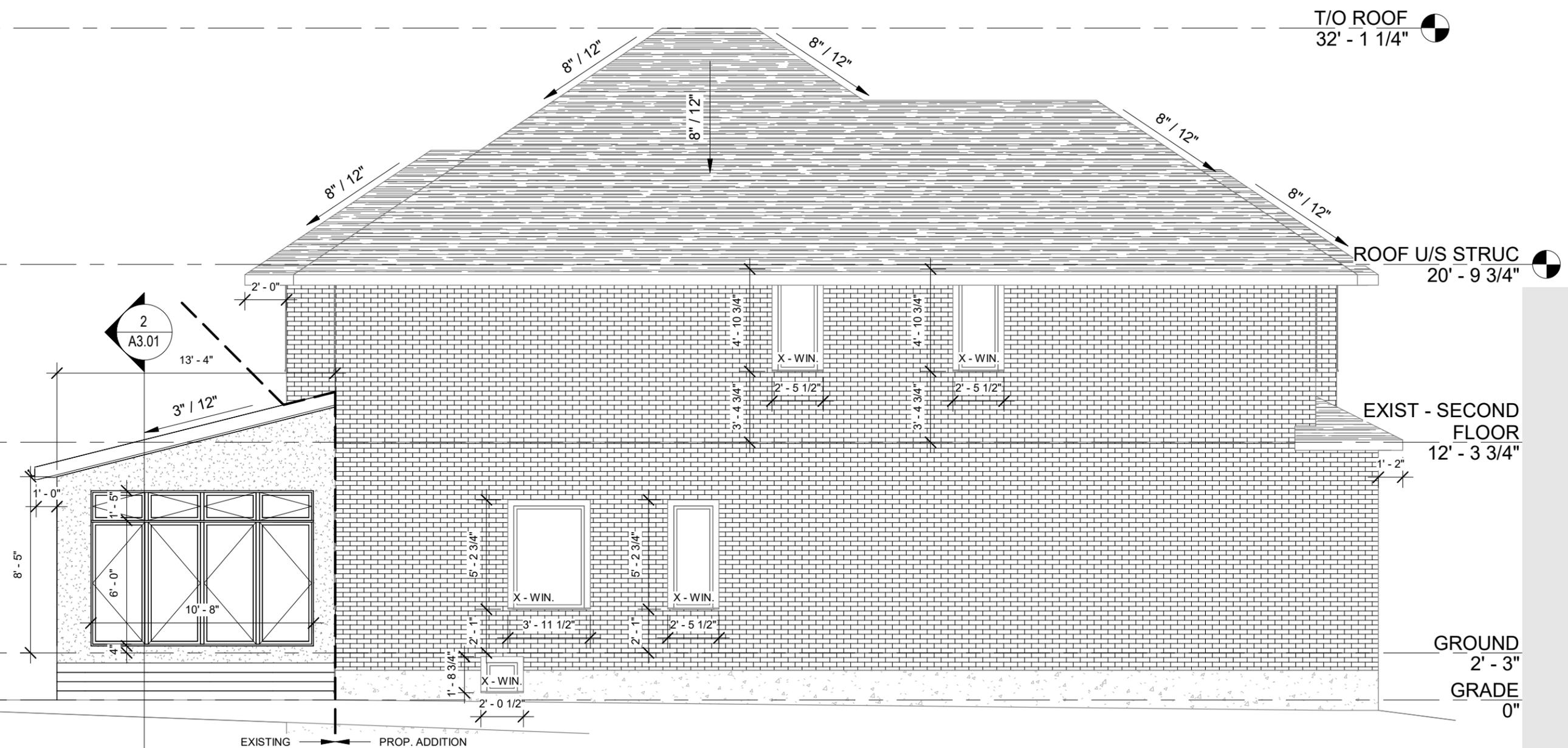
Revisions

Scale 3/16" = 1'-0"

ELEVATIONS

A2.02

Sheet No. ©2021



1 WEST ELEVATION
3/16" = 1'-0"

T/O ROOF
32' - 1 1/4"

ROOF U/S STRUC
20' - 9 3/4"

EXIST - SECOND FLOOR
12' - 3 3/4"

GROUND
2' - 3"
GRADE
0"



REAR ADDITION

104 KENDRICK CRT. ANCASTER

Project No. 21115
Revisions

Scale 3/16" = 1'-0"

ELEVATIONS

A2.03

Sheet No. ©2021



Committee of Adjustment
 City Hall, 5th Floor,
 71 Main St. W.,
 Hamilton, ON L8P4Y5

Phone: (905) 546-2424 ext. 4221
 Email: cofa@hamilton.ca

APPLICATION FOR A MINOR VARIANCE

FOR OFFICE USE ONLY.	
APPLICATION NO. _____	DATE APPLICATION RECEIVED _____
PAID _____	DATE APPLICATION DEEMED COMPLETE _____
SECRETARY'S SIGNATURE _____	

The Planning Act

Application for Minor Variance or for Permission

The undersigned hereby applies to the Committee of Adjustment for the City of Hamilton under Section 45 of the *Planning Act*, R.S.O. 1990, Chapter P.13 for relief, as described in this application, from the Zoning By-law.

1, 2	NAME	MAILING ADDRESS
Registered Owners(s)		
Applicant(s)*		
Agent or Solicitor		

Note: Unless otherwise requested all communications will be sent to the agent, if any.

3. Names and addresses of any mortgagees, holders of charges or other encumbrances:

None

Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled

Variances

REAR YARD setback Requirement: 7m

Existing: 7.9m Proposed: 4.55m

4. Nature and extent of relief applied for:

Relief from rear yard setback &
40% maximum lot coverage

MAX LOT coverage Requirement: 40%
Existing: 36% Proposed: 42%

Reconstruction of Existing Dwelling

5. Why it is not possible to comply with the provisions of the By-law?

Existing subdivision small lot

6. Legal description and Address of subject lands (registered plan number and lot number or other legal description and where applicable,
- street and street number**
-):

104 Kendrick Ct Ancaster, ON L9G 5E8

7. PREVIOUS USE OF PROPERTY

Residential Industrial Commercial

Agricultural Vacant

Other _____

- 8.1 If Industrial or Commercial, specify use
- n/a

- 8.2 Has the grading of the subject land been changed by adding earth or other material, i.e. has filling occurred?

Yes No Unknown

- 8.3 Has a gas station been located on the subject land or adjacent lands at any time?

Yes No Unknown

- 8.4 Has there been petroleum or other fuel stored on the subject land or adjacent lands?

Yes No Unknown

- 8.5 Are there or have there ever been underground storage tanks or buried waste on the subject land or adjacent lands?

Yes No Unknown

- 8.6 Have the lands or adjacent lands ever been used as an agricultural operation where cyanide products may have been used as pesticides and/or sewage sludge was applied to the lands?

Yes No Unknown

- 8.7 Have the lands or adjacent lands ever been used as a weapon firing range?

Yes No Unknown

- 8.8 Is the nearest boundary line of the application within 500 metres (1,640 feet) of the fill area of an operational/non-operational landfill or dump?

Yes No Unknown

- 8.9 If there are existing or previously existing buildings, are there any building materials remaining on site which are potentially hazardous to public health (eg. asbestos, PCB's)?

Yes No Unknown

8.10 Is there any reason to believe the subject land may have been contaminated by former uses on the site or adjacent sites?

Yes No Unknown

8.11 What information did you use to determine the answers to 8.1 to 8.10 above?

Existing residential for ±20 years

8.12 If previous use of property is industrial or commercial or if YES to any of 8.2 to 8.10, a previous use inventory showing all former uses of the subject land, or if appropriate, the land adjacent to the subject land, is needed.

Is the previous use inventory attached? Yes No

9. ACKNOWLEDGEMENT CLAUSE

I acknowledge that the City of Hamilton is not responsible for the identification and remediation of contamination on the property which is the subject of this Application – by reason of its approval to this Application.

February 1st, 2022
Date



Signature Property Owner(s)
Signature Property Owner(s)

Christine & Luigi Battiston
Print Name of Owner(s)

10. Dimensions of lands affected:

Frontage	12m
Depth	31m
Area	372m ²
Width of street	7.8m

11. Particulars of all buildings and structures on or proposed for the subject lands: (Specify ground floor area, gross floor area, number of stories, width, length, height, etc.)

Existing: _

Ground floor Area: 1471sf [136m ²]	Width: 31' 5-1/2" [9.59m]
Gross Floor Area: 2771sf [257.4m ²]	Length: 52'-4" [15.95m]
Number of Stories: 2	Height: 32' 1" [9.79m]

F

Ground floor Area: 1722sf [150.8m ²]	Width: 31' 5-1/2" [9.59m] unchanged
Gross Floor Area: 2930sf [272.2m ²]	Length: 63' 4" [19.3m]
Number of Stories: 2 unchanged	Height: 32' 1" [9.79m] unchanged

12. Location of all buildings and structures on or proposed for the subject lands; (Specify distance from side, rear and front lot lines)

Existing:

Front yard:	23' 5-1/2" [7.15m]
Side yard:	4' 1/2" [1.23m]
Side yard (drive):	3' 11-1/4" [1.2m]
Rear yard:	25'-11" [7.9m]

Proposed:

Front yard:	23' 5-1/2" [7.15m] unchanged	Front Add'n:	n/a
Side yard:	4' 1/2" [1.23m] unchanged	Side Add'n:	12' 5-1/4" [3.79m]
Side yard (drive):	3' 11-1/4" [1.2m] unchanged	Side Add'n(drive):	14' 3-1/2" [4.36m]
Rear yard:	14'-11" [4.55m]	Rear Add'n:	14' 11" [4.55m]

13. Date of acquisition of subject lands:
5+ years
-
14. Date of construction of all buildings and structures on subject lands:
2000's
-
15. Existing uses of the subject property (single family, duplex, retail, factory etc.):
Residential
-
16. Existing uses of abutting properties (single family, duplex, retail, factory etc.):
Residential
-
17. Length of time the existing uses of the subject property have continued:
±20 years
-
18. Municipal services available: (check the appropriate space or spaces)
Water YES Connected YES
Sanitary Sewer YES Connected YES
Storm Sewers YES
19. Present Official Plan/Secondary Plan provisions applying to the land:
n/a
20. Present Restricted Area By-law (Zoning By-law) provisions applying to the land:
n/a
21. Has the owner previously applied for relief in respect of the subject property? (Zoning By-law Amendment or Minor Variance)
 Yes No
- If yes, please provide the file number:
n/a
- 21.1 If a site-specific zoning by-law amendment has been received for the subject property, has the two-year anniversary of the by-law being passed expired?
 Yes No
- 21.2 If the answer is no, the decision of Council, or Director of Planning and Chief Planner that the application for Minor Variance is allowed must be included. Failure to do so may result in an application not being "received" for processing.
22. Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?
 Yes No
23. Additional Information (please include separate sheet if needed)
-
24. The applicant shall attach to each copy of this application a plan showing the dimensions of the subject lands and of all abutting lands and showing the location, size and type of all buildings and structures on the subject and abutting lands, and where required by the Committee of Adjustment such plan shall be signed by an Ontario Land Surveyor.



Hamilton

COMMITTEE OF ADJUSTMENT

City Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5
 Telephone (905) 546-2424, ext. 4221, 3935 Fax (905) 546-4202
 E-mail: cofa@hamilton.ca

NOTICE OF PUBLIC HEARING
Minor Variance

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
- Applicant/agent on file, or
- Person likely to be interested in this application

APPLICATION NO.: SC/A-22:66

APPLICANTS: Agent Svedas Architects Inc.
 Owner HWCDSB – P. Ferrie

SUBJECT PROPERTY: Municipal address **29 John Murray St., Stoney Creek**

ZONING BY-LAW: Zoning By-law 05-200, as Amended

ZONING: "I1" (Neighbourhood Institutional) district

PROPOSAL: To permit the construction an Educational Establishment (Elementary School) which includes a Day Nursery in order to facilitate Site Plan File No. DA-21-095 notwithstanding that:

1. The existing hydro switching vault (located at the east side of the easterly driveway) within the front yard shall have a minimum setback of 0.7m from the John Murray Street street line and shall not be required to be screened from the street by an enclosure or landscaping instead of the requirement that mechanical and unitary equipment within a required front yard shall have a minimum setback of 3.0 metres from the street line and shall be screened from the street by an enclosure or landscaping.
2. No planting strip shall be provided between the John Murray Street street line and the parking spaces and aisles at the west side of the easterly driveway which provides access to the parking lot containing forty-nine (49) parking spaces instead of the requirement that a 3.0 metre wide planting strip shall be provided and permanently maintained between the street line and parking spaces and aisles, giving direct access to abutting parking spaces, excluding driveways extending directly from the street.

NOTE:

- i) The variances are necessary to facilitate Site Plan File No. DA-21-095.

This application will be heard by the Committee as shown below:

DATE: Thursday, April 7th, 2022
TIME: 1:50 p.m.
PLACE: Via video link or call in (see attached sheet for details)
 To be streamed at
www.hamilton.ca/committeeofadjustment
 for viewing purposes only

SC/A-22: 66

Page 2

PUBLIC INPUT

Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

Orally: If you would like to speak to this item at the hearing you may do so via video link or by calling in. Please see attached page for complete instructions, including deadlines for registering to participate.

MORE INFORMATION

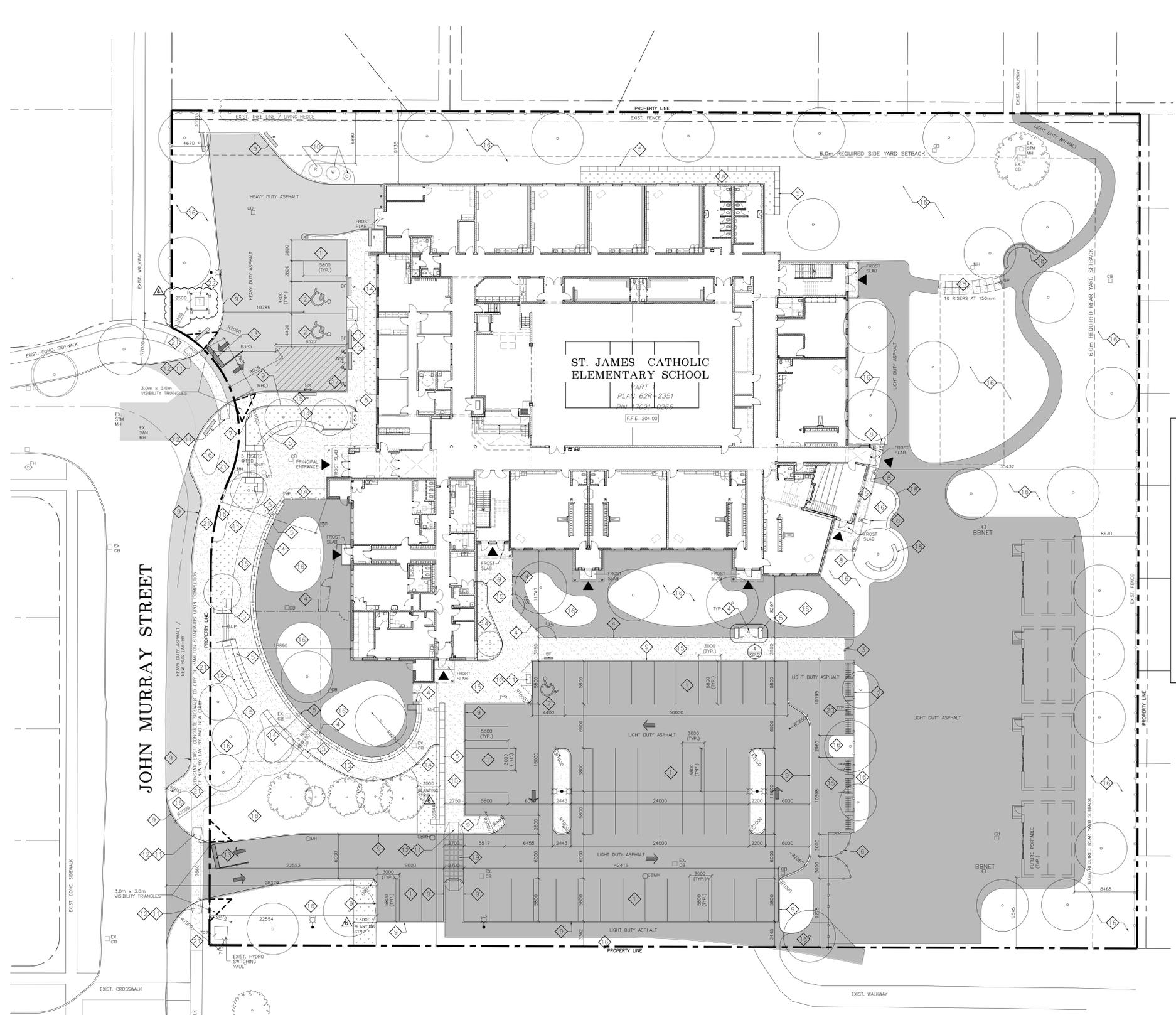
For more information on this matter, including access to drawings illustrating this request:

- Visit www.hamilton.ca/committeeofadjustment
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935
- Email Committee of Adjustment staff at cofa@hamilton.ca

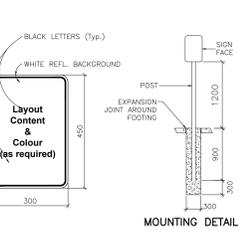
DATED: March 22nd, 2022.

Jamila Sheffield,
Secretary-Treasurer
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public.



- ### CONSTRUCTION NOTES:
- 1. ALL PARKING STALLS TO BE DELINEATED WITH 100mm WIDE PAINTED YELLOW LINES.
 - 2. ACCESSIBLE PARKING SYMBOL MARKING IN YELLOW PAINT ON PAVEMENT.
 - 3. 1.8M HIGH HEAVY DUTY GALVANIZED CHAIN LINK FENCE C/W LOCKABLE SWING GATE. REFER TO LPI FOR DETAILS.
 - 4. 1.5M HIGH DECORATIVE STEEL FENCE C/W 1.5M HIGH x 1.5M SINGLE DOUBLE WIDE LOCKABLE METAL SWING GATES. POWDER COATED COLOUR FINISH. REFER TO LANDSCAPE PLAN LPI FOR DETAILS.
 - 5. SEGMENTED RETAINING SEAT WALL. REFER TO LANDSCAPE DRAWING LPI.
 - 6. 1.8M HIGH x 3.0M WIDE HEAVY DUTY GALVANIZED SECURITY GATE. CHAIN LINK SYSTEM. LOCKABLE. (SEE 3) SWING VEHICULAR GATE C/W ROLLING GATE WHEELS AND/OR ASSOCIATED ENGINEERED HARDWARE @ 2.0M WIDE ea. (Refer to Detail Drawing LP-3)
 - 7. 7620mm FLAGPOLE. SEE DETAIL THIS PAGE.
 - 8. EXPOSED ARCHITECTURAL FINISHED CONCRETE (AFC) COLLAR PER C/W CHAMFERED EDGES. REFER TO WALL SECTIONS.
 - 9. VERTICAL CONCRETE CURB. REFER TO DETAIL THIS PAGE.
 - 10. MOLYBDEUM DEEP-COLLECTION WASTE MANAGEMENT SYSTEM. REFER TO DETAIL ON DRAWING LP-1.
 - 11. CONCRETE CURBING - RAMM/CURB DEPRESSION. REFER TO LANDSCAPE PLAN LPI FOR DETAIL.
 - 12. INSTALL CAST-IN-PLACE ACCESS TACTILE SYSTEM.
 - 13. STOP LINE DELINEATED WITH 400mm WIDE PAINTED YELLOW LINE WITH 100mm WIDE LINE MARKINGS.
 - 14. LANDSCAPE PLANTING AREA. REFER TO LANDSCAPE DRAWINGS.
 - 15. CONCRETE WALKWAY. REFER TO LANDSCAPE DRAWINGS.
 - 16. 300. REFER TO LANDSCAPE DRAWINGS.
 - 17. 100mm DIAGONAL PAINTED LINES.
 - 18. PRECAST SEATING BENCH.
 - 19. CROSSWALK. REFER TO LANDSCAPE DRAWINGS.
 - 20. BICYCLE RACKS. REFER TO LANDSCAPE DRAWINGS.
 - 21. CONCRETE SIDEWALK TO CITY OF HAMILTON STANDARDS. NOTE: ALL EXISTING MUNICIPAL SIDEWALK JNDS/BS CURB DAMAGED DURING CONSTRUCTION TO BE REPLACED TO CITY OF HAMILTON STANDARDS.
 - 22. NEW TRANSFORMER C/W CONCRETE PAD AND BOLLARDS. REFER TO ELECTRICAL DRAWINGS.



- ### TRAFFIC SIGNAGE
- SCALE: 1:12
1. TO A 75mm GALV. STL. POST W/12mm GALV. HEX HEAD BOLTS AND NUTS WITH WASHERS BOTH SIDES.

SITE PLAN STATISTICS

ITEM		REQUIREMENT	PROVIDED
NET LOT AREA	4,000 SM (square metres) (0.4ha)		
BUILDING COVERAGE (MAXIMUM)	2,384 SM = 12.38%		
BUILDING HEIGHT (MAXIMUM PERMITTED)	10.5 M (MAX. PROPOSED)	8.9 M (top of gpm roof)	
STORIES (MAXIMUM)	2		
GROUND FLOOR AREA	3,405 SM		
SECOND FLOOR AREA	2,432 SM		
CROSS FLOOR AREA	5,847 SM		
SETBACKS:			
FRONT YARD (CONSTRUCTION WEST)	0.0 M	13.2 M	
SIDE YARD (CONSTRUCTION NORTH)	6.0 M	9.7 M	
(CONSTRUCTION SOUTH)	0.0 M	35.5 M	
REAR (CONSTRUCTION EAST)	6.0 M	35.4 M	
PARKING SPACES REQUIRED FOR SCHOOL (1.25 PER CLASSROOM (28 CLASSROOMS INCL. FUTURE PATRONS))	35		
PARKING SPACES PROVIDED	53		
BARRIER FREE PARKING SPACES REQUIRED (2/100 SPACES AT 4.4M x 5.8M L EACH)	1		
BARRIER FREE PARKING SPACES PROVIDED (4.4M x 5.8M)	3		
LOADING SPACE REQUIRED AND PROVIDED	0		
BICYCLE PARKING REQUIRED	2 x 28 = 56		
BICYCLE PARKING PROVIDED	64		

- ### LEGEND
- PROPERTY LINE
 - EXIST. CHAIN LINK FENCE LINE
 - PROPOSED CHAIN LINK FENCE LINE
 - DECORATIVE ARCHITECTURAL WIRE FENCE
 - ▲ BUILDING ENTRANCE LOCATION
 - ▲ PAINTED DIRECTIONAL TRAFFIC ARROW IN YELLOW
 - TRUCK TURNING RADIUS
 - PAINTED BARRIER FREE SYMBOL IN YELLOW
 - BOLLARD TYPE 1. SEE DETAIL THIS PAGE.
 - CB REFER TO SITE SERVICES PLAN
 - CBMH FOR CATCH BASIN, CATCH BASIN MANHOLE & CATCH BASIN
 - DCBHM BASIN MANHOLE INFORMATION
 - PROPOSED STANDPIPE
 - EXISTING FIRE HYDRANT
 - PROPOSED SAMOSE CONNECTION
 - EXISTING TREE (REFER TO TREE MANAGEMENT REPORT FOR DETAILS)
 - EXISTING TREE
 - PROPOSED TREE
 - PROPOSED LIGHT STANDOFF
 - CONCRETE
 - LANDSCAPE PLANTING
 - LIGHT DUTY ASPHALT
 - HEAVY DUTY ASPHALT

UNPERTAINING FILE No. DA-21-095
 RE: 29 JOHN MURRAY ST., HAMILTON

1. (We) Hamilton-Wentworth Catholic District School Board, the owner(s) of the land, hereby undertake and agree without reservation,

(a) to comply with all the content of this plan and drawing and not to vary therefrom;

(b) to perform the facilities, works or matters mentioned in Section 41(7)(a) of the Planning Act shown on this plan and drawing(s) in accordance with the conditions of approval as set out in the Letter of Approval dated _____;

(c) to maintain to the satisfaction of the City and at my (our) sole risk and expense, all of the facilities, works or matters mentioned in Section 41(7)(b) of the said Act, shown in this plan and drawing, including removal of snow from access ramps and driveways, parking and loading areas and walkways; and

(d) Growth Planning: that the owner agrees to physically affix the municipal number (29) or Murray Street (29 John Murray Street) to the building or on a sign in accordance with the city's sign by-law, in a manner that is visible from the street.

(e) Cultural Acknowledgement Note: "acknowledgement note: the subject property has been determined to be an area of archaeological potential. It is responsible to expect that archaeological resources may be encountered during any demolition, grading, construction activities, landscaping, staging, stockpiling or other soil disturbances. If archaeological resources are encountered, the proponent may be required to conduct an archaeological assessment prior to further impact in order to address these concerns and mitigate, through prevention or resource removal and documentation, adverse impacts to any significant archaeological resources found. Mitigation, by an Ontario-licensed archaeologist, may include the monitoring of any mechanical excavation originating from this project. If archaeological resources are identified on-site, further stage 3 site-specific assessment and steps for mitigation of development impacts may be required as determined by the Ontario Ministry of Heritage, Sport, Tourism and Culture Industries (mhtci). All archaeological reports shall be submitted to the city of Hamilton for approval concurrent with their submission to the mhtci. should deeply buried archaeological materials be found on the property during any of the above development activities the mhtci should be notified immediately (416-212-8886). In the event that human remains are encountered during construction, the proponent should immediately contact both mhtci and the registrar or deputy registrar of the cemetery's registration unit of the ministry of government and consumer services (416-212-7499)."

Dated this _____ day of _____ 20____

Witness (signature) _____ Owner(s) (signature) _____ (seal)

Witness (print) _____ Owner (print) _____

Address of Witness _____

TRAFFIC CIRCULATION & FIRE ROUTE SIGNAGE

STOP (R9-1) REGULATORY SIGN 60cm x 60cm
 BARRIER FREE DISCRETE PARKING SPACE SIGN CITY OF HAMILTON BY-LAW No. 01-220
 FIRE ROUTE 'NO PARKING' C/W DIRECTIONAL ARROW(S) SIGN CITY OF HAMILTON BY-LAW No. 01-217
 FIRE ROUTE 'NO STOPPING' C/W DIRECTIONAL ARROW(S) SIGN CITY OF HAMILTON BY-LAW No. 01-217
 BUSES ONLY SIGN

No.	DATE	DESCRIPTION
6	22/02/02	ISSUED FOR SITE PLAN COMMENTS
5	22/01/05	ISSUED FOR SITE PLAN COMMENTS
4	21/12/08	ISSUED FOR SITE PLAN COMMENTS
3	21/02/28	ISSUED FOR TENDER
2	21/02/21	SITE PLAN COMMENTS
1	21/04/29	ISSUED FOR SITE PLAN

- ### SITE PLAN NOTES
- ALL WORK INVOLVED IN THE CONSTRUCTION, REPAIR OF MUNICIPAL SERVICES FOR THE PROJECTS SHALL BE TO THE SATISFACTION OF THE DIRECTOR OF PLANNING AND CHIEF PLANNING, PLANNING AND ECONOMIC DEVELOPMENT DEPARTMENT.
 - FIRE ROUTE SIGNS AND 3-WAY FIRE HYDRANTS SHALL BE ESTABLISHED TO THE SATISFACTION OF THE CITY FIRE DEPARTMENT AND AT THE EXPENSE OF THE OWNER.
 - MAIN DRIVEWAY DIMENSIONS AT THE PROPERTY LINE BOUNDARIES ARE PLUS OR MINUS 7.5m UNLESS OTHERWISE STATED.
 - ALL DRIVEWAYS FROM PROPERTY LINES FOR THE FIRST 7.5m SHALL BE WITHIN 5% MAXIMUM GRADE, THEREAFTER, ALL DRIVEWAYS SHALL BE WITHIN 10% MAXIMUM GRADES.
 - THE APPROVAL OF THIS PLAN DOES NOT EXEMPT THE OWNER'S BONDED CONTRACTOR FROM THE REQUIREMENTS TO OBTAIN THE VARIOUS PERMITS/APPROVALS NORMALLY REQUIRED TO COMPLETE A CONSTRUCTION PROJECT, SUCH AS, BUT NOT LIMITED TO THE FOLLOWING:
 - BUILDING PERMIT
 - SEWER AND WATER PERMITS
 - ROAD CUT PERMITS
 - RELOCATION OF SERVICES
 - APPROACH APPROVAL PERMITS
 - ENCROACHMENT AGREEMENTS (IF REQUIRED)
 - COMMITTEE OF ADJUSTMENT
 - ABANDONED ACCESSES MUST BE REMOVED AND THE CURB AND BOULEVARD RESTORED WITH 500 AT THE OWNER'S EXPENSE TO THE SATISFACTION OF THE TRAFFIC ENGINEERING SECTION, PUBLIC WORKS DEPARTMENT.
 - FOR VISIBILITY TRIANGLES AT THE VEHICULAR ACCESS POINTS, THE FOLLOWING NOTE TO BE PROVIDED: "3M BY 3M VISIBILITY TRIANGLES IN WHICH THE MAXIMUM HEIGHT OF ANY OBJECTS OR MATURE VEGETATION IS NOT TO EXCEED A HEIGHT OF 0.70 METERS ABOVE THE CORRESPONDING PERPENDICULAR CENTRELINE ELEVATION OF THE ADJACENT STREET"
 - PROPOSED STORAGE SHALL CONFORM TO THE CITY'S SIGN AND OTHER DEVICES BY-LAW No. 10-197.
 - LIGHTING MUST BE DIRECTED ON SITE AND MUST NOT SPILL OVER TO ADJACENT PROPERTIES OR STREETS.
 - FOR VISIBILITY TRIANGLES AT THE VEHICULAR ACCESS POINTS, THE FOLLOWING NOTE TO BE PROVIDED: "3 METER BY 3 METER VISIBILITY TRIANGLES IN WHICH THE MAXIMUM HEIGHT OF ANY OBJECTS OR MATURE VEGETATION IS NOT TO EXCEED A HEIGHT OF 0.70 METERS ABOVE THE CORRESPONDING PERPENDICULAR CENTRELINE ELEVATION OF THE ADJACENT STREET"
 - THE SUBJECT PROPERTY IS ELIGIBLE FOR MUNICIPAL COLLECTION OF RECYCLABLE MATERIAL THROUGH THE CITY OF HAMILTON, PROVIDED THAT A RECYCLING SERVICE AGREEMENT IS IN PLACE AND SUBJECT TO COMPLIANCE WITH SPECIFICATIONS INDICATED BY THE OPERATIONS AND WASTE MANAGEMENT DIVISION. THE SUBJECT PROPERTY IS ELIGIBLE FOR MUNICIPAL COLLECTION OF GARBAGE, ORGANICS AND LEAF AND YARD WASTE THROUGH THE CITY OF HAMILTON. WASTE COLLECTION SERVICES MUST BE ARRANGED WITH A PRIVATE WASTE HAULER(S).
 - ALL SIGNAGE SHALL CONFORM TO HAMILTON SIGN BY-LAW 10-197.

GENERAL NOTES:

1. REFER TO S. LLEWELLYN & ASSOCIATES LIMITED CONSULTING ENGINEERS SITE SERVICES PLAN FOR STORM/SANITARY MANHOLES, CATCH BASINS, CATCH BASIN MANHOLES & DOUBLE CATCH BASIN MANHOLE.

2. REFER TO LANDSCAPE DRAWINGS FOR ASPHALT PAVING, CONCRETE PAVING, CONCRETE CURBING, BOLLARDS, SOODING PLANT MATERIAL AND ALL RELATED DETAILS.

3. ALL WORK INVOLVED IN THE CONSTRUCTION, RELOCATION, REPAIR OF MUNICIPAL SERVICES FOR THE PROJECT SHALL BE TO THE SATISFACTION OF THE DIRECTOR OF PLANNING, PLANNING AND ECONOMIC DEVELOPMENT DEPARTMENT.

4. FIRE ROUTE SIGNS AND 3-WAY FIRE HYDRANTS SHALL BE ESTABLISHED TO THE SATISFACTION OF THE CITY FIRE DEPARTMENT AND AT THE EXPENSE OF THE OWNER.

5. MAIN DRIVEWAY DIMENSIONS AT THE PROPERTY LINE BOUNDARIES ARE PLUS OR MINUS 7.5m UNLESS OTHERWISE STATED.

6. ALL DRIVEWAYS FROM PROPERTY LINES FOR THE FIRST 7.5m SHALL BE WITHIN 5% MAXIMUM GRADE, THEREAFTER, ALL DRIVEWAYS SHALL BE WITHIN 10% MAXIMUM GRADES.

7. THE APPROVAL OF THIS PLAN DOES NOT EXEMPT THE OWNER'S BONDED CONTRACTOR FROM THE REQUIREMENTS TO OBTAIN THE VARIOUS PERMITS/APPROVALS NORMALLY REQUIRED TO COMPLETE A CONSTRUCTION PROJECT, SUCH AS, BUT NOT LIMITED TO THE FOLLOWING:

- BUILDING PERMIT
- SEWER AND WATER PERMITS
- ROAD CUT PERMITS
- RELOCATION OF SERVICES
- APPROACH APPROVAL PERMITS
- ENCROACHMENT AGREEMENTS (IF REQUIRED)
- COMMITTEE OF ADJUSTMENT

8. FOR VISIBILITY TRIANGLES AT THE VEHICULAR ACCESS POINTS, THE FOLLOWING NOTE TO BE PROVIDED: "3 METER BY 3 METER VISIBILITY TRIANGLES IN WHICH THE MAXIMUM HEIGHT OF ANY OBJECTS OR MATURE VEGETATION IS NOT TO EXCEED A HEIGHT OF 0.70 METERS ABOVE THE CORRESPONDING PERPENDICULAR CENTRELINE ELEVATION OF THE ADJACENT STREET"

9. THE SUBJECT PROPERTY IS ELIGIBLE FOR MUNICIPAL COLLECTION OF RECYCLABLE MATERIAL THROUGH THE CITY OF HAMILTON, PROVIDED THAT A RECYCLING SERVICE AGREEMENT IS IN PLACE AND SUBJECT TO COMPLIANCE WITH SPECIFICATIONS INDICATED BY THE OPERATIONS AND WASTE MANAGEMENT DIVISION. THE SUBJECT PROPERTY IS ELIGIBLE FOR MUNICIPAL COLLECTION OF GARBAGE, ORGANICS AND LEAF AND YARD WASTE THROUGH THE CITY OF HAMILTON. WASTE COLLECTION SERVICES MUST BE ARRANGED WITH A PRIVATE WASTE HAULER(S).

10. ALL SIGNAGE SHALL CONFORM TO HAMILTON SIGN BY-LAW 10-197.

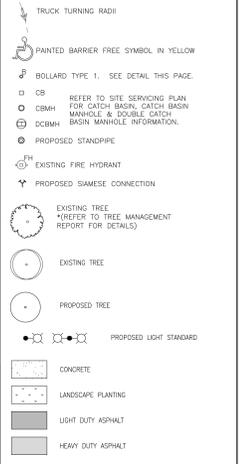
YORKDALE CRESCENT

CONSTRUCTION NORTH

SITE PLAN

DA-21-095

SCALE: 1:200
 DATE: SEPT. 21, 2021
 DRAWN: MM
 CHECKED: AVS
 PROJECT No.: 120811
 DRAWING No.: SP1



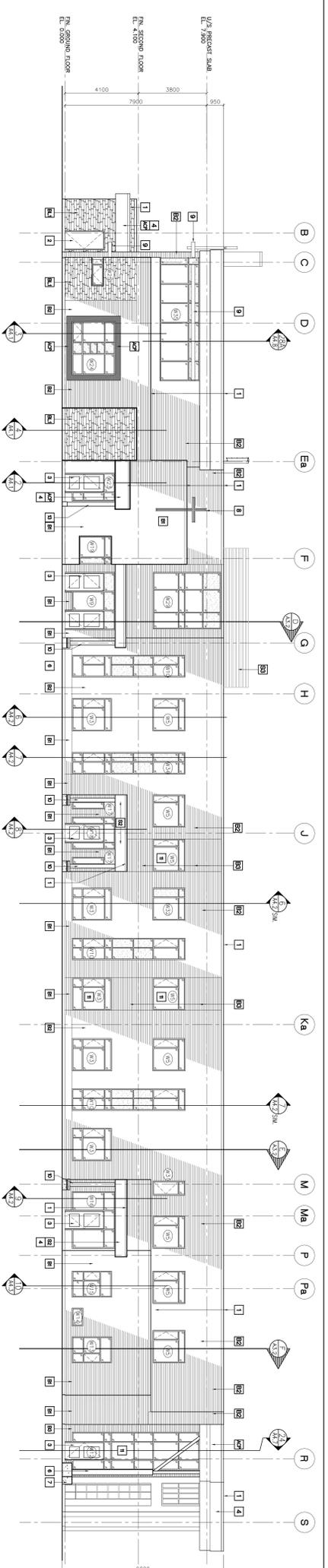
ANTONIO ASSOCIATION OF ARCHITECTS & ENGINEERS SVEDAS ARCHITECTS INC. 3294

Hamilton-Wentworth Catholic District School Board
 Believing. Achieving. Serving.

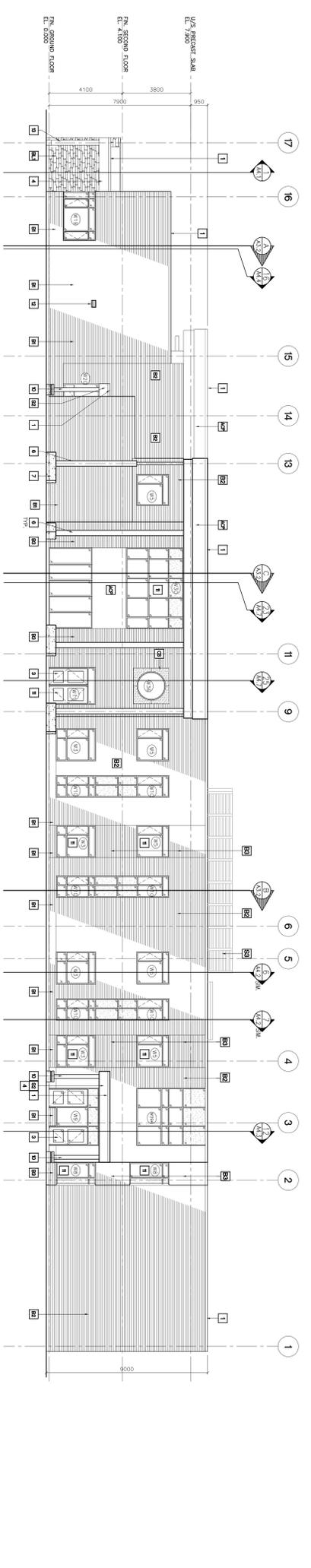
SVEDAS / ARCHITECTS INC.
 1084 BROMFIELD DRIVE, BRANTFORD, ONTARIO, L7R 1V2
 TEL: (905) 398-7771

ST. JAMES CATHOLIC ELEMENTARY SCHOOL

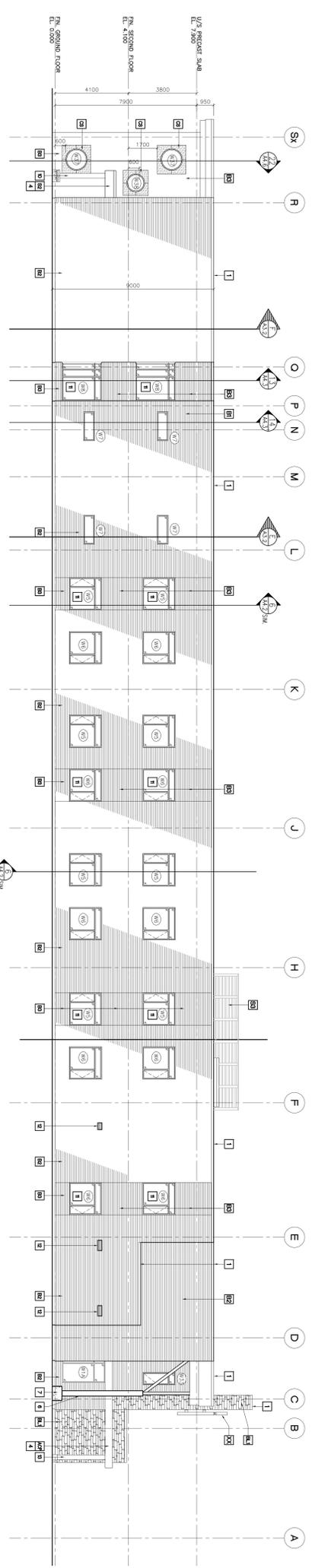
29 JOHN MURRAY STREET STONEY CREEK ONTARIO



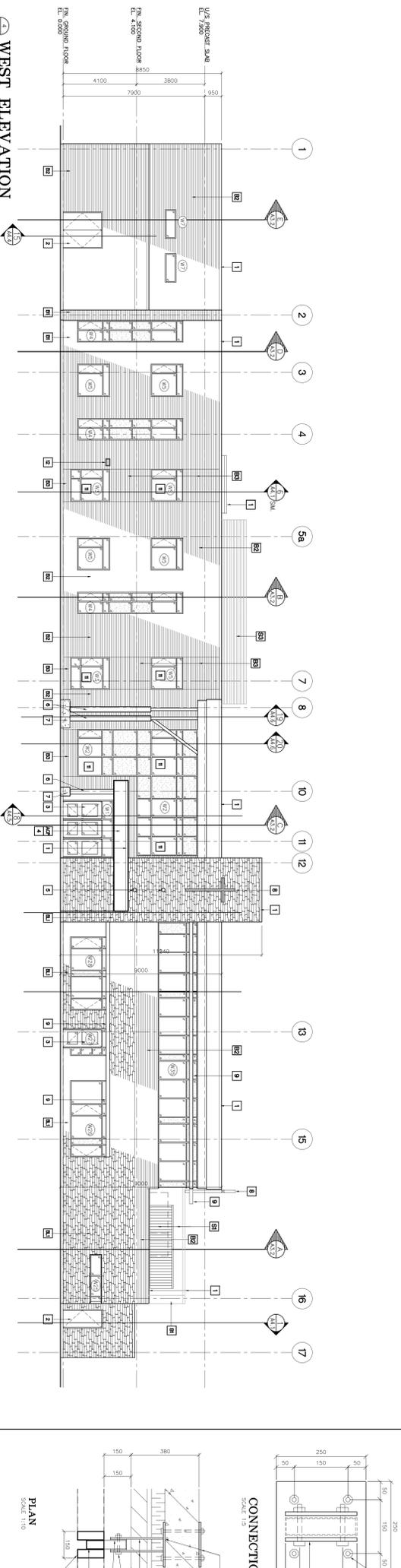
SOUTH ELEVATION
SCALE: 1/160



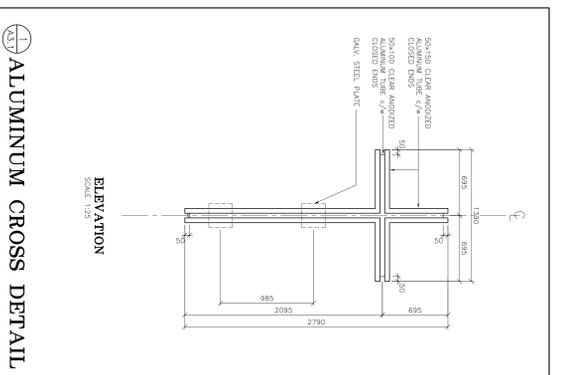
EAST ELEVATION
SCALE: 1/160



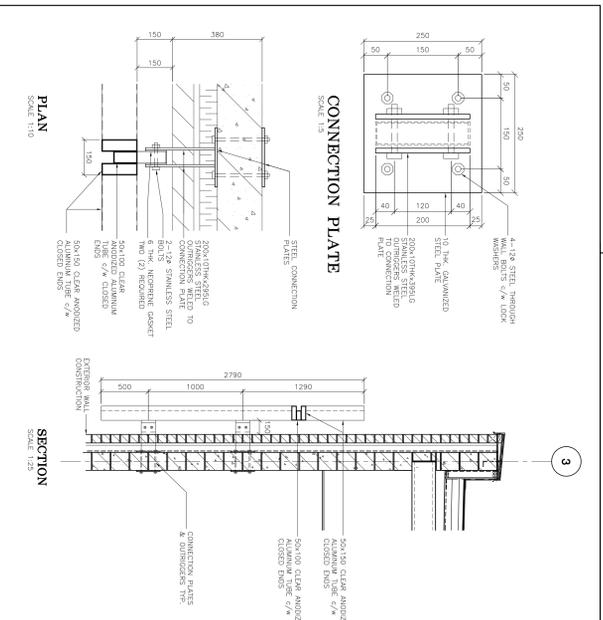
NORTH ELEVATION
SCALE: 1/160



WEST ELEVATION
SCALE: 1/160



ALUMINUM CROSS DETAIL
SCALE: 1/25



ALUMINUM CROSS ALONG GRID LINE W
SCALE: 1/10

- GENERAL NOTES**
- CONTROL JOINTS IN BRICK CENTER TO BE AT A MAXIMUM LOCATION WITH ARCHITECT.
 - REFER TO MECHANICAL AND ELECTRICAL DRAWINGS FOR WALL MOUNTED UNIT DETAILS, ROOM WALL DETAILS, SINKS/CABS AND ALL OTHER WALL MOUNTED ITEMS. FLOORING AND WORKING HEIGHTS TO CLARY.
- LEGEND:**
- BR-1: BRICK TYPE 1
 - BR-2: BRICK TYPE 2
 - BR-3: BRICK TYPE 3
 - CAST STONE
 - CSAU TYPE 1
 - ALUMINUM COMPOSITE PANEL
 - MWP-1: METAL WALL PANEL TYPE 1
 - MWP-2: METAL WALL PANEL TYPE 2
 - MWP-PERF: METAL WALL PANEL TYPE 3
 - WINDOW TYPE
 - PREFINISHED METAL FLASHING
 - HOLLOW METAL DOOR & FRAME/ENTRANCE SCREEN
 - ALUMINUM DOOR & FRAME/ENTRANCE CANOPY
 - WALL MOUNTED LIGHT FIXTURE
 - COLUMN, PAINT FINISH
 - EXPOSED ARCHITECTURAL FINISHED CONCRETE (C/F) COLUMN PER C/W
 - CLEAR ANODIZED ALUMINUM CROSS
 - ALUMINUM SUN SHADE OUTRIGGERS
 - COLUMN, PAINT FINISH WITH DECORATIVE CONCRETE BASE
 - DARK BRONZE ANODIZED ALUMINUM WINDOW FRAME (AND-72)
 - PREFINISHED METAL LOUVER
 - GALVANIZED HSS COLUMN C/W CORROSION RING AT GRADE

NOTE: REFER TO ARCHITECTURAL SPECIFICATIONS FOR DETERMINATION OF MATERIALS.

REVISIONS

No.	DATE/REV	DESCRIPTION
1	28/10/21	ISSUED FOR TENDER
2	17/11/21	ISSUED FOR APPROVAL #3

ST. JAMES THE APOSTLE CATHOLIC ELEMENTARY SCHOOL
 29 JOHN MURRAY STREET
 STONEY CREEK ONTARIO

ASSOCIATION OF ARCHITECTS OF ONTARIO
 120811
 98971, 287, 2021 AMR

SWEDNS ARCHITECTS INC.
 Hamilton, Westward
 Catholic District School Board
 Reducing Learning Stress

PROJECT NO. 120811
SCALE 1:100
DATE CHECKED
DATE 08/17/2021 AMR

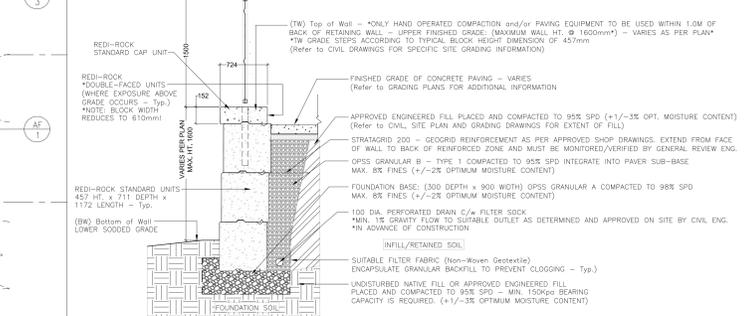
A3.1

PLANT LIST:

Table with columns: Key, Qty, Botanical Name, Common Name, Cal./Size, HT./SPR. (Mature), O.C., Cond., Notes. Lists various trees, shrubs, and perennials.

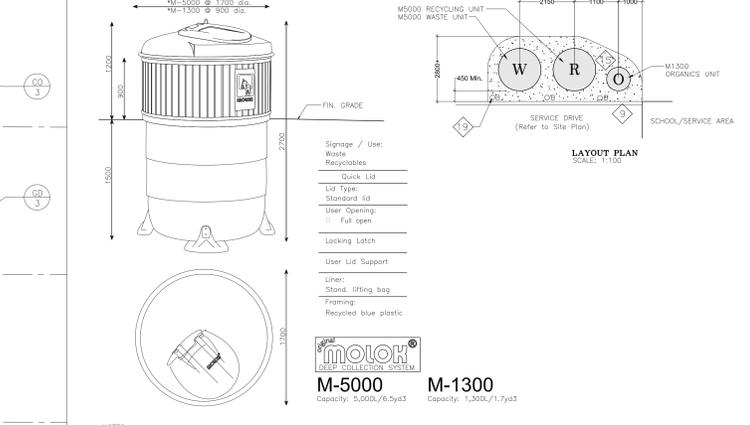
ALL TREES AND SHRUBS SHALL BE NURSERY GROWN AND SUPPLIED IN-STREET ACCORDANCE WITH THE PLANT LIST AS SPECIFIED. SIZES AS SHOWN ARE MINIMUM. PLANT MATERIAL LOCATIONS SHALL BE STAKED OUT BY THE CONTRACTOR FOR APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO EXCAVATION OF PLANTING PITS.

ALL SODDED AREAS TO RECEIVE A MINIMUM SCISSOR DEPTH OF 150mm EXCEPT WHERE THERE MAY BE CONFLICT WITH EXISTING TREE ROOTS. ALL PLANTING BED AREAS TO RECEIVE A MINIMUM CONSTANT PLANTING SOIL DEPTH OF 450mm AS SHOWN PER PLAN AND DETAIL.



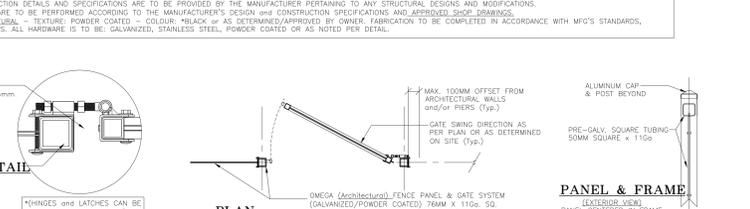
NOTES: ALL SEGMENTED CONCRETE RETAINING WALL (SRW) UNITS ARE LICENSED BY RED-ROCK INTERNATIONAL (www.red-rock.com) PRODUCT: FULL/HALF & DOUBLE SIDED* OR FREE STANDING BLOCKS. TEXTURE: KINGSTONE COLOUR: T.O.D.

SRW DETAILS: (SEGMENTED RETAINING WALL)

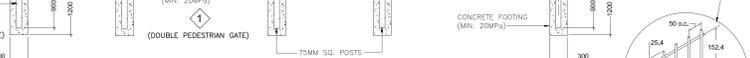
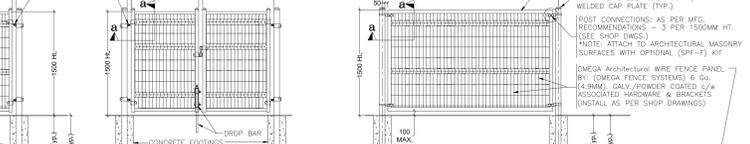


NOTES: 1. INSTALL SYSTEM ACCORDING TO MANUFACTURER'S SPECIFICATIONS. 2. PROTECT REQUIREMENTS: 2 x M5000 UNITS & 1 x M1300 UNIT.

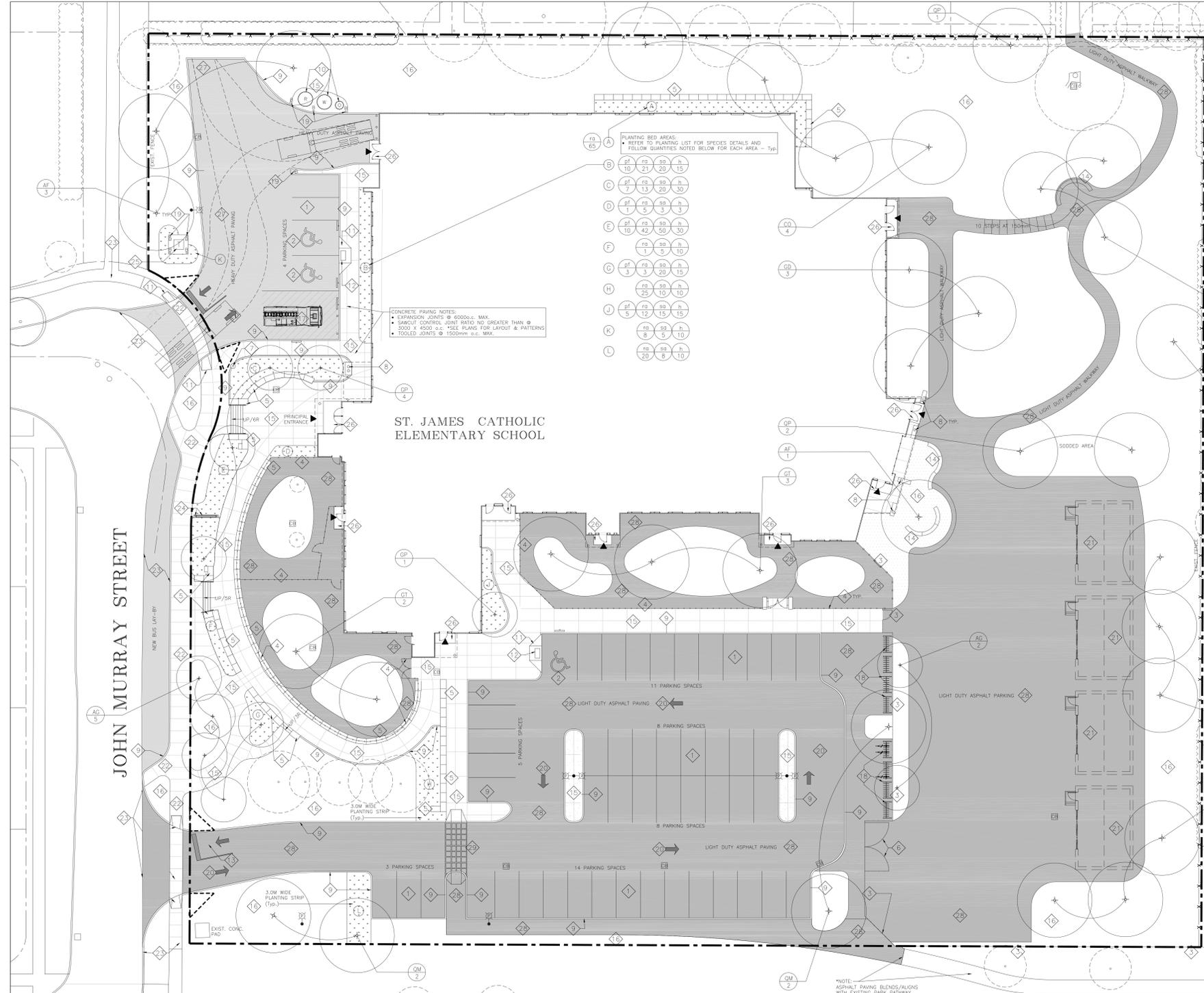
WASTE DETAIL



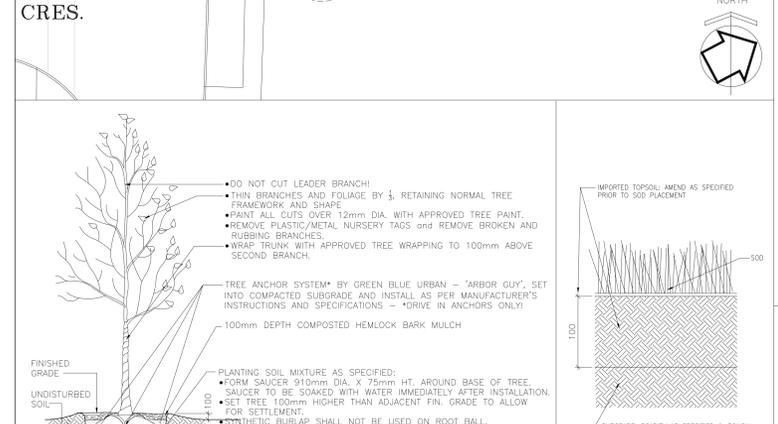
NOTES: FENCE, GATES & HARDWARE TO BE MANUFACTURED/SUPPLIED BY: Metatrack-Omega Inc. - 1735 St Elmer west, Unit, Quebec H7N 3N6 - Tel: (800)839-0342 - Fax: 450-681-5318 - Email: www.omegafence.com (FOR APPROVED EQUALS)



NOTES: FENCE, GATES & HARDWARE TO BE MANUFACTURED/SUPPLIED BY: Metatrack-Omega Inc. - 1735 St Elmer west, Unit, Quebec H7N 3N6 - Tel: (800)839-0342 - Fax: 450-681-5318 - Email: www.omegafence.com (FOR APPROVED EQUALS)



DECIDUOUS TREE DETAIL

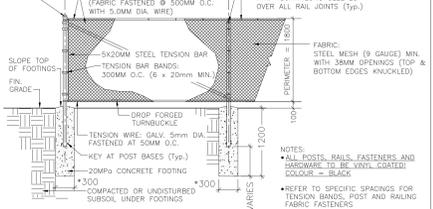


DO NOT CUT LEADER BRANCH! THIN BRANCHES AND FOLIAGE BY 1/3, RETAINING NORMAL TREE FRAMEWORK AND SHAPE.

SODDING

NOTE: SEEDS SHALL BE PLACED HAND TIGHT AGAINST EACH OTHER WITH NO TOPSOIL LEFT EXPOSED.

CHAIN LINK FENCING



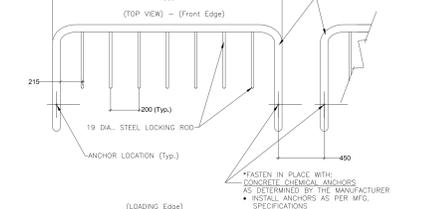
NOTES: 1. INSTALL SYSTEM ACCORDING TO MANUFACTURER'S SPECIFICATIONS. 2. PROTECT REQUIREMENTS: 2 x M5000 UNITS & 1 x M1300 UNIT.

DECIDUOUS SHRUB DETAIL



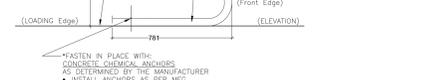
CAREFULLY REMOVE TOP 1/3 OF BURLAP OR CONTAINER. ORGANIC, REMOVE COMPLETELY.

BICYCLE RACKS



NOTES: 1. INSTALL BICYCLE RACKS ACCORDING TO MANUFACTURER'S SPECIFICATION. 2. SHOP DRAWINGS TO BE SUBMITTED/APPROVED PRIOR TO INSTALLATION.

DECORATIVE STEEL FENCING



NOTES: 1. INSTALL SYSTEM ACCORDING TO MANUFACTURER'S SPECIFICATIONS. 2. PROTECT REQUIREMENTS: 2 x M5000 UNITS & 1 x M1300 UNIT.

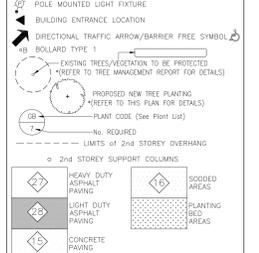
KEY PLAN

REFER TO SITE GRADING AND SERVING PLANS AS PREPARED BY: LUDWIG & ASSOCIATES Ltd., Consulting Engineers, FOR GRADES, STORM/SANITARY MANHOLES AND CATCH BASIN INFORMATION ETC. (PROJECT NO. 20129)

CONSTRUCTION NOTES:

- 1. ALL PARKING STALLS TO BE DELINEATED WITH 100mm HIGH HEAVY DUTY GALVANIZED CHAIN LINK FENCE c/w LOCKABLE SWING GATE.
- 2. 1.8M HIGH HEAVY DUTY GALVANIZED CHAIN LINK SECURITY GATE.
- 3. 1.8M HIGH HEAVY DUTY GALVANIZED CHAIN LINK SECURITY GATE.

LEGEND



REVISIONS

Table with columns: No., DATE, DESCRIPTION. Lists revision history.

Professional seals and logos for OALA (Ontario Association of Landscape Architects) and SVEDAS ARCHITECTS INC.

ST. JAMES CATHOLIC ELEMENTARY SCHOOL 29 JOHN MURRAY STREET STONEY CREEK ONTARIO

LANDSCAPE PLAN

Table with columns: SCALE, DRAWN, PROJECT No., DATE, CHECKED, DRAWING No., JUNE - 2021, AVS, LP.1



SURVEYOR'S REAL PROPERTY REPORT
 PLAN OF SURVEY OF
PART OF
BLOCK A
PLAN M-155
 IN THE
CITY OF HAMILTON
 SCALE 1 : 200

© 2021
 MACKAY, MACKAY & PETERS LIMITED - ONTARIO LAND SURVEYORS

KNOWN AS MUNICIPAL No. 29 JOHN MURRAY STREET

REPORT SUMMARY (PART 2) (to be read in conjunction with Part 1.)
 LAND REGISTER OFFICE FILE INFORMATION ON SUBJECT PROPERTY INCLUDING BOOKNUMBERS, EXEMPTIONS AND PART OF WITH - DATE FEBRUARY 2, 2021
 REGISTERED EASEMENTS AND/OR RIGHTS-OF-WAY:
 SUBJECT TO EASEMENT AS IN INST. NO. L231841

ADDITIONAL REMARKS:
 PART 2 OF THIS REPORT IS FOR THE LOCATION OF BUILDINGS, STRUCTURES, FENCES AND UTILITIES

Mackay, Mackay & Peters Limited grants HAMILTON WENTWORTH CATHOLIC SCHOOL BOARD [The Client(s)], their solicitor and other related parties permission to use "Original Copies" of the Surveyor's Real Property Report in transactions involving The Client(s).

'METRIC' DISTANCES SHOWN HEREON ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

ASSOCIATION OF ONTARIO LAND SURVEYORS
 PLAN SUBMISSION FORM# 2146359

THIS PLAN IS NOT VALID UNLESS IT IS AN EMBOSSED ORIGINAL COPY ISSUED BY THE SURVEYOR IN ACCORDANCE WITH REGULATION 1026, SECTION 29C

LEGEND

- DENOTES A SURVEY MONUMENT FOUND
- DENOTES A SURVEY MONUMENT PLANTED
- SIB DENOTES STANDARD IRON BAR
- IB DENOTES IRON BAR
- R DENOTES ROUND
- DENOTES PROPERTY IDENTIFICATION NUMBER
- C DENOTES CENTRE LINE
- (OU) DENOTES CROWN UNIFORM
- P1 DENOTES PLAN M-155
- P2 DENOTES PLAN M-156
- P3 DENOTES PLAN 62M-899
- P4 DENOTES PLAN 62R-2351
- CB DENOTES CATCH BASIN
- STM MH DENOTES STORM MANHOLE
- SM MH DENOTES SANITARY MANHOLE
- RD DENOTES ROAD SIGN
- T DENOTES TRANSFORMER
- BN DENOTES BOLLARD
- PFE DENOTES FIRST FLOOR ELEVATION
- QM DENOTES GAS METER
- FP DENOTES FLAG POLE
- INW DENOTES INVERT
- FH DENOTES FIRE HYDRANT
- WV DENOTES WATER VALVE
- CU DENOTES GAS MAIN
- CS DENOTES GAS SERVICE
- H DENOTES HYDRO
- WM DENOTES WATER MAIN
- WS DENOTES WATER SERVICE
- SS DENOTES SANITARY SEWER
- STW DENOTES STORM SEWER

BUILDING TIES SHOWN HEREON ARE TO FOUNDATION UNLESS OTHERWISE NOTED

BEARING REFERENCE
 BEARINGS ARE GRID AND ARE REFERRED TO THE WEST LIMIT OF BLOCK A AS SHOWN
 PLAN M-155 HAVING A BEARING OF N17°03'50"E

SURVEYOR'S CERTIFICATE

I CERTIFY THAT:
 1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT AND THE REGULATIONS MADE UNDER THEM.
 2. THE SURVEY WAS COMPLETED ON THE 26th DAY OF MAY, 2021.

JULY 28, 2021
 DATE

[Signature]
 SURVEYOR

FOR: MACKAY, MACKAY AND PETERS LIMITED

040 FILE: E:\03 Hamilton-Wentworth\W-PLAN\W-0150\BLOCK A\21-050\21-050.dwg
 PLAN BY: A.S./S.L.
 PART DRAWN: J.V.
 CHECKED BY: J.V.
 PROJECT NO: 21-050
 3380 South Service Road
 Unit 101
 Burlington, ON
 L7R 3J5
 (905) 639-1375
 mackay@mackayandpeters.com
 mmplimited.com



Committee of Adjustment
 City Hall, 5th Floor,
 71 Main St. W.,
 Hamilton, ON L8P4Y5

Phone: (905) 546-2424 ext. 4221
 Email: cofa@hamilton.ca

APPLICATION FOR A MINOR VARIANCE

FOR OFFICE USE ONLY.	
APPLICATION NO. _____	DATE APPLICATION RECEIVED _____
PAID _____	DATE APPLICATION DEEMED COMPLETE _____
SECRETARY'S SIGNATURE _____	

The Planning Act

Application for Minor Variance or for Permission

The undersigned hereby applies to the Committee of Adjustment for the City of Hamilton under Section 45 of the *Planning Act*, R.S.O. 1990, Chapter P.13 for relief, as described in this application, from the Zoning By-law.

1, 2	NAME	MAILING ADDRESS
Registered Owners(s)	[REDACTED]	
Applicant(s)*		
Agent or Solicitor		

Note: Unless otherwise requested all communications will be sent to the agent, if any.

3. Names and addresses of any mortgagees, holders of charges or other encumbrances:

N/A

Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled

4. Nature and extent of relief applied for:

Variance required for existing underground hydro vault and 3m planting strip.

Second Dwelling Unit Reconstruction of Existing Dwelling

5. Why it is not possible to comply with the provisions of the By-law?

The underground hydro-vault is existing and will not be touched. The planting strip cannot be continuous as a walkway is required at this end as well.

6. Legal description and Address of subject lands (registered plan number and lot number or other legal description and where applicable, **street and street number**):

29 John Murray Street, Stoney Creek
Part 1, Block A, Plan M-155
Registered Plan No. 62R-2351

7. PREVIOUS USE OF PROPERTY

Residential Industrial Commercial

Agricultural Vacant

Other Institutional

- 8.1 If Industrial or Commercial, specify use _____
- 8.2 Has the grading of the subject land been changed by adding earth or other material, i.e. has filling occurred?
Yes No Unknown
- 8.3 Has a gas station been located on the subject land or adjacent lands at any time?
Yes No Unknown
- 8.4 Has there been petroleum or other fuel stored on the subject land or adjacent lands?
Yes No Unknown
- 8.5 Are there or have there ever been underground storage tanks or buried waste on the subject land or adjacent lands?
Yes No Unknown
- 8.6 Have the lands or adjacent lands ever been used as an agricultural operation where cyanide products may have been used as pesticides and/or sewage sludge was applied to the lands?
Yes No Unknown
- 8.7 Have the lands or adjacent lands ever been used as a weapon firing range?
Yes No Unknown
- 8.8 Is the nearest boundary line of the application within 500 metres (1,640 feet) of the fill area of an operational/non-operational landfill or dump?
Yes No Unknown
- 8.9 If there are existing or previously existing buildings, are there any building materials remaining on site which are potentially hazardous to public health (eg. asbestos, PCB's)?
Yes No Unknown

8.10 Is there any reason to believe the subject land may have been contaminated by former uses on the site or adjacent sites?

Yes No Unknown

8.11 What information did you use to determine the answers to 8.1 to 8.10 above?

Historical knowledge of the property by owner

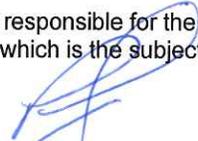
8.12 If previous use of property is industrial or commercial or if YES to any of 8.2 to 8.10, a previous use inventory showing all former uses of the subject land, or if appropriate, the land adjacent to the subject land, is needed.

Is the previous use inventory attached? Yes No

9. ACKNOWLEDGEMENT CLAUSE

I acknowledge that the City of Hamilton is not responsible for the identification and remediation of contamination on the property which is the subject of this Application – by reason of its approval to this Application.

February 15, 2022
Date


Signature Property Owner(s)
Paul Ferrie
Print Name of Owner(s)

10. Dimensions of lands affected:

Frontage	83.7 m
Depth	124.9 m
Area	14,206m ²
Width of street	8.7m

11. Particulars of all buildings and structures on or proposed for the subject lands: (Specify ground floor area, gross floor area, number of stories, width, length, height, etc.)

Existing: _

Existing school will be demolished.

Proposed

Ground Floor Area: 3,405m² Total Building Area: 5,842m²
Two storey elementary school
Building height: 9m South Elevation: 74m East Elevation: 67.5m
North Elevation: 74m West Elevation: 74m

12. Location of all buildings and structures on or proposed for the subject lands; (Specify distance from side, rear and front lot lines)

Existing:

Existing school will be demolished.

Proposed:

To north property: 9.7m To west property: 35.4m
To south property: 35.5m To east property: 18.9m

13. Date of acquisition of subject lands: May 9, 1975
14. Date of construction of all buildings and structures on subject lands:
Construction of new school to begin end of March 2022
15. Existing uses of the subject property (single family, duplex, retail, factory etc.):
elementary school
16. Existing uses of abutting properties (single family, duplex, retail, factory etc.):
Residential to the west, north and east; park to the south
17. Length of time the existing uses of the subject property have continued:
Over 45 years
18. Municipal services available: (check the appropriate space or spaces)
Water yes Connected _____
Sanitary Sewer yes Connected _____
Storm Sewers yes
19. Present Official Plan/Secondary Plan provisions applying to the land:
20. Present Restricted Area By-law (Zoning By-law) provisions applying to the land:
21. Has the owner previously applied for relief in respect of the subject property? (Zoning By-law Amendment or Minor Variance)
 Yes No
If yes, please provide the file number:
- 21.1 If a site-specific zoning by-law amendment has been received for the subject property, has the two-year anniversary of the by-law being passed expired?
 Yes No
- 21.2 If the answer is no, the decision of Council, or Director of Planning and Chief Planner that the application for Minor Variance is allowed must be included. Failure to do so may result in an application not being "received" for processing.
22. Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?
 Yes No
23. Additional Information (please include separate sheet if needed)

Site Plan Application No. DA-21-095
24. The applicant shall attach to each copy of this application a plan showing the dimensions of the subject lands and of all abutting lands and showing the location, size and type of all buildings and structures on the subject and abutting lands, and where required by the Committee of Adjustment such plan shall be signed by an Ontario Land Surveyor.



Hamilton

COMMITTEE OF ADJUSTMENT

City Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5
 Telephone (905) 546-2424, ext. 4221, 3935 Fax (905) 546-4202
 E-mail: cofa@hamilton.ca

NOTICE OF PUBLIC HEARING
Minor Variance

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
- Applicant/agent on file, or
- Person likely to be interested in this application

APPLICATION NO.: HM/A-22:69

APPLICANTS: Agent M. Lanza
 Owner E. Mcwhiter

SUBJECT PROPERTY: Municipal address **47 East 21st St., Hamilton**

ZONING BY-LAW: Zoning By-law 6593, as Amended 19-307

ZONING: "D" (Urban Protected Residential - One and Two Family Dwellings, etc.) district

PROPOSAL: To permit the addition of a roofed-over but otherwise unenclosed porch in the rear yard of the existing single family dwelling, notwithstanding that:

1. A roofed-over but otherwise unenclosed porch, including eaves and gutters, shall be permitted to project into a required side yard, instead of the requirement that a roofed-over but otherwise unenclosed one-storey porch at the first storey level, including eaves and gutters is not permitted to project into a required side yard.

NOTE:

1. Please note that elevation drawings for the proposed unenclosed porch were not provided to confirm the height of the structure, and to confirm that the structure is one-storey and erected at the first storey level. Additional variances may be required if compliance with Hamilton Zoning By-law No. 6593 is not possible.

2. Please note that the subject lot is a lot of record as defined. Therefore, as per Section 18(3)(v), the minimum required side yard(s) is 0.9 metres.

3. Please note that the specific projection of the eaves and gutters for the proposed unenclosed porch has not been indicated. However, as per Section 18(3)(d), the eaves and gutters associated with the porch are not permitted to project into a required side yard. Please note that no part of the eave/gutter shall encroach onto the adjacent private property. Otherwise, an Encroachment Agreement and a Maintenance Easement shall be required which shall be entered into and registered on title for both the lot upon which the eave is encroaching onto and the subject lot.

This application will be heard by the Committee as shown below:

HM/A-22: 69
Page 2

DATE: Thursday, April 7th, 2022
TIME: 1:55 p.m.
PLACE: Via video link or call in (see attached sheet for details)
To be streamed at
www.hamilton.ca/committeeofadjustment
for viewing purposes only

PUBLIC INPUT

Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

Orally: If you would like to speak to this item at the hearing you may do so via video link or by calling in. Please see attached page for complete instructions, including deadlines for registering to participate.

MORE INFORMATION

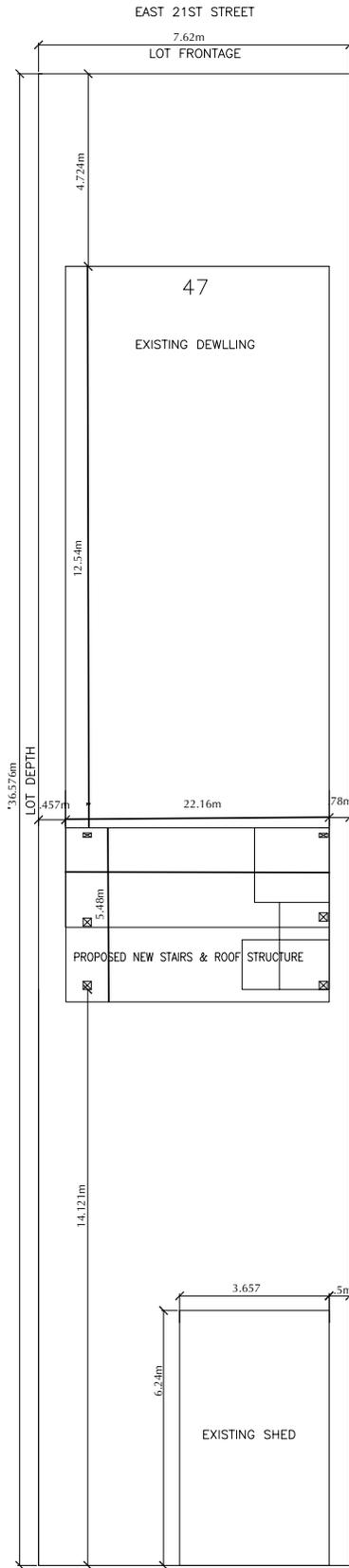
For more information on this matter, including access to drawings illustrating this request:

- Visit www.hamilton.ca/committeeofadjustment
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935
- Email Committee of Adjustment staff at cofa@hamilton.ca

DATED: March 22nd, 2022.

Jamila Sheffield,
Secretary-Treasurer
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public.



SITE PLAN

NOTES:

COOPERATOR:

NO	REVISION	DATE	BY	ACCEPTED	DATE

OWNER/CLIENT:
MICHAEL LANZA
PROJECT:
47 EAST 21ST STREET
DRAWING TITLE:
SITE PLAN

HILAND
HILAND ENGINEERING INC
1950 14TH AVE UNIT 602
MARKHAM ONTARIO
L3R 9S5
647-269-2918
info@hiland.ca



SCALES: 3/8"=1'
DRAWN BY: DZ
CHECKED BY: RZ
DATE: DEC2021
PROJECT No: 21169-267
DRAWING No: SP-4



Committee of Adjustment
 City Hall, 5th Floor,
 71 Main St. W.,
 Hamilton, ON L8P4Y5

Phone: (905) 546-2424 ext. 4221
 Email: cofa@hamilton.ca

APPLICATION FOR A MINOR VARIANCE

FOR OFFICE USE ONLY.	
APPLICATION NO. _____	DATE APPLICATION RECEIVED _____
PAID _____	DATE APPLICATION DEEMED COMPLETE _____
SECRETARY'S SIGNATURE _____	

The Planning Act

Application for Minor Variance or for Permission

The undersigned hereby applies to the Committee of Adjustment for the City of Hamilton under Section 45 of the *Planning Act*, R.S.O. 1990, Chapter P.13 for relief, as described in this application, from the Zoning By-law.

1, 2	NAME	MAILING ADDRESS
Registered Owners(s)	[REDACTED]	
Applicant(s)*		
Agent or Solicitor		

Note: Unless otherwise requested all communications will be sent to the agent, if any.

3. Names and addresses of any mortgagees, holders of charges or other encumbrances:

47 EAST 21 STREET HAMILTON ON L8V 2T3. RESIDENTIAL SINGLE FAMILY HOME

Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled

4. Nature and extent of relief applied for:

requesting north side yard setback of .7833 M and a south side lot setback of .44M

Second Dwelling Unit Reconstruction of Existing Dwelling

5. Why it is not possible to comply with the provisions of the By-law?

The existing dwelling is built 0.4572. on the south side and 0.786m of the north property line which doesn't meet the minimum 1.2M side yard setback. The structure will follow the existing structures north and south walls and roof lines.

6. Legal description and Address of subject lands (registered plan number and lot number or other legal description and where applicable, **street and street number**):

47 EAST 21 STREET HAMILTON ON L8V 2T3. RESIDENTIAL SINGLE FAMILY HOME

7. PREVIOUS USE OF PROPERTY

Residential Industrial Commercial

Agricultural Vacant

Other _____

- 8.1 If Industrial or Commercial, specify use _____

- 8.2 Has the grading of the subject land been changed by adding earth or other material, i.e. has filling occurred?

Yes No Unknown

- 8.3 Has a gas station been located on the subject land or adjacent lands at any time?

Yes No Unknown

- 8.4 Has there been petroleum or other fuel stored on the subject land or adjacent lands?

Yes No Unknown

- 8.5 Are there or have there ever been underground storage tanks or buried waste on the subject land or adjacent lands?

Yes No Unknown

- 8.6 Have the lands or adjacent lands ever been used as an agricultural operation where cyanide products may have been used as pesticides and/or sewage sludge was applied to the lands?

Yes No Unknown

- 8.7 Have the lands or adjacent lands ever been used as a weapon firing range?

Yes No Unknown

- 8.8 Is the nearest boundary line of the application within 500 metres (1,640 feet) of the fill area of an operational/non-operational landfill or dump?

Yes No Unknown

- 8.9 If there are existing or previously existing buildings, are there any building materials remaining on site which are potentially hazardous to public health (eg. asbestos, PCB's)?

Yes No Unknown

- 8.10 Is there any reason to believe the subject land may have been contaminated by former uses on the site or adjacent sites?

Yes No Unknown

- 8.11 What information did you use to determine the answers to 8.1 to 8.10 above?

THE PROPERTY HAS BEEN USED AS A RESIDENTIAL DWELLING SINCE CONSTRUCTION AND THE SITE HAS NOT CHANGED BASED OFF THE PROPERTY SURVEY RETRIEVED FROM THE CITY. THE DWELLING WAS

- 8.12 If previous use of property is industrial or commercial or if YES to any of 8.2 to 8.10, a previous use inventory showing all former uses of the subject land, or if appropriate, the land adjacent to the subject land, is needed.

Is the previous use inventory attached? Yes No

9. ACKNOWLEDGEMENT CLAUSE

I acknowledge that the City of Hamilton is not responsible for the identification and remediation of contamination on the property which is the subject of this Application – by reason of its approval to this Application.

FEB 14 2022

Date


Signature Property Owner(s)

ELLIOTT MCWHIRTER

Print Name of Owner(s)

10. Dimensions of lands affected:

Frontage 7.6
Depth 36.576m
Area 278 m square
Width of street 9.14m

11. Particulars of all buildings and structures on or proposed for the subject lands: (Specify ground floor area, gross floor area, number of stories, width, length, height, etc.)

Existing:

set of access stairs from back door to ground 0.78m in from side property line
gross area = 4.645m square 3.048m wide x 1.52m deep 8 rase ro bak door

Proposed

Porch roof extending from back of dwelling 5.46m and full width of dwelling
ro marsh roof lane above 6.577m. gross SqFT=387 height= 5.48m

12. Location of all buildings and structures on or proposed for the subject lands: (Specify distance from side, rear and front lot lines)

Existing:

stairs = 0.78m from north side lot lane. 17.77m from rear (west) property lane

Proposed:

roof structure 0.78m from north side lot lane. 0.457m from south side lot lane 13.79m from rear lot lane. Attached ro back of dwelling and an lane marsh exasrang dwelling on side lot lanes

8.10 Is there any reason to believe the subject land may have been contaminated by former uses on the site or adjacent sites?

Yes No Unknown

8.11 What information did you use to determine the answers to 8.1 to 8.10 above?

THE PROPERTY HAS BEEN USED AS A RESIDENTIAL DWELLING SINCE CONSTRUCTION AND THE SITE HAS NOT CHANGED BASED OFF THE PROPERTY SURVEY RETRIEVED FROM THE CITY. THE DWELLING WAS BUILT IN 1990

8.12 If previous use of property is industrial or commercial or if YES to any of 8.2 to 8.10, a previous use inventory showing all former uses of the subject land, or if appropriate, the land adjacent to the subject land, is needed.

Is the previous use inventory attached? Yes No

9. ACKNOWLEDGEMENT CLAUSE

I acknowledge that the City of Hamilton is not responsible for the identification and remediation of contamination on the property which is the subject of this Application – by reason of its approval to this Application.

FEB 14 2022 _____

Date

Signature Property Owner(s)

ELLIOTT MCWHIRTER

Print Name of Owner(s)

10. Dimensions of lands affected:

Frontage	<u>7.62m</u>
Depth	<u>36.576m</u>
Area	<u>278 m square</u>
Width of street	<u>9.14m</u>

11. Particulars of all buildings and structures on or proposed for the subject lands: (Specify ground floor area, gross floor area, number of stories, width, length, height, etc.)

Existing: __

set of access stairs from back door to ground 0.78m in from side property line gross area=4.645m square 3.048m wide x 1.52m deep 8 rise to back door

Proposed

Porch roof extending from back of dwelling 5.46m and full width of dwelling to match roof line above 6.577m. gross SQFT=387 height= 5.48m

12. Location of all buildings and structures on or proposed for the subject lands; (Specify distance from side, rear and front lot lines)

Existing:

stairs = 0.78m from north side lot line. 17.77m from rear (west) property line

Proposed:

roof structure 0.78m from north side lot line. 0.457m from south side lot line 13.79m from rear lot line. Attached to back of dwelling and in line with existing dwelling on side lot lines

13. Date of acquisition of subject lands:
dec, 18, 2018
-
14. Date of construction of all buildings and structures on subject lands:
SEPT 18 1920
-
15. Existing uses of the subject property (single family, duplex, retail, factory etc.):
SINGLE FAMILY
-
16. Existing uses of abutting properties (single family, duplex, retail, factory etc.):
SINGLE FAMILY
-
17. Length of time the existing uses of the subject property have continued:
102 YEARS
-
18. Municipal services available: (check the appropriate space or spaces)
Water YES Connected YES
Sanitary Sewer YES Connected YES
Storm Sewers YES
-
19. Present Official Plan/Secondary Plan provisions applying to the land:
-
20. Present Restricted Area By-law (Zoning By-law) provisions applying to the land:
-
21. Has the owner previously applied for relief in respect of the subject property? (Zoning By-law Amendment or Minor Variance)
 Yes No
- If yes, please provide the file number:
- 21.1 If a site-specific zoning by-law amendment has been received for the subject property, has the two-year anniversary of the by-law being passed expired?
 Yes No
- 21.2 If the answer is no, the decision of Council, or Director of Planning and Chief Planner that the application for Minor Variance is allowed must be included. Failure to do so may result in an application not being "received" for processing.
22. Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?
 Yes No
23. Additional Information (please include separate sheet if needed)
24. The applicant shall attach to each copy of this application a plan showing the dimensions of the subject lands and of all abutting lands and showing the location, size and type of all buildings and structures on the subject and abutting lands, and where required by the Committee of Adjustment such plan shall be signed by an Ontario Land Surveyor.



Hamilton

COMMITTEE OF ADJUSTMENT

City Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5
 Telephone (905) 546-2424, ext. 4221, 3935 Fax (905) 546-4202
 E-mail: cofa@hamilton.ca

NOTICE OF PUBLIC HEARING Minor Variance

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
- Applicant/agent on file, or
- Person likely to be interested in this application

APPLICATION NO.: AN/A-22:70

APPLICANTS: Agent Dusil Design & Landscape Inc.
 Owner M. Zizzo

SUBJECT PROPERTY: Municipal address **65 Lloyminn Ave., Hamilton**

ZONING BY-LAW: Zoning By-law 87-57, as Amended

ZONING: "ER" (Existing Residential) district

PROPOSAL: To permit the installation of an inground swimming pool for the existing single detached dwelling, notwithstanding that;

1. The inground pool shall be permitted to be located within a front yard and as close as 2.5m from the front lot line whereas the zoning By-law states that a totally inground swimming pool may be located within that portion of the minimum street side yard and the minimum rear yard, which is within the rear yard.

Notes: The applicant shall ensure that pool equipment maintains a setback of 0.6m from the side lot line; otherwise, further variances shall be required.

This application will be heard by the Committee as shown below:

DATE: Thursday, April 7th, 2022
TIME: 2:00 p.m.
PLACE: Via video link or call in (see attached sheet for details)
 To be streamed at
www.hamilton.ca/committeeofadjustment
 for viewing purposes only

PUBLIC INPUT

Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

Orally: If you would like to speak to this item at the hearing you may do so via video link or by calling in. Please see attached page for complete instructions, including deadlines for registering to participate.

AN/A-22: 70

Page 2

MORE INFORMATION

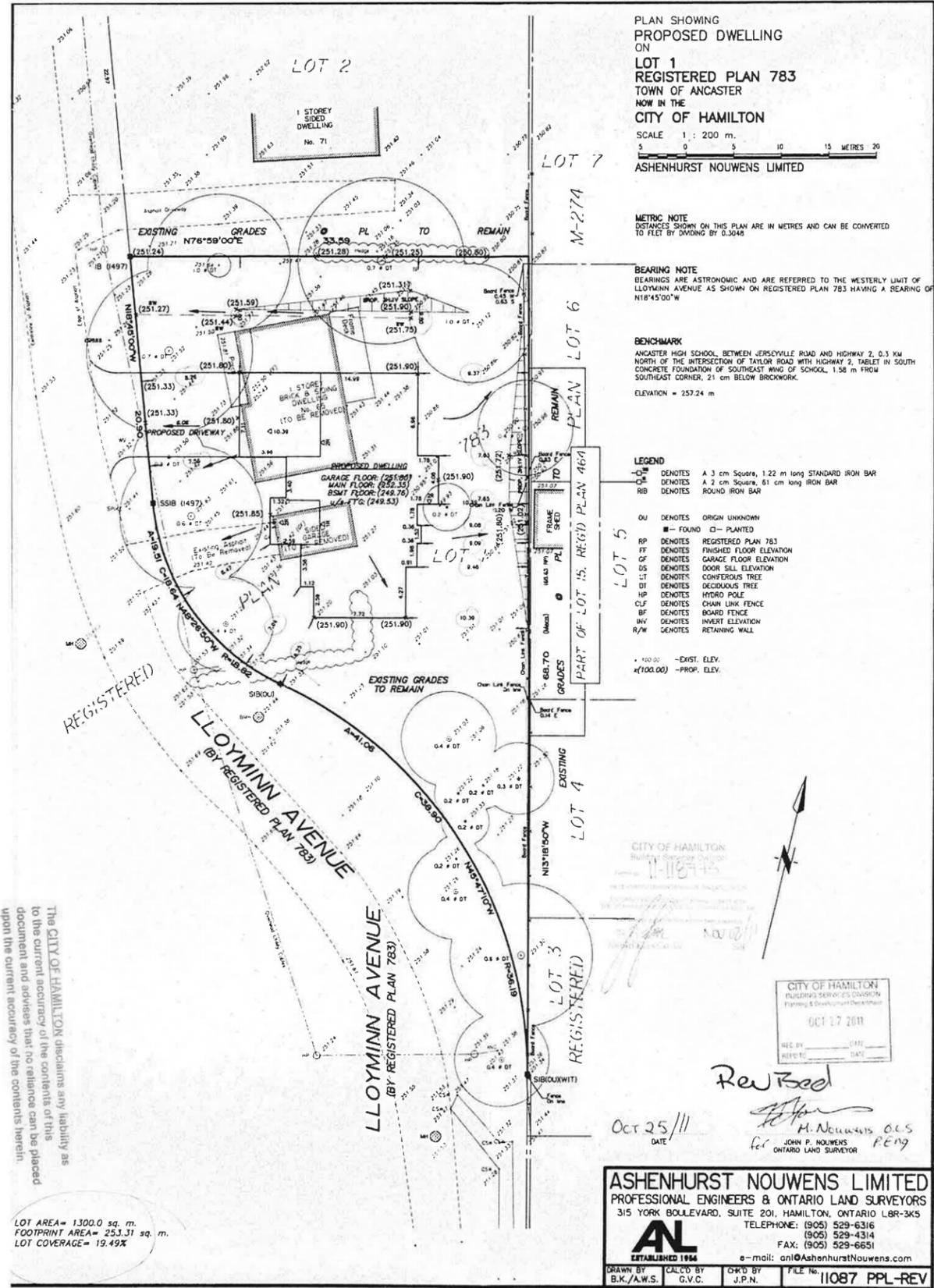
For more information on this matter, including access to drawings illustrating this request:

- Visit www.hamilton.ca/committeeofadjustment
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935
- Email Committee of Adjustment staff at cofa@hamilton.ca

DATED: March 22nd, 2022.

Jamila Sheffield,
Secretary-Treasurer
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public.



The CITY OF HAMILTON disclaims any liability as to the current accuracy of the contents of this document and advises that no reliance can be placed upon the current accuracy of the contents herein.

CITY OF HAMILTON
 Building Services Division
 Planning & Development Department
 OCT 17 2011
 REC BY: [Signature] DATE: [Blank]
 REF TO: [Blank] DATE: [Blank]
 Reused
 M. Nouwens O.L.S.
 JOHN P. NOUWENS
 ONTARIO LAND SURVEYOR

DISCHARGE FROM POOL EQUIPMENT IS NOT TO AFFECT NEIGHBOURING PROPERTIES/LANDS***

ALL FENCES AND GATE TO COMPLY WITH POOL ENCLOSURE BYLAW

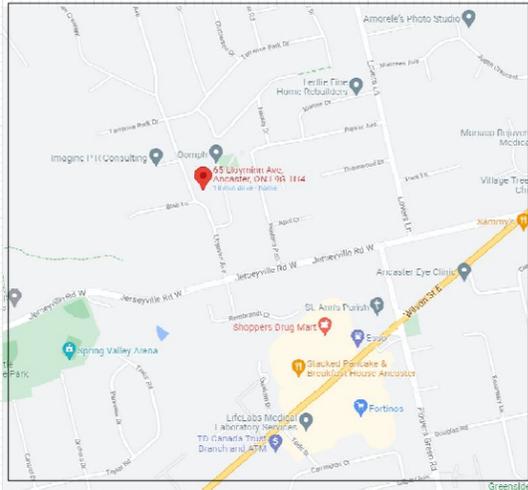
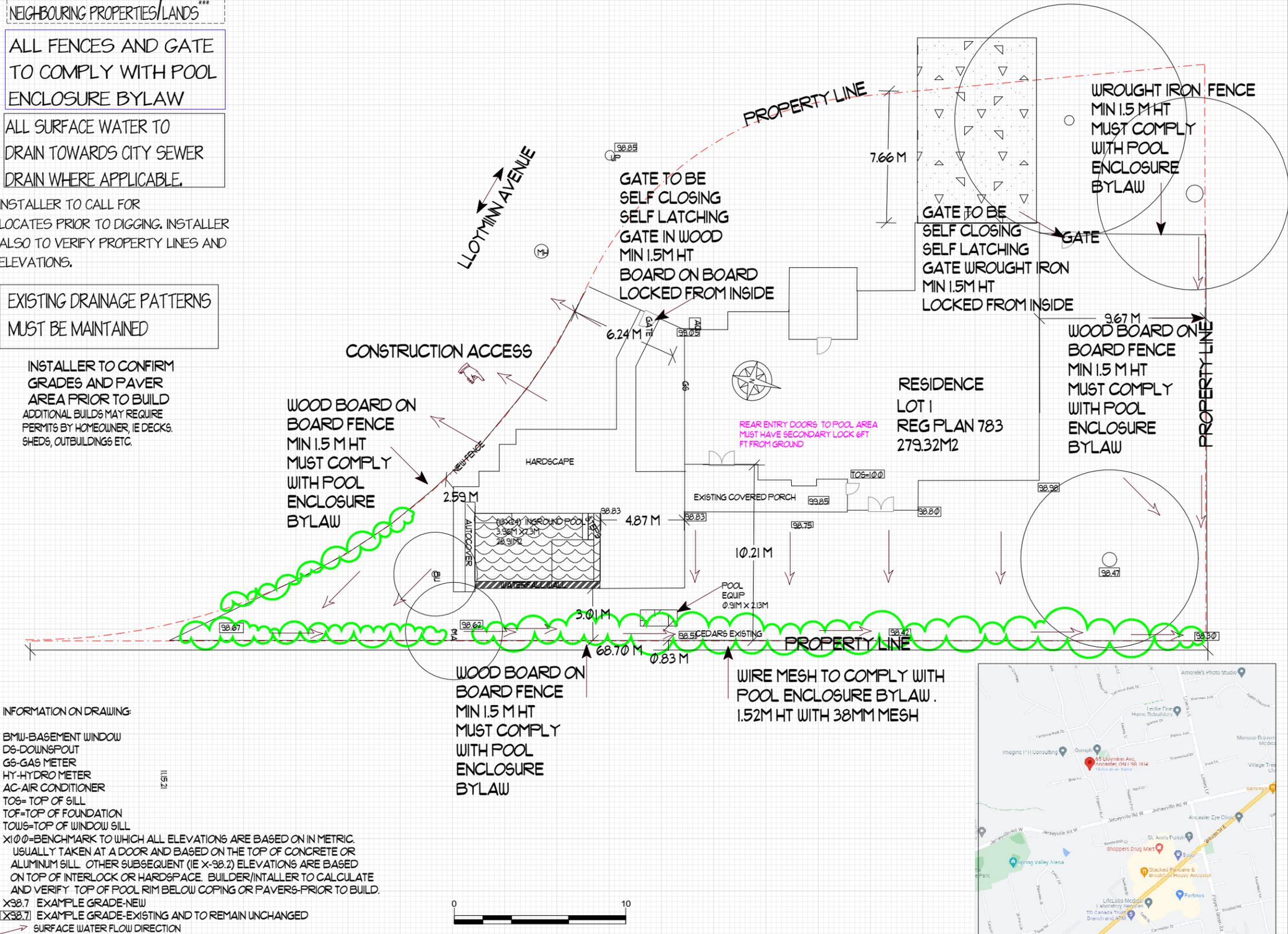
ALL SURFACE WATER TO DRAIN TOWARDS CITY SEWER DRAIN WHERE APPLICABLE.

INSTALLER TO CALL FOR LOCATES PRIOR TO DIGGING. INSTALLER ALSO TO VERIFY PROPERTY LINES AND ELEVATIONS.

EXISTING DRAINAGE PATTERNS MUST BE MAINTAINED

INSTALLER TO CONFIRM GRADES AND PAVER AREA PRIOR TO BUILD. ADDITIONAL BUILDS MAY REQUIRE PERMITS BY HOMEOWNER, IE DECKS, SHEDS, OUTBUILDINGS ETC.

INFORMATION ON DRAWING:
 BMW-BASEMENT WINDOW
 DS-DOWNSPOUT
 GS-GAS METER
 HY-HYDRO METER
 AC-AIR CONDITIONER
 TOS= TOP OF SILL
 TOF=TOP OF FOUNDATION
 TOWS=TOP OF WINDOW SILL
 X100=BENCHMARK TO WHICH ALL ELEVATIONS ARE BASED ON IN METRIC. USUALLY TAKEN AT A DOOR AND BASED ON THE TOP OF CONCRETE OR ALUMINUM SILL. OTHER SUBSEQUENT (IE X-98.2) ELEVATIONS ARE BASED ON TOP OF INTERLOCK OR HARDSPACE. BUILDER/INTALLER TO CALCULATE AND VERIFY TOP OF POOL RIM BELOW COPING OR PAVERS-PRIOR TO BUILD.
 X98.7 EXAMPLE GRADE-NEW
 [X98.7] EXAMPLE GRADE-EXISTING AND TO REMAIN UNCHANGED
 → SURFACE WATER FLOW DIRECTION



<p>Revision #:</p>	<p>Scale:</p>	<p>Landscape Plan:</p>	<p>ZIZZO PROPERTY 65 LLOYMINN AVE ANCASTER L9G 1H4</p>	<p>Landscape Design by: DUSIL DESIGN AND LANDSCAPE INC DUSILDESIGN@GMAIL.COM 905-333-3683</p>
<p>Date: 2022-01-26</p>	<p>1" = 20'</p>			



Committee of Adjustment
 City Hall, 5th Floor,
 71 Main St. W.,
 Hamilton, ON L8P4Y5

Phone: (905) 546-2424 ext. 4221
 Email: cofa@hamilton.ca

APPLICATION FOR A MINOR VARIANCE

FOR OFFICE USE ONLY.	
APPLICATION NO. _____	DATE APPLICATION RECEIVED _____
PAID _____	DATE APPLICATION DEEMED COMPLETE _____
SECRETARY'S SIGNATURE _____	

The Planning Act

Application for Minor Variance or for Permission

The undersigned hereby applies to the Committee of Adjustment for the City of Hamilton under Section 45 of the *Planning Act*, R.S.O. 1990, Chapter P.13 for relief, as described in this application, from the Zoning By-law.

1, 2	NAME	MAILING ADDRESS
Registered Owners(s)		
Applicant(s)*		
Agent or Solicitor		

Note: Unless otherwise requested all communications will be sent to the agent, if any.

3. Names and addresses of any mortgagees, holders of charges or other encumbrances:

Scotia Bank.

Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled

4. Nature and extent of relief applied for:

INGROUND POOL INSTALL

Second Dwelling Unit Reconstruction of Existing Dwelling

5. Why it is not possible to comply with the provisions of the By-law?

SIDE YARD (WHERE POOL TO BE LOCATED) IS CONSIDERED FRONTAGE.

6. Legal description and Address of subject lands (registered plan number and lot number or other legal description and where applicable, **street and street number**):

LOT 1 REG PLAN 783
65 LLOYMINN AVE

7. PREVIOUS USE OF PROPERTY

Residential Industrial Commercial

Agricultural Vacant

Other _____

- 8.1 If Industrial or Commercial, specify use _____
- 8.2 Has the grading of the subject land been changed by adding earth or other material, i.e. has filling occurred?
Yes No Unknown
- 8.3 Has a gas station been located on the subject land or adjacent lands at any time?
Yes No Unknown
- 8.4 Has there been petroleum or other fuel stored on the subject land or adjacent lands?
Yes No Unknown
- 8.5 Are there or have there ever been underground storage tanks or buried waste on the subject land or adjacent lands?
Yes No Unknown
- 8.6 Have the lands or adjacent lands ever been used as an agricultural operation where cyanide products may have been used as pesticides and/or sewage sludge was applied to the lands?
Yes No Unknown
- 8.7 Have the lands or adjacent lands ever been used as a weapon firing range?
Yes No Unknown
- 8.8 Is the nearest boundary line of the application within 500 metres (1,640 feet) of the fill area of an operational/non-operational landfill or dump?
Yes No Unknown
- 8.9 If there are existing or previously existing buildings, are there any building materials remaining on site which are potentially hazardous to public health (eg. asbestos, PCB's)?
Yes No Unknown

8.10 Is there any reason to believe the subject land may have been contaminated by former uses on the site or adjacent sites?

Yes No Unknown

8.11 What information did you use to determine the answers to 8.1 to 8.10 above?

RESIDENTIAL AREA

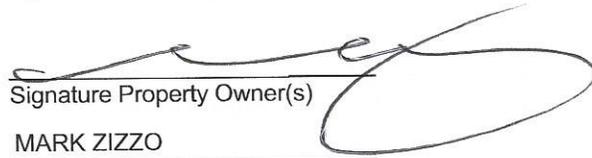
8.12 If previous use of property is industrial or commercial or if YES to any of 8.2 to 8.10, a previous use inventory showing all former uses of the subject land, or if appropriate, the land adjacent to the subject land, is needed.

Is the previous use inventory attached? Yes No

9. ACKNOWLEDGEMENT CLAUSE

I acknowledge that the City of Hamilton is not responsible for the identification and remediation of contamination on the property which is the subject of this Application – by reason of its approval to this Application.

1.26.22
Date


Signature Property Owner(s)
MARK ZIZZO
Print Name of Owner(s)

10. Dimensions of lands affected:

Frontage 80.25
Depth 32.59M
Area 1300M2
Width of street 5M

11. Particulars of all buildings and structures on or proposed for the subject lands: (Specify ground floor area, gross floor area, number of stories, width, length, height, etc.)

Existing: _

SINGLE STOREY BUGALOW 79.28M AREA. 68'X42' APPROX

Proposed

NO PROPOSED CHANGE

12. Location of all buildings and structures on or proposed for the subject lands; (Specify distance from side, rear and front lot lines)

Existing:

HOUSE TO REAR=9.17M HOUSE TO SIDE PL=9.65M (NORTH PL)
HOUSE TO FROM PL 6.015M AT CLOSEST POINT

Proposed:

PROPOSED POOL 3.96M X 7.3M RECTANGLE
DISTANCE FROM REAR= 3.01M FROM HOUSE 4.87M, FROM FRONT
PL=2.59M AT CLOSEST

13. Date of acquisition of subject lands:
NOVEMBER 2021
-
14. Date of construction of all buildings and structures on subject lands:
2011
-
15. Existing uses of the subject property (single family, duplex, retail, factory etc.):
SFD
-
16. Existing uses of abutting properties (single family, duplex, retail, factory etc.):
SFD
-
17. Length of time the existing uses of the subject property have continued:
SINCE 2011 (PER SURVEY PROVIDED)
-
18. Municipal services available: (check the appropriate space or spaces)
Water YES Connected YES
Sanitary Sewer NO Connected _____
Storm Sewers YES
19. Present Official Plan/Secondary Plan provisions applying to the land:
20. Present Restricted Area By-law (Zoning By-law) provisions applying to the land:
21. Has the owner previously applied for relief in respect of the subject property? (Zoning By-law Amendment or Minor Variance)
 Yes No
- If yes, please provide the file number:
- 21.1 If a site-specific zoning by-law amendment has been received for the subject property, has the two-year anniversary of the by-law being passed expired?
 Yes No
- 21.2 If the answer is no, the decision of Council, or Director of Planning and Chief Planner that the application for Minor Variance is allowed must be included. Failure to do so may result in an application not being "received" for processing.
22. Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?
 Yes No
23. Additional Information (please include separate sheet if needed)
24. The applicant shall attach to each copy of this application a plan showing the dimensions of the subject lands and of all abutting lands and showing the location, size and type of all buildings and structures on the subject and abutting lands, and where required by the Committee of Adjustment such plan shall be signed by an Ontario Land Surveyor.



Hamilton

COMMITTEE OF ADJUSTMENT

City Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5
 Telephone (905) 546-2424, ext. 4221, 3935 Fax (905) 546-4202
 E-mail: cofa@hamilton.ca

NOTICE OF PUBLIC HEARING
Minor Variance

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
- Applicant/agent on file, or
- Person likely to be interested in this application

APPLICATION NO.: HM/A-22:73

APPLICANTS: Owner G. Palmer

SUBJECT PROPERTY: Municipal address **58 East 24th St., Hamilton**

ZONING BY-LAW: Zoning By-law 6593, as Amended 83-66

ZONING: "D" (Urban Protected Residential - One and Two Family Dwellings, etc.) district

PROPOSAL: To permit two (2) parking spaces to be located in the front yard on an existing residential parcel of land notwithstanding that:

1. The front yard landscaped area shall be a minimum of 17.0 percent of the gross area of the front yard instead of the minimum 50.0 percent required front yard landscaped area.
2. No onsite manoeuvring shall be provided for the two (2) required parking spaces instead of the requirement that a manoeuvring space shall be provided and maintained abutting and accessory to each required parking space on the lot and whereas the zoning By-law only permits off-site manoeuvring for only one (1) parking space.
3. The area for parking shall be permitted to occupy 82.0 percent of the gross area of the front yard, instead of the maximum 50.0 percent permitted.

NOTE:

1. Please note that Minor Variance Application No. HM/A-21:87 was recently granted by the Committee of Adjustment to facilitate the creation of a secondary dwelling unit within the existing single family dwelling.
2. Please note that Minor Variance Application No. HM/A-21:292 was recently granted by the Committee of Adjustment to facilitate the creation of a secondary dwelling unit – detached on the lot.

This application will be heard by the Committee as shown below:

DATE: Thursday, April 7th, 2022
TIME: 2:05 p.m.
PLACE: Via video link or call in (see attached sheet for details)
 To be streamed at
www.hamilton.ca/committeeofadjustment
 for viewing purposes only

HM/A-22: 73

Page 2

PUBLIC INPUT

Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

Orally: If you would like to speak to this item at the hearing you may do so via video link or by calling in. Please see attached page for complete instructions, including deadlines for registering to participate.

MORE INFORMATION

For more information on this matter, including access to drawings illustrating this request:

- Visit www.hamilton.ca/committeeofadjustment
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935
- Email Committee of Adjustment staff at cofa@hamilton.ca

DATED: March 22nd, 2022.

Jamila Sheffield,
Secretary-Treasurer
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public.

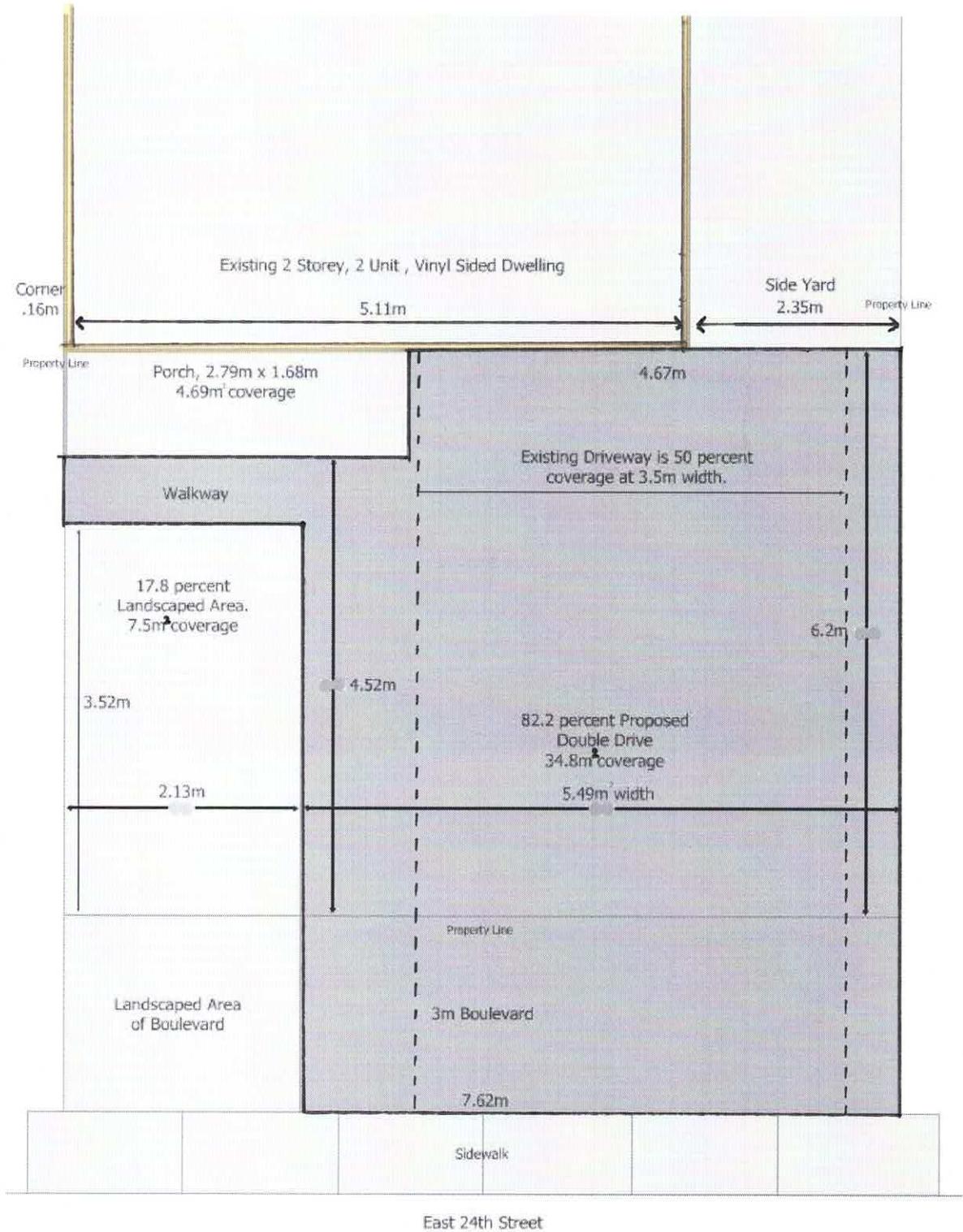
Consistent with neighborhood character, many homes on East 24th St., between Concession & Crockett, have already established double drives that would exceed the allowed 50% landscaped area.



58 East 24th Street
Existing driveway established with permit



SITE SKETCH
58 East 24th Street Hamilton, ON
Lot 169, registered plan 435
See attached Site Survey for reference



12' WIDE ALLEYWAY

DEDICATED BY REGISTERED PLAN NO. 435

N 19°34'00"E 59.29'

34.29' (P1 & MEAS)

25.00' (P1 & SET)

LOT 171

LOT 170

LOT 169

LOT 168

CROCKETT STREET

INSTRUMENT NO. 488065 C.D

INSTRUMENT NO. 258063 C.D

INSTRUMENT NO. 372337 A.B.

REGISTERED PLAN

PLAN 435

PLAN 62R-9957

PART 1

PART 2

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NO PERSON MAY COPY, REPRODUCE,
DISTRIBUTE OR ALTER THIS PLAN IN
WHOLE OR IN PART WITHOUT THE
WRITTEN PERMISSION OF MACKAY,
MACKAY & PETERS LIMITED

ALUMINUM SIDED DWELLING # 60

ALUMINUM SIDED DWELLING # 56

ALUMINUM SIDED DWELLING # 56

FRAME PORCH

CONCRETE PCH

CONCRETE PORCH

59.29' (P1 & MEAS)

25.0' (P2 & MEAS)

N 19°34'00"E 591.29' (P1 & MEAS)

BEING REFERENCE

EAST 24th STREET

(FORMERLY ALEXANDRA STREET)

(NAME CHANGED ACCORDING TO BY-LAW NO. 942, REGISTERED INSTRUMENT NO. 435 BY-LAW)

DEDICATED BY REGISTERED PLAN N 435

CITY OF HAMILTON
DEPARTMENT OF RECORDS
REGISTERED PLAN NO. 435
2017-1-10

CONCESSION STREET

REGISTERED PLAN NO. 435

INSTRUMENT NO 488065 C D

INSTRUMENT NO 256063 C D

INSTRUMENT NO 372337 A B.

T E R R E D

P L A N

4 3 5

R - 9 9 5 7

P A R T 2

ALUMINUM SIDED DWELLING # 60

ALUMINUM SIDED DWELLING # 58

ALUMINUM SIDED DWELLING # 56

FRAME PORCH

CONCRETE PORCH

CONCRETE PORCH

EAVE 0.20 SOUTH

EAVE 0.73 SOUTH

CORNER 0.10' NORTH (P3 & MEAS)

CORNER 0.08 NORTH (P2 & MEAS)

118.00 (P1 & MEAS) EAVE 0.48 SOUTH

EAVES 0.80'

CORNER 0.62' NORTH

EAVE 0.43 SOUTH

22.14'

(1213)

1.77

3.35

CHAIN LINK FENCE

N 70°37'20"W

133.00' (P2 & SET)

7.90'

CORNER 0.80' NORTH

EAVES 0.85'

CHIMNEY 0.81 SOUTH

CORNER 0.55' NORTH

FENCE 0.20 SOUTH

CHAIN LINK FENCE 0.21 SOUTH

7.71'

FENCE 0.20 SOUTH

19.84'

29' (P1 & MEAS)

25.0' (P2 & MEAS)

19.84' (1213) 0.12 EAST

N 19°34'00" E 891.20' (P1 & MEAS)

BEARING REFERENCE



Committee of Adjustment
 City Hall, 5th Floor,
 71 Main St. W.,
 Hamilton, ON L8P4Y5

Phone: (905) 546-2424 ext. 4221
 Email: cofa@hamilton.ca

APPLICATION FOR A MINOR VARIANCE

FOR OFFICE USE ONLY.	
APPLICATION NO. _____	DATE APPLICATION RECEIVED _____
PAID _____	DATE APPLICATION DEEMED COMPLETE _____
SECRETARY'S SIGNATURE _____	

The Planning Act

Application for Minor Variance or for Permission

The undersigned hereby applies to the Committee of Adjustment for the City of Hamilton under Section 45 of the *Planning Act*, R.S.O. 1990, Chapter P.13 for relief, as described in this application, from the Zoning By-law.

1, 2	NAME	MAILING ADDRESS
Registered Owners(s)		
Applicant(s)*		
Agent or Solicitor		

Note: Unless otherwise requested all communications will be sent to the agent, if any.

3. Names and addresses of any mortgagees, holders of charges or other encumbrances:

Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled

4. Nature and extent of relief applied for:

To allow for 2 parking spaces.
2nd parking space is required for the construction of an SDU.

Second Dwelling Unit Reconstruction of Existing Dwelling

5. Why it is not possible to comply with the provisions of the By-law?

zoning by law only allows for 50% landscaped area which allows for 1 parking space. I would like to have 2 parking spaces as 1 parking space isn't enough and street parking is minimal.

6. Legal description and Address of subject lands (registered plan number and lot number or other legal description and where applicable, **street and street number**):

58 east 24th, lot 169, registered plan 435

7. PREVIOUS USE OF PROPERTY

Residential Industrial Commercial

Agricultural Vacant

Other _____

- 8.1 If Industrial or Commercial, specify use _____

- 8.2 Has the grading of the subject land been changed by adding earth or other material, i.e. has filling occurred?

Yes No Unknown

- 8.3 Has a gas station been located on the subject land or adjacent lands at any time?

Yes No Unknown

- 8.4 Has there been petroleum or other fuel stored on the subject land or adjacent lands?

Yes No Unknown

- 8.5 Are there or have there ever been underground storage tanks or buried waste on the subject land or adjacent lands?

Yes No Unknown

- 8.6 Have the lands or adjacent lands ever been used as an agricultural operation where cyanide products may have been used as pesticides and/or sewage sludge was applied to the lands?

Yes No Unknown

- 8.7 Have the lands or adjacent lands ever been used as a weapon firing range?

Yes No Unknown

- 8.8 Is the nearest boundary line of the application within 500 metres (1,640 feet) of the fill area of an operational/non-operational landfill or dump?

Yes No Unknown

- 8.9 If there are existing or previously existing buildings, are there any building materials remaining on site which are potentially hazardous to public health (eg. asbestos, PCB's)?

Yes No Unknown

8.10 Is there any reason to believe the subject land may have been contaminated by former uses on the site or adjacent sites?

Yes No Unknown

8.11 What information did you use to determine the answers to 8.1 to 8.10 above?
property research, property records, surrounding neighborhood

8.12 If previous use of property is industrial or commercial or if YES to any of 8.2 to 8.10, a previous use inventory showing all former uses of the subject land, or if appropriate, the land adjacent to the subject land, is needed.

Is the previous use inventory attached? Yes No

9. ACKNOWLEDGEMENT CLAUSE

I acknowledge that the City of Hamilton is not responsible for the identification and remediation of contamination on the property which is the subject of this Application – by reason of its approval to this Application.

28/02/2022
Date


Signature Property Owner(s)

Geoff Palmer
Print Name of Owner(s)

10. Dimensions of lands affected:

Frontage	<u>7.62</u>
Depth	<u>40.54</u>
Area	<u>308.56</u>
Width of street	<u>20</u>

11. Particulars of all buildings and structures on or proposed for the subject lands: (Specify ground floor area, gross floor area, number of stories, width, length, height, etc.)

Existing:_
2 stories
two family dwelling
15.24Lx4.87W

Proposed

12. Location of all buildings and structures on or proposed for the subject lands; (Specify distance from side, rear and front lot lines)

Existing:
existing house to front property line is 6.2m
existing porch to front property line is 4.52m

Proposed:
front yard 6.2m / 4.52
side yard 2.35m

13. Date of acquisition of subject lands:
50+ years
-
14. Date of construction of all buildings and structures on subject lands:
50+ years
-
15. Existing uses of the subject property (single family, duplex, retail, factory etc.):
single family
-
16. Existing uses of abutting properties (single family, duplex, retail, factory etc.):
single family
-
17. Length of time the existing uses of the subject property have continued:
50+ years
-
18. Municipal services available: (check the appropriate space or spaces)
Water yes Connected yes
Sanitary Sewer yes Connected yes
Storm Sewers yes
19. Present Official Plan/Secondary Plan provisions applying to the land:
20. Present Restricted Area By-law (Zoning By-law) provisions applying to the land:
"D" Urban Protected Residential
21. Has the owner previously applied for relief in respect of the subject property? (Zoning By-law Amendment or Minor Variance)
 Yes No
- If yes, please provide the file number:
- 21.1 If a site-specific zoning by-law amendment has been received for the subject property, has the two-year anniversary of the by-law being passed expired?
 Yes No
- 21.2 If the answer is no, the decision of Council, or Director of Planning and Chief Planner that the application for Minor Variance is allowed must be included. Failure to do so may result in an application not being "received" for processing.
22. Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?
 Yes No
23. Additional Information (please include separate sheet if needed)
24. The applicant shall attach to each copy of this application a plan showing the dimensions of the subject lands and of all abutting lands and showing the location, size and type of all buildings and structures on the subject and abutting lands, and where required by the Committee of Adjustment such plan shall be signed by an Ontario Land Surveyor.



Hamilton

COMMITTEE OF ADJUSTMENT

City Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5
 Telephone (905) 546-2424, ext. 4221, 3935 Fax (905) 546-4202
 E-mail: cofa@hamilton.ca

NOTICE OF PUBLIC HEARING **Minor Variance**

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
- Applicant/agent on file, or
- Person likely to be interested in this application

APPLICATION NO.: SC/A-22:59

APPLICANTS: Agent A.J. Clarke & Associates – S. Fraser
 Owners W. & V. Casciani

SUBJECT PROPERTY: Municipal address **11 Kilbourn Ave., Stoney Creek**

ZONING BY-LAW: Zoning By-law 3692-92, as Amended

ZONING: “R2” (Single Residential – Two) district

PROPOSAL: To facilitate the creation of two (2) lots in conjunction with Severance Application SC/B-21:112, notwithstanding that:

1. A minimum lot frontage of 13.65 metres shall be provided for both the portion of the lands to be severed (Part 1) and the portion of the lands to be retained (Part 2), instead of the minimum required lot frontage of 15 metres.

NOTE:

1. Specific details regarding the proposed development of the portion of the lands to be conveyed (Part 1) and the portion of the lands to be retained (Part 2) were not included as part of this application; therefore, this Division cannot confirm zoning compliance.
2. Please note that the submitted survey indicates a minimum lot frontage of 13.72 metres for the portion of the lands to be severed (Part 1) and a minimum lot frontage of 13.71 metres for the portion of the lands to be retained (Part 2). The variance requested to permit a minimum lot frontage of 13.65 metres for both the portion of the lands to be severed (Part 1) and for the portion of the lands to be retained (Part 2) has been written as requested by the applicant.
3. This application is required to facilitate Consent Application No. SC/B-21:112.

This application will be heard by the Committee as shown below:

DATE: Thursday, April 7th, 2022
TIME: 2:10 p.m.
PLACE: Via video link or call in (see attached sheet for details)
 To be streamed at
www.hamilton.ca/committeeofadjustment
 for viewing purposes only

SC/A-22: 59

Page 2

PUBLIC INPUT

Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

Orally: If you would like to speak to this item at the hearing you may do so via video link or by calling in. Please see attached page for complete instructions, including deadlines for registering to participate.

MORE INFORMATION

For more information on this matter, including access to drawings illustrating this request:

- Visit www.hamilton.ca/committeeofadjustment
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935
- Email Committee of Adjustment staff at cofa@hamilton.ca

DATED: March 22nd, 2022.

Jamila Sheffield,
Secretary-Treasurer
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public.

SKETCH PREPARED FOR BUILDING PERMIT APPLICATION

FOR: HILLWOOD HOMES
11 KILBOURNE AVE.
CITY OF STONEY CREEK

PIN 17226-0173 (LT)
SCALE: 1 : 200

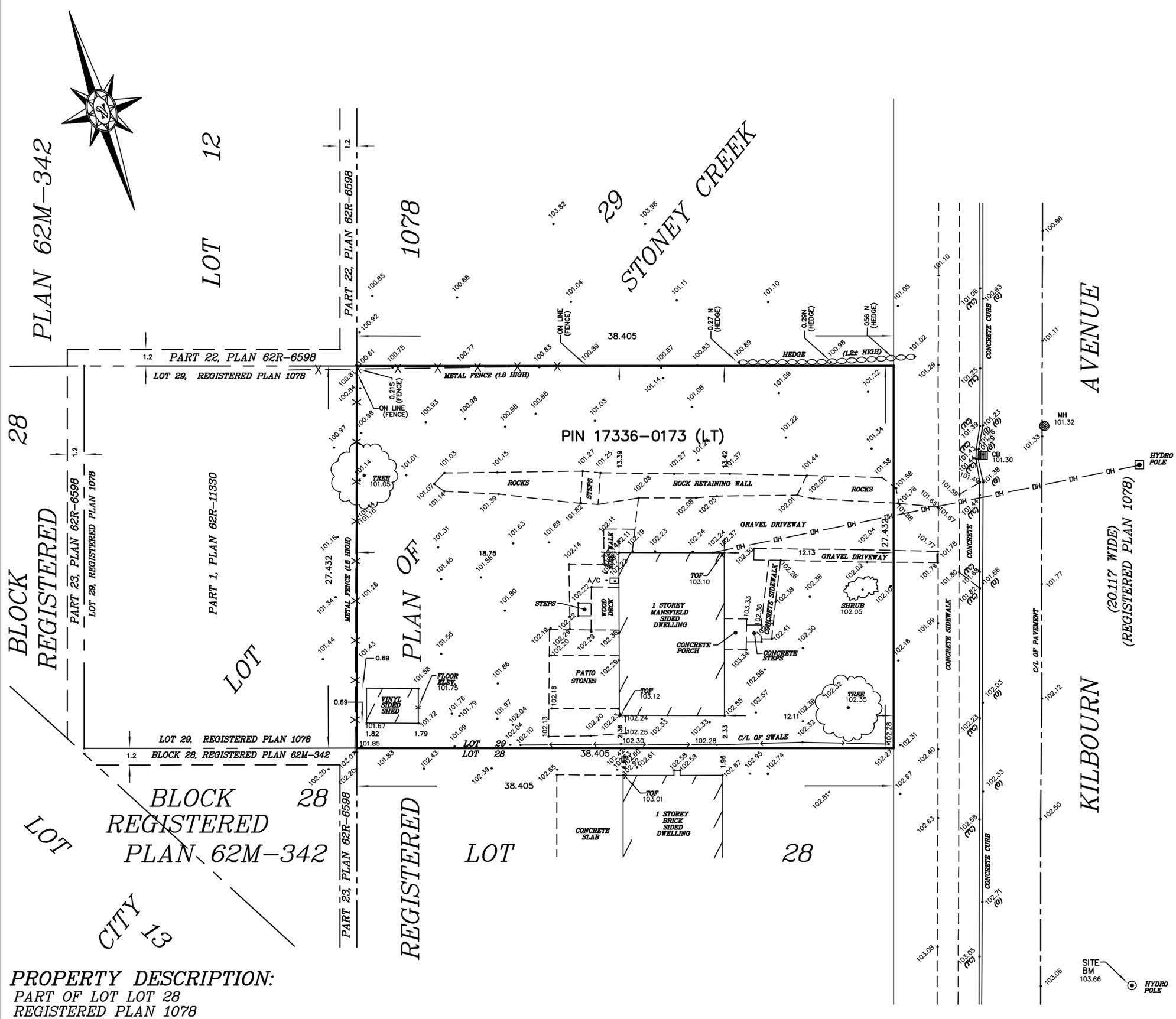
JEWITT AND DIXON LTD.

SITE B.M.#1
SPIKE IN WEST FACE
OF WOOD HYDRO POLE
ELEV = 103.66
(GEODETIC)

LEGEND	
BELL BOX	SHOWN BBX □
BENCH MARK	SHOWN BM ⊙
CATCH BASIN	SHOWN CB ■
TOP OF FOUNDATION	SHOWN TOF —
OVERHEAD HYDRO LINE	SHOWN O/H —
WATER VALVE	SHOWN WV ⊕
HYDRO POLE	SHOWN HP ⊕
GAS METER	SHOWN GM ⊕
MANHOLE	SHOWN MH ⊕
GUTTER	SHOWN G —
TOP OF CURB	SHOWN TC —

NOTES

- (1) - A SURVEY OF THE SUBJECT PROPERTY HAS NOT BEEN MADE AVAILABLE
- (2) - PROPOSED BUILDING POSITIONED BY CALCULATIONS, NOT BY ACTUAL SURVEY
- (3) - PROPOSED FINAL GRADES ARE SHOWN AND ARE IN METERS
- (4) - T.F.W. DENOTES TOP OF FOUNDATION WALL
- (5) - U.S.F. DENOTES UNDERSIDE OF FOOTING
- (6) - F.F. DENOTES FINISHED FLOOR
- (7) - SITE BENCHMARK HAVING A GEODETIC ELEVATION OF 1 meters
- (8) - IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE ELEVATION OF THE UPPER LIMIT OF THE GROUND WATER TABLE, SOIL BEARING CAPACITY AND THE ELEVATION OF THE UNDER SIDE OF FOOTING PRIOR TO EXCAVATION.
- (9) - IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE SITE BENCH MARK PRIOR TO EXCAVATION
- (10) - ELEVATIONS ARE REFERRED TO CANADIAN GEODETIC DATUM, CGVD 1928 VERTICAL DATUM
- (11) - THIS SKETCH WAS COMPLETED FROM FIELD WORK COMPLETED ON THE



PROPERTY DESCRIPTION:

PART OF LOT 28
REGISTERED PLAN 1078
CITY OF STONEY CREEK
REGIONAL MUNICIPALITY OF HAMILTON-WENTWORTH
CAUTION

THIS IS NOT A PLAN OF SURVEY OR SURVEYOR'S REPORT AND SHALL NOT BE USED FOR TRANSACTION OR FINANCING PURPOSES

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JEWITT AND DIXON LTD.
ONTARIO LAND SURVEYORS
R.R.1, SIMCOE, ONTARIO, N3Y 4J9
(51 PARK ROAD)
PHONE: (519) 426-0842
E-mail: surveyors@amtelecom.net

F.W.	-	J.H.
BOOK	-	LL
CALC.	-	J.L.M.
PLAN	-	J.L.M.
CHECK	-	K.H.

CLIENT-HILLWOOD HOMES
PROJECT No. -21-3201

21-3201-GP



Committee of Adjustment
City Hall, 5th Floor,
71 Main St. W.,
Hamilton, ON L8P4Y5

Phone: (905) 546-2424 ext. 4221
Email: cofa@hamilton.ca

APPLICATION FOR A MINOR VARIANCE

FOR OFFICE USE ONLY.	
APPLICATION NO. _____	DATE APPLICATION RECEIVED _____
PAID _____	DATE APPLICATION DEEMED COMPLETE _____
SECRETARY'S SIGNATURE _____	

The Planning Act

Application for Minor Variance or for Permission

The undersigned hereby applies to the Committee of Adjustment for the City of Hamilton under Section 45 of the *Planning Act*, R.S.O. 1990, Chapter P.13 for relief, as described in this application, from the Zoning By-law.

1, 2	NAME	MAILING ADDRESS
Registered Owners(s)	[REDACTED]	
Applicant(s)*		
Agent or Solicitor		

Note: Unless otherwise requested all communications will be sent to the agent, if any.

3. Names and addresses of any mortgagees, holders of charges or other encumbrances:

N/A

Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled

4. Nature and extent of relief applied for:

Please see Cover Letter.

- Second Dwelling Unit Reconstruction of Existing Dwelling

5. Why it is not possible to comply with the provisions of the By-law?

Please see Cover Letter.

6. Legal description and Address of subject lands (registered plan number and lot number or other legal description and where applicable, **street and street number**):

Part Lot 29, PI 1078, Except Pt 1, Reg Plan 62R11330
11 Kilbourn Avenue, Stoney Creek, City of Hamilton

7. PREVIOUS USE OF PROPERTY

Residential Industrial Commercial

Agricultural Vacant

Other N/A

- 8.1 If Industrial or Commercial, specify use N/A
- 8.2 Has the grading of the subject land been changed by adding earth or other material, i.e. has filling occurred?
Yes No Unknown
- 8.3 Has a gas station been located on the subject land or adjacent lands at any time?
Yes No Unknown
- 8.4 Has there been petroleum or other fuel stored on the subject land or adjacent lands?
Yes No Unknown
- 8.5 Are there or have there ever been underground storage tanks or buried waste on the subject land or adjacent lands?
Yes No Unknown
- 8.6 Have the lands or adjacent lands ever been used as an agricultural operation where cyanide products may have been used as pesticides and/or sewage sludge was applied to the lands?
Yes No Unknown
- 8.7 Have the lands or adjacent lands ever been used as a weapon firing range?
Yes No Unknown
- 8.8 Is the nearest boundary line of the application within 500 metres (1,640 feet) of the fill area of an operational/non-operational landfill or dump?
Yes No Unknown
- 8.9 If there are existing or previously existing buildings, are there any building materials remaining on site which are potentially hazardous to public health (eg. asbestos, PCB's)?
Yes No Unknown

8.10 Is there any reason to believe the subject land may have been contaminated by former uses on the site or adjacent sites?

Yes No Unknown

8.11 What information did you use to determine the answers to 8.1 to 8.10 above?

Online mapping and property owner information.

8.12 If previous use of property is industrial or commercial or if YES to any of 8.2 to 8.10, a previous use inventory showing all former uses of the subject land, or if appropriate, the land adjacent to the subject land, is needed.

Is the previous use inventory attached? Yes No

9. ACKNOWLEDGEMENT CLAUSE

I acknowledge that the City of Hamilton is not responsible for the identification and remediation of contamination on the property which is the subject of this Application – by reason of its approval to this Application.

February 14, 2022
Date

DocuSigned by:
Wendy Casciani
Signature Property Owner(s)

Wendy Casciani & Valerio Casciani
Print Name of Owner(s)

10. Dimensions of lands affected:

Frontage Part 1 (13.72m), Part 2 (13.71m)
Depth Part 1 (38.41m), Part 2 (38.41m)
Area Part 1 (526.76 sq m), Part 2 (526.76 sq m)
Width of street

11. Particulars of all buildings and structures on or proposed for the subject lands: (Specify ground floor area, gross floor area, number of stories, width, length, height, etc.)

Existing:
One single detached dwelling.

Proposed
One single detached dwelling per lot.

12. Location of all buildings and structures on or proposed for the subject lands; (Specify distance from side, rear and front lot lines)

Existing:
One single detached dwelling.

Proposed:
One single detached dwelling per lot.

13. Date of acquisition of subject lands:
Unknown.
14. Date of construction of all buildings and structures on subject lands:
Unknown.
15. Existing uses of the subject property (single family, duplex, retail, factory etc.):
Single family.
16. Existing uses of abutting properties (single family, duplex, retail, factory etc.):
Single family.
17. Length of time the existing uses of the subject property have continued:
Unknown.
18. Municipal services available: (check the appropriate space or spaces)
Water Yes Connected Yes
Sanitary Sewer Yes Connected Yes
Storm Sewers Yes
19. Present Official Plan/Secondary Plan provisions applying to the land:
"Neighbourhoods" UHOP, "Low Density Residential 2b" Western Dev. SP
20. Present Restricted Area By-law (Zoning By-law) provisions applying to the land:
"R2 - Single Residential - Two" City of Stoney Creek Zoning By-law 3692-92.
21. Has the owner previously applied for relief in respect of the subject property? (Zoning By-law Amendment or Minor Variance)
 Yes No
- If yes, please provide the file number:
N/A
- 21.1 If a site-specific zoning by-law amendment has been received for the subject property, has the two-year anniversary of the by-law being passed expired?
 Yes No
- 21.2 If the answer is no, the decision of Council, or Director of Planning and Chief Planner that the application for Minor Variance is allowed must be included. Failure to do so may result in an application not being "received" for processing.
22. Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?
 Yes No
23. Additional Information (please include separate sheet if needed)
SC/B-21:112
24. The applicant shall attach to each copy of this application a plan showing the dimensions of the subject lands and of all abutting lands and showing the location, size and type of all buildings and structures on the subject and abutting lands, and where required by the Committee of Adjustment such plan shall be signed by an Ontario Land Surveyor.



Hamilton

COMMITTEE OF ADJUSTMENT

City Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5
 Telephone (905) 546-2424, ext. 4221, 3935 Fax (905) 546-4202
 E-mail: cofa@hamilton.ca

NOTICE OF PUBLIC HEARING
Minor Variance

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
- Applicant/agent on file, or
- Person likely to be interested in this application

APPLICATION NO.: SC/A-22:74

APPLICANTS: Agent A.J. Clarke & Associates - S. Fraser
 Owners C. & K. Horrill

SUBJECT PROPERTY: Municipal address **1367 & 1371 Hwy 8, Stoney Creek**

ZONING BY-LAW: Zoning By-law 3692-92, as Amended

ZONING: "RR" (Rural Residential) district

PROPOSAL: To permit the severance of the lands in order to create two (2) lots as per Consent application SC/B-21:41 as well as maintain the existing single detached dwellings, notwithstanding that;

Lands known municipally as 1367 Highway No. 8:

1. A minimum lot area of 2913.0m² shall be permitted instead of the minimum 4050.0m² lot area required.
2. A minimum lot frontage of 27.6m shall be permitted instead of the minimum 30.0m lot frontage required.
3. A minimum front yard of 9.1m shall be permitted instead of the minimum 10.0m front yard required.
4. A minimum maximum height of 9.0m shall be permitted for the existing accessory building instead of the maximum 4.5m height permitted.

Lands known municipally as 1371 Highway No. 8:

5. A minimum lot area of 2920.0m² shall be permitted instead of the minimum 4050.0m² lot area required.
6. A minimum lot frontage of 28.9m shall be permitted instead of the minimum 30.0m lot frontage required.
7. A minimum front yard of 9.5m shall be permitted instead of the minimum 10.0m front yard required.

This application will be heard by the Committee as shown below:

DATE: Thursday, April 7th, 2022
TIME: 2:15 p.m.
PLACE: Via video link or call in (see attached sheet for details)
To be streamed at
www.hamilton.ca/committeeofadjustment
for viewing purposes only

PUBLIC INPUT

Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

Orally: If you would like to speak to this item at the hearing you may do so via video link or by calling in. Please see attached page for complete instructions, including deadlines for registering to participate.

MORE INFORMATION

For more information on this matter, including access to drawings illustrating this request:

- Visit www.hamilton.ca/committeeofadjustment
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935
- Email Committee of Adjustment staff at cofa@hamilton.ca

DATED: March 22nd, 2022.

Jamila Sheffield,
Secretary-Treasurer
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public.

SURVEYOR'S REAL PROPERTY REPORT

PART 1
PLAN OF
PART OF LOT 3 - CONCESSION 2
GEOGRAPHIC TOWNSHIP OF SALT FLEET
IN THE
CITY OF HAMILTON

SCALE 1:400
0 5 10 15 metres
NICHOLAS P. MUTH, O.L.S.

ASSOCIATION OF ONTARIO
LAND SURVEYORS
PLAN SUBMISSION FORM
2184933

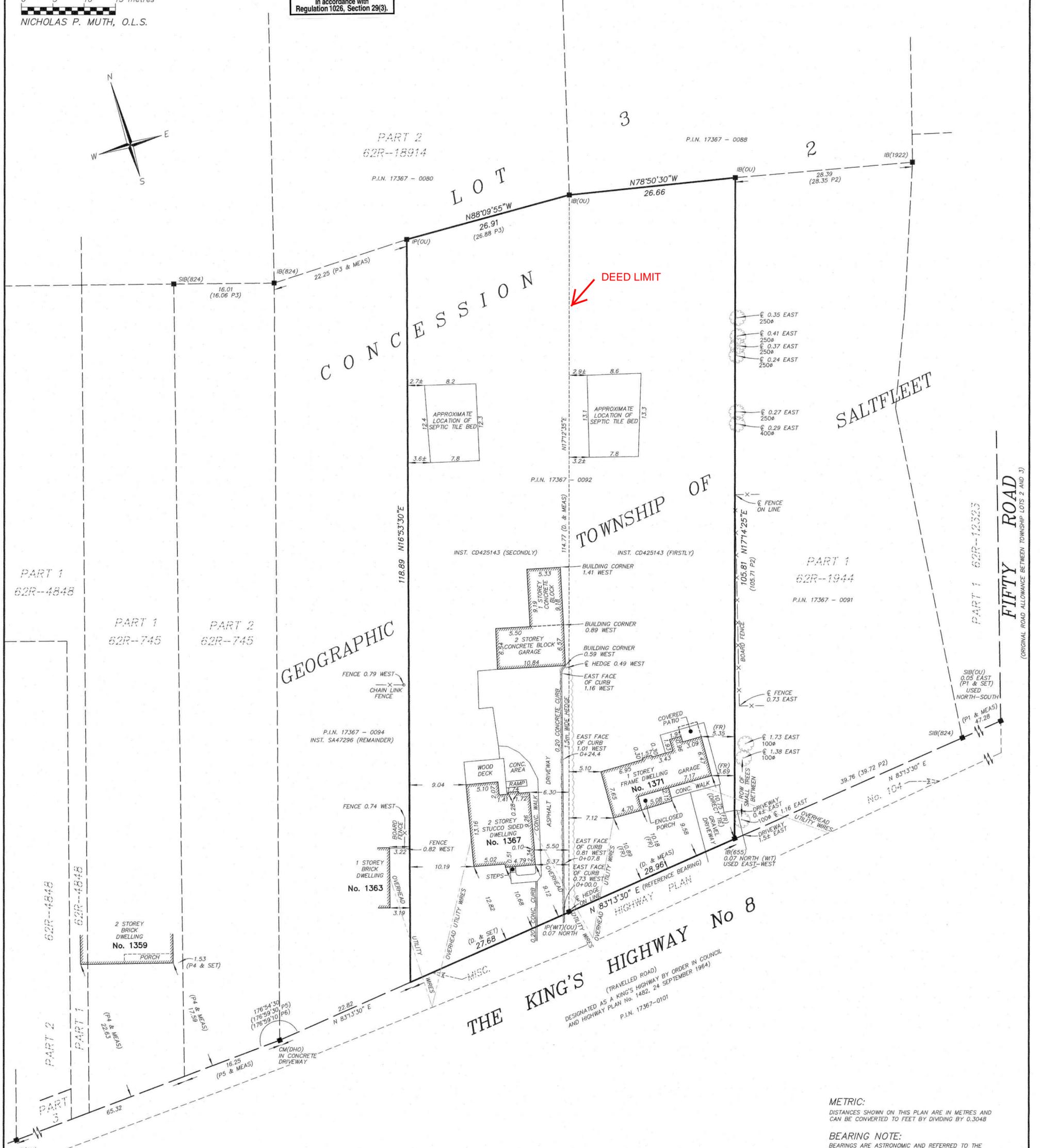
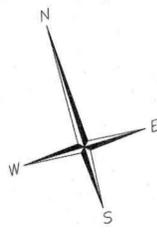


THIS PLAN IS NOT VALID
UNLESS IT IS AN EMBOSSED
ORIGINAL COPY
ISSUED BY THE SURVEYOR
In accordance with
Regulation 1026, Section 29(3).

THIS REPORT WAS PREPARED FOR
CHRISTOPHER & KELLEY HORRILL

NOTE:

TIES ARE TAKEN TO FOUNDATION
UNLESS OTHERWISE NOTED



SURVEYOR'S CERTIFICATE:

- I CERTIFY THAT:
1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT AND THE REGULATIONS MADE UNDER THEM.
2. THE SURVEY WAS COMPLETED ON THE 5th DAY OF NOVEMBER, 2021

DECEMBER 22, 2021
DATE

NICHOLAS P. MUTH, O.L.S.
ONTARIO LAND SURVEYOR

SURVEYOR'S REAL PROPERTY REPORT

PART 1 - PLAN R-4620

PART 2
PARCEL IS NOT SUBJECT TO ANY
EASEMENTS OR RIGHT-OF-WAYS.
PLEASE REFER TO FACE OF PLAN FOR
SPECIFIC LOCATION OF FENCES AND
CONCRETE CURB.

LEGEND:

- DENOTES SURVEY MONUMENT PLANTED
■ DENOTES SURVEY MONUMENT FOUND
IB DENOTES IRON BAR
SIB DENOTES STANDARD IRON BAR
IP DENOTES IRON PIPE
CM DENOTES CONCRETE MONUMENT
(O.U.) DENOTES ORIGINAL UNKNOWN
(639) DENOTES J. M. LEITCH, O.L.S.
(655) DENOTES J. T. PETERS, O.L.S.
(824) DENOTES A. T. McLAREN, O.L.S.
(1922) DENOTES H. KALANTZAKOS, O.L.S.
(DHO) DENOTES DEPARTMENT OF HIGHWAYS OF ONTARIO
P1 DENOTES PLAN 62R-12323
P2 DENOTES PLAN 62R-1394
P3 DENOTES PLAN 62R-18914
P4 DENOTES PLAN BY A.T. McLAREN O.L.S. DATED APRIL 16, 1980 (FILE 15217)
P5 DENOTES PLAN 62R-745
D. DENOTES INSTRUMENT CD425143
MEAS. DENOTES MEASURED
CONC. DENOTES CONCRETE
FR. DENOTES TIES TO FRAME

METRIC:

DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

BEARING NOTE:

BEARINGS ARE ASTRONOMIC AND REFERRED TO THE NORTHERLY LIMIT OF THE KING'S HIGHWAY B AS SHOWN ON DEPOSITED PLAN No. 133 HAVING A BEARING OF N83°13'30"E

NOTE:

A. J. CLARKE & ASSOCIATES LTD. is not liable for use of this REPORT by any party or parties for FUTURE TRANSACTIONS or for any unrelated purposes. This REPORT reflects conditions at time of survey. UPDATING may be required to issue ADDITIONAL COPIES subsequent to DATE of the SURVEYOR'S CERTIFICATE.



A. J. Clarke and Associates Ltd.

SURVEYORS • PLANNERS • ENGINEERS
25 MAIN STREET WEST, SUITE 300
HAMILTON, ONTARIO, L8P 1H1
TEL. 905-528-8761 FAX 905-528-2289
email: ajc@ajclarke.com

PROJECT No. 218075D



A. J. Clarke and Associates Ltd.

SURVEYORS • PLANNERS • ENGINEERS

City of Hamilton – Committee of Adjustment
 City Hall 5th Floor
 71 Main St W, Hamilton, ON L8P 4Y5

March 7, 2022

Attn: Jamila Sheffield, Secretary-Treasurer
 Delivered via e-mail: Jamila.Sheffield@hamilton.ca

**Re: 1367 & 1371 Highway No. 8, Stoney Creek
 Minor Variance Submission for Conditions 2, 5, and 6 of Severance Application SC/B-21:41**

Dear Madam:

A. J. Clarke and Associates Ltd. has been retained by the owners of 1367 and 1371 Highway No. 8 in Stoney Creek for the purposes of submitting the enclosed Minor Variance Submission. Subject lands inadvertently merged on title and the minor variances are required to identify zoning deficiencies that have resulted by way of the shared lot line being re-established. The minor variances are required to clear conditions 2, 5, and 6 of severance approval under File: SC/B-21:41. Below is a summary of the materials submitted to your attention:

- One (1) electronic copy of the required filled and signed Minor Variance Application form;
- One (1) cheque in the amount of \$3,465 representing the required application fee;
- One (1) electronic PDF copy of the “Surveyor’s Real Property Report, Part 1”, prepared by A.J. Clarke and Associates Ltd. (Please Note: a 6.25m wide road widening is going to be conveyed to the City as part of the severance approval, but that widening is not shown on the survey. A reference plan is being prepared to show that road widening.)

The subject site is Zoned “RR – Rural Residential” as per Stoney Creek Zoning By-law 3692-92. The lands are currently occupied by two existing single-detached dwellings with an accessory building located on 1367 Highway 8.

By recreating the former boundary line that existed prior to the inadvertent merging of the two properties, each property will require minor variances as follows:

Zoning Bylaw for RR	Requirement	Existing on Proposed 1367 Lot	Existing on Proposed 1371 Lot
Lot Area	4,050 sq m	±2913.31 sq m (±2743.65 sq m with road widening)	±2920.88 sq m (±2739.86 sq m with road widening)
Lot Frontage	30 metres	27.68 metres	28.96 metres
Front Yard Setback	10 metres	9.12 metres (±2.87 metres with road widening)	9.58 metres (±3.33 metres with road widening)
Accessory Building Height	4.5 metres	± 9 metres	None



City of Hamilton Attn: Jamila Sheffield
Re: 1367 and 1371 Highway 8, Stoney Creek
Minor Variance Submission

March 7, 2022

Page 2 of 2

Both lots have access to municipal water but use a septic system rather than sanitary sewer. As such, these lots would require a Lot Area of 4,050 square metres. This application requires a Minor Variance from 4,050 to $\pm 2,913.31$ sq m for 1367 Highway 8, and to $\pm 2,920.88$ sq m for 1371 Highway 8. Once the road widening is conveyed to the City, as Condition 8 of SC/8-21:41 describes, a variance will be required to reduce the lot area requirements. 1367 Highway 8 would require a lot area reduction to $\pm 2,743.65$ square metres 1371 Highway 8 would require a reduction to $\pm 2,739.86$ square metres.

Minor Variances will be required to address lot frontage from the required 30 metres. 1367 Highway 8 will require a reduction to 27.60 metres; 1371 Highway 8 would require a reduction to 28.90 metres. Both of these lot frontages existed prior to the lots merging on title.

Minor Variances will be required to address the front yard setback requirement of 10 metres. 1367 Highway 8 requires a reduction to 9.10 metres; 1371 Highway 8 requires a reduction to 9.50 metres. Once the road widening is conveyed to the City, as Condition 8 of SC/8-21 :41 describes, a variance will be required to reduce the front yard setbacks. 1367 Highway 8 would require a front yard reduction to 2.80 metres and 1371 Highway 8 would require a reduction to 3.30 metres.

1367 Highway 8 will also require a variance to the height of the detached garage structure located in the rear yard. The existing garage structure is 2 storeys (± 9 metres) and would require an increase from the bylaw's 4.5 metre maximum height. This structure has existed as legal non-conforming for previous decades.

these variances are minor in nature and will have no effect on the existing built environment as these structures have been in place for decades and generally are in keeping with the general intent of the Zoning By-law.

I trust that you will find the enclosed satisfactory for your purposes. Please confirm receipt of this submission and we look forward to being scheduled for the next available Committee hearing date. If you have any questions or require additional information, please do not hesitate to contact this office.

Yours truly,

A handwritten signature in blue ink, appearing to read 'S. Fraser'.

Stephen Fraser MCIP, RPP
Principal, Planner
A. J. Clarke and Associates Ltd.



Hamilton

Committee of Adjustment

City Hall, 5th Floor,

71 Main St. W.,

Hamilton, ON L8P4Y5

Phone: (905) 546-2424 ext. 4221

Email: cofa@hamilton.ca

APPLICATION FOR A MINOR VARIANCE

FOR OFFICE USE ONLY.

APPLICATION NO. _____ DATE APPLICATION RECEIVED _____

PAID _____ DATE APPLICATION DEEMED COMPLETE _____

SECRETARY'S SIGNATURE _____

The Planning Act

Application for Minor Variance or for Permission

The undersigned hereby applies to the Committee of Adjustment for the City of Hamilton under Section 45 of the *Planning Act*, R.S.O. 1990, Chapter P.13 for relief, as described in this application, from the Zoning By-law.

1, 2

Registered Owners(s)	
Applicant(s)*	
Agent or Solicitor	

NAME	MAILING ADDRESS

Note: Unless otherwise requested all communications will be sent to the agent, if any.

3. Names and addresses of any mortgagees, holders of charges or other encumbrances:

Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled

4. Nature and extent of relief applied for:

Please refer to the corresponding cover letter.

Second Dwelling Unit

Reconstruction of Existing Dwelling

5. Why it is not possible to comply with the provisions of the By-law?

Subject lands inadvertently merged on title and the minor variances are required to identify zoning deficiencies that have resulted by way of the shared lot line being re-established. The minor variances are required to clear conditions of severance approval under File: SC/B-21:41

6. Legal description and Address of subject lands (registered plan number and lot number or other legal description and where applicable, **street and street number**):

1367 & 1371 Highway 8, Stoney Creek

7. PREVIOUS USE OF PROPERTY

Residential

Industrial

Commercial

Agricultural

Vacant

Other _____

8.1 If Industrial or Commercial, specify use _____

8.2 Has the grading of the subject land been changed by adding earth or other material, i.e. has filling occurred?

Yes No Unknown

8.3 Has a gas station been located on the subject land or adjacent lands at any time?

Yes No Unknown

8.4 Has there been petroleum or other fuel stored on the subject land or adjacent lands?

Yes No Unknown

8.5 Are there or have there ever been underground storage tanks or buried waste on the subject land or adjacent lands?

Yes No Unknown

8.6 Have the lands or adjacent lands ever been used as an agricultural operation where cyanide products may have been used as pesticides and/or sewage sludge was applied to the lands?

Yes No Unknown

8.7 Have the lands or adjacent lands ever been used as a weapon firing range?

Yes No Unknown

8.8 Is the nearest boundary line of the application within 500 metres (1,640 feet) of the fill area of an operational/non-operational landfill or dump?

Yes No Unknown

8.9 If there are existing or previously existing buildings, are there any building materials remaining on site which are potentially hazardous to public health (eg. asbestos, PCB's)?

Yes No Unknown

8.10 Is there any reason to believe the subject land may have been contaminated by former uses on the site or adjacent sites?

Yes No Unknown

8.11 What information did you use to determine the answers to 8.1 to 8.10 above?

Previous approvals, property owner's knowledge.

8.12 If previous use of property is industrial or commercial or if YES to any of 8.2 to 8.10, a previous use inventory showing all former uses of the subject land, or if appropriate, the land adjacent to the subject land, is needed.

Is the previous use inventory attached? Yes No

9. ACKNOWLEDGEMENT CLAUSE

I acknowledge that the City of Hamilton is not responsible for the identification and remediation of contamination on the property which is the subject of this Application – by reason of its approval to this Application.

January 21, 2022
Date

Christopher B. Horrill
Kelley Horrill
Signature Property Owner(s)

Kelley Elizabeth Horrilland Christo
Print Name of Owner(s)

10. Dimensions of lands affected:

Frontage +/-56.64m
Depth +/-105.81 to 118.89m (irregular)
Area +/-5,925.5sq.m
Width of street _____

11. Particulars of all buildings and structures on or proposed for the subject lands: (Specify ground floor area, gross floor area, number of stories, width, length, height, etc.)

Existing:___

Please refer to the attached survey R-4620

Proposed

No change

12. Location of all buildings and structures on or proposed for the subject lands; (Specify distance from side, rear and front lot lines)

Existing:___

Please refer to the attached survey R-4620

Proposed:

No change

13. Date of acquisition of subject lands:
2017
-
14. Date of construction of all buildings and structures on subject lands:
unknown (no construction proposed)
-
15. Existing uses of the subject property (single family, duplex, retail, factory etc.):
Single detached dwelling(s)
-
16. Existing uses of abutting properties (single family, duplex, retail, factory etc.):
Single detached dwelling(s)
-
17. Length of time the existing uses of the subject property have continued:
over 20 years
-
18. Municipal services available: (check the appropriate space or spaces)
Water Yes Connected Yes
Sanitary Sewer _____ Connected _____
Storm Sewers _____
19. Present Official Plan/Secondary Plan provisions applying to the land:
"Rural Areas" on Schedule "E" – Urban Structure and designated "Specialty Crop"
20. Present Restricted Area By-law (Zoning By-law) provisions applying to the land:
Rural Residential "RR" Zone
21. Has the owner previously applied for relief in respect of the subject property? (Zoning By-law Amendment or Minor Variance)
 Yes No
- If yes, please provide the file number:

- 21.1 If a site-specific zoning by-law amendment has been received for the subject property, has the two-year anniversary of the by-law being passed expired?
 Yes N/A No
- 21.2 If the answer is no, the decision of Council, or Director of Planning and Chief Planner that the application for Minor Variance is allowed must be included. Failure to do so may result in an application not being "received" for processing.
22. Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?
 Yes No
23. Additional Information (please include separate sheet if needed)
File: SC/B-21:41
-
24. The applicant shall attach to each copy of this application a plan showing the dimensions of the subject lands and of all abutting lands and showing the location, size and type of all buildings and structures on the subject and abutting lands, and where required by the Committee of Adjustment such plan shall be signed by an Ontario Land Surveyor.



Hamilton

COMMITTEE OF ADJUSTMENT

City Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5
 Telephone (905) 546-2424, ext. 4221, 3935 Fax (905) 546-4202
 E-mail: cofa@hamilton.ca

NOTICE OF PUBLIC HEARING
Minor Variance

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
- Applicant/agent on file, or
- Person likely to be interested in this application

APPLICATION NO.: HM/A-22:55

APPLICANTS: Owners A. Rambert & E. Saulig

SUBJECT PROPERTY: Municipal address **302 Charlton Ave. W., Hamilton**

ZONING BY-LAW: Zoning By-law 05-200, as Amended 17-240

ZONING: "C5a" (Mixed Use Medium Density - Pedestrian Focus) district

PROPOSAL: To permit the construction of a new third storey dormer, as well as the expansion of an existing third storey dormer to the existing Single Detached Dwelling notwithstanding that:

1. A maximum increase of 25% of the existing gross floor area shall be provided whereas the by-law permits a maximum gross floor area increase of 10% of the existing gross floor area.

NOTES:

i. Please be advised that the use of a Single Detached Dwelling is not permitted in the current zoning designation. However, pursuant to subsection 10.5a.4, an addition or alteration to an existing single detached dwelling is permitted provided that the expansion does not increase the gross floor area more than 10% of the buildings existing gross floor area.

The applicant has indicated that the proposed addition results in an increase of 24.3% of the existing gross floor area.

This application will be heard by the Committee as shown below:

DATE: Thursday, April 7th, 2022
TIME: 2:20 p.m.
PLACE: Via video link or call in (see attached sheet for details)
 To be streamed at
www.hamilton.ca/committeeofadjustment
 for viewing purposes only

PUBLIC INPUT

Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

HM/A-22: 55

Page 2

Orally: If you would like to speak to this item at the hearing you may do so via video link or by calling in. Please see attached page for complete instructions, including deadlines for registering to participate.

MORE INFORMATION

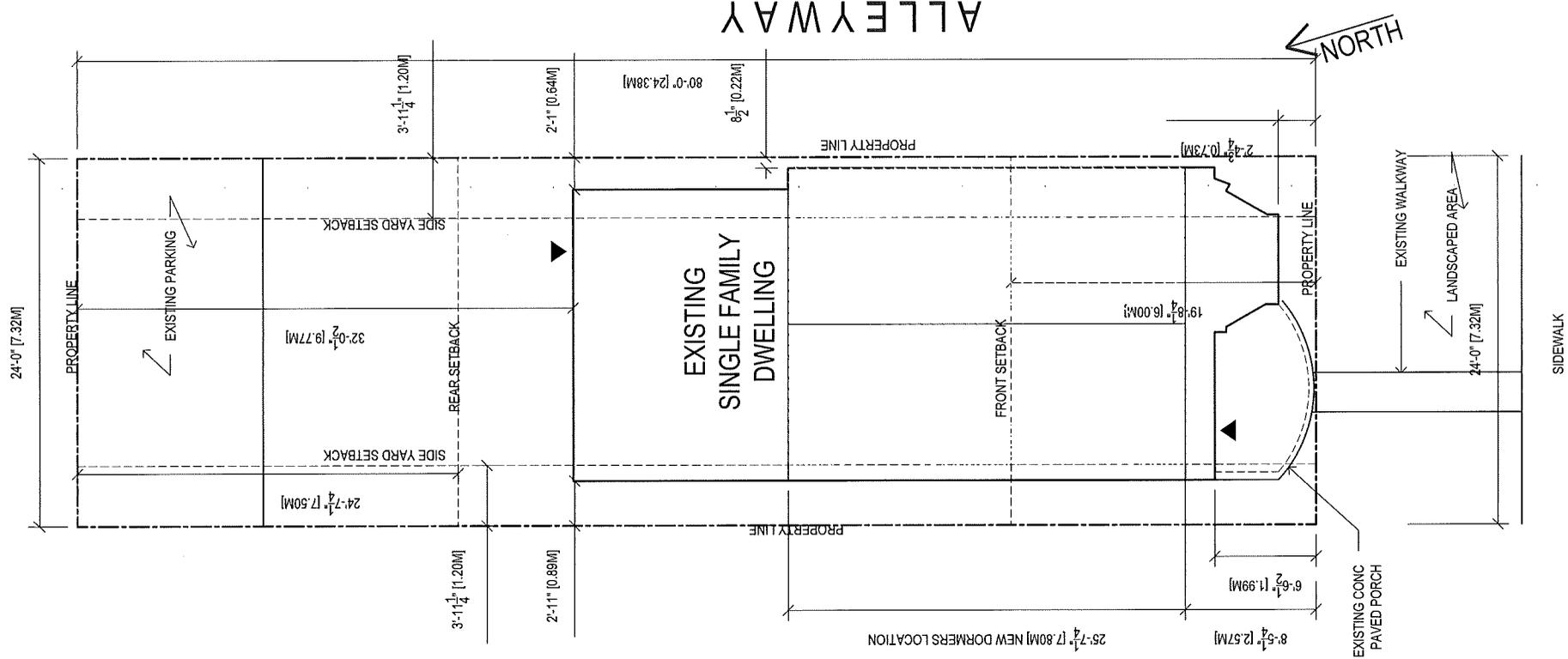
For more information on this matter, including access to drawings illustrating this request:

- Visit www.hamilton.ca/committeeofadjustment
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935
- Email Committee of Adjustment staff at cofa@hamilton.ca

DATED: March 22nd, 2022.

Jamila Sheffield,
Secretary-Treasurer
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public.



NOTES:

ZONE 'C5a'

LOT AREA- 1920 SQ.FT (178.37 SQ. M)

REQ'D SETBACKS

FRONT-6.0 M (19.68 FT.)

REAR-7.5M (24.6 FT)

SIDE YARD- 1.2 M (3.94 FT)

EXISTING SETBACK

FRONT-2.4FT (0.73 M)

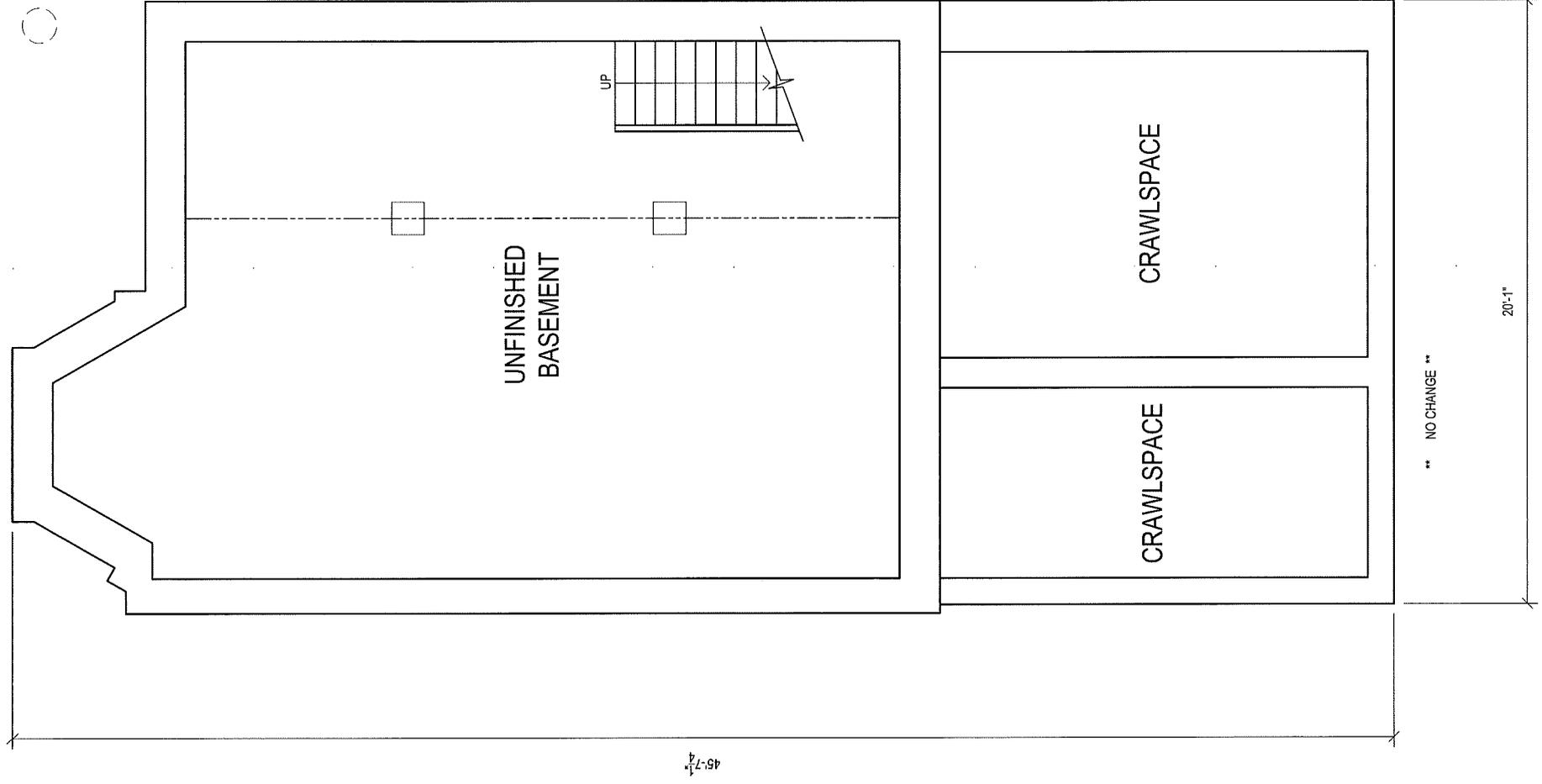
REAR- 32.04' (9.77M)

SIDE (WEST)-2.91' (0.89 M)

SIDE (EAST)- 0.71' (0.22M)

CHARLTON AVE. WEST

Drawing: PROPOSED SITE PLAN	Scale:	3/32"=1'-0"
	Date:	JAN.24, 2020
Project: 302 CHARLTON AVE W HAMILTON	Project No.	-
	Dwg. No.	A-1



** NO CHANGE **

20'-1"

Drawing:

**EXISTING BASEMENT
FLOOR PLAN**

Scale:

3/16"=1'-0"

Date:

JAN.24, 2020

Project:

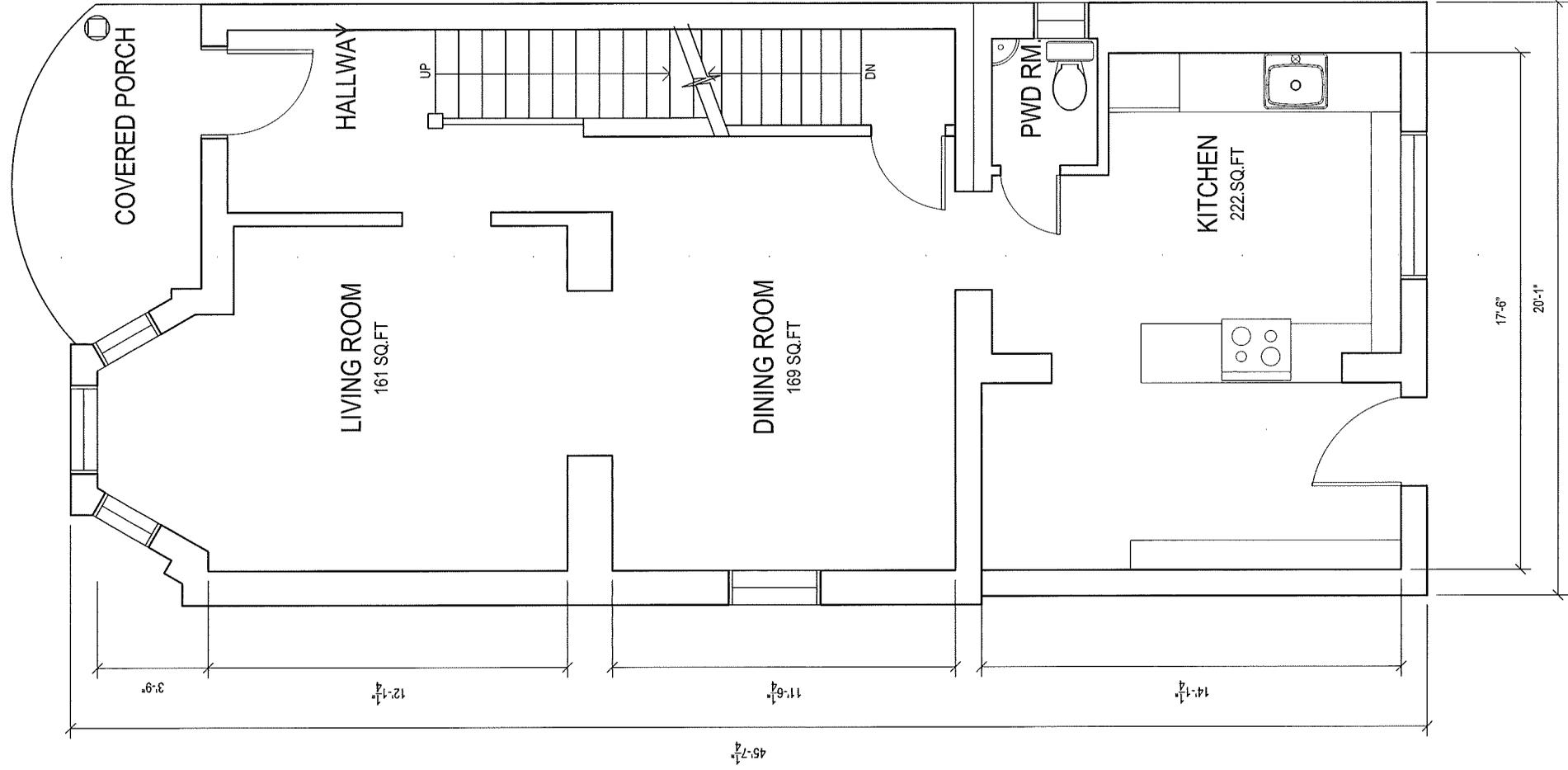
**302 CHARLTON AVE W
HAMILTON**

Project No.

-

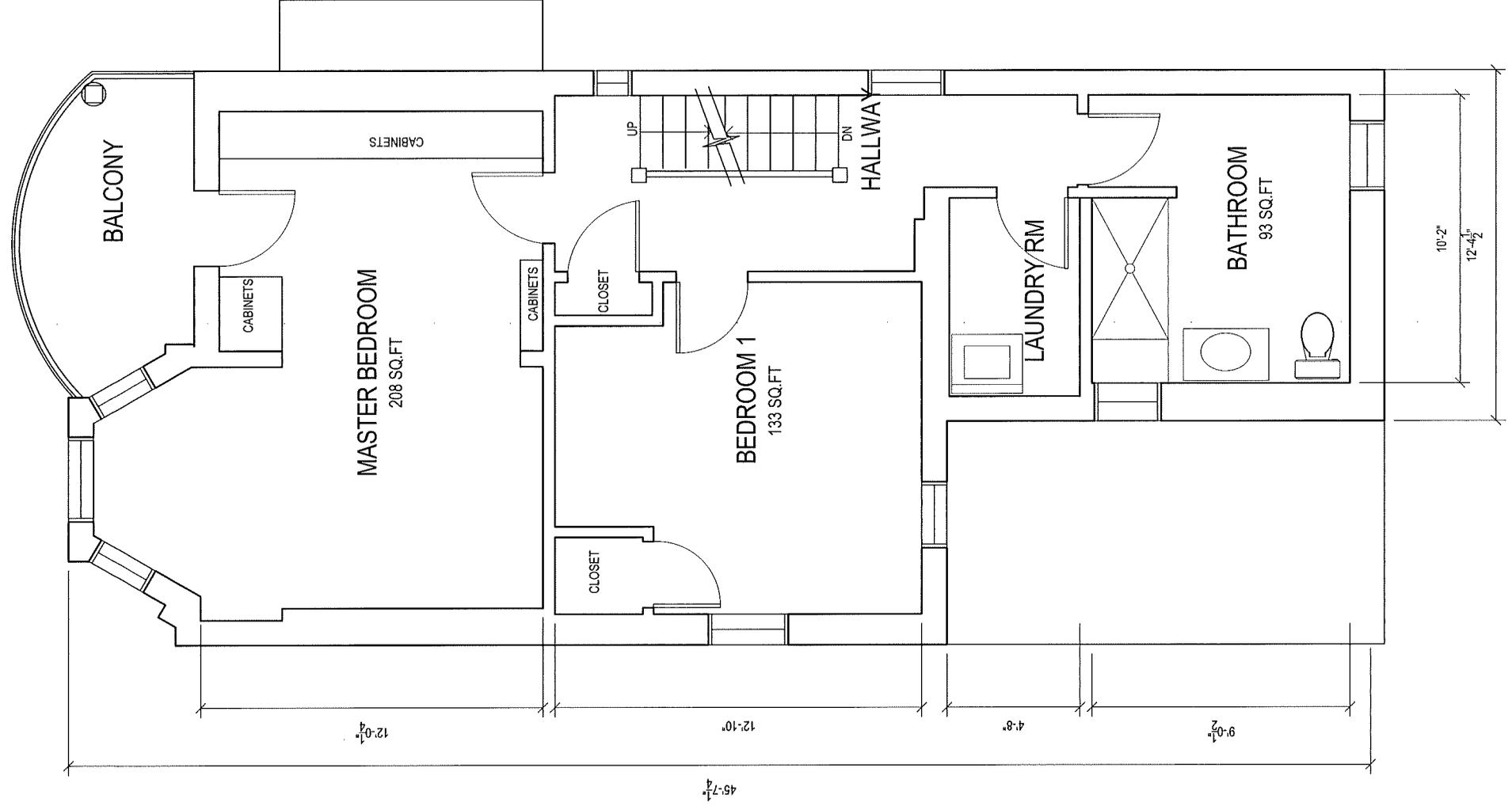
Dwg. No.

A-2



GFA=719.5 SQ.FT

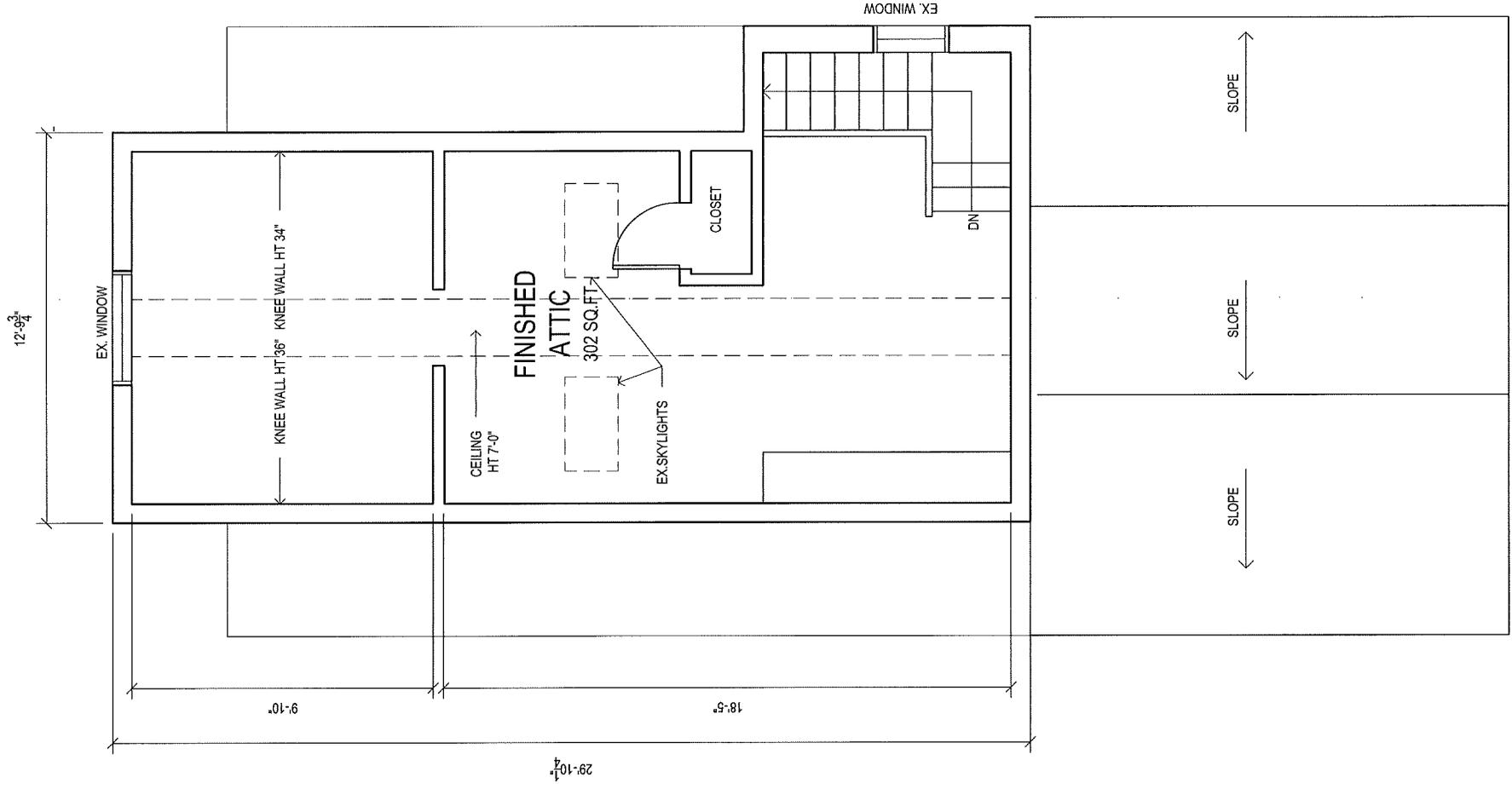
Drawing: EXISTING GROUND FLOOR PLAN	Scale:	3/16"=1'-0"
	Date:	JAN.24, 2020
Project: 302 CHARLTON AVE W HAMILTON	Project No.	-
	Dwg. No.	A-3



** NO CHANGE **

GFA-596.2 SQ.FT

Drawing: EXISTING 2ND FLOOR PLAN	Scale:	3/16"=1'-0"	
	Date:	JAN.24, 2020	
Project: 302 CHARLTON AVE W HAMILTON	Project No.	-	Dwg. No.
			A-4



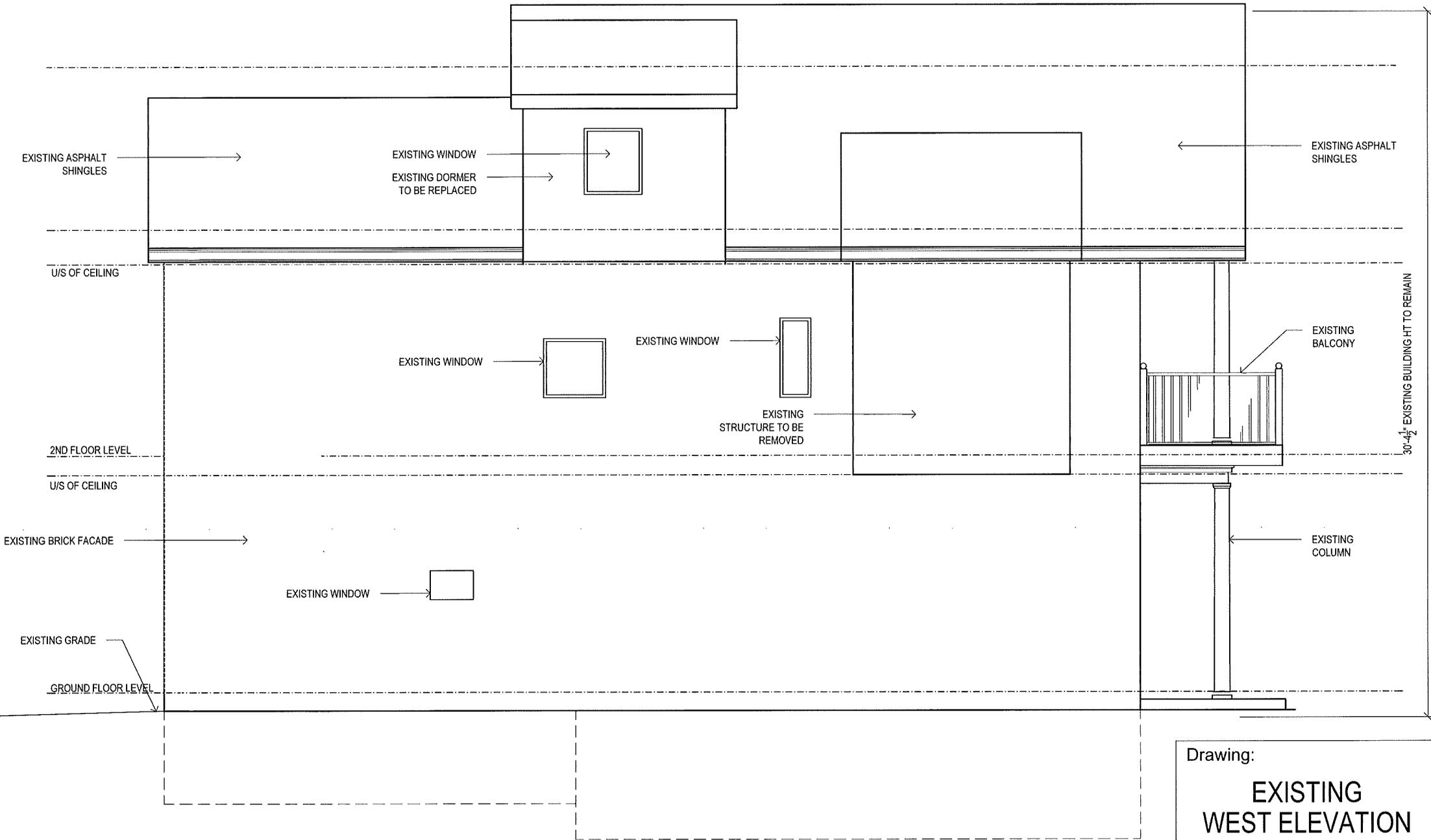
Drawing:
**EXISTING
 ATTIC PLAN**

Project:
**302 CHARLTON AVE W
 HAMILTON**

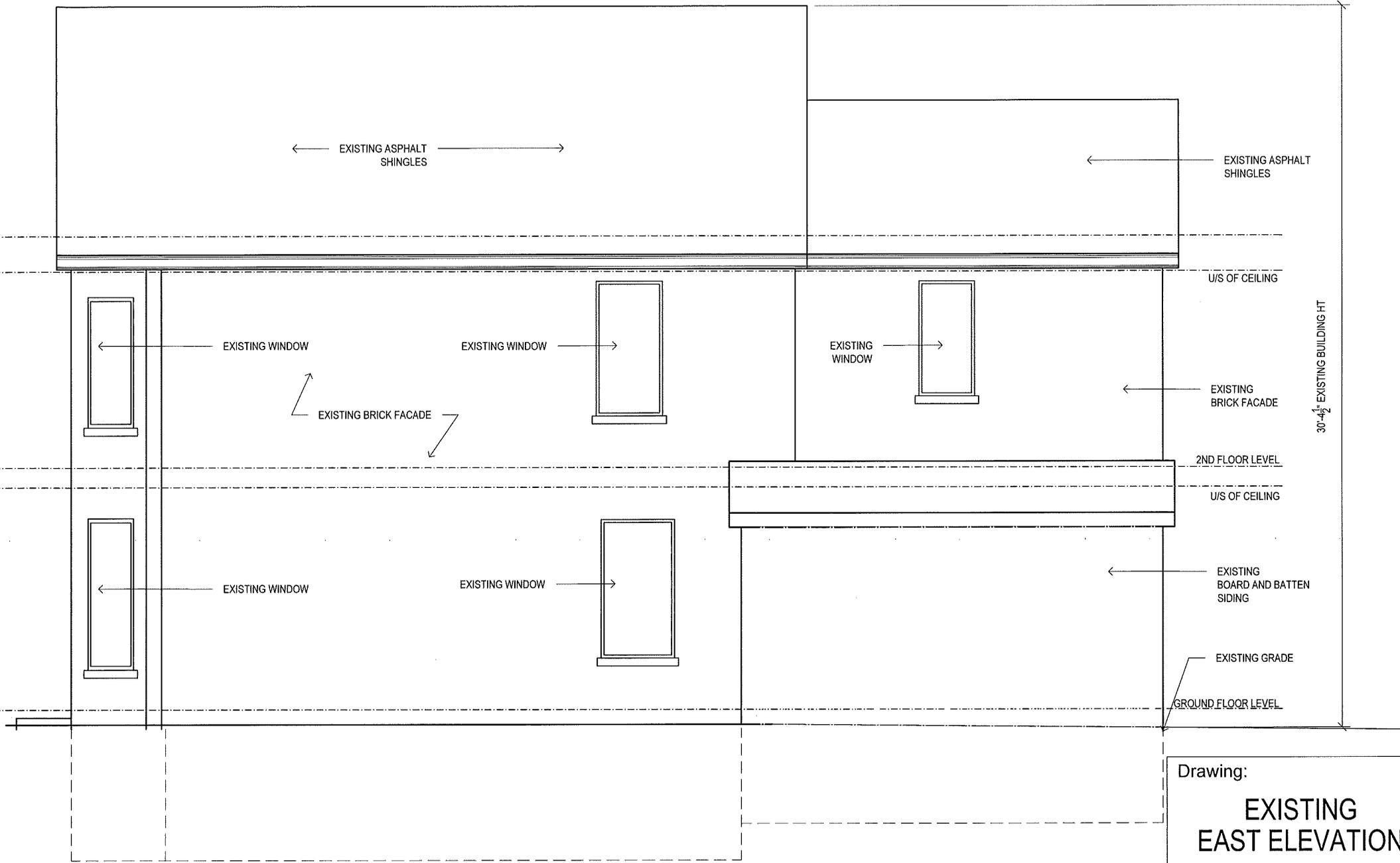
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Date: JAN. 24, 2020

Project No. - Dwg. No. A-5

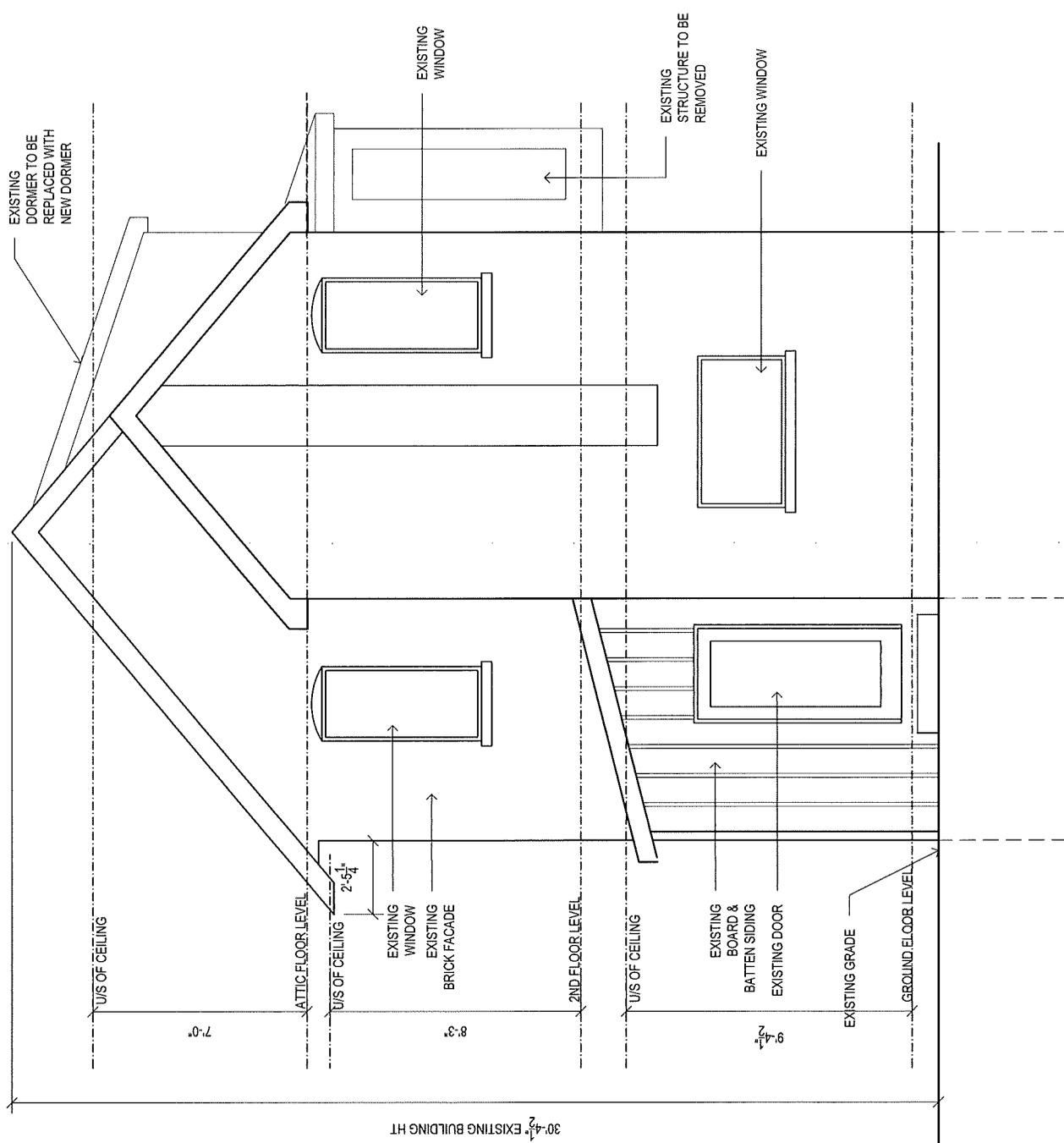


Drawing:		Scale:	
EXISTING WEST ELEVATION		3/16"=1'-0"	
		Date:	
Project:		Date:	
		JAN.24, 2020	
302 CHARLTON AVE W HAMILTON		Project No.	Dwg. No.
		-	A-7



SIDE ELEVATION

Drawing:		Scale:	
EXISTING EAST ELEVATION		3/16"=1'-0"	
		Date:	
302 CHARLTON AVE W HAMILTON		JAN.24, 2020	
		Project No.	Dwg. No.
		-	A-8



Drawing:

**EXISTING
REAR ELEVATION**

Scale: 3/16"=1'-0"

Date: JAN. 24, 2020

Project:

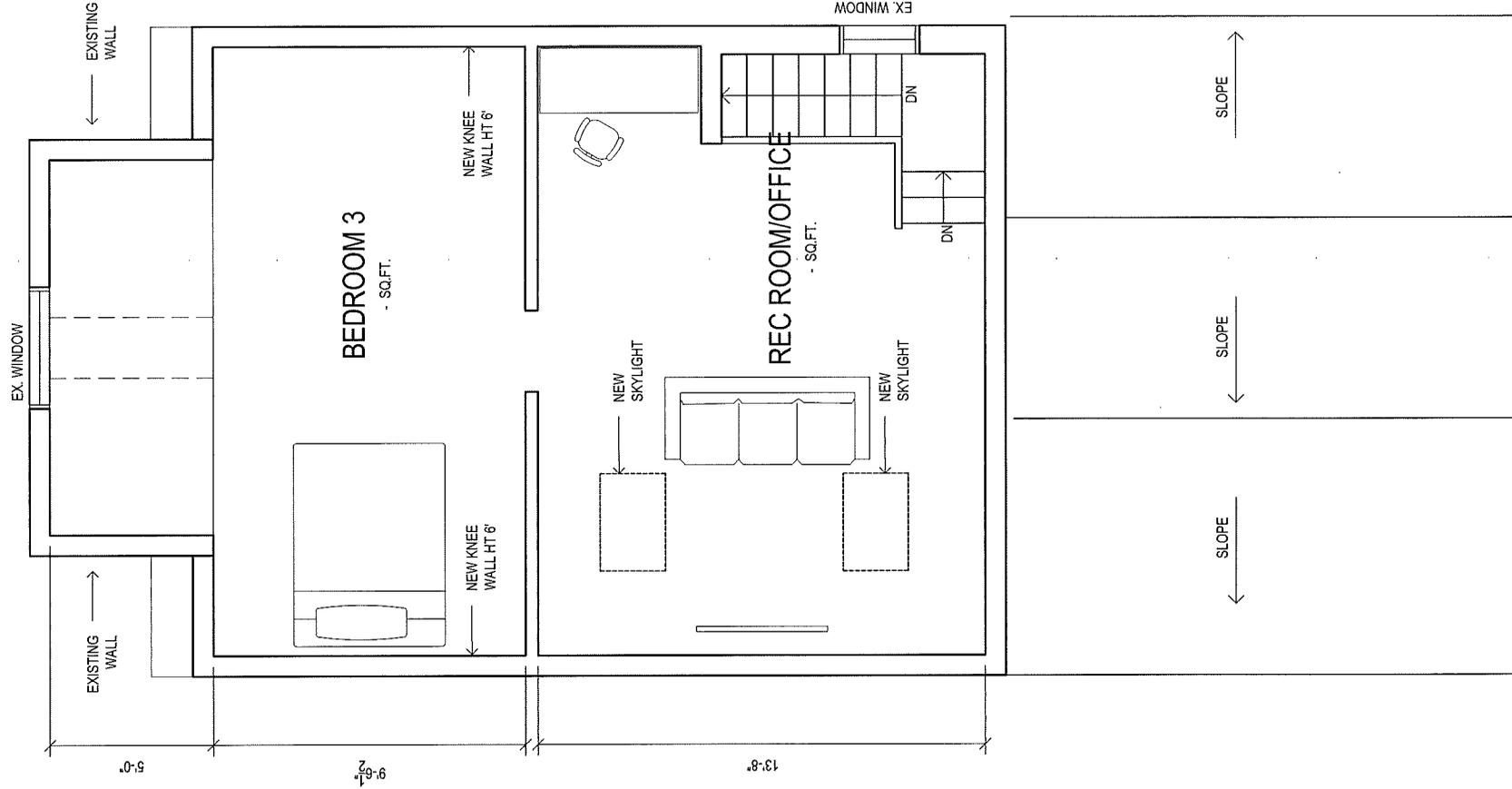
**302 CHARLTON AVE W
HAMILTON**

Project No.

-

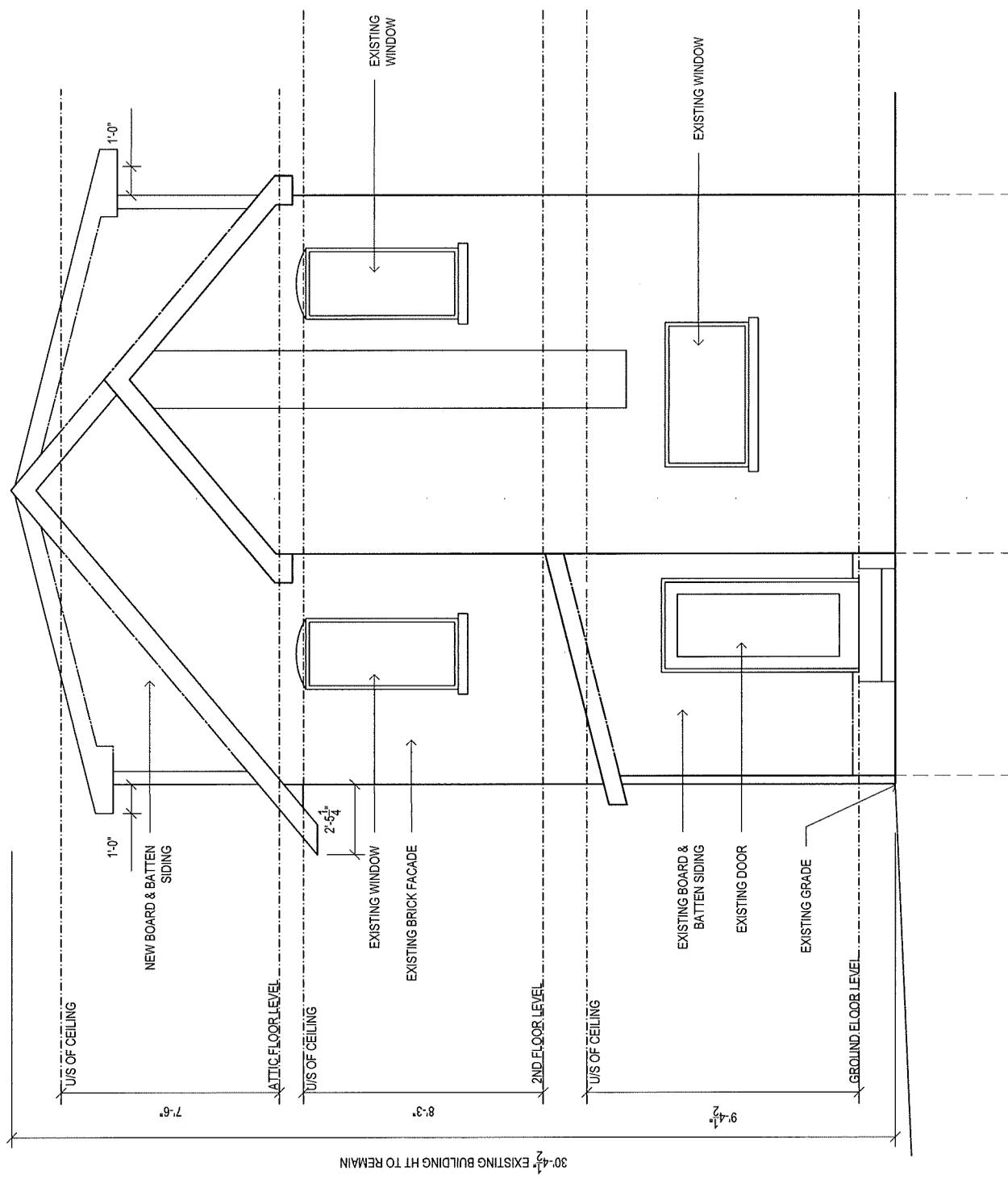
Dwg. No.

A-9



GFA-519.2 SQ.FT

Drawing: PROPOSED ATTIC PLAN	Scale: 3/16"=1'-0"		
	Date: JAN.24, 2020	Project No. -	Dwg. No. A-10
Project: 302 CHARLTON AVE W HAMILTON			



Drawing:

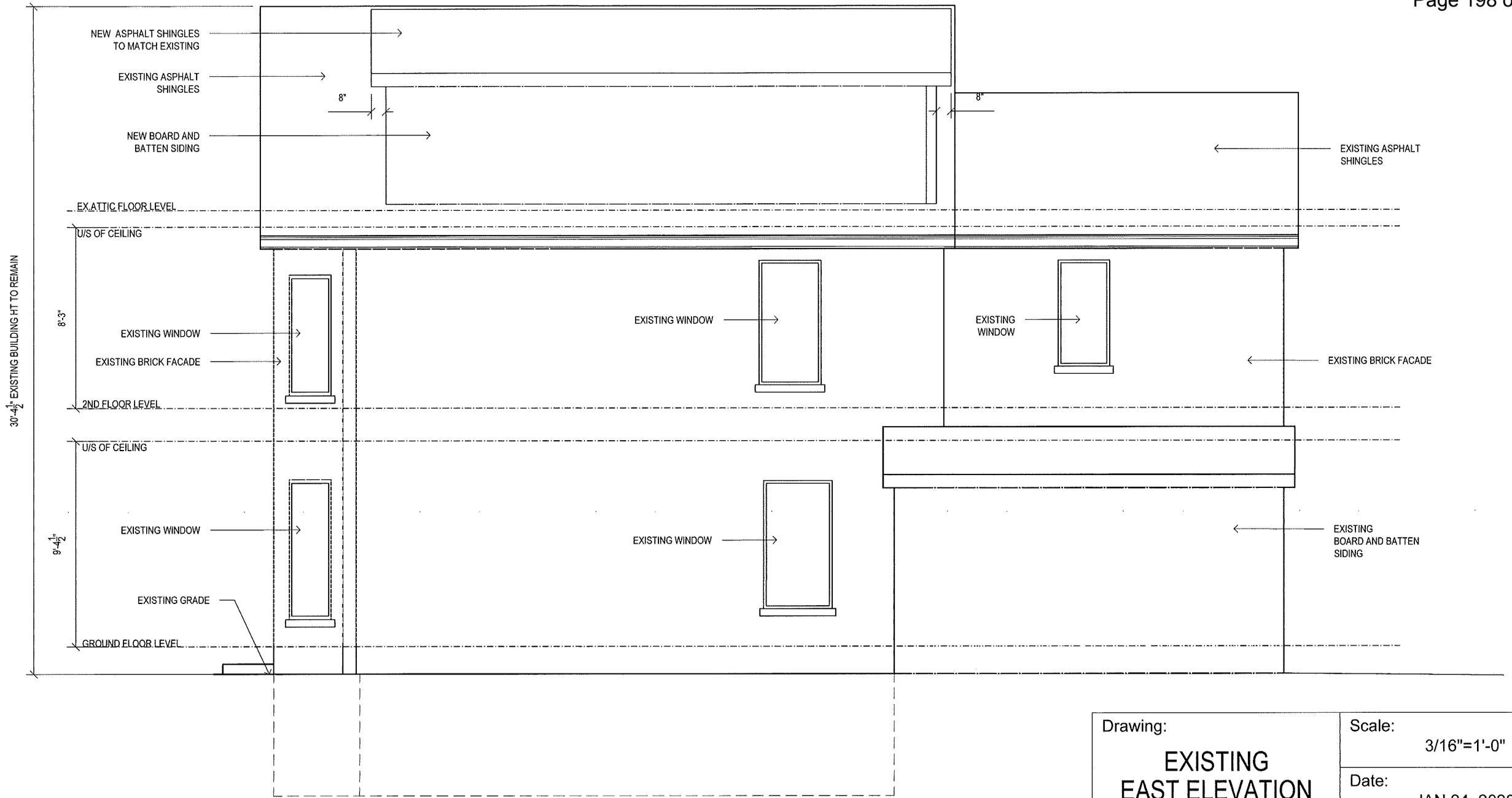
**PROPOSED
REAR ELEVATION**

Scale: 3/16"=1'-0"

Date: JAN. 24, 2020

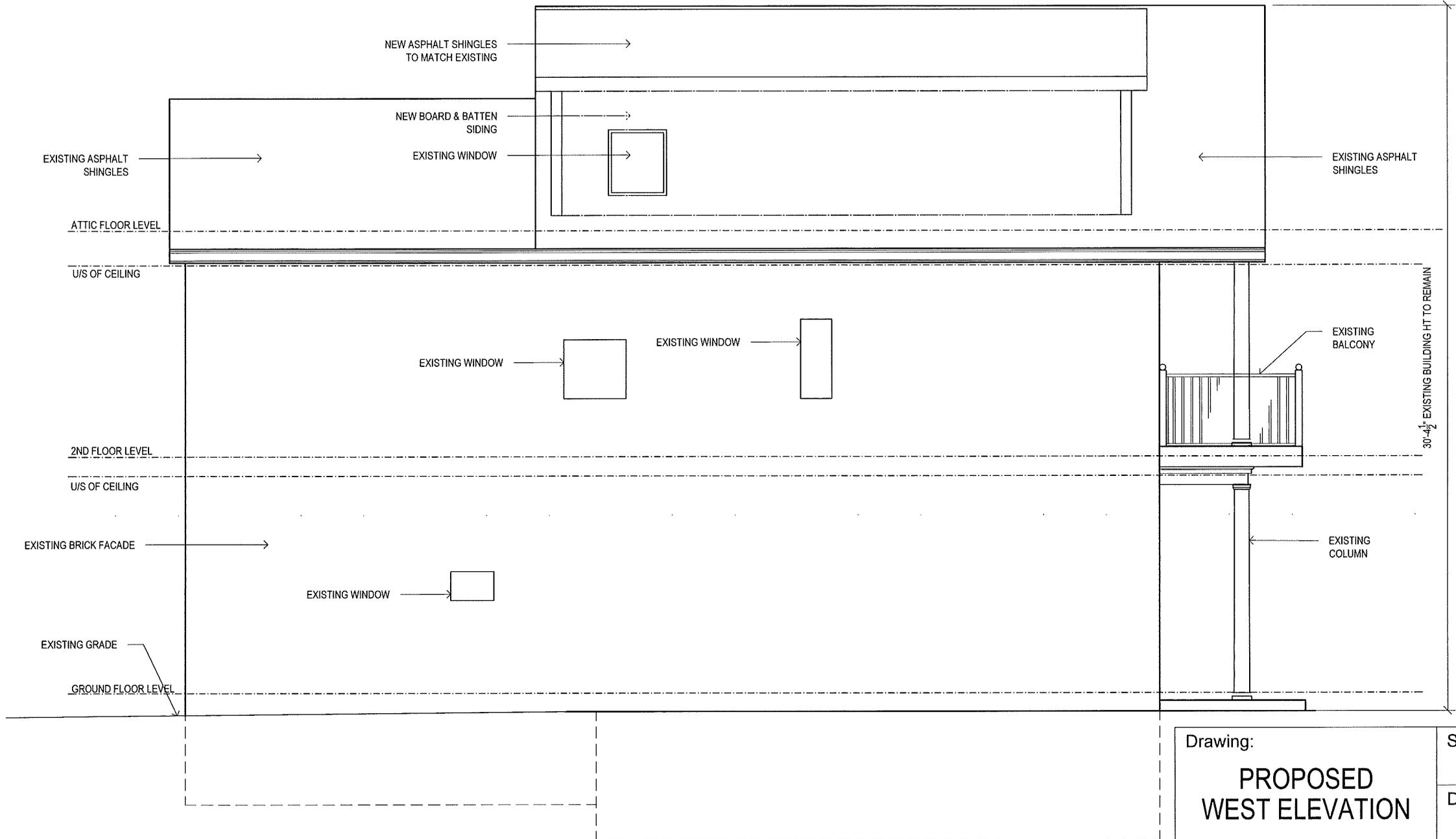
Project:
302 CHARLTON AVE W
HAMILTON

Project No. -
Dwg. No. A-12



SIDE EAST ELEVATION

Drawing: EXISTING EAST ELEVATION	Scale: 3/16"=1'-0"	
	Date: JAN.24, 2020	
Project: 302 CHARLTON AVE W HAMILTON	Project No. -	Dwg. No. A-13



Drawing:		Scale:	
PROPOSED WEST ELEVATION		3/16"=1'-0"	
		Date:	
Project:		JAN.24, 2020	
		Project No.	Dwg. No.
302 CHARLTON AVE W HAMILTON		-	A-14



Hamilton

Committee of Adjustment

City Hall, 5th Floor,
71 Main St. W.,
Hamilton, ON L8P4Y5

Phone: (905) 546-2424 ext. 4221
Email: cofa@hamilton.ca

APPLICATION FOR A MINOR VARIANCE

<p>FOR OFFICE USE ONLY.</p> <p>APPLICATION NO. DATE APPLICATION RECEIVED</p> <p>PAID DATE APPLICATION DEEMED COMPLETE _____</p> <p>SECRETARY'S SIGNATURE</p>
--

The Planning Act

Application for Minor Variance or for Permission

The undersigned hereby applies to the Committee of Adjustment for the City of Hamilton under Section 45 of the *Planning Act*, R.S.O. 1990, Chapter P.13 for relief, as described in this application, from the Zoning By-law.

1, 2	NAME	MAILING ADDRESS	Phone:
Registered Owners(s)	Adam Rambert & Esme Saulig		
Applicant(s)*	Adam Rambert & Esme Saulig		
Agent or Solicitor	N/A		

Note: Unless otherwise requested all communications will be sent to the agent, if any.

3. Names and addresses of any mortgagees, holders of charges or other encumbrances:

RBC, 65 Locke Street, Hamilton, ON, L8P 4A3

Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled

4. Nature and extent of relief applied for:

The nature of this application is to add dormers to the existing attic space to improve the headroom and more habitable space.

Second Dwelling Unit Reconstruction of Existing Dwelling

5. Why it is not possible to comply with the provisions of the By-law?

The existing dwelling does not comply with the current setbacks for the zoning by laws. The front yard setback and side yard setbacks requirements are not met.

6. Legal description and Address of subject lands (registered plan number and lot number or other legal description and where applicable, **street and street number**):

302 Charlton Ave West
Hamilton, Ontario
L8P2E5

7. PREVIOUS USE OF PROPERTY

Residential Industrial Commercial

Agricultural Vacant

Other _____

- 8.1 If Industrial or Commercial, specify use _____

- 8.2 Has the grading of the subject land been changed by adding earth or other material, i.e. has filling occurred?

Yes No Unknown

- 8.3 Has a gas station been located on the subject land or adjacent lands at any time?

Yes No Unknown

- 8.4 Has there been petroleum or other fuel stored on the subject land or adjacent lands?

Yes No Unknown

- 8.5 Are there or have there ever been underground storage tanks or buried waste on the subject land or adjacent lands?

Yes No Unknown

- 8.6 Have the lands or adjacent lands ever been used as an agricultural operation where cyanide products may have been used as pesticides and/or sewage sludge was applied to the lands?

Yes No Unknown

- 8.7 Have the lands or adjacent lands ever been used as a weapon firing range?

Yes No Unknown

- 8.8 Is the nearest boundary line of the application within 500 metres (1,640 feet) of the fill area of an operational/non-operational landfill or dump?

Yes No Unknown

- 8.9 If there are existing or previously existing buildings, are there any building materials remaining on site which are potentially hazardous to public health (eg. asbestos, PCB's)?

Yes No Unknown

8.10 Is there any reason to believe the subject land may have been contaminated by former uses on the site or adjacent sites?

Yes No Unknown

8.11 What information did you use to determine the answers to 8.1 to 8.10 above?

The information used to determine these answers are due to the current use of the property is residential and only been used as a residential dwelling for over 100 years.

8.12 If previous use of property is industrial or commercial or if YES to any of 8.2 to 8.10, a previous use inventory showing all former uses of the subject land, or if appropriate, the land adjacent to the subject land, is needed.

Is the previous use inventory attached? Yes No

9. ACKNOWLEDGEMENT CLAUSE

I acknowledge that the City of Hamilton is not responsible for the identification and remediation of contamination on the property which is the subject of this Application – by reason of its approval to this Application.

Feb. 8, 2022
Date

Esme Saulig
Signature Property Owner(s)

Esme Saulig
Print Name of Owner(s)

DocuSigned by:
Adam Rambert
CB0964175EC8440...
Adam Rambert

10. Dimensions of lands affected:

Frontage 24.00 feet (7.31 m)
Depth 80.00 feet (24.38 m)
Area 1920 sq.feet (178 sq.m)
Width of street 24 feet (7.31m)

11. Particulars of all buildings and structures on or proposed for the subject lands: (Specify ground floor area, gross floor area, number of stories, width, length, height, etc.)

Existing:

Ground floor area=719.5 sq.ft (219.3 sq.m) Second floor Area=596.2 sq.ft (181.7 sq.m) Attic- 302 sq.ft. GFA-1617.7 sq.ft (150.29 sq.m)
2-1/2 Storeys
Building height-30'-4-1/2" (9.26M)

Proposed

Ground floor area=719.5 sq.ft (219.3 sq.m) Second floor Area=596.2 sq.ft (181.7 sq.m) 3rd floor area= -519.2 sq.ft (48.2 sq.m) 1834.9 sq.ft (170.47 sq.m)
3 Storeys
Building height-30'-4-1/2" (9.26M)

12. Location of all buildings and structures on or proposed for the subject lands; (Specify distance from side, rear and front lot lines)

Existing:

Front yard setback-2.4 ft (0.73m) Rear yard setback -32.04 ft (9.77m)
East side yard setback-2.91 ft (0.89m) West side yard setback- 0.71 ft (0.22m)

Proposed:

Front yard setback-2.4 ft (0.73m) Rear yard setback -32.04 ft (9.77m)
East side yard setback-2.91 ft (0.89m) West side yard setback- 0.71 ft (0.22m)
Existing eaves projections will remain the same.

13. Date of acquisition of subject lands:

14. Date of construction of all buildings and structures on subject lands:

15. Existing uses of the subject property (single family, duplex, retail, factory etc.):
Single family dwelling
16. Existing uses of abutting properties (single family, duplex, retail, factory etc.):
Single family, duplex
17. Length of time the existing uses of the subject property have continued:

18. Municipal services available: (check the appropriate space or spaces)
Water _____ Connected _____
Sanitary Sewer _____ Connected _____
Storm Sewers _____
19. Present Official Plan/Secondary Plan provisions applying to the land:
20. Present Restricted Area By-law (Zoning By-law) provisions applying to the land:
21. Has the owner previously applied for relief in respect of the subject property? (Zoning By-law Amendment or Minor Variance)
 Yes No
If yes, please provide the file number:
- 21.1 If a site-specific zoning by-law amendment has been received for the subject property, has the two-year anniversary of the by-law being passed expired?
 Yes No
- 21.2 If the answer is no, the decision of Council, or Director of Planning and Chief Planner that the application for Minor Variance is allowed must be included. Failure to do so may result in an application not being "received" for processing.
22. Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?
 Yes No
23. Additional Information (please include separate sheet if needed)
24. The applicant shall attach to each copy of this application a plan showing the dimensions of the subject lands and of all abutting lands and showing the location, size and type of all buildings and structures on the subject and abutting lands, and where required by the Committee of Adjustment such plan shall be signed by an Ontario Land Surveyor.



Hamilton

COMMITTEE OF ADJUSTMENT

City Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5
 Telephone (905) 546-2424, ext. 4221, 3935 Fax (905) 546-4202
 E-mail: cofa@hamilton.ca

NOTICE OF PUBLIC HEARING Minor Variance

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
- Applicant/agent on file, or
- Person likely to be interested in this application

APPLICATION NO.: HM/A-22:57

APPLICANTS: Agent M. Fensham
 Owners C. & A. Myhr

SUBJECT PROPERTY: Municipal address **581 Mary St., Hamilton**

ZONING BY-LAW: Zoning By-law 6593, as Amended

ZONING: "D" (Urban Protected Residential - One and Two Family Dwellings, etc.) district

PROPOSAL: To permit the construction a Single Family Dwelling and to establish a Secondary Dwelling Unit notwithstanding that:

1. A minimum of 40% of the gross area of the front yard shall be used for a landscaped area excluding concrete, asphalt, gravel, pavers, or other similar materials instead of the requirement that not less than 50% of the gross area of the front yard shall be used for a landscaped area excluding concrete, asphalt, gravel, pavers, or other similar materials.
2. Two (2) parking spaces shall be permitted within the required front yard instead of the requirement that only one of the required parking spaces may be located in the front yard of a single detached dwelling.

NOTE:

- i) A variance is not required to allow a 3 storey dwelling as the "D" district permits a three (3) storey dwelling.

This application will be heard by the Committee as shown below:

DATE: Thursday, April 7th, 2022
TIME: 2:25 p.m.
PLACE: Via video link or call in (see attached sheet for details)
 To be streamed at
www.hamilton.ca/committeeofadjustment
 for viewing purposes only

PUBLIC INPUT

Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

HM/A-22: 57

Page 2

Orally: If you would like to speak to this item at the hearing you may do so via video link or by calling in. Please see attached page for complete instructions, including deadlines for registering to participate.

MORE INFORMATION

For more information on this matter, including access to drawings illustrating this request:

- Visit www.hamilton.ca/committeeofadjustment
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935
- Email Committee of Adjustment staff at cofa@hamilton.ca

DATED: March 22nd, 2022.

Jamila Sheffield,
Secretary-Treasurer
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public.

Site Statistics

Dimensions of Lands Affected

Frontage: 9.41m
 Depth: 31.59m
 Area: 287.7m²
 Width of Street: 4.18m

Building Area

Existing: 82.5m²
 Proposed: 90m²

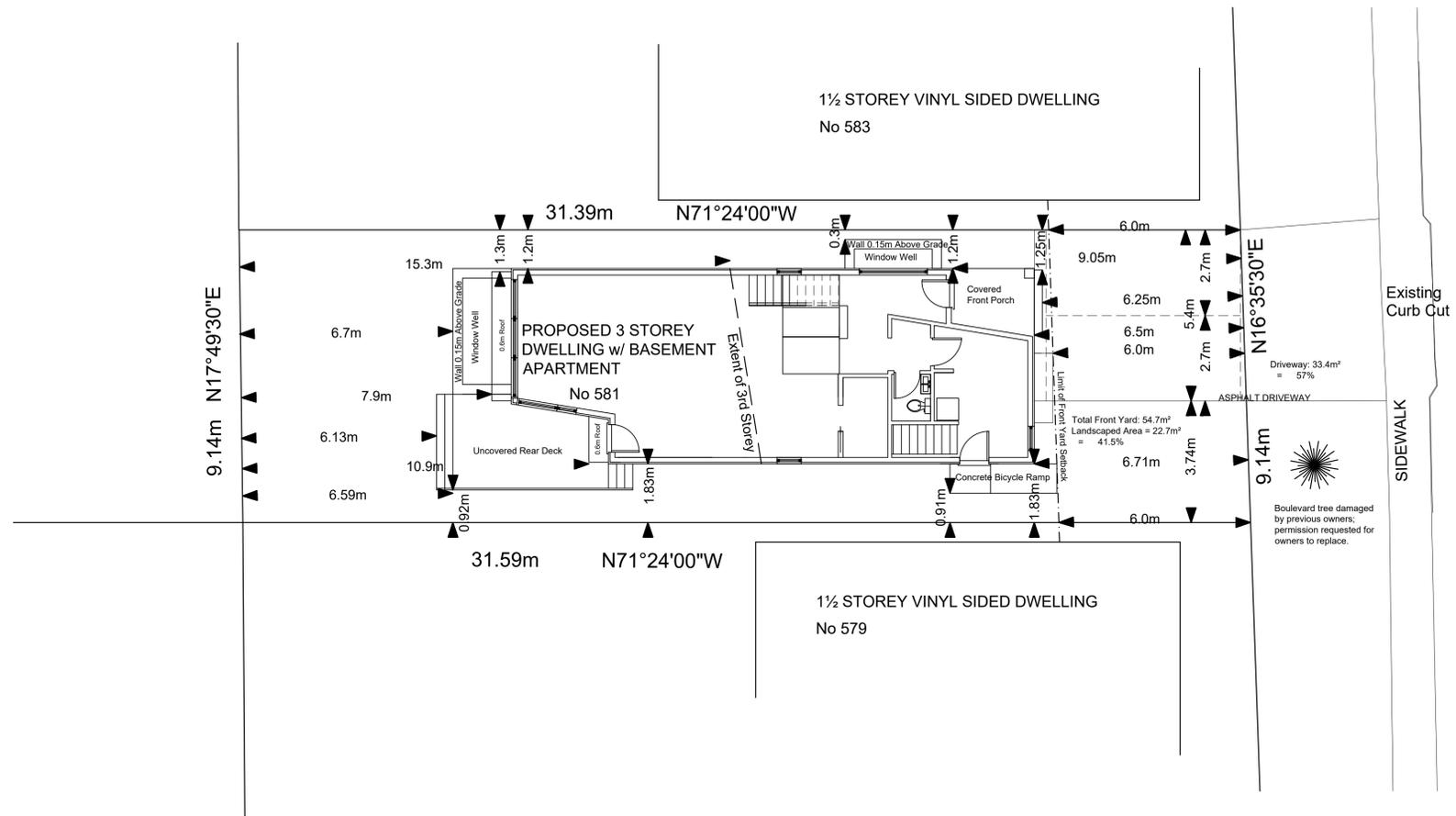
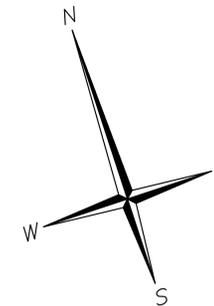
Proposed Lot Coverage:

31.28%

Gross Floor Area: 176.15m²
 Basement Floor Area: 72.4m²

Building Statistics

Width: 6.10m
 Length: 16.41m
 Height: 10.06m
 Number of Storeys: 3



CONTRACTOR IS TO CHECK AND VERIFY ALL DIMENSIONS ON THE JOB SITE AND NOTIFY DESIGNERS OF ALL DISCREPANCIES BEFORE INITIATING WORK. ALL DRAWINGS ARE THE PROPERTY OF THINKGIRAFFE. DRAWINGS ARE NOT TO BE REPRODUCED WITHOUT WRITTEN PERMISSION FROM DESIGNERS. PRINTS ARE NOT TO BE SCALED.

Marina Fensham, Owner thinkGiraffe Design has reviewed and taken responsibility for the design activities described in this drawing set under OBC 2.17.4.7 f (ii)
 BCIN: 21574 / 116364

ISSUED FOR VARIANCE REV:
 March 11, 2022
 ISSUED FOR VARIANCE:
 February 3, 2022

REMARKS	DATE	NO.
REVISIONS		

thinkGiraffe
 ENVIRONMENTAL DESIGN
 16 Sulphur Springs Road,
 Ancaster, ON, L9G 1L8
 905 304 1496
 thinkgiraffe@bellnet.ca

PROJECT
 Proposed Myhr
 Residence w/
 Secondary Suite
 581 Mary Street,
 Hamilton, ON

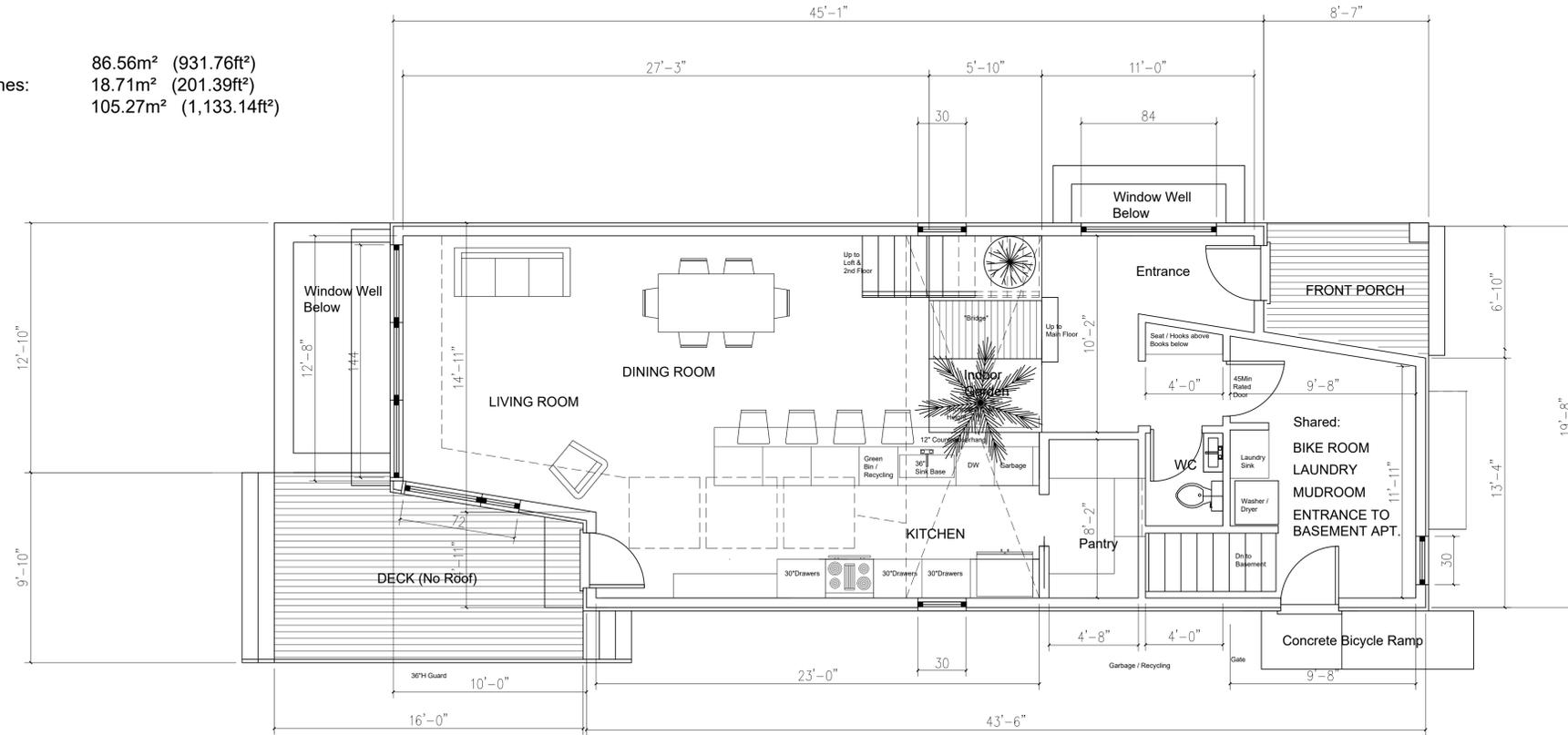
SHEET TITLE
 Site Plan

FOLDER	DRAWN BY M
FILE	SCALE 1/8" = 1'-0"
DATE	NUMBER

A1.01

MAIN FLOOR

Floor Area: 86.56m² (931.76ft²)
 Covered Porches: 18.71m² (201.39ft²)
 TOTAL: 105.27m² (1,133.14ft²)



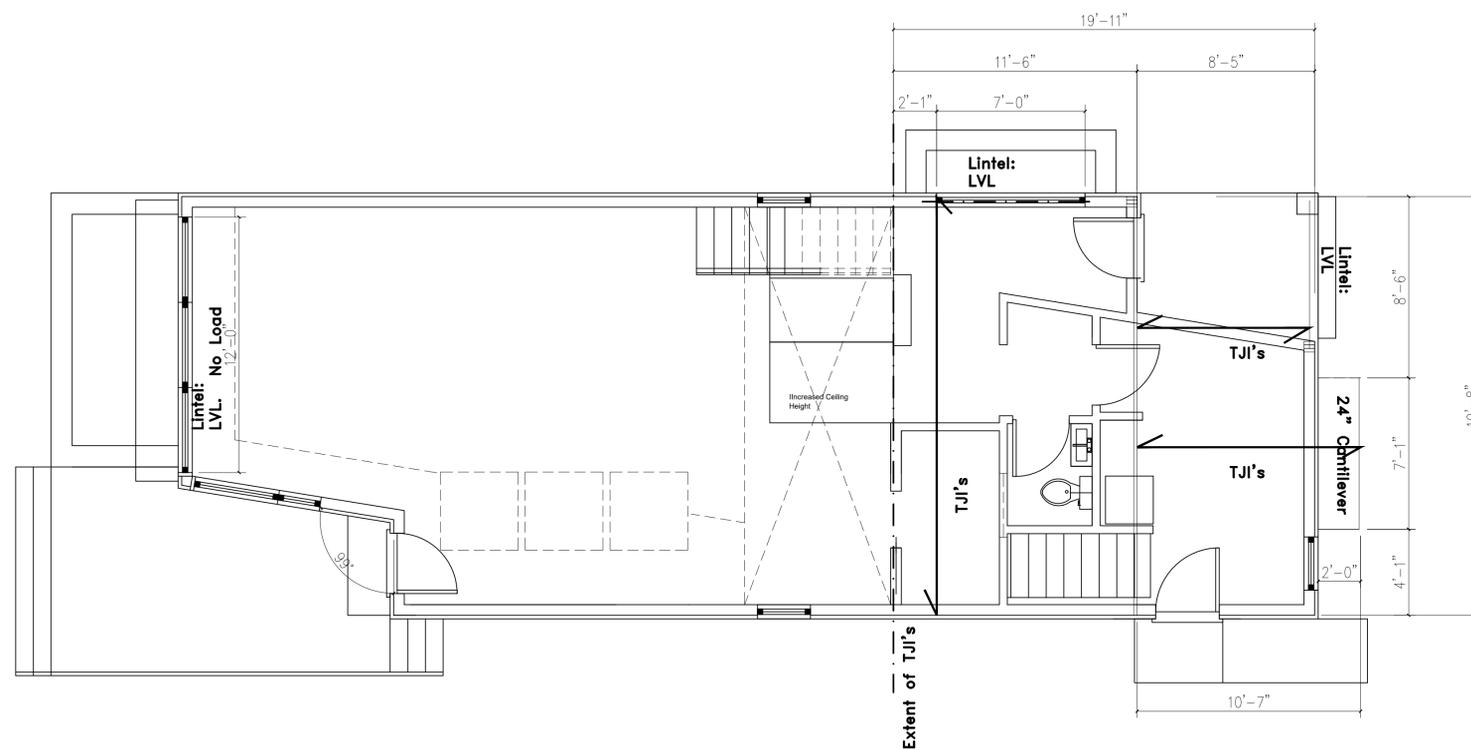
PROPOSED MAIN FLOOR PLAN

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PROPOSED MAIN FLOOR STRUCTURE

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 Ancaster, ON, L9G 1L8
 905 304 1496
 thinkgiraffe@bellnet.ca

PROJECT
 Proposed Myhr Residence w/
 Secondary Suite
 581 Mary Street,
 Hamilton, ON

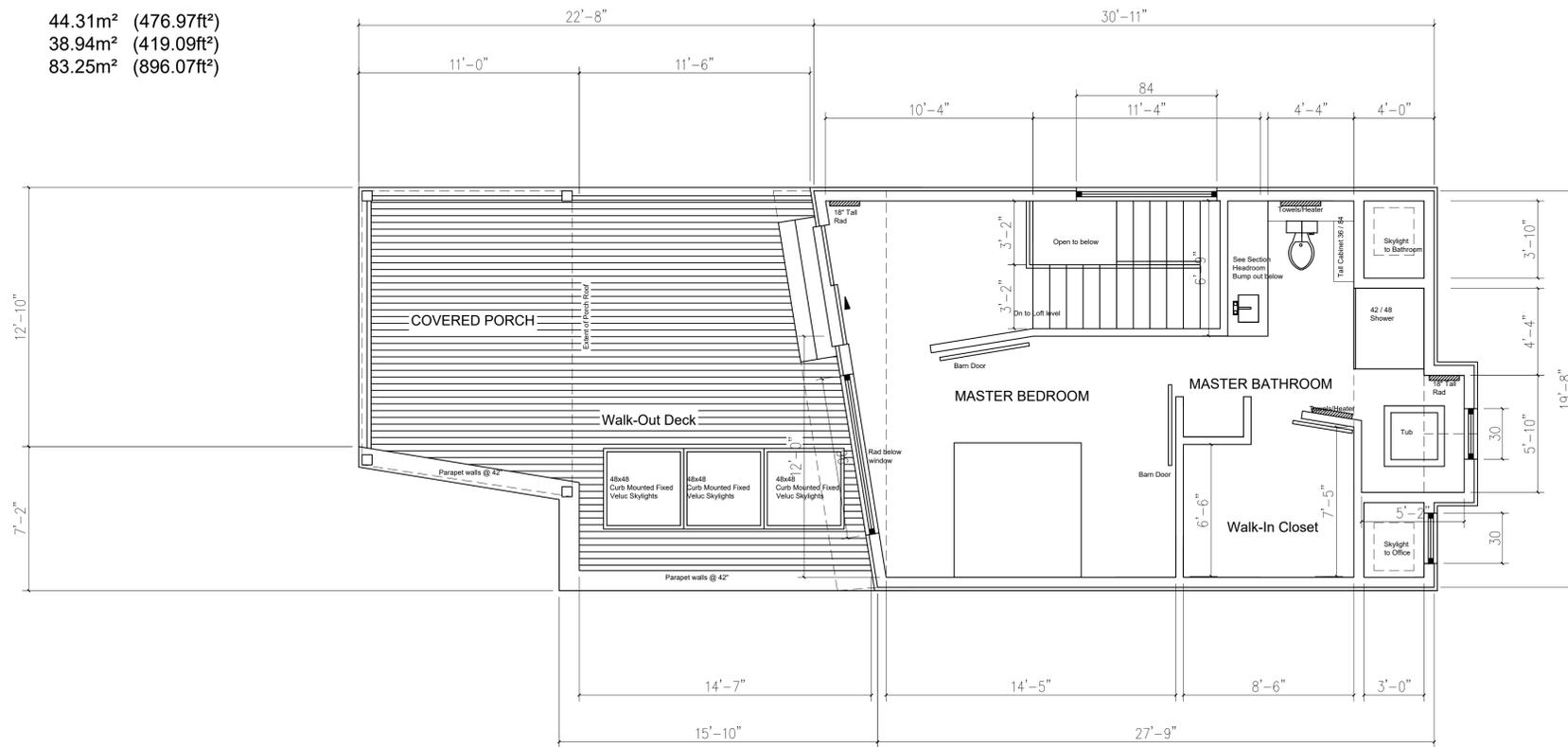
SHEET TITLE
 PROPOSED MAIN FLOOR PLAN & STRUCTURE

FOLDER	DRAWN BY M
FILE	SCALE 1/4" = 1'-0"
DATE	NUMBER

A2.01

ATTIC

Floor Area: 44.31m² (476.97ft²)
 Deck Area: 38.94m² (419.09ft²)
 TOTAL: 83.25m² (896.07ft²)



PROPOSED 3rd FLOOR & ROOF TOP PLAN

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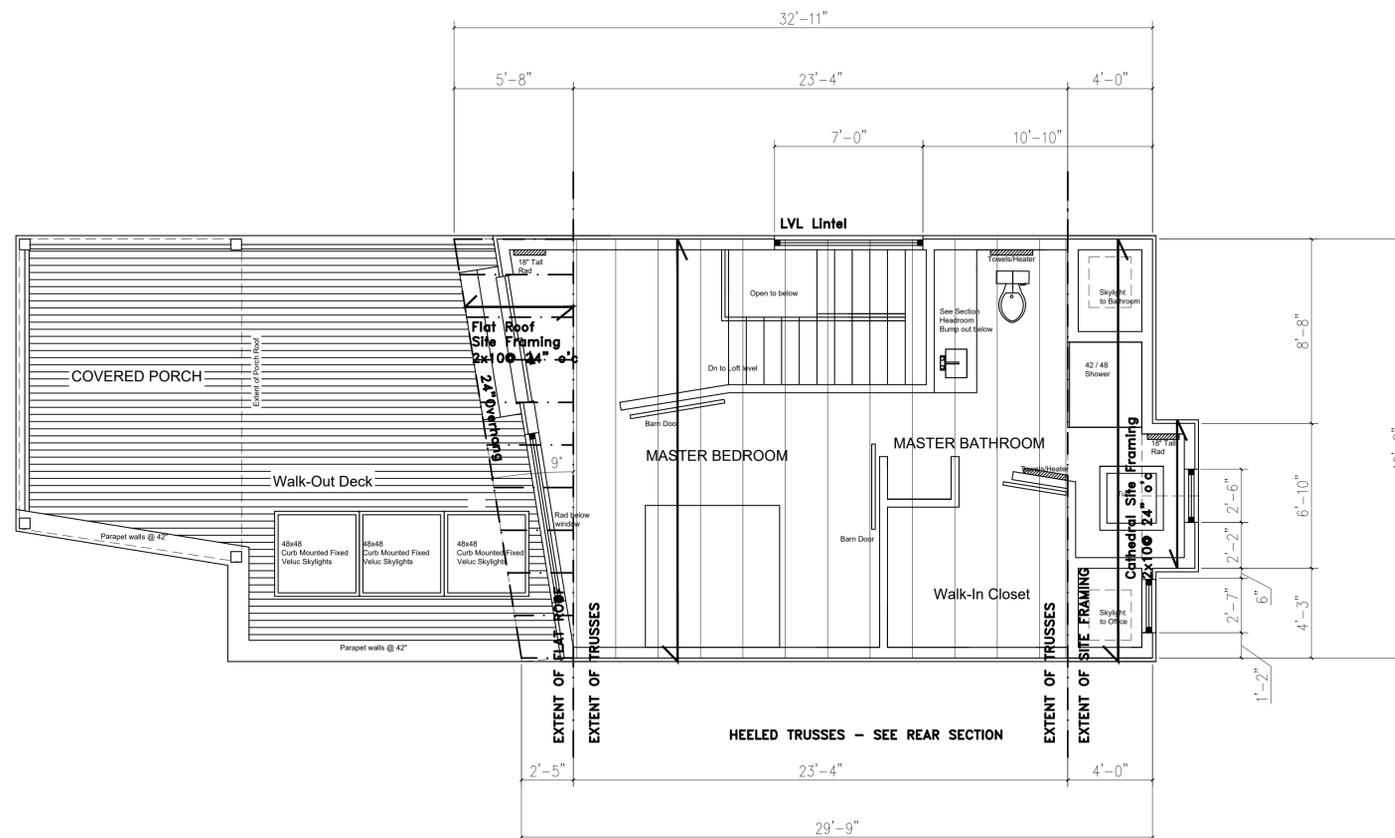
ISSUED FOR VARIANCE REV: March 11, 2022

ISSUED FOR VARIANCE: February 3, 2022

REMARKS	DATE	NO.
REVISIONS		

ATTIC

Floor Area: 44.31m² (476.97ft²)
 Deck Area: 38.94m² (419.09ft²)
 TOTAL: 83.25m² (896.07ft²)



PROPOSED ROOF STRUCTURE

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 ENVIRONMENTAL DESIGN
 16 Sulphur Springs Road,
 Ancaster, ON, L9G 1L8
 905 304 1496
 thinkgiraffe@bellnet.ca

PROJECT
 Proposed Myhr
 Residence w/
 Secondary Suite
 581 Mary Street,
 Hamilton, ON

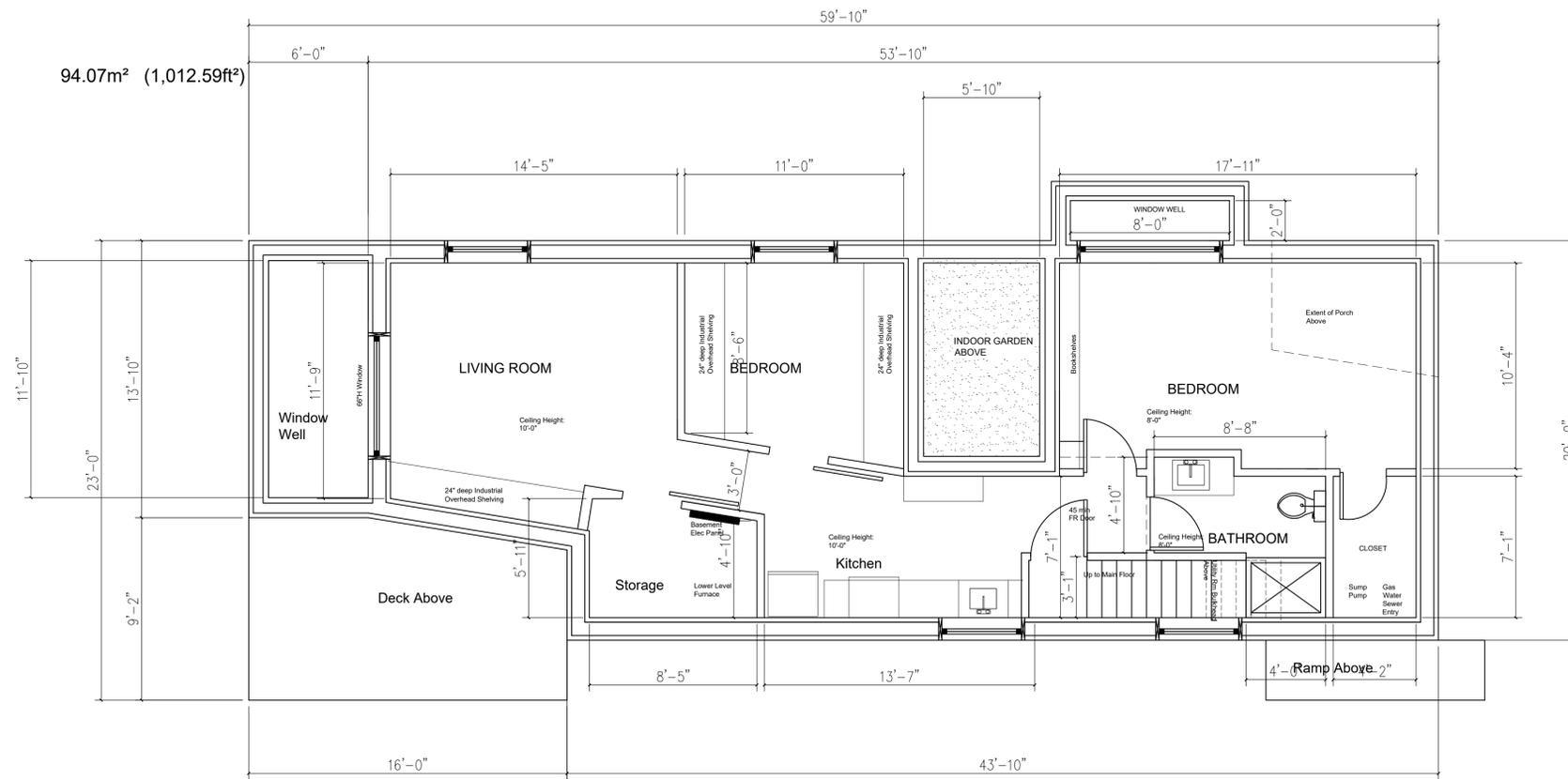
SHEET TITLE
 PROPOSED 3rd FLOOR
 PLAN & ROOF
 STRUCTURE

FOLDER	DRAWN BY M
FILE	SCALE 1/4" = 1'-0"
DATE	NUMBER

A2.03

BASEMENT

TOTAL: 94.07m² (1,012.59ft²)



**PROPOSED
BASEMENT
APARTMENT PLAN**

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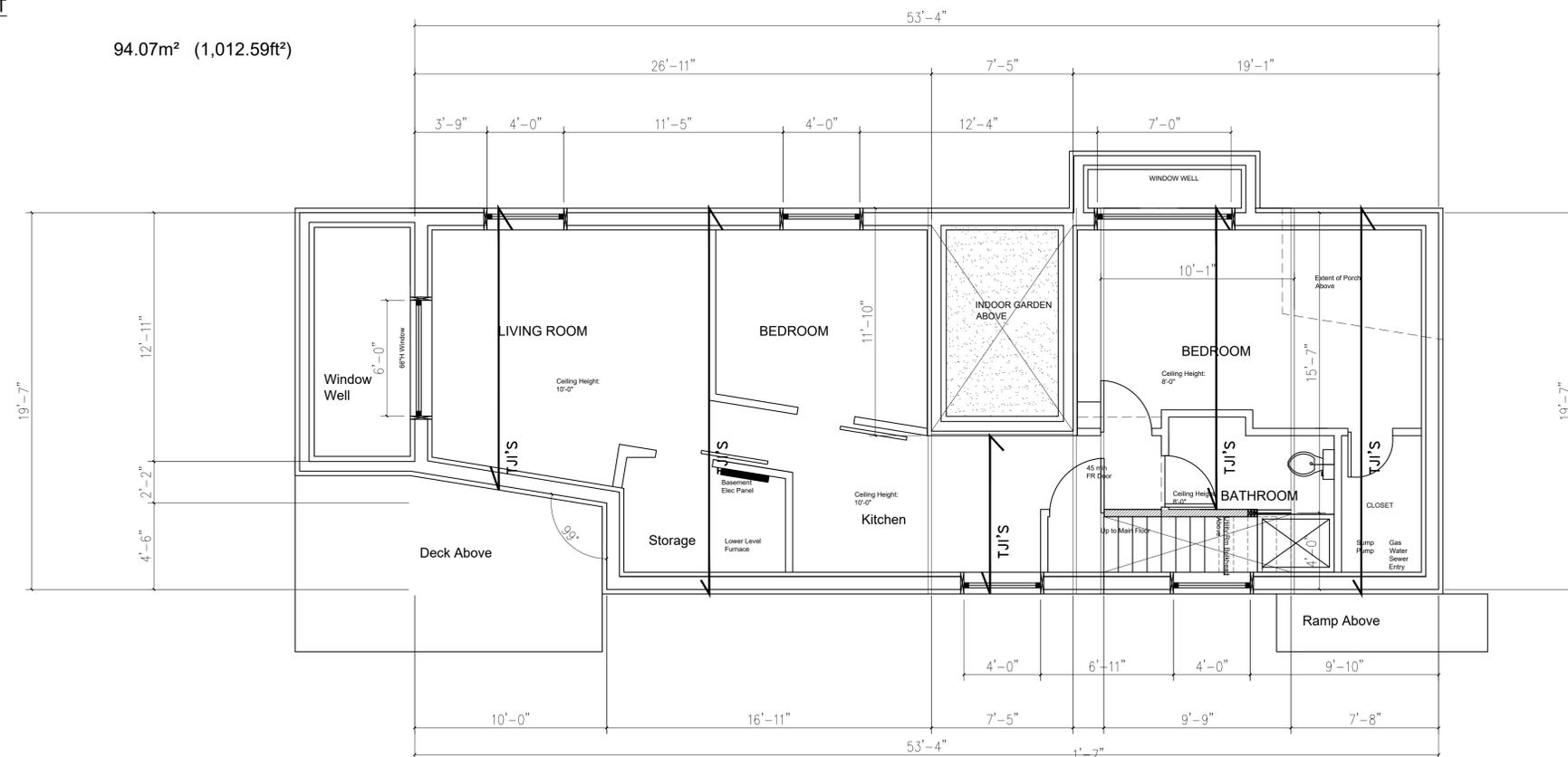
Marina Fensham, Owner thinkGiraffe Design has reviewed and taken responsibility for the design activities described in this drawing set under OBC 2.17.4.7 f (ii)
BCIN: 21574 / 116364

ISSUED FOR VARIANCE REV:
March 11, 2022
ISSUED FOR VARIANCE:
February 3, 2022

REMARKS	DATE	NO.
REVISIONS		

BASEMENT

TOTAL: 94.07m² (1,012.59ft²)



**PROPOSED FOUNDATION
STRUCTURE**

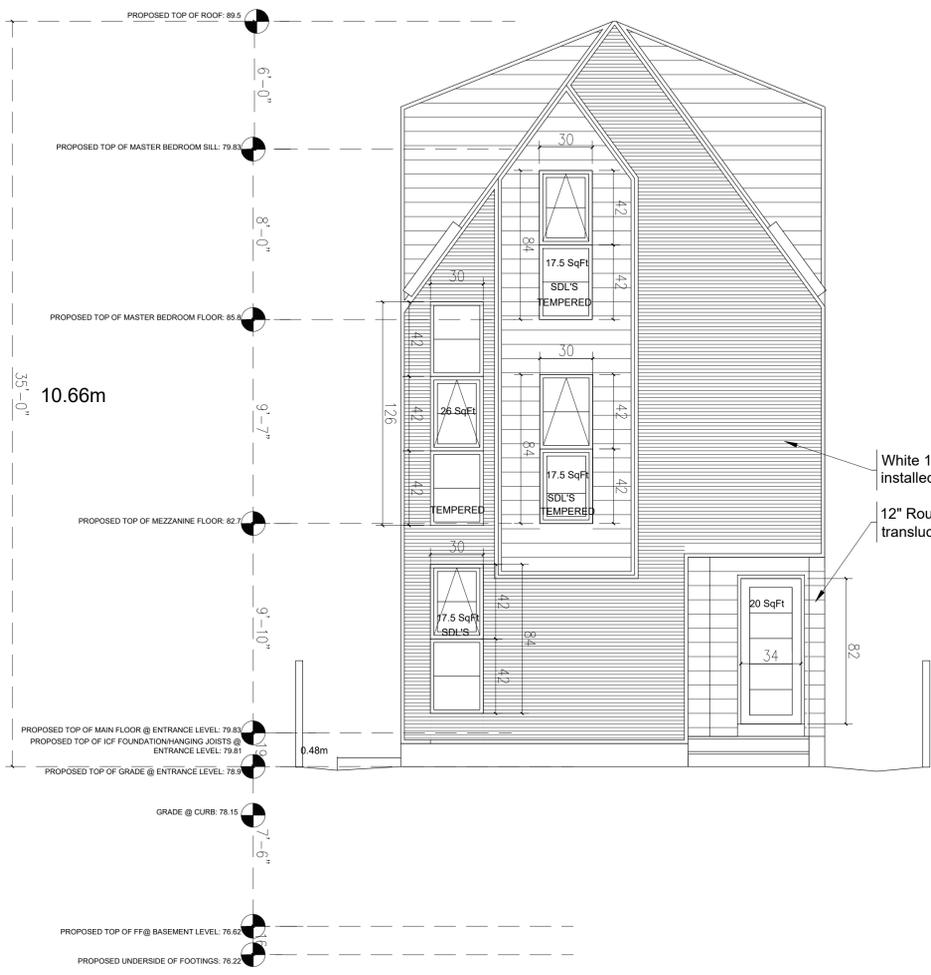
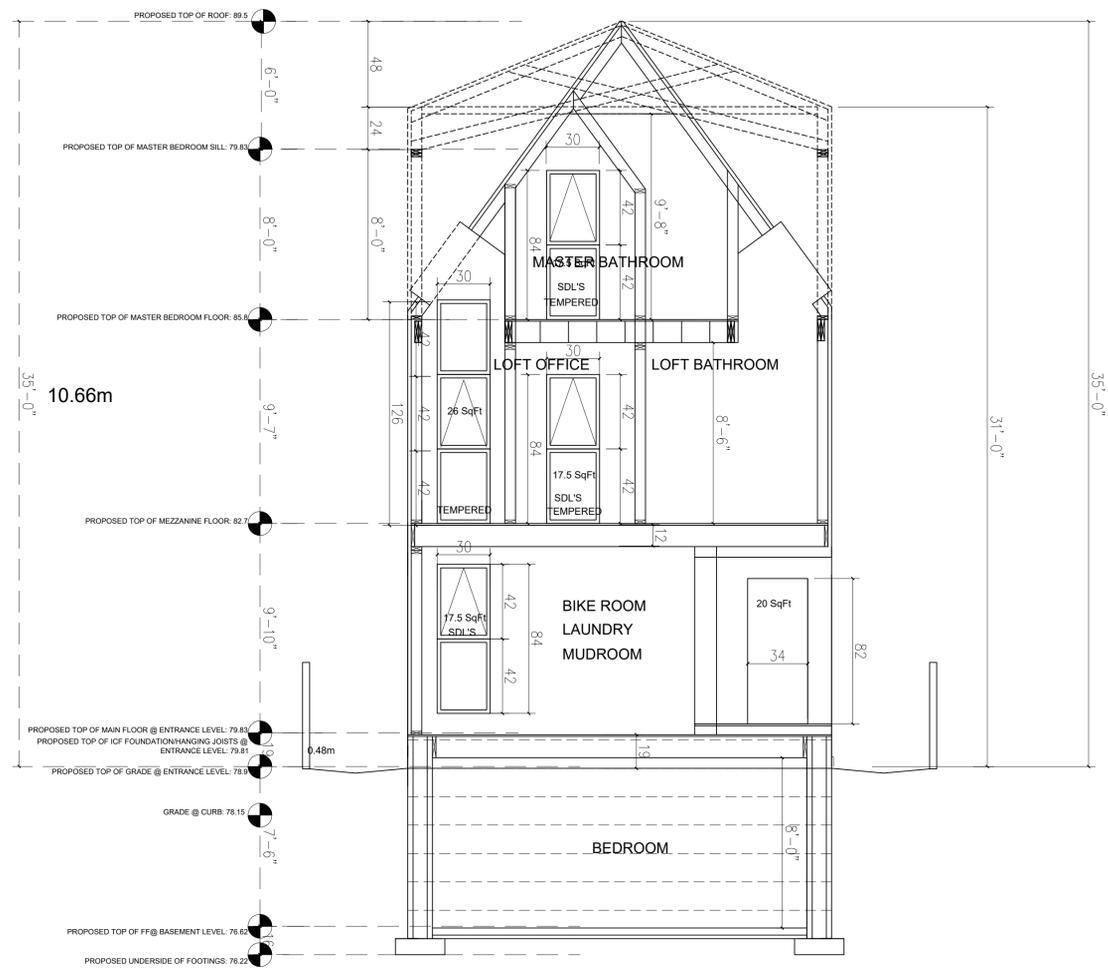
thinkGiraffe
ENVIRONMENTAL DESIGN
16 Sulphur Springs Road,
Ancaster, ON, L9G 1L6
905 304 1496
thinkgiraffe@bellnet.ca

PROJECT
Proposed Myhr
Residence w/
Secondary Suite
581 Mary Street,
Hamilton, ON

SHEET TITLE
PROPOSED BASEMENT
APARTMENT PLAN

FOLDER	DRAWN BY M
FILE	SCALE 1/4" = 1'-0"
DATE	NUMBER

A2.04



PROPOSED FRONT ELEVATION

White 1/4" Vicwest of Eq Corrugated Steel installed Horizontally
 12" Rough cut Fir or Cedar stained translucent white (Cabot or Eq)

PROPOSED FRONT SECTION

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 ISSUED FOR VARIANCE:
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REMARKS	DATE	NO.
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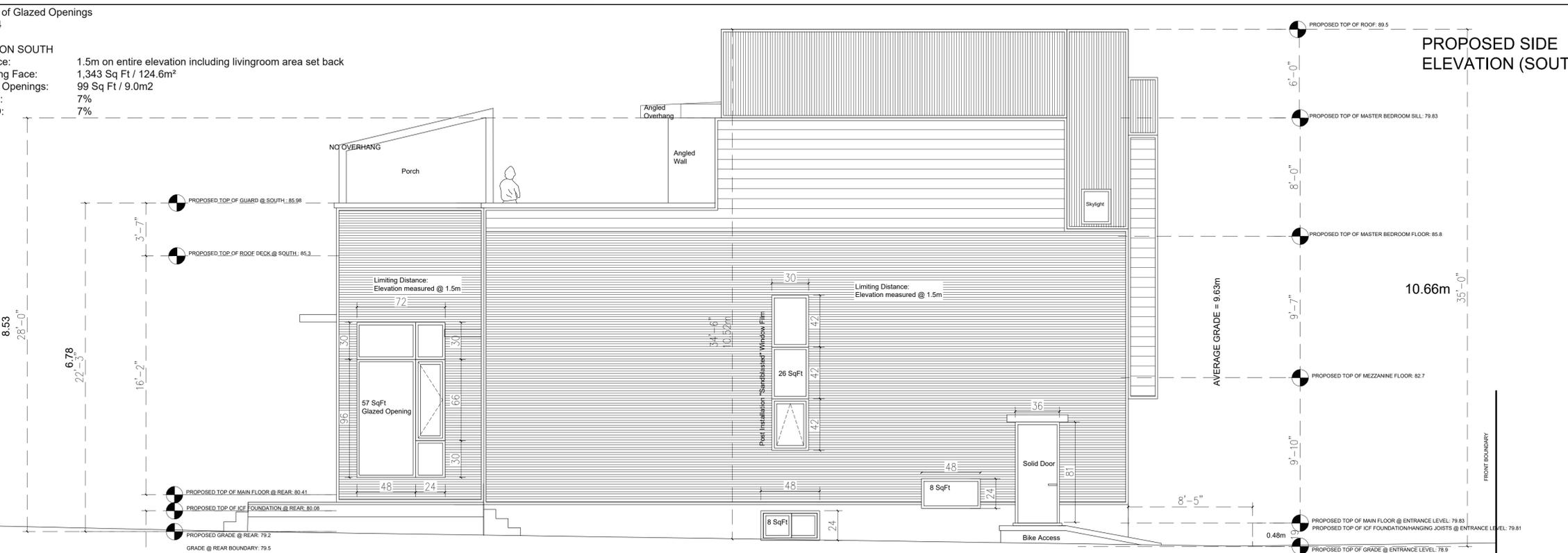
SHEET TITLE
 FRONT ELEVATION &
 SECTION

FOLDER	DRAWN BY M
FILE	SCALE 1/4" = 1'-0"
DATE	NUMBER

A4.01

Maximum Area of Glazed Openings
Table 9.10.15.4

SIDE ELEVATION SOUTH
Limiting Distance: 1.5m on entire elevation including livingroom area set back
Exposed Building Face: 1,343 Sq Ft / 124.6m²
Area of Glazed Openings: 99 Sq Ft / 9.0m²
% PROPOSED: 7%
% PERMITTED: 7%



PROPOSED SIDE ELEVATION (SOUTH)

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Marina Fensham, Owner thinkGiraffe Design has reviewed and taken responsibility for the design activities described in this drawing set under OBC 2.17.4.7 f (ii)
BCIN: 21574 / 116364

ISSUED FOR VARIANCE REV: March 11, 2022
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REMARKS	DATE	NO.
REVISIONS		

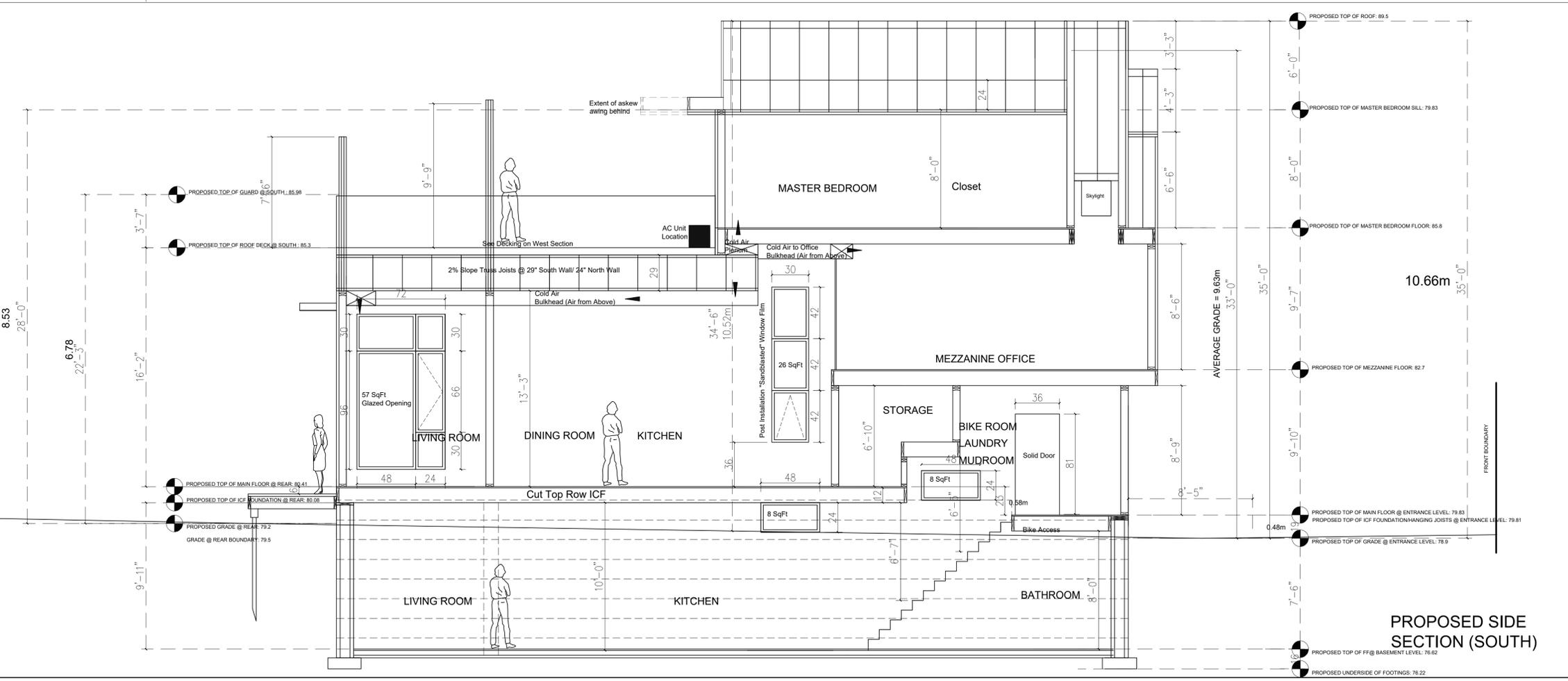
thinkGiraffe
ENVIRONMENTAL DESIGN
16 Sulphur Springs Road,
Ancaster, ON, L9G 1L8
905 304 1496
905 304 1497 Fax
thinkgiraffe@bellnet.ca
Association of Registered Interior Designers of Ontario (ARIDO) Number 22479

PROJECT
Proposed Myhr Residence w/ Secondary Suite
581 Mary Street,
Hamilton, ON

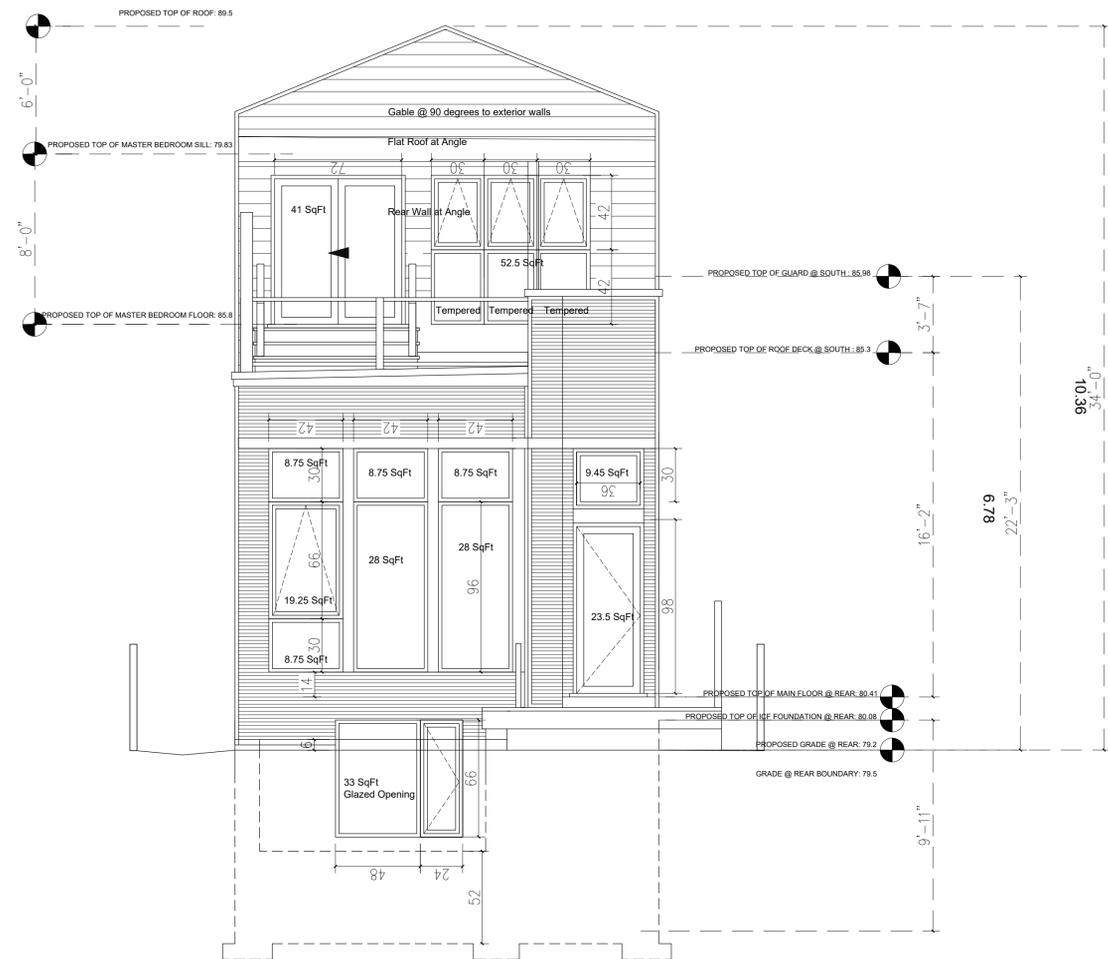
SHEET TITLE
SIDE ELEVATION & SECTION (SOUTH)

FOLDER	DRAWN BY M
FILE	SCALE 1/4" = 1'-0"
DATE	NUMBER

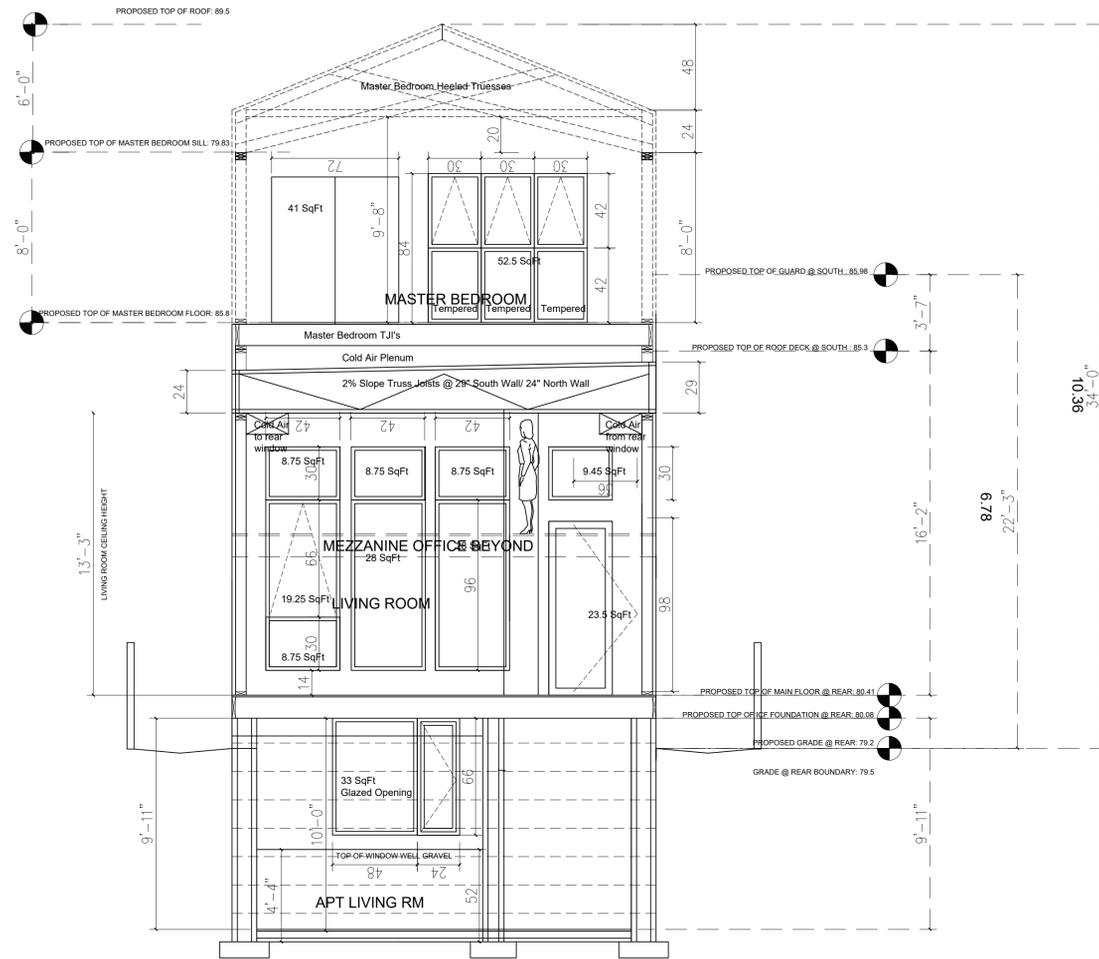
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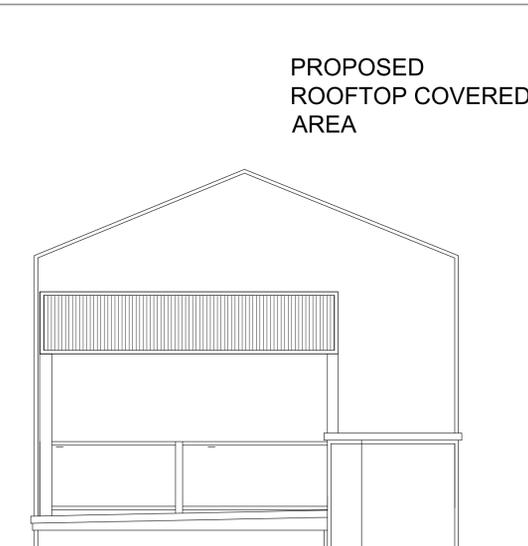
PROPOSED SIDE SECTION (SOUTH)



PROPOSED REAR ELEVATION



PROPOSED REAR SECTION



PROPOSED ROOFTOP COVERED AREA

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thinkGiraffe
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905 304 1496
thinkgiraffe@bellnet.ca

PROJECT
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Secondary Suite
581 Mary Street,
Hamilton, ON

SHEET TITLE
REAR ELEVATION &
SECTION

FOLDER	DRAWN BY M
FILE	SCALE 1/4" = 1'-0"
DATE	NUMBER

A4.03



Committee of Adjustment

City Hall, 5th Floor,
71 Main St. W.,
Hamilton, ON L8P4Y5

Phone: (905) 546-2424 ext. 4221

Email: cofa@hamilton.ca

APPLICATION FOR A MINOR VARIANCE

FOR OFFICE USE ONLY.	
APPLICATION NO. _____	DATE APPLICATION RECEIVED _____
PAID _____	DATE APPLICATION DEEMED COMPLETE _____
SECRETARY'S SIGNATURE _____	

The Planning Act

Application for Minor Variance or for Permission

The undersigned hereby applies to the Committee of Adjustment for the City of Hamilton under Section 45 of the *Planning Act*, R.S.O. 1990, Chapter P.13 for relief, as described in this application, from the Zoning By-law.

1, 2	NAME	MAILING ADDRESS
Registered Owners(s)	[REDACTED]	
Applicant(s)*		
Agent or Solicitor		

Note: Unless otherwise requested all communications will be sent to the agent, if any.

3. Names and addresses of any mortgagees, holders of charges or other encumbrances:

NA

Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled

4. Nature and extent of relief applied for:

Front Yard: 2 Parking Spots Required (Existing double curb cut): 42.8% Landscape Area
 Definition of 1/2 Storey makes this a 3 storey dwelling (Side Shed bump up wider than 1.2m)

Second Dwelling Unit Reconstruction of Existing Dwelling

5. Why is it not possible to comply with the provisions of the By-law?

Clients desire an office mezzanine which technically adds another storey. At the rear there only is one storey and a rooftop deck. Please review if you want the front yard parking for two cars to be the required width and reduce the front yard landscape area.

6. Legal description and Address of subject lands (registered plan number and lot number or other legal description and where applicable, **street and street number**):

Parts of Lots 45, 46
 Nataniel Hughson Survey

7. PREVIOUS USE OF PROPERTY

Residential Industrial Commercial

Agricultural Vacant

Other _____

- 8.1 If Industrial or Commercial, specify use _____

- 8.2 Has the grading of the subject land been changed by adding earth or other material, i.e. has filling occurred?

Yes No Unknown

- 8.3 Has a gas station been located on the subject land or adjacent lands at any time?

Yes No Unknown

- 8.4 Has there been petroleum or other fuel stored on the subject land or adjacent lands?

Yes No Unknown

- 8.5 Are there or have there ever been underground storage tanks or buried waste on the subject land or adjacent lands?

Yes No Unknown

- 8.6 Have the lands or adjacent lands ever been used as an agricultural operation where cyanide products may have been used as pesticides and/or sewage sludge was applied to the lands?

Yes No Unknown

- 8.7 Have the lands or adjacent lands ever been used as a weapon firing range?

Yes No Unknown

- 8.8 Is the nearest boundary line of the application within 500 metres (1,640 feet) of the fill area of an operational/non-operational landfill or dump?

Yes No Unknown

- 8.9 If there are existing or previously existing buildings, are there any building materials remaining on site which are potentially hazardous to public health (eg. asbestos, PCB's)?

Yes No Unknown

8.10 Is there any reason to believe the subject land may have been contaminated by former uses on the site or adjacent sites?

Yes No Unknown

8.11 What information did you use to determine the answers to 8.1 to 8.10 above?

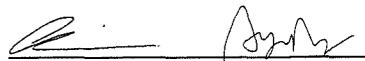
8.12 If previous use of property is industrial or commercial or if YES to any of 8.2 to 8.10, a previous use inventory showing all former uses of the subject land, or if appropriate, the land adjacent to the subject land, is needed.

Is the previous use inventory attached? Yes No

9. ACKNOWLEDGEMENT CLAUSE

I acknowledge that the City of Hamilton is not responsible for the identification and remediation of contamination on the property which is the subject of this Application – by reason of its approval to this Application.

February 7, 2022
Date


Signature Property Owner(s)

Chris Myhr and Ayako Myhr
Print Name of Owner(s)

10. Dimensions of lands affected:

Frontage	<u>9.41m</u>
Depth	<u>31.59m</u>
Area	<u>287.7m2 Lot Area</u>
Width of street	<u>4.18m</u>

11. Particulars of all buildings and structures on or proposed for the subject lands: (Specify ground floor area, gross floor area, number of stories, width, length, height, etc.)

Existing:

82.5 m2 Area 1.5 Storey Vinyl sided SF Dwelling to be demolished

Proposed

To construct a 3 storey 90m2 Ground Floor Area (Covered Front Porch Included) dwelling with a basement apartment. The front elevation is designed to appear like 2.5 storeys.
Gross floor Area: 176.15m2
Basement floor Area: 72.4m2

12. Location of all buildings and structures on or proposed for the subject lands; (Specify distance from side, rear and front lot lines)

Existing:

North Side 0.39m (1.2m Required)
South Side 0.57m (1.2m Required)
Front 4.62m
Rear 15.2m

Proposed:

North Side 1.2m
North Side to Window Well 0.3m
South Side 1.84m
Front 6.5m
Rear (Excluding Deck and Window well) 8.52m

13. Date of acquisition of subject lands:
April 2015
-
14. Date of construction of all buildings and structures on subject lands:
Circa 1920?
-
15. Existing uses of the subject property (single family, duplex, retail, factory etc.):
SF Residential
-
16. Existing uses of abutting properties (single family, duplex, retail, factory etc.):
SF Residential or Duplex
-
17. Length of time the existing uses of the subject property have continued:
Approx 100 Years
-
18. Municipal services available: (check the appropriate space or spaces)
- | | | | |
|----------------|-----|-----------|-----|
| Water | Yes | Connected | Yes |
| Sanitary Sewer | Yes | Connected | Yes |
| Storm Sewers | Yes | | |
-
19. Present Official Plan/Secondary Plan provisions applying to the land:
20. Present Restricted Area By-law (Zoning By-law) provisions applying to the land:
21. Has the owner previously applied for relief in respect of the subject property? (Zoning By-law Amendment or Minor Variance)
- Yes No
- If yes, please provide the file number:
- 21.1 If a site-specific zoning by-law amendment has been received for the subject property, has the two-year anniversary of the by-law being passed expired?
- Yes No
- 21.2 If the answer is no, the decision of Council, or Director of Planning and Chief Planner that the application for Minor Variance is allowed must be included. Failure to do so may result in an application not being "received" for processing.
22. Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?
- Yes No
23. Additional Information (please include separate sheet if needed)
24. The applicant shall attach to each copy of this application a plan showing the dimensions of the subject lands and of all abutting lands and showing the location, size and type of all buildings and structures on the subject and abutting lands, and where required by the Committee of Adjustment such plan shall be signed by an Ontario Land Surveyor.



Hamilton

COMMITTEE OF ADJUSTMENT

City Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5
 Telephone (905) 546-2424, ext. 4221, 3935 Fax (905) 546-4202
 E-mail: cofa@hamilton.ca

NOTICE OF PUBLIC HEARING **Minor Variance**

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
- Applicant/agent on file, or
- Person likely to be interested in this application

APPLICATION NO.:	HM/A-22:64
APPLICANTS:	Agent GSP Group - S. Hastings Owner Corktown Plaza Inc.
SUBJECT PROPERTY:	Municipal address 211, & 225 John St. S., 70 & 78 Young St. Hamilton
ZONING BY-LAW:	Zoning By-law 05-200, as Amended 21-038
ZONING:	"C5,739" (Mixed Use Medium Density) district
PROPOSAL:	To permit the construction of a new mixed-use development in accordance with Site Plan Control Application DA-21-112 notwithstanding that:

1. Parking spaces for the Multiple Dwelling use shall be provided at a rate of 0.44 parking spaces per dwelling unit instead of the minimum required 0.6 parking spaces per dwelling unit.
2. A porch (including steps and canopy) associated with dwelling units on the ground floor facing Young Street may project into the required yard a maximum of 1.5m (therefore being 0.0m from the Young Street lot line) instead of the maximum permitted encroachment of 0.75m.
3. A porch (including steps and canopy) associated with dwelling units on the ground floor facing Catharine Street South) may project into the required yard a maximum of 0.5m (therefore being 0.0m from the Catharine Street lot line) instead of the maximum permitted encroachment of 0.25m
4. No Planting Strip shall be provided between the surface parking spaces and a street line (Young Street and Forest Avenue) whereas the by-law requires a minimum 3.0m wide Planting Strip to be provided between parking spaces and a street line.

NOTES:

- i. These variances are necessary to facilitate Site Plan Control Application DA-21-112.
- ii. The applicant shall ensure that all parking spaces are provided in accordance with Section 5 of Hamilton Zoning By-law 05-200. Insufficient information has been provided to determine zoning compliance. Further variances may be required if compliance cannot be achieved.

HM/A-22: 64
Page 2

iii. Be advised that Amending By-law #21-038 previously amended the minimum number of required parking spaces to 0.6 spaces per unit. Variance #1 will further reduce this required parking ratio.

iv. For purposes of Variance #2 & #3, please be advised that a minimum yard setback of 1.5m is required from the lot line along Young Street and a minimum setback of 0.5m is required from the lot line along Catharine Street South for the portion(s) of the building containing residential units. Pursuant to Section 4.6(d), a porch may encroach into any required yard to a maximum of 1.5m, or to a maximum of half the distance of the required yard, whichever is the lesser.

This application will be heard by the Committee as shown below:

DATE: Thursday, April 7th, 2022
TIME: 2:45 p.m.
PLACE: Via video link or call in (see attached sheet for details)
 To be streamed at
www.hamilton.ca/committeeofadjustment
 for viewing purposes only

PUBLIC INPUT

Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

Orally: If you would like to speak to this item at the hearing you may do so via video link or by calling in. Please see attached page for complete instructions, including deadlines for registering to participate.

MORE INFORMATION

For more information on this matter, including access to drawings illustrating this request:

- Visit www.hamilton.ca/committeeofadjustment
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935
- Email Committee of Adjustment staff at cofa@hamilton.ca

DATED: March 22nd, 2022.

Jamila Sheffield,
Secretary-Treasurer
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public.

CORKTOWN
Hamilton, ON
19-188

GROSS CONSTRUCTION AREA

TOWER A	COMMERCIAL		RESIDENTIAL		TOTAL	
	m2	ft2	m2	ft2	m2	ft2
GCA						
GROUND	930	10,010	1,440	15,500	2,370	25,510
MEZZ	-	0	685	7,370	685	7,370
2	-	0	2,050	22,070	2,050	22,070
3-4	- x 2	- x 2	2,440 x 2	26,260 x 2	2,440 x 2	26,260 x 2
			4,880	52,520	4,880	52,520
5-6	- x 2	- x 2	2,430 x 2	26,160 x 2	2,430 x 2	26,160 x 2
			4,860	52,320	4,860	52,320
7-8	- x 2	- x 2	2,065 x 2	22,230 x 2	2,065 x 2	22,230 x 2
			4,130	44,460	4,130	44,460
9-10	- x 2	- x 2	1,180 x 2	12,700 x 2	1,180 x 2	12,700 x 2
			2,360	25,400	2,360	25,400
11-14	- x 4	- x 4	790 x 4	8,500 x 4	790 x 4	8,500 x 4
			3,160	34,000	3,160	34,000
MP	-	0	405	4,360	405	4,360
SUB-TOTAL	930.00	10,010.00	23,285.00	250,630.00	24,215.00	260,640.00

TOWER B	COMMERCIAL		RESIDENTIAL		TOTAL	
	m2	ft2	m2	ft2	m2	ft2
GCA						
GROUND	-	0	1,160	12,490	1,160	12,490
MEZZ	-	0	470	5,060	470	5,060
2-6	- x 5	- x 5	1,075 x 5	11,570 x 5	1,075 x 5	11,570 x 5
			5,375	57,850	5,375	57,850
7-25	- x 19	- x 19	895 x 19	9,630 x 19	895 x 19	9,630 x 19
			17,005	182,970	17,005	182,970
26 (Amenity)	-	0	900	9,690	900	9,690
MP	-	0	900	9,690	900	9,690
SUB-TOTAL	-	-	22,380.00	240,820.00	22,380.00	240,820.00

TOTAL	COMMERCIAL		RESIDENTIAL		TOTAL	
	m2	ft2	m2	ft2	m2	ft2
GCA						
TOWER A	930	10,010	23,285	250,640	24,215	260,650
TOWER B	-	0	22,380	240,900	22,380	240,900
TOTAL	930.00	10,010.00	45,665.00	491,540.00	46,595.00	501,550.00

NSA Building A (Midrise)								
		Studio	1 BED	1B+D	2BED	2B+D	3BED	Total
Total NSA		2,838.56	5,426.27	3,512.46	4,221.24	1,814.76	-	17,813.29
Average Unit Size	m2	39.42	46.78	55.75	64.94	75.62	#DIV/0!	52.39
	ft2	424.36	503.52	600.12	699.03	813.91	#DIV/0!	563.94

NSA Building B (Tower)								
		Studio	1 BED	1B+D	2BED	2B+D	3BED	Total
Total NSA		-	7,238.15	4,529.18	7,724.30	1,917.75	-	21,409.38
Average Unit Size	m2	#DIV/0!	45.24	54.57	69.59	76.71	#DIV/0!	56.49
	ft2	#DIV/0!	486.94	587.37	749.04	825.70	#DIV/0!	608.04

Unit Count (Building A Total)						
Studio	1 BED	1B+D	2BED	2B+D	3BED	Total
72	116	63	65	24	0	340
21.2%	34.1%	18.5%	19.1%	7.1%	0.0%	100.0%

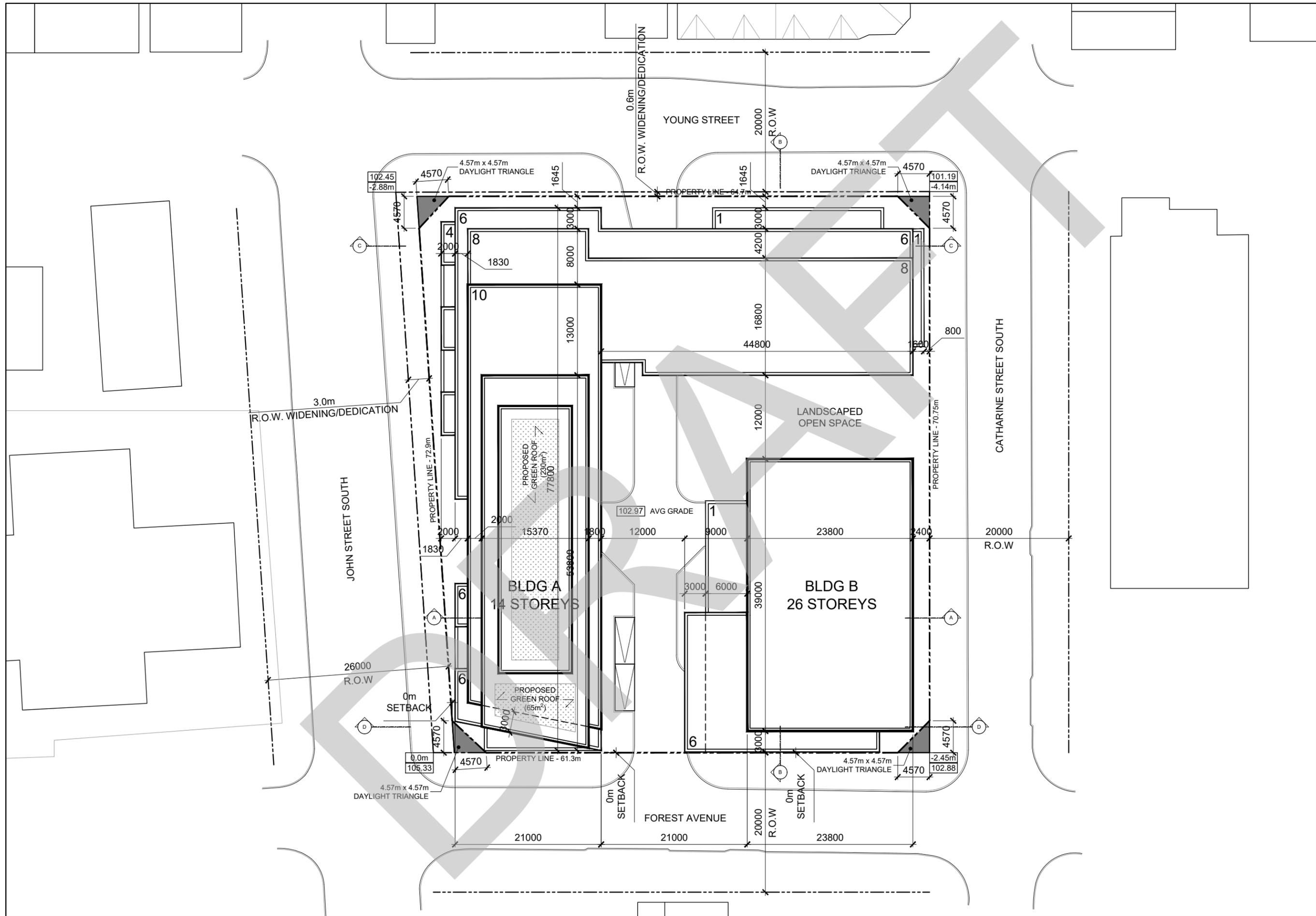
Unit Count (Building B Total)						
Studio	1 BED	1B+D	2BED	2B+D	3BED	Total
0	160	83	111	25	0	379
0.0%	42.2%	21.9%	29.3%	6.6%	0.0%	100.0%

STATISTICS

SCALE NTS
February 14, 2022

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Hamilton, ON
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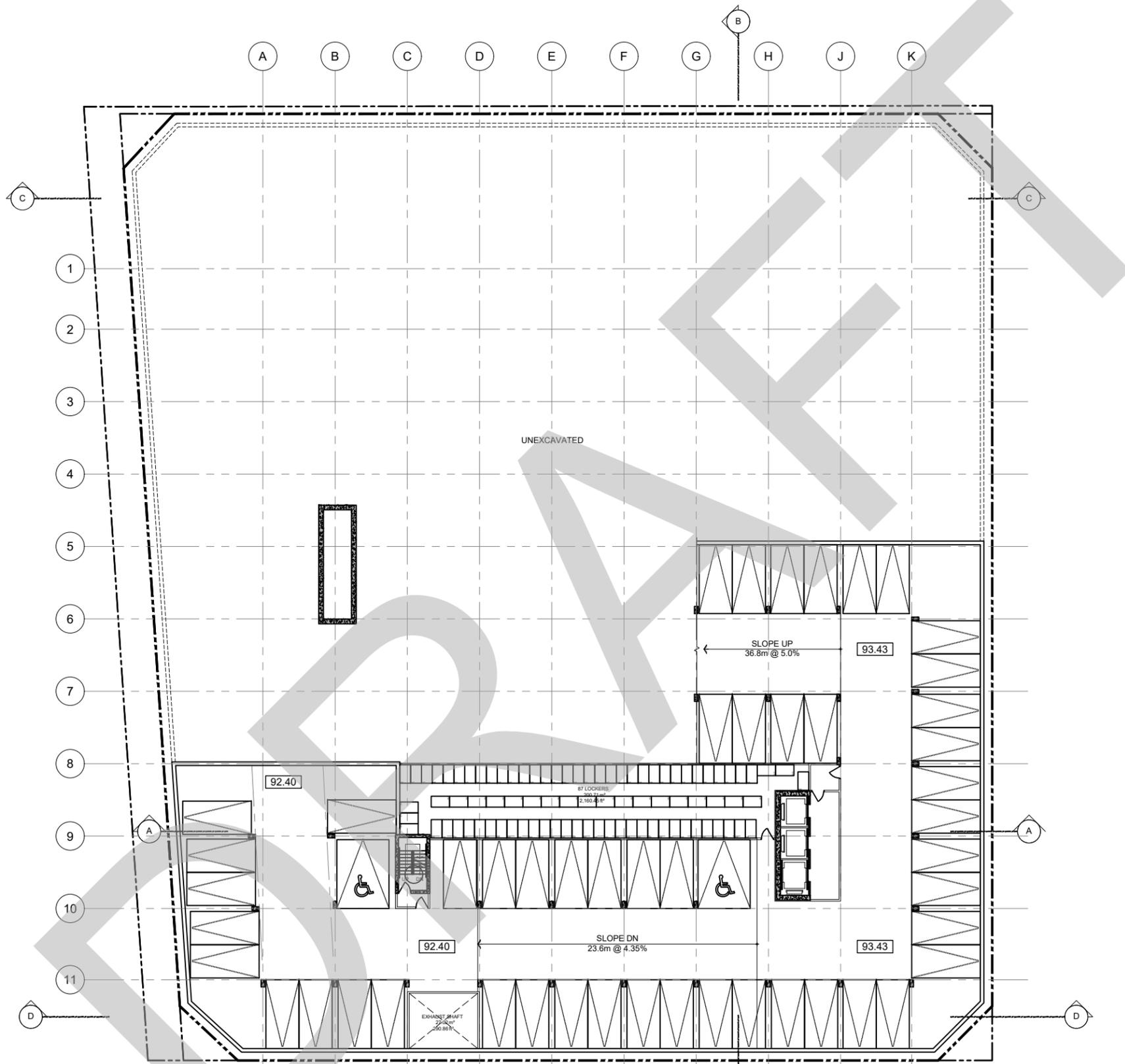
SITE PLAN

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February 14, 2022

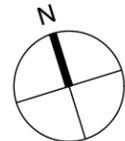
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PARKING COUNT	
P1 LEVEL	117
P2 LEVEL	148
P3 LEVEL	51
TOTAL	316

CORKTOWN
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19-188



P3 LEVEL
51 PARKING SPACES



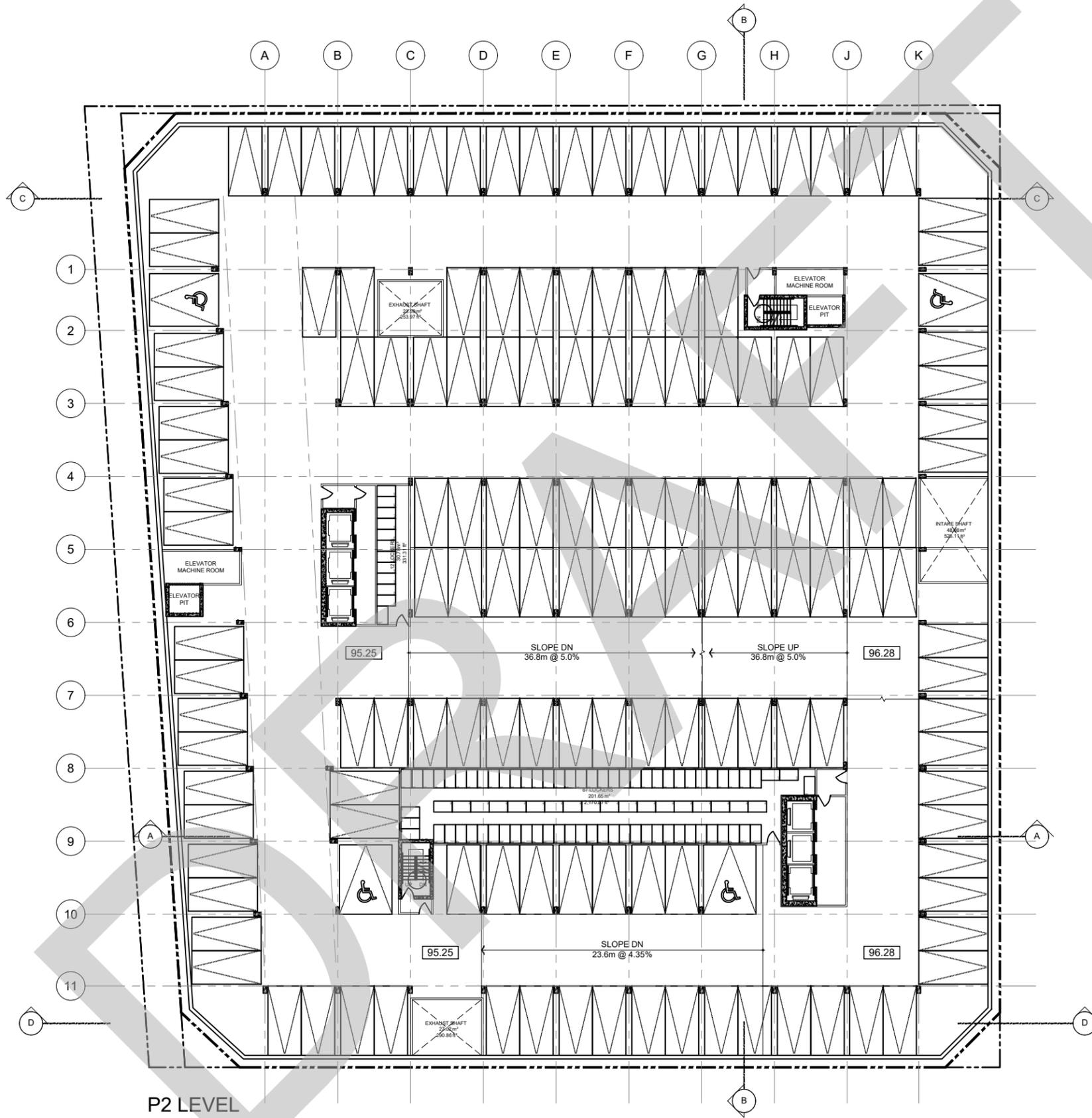
P3 LEVEL

SCALE 1:400
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CORKTOWN
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P2 LEVEL
148 PARKING SPACES

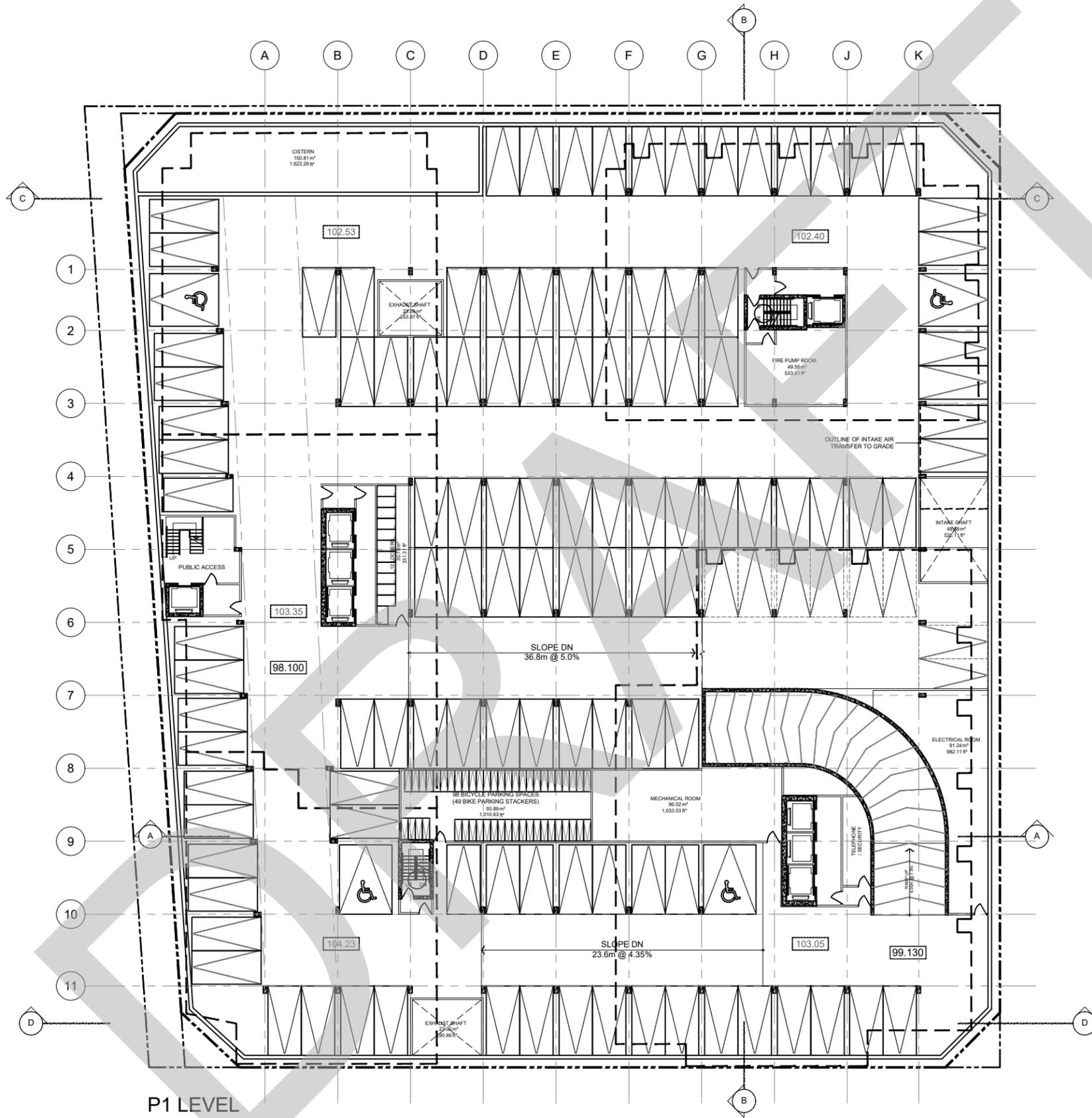
P2 LEVEL

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February 14, 2022

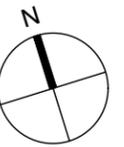
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19-188



P1 LEVEL
117 PARKING SPACES

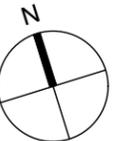
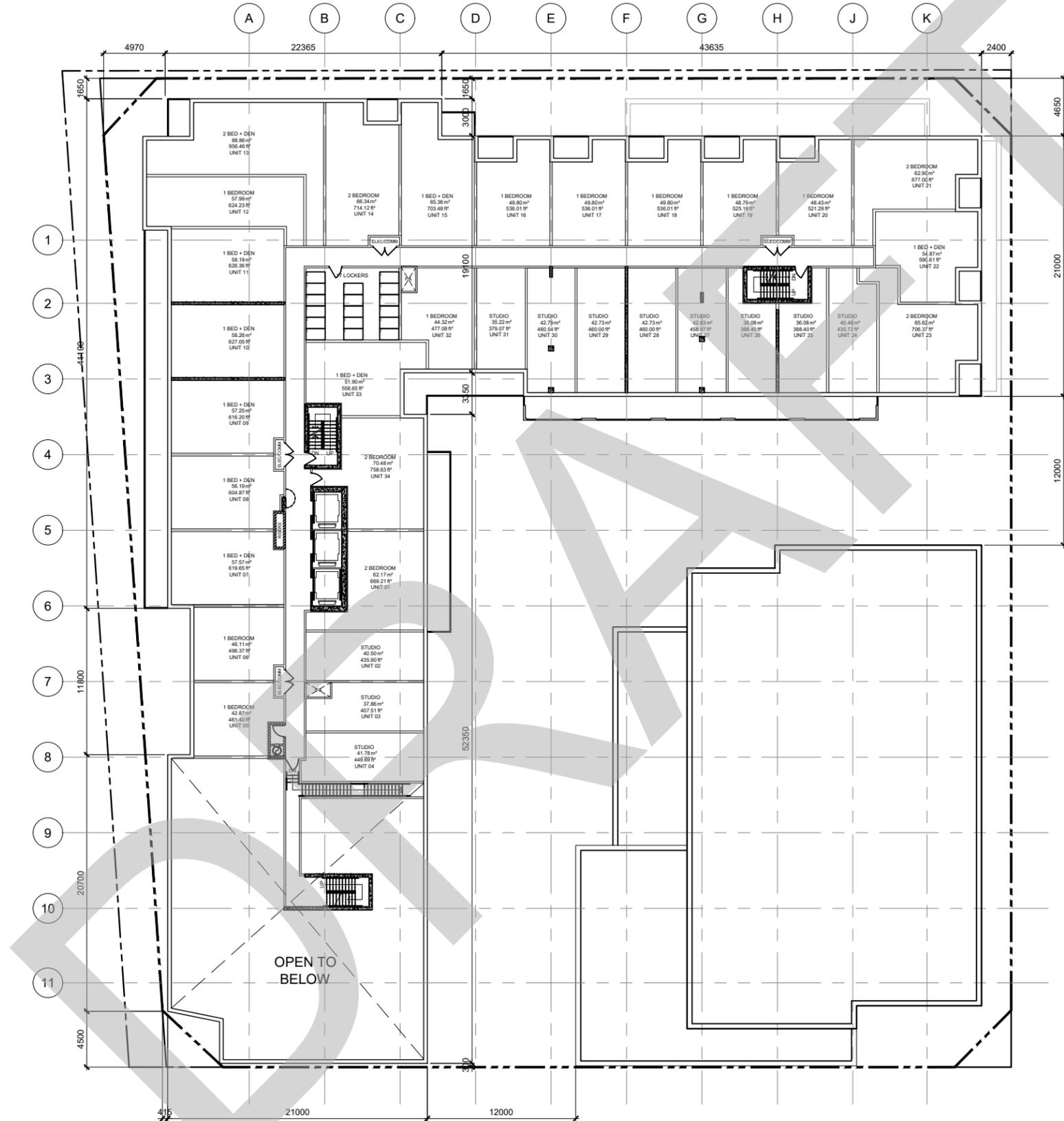


P1 LEVEL

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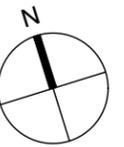
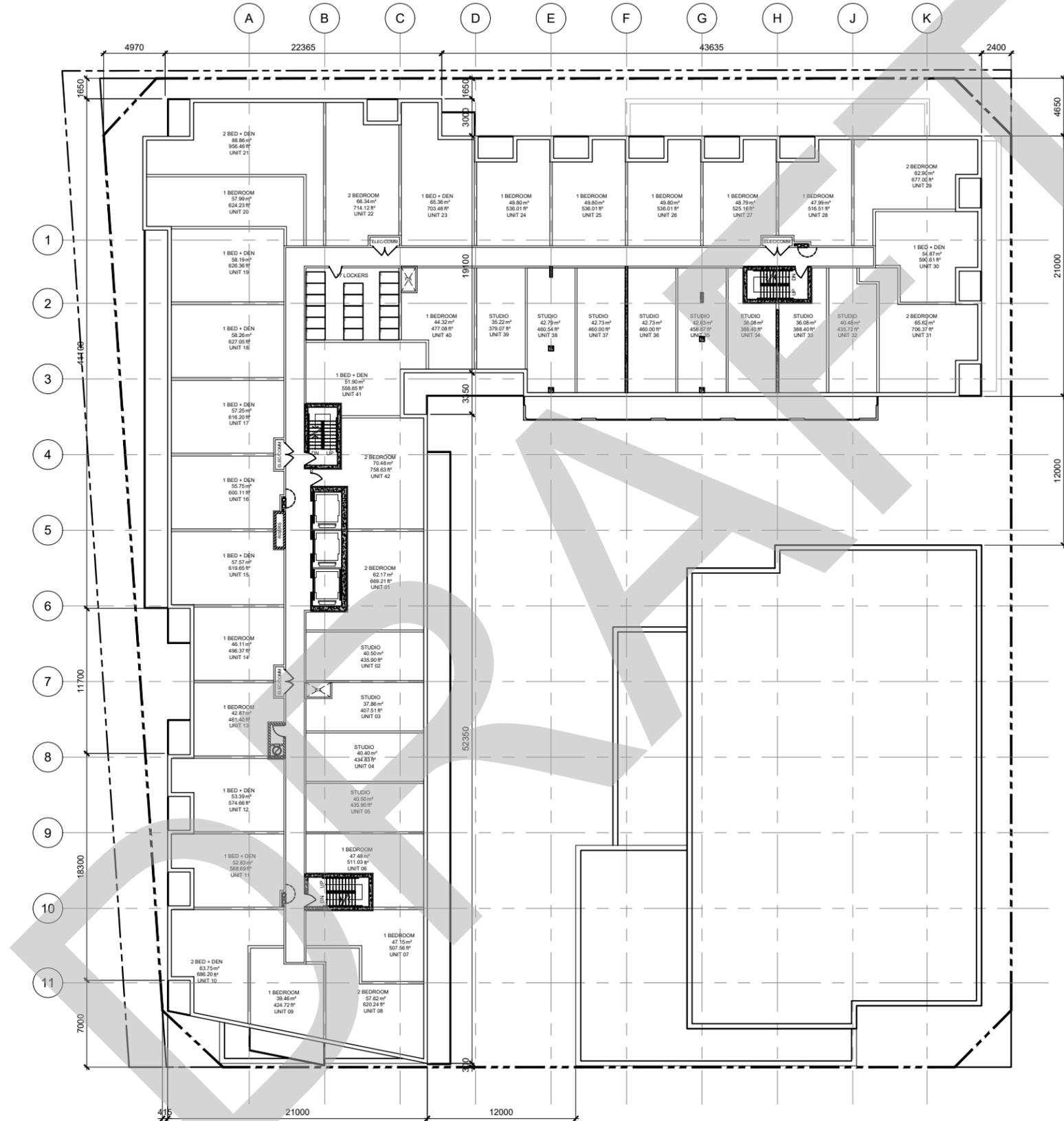


LEVEL 2

SCALE 1:400
February 14, 2022

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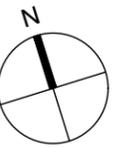
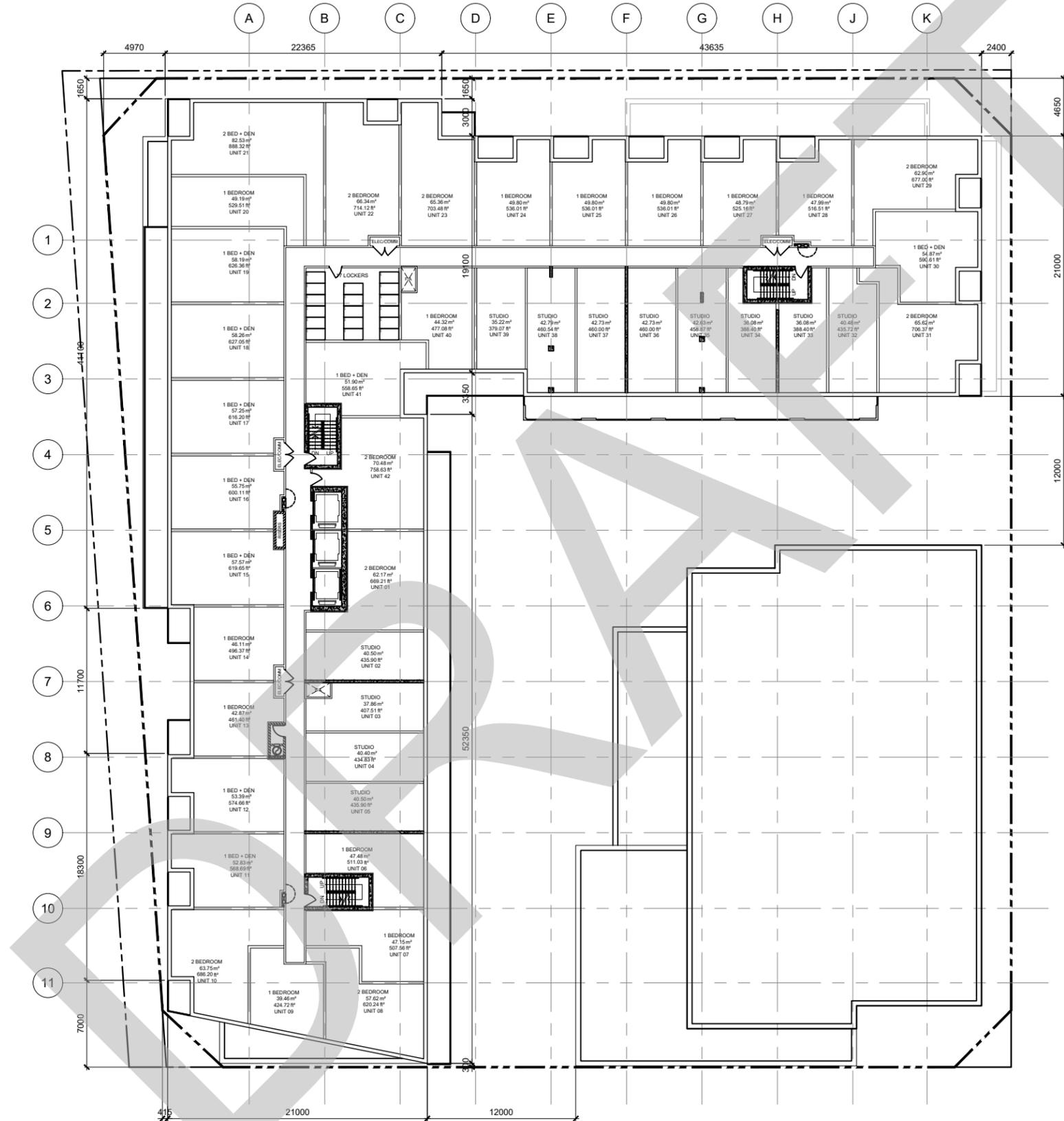


LEVELS 3-4

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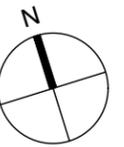
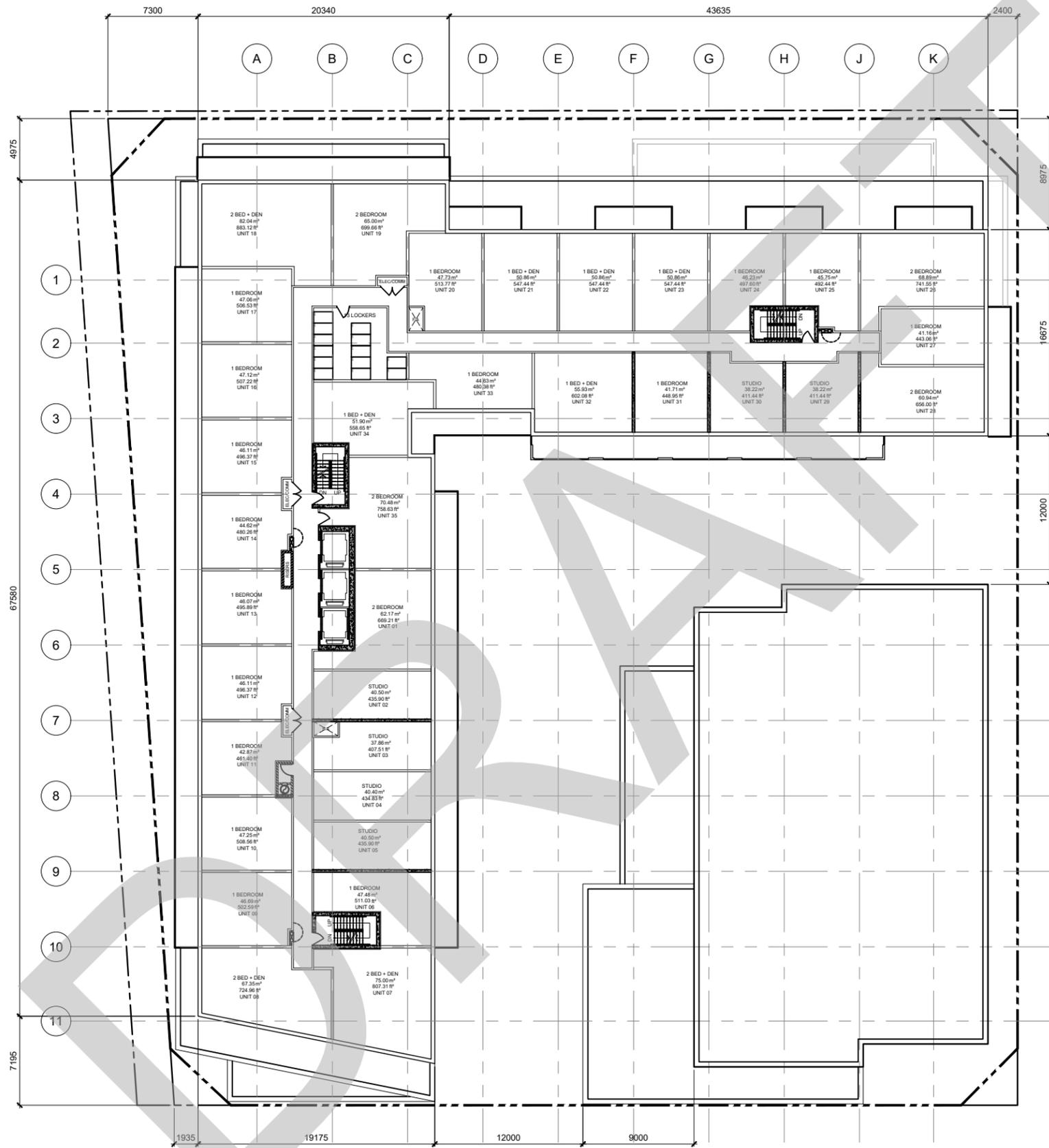


LEVELS 5-6

SCALE 1:400
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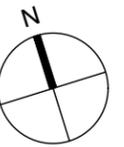
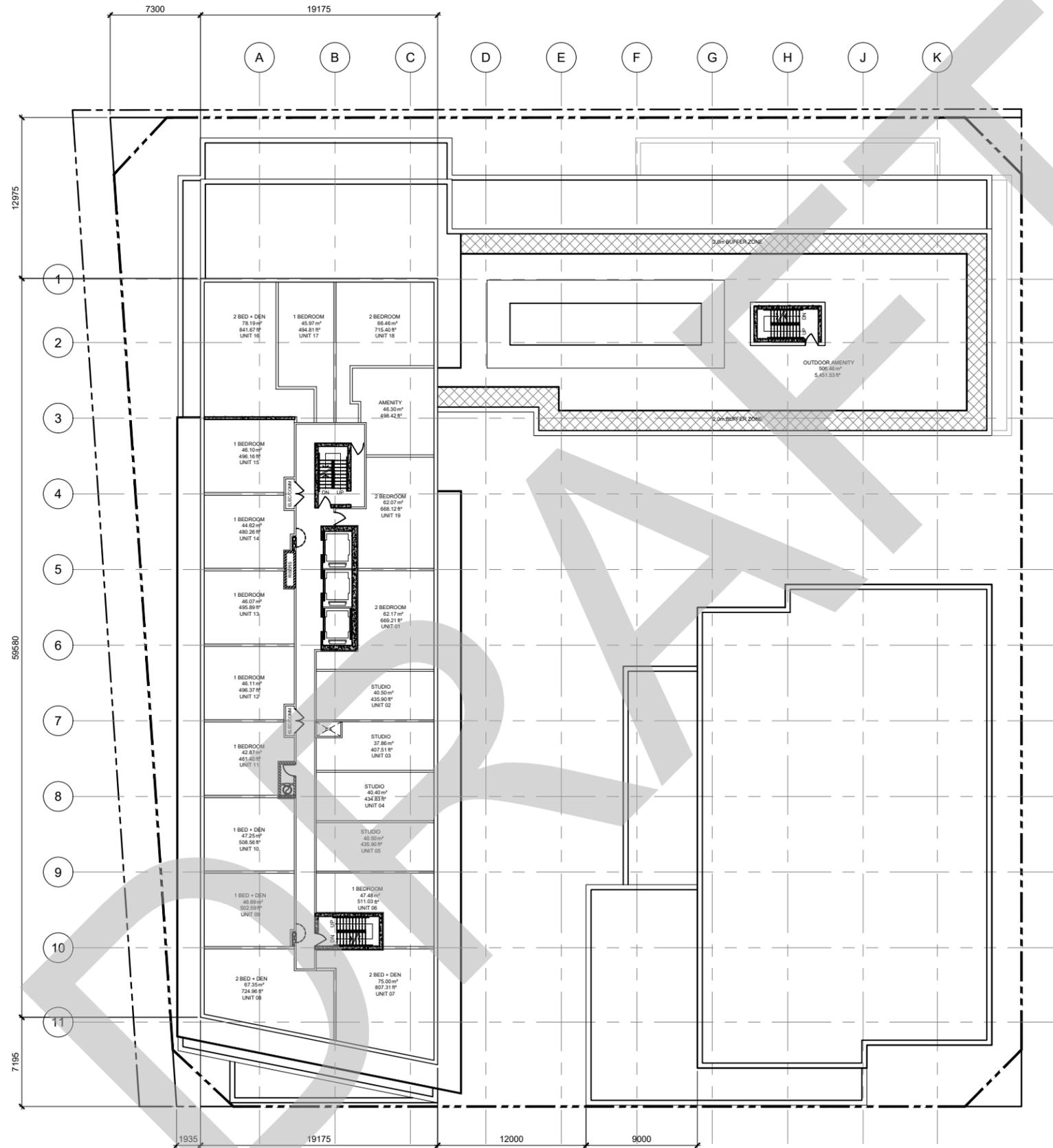


LEVELS 7-8

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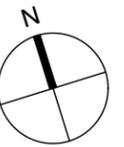
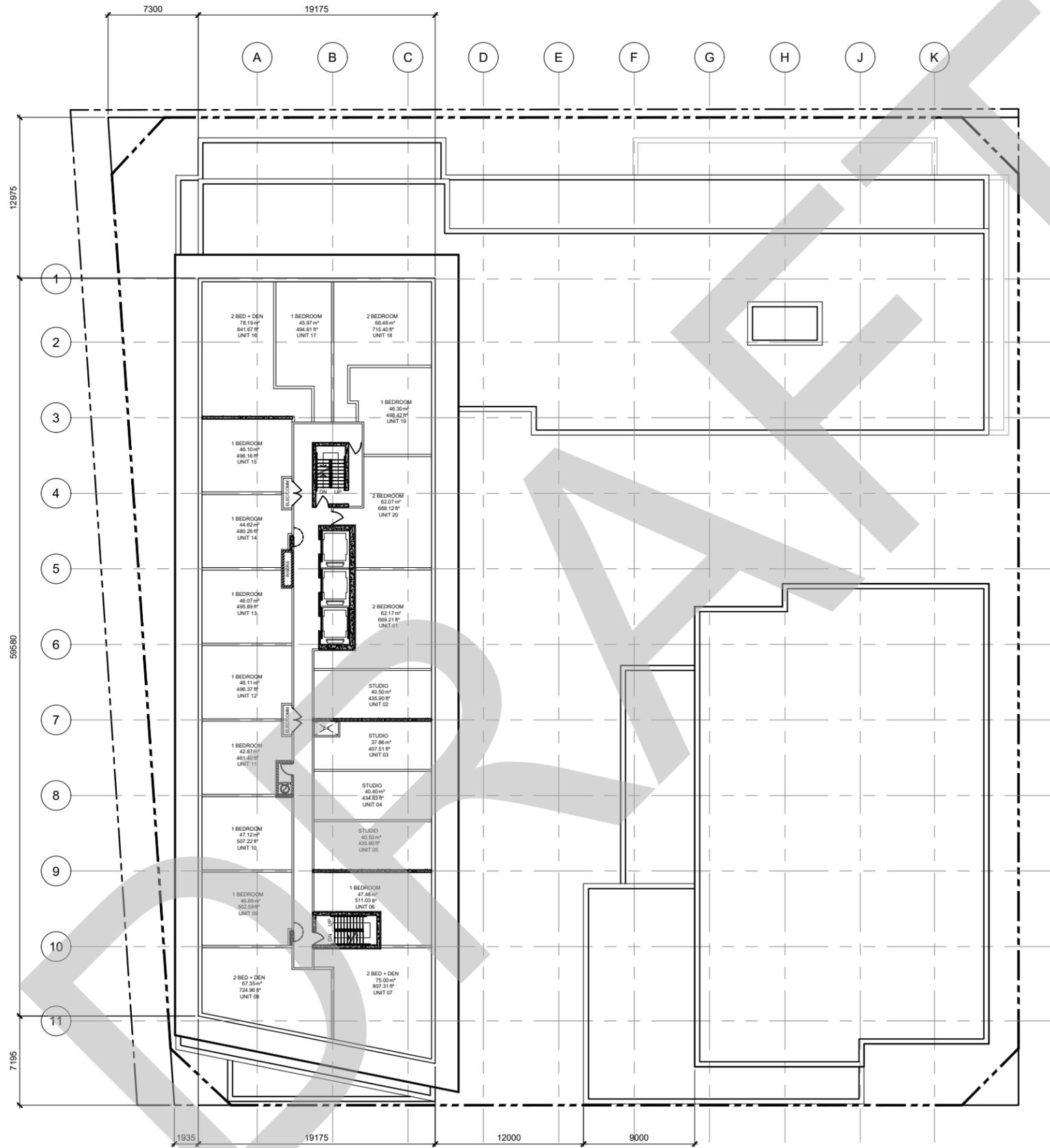


LEVELS 9-10

SCALE 1:400
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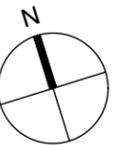
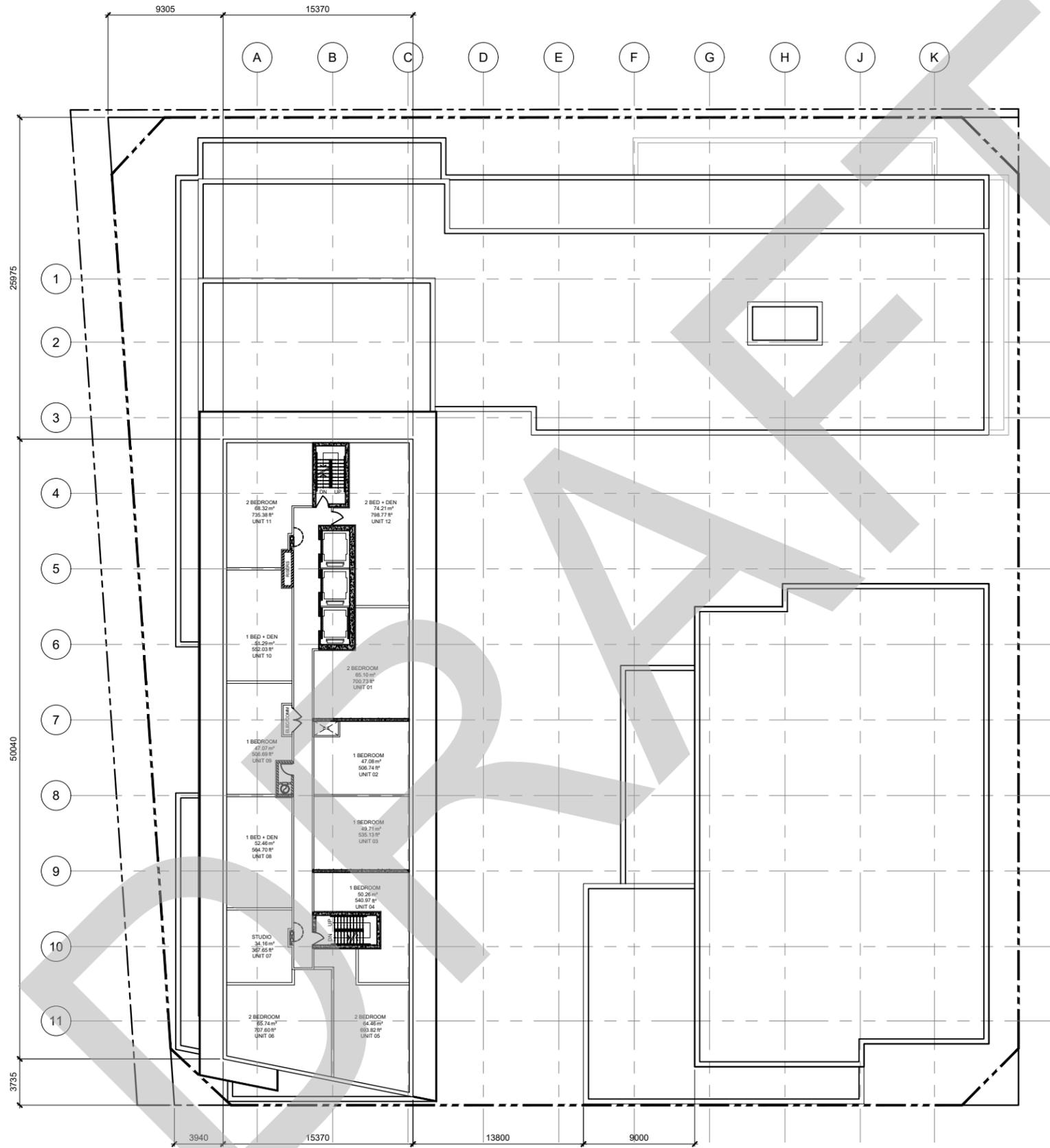


LEVELS 9-10

SCALE 1:400
February 14, 2022

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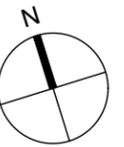
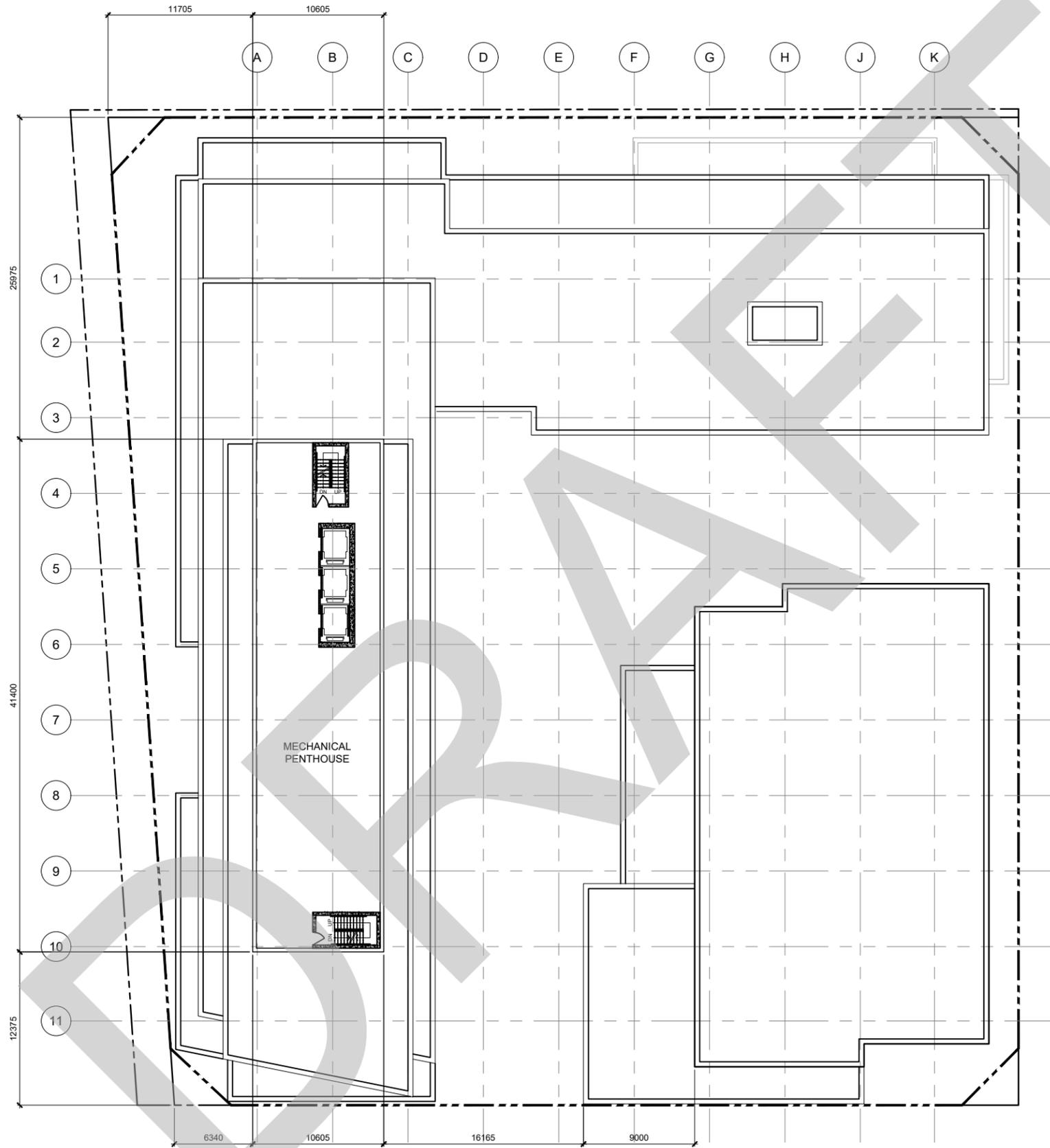


LEVELS 11-14

SCALE 1:400
February 14, 2022

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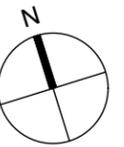
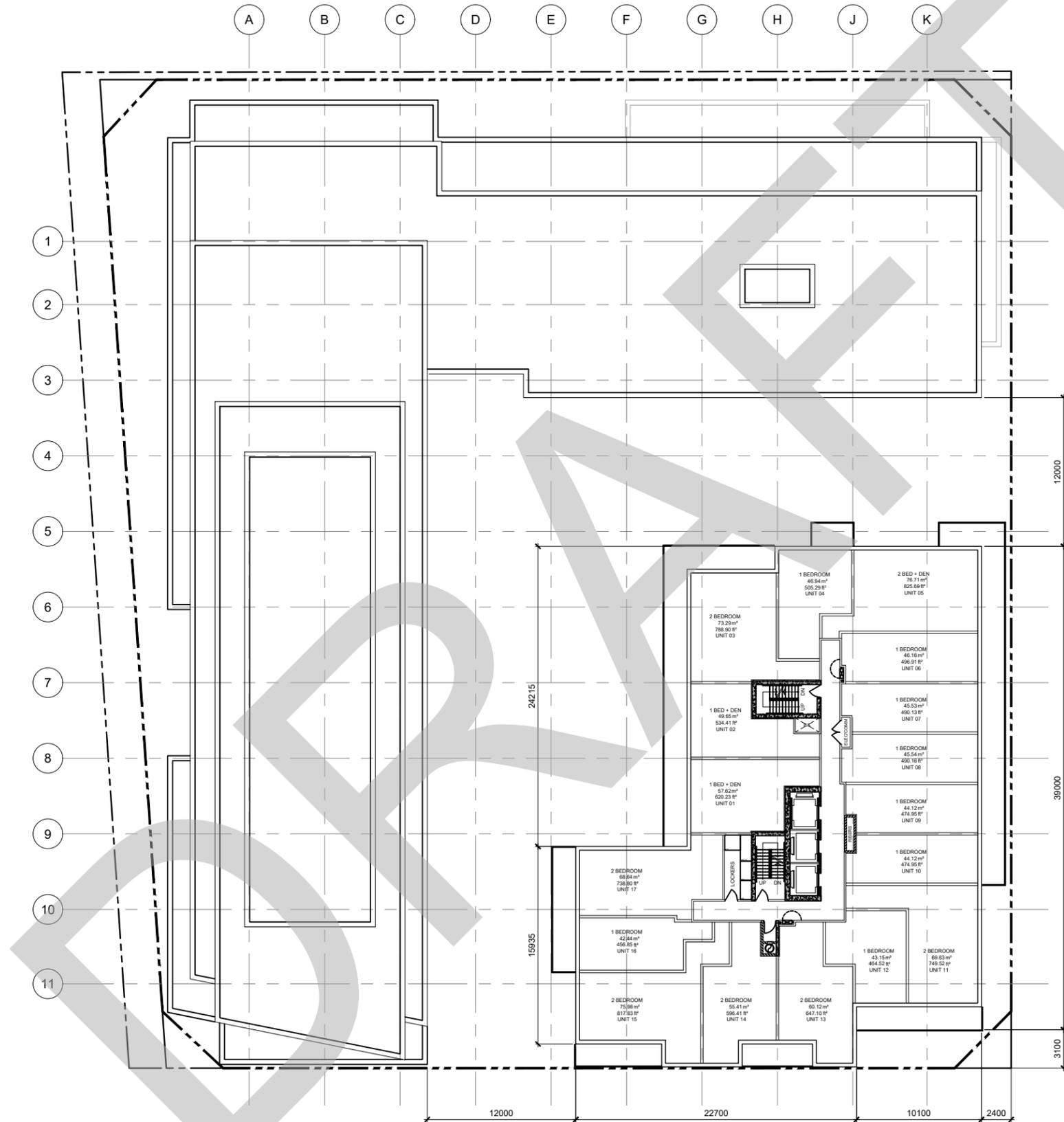


LEVELS 11-14

SCALE 1:400
February 14, 2022

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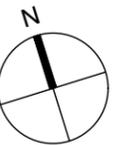
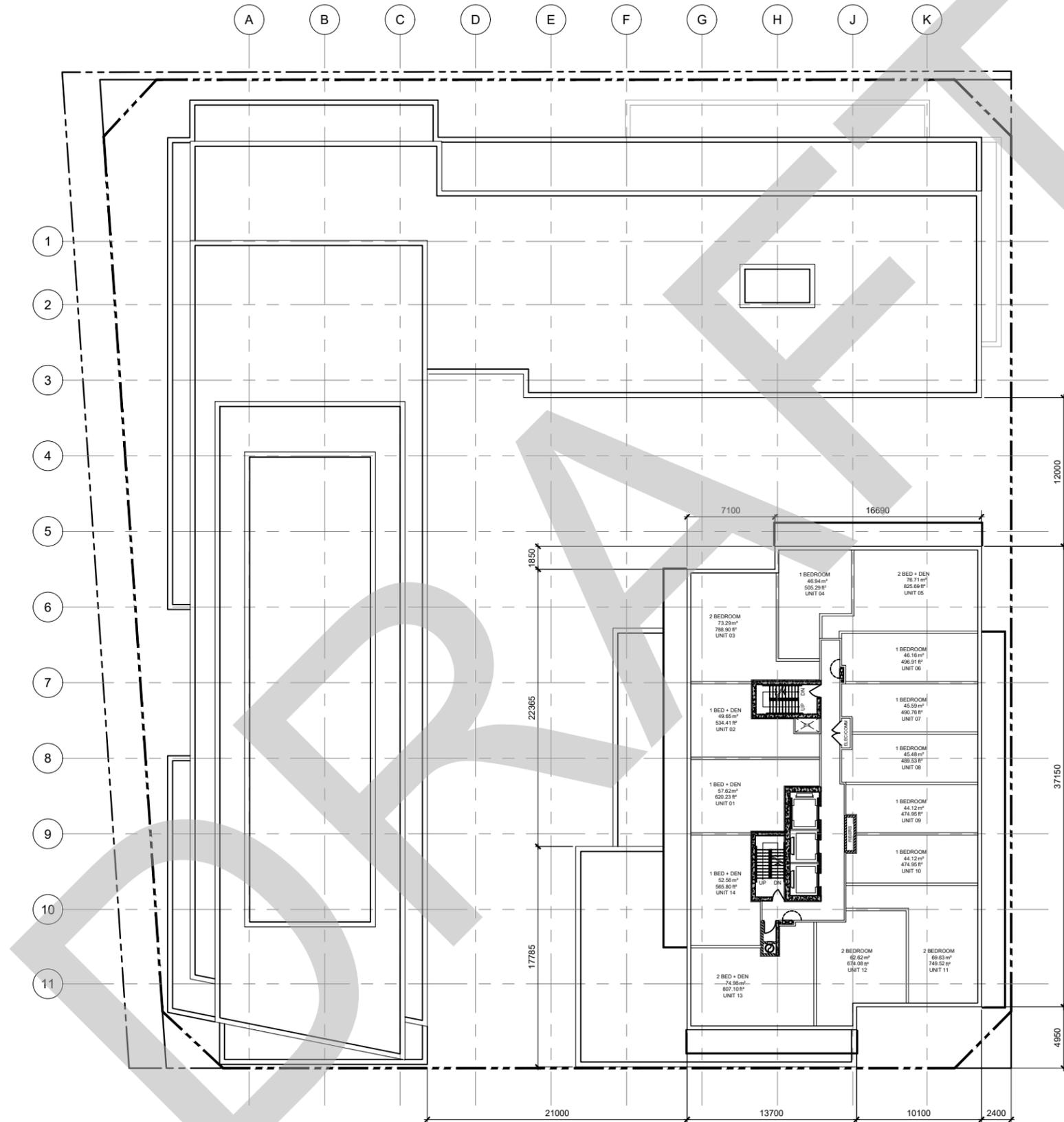


LEVELS 2-6

SCALE 1:400
February 14, 2022

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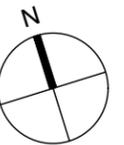
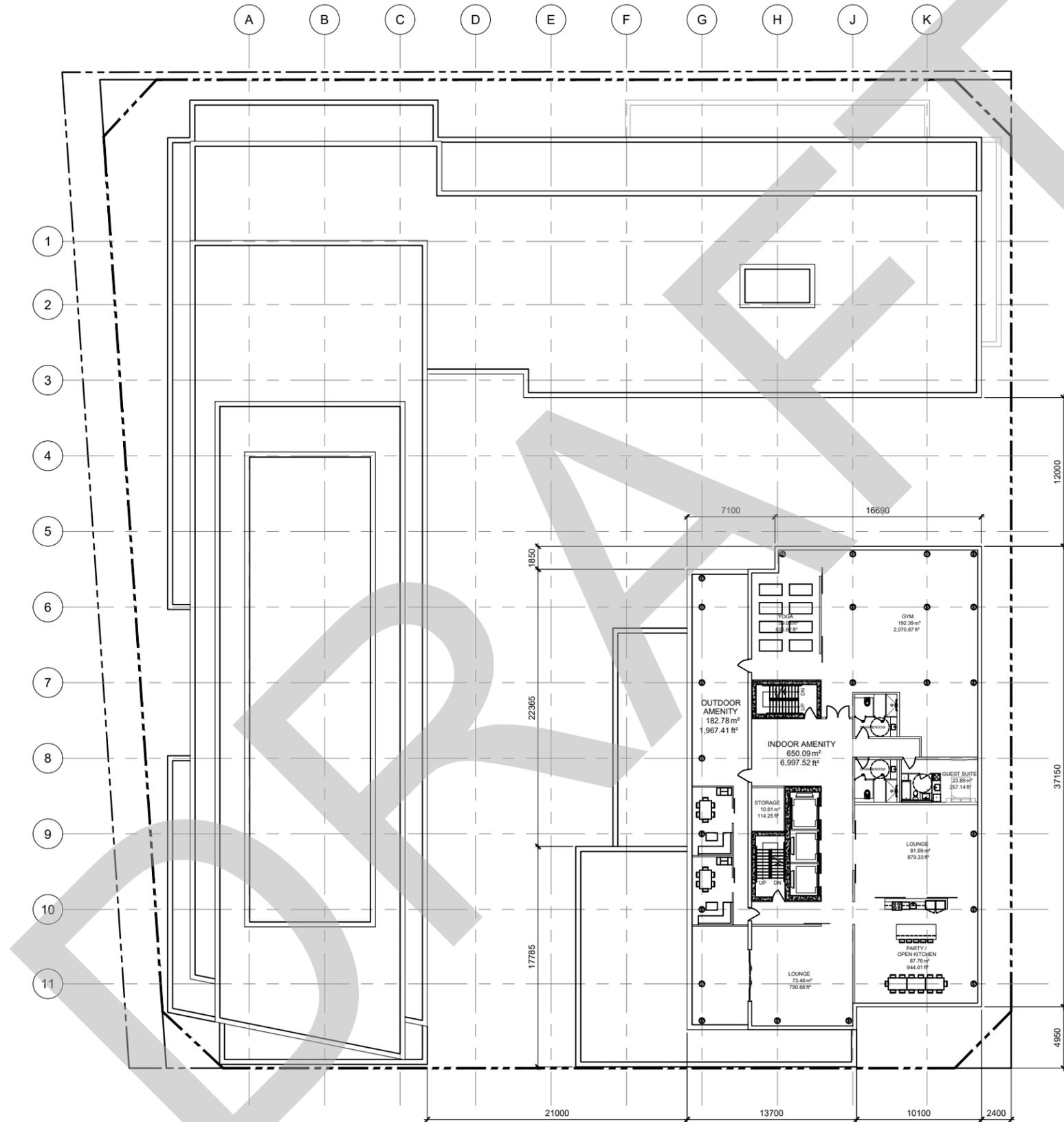


LEVELS 7-25

SCALE 1:400
February 14, 2022

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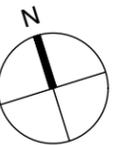
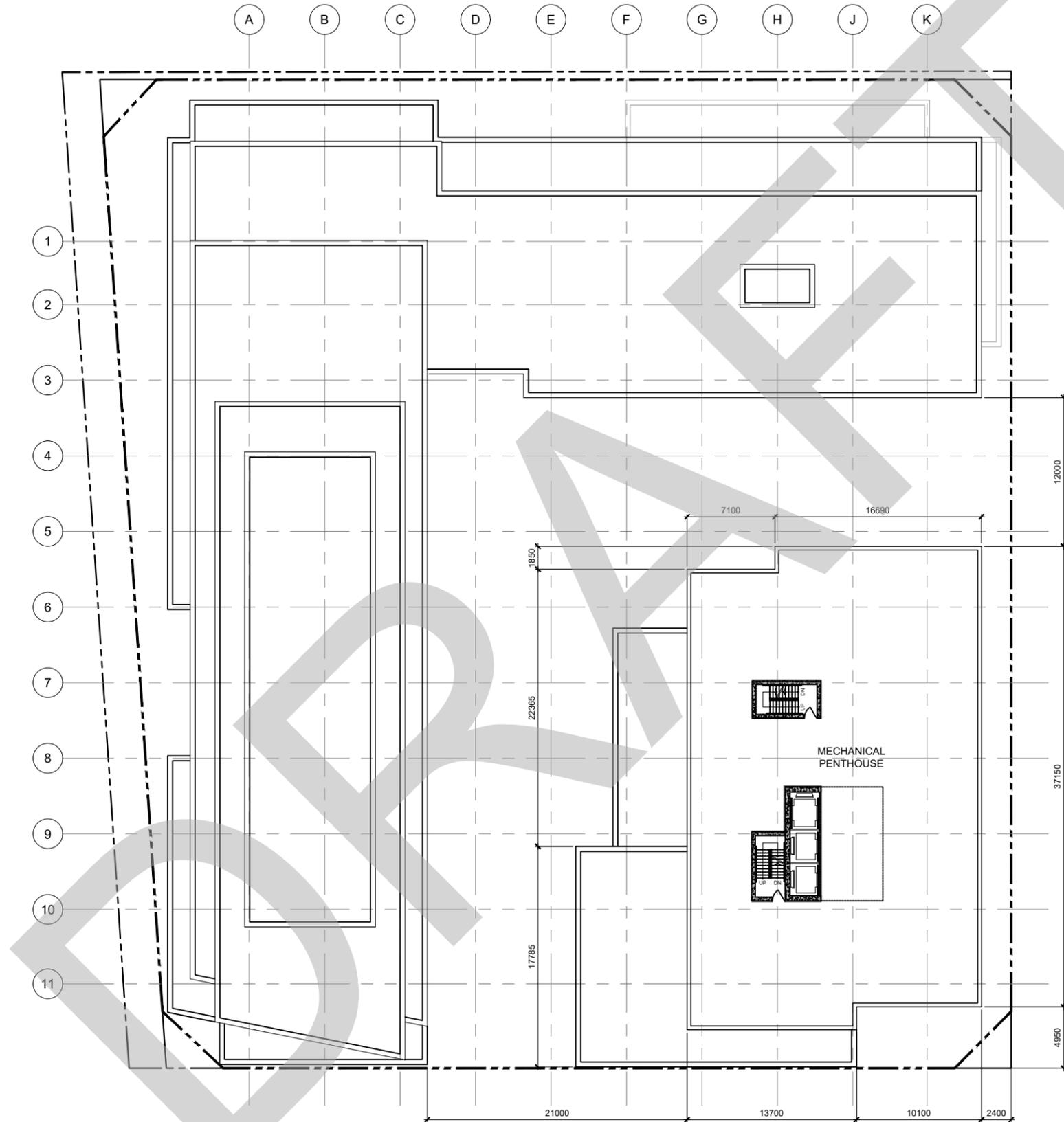


LEVEL 26

SCALE 1:400
February 14, 2022

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CORKTOWN
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MECHANICAL PENTHOUSE

SCALE 1:400
February 14, 2022

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SHAPING GREAT COMMUNITIES

February 18, 2022

File: 17228

City of Hamilton
Committee of Adjustment
71 Main Street West, 5th Floor
Hamilton, ON
L8P 4Y5

Attn: Ms. Jamila Sheffield
Secretary-Treasurer

**RE: 225 John Street South & 70-78 Young Street, Hamilton (Corktown Plaza)
Minor Variance Application
Related Site Plan Application: DA-21-112**

Dear Ms. Sheffield:

On behalf of Corktown Plaza Inc., GSP Group is pleased to apply for a minor variance application for the property known municipally as 211-225 John Street South and 70-78 Young Street, more commonly known as Corktown Plaza.

The subject property is currently subject to conditional Site Plan Approval for a comprehensive redevelopment consisting of a 26-storey residential building and a 14-storey residential building atop a mixed-use podium containing commercial retail space.

In order to facilitate the proposed redevelopment, City Council approved a site-specific by-law in March 2021, which among other regulations, requires that parking be provided at a minimum rate of 0.6 parking spaces per unit.

Since the passing of the site-specific by-law, a number of circumstances have changed on the ground which have directly impacted the parking requirements of the subject lands. Most notably, a joint funding announcement was made by the provincial and federal governments in May 2021 committing funding to the capital costs of the King Street LRT project. Council subsequently ratified an MOU with Metrolinx and the Ministry of Transportation Ontario in September 2021 to

PLANNING | URBAN DESIGN | LANDSCAPE ARCHITECTURE

move forward with the LRT project. To this point, a Parking Justification Addendum has been prepared by Paradigm Transportation Solutions Limited, which found that:

“Based on the local data collected, a review of industry parking data, and policy framework, a parking supply of 0.44 spaces per unit is appropriate given existing demand and the anticipated improvements toward the sustainable transportation system.”

The proposed parking supply of 0.44 spaces per unit would accommodate 719 dwelling units based upon a total provision of 316 parking spaces ($719 \times 0.44 = 316.3$).

In support of this minor variance application, please find attached digital copies of the following items for your review and consideration:

- A signed and commissioned Minor Variance Application form;
- A Parking Study Addendum, prepared by Paradigm Transportation solutions Ltd. and dated February 14, 2022;
- A Topographical Survey, prepared by R. Avis Surveying Inc. and dated August 29, 2017.
- Site Plan architectural drawing package, prepared by Core Architects Inc. and dated February 14, 2022; and
- A Council Waiver approved on January 19, 2022, to authorize Slate Asset Management to apply for a minor variance of a site-specific by-law approved within the last 2 years.

Fee Payment:

To collect the 2022 Minor Variance application fee of \$3,465.00 by credit card, please contact:

Danielle Statz
Slate Asset Management

Should you have any other questions, or require any additional information, please contact Stuart Hastings at [REDACTED]

Yours truly,
GSP Group Inc.



Stuart Hastings, MCIP, RPP
Planner

cc: via email Veronica Green, Slate Asset Management
Adrian Tarapacky, Slate Asset Management

Committee of Adjustment

City Hall, 5th Floor,
71 Main St. W.,
Hamilton, ON L8P4Y5



Hamilton

Phone: (905) 546-2424 ext. 4221

Email: cofa@hamilton.ca

APPLICATION FOR A MINOR VARIANCE

FOR OFFICE USE ONLY.

APPLICATION NO. _____ DATE APPLICATION RECEIVED _____

PAID _____ DATE APPLICATION DEEMED COMPLETE _____

SECRETARY'S
SIGNATURE _____

The Planning Act

Application for Minor Variance or for Permission

The undersigned hereby applies to the Committee of Adjustment for the City of Hamilton under Section 45 of the *Planning Act*, R.S.O. 1990, Chapter P.13 for relief, as described in this application, from the Zoning By-law.

1, 2

MAILING ADDRESS

Registered
Owners(s)

Applicant(s)*

Agent or
Solicitor

Note: Unless otherwise requested all communications will be sent to the agent, if any.

3. Names and addresses of any mortgagees, holders of charges or other encumbrances:

n/a

Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled

4. Nature and extent of relief applied for:

To permit a parking rate of 0.44 parking spaces per unit, whereas 0.60 spaces per unit is required.

Second Dwelling Unit Reconstruction of Existing Dwelling

5. Why it is not possible to comply with the provisions of the By-law?

Please refer to the Parking Study Addendum prepared by Paradigm Transportation Consulting Ltd. submitted with this application for details.

6. Legal description and Address of subject lands (registered plan number and lot number or other legal description and where applicable, **street and street number**):

Legal: All of Lots 172, 173, 178, 179, 189, 190, 195, and 196 George Hamilton Survey (Registered Plan 1431)
Address: 211 and 225 John Street South, and 70 and 78 Young Street

7. PREVIOUS USE OF PROPERTY

Residential Industrial Commercial

Agricultural Vacant

Other _____

8.1 If Industrial or Commercial, specify use Retail Plaza

8.2 Has the grading of the subject land been changed by adding earth or other material, i.e. has filling occurred?

Yes No Unknown

8.3 Has a gas station been located on the subject land or adjacent lands at any time?

Yes No Unknown

8.4 Has there been petroleum or other fuel stored on the subject land or adjacent lands?

Yes No Unknown

8.5 Are there or have there ever been underground storage tanks or buried waste on the subject land or adjacent lands?

Yes No Unknown

8.6 Have the lands or adjacent lands ever been used as an agricultural operation where cyanide products may have been used as pesticides and/or sewage sludge was applied to the lands?

Yes No Unknown

8.7 Have the lands or adjacent lands ever been used as a weapon firing range?

Yes No Unknown

8.8 Is the nearest boundary line of the application within 500 metres (1,640 feet) of the fill area of an operational/non-operational landfill or dump?

Yes No Unknown

8.9 If there are existing or previously existing buildings, are there any building materials remaining on site which are potentially hazardous to public health (eg. asbestos, PCB's)?

Yes No Unknown

8.10 Is there any reason to believe the subject land may have been contaminated by former uses on the site or adjacent sites?

Yes No Unknown

8.11 What information did you use to determine the answers to 8.1 to 8.10 above?

Owner's Knowledge. Phase II Environmental Assessment Summary Letter (Terraprobe).

8.12 If previous use of property is industrial or commercial or if YES to any of 8.2 to 8.10, a previous use inventory showing all former uses of the subject land, or if appropriate, the land adjacent to the subject land, is needed.

Is the previous use inventory attached? Yes No

Phase II Environmental Assessment Summary Letter (Terraprobe) previously submitted as part of applications (UHOPA-18-17 / ZAC-18-041)

9. ACKNOWLEDGEMENT CLAUSE

I acknowledge that the City of Hamilton is not responsible for the identification and remediation of contamination on the property which is the subject of this Application – by reason of its approval to this Application.

February 18, 2022
Date


Signature Property Owner(s)
Slate Holdings (Canada) ULS & Corktown Plaza
Lucas Manuel, Managing Director and Partner
Print Name of Owner(s)

10. Dimensions of lands affected:

Frontage	<u>71.3 metres (Forest Avenue)</u>
Depth	<u>±80 metres</u>
Area	<u>0.59 hectares</u>
Width of street	<u>Forest Ave. (±21.2m); John St. S. (±20.1m); Young St. (±18.6m); Catharine St. S. (±20.1m)</u>

11. Particulars of all buildings and structures on or proposed for the subject lands: (Specify ground floor area, gross floor area, number of stories, width, length, height, etc.)

Existing:

1-storey retail plaza with 2-storey stand-alone buildings.

Proposed

To comprehensively redevelop the site for a 26-storey residential building and a 14-storey residential building atop a mixed-use podium containing commercial retail space. Please refer to Site Plan Application (DA-21-112) for further details.

12. Location of all buildings and structures on or proposed for the subject lands; (Specify distance from side, rear and front lot lines)

Existing:

Please refer to Survey submitted with this application.

Proposed:

Please refer to Site Plan drawings, prepared by Core Architects, and submitted with this application.

13. Date of acquisition of subject lands:
2017
-
14. Date of construction of all buildings and structures on subject lands:
All existing buildings to be demolished.
-
15. Existing uses of the subject property (single family, duplex, retail, factory etc.):
Retail, Restaurants
-
16. Existing uses of abutting properties (single family, duplex, retail, factory etc.):
Single-detached, High-rise residential buildings, and commercial uses
-
17. Length of time the existing uses of the subject property have continued:
Since approximately the 1980s.
-
18. Municipal services available: (check the appropriate space or spaces)
Water Connected
Sanitary Sewer Connected
Storm Sewers
19. Present Official Plan/Secondary Plan provisions applying to the land:
Schedule E: Neighbourhoods; Schedule E-1: Mixed Use - Medium Density
20. Present Restricted Area By-law (Zoning By-law) provisions applying to the land:
Mixed Use Medium Density (C5) Zone, Exception: 739, Holding: H118
21. Has the owner previously applied for relief in respect of the subject property? (Zoning By-law Amendment or Minor Variance)
 Yes No
If yes, please provide the file number:
ZAC-18-041
- 21.1 If a site-specific zoning by-law amendment has been received for the subject property, has the two-year anniversary of the by-law being passed expired?
 Yes No
- 21.2 If the answer is no, the decision of Council, or Director of Planning and Chief Planner that the application for Minor Variance is allowed must be included. Failure to do so may result in an application not being "received" for processing.
Council passed a waiver on January 19th to authorize Slate Asset Management to apply for a minor variance of a site-specific by-law approved within the last 2 years. Waiver is attached to application.
22. Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?
 Yes No
23. Additional Information (please include separate sheet if needed)
Paradigm Transportations Solutions has provided a Parking Study Addendum containing a justification for the reduced parking ratio.
24. The applicant shall attach to each copy of this application a plan showing the dimensions of the subject lands and of all abutting lands and showing the location, size and type of all buildings and structures on the subject and abutting lands, and where required by the Committee of Adjustment such plan shall be signed by an Ontario Land Surveyor.



5A-150 Pinebush Road
Cambridge ON N1R 8J8
p: 519.896.3163
905.381.2229
416.479.9684

www.ptsl.com

14 February 2022
Project: (210651)

Veronica Green
Associate, Development
Slate Asset Management LP.
121 King Street West, Suite 200
Toronto, ON M5H 3T9

Dear Veronica Green:

RE: 211 JOHN STREET SOUTH – PARKING STUDY ADDENDUM

In June 2020, Paradigm Transportation Solutions Limited (Paradigm) prepared a Transportation Impact Study (TIS) and Parking Justification Study (PJS)¹ for the property at 211 John Street South, in the City of Hamilton.

The June 2020 PJS outlined a range of parking requirements that applied to the site's context. The review concluded that a parking supply was appropriate for the site at that time. The development received approval for a parking rate of 0.60 spaces per unit.

It should also be clarified that the June 2020 study did not expect the Light Rapid Transit (LRT) along King Street to be in place, given that the Province of Ontario halted the project in December 2019. However, this decision was reversed in May 2021 and ratified by Hamilton City Council in September 2021 to move forward with the LRT. A key transportation objective in intensification areas is to transform the primary travel mode to sustainable options (walking, cycling and Transit); the provision of the LRT will provide an incentive for a reduced parking demand through a shift in the mode of travel.

From the perspective of the supporting analysis, this submission by Paradigm represents an update to the June 2020 PJS. It addresses the critical changes to the context of the study area and the impacts these changes have concerning the site's overall parking supply.

¹ 211 John Street South, Hamilton Transportation Impact Study, Parking Justification and TDM Options Report Update, June 2020, Paradigm

Transit

The site is well served by various Hamilton Street Railway (HSR) transit routes that operate at all times during the majority of the day, as documented in the June 2020 study. The site is well situated relative to regional transit service (i.e., GO Transit) within a 330-metre walk from the subject site.

In addition to local and regional transit services, higher-order Transit is also expected to be available through the future LRT along King Street. As a critical transportation objective in intensification, areas are to transform the primary travel mode to sustainable options (walking, cycling and Transit); the provision of the LRT will provide an incentive for a reduced parking demand through a shift in the mode of travel.

The first phase of the line will run from McMaster University to Eastgate Square and provide 17 stops. The proposed rapid transit line will link to GO Transit, VIA Rail services as well as walking and cycling trails to help provide sustainable transportation choices to residents of Hamilton. A stop for the rapid transit line is proposed at King Street and James Street, a 10-minute walk from the site (800 metres).

A fundamental component of reducing vehicle trips and dependency on vehicle parking is through a robust and diverse transit service. The provision of an expansion to the transit network would significantly improve transit service for the immediate area. It would further help reduce vehicle demand and, in turn, reduce parking demand.

Cycling

There has been a dedicated bike lane along Hunter Street for several years, but a critical gap in from the GO Station between MacNab Street and Catherine Street. However, the city has addressed this gap through the recently completed Hunter Street bicycle lanes.

The Keddy Access Trail was only completed on 30 November 2020, and this 'gap' in the dedicated bicycle lane was completed at the end of 2021 before the original Parking Study was conducted. As a result, there is now a continuous separated bike lane along Hunter Street to the Keddy Access Trail (which provides access to and from the mountain).

The proximity of Corktown to Hunter Street and the completion of the dedicated bike lane together with the Keddy Access Trail enhances the overall quality of the bicycling network and the viability of using active transportation. Corktown residents now have an enhanced network to destinations across downtown and on Hamilton Mountain. The active transportation amenities make it easier for residents and visitors to include cycling as a primary travel mode.



Existing Travel Characteristics

The site is located within central Hamilton, in an established area of the city. Its location along several transit routes, regional transit service and within walking distance of a future higher order transit service (LRT) provides a high level of transit accessibility. The transit accessibility and proximity of amenities afforded to the area offer various non-automobile transportation options for area residents, employees, and visitors.

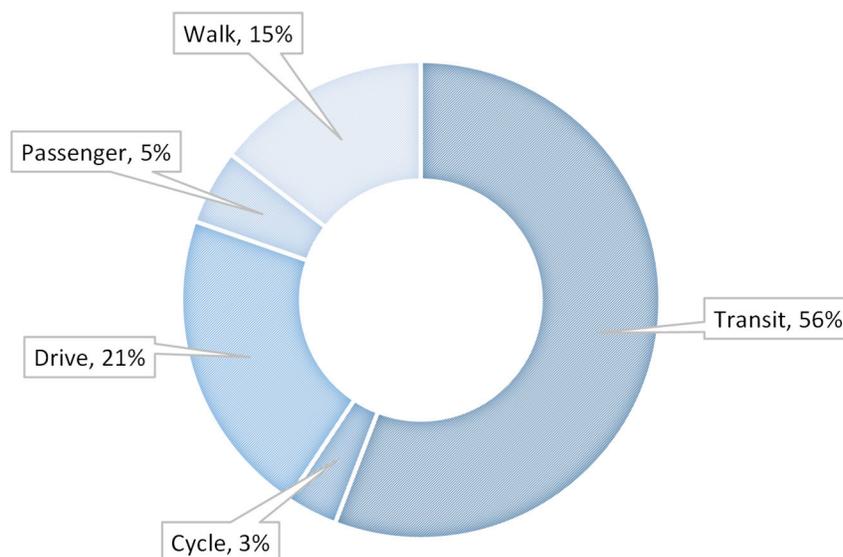
The 2016 Transportation Tomorrow Survey (TTS) data provides information relating to origin and destination patterns and travel mode choice for trips made within Southwestern Ontario.

A review of the travel characteristics information provided by TTS for residents generally with Ward 2 confirms that a high proportion of travel is undertaken using non-auto means. This will, in turn, reduce the need for residents, employees, and visitors to operate a vehicle regularly and, in fact, in the case of area residents, to own a car.

Mode Share

A review of the TTS travel characteristics of residential trips being made to/from the area during the weekday periods is provided in **Table 1**. Notably, residents make the majority of trips, close to 75% by non-auto means, including Transit, cycling and walking.

TABLE 1: AREA MODAL SPLIT



Vehicle Ownership

Vehicle ownership rates among apartments generally within Ward 2 were reviewed to understand better the household and trip characteristics. The data demonstrate that approximately 63% of households do not own a vehicle. A further review of the data indicates 37% own one car, and no household surveyed owned two or more. This can be further refined to a vehicle ownership rate of 0.37 vehicles per hour.

Transportation Planning Context

The transportation context includes direction provided by recently completed and ongoing planning initiatives to transform the site area. Overall, the initiatives described in the following sections seek to improve the public realm and non-auto modes of travel while appropriately accommodating intensification and new development.

Metrolinx 2041 Transportation Plan

Metrolinx launched the 2041 Transportation Plan in 2018, which includes the regional transportation plan for the Greater Toronto and Hamilton Area (GTHA). This plan provides even more people with access to fast, frequent and reliable Transit and makes it easier for travellers to use Transit or travel by bike or foot. While Metrolinx authored this plan, it was developed closely through a comprehensive public engagement strategy with over 30 GTHA municipalities (including Hamilton) to create an integrated multi-modal regional transportation plan.

The plan's primary objectives include, but are not limited to:

- ▶ Designing communities, transit stations and Mobility Hubs to support transit use and active transportation;
- ▶ Using parking demand strategies to encourage car-sharing and other modes besides the car;
- ▶ Addressing the beginning and end of a traveller's journey—the first- and last-mile;
- ▶ Optimizing the use of roads and highways to support Transit and goods movement; and
- ▶ Embedding design excellence, sustainability and universal access in transit planning.

As part of the 2041 Transportation Plan, the role of parking management in land use planning in that current Zoning Bylaws were not doing enough to curb future developments' dependency on vehicle travel. The 2041 Transportation Plan presents an opportunity to make parking management a priority. Parking policies should coordinate off-street parking supply with transit expansion and support other alternatives to driving. As a result, a comprehensive approach to applying best practices in parking management is even more necessary today, given on-demand services and autonomous vehicles are likely to change the demand for off-street parking.



As part of the Metrolinx 2041 Transportation Plan, parking management for the site will positively impact and optimize the development to take full advantage of the evolving transportation context of the area such that Transit will become more accessible to area residents with the provision of the LRT.

Transportation Master Plan

The city's recent update to the Transportation Master Plan (TMP) in 2018 contemplated a new vision for a balanced transportation system that supports economic growth and health and safety communities.

As for parking, both transportation and land use patterns coupled with effective parking management strategies can support modal choice and active modes of travel, transit-oriented development, and ultimately economic growth.

As Hamilton shifts towards a balanced approach to transportation, best practices focus on setting maximum parking standards instead of minimum parking standards to ensure parking supply is balanced with mode share targets and urban design objectives.

The site will positively impact and optimize the development to take full advantage of the evolving transportation context of the area. Transit will become more accessible to area residents with the provision of the LRT. The site will continue to support the strategies laid out in the TMP as the parking management strategy will contribute to a balanced transportation network.

Transportation Demand Management

The City of Hamilton, in 2015, drafted the Transportation Demand Management (TDM) for Development policy that actively engages the development community to integrate Travel Demand Management (TDM) in all current and future development applications.

TDM strategies that modify travel behaviour are essential to lessening the demand for parking. In addition to City-wide initiatives to invest in Transit and active transportation, reducing drive-alone trips and the following programs can support a reduced parking supply:

- ▶ Carpooling permit program and carpool matching system (current Smart Commute Program);
- ▶ Increasing car-share spaces;
- ▶ Promoting one-way car share and developing strategies around on-street parking usage of car-share vehicles;
- ▶ Increasing number of secure bike storage lockers by reviewing underutilized space in current parking facilities;
- ▶ Increasing parking supply in areas that easily connect to ride-share or walkable paths;



- ▶ Developing a curb-side management strategy which will assist both ride-share services and Autonomous Vehicle Technology (AVT); and,
- ▶ Supporting bike share by adding revenue streams to provide funding.

The development actively engages and incorporates TDM to influence travel behaviour for all residents through unbundled parking and an appropriate bicycle parking supply (385 spaces). As TDM is closely linked with reducing vehicle trips, an added benefit is the reduction and need for on-site parking.

Provincial Policy Framework

The Growth Plan for the Greater Golden Horseshoe (Ministry of Infrastructure, 2020) Provincial Policy Statement (MMAH, 2020) all directly call for a shift away from automobile travel and towards more sustainable forms of transportation, including transit and active transportation:

- ▶ The Growth Plan outlines that growth in population and employment will be accommodated by reducing dependence on automobiles through the support and development of mixed-use, transit-supportive, pedestrian-friendly urban environments (Ministry of Infrastructure, 2020 – Section 4.2.10);
- ▶ The Provincial Policy Statement (PPS) states that land-use patterns should “minimize the length and number of vehicle trips, and support current and future use of transit and active transportation” (MMAH, 2020 – Section 1.6.7.4);

Hamilton Climate Emergency

Hamilton’s City Council has recognized the impacts of climate change in Hamilton “not only cause millions of dollars of infrastructure damage, but damages homes, businesses, and puts people at increased risk to their health and safety.” The council unanimously passed a motion to declare a climate emergency on 27 March 2019 and directed staff to form a Corporate Climate Change Task Force (CCCTF). The CCCTF aims to support a culture shift, ensuring that a climate change lens is incorporated into routine work across all City departments.

The CCCTF’s nine Corporate Climate Change Goals identify areas of focus of Hamilton’s corporate-wide approach to reduce GHG emissions. These goals include:

- ▶ buildings
- ▶ active and sustainable travel
- ▶ transportation
- ▶ planning
- ▶ procurement
- ▶ protect and restore the natural environment
- ▶ climate adaptation
- ▶ diversity, health, and inclusion; and



- ▶ education and awareness.

Of importance are the goals of the Community Energy Plan². Specifically, the city will work toward being a net carbon-neutral community by 2050, with an interim target of reducing emissions by 50% by 2030. However, to meet the 2050 goal, the city will need to offset carbon dioxide emissions by purchasing carbon offsets or further reducing emissions.

To meet the city's emissions target, meaningful change is required as soon as possible. If Hamilton's current emissions patterns do not decrease, the city is on pace to emit 9.6 MtCO₂e by 2050, a 10% increase in GHG. As the climate emergency declaration is a Council priority, the importance of supporting a low carbon re-development project that places a focus on reduced vehicle trips is apparent.

While single-occupant vehicle trips are commonly targeted in transport policies, they are only a consequence of the spatial layout and densities of the accompanying land uses. Therefore, there is merit in targeting the underlying cause of these carbon emissions rather than solely focusing on policies to reduce private vehicle use.

Parking management has an important role to play as an instrument to reduce carbon emissions³. In this respect, car parking is the "glue" between these facets of the land use and transport environment. In addition, car parking is a critical factor that can be targeted relatively quickly by planners and their municipal plans.

The transportation sector is currently responsible for 23% of Canada's GHG emissions⁴ and offers tremendous opportunities for significant emissions reduction. Municipalities in Canada are lagging behind other countries in supporting zero-emission vehicles and other sustainable transportation policies. To provide any meaningful change, cities need to drive a transition towards zero and low-emissions transportation modes, increase the use of cleaner fuels, expand public transit ridership, and encourage denser, mixed-use communities.

Significant encouragement is needed to reduce greenhouse gas emissions related to the transportation sector to shift travel modes from single-occupant vehicles towards public Transit, auto-share and active transportation.

Transportation Planning Context Summary

Traditionally, transportation networks focused on increasing the road network's capacity to accommodate more vehicles. However, as outlined in the City of Hamilton's Transportation Master Plan (TMP), the transportation system needs to look at a "balanced needs" approach that encourages alternative modes of transportation. The City's TMP also identifies that an integrated and multi-modal transportation system will be achieved by shifting more trips away

² Sustainability Solutions Group and whatIf? Technologies, City of Hamilton Community Energy Plan, 30 November 2020.

³ Parking as a tool to reduce carbon emissions, McCormick Rankin Cagney Pty Ltd, 2009

⁴ Reducing GHG Emissions in Canada's Transportation Sector, Clean Energy Canada, June 2016.



from the private car and encouraging more sustainable transportation options, such as walking, biking, Transit, and car-sharing.

The intent is to reprioritize mobility to balance the transportation system. A more sustainable city requires an integrated transportation system that supports a compact urban form. Bringing jobs, housing services, and amenities closer encourages non-automobile modes of travel, providing more choice to Hamilton residents.

Parking Supply Influence

The parking supply is one of the essential measures to shift demand away from vehicles to sustainable travel modes. Recent research indicates that an area with more parking influences a higher demand for more automobile use.

- ▶ A New York City study of three boroughs showed a clear relationship between guaranteed vehicular parking at home and a greater tendency to use the automobile for trips made to and from work, even when Transit well serves both work and home. The study infers that driving to other non-work activities is also likely to be higher for households with guaranteed vehicular parking⁵.
- ▶ A study of households within a two-mile radius of ten rail stations in New Jersey was undertaken. The study concluded that if development near transit stations is developed with a high parking supply, those developments will not reduce automobile use compared to developments located further away from transit stations. That parking supply can undermine the incentive to use Transit that proximity to Transit provides⁶.
- ▶ A study of nine cities across the United States looked at whether city-wide changes in vehicular parking cause automobile use to increase or whether minimum parking requirements are an appropriate response to the already rising automobile use. The study concluded that: “parking provision in cities is a likely cause of increased driving among residents and employees in those places.”⁷

As stated, and recognized by the city, a key transportation objective in intensification areas is to transform the primary travel mode to sustainable options (walking, cycling and Transit); the provision of the LRT will provide an incentive for a reduced parking demand through a shift in the mode of travel. The higher service frequency, lower travel times and longer span of service are likely to attract existing riders who may presently drive and are expected to result in newcomers to the area deferring automobile purchases. Consequently, future parking demand is expected to be lower than present levels when this service is operational. This provides further merit and support for a reduced parking supply as keeping consistent with the status quo for the area will likely necessitate achieving these goals.

⁵ Rachel Weinberger, Death by a thousand curb-cuts: Evidence on the effect of minimum parking requirements on the choice to drive. Transport Policy, 20, March 2012.

⁶ Daniel Chatman, Does Transit-Oriented Development Need the Transit? Access, Fall 2015.

⁷ Chris McCahill, et al., Effects of Parking Provision on Automobile Use in Cities: Inferring Causality, Transportation Research Board, November 13, 2015.



Parking Demand Data

A review of actual parking demands likely to be generated by the proposed development has been considered. The “real” demand is based upon a review of parking demand technical resources and information collected by Paradigm and others at comparable land uses. The established demands consider several influencing factors in play, including market demands and the effects of interaction between uses.

Institute of Transportation Engineers

Numerous industry associations and institutions are dedicated to surveying and reviewing parking requirements related to various land uses. These associations, such as the Institute of Transportation Engineers (ITE), collect, review, and disseminate parking demand, supply, and appropriate design standards. This data helps establish a typical range of requirements. The most recent ITE parking generation manual available is the fifth edition⁸ and is a comparative starting point to determine baseline assumptions.

This study includes ITE parking demand rates as guidelines to benchmark how the proposed supply compares to industry standards based on collected data at various proxy sites. The following ITE Land Use Code (LUC) was reviewed:

- ▶ LUC 222 (Multifamily Housing High-Rise): High-rise multi-family housing includes apartments and condominiums with more than ten residence levels (floors). They are likely to have one or more elevators.

The requirements specified by ITE’s Parking Generation for Multi-Family High-Rise dwellings vary between 0.46 (City Centre Core) – 0.55 (Dense Multi-Use Urban) spaces per unit. The Dense-Multi-Use Urban environment also has secondary criteria, and that is for sites within 800 metres of rail transit; under these criteria, a parking supply of 0.44 spaces per unit would be appropriate. It is recognized that the site is located out of the Downtown area; however, it can be classified as a Dense Multi-Use Urban area that is within 800 metres of a future LRT station and existing regional transit station. Based on this updated review, a parking supply of 0.44 spaces per unit is supportable and appropriate.

Local Proxy Demand

The previous parking study (June 2020) included a review of parking surveys conducted at a site in Hamilton. The surveys site included:

- ▶ 187 Park Street South – This site contains 138 residential units with a 50/50 split between one-bedroom and two-bedroom units and is approximately 500 metres from the proposed development. Parking demands at this location were observed at 0.67 spaces per unit and are likely reflective of a higher demand based on the higher portion of two-bedroom units.

⁸ ITE Parking Generation 5th Edition, Washington DC, 2019.



In addition, Paradigm has also reviewed several additional residential parking studies within the proximity to the site completed by NextTrans⁹. The details of the parking surveys are noted as follows:

- ▶ 175 Catharine Street South – This site contains 93 residential units and is approximately 100 metres from the proposed development. Parking demands at this location were observed at 0.58 spaces per unit.
- ▶ 100 Forest Avenue – This site contains 218 residential units and is approximately 150 metres from the proposed development. Parking demands at this location were observed at 0.44 spaces per unit.
- ▶ 123 Charlton Avenue – This site contains 233 residential units and is approximately 150 metres from the proposed development. Parking demands at this location were observed at 0.61 spaces per unit.

The average local parking demand is 0.58 spaces per unit. These rates are comparable to the current context. They are also in line with the current rates for ITE under the Dense Multi-Use Urban form factor, not considering rail transit availability.

However, planned local transportation improvements (LRT) will significantly improve the quality of transit service for future residents and visitors of the site. The Region of Waterloo's Travel Demand Management Implementation Checklist quantifies the estimated reduction in parking demand. It is used as a supplementary guideline for specific parking reductions for developments located within a rapid transit corridor. The estimated reduction in parking demand due to various non-auto travel supportive measures, developments within 800 metres of a rapid transit station qualify for up to a 24% reduction in parking requirements based on proximity to planned high-quality transit services.

Applying this to the average observed parking demand for the current area, a parking supply of 0.44 spaces would be appropriate, consistent with the ITE rates for Dense Multi-Use Urban within proximity to rail transit.

⁹ Parking Study and Analysis Addendum, 117 Forest Avenue and 175 Catherine Street South, NexTrans, December 2017.



Parking Supply Summary

Minimum parking requirements have long been a staple of planning regulations based on some formulation. These regulations, unfortunately, have been driven by auto-centric engineering models. Over the past seven decades, the built form in Hamilton has evolved significantly. Recent changes in transportation technology and services, characterized by ride-hailing and automobile sharing, and the emerging technologies dominated by autonomous vehicles (AVs) suggest that automobile ownership is likely to experience declines in the future.

Maintaining the status quo (parking supply) will not advance the policies outlined in local and provincial policies (Growth Plan for the Greater Golden Horseshoe, Provincial Policy Statement, 2041 Metrolinx Regional Plan, Climate Change Goals). These policies call for a shift away from automobile travel and towards sustainable forms of transportation. This shift is considered even more crucial for areas in and around future rapid transit stations that can capitalize on the improved transit network.

The City's TMP emphasizes the importance of embracing sustainability and creating a vision for complete compact communities served by streets made for walking, cycling, and an attractive transit system. This vision is supported by policies to reduce auto dependence and limit the amount of land occupied by automobile parking. The transportation policies are deliberately interspersed with the land-use policies to emphasize the importance of considering both areas to achieve the overall vision of complete compact communities.

The intent is to reprioritize mobility to balance the transportation system. A more sustainable city requires an integrated transportation system that supports a compact urban form. Bringing jobs, housing services, and amenities closer encourages non-automobile modes of travel, providing more choice to Hamilton residents.

The June 2020 PJS outlined a range of parking requirements that applied to the site's context. The review concluded that a parking supply of 0.60 spaces per unit was appropriate for the site at that time. It should also be clarified that the June 2020 study did not expect the Light Rapid Transit (LRT) along King Street to be in place, given that the Province of Ontario halted the project in December 2019. However, this decision was reversed in May 2021 and ratified by Hamilton City Council in September 2021 to move forward with the LRT.

As a result of the reversal with the LRT now planned to proceed wholly, parking demand for the site is expected to be lower than the previously approved rate. This has been devised based on observed local parking utilization surveys and the estimated reduction in parking demand resulting from transit improvement, mainly the site being within 800 metres of a future rapid transit station.

The Region of Waterloo developed a Travel Demand Management Implementation Checklist that quantifies the estimated reduction in parking demand for developments near a rapid transit corridor. The estimated reduction in parking demand for Sites within 800 metres of a rapid transit station qualifies for up to a 24% reduction in parking based on the notion that planned high-quality transit services will be available for the community. Applying this to the average



observed parking demand for the current area and the previously approved parking rate, a parking supply of 0.44 spaces would be most appropriate. This rate is consistent with secondary source data (ITE) for high-density development within 800 metres of a rail station.

Based on the local data collected, a review of industry parking data, and policy framework, a parking supply of 0.44 spaces per unit is appropriate given existing demand and the anticipated improvements towards the sustainable transportation system.

Yours very truly,

PARADIGM TRANSPORTATION SOLUTIONS LIMITED



Adam J. Makarewicz
Dipl.T., C.E.T. MITE
Senior Project Manager



Stew Elkins
B.E.S., MITE
Vice President





Hamilton

COMMITTEE OF ADJUSTMENT

City Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5
 Telephone (905) 546-2424, ext. 4221, 3935 Fax (905) 546-4202
 E-mail: cofa@hamilton.ca

NOTICE OF PUBLIC HEARING
Minor Variance

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
- Applicant/agent on file, or
- Person likely to be interested in this application

APPLICATION NO.: HM/A-22:67

APPLICANTS: Owners H. Mederios & C. Couto

SUBJECT PROPERTY: Municipal address **171 Kentley Dr., Hamilton**

ZONING BY-LAW: Zoning By-law 6593, as Amended

ZONING: "D" (Urban Protected Residential - One and Two Family Dwellings, etc.) district

PROPOSAL: To permit the construction of a 20.44 square metre inground swimming pool on a residential parcel of land containing an existing single detached dwelling notwithstanding that:

1. An inground swimming pool shall be permitted to be located 1.15 metres from the front lot line, instead of the 6.0 metre setback required.

NOTE:

1. Please note that a zoning compliance review was completed for the proposed inground pool and associated pool pump/filter equipment only and did not include a review of any existing buildings/structures located on the property.
2. Please note that as per Section 18(4)(if), all facilities for changing clothes in conjunction with swimming pools, or other such accessory uses shall be subject to the provisions of this By-Law applicable to accessory buildings.
3. A building permit is required in the normal manner. Be advised that Ontario Building Code regulations may require specific setback and construction types.

This application will be heard by the Committee as shown below:

DATE: Thursday, April 7th, 2022
TIME: 2:50 p.m.
PLACE: Via video link or call in (see attached sheet for details)
 To be streamed at
www.hamilton.ca/committeeofadjustment
 for viewing purposes only

HM/A-22: 67

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PUBLIC INPUT

Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

Orally: If you would like to speak to this item at the hearing you may do so via video link or by calling in. Please see attached page for complete instructions, including deadlines for registering to participate.

MORE INFORMATION

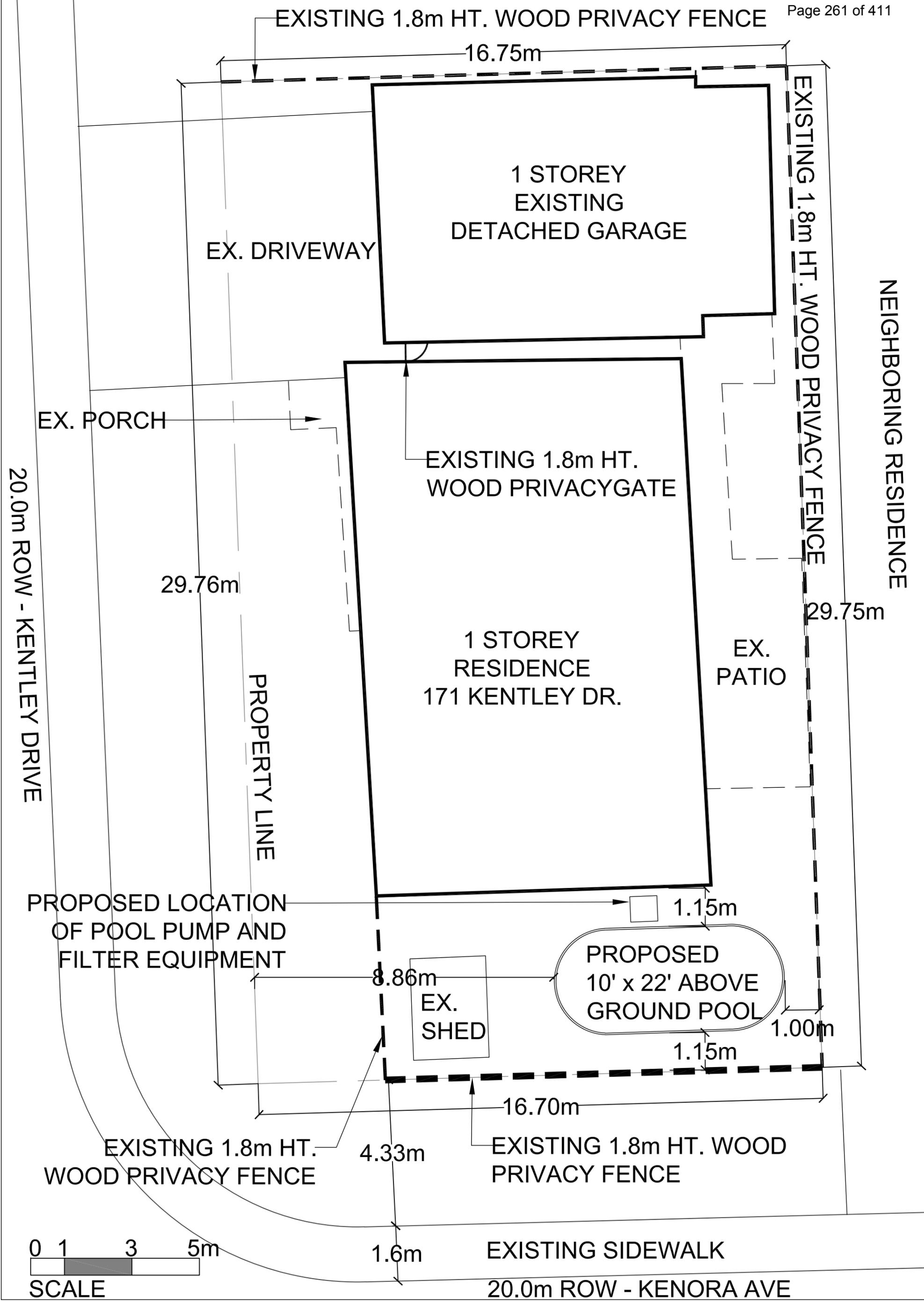
For more information on this matter, including access to drawings illustrating this request:

- Visit www.hamilton.ca/committeeofadjustment
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935
- Email Committee of Adjustment staff at cofa@hamilton.ca

DATED: March 22nd, 2022.

Jamila Sheffield,
Secretary-Treasurer
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public.



OWNER INFO:
 CIDALIA AND HERCULANO MEDEIROS
 171 KENTLEY DRIVE
 HAMILTON, ON, L8E 1A9
 905-578-6452

SITE PLAN
 SCALE: 1:10 @ 11X17
 DATE: FEB 9, 2022

POOL SUPPLIER INFO:
 TREVI HORS TERRE
 514-228-7384 poste 1303
 12 775 Rue Brault,
 Mirabel, QC J7J 0C4



Committee of Adjustment

City Hall, 5th Floor,
71 Main St. W.,
Hamilton, ON L8P4Y5

Phone: (905) 546-2424 ext. 4221

Email: cofa@hamilton.ca

APPLICATION FOR A MINOR VARIANCE

FOR OFFICE USE ONLY.

APPLICATION NO. _____ DATE APPLICATION RECEIVED _____

PAID _____ DATE APPLICATION DEEMED COMPLETE _____

SECRETARY'S
SIGNATURE _____

The Planning Act

Application for Minor Variance or for Permission

The undersigned hereby applies to the Committee of Adjustment for the City of Hamilton under Section 45 of the *Planning Act*, R.S.O. 1990, Chapter P.13 for relief, as described in this application, from the Zoning By-law.

1, 2

MAILING ADDRESS

**Registered
Owners(s)**

Applicant(s)*

**Agent or
Solicitor**

Note: Unless otherwise requested all communications will be sent to the agent, if any.

3. Names and addresses of any mortgagees, holders of charges or other encumbrances:

Herculano Medeiros, 171 Kentley Dr, Hamilton, ON L8E 1A9
Cidalia Couto, 171 Kentley Dr, Hamilton, ON, L8E 1A9

Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled

4. Nature and extent of relief applied for:

Construction of an above-ground swimming pool.

- Second Dwelling Unit Reconstruction of Existing Dwelling

5. Why it is not possible to comply with the provisions of the By-law?

Location of proposed pool does not meet minimum setback requirements in the zoning by-law (By-Law 6593 Section 18.4(ib)B). Minimum setback requirement of 6m cannot be achieved within property limits.

6. Legal description and Address of subject lands (registered plan number and lot number or other legal description and where applicable, **street and street number**):

171 Kentley Dr, Hamilton, ON, L8E 1A9.

7. PREVIOUS USE OF PROPERTY

Residential Industrial Commercial

Agricultural Vacant

Other _____

8.1 If Industrial or Commercial, specify use _____

8.2 Has the grading of the subject land been changed by adding earth or other material, i.e. has filling occurred?

Yes No Unknown

8.3 Has a gas station been located on the subject land or adjacent lands at any time?

Yes No Unknown

8.4 Has there been petroleum or other fuel stored on the subject land or adjacent lands?

Yes No Unknown

8.5 Are there or have there ever been underground storage tanks or buried waste on the subject land or adjacent lands?

Yes No Unknown

8.6 Have the lands or adjacent lands ever been used as an agricultural operation where cyanide products may have been used as pesticides and/or sewage sludge was applied to the lands?

Yes No Unknown

8.7 Have the lands or adjacent lands ever been used as a weapon firing range?

Yes No Unknown

8.8 Is the nearest boundary line of the application within 500 metres (1,640 feet) of the fill area of an operational/non-operational landfill or dump?

Yes No Unknown

8.9 If there are existing or previously existing buildings, are there any building materials remaining on site which are potentially hazardous to public health (eg. asbestos, PCB's)?

Yes No Unknown

8.10 Is there any reason to believe the subject land may have been contaminated by former uses on the site or adjacent sites?

Yes No Unknown

8.11 What information did you use to determine the answers to 8.1 to 8.10 above?

[Empty box for information used to determine answers]

8.12 If previous use of property is industrial or commercial or if YES to any of 8.2 to 8.10, a previous use inventory showing all former uses of the subject land, or if appropriate, the land adjacent to the subject land, is needed.

Is the previous use inventory attached? Yes No

9. ACKNOWLEDGEMENT CLAUSE

I acknowledge that the City of Hamilton is not responsible for the identification and remediation of contamination on the property which is the subject of this Application – by reason of its approval to this Application.

21 FEBRUARY 2022
Date

Herculano Medeiros Cidalia Couto
Signature Property Owner(s)

HERCULANO MEDEIROS
CIDALIA COUTO
Print Name of Owner(s)

10. Dimensions of lands affected:

Frontage 29.9m
Depth 16.7m
Area 499.33m2
Width of street 20.0m ROW

11. Particulars of all buildings and structures on or proposed for the subject lands: (Specify ground floor area, gross floor area, number of stories, width, length, height, etc.)

Existing: _

Residence: 1 storey bungalow with fenced yard; Floor area: 158m2; Area: 15.82m x 10.0m
Detached garage: 1 storey double car garage; Area: 7.55m x 9.61m; Floor area: 72.5m2

Proposed

Pool: 10' x 22' = 220ft2

12. Location of all buildings and structures on or proposed for the subject lands; (Specify distance from side, rear and front lot lines)

Existing:

Residence: 3.33m to 3.58m from W property line; 3.40m to 3.15m from E property line; 5.47m from S property line
Detached garage: 0.2m from N property line; 4.5m from W property line; 2.75m from E property line

Proposed:

Pool: N side: 1.15m; W side: 8.86m; E side: 1.00m; S side: 1.15m

- 13. Date of acquisition of subject lands:
November 20, 2001

- 14. Date of construction of all buildings and structures on subject lands:
1966

- 15. Existing uses of the subject property (single family, duplex, retail, factory etc.):
Single family

- 16. Existing uses of abutting properties (single family, duplex, retail, factory etc.):
Single family

- 17. Length of time the existing uses of the subject property have continued:
1966 to present (56 years)

- 18. Municipal services available: (check the appropriate space or spaces)
Water yes _____ Connected yes _____
Sanitary Sewer yes _____ Connected yes _____
Storm Sewers yes _____
- 19. Present Official Plan/Secondary Plan provisions applying to the land:

Centennial Neighbourhoods Secondary Plan - Low Density Residential 2
- 20. Present Restricted Area By-law (Zoning By-law) provisions applying to the land:

Urban Protected Residential - One and Two Family Dwellings - "D" Zone
- 21. Has the owner previously applied for relief in respect of the subject property? (Zoning By-law Amendment or Minor Variance)

Yes No

If yes, please provide the file number:

 - 21.1 If a site-specific zoning by-law amendment has been received for the subject property, has the two-year anniversary of the by-law being passed expired?

Yes No
 - 21.2 If the answer is no, the decision of Council, or Director of Planning and Chief Planner that the application for Minor Variance is allowed must be included. Failure to do so may result in an application not being "received" for processing.
- 22. Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?

Yes No
- 23. Additional Information (please include separate sheet if needed)
- 24. The applicant shall attach to each copy of this application a plan showing the dimensions of the subject lands and of all abutting lands and showing the location, size and type of all buildings and structures on the subject and abutting lands, and where required by the Committee of Adjustment such plan shall be signed by an Ontario Land Surveyor.



Hamilton

COMMITTEE OF ADJUSTMENT

City Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5
 Telephone (905) 546-2424, ext. 4221, 3935 Fax (905) 546-4202
 E-mail: cofa@hamilton.ca

NOTICE OF PUBLIC HEARING
Minor Variance

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
- Applicant/agent on file, or
- Person likely to be interested in this application

APPLICATION NO.: HM/A-22:68

APPLICANTS: Agent T. Goral
Owner K. Deluca

SUBJECT PROPERTY: Municipal address **1278 Main St. E., Hamilton**

ZONING BY-LAW: Zoning By-law 05-200, as Amended

ZONING: "TOC1" (Transit Oriented Corridor Mixed Use Medium Density) district

PROPOSAL: To To permit the expansion of the existing legally established non-conforming single detached dwelling through the construction of a second storey addition, notwithstanding that;

1. A single detached dwelling is not permitted.
2. A maximum 106% being a total of 73.45m² of the existing building gross floor area shall be permitted whereas the zoning By-law requires that the increase shall not exceed a maximum of 10% of the Gross Floor Area of the building existing at the date of passing of the by-law.

Notes: A single detached dwelling is not permitted in the TOC1 zone. However, the zoning By-law permits an addition or alteration to an existing single detached dwelling provided that the increase in volume or size of the interior of the building does not exceed 10.0% of the existing gross floor area and that the existing side yard setbacks are maintained for the addition.

This application will be heard by the Committee as shown below:

DATE: Thursday, April 7th, 2022
TIME: 2:55 p.m.
PLACE: Via video link or call in (see attached sheet for details)
 To be streamed at
www.hamilton.ca/committeeofadjustment
 for viewing purposes only

PUBLIC INPUT

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HM/A-22: 68

Page 2

Orally: If you would like to speak to this item at the hearing you may do so via video link or by calling in. Please see attached page for complete instructions, including deadlines for registering to participate.

MORE INFORMATION

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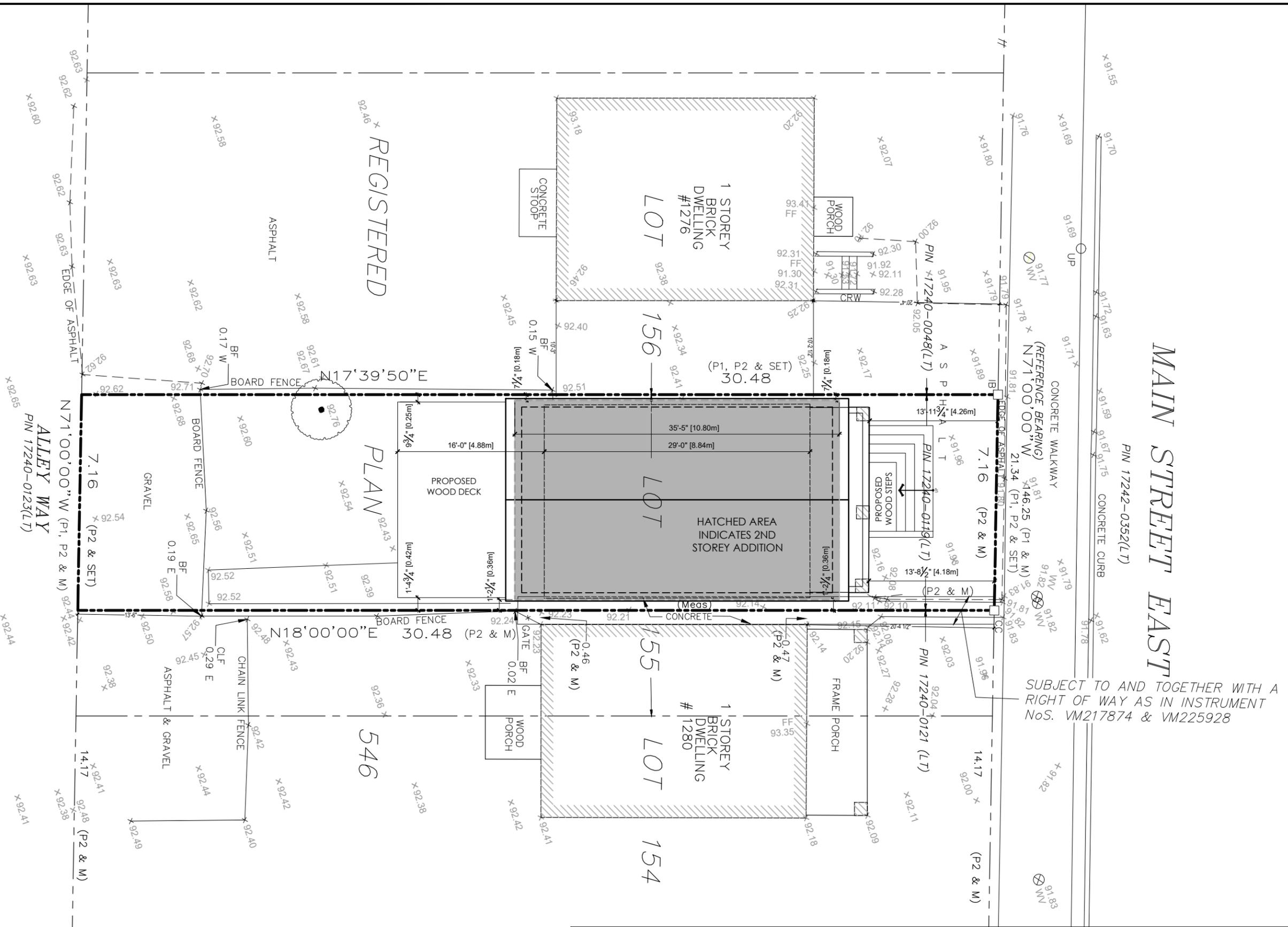
DATED: March 22nd, 2022.

Jamila Sheffield,
Secretary-Treasurer
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public.



SITE PLAN INFORMATION TAKEN FROM:
PART OF LOT 55
REGISTERED PLAN 546
CITY OF HAMILTON
BY: ASHENHURST NOUWENS & ASSOCIATES INC.
DATE: 19 AUG 2021



SUBJECT TO AND TOGETHER WITH A
RIGHT OF WAY AS IN INSTRUMENT
NoS. VM217874 & VM225928

PROJECT STATISTICS		1278 MAIN STREET EAST HAMILTON, ONTARIO
ZONING	EXISTING	PROPOSED
SITE AREA	218.20 m ² (2,348.73 ft ²)	
GROSS FLOOR AREA		
GROUND FLOOR	69.41 m ² (747.13 ft ²)	71.43 m ² (768.84 ft ²)
SECOND FLOOR		
TOTAL	69.41 m ² (747.13 ft ²)	71.43 m ² (768.84 ft ²)
HOUSE TOTAL		140.84 m ² (1,515.97 ft ²)
SETBACKS		
NORTH		4.18 m
EAST		0.36 m
SOUTH		
WEST		0.18 m

THIS DRAWING IS NOT TO BE SCALED.
REFER TO APPROPRIATE SURVEY, STRUCTURAL, MECHANICAL, ELECTRICAL, LANDSCAPE, ETC.
CONSULT THE DRAWINGS BEFORE PROCEEDING WITH THE WORK.
THE CONTRACTOR WORKING FROM DRAWINGS NOT SPECIFICALLY MARKED FOR REVISIONS CONSTRUCTION
MUST ASSUME FULL RESPONSIBILITY AND BEAR COSTS FOR ANY CORRECTIONS OR DAMAGES RESULTING
FROM THIS DRAWING.
THE CONTRACTOR SHALL VERIFY AND ACCEPT RESPONSIBILITY FOR ALL DIMENSIONS AND CONDITIONS ON
SITE AND SHALL NOTIFY THE APPROPRIATE CONSULTANT OF ANY VARIATIONS FROM THE SUPPLIED
INFORMATION.
THESE DRAWINGS HAVE BEEN PREPARED FOR BUILDING PERMIT PURPOSES ONLY. THE DESIGNER AND
ENGINEER ARE NOT RESPONSIBLE FOR GENERAL REVIEW DURING CONSTRUCTION UNLESS A SEPARATE
AGREEMENT IS MADE. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL EXISTING AND ASSUMED
STRUCTURAL CONDITIONS. IN THE EVENT THAT THE CONTRACTOR REAGREES TO THE DESIGNER'S
APPROVED PERMIT CONSTRUCTION DRAWINGS AND/OR THE ASSUMED CONDITIONS, THE CONTRACTOR
SHALL NOTIFY THE OWNER OF THE PROJECT AND/OR THE APPROVED CONTRACTOR'S ENGINEER WHO
ARE RESPONSIBLE FOR GENERAL REVIEW OF THE DRAWINGS AND THE DESIGNER AND THE DESIGNER
CONSTRUCTION.
THE AS-BUILT INFORMATION PROVIDED IN THESE DRAWINGS IS FOR INFORMATION PURPOSES ONLY. ALL
DIMENSIONS ARE CALCULATED FROM THE EXISTING BUILDING. THE INFORMATION PROVIDED MUST BE
CORRECTED PRIOR TO CONSTRUCTION. THE DESIGNER OR ALTERNATE OF ANY PART, OR INSTEAD OF
THE EXISTING BUILDING, THE OWNER OF THE PROPERTY WILL NOT HOLD THE DESIGNER AND
ENGINEER LIABLE FOR THE WORK DONE BY OTHERS.



No.	DATE	REVISION/SUBMISSION	ISSUED BY
1.	03.DEC.2021	ISSUED FOR PERMIT	TG

DRAWING TITLE
SITE PLAN
MAIN STREET RESIDENCE
1278 MAIN STREET EAST, HAMILTON, ONT., L8K 1A9

SCALE	DRAWN BY	CHECKED BY
3/32" - 1'-0"	TG	FS
DATE	DRAWING NUMBER	
01 SEPT 2020	A-1.1	
PROJECT NUMBER	21009	

STRUCTURAL NOTES AND SPECIFICATIONS

THESE NOTES ARE TO BE FULLY READ AND UNDERSTOOD IN CONJUNCTION WITH THE DESIGN/CONSTRUCTION PERMIT DRAWINGS.

IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO READ AND FULLY UNDERSTAND THE REQUIREMENTS OF THE PROPOSED WORK. THE CONTRACTOR SHALL CONTACT THE DESIGNER AND/OR ENGINEER, IF THEY HAVE QUESTIONS PERTAINING TO THE WORK PRIOR TO COMMENCING THE PROJECT.

1. GENERAL

- 1.1 CONTRACTOR IS RESPONSIBLE FOR PROVIDING SHORING AND/OR TEMPORARY WORKS DURING CONSTRUCTION FOR THE SAFE INSTALLATION OF ALL CONSTRUCTION MATERIALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTROL, DIRECTION AND SUPERVISION OF THE CONSTRUCTION METHODS, MEANS, TECHNIQUES, SEQUENCES OR PROCEDURES FOR ALL SHORING AND/OR TEMPORARY WORKS.
- 1.2 CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACTUAL CONSTRUCTION OF THE WORK AND BE RESPONSIBLE FOR THE CONTROL, DIRECTION AND SUPERVISION OF THE CONSTRUCTION METHODS, MEANS, TECHNIQUES, SEQUENCES OR PROCEDURES FOR ALL CONSTRUCTION OF THE WORK.
- 1.3 THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE HEALTH AND CONSTRUCTION SAFETY LEGISLATION AT THE PLACE OF THE WORK.
- 1.4 PRIOR TO THE COMMENCEMENT OF NEW WORKS, THE CONTRACTOR IS RESPONSIBLE TO ENSURE THAT THE EXISTING STRUCTURE IS INTACT AND FREE OF DEFECTS SUCH AS, BUT NOT LIMITED TO, CRACKS, SPALLING, ROT, DEFLECTIONS, DEFORMATIONS AND SETTLEMENTS IT IS THE DUTY OF THE CONTRACTOR TO OPEN AREAS OF EXISTING TO INSPECT THE UNDERLYING STRUCTURE WHERE IT IS NOT FULLY EXPOSED. THE CONTRACTOR IS TO COMMUNICATE AREAS OF CONCERN TO THE ENGINEER IMMEDIATELY.
- 1.5 WHERE THE CONTRACTOR IS REQUIRED TO VERIFY SITE CONDITIONS, THIS SHALL MEAN THAT THE CONTRACTOR SHALL EXPOSE THE EXISTING CONDITION AND REPORT THEIR FINDING TO THE ENGINEER. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING THE BUILDING DEPARTMENT FOR REQUIRED INSPECTION (REFER TO THE BUILDING PERMIT FOR INSPECTION REQUIREMENTS.) THE DESIGNER AND/OR ENGINEER WILL NOT BE RESPONSIBLE OR HELD LIABLE, IN PART OR IN WHOLE, FOR DESIGN ERRORS RELATED TO THE WORK IF WE ARE NOT RETAINED TO INSPECT THE WORK DURING CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO CONTACT THE ENGINEER TO INSPECT THE WORK WHEN REQUIRED BY THE BUILDING DEPARTMENT.
- 1.7 THE CONTRACTOR SHALL REVIEW ALL DIMENSIONS SHOWN ON THE DESIGN/CONSTRUCTION PERMIT DRAWINGS WITH ALL THE OTHER DISCIPLINE DRAWINGS (ARCHITECTURAL, STRUCTURAL, MECHANICAL AND ELECTRICAL) AND REPORT ANY DISCREPANCIES TO THE APPLICABLE DISCIPLINE IMMEDIATELY.
- 1.8 STRUCTURAL DETAILS SHALL SUPERSEDE THOSE DETAILS SHOWN ON DRAWINGS AND SHALL SUPERSEDE THOSE ON TYPICAL DETAILS. IN THE CASE OF A DISCREPANCY, THE MORE STRINGENT SHALL GOVERN.
- 1.9 ALL WORK AND WORKMANSHIP SHALL CONFORM TO THE REQUIREMENTS OF THE ONTARIO BUILDING CODE (O.B.C.). IT IS EXPECTED THAT ALL WORK SHALL BE CARRIED OUT BY PERSONS WHO ARE KNOWLEDGEABLE AND COMPETENT WITHIN THEIR TRADES OF SPECIALIZATION TO CARRY OUT THE WORK AS IT PERTAINS TO THIS PROJECT. THE CONTRACTOR, IN AGREEING TO UNDERTAKE THE WORK, SHALL COMPLY WITH ALL THE DETAILED REQUIREMENTS OF THE O.B.C., SPECIFICALLY THOSE REQUIREMENTS SET FORTH IN PART 9.

2. DESIGN INFORMATION

- 2.1 DESIGN WAS DONE IN ACCORDANCE WITH THE PART 9 OF THE ONTARIO BUILDING CODE.
- 2.2 PLAIN CONCRETE FOR FOOTINGS WHERE DESIGNED IN ACCORDANCE WITH PART 9 OF THE O.B.C. AND ALL OTHER UNREINFORCED AND REINFORCED CONCRETE WAS DESIGNED TO CSA A23.3
- 2.3 UNREINFORCED MASONRY FOUNDATION WALLS WHERE DESIGNED IN ACCORDANCE WITH PART 9 OF THE O.B.C. AND ALL OTHER UNREINFORCED AND REINFORCED MASONRY TO CSA S304.1
- 2.4 STRUCTURAL STEEL DESIGN IS IN ACCORDANCE CAN/CSA S16.1
- 2.5 ROOF JOISTS AND CEILING JOISTS AND RAFTERS WHERE DESIGNED IN ACCORDANCE WITH PART 9 OF THE O.B.C. AND FLOOR JOISTS AND ALL WOOD MEMBERS ARE DESIGNED TO CSA 086
- 2.6 UNLESS NOTED OTHERWISE, LOADS ARE SHOWN ON THE DRAWINGS. CONSTRUCTION LOADS SHALL NOT EXCEED THOSE TABULATED IN THE DESIGN NOTES OR THE DRAWINGS.
- 2.7 CONTRACTOR SHALL MAKE SPECIAL PROVISION FOR THE WORK IF UNDERTAKEN IN COLD WEATHER CONDITIONS AND SHALL COMPLY WITH ALL STANDARDS OF PRACTICE PERTAINING TO COLD WEATHER CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ENGINEER IF IT IS THE INTENTION TO PERFORM WORK THROUGH COLD WEATHER CONDITIONS, PRIOR TO BEGINNING OF WORK.

3. GEOTECHNICAL AND EXCAVATION WORKS

- 3.1 THE LINE OF SLOPE BETWEEN ADJACENT FOOTINGS OR EXCAVATIONS OR ALONG STEPPED FOOTINGS SHALL NOT EXCEED A RISE TO RUN OF 7:10.
- 3.2 THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UTILITIES PRIOR TO EXCAVATING (I.E. "CALL BEFORE YOU DIG" ONTARIO ONE CALL).
- 3.3 UNLESS NOTED ON THE DRAWINGS, THE CONTRACTOR IS REQUIRED TO VERIFY THAT THE ALLOWABLE SOIL BEARING CAPACITY IS A MINIMUM OF 75KPA AND PROVIDE THE DESIGNER AND/OR ENGINEER WITH A COPY OF THE GEOTECHNICAL LETTER CONFIRMING THE SOIL BEARING CAPACITY.
- 3.4 CONTRACTOR SHALL PLACE FOOTINGS AND PIERS ON NATURALLY UNDISTURBED SOIL. THE EXPOSED SOIL SURFACE SHALL BE FREE FROM ALL DELETERIOUS MATERIALS. THE CONTRACTOR SHALL CONTACT THE ENGINEER IMMEDIATELY IF THEY IDENTIFY WET OR WEAK AREAS AND THESE AREAS SHOULD BE INVESTIGATED BY A GEOTECHNICAL ENGINEER.
- 3.5 THE CONTRACTOR SHALL BE RESPONSIBLE FOR UNDERTAKING ALL EXCAVATION WORK AND SHALL PERFORM THE WORKS AS TO PREVENT DAMAGE TO ADJACENT STRUCTURES, PROPERTY, UTILITIES, ROADS, SIDEWALKS DURING ALL STAGES OF CONSTRUCTION.
- 3.6 THE BASE AND SIDE OF EVERY EXCAVATION AREA SHALL BE FREE FROM ORGANIC MATERIAL.
- 3.7 IN AREAS WHERE TERMITES ARE KNOWN TO BE PROBLEMATIC, ALL STUMPS, ROOTS, AND OTHER WOOD DEBRIS SHALL BE REMOVED FROM THE SOIL TO A DEPTH NOT LESS THAN 300mm (12") IN UNEXCAVATED AREAS UNDER A BUILDING OR STRUCTURE.
- 3.8 EXCAVATION SHALL BE FREE FROM STANDING WATER. IF THIS CONDITION EXISTS, THE CONTRACTOR SHALL CONTACT THE ENGINEER IMMEDIATELY. THIS CONDITION SHALL GIVE RISE TO A FURTHER GEOTECHNICAL INVESTIGATION TO CONFIRM THE ALLOWABLE BEARING CAPACITY OF THE SOIL.
- 3.9 IF THE WORK IS TO PROCEED DURING WINTER MONTHS, THE EXCAVATED AREAS SHALL BE KEPT FROM FREEZING THROUGHOUT THE CONSTRUCTION PERIOD.
- 3.10 ALL FOOTINGS AND FOUNDATIONS SHALL BE FOUNDED AT A DEPTH NOT LESS THAN 1.2M (4FT) BELOW GRADE, EXCEPT WHERE INSULATING MEASURES HAVE BEEN MADE TO REDUCE THE DEPTH OF FROST PENETRATION AND DIRECTION OF THE ICE LENSING.

4. CONCRETE NOTES

- 4.1 DESIGN AND CONSTRUCTION OF CONCRETE SHALL CONFORM TO CSA A23.3
- 4.2 UNLESS OTHERWISE NOTED, THE CONCRETE SHALL HAVE MINIMUM PROPERTIES:
 - TYPE GU CEMENT, NOMINAL SIZE AGGREGATE OF 20mm
 - GENERAL USE CONCRETE: 25MPa At 28 DAYS, 75mm SLUMP & 0.55 WATER/CEMENT RATIO.
 - CONCRETE FOR EXTERIOR USE AND/OR EXPOSED TO FREEZING: 32MPa at 28 DAYS, 75mm SLUMP, 0.45 WATER/ CEMENT RATIO & 5-8% AIR ENTRAINMENT
- 4.3 REINFORCED CONCRETE SHALL HAVE THE FOLLOWING COVER TO REINFORCEMENT:
 - CONCRETE CAST AGAINST SOIL AND/OR EXPOSED TO FREEZING SHALL HAVE A 75mm (3") COVER
 - CONCRETE NOT EXPOSED TO FREEZING OR CAST AGAINST SOIL SHALL HAVE A 25mm (1") COVER
- 4.4 ALL ANCHOR RODS SHALL ALL BE THREADED ASTM A193 B7 ROD.
- 4.5 ALL GROUT SHOWN ON THE DESIGN/CONSTRUCTION PERMIT DRAWINGS SHALL BE Sikagrout 212 OR APPROVED EQUAL. GROUT SHALL BE PLACED UNDER ALL COLUMN BASE PLATES TO ENSURE FULL BEARING ON THE CONCRETE.
- 4.6 THE FINISHED CONCRETE PRODUCT SHALL BE PLACED IN SUCH A MANNER THAT ANY ARCHITECTURALLY EXPOSED OR COMMONLY VISIBLE CONCRETE SURFACE SHALL BE FREE FROM VISIBLE SIGNS OF STREAKING OR HONEYCOMBING.
- 4.7 ALL REINFORCING STEEL SHALL BE GRADE 400MPa AND CONFORM TO CSA G3018
- 4.8 REINFORCEMENT SHALL BE SUPPORTED BY WIRE CHAIRS OR APPROVED EQUAL TO MAINTAIN CONCRETE COVER.
- 4.9 REINFORCING STEEL SHALL BE FREE FROM LOOSE SCALE, RUST, MUD, OIL OR ANY OTHER CONTAMINATE THAT MAY REDUCE THAT BOND BETWEEN THE STEEL REINFORCEMENT AND THE CONCRETE.
- 4.10 VERTICAL REINFORCEMENT IN FOUNDATION WALLS SHALL BE ONE PIECE AND NOT SPLICED.
- 4.11 TACK WELDING, HEATING OR CUTTING OF STEEL REINFORCEMENT IS PROHIBITED UNLESS DIRECTED BY THE ENGINEER.
- 4.12 LOCATION OF FLOOR CONTROL JOISTS SHALL BE SPACED AT A MAXIMUM OF 6m (20FT) AND SHALL BE PROVIDED AROUND ALL COLUMN FOOTINGS.
- 4.13 CONCRETE SHALL CURE AS PER CSA A23 1/2.
- 4.14 ALL CONCRETE SHALL BE CONSOLIDATED WITH A MECHANICAL VIBRATOR.

5. STEEL NOTES

- 5.1 THE DESIGN FABRICATION AND ERECTION OF STRUCTURAL STEEL SHALL BE IN ACCORDANCE WITH CSA S16 AND THE CISC STANDARD CODE OF PRACTICE.
- 5.2 ALL STRUCTURAL STEEL SHALL BE GRADE 350W AND CONFORM TO CSA G40.20-13/G40.21-13
- 5.3 ALL STEEL PLATES OTHER MISCELLANEOUS SHAPES SHALL BE GRADE 300W AND CONFORM G40.20-13/G40.21-13
- 5.4 WELDING PRACTICES SHALL CONFORM TO CSA W59-13.
- 5.5 CONTRACTOR IS TO TAKE ALL NECESSARY PRECAUTIONS IF WELDING IS TO BE DONE ON SITE AND NEAR COMBUSTIBLE MATERIALS, WHERE CUTTING OR WELDING IS DONE NEAR WALLS, PARTITIONS, CEILING OR ROOF OF COMBUSTIBLE CONSTRUCTION, FIRE-RESISTANT SHIELDS OR GUARDS SHALL BE PROVIDED TO PREVENT IGNITION.
- 5.6 CONNECTION NOT DETAILED ON THE DESIGN/CONSTRUCTION PERMIT DRAWINGS SHALL BE DESIGNED AND DETAILED BY THE FABRICATOR'S ENGINEER.
- 5.7 USE A MINIMUM OF 2 BOLTS FOR EVERY BOLTED CONNECTION. ALL BOLTED CONNECTIONS SHALL BE DONE USING 'TURN-ON-NUT METHOD'. UNLESS NOTED OTHERWISE ON THE DESIGN/CONSTRUCTION PERMIT DRAWINGS.
- 5.8 ALL EXPOSED STEEL MEMBERS AND CONNECTORS SHALL BE HOT DIPPED GALVANIZED.

6. CONCRETE MASONRY (C.M.U.) NOTES

- 6.1 THE DESIGN AND ERECTION OF MASONRY ELEMENTS SHALL BE IN ACCORDANCE WITH CAN/CSA-A371-04 (R2009) - MASONRY CONSTRUCTION FROM BUILDINGS AND S304.1-04 - DESIGN OF MASONRY STRUCTURE
- 6.2 CONCRETE SHALL BE TESTED AT A FREQUENCY NO LESS THAN SET OF CYLINDERS/DAY/TYPE OF CONC. OR EVERY 50 CUBIC METERS OF CONCRETE. TEST RESULTS SHALL BE PROVIDED TO THE ENGINEER.
- 6.3 CONCRETE BLOCKS SHALL CONFORM TO CSA A165 AND SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 15MPa/H/15/D/M.
- 6.4 USE ONLY TYPE S MORTAR CONFORMING TO CSA-A179-04
- 6.5 MASONRY WALLS ARE TO BE RUNNING BOND WITH FULL MORTAR BEDS, UNLESS NOTED OTHERWISE. COURSING HEIGHT SHALL BE 200MM (8") FOR ONE BLOCK AND ONE JOINT.
- 6.6 ALL MORTAR JOINTS ARE TO BE TOOLED TO A CONCAVE JOINT, BOTH INTERIOR AND EXTERIOR EXPOSURES.
- 6.7 CONTINUOUS WELDED DOUBLE WIRE WELDED LADDER OR TRUSS TYPE SHALL CONFORM TO CAN/CSA-A370-04 (R2009)-CONNECTORS FOR MASONRY
- 6.8 ALL MASONRY USED AS FOUNDATION WALLS SHALL BE PARGED AS PER O.B.C. 8.15.6
- 6.9 ALL REINFORCING STEEL SHALL BE GRADE 400MPa AND CONFIRM TO CSA G30.18
- 6.10 REINFORCEMENT SHALL BE SUPPORTED BY WIRE CHAIRS OR APPROVED EQUAL TO MAINTAIN CONCRETE COVER
- 6.11 REINFORCING STEEL BE FREE FROM LOOSE SCALE, RUST, MUD, OIL OR ANY OTHER CONTAMINATE THAT MAY REDUCE THE BOND BETWEEN THE STEEL REINFORCEMENT AND THE CONCRETE.
- 6.12 VERTICAL REINFORCEMENT IN FOUNDATION WALLS SHALL BE ONE PIECE AND NOT SPLICED.
- 6.13 TACK WELDING, WELDING, HEATING OR CUTTING OF STEEL REINFORCEMENT IS PROHIBITED UNLESS DIRECTED BY THE ENGINEER.
- 6.14 ERECT ALL MASONRY VENEER PLUMB, SQUARE AND TRUE TO LINES.
- 6.15 INSTALL METAL CONNECTORS AND PROPRIETARY PRODUCTS IN ACCORDANCE WITH MANUFACTURER SPECIFICATIONS AND RECOMMENDATIONS.

7. MASONRY VENEER NOTES

- 7.1 DESIGN AND CONSTRUCTION OF MASONRY VENEER FOR RESIDENTIAL CONSTRUCTION SHALL CONFORM TO PART 9 OF THE O.B.C.: SECTIONS 9.20.64 - MASONRY VENEER, SECTION 9.20.9.5 - TIES FOR MASONRY VENEER.
- 7.2 MASONRY VENEER SHALL BE SOLID WITH A MINIMUM COMPRESSIVE STRENGTH OF 15MPa
- 7.3 MASONRY VENEER SHALL BE LAID IN A RUNNING BOND PATTERN.
- 7.4 MORTAR AND GROUT SHALL CONFORM TO CSA-A173-04. USE ONLY TYPE S MORTAR FOR ALL CONSTRUCTION.
- 7.5 ALL MORTAR JOINTS ARE TO BE TOOLED TO A CONCAVE JOINT, BOTH INTERIOR AND EXTERIOR EXPOSURES.
- 7.6 MASONRY VENEER TIES SHALL HAVE A MAXIMUM VERTICAL SPACING OF 400MM (16") AND A MAXIMUM HORIZONTAL SPACING OF 400MM (16"). THE VERTICAL SPACING SHALL MATCH EVERY VERTICAL STUD SPACING.
- 7.7 TIES SHALL BE CORROSION-RESISTANT METAL TIES NAILED TO THE STUDS AND EMBEDDED IN THE MORTAR JOINTS BETWEEN THE MASONRY TO TIE THE VENEER TO THE FRAMEWORK.
- 7.8 MASONRY TIES SHALL NOT BE LESS THAN 0.76MM THICK AND 22MM WIDE, CORROSION RESISTANT AND SHAPED TO PROVIDE A KEY WITH THE MORTAR JOINT. MASONRY STRAPS ARE NOT PERMITTED.
- 7.9 MASONRY VENEER SHALL NOT PROJECT MORE THAN 30MM BEYOND THE FACE OF THE SUPPORTING BASE, PROVIDED THAT THE UNITS ARE AT LEAST 90MM (3 1/2") THICK.
- 7.10 ALL MASONRY VENEER LINTELS SHALL BE HOT DIPPED GALVANIZED.
- 7.11 ALL MASONRY VENEER LINTELS SHALL SUPPORT AT LEAST TWO THIRDS OF THE VENEER THICKNESS.
- 7.12 ERECT ALL MASONRY VENEER PLUMB, SQUARE AND TRUE TO LINES.
- 7.13 INSTALL METAL CONNECTORS AND PROPRIETARY PRODUCTS IN ACCORDANCE WITH MANUFACTURER SPECIFICATIONS AND RECOMMENDATIONS.

8. WOOD NOTES

- 8.1 DESIGN AND CONSTRUCTION OF WOOD MEMBERS AND CONNECTORS SHALL CONFORM TO PART 9 OD THE O.B.C., CSA 086, & CWC "ENGINEERING GUIDE FOR WOOD FRAME CONSTRUCTION".
- 8.2 ALL WOOD EXPOSED TO THE EXTERIOR SHALL BE PRESERVATIVE TREATED. EXTERIOR PLYWOOD SHEATHING SHALL BE STAMPED EXTERIOR GRADE. SHEATHING SHALL CONFORM TO CSA 0151 AND BE GRADE D-FIR PLYWOOD. OSB BOARD IS NOT PERMITTED ON ANY EXTERIOR SURFACE.
- 8.3 SAWN LUMBER SHALL CONFORM TO CSA 0141 AND BE STAMPED SPF NO. 2 OR GREATER
- 8.4 IN AREAS WHERE TERMITES ARE KNOWN TO OCCUR, DESIGN AND CONSTRUCTION SHALL CONFORM TO CLAUSE 9.3.2.8 OF THE O.B.C.
- 8.5 ERECT ALL WOOD FRAMING PLUMB, SQUARE AND TRUE TO LINES.
- 8.6 COMMON WIRE NAILS SHALL PENETRATE THE WOOD SUBSTRATE PER THE FOLLOWING TABLE

SIZE	DIAMETER	WIRE GAUGE	PENETRATION
8d	3.3mm (0.131")	10.25	38mm (1.5")
10d	3.8mm (0.148 ")	9	41mm (1.625")
16d	4.1mm (0.1625")	8	45mm (1.75")
20d	4.9mm (0.192")	6	54mm (2.125")

NOTE: PENETRATION IS MEASURED INTO THE PIECE OF WOOD RECEIVING THE NAIL. 38mm (1.5") OF PENETRATION IS ACCEPTABLE FOR 10D AND 16D NAILS FOR TOP PLATE SAND 38mmx (2x) MEMBERS.

- 8.7 STEEL WIRE NAILS OR COMMON SPIRAL NAILS, SPIKES, AND STAPLES SHALL CONFORM TO ASTM F 1667. ALL FASTENERS SHALL BE HOT DIPPED GALVANIZED IF USED FOR EXTERIOR APPLICATIONS.
- 8.8 HOLES SHALL BE DRILLED TO PREVENT SPLITTING OF WOOD AS REQUIRED.
- 8.9 INSTALL ENGINEERED LUMBER, METAL CONNECTORS AND PROPRIETARY PRODUCTS IN ACCORDANCE WITH MANUFACTURER SPECIFICATIONS AND RECOMMENDATIONS.
- 8.10 TOP PLATES SHALL BE CONSTRUCTED OF TWO PLATES, SAME SIZE AS STUD, STAGGERED SPLICES MINIMUM OF 1220MM (4'-0"). CENTRE SPLICES OVER STUDS. SPLICES SHALL CONSTRUCTED WITH A MINIMUM OF 1-16D NAILS.
- 8.11 BUILT -UP WOOD MEMBER SHALL CONFORM TO CSA 086 CLAUSE 5.5.6.4 AND BE NAILED TOGETHER WITH (2)-75MM LONG NAILS EVERY 200MM ON CENTERS AND WITHIN 60MM FROM EACH END. HOT DIPPED GALVANIZED NAILS SHALL BE USED IF EXPOSED TO THE ELEMENTS.
- 8.12 SOLID LOCKING OR CROSS BRACING SHALL BE INSTALLED FOR ALL FLOOR JOISTS. BLOCKING/BRACING SHALL BE PROVIDED WITHIN 2.1M (6'-10") FROM EACH SUPPORT AND THE SPACING OF BLOCKING/BRACING SHALL NOT EXCEED 2.1M (6'-10").
- 8.13 ALL OPENINGS SHALL BE REINFORCED WITH A MINIMUM OF DOUBLE HEADERS AND DOUBLE TRIMMERS, UNLESS NOTED OTHERWISE ON THE STRUCTURAL PLANS.
- 8.14 NON-LOAD BEARING WALLS SHALL HAVE DOUBLE JOISTS PROVIDED WHEN THE JOISTS RUN PARALLEL WITH THE WALL OR SOLID BLOCKING SHALL BE PROVIDED WHEN THE JOIST ARE PERPENDICULAR TO THE WALL.
- 8.15 END SUPPORTS OF ALL ROOF AND JOISTS SHALL HAVE THEIR ENDS HELD IN POSITION BY EITHER: SOLID BLOCKING, NAILED BRIDGING, NAILING TO OTHER MEMBERS OR JOISTS HANGERS.
- 8.16 ALL FLOOR AND ROOF SHEATHING SHALL HAVE A MINIMUM OF THICKNESS OF 19MM (3/4"), T&G, GLUED AND NAILED TO FLOOR JOISTS.
- 8.17 WALL SHEATHING SHALL HAVE A MINIMUM OF THICKNESS PF 127MM (1/2") AND BE OF A PLYWOOD CONSTRUCTION.
- 8.18 ALL WALLS OVER 244M (8'-0") HIGH SHALL HAVE BLOCKING PROVIDED AT MID-HEIGHT OF THE STUDS.
- 8.19 ALL WOODS PRODUCTS SHALL BE KEPT FROM THE GROUND AND SHALL BE PROTECTED FROM THE EXTERIOR ENVIRONMENT.
- 8.20 THE STRUCTURE SHALL NOT BE FULLY ENCLOSED UNTIL THE WOOD MOISTURE CONTENT HAS BEEN VERIFIED TO BE AT OR BELOW 15% ANY SIGNS OF MOLD OR ROT SHALL BE REMOVED IMMEDIATELY AND REPLACED BY AN ACCEPTABLE WOOD ELEMENT.
- 8.21 WHERE FRAMING HANGERS ARE REQUIRED BUT HAVE NOT BEEN SPECIFIED BY THE ENGINEER, THE CONTRACTOR SHALL CONTACT THE ENGINEER TO OBTAIN THE APPROPRIATE WOOD CONNECTOR BEFORE PROCEEDING WITH THE WORK.
- 8.22 NOTCHING OR DRILLING HOLES IN FLOOR JOISTS OR WALL STUDS IS STRICTLY PROHIBITED. THE CONTRACTOR SHALL OBTAIN CONSENT FROM THE ENGINEER BEFORE NOTCHING OR DRILLING HOLES.

STEEL LINTEL:			
LINTEL	SIZE	MAX	SPAN
L1	3-1/2" x 3-1/2" x 1/4" (89mm x 89mm x 6.4mm)	MAX 6'-0"	
L2	4" x 3-1/2" x 1/4" (102mm x 89mm x 6.4mm)	MAX 7'-0"	
L3	5" x 3-1/2" x 5/16" (127mm x 89mm x 7.9mm)	MAX 8'-0"	
L4	5" x 3-1/2" x 3/8" (127mm x 89mm x 11mm)	MAX 9'-0"	
L5	5" x 3-1/2" x 1/2" (127mm x 89mm x 13mm)	MAX 10'-0"	
L6	6" x 3-1/2" x 3/8" (152mm x 89mm x 11mm)	MAX 11'-0"	
L7	6" x 3-1/2" x 1/2" (152mm x 89mm x 13mm)	MAX 12'-0"	
L8	6" x 4" x 1/2" (152mm x 102mm x 13mm)	MAX 12'-6"	
L9	7" x 4" x 3/8" (178mm x 102mm x 11mm)	MAX 13'-0"	
L10	7" x 4" x 1/2" (178mm x 102mm x 13mm)	MAX 13'-6"	

NOTE: MIN. 6" BEARING FOR ALL STEEL LINTELS

WOOD LINTELS AND BUILT-UP WOOD BEAMS:			
LINTEL	SIZE	SPF #1 OR #2	SPAN
W2-6	2-2"x6" (2-38mm x 150mm)	SPF #1 OR #2	
W3-6	3-2"x6" (3-38mm x 150mm)	SPF #1 OR #2	
W2-8	2-2"x8" (2-38mm x 184mm)	SPF #1 OR #2	
W3-8	3-2"x8" (3-38mm x 184mm)	SPF #1 OR #2	
W4-8	4-2"x8" (4-38mm x 184mm)	SPF #1 OR #2	
W2-10	2-2"x10" (2-38mm x 235mm)	SPF #1 OR #2	
W3-10	3-2"x10" (3-38mm x 235mm)	SPF #1 OR #2	
W4-10	4-2"x10" (4-38mm x 235mm)	SPF #1 OR #2	
W2-12	2-2"x12" (2-38mm x 286mm)	SPF #1 OR #2	
W3-12	3-2"x12" (3-38mm x 286mm)	SPF #1 OR #2	
W4-12	4-2"x12" (4-38mm x 286mm)	SPF #1 OR #2	

LAMINATED VENEER LUMBER (LVL) BEAMS:

LINTEL	SIZE	MAX	SPAN
LVL2-6	2.0E 2-1-3/4"x5-1/2" (2-45mm x 140mm)		
LVL3-6	2.0E 3-1-3/4"x5-1/2" (3-45mm x 140mm)		
LVL4-6	2.0E 4-1-3/4"x5-1/2" (4-45mm x 140mm)		
LVL2-8	2.0E 2-1-3/4"x7-1/4" (2-45mm x 184mm)		
LVL3-8	2.0E 3-1-3/4"x7-1/4" (3-45mm x 184mm)		
LVL4-8	2.0E 4-1-3/4"x7-1/4" (4-45mm x 184mm)		
LVL5-8	2.0E 5-1-3/4"x7-1/4" (5-45mm x 184mm)		
LVL1-10	2.0E 1-1-3/4"x9-1/2" (2-45mm x 240mm)		
LVL2-10	2.0E 2-1-3/4"x9-1/2" (2-45mm x 240mm)		
LVL3-10	2.0E 3-1-3/4"x9-1/2" (3-45mm x 240mm)		
LVL4-10	2.0E 4-1-3/4"x9-1/2" (4-45mm x 240mm)		
LVL5-10	2.0E 5-1-3/4"x9-1/2" (5-45mm x 240mm)		
LVL1-12	2.0E 1-1-3/4"x11-7/8" (1-45mm x 300mm)		
LVL2-12	2.0E 2-1-3/4"x11-7/8" (2-45mm x 300mm)		
LVL3-12	2.0E 3-1-3/4"x11-7/8" (3-45mm x 300mm)		
LVL4-12	2.0E 4-1-3/4"x11-7/8" (4-45mm x 300mm)		
LVL5-12	2.0E 5-1-3/4"x11-7/8" (5-45mm x 300mm)		
LVL2-14	2.0E 2-1-3/4"x14" (2-45mm x 356mm)		
LVL3-14	2.0E 3-1-3/4"x14" (2-45mm x 356mm)		

SOLID BEARING

SB	MEMBER BUILT-UP STUD	MAX. U	ENERGY RATING
SB2	2 MEMBER BUILT-UP STUD		
SB3	3 MEMBER BUILT-UP STUD		

NOTE: SOLID LOAD BEARING (THE WIDTH OF THE STUD POST SHALL NOT BE LESS THAN THE WITH OF THE BEAM IT SUPPORTS) ALL SOLID LOAD BEARING POINTS MUST BE CONTINUOUS AND CARRIED DOWN TO BEAMS, FOUNDATION WALLS OR FOOTINGS. PROVIDE BLOCKING AS REQUIRED.

NOTES:

- 1. PROVIDE THE FOLLOWING BEARING LENGTH.
 - 1-3/4" FOR ENGINEERING JOISTS
 - 3-3/4" FOR LVL AND WOOD BEAMS
 - 6" FOR STEEL LINTELS AND STEEL BEAMS
- 2. BACK-TO-BACK STEEL LINTELS SHALL BE BOLTED TOGETHER W/ 1/2" DIA. A307 BOLTS (W/ NUTS AND WASHERS) @ 12" o.c. OR WELDED W/ 1/2" FILLET WELDS (3"-12")
- 3. FOLLOW MANUFACTURERS SPECIFICATIONS FOR ALL ENGINEERING PRODUCTS.
- 4. MINIMUM 2 ROWS OF 10d x 3" LONG NAILS AT 12" o.c. EACH SIDE OF LVL BEAMS
- 5. MINIMUM OF 24 - 10d x 3" LONG NAILS PER SIDE AND EACH SIDE AT POINT LOADS OF LVL BEAMS

ZONE 1 - COMPLIANCE PACKAGE FOR THERMAL PERFORMANCE REQUIREMENTS FOR ADDITIONS TO EXISTING BUILDINGS		
NOTE: THE MINIMAL THERMAL PERFORMANCE OF THE BUILDING ENVELOPE & EQUIPMENT SHALL CONFORM TO O.B.C. SUPPLEMENTARY STANDARD SB-12 SECTION 3.1.1.11 TABLE 3.1.1.11.(2)		
ci = CONTINUOUS INSULATION		
COMPONENT	THERMAL VALUES	COMPLIANCE PACKAGE
CEILING WITH ATTIC SPACE	MIN. NOMINAL R	60
	MAX. U	0.017
	MIN. EFFECTIVE R	59.22
CEILING WITHOUT ATTIC SPACE	MIN. NOMINAL R	31
	MAX. U	0.036
	MIN. EFFECTIVE R	27.65
EXPOSED FLOOR	MIN. NOMINAL R	31
	MAX. U	0.034
	MIN. EFFECTIVE R	29.80
WALLS ABOVE GRADE	MIN. NOMINAL R	22
	MAX. U	0.059
	MIN. EFFECTIVE R	17.03
BASEMENT WALLS	MIN. NOMINAL R	20 ci
	MAX. U	0.047
	MIN. EFFECTIVE R	21.12
HEATED SLAB OR SLAB ≤ 600mm BELOW GRADE	MIN. NOMINAL R	10
	MAX. U	0.090
	MIN. EFFECTIVE R	11.13
EDGE OF BELOW GRADE SLAB ≤ 600mm BELOW GRADE	MIN. NOMINAL R	10
	MAX. U	0.28
WINDOWS AND SLIDING GLASS DOOR	MAX. U	0.28
	ENERGY RATING	25

FLOOR JOISTS:	
J1	TJI 11 7/8" S60 W/ 3/4" PLYWOOD (GLUED AND NAILED) WITH BRIDGING AT 8'-0" MAX.

LEGEND:	
DB_JST	- DOUBLE JOIST
PA	- POINT LOAD ABOVE
SB	- SOLID LOAD BEARING; (THE WIDTH OF THE STUD POST SHALL NOT BE LESS THAN THE WITH OF THE BEAM IT SUPPORTS)
SBFA	- SOLID BEARING FROM ABOVE
SA	- SMOKE ALARM
CMD	- CARBON MONOXIDE DETECTOR
FD	- FLOOR DRAIN
R.O.	- ROUGH OPENING
C.O.	- CONCRETE OPENING
P.T.	- PRESSURE TREATED WOOD
CANT.	- CANTILEVERED

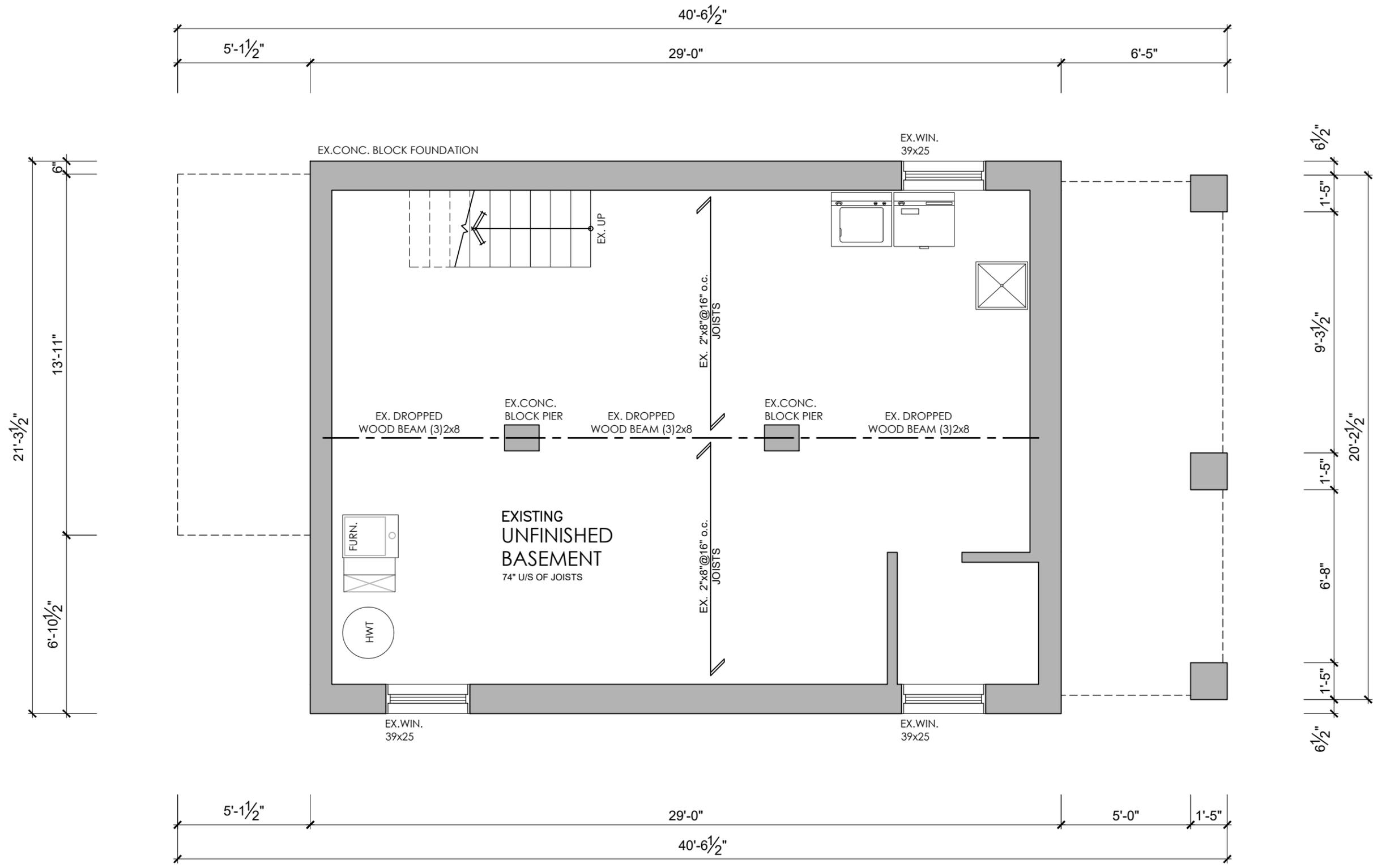
NOTE: CONTRACTOR TO VERIFY ALL EXISTING STRUCTURAL CONDITIONS & NOTIFY DESIGNER & ENGINEER OF ANY DISCREPANCIES PRIOR AND DURING CONSTRUCTION.

NOTE: THE CONTRACTOR SHALL PROVIDE AND IS RESPONSIBLE FOR ALL TEMPORARY SUPPORT, SHORING, OR BRACING AS REQUIRED TO COMPLETE THE WORK

NOTE: TONED WALL REPRESENT EXISTING WALLS TO REMAIN (TYP.)

THIS DRAWING IS NOT TO BE SCALED. REFER TO APPROPRIATE SURVEY, STRUCTURAL, MECHANICAL, ELECTRICAL, LANDSCAPE, ETC. CONSULT DRAWINGS BEFORE PROCEEDING WITH THE WORK. THE CONTRACTOR MUST CONFORM TO ALL APPLICABLE CODES AND REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL EXISTING AND ASSUMED STRUCTURAL CONDITIONS. IN THE EVENT THAT THE CONTRACTOR DISCOVERS ANY DISCREPANCIES, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE DESIGNER AND/OR ENGINEER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.





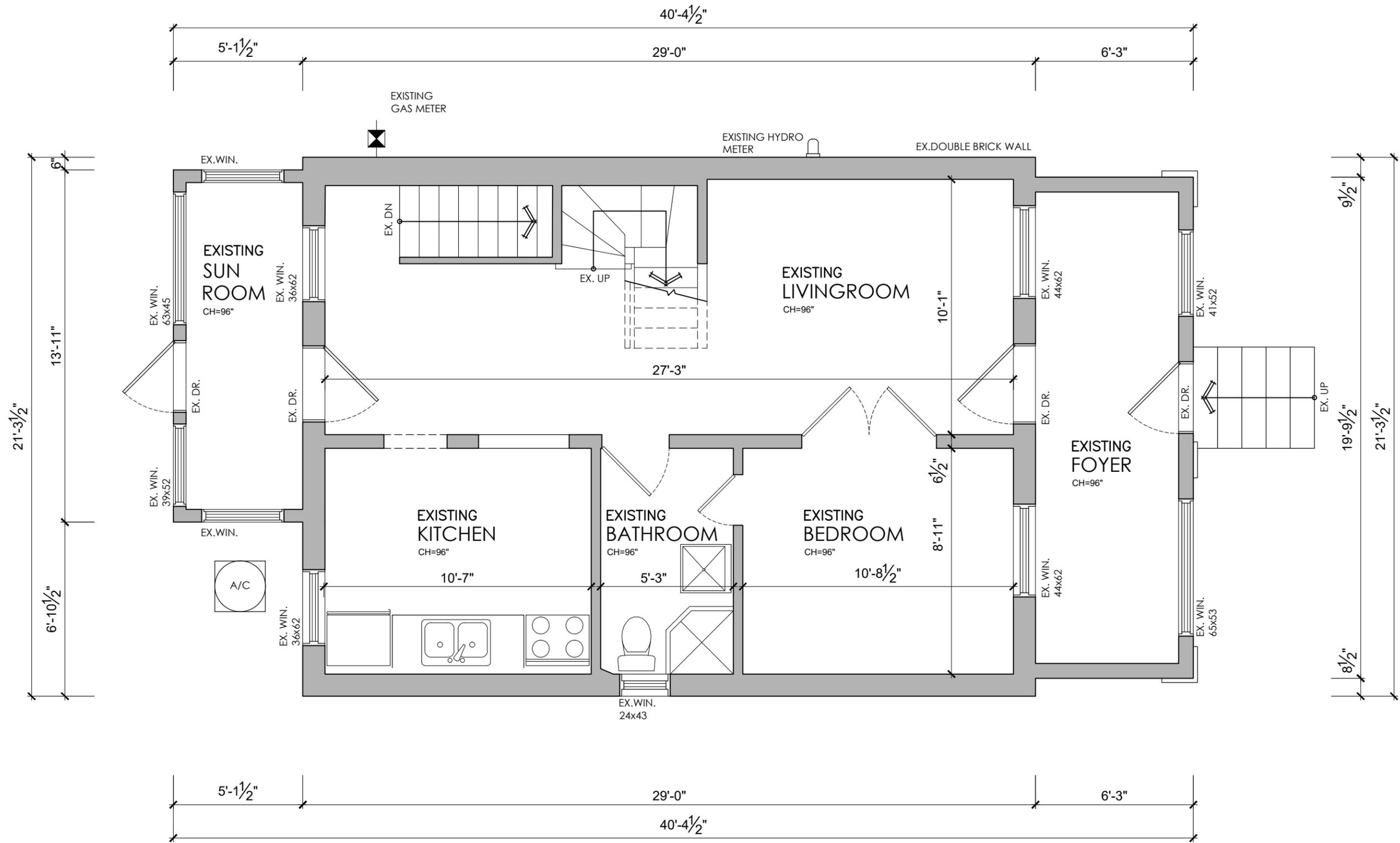
THIS DRAWING IS NOT TO BE SCALE.
 REFER TO APPROPRIATE SURVEY, STRUCTURAL, MECHANICAL, ELECTRICAL, LANDSCAPE, ETC. CONSULTING DRAWINGS BEFORE PROCEEDING WITH THE WORK.
 THE CONTRACTOR MUST VERIFY AND ACCEPT RESPONSIBILITY FOR ALL DIMENSIONS AND CONDITIONS ON SITE AND SHALL NOTIFY THE APPROPRIATE CONSULTANT OF ANY VARIATIONS FROM THE SUPPLIED INFORMATION.
 THESE DRAWINGS HAVE BEEN PREPARED FOR BUILDING PERMIT PURPOSES ONLY. THE DESIGNER AND ENGINEER ARE NOT RESPONSIBLE FOR ORIGINAL REVIEW DURING CONSTRUCTION UNLESS A SEPARATE AGREEMENT IS MADE. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL EXISTING AND ASSUMED STRUCTURAL CONDITIONS. IN THE EVENT THAT THE CONTRACTOR DISCOVERS ANY DISCREPANCIES BETWEEN THE APPROVED PERMIT CONSTRUCTION DRAWINGS AND/OR THE ASSUMED CONDITIONS, THE CONTRACTOR SHALL NOTIFY THE OWNER OF THE PROJECT AND/OR THE APPROPRIATE CONSULTANT IMMEDIATELY WHO WILL BE RESPONSIBLE FOR ORIGINAL REVIEW DURING CONSTRUCTION. THE DESIGNER AND THE ENGINEER SHALL NOT BE RESPONSIBLE FOR GENERAL REVIEW DURING CONSTRUCTION.
 THE AS-BUILT INFORMATION PROVIDED IN THESE DRAWINGS IS FOR INFORMATION PURPOSES ONLY. ALL DIMENSIONS ARE CALCULATED FROM ON-SITE OBSERVATIONS REPRESENTING EXISTING CONDITIONS. THE INFORMATION PROVIDED MUST BE COMPARED PRIOR TO CONSTRUCTION, ENLARGEMENT OR ALTERATIONS OF ANY PART, OR IN PLACE OF THE EXISTING BUILDING. THE OWNER OF THE PROPERTY WILL NOT HOLD THE DESIGNER AND ENGINEER LIABLE FOR THE WORK DONE BY OTHERS.



No.	DATE	REVISION/SUBMISSION	ISSUED BY
1.	03.DEC.2021	ISSUED FOR PERMIT	TG

DRAWING TITLE	EXISTING BASEMENT FLOOR PLAN
SCALE	1/4" = 1'-0"
DATE	01 SEPT 2020
PROJECT NUMBER	21009
DRAWING NUMBER	A-3.1
1278 MAIN STREET EAST, HAMILTON, ONT., L8K 1A9	

SCALE	DRAWN BY	CHECKED BY
1/4" = 1'-0"	TG	FS
DATE	DRAWING NUMBER	
01 SEPT 2020	A-3.1	
PROJECT NUMBER		
21009		



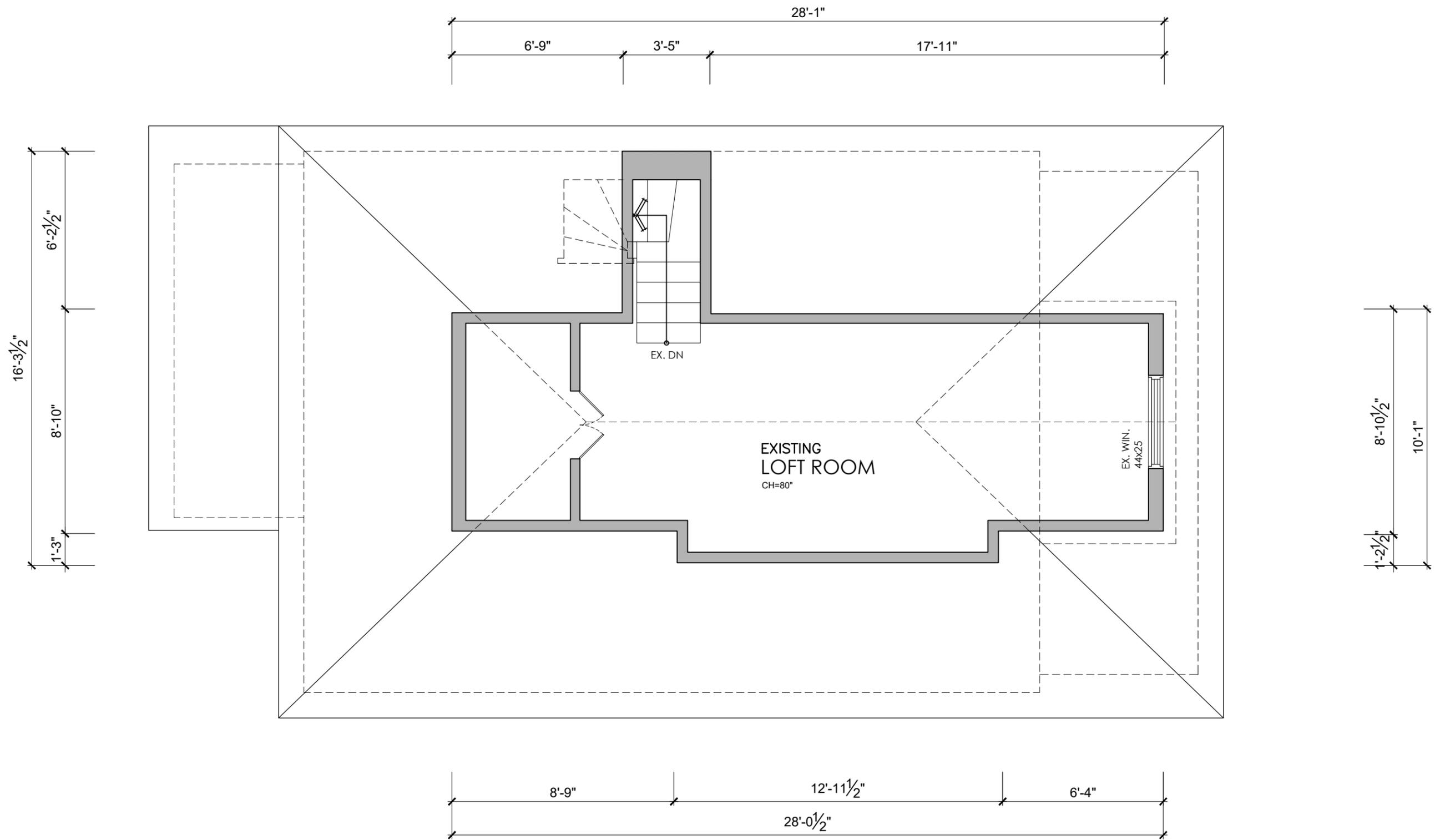
THIS DRAWING IS NOT TO BE SCALED.
 REFER TO APPROPRIATE SURVEY, STRUCTURAL, MECHANICAL, ELECTRICAL, LANDSCAPE, ETC. CONSULTING DRAWINGS BEFORE PROCEEDING WITH THE WORK.
 THE CONTRACTOR MUST CONFORM TO ALL APPLICABLE CODES AND REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION.
 THE CONTRACTOR SHALL VERIFY AND ACCEPT RESPONSIBILITY FOR ALL DIMENSIONS AND CONDITIONS ON SITE AND SHALL NOTIFY THE APPROPRIATE CONSULTANT OF ANY VARIATIONS FROM THE SUPPLIED INFORMATION.
 THESE DRAWINGS HAVE BEEN PREPARED FOR BUILDING PERMIT PURPOSES ONLY. THE DESIGNER AND ENGINEER ARE NOT RESPONSIBLE FOR OTHER, REVIEW, PERMITS, CONSTRUCTION OR AS-BUILT AGREEMENTS. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL EXISTING AND ASSUMED STRUCTURAL CONDITIONS. IN THE EVENT THAT THE CONTRACTOR DISCOVERS ANY DISCREPANCIES, THE CONTRACTOR SHALL NOTIFY THE DESIGNER AND ENGINEER IMMEDIATELY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AUTHORITIES.
 THE AS-BUILT INFORMATION PROVIDED IN THESE DRAWINGS IS FOR INFORMATION PURPOSES ONLY. ALL DIMENSIONS ARE CALCULATED FROM THE EXISTING BUILDING. THE CONTRACTOR SHALL VERIFY THE INFORMATION PROVIDED MUST BE COMPARED PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AUTHORITIES. THE DESIGNER AND ENGINEER SHALL NOT BE HELD RESPONSIBLE FOR THE WORK DONE BY OTHERS.



No.	DATE	REVISION/SUBMISSION	ISSUED BY
1.	03.DEC.2021	ISSUED FOR PERMIT	TG

DRAWING TITLE	EXISTING 1ST FLOOR PLAN
SCALE	1/4" = 1'-0"
DATE	01 SEPT 2020
PROJECT NUMBER	21009
MAIN STREET RESIDENCE	
1278 MAIN STREET EAST, HAMILTON, ONT., L8K 1A9	

SCALE	1/4" = 1'-0"	DRAWN BY	TG	CHECKED BY	FS
DATE	01 SEPT 2020	DRAWING NUMBER			
PROJECT NUMBER		A-3.2			
21009					



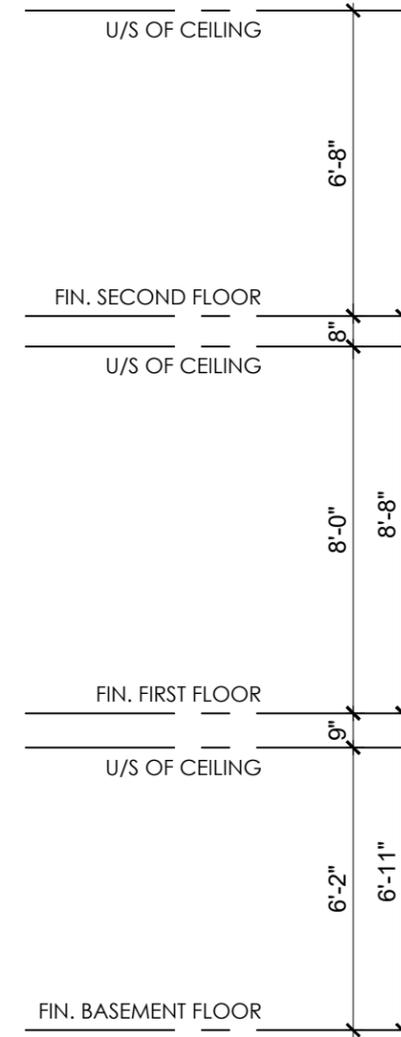
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 REFER TO APPROPRIATE SURVEY, STRUCTURAL, MECHANICAL, ELECTRICAL, LANDSCAPE, ETC.
 CONSULT THE DRAWINGS BEFORE PROCEEDING WITH THE WORK.
 THE CONTRACTOR MUST CONFORM TO ALL APPLICABLE CODES AND REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION.
 THE CONTRACTOR WORKING FROM DRAWINGS NOT SPECIFICALLY MARKED FOR PERMIT CONSTRUCTION MUST ASSUME FULL RESPONSIBILITY AND BEAR COSTS FOR ANY CORRECTIONS OR DAMAGES RESULTING FROM SUCH WORK.
 THESE DRAWINGS, AS AN INSTRUMENT OF SERVICE, ARE PROVIDED BY AND IS THE PROPERTY OF THE DESIGNER AND ENGINEER.
 THE CONTRACTOR SHALL VERIFY AND ACCEPT RESPONSIBILITY FOR ALL DIMENSIONS AND CONDITIONS ON SITE AND SHALL NOTIFY THE APPROPRIATE CONSULTANT OF ANY VARIATIONS FROM THE SUPPLIED INFORMATION.
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No.	DATE	REVISION/SUBMISSION	ISSUED BY
1.	03.DEC.2021	ISSUED FOR PERMIT	TG

DRAWING TITLE	EXISTING 2ND FLOOR PLAN
MAIN STREET RESIDENCE	
1278 MAIN STREET EAST, HAMILTON, ONT., L8K 1A9	

SCALE	1/4" = 1'-0"	DRAWN BY	TG	CHECKED BY	FS
DATE	01 SEPT 2020	DRAWING NUMBER			
PROJECT NUMBER	21009	A-3.3			



NORTH (FRONT) ELEVATION

THIS DRAWING IS NOT TO BE SCALED.
 REFER TO APPROPRIATE SURVEY, STRUCTURAL, MECHANICAL, ELECTRICAL, LANDSCAPE, ETC.
 CONSULT DRAWINGS BEFORE PROCEEDING WITH THE WORK.
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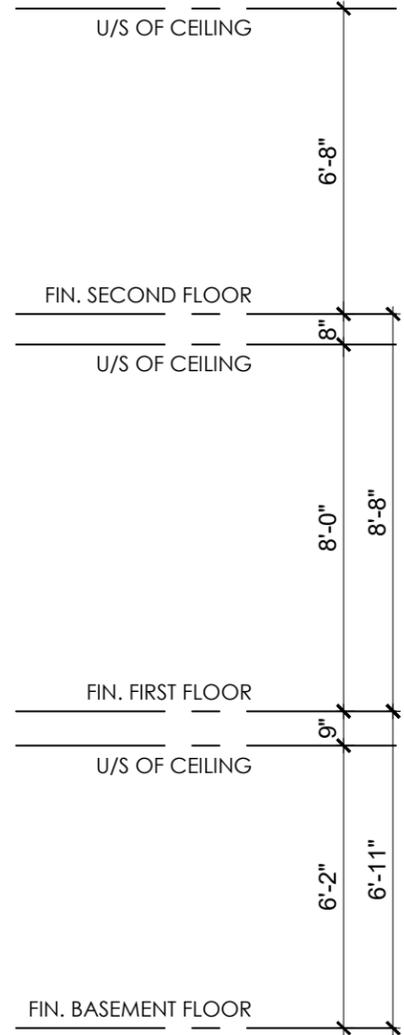
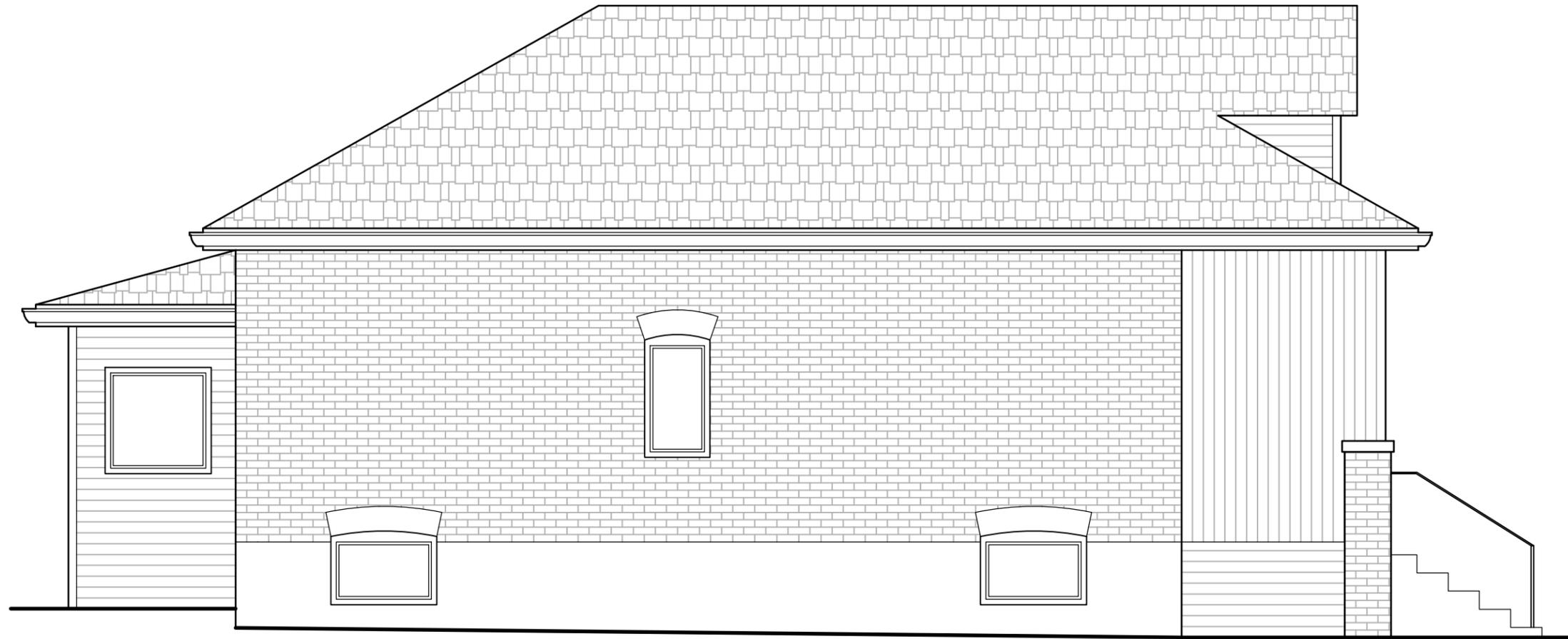
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No.	DATE	REVISION/SUBMISSION	ISSUED BY
1.	03.DEC.2021	ISSUED FOR PERMIT	TG

DRAWING TITLE	EXISTING ELEVATION
DRAWING TITLE	MAIN STREET RESIDENCE
1278 MAIN STREET EAST, HAMILTON, ONT., L8K 1A9	

SCALE	1/4" = 1'-0"	DRAWN BY	TG	CHECKED BY	FS
DATE	01 SEPT 2020	DRAWING NUMBER			
PROJECT NUMBER	21009	A-3.4			



EAST (LEFT SIDE) ELEVATION

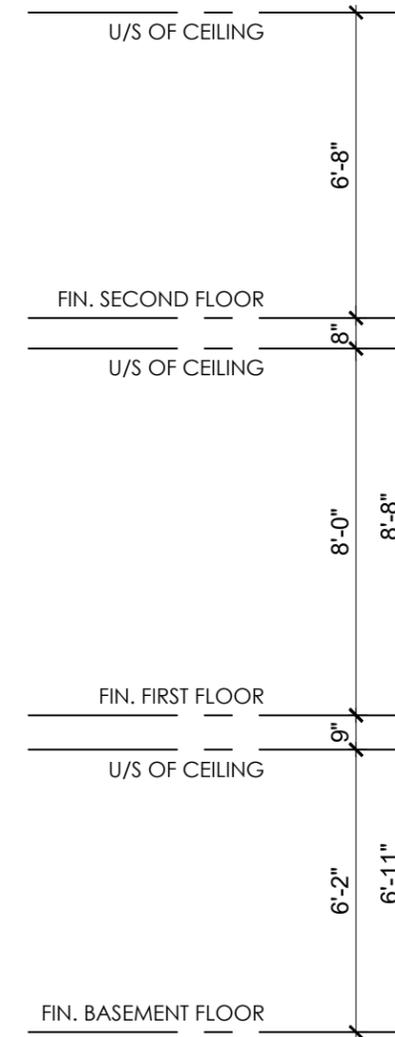
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No.	DATE	REVISION/SUBMISSION	ISSUED BY
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DRAWING TITLE	EXISTING ELEVATION
DRAWING TITLE	MAIN STREET RESIDENCE
1278 MAIN STREET EAST, HAMILTON, ONT., L8K 1A9	

SCALE	1/4" = 1'-0"	DRAWN BY	TG	CHECKED BY	FS
DATE	01 SEPT 2020	DRAWING NUMBER			
PROJECT NUMBER	21009	A-3.5			



SOUTH (REAR) ELEVATION

THIS DRAWING IS NOT TO BE SCALED.
 REFER TO APPROPRIATE SURVEY, STRUCTURAL, MECHANICAL, ELECTRICAL, LANDSCAPE, ETC.
 CONSULT THE DRAWINGS BEFORE PROCEEDING WITH THE WORK.
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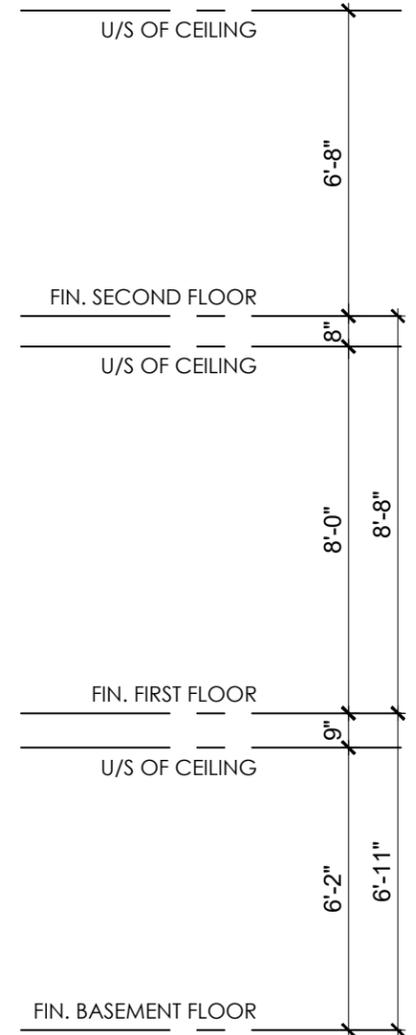
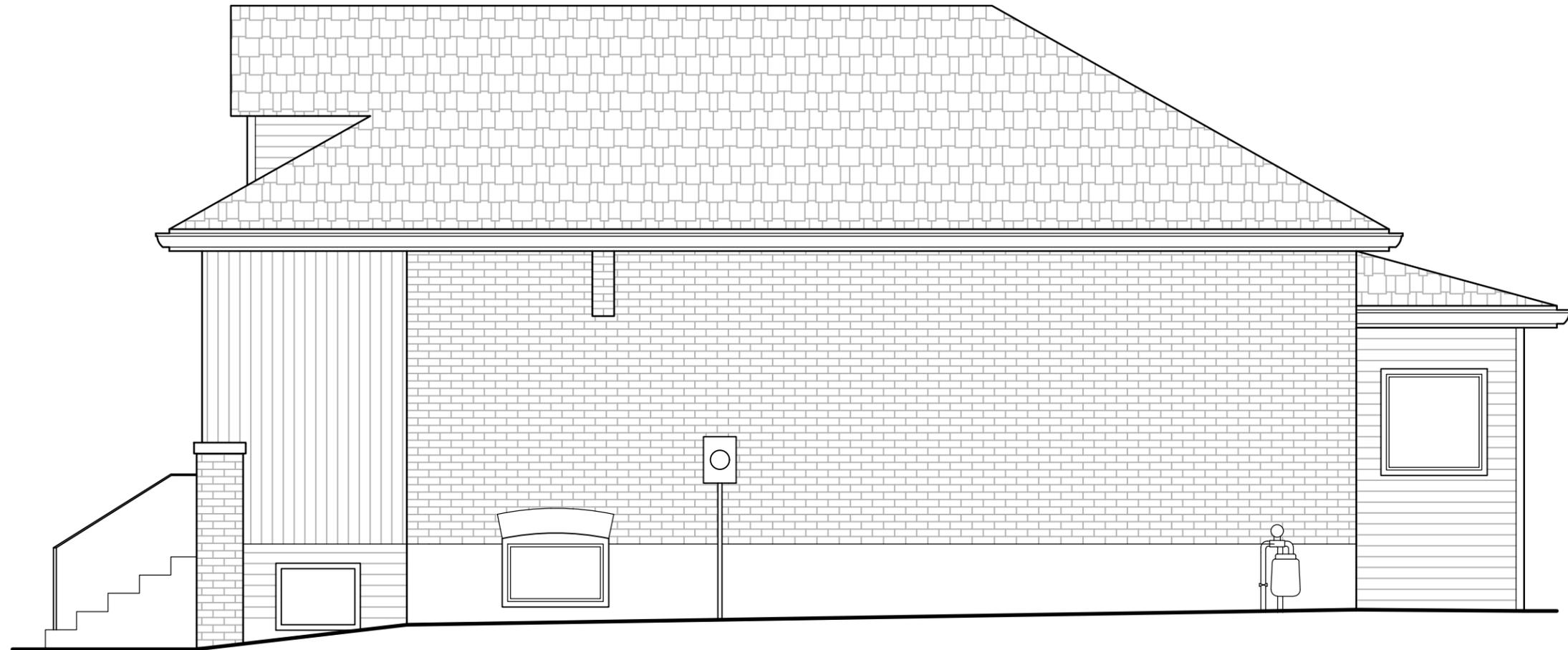
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No.	DATE	REVISION/SUBMISSION	ISSUED BY
1.	03.DEC.2021	ISSUED FOR PERMIT	TG

DRAWING TITLE	EXISTING ELEVATION
DRAWING TITLE	MAIN STREET RESIDENCE
1278 MAIN STREET EAST, HAMILTON, ONT., L8K 1A9	

SCALE	1/4" = 1'-0"	DRAWN BY	TG	CHECKED BY	FS
DATE	01 SEPT 2020	DRAWING NUMBER			
PROJECT NUMBER	21009	A-3.6			



WEST (RIGHT SIDE) ELEVATION

THIS DRAWING IS NOT TO BE SCALED.
 REFER TO APPROPRIATE SURVEY, STRUCTURAL, MECHANICAL, ELECTRICAL, LANDSCAPE, ETC.
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 AGREEMENT IS MADE. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL EXISTING AND ASSUMED
 STRUCTURAL CONDITIONS. IN THE EVENT THAT THE CONTRACTOR DISCOVERS ANY DISCREPANCY WITH THE
 APPROVED PERMIT CONSTRUCTION DRAWINGS AND/OR THE ASSUMED CONDITIONS, THE CONTRACTOR
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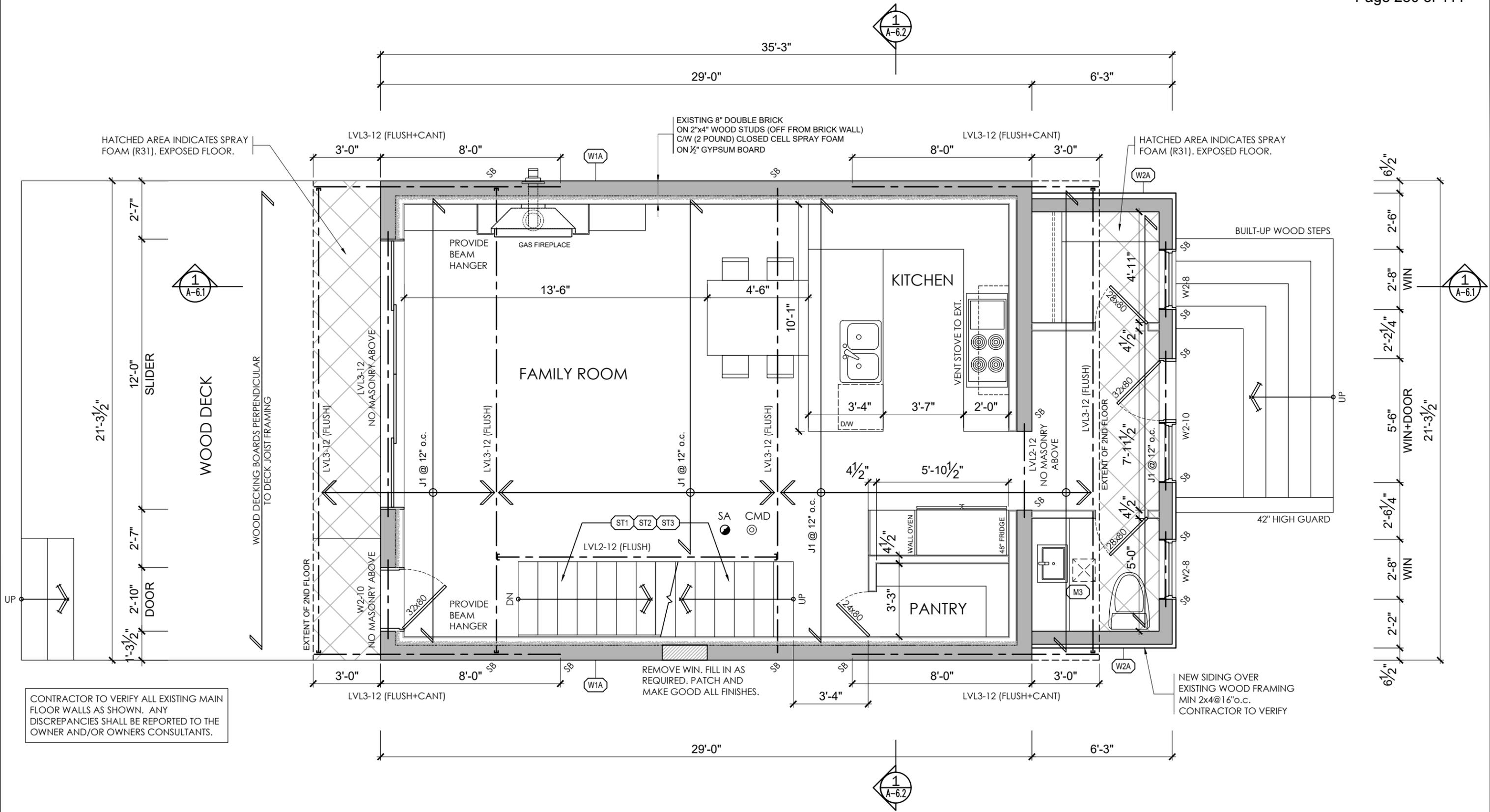
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No.	DATE	REVISION/SUBMISSION	ISSUED BY
1.	03.DEC.2021	ISSUED FOR PERMIT	TG

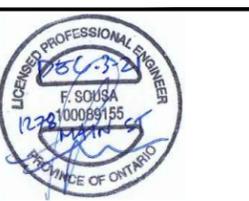
DRAWING TITLE	EXISTING ELEVATION
DRAWING TITLE	MAIN STREET RESIDENCE
1278 MAIN STREET EAST, HAMILTON, ONT., L8K 1A9	

SCALE	1/4" = 1'-0"	DRAWN BY	TG	CHECKED BY	FS
DATE	01 SEPT 2020	DRAWING NUMBER			
PROJECT NUMBER	21009	A-3.7			



CONTRACTOR TO VERIFY ALL EXISTING MAIN FLOOR WALLS AS SHOWN. ANY DISCREPANCIES SHALL BE REPORTED TO THE OWNER AND/OR OWNERS CONSULTANTS.

THIS DRAWING IS NOT TO BE SCALE.
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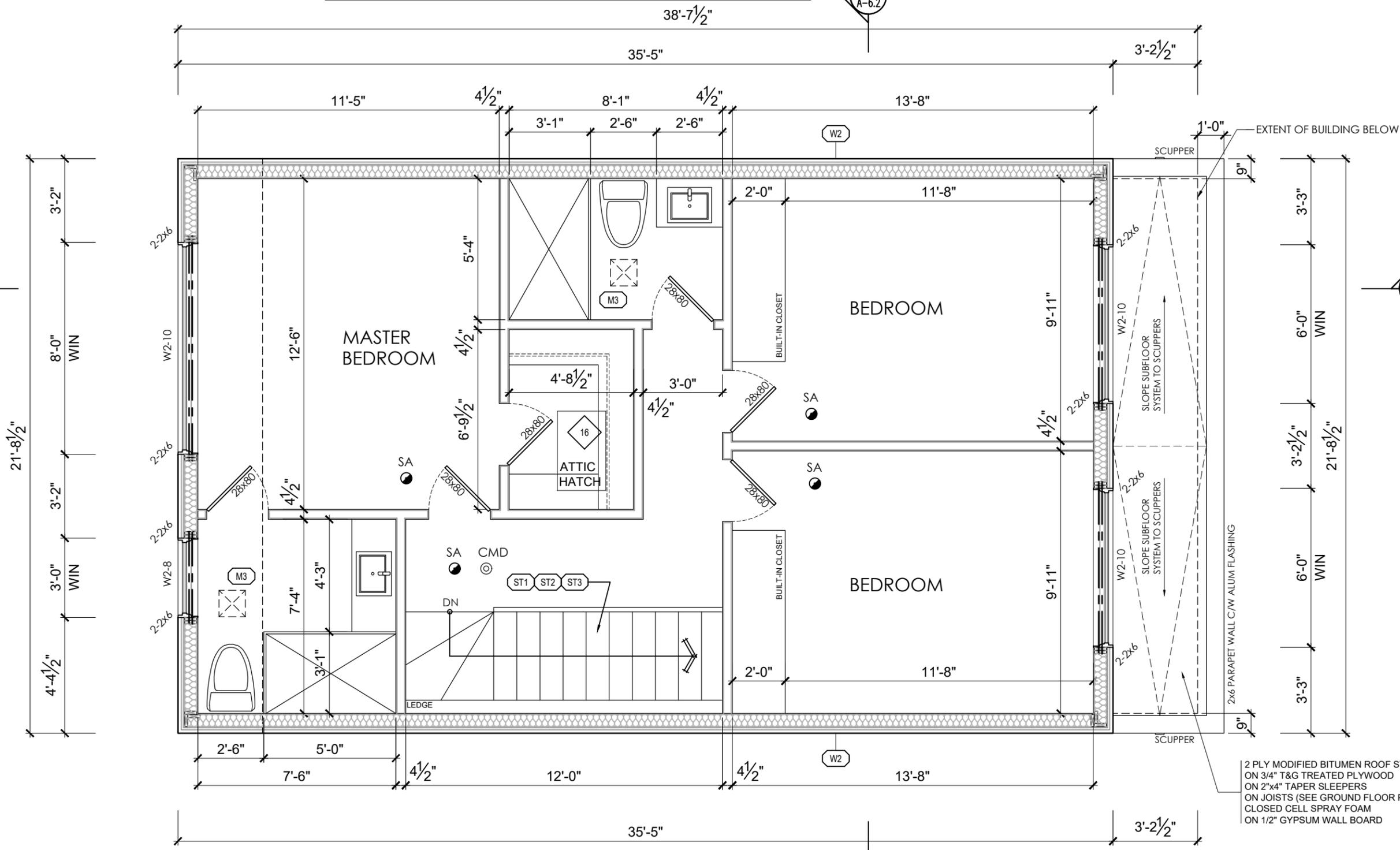
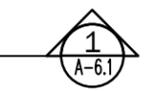
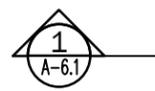
No.	DATE	REVISION/SUBMISSION	ISSUED BY
1.	03.DEC.2021	ISSUED FOR PERMIT	TG

DRAWING TITLE	PROPOSED 1ST FLOOR PLAN
MAIN STREET RESIDENCE	
1278 MAIN STREET EAST, HAMILTON, ONT., L8K 1A9	

SCALE	1/4" = 1'-0"	DRAWN BY	TG	CHECKED BY	FS
DATE	01 SEPT 2020	DRAWING NUMBER			
PROJECT NUMBER	21009	A-4.2			

NOTE: USE TYPE 'X' DRYWALL ON WEST WALL TO ACHIEVE THE REQUIRED 45min FIRE RATING. (WALL LESS THAN 1.2m FROM PROPERTY LINE)

NOTE: USE TYPE 'X' DRYWALL ON EAST WALL TO ACHIEVE THE REQUIRED 45min FIRE RATING. (WALL LESS THAN 1.2m FROM PROPERTY LINE)



2 PLY MODIFIED BITUMEN ROOF SYSTEM
ON 3/4" T&G TREATED PLYWOOD
ON 2"x4" TAPER SLEEPERS
ON JOISTS (SEE GROUND FLOOR PLAN) R31 (2 POUND)
CLOSED CELL SPRAY FOAM
ON 1/2" GYPSUM WALL BOARD

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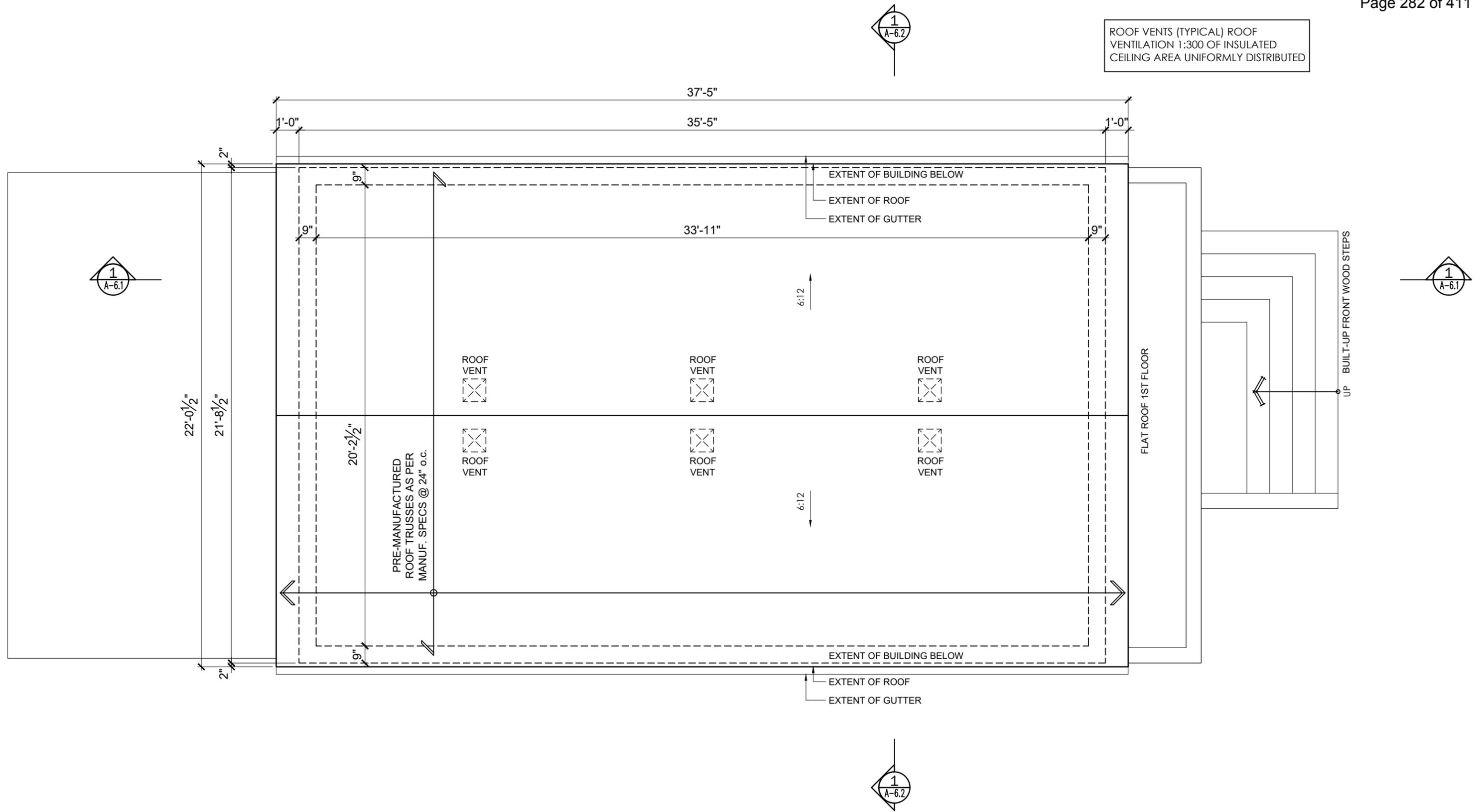
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No.	DATE	REVISION/SUBMISSION	ISSUED BY
1.	03.DEC.2021	ISSUED FOR PERMIT	TG

DRAWING TITLE	PROPOSED 2ND FLOOR PLAN
MAIN STREET RESIDENCE	
1278 MAIN STREET EAST, HAMILTON, ONT., L8K 1A9	

SCALE	1/4" = 1'-0"	DRAWN BY	TG	CHECKED BY	FS
DATE	01 SEPT 2020	DRAWING NUMBER			
PROJECT NUMBER	21009	A-4.3			



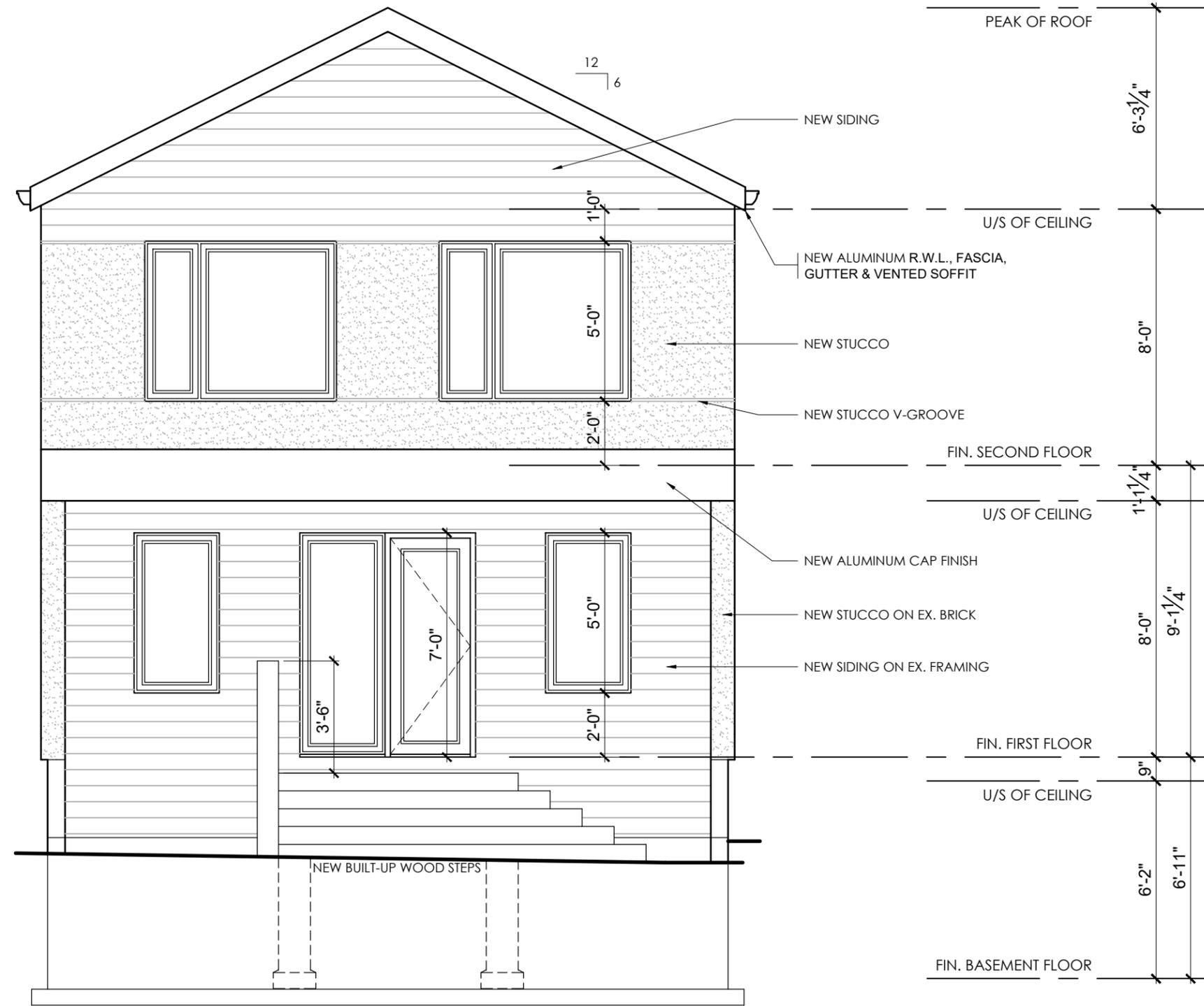
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No.	DATE	REVISION/SUBMISSION	ISSUED BY
1.	03.DEC.2021	ISSUED FOR PERMIT	TG

DRAWING TITLE	PROPOSED ROOF PLAN	
MAIN STREET RESIDENCE		
1278 MAIN STREET EAST, HAMILTON, ONT., L8K 1A9		

SCALE	1/4" = 1'-0"	DRAWN BY	TG	CHECKED BY	FS
DATE	01 SEPT 2020	DRAWING NUMBER			
PROJECT NUMBER	21009	A-4.4			



NORTH (FRONT) ELEVATION

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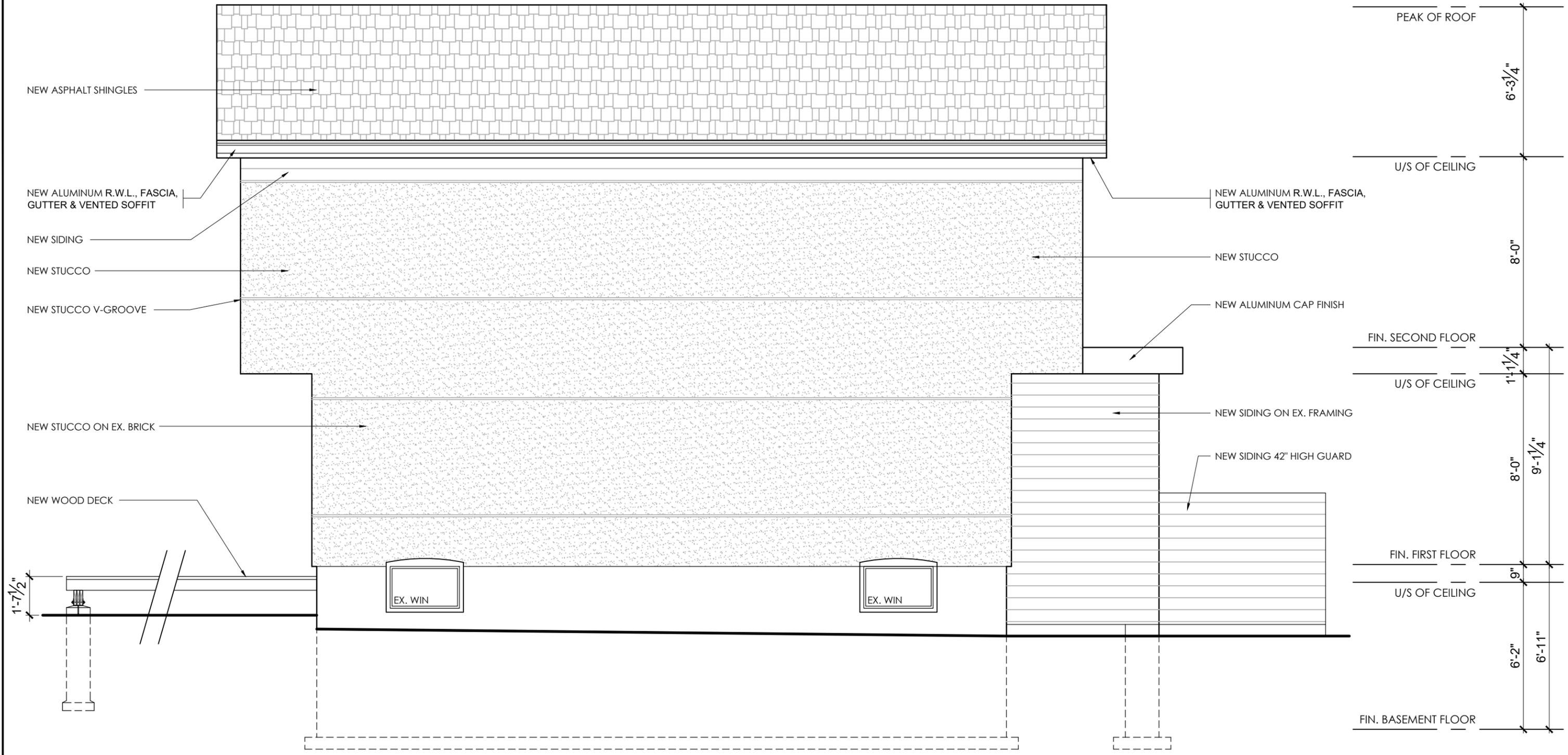
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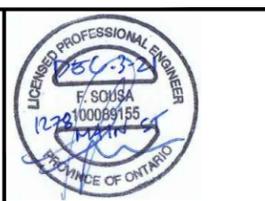
DRAWING TITLE	PROPOSED NORTH (FRONT) ELEVATION
MAIN STREET RESIDENCE	
1278 MAIN STREET EAST, HAMILTON, ONT., L8K 1A9	

SCALE	1/4" = 1'-0"	DRAWN BY	TG	CHECKED BY	FS
DATE	01 SEPT 2020	DRAWING NUMBER			
PROJECT NUMBER	21009	A-5.1			



EAST (LEFT SIDE) ELEVATION

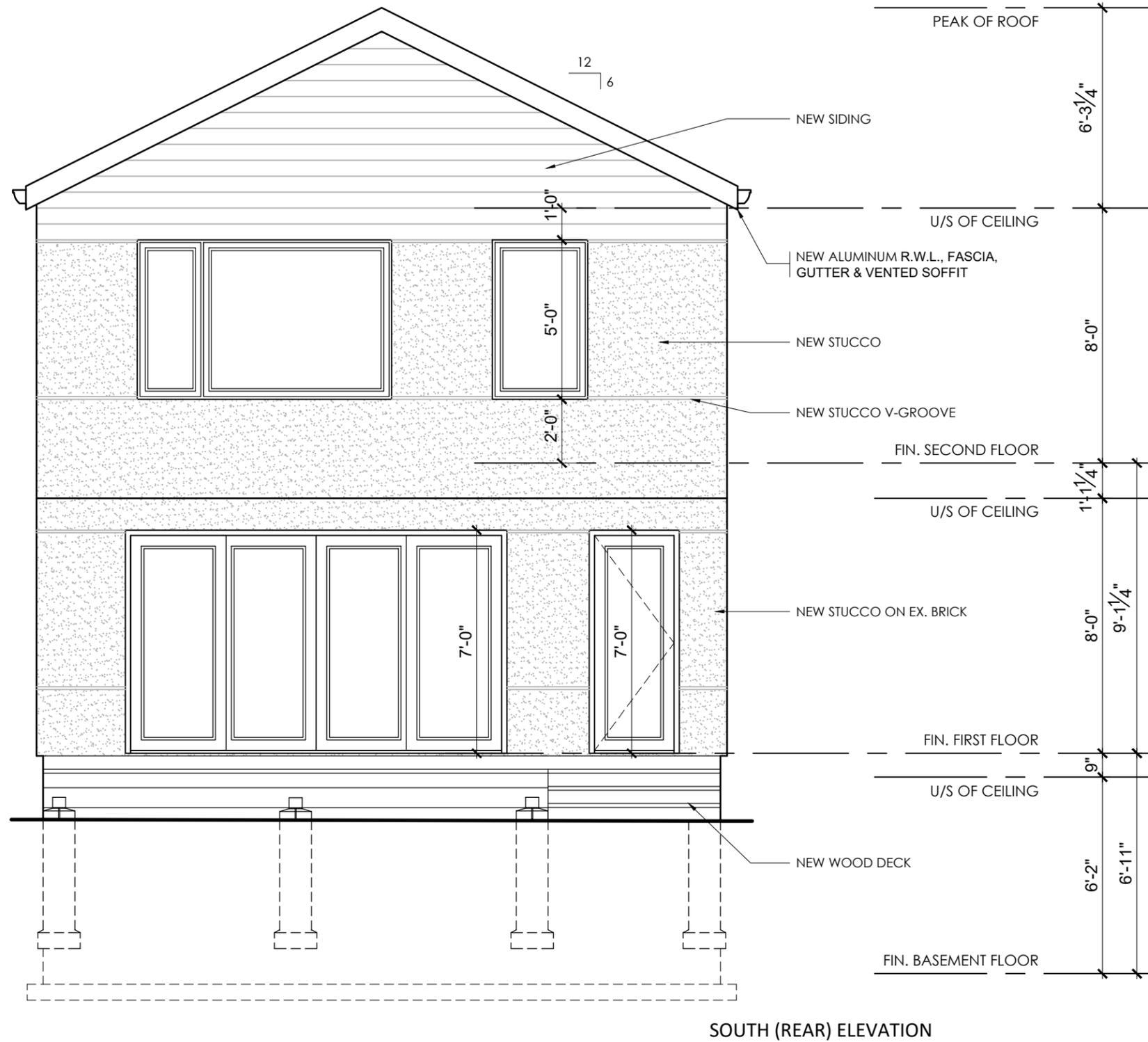
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 THE AS-BUILT INFORMATION PROVIDED IN THESE DRAWINGS IS FOR INFORMATION PURPOSES ONLY. ALL DIMENSIONS ARE CALCULATED FROM ON-SITE MEASUREMENTS OF EXISTING CONDITIONS. THE INFORMATION PROVIDED MUST BE COMPARED PRIOR TO CONSTRUCTION, ENLARGEMENT OR ALTERATION OF ANY PART, OR IN PLACE, OF THE EXISTING BUILDING. THE OWNER OF THE PROPERTY WILL NOT HOLD THE DESIGNER AND ENGINEER LIABLE FOR THE WORK DONE BY OTHERS.



No.	DATE	REVISION/SUBMISSION	ISSUED BY
1.	03.DEC.2021	ISSUED FOR PERMIT	TG

DRAWING TITLE	PROPOSED EAST (LEFT SIDE) ELEVATION
PROJECT NUMBER	21009
LOCATION	1278 MAIN STREET EAST, HAMILTON, ONT., L8K 1A9

SCALE	1/4" = 1'-0"	DRAWN BY	TG	CHECKED BY	FS
DATE	01 SEPT 2020	DRAWING NUMBER			
					A-5.2



SOUTH (REAR) ELEVATION

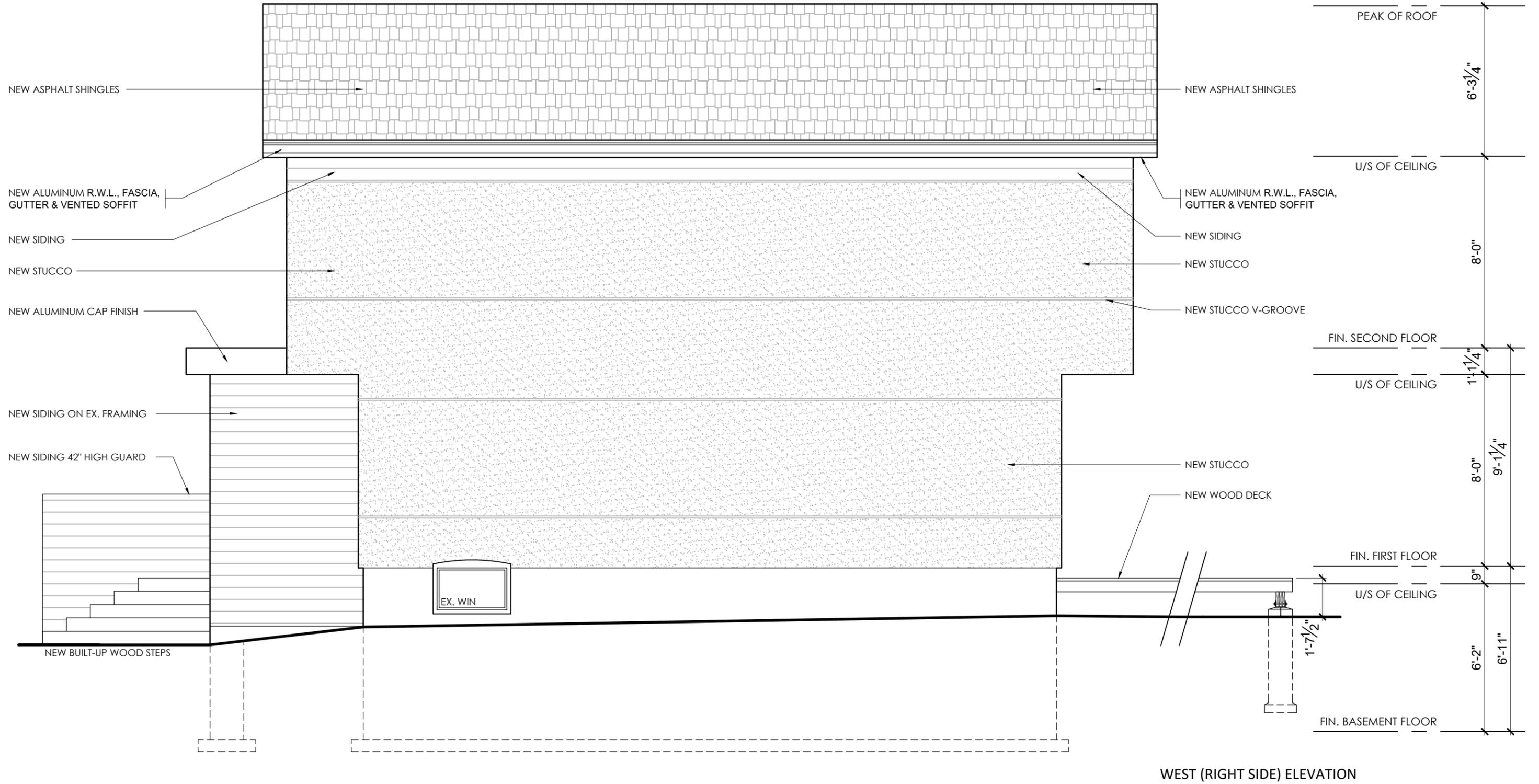
THIS DRAWING IS NOT TO BE SCALED.
 REFER TO APPROPRIATE SURVEY, STRUCTURAL, MECHANICAL, ELECTRICAL, LANDSCAPE, ETC. CONSULTING DRAWINGS BEFORE PROCEEDING WITH THE WORK.
 THE CONTRACTOR MUST VERIFY ALL DIMENSIONS AND REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION.
 THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVED PERMIT CONSTRUCTION DRAWINGS AND/OR THE ASSOCIATED CONDITIONS. THE CONTRACTOR SHALL NOTIFY THE OWNER OF THE PROJECT AND/OR THE APPROPRIATE CONTRACTING CONSULTANTS WHO HAVE SEALED THESE DRAWINGS AND NOT BE RESPONSIBLE FOR GENERAL REVISION DURING CONSTRUCTION.
 THESE DRAWINGS HAVE BEEN PREPARED FOR BUILDING PERMIT PURPOSES ONLY. THE DESIGNER AND ENGINEER ARE NOT RESPONSIBLE FOR GENERAL REVISION DURING CONSTRUCTION UNLESS A SEPARATE AGREEMENT IS MADE. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL EXISTING AND ASSUMED STRUCTURAL CONDITIONS. IN THE EVENT THAT THE CONTRACTOR FINDS DISCREPANCIES WITH THE DRAWINGS, HE SHALL NOTIFY THE APPROPRIATE CONSULTANT OF ANY VARIATIONS FROM THE SUPPLIED INFORMATION.
 THE AS-BUILT INFORMATION PROVIDED IN THESE DRAWINGS IS FOR INFORMATION PURPOSES ONLY. ALL DIMENSIONS ARE CALCULATED FROM THE EXISTING IMPROVING EXISTING CONDITIONS. THE INFORMATION PROVIDED MUST BE COMPARED PRIOR TO CONSTRUCTION, ENGAGEMENT OR ALTERATION OF ANY PART, OR IN PLACE, OF THE EXISTING BUILDING. THE OWNER OF THE PROPERTY WILL NOT HOLD THE DESIGNER AND ENGINEER LIABLE FOR THE WORK DONE BY OTHERS.



No.	DATE	REVISION/SUBMISSION	ISSUED BY
1.	03.DEC.2021	ISSUED FOR PERMIT	TG

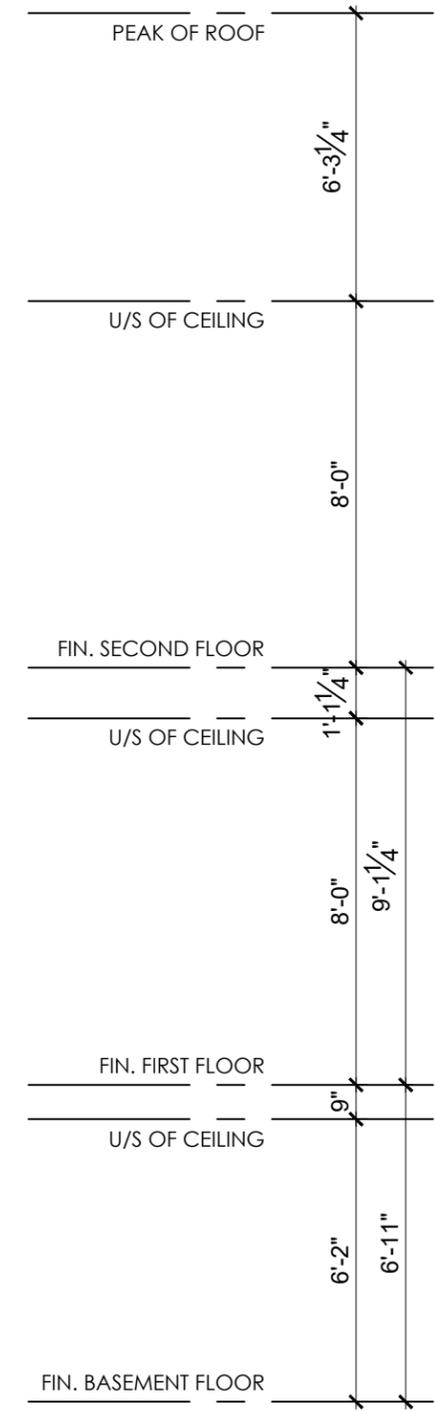
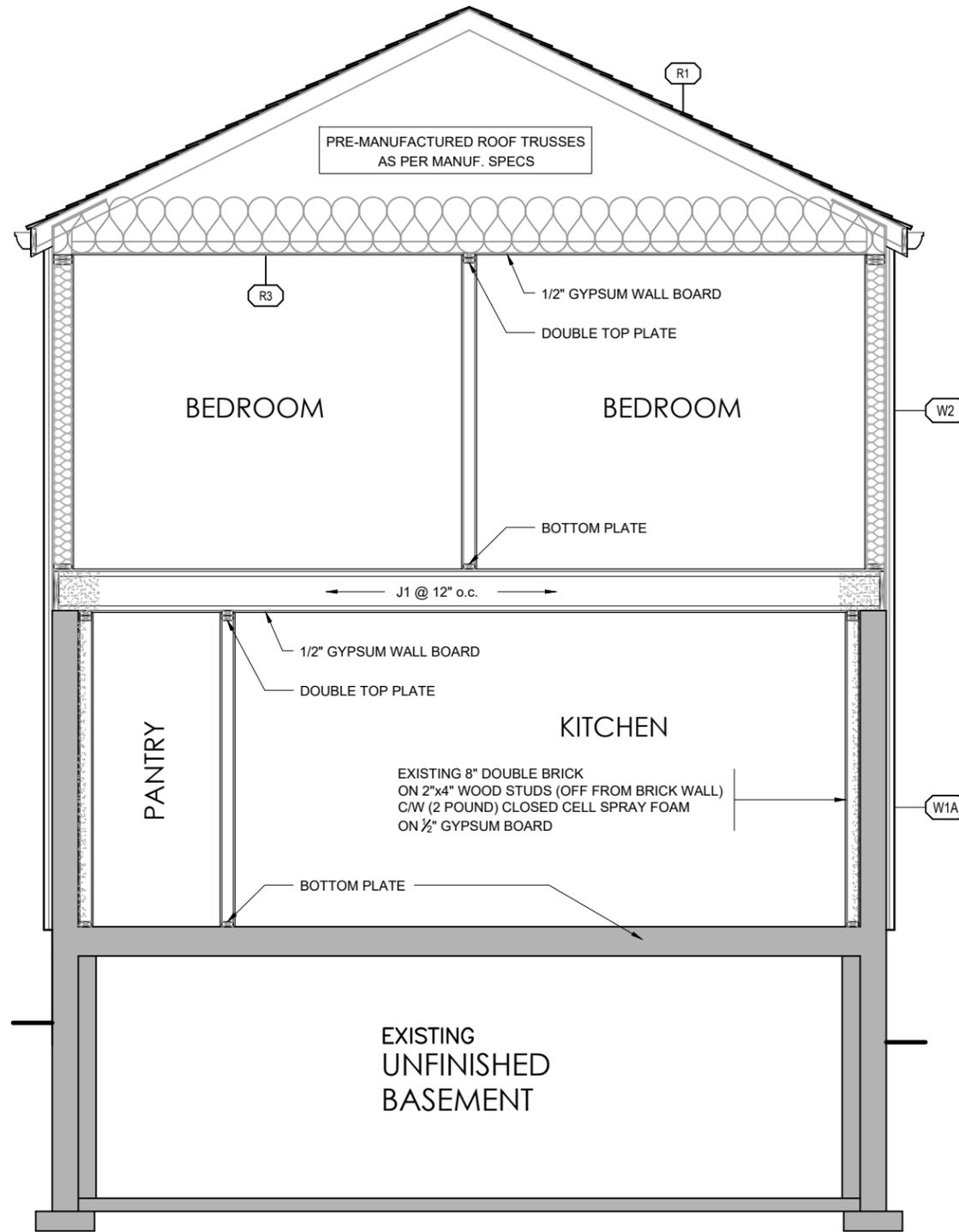
DRAWING TITLE	PROPOSED SOUTH (REAR) ELEVATION
	MAIN STREET RESIDENCE
	1278 MAIN STREET EAST, HAMILTON, ONT., L8K 1A9

SCALE	1/4" = 1'-0"	DRAWN BY	TG	CHECKED BY	FS
DATE	01 SEPT 2020	DRAWING NUMBER			
PROJECT NUMBER	21009	A-5.3			



WEST (RIGHT SIDE) ELEVATION

<p>THIS DRAWING IS NOT TO BE SCALED. REFER TO APPROPRIATE SURVEY, STRUCTURAL, MECHANICAL, ELECTRICAL, LANDSCAPE, ETC. CONSULTING DRAWINGS BEFORE PROCEEDING WITH THE WORK.</p> <p>THE CONTRACTOR MUST CONFORM TO ALL APPLICABLE CODES AND REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION.</p> <p>THE CONTRACTOR SHALL VERIFY AND ACCEPT RESPONSIBILITY FOR ALL DIMENSIONS AND CONDITIONS ON SITE AND SHALL NOTIFY THE APPROPRIATE CONSULTANT OF ANY VARIATIONS FROM THE SUPPLIED INFORMATION.</p> <p>THESE DRAWINGS HAVE BEEN PREPARED FOR BUILDING PERMIT PURPOSES ONLY. THE DESIGNER AND ENGINEER ARE NOT RESPONSIBLE FOR OTHERS' REVIEW. PERMITS FOR CONSTRUCTION SHALL BE OBTAINED SEPARATELY. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL EXISTING AND ASSUMED STRUCTURAL CONDITIONS. IN THE EVENT THAT THE CONTRACTOR DISCOVERS CONDITIONS NOT SHOWN ON THESE DRAWINGS, HE SHALL NOTIFY THE APPROPRIATE CONSULTANT IMMEDIATELY. THE DESIGNER AND ENGINEER SHALL BE RESPONSIBLE FOR GENERAL REVIEW DURING CONSTRUCTION.</p> <p>THE AS-BUILT INFORMATION PROVIDED IN THESE DRAWINGS IS FOR INFORMATION PURPOSES ONLY. ALL DIMENSIONS ARE CALCULATED FROM ON-SITE OBSERVATIONS OF EXISTING CONDITIONS. THE INFORMATION PROVIDED MUST BE COMPARED PRIOR TO CONSTRUCTION, ENLARGEMENT OR ALTERATION OF ANY PART, OR IN PLACE, OF THE EXISTING BUILDING. THE OWNER OF THE PROPERTY WILL NOT HOLD THE DESIGNER AND ENGINEER LIABLE FOR THE WORK DONE BY OTHERS.</p>	 <p>GÓRAL DESIGN T: 647.505.0892 E: tgoral@goraldesign.ca</p>	 <p>LICENSED PROFESSIONAL ENGINEER F. SOMSA 1238100089155 PROVINCE OF ONTARIO</p>	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <th>No.</th> <th>DATE</th> <th>REVISION/SUBMISSION</th> <th>ISSUED BY</th> </tr> <tr> <td>1.</td> <td>03.DEC.2021</td> <td>ISSUED FOR PERMIT</td> <td>TG</td> </tr> </table>	No.	DATE	REVISION/SUBMISSION	ISSUED BY	1.	03.DEC.2021	ISSUED FOR PERMIT	TG	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="font-size: 8px;">DRAWING TITLE</td> <td>PROPOSED WEST (RIGHT SIDE) ELEVATION</td> </tr> <tr> <td style="font-size: 8px;">PROJECT NUMBER</td> <td>21009</td> </tr> </table>	DRAWING TITLE	PROPOSED WEST (RIGHT SIDE) ELEVATION	PROJECT NUMBER	21009	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="font-size: 8px;">SCALE</td> <td>1/4" = 1'-0"</td> </tr> <tr> <td style="font-size: 8px;">DATE</td> <td>01 SEPT 2020</td> </tr> <tr> <td style="font-size: 8px;">PROJECT NUMBER</td> <td>21009</td> </tr> </table>	SCALE	1/4" = 1'-0"	DATE	01 SEPT 2020	PROJECT NUMBER	21009	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="font-size: 8px;">DRAWN BY</td> <td>TG</td> <td style="font-size: 8px;">CHECKED BY</td> <td>FS</td> </tr> <tr> <td colspan="2" style="font-size: 8px;">DRAWING NUMBER</td> <td colspan="2" style="font-size: 24px; text-align: center;">A-5.4</td> </tr> </table>	DRAWN BY	TG	CHECKED BY	FS	DRAWING NUMBER		A-5.4	
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THIS DRAWING IS NOT TO BE SCALED.
REFER TO APPROPRIATE SURVEY, STRUCTURAL, MECHANICAL, ELECTRICAL, LANDSCAPE, ETC.
CONSULT THE DRAWINGS BEFORE PROCEEDING WITH THE WORK.
CONSTRUCTION MUST CONFORM TO ALL APPLICABLE CODES AND REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION.
THE CONTRACTOR WORKING FROM DRAWINGS NOT SPECIALLY MARKED FOR PERMIT CONSTRUCTION MUST ASSUME FULL RESPONSIBILITY AND BEAR COSTS FOR ANY CORRECTIONS OR DAMAGES RESULTING FROM PERMITTING.
THIS DRAWING, AS AN INSTRUMENT OF SERVICE IS PROVIDED BY AND IS THE PROPERTY OF THE DESIGNER AND ENGINEER.
THE CONTRACTOR SHALL VERIFY AND ACCEPT RESPONSIBILITY FOR ALL DIMENSIONS AND CONDITIONS ON SITE AND SHALL NOTIFY THE APPROPRIATE CONSULTANT OF ANY VARIATIONS FROM THE SUPPLIED INFORMATION.
THESE DRAWINGS HAVE BEEN PREPARED FOR BUILDING PERMIT PURPOSES ONLY. THE DESIGNER AND ENGINEER ARE NOT RESPONSIBLE FOR OTHER REVIEW PURPOSES CONSTRUCTION UNLESS A SEPARATE AGREEMENT IS MADE. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL EXISTING AND ASSUMED STRUCTURAL CONDITIONS. IN THE EVENT THAT THE CONTRACTOR DISCOVERS DISCREPANCIES WITH THE APPROVED PERMIT CONSTRUCTION DRAWINGS AND/OR THE ASSUMED CONDITIONS, THE CONTRACTOR SHALL NOTIFY THE OWNER OF THE PROJECT AND/OR THE APPROPRIATE CONSULTANT IMMEDIATELY WHO WILL BE RESPONSIBLE FOR OBTAINING THE NECESSARY CORRECTIONS. THE DESIGNER AND THE ENGINEER SHALL NOT BE RESPONSIBLE FOR GENERAL REVIEW DURING CONSTRUCTION.
THE AS-BUILT INFORMATION PROVIDED IN THESE DRAWINGS IS FOR INFORMATION PURPOSES ONLY. ALL DIMENSIONS ARE CALCULATED FROM ON SITE MEASUREMENTS OF EXISTING CONDITIONS. THE INFORMATION PROVIDED MUST BE COMPARED PRIOR TO CONSTRUCTION, ENGAGEMENT OR ALTERATIONS OF ANY PART, OR IN PLACE OF THE EXISTING BUILDING. THE OWNER OF THE PROPERTY WILL NOT HOLD THE DESIGNER AND ENGINEER LIABLE FOR THE WORK DONE BY OTHERS.



GÓRAL DESIGN
T: 647.505.8892
E: tgoral@goraldesign.ca



No.	DATE	REVISION/SUBMISSION	ISSUED BY
1.	03.DEC.2021	ISSUED FOR PERMIT	TG

DRAWING TITLE	BUILDING SECTION
	MAIN STREET RESIDENCE
	1278 MAIN STREET EAST, HAMILTON, ONT., L8K 1A9

SCALE	1/4" = 1'-0"	DRAWN BY	TG	CHECKED BY	FS
DATE	01 SEPT 2020	DRAWING NUMBER			
PROJECT NUMBER	21009	A-6.2			



Committee of Adjustment
 City Hall, 5th Floor,
 71 Main St. W.,
 Hamilton, ON L8P4Y5

Phone: (905) 546-2424 ext. 4221
 Email: cofa@hamilton.ca

APPLICATION FOR A MINOR VARIANCE

FOR OFFICE USE ONLY.

APPLICATION NO. _____ DATE APPLICATION RECEIVED _____

PAID _____ DATE APPLICATION DEEMED COMPLETE _____

SECRETARY'S SIGNATURE _____

The Planning Act

Application for Minor Variance or for Permission

The undersigned hereby applies to the Committee of Adjustment for the City of Hamilton under Section 45 of the *Planning Act*, R.S.O. 1990, Chapter P.13 for relief, as described in this application, from the Zoning By-law.

1, 2	NAME	MAILING ADDRESS
Registered Owners(s)		
Applicant(s)*		
Agent or Solicitor		

Note: Unless otherwise requested all communications will be sent to the agent, if any.

3. Names and addresses of any mortgagees, holders of charges or other encumbrances:

Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled

4. Nature and extent of relief applied for:

GROSS FLOOR AREA EXCEEDS THE ALLOWABLE
10% INCREASE AS PER THE OS-200 ZONING BY-LAW

- Second Dwelling Unit Reconstruction of Existing Dwelling

5. Why it is not possible to comply with the provisions of the By-law?

ADDING 2ND FLOOR

6. Legal description and Address of subject lands (registered plan number and lot number or other legal description and where applicable, **street and street number**):

1278 MAIN STREET EAST HAMILTON, ON, L8K 1A9

7. PREVIOUS USE OF PROPERTY

- Residential Industrial Commercial
Agricultural Vacant

Other _____

- 8.1 If Industrial or Commercial, specify use _____
- 8.2 Has the grading of the subject land been changed by adding earth or other material, i.e. has filling occurred?
Yes No Unknown
- 8.3 Has a gas station been located on the subject land or adjacent lands at any time?
Yes No Unknown
- 8.4 Has there been petroleum or other fuel stored on the subject land or adjacent lands?
Yes No Unknown
- 8.5 Are there or have there ever been underground storage tanks or buried waste on the subject land or adjacent lands?
Yes No Unknown
- 8.6 Have the lands or adjacent lands ever been used as an agricultural operation where cyanide products may have been used as pesticides and/or sewage sludge was applied to the lands?
Yes No Unknown
- 8.7 Have the lands or adjacent lands ever been used as a weapon firing range?
Yes No Unknown
- 8.8 Is the nearest boundary line of the application within 500 metres (1,640 feet) of the fill area of an operational/non-operational landfill or dump?
Yes No Unknown
- 8.9 If there are existing or previously existing buildings, are there any building materials remaining on site which are potentially hazardous to public health (eg. asbestos, PCB's)?
Yes No Unknown

8.10 Is there any reason to believe the subject land may have been contaminated by former uses on the site or adjacent sites?

Yes No Unknown

8.11 What information did you use to determine the answers to 8.1 to 8.10 above?

[Empty rectangular box for information]

8.12 If previous use of property is industrial or commercial or if YES to any of 8.2 to 8.10, a previous use inventory showing all former uses of the subject land, or if appropriate, the land adjacent to the subject land, is needed.

Is the previous use inventory attached? Yes No

9. **ACKNOWLEDGEMENT CLAUSE**

I acknowledge that the City of Hamilton is not responsible for the identification and remediation of contamination on the property which is the subject of this Application – by reason of its approval to this Application.

Date _____

Signature Property Owner(s) _____

Print Name of Owner(s) _____

10. Dimensions of lands affected:

Frontage 7.16 m
Depth 30.48 m
Area 218.20 m²
Width of street _____

11. Particulars of all buildings and structures on or proposed for the subject lands: (Specify ground floor area, gross floor area, number of stories, width, length, height, etc.)

Existing: _____

1 STOREY SFD

Proposed

2 STOREY ADDITION

12. Location of all buildings and structures on or proposed for the subject lands; (Specify distance from side, rear and front lot lines)

Existing: _____

[Empty rectangular box for existing location]

Proposed: _____

[Empty rectangular box for proposed location]



Hamilton

COMMITTEE OF ADJUSTMENT

City Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5
 Telephone (905) 546-2424, ext. 4221, 3935 Fax (905) 546-4202
 E-mail: cofa@hamilton.ca

NOTICE OF PUBLIC HEARING Minor Variance

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
- Applicant/agent on file, or
- Person likely to be interested in this application

APPLICATION NO.: HM/A-21:454

APPLICANTS: Agent Michael Barton
 Owner 130 Wellington Corp.

SUBJECT PROPERTY: Municipal address **130 Wellington St. S., Hamilton**

ZONING BY-LAW: Zoning By-law 6593, as Amended

ZONING: "D" (Urban Protected Residential - One and Two Family Dwellings, etc.) district

PROPOSAL: To permit the establishment of a multiple dwelling containing a maximum of four (4) dwelling units within an existing building notwithstanding that:

1. A multiple dwelling containing a maximum of four (4) dwelling units shall be permitted notwithstanding that this use is not permitted as a use in the "D" district.
2. No visitor parking spaces shall be required instead of the minimum required one (1) visitor parking space.
3. The access driveway to the multiple dwelling shall be located 0.0m from the "D" district which does not permit this use instead of the requirement that where a multiple dwelling is adjacent to a residential district that does not permit such uses, every access driveway to the multiple dwelling shall be located not less than 3.0 metres from the common boundary between the district in which the multiple dwelling is located and the district that does not permit such uses.
4. A gravel surface shall be permitted for the parking area, manoeuvring space and access driveway instead of the requirement that a permanent durable and dustless surface that is graded, drained, and paved with concrete or asphalt or a combination of concrete and asphalt shall be provided and maintained for every parking area, manoeuvring space, loading space and access driveway.

NOTE:

- i) Section 18A(28) of Hamilton Zoning By-law No. 6593 states:

"No land in a residential district in which a multiple dwelling is not permitted shall be used for the purpose of vehicular access to or egress from any land used for a multiple dwelling."

A variance to Section 18A(28) is not required for the subject lands as a multiple dwelling would be permitted. However, a minor variances would be required to Section 18A(28) for those lands over which the right-of-way for the multiple dwelling traverses through being (it appears):

.../2

HM/A-21:454

Page 2

- 126 Wellington St S
- 128 Wellington St S
- 1 Ford St

As such, zoning non-compliance will exist for those properties.

- ii) A loading space is not required for a multiple dwelling containing four (4) dwelling units. As such, those variances requested for a loading space are not necessary.

This application will be heard by the Committee as shown below:

DATE: Thursday, April 7th, 2022
TIME: 3:00 p.m.
PLACE: Via video link or call in (see attached sheet for details)
 To be streamed at
www.hamilton.ca/committeeofadjustment
 for viewing purposes only

PUBLIC INPUT

Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

Orally: If you would like to speak to this item at the hearing you may do so via video link or by calling in. Please see attached page for complete instructions, including deadlines for registering to participate.

MORE INFORMATION

For more information on this matter, including access to drawings illustrating this request:

- Visit www.hamilton.ca/committeeofadjustment
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935
- Email Committee of Adjustment staff at cofa@hamilton.ca

DATED: March 22nd, 2022.

Jamila Sheffield,
 Secretary-Treasurer
 Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public.

Committee of Adjustment

City Hall, 5th Floor,
71 Main St. W.,

Hamilton, ON L8P4Y5



Hamilton

Phone: (905) 546-2424 ext. 4221

Email: cofa@hamilton.ca

APPLICATION FOR A MINOR VARIANCE

FOR OFFICE USE ONLY.

APPLICATION NO. _____ DATE APPLICATION RECEIVED _____

PAID _____ DATE APPLICATION DEEMED COMPLETE _____

SECRETARY'S
SIGNATURE _____

The Planning Act

Application for Minor Variance or for Permission

The undersigned hereby applies to the Committee of Adjustment for the City of Hamilton under Section 45 of the *Planning Act*, R.S.O. 1990, Chapter P.13 for relief, as described in this application, from the Zoning By-law.

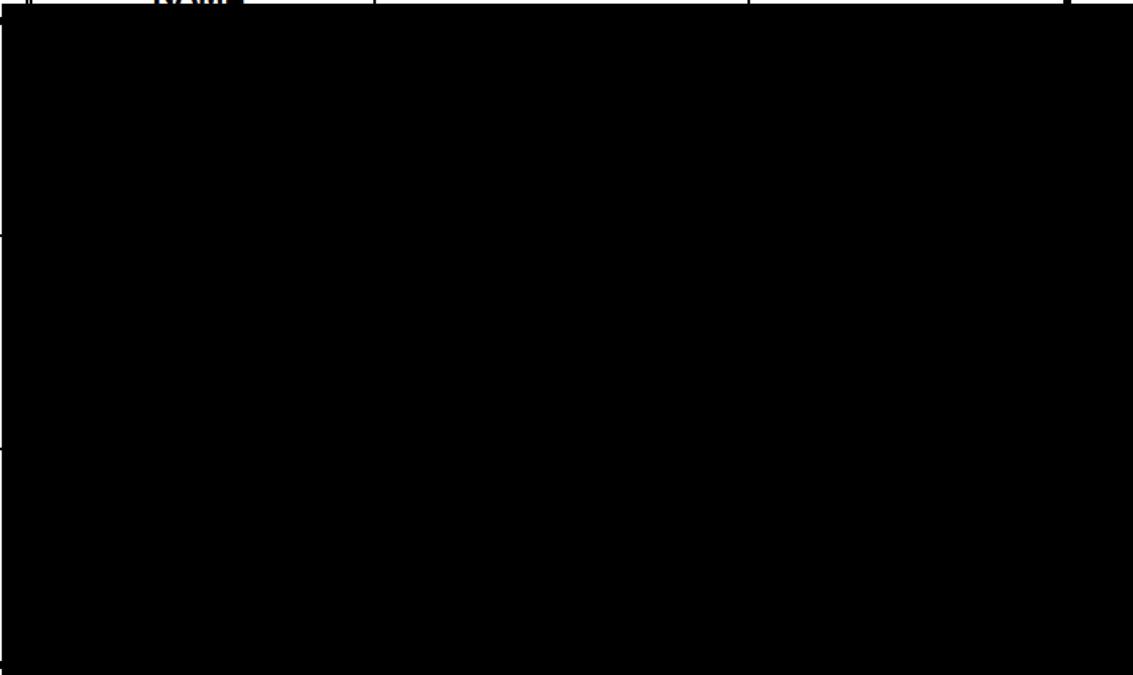
1, 2

NAME	MAILING ADDRESS	
------	-----------------	--

**Registered
Owners(s)**

Applicant(s)*

**Agent or
Solicitor**



Note: Unless otherwise requested all communications will be sent to the agent, if any.

3. Names and addresses of any mortgagees, holders of charges or other encumbrances:

Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled

4. Nature and extent of relief applied for:

Permit multiple dwelling units; Eliminate required loading space; Eliminate requirement that loading, parking and manoeuvring be located on same lot; Modify requirement to have access to roadway from parking area and to utilize existing right-of-way; Allow access driveway to be located 0.0 metres from the common boundary between the "D" District in which the multiple dwelling is located and the district which does not permit such uses, whereas 3.0 metres is required; Permit passage of vehicles from the subject property to the roadway whereas the zone does not permit vehicles travelling from a property zoned for multiple dwellings to pass through an area not zoned for multiple dwellings; Permit a non-paved (gravel) parking surface; and Eliminate requirement for commercial motor vehicles to move readily between the loading spaces and an access driveway.

Secondary Dwelling Unit Reconstruction of Existing Dwelling

5. Why it is not possible to comply with the provisions of the By-law?

The subject property is current zoned "D", which does not permit multiple dwellings. The legally recognized use is a boarding house, but the building has been used as a multiple dwelling with 6 units. The owner is seeking to legally recognize 4 of these multiple dwelling units to allow continued use for rental purposes.

6. Legal description and Address of subject lands (registered plan number and lot number or other legal description and where applicable, **street and street number**):

Part of Lots 9, 11, 12 and 17 (Registered Plan 1436)
130 Wellington Street South

7. PREVIOUS USE OF PROPERTY

Residential Industrial Commercial
Agricultural Vacant Other

Other _____

8.1 If Industrial or Commercial, specify use N/A

8.2 Has the grading of the subject land been changed by adding earth or other material, i.e. has filling occurred?

Yes No Unknown

8.3 Has a gas station been located on the subject land or adjacent lands at any time?

Yes No Unknown

8.4 Has there been petroleum or other fuel stored on the subject land or adjacent lands?

Yes No Unknown

8.5 Are there or have there ever been underground storage tanks or buried waste on the subject land or adjacent lands?

Yes No Unknown

8.6 Have the lands or adjacent lands ever been used as an agricultural operation where cyanide products may have been used as pesticides and/or sewage sludge was applied to the lands?

Yes No Unknown

8.7 Have the lands or adjacent lands ever been used as a weapon firing range?

Yes No Unknown

8.8 Is the nearest boundary line of the application within 500 metres (1,640 feet) of the fill area of an operational/non-operational landfill or dump?

Yes No Unknown

8.9 If there are existing or previously existing buildings, are there any building materials remaining on site which are potentially hazardous to public health (eg. asbestos, PCB's)?

Yes No Unknown

8.10 Is there any reason to believe the subject land may have been contaminated by former uses on the site or adjacent sites?

Yes No Unknown

8.11 What information did you use to determine the answers to 8.1 to 8.10 above?

Knowledge of previous/historical uses for residential (boarding house)

8.12 If previous use of property is industrial or commercial or if YES to any of 8.2 to 8.10, a previous use inventory showing all former uses of the subject land, or if appropriate, the land adjacent to the subject land, is needed.

Is the previous use inventory attached? Yes No

9. ACKNOWLEDGEMENT CLAUSE

I acknowledge that the City of Hamilton is not responsible for the identification and remediation of contamination on the property which is the subject of this Application – by reason of its approval to this Application.

2021-12-01
Date

ACigna

Signature Property Owner(s)

Andrew Cigna
Print Name of Owner(s)

10. Dimensions of lands affected:

Frontage 9.75 m
Depth 64.89 m
Area 631.3 m2
Width of street

11. Particulars of all buildings and structures on or proposed for the subject lands: (Specify ground floor area, gross floor area, number of stories, width, length, height, etc.)

Existing:
12.42 metre high, 2.5-storey structure with 6 multiple dwelling units (not legally recognized); 23.5% lot coverage; 44% floor area ratio; 12.77 metre dwelling depth
4 surface parking spaces in rear yard

Proposed
Existing structure and site conditions (including 4 parking spaces) to remain.
Minor variance required to undertake interior renovations to 4 of the existing units.

12. Location of all buildings and structures on or proposed for the subject lands; (Specify distance from side, rear and front lot lines)

Existing:
Front yard: 5.28 m; Rear yard: 44.17 m; Side Yards: 0.44 m and 0.64 m

Proposed:
Existing to remain

13. Date of acquisition of subject lands:
January 2019
-
14. Date of construction of all buildings and structures on subject lands:
Immediately
-
15. Existing uses of the subject property (single family, duplex, retail, factory etc.):
Multiple dwelling units (not legally recognized); legal Boarding House
16. Existing uses of abutting properties (single family, duplex, retail, factory etc.):
Apartment buildings; multiple dwellings; single detached dwellings
17. Length of time the existing uses of the subject property have continued:
18. Municipal services available: (check the appropriate space or spaces)
- | | | | |
|----------------|-------------------------------------|-----------|-------------------------------------|
| Water | <input checked="" type="checkbox"/> | Connected | <input checked="" type="checkbox"/> |
| Sanitary Sewer | <input checked="" type="checkbox"/> | Connected | <input checked="" type="checkbox"/> |
| Storm Sewers | <input checked="" type="checkbox"/> | | |
19. Present Official Plan/Secondary Plan provisions applying to the land:
Neighbourhoods
20. Present Restricted Area By-law (Zoning By-law) provisions applying to the land:
D – Urban Protected Residential - One and Two Families etc.
21. Has the owner previously applied for relief in respect of the subject property?
Yes No
If the answer is yes, describe briefly.
Zoning By-law Amendment Application ZAR-18-057 denied by Council
22. Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?
Yes No
23. Additional Information
Please refer to correspondence submitted with this application
24. The applicant shall attach to each copy of this application a plan showing the dimensions of the subject lands and of all abutting lands and showing the location, size and type of all buildings and structures on the subject and abutting lands, and where required by the Committee of Adjustment such plan shall be signed by an Ontario Land Surveyor.



Hamilton

COMMITTEE OF ADJUSTMENT

City Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5
 Telephone (905) 546-2424, ext. 4221, 3935 Fax (905) 546-4202
 E-mail: cofa@hamilton.ca

NOTICE OF PUBLIC HEARING Minor Variance

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
- Applicant/agent on file, or
- Person likely to be interested in this application

APPLICATION NO.: HM/A-22:71

APPLICANTS: Agent V. Mohammed
 Owners A. Raza & S. Dekondwar

SUBJECT PROPERTY: Municipal address **775 King St. E., Hamilton**

ZONING BY-LAW: Zoning By-law 05-200, as Amended

ZONING: "TOC3" (Transit Oriented Corridor Multiple Residential) district

PROPOSAL: To permit the establishment of a Multiple Dwelling containing a total of three (3) dwelling units within the existing building notwithstanding that:

1. The finished floor elevation of the ground floor dwelling unit shall be 0.1m (7") above grade whereas the by-law requires the finished floor elevation of any dwelling unit to be at least 0.9m above grade.

This application will be heard by the Committee as shown below:

DATE: Thursday, April 7th, 2022
TIME: 3:10 p.m.
PLACE: Via video link or call in (see attached sheet for details)
 To be streamed at
www.hamilton.ca/committeeofadjustment
 for viewing purposes only

PUBLIC INPUT

Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

Orally: If you would like to speak to this item at the hearing you may do so via video link or by calling in. Please see attached page for complete instructions, including deadlines for registering to participate.

MORE INFORMATION

For more information on this matter, including access to drawings illustrating this request:

HM/A-22: 71

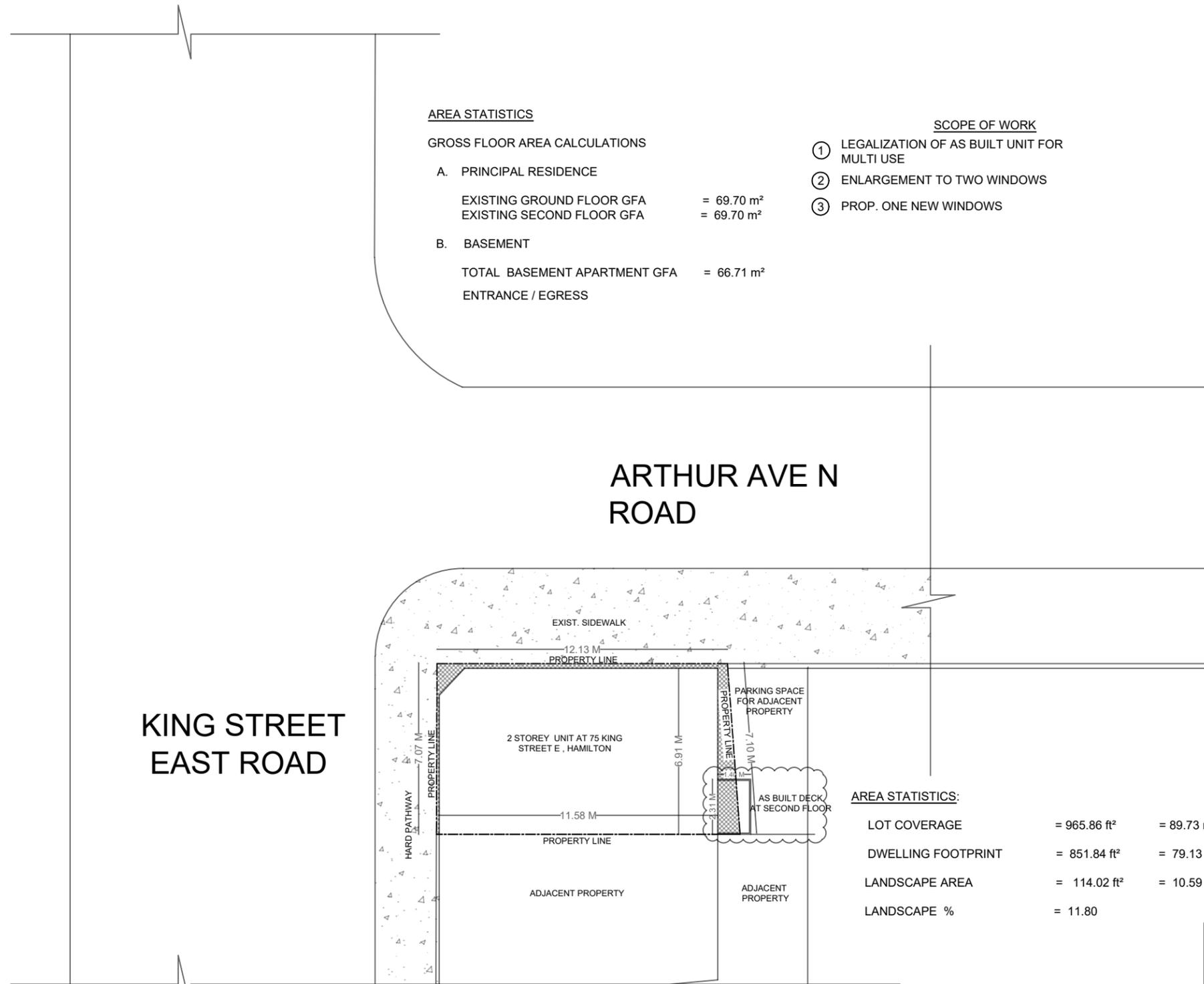
Page 2

- Visit www.hamilton.ca/committeeofadjustment
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935
- Email Committee of Adjustment staff at cofa@hamilton.ca

DATED: March 22nd, 2022.

Jamila Sheffield,
Secretary-Treasurer
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public.



AREA STATISTICS

GROSS FLOOR AREA CALCULATIONS

- A. PRINCIPAL RESIDENCE
 - EXISTING GROUND FLOOR GFA = 69.70 m²
 - EXISTING SECOND FLOOR GFA = 69.70 m²
- B. BASEMENT
 - TOTAL BASEMENT APARTMENT GFA = 66.71 m²
 - ENTRANCE / EGRESS

SCOPE OF WORK

- ① LEGALIZATION OF AS BUILT UNIT FOR MULTI USE
- ② ENLARGEMENT TO TWO WINDOWS
- ③ PROP. ONE NEW WINDOWS

ARTHUR AVE N ROAD

KING STREET EAST ROAD

AREA STATISTICS:

- LOT COVERAGE = 965.86 ft² = 89.73 m²
- DWELLING FOOTPRINT = 851.84 ft² = 79.13 m²
- LANDSCAPE AREA = 114.02 ft² = 10.59 m²
- LANDSCAPE % = 11.80

NO.	DESCRIPTION	DATE
0	FOR BUILDING PERMIT	FEB/ 28 / 2022

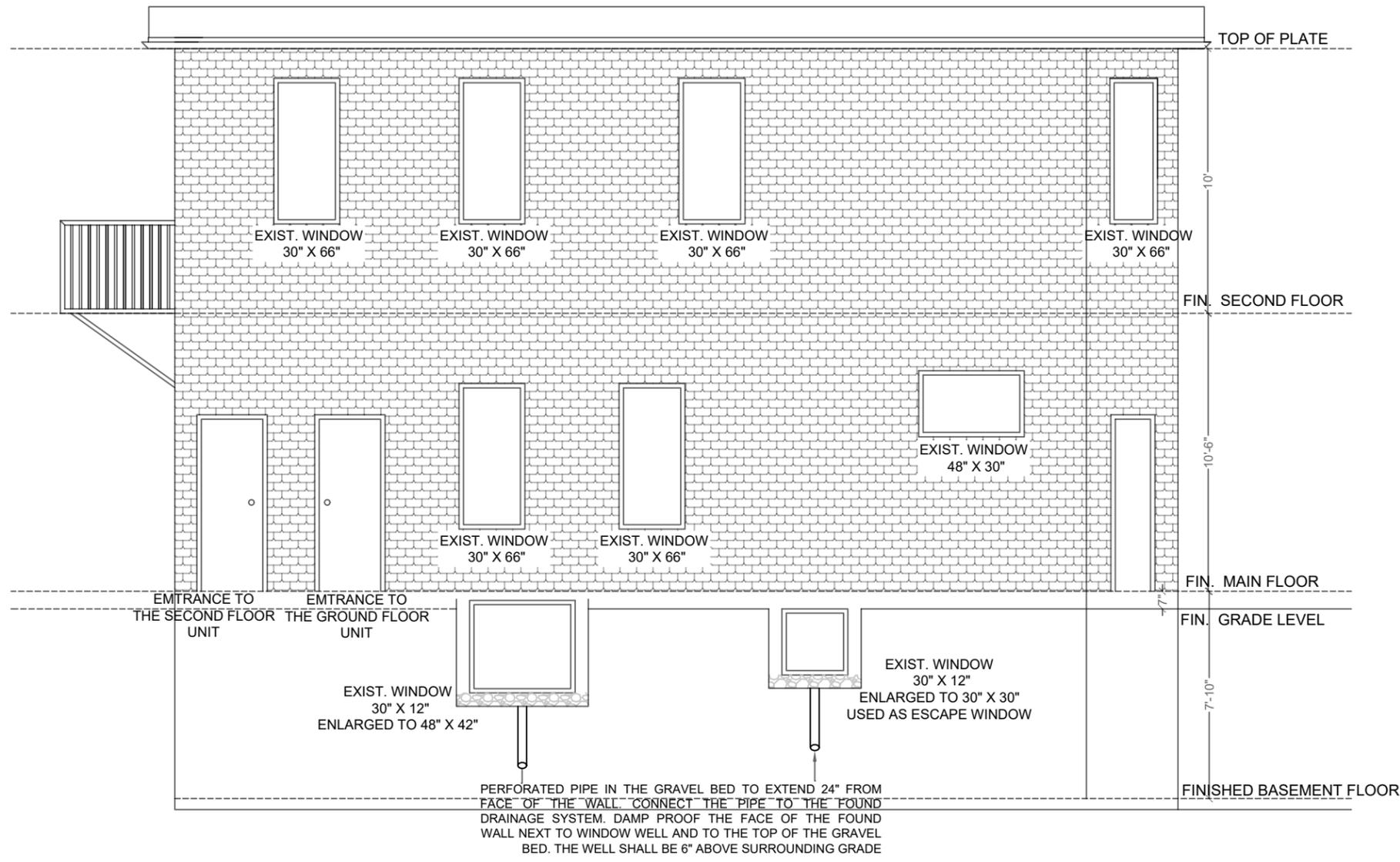
ENGINEER:
 **Mechways Inc.**
 2751 THAMESGATE DR.
 MISSISSAUGA, ON.
 TEL: 905-678-7778
 mechways@gmail.com

PROJECT:
**775 KING STREET E,
 HAMILTON**

TITLE:
SITE PLAN

CHECKED: MS	DRAWING:
DRAWN: MA	SP1.01
SCALE: 1:200	
DATE: FEB/ 28 / 2022	





0	FOR BUILDING PERMIT	JUNE/ 7 / 2021
NO.	DESCRIPTION	DATE

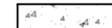
ENGINEER:
 **Mechways Inc.**
 2751 THAMESGATE DR.
 MISSISSAUGA, ON.
 TEL: 905-678-7778
 mechways@gmail.com

PROJECT:
 775 KING STREET E,
 HAMILTON

TITLE:
FRONT ELEVATION

CHECKED: MS	DRAWING:
DRAWN: MA	A2.01
SCALE: $\frac{3}{16}$ "=1'	
DATE: JUNE/ 7 / 2021	



 EXISTING FOUNDATION WALL

 DRY WALL

 SB-3 TABLE-1
WALL TYPE W4a AND 51 STC

- 38mm x 89mm WOOD STUDS SPACED 406mm OR 610mm O.C.
- 89mm THICK ABSORPTIVE MATERIAL
- RESILIENT METAL CHANNELS ON ONE SIDE SPACED 406mm OR 610mm O.C.
- 2 LAYERS OF GYPSUM BOARD ON RESILIENT METAL CHANNEL SIDE
- 1 LAYER OF GYPSUM BOARD ON OTHER SIDE
- STUDS WITH SPACED 406mm O.C.
- 15.9mm TYPE X GYPSUM BOARD
- FIRE RESISTANCE RATING 1hr AND 51 STC

 DUCT-TYPE SMOKE DETECTOR TO BE INSTALLED IN THE SUPPLY OR RETURN AIR DUCT SYSTEM SERVING THE ENTIRE BUILDING THAT MUST TURN OFF THE FUEL SUPPLY AND ELECTRICAL POWER TO THE HEATING SYSTEM UPON ACTIVATION

 SMOKE ALARMS ARE INSTALLED IN EVERY DWELLING UNIT AND COMMON AREAS IN CONFORMANCE WITH OBC 9.10.19. SMOKE ALARM SHALL BE WIRED AND INTERCONNECTED FOR THE ENTIRE BUILDING

 CARBON MONO OXIDE ALARM

 SPRINKLER

 EXIST. HORIZONTAL SEPARATION 15 MINUTE F.R.R. (EXISTING 1/2" GYPSUM BOARD CEILING)

 EXHAUST FAN

 EMERGENCY LIGHT

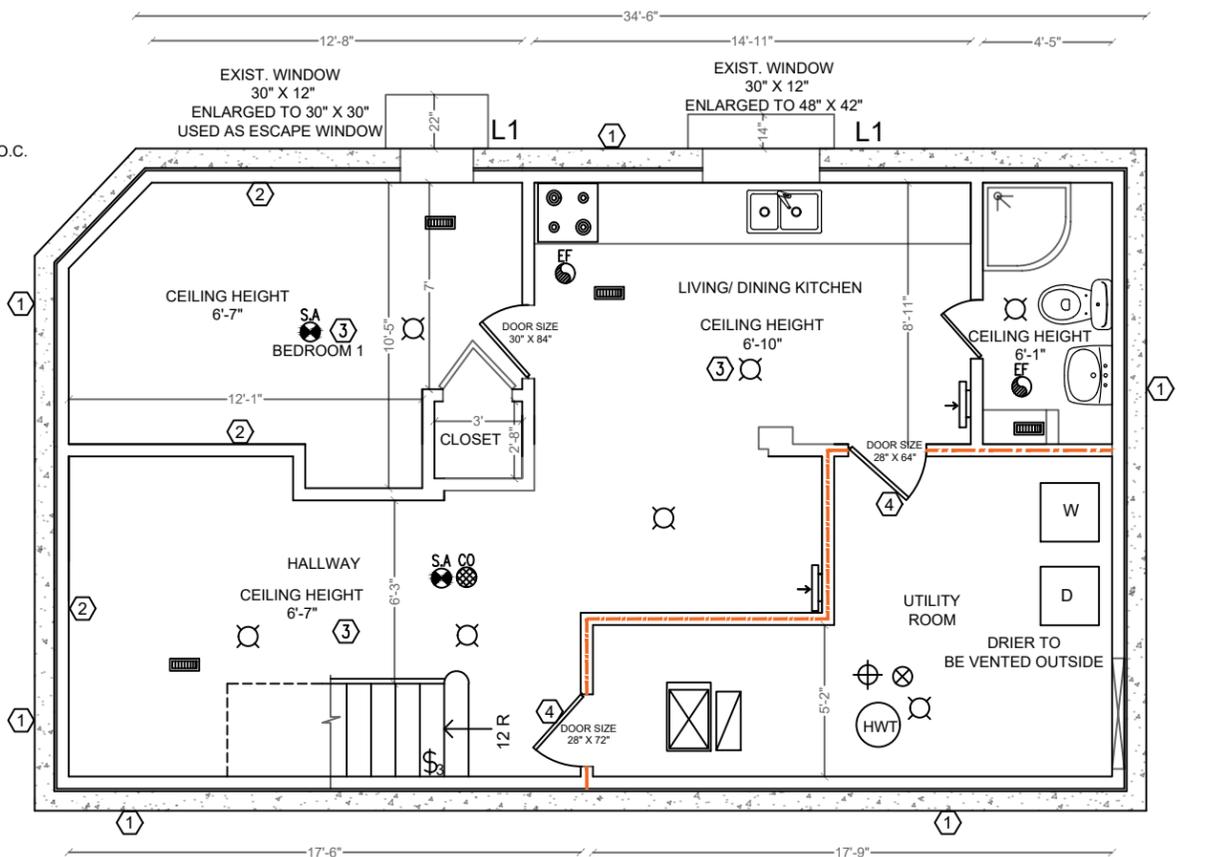
 SAR (SUPPLY AIR REGISTER)

 RAG (RETURN AIR GRILLE)

 PROVIDE 30 MINUTE F.R.R. (2 NOS TYPE 'X' 5/8" BOARD) UNDER THE STAIR SOFFIT/CEILING AND ON THE WALLS ENCLOSING STAIRWAYS CONNECTING BASEMENT TO MAIN FLOOR

 20 MIN. FIRE RESISTANCE RATED DOOR FOR COMMON AREA AND BETWEEN BASEMENT APARTMENT AND PRINCIPAL RESIDENCE WITH SELF CLOSING DEVICE

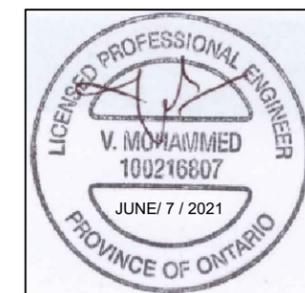
 L1
2-2"x8" WOOD LINTEL & 1-3.5"x3.5"x0.25" STEEL LINTEL. MINIMUM BEARING OF STEEL LINTEL 150 mm EACH SIDE. MINIMUM BEARING OF WOOD LINTEL 90 mm ON EACH SIDE



PROP. BASEMENT PLAN

BASEMENT APARTMENT GFA = 718.11 ft² / 66.71 m²
 CEILING HEIGHT = 6'-10"
 CEILING HEIGHT U/S OF DUCT = 6'-5"
 CEILING HEIGHT SHALL NOT BE LESS THAN 6'-5" OVER ALL REQUIRED ROOM AREAS, UNDER BEAMS, DUCTS AND ANY LOCATION NORMALLY USED AS A MEANS OF EGRESS

CALCULATION OF GLASS AREA AS PER COMPLIANCE ALTERNATIVE C107 PART 11 OF OBC 2012				
ROOM TYPE	ROOM AREA (SFT)	GLASS AREA REQUIRED (SFT)	WINDOW SIZE	EXIST. / PROP. GLASS AREA (SFT)
LIVING, DINING & KITCHEN	202.39	@ 5% = 10.11	48" X 42"	12.60
BEDROOM 1	133.65	@ 2.5% = 3.34	30" X 30"	5.62



NO.	DESCRIPTION	DATE
0	FOR BUILDING PERMIT	JUNE/ 7 / 2021

ENGINEER:

 2751 THAMESGATE DR.
 MISSISSAUGA, ON.
 TEL: 905-678-7778
 mechways@gmail.com

PROJECT:
 775 KING STREET E,
 HAMILTON

TITLE:
PROP. BASEMENT PLAN

CHECKED: MS	DRAWING:
DRAWN: MA	A1.01
SCALE: 1:75	
DATE: JUNE/ 7 / 2021	

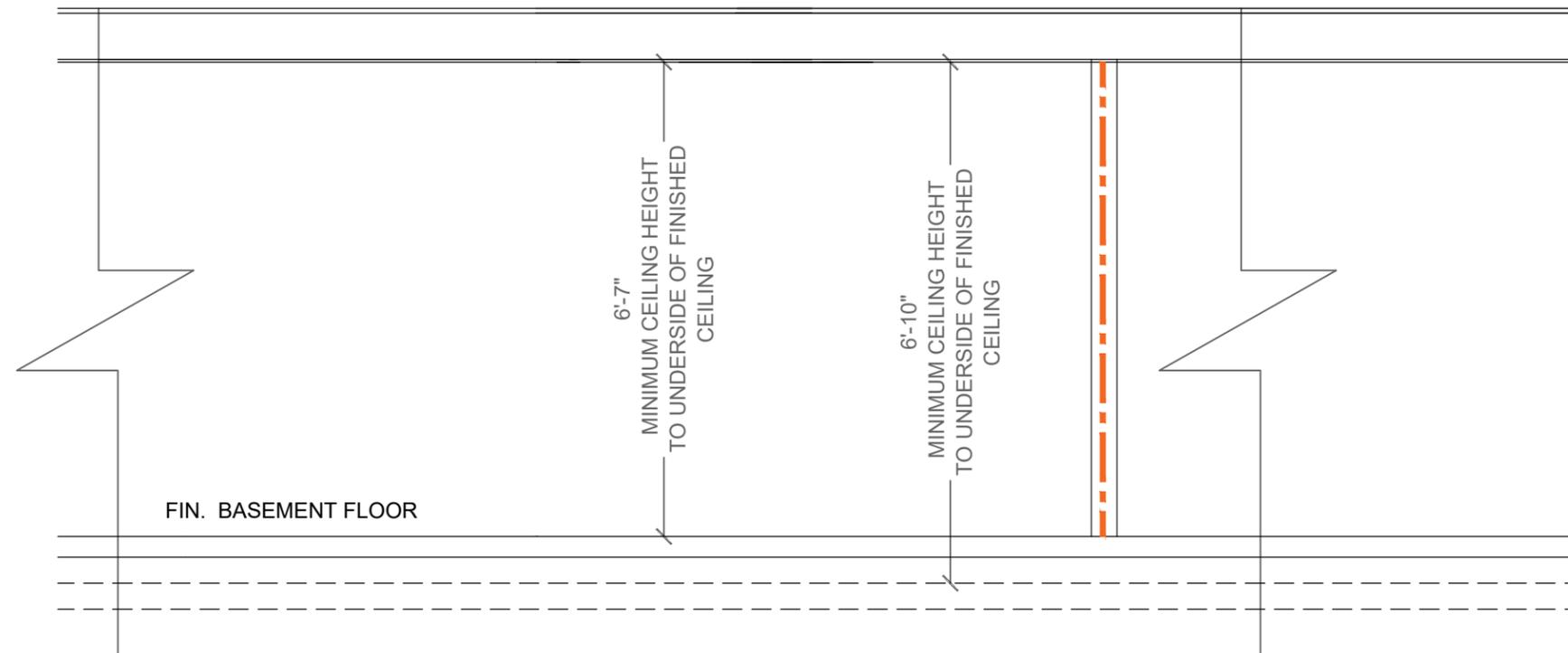
SB-3 TABLE-1

WALL TYPE W4a AND 51 STC

- 38mm x 89mm WOOD STUDS SPACED 406mm OR 610mm O.C.
- 89mm THICK ABSORPTIVE MATERIAL
- RESILIENT METAL CHANNELS ON ONE SIDE SPACED 406mm OR 610mm O.C.
- 2 LAYERS OF GYPSUM BOARD ON RESILIENT METAL CHANNEL SIDE
- 1 LAYER OF GYPSUM BOARD ON OTHER SIDE
- STUDS WITH SPACED 406mm O.C.
- 15.9mm TYPE X GYPSUM BOARD
- FIRE RESISTANCE RATING 1hr AND 51 STC

EXIST.HORIZONTAL SEPARATION 15
MINUTE F.R.R (EXISTING 1/2" GYPSUM BOARD
CEILING)

FIN. GROUND FLOOR



SECTION A-A

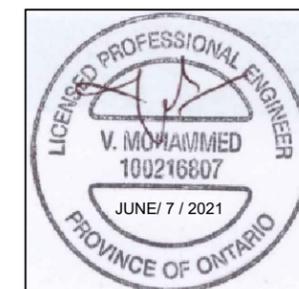
0	FOR BUILDING PERMIT	JUNE/ 7 / 2021
NO.	DESCRIPTION	DATE

ENGINEER:
 **Mechways Inc.**
 2751 THAMESGATE DR.
 MISSISSAUGA, ON.
 TEL: 905-678-7778
 mechways@gmail.com

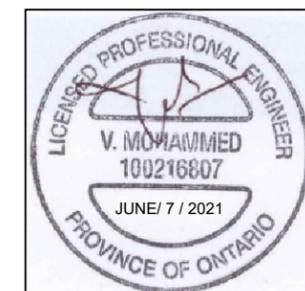
PROJECT:
 775 KING STREET E,
 HAMILTON

TITLE:
SECTION PLAN

CHECKED: MS	DRAWING:
DRAWN: MA	S4.01
SCALE: 3/8"=1'	
DATE: JUNE/ 7 / 2021	



Name of Practice: Address: 2751 Thamesgate Drive, Mississauga, ON Tel: 416-627-4100 Email: info@mechways.com Website: www.mechways.com					
Name of Project: 775 KING STREET Location: 775 KING STREET EAST, HAMILTON					
Item	Ontario Building Code Data Matrix Parts 3 or 9			Building Code Reference	
				References are to Division B unless noted [A] for Division A or [C] for Division C.	
1	Project Description:	<input type="checkbox"/> New <input type="checkbox"/> Addition <input type="checkbox"/> Change of Use <input checked="" type="checkbox"/> Alteration	<input type="checkbox"/> Part 11 11.1 to 11.4	<input checked="" type="checkbox"/> Part 3 1.1.2. [A]	<input checked="" type="checkbox"/> Part 9 1.1.2. [A] & 9.10.1.3.
2	Major Occupancy(s)	GROUP C			3.1.2.1.(1) 9.10.2.
3	Building Area (m ²)	Existing 206.11 m ²	New _____ Total _____	1.4.1.2. [A]	1.4.1.2. [A]
4	Gross Area	Existing 206.11 m ²	New _____ Total _____	1.4.1.2. [A]	1.4.1.2. [A]
5	Number of Storeys	Above grade 2	Below grade 1	1.4.1.2. [A]&3.2.1.1.	1.4.1.2[A] & 9.10.4
6	Number of Streets/Fire Fighter Access	2			3.2.2.10. & 3.2.5. 9.10.20.
7	Building Classification	C			3.2.2.20.-.83 9.10.2.
8	Sprinkler System Proposed	<input checked="" type="checkbox"/> entire building <input type="checkbox"/> selected compartments <input type="checkbox"/> selected floor areas <input type="checkbox"/> basement <input type="checkbox"/> in lieu of roof rating <input type="checkbox"/> not required			3.2.2.20.-.83 9.10.8.2. 3.2.1.5. 3.2.2.17. INDEX INDEX
9	Standpipe required	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No			3.2.9. N/A
10	Fire Alarm required	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No			3.2.4. 9.10.18.
11	Water Service/Supply is Adequate	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No			3.2.5.7. N/A
12	High Building	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No			3.2.6. N/A
13	Construction Restrictions	<input type="checkbox"/> Combustible permitted <input type="checkbox"/> Combustible	<input type="checkbox"/> Non-combustible required <input type="checkbox"/> Non-combustible	<input checked="" type="checkbox"/> Both <input checked="" type="checkbox"/> Both	3.2.2.20.-.83 9.10.6.
14	Mezzanine(s) Area m ²				3.2.1.1.(3)-(8) 9.10.4.1.
15	Occupant load based on	<input type="checkbox"/> m ² /person <input checked="" type="checkbox"/> design of building Load 6 persons Load _____ persons	3.1.17. 9.9.1.3.		
16	Barrier-free Design	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No (Explain)			3.8. 9.5.2.
17	Hazardous Substances	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No			3.3.1.2. & 3.3.1.19. 9.10.1.3.(4)
18	Required Fire Resistance Rating (FRR)	Horizontal Assemblies FRR (Hours)	Listed Design No. or Description (SG-2)	3.2.2.20.-.83 & 3.2.1.4.	9.10.8. 9.10.9.
		Floors 3/4 House			
		Roof _____ Hours			
		Mezzanine N/A Hours			
		FRR of Supporting Members	Listed Design No. Or Description (SG-2)		
		Floors 3/4 Hours			
		Roof N/A Hours			
		Mezzanine N/A Hours			
19	Plumbing Fixture Requirements				Building Code Reference
Male/Female Count @ 50 % / 50 %, except as noted otherwise		Occupant Load	BC Table Number	Fixtures Required	Fixtures Provided
Main Floor: Occupancy GROUP D		6			1 WATER CLOSET 2 LAVATORIES
EXIT INFORMATION		2		3.4.2.1.(1)	
20	Minimum Number of Exits	Travel distance to at least one exit shall be not more than 45 m		3.4.2.5.(b).	
21	Distance To Exist/s				



0	FOR BUILDING PERMIT	JUNE/ 7 / 2021
NO.	DESCRIPTION	DATE

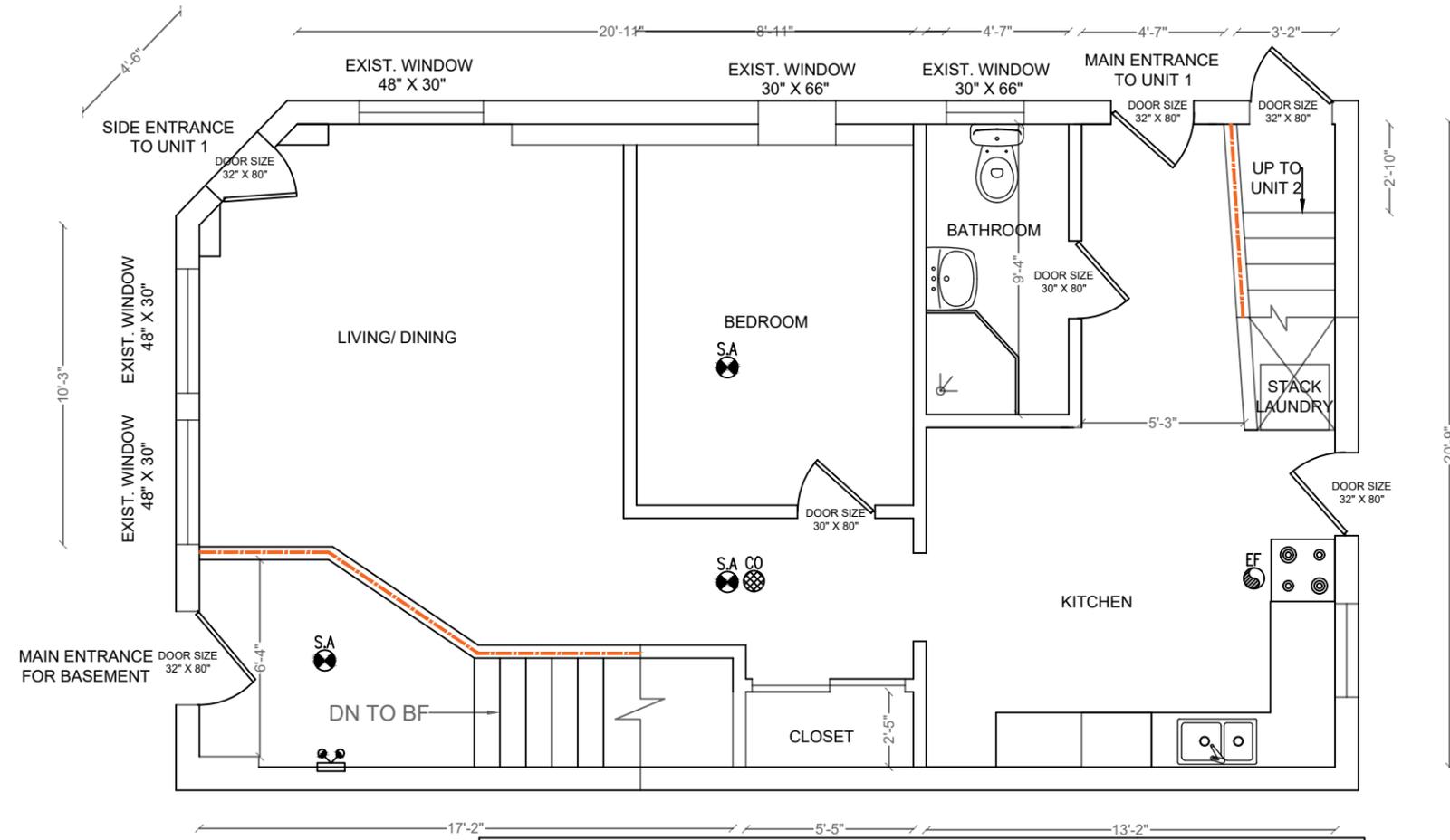
ENGINEER:

Mechways Inc.
 2751 THAMESGATE DR.
 MISSISSAUGA, ON.
 TEL: 905-678-7778
 mechways@gmail.com

PROJECT:
 775 KING STREET E,
 HAMILTON

TITLE:
O.B.C MATRIX

CHECKED: MS	DRAWING:
DRAWN: MA	A0.01
SCALE: N/A	
DATE: JUNE/ 7 / 2021	



CALCULATION OF GLASS AREA AS PER COMPLIANCE ALTERNATIVE C107 PART 11 OF OBC 2012

ROOM TYPE	ROOM AREA (SFT)	GLASS AREA REQUIRED (SFT)	WINDOW SIZE	EXIST. / PROP. GLASS AREA (SFT)
LIVING, DINING & KITCHEN	176.34	@ 5% = 8.81	48" X 30"	27
BEDROOM 1	103.28	@ 2.5% = 2.58	30" X 66"	12.37

NO.	DESCRIPTION	DATE
0	FOR BUILDING PERMIT	JUNE/ 7 / 2021

ENGINEER:

 2751 THAMESGATE DR.
 MISSISSAUGA, ON.
 TEL: 905-678-7778
 mechways@gmail.com

PROJECT:
 775 KING STREET E,
 HAMILTON

TITLE:
GROUND FLOOR PLAN

CHECKED: MS	DRAWING:
DRAWN: MA	A1.02
SCALE: 3/16"=1'	
DATE: JUNE/ 7 / 2021	





Committee of Adjustment
 City Hall, 5th Floor,
 71 Main St. W.,
 Hamilton, ON L8P4Y5

Phone: (905) 546-2424 ext. 4221
 Email: cofa@hamilton.ca

APPLICATION FOR A MINOR VARIANCE

FOR OFFICE USE ONLY.	
APPLICATION NO. _____	DATE APPLICATION RECEIVED _____
PAID _____	DATE APPLICATION DEEMED COMPLETE _____
SECRETARY'S SIGNATURE _____	

The Planning Act

Application for Minor Variance or for Permission

The undersigned hereby applies to the Committee of Adjustment for the City of Hamilton under Section 45 of the *Planning Act*, R.S.O. 1990, Chapter P.13 for relief, as described in this application, from the Zoning By-law.

1, 2	NAME	MAILING ADDRESS
Registered Owners(s)		
Applicant(s)*		
Agent or Solicitor		

Note: Unless otherwise requested all communications will be sent to the agent, if any.

3. Names and addresses of any mortgagees, holders of charges or other encumbrances:

Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled

4. Nature and extent of relief applied for:

The elevation of the finished floor of the dwelling is 0.17 M above the grade. But as per the zoning by law the minimum requirement is 0.9 M above the grade. Hence applied for a variance of 0.73 M.

Secondary Dwelling Unit Reconstruction of Existing Dwelling FOR MULTIUSE

5. Why it is not possible to comply with the provisions of the By-law?

As per the zoning by law 05-200, there is a minimum requirement of the elevation of the floor to be 0.9 M above the grade. But as the existing dwelling unit is as built, the requirement could not be met.

6. Legal description and Address of subject lands (registered plan number and lot number or other legal description and where applicable, **street and street number**):

775 King St E Hamilton, ON L8M 1A7

7. PREVIOUS USE OF PROPERTY

Residential Industrial Commercial
 Agricultural Vacant Other

Other _____

8.1 If Industrial or Commercial, specify use _____

8.2 Has the grading of the subject land been changed by adding earth or other material, i.e. has filling occurred?

Yes No Unknown

8.3 Has a gas station been located on the subject land or adjacent lands at any time?

Yes No Unknown

8.4 Has there been petroleum or other fuel stored on the subject land or adjacent lands?

Yes No Unknown

8.5 Are there or have there ever been underground storage tanks or buried waste on the subject land or adjacent lands?

Yes No Unknown

8.6 Have the lands or adjacent lands ever been used as an agricultural operation where cyanide products may have been used as pesticides and/or sewage sludge was applied to the lands?

Yes No Unknown

8.7 Have the lands or adjacent lands ever been used as a weapon firing range?

Yes No Unknown

8.8 Is the nearest boundary line of the application within 500 metres (1,640 feet) of the fill area of an operational/non-operational landfill or dump?

Yes No Unknown

8.9 If there are existing or previously existing buildings, are there any building materials remaining on site which are potentially hazardous to public health (eg. asbestos, PCB's)?

Yes No Unknown

8.10 Is there any reason to believe the subject land may have been contaminated by former uses on the site or adjacent sites?

Yes No Unknown

8.11 What information did you use to determine the answers to 8.1 to 8.10 above?

PROPERTY OWNER

8.12 If previous use of property is industrial or commercial or if YES to any of 8.2 to 8.10, a previous use inventory showing all former uses of the subject land, or if appropriate, the land adjacent to the subject land, is needed.

Is the previous use inventory attached? Yes No

9. ACKNOWLEDGEMENT CLAUSE

I acknowledge that the City of Hamilton is not responsible for the identification and remediation of contamination on the property which is the subject of this Application – by reason of its approval to this Application.

December 12, 2021

Date

Signature Property Owner(s)

AMAAN RAZA .Sheetal Dekondwar

Print Name of Owner(s)

10. Dimensions of lands affected:

Frontage 11.58 M
 Depth 6.91 M
 Area 89.73 Sq M
 Width of street

11. Particulars of all buildings and structures on or proposed for the subject lands: (Specify ground floor area, gross floor area, number of stories, width, length, height, etc.)

Existing: Ground floor area: 69.7 Sq M
 Second floor area: 69.7 Sq.M
 Basement apartment area: 66.71 Sq.M
 Gross floor area: 206.11 Sq.M
 Dwelling footprint : 79.13 Sq.M
 Landscape area: 10.59 Sq.M

Proposed: Ground floor area: 69.7 Sq.M
 Second floor area: 69.7 Sq.M
 Basement apartment area: 66.71 Sq.M
 Gross floor area: 206.11 Sq.M
 Dwelling footprint: 79.13 Sq.M
 Landscape area: 10.59 Sq.M

12. Location of all buildings and structures on or proposed for the subject lands; (Specify distance from side, rear and front lot lines)

Existing: Front and Left side: Hard pathway
 Rear side: Adjacent property
 Right side: Parking area

Proposed: Front and Left side :Hard pathway
 Rear side: Adjacent property
 Right side: Parking area

13. Date of acquisition of subject lands:
Dec 04, 2020
14. Date of construction of all buildings and structures on subject lands:
Year of construction is 1920
15. Existing uses of the subject property (single family, duplex, retail, factory etc.):
 Residential
16. Existing uses of abutting properties (single family, duplex, retail, factory etc.):
 Residential
17. Length of time the existing uses of the subject property have continued:
 Since 1920
18. Municipal services available: (check the appropriate space or spaces)
- | | | | |
|----------------|-------------------------------------|-----------|--------------------------|
| Water | <input checked="" type="checkbox"/> | Connected | <input type="checkbox"/> |
| Sanitary Sewer | <input checked="" type="checkbox"/> | Connected | <input type="checkbox"/> |
| Storm Sewers | <input checked="" type="checkbox"/> | | |
19. Present Official Plan/Secondary Plan provisions applying to the land:
20. Present Restricted Area By-law (Zoning By-law) provisions applying to the land:
21. Has the owner previously applied for relief in respect of the subject property?
 Yes No
 If the answer is yes, describe briefly.
22. Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?
 Yes No
23. Additional Information
24. The applicant shall attach to each copy of this application a plan showing the dimensions of the subject lands and of all abutting lands and showing the location, size and type of all buildings and structures on the subject and abutting lands, and where required by the Committee of Adjustment such plan shall be signed by an Ontario Land Surveyor.



Hamilton

COMMITTEE OF ADJUSTMENT

City Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5
 Telephone (905) 546-2424, ext. 4221, 3935 Fax (905) 546-4202
 E-mail: cofa@hamilton.ca

NOTICE OF PUBLIC HEARING
Minor Variance

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
- Applicant/agent on file, or
- Person likely to be interested in this application

APPLICATION NO.: HM/A-22:20

APPLICANTS: Owners R. & C. Trowbridge

SUBJECT PROPERTY: Municipal address **27 Graham Ave. S., Hamilton**

ZONING BY-LAW: Zoning By-law 6593, as Amended

ZONING: "C" (Urban Protected Residential) district

PROPOSAL: To fully enclose the existing roofed-over unenclosed one-storey porch at the first storey level and to construct an uncovered front porch with stairs for an existing single family dwelling notwithstanding that:

1. A minimum front yard depth of 2.5m shall be permitted instead of the minimum required front yard depth of 6.0m.
2. The uncovered front porch including stairs at the first storey shall be permitted to project into the required front yard and shall be 0.0m from the Graham Avenue South street line instead of the requirement that an uncovered porch which does not extend more than 1.0m above the floor level of the first storey, may project into a required yard, if distant at least 1.5m from the nearest street line

NOTE:

- i) The Applicant advised staff in a February 14, 2022 email that while the front yard landscaping presently doesn't conform to the requirement that not less than 50% of the gross area of the front yard shall be used for a landscaped area excluding concrete, asphalt, gravel, pavers, or other similar materials, he has advised that the intention is to bring the front yard landscaping to the 50% that is required by-law in the spring when weather permits. If zoning compliance is not achieved, a further variance shall be required.

This application will be heard by the Committee as shown below:

DATE: Thursday, April 7th, 2022
TIME: 3:15 p.m.
PLACE: Via video link or call in (see attached sheet for details)
 To be streamed at
www.hamilton.ca/committeeofadjustment
 for viewing purposes only

HM/A-22: 20
Page 2

PUBLIC INPUT

Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

Orally: If you would like to speak to this item at the hearing you may do so via video link or by calling in. Please see attached page for complete instructions, including deadlines for registering to participate.

MORE INFORMATION

For more information on this matter, including access to drawings illustrating this request:

- Visit www.hamilton.ca/committeeofadjustment
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935
- Email Committee of Adjustment staff at cofa@hamilton.ca

DATED: March 22nd, 2022.

Jamila Sheffield,
Secretary-Treasurer
Committee of Adjustment

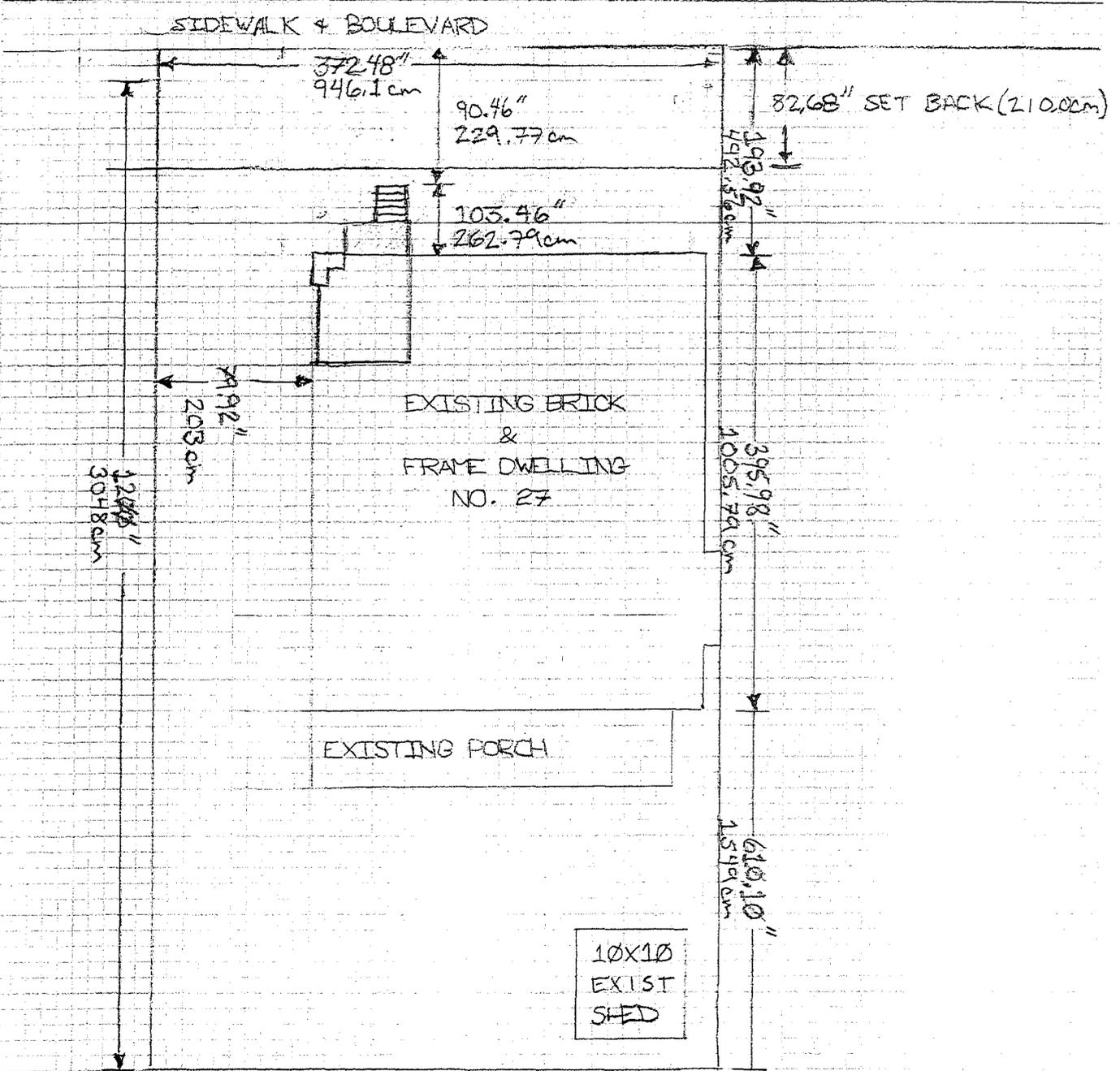
Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public.

SITE PLAN 27 GRAHAM AVE SOUTH

SCALE : BEST I COULD DO! HAMILTON, ONTARIO
OWNERS SKETCH OF EXISTING & PROPOSED

REVISED
DWG
NO. 1

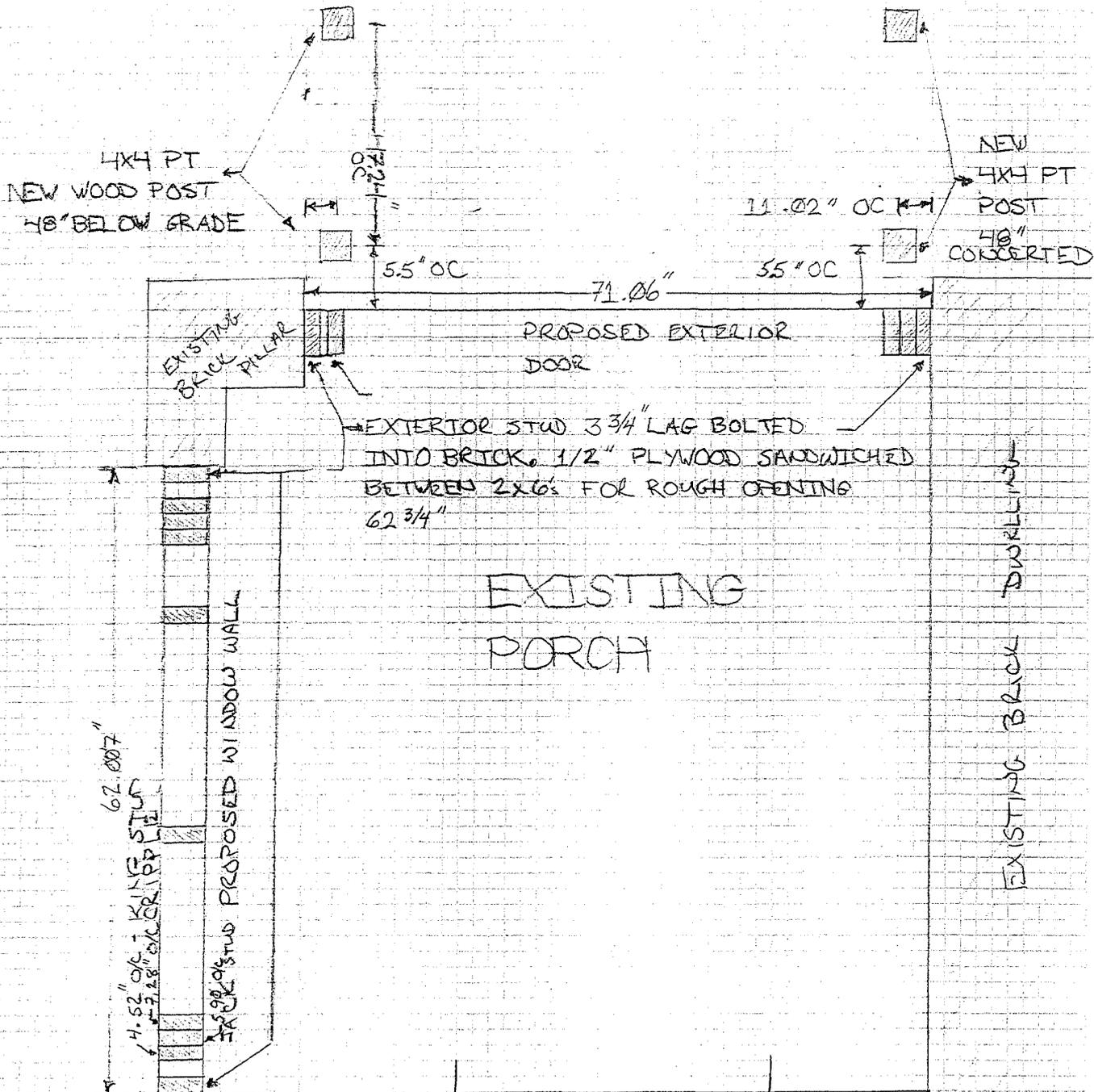
GRAHAM AVE. SOUTH



TOP VIEW

DWG NO. 2

PROPOSED PORCH ENCLOSURE



4x4 PT
NEW WOOD POST
48" BELOW GRADE

NEW
4x4 PT
POST
48"
CONCRETE

EXISTING
BRICK
PILLAR

PROPOSED EXTERIOR
DOOR

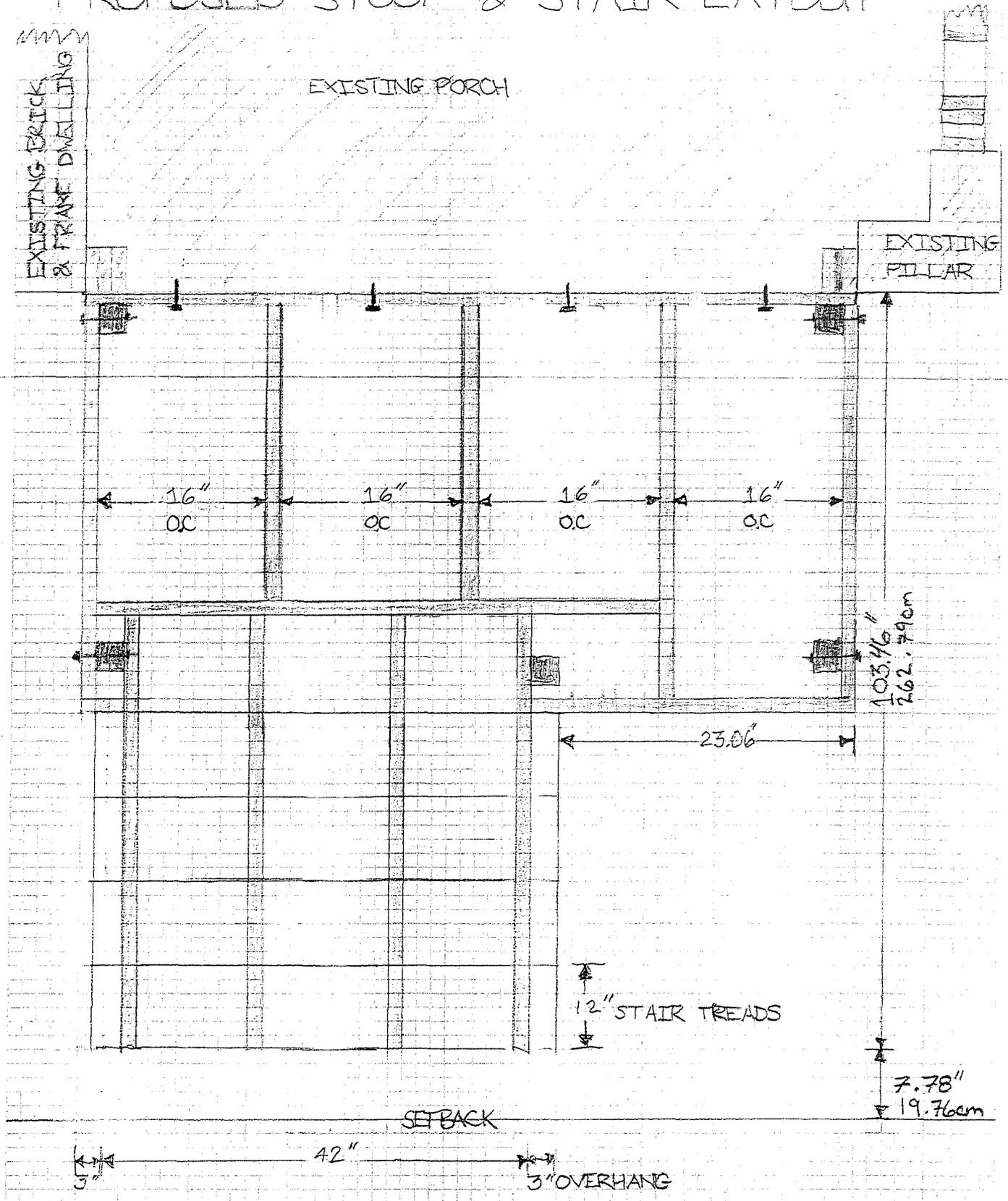
EXTERIOR STUD 3 3/4" LAG BOLTED
INTO BRICK. 1/2" PLYWOOD SANDWICHED
BETWEEN 2x6s FOR ROUGH OPENING
62 3/4"

EXISTING
PORCH

EXISTING BRICK DWELLING

EXISTING BRICK DWELLING

DWG NO. 3A PROPOSED STOOP & STAIR LAYOUT



PROPOSED STOOP & STAIRS

REVISED

DWG NO. 388

HEIGHT OF FIRST STEP: 6.87" (17.45cm)

TREAD DEPTH: 12" (30.48cm)

STEPS ON STRINGER: 5

STRINGER LENGTH: 71.22" (1809.00cm)

STAIR RAIL ANGLE: 35.3°

RISE: 39.37" (100.00cm)

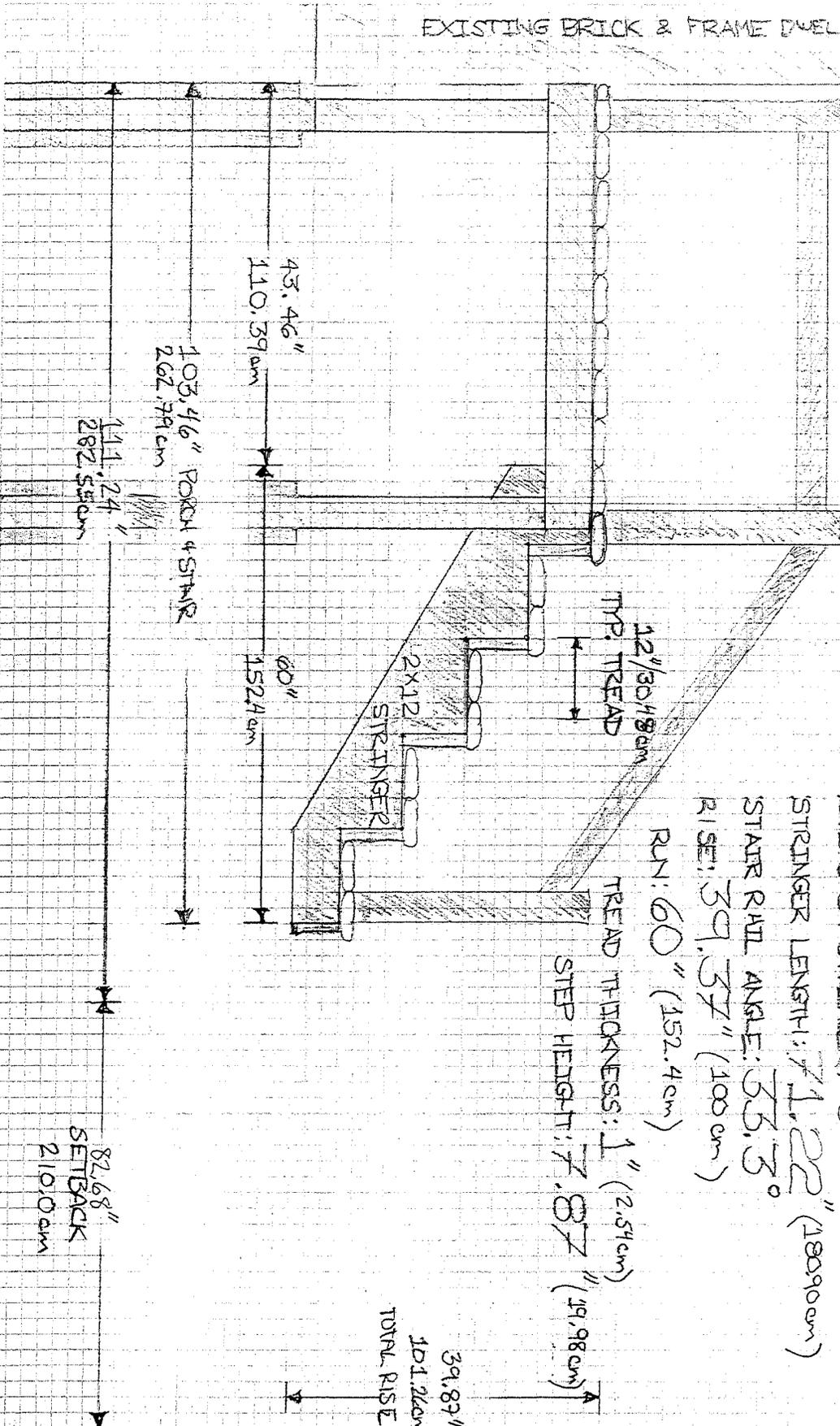
RUN: 60" (152.40cm)

TREAD THICKNESS: 1" (2.54cm)

STEP HEIGHT: 7.87" (19.98cm)

39.87"
101.26cm
TOTAL RISE

EXISTING BRICK & FRAME DWELLING



43.46"
110.39cm

103.46" POOR 4" STAIR
262.79cm

141.24"
282.55cm

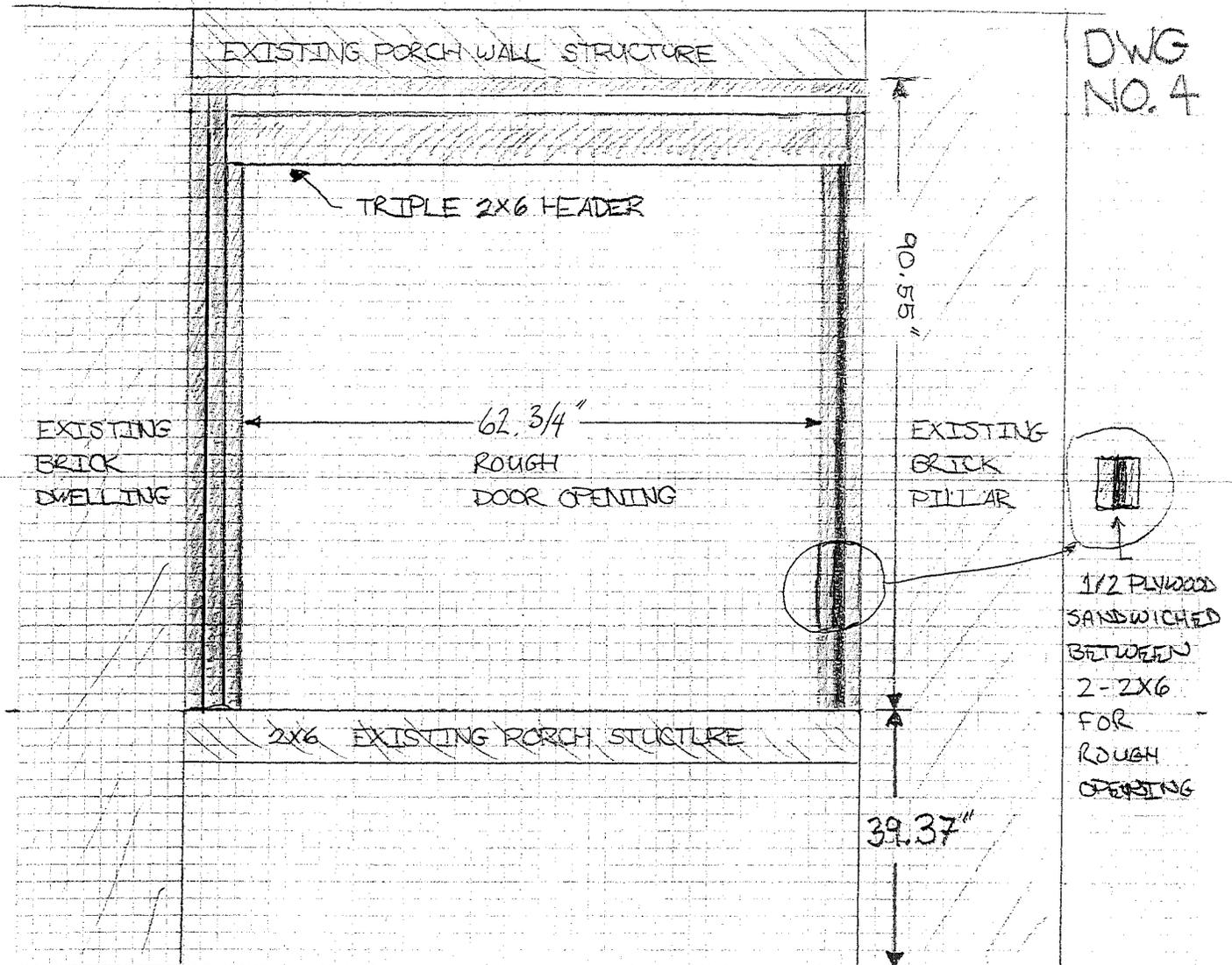
82.68"
210.00cm
SETBACK

60"
152.4cm

39.87"

PROPOSED FRONT PORCH DOOR WALL

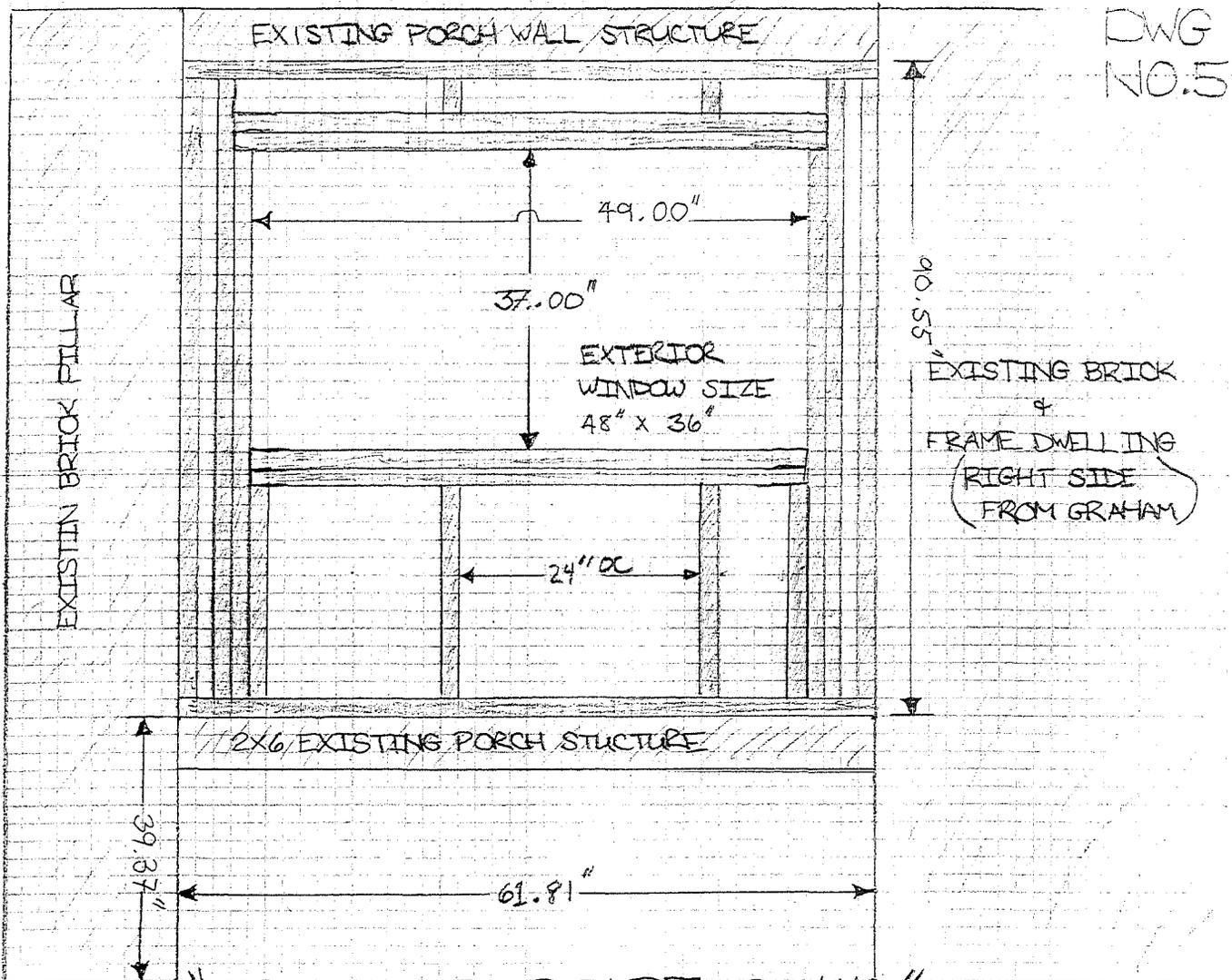
DWG
NO. 4



- ALL 2X6 STUD CONSTRUCTION USING 3" CONSTRUCTION SCREWS
- OUTER 2X6 STUDS LAG BOLTED TO BRICK USING 3 3/4" TAPCON INTO BRICK 2 1/4" DEPTH.
- 1/2" PT EXTERIOR PLYWOOD CLADDING
- NOVAWRAP BUILDING WRAP ON ALL EXTERIOR EXPOSED LUMBER + CLADDING
- FINISH EXTERIOR SMART SIDE PANELS

PROPOSED FRONT PORCH WINDOW WALL

DWG
NO.5

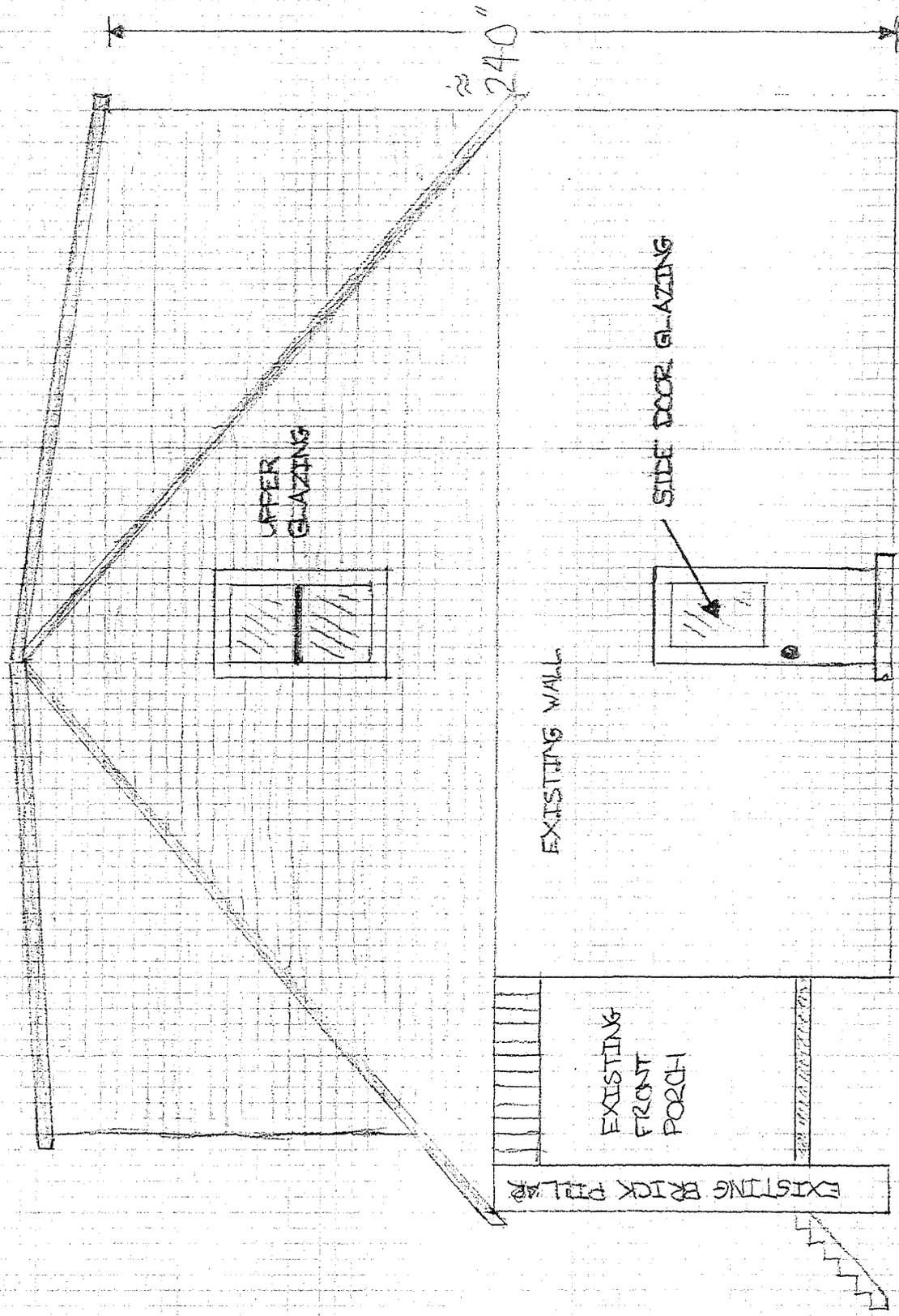


• "NON LOAD BEARING WALL"

- ALL 2X6 STUD CONSTRUCTION USING 3" CONSTRUCTION SCERWS
- OUTER 2X6 STUDS LAG BOLTED TO BRICK USING 3 3/4" TAPCON INTO BRICK 2 1/4" DEPTH
- 1/2" PT EXTERIOR PLYWOOD CLADDING
- NOVAWRAP BUILDING WRAP ON ALL EXPOSED LUMBER & CLADDING
- FINISH EXTERIOR SMARTSIDE PANELS
- EXTERIOR WINDOW LOW-E & ARGON GLASS 48" x 36"

EXISTING EXTERIOR SIDE ELEVATION

DWG
NO. 6



EXISTING WALL

SIDE DOOR GLAZING

UPPER
GLAZING

EXISTING
FRONT
PORCH

EXISTING BRICK PILLAR

≈ 240"



CITY OF HAMILTON
BUILDING DIVISION
 Planning & Development Department

JAN 20 2022

REC'D BY LS DATE 01/20/22
 REF'D TO _____ DATE _____

Committee of Adjustment
 City Hall, 5th Floor,
 71 Main St. W.,
 Hamilton, ON L8P4Y5

Phone: (905) 546-2424 ext. 4221
 Email: cofa@hamilton.ca

APPLICATION FOR A MINOR VARIANCE

FOR OFFICE USE ONLY.

APPLICATION NO. _____ DATE APPLICATION RECEIVED _____

PAID _____ DATE APPLICATION DEEMED COMPLETE _____

SECRETARY'S SIGNATURE _____

The Planning Act

Application for Minor Variance or for Permission

The undersigned hereby applies to the Committee of Adjustment for the City of Hamilton under Section 45 of the *Planning Act*, R.S.O. 1990, Chapter P.13 for relief, as described in this application, from the Zoning By-law.

1, 2	NAME	MAILING ADDRESS
Registered Owners(s)	Robert & Chantel Trowbridge	
Applicant(s)*	Robert & Chantel Trowbridge	
Agent or Solicitor	Robert & Chantel Trowbridge	

Note: Unless otherwise requested all communications will be sent to the agent, if any.

3. Names and addresses of any mortgagees, holders of charges or other encumbrances:
 None

Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled

4. Nature and extent of relief applied for:

Replacing Stairs and adding small Stoop.

See attached drawing "DWG NO.3A" & "DWG NO.3B"

- Secondary Dwelling Unit Reconstruction of Existing Dwelling

5. Why it is not possible to comply with the provisions of the By-law?

Residence (Existing Brick Building) is not set back far enough for current Zoning By-Law of 6m from property line.

6. Legal description and Address of subject lands (registered plan number and lot number or other legal description and where applicable, **street and street number**):

27 Graham Ave South
Hamilton, Ontario

7. PREVIOUS USE OF PROPERTY

- Residential Industrial Commercial
Agricultural Vacant Other

Other _____

- 8.1 If Industrial or Commercial, specify use _____
- 8.2 Has the grading of the subject land been changed by adding earth or other material, i.e. has filling occurred?
Yes No Unknown
- 8.3 Has a gas station been located on the subject land or adjacent lands at any time?
Yes No Unknown
- 8.4 Has there been petroleum or other fuel stored on the subject land or adjacent lands?
Yes No Unknown
- 8.5 Are there or have there ever been underground storage tanks or buried waste on the subject land or adjacent lands?
Yes No Unknown
- 8.6 Have the lands or adjacent lands ever been used as an agricultural operation where cyanide products may have been used as pesticides and/or, sewage sludge was applied to the lands?
Yes No Unknown
- 8.7 Have the lands or adjacent lands ever been used as a weapon firing range?
Yes No Unknown
- 8.8 Is the nearest boundary line of the application within 500 metres (1,640 feet) of the fill area of an operational/non-operational landfill or dump?
Yes No Unknown
- 8.9 If there are existing or previously existing buildings, are there any building materials remaining on site which are potentially hazardous to public health (eg. asbestos, PCB's)?
Yes No Unknown

13. Date of acquisition of subject lands:
August 2002
14. Date of construction of all buildings and structures on subject lands:
Approx - 92 years old
15. Existing uses of the subject property (single family, duplex, retail, factory etc.):
Single Family
16. Existing uses of abutting properties (single family, duplex, retail, factory etc.):
Single Family
17. Length of time the existing uses of the subject property have continued:
Approx 92 years
18. Municipal services available: (check the appropriate space or spaces)
- | | | | |
|----------------|-------------------------------------|-----------|-------------------------------------|
| Water | <input checked="" type="checkbox"/> | Connected | <input checked="" type="checkbox"/> |
| Sanitary Sewer | <input checked="" type="checkbox"/> | Connected | <input checked="" type="checkbox"/> |
| Storm Sewers | <input checked="" type="checkbox"/> | | |
19. Present Official Plan/Secondary Plan provisions applying to the land:
20. Present Restricted Area By-law (Zoning By-law) provisions applying to the land:
21. Has the owner previously applied for relief in respect of the subject property?
Yes No
If the answer is yes, describe briefly.
22. Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?
Yes No
23. Additional Information
House was built in 1930. Below is the City Directories link showing that:
1930 - New House - <https://archive.org/details/1930VernonsHamiltonCityDirectory/page/1180/mode/2up>
1931 - First Resident - <https://archive.org/details/1931VernonsHamiltonCityDirectory/page/1206/mode/2up>
24. The applicant shall attach to each copy of this application a plan showing the dimensions of the subject lands and of all abutting lands and showing the location, size and type of all buildings and structures on the subject and abutting lands, and where required by the Committee of Adjustment such plan shall be signed by an Ontario Land Surveyor.



Hamilton

COMMITTEE OF ADJUSTMENT

City Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5
 Telephone (905) 546-2424, ext. 4221, 3935 Fax (905) 546-4202
 E-mail: cofa@hamilton.ca

NOTICE OF PUBLIC HEARING
Minor Variance

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
- Applicant/agent on file, or
- Person likely to be interested in this application

APPLICATION NO.: HM/A-22:36

APPLICANTS: Agent Y. Taraky
 Owner M. Mahmood

SUBJECT PROPERTY: Municipal address **10 Longwood Rd. S., Hamilton**

ZONING BY-LAW: Zoning By-law 96-109, as Amended

ZONING: "C/S-1361" (Urban Protected Residential) district

PROPOSAL: To permit the construction of a 6.23m x 6.55m two (2) storey rear addition and to establish a Secondary Dwelling Unit within the single family dwelling notwithstanding that:

1. A maximum gross floor area ratio factor of 0.86 (86%) of the lot area shall be permitted instead of the maximum required gross floor area ratio factor of 0.562 (56.2%) of the lot area as previously approved by Variance # 1 of Minor Variance File No. HM/A-21:100 for the single family dwelling.
2. A minimum parking space width of 2.5m shall be permitted instead of the minimum required parking space width of 2.6m as previously approved by Variance # 3 of Minor Variance File No. HM/A-21:100 for the single family dwelling.
3. A minimum access driveway width of 2.5m shall be permitted instead of the minimum required access driveway width of 2.6m as previously approved by Variance # 4 of Minor Variance File No. HM/A-21:100 for the single family dwelling.

NOTE:

- i) The Committee of Adjustment previously granted Minor Variance File No. HM/A-21:100 for the same proposal.

This application will be heard by the Committee as shown below:

DATE: Thursday, April 7th, 2022
TIME: 3:20 p.m.
PLACE: Via video link or call in (see attached sheet for details)
 To be streamed at
www.hamilton.ca/committeeofadjustment
 for viewing purposes only

HM/A-22: 36

Page 2

PUBLIC INPUT

Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

Orally: If you would like to speak to this item at the hearing you may do so via video link or by calling in. Please see attached page for complete instructions, including deadlines for registering to participate.

MORE INFORMATION

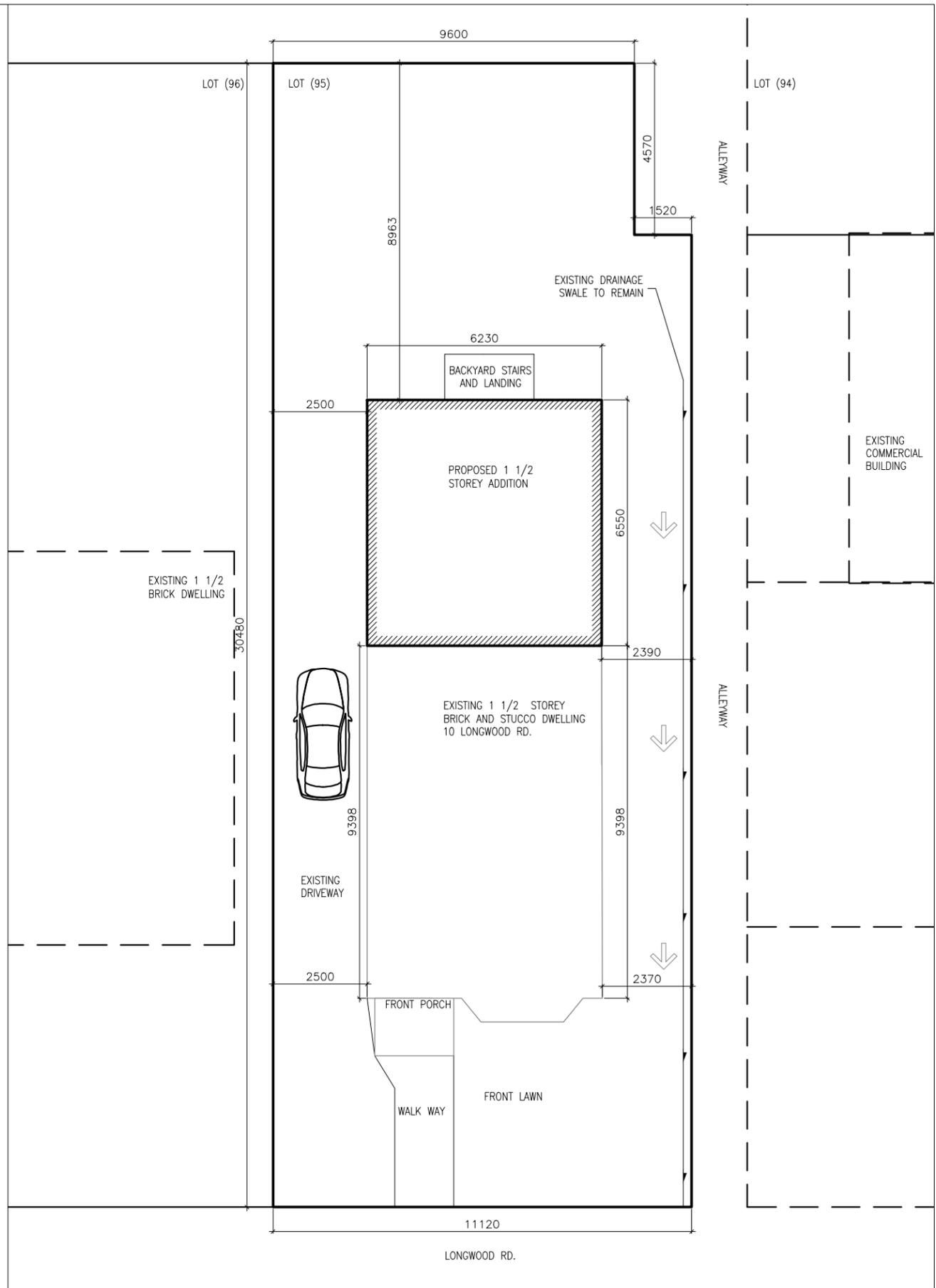
For more information on this matter, including access to drawings illustrating this request:

- Visit www.hamilton.ca/committeeofadjustment
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935
- Email Committee of Adjustment staff at cofa@hamilton.ca

DATED: March 22nd, 2022.

Jamila Sheffield,
Secretary-Treasurer
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public.



1 SITE PLAN AND SITE INFORMATION
A-MV02 SCALE: 1/16"=1'-0"

SITE PLAN
SKETCH OF SURVEY OF LOT: 95
REG. PLAN: 692
CITY OF HAMILTON

10 Longwood Rd. South Zoning and Site Information (metric)									
ZONING	LOT NO.	PLAN NO.	LOT AREA m ²			LOT FRONTAGE (m)			LOT DEPTH (m)
C/S-136/S-1788	95	692	332.3			11.1252			30.48
DESCRIPTION	EXISTING (sq.m.)	ADDITION (sq.m.)	TOTAL (sq.m.)	%	ALLOWED	%	SETBACKS	EXISTING (m)	PROPOSED (m)
LOT COVERAGE	164.8	120.4	285.2				FRONT YARD	5.5	5.5
GROSS FLOOR AREA	164.8	120.4	285.2	85.8		50	REAR YARD	15.5	8.96
LANDSCAPED AREA	160.3	40.1	120.1				INTERIOR SIDE (North)	2.39	2.39
NO. OF STORIES HEIGHT	1.5	1.5	1.5				INTERIOR SIDE (South)	2.5	2.5
WIDTH (m)	6.23	6.23	6.23				EXTERIOR		
DEPTH (m)	9.40	6.55	15.95				TOTAL LOT AREA (m ²)	332.3	332.3
PARKING	1	1	1			1			



SCALE:
AS SHOWN

DATE:
28FEB22MV2

DRAWN BY:
ATU

CHECKED BY:
YMT

PROJECT NAME:
10 LONGWOOD RD. S.
HAMILTON, ON

DRAWING TITLE:
SITE MAP
NOTES

PROJECT NO.
2101

DRAWING NO.
SK-01

- GENERAL:**
1. ALL WORK INVOLVED IN THE CONSTRUCTION, RELOCATION, REPAIR OF MUNICIPAL SERVICES FOR THE PROJECT SHALL BE TO THE SATISFACTION OF THE DIRECTOR OF PLANNING, PLANNING AND ECONOMIC DEVELOPMENT DEPARTMENT.
 2. CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES INCLUDING GASMAINS, WATERMANS, TELEVISION CABLES, HYDRO, TELEPHONE CABLES, ETC.
 3. ALL SURVEY INFORMATION ON THIS PLAN IS FOR INFORMATION PURPOSES ONLY.
 4. THE APPROVAL OF THIS PLAN DOES NOT EXEMPT THE OWNER'S BONDED CONTRACTOR FROM THE REQUIREMENTS TO OBTAIN THE VARIOUS PERMITS/APPROVALS NORMALLY REQUIRED TO COMPLETE A CONSTRUCTION PROJECT, SUCH AS, BUT NOT LIMITED TO THE FOLLOWING:
 - BUILDING PERMIT
 - ROAD CUTS PERMITS
 - APPROACH APPROVAL PERMITS
 - ADJUSTMENT
 - SEWER AND WATER PERMITS
 - RELOCATION OF SERVICES
 - ENCROACHMENT AGREEMENTS (F REQ'D)
 - COMMITTEE OF ADJUSTMENT
 5. ABANDONED ACCESSES MUST BE REMOVED AND THE CURB AND BOULEVARD RESTORED WITH 500 AT THE OWNER'S EXPENSE TO THE SATISFACTION OF THE TRAFFIC ENGINEERING SECTION, PUBLIC WORKS DEPARTMENT.

- GRADING:**
1. LOT GRADING IS TO CONFORM TO THE LATEST REVISION OF THE CITY OF HAMILTON LOT GRADING POLICY.
 2. ALL ELEVATIONS ADJACENT TO PROPERTY LINES TO MATCH EXISTING ELEVATIONS AND GRADING SHALL NOT ADVERSELY AFFECT SHEET FLOW FROM ADJACENT LANDS.
 3. ALL IMPORTED FILL SHALL BE COMPACTED TO 95% S.P.D. USE OF VIBRATOR ON COMPACTOR WHILE COMPACTING IS NOT PERMITTED.
 4. ALL CURB STOPS AND VALVES MUST BE CERTIFIED TO BE IN WORKING ORDER AT THE TIME OF ISSUANCE OF THE FINAL LOT GRADING CERTIFICATE. FINAL LOT GRADING CERTIFICATES MUST INCLUDE A STATEMENT AFFIRMING THE DATE OF INSPECTION AND THAT THE WATER BOX IS AT GRADE AND FOUND TO BE FREE FROM DAMAGE OR DEFECT.
 5. ALL DISTURBED AREAS WITHIN THE ROAD ALLOWANCE SHALL BE RESTORED TO EXISTING CONDITION OR BETTER.
 6. ALL DISTURBED BOULEVARD AREAS ARE TO BE REGRADED WITH 150mm TOPSOIL AND NO. 1 HAIRY 500 IN ACCORDANCE WITH OPSS 803 AND TO THE SATISFACTION OF THE TRAFFIC ENGINEERING SECTION, PUBLIC WORKS DEPARTMENT.

- WATER SERVICES:**
1. "W" DENOTES WATER SERVICE CONNECTION (25mm# TYPE "K" SOFT COPPER) AS PER WM-207.02 OR AS OTHERWISE SPECIFIED.
 2. GRANULAR BEDDING SHALL BE GRANULAR "0" AS PER FORM 600 AND WM-200.01.
 3. ALL CURB STOPS SHALL BE SET TO PROPOSED GRADES.

- COMPACTION REQUIREMENTS:**
1. ALL BEDDING AND BACKFILL MATERIAL, ROAD SUBGRADES AND GENERALLY ALL MATERIAL USED FOR LOT GRADING AND FILL SECTIONS ETC. SHALL BE COMPACTED TO A MIN. 95% S.P.D. UNLESS OTHERWISE RECOMMENDED BY A CERTIFIED ENGINEER. ALL MATERIAL SHALL BE PLACED IN LAYERS NOT EXCEEDING 300mm LIFTS.
 2. ALL GRANULAR ROAD BASE MATERIALS SHALL BE COMPACTED TO A MIN 98% S.P.D.

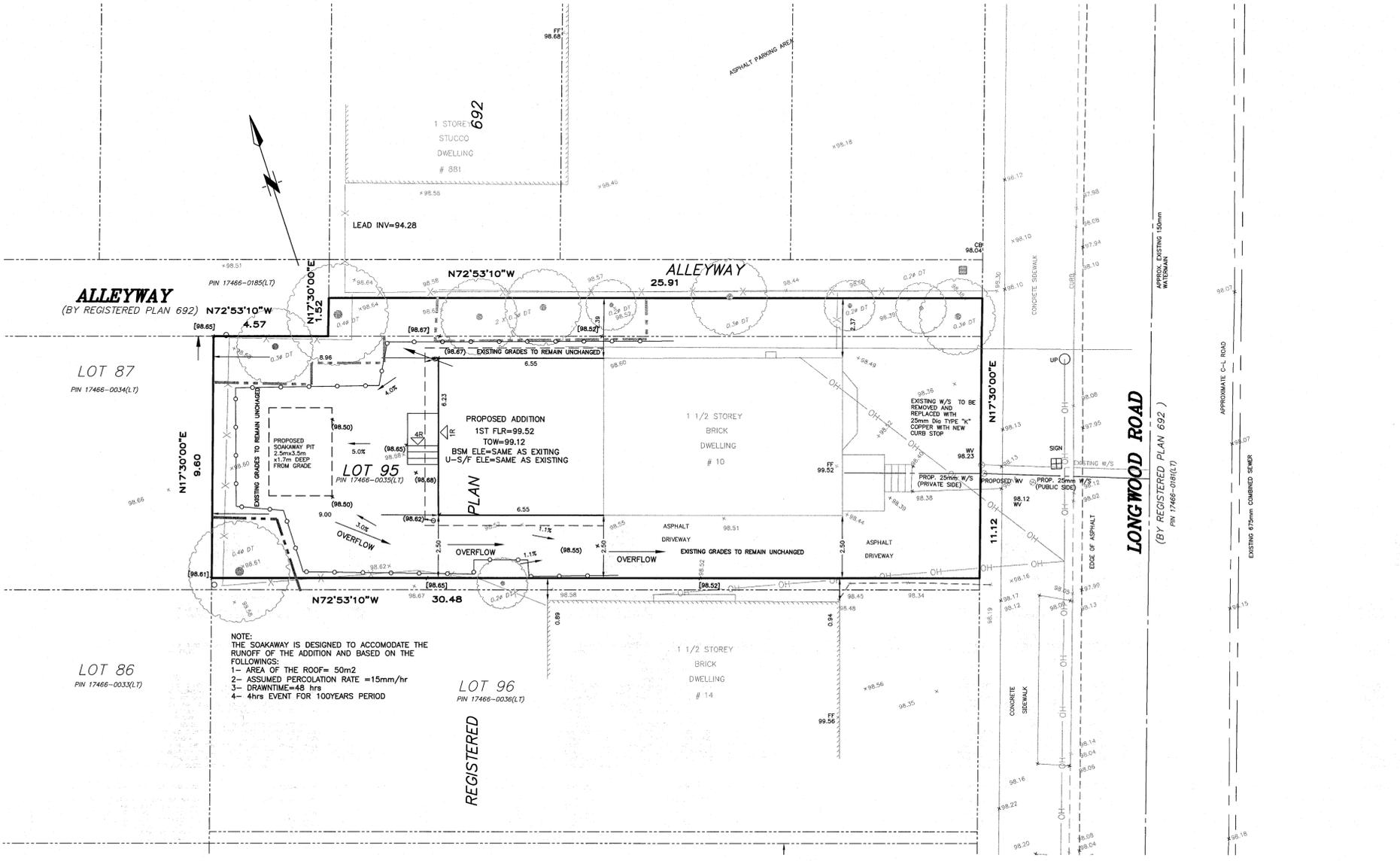
- GENERAL GRADING NOTES:**
1. ALONG ADJOINING PROPERTIES GRADE TO MEET EXISTING OR PROPOSED ELEVATION WITH SODDED SLOPES (MIN 3% TO 10%) AND/OR RETAINING WALLS AS SPECIFIED.
 2. SLOPE OF SWALES FOR BOTH "BACK TO FRONT" AND "SPLIT" DRAINAGE SHALL BE NO LESS THAN 2.0% GRADE AND NO GREATER THAN 3.0% GRADE (3% SLOPES).
 3. WHEN MATCHING TO EXISTING PROPERTIES WHERE A 2.0% GRADE CANNOT BE ACHIEVED, A 1.5% GRADE IS PERMITTED PROVIDED A 150mm SUBSIRAN IS INSTALLED BELOW THE BOTTOM OF THE SWALE AND DRAINED TO A SUITABLE OUTLET, WITH A MIN. 0.3m COVER OR OTHER MITIGATION MEASURES.
 4. MINIMUM GRADE FOR A WRAP-AROUND SWALE IN THE BACKYARD SHALL BE 1.0%.
 5. UNLESS OTHERWISE NOTED, THE GRADING BETWEEN PROPOSED ELEVATIONS ON SIDE LOTS SHALL BE GRADED AS A STRAIGHT LINE.
 6. TOP OF FOUNDATION WALLS FOR BUILDINGS SHALL BE 150mm MIN. ABOVE FINISHED GRADE.
 7. DRIVEWAY SLOPES SHALL NOT BE LESS THAN 2% AND NOT MORE THAN 7% REVERSE SLOPED DRIVEWAYS IN NEW DEVELOPMENTS ARE NOT PERMITTED.
 8. LOT GRADING FOR ALL LOTS IN THE DEVELOPMENT SHALL CONFORM STRICTLY WITH THIS PLAN. ANY CHANGES, UNLESS APPROVED PRIOR TO CONSTRUCTION BY THE CITY, SHALL RESULT IN NON-ACCEPTANCE OF THE DEVELOPMENT BY THE CITY.
 9. IF GRADING IS REQUIRED ON LANDS ADJACENT TO THE DEVELOPMENT WHICH ARE NOT OWNED BY THE DEVELOPER, THEN THE DEVELOPER MUST OBTAIN WRITTEN PERMISSION FROM THE ADJACENT PROPERTY OWNER TO ALLOW THE DEVELOPER TO GRADE ON THE ADJACENT LANDS. OTHERWISE RETAINING WALLS MUST BE USED.
 10. IF WRITTEN PERMISSION IS OBTAINED FROM THE ADJACENT LANDOWNER, THE DEVELOPER SHALL ENTERING THE LANDS. SHOULD PERMISSION NOT BE OBTAINED OR IS WITHDRAWN PRIOR TO COMMENCING WORK, THEN THE DEVELOPER SHALL LIMIT HIS ACTIVITIES TO THE LIMITS OF THE DEVELOPMENT SITE.
 11. DRIVEWAY AND DRIVEWAY APPROACHES SHALL BE LOCATED SUCH THAT HYDRO LOGICALS AND OTHER STREET FURNITURE ARE A MIN OF 1.2m FROM THE PROJECTIONS OF THE OUTSIDE GRADE WALLS.

- BACKYARD GRADING:**
1. DEFINITION: "REQUIRED BACKYARD" SHALL MEAN THE LESSER OF THE DISTANCE REGULATED BY THE ZONING BY-LAW OR 6m.
 2. THE MAXIMUM SLOPE IN THE BACKYARD ADJACENT TO THE BUILDING FOR A DISTANCE EQUAL TO THE REQUIRED BACKYARD SHALL BE 3%, EXCEPT AS SET OUT IN THE ITEMS BELOW.
 3. THE 3% RESTRICTION SHALL NOT APPLY TO THE SIDES OF A SWALE ALONG THE SIDES OR BACK OF THE LOT, PROVIDED THE TOTAL WIDTH OF THE SWALE SHALL NOT EXCEED ONE (1) METRE ON EACH LOT.
 4. WHERE THE 3% RESTRICTION ON THE BACKYARD RESULTS IN ELEVATION DIFFERENCES BETWEEN DIFFERENT PROPERTIES, RETAINING WALLS SHALL BE CONSTRUCTED ALONG THE SIDES AND THE BACK OF THE LOT, SLOPES WITH A MAXIMUM OF 3% HORIZONTAL TO 1 VERTICAL MAY REPLACE THE WALLS WHERE THE DIFFERENCE IN ELEVATION IS LESS THAN 0.3m.
 5. GENERALLY, SLOPES SHALL BE PLACED ON THE LOWER LOT, WHEREAS RETAINING WALLS SHALL BE PLACED ON THE HIGHER LANDS.
 6. THE 3% RESTRICTION DOES NOT PRECLUDE RETAINING WALLS IN THE REQUIRED BACKYARDS PROVIDING TERRACES ARE MAINTAINED TO THE 3% GRADE AS SET OUT IN ITEM 2 ABOVE. THE INTENTION OF THIS PROVISION IS TO PROVIDE FLEXIBILITY OF CONSTRUCTION.
 7. THERE IS NO CONTROL ON THE STEEPNESS OF THE SLOPES IN SIDE YARDS, FRONT YARD AND BACK YARDS, OUTSIDE THE AREA DEFINED IN ITEM 1 ABOVE, PROVIDED THE SLOPES ARE STABLE FOR THE SOILS OF THE AREA (MIN 3%:1V).

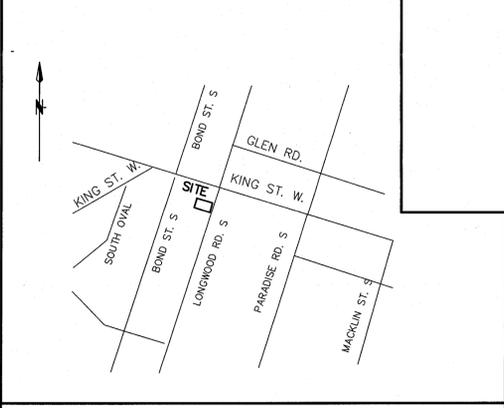
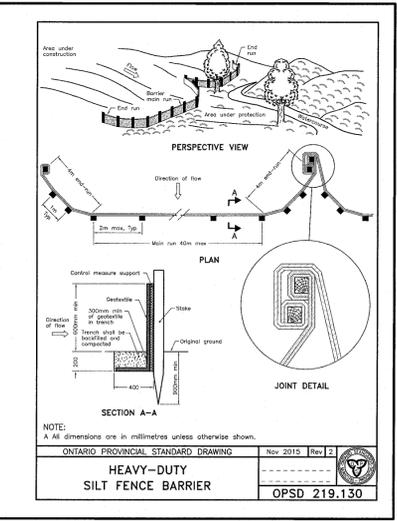
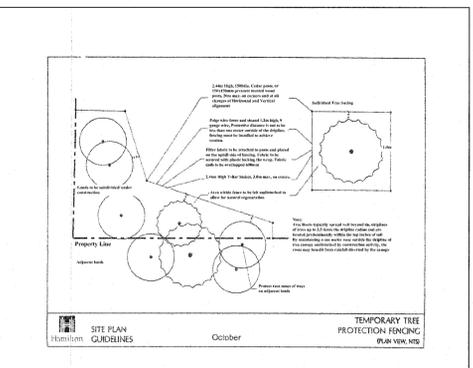
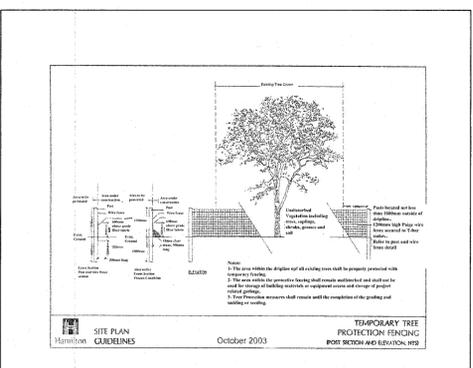
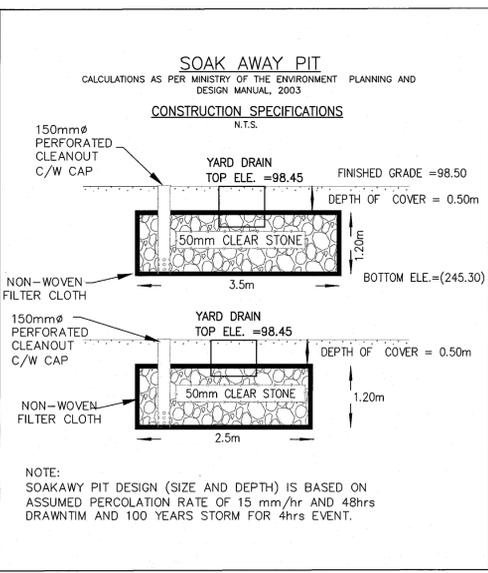
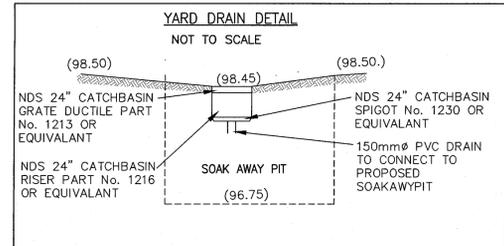
- ROOFWATER LEADERS:**
1. ALL ROOFWATER LEADERS SHALL DISCHARGE ONTO SPLASH PADS AND THEN TO GRASSED OR LANDSCAPED AREAS A MIN. OF 0.6m FROM THE BUILDING FACE.

- SILTATION AND EROSION CONTROL:**
1. SILT CONTROL BARRIERS SHALL BE PLACED AS DETAILED AND IN ACCORDANCE WITH HAMILTON SITE PLAN GUIDELINES.
 2. ALL SILT CONTROL MEASURES SHALL BE INSPECTED AT REGULAR INTERVALS AND FOLLOWING EACH RAINFALL OR AS DIRECTED AND SHALL BE MAINTAINED TO THE SATISFACTION OF THE CITY OF HAMILTON. ADDITIONAL SILT CONTROL MEASURES MAY BE REQUIRED BY THE CITY AND SHALL BE PLACED AS DIRECTED.
 3. ALL EROSION AND SILTATION CONTROL DEVICES MUST BE INSTALLED PRIOR TO THE BEGINNING OF EARTH REMOVAL ACTIVITIES AND LEFT IN PLACE UNTIL FINAL COVER IS ESTABLISHED.
 4. ALL EROSION AND SILTATION CONTROL DEVICES SHOULD BE AS PER THE "GREATER GOLDEN HORSESHOE AREA CONSERVATION AUTHORITIES' EROSION AND SEDIMENT CONTROL GUIDELINES FOR URBAN CONSTRUCTION".
 5. THE OWNER IS RESPONSIBLE FOR THE REMOVAL OF ALL MUD AND DEBRIS THAT ARE TRACKED ONTO THE ROADWAYS FROM THE VEHICLES ENTERING OR LEAVING THE CONSTRUCTION SITE. THE OWNER SHALL, UPON VERBAL AND/OR WRITTEN REQUEST BY THE CITY, IMMEDIATELY PROCEED WITH THE CLEAN-UP OPERATIONS AT THEIR EXPENSE. SHOULD THE OWNER FAIL TO MAINTAIN THE ROAD AS DIRECTED, THE CITY WILL HAVE THE CLEANING CARRIED OUT, AND DRAW ON THE OWNER'S SECURITY FOR COSTS AND/OR LAY CHARGES.

- TREE PROTECTION:**
1. TREE PROTECTION FENCE SHALL BE INSTALLED AS DETAILED AND IN ACCORDANCE WITH HAMILTON SITE PLAN GUIDELINES.
 2. ALL TREE PROTECTION FENCES MUST BE INSTALLED PRIOR TO THE BEGINNING OF EARTH REMOVAL ACTIVITIES AND LEFT IN PLACE UNTIL FINAL COVER IS ESTABLISHED.
 3. IN CASE TREES NEED TO BE REMOVED, THE REMOVAL HAS TO BE IN COMPLIANCE WITH THE TOWN OF ANCASTER BY-LAW (2000-118). THE CLIENT MUST CONTACT THE CITY MUNICIPAL LAW ENFORCEMENT PRIOR TO REMOVAL OF TREES.
 4. IN CASE TREES NEED TO BE REMOVED, THE OWNER MUST AWARE OF THE MISDEAMOUR (BIRD CONVENTION ACT). THE OWNER IS TO MAKE EVERY EFFORT TO AVOID REMOVAL OF VEGETATION FROM MARCH 31st TO AUGUST 31st.
 5. WHENEVER POSSIBLE, THE CUTTING OF SURFACE ROOTS OF EXISTING TREES IS TO BE AVOIDED. HOWEVER, IF THESE CUTS ARE REQUIRED, THE CUTS SHOULD BE COMPLETED UNDER THE SUPERVISION OF A TREE MANAGEMENT PROFESSIONAL (I.E. CERTIFIED ARBORIST) SO THAT CUTS ARE MADE APPROPRIATE.



NOTE:
THE SOAKAWAY IS DESIGNED TO ACCOMMODATE THE RUNOFF OF THE ADDITION AND BASED ON THE FOLLOWINGS:
1- AREA OF THE ROOF= 50m²
2- ASSUMED PERCOLATION RATE =15mm/hr
3- DRAWTIME=48 hrs
4- 4hrs EVENT FOR 100YEARS PERIOD



- LEGEND**
- EXISTING ELEVATION
 - PROPOSED ELEVATION
 - PROPOSED SURFACE FLOW DIRECTION & GRADE
 - EXISTING TREE
 - EXISTING TREE TO BE REMOVED
 - SILT FENCE & LIMIT OF GRADING
 - TREE PROTECTION FENCE
 - PROPOSED ENTRANCE LOCATION
 - LOCATION AND DIRECTION OF FLOW OF DOWNSPOUTS

METRIC
DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET DIVIDING BY 0.3048.

CAUTION
THIS IS NOT A PLAN OF SURVEY AND SHALL NOT BE USED, EXCEPT FOR THE PURPOSE INDICATED IN THE TITLE BLOCK.

DRAWING NOTE:
SURVEY, TOPOGRAPHICAL INFORMATION AND UTILITY LOCATIONS WERE TAKEN FROM PLAN BY ASHENHURST NOUWENS & ASSOCIATES INC.

No.	DATE	BY	DESCRIPTION
0	JAN 7, 2022	A.N	ISSUED FOR REVIEW

REVISIONS

ENGINEER'S STAMP
LICENSED PROFESSIONAL ENGINEER
A. M. NAJIM
100131466
January 22
PROVINCE OF ONTARIO

FOR REVIEW ONLY
NOT FOR CONSTRUCTION

PLAN SHOWING
PROPOSED GRADING FOR ADDITION
ON
10 LONGWOOD RD. S.
BEING
PART OF LOT 95 AND PART OF ALLEYWAY
REGISTERED PLAN 692
CITY OF HAMILTON

ASHENHURST NOUWENS & ASSOCIATES INC.
Professional Engineers & Ontario Land Surveyors
225 KING WILLIAM STREET, SUITE 204, HAMILTON, ONTARIO L8R 1B1
(905) 529-6316 (905) 529-4314 1-800-824-6224
FAX: (905) 529-6651 e-mail: anl@ashenhurstnouwens.com

BENCHMARK
CITY OF HAMILTON BENCHMARK No. 07720100048
MONUMENT IS LOCATED AT BEASLEY PARK, ~50M SOUTH OF THE CENTRELINE OF CANNON STREET EAST AND ~24M EAST OF THE CENTRELINE OF ELGIN STREET
ELEVATION=87.507 (DATUM: CQVD 1928:1978)

DWN BY: A.N.	CHK BY: A.N.	DWG No.
SCALE: 1 : 100		21--212 SGP
DATEDEC 23, 2021		



Committee of Adjustment

City Hall, 5th Floor,
71 Main St. W.,
Hamilton, ON L8P4Y5

Phone: (905) 546-2424 ext. 4221

Email: cofa@hamilton.ca

APPLICATION FOR A MINOR VARIANCE

FOR OFFICE USE ONLY.	
APPLICATION NO. _____	DATE APPLICATION RECEIVED _____
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SECRETARY'S SIGNATURE _____	

The Planning Act

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Registered Owners(s)		
Applicant(s)*		
Agent or Solicitor		

Note: Unless otherwise requested all communications will be sent to the agent, if any.

3. Names and addresses of any mortgagees, holders of charges or other encumbrances:

Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled

4. Nature and extent of relief applied for:

Second Dwelling Unit Reconstruction of Existing Dwelling

5. Why it is not possible to comply with the provisions of the By-law?

6. Legal description and Address of subject lands (registered plan number and lot number or other legal description and where applicable, **street and street number**):

7. PREVIOUS USE OF PROPERTY

Residential Industrial Commercial

Agricultural Vacant

Other _____

8.1 If Industrial or Commercial, specify use _____

8.2 Has the grading of the subject land been changed by adding earth or other material, i.e. has filling occurred?

Yes No Unknown

8.3 Has a gas station been located on the subject land or adjacent lands at any time?

Yes No Unknown

8.4 Has there been petroleum or other fuel stored on the subject land or adjacent lands?

Yes No Unknown

8.5 Are there or have there ever been underground storage tanks or buried waste on the subject land or adjacent lands?

Yes No Unknown

8.6 Have the lands or adjacent lands ever been used as an agricultural operation where cyanide products may have been used as pesticides and/or sewage sludge was applied to the lands?

Yes No **Unknown**

8.7 Have the lands or adjacent lands ever been used as a weapon firing range?

Yes No Unknown

8.8 Is the nearest boundary line of the application within 500 metres (1,640 feet) of the fill area of an operational/non-operational landfill or dump?

Yes No Unknown

8.9 If there are existing or previously existing buildings, are there any building materials remaining on site which are potentially hazardous to public health (eg. asbestos, PCB's)?

Yes No Unknown

8.10 Is there any reason to believe the subject land may have been contaminated by former uses on the site or adjacent sites?

Yes No Unknown

8.11 What information did you use to determine the answers to 8.1 to 8.10 above?

8.12 If previous use of property is industrial or commercial or if YES to any of 8.2 to 8.10, a previous use inventory showing all former uses of the subject land, or if appropriate, the land adjacent to the subject land, is needed.

Is the previous use inventory attached? Yes No

9. ACKNOWLEDGEMENT CLAUSE

I acknowledge that the City of Hamilton is not responsible for the identification and remediation of contamination on the property which is the subject of this Application – by reason of its approval to this Application.

_____ 
Date Signature Property Owner(s)

Print Name of Owner(s)

10. Dimensions of lands affected:

Frontage _____
Depth _____
Area _____
Width of street _____

11. Particulars of all buildings and structures on or proposed for the subject lands: (Specify ground floor area, gross floor area, number of stories, width, length, height, etc.)

Existing: _

Proposed

12. Location of all buildings and structures on or proposed for the subject lands; (Specify distance from side, rear and front lot lines)

Existing:

Proposed:

13. Date of acquisition of subject lands:

14. Date of construction of all buildings and structures on subject lands:

15. Existing uses of the subject property (single family, duplex, retail, factory etc.):

16. Existing uses of abutting properties (single family, duplex, retail, factory etc.):

17. Length of time the existing uses of the subject property have continued:

18. Municipal services available: (check the appropriate space or spaces)
Water _____ Connected _____
Sanitary Sewer _____ Connected _____
Storm Sewers _____
19. Present Official Plan/Secondary Plan provisions applying to the land:
20. Present Restricted Area By-law (Zoning By-law) provisions applying to the land:
21. Has the owner previously applied for relief in respect of the subject property? (Zoning By-law Amendment or Minor Variance)
 Yes No
If yes, please provide the file number:
- 21.1 If a site-specific zoning by-law amendment has been received for the subject property, has the two-year anniversary of the by-law being passed expired?
 Yes No
- 21.2 If the answer is no, the decision of Council, or Director of Planning and Chief Planner that the application for Minor Variance is allowed must be included. Failure to do so may result in an application not being "received" for processing.
22. Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?
 Yes **No**
23. Additional Information (please include separate sheet if needed)
24. The applicant shall attach to each copy of this application a plan showing the dimensions of the subject lands and of all abutting lands and showing the location, size and type of all buildings and structures on the subject and abutting lands, and where required by the Committee of Adjustment such plan shall be signed by an Ontario Land Surveyor.



Hamilton

COMMITTEE OF ADJUSTMENT

City Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5
 Telephone (905) 546-2424, ext. 4221, 3935 Fax (905) 546-4202
 E-mail: cofa@hamilton.ca

NOTICE OF PUBLIC HEARING Minor Variance

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
- Applicant/agent on file, or
- Person likely to be interested in this application

APPLICATION NO.: HM/A-22:62

APPLICANTS: Agent T. Johns Consulting
 Owner Hamilton Urban Core Community Health Centre &
 1598540 Ontario Inc.

SUBJECT PROPERTY: Municipal address **430-436 Cannon St. E., Hamilton**

ZONING BY-LAW: Zoning By-law 05-200, as Amended

ZONING: "C2" (Neighbourhood Commercial) district

PROPOSAL: To permit the construction of a two storey Social Services Establishment building as per Site Plan Application DA-21-010, notwithstanding that;

1. A minimum 0.0m yard shall be permitted from the Cannon Street lot line instead of the minimum 1.5m yard required from a street line.
2. No principal entrance shall be permitted to be maintained on the ground floor façade closest to the street whereas the zoning By-law requires that a principal entrance is located on the ground floor façade that is setback closest to a street.
3. Parking spaces shall be permitted to be located a distance of 1.0m from the Cannon Street lot line and a distance of 1.0m from the Ashley Street lot line instead of the minimum 3.0m setback required from a street line.
4. A planting strip having a minimum width of 1.0m shall be permitted between the Cannon Street line and the parking spaces and to permit no planting strip between the Ashley Street line and the parking spaces instead of the minimum required 3.0m wide planting strip between the street line and parking spaces.
5. A minimum thirty-four (34) parking spaces shall be permitted instead of the minimum forty-eight (48) parking spaces required for the proposed Social Service Establishment.

Notes: The proposal is subject to Site Plan Application DA-21-010.

The applicant shall ensure that an access driveway having a minimum width of 5.5m is provided for the 60° angled parking; otherwise, further variances shall be required.

This application will be heard by the Committee as shown below:

DATE: Thursday, April 7th, 2022
TIME: 3:25 p.m.
PLACE: Via video link or call in (see attached sheet for details)
 To be streamed at
www.hamilton.ca/committeeofadjustment
 for viewing purposes only

HM/A-22: 62

Page 2

PUBLIC INPUT

Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

Orally: If you would like to speak to this item at the hearing you may do so via video link or by calling in. Please see attached page for complete instructions, including deadlines for registering to participate.

MORE INFORMATION

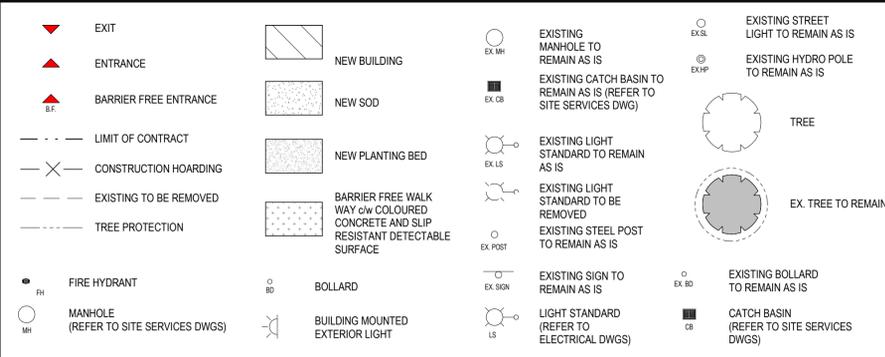
For more information on this matter, including access to drawings illustrating this request:

- Visit www.hamilton.ca/committeeofadjustment
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935
- Email Committee of Adjustment staff at cofa@hamilton.ca

DATED: March 22nd, 2022.

Jamila Sheffield,
Secretary-Treasurer
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public.



1. THIS DRAWING SHALL BE READ IN CONJUNCTION WITH THE LANDSCAPE STRUCTURAL, CIVIL, MECHANICAL, ELECTRICAL DRAWINGS AND THE SPECIFICATIONS. ALL WORK TO BE COORDINATED AND VERIFIED PRIOR TO CONSTRUCTION.

2. CONTRACTOR IS RESPONSIBLE FOR VISITING THE SITE TO VERIFY ALL SITE DIMENSIONS, SPOT ELEVATIONS AND REPORT ANY DISCREPANCIES TO THE CONSULTANTS PRIOR TO CONSTRUCTION.

3. REPLACE, REPAIR AND MAKE GOOD ALL EXISTING CONCRETE SIDEWALKS, ASPHALT ROAD AND SODDED AREAS THAT ARE DAMAGED AS A RESULT OF THE WORK. THIS INCLUDES ANY AREAS DAMAGED OUTSIDE THE LIMIT OF CONTRACT. CONTRACTOR IS TO DOCUMENT EXISTING SITE CONDITIONS WITH PHOTOGRAPHS BEFORE START OF CONSTRUCTION AND SUBMIT COPIES TO THE CONSULTANT.

4. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ACCESS AND EGRESS TO ALL EXISTING BUILDINGS, WALKWAYS, LANES, ROADS AND PARKING LOTS IN THE SURROUNDING AREA. COORDINATE ALL BUILDING MATERIAL AND EMPLOYEE DROP OFFS TO ALLOW CONTINUED USE OF ROADS / FIRE ROUTES LOADING ZONES AT ALL TIMES.

5. CONTRACTOR IS RESPONSIBLE FOR REMOVAL OF ALL DEMOLISHED MATERIALS AND DEBRIS FROM THE SITE, UNLESS DIRECTED OTHERWISE. DEBRIS WILL BE REMOVED ON AN ONGOING BASIS AND NOT ALLOWED TO ACCUMULATE.

ELEVATION OF PROPOSED BUILDING BASED ON TOPOGRAPHIC SURVEY COMPLETED BY LEJAN LAND SURVEYING INC. ON JULY 24, 2020. JOB NO. 20-063

UNDERTAKING
RE: 430 & 436 CANNON STREET EAST

THE OWNER(S) OF THE LAND, HEREBY UNDERTAKE AND AGREE WITHOUT RESERVATION, TO COMPLY WITH ALL THE CONTENT OF THIS PLAN AND DRAWING AND NOT TO VARY THEREFROM.

TO PERFORM THE FACILITIES, WORKS OR MATTERS MENTIONED IN SECTION 41(7)(A) OF THE PLANNING ACT SHOWN ON THIS PLAN AND DRAWING(S) IN ACCORDANCE WITH THE CONDITIONS OF APPROVAL AS SET OUT IN THE LETTER OF APPROVAL DATED _____.

TO MAINTAIN TO THE SATISFACTION OF THE CITY AND AT MY (OUR) SOLE RISK AND EXPENSE, ALL OF THE FACILITIES, WORKS OR MATTERS MENTIONED IN SECTION 41(7)(B) OF THE SAID ACT, SHOWN IN THIS PLAN AND DRAWING INCLUDING REMOVAL OF SNOW FROM ACCESS RAMPS AND DRIVEWAYS, PARKING AND LOADING AREAS AND WALKWAYS.

IN THE EVENT THAT THE OWNER DOES NOT COMPLY WITH THE PLAN DATED _____, THE OWNER AGREES THAT THE CITY MAY ENTER THE LAND AND DO THE REQUIRED WORKS, AND FURTHER THE OWNER AUTHORIZES THE CITY TO USE THE SECURITY FILED TO OBTAIN COMPLIANCE WITH THIS PLAN.

TO DISPLAY THE MUNICIPAL NUMBER(430) OR FULL ADDRESS (430 CANNON STREET EAST) ON A SIGN IN ACCORDANCE WITH THE CITY'S SIGN BY-LAW NEAR THE ENTRANCE IN A MANNER THAT IS VISIBLE FROM THE STREET.

THE OWNER ACKNOWLEDGES AND AGREES TO CONVEY ANY EASEMENTS AS DEEMED NECESSARY BY BELL CANADA TO SERVICE THIS NEW DEVELOPMENT. THE OWNER FURTHER AGREES AND ACKNOWLEDGES TO CONVEY SUCH EASEMENTS AT NO COST TO BELL CANADA.

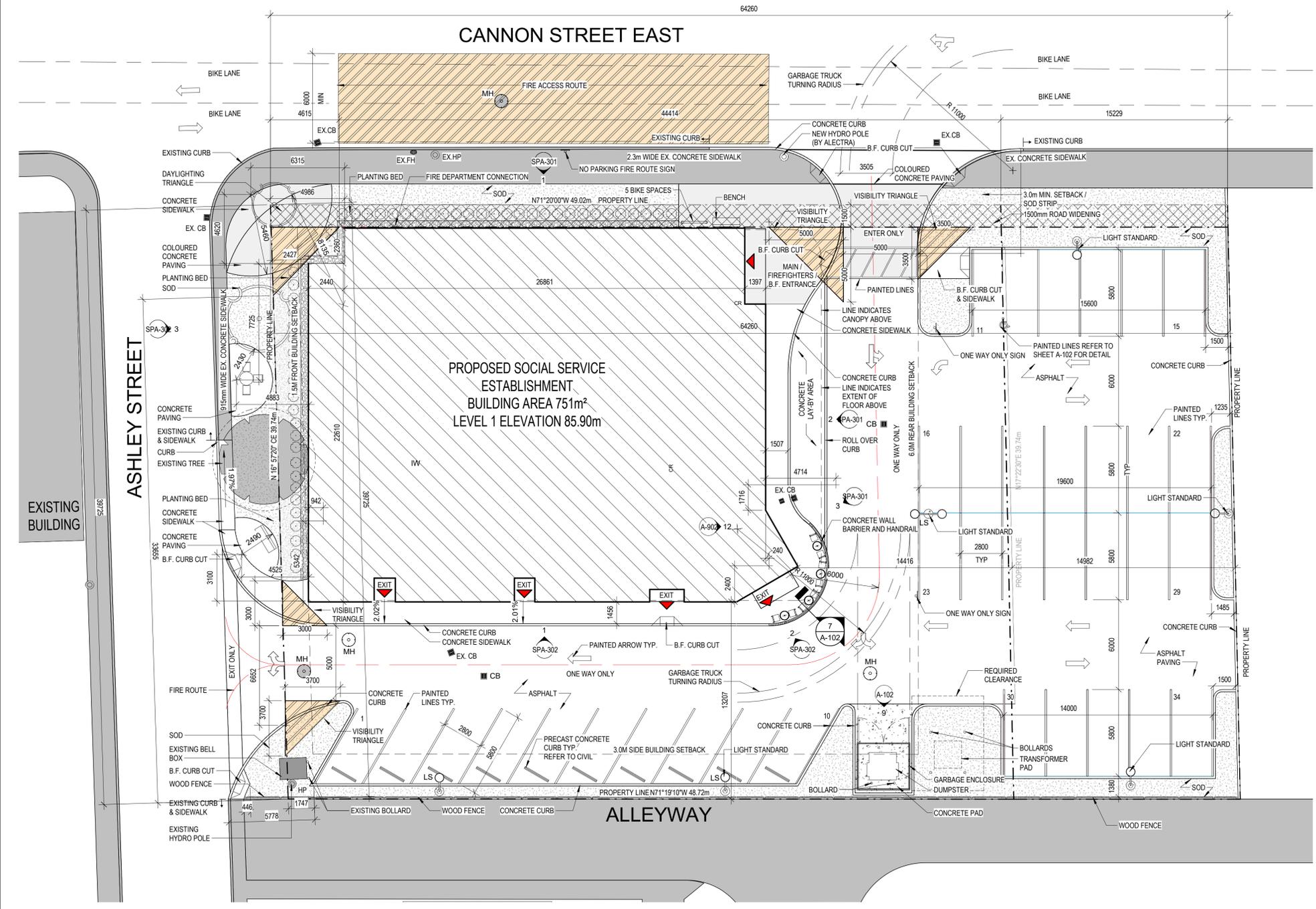
THE OWNER AGREES THAT SHOULD ANY CONFLICT ARISE WITH EXISTING BELL CANADA FACILITIES WHERE A CURRENT AND VALID EASEMENT EXISTS WITHIN THE SUBJECT AREA, THE OWNER SHALL BE RESPONSIBLE FOR THE RELOCATION OF ANY SUCH FACILITIES OR EASEMENTS AT THEIR OWN COST.

OWNER SIGNATURE _____ DATED THIS _____ DAY OF _____ 2021

WITNESS SIGNATURE _____ ADDRESS OF WITNESS _____

SITE LEGEND SPA

NOTE: REFER TO LANDSCAPE PLAN FOR DETAIL LAYOUT.



NEIGHBORHOOD COMMERCIAL (C2) ZONE			
SECTION 10 OF THE CITY OF HAMILTON COMPREHENSIVE ZONING BY-LAW 05-200			
PROVISIONS	REQUIRED	PROPOSED	CONFORMITY
PERMITTED USE	SOCIAL SERVICES ESTABLISHMENT	SOCIAL SERVICES ESTABLISHMENT	YES
MIN. BUILDING SETBACK FROM A STREET LINE	1.5m	1.5m (ASHLEY ST) 0.0m (CANNON ST)	YES
MAX. BUILDING SETBACK FROM A STREET LINE	3.0m EXCEPT WHERE VIABILITY TRIANGLE IS REQUIRED FOR A DRIVEWAY ACCESS	1.5m	YES
MIN. REAR YARD	6.0m	14.4m	YES
MIN. INTERIOR SIDE YARD	1.5m	13.2m	YES
MAX. HEIGHT	11.0m	10m	YES
MAX. LOT AREA	5,000m²	2545.47m²	YES
MIN. PLANTING STRIP	ABUTTING RESIDENTIAL OR INSTITUTIONAL ZONE, AND NOT A LANE WAY, 1.5m WIDE	ABUT A LANE WAY	N/A
VISUAL BARRIER	REQUIRED ALONG A PROPERTY LINE ABUTTING A RESIDENTIAL, INSTITUTIONAL, DOWNTOWN (D5, D6) ZONE	N/A	N/A
BUILT FORM - NEW DEVELOPMENT			
ROOFTOP MECHANICAL	LOCATED & OR SCREENED FROM VIEW OF ABUTTING STREET	LOCATED & SCREENED FROM VIEW OF ABUTTING STREET	N/A
MIN GROUND FLOOR FACADE FOR CORNER LOT	≥ 50% OF ALL LOT LINES ALONG A STREET = 103.99m / 2 = 52m	55.77m (53.63%)	YES
PARKING SPACES	SHALL NOT BE PERMITTED BETWEEN BUILDING FACADE & FRONT / FLANKAGE LOT LINE	NOT BETWEEN BUILDING FACADE & FRONT / FLANKAGE LOT LINES	YES
PRINCIPAL ENTRANCE	MIN ONE TO BE PROVIDED WITHIN GROUND FLOOR FACADE THAT IS SET BACK CLOSET TO A STREET & BE ACCESSIBLE FROM THE BUILDING FACADE WITH DIRECT ACCESS FROM PUBLIC SIDEWALK	PRINCIPAL ENTRANCE PROVIDED WITHIN GROUND FLOOR FACADE & ACCESSIBLE WITH DIRECT ACCESS FROM PUBLIC SIDEWALK	NO
PARKING - SECTION 5			
MIN. PARKING SPACES	1 PER 30.0m² OF GFA = 1,450m² / 30 = 48 SPACES	34 SPACES ON SITE	YES
NOTE: OFF SITE PARKING AGREEMENT WITH 440 CANNON STREET REQUIRED			
MIN. PARKING SPACES SIZE	2.8m x 5.8m	2.8m x 5.8m	YES
MIN. BARRIER FREE PARKING SPACES	1-49 SPACES = 1 SPACE	1 SPACES	YES
MIN. BARRIER FREE PARKING SPACE SIZE	4.4m x 5.8m	4.4m x 5.8m	YES

SITE PLAN
1:150

ZONING CHART
1:1



HAMILTON URBAN CORE COMMUNITY HEALTH CENTRE

tillmann architects ruth robinson

ONTARIO ASSOCIATION OF ARCHITECTS

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No.	Issued for SPA Re-Submission	2022.01.19
1	Re-issued for Site Plan Approval	2021.11.03
No.	ISSUED FOR	DATE

DRAWING TITLE:
PHASE 2 - SITE PLAN

DRAWN:	MAN	SCALE:	As indicated	PROJECT NO.:	2426-20 (aTRR)
CHECKED:	MCM	DATE:	December 20, 2021		

SPA-101
DA - 21 - 010

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	GROSS FLOOR AREA	TOTAL LOT AREA	BUILDING FOOTPRINT	LANDSCAPE AREA	PAVED AREA
REQUIRED	2000m ² MAX	5000m ² MAX	N/A	N/A	N/A
PROVIDED	1428m ²	2645.47m ² / 100%	751m ² / 28.6%	243.76m ² / 9.6%	1279.83m ² / 50.28%

SITE STATISTICS CHART



B.F. PARKING SIGNAGE



300mm x 455mm .060 GALVANIZED STEEL SIGN WITH ENGINEERING GRADE REFLECTIVITY

FIRE ROUTE SIGNAGE

- ALL WORK INVOLVED IN THE CONSTRUCTION, RELOCATION, REPAIR OF MUNICIPAL SERVICES FOR THE PROJECT SHALL BE TO THE SATISFACTION OF THE DIRECTOR OF PLANNING AND CHIEF PLANNER, PLANNING AND ECONOMIC DEVELOPMENT DEPARTMENT.
 - FIRE ROUTE SIGNS AND 3-WAY FIRE HYDRANTS SHALL BE ESTABLISHED TO THE SATISFACTION OF THE CITY FIRE DEPARTMENT AND AT THE EXPENSE OF THE OWNER.
 - MAIN DRIVEWAY DIMENSIONS AT THE PROPERTY LINE BOUNDARIES ARE PLUS OR MINUS 7.5m UNLESS OTHERWISE STATED.
 - FOR VISIBILITY TRIANGLES AT THE VEHICULAR ACCESS POINTS THE FOLLOWING NOTE TO BE PROVIDED:
 * 5m BY 5m FOR THE WEST SIDE OF THE CANNON STREET ENTRANCE & 3.5m X 3.5m FOR THE EAST (3m BY 3m FOR THE NORTH SIDE OF THE ASHLEY ST. ACCESS DRIVEWAY & 3.7m BY 3.7m FOR THE SOUTH SIDE OF ASHLEY ST ACCESS DRIVEWAY) VISIBILITY TRIANGLES IN WHICH THE MAXIMUM HEIGHT OF ANY OBJECTS OR MATURE VEGETATION IS NOT TO EXCEED A HEIGHT OF 0.60m ABOVE THE CORRESPONDING PERPENDICULAR CENTERLINE ELEVATION OF THE ADJACENT STREET *
 - ALL DRIVEWAYS FROM PROPERTY LINES FOR THE FIRST 7.5m SHALL BE WITHIN 5% MAXIMUM GRADE, THEREAFTER, ALL DRIVEWAYS SHALL BE WITHIN 10% MAXIMUM GRADES
 - THE APPROVAL OF THIS PLAN DOES NOT EXEMPT THE OWNERS BONDED CONTRACTOR FROM THE REQUIREMENTS TO OBTAIN THE VARIOUS PERMITS / APPROVALS NORMALLY REQUIRED TO COMPLETE A CONSTRUCTION PROJECT, SUCH AS, BUT NOT LIMITED TO THE FOLLOWING:
 - BUILDING PERMIT
 - ROAD CUT PERMITS
 - APPROACH APPROVAL PERMITS
 - COMMITTEE OF ADJUSTMENT
 - SEWER AND WATER PERMITS
 - RELOCATION OF SERVICES
 - ENCROACHMENT AGREEMENTS (IF REQUIRED)
 - ABANDONED ACCESS MUST BE REMOVED AND THE CURB AND BOULEVARD RESTORED WITH SOD AT THE OWNERS EXPENSE TO THE SATISFACTION OF THE CORRIDOR MANAGEMENT SECTION, PUBLIC WORKS DEPARTMENT.
 - IF THE MUNICIPAL SIDEWALK IS DISTURBED DURING CONSTRUCTION, REINSTATEMENT IS AT THE OWNER'S EXPENSE AND MUST CONFORM TO CURRENT CITY STANDARDS.
 - THIS DEVELOPMENT IS INELIGIBLE FOR MUNICIPAL WASTE COLLECTION. A PRIVATE WASTE HAULER MUST BE ARRANGED FOR THE REMOVAL OF ALL WASTE MATERIALS.
 - ALL FENCING SHALL CONFORM TO HAMILTON FENCE BY-LAW NO. 10-142
 - ALL SIGNS SHALL CONFORM TO HAMILTON SIGN BY-LAW NO. 10-197.
 - A MINIMUM 1.2m SEPARATION MUST BE PROVIDED WITHIN THE CITY'S ROAD ALLOWANCE AREA BETWEEN DRIVEWAYS, A FENCE AND ANY POLE, UTILITY, FIRE HYDRANT, TREE, SIGN ETC. ANY COSTS FOR TRAFFIC SIGN OR UTILITY RELOCATIONS ARE THE SOLE RESPONSIBILITY OF THE APPLICANT / OWNER.
 - CAUTION: NOTWITHSTANDING CURRENT SURFACE CONDITIONS, THE PROPERTY HAD BEEN DETERMINED TO BE AN AREA OF ARCHAEOLOGICAL POTENTIAL. ALTHOUGH AN ARCHAEOLOGICAL ASSESSMENT IS NOT REQUIRED BY THE CITY OF HAMILTON, THE PROPONENT IS CAUTIONED THAT DURING DEVELOPMENT ACTIVITIES, SHOULD DEEPLY BURIED ARCHAEOLOGICAL MATERIALS BE FOUND ON THE PROPERTY THE ONTARIO MINISTRY OF HERITAGE, SPORT, TOURISM AND CULTURE INDUSTRIES (MHSTCI) SHOULD BE NOTIFIED IMMEDIATELY (416.212.8886). IN THE EVENT THAT HUMAN REMAINS ARE ENCOUNTERED DURING CONSTRUCTION, THE PROPONENT SHOULD IMMEDIATELY CONTACT BOTH MHSTCI AND THE REGISTRAR OR DEPUTY REGISTRAR OF THE CEMETERIES REGULATION UNIT OF THE MINISTRY OF SMALL BUSINESS AND CONSUMER SERVICES (416.212.7499).
 - UNION GAS
 - UNION GAS HAS SERVICE LINES RUNNING WITHIN THE AREA WHICH MAY OR MAY NOT BE AFFECTED BY THE DEVELOPMENT. SHOULD THE SITE PLAN IMPACT THE SERVICES IT MAY BE NECESSARY TO RELOCATE LINES, ANY SERVICE RELOCATION WOULD BE AT THE COST OF THE PROPERTY OWNER.
- ALECTRA UTILITIES**
- RELOCATION, MODIFICATION, OR REMOVAL OF ANY EXISTING HYDRO FACILITIES SHALL BE AT THE OWNERS EXPENSE.
 - DO NOT EXCAVATE WITHIN 2m OF HYDRO POLE OR ANCHORS
 - EXCAVATION WITHIN 1m OF UNDERGROUND HYDRO PLANT IS NOT PERMITTED UNLESS APPROVAL IS GRANTED BY HORIZON UTILITIES REPRESENTATIVE AN IS PRESENT TO PROVIDE DIRECT SUPERVISION. COST ASSOCIATED WITH THIS TASK SHALL BE AT THE OWNER'S EXPENSE.
 - ALECTRA UTILITIES MUST BE CONTACTED IF REMOVAL, ISOLATION OR RELOCATION OF EXISTING PLAN IS REQUIRED, ALL COST ASSOCIATED WITH THIS WORK SHALL BE AT THE OWNERS EXPENSE.



HAMILTON URBAN CORE COMMUNITY HEALTH CENTRE



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No.	ISSUED FOR	DATE
2	Issued for SPA Re-Submission	2022.01.19
1	Re-issued for Site Plan Approval	2021.11.03

DRAWING TITLE:
SPA -102 440 CANNON STREET

DRAWN: MAN	SCALE: As indicated	PROJECT NO: 2426-20 (aTRR)
CHECKED: MCM	DATE: December 20, 2021	

SPA-102
DA - 21 - 010

SITE PLAN NOTES

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HAMILTON URBAN CORE COMMUNITY HEALTH CENTRE

tillmann
architects ruth
robinson



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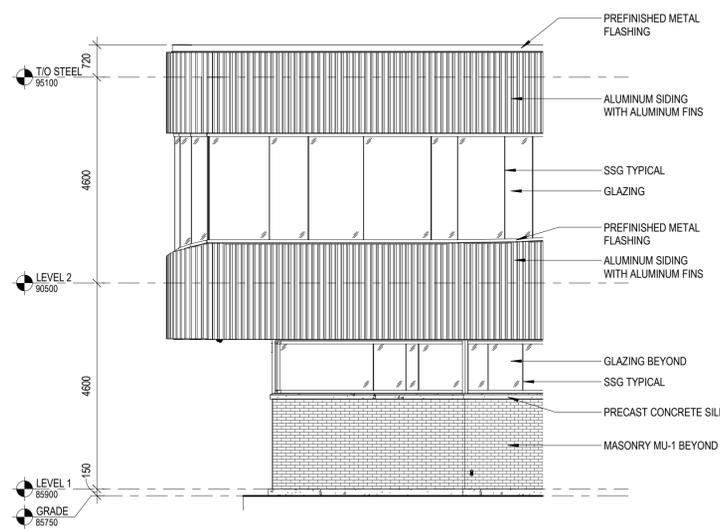
1	Issued for SPA Re-Submission	2022.01.19
No.	ISSUED FOR	DATE

DRAWING TITLE:

ELEVATIONS

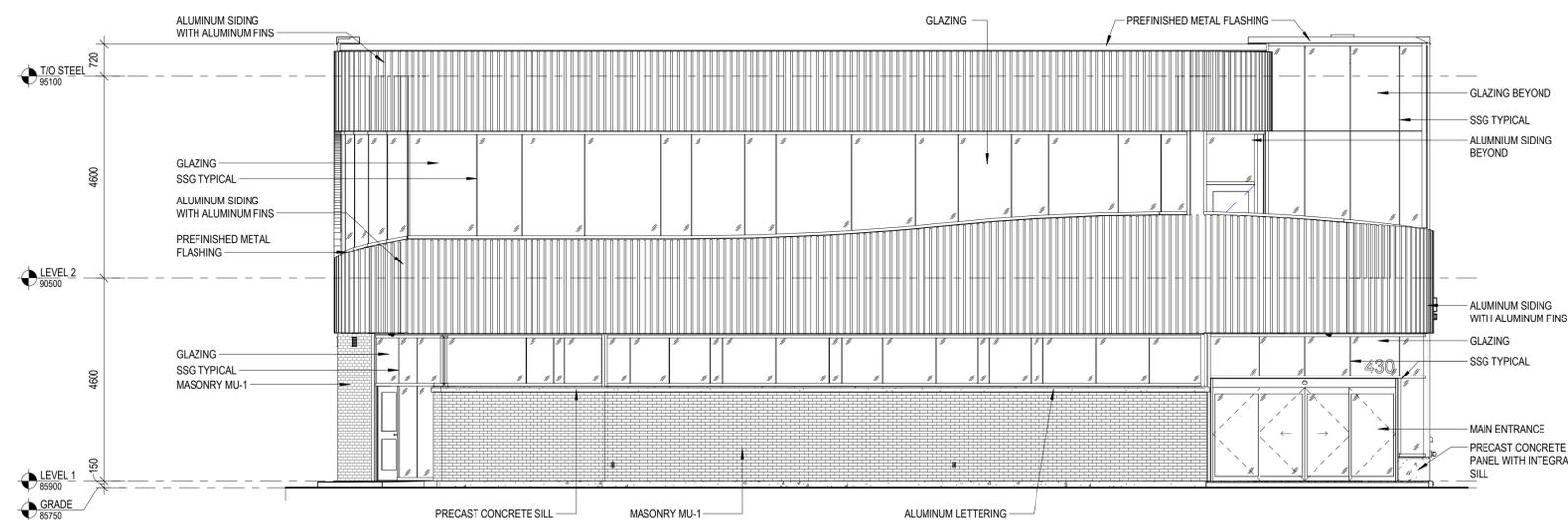
DRAWN:	MAN	SCALE:	1 : 75	PROJECT NO.:	2426-20 (aTRR)
CHECKED:	MCM	DATE:	December 20, 2021		

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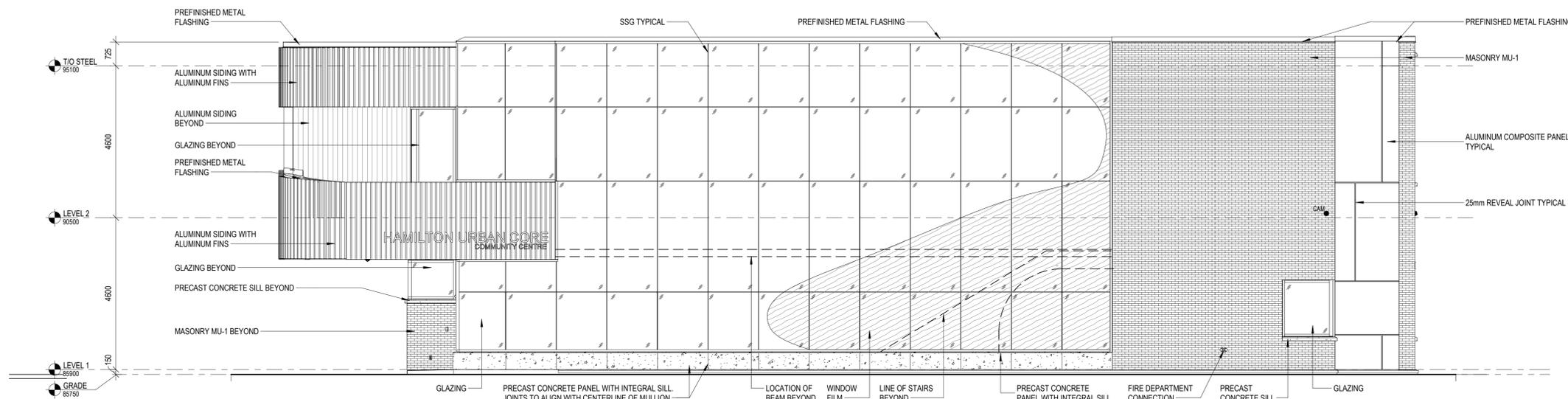
PARTIAL EAST ELEVATION

1 : 75
ALL GLAZING TO BE GL-1 UNLESS NOTED OTHERWISE



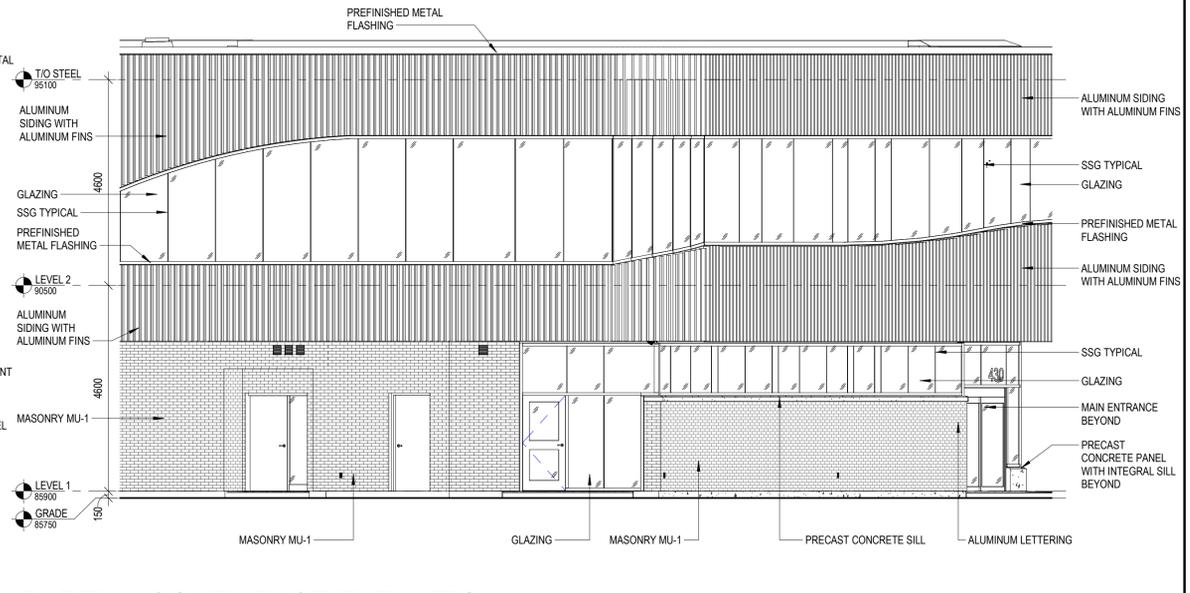
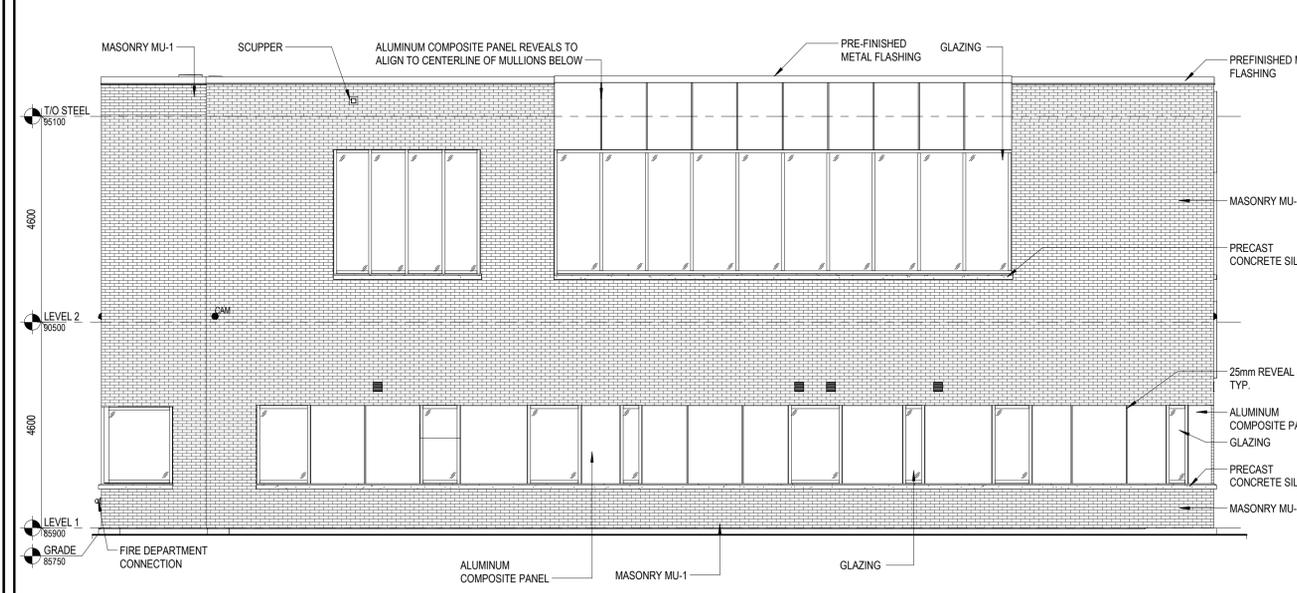
EAST ELEVATION

1 : 75
ALL GLAZING TO BE GL-1 UNLESS NOTED OTHERWISE



NORTH ELEVATION

1 : 75
ALL GLAZING TO BE GL-1 UNLESS NOTED OTHERWISE

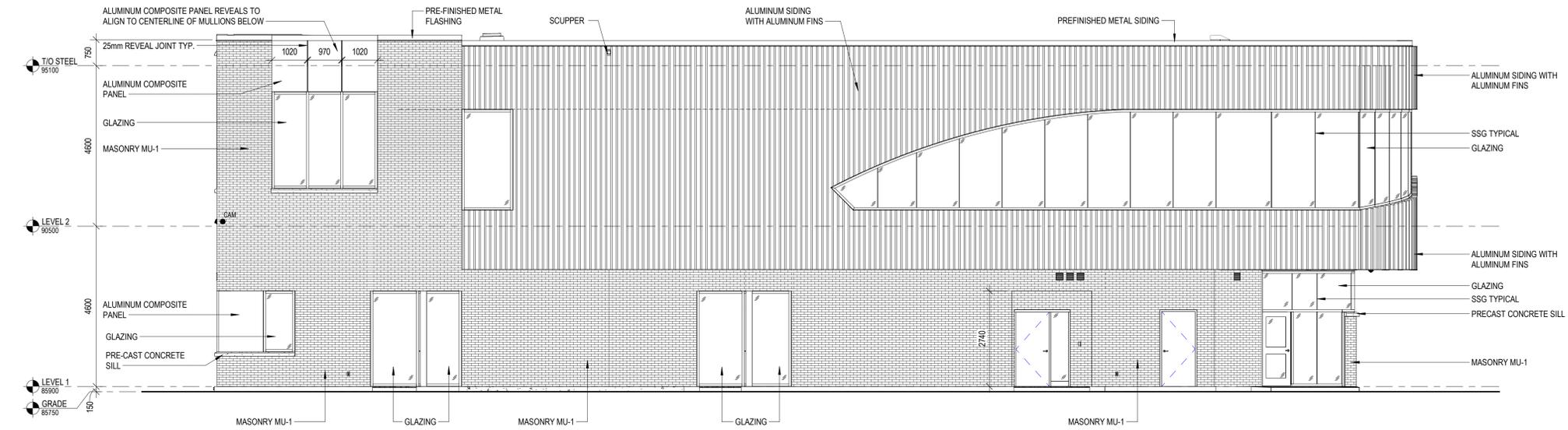


PARTIAL SOUTHEAST ELEVATION

1 : 75
ALL GLAZING TO BE GL-1 UNLESS NOTED OTHERWISE

WEST ELEVATION

1 : 75
ALL GLAZING TO BE GL-1 UNLESS NOTED OTHERWISE



SOUTH ELEVATION

1 : 75
ALL GLAZING TO BE GL-1 UNLESS NOTED OTHERWISE



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1	Issued for SPA Re-Submission	2022.01.19
No.	ISSUED FOR	DATE

DRAWING TITLE:

ELEVATIONS

DRAWN:	MAN	SCALE:	1 : 75	PROJECT NO.:	2426-20 (aTRR)
CHECKED:	MCM	DATE:	December 20, 2021		

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PLAN OF SURVEY AND TOPOGRAPHY
OF PART OF
PART OF LOTS 4 AND 5, ON BLOCK A
REGISTERED PLAN NO. 216
CITY OF HAMILTON
REGIONAL MUNICIPALITY OF
HAMILTON-WENTWORTH

SCALE 1:200
0 1 2 3 4 5 6 7 8 9 10 11 12 METRES

MTE OLS LTD.
© 2021

METRIC:
DISTANCES AND COORDINATES SHOWN ON THIS PLAN ARE IN METRES
AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

- LEGEND**
- DENOTES PLANTED MONUMENT
 - DENOTES FOUND MONUMENT
 - SSIB DENOTES STANDARD IRON BAR
 - SSIB DENOTES SHORT STANDARD IRON BAR
 - IB DENOTES IRON BAR
 - IB# DENOTES ROUND IRON BAR
 - CC DENOTES CUT CROSS
 - CM DENOTES CONCRETE MONUMENT
 - OU DENOTES ORIGIN UNKNOWN
 - NTS DENOTES NOT TO SCALE
 - WIT DENOTES WITNESS
 - M, MEAS DENOTES MEASURED
 - PROP DENOTES PROPORTIONED
 - CALC DENOTES CALCULATED
 - ORP DENOTES OBSERVED REFERENCE POINT
 - SCP DENOTES SPECIFIED CONTROL POINT
 - P.I.N. DENOTES PROPERTY IDENTIFICATION NUMBER
 - (LT) DENOTES LAND TITLES
 - (R) DENOTES REGISTRY
 - MTE DENOTES MTE OLS LTD.
 - 1645 DENOTES J.P. WOOLLEY SURVEYING LTD.
 - BS DENOTES BIRCH GREENKE SURVEYING LTD.
 - HAM DENOTES CITY OF HAMILTON
 - MTO DENOTES MINISTRY OF TRANSPORTATION, ONTARIO
 - RP DENOTES REGISTERED PLAN
 - P1 DENOTES PLAN 62R-12030
 - P2 DENOTES PLAN BY J.P. WOOLLEY NOVEMBER 30, 2006
 - JOB 2006-2381-01
 - D1 DENOTES VM 224436
 - D2 DENOTES CD 336019

- TOPOGRAPHIC LEGEND:**
- EX DENOTES EXISTING
 - PWF DENOTES POST AND WIRE FENCE
 - CLF DENOTES CHAIN LINK FENCE
 - VC DENOTES VALVE CAP
 - C&G DENOTES CURB AND GUTTER
 - CSW DENOTES CONCRETE SIDEWALK
 - BB DENOTES BOTTOM OF BANKMENT
 - TB DENOTES TOP OF BANKMENT
 - EP DENOTES EDGE OF PAVEMENT
 - CL DENOTES CENTRELINE OF ROAD
 - RET DENOTES RETAINING WALL
 - FTE DENOTES FINISHED FLOOR ELEVATION
 - FDN DENOTES FOUNDATION
 - HPLS DENOTES HYDRO POLE LIGHT STANDARD
 - HP DENOTES HYDRO POLE
 - HPT DENOTES HYDRO POLE WITH TRANSFORMER
 - HPLST DENOTES HYDRO POLE WITH LIGHT AND TRANSFORMER
 - BMH DENOTES BELL MANHOLE
 - OHW DENOTES OVER HANGING WIRE
 - CB DENOTES CATCH BASIN
 - MH DENOTES MANHOLE
 - T/G DENOTES TOP OF GRATE
 - U- DENOTES UNDERGROUND UTILITY WIRES
 - A- DENOTES AERIAL UTILITY WIRES
 - G- DENOTES UNDERGROUND NATURAL GAS
 - T- DENOTES UNDERGROUND TELECOM WIRES
 - ST- DENOTES STORM SEWER
 - SA- DENOTES SANITARY SEWER
 - BF DENOTES BOARD FENCE
 - EP DENOTES EDGE OF PAVEMENT
 - BM DENOTES BENCH MARK
 - CT DENOTES CONIFEROUS TREE
 - DT DENOTES DECIDUOUS TREE
 - ELEV DENOTES EXISTING ELEVATION
 - CLF DENOTES CHAIN LINK FENCE
 - DENOTES ANCHOR/GUY WIRE

NOTES:

BEARINGS ARE UTM GRID, DERIVED FROM GPS OBSERVATIONS USING THE CAN-NET NETWORK AND ARE REFERRED TO UTM ZONE 17, NAD83 (CSRS v7) EPOCH 2010.00.

DISTANCES ON THIS PLAN ARE GROUND DISTANCES AND CAN BE CONVERTED TO GRID DISTANCES BY MULTIPLYING BY THE COMBINED SCALE FACTOR OF 0.999704220.

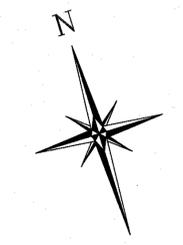
SURVEYOR'S CERTIFICATE:

I CERTIFY THAT:

- THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT AND THE REGULATIONS MADE UNDER THEM.
- THE SURVEY WAS COMPLETED ON THE 10 DAY OF NOVEMBER, 2021.

DEC 16, 2021 *Trevor D.A. McNeil*
TREVOR D.A. MCNEIL
ONTARIO LAND SURVEYOR

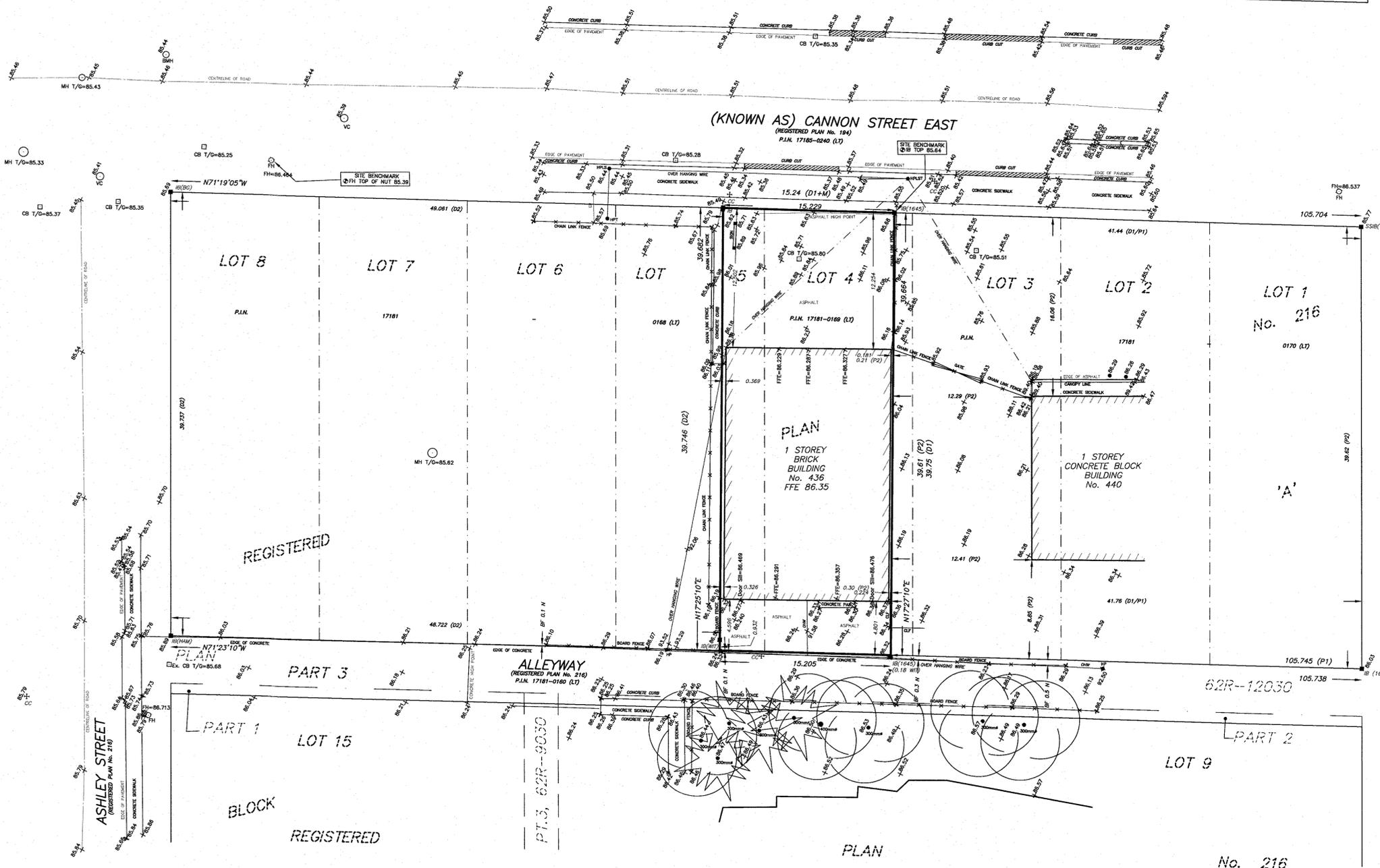
MTE MTE ONTARIO LAND SURVEYORS LTD.
1016 SUTTON DRIVE, UNIT A
BURLINGTON, ONTARIO, L7L 6B8
TEL: (905) 639-2552



REGISTERED PLAN No. 194

(KNOWN AS) CANNON STREET EAST
(REGISTERED PLAN No. 194)
P.L.N. 17185-0240 (LT)

(KNOWN AS) WENTWORTH STREET NORTH
(GRID ALLOWANCE BETWEEN LOTS 10 AND 11, CONCESSION 2)



REV. 03/21/02

File: P:\P\4818\300\4818-300-11.dwg Plot Date: 12/17/2021 12:24:49 PM on plot size: 2400 (W) x 3100 (H)



Committee of Adjustment

City Hall, 5th Floor,
71 Main St. W.,
Hamilton, ON L8P4Y5

Phone: (905) 546-2424 ext. 4221
Email: cofa@hamilton.ca

APPLICATION FOR A MINOR VARIANCE

FOR OFFICE USE ONLY.	
APPLICATION NO. _____	DATE APPLICATION RECEIVED _____
PAID _____	DATE APPLICATION DEEMED COMPLETE _____
SECRETARY'S SIGNATURE _____	

The Planning Act

Application for Minor Variance or for Permission

The undersigned hereby applies to the Committee of Adjustment for the City of Hamilton under Section 45 of the *Planning Act*, R.S.O. 1990, Chapter P.13 for relief, as described in this application, from the Zoning By-law.

1, 2

Registered Owners(s)

- 1. 430 Cannon St. E., Hamilton
- 2. 436 Cannon St. E., Hamilton

Applicant(s)*

Agent or Solicitor



Note: Unless otherwise requested all communications will be sent to the agent, if any.

3. Names and addresses of any mortgagees, holders of charges or other encumbrances:

N/A

Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled

4. Nature and extent of relief applied for:

10.2.3.a.i To allow a minimum 0 metre setback from the Cannon Street East street line; 10.2.3.i.vii To allow no principal entrance on the ground floor façade closest to the street; 5.1.a.v.a To allow a parking space 1.0 metre from the Ashley Street street line; 5.1.a.v.b To allow no planting strip between the parking area and the Ashley Street street line; 5.1.a.v.a To allow a parking space 1.0 metre from the Cannon Street East street line; 5.1.a.v.b To allow a 1.0 metre planting strip between the parking area and the Cannon Street East street line.; 5.6.c To allow 34 on-site parking spaces (1 space/ 42m2) for a Social Service Establishment use whereas 48 on-site parking spaces (1 space/ 30m2) is required.

- Second Dwelling Unit Reconstruction of Existing Dwelling

5. Why it is not possible to comply with the provisions of the By-law?

Refer to Planning Rationale.

6. Legal description and Address of subject lands (registered plan number and lot number or other legal description and where applicable, **street and street number**):

Lots 5, 6, 7, 8 & Part of Lot 4
Block 'A'
Registered Plan 216
In the City of Hamilton
Municipally known as 430 & 436 Cannon Street East

7. PREVIOUS USE OF PROPERTY

- Residential Industrial Commercial
Agricultural Vacant

Other _____

- 8.1 If Industrial or Commercial, specify use ^{430: Vacant, previously occupied by a taxi dispatch centre and surface parking} 436: Motor vehicle repair shop
- 8.2 Has the grading of the subject land been changed by adding earth or other material, i.e. has filling occurred?
Yes No Unknown
- 8.3 Has a gas station been located on the subject land or adjacent lands at any time?
Yes No Unknown
- 8.4 Has there been petroleum or other fuel stored on the subject land or adjacent lands?
Yes No Unknown
- 8.5 Are there or have there ever been underground storage tanks or buried waste on the subject land or adjacent lands?
Yes No Unknown
- 8.6 Have the lands or adjacent lands ever been used as an agricultural operation where cyanide products may have been used as pesticides and/or sewage sludge was applied to the lands?
Yes No Unknown
- 8.7 Have the lands or adjacent lands ever been used as a weapon firing range?
Yes No Unknown
- 8.8 Is the nearest boundary line of the application within 500 metres (1,640 feet) of the fill area of an operational/non-operational landfill or dump?
Yes No Unknown
- 8.9 If there are existing or previously existing buildings, are there any building materials remaining on site which are potentially hazardous to public health (eg. asbestos, PCB's)?
Yes No Unknown

8.10 Is there any reason to believe the subject land may have been contaminated by former uses on the site or adjacent sites?
 Yes No Unknown

8.11 What information did you use to determine the answers to 8.1 to 8.10 above?

Phase I & II ESA completed by DST Consulting Engineers (July 2017)
 Current use for 436 Cannon St E still applies

8.12 If previous use of property is industrial or commercial or if YES to any of 8.2 to 8.10, a previous use inventory showing all former uses of the subject land, or if appropriate, the land adjacent to the subject land, is needed.

Is the previous use inventory attached? Yes No

Submitted with Site Plan (DA-21-010)

9. ACKNOWLEDGEMENT CLAUSE

I acknowledge that the City of Hamilton is not responsible for the identification and remediation of contamination on the property which is the subject of this Application – by reason of its approval to this Application.

February 14, 2022

Date

[Signature]
 Signature Property Owner(s)

[Signature]
 Signature Property Owner(s)

Hamilton Urban Core Community
 Health Centre c/o Nhlaloenhle Ndawana
 Print Name of Owner(s)

1598540 Ontario Ltd. c/o Jonathon MacNamara
 Print Name of Owner(s)

Dimensions of lands affected:	430 Cannon St. E.	436 Cannon St. E.
Frontage	39.74 m (Ashley St.)	15.23 m
Depth	49.06 m	39.75 m
Area	± 1,941 m ²	± 604.47 m ²
Width of street		

11. Particulars of all buildings and structures on or proposed for the subject lands: (Specify ground floor area, gross floor area, number of stories, width, length, height, etc.)

Existing:

430 Cannon St. E.: Vacant	436 Cannon St. E. Height: Single storey Width: 14.65 m Length: 22.65 m
----------------------------------	--

Proposed

Height: 10 m (two stories) Width: ± 31 m Length: ± 25 m Ground Floor Area: 751 m ² Gross Floor Area: 1,450 m ²
--

12. Location of all buildings and structures on or proposed for the subject lands; (Specify distance from side, rear and front lot lines)

Existing:

430 Cannon St. E.: Vacant	436 Cannon St. E. Front (north): 12.5 m Side (east): 0.21 m Rear (south): 4.6 m Side (west): 0.4 m
----------------------------------	---

Proposed:

Front Lot Line (Cannon St. E.): 0.0 m Front Lot Line (Ashley St.): 1.5 m Rear Lot Line: 14.4 m Side Lot Line: 13.2 m

13. Date of acquisition of subject lands:
 430 Cannon St E: May 2018, 436 Cannon St E: HUC under contract to purchase.

14. Date of construction of all buildings and structures on subject lands:
 436 Cannon St E: vacant 430 Cannon St E: unknown.

15. Existing uses of the subject property (single family, duplex, retail, factory etc.):
430: Vacant (buildings demolished approx. 2021); **436:** Motor vehicle repair shop

16. Existing uses of abutting properties (single family, duplex, retail, factory etc.):
 Multiple-dwelling residential (towns and multi-unit building) to the south; Commercial to the east at 440 Cannon St. E. (Big Bee Convenience)

17. Length of time the existing uses of the subject property have continued:
430: Vacant since 2021; **436:** Unknown

18. Municipal services available: (check the appropriate space or spaces)
 Water Yes Connected Yes
 Sanitary Sewer Yes Connected Yes
 Storm Sewers Yes

19. Present Official Plan/Secondary Plan provisions applying to the land:
 Designated "Neighbourhoods" in the Urban Hamilton Official Plan

20. Present Restricted Area By-law (Zoning By-law) provisions applying to the land:
 Neighbourhood Commercial (C2) Zone of City of Hamilton Comprehensive Zoning By-law No. 05-200

21. Has the owner previously applied for relief in respect of the subject property? (Zoning By-law Amendment or Minor Variance)

Yes No

If yes, please provide the file number:

21.1 If a site-specific zoning by-law amendment has been received for the subject property, has the two-year anniversary of the by-law being passed expired?
 Yes No

21.2 If the answer is no, the decision of Council, or Director of Planning and Chief Planner that the application for Minor Variance is allowed must be included. Failure to do so may result in an application not being "received" for processing.

22. Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?

Yes No

23. Additional Information (please include separate sheet if needed)
 Subject to conditionally approved Site Plan Control (DA-21-010)

24. The applicant shall attach to each copy of this application a plan showing the dimensions of the subject lands and of all abutting lands and showing the location, size and type of all buildings and structures on the subject and abutting lands, and where required by the Committee of Adjustment such plan shall be signed by an Ontario Land Surveyor.

Appendix “A”: Planning Rationale
430 & 436 Cannon Street East, Hamilton
 February 17, 2022



T. Johns Consulting Group Ltd. (“T. Johns”) was been retained as of September 24, 2020, by Hamilton Urban Core Community Health Centre (“HUCCHC”) to assist in processing a Site Plan application. As a result of that application, a number of variances have been identified. The following services as a Planning Rationale Report in support of the Minor Variance application for 430 Cannon Street East, Hamilton (“subject lands”).

The Applicant, Hamilton Urban Core Community Health Centre (“HUCCHC”), is a non-profit organization that provides social service and primary health care to Hamilton residents. Programs and services offered include health & wellness programs; therapeutic and supportive counselling; population health programs and recreation; client education and support programs, personal development programs; community development programs; and parenting and family support. There are no overnight accommodations. HUCCHC is one of Ontario’s 76 Community Health Centres and provides multi-disciplinary interprofessional health care framed by the social determinants of health to improve the independence, economic self-sufficiency, social and health development of citizens.

Description of Subject Lands

430 and 436 Cannon Street East (“subject lands”) are two properties that will be consolidated under one owner. Together, they are a corner property located at the southeast corner of Cannon Street East and Ashley Street in Hamilton’s Landsdale neighbourhood. The subject lands have an approximate land area of 2,545.47 m² and 59.64 metre frontage onto Cannon St E and 39.74 metre frontage onto Ashley Street. By Zoning By-law No. 05-200 definition, the front lot line is Ashley Street. The site abuts a City assumed laneway to the south. 430 Cannon St E is vacant but were previously occupied by one (1) building, known to be used for a Taxi Stand with related surface parking. 436 Cannon St E is an existing Motor Vehicle Repair use which is legal non-conforming. 430 Cannon St E currently has two (2) existing curb cuts/accesses; one (1) from Cannon Street East and one (1) from Ashley Street. 436 Cannon St E has one (1) curb cut/access from Cannon St E. The subject lands are well serviced by transit (HSR Route #3) and on an established bicycle route (**Refer to Figure 1 - Site Location**).

City of Hamilton Planning Status

The *Urban Hamilton Official Plan, Volume 1* designates the subject lands “Neighbourhoods” which permits community facilities and services such as social service establishments.

The *City of Hamilton Zoning By-law No. 05-200* zones the subject lands “Neighbourhood Commercial (C2) Zone”. The C2 Zone permits a “Social Service Establishment” use. The proposed use is permitted on the subject lands.

Appendix "A": Planning Rationale
430 & 436 Cannon Street East, Hamilton
February 17, 2022



Figure 1 - Site Location



Appendix “A”: Planning Rationale
430 & 436 Cannon Street East, Hamilton
 February 17, 2022



Proposed Development

HUCCHC has operated at a leased location at 71 Rebecca Street, Hamilton since 1996. 71 Rebecca Street is being redeveloped by the landowner and therefore, HUCCHC was provided notice that their tenancy would not continue. As a result HUCCHC was tasked with finding a new, permanent location that permitted their Social Service Establishment use with funding from the Ontario Ministry of Health. The new location being 430 & 436 Cannon Street East, Hamilton. The proposed development is currently being reviewed through a City of Hamilton Site Plan Control process and received Conditional Approval in June 2021 (DA-21-010).

HUCCHC is proposing to redevelop the subject lands for a 2-storey building with a height of 10 metres that will be used for a “Social Service Establishment” use (**refer to submitted Elevations**). The proposed total gross floor area is $\pm 1,450$ square metres (15,607 square feet). The site layout is premised on a one-way site circulation; inbound from Cannon Street East and outbound onto Ashley Street and utilizes the general location of existing accesses to 430 Cannon St E. The proposed use is supported by thirty-four (34) on-site parking spaces. The site will be serviced by private waste removal services (**Refer to submitted Site Plan**).

The site design of the two properties has been based on meeting the required 1.5m right-of-way widening along Cannon Street East, and the required 4.57 metre x 4.57 metre daylight triangle at the corner of Cannon Street East and Ashley Street. In addition, the proposed development is a Ministry of Health funded project and is subject to defined criteria for development including a minimum gross floor area of the building to accommodate the proposed use.

Summary of the Variances

Seven (7) Minor Variances are being sought from the former City of Hamilton Zoning By-law No. 05-200 to facilitate the proposed 2-storey social services establishment on the subject lands. The requested minor variances are as follows:

	<u>Zoning By-law No.</u> <u>05-200 Section</u>	<u>Purpose</u>
1	10.2.3.a.i	To allow a minimum 0 metre setback from the Cannon Street East street line, whereas a minimum 1.5 metre setback from a street line is required.
2	10.2.3.i.vii	To allow no principal entrance on the ground floor façade closest to the street, whereas a principal entrance on the ground floor façade closest to the street is required.
3	5.1.a.v.a	To allow a parking space 1.0 metre from the Ashley Street street line, whereas no parking space shall be located within 3.0 metres of a street line.
4	5.1.a.v.b	To allow no planting strip between the parking area and the Ashley Street street line, whereas a minimum 3.0 metre wide planting strip is required.
5	5.1.a.v.a	To allow a parking space 1.0 metre from the Cannon Street East street line, whereas no parking space shall be located within 3.0 metres of a street line.

Appendix “A”: Planning Rationale
430 & 436 Cannon Street East, Hamilton
 February 17, 2022



6	5.1.a.v.b	To allow a 1.0 metre planting strip between the parking area and the Cannon Street East street line, whereas a minimum 3.0 metre wide planting strip is required.
7	5.6.c	To allow 34 on-site parking spaces (1 space/ 42m ²) for a Social Service Establishment use whereas 48 on-site parking spaces (1 space/ 30m ²) is required.

PLANNING RATIONALE TO SUPPORT THE VARIANCES

Overall Conformity to the Urban Hamilton Official Plan

The *Urban Hamilton Official Plan, Volume 1* (UHOP) designates the subject lands “Neighbourhoods” (Schedule E-1), along a Minor Arterial (Schedule C), being Cannon Street East, and west of a Minor Arterial, being Wentworth Street North. The subject lands are 550 metres east of the Downtown Urban Growth Centre Node and 580 metres north of King Street East, being a Primary Corridor with a planned higher order transit (Schedule E).

Chapter B: Community Facilities/Services

3.5.1 Policy Goals

3.5.1.1 Create a vibrant, active and supportive City by providing community facilities/services that support a high quality of life for all residents.

3.5.1.2 Achieve equitable and efficient access, distribution, and integration of community facilities/services which meet the needs of people of all ages, backgrounds, and capabilities throughout all stages of their lives and across the City.

3.5.1.3 Provide community facilities/services in an efficient sustainable manner that optimizes their use, minimizes their environmental impacts, and promotes their flexibility to adapt to changing needs.

3.5.2 General Policies Privately and Publicly Owned or Operated Community Facilities/Services

3.5.2.1 All new public buildings which are publicly or privately owned and/or operated community facilities:

- b) shall be easily accessible by walking, cycling, and public transit where provided;*

Chapter E: Neighbourhoods

The following goals apply to the Neighbourhoods land use designation:

3.1.1 Develop compact, mixed use, transit-supportive, and active transportation friendly neighbourhoods.

3.1.2 Develop neighbourhoods as part of a complete community, where people can live, work, shop, learn, and play.

E.3.2 Neighbourhoods Designation - General Policies

3.2.3 The following uses shall be permitted on lands designated Neighbourhoods on Schedule E-1 - Urban Land Use Designations:

- c) local community facilities/services;*

Scale and Design

3.2.6 Supporting uses such as local commercial, community facilities/services, and open space and parks, should be clustered to create a focal point for the neighbourhood and to facilitate access by all forms of transportation.

3.2.7 The City shall require quality urban and architectural design. Development of lands within the Neighbourhoods designation shall be designed to be safe, efficient, pedestrian oriented, and attractive, and shall comply with the following criteria:

- c) Adequate and direct pedestrian access and linkages to community facilities/services and local commercial uses shall be provided.*
- d) Development shall improve existing landscape features and overall landscape character of the surrounding area.*
- e) Development shall comply with Section B.3.3 - Urban Design Policies and all other applicable policies.*

3.2.8 Proposals for supporting uses, except local commercial uses, within the Neighbourhoods designation shall be evaluated on the following criteria:

- a) compatibility with the surrounding area in terms of scale, massing, height, siting, orientation, setbacks, parking, and landscaping;*
- b) access to a collector or major or minor arterial road shall be preferred;*
- c) provision of adequate off-street parking with appropriate buffering and landscaping from residential uses;*

3.2.11 To maintain existing neighbourhood character and to provide for pedestrian friendly environments, reduced right-of-way widths may be permitted in accordance with Section C.4.5 - Roads Network.

E.3.10 Community Facilities/Services

Function

3.10.1 Community facilities/services uses include public and private uses serving the cultural, religious, health, welfare, and educational needs of a neighbourhood. Community facilities/services may include community and recreation centres, arenas, parks, healthcare and social service facilities, long term care

Appendix “A”: Planning Rationale
430 & 436 Cannon Street East, Hamilton
 February 17, 2022



facilities, day care centres, seniors' centres, emergency medical services, fire services, police services, cultural facilities, places of worship, museums, schools, universities and colleges, and libraries. (OPA 64)

3.10.4 The City shall collaborate with other community facilities/services organizations to facilitate the provision of a wide range of services in close proximity to residents.

B.3.3 Urban Design

3.3.1 Urban Design Goals The following goals shall apply in the urban area:

3.3.1.1 Enhance the sense of community pride and identification by creating and maintaining unique places.

3.3.1.2 Provide and create quality spaces in all public and private development.

3.3.1.3 Create pedestrian oriented places that are safe, accessible, connected, and easy to navigate for people of all abilities.

3.3.1.4 Create communities that are transit-supportive and promote active transportation.

3.3.1.5 Ensure that new development is compatible with and enhances the character of the existing environment and locale.

3.3.1.6 Create places that are adaptable and flexible to accommodate future demographic and environmental changes.

3.3.1.10 Create urban places and spaces that improve air quality and are resistant to the impacts of climate change

3.3.2.4 Quality spaces physically and visually connect the public and private realms. Public and private development and redevelopment should create quality spaces by:

a) organizing space in a logical manner through the design, placement, and construction of new buildings, streets, structures, and landscaping;

d) creating a continuous animated street edge in urban environments;

3.3.2.5 Places that are safe, accessible, connected and easy to navigate shall be created by using the following design applications, where appropriate:

a) connecting buildings and spaces through an efficient, intuitive, and safe network of streets, roads, alleys, lanes, sidewalks, and pathways;

b) providing connections and access to all buildings and places for all users, regardless of age and physical ability;

c) ensuring building entrances are visible from the street and promoting shelter at entrance ways;

Appendix “A”: Planning Rationale
430 & 436 Cannon Street East, Hamilton
 February 17, 2022



3.3.2.9 Urban design plays a significant role in the physical and mental health of our citizens. Community health and well-being shall be enhanced and supported through the following actions, where appropriate:

- a) creating high quality, safe streetscapes, parks, and open spaces that encourage physical activity and active transportation;*

Planning Response to Overall Intent of the Official Plan for All Variances:

The proposed community facility and service, being a Social Service Establishment is a permitted use (E.3.2.3.c, E.3.10.1) that will support the overall Neighbourhood in a location that is close to residents and very accessible from other areas of the City (E.3.10.4). The proposed development will replace two (2) auto-centric uses historic to the neighbourhood, being a former taxi hub and an existing vehicle repair shop, both of which are no longer in keeping with the pedestrian-oriented and sustainable vision for the Neighbourhood Commercial lands.

The subject lands front onto Cannon Street East (E.3.2.8.b) which is an established minor arterial road fronted with a mix of uses and provides connectivity to a number of uses including local commercial, community service and residential uses (E.3.2.6). The proposed building is of high quality urban and architectural design that provides a compatible scale and a logical site organization with direct pedestrian connections via walkways (e.3.2.7, E.3.2.8). Landscaping including decorative shrubs and street trees will be included within the site design to enhance the existing streetscape and contribute to the urban canopy (E.3.2.7.d). An appropriate number of on-site parking spaces are proposed on a site located in proximity to high levels of transit, bike and walking infrastructure (Paradigm Transportation, 2022) (E.3.5.2.1.b, E.3.2.8.c). A proposed planting strip abutting the existing City assumed laneway buffers and maintains an appropriate distance between the parking area and existing residential to the north on Ashley Street (E.3.2.8.c).

The proposed development will contribute to an enhanced streetscape with a building that has been designed to address the existing right-of-way frontages of both Cannon St E and Ashley St, with minimum or reduced street line setbacks and activated facades via glazing and interior building design. The proposed building has been designed to provide barrier free access with a sheltered entry in an intuitive way-finding location, adjacent to the drop-off area, to promote a sense of place (B.3.3).

Overall, the proposed redevelopment for a 2-storey social services establishment within the Landsdale neighbourhood, including a reduction in the setback of the building to Cannon St E, location of the front door, reduction in the setback and landscape between parking to Cannon St E and Ashley St and the number of parking on-site parking spaces is aligned with the UHOP's goals and policies for more complete, sustainable and enhanced Neighbourhoods. Therefore, the proposed variances conform to the intent of the UHOP.

The remainder of this report will serve to identify each variance and address the three (3) remaining tests in keeping with the Planning Act criteria.

VARIANCE 1. To allow a minimum 0 metre setback from the Cannon Street East street line, whereas a minimum 1.5 metre setback from a street line is required.

Why is it not possible to comply with the provision of the By-law?

The proposed redevelopment is impacted by a number of physical limitations. The proposed redevelopment is a Ministry of Health funded project, which implements a minimum gross floor area for the building. The proposed 0.0 metre setback from Cannon St E is to account for a 1.5 metre right-of-way widening along Cannon St E.

PLANNING RATIONALE TO SUPPORT VARIANCE 1:

1. Conformity to the intent of the Zoning By-law

The intent of a minimum street line setback is to establish space between a building’s façade to accommodate landscaping, canopies, encroachments, etc. The proposed 0.0 metre setback is in result of a required 1.5 metre right-of-way widening along Cannon Street East which will establish a new property line. The proposed building proposes landscape and placemaking elements within the future ROW for public use to be implemented through an Encroachment Agreement. The building’s architectural design does not require encroachments into the ROW for eaves, etc.

The proposed setback from the Cannon Street street line is consistent with the existing setbacks on the street which generally range from 0.0 metres to 3.0 metres and overall streetscape.

2. Is the variance minor?

The requested variance to reduce the setback to the Cannon St street line from 1.5m to 0.0m and is minor as it will continue to allow an activated and articulated façade without adversely impacting the pedestrian experience.

3. Is the variance desirable for the development of the property?

The variance is desirable as it will allow for the building to proceed as designed in coordination with the Provincial Ministry of Health and dedicate lands to the City for the public right-of-way. The proposed variance will maintain the “build-to” streetscape while enhancing the neighbourhood character with and activated, social services use. The proposed building will continue to delineate the street while providing a built-form that is respectful of the existing neighbourhood character.

Appendix “A”: Planning Rationale
430 & 436 Cannon Street East, Hamilton
 February 17, 2022



VARIANCE 2. To allow no principal entrance on the ground floor façade closest to the street, whereas a principal entrance on the ground floor façade closest to the street is required.

Why is it not possible to comply with the provision of the By-law?

The principal entrance is proposed at the northeast corner of the building and not within the ground floor façade closest to the street. Policy B.3.3.2.5 of the Urban Hamilton Official Plan promotes safe, accessible, connected and easy to navigate spaces, with building entrances that are visible from the street and promoting shelter at entrance ways. The proposed principal entrance, while located at the corner of the building facing eastward, it is very close to the street and highly visible complete with features including a 3.75 metre deep canopy overhang for a weather protected entrance without encroaching onto the public right-of-way. The proposed canopy is an important architectural design feature of the building’s identity. The interior function of the building is thoughtfully designed to provide a welcoming and safe environment to clients. The proposed principle building entrance adjacent to the drop-off area allows for a logical wayfinding circulation complete with direct sidewalk connections.

PLANNING RATIONALE TO SUPPORT VARIANCE 2:

4. Conformity to the intent of the Zoning By-law

The intent of the principal building entrance being from the Cannon St E façade is to promote an activated façade with logical wayfinding into the building. The proposed location of the principal building entrance provides is in an intuitive location by being located at the corner of the building with direct sidewalk connections. The proposed design is aligned with applicable urban design policies in that the entrance is designed to have more presence on the street with the use of a drop-off area, covered entry to protect from weather elements and direct sidewalk connections to the public realm. The Cannon St E façade will be activated with a high percentage of glazing and architectural detail. The elevations are subject to approval per DA-21-010.

5. Is the variance minor?

The variance is minor as architectural and site planning details provide a logical wayfinding connection to the principal entrance. The proposed location of the principal entrance will have presence on the street.

6. Is the variance desirable for the development of the property?

The variance is desirable for the development of the property as it provides a more secure and sensitive entrance into the social service establishment. The proposed location of the principal entrance allows for a sheltered and weather protected area with an architecturally unique design element to the overall building design.

Appendix “A”: Planning Rationale
430 & 436 Cannon Street East, Hamilton
 February 17, 2022



VARIANCE 3. To allow a parking space 1.0 metre from the Ashley Street street line, whereas no parking space shall be located within 3.0 metres of a street line.

Why is it not possible to comply with the provision of the by-law?

In order to maximize the efficiency of the subject lands while conforming to Ministry space allocation requirements of the building, some of the parking is proposed to be at a 45 degree angle to accommodate as much parking on-site as can reasonably function. In result, a pinch-point of less than 3.0 metre is created at the Ashley St frontage.

VARIANCE 4. To allow no planting strip between the parking area and the Ashley Street street line, whereas a minimum 3.0 metre wide planting strip is required.

Why is it not possible to comply with the provision of the by-law?

The proposed variance to allow no planting strip between the parking area and the Ashley Street street line is required as a result of Variance 3 and the existing utility box (i.e. Bell) and hydro pole which is proposed to be maintained as existing. To facilitate the proposed development and maximize the number of on-site parking, one of parking space is partially located within 1.0 metres of Ashley Street. As such, a 3.0 metre wide planting strip cannot be accommodated between the parking space and Ashley Street.

PLANNING RATIONALE TO SUPPORT VARIANCE 3 & 4:

1. Conformity to the intent of the Zoning By-law

The intent of the parking space setback of 3.0 metres and planting strip is to ensure parking can be screened from the public realm. The proposed variances along Ashley Street maintain the intent of the zoning by-law by having limited parking presence on the Ashley St. frontage, as only one (1) parking space is partially within 3.0 metre of the street with the rest of the parking adjacent to the interior side lot line abutting the laneway. Further, it allows the existing Bell box and hydro pole to be maintained. The bell box will not encroach within a 3.7m x 3.7m visibility triangle at the driveway. Sod will be planted where possible. Final Landscape plans will be approved through DA-21-010.

The Ashley St. frontage will be enhanced with a 1.5 metre building setback that can accommodate landscaping and a delineated building edge with an activated west-facing façade.

2. Is the variance minor?

The requested variance is minor as parking adjacent to Ashley St. is minimized and landscaping is provided where feasible on-site. Although not a zoning requirement, a 1.0 metre wide planting strip is proposed between the parking area and laneway to maximize on-site landscaping. The overall impact of this variance is minor and is further offset by the additional planting strip that has been proposed, enhancing the current condition. Landscaping will be approved per DA-21-010.

Appendix “A”: Planning Rationale
430 & 436 Cannon Street East, Hamilton
 February 17, 2022



3. Is the variance desirable for the development of the property?

The variance is desirable as it allows for the efficient redevelopment of urban lands for the proposed social service establishment and will maximize the number of on-site parking spaces and landscaping, while maintaining safe circulation and maneuvering.

VARIANCE 5. To allow a parking space 1.0 metre from the Cannon Street East street line, whereas no parking space shall be located within 3.0 metres of a street line.

VARIANCE 6. To allow a 1.0 metre planting strip between the parking area and the Cannon Street East street line, whereas a minimum 3.0 metre wide planting strip is required.

Why is it not possible to comply with the provisions of the by-law?

The proposed variances to allow a 1.0 metre setback between parking and the street line and a 1.0 metre planting strip between the parking area and the street line is requested as a result of two site constraints; the 1.5 metre widening along Cannon Street East and the resulting depth of the subject lands.

PLANNING RATIONALE TO SUPPORT VARIANCES 5 & 6:

1. Conformity to the intent of the Zoning By-law

The intent of the parking space setback of 3.0 metres and planting strip is to ensure parking can be screened from the public realm. The proposed variances along Cannon St E maintain the intent of the zoning by-law as public asset street trees are proposed within the public right-of-way on lands dedicated to the City in addition to the 1.0 metre planting strip with low shrubbery on the subject lands.

2. Is the variance minor?

The requested variance recognizes the physical depth limitation of the site and the required 1.5 metre widening. As street trees and a narrower planting strip will be accommodated through the site plan development, the goal of the City to achieve a more pedestrian scaled and landscaped street line will be achieved. Therefore, the variance is minor.

3. Is the variance desirable for the development of the property?

The variance is desirable as it allows for the efficient redevelopment of urban lands for the proposed social service establishment and will maximize the number of on-site parking spaces with accessibility, while still achieving a buffered parking area with landscaping.

Appendix “A”: Planning Rationale
430 & 436 Cannon Street East, Hamilton
 February 17, 2022



VARIANCE 7. To allow 1 parking space per 42 square metres of Social Service Establishment use (i.e. 34 spaces) whereas 1 per 30 square metres of Social Service Establishment use (i.e. 48 spaces) is required.

Why is it not possible to comply with the provisions of the by-law?

The total site area is not able to accommodate the development of a 1,450m² Social Service Establishment and 48 parking spaces while still accommodating a waste storage area and required drive aisles for a safe site circulation.

PLANNING RATIONALE TO SUPPORT VARIANCES 5 & 6:

4. Conformity to the intent of the Zoning By-law

The intent of the zoning by-law's minimum parking requirements is to ensure that a site's land use is providing enough on-site parking to meet the demand of the end-user. This is to prevent on-street parking and impacting the surrounding neighbourhood. A Parking Study has been prepared by Paradigm Transportation Consultants dated February 2022 which supports the parking reduction as HUCCHC's peak and stable demands will be met. In summary:

- Daytime Peak Demand is 30 spaces;
- Evening Peak Demand is 23 spaces.

Additionally, the site is well located within the City with land use and transit accessibility characteristics of Downtown and/or Transit Corridor sites which would require 1 space/50m² of Social Service Establishment floor area. Therefore, the proposed parking ratio of 1/42m² provides an average between a site within a highly urbanized area with a high degree of multi-modal network and transit network access and a suburban area context which is more dependent on vehicle trips.

The proposed variance to reduce parking for a total of 34 parking spaces maintains the intent of the zoning by-law. Refer to the submitted Parking Study for further detail.

5. Is the variance minor?

Yes, the variance is minor as HUCCHC's real demand will be achieved and the neighbourhood will not be adversely impacted by overspill of parking. The client group of HUCCHC often walk, bike or take transit to their services and staff parking demand will be accommodated on site. The site is accessible by alternative transportation methods including transit, walking and cycling.

Appendix "A": Planning Rationale
430 & 436 Cannon Street East, Hamilton
February 17, 2022



6. Is the variance desirable for the development of the property?

The variance is desirable as it will facilitate a new Social Service Establishment that will improve access to social and primary health services within an appropriate location in the neighbourhood while avoiding a surplus of parking that would result in an expansive parking area that would not be efficiently utilized. The reduction in parking spaces will achieve a compact, urban development that will support the City's sustainability goals to respond to the climate emergency by promoting the use of alternative means of transportation.

Conclusion

The proposed redevelopment of the subject lands will activate the historically auto-centric lands and enhance the existing built form of the neighbourhood with a use that is permitted and more aligned with the elements of a complete community. The proposed redevelopment will provide a permitted community use within the Landsdale neighbourhood which benefits from a high degree of walkability, bike-ability, and transit. The proposed redevelopment will provide a high-quality built form with a logical and safe site design that provides appropriate height and setbacks, as required by the C2 Zone, to the surrounding uses. The requested variances meet the intent of the UHOP, Zoning By-law No. 05-200, are minor, are desirable and represents good land use planning.

Respectfully submitted,

Katelyn Gillis, BA
Intermediate Planner

Terri Johns, MCIP, RPP
President



Hamilton

COMMITTEE OF ADJUSTMENT

City Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5
 Telephone (905) 546-2424, ext. 4221, 3935 Fax (905) 546-4202
 E-mail: cofa@hamilton.ca

NOTICE OF PUBLIC HEARING Minor Variance

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
- Applicant/agent on file, or
- Person likely to be interested in this application

APPLICATION NO.: GL/A-22:56

APPLICANTS: Agent Zig Zilinskis
 Owners C. & L. Medcalf

SUBJECT PROPERTY: Municipal address **1230 Woodburn Rd., Glanbrook**

ZONING BY-LAW: Zoning By-law 05-200, as Amended 15-173

ZONING: "S1,E54" (Settlement Residential) district

PROPOSAL: To permit the construction of a 107 square metre accessory building on a residential parcel of land containing an existing single detached dwelling notwithstanding that:

1. A maximum height of 5.7 metres shall be permitted for an accessory building, instead of the requirement that all accessory buildings shall have a maximum height of 4.5 metres.
2. An aggregate maximum gross floor area of 132 square metres shall be permitted for all buildings accessory to a single detached dwelling, instead of the requirement that all buildings accessory to a single detached dwelling shall not exceed an aggregate gross floor area of 45 square metres.

NOTE:

1. Detailed elevation drawings have not been provided to confirm the height of the proposed accessory building, and therefore Variance No. 3 has been written as requested by the applicant.
2. It is noted that the submitted application indicates that proposed accessory building is to provide storage for various vehicles i.e. riding mower, boat, snow blower, atv's etc. . Please note that specific details regarding parking on the lot were not provided as part of this application to confirm zoning compliance. Additional variances may be required if compliance with Section 5 of Hamilton Zoning By-law No. 05-200 is not possible.
3. A building permit is required for the construction of the proposed building. Be advised that Ontario Building Code regulations may require specific setback and construction types.
4. Please note that the specific distance that the eave and gutters project has not been indicated on the submitted plan. Please note that as per Section 4.8(g), an eave or gutter of any accessory building may encroach into any required yard to a maximum of 0.45 metres. Additional variances may be required if compliance with Section 4.8(g) is not possible.

GL/A-22: 56
Page 2

This application will be heard by the Committee as shown below:

DATE: Thursday, April 7th, 2022
TIME: 3:30 p.m.
PLACE: Via video link or call in (see attached sheet for details)
To be streamed at
www.hamilton.ca/committeeofadjustment
for viewing purposes only

PUBLIC INPUT

Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

Orally: If you would like to speak to this item at the hearing you may do so via video link or by calling in. Please see attached page for complete instructions, including deadlines for registering to participate.

MORE INFORMATION

For more information on this matter, including access to drawings illustrating this request:

- Visit www.hamilton.ca/committeeofadjustment
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935
- Email Committee of Adjustment staff at cofa@hamilton.ca

DATED: March 22nd, 2022.

Jamila Sheffield,
Secretary-Treasurer
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public.

Viking Building Systems Ltd.
38 Elora Drive Unit # 3
Hamilton, ON L9C 7K3

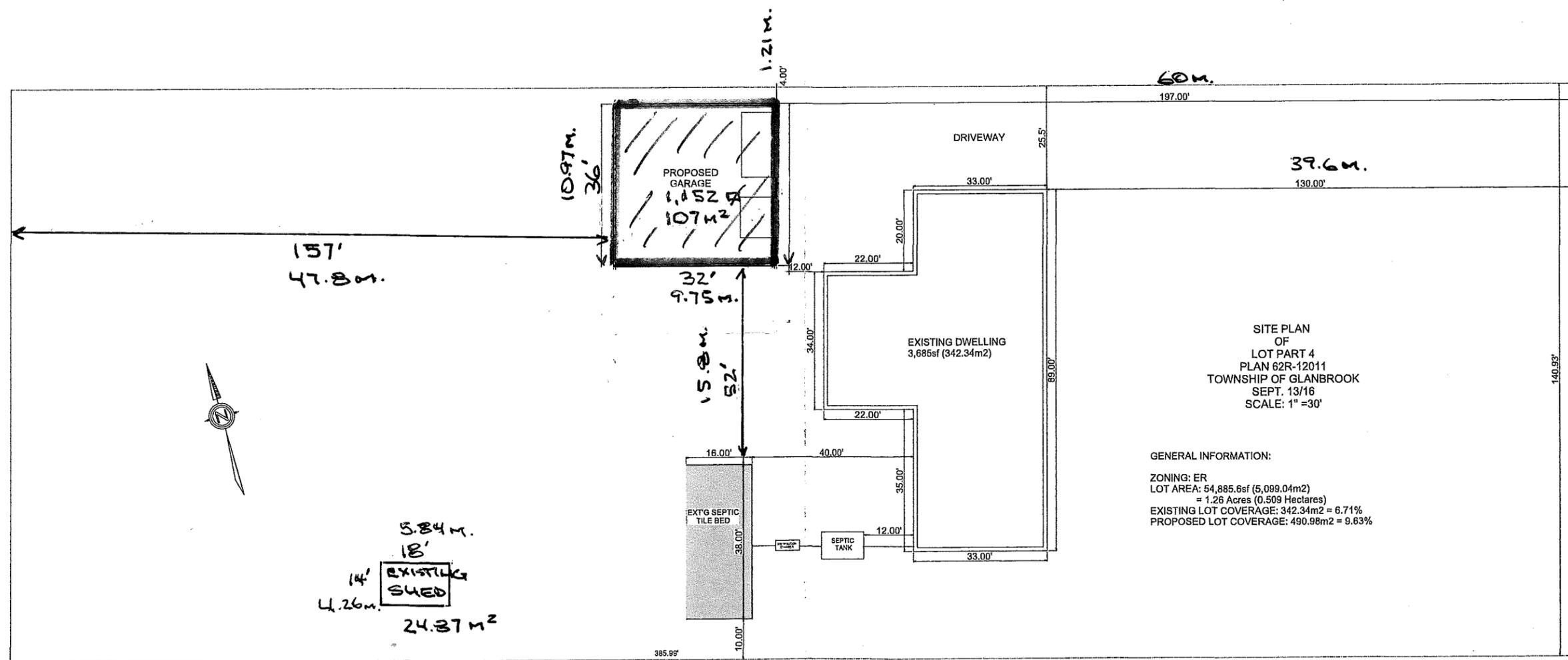
JAN/2022
REVISED SITE PLAN

CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department
SEP 19 2016
REC BY _____ DATE _____
REF'D TO _____ DATE _____

CITY OF HAMILTON
Building Division

Permit No. 16-127724

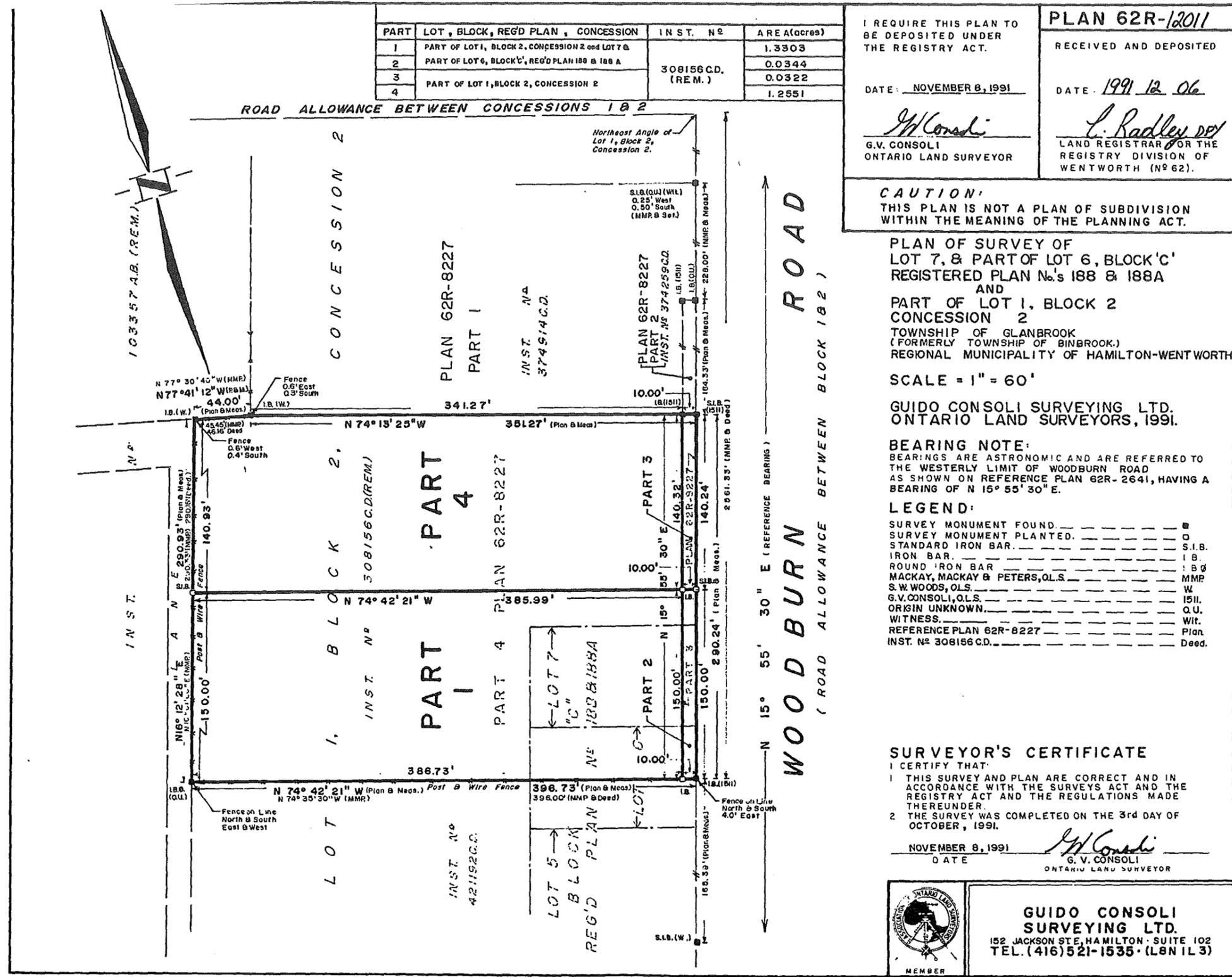
THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE
THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH
THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW
These drawings and/or specifications have been reviewed by
FOR CHIEF BUILDING OFFICER
OCT 04 2016
DATE



SITE PLAN
OF
LOT PART 4
PLAN 62R-12011
TOWNSHIP OF GLANBROOK
SEPT. 13/16
SCALE: 1" = 30'

GENERAL INFORMATION:
ZONING: ER
LOT AREA: 54,885.6sf (5,099.04m²)
= 1.26 Acres (0.509 Hectares)
EXISTING LOT COVERAGE: 342.34m² = 6.71%
PROPOSED LOT COVERAGE: 490.98m² = 9.63%

WOODBURN ROAD



62R-12011

16X



Committee of Adjustment
City Hall, 5th Floor,
71 Main St. W.,
Hamilton, ON L8P4Y5

Phone: (905) 546-2424 ext. 4221
Email: info@cityofhamilton.ca

APPLICATION FOR A MINOR VARIANCE

FOR OFFICE USE ONLY.	
APPLICATION NO. _____	DATE APPLICATION RECEIVED _____
PAID _____	DATE APPLICATION DEEMED COMPLETE _____
SECRETARY'S SIGNATURE _____	

The Planning Act

Application for Minor Variance or for Permission

The undersigned hereby applies to the Committee of Adjustment for the City of Hamilton under Section 45 of the *Planning Act*, R.S.O. 1990, Chapter P.13 for relief, as described in this application, from the Zoning By-law.

1. 2	NAME	MAILING ADDRESS
Registered Owners(s) *		
Applicant(s)* *		
Agent or Solicitor		

Note: Unless otherwise requested all communications will be sent to the agent, if any.

3. Names and addresses of any mortgagees, holders of charges or other encumbrances:

* Caisse Desjardins, 1380 LaSalle Blvd, Sudbury, On

Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled

4. Nature and extent of relief applied for:

* HEIGHT - FROM 4.5M. TO 5.7M. (PEAK TO GRADE)
 * SIZE - FROM 45M² TO 131.87M²

- Second Dwelling Unit Reconstruction of Existing Dwelling

5. Why it is not possible to comply with the provisions of the By-law?

* HEIGHT REQUIRED TO STORE BOAT -
 STORAGE FOR RIDING MOWER, WITH ENGINE AND LAWN ROVER
 * LAWN MOWER, VEHICLES, BOAT, SNOW BLOWER, ATV'S,
 WOOD BENCHES, STORAGE SHELVING, ETC.

6. Legal description and Address of subject lands (registered plan number and lot number or other legal description and where applicable, street and street number):

* 1230 WOODBURN RD., HANNOX, ONT.
 PT LT 1, BLK 2, BINBROOK, PART 4, 62 R12011
 GLANBROOK, CITY OF HAMILTON

7. PREVIOUS USE OF PROPERTY

Residential Industrial Commercial

Agricultural Vacant

Other _____

8.1 If Industrial or Commercial, specify use _____

8.2 Has the grading of the subject land been changed by adding earth or other material, i.e. has filling occurred?

Yes No Unknown

8.3 Has a gas station been located on the subject land or adjacent lands at any time?

Yes No Unknown

8.4 Has there been petroleum or other fuel stored on the subject land or adjacent lands?

Yes No Unknown

8.5 Are there or have there ever been underground storage tanks or buried waste on the subject land or adjacent lands?

Yes No Unknown

8.6 Have the lands or adjacent lands ever been used as an agricultural operation where cyanide products may have been used as pesticides and/or sewage sludge was applied to the lands?

Yes No Unknown

8.7 Have the lands or adjacent lands ever been used as a weapon firing range?

Yes No Unknown

8.8 Is the nearest boundary line of the application within 500 metres (1,640 feet) of the fill area of an operational/non-operational landfill or dump?

Yes No Unknown

8.9 If there are existing or previously existing buildings, are there any building materials remaining on site which are potentially hazardous to public health (eg. asbestos, PCB's)?

Yes No Unknown

8.10 Is there any reason to believe the subject land may have been contaminated by former uses on the site or adjacent sites?
Yes No Unknown

8.11 What information did you use to determine the answers to 8.1 to 8.10 above?
*** We have lived at the property since 2004 and are knowledgeable of the property and surrounding areas**

8.12 If previous use of property is industrial or commercial or if YES to any of 8.2 to 8.10, a previous use inventory showing all former uses of the subject land, or if appropriate, the land adjacent to the subject land, is needed.

Is the previous use inventory attached? Yes No

9. ACKNOWLEDGEMENT CLAUSE

I acknowledge that the City of Hamilton is not responsible for the identification and remediation of contamination on the property which is the subject of this Application – by reason of its approval to this Application.

X 2/4/2022 | 11:13 AM EST Date
DocuSigned by: **X Chris Medcalf** Signature of Property Owner(s)
DocuSigned by: **Lori Medcalf** 06DD85BE6F7499...
X Chris and Lori Medcalf Print Name of Owner(s)

10. Dimensions of lands affected:

Frontage	42.95 M. (140.93')
Depth	117.65 M. (385.99')
Area	5053.07 M ² (54,397.57 A)
Width of street	8.25 M (27')

11. Particulars of all buildings and structures on or proposed for the subject lands: (Specify ground floor area, gross floor area, number of stories, width, length, height, etc.)

Existing: ***DETACHED, 1 STORY, RANCH STYLE HOME**
***SHED -**
Proposed: **DETACHED ACCESSORY BLD. FOR A SINGLE FAMILY DWELLING.**

PLEASE ATTACH SITE PLAN.

12. Location of all buildings and structures on or proposed for the subject lands: (Specify distance from side, rear and front lot lines)

Existing:
Proposed:

SITE PLAN ATTACHED.

13. Date of acquisition of subject lands:
July 15 / 2004
14. Date of construction of all buildings and structures on subject lands:
House Built in 2000
15. Existing uses of the subject property (single family, duplex, retail, factory etc.):

16. Existing uses of abutting properties (single family, duplex, retail, factory etc.):

17. Length of time the existing uses of the subject property have continued:
APPROXIMATELY 22 YEARS, HOUSE BUILT IN 2000
18. Municipal services available: (check the appropriate space or spaces)
 Water NONE Connected _____
 Sanitary Sewer NONE Connected _____
 Storm Sewers NONE
19. Present Official Plan/Secondary Plan provisions applying to the land:

20. Present Restricted Area By-law (Zoning By-law) provisions applying to the land:

21. Has the owner previously applied for relief in respect of the subject property? (Zoning By-law Amendment or Minor Variance)
 Yes No
- If yes, please provide the file number:
NO. GL/A - 16 : 113
- 21.1 If a site-specific zoning by-law amendment has been received for the subject property, has the two-year anniversary of the by-law being passed expired?
 Yes No
- 21.2 If the answer is no, the decision of Council, or Director of Planning and Chief Planner that the application for Minor Variance is allowed must be included. Failure to do so may result in an application not being "received" for processing.
22. Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?
 Yes No
23. Additional Information (please include separate sheet if needed)

24. The applicant shall attach to each copy of this application a plan showing the dimensions of the subject lands and of all abutting lands and showing the location, size and type of all buildings and structures on the subject and abutting lands, and where required by the Committee of Adjustment such plan shall be signed by an Ontario Land Surveyor.



Hamilton

COMMITTEE OF ADJUSTMENT

City Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5
 Telephone (905) 546-2424, ext. 4221, 3935 Fax (905) 546-4202
 E-mail: cofa@hamilton.ca

NOTICE OF PUBLIC HEARING
Minor Variance

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
- Applicant/agent on file, or
- Person likely to be interested in this application

APPLICATION NO.: SC/A-22:58

APPLICANTS: Agent Urban Solutions - M. Johnston
 Owner 5000933 Ontario Inc. - A. DiCenzo

SUBJECT PROPERTY: Municipal address **339 - 347 Fifty Rd., Stoney Creek**

ZONING BY-LAW: Zoning By-law 3692-92, as Amended 13-130

ZONING: "RM3-49", "RM2-37", "RM2-38" (Multiple Residential - Three, Multiple Residential - Two) district

PROPOSAL: To facilitate the development of seventy-nine (79) residential dwelling units composed of townhouse and back to back townhouse dwellings, notwithstanding that:

1. The zoning provisions of the "RM3-49" Zone be applied to the entire subject site, whereas the "RM2-37" and "RM2-38" site-specific zones currently apply to blocks within the subject lands as required by Section 3.3 of the By-law.
2. A minimum front yard of 3.0 metres shall be permitted instead of the minimum required front yard of 7.5 metres.
3. A minimum rear yard of 2.0 metres shall be permitted instead of the minimum required rear yard of 6.0 metres.
4. A maximum density of 50 units per hectare shall be permitted instead of the maximum 40 units per hectare permitted.
5. A maximum building height of 14 metres shall be permitted, instead of the maximum 11 metres permitted.
6. No privacy area shall be required instead of the requirement that a privacy area with a minimum depth of 4.5 metres shall be provided.
7. A landscape strip with a minimum width of 1.80 metres shall be permitted abutting a street, instead of the minimum 4.5 metre landscape strip required.
8. A visitor parking ratio of 0.29 spaces per unit shall be provided instead of the required visitor parking ratio for maisonette and townhouse dwelling units of 0.5 spaces per unit.
9. Where the required minimum number of parking spaces is four or more, no parking spaces shall be closer than 1.5 metres to any lot line, instead of the requirement that a parking space shall be 3.0 metres to any lot line.

SC/A-22: 58
Page 2

10. Where there is a group of three or more parking spaces, no parking space shall be provided closer than 1.5 metres to a dwelling unit, instead of the requirement that no parking shall be provided closer than 3.0 metres to a dwelling unit for three or more parking spaces.

NOTES:

1. Please note that variances have been written exactly as requested by the applicant. Please be advised, the lands may be subject to a Site Plan Control Application. As of today's date, a Site Plan Application has not been submitted.

This application will be heard by the Committee as shown below:

DATE: Thursday, April 7th, 2022
TIME: 3:35 p.m.
PLACE: Via video link or call in (see attached sheet for details)
 To be streamed at
www.hamilton.ca/committeefadjustment
 for viewing purposes only

PUBLIC INPUT

Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

Orally: If you would like to speak to this item at the hearing you may do so via video link or by calling in. Please see attached page for complete instructions, including deadlines for registering to participate.

MORE INFORMATION

For more information on this matter, including access to drawings illustrating this request:

- Visit www.hamilton.ca/committeefadjustment
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935
- Email Committee of Adjustment staff at cofa@hamilton.ca

DATED: March 22nd, 2022.

Jamila Sheffield,
Secretary-Treasurer
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public.

FOOTHILLS OF WINONA - Phases 2 and 3

LOT 4

LOT 3

CANADIAN NATIONAL RAILWAYS
PIN 17368-0122 (LT)

APPROVAL CERTIFICATE

APPROVED UNDER SECTION 51 OF THE PLANNING ACT, R.S.O. 1990, c.P. 13, AS AMENDED, BY THE GENERAL MANAGER OF PLANNING AND ECONOMIC DEVELOPMENT DEPARTMENT OF THE CITY OF HAMILTON UNDER THE AUTHORITY OF BY-LAW 07-323.

THIS 30TH DAY OF AUGUST, 2017

Sergio Manchia
GENERAL MANAGER, PLANNING AND ECONOMIC DEVELOPMENT
CITY OF HAMILTON

PLAN 62M-1241

I CERTIFY THAT THIS PLAN 62M-1241 IS REGISTERED IN THE LAND REGISTRY OFFICE FOR THE LAND TITLES DIVISION OF WENTWORTH (62) AT 13:52 O'CLOCK ON THE 14th DAY OF SEPT. 2017 AND ENTERED IN THE REGISTER FOR PROPERTY IDENTIFIER(S)

17368-0652 (LT)
AND REQUIRED CONSENTS ARE REGISTERED AS PLAN DOCUMENT No. WE1234815

"CLANGANER"
REPRESENTATIVE FOR LAND REGISTRAR

THIS PLAN COMPRISES PART OF PIN 17368-0652(LT)

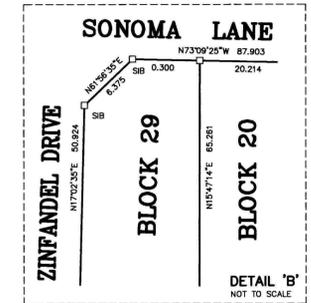
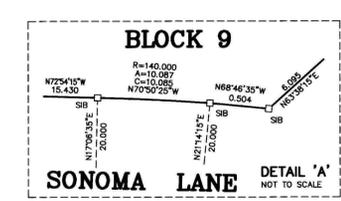
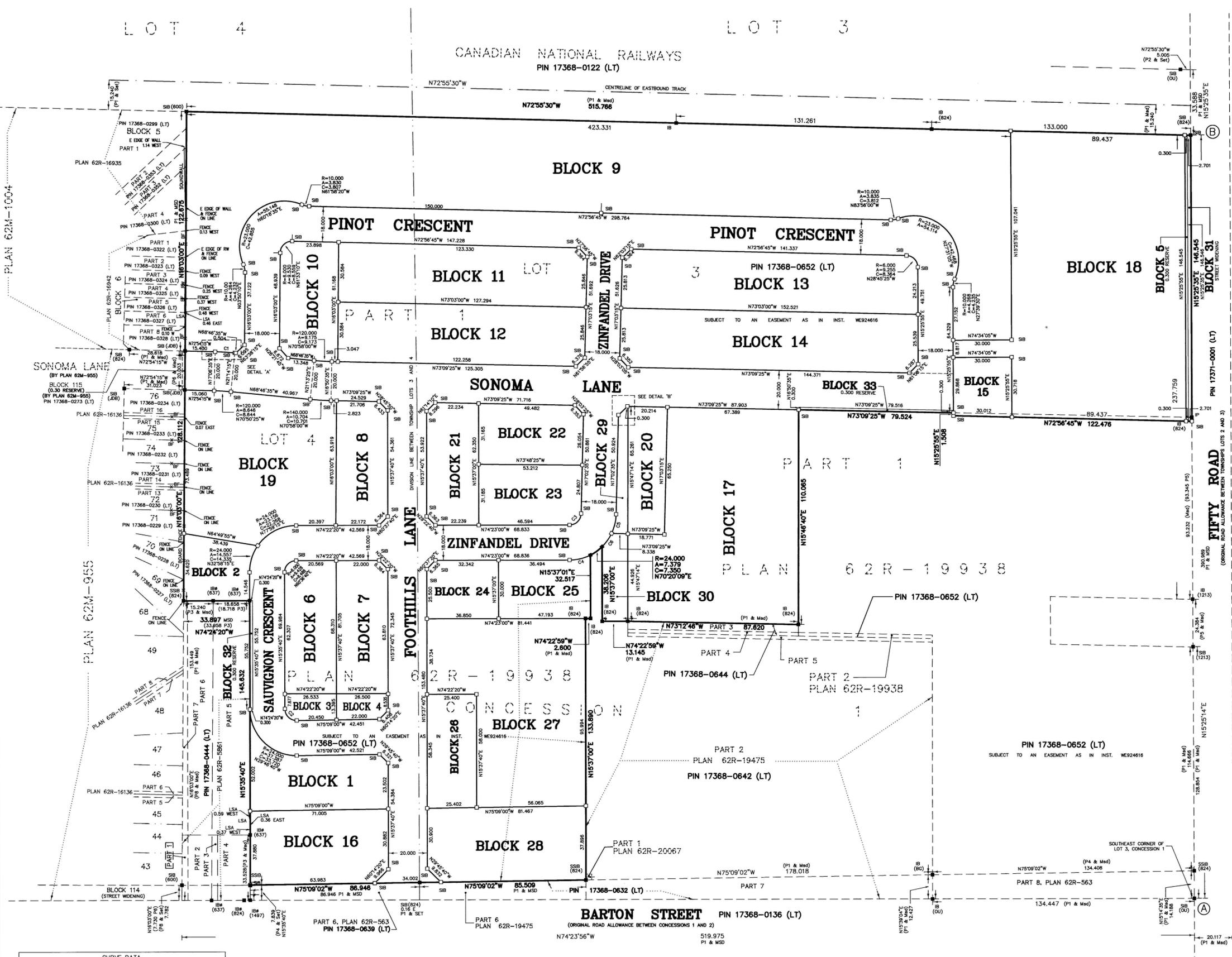
ALL OF BLOCKS 1 TO 33, INCLUSIVE, AND ALL OF SONOMA LANE, FOOTHILLS LANE, SAUVIGNON CRESCENT, PINO CRESCENT AND ZINFANDEL DRIVE ARE SUBJECT TO AN EASEMENT AS IN WE24816

PLAN OF SUBDIVISION
OF PART OF
LOTS 3 AND 4
CONCESSION 1
GEOGRAPHIC
TOWNSHIP OF SALTLEET
IN THE
CITY OF HAMILTON

SCALE 1:1000 METRIC

20 0 20 40 60 metres

S.D. McLAREN, O.L.S. - 2017



OWNER'S CERTIFICATE:

THIS IS TO CERTIFY THAT:
1. BLOCKS 1 TO 4, BOTH INCLUSIVE, BLOCKS 6 TO 30, BOTH INCLUSIVE, THE STREETS, NAMELY SONOMA LANE, FOOTHILLS LANE, SAUVIGNON CRESCENT, PINO CRESCENT AND ZINFANDEL DRIVE, THE STREET WIDENING, NAMELY BLOCK 31 AND THE RESERVES, NAMELY BLOCKS 5, 32 AND 33 HAVE BEEN LAID OUT IN ACCORDANCE WITH OUR INSTRUCTIONS.

2. THE STREETS AND STREET WIDENING ARE HEREBY DEDICATED TO CITY OF HAMILTON AS PUBLIC HIGHWAYS.

OWNER'S NAME: 1800815 ONTARIO INC.

JULY 28, 2017 DATE *Anthony C. Dicenzo* I HAVE THE AUTHORITY TO BIND THE CORPORATION
JULY 28, 2017 DATE *Sergio Manchia* I HAVE THE AUTHORITY TO BIND THE CORPORATION

BEARING NOTE:

BEARINGS ARE UTM GRID, DERIVED FROM OBSERVED REFERENCE POINTS A AND B, BY REAL TIME NETWORK OBSERVATIONS, UTM ZONE 17, NAD83 (CSRS) (1997.0)

NOTE: DISTANCES ARE GROUND AND CAN BE CONVERTED TO GRID DISTANCES BY MULTIPLYING BY THE COMBINED SCALE FACTOR OF 0.99974227

INTEGRATION DATA

OBSERVED REFERENCE POINTS (ORP): UTM ZONE 17, NAD83 (CSRS) (1997.0)			
COORDINATES TO URBAN ACCURACY PER SEC. 14(2) OF O.R.C. 216/10			
POINT ID	NORTHING	EASTING	
ORP A	6104684.386	6104683.995	
ORP B	4783361.289	6104686.395	
COORDINATES CANNOT, IN THEMSELVES, BE USED TO RE-ESTABLISH CORNERS OR BOUNDARIES SHOWN ON THIS PLAN.			

- LEGEND:**
- DENOTES MONUMENT SET
 - MONUMENT FOUND
 - IB IRON BAR
 - IB# ROUND IRON BAR
 - IP IRON PIPE
 - IP# STANDARD IRON BAR
 - SSB SHORT STANDARD IRON BAR
 - 800 S.W. WOODS, O.L.S.
 - 824 H.B. ASHURETTI, O.L.S.
 - 717 J.J. KEMWAY, O.L.S.
 - 824 A.T. McLAREN, O.L.S.
 - 1213 J.D. PETERS, O.L.S.
 - 1497 J.P. NOUMENS, O.L.S.
 - 80 BARKH CRUICK SURVEYING LTD.
 - JOB J.D. BARNES LIMITED
 - CU ORIGIN UNKNOWN
 - MEASURED PLAN 62R-19938

NOTE: ALL SET BARS ARE IB'S UNLESS OTHERWISE NOTED.

METRIC NOTE

DISTANCES AND COORDINATES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

SURVEYOR'S CERTIFICATE

I CERTIFY THAT:
1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEY ACT, THE SURVEYORS ACT AND THE LAND TITLES ACT AND THE REGULATIONS MADE UNDER THEM.
2. THE SURVEY WAS COMPLETED ON THE 14th DAY OF JULY, 2017

JULY 28, 2017 DATE *S. Dan McLaren*
S. DAN McLAREN, O.L.S.

A.T. McLaren Limited
LEGAL AND ENGINEERING SURVEYS

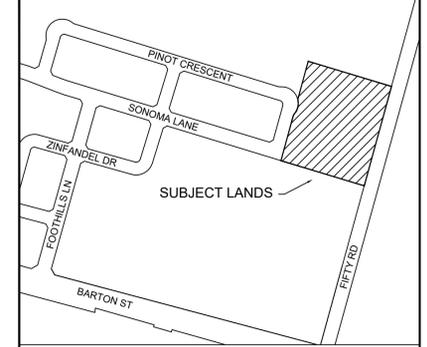
69 JOHN STREET SOUTH, SUITE 230
HAMILTON, ONTARIO, L8N 2B9
PHONE (905) 527-8559 FAX (905) 527-0032

Drawn RMB Checked LD Scale 1:1000 Dwg.No. 34156-1A3

BLOCK	RADIUS	ARC	CHORD	BEARING
C1	9	140.000	10.087	N70°50'25"W
C2	3	22.570	0.448	N29°46'40"W
C3	23	6.000	9.275	N61°19'50"E
C4	25	24.000	11.089	N87°37'10"W
C5	29	24.000	10.132	N29°08'20"W
C6	30	24.000	8.501	N51°22'50"W



STANDARD CONDOMINIUM DEVELOPMENT STATISTICS		
Zone: RM3-49		
Item	Required	Proposed
No. Units	N/A	79 Units
Min. Lot Area	4,000 m ²	15,715.69 m ²
Min. Lot Frontage	8.5 m	81.20 m
Min. Front Yard (Pinot Cres.)	7.5 m	3.20 m
Min. Side Yard	3.0 m	6.30 m (Interior Side Yard) 3.95 m (To a Daylight Triangle) 5.71 m (Sonoma Lane)
Min. Rear Yard (Fifty Road)	6.0 m	2.0 m
Min. Building Separation	12m, except 2.0 m between end walls and 9.0 m between an end wall and a rear wall	17.20 m & 2.40 m between end walls
Max. Building Height	11.0 m	13.13 m
Max. Lot Coverage	35%	26.02%
Landscaped Area	35%	37.89%
Max. Density	40 UPH	50.27 UPH
Min. Privacy Area	4.5 m depth	0 m
Landscaping Strip		
Abutting Pinot Crescent	4.5 m	3.20 m
Abutting curved portion of Pinot Crescent	4.5 m	3.38 m
Abutting Fifty Road	4.5 m	1.80 m
Abutting Sonoma Lane	4.5 m	2.15 m
Parking Spaces		
Resident Parking	2 spaces per unit = 158 spaces	158 spaces
Visitor Parking	0.5 visitor spaces per unit = 40 spaces	0.29 visitor spaces per unit = 23 spaces
Barrier Free Parking	N/A	2 spaces



MINOR VARIANCE SKETCH

BLOCKS 9 & 18
REGISTERED PLAN 62M-1241
FORMERLY THE CITY OF STONEY CREEK
NOW IN THE CITY OF HAMILTON

SCALE METRES 1:300

ALL DIMENSIONS SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

LEGEND:

- Subject Lands
- Proposed Buildings
- Proposed Garage
- Proposed 2nd & 3rd Floor Extension
- Proposed Entrance

DESIGN BY: S. MCKAY	CHECKED BY: M. JOHNSTON		
DRAWN BY: L. DRENNAN	DATE: OCTOBER 26, 2021		
NO.	DATE	BY	DESCRIPTION
DRAWING ISSUE RECORD			

NOT FOR CONSTRUCTION

STAMP

APPROVALS

3 STUDEBAKER PLACE, SUITE 1
HAMILTON, ON L8L 0C8
905-546-1087 - urbancore.info

OWNER: 5000933 ONTARIO INC.

PROJECT: FOOHILLS OF WINONA

347 FIFTY ROAD
FORMERLY CITY OF STONEY CREEK
NOW IN THE CITY OF HAMILTON

FILE NUMBER: 246-17 SHEET NUMBER: 1

PLAN OF SURVEY
OF PART OF
LOT 3
CONCESSION 1
GEOGRAPHIC
TOWNSHIP OF SALT FLEET
AND PART OF
BLOCKS 15 & 18
AND PART OF
PINOT CRESCENT
REGISTERED PLAN 62M-1241
IN THE
CITY OF HAMILTON



SCALE 1:500 METRIC

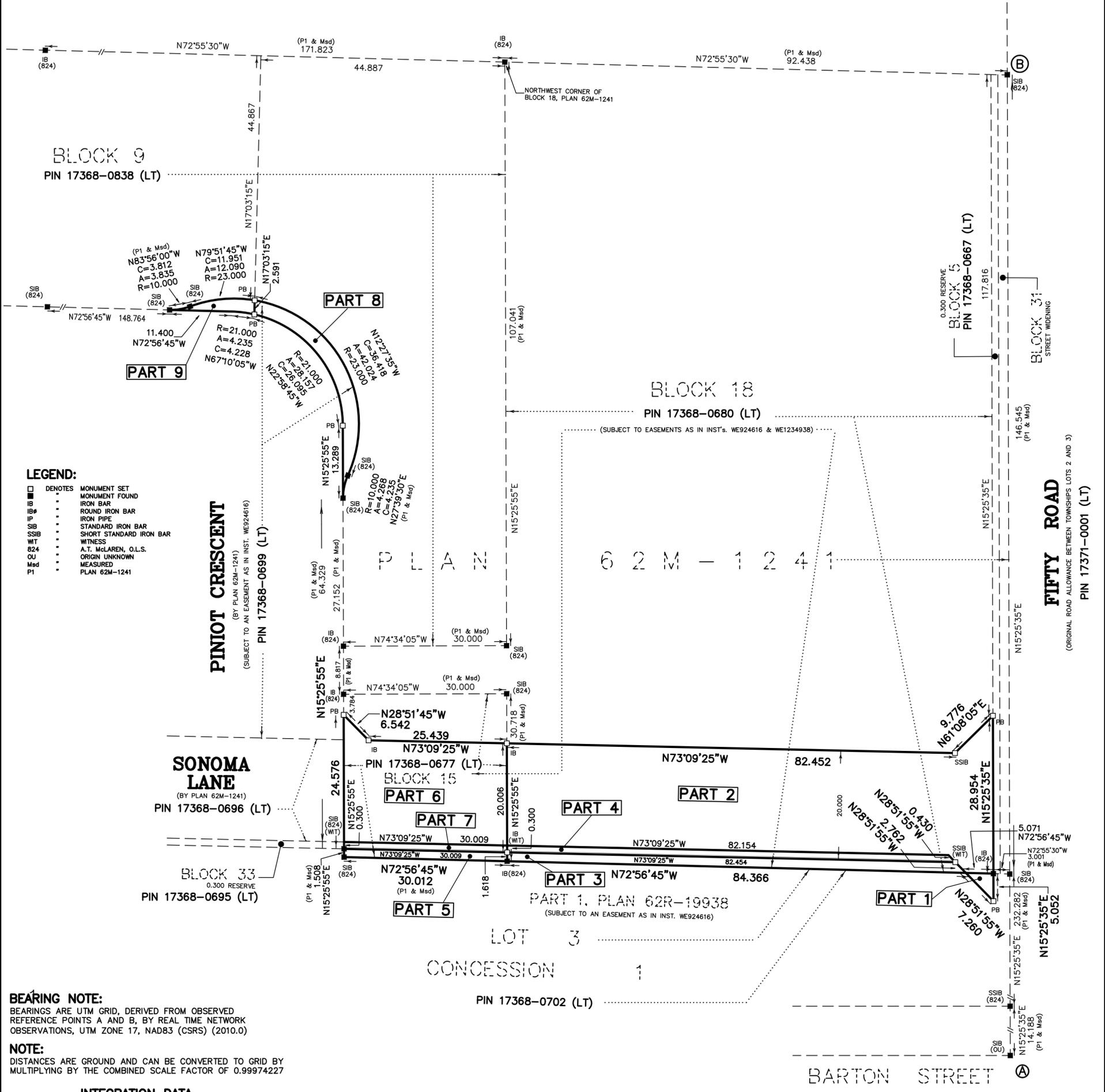


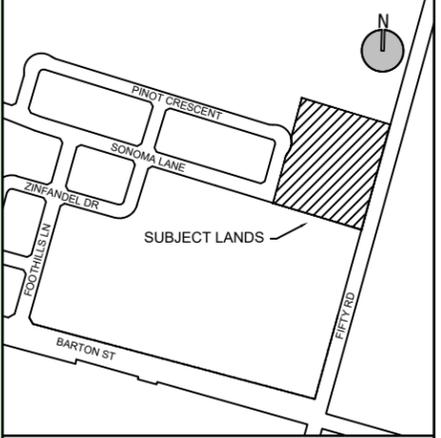
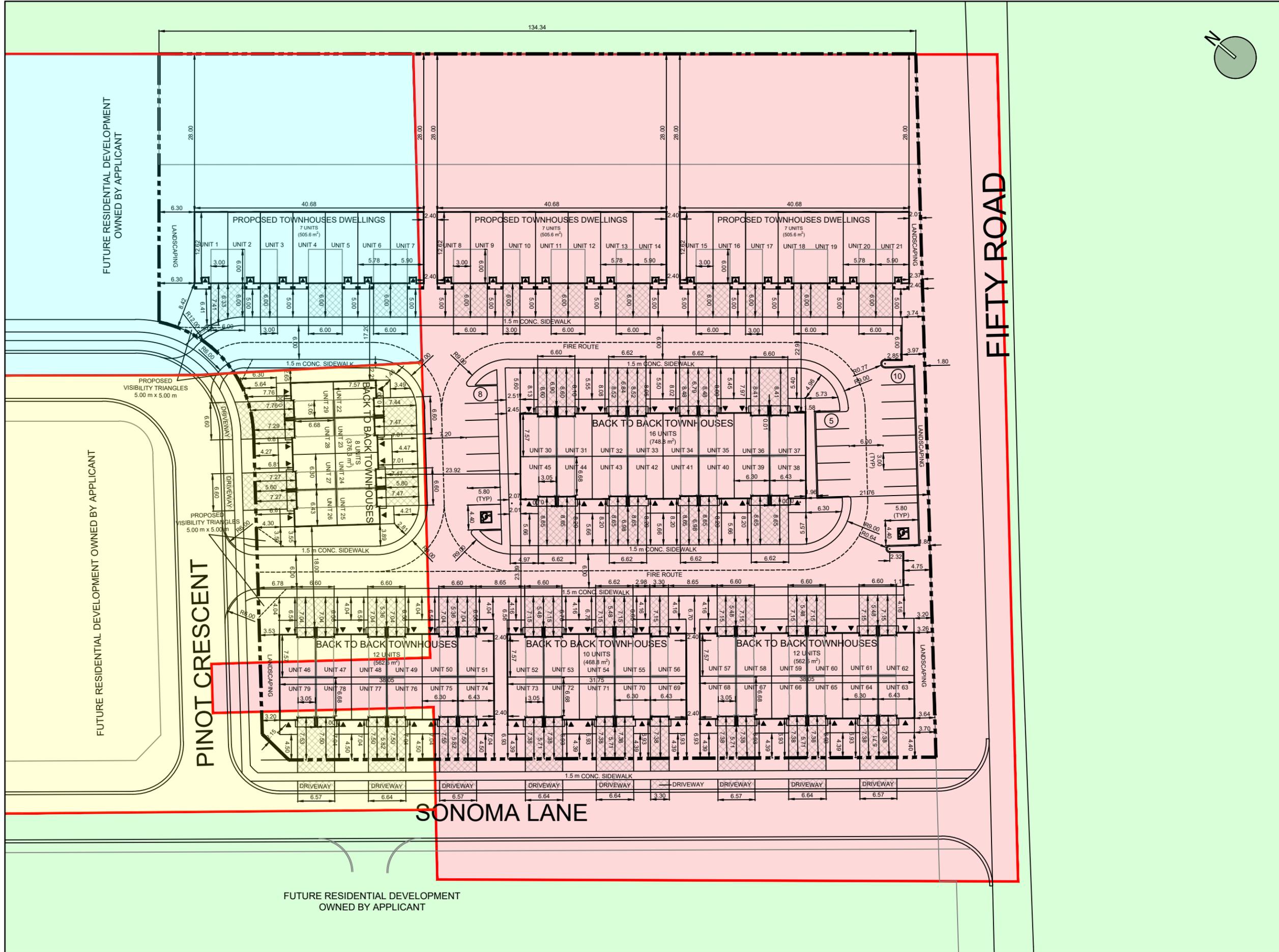
S.D. McLAREN, O.L.S. - 2021

SCHEDULE			
PART	LOT/BLOCK	CON/PLAN	PIN
1	PART OF LOT 3	CONCESSION 1	PART OF PIN 17368-0702 (LT)
2	PART OF BLOCK 18	PLAN 62M-1241	PART OF PIN 17368-0680 (LT)
3			
4	PART OF BLOCK 15	PLAN 62M-1241	PART OF PIN 17368-0677 (LT)
5			
6			
7	PART OF PINOT CRESCENT	PLAN 62M-1241	PART OF PIN 17368-0699 (LT)
8			
9			

PLAN 62 R-
RECEIVED AND DEPOSITED
Date _____
REPRESENTATIVE FOR LAND REGISTRAR FOR THE LAND TITLES DIVISION OF WENTWORTH (No. 62)
I REQUIRE THIS PLAN TO BE DEPOSITED UNDER THE LAND TITLES ACT.
Date JANUARY 29, 2021
S. DAN McLAREN, O.L.S.

PARTS 1 TO 9, INCLUSIVE, ARE SUBJECT TO AN EASEMENT AS IN WE924616
PARTS 2 TO 7, INCLUSIVE, ARE SUBJECT TO AN EASEMENT AS IN WE1234938





KEY MAP - N.T.S.
 SCALE: 1:600 METRES
 0 10 20 30 METRES

- LEGEND:**
- SUBJECT LANDS
 - RM2-37 ZONE
 - RM2-38 ZONE
 - RM3-49 ZONE
 - AS ZONE

NOT FOR CONSTRUCTION
 ISSUED FOR REVIEW & COMMENTS ONLY

NOTES:
 ALL DIMENSIONS SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

DESIGN BY: L. DRENNAN	CHECKED BY: S. MCKAY
DRAWN BY: L. DRENNAN	DATE: JANUARY 25, 2022



3 STUDEBAKER PLACE, UNIT 1
 HAMILTON, ON L8L 0C8
 905-546-1087 - urbancore.info

PROJECT:
 339 & 347 FIFTY ROAD
 CITY OF HAMILTON

CLIENT:
 5000933 ONTARIO INC.

TITLE:
 ZONING SKETCH

U/C FILE NUMBER: 246-17	SHEET NUMBER: 1
-----------------------------------	---------------------------



February 7, 2022

246-17

Via Delivered & Email

Jamila Sheffield
Secretary Treasurer, Committee of Adjustment

City of Hamilton
71 Main Street West, 5th Floor
Hamilton, ON L8P 4Y5

Dear Ms. Sheffield,

**RE: Minor Variance Application
339 & 347 Fifty Road, City of Hamilton**

On behalf of the owner, 5000933 Ontario Inc., we are pleased to submit this Minor Variance application for the lands municipally known as 339 & 347 Fifty Road, Stoney Creek in the City of Hamilton.

The subject property is designated as “Neighbourhoods” in the Urban Hamilton Official Plan and “Low Density Residential 3, Area Specific Policy – Area I” in the Fruitland-Winona Secondary Plan. The lands are currently zoned Multiple Residential “RM2-37” & “RM2-38” Zone and Multiple Residential “RM3-49” Zone in the City of Stoney Creek Zoning By-law No. 3692-92. The subject lands are currently vacant and are Block Nos. 9, 15 and 18 on Registered Plan No. 62M-1241.

A Formal Consultation application was submitted on August 4, 2021 and a subsequent Development Review Team Meeting was held on September 22, 2021 (FC-21-128). The proposal entails a total of 79 residential dwelling units contained in 21 townhouse units and 58 back-to-back townhouse units. Each unit is proposed to have one driveway and one garage parking space, providing a total of 158 residential parking spaces. In addition, there are 23 visitor parking spaces proposed including two barrier free spaces.

For the purposes of evaluating this Minor Variance application against the Zoning By-law; as per the RM3-49 Zone, Pinot Crescent is deemed to be the front line, Fifty Road is deemed to be the rear lot line, Sonoma Lane is deemed the flankage yard and every other lot line is deemed as the interior side yard.

To facilitate the proposed development a Minor Variance is required to vary the following by-law deficiencies:

- **Variance No. 1:** The zoning provisions of the RM3-49 zone be applied to the entire subject site whereas RM2-37 and RM2-38 site specific zones currently apply to blocks within the subject lands as required by section 3.3 of the By-law.
- **Variance No. 2:** A minimum front yard setback of 3.0 metres be permitted instead of 7.5 metres as required by Section 6.10.3(c).

- **Variance No. 3:** A minimum rear yard setback of 2.0 metres be permitted whereas 6.0 metres is required by provision (f) of the RM3-49 zone as it applies to standard condominium regulations.
- **Variance No. 4:** A maximum density of 50 units per hectare be permitted whereas 40 units per hectare is required by Section 6.10.3(i).
- **Variance No. 5:** A maximum building height of 14 metres be permitted whereas 11 metres is required by Section 6.10.3(j).
- **Variance No. 6:** No privacy area shall be required whereas a privacy area with a minimum depth of 4.5 metres is required by 6.10.3 (l).
- **Variance No. 7:** A landscape strip having a minimum width of 1.80 metres shall be provided abutting a street whereas a 4.5 metre landscape strip is required by 6.10.3 (m 4.)
- **Variance No. 8:** A visitor parking ratio of 0.29 spaces per unit shall be provided whereas the required visitor parking ratio for maisonette and townhouse dwelling units is 0.5 spaces per unit as per Section 6.10.5(a 1.).
- **Variance No. 9:** Where the required minimum number of parking spaces is four or more no parking space shall be closer than 1.5 metres to any lot line, whereas a parking space shall be 3.0 metres to any lot line as per 6.10.5(d).
- **Variance No. 10:** Where there is a grouping of three or more parking spaces, no parking space shall be provided closer than 1.5 metres to a dwelling unit whereas no parking shall be provided closer than 3.0 metres to a dwelling unit for three or more parking spaces as per 6.10.5(e).

To assist in the evaluation of this application, please refer to the enclosed sketch. Justification for the proposed variances has been provided below in accordance with Section 45 of the Planning Act:

1. Is the proposed minor variance in keeping with the general purpose and intent of the Urban Hamilton Official Plan?

The subject lands are identified on Schedule E-1 – Urban Land Use Designations as being within the Neighbourhoods designation of the Urban Hamilton Official Plan. As outlined in Section E.2.4.1.4 of the UHOP, residential intensification shall be encouraged throughout the entire built-up area with compatible integration to the surrounding area while achieving a range of dwelling types and tenures. Furthermore, Section E.2.4.2.2 - Residential Intensification in the Neighbourhoods Designation, directs that residential intensification shall ensure compatibility with existing and future uses of the surrounding area, that transitions in height and density to adjacent residential buildings be considered, and that streetscape patterns be enhanced.

The subject lands are further identified as Low Density Residential 3, Area Specific Policy – Area I” in the Fruitland-Winona Secondary Plan. Chapter B, Section 7.4.2.6 of the Stoney Creek Secondary Plan, notes that developments must provide a compact urban form, with higher densities located closer to arterial roads that may serve as future transit corridors. The subject lands are located adjacent to the Major Gateway and Future Multi-Modal Transportation Hub as per Maps B.7.4-1 and B.7.4-3 of the Fruitland-Winona Secondary Plan. The requested variances meet the general purpose and intent of both the Urban Hamilton Official Plan and the Fruitland-Winona Secondary Plan through the provision of residential intensification close to larger transportation areas while maintaining compatibility between the existing surrounding built forms. Therefore, the requested variances meet the general purpose and intent of the Official Plan.

2. Is the proposed minor variance in keeping with the general purpose and intent of the Zoning By-law?

The subject lands are located within the Multiple Residential “RM3-49” Zone, Multiple Residential “RM2-37” and “RM2-38” Zone in the City of Stoney Creek Zoning By-law No. 3692-92.

The “RM2-37 & -38” Zones do not permit maisonettes whereas the “RM3” Zones does. The intent of Variance No. 1 is for the varied RM3-49 zone regulations to apply to the entire development site. This ensures consistency of built form and regulations while recognizing changes to the previously proposed lot boundaries. This is consistent with the Zoning By-law as this will facilitate a comprehensive development as proposed. Variance Nos. 2 and 3 are requesting a front yard setback of 3.0 metres instead of 7.5 metres and a rear yard setback of 2.0 metres instead of 6.0 metres. The intent of these regulations is to provide sufficient yard space in the front of a dwelling for a driveway and landscaped space and sufficient space in within the rear yard for privacy and amenity space. As Pinot Crescent is considered the front yard for this development and Fifty Road is considered the rear yard, the proposed variance to the front and rear yard setbacks are in relation to the side yard interface of the proposed built form in reality. As the proposed variances to the required front and rear yard setbacks represent a typical flankage side yard setback, the variances can be considered technical in nature.

Variance Nos. 4 and 5 relate to building height and density. The City of Hamilton and Province of Ontario are mandating more compact, dense urban forms through residential intensification policies. While the height and density proposed exceeds what is permitted in the Zoning-By-law, the applicable by-law was approved in 1994 and does not reflect the current needs and intent of the City. The intent of regulating building height is to ensure appropriate massing of buildings in relation to adjacent properties. Appropriate massing is maintained for the lands to the east and south as built form and massing is in keeping with the proposed development. In addition, as outlined in the Fruitland-Winona Secondary Plan, a net residential density of greater than 40 units per hectare and not exceeding 60 units per hectare is permitted. The density limit contained in the existing Zoning By-law is 40 units per hectare, whereas the permitted density range for the subject lands as established by the Secondary Plan is between 40 and 60 units per hectare. As such, the existing Zoning By-law and Secondary Plan are not aligned and the proposed variance to density will assist in bringing the zoning into conformity with the applicable Secondary Plan regulations. Variance Nos. 6 and 7 relate to landscaped area and privacy area on the subject lands. The requested variance meets the general intent of the Zoning By-law as the intent is to

provide the residents with sufficient amenity area and open space. For residents of the subject lands, access to amenity and open space will be maintained as there is internal and municipal sidewalks connecting to Winona Park which is approximately 400 metres from the subject lands. Thus, the development adequately maintains ample access to landscaped amenity space.

Variance No. 8 is requesting to decrease the required visitor parking ratio from 0.5 spaces per dwelling unit to 0.29 spaces per dwelling unit. The intent of the parking requirement established in the Zoning By-law is to ensure the proposed development has adequate visitor parking. As proposed, the reduction in visitor parking meets the needs of the residents without resulting in adverse impacts on the surrounding area. Variance Nos. 9 and 10 are related to setbacks to lot lines and dwellings. The intent of this regulation is to provide sufficient distance to dwellings both on the subject lands and on adjacent property lines. While Variance No. 9 is requesting a 1.80 metre setback to a lot line, this will not have any adverse impacts to the surrounding lands as this lot line abuts a municipal right-of-way. Similarly, Variance No. 10 is requesting a 1.5 metre setback to a dwelling unit. However, this setback is to the side of a dwelling which will have sufficient building materials to ensure noise and light impacts will have no adverse impacts. In addition, the majority of setbacks exceed 1.5 metres while some comply with the 3.0 metre requirement. The reduction to 1.5 metres to accommodate only the smallest pinch point.

3. Is the proposed minor variance minor in nature?

The requested minor variances maintain the Low Density & Multiple Residential use of the subject lands which is in keeping with the land uses prescribed by the Fruitland-Winona Secondary Plan. The variances will allow for a comprehensive development which efficiently utilizes the space while maintaining consistency with the balance of the approved Foothills of Winona subdivision. Given that the proposed development conforms to all other regulations of the By-law, the request can be considered to be generally consistent with the Zoning By-law and is minor in nature.

4. Is the proposed minor variance desirable for the appropriate development or use of the land, building or structure?

The proposed minor variances are desirable and appropriate as it is consistent with the planned and existing built out character of the surrounding area. As discussed above, the subject lands are within the Registered Plan No. 62M-1241, all other lands within this Foothills Plan of Subdivision have obtained Conditional or final Site Plan approval from the City. The requested minor variances will not present any undo adverse negative impacts to the surrounding area. Further, the proposed development represents a land use and development layout that is permitted in the Urban Hamilton Official Plan and Zoning By-law. Therefore, the application can be considered desirable and appropriate for the development of the land.

As such, the proposed variances satisfy the four tests outlined in Section 45(1) of the *Planning Act* as the relief requested is minor in nature, is desirable for the appropriate development of the lands, and meets the general intent and purpose of the Official Plan and Zoning By-law. This proposed development and requested minor variances if approved will provide and enhance the future growth within the Fruitland-Winona area.

In support of this request, please find enclosed:

- One (1) copy of the completed Minor Variance application form;
- One (1) copy of the Registered Plan No. 62M-1241;
- One (1) copy of the Minor Variance Sketch prepared by UrbanSolutions;
- One (1) copy of the Zoning Sketch prepared by UrbanSolutions; and,
- One (1) cheque in the amount of **\$3,465.00** made payable to the City of Hamilton.

We trust the enclosed is in order; however, please feel free to contact the undersigned with any questions.

Regards,
UrbanSolutions



Matt Johnston, MCIP, RPP
Principal



Laura Drennan, CPT
Planning Technician

cc: 5000933 Ontario Inc. (via email)
Mr. Allan Buist (via email)
Councillor Maria Pearson, Ward 10, City of Hamilton (via email)
Mr. Steve Robichaud, MCIP, RPP, Chief Planner, City of Hamilton (via email)



Committee of Adjustment
 City Hall, 5th Floor,
 71 Main St. W.,
 Hamilton, ON L8P4Y5

Phone: (905) 546-2424 ext. 4221
 Email: cofa@hamilton.ca

APPLICATION FOR A MINOR VARIANCE

FOR OFFICE USE ONLY.	
APPLICATION NO. _____	DATE APPLICATION RECEIVED _____
PAID _____	DATE APPLICATION DEEMED COMPLETE _____
SECRETARY'S SIGNATURE _____	

The Planning Act

Application for Minor Variance or for Permission

The undersigned hereby applies to the Committee of Adjustment for the City of Hamilton under Section 45 of the *Planning Act*, R.S.O. 1990, Chapter P.13 for relief, as described in this application, from the Zoning By-law.

1, 2	NAME	MAILING ADDRESS
Registered Owners(s)		
Applicant(s)*		
Agent or Solicitor		

Note: Unless otherwise requested all communications will be sent to the agent, if any.

3. Names and addresses of any mortgagees, holders of charges or other encumbrances:

N/A

Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled

4. Nature and extent of relief applied for:

Please refer to enclosed cover letter.

- Second Dwelling Unit Reconstruction of Existing Dwelling

5. Why it is not possible to comply with the provisions of the By-law?

Please refer to enclosed cover letter.

6. Legal description and Address of subject lands (registered plan number and lot number or other legal description and where applicable, **street and street number**):

399 & 347 Fifty Road
Lots 9 & 18 of Registered Plan No. 62M-1241

7. PREVIOUS USE OF PROPERTY

- Residential Industrial Commercial
Agricultural Vacant

Other _____

- 8.1 If Industrial or Commercial, specify use _____
- 8.2 Has the grading of the subject land been changed by adding earth or other material, i.e. has filling occurred?
Yes No Unknown
- 8.3 Has a gas station been located on the subject land or adjacent lands at any time?
Yes No Unknown
- 8.4 Has there been petroleum or other fuel stored on the subject land or adjacent lands?
Yes No Unknown
- 8.5 Are there or have there ever been underground storage tanks or buried waste on the subject land or adjacent lands?
Yes No Unknown
- 8.6 Have the lands or adjacent lands ever been used as an agricultural operation where cyanide products may have been used as pesticides and/or sewage sludge was applied to the lands?
Yes No Unknown
- 8.7 Have the lands or adjacent lands ever been used as a weapon firing range?
Yes No Unknown
- 8.8 Is the nearest boundary line of the application within 500 metres (1,640 feet) of the fill area of an operational/non-operational landfill or dump?
Yes No Unknown
- 8.9 If there are existing or previously existing buildings, are there any building materials remaining on site which are potentially hazardous to public health (eg. asbestos, PCB's)?
Yes No Unknown

8.10 Is there any reason to believe the subject land may have been contaminated by former uses on the site or adjacent sites?

Yes No Unknown

8.11 What information did you use to determine the answers to 8.1 to 8.10 above?

Consultation with owner.

8.12 If previous use of property is industrial or commercial or if YES to any of 8.2 to 8.10, a previous use inventory showing all former uses of the subject land, or if appropriate, the land adjacent to the subject land, is needed.

N/A

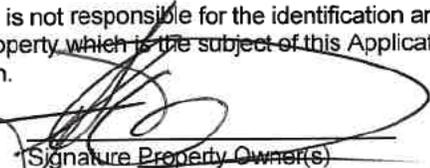
Is the previous use inventory attached? Yes No

9. ACKNOWLEDGEMENT CLAUSE

I acknowledge that the City of Hamilton is not responsible for the identification and remediation of contamination on the property which is the subject of this Application – by reason of its approval to this Application.

Jan. 21, 2022

Date



Signature Property Owner(s)

Anthony G. DiCenzo

Print Name of Owner(s)

10. Dimensions of lands affected:

Frontage +/- 81.20 m (Pinot Crescent)
 Depth +/- 134.34 m
 Area +/- 15,715.69 squared metres
 Width of street +/- 18 m

11. Particulars of all buildings and structures on or proposed for the subject lands: (Specify ground floor area, gross floor area, number of stories, width, length, height, etc.)

Existing:

Subject lands are currently vacant.

Proposed

Please refer to enclosed Minor Variance sketch.

12. Location of all buildings and structures on or proposed for the subject lands; (Specify distance from side, rear and front lot lines)

Existing:

Subject lands are currently vacant.

Proposed:

Please refer to enclosed Minor Variance sketch.

13. Date of acquisition of subject lands:
Unknown
14. Date of construction of all buildings and structures on subject lands:
Buildings have not been constructed yet.
15. Existing uses of the subject property (single family, duplex, retail, factory etc.):
Residential/ Vacant
16. Existing uses of abutting properties (single family, duplex, retail, factory etc.):
Residential, Commercial, Institutional
17. Length of time the existing uses of the subject property have continued:
Unknown
18. Municipal services available: (check the appropriate space or spaces)
Water _____ Connected
Sanitary Sewer _____ Connected
Storm Sewers
19. Present Official Plan/Secondary Plan provisions applying to the land:
"Neighbourhoods" in the Urban Hamilton Official Plan & "Low Density Residential 3, Area Specific Policy - Area I" in the Fruitland - Winona Secondary Plan.
20. Present Restricted Area By-law (Zoning By-law) provisions applying to the land:
Multiple Residential - Two "RM2-37" & "RM2-38" Zone and Multiple Residential - Three "RM3-49" Zone.
21. Has the owner previously applied for relief in respect of the subject property? (Zoning By-law Amendment or Minor Variance)
 Yes No
- If yes, please provide the file number:
- 21.1 If a site-specific zoning by-law amendment has been received for the subject property, has the two-year anniversary of the by-law being passed expired?
 Yes No
- 21.2 If the answer is no, the decision of Council, or Director of Planning and Chief Planner that the application for Minor Variance is allowed must be included. Failure to do so may result in an application not being "received" for processing.
22. Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?
 Yes No
23. Additional Information (please include separate sheet if needed)
Please refer to enclosed cover letter.
24. The applicant shall attach to each copy of this application a plan showing the dimensions of the subject lands and of all abutting lands and showing the location, size and type of all buildings and structures on the subject and abutting lands, and where required by the Committee of Adjustment such plan shall be signed by an Ontario Land Surveyor.



Hamilton

COMMITTEE OF ADJUSTMENT

City Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5
 Telephone (905) 546-2424, ext. 4221, 3935 Fax (905) 546-4202
 E-mail: cofa@hamilton.ca

NOTICE OF PUBLIC HEARING Minor Variance

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
- Applicant/agent on file, or
- Person likely to be interested in this application

APPLICATION NO.: DN/A-22:65

APPLICANTS: Agent Parkeight Inc.
 Owner Eric DeGelder

SUBJECT PROPERTY: Municipal address **16 Hillsdale Court, Dundas**

ZONING BY-LAW: Zoning By-law 3581-86, as Amended

ZONING: "R2" (Single-Detached Residential) district

PROPOSAL: To permit the construction of a roofed-over unenclosed one storey front porch at the first storey and westerly uncovered porch onto an existing single detached dwelling notwithstanding that:

1. The roofed-over unenclosed one-storey front porch at the first storey, including eaves and gutters, shall be permitted to project into a required front yard to a distance of not more than 4.7m and shall be distant at least 1.3m from the front lot line instead of the requirement that a roofed-over or screened but otherwise unenclosed one-storey porch at the first storey level, including eaves and gutters, may project into a required front yard to a distance of not more than 3.0m, and every such projecting porch shall be distant at least 4.0 metres from the front lot line.
2. The westerly uncovered porch at the first storey shall be permitted to project into the required front yard and shall be at least 1.9m from the Hillsdale Court street line instead of the requirement that a terrace, uncovered porch, platform or ornamental feature which does not extend more than 1.0 metres above the floor level of the first storey may project into a required yard if distant at least 4.0 metres from the nearest street line.
3. A minimum front yard landscaped area of 43% shall be provided instead of the requirement that front yards of residential buildings shall have a minimum of 50% landscaped area.

NOTE:

- i) Pursuant to Variance # 2, the metric conversion of 6'6½" is 1.99m and not 2.0m as shown. As such, a variance is written to permit a minimum 1.9m setback from the Hillsdale Court street/front lot line.
- ii) A variance is not required for a front yard as this setback is unchanged and is considered legally established non-complying. Variance Nos. 1 and 2 are required for encroachments of the proposed roofed-over one storey front porch at the first storey and the uncovered westerly porch into the front yard.

This application will be heard by the Committee as shown below:

DN/A-22: 65
Page 2

DATE: Thursday, April 7th, 2022
TIME: 3:40 p.m.
PLACE: Via video link or call in (see attached sheet for details)
To be streamed at
www.hamilton.ca/committeeofadjustment
for viewing purposes only

PUBLIC INPUT

Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

Orally: If you would like to speak to this item at the hearing you may do so via video link or by calling in. Please see attached page for complete instructions, including deadlines for registering to participate.

MORE INFORMATION

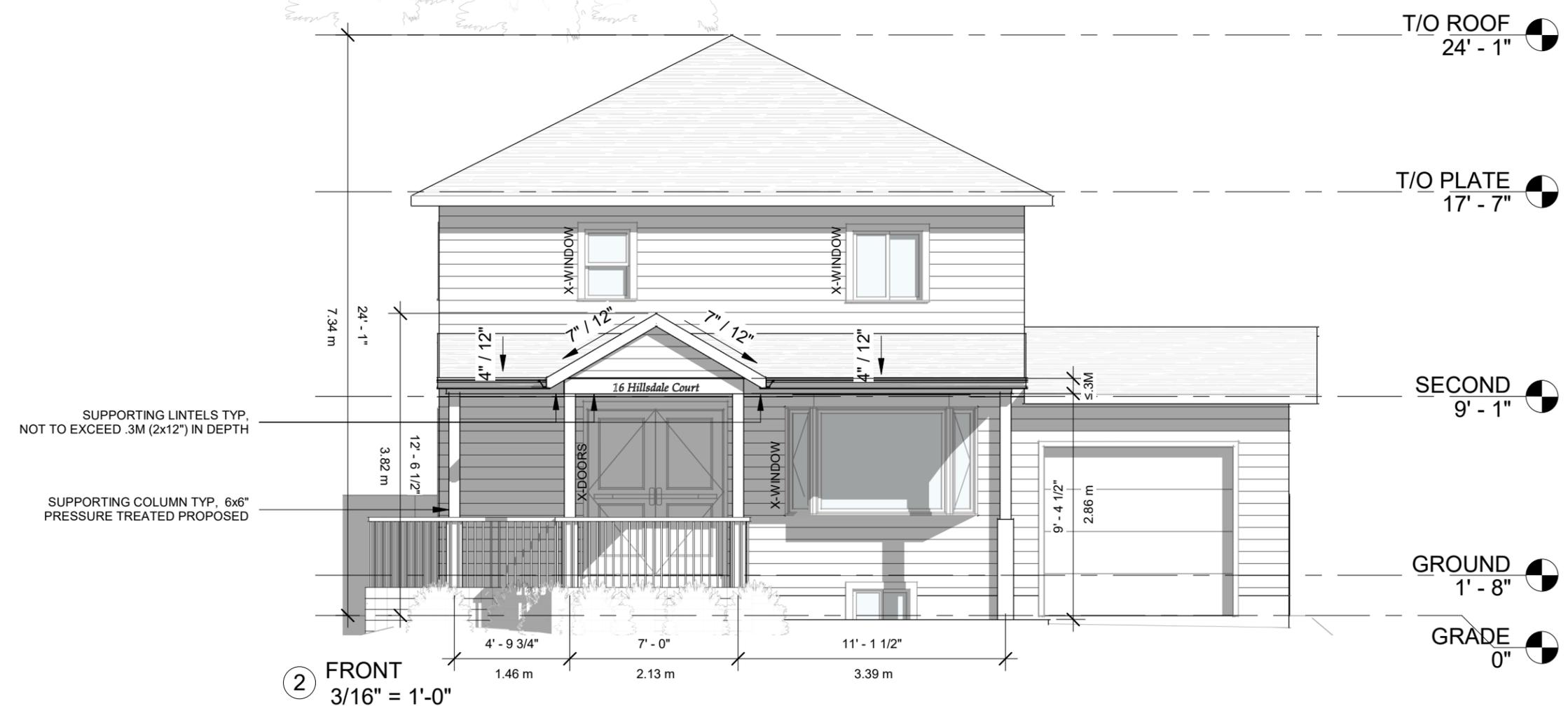
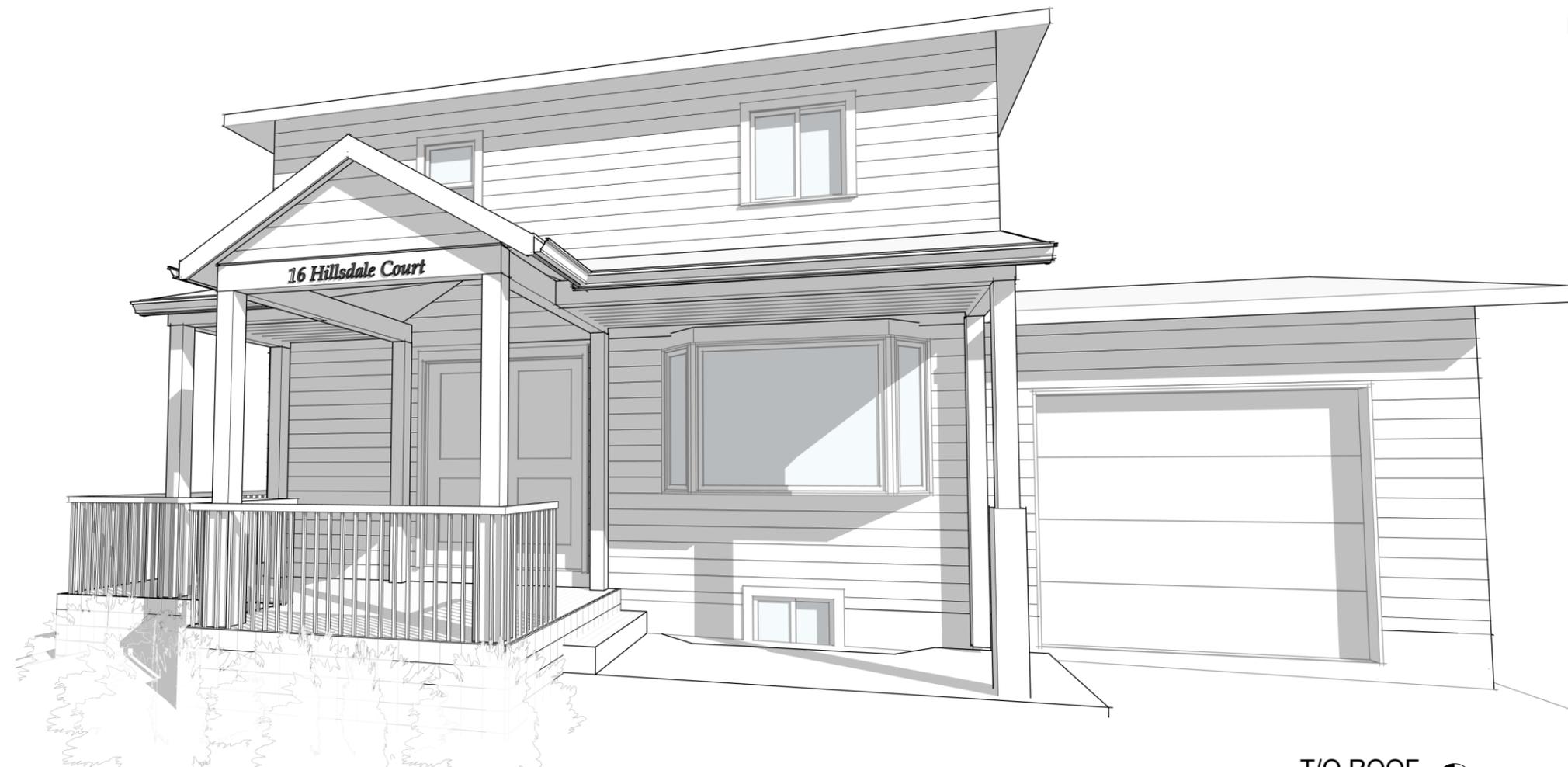
For more information on this matter, including access to drawings illustrating this request:

- Visit www.hamilton.ca/committeeofadjustment
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935
- Email Committee of Adjustment staff at cofa@hamilton.ca

DATED: March 22nd, 2022.

Jamila Sheffield,
Secretary-Treasurer
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public.

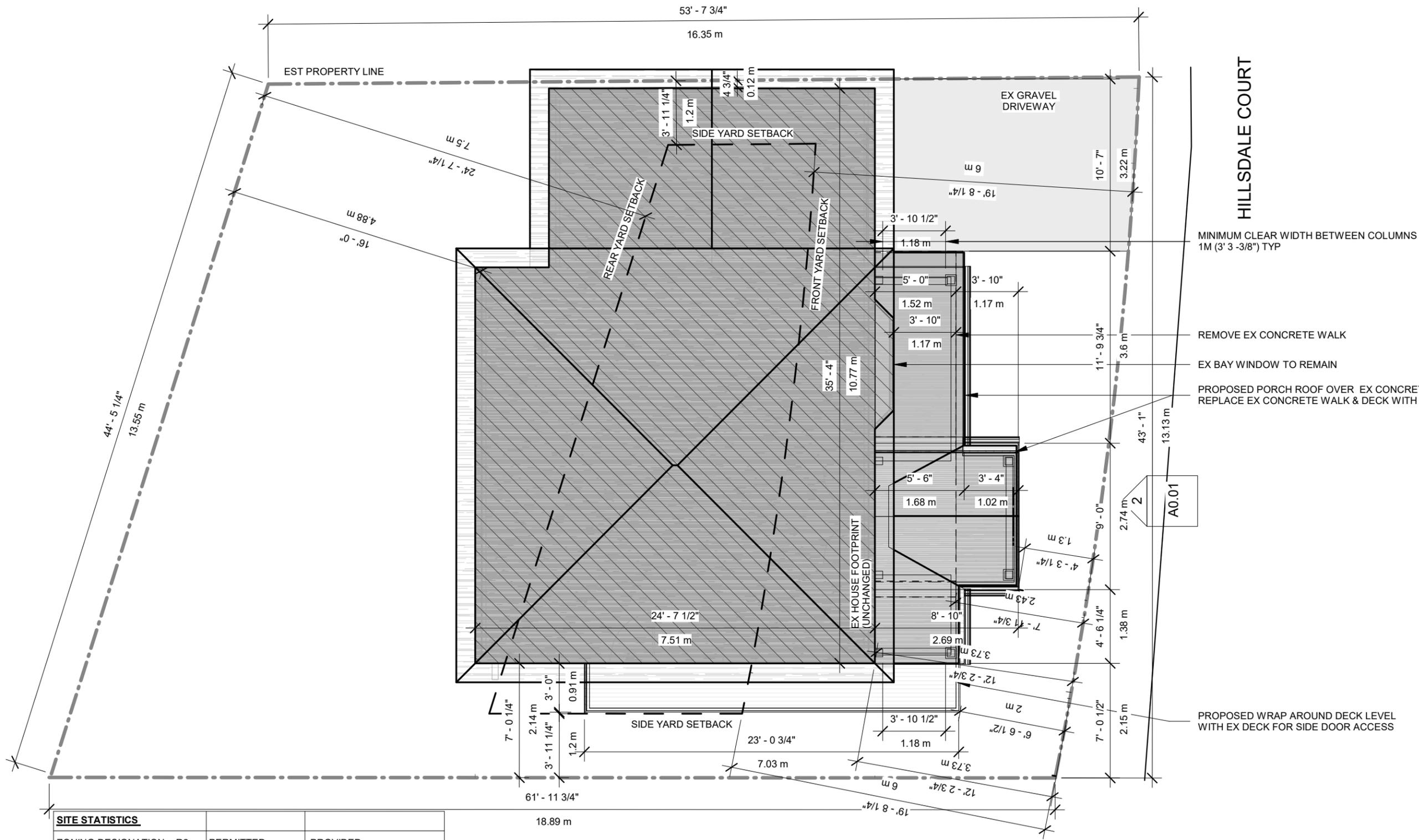


PROP. COVERED PORCH
 16 HILLSDALE COURT, DUNDAS

Project No. 21109
 Revisions
 Scale 3/16" = 1'-0"

NOTES

A0.01



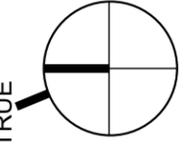
MINIMUM CLEAR WIDTH BETWEEN COLUMNS
1M (3' 3-3/8") TYP

REMOVE EX CONCRETE WALK

EX BAY WINDOW TO REMAIN

PROPOSED PORCH ROOF OVER EX CONCRETE WALK & DECK.
REPLACE EX CONCRETE WALK & DECK WITH NEW

PROPOSED WRAP AROUND DECK LEVEL
WITH EX DECK FOR SIDE DOOR ACCESS



1 SITE PLAN
1 : 75

SITE STATISTICS		
ZONING DESIGNATION = R2	PERMITTED	PROVIDED
LOT AREA	450m ² minimum	232 m ² EX UNCHANGED
LOT FRONTAGE	15m minimum	13.13m
FRONT YARD SETBACK EX RESIDENTIAL DWELLING PROP. UNENCLOSED PORCH	6m 6m	3.73m EX UNCHANGED 1.3m PROPOSED
SIDE YARD SETBACK SIDE YARD (DRIVE)	1.2m 1.2m	2.14m EX UNCHANGED .12m EX UNCHANGED
REAR YARD SETBACK	7.5m	4.88m
BUILDING HEIGHT	10.5m	4.5 m EX UNCHANGED
FRONT YARD COVERAGE LANDSCAPE COVERAGE	50% minimum 48% EXISTING	43% PROPOSED UNCHANGED
DRIVEWAY COVERAGE	26% EXISTING	

LOT COVERAGE SUMMARY:	
LOT AREA: 232m ² EX UNCHANGED	
EX BUILDING AREA DWELLING:	76.92 m ²
EX BUILDING AREA ACCESSORY BLDGS:	N/A
LOT COVERAGE DWELLING:	33%
LOT COVERAGE ACCESSORY:	.0%
LOT COVERAGE TOTAL :	33% EX UNCHANGED

PARK EIGHT
ENG // ARCH

PROP. COVERED PORCH
16 HILLSDALE COURT, DUNDAS

Project No. 21109
Revisions

Scale As indicated

SITE PLAN

SP1.01

Sheet No. ©2021



Committee of Adjustment
City Hall, 5th Floor,
71 Main St. W.,
Hamilton, ON L8P4Y5

Phone: (905) 546-2424 ext. 4221
Email: cofa@hamilton.ca

APPLICATION FOR A MINOR VARIANCE

FOR OFFICE USE ONLY.	
APPLICATION NO. _____	DATE APPLICATION RECEIVED _____
PAID _____	DATE APPLICATION DEEMED COMPLETE _____
SECRETARY'S SIGNATURE _____	

The Planning Act

Application for Minor Variance or for Permission

The undersigned hereby applies to the Committee of Adjustment for the City of Hamilton under Section 45 of the *Planning Act*, R.S.O. 1990, Chapter P.13 for relief, as described in this application, from the Zoning By-law.

1, 2	NAME	MAILING ADDRESS
Registered Owners(s)	[REDACTED]	
Applicant(s)*		
Agent or Solicitor		

Note: Unless otherwise requested all communications will be sent to the agent, if any.

3. Names and addresses of any mortgagees, holders of charges or other encumbrances:

Eric DeGelder 16 Hillside court, Dundas Ont. L9H 6K2
--

Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled

Variances

FRONT YARD setback Requirement: 6m

Existing: 2.43m Proposed: 3.73m

4. Nature and extent of relief applied for:

Relief from front yard setback & 50% landscape minimum	FRONT YARD LANDSCAPE Reqm't: 50%
Proposed covered front porch with side door access.	Existing: 48% Proposed: 43%
Replacing existing wood porch & concrete walks.	

- Second Dwelling Unit Reconstruction of Exis

5. Why it is not possible to comply with the provisions of the By-law?

Existing porch & deck is non-conforming.

6. Legal description and Address of subject lands (registered plan number and lot number or other legal description and where applicable, street and street number):

16 Hillsdale court, Dundas Ont. L9H 6K2

7. PREVIOUS USE OF PROPERTY

Residential Industrial Commercial

Agricultural Vacant

Other _____

- 8.1 If Industrial or Commercial, specify use n/a

- 8.2 Has the grading of the subject land been changed by adding earth or other material, i.e. has filling occurred?

Yes No Unknown

- 8.3 Has a gas station been located on the subject land or adjacent lands at any time?

Yes No Unknown

- 8.4 Has there been petroleum or other fuel stored on the subject land or adjacent lands?

Yes No Unknown

- 8.5 Are there or have there ever been underground storage tanks or buried waste on the subject land or adjacent lands?

Yes No Unknown

- 8.6 Have the lands or adjacent lands ever been used as an agricultural operation where cyanide products may have been used as pesticides and/or sewage sludge was applied to the lands?

Yes No Unknown

- 8.7 Have the lands or adjacent lands ever been used as a weapon firing range?

Yes No Unknown

- 8.8 Is the nearest boundary line of the application within 500 metres (1,640 feet) of the fill area of an operational/non-operational landfill or dump?

Yes No Unknown

- 8.9 If there are existing or previously existing buildings, are there any building materials remaining on site which are potentially hazardous to public health (eg. asbestos, PCB's)?

Yes No Unknown

8.10 Is there any reason to believe the subject land may have been contaminated by former uses on the site or adjacent sites?

Yes No Unknown

8.11 What information did you use to determine the answers to 8.1 to 8.10 above?

Existing residential for 60+ years

8.12 If previous use of property is industrial or commercial or if YES to any of 8.2 to 8.10, a previous use inventory showing all former uses of the subject land, or if appropriate, the land adjacent to the subject land, is needed.

Is the previous use inventory attached? Yes No

9. ACKNOWLEDGEMENT CLAUSE

I acknowledge that the City of Hamilton is not responsible for the identification and remediation of contamination on the property which is the subject of this Application – by reason of its approval to this Application.

February 3 2022

 Date



 Signature Property Owner(s)
 Eric DeGelder

 Print Name of Owner(s)

10. Dimensions of lands affected:

Frontage	13.13m	_____
Depth	18.89m	_____
Area	232m ²	_____
Width of street	8 m	_____

11. Particulars of all buildings and structures on or proposed for the subject lands: (Specify ground floor area, gross floor area, number of stories, width, length, height, etc.)

Existing:_____

Ground floor Area: 828sf [76.92m ²]	Width: 35'-4" [10.77m]
Gross Floor Area: 1656sf [153.8m ²]	Length: 24' 7-1/2" [7.51m]
Number of Stories: 2	Height: 24' 1" [7.34m]

F

Ex habitable square footage & gross area unchanged	Width: 35'-4" [10.77m] unchanged
	Length: 33' 5-1/2" [10.19m]
	Height: 24' 1" [7.34m] unchanged
Number of Stories: 2 unchanged	

12. Location of all buildings and structures on or proposed for the subject lands; (Specify distance from side, rear and front lot lines)

Existing:_____

Front yard:	12' 3" [3.73m]
Side yard:	7' 0-1/4" [2.14m]
Side yard (drive):	4-3/4" [.12m]
Rear yard:	16' 0-1/8" [4.88m]

Front yard:	4' 3-3/16" [1.3m]	Front porch:	4' 3" [1.3m]
Side yard:	7' 0-1/4" [2.14m] unchanged	Side porch:	7' 0-1/4" [2.14m]
Side yard (drive):	4-3/4" [.12m] unchanged	Side yard (drive):	10' 7" [3.22m]
Rear yard:	16' 0-1/8" [4.88m] unchanged		

13. Date of acquisition of subject lands:
± 5 years
14. Date of construction of all buildings and structures on subject lands:
1960's
15. Existing uses of the subject property (single family, duplex, retail, factory etc.):
Residential
16. Existing uses of abutting properties (single family, duplex, retail, factory etc.):
Residential
17. Length of time the existing uses of the subject property have continued:
60+ years
18. Municipal services available: (check the appropriate space or spaces)
Water YES Connected YES
Sanitary Sewer YES Connected YES
Storm Sewers YES
19. Present Official Plan/Secondary Plan provisions applying to the land:
n/a
20. Present Restricted Area By-law (Zoning By-law) provisions applying to the land:
n/a
21. Has the owner previously applied for relief in respect of the subject property? (Zoning By-law Amendment or Minor Variance)
 Yes No
If yes, please provide the file number:
n/a
- 21.1 If a site-specific zoning by-law amendment has been received for the subject property, has the two-year anniversary of the by-law being passed expired?
 Yes No
- 21.2 If the answer is no, the decision of Council, or Director of Planning and Chief Planner that the application for Minor Variance is allowed must be included. Failure to do so may result in an application not being "received" for processing.
22. Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?
 Yes No
23. Additional Information (please include separate sheet if needed)
Porch & deck replacement will allow for level access to front & side doors. Overhang serves as weather protection for primary entrance reducing chance of slip & falls for elderly occupants. This proposal encompasses home repair, aging in place good practice and community restoration
24. The applicant shall attach to each copy of this application a plan showing the dimensions of the subject lands and of all abutting lands and showing the location, size and type of all buildings and structures on the subject and abutting lands, and where required by the Committee of Adjustment such plan shall be signed by an Ontario Land Surveyor.



Hamilton

COMMITTEE OF ADJUSTMENT

City Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5
 Telephone (905) 546-2424, ext. 4221, 3935 Fax (905) 546-4202
 E-mail: cofa@hamilton.ca

NOTICE OF PUBLIC HEARING Minor Variance

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
- Applicant/agent on file, or
- Person likely to be interested in this application

APPLICATION NO.: AN/A-22:72

APPLICANTS: Owner Leo Vyn

SUBJECT PROPERTY: Municipal address **1530 Jerseyville Rd. W., Ancaster**

ZONING BY-LAW: Zoning By-law 05-200, as Amended

ZONING: "A1" (Agricultural (A1) Zonedistrict

PROPOSAL: To permit the construction of a 9.75m (32') x 18.29m (60') detached building which is accessory to a single detached dwelling notwithstanding that:

1. A maximum aggregate gross floor area of 274m² shall be permitted for all accessory buildings instead of the requirement that the aggregate gross floor area of all accessory buildings shall not exceed 200m².

NOTE:

- i) The proposed 32' x 60' accessory building shall not be used for human habitation, a commercial or an industrial use.
- ii) Details respecting the height of the proposed 32' x 60' accessory building have not been provided. A maximum accessory building height of 6.0m is permitted. If zoning compliance cannot be achieved; a further variance shall be required.

This application will be heard by the Committee as shown below:

DATE: Thursday, April 7th, 2022
TIME: 3:45 p.m.
PLACE: Via video link or call in (see attached sheet for details)
 To be streamed at
www.hamilton.ca/committeeofadjustment
 for viewing purposes only

PUBLIC INPUT

Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

AN/A-22: 72

Page 2

Orally: If you would like to speak to this item at the hearing you may do so via video link or by calling in. Please see attached page for complete instructions, including deadlines for registering to participate.

MORE INFORMATION

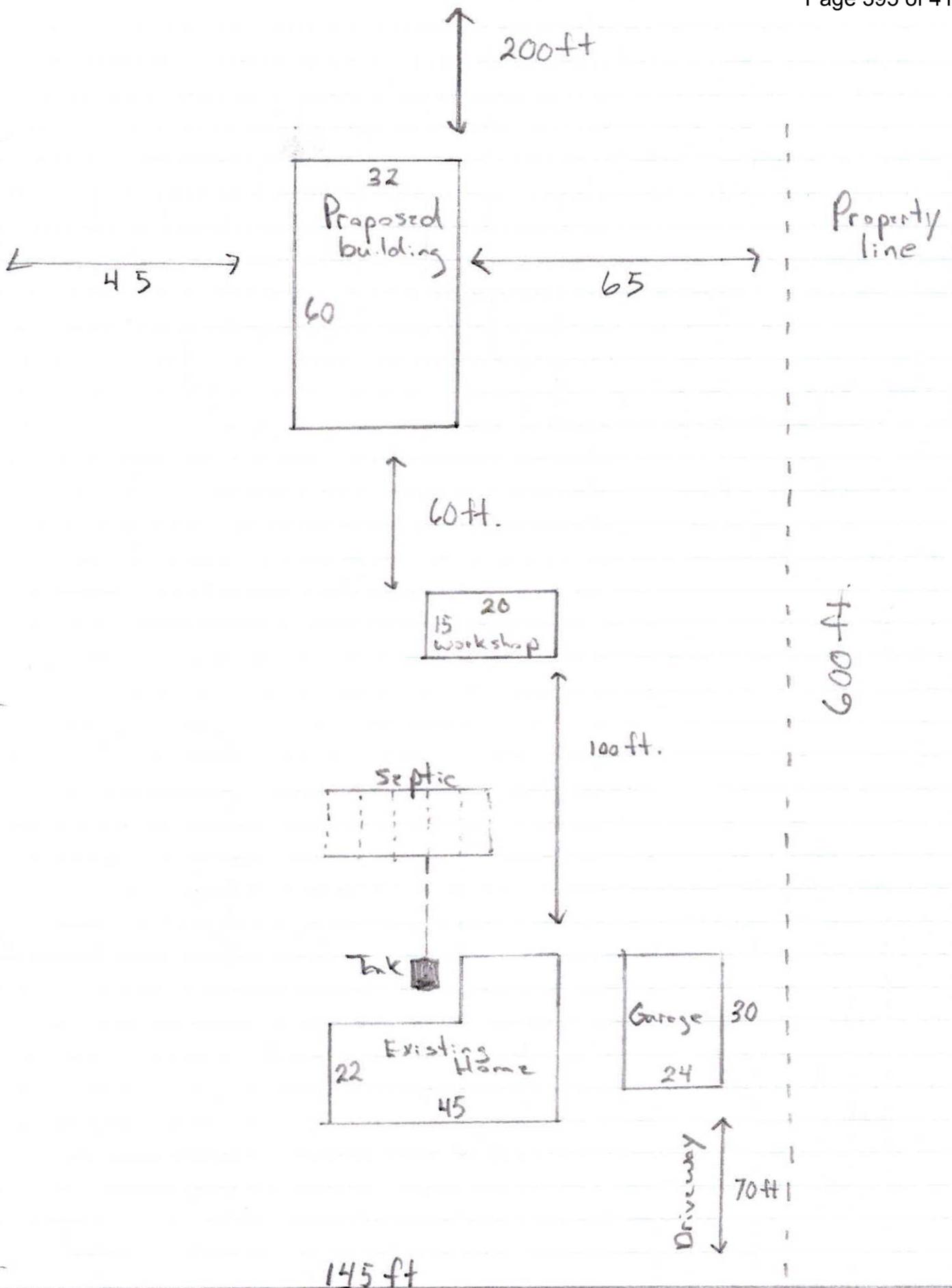
For more information on this matter, including access to drawings illustrating this request:

- Visit www.hamilton.ca/committeeofadjustment
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935
- Email Committee of Adjustment staff at cofa@hamilton.ca

DATED: March 22nd, 2022.

Jamila Sheffield,
Secretary-Treasurer
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public.



Sight Plan

1530 Jerseyville Rd. W.

Lot 29
Con. 3



Committee of Adjustment
 City Hall, 5th Floor,
 71 Main St. W.,
 Hamilton, ON L8P4Y5

Phone: (905) 546-2424 ext. 4221
 Email: cofa@hamilton.ca

APPLICATION FOR A MINOR VARIANCE

FOR OFFICE USE ONLY.	
APPLICATION NO. _____	DATE APPLICATION RECEIVED _____
PAID _____	DATE APPLICATION DEEMED COMPLETE _____
SECRETARY'S SIGNATURE _____	

The Planning Act

Application for Minor Variance or for Permission

The undersigned hereby applies to the Committee of Adjustment for the City of Hamilton under Section 45 of the *Planning Act*, R.S.O. 1990, Chapter P.13 for relief, as described in this application, from the Zoning By-law.

1, 2	NAME	MAILING ADDRESS
Registered Owners(s)	[REDACTED]	
Applicant(s)*		
Agent or Solicitor		

Note: Unless otherwise requested all communications will be sent to the agent, if any.

3. Names and addresses of any mortgagees, holders of charges or other encumbrances:

None

Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled

4. Nature and extent of relief applied for:

Storage Building - Garage

Second Dwelling Unit Reconstruction of Existing Dwelling

5. Why it is not possible to comply with the provisions of the By-law?

Building is Bigger than allowed

6. Legal description and Address of subject lands (registered plan number and lot number or other legal description and where applicable, **street and street number**):

Lot 29, con. 3
1530 Jerseyville, Rd West

7. PREVIOUS USE OF PROPERTY

Residential Industrial Commercial

Agricultural Vacant

Other _____

8.1 If Industrial or Commercial, specify use _____

8.2 Has the grading of the subject land been changed by adding earth or other material, i.e. has filling occurred?

Yes No Unknown

8.3 Has a gas station been located on the subject land or adjacent lands at any time?

Yes No Unknown

8.4 Has there been petroleum or other fuel stored on the subject land or adjacent lands?

Yes No Unknown

8.5 Are there or have there ever been underground storage tanks or buried waste on the subject land or adjacent lands?

Yes No Unknown

8.6 Have the lands or adjacent lands ever been used as an agricultural operation where cyanide products may have been used as pesticides and/or sewage sludge was applied to the lands?

Yes No Unknown

8.7 Have the lands or adjacent lands ever been used as a weapon firing range?

Yes No Unknown

8.8 Is the nearest boundary line of the application within 500 metres (1,640 feet) of the fill area of an operational/non-operational landfill or dump?

Yes No Unknown

8.9 If there are existing or previously existing buildings, are there any building materials remaining on site which are potentially hazardous to public health (eg. asbestos, PCB's)?

Yes No Unknown

8.10 Is there any reason to believe the subject land may have been contaminated by former uses on the site or adjacent sites?

Yes No Unknown

8.11 What information did you use to determine the answers to 8.1 to 8.10 above?

Residential , I live here

8.12 If previous use of property is industrial or commercial or if YES to any of 8.2 to 8.10, a previous use inventory showing all former uses of the subject land, or if appropriate, the land adjacent to the subject land, is needed.

Is the previous use inventory attached? Yes No

9. ACKNOWLEDGEMENT CLAUSE

I acknowledge that the City of Hamilton is not responsible for the identification and remediation of contamination on the property which is the subject of this Application – by reason of its approval to this Application.

Feb. 16. 22
Date

Rachel
Signature Property Owner(s)

leolyn
Print Name of Owner(s)

10. Dimensions of lands affected:

Frontage 145 feet
Depth 600 feet
Area 2 acres
Width of street 2 lane

11. Particulars of all buildings and structures on or proposed for the subject lands: (Specify ground floor area, gross floor area, number of stories, width, length, height, etc.)

Existing:

Home	one floor,	22x45 feet
Garage	one floor	24x30 feet
Workshop	One floor	15x20 feet

Proposed

New Building One floor 32x60 feet

12. Location of all buildings and structures on or proposed for the subject lands; (Specify distance from side, rear and front lot lines)

Existing:

Home + Garage	70 feet From Front
	45 feet From Side
Workshop	200 From Front
	480 From Rear

Proposed:

New	From Front	340 feet
	From Rear	200 feet
	From Side	65 feet
		45

13. Date of acquisition of subject lands:
2004

14. Date of construction of all buildings and structures on subject lands:
Unsure

15. Existing uses of the subject property (single family, duplex, retail, factory etc.):
Single Family

16. Existing uses of abutting properties (single family, duplex, retail, factory etc.):
Single Family

17. Length of time the existing uses of the subject property have continued:
19 years I have lived here

18. Municipal services available: (check the appropriate space or spaces)
Water _____ Connected _____
Sanitary Sewer _____ Connected _____
Storm Sewers _____

19. Present Official Plan/Secondary Plan provisions applying to the land:
22-104082

20. Present Restricted Area By-law (Zoning By-law) provisions applying to the land:

21. Has the owner previously applied for relief in respect of the subject property? (Zoning By-law Amendment or Minor Variance)
 Yes No
If yes, please provide the file number:

21.1 If a site-specific zoning by-law amendment has been received for the subject property, has the two-year anniversary of the by-law being passed expired?
 Yes No

21.2 If the answer is no, the decision of Council, or Director of Planning and Chief Planner that the application for Minor Variance is allowed must be included. Failure to do so may result in an application not being "received" for processing.

22. Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?
 Yes No

23. Additional Information (please include separate sheet if needed)

24. The applicant shall attach to each copy of this application a plan showing the dimensions of the subject lands and of all abutting lands and showing the location, size and type of all buildings and structures on the subject and abutting lands, and where required by the Committee of Adjustment such plan shall be signed by an Ontario Land Surveyor.



Hamilton

COMMITTEE OF ADJUSTMENT

City Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5
 Telephone (905) 546-2424, ext. 4221, 3935 Fax (905) 546-4202
 E-mail: cofa@hamilton.ca

NOTICE OF PUBLIC HEARING

Application for Consent/Land Severance

APPLICATION NUMBER: SC/B-21:120

SUBJECT PROPERTY: 1130 Ridge Road, Stoney Creek

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
- Applicant/agent on file, or
- Person likely to be interested in this application

APPLICANT(S): Agent Barich Grenkie c/o J. Hribijan
 Owner Joze Fabjan

PURPOSE OF APPLICATION: To permit the conveyance of a parcel of land and to retain a parcel of land for residential purposes.

Severed lands:
 94.40m[±] x 392.76m[±] and an area of 7.12ha[±]

Retained lands:
 93.08m[±] x 138.46m[±] and an area of 1.30ha[±]

The Committee of Adjustment will hear this application on:

DATE: Thursday, April 7th , 2022
TIME: 3:50 p.m.
PLACE: Via video link or call in (see attached sheet for details)

To be streamed at
www.hamilton.ca/committeeofadjustment
 for viewing purposes only

PUBLIC INPUT

Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

Orally: If you would like to speak to this item at the hearing you may do so via video link or by calling in. Please see attached page for complete instructions, including deadlines for registering to participate.

SC/B-21: 120
PAGE 2

MORE INFORMATION

For more information on this matter, including access to drawings illustrating this request:

- Visit www.hamilton.ca/committeeofadjustment
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935
- Email Committee of Adjustment staff at cofa@hamilton.ca

DATED: March 22nd, 2022

Jamila Sheffield,
Secretary-Treasurer
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public.

RIDGE ROAD
 (ROAD ALLOWANCE BETWEEN CONCESSIONS 3 AND 4)
 P.I.N. 17365-0263 (LT)



ADDRESS: 1130 RIDGE ROAD, STONEY CREEK

PART 1
 PLAN 62R-5487
 P.I.N. 17373-0091 (LT)

L O T

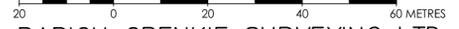
PART 2
 LANDS TO BE SEVERED
 71189.04 m²
 (17.59 acres)

PART 1
 LANDS TO BE RETAINED
 13004.78 m²
 (3.21 acres)

PART 13
 PLAN 62R-5271
 P.I.N. 17373-0089 (LT)

SKETCH FOR SEVERANCE APPLICATION FOR NIAGARA PENINSULA CONSERVATION AUTHORITY.
PART OF LOT 7
CONCESSION 4
 (GEOGRAPHIC TOWNSHIP OF SALTFLEET)
CITY OF HAMILTON

SCALE & NOTES
 Scale 1:1000



BARICH GRENKIE SURVEYING LTD.
 A DIVISION OF GEOMAPLE
 © COPYRIGHT 2021

METRIC

DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

CAUTION

THIS IS NOT A PLAN OF SURVEY AND SHALL NOT BE USED, EXCEPT FOR THE PURPOSE INDICATED IN THE TITLEBLOCK.

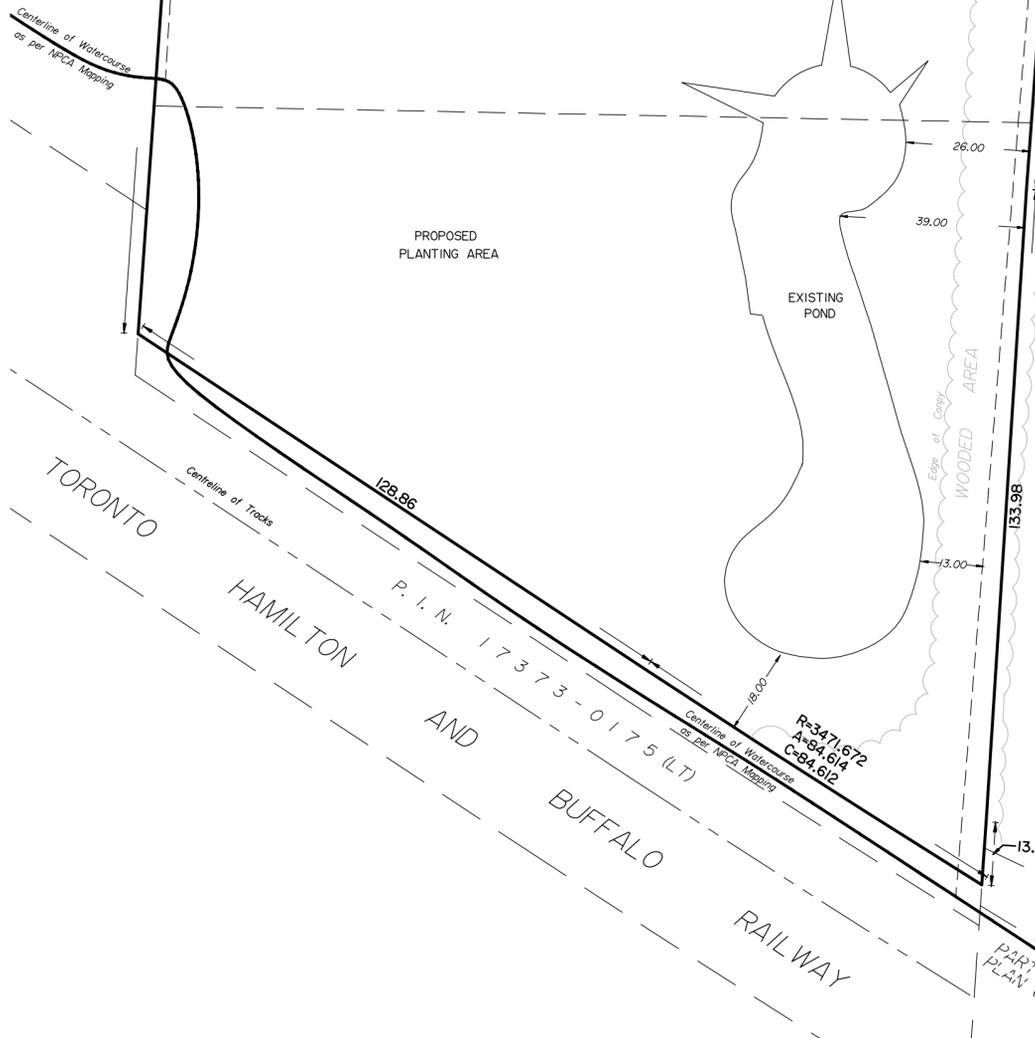
NOTES

1. THE SOURCE OF THE DIMENSIONS AND INFORMATION SHOWN ARE TAKEN FROM B.A. JACOBS SURVEYING LTD. DATED MARCH 19, 2013 AND WATERCOURSE MAPPING FROM THE NIAGARA PENINSULA CONSERVATION AUTHORITY.

P.I.N. 17373-0090 (LT)

C O N C E S S I O N

4



Barich Grenkie
Surveying Ltd.

297 HWY No. 8 (UNIT 101) - STONEY CREEK, ON
 L8G 1E5 (905) 662-6767

A DIVISION OF GEOMAPLE

DWN BY: JMH

CHK BY: MD

JOB No.

Committee of Adjustment
 City Hall, 5th Floor,
 71 Main St. W.,
 Hamilton, ON L8P4Y5



Hamilton

Phone: (905) 546-2424 ext. 4221
 Email: cofa@hamilton.ca

APPLICATION FOR CONSENT TO SEVER LAND
UNDER SECTION 53 OF THE PLANNING ACT

Office Use Only

Date Application Received:	Date Application Deemed Complete:	Submission No.:	File No.:
----------------------------	-----------------------------------	-----------------	-----------

1 APPLICANT INFORMATION

1.1, 1.2	NAME	ADDRESS
Registered Owners(s)	[REDACTED]	
Applicant(s)*		
Agent or Solicitor		

* Owner's authorisation required if the applicant is not the owner.

1.3 All correspondence should be sent to Owner Applicant Agent/Solicitor

2 LOCATION OF SUBJECT LAND Complete the applicable lines

2.1 Area Municipality Hamilton	Lot Part of Lot 7	Concession Concession 4	Former Township Township of Saltfleet
Registered Plan N°.	Lot(s)	Reference Plan N°.	Part(s)
Municipal Address 1130 Ridge Road			Assessment Roll N°. 00341032600

2.2 Are there any easements or restrictive covenants affecting the subject land?

Yes No

If YES, describe the easement or covenant and its effect:

3 PURPOSE OF THE APPLICATION

3.1 Type and purpose of proposed transaction: (check appropriate box)

a) Urban Area Transfer (do not complete Section 10):

creation of a new lot

Other: a charge

- addition to a lot
- an easement

- a lease
- a correction of title

b) **Rural Area / Rural Settlement Area Transfer (Section 10 must be completed):**

- creation of a new lot
- creation of a new non-farm parcel
(i.e. a lot containing a surplus farm dwelling
resulting from a farm consolidation)
- addition to a lot

- Other:
- a charge
 - a lease
 - a correction of title
 - an easement

3.2 Name of person(s), if known, to whom land or interest in land is to be transferred, leased or charged:
N/A

3.3 If a lot addition, identify the lands to which the parcel will be added:
N/A

4 DESCRIPTION OF SUBJECT LAND AND SERVICING INFORMATION

4.1 Description of land intended to be **Severed**:

Frontage (m) 94.40m	Depth (m) 392.76m	Area (m ² or ha) 71189.04m ² (7.12 ha)
------------------------	----------------------	---

Existing Use of Property to be severed:

- Residential
- Agriculture (includes a farm dwelling)
- Other (specify) _____
- Industrial
- Agricultural-Related
- Commercial
- Vacant

Proposed Use of Property to be severed:

- Residential
- Agriculture (includes a farm dwelling)
- Other (specify) _____
- Industrial
- Agricultural-Related
- Commercial
- Vacant

Building(s) or Structure(s):

Existing: N/A

Proposed: N/A

Type of access: (check appropriate box)

- provincial highway
- municipal road, seasonally maintained
- municipal road, maintained all year
- right of way
- other public road

Type of water supply proposed: (check appropriate box)

- publicly owned and operated piped water system
- privately owned and operated individual well
- lake or other water body
- other means (specify) _____

Type of sewage disposal proposed: (check appropriate box)

- publicly owned and operated sanitary sewage system
- privately owned and operated individual septic system
- other means (specify) _____

4.2 Description of land intended to be **Retained**:

Frontage (m) 93.08m	Depth (m) 138.46m	Area (m ² or ha) 13004.78m ² (1.30ha)
------------------------	----------------------	--

Existing Use of Property to be retained:

- Residential
- Agriculture (includes a farm dwelling)
- Other (specify) _____
- Industrial
- Agricultural-Related
- Commercial
- Vacant

Proposed Use of Property to be retained:

- Residential
 Industrial
 Commercial
 Agriculture (includes a farm dwelling)
 Agricultural-Related
 Vacant
 Other (specify) _____

Building(s) or Structure(s):

Existing: 1 Storey Dwelling & Detached Garage

Proposed: N/A

Type of access: (check appropriate box)

- provincial highway
 right of way
 municipal road, seasonally maintained
 other public road
 municipal road, maintained all year

Type of water supply proposed: (check appropriate box)

- publicly owned and operated piped water system
 lake or other water body
 privately owned and operated individual well
 other means (specify) _____

Type of sewage disposal proposed: (check appropriate box)

- publicly owned and operated sanitary sewage system
 privately owned and operated individual septic system
 other means (specify) _____

4.3 Other Services: (check if the service is available)

- electricity
 telephone
 school bussing
 garbage collection

5 CURRENT LAND USE

5.1 What is the existing official plan designation of the subject land?

Rural Hamilton Official Plan designation (if applicable): Specialty Crop

Urban Hamilton Official Plan designation (if applicable) _____

Please provide an explanation of how the application conforms with a City of Hamilton Official Plan.

The lands to be severed still conforms to the min lot area of 16 acres and will be used for agricultural purposes.

5.2 What is the existing zoning of the subject land?

If the subject land is covered by a Minister's zoning order, what is the Ontario Regulation Number? Agricultural (A1) Zone and a Conservation/Hazard Land Rural (P6) Zone

5.3 Are any of the following uses or features on the subject land or within 500 metres of the subject land, unless otherwise specified. Please check the appropriate boxes, if any apply.

Use or Feature	On the Subject Land	Within 500 Metres of Subject Land, unless otherwise specified (indicate approximate distance)
An agricultural operation, including livestock facility or stockyard	<input type="checkbox"/>	
A land fill	<input type="checkbox"/>	
A sewage treatment plant or waste stabilization plant	<input type="checkbox"/>	
A provincially significant wetland	<input type="checkbox"/>	

A provincially significant wetland within 120 metres	<input type="checkbox"/>	
A flood plain	<input type="checkbox"/>	
An industrial or commercial use, and specify the use(s)	<input type="checkbox"/>	
An active railway line	<input type="checkbox"/>	+/- 21m at rear of lands
A municipal or federal airport	<input type="checkbox"/>	

6 PREVIOUS USE OF PROPERTY

- Residential Industrial Commercial
 Agriculture Vacant Other (specify)

- 6.1 If Industrial or Commercial, specify use _____
- 6.2 Has the grading of the subject land been changed by adding earth or other material, i.e., has filling occurred?
 Yes No Unknown
- 6.3 Has a gas station been located on the subject land or adjacent lands at any time?
 Yes No Unknown
- 6.4 Has there been petroleum or other fuel stored on the subject land or adjacent lands?
 Yes No Unknown
- 6.5 Are there or have there ever been underground storage tanks or buried waste on the subject land or adjacent lands?
 Yes No Unknown
- 6.6 Have the lands or adjacent lands ever been used as an agricultural operation where cyanide products may have been used as pesticides and/or biosolids was applied to the lands?
 Yes No Unknown
- 6.7 Have the lands or adjacent lands ever been used as a weapons firing range?
 Yes No Unknown
- 6.8 Is the nearest boundary line of the application within 500 metres (1,640 feet) of the fill area of an operational/non-operational landfill or dump?
 Yes No Unknown
- 6.9 If there are existing or previously existing buildings, are there any building materials remaining on site which are potentially hazardous to public health (e.g., asbestos, PCB's)?
 Yes No Unknown
- 6.10 Is there reason to believe the subject land may have been contaminated by former uses on the site or adjacent sites?
 Yes No Unknown
- 6.11 What information did you use to determine the answers to 6.1 to 6.10 above?
 Client has given the information.

- 6.12 If previous use of property is industrial or commercial or if YES to any of 6.2 to 6.10, a previous use inventory showing all former uses of the subject land, or if appropriate, the land adjacent to the subject land, is needed.
 Is the previous use inventory attached?
 Yes No

7 PROVINCIAL POLICY

- 7.1 a) Is this application consistent with the Policy Statements issued under subsection of the *Planning Act*? (Provide explanation)
- Yes No

- b) Is this application consistent with the Provincial Policy Statement (PPS)?
 Yes No (Provide explanation)
- c) Does this application conform to the Growth Plan for the Greater Golden Horseshoe?
 Yes No (Provide explanation)
- d) Are the subject lands within an area of land designated under any provincial plan or plans? (If YES, provide explanation on whether the application conforms or does not conflict with the provincial plan or plans.)
 Yes No
- e) Are the subject lands subject to the Niagara Escarpment Plan?
 Yes No
- If yes, is the proposal in conformity with the Niagara Escarpment Plan?
 Yes No
 (Provide Explanation)
- f) Are the subject lands subject to the Parkway Belt West Plan?
 Yes No
- If yes, is the proposal in conformity with the Parkway Belt West Plan?
 Yes No (Provide Explanation)
- g) Are the subject lands subject to the Greenbelt Plan?
 Yes No
- If yes, does this application conform with the Greenbelt Plan?
 Yes No (Provide Explanation)
- The property falls under specialty crop. The property to be severed will meet the min. requirements and will still be used for agricultural uses.

8 HISTORY OF THE SUBJECT LAND

- 8.1 Has the subject land ever been the subject of an application for approval of a plan of subdivision or a consent under sections 51 or 53 of the *Planning Act*?
 Yes No Unknown

If YES, and known, indicate the appropriate application file number and the decision made on the application.

-
- 8.2 If this application is a re-submission of a previous consent application, describe how it has been changed from the original application.

N/A

-
- 8.3 Has any land been severed or subdivided from the parcel originally acquired by the owner of the subject land? Yes No

If YES, and if known, provide for each parcel severed, the date of transfer, the name of

b) Lands to be Retained:

Frontage (m): (from Section 4.2) 93.08m	Area (m ² or ha): (from Section 4.2) 13004.78m ²
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Existing Land Use: Agricultural with Res. dwelling Proposed Land Use: Residential

10.4 Description of Lands (Abutting Farm Consolidation)

a) Location of abutting farm:

(Street) (Municipality) (Postal Code)

b) Description abutting farm:

Frontage (m):	Area (m ² or ha):
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Existing Land Use(s): _____ Proposed Land Use(s): _____

c) Description of consolidated farm (excluding lands intended to be severed for the surplus dwelling):

Frontage (m):	Area (m ² or ha):
---------------	------------------------------

Existing Land Use: _____ Proposed Land Use: _____

d) Description of surplus dwelling lands proposed to be severed:

Frontage (m): (from Section 4.1)	Area (m ² or ha): (from Section 4.1)
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Front yard set back: _____

e) Surplus farm dwelling date of construction:

Prior to December 16, 2004 After December 16, 2004

f) Condition of surplus farm dwelling:

Habitable Non-Habitable

g) Description of farm from which the surplus dwelling is intended to be severed (retained parcel):

Frontage (m): (from Section 4.2)	Area (m ² or ha): (from Section 4.2)
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Existing Land Use: _____ Proposed Land Use: _____

10.5 Description of Lands (Non-Abutting Farm Consolidation)

a) Location of non-abutting farm

(Street) (Municipality) (Postal Code)

b) Description of non-abutting farm

Frontage (m):	Area (m ² or ha):
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Existing Land Use(s): _____ Proposed Land Use(s): _____

c) Description of surplus dwelling lands intended to be severed:

Frontage (m): (from Section 4.1)	Area (m ² or ha): (from Section 4.1)
----------------------------------	---

Front yard set back: _____

d) Surplus farm dwelling date of construction:

Prior to December 16, 2004 After December 16, 2004

e) Condition of surplus farm dwelling:

Habitable Non-Habitable

f) Description of farm from which the surplus dwelling is intended to be severed (retained parcel):

Frontage (m): (from Section 4.2)	Area (m ² or ha): (from Section 4.2)
----------------------------------	---

Existing Land Use: _____ Proposed Land Use: _____

11 OTHER INFORMATION

Is there any other information that you think may be useful to the Committee of Adjustment or other agencies in reviewing this application? If so, explain below or attach on a separate page.

12 SKETCH (Use the attached Sketch Sheet as a guide)

12.1 The application shall be accompanied by a sketch showing the following in metric units:

- (a) the boundaries and dimensions of any land abutting the subject land that is owned by the owner of the subject land;
- (b) the approximate distance between the subject land and the nearest township lot line or landmark such as a bridge or railway crossing;
- (c) the boundaries and dimensions of the subject land, the part that is intended to be severed and the part that is intended to be retained;
- (d) the location of all land previously severed from the parcel originally acquired by the current owner of the subject land;
- (e) the approximate location of all natural and artificial features (for example, buildings, barns, railways, roads, watercourses, drainage ditches, banks of rivers or streams, wetlands, wooded areas, wells and septic tanks) that,
 - i) are located on the subject land and on land that is adjacent to it, and
 - ii) in the applicant's opinion, may affect the application;
- (f) the current uses of land that is adjacent to the subject land (for example, residential, agricultural or commercial);
- (g) the location, width and name of any roads within or abutting the subject land, indicating whether it is an unopened road allowance, a public travelled road, a private road or a right of way;
- (h) the location and nature of any easement affecting the subject land.

13 ACKNOWLEDGEMENT CLAUSE

I acknowledge that The City of Hamilton is not responsible for the identification and remediation of contamination on the property which is the subject of this Application – by reason of its approval to this Application.

Date

Signature of Owner