



City of Hamilton
COMMITTEE OF ADJUSTMENT
AGENDA

Meeting #: 24-14
Date: August 6, 2024
Time: 1:00 p.m.
Location: Council Chambers
Hamilton City Hall
71 Main Street West

Jamila Sheffield, Secretary Treasurer (905) 546-2424 ext. 4144
cofa@hamilton.ca

	Pages
1. Previously Tabled	
2. East Development	
2.1 1:15 p.m.A-24:1531382 Barton Street East, Hamilton (Ward 4)	5
Agent S. Petrie Owner Z. & G. Boyar	
2.2 1:20 p.m.A-24:1601049 Beach Boulevard, Hamilton (Ward 5)	17
Agent K. Booth Owner T. Anstice	
3. West Development	
3.1 1:25 p.m.A-24:152197 Paradise Road North, Hamilton (Ward 1)	35
Applicant J. Bogнар Owner Javin Properties Inc.	
3.2 1:30 p.m.A-24:1541107 Main Street West, Hamilton (Ward 1)	57
Applicant Up Consulting Ltd. – D. Gailbraith Owner 1107 Main Street Inc.	

3.3	1:35 p.m.HM/A-24:0272 Holmes Avenue, Hamilton (Ward 1) Agent Miko Urban Consulting Inc. – P. Chee Owner P. & S. Seguro	101
3.4	1:40 p.m.B-24:18137 Peter Street, Hamilton (Ward 1) Agent Jansen Consulting – J. Jansen & A. Talukder Owner A. McAllister, B. Fleming, J. Legare	129
3.5	1:45 p.m.A-24:1561414 & 1416 King Street East, Hamilton (Ward 3) Agent Urban Belief Inc. Owner 1604146 Ontario Inc.	151
3.6	1:50 p.m.A-24:16183 & 85 Sanford Avenue South, Hamilton (Ward 3) Agent E. Porter Owner W. Szucsko	207
3.7	1:55 p.m.A-24:163393 Rymal Road West, Hamilton (Ward 8) Agent Baiocco Construction Corp. – S. Yong-Lee Owner Zest Communities Inc. – R. Baiocco	225
3.8	B R E A K	
3.9	2:15 p.m.A-24:1592 Field Road, Ancaster (Ward 12) Agent D. Thring Owner C. MacDonald	237
3.10	2:20 p.m.A-24:157768 Field Road, Ancaster (Ward 12) Applicant H. Dehaan Owner A. Koudys	253
3.11	2:25 p.m.A-24:1512460 Concession 6 West, Flamborough (Ward 12) Applicant D. Pennings Owners D. & M. Wulff	265
3.12	2:30 p.m.A-24:16416 McKay Road, Dundas (Ward 13) Applicant J. Lensink Owner L. Cole	277

- 3.13 2:35 p.m.A-24:1589 Meldrum Avenue, Flamborough (Ward 13) 293
Owners A. & I. Bauer
- 3.14 2:40 p.m.A-24:1623 Cora Road, Flamborough (Ward 13) 307
Agent J. Bognar
Owner E. & A. Steffler
- 3.15 2:45 p.m.A-24:155566 Hwy 6, Flamborough (Ward 15) 321
Agent Arcadis Professional Services (Canada) Inc. – I. Ilagan
Owner West Waterdown Industrial Limited

4. **Closed**

5. **Adjournment**



Hamilton

COMMITTEE OF ADJUSTMENT

City Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5

Telephone (905) 546-2424, ext. 4221

E-mail: cofa@hamilton.ca

NOTICE OF PUBLIC HEARING
Minor Variance

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
- Applicant/agent on file, or
- Person likely to be interested in this application

APPLICATION NO.:	A-24:153	SUBJECT PROPERTY:	1382 Barton Street East, Hamilton
ZONE:	Low Density Multiple Dwellings (DE)	ZONING BY-LAW:	Zoning By-law former City of Hamilton 6593

APPLICANTS: Owner: Zofia Pomagiel-Boyar & Gerry Boyar
Agent: Sherry Petrie

The following variances are requested:

1. To permit the use of two dwelling units in the same building as a commercial use.
2. To permit 0 parking spaces per dwelling unit instead of 1 parking space per dwelling unit required.

PURPOSE & EFFECT: To conduct internal renovations on the second storey of a existing mixed use building to create 2 dwelling units.

Notes:

- i) Please note the recognized and existing use is a commercial unit on the ground floor and a dwelling unit on the second floor.
- ii) Please note the by-law does not have a parking requirement breakdown for a dwelling unit in conjunction with a commercial use, for this review we are using the parking required for a two-family dwelling.
- iii) Additional variance may be required.

This Notice must be posted by the owner of any land which contains seven or more residential units so that it is visible to all residents.

This application will be heard by the Committee as shown below:

A-24:153

DATE:	Tuesday, August 6, 2024
TIME:	1:15 p.m.
PLACE:	Via video link or call in (see attached sheet for details)
	City Hall Council Chambers (71 Main St. W., Hamilton)
	To be streamed (viewing only) at www.hamilton.ca/committeeofadjustment

For more information on this matter, including access to drawings illustrating this request and other information submitted:

- Visit www.hamilton.ca/committeeofadjustment
- Visit Committee of Adjustment staff at 5th floor City Hall, 71 Main St. W., Hamilton

PUBLIC INPUT

Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, written comments must be received no later than noon August 2, 2024

Orally: If you would like to speak to this item at the hearing you may do so via video link, calling in, or attending in person. Please see attached page for complete instructions, registration to participate virtually must be received no later than noon August 2, 2024

FURTHER NOTIFICATION

If you wish to be notified of future Public Hearings, if applicable, regarding A-24:153, you must submit a written request to cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5.

If you wish to be provided a Notice of Decision, you must attend the Public Hearing and file a written request with the Secretary-Treasurer by emailing cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5.

A-24:153



 **Subject Lands**

DATED: July 18, 2024

Jamila Sheffield,
Secretary-Treasurer
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public, and may include posting electronic versions.



Hamilton

COMMITTEE OF ADJUSTMENT

City Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5

Telephone (905) 546-2424, ext. 4221

E-mail: cofa@hamilton.ca

PARTICIPATION PROCEDURES

Written Submissions

Members of the public who would like to participate in a Committee of Adjustment meeting are able to provide comments in writing advance of the meeting. Comments can be submitted by emailing cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5. **Comments must be received by noon on the date listed on the Notice of Public Hearing.**

Comments are available the Friday prior to the Hearing and are available on our website: www.hamilton.ca/committeeofadjustment

Oral Submissions

Members of the public are also able to provide oral comments regarding Committee of Adjustment Hearing items by participating Virtually through Webex via computer or phone or by attending the Hearing In-person. Participation Virtually requires pre-registration in advance. Please contact staff for instructions if you wish to make a presentation containing visual materials.

1. Virtual Oral Submissions

Interested members of the public, agents, and owners **must register by noon on the day listed on the Notice of Public Hearing** to participate Virtually.

To register to participate Virtually by Webex either via computer or phone, please contact Committee of Adjustment staff by email cofa@hamilton.ca. The following information is required to register: Committee of Adjustment file number, hearing date, name and mailing address of each person wishing to speak, if participation will be by phone or video, and if applicable the phone number they will be using to call in.

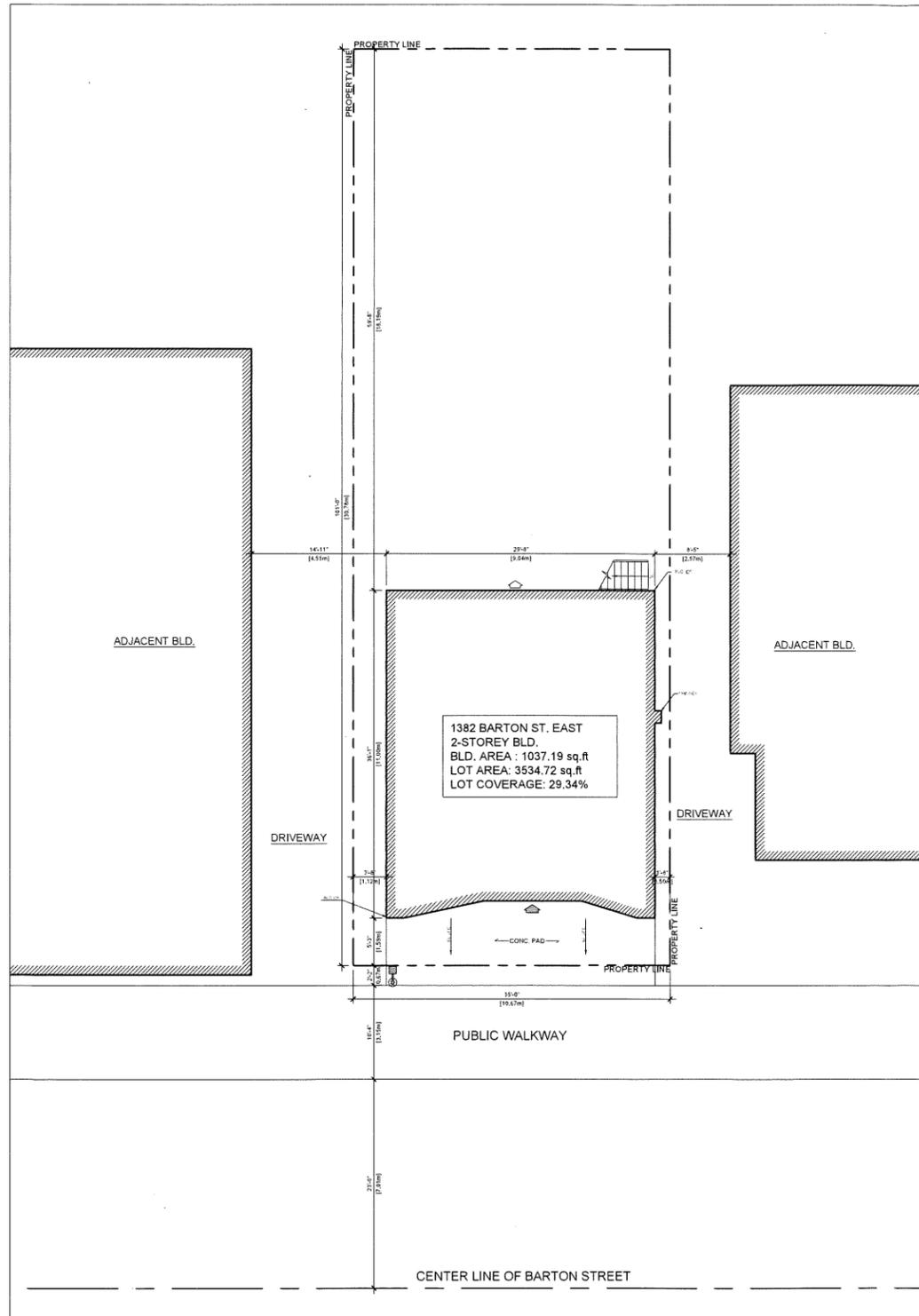
A separate registration for each person wishing to speak is required. Upon registering for a meeting, members of the public will be emailed a link for the Webex meeting one business day before the Hearing. Only those registered will be called upon to speak.

2. In person Oral Submissions

Interested members of the public, agents, and owners who wish to participate in person may attend Council Chambers on the date and time listed on the Notice of Public Hearing. Please note, you will be required to provide your name and address for the record. It is advised that you arrive **no less than 10 minutes** before the time of the Public Hearing as noted on the Notice of Public Hearing.

We hope this is of assistance and if you need clarification or have any questions, please email cofa@hamilton.ca.

Please note: Webex (video) participation requires either a compatible computer or smartphone and an application (app/program) must be downloaded by the interested party in order to participate. It is the interested party's responsibility to ensure that their device is compatible and operating correctly prior to the Hearing.



1 SITE PLAN
Scale 1/8"=1'-0"

SITE STATISTICS	
ZONE CODE	DE
ZONING DESCRIPTION	LOW DENSITY MULTIPLE DWELLINGS
PARENT BYLAW NO.	6593 FORMER HAMILTON
LOT AREA	3534.72 sq.ft/328.38m ²
BLD AREA	1037.19 sq.ft/96.35m ²
FRONTAGE	10.66 m (EXISTING)
DEPTH	30.78 m (EXISTING)

SITE PLAN LEGEND	
	PROPERTY LINE
	MAIN ENTRANCE/EXIT
	SECOND ENTRANCE/EXIT
<u>NAME</u>	AREA NAME
	LIGHT POLE

ARCHITECT / ENGINEER

Another project by

R&R DESIGNS INC.
 92 Stapleton Ave.
 Hamilton, ON L8H 3N6
 Tel: (505) 547 8558
 Richie Khanna
 richie@r-r-designs.net
 www.r-r-designs.net

- NOTES
- CONTRACTOR SHALL CHECK DIMENSIONS AND REPORT DISCREPANCIES TO THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.
 - DO NOT SCALE DRAWINGS.
 - THE DESIGN AND DRAWINGS WERE DEVELOPED FOR A SPECIFIC PURPOSE AND MAY NOT BE ALTERED, ISSUED, OR REPRODUCED FOR ANY OTHER PURPOSE.



REVISIONS		
NO.	DESCRIPTION	DATE

PROJECT #. RR23-OT05

DRAWN BY: N.D
 REVIEWED BY: R.K
 DATE: JUN, 2023

PROJECT NAME
 1382 BARTON ST.

ADDRESS:
 1382 BARTON ST. EAST, HAMILTON,
 ON L8H 2W5

SHEET NAME
 SITE PLAN

SHEET NO. **SP1.01**



Hamilton

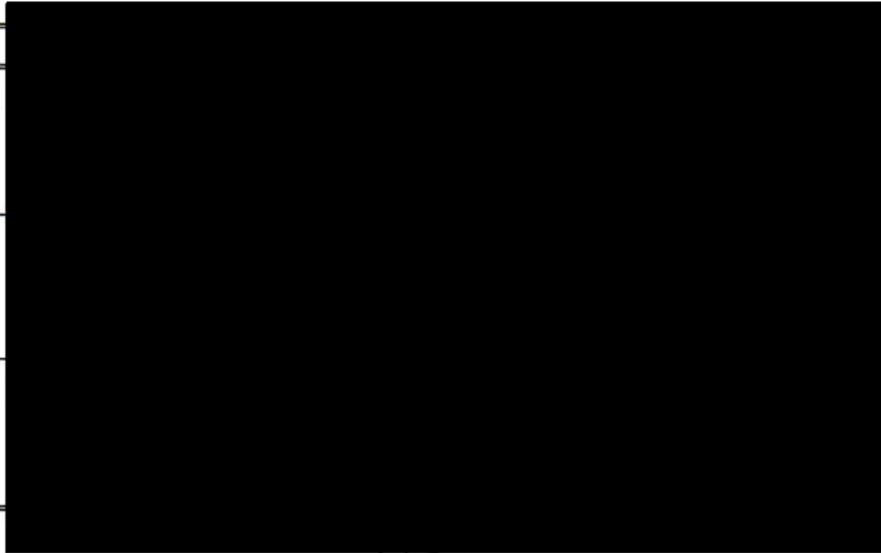
Committee of Adjustment
 City Hall, 5th Floor,
 71 Main St. W.,
 Hamilton, ON L8P4Y5

Phone: (905) 546-2424 ext. 4221
 Email: cofa@hamilton.ca

APPLICATION FOR A MINOR VARIANCE/PERMISSION
 UNDER SECTION 45 OF THE *PLANNING ACT*

1. APPLICANT INFORMATION

	NAME
Registered Owners(s)	ZOFIA POMAGIEL-BOYAR GERRY BOYAR
Applicant(s)	
Agent or Solicitor	SHERY PETRIE



1.2 Primary contact

- Applicant
 Owner
 Agent/Solicitor

1.3 Sign should be sent to

- Applicant
 Owner
 Agent/Solicitor

1.4 Request for digital copy of sign

- Yes*
 No

If YES, provide email address where sign is to be sent



1.5 All correspondence may be sent by email

- Yes*
 No

If Yes, a valid email must be included for the registered owner(s) AND the Applicant/Agent (if applicable). Only one email address submitted will result in the voiding of this service. This request does not guarantee all correspondence will sent by email.

1.6 Payment type

- In person
 Credit over phone*
 Cheque

*Must provide number above

2. LOCATION OF SUBJECT LAND

2.1 Complete the applicable sections:

Municipal Address	1382 BARTON STREET EAST, HAMILTON, L8H 2W5		
Assessment Roll Number			
Former Municipality	HAMILTON		
Lot		Concession	
Registered Plan Number		Lot(s)	
Reference Plan Number (s)		Part(s)	

2.2 Are there any easements or restrictive covenants affecting the subject land?

Yes No

If YES, describe the easement or covenant and its effect:

3. PURPOSE OF THE APPLICATION

Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled

All dimensions in the application form are to be provided in metric units (millimetres, metres, hectares, etc.)

3.1 Nature and extent of relief applied for:

- 1.) Existing commercial unit (Basement & Ground floor) remain as is. Except fire separations on Common Staircase.
 2.) Extent of relief is for 3 Setbacks (front & both side yards) from property line to the existing building that do not comply with the by-law.
 2.) Zero(0) parking space has been requested to allow for multiple dwelling instead of required three (3) parking spaces.

Second Dwelling Unit

Reconstruction of Existing Dwelling

3.2 Why it is not possible to comply with the provisions of the By-law?

The existing building cannot comply with the current zoning by-law due to non-conforming side yard setbacks and parking conditions.

3.3 Is this an application 45(2) of the Planning Act.

Yes

No

If yes, please provide an explanation:

4. DESCRIPTION OF SUBJECT LAND AND SERVICING INFORMATION

4.1 Dimensions of Subject Lands:

Lot Frontage	Lot Depth	Lot Area	Width of Street
10.67 m	30.78m	328.39 Sq. m	To be confirmed by City

4.2 Location of all buildings and structures on or proposed for the subject lands:
(Specify distance from side, rear and front lot lines)

Existing:

Type of Structure	Front Yard Setback	Rear Yard Setback	Side Yard Setbacks	Date of Construction
Existing Commercial unit	1.59m	17.17m	0.91m, 0.51m	

Proposed:

Type of Structure	Front Yard Setback	Rear Yard Setback	Side Yard Setbacks	Date of Construction
Proposed Multiple Dwelling	1.59m	17.17m	0.91m, 0.51m	

4.3. Particulars of all buildings and structures on or proposed for the subject lands (attach additional sheets if necessary):

Existing:

Type of Structure	Ground Floor Area	Gross Floor Area	Number of Storeys	Height
Existing Commercial unit	~96.3m ²	~195.72m ²	2	Existing to remain

Proposed:

Type of Structure	Ground Floor Area	Gross Floor Area	Number of Storeys	Height
Proposed Multiple Dwelling	~96.3m ²	~195.72m ²	2	Existing to remain

- 4.4 Type of water supply: (check appropriate box)
- publicly owned and operated piped water system
 - privately owned and operated individual well

- lake or other water body
- other means (specify)

- 4.5 Type of storm drainage: (check appropriate boxes)
- publicly owned and operated storm sewers
 - swales

- ditches
- other means (specify)

4.6 Type of sewage disposal proposed: (check appropriate box)

- publicly owned and operated sanitary sewage
- system privately owned and operated individual
- septic system other means (specify) _____

4.7 Type of access: (check appropriate box)

- provincial highway
- municipal road, seasonally maintained
- municipal road, maintained all year
- right of way
- other public road

4.8 Proposed use(s) of the subject property (single detached dwelling duplex, retail, factory etc.):

COMMERCIAL RETAIL SHOP WITH TWO ABOVE DWELLING UNITS

4.9 Existing uses of abutting properties (single detached dwelling duplex, retail, factory etc.):

COMMERCIAL RETAIL SHOP

7 HISTORY OF THE SUBJECT LAND

7.1 Date of acquisition of subject lands:

DEC 18, 2014

7.2 Previous use(s) of the subject property: (single detached dwelling duplex, retail, factory etc)

COMMERCIAL RETAIL SHOP

7.3 Existing use(s) of the subject property: (single detached dwelling duplex, retail, factory etc)

COMMERCIAL RETAIL SHOP

7.4 Length of time the existing uses of the subject property have continued:

DEC 18, 2014

7.5 What is the existing official plan designation of the subject land?

Rural Hamilton Official Plan designation (if applicable): _____

Rural Settlement Area: _____

Urban Hamilton Official Plan designation (if applicable) NEIGHBOURHOOD

Please provide an explanation of how the application conforms with the Official Plan.

7.6 What is the existing zoning of the subject land? DH

7.8 Has the owner previously applied for relief in respect of the subject property?
(Zoning By-law Amendment or Minor Variance)

- Yes
- No

If yes, please provide the file number: _____

7.9 Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?

Yes No

If yes, please provide the file number: _____

8 ADDITIONAL INFORMATION

8.1 Number of Dwelling Units Existing: 1- commercial retail shop

8.2 Number of Dwelling Units Proposed: 3

8.3 Additional Information (please include separate sheet if needed):

11 COMPLETE APPLICATION REQUIREMENTS

11.1 All Applications

- Application Fee
- Site Sketch
- Complete Application form
- Signatures Sheet

11.4 Other Information Deemed Necessary

- Cover Letter/Planning Justification Report
- Authorization from Council or Director of Planning and Chief Planner to submit application for Minor Variance
- Minimum Distance Separation Formulae (data sheet available upon request)
- Hydrogeological Assessment
- Septic Assessment
- Archeological Assessment
- Noise Study
- Parking Study



Hamilton

COMMITTEE OF ADJUSTMENT

City Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5

Telephone (905) 546-2424, ext. 4221

E-mail: cofa@hamilton.ca

NOTICE OF PUBLIC HEARING
Minor Variance

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
- Applicant/agent on file, or
- Person likely to be interested in this application

APPLICATION NO.:	A-24:160	SUBJECT PROPERTY:	1049 Beach Blvd, Hamilton
ZONE:	Urban Protected Residential, Etc. (C/S-1435 C/S-1822)	ZONING BY-LAW:	Zoning By-law former City of Hamilton 6593, as Amended 99-169 & 22-195

APPLICANTS: Owner: Tim Anstice
Agent: Kevin Booth

The following variances are requested:

1. A minimum rear yard width of 2.35 metres shall be provided to any building or structure, except the principal dwelling instead of the minimum required rear yard width of 4.5 metres.

PURPOSE & EFFECT: To permit an Accessory Structure within the Rear Yard of an existing Single-Family Dwelling.

Notes:

- i. Please be advised that insufficient information has been provided to determine the purpose and form of the proposed "Pool Equipment Pad". Please note, should the proposed pad be more than 0.15 metres in height, the "Pool Equipment Pad" shall be considered a structure and subject to the minimum required setback of 2.35 metres as requested.
- ii. Please note, as per Section 2.a) of Site Specific S-1435, the minimum required rear yard width of 4.5 metre is only application to buildings and structure, including accessory buildings but does not include the principal dwelling. The principal dwelling is subject to the minimum requirements of the "C" District for a minimum rear yard width of 7.5 metres.

This Notice must be posted by the owner of any land which contains seven or more residential units so that it is visible to all residents.

This application will be heard by the Committee as shown below:

A-24:160

DATE:	Tuesday, August 6, 2024
TIME:	1:20 p.m.
PLACE:	Via video link or call in (see attached sheet for details)
	City Hall Council Chambers (71 Main St. W., Hamilton)
	To be streamed (viewing only) at www.hamilton.ca/committeeofadjustment

For more information on this matter, including access to drawings illustrating this request and other information submitted:

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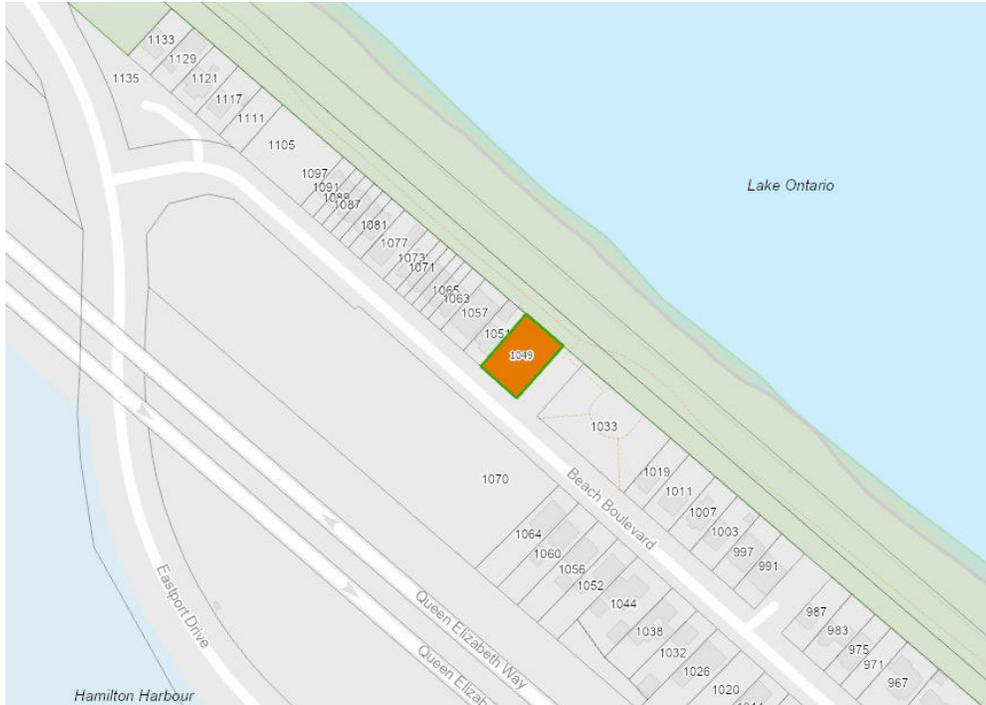
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FURTHER NOTIFICATION

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A-24:160



 Subject Lands

DATED: July 18, 2024

Jamila Sheffield,
Secretary-Treasurer
Committee of Adjustment

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Hamilton

COMMITTEE OF ADJUSTMENTCity Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5

Telephone (905) 546-2424, ext. 4221

E-mail: cofa@hamilton.ca**PARTICIPATION PROCEDURES****Written Submissions**

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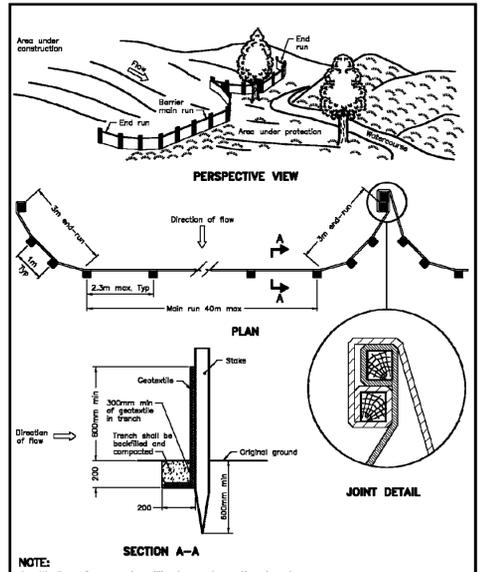
LEGEND

STM DENOTES STORM	HYPW DENOTES HYDRO POLE WOOD
EM DENOTES ELECTRIC METER	MH DENOTES MANHOLE
DSLIL DENOTES DOOR SILL	OHV DENOTES OVERHEAD WIRES
DN DENOTES DOWNSPOUT	ULS DENOTES UTILITY LIGHT STANDARD
DD DENOTES DIRECTION OF DRAINAGE	GM DENOTES GAS METER
XXX.XX DENOTES EXISTING ELEVATIONS	CB DENOTES CATCH BASIN
(XXX.XX) DENOTES PROPOSED ELEVATIONS	HP DENOTES HIGH POINT

BENCHMARK NOTE
 CITY OF HAMILTON B.M. # 00119653130H ELEVATION 76.809 METRES (CGVD 1928 ± 1978 ADJUSTMENT)
 HAMILTON-WENTWORTH CONCRETE PIER AT SOUTHEAST SIDE OF BURLINGTON CANAL, AT NORTHEAST SIDE OF LIFT BRIDGE, TABLE IN TOP OF AND AT THE CORNER OF A CONCRETE WALL, 7.6 METRES SOUTHWEST OF WOODEN EDGE OF PIER, 8.5 METRES SOUTHWEST OF HYDRO POLE, 0.42 METRES ABOVE TOP OF PIER.

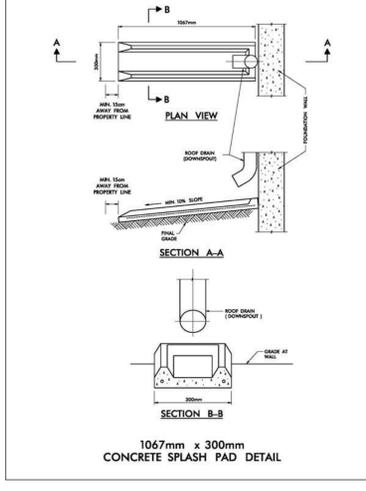
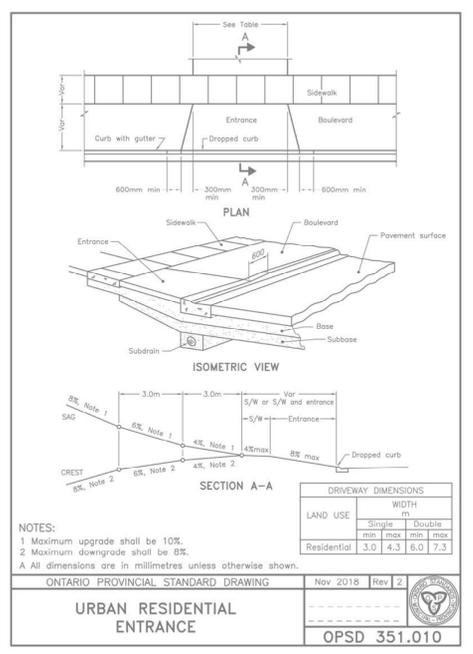
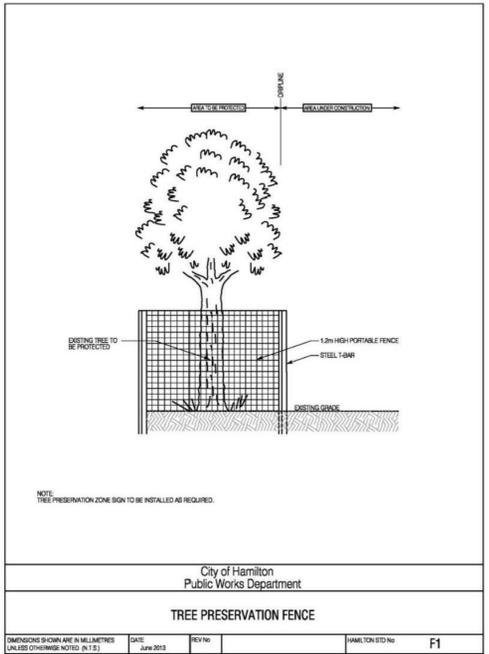
CITY OF HAMILTON ZONING BY-LAW 6593 ZONING REGULATION - C/S-1435

ZONE	REQUIRED	PROVIDED
LOT WIDTH	12.0 m (min)	27.92 m
LOT AREA	360.0 sq.m. (min)	1083.7 sq.m.
FRONT YARD	6.0 m (min)	7.38 m
REAR YARD	7.5 m (min)	18.22 m
SIDE YARD	1.5 m (min)	1.62 m (NORTH)
		1.74 m (SOUTH)
BUILDING AREA		164.37 sq.m. (EXISTING STRUCTURES)
		290.1 sq.m. (PROPOSED STRUCTURES)
		387.19 sq.m. (TOTAL AREA)
LOT COVERAGE	N/A	35.7%
BUILDING HEIGHT	11.0 m (max)	7.44 m
DEMOLITION DEPTH		13.61 m
PROPOSED DWELLING	≈ 2.5 STOREYS	



NOTE:
 A All dimensions are in millimetres unless otherwise shown.

ONTARIO PROVINCIAL STANDARD DRAWING Nov 2015 Rev 2
LIGHT-DUTY SILT FENCE BARRIER
 OPSD 219.110



SHADE LEGEND

■ DENOTES EXTENT OF SECOND STOREY

▨ DENOTES EXTENT OF SECOND STOREY TERRACE

UNDERTAKING
 RE: 1049 BEACH BOULEVARD FILE No. DAB-19-171

I, (WE) _____ THE OWNER(S) OF THE LAND, HEREBY UNDERTAKE AND AGREE WITHOUT RESERVATION,

(A) TO COMPLY WITH ALL THE CONTENT OF THIS PLAN AND DRAWING AND NOT VARY THEREFROM;

(B) TO PERFORM THE FACILITIES, WORKS AND MATTERS MENTIONED IN SECTION 41(7)(A) OF THE PLANNING ACT SHOWN ON THIS PLAN AND DRAWING(S) IN ACCORDANCE WITH THE CONDITIONS OF APPROVAL AS SET OUT IN THE LETTER OF APPROVAL DATED _____;

(C) TO MAINTAIN TO THE SATISFACTION OF THE CITY AND AT MY (OUR) SOLE RISK AND EXPENSE, ALL OF THE FACILITIES, WORKS OR MATTERS MENTIONED IN SECTION 41(7)(B) OF THE SAID ACT, SHOWN IN THIS PLAN AND DRAWING, INCLUDING REMOVAL OF SNOW FROM ACCESS RAMPS AND DRIVEWAYS, PARKING AND LOADING AREAS AND WALKWAYS;

(D) TO COMPLETE THE CUTTING OF SURFACE ROOTS OF EXISTING TREES, IF REQUIRED, UNDER THE SUPERVISION OF A TREE MANAGEMENT PROFESSIONAL (i.e. CERTIFIED ARBORIST, REGISTERED FORESTER OR LANDSCAPE ARCHITECT);

(E) NOTWITHSTANDING CURRENT SURFACE CONDITIONS, THE PROPERTY HAS BEEN DETERMINED TO BE AN AREA OF ARCHAEOLOGICAL POTENTIAL. ALTHOUGH AN ARCHAEOLOGICAL ASSESSMENT IS NOT REQUIRED BY CITY OF HAMILTON, THE PROPOSER IS CAUTIONED THAT DURING DEVELOPMENT ACTIVITIES, SHOULD DEEPLY BURIED ARCHAEOLOGICAL MATERIALS BE FOUND ON THE PROPERTY THE ONTARIO MINISTRY OF TOURISM, CULTURE AND SPORT (MTCSS) SHOULD BE NOTIFIED IMMEDIATELY (416-314-7743). IN THE EVENT THAT HUMAN REMAINS ARE ENCOUNTERED DURING CONSTRUCTION, THE PROPOSER SHOULD IMMEDIATELY CONTACT BOTH MTCSS AND THE REGISTRAR OR DEPUTY REGISTRAR OF THE CEMETERIES REGULATION UNIT OF MINISTRY OF SMALL BUSINESS AND CONSUMER SERVICES (416.326.8392).

DATED THIS _____ DAY OF _____ 20____

WITNESS (SIGNATURE) _____ OWNER(S) (SIGNATURE) _____

NOTE:

- ALL WORKS INVOLVED IN THE CONSTRUCTION, RELOCATION, REPAIR OF MUNICIPAL SERVICES FOR THE CONSTRUCTION PROJECT, SUCH AS , BUT NOT LIMITED TO THE FOLLOWING:
 - ROAD CUT PERMITS
 - APPROACH APPROVAL PERMITS
 - COMMITTEE OF ADJUSTMENT
 - SEWER AND WATER PERMITS
 - RELOCATION OF SERVICES
 - ENDORSEMENT AGREEMENT (IF REQUIRED)
- THE APPROVAL OF THIS PLAN DOES NOT EXEMPT THE OWNER'S BONDED CONTRACTOR FROM THE REQUIREMENTS TO OBTAIN THE VARIOUS PERMITS/APPROVALS NORMALLY REQUIRED TO COMPLETE A CONSTRUCTION PROJECT, SUCH AS , BUT NOT LIMITED TO THE FOLLOWING:
 - BUILDING PERMIT
 - ROAD CUT PERMITS
 - APPROACH APPROVAL PERMITS
 - COMMITTEE OF ADJUSTMENT
 - SEWER AND WATER PERMITS
 - RELOCATION OF SERVICES
 - ENDORSEMENT AGREEMENT (IF REQUIRED)
- DUE TO THE PROXIMITY TO LAKE ONTARIO, BIRDS MAY BE USING THE TREES ON SITE FOR NESTING. THE OWNER/CONTRACTOR SHOULD BE AWARE OF THE MIGRATORY BIRDS CONVENTION ACT, 1994 THAT PROTECTS BIRDS AND THEIR NESTS. THE OWNER/CONTRACTOR SHOULD MAKE EVERY EFFORT TO AVOID TREE REMOVAL DURING THE PERIOD OF MARCH 31st TO AUGUST 31st.
- WHENEVER POSSIBLE THE CUTTING SURFACE ROOTS OF EXISTING TREES IS TO BE AVOIDED. HOWEVER, IF THESE CUTS ARE REQUIRED, CUTS SHOULD BE COMPLETED UNDER THE SUPERVISION OF A TREE MANAGEMENT PROFESSIONAL (i.e. CERTIFIED ARBORIST) SO THAT CUTS ARE MADE APPROPRIATELY.

1049 BEACH BOULEVARD
SITE PLAN FOR BUILDING PERMIT

Hamilton Building Division

Reviewed for Ontario Building Code Compliance.
 Subject to Corrections Noted on Plans and Inspections.

Permit: 20 17755 000 0 R9
 Date: 01/29/21
 Name: Lauri Smith
 Approved by: _____

KEYPLAN
 NOT TO SCALE

PART OF BURLINGTON BEACH EAST SIDE OF BEACH BOULEVARD (UNREGISTERED) AND PART OF MANOR AVENUE (FIRST AVENUE BY REGISTERED PLAN 452) (RENAMED BY BY-LAW 8695 INST. No. 94333HL) (CLOSED BY BY-LAW 08-183, INST. No. VM277239)

BEING IN THE
CITY OF HAMILTON
 SCALE 1 : 200

Mackay, MacKay & PETERS LIMITED - ONTARIO LAND SURVEYORS © 2020

"METRIC" DISTANCES SHOWN HEREON ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

NOTES

- PROPOSED TIES SHOWN HEREON ARE TO FOUNDATION ONLY.
- BUILDING DIMENSIONS WERE TAKEN FROM PLANS SUPPLIED BY THE CLIENT.
- EXISTING ELEVATIONS ARE GEODETIC AND ARE REFERRED TO THE SURVEY REAL PROPERTY REPORT ISSUED BY MMP LIMITED, DRAWING No. 18-317, DATED JANUARY 10, 2019.
- LOT GRADING SHALL MATCH WITH THE EXISTING DRAINAGE PATTERNS.
- SANITARY SEWER SERVICE CONNECTION MUST BE INSTALLED BEFORE BASEMENT EXCAVATION TO ENSURE SERVICING AT BASEMENT LEVEL.
- BUILDER TO VERIFY ALL EXISTING GRADES PRIOR TO CONSTRUCTION INCLUDING ROAD AND LOT LINE GRADES.
- DOWNSPOUTS TO DRAIN TO PERMEABLE SURFACE VIA SPLASH PADS.
- ALL TIES ARE TO FOUNDATION UNLESS OTHERWISE NOTED.
- ALL UNDERGROUND SERVICES MUST BE LOCATED BY CONTRACTOR PRIOR TO ANY CONSTRUCTION.
- CONTRACTOR MUST CHECK AND VERIFY ALL DIMENSIONS AND JOB CONDITIONS BEFORE PROCEEDING WITH WORK.
- LOT DIMENSIONS ARE AS SHOWN FROM SURVEY RECORDS AND HAVE NOT BEEN VERIFIED BY SURVEY.
- PROPOSED BUILDING IS POSITIONED BY CALCULATION, NOT BY AN ACTUAL SURVEY.
- THIS PROPOSED PLAN IS PRELIMINARY UNTIL THE APPROPRIATE BUILDING DEPARTMENT'S SIGNED APPROVAL HAS BEEN OBTAINED.
- ANY AMENDMENT OR ALTERATION TO THIS PLAN MUST BE REPORTED TO MMP LIMITED PRIOR TO LAYOUT OF BUILDING IN THE FIELD.
- UTILITIES AND SERVICES SHOWN ON THIS SKETCH ARE APPROXIMATE AND MUST BE VERIFIED BEFORE CONSTRUCTION.
- THE OWNER IS TO BE AWARE OF THE MIGRATORY BIRDS CONVENTION ACT, 1994 THAT PROTECTS BIRDS AND THEIR NESTS. THE MIGRATORY BIRDS CONVENTION ACT IS IMPLEMENTED BY ENVIRONMENT CANADA. IT IS ADVISED THAT VEGETATION REMOVAL BE AVOIDED BETWEEN THE PERIOD OF MARCH 31st TO AUGUST 31st.
- SEVERAL TREES MAY REQUIRE SPECIAL MITIGATING CONSTRUCTION PRACTICES IF ADEQUATE PRESERVATION DISTANCES CANNOT BE PROVIDED. THESE MEASURES INCLUDE HYDROVAC EXCAVATION. AT MINIMUM, A CERTIFIED ARBORIST IS TO BE ON SITE.
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CAUTION

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- THIS IS NOT A PLAN OF SURVEY AND SHALL NOT BE USED FOR TRANSACTION OR MORTGAGE PURPOSES.

CERTIFICATION NOTE:

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WE HAVE REVIEWED THE PLANS FOR CONSTRUCTION OF A 2.5 STOREY DWELLING LOCATED AT 1049 BEACH BOULEVARD AND CERTIFY THAT THE GRADING SHOWN HEREON IS COMPATIBLE WITH THE ADJACENT PROPERTIES AND EXISTING MUNICIPAL SERVICES.

PROPOSED BUILDING SETBACKS AS SHOWN.
 PROPOSED BUILDING HEIGHT AS SHOWN.
 PROPOSED LOT COVERAGE AS SHOWN.
 PROPOSED BUILDING SITE STATISTICS AS SHOWN.

DECEMBER 14, 2020

DATE

ROY C. MACKEY
 ONTARIO LAND SURVEYOR
 FOR MACKAY, MACKAY & PETERS LIMITED

No.	DATE	REVISIONS
11	NOVEMBER 9, 2020	REMOVED 1 PARKING SPACE AS PER CITY COMMENTS
10	JUNE 23, 2020	REQUIRED MINIMUM TPZ ADDED
9	JUNE 15, 2020	REVISED PER CITY COMMENTS
8	MAY 14, 2020	REVISED PER CITY COMMENTS
7	MAY 6, 2020	REVISED SITE PLAN
6	APRIL 21, 2020	REVISED PER CITY COMMENTS
5	JANUARY 31, 2020	REVISED PER CITY AND ARCHITECTURAL COMMENTS
4	JANUARY 14, 2020	REVISED PER CITY COMMENTS
3	NOVEMBER 27, 2019	UNDERGROUND SERVICES ADDED
2	OCTOBER 3, 2019	REMOVE PROPOSED ROAD WIDENING
1	AUGUST 6, 2019	SITE PLAN COMPLETED

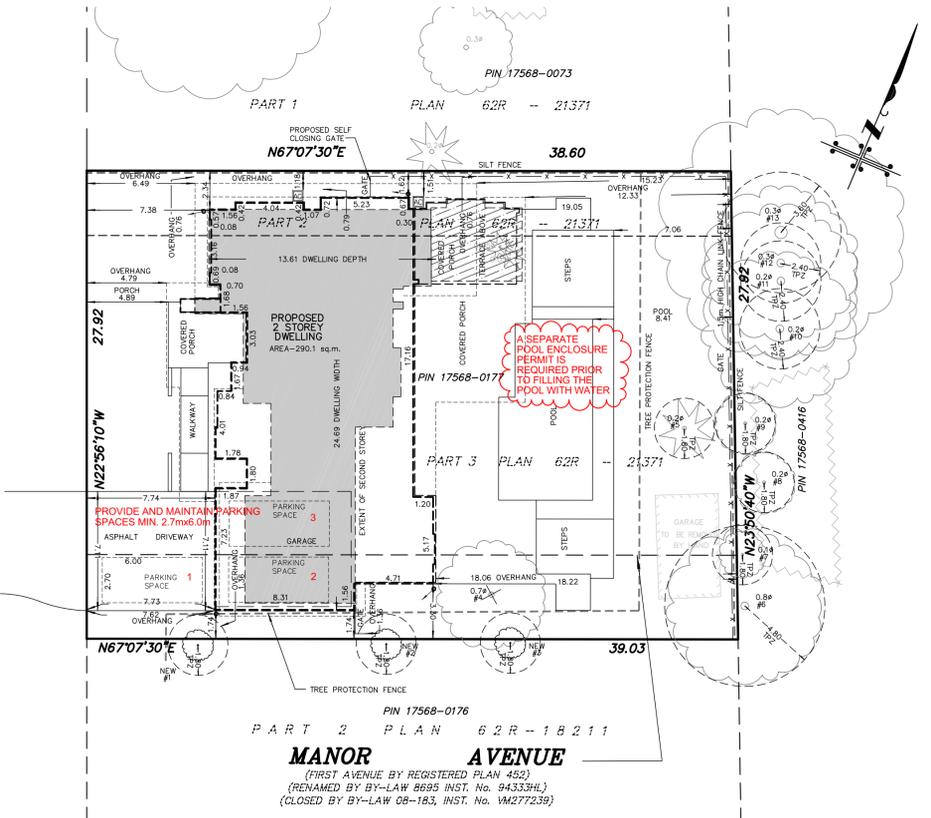
MMP
 MacKay, MacKay & Peters Limited
 LAND SURVEYORS & MAPPERS
 SINCE 1906

3380 South Service Road
 Unit 101
 Burlington, ON
 L7N 3J5
 (905) 639-1375
 halton@mmplimited.com
 mmplimited.com

CAD FILE: E:\(62) Hamilton-Wentworth\TPP\ SALTLEIGH\BURLINGTON BEACH\18-317\18-317-1\18-317-1-SP.dwg
 DRAWN BY: _____ CHECKED BY: _____ PROJECT No. _____ DWG. No. _____
 A.R. D.R. 18-317-1-SP 1/2

SITE PLAN
 SCALE 1:200

SITE PLAN
 SCALE 1:200



LEGEND

STM DENOTES STORM
EM DENOTES ELECTRIC METER
DSLIL DENOTES DOOR SILL
D DENOTES DOWNSPOUT
DIRECTION OF DRAINAGE
XXX.XX DENOTES EXISTING ELEVATIONS
(XXX.XX) DENOTES PROPOSED ELEVATIONS

HYPW DENOTES HYDRO POLE WOOD
MH DENOTES MANHOLE
OHV DENOTES OVERHEAD WIRES
ULS DENOTES UTILITY LIGHT STANDARD
GM DENOTES GAS METER
CB DENOTES CATCH BASIN
HP DENOTES HIGH POINT

BENCHMARK NOTE
CITY OF HAMILTON B.M. # 001196531.30H
ELEVATION 76.809 METRES
(CGVD 1928 ± 1978 ADJUSTMENT)
HAMILTON-WENTWORTH CONCRETE PIER AT SOUTHEAST SIDE OF BURLINGTON CANAL, AT NORTHEAST SIDE OF LIFT BRIDGE, TABLE IN TOP OF AND AT THE CORNER OF A CONCRETE WALL, 7.6 METRES SOUTHWEST OF WOODEN EDGE OF PIER, 8.5 METRES SOUTHWEST OF HYDRO POLE, 0.42 METRES ABOVE TOP OF PIER.

CITY OF HAMILTON ZONING BY-LAW 6593 ZONING REGULATION - C/S-1435

ZONE	REQUIRED	PROVIDED
LOT WIDTH	12.0 m (min)	27.92 m
LOT AREA	360.0 sq.m. (min)	1083.7 sq.m.
FRONT YARD	6.0 m (min)	7.38 m
REAR YARD	7.5 m (min)	18.22 m
SIDE YARD	1.5 m (min)	1.62 m (NORTH) 1.7 m (min)
BUILDING AREA		164.37 sq.m. (EXISTING STRUCTURES) 290.1 sq.m. (PROPOSED STRUCTURES) 387.19 sq.m. (TOTAL AREA)
LOT COVERAGE	N/A	35.7%
BUILDING HEIGHT	11.0 m (max)	7.44 m
DIWELLING DEPTH		13.61 m
PROPOSED DWELLING	= 2.5 STOREYS	

PERSPECTIVE VIEW

PLAN

JOINT DETAIL

SECTION A-A

NOTE:
A All dimensions are in millimetres unless otherwise shown.

ONTARIO PROVINCIAL STANDARD DRAWING Nov 2015 Rev 2
LIGHT-DUTY SILT FENCE BARRIER
OPSD 219.110

TREE PRESERVATION FENCE

NOTE:
THE PRESERVATION ZONE SIGN TO BE INSTALLED AS REQUIRED.

NOTE:
THE EXISTING SANITARY SERVICE MUST BE VERIFIED TO BE IN GOOD CONDITION FOR REUSE. OTHERWISE, IT SHALL BE REPLACED.

NOTE:
THE EXISTING WATER SERVICE MUST BE VERIFIED TO BE IN GOOD CONDITION FOR REUSE. OTHERWISE, IT SHALL BE REPLACED.

NOTE:
(NO PIPES VISIBLE) 76.80

City of Hamilton
Public Works Department

GRADING AND SERVICING PLAN
SCALE 1:200

1067mm x 300mm CONCRETE SPLASH PAD DETAIL

DRIVEWAY DIMENSIONS

LAND USE	WIDTH	MIN	MAX	MIN	MAX
Single	3.0	4.3	6.0	7.3	
Double					

SHADE LEGEND

- DENOTES EXTENT OF SECOND STOREY
- DENOTES EXTENT OF SECOND STOREY TERRACE

URBAN RESIDENTIAL ENTRANCE
OPSD 351.010

TYPICAL SWALE CROSS-SECTION WITH SUBDRAIN
NOT TO SCALE

DETAIL 'A'
NOT TO SCALE

DETAIL 'B'
NOT TO SCALE

DETAIL 'C'
NOT TO SCALE

DETAIL 'D'
NOT TO SCALE

GRADING AND SERVICING PLAN
SCALE 1:200

MANOR AVENUE
(FIRST AVENUE BY REGISTERED PLAN 452)
(RENAMED BY BY-LAW 8695 INST. NO. 94333HL)
(CLOSED BY BY-LAW 08-183, INST. NO. VM277239)

1067mm x 300mm CONCRETE SPLASH PAD DETAIL

SHADE LEGEND

- DENOTES EXTENT OF SECOND STOREY
- DENOTES EXTENT OF SECOND STOREY TERRACE

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(RENAMED BY BY-LAW 8695 INST. NO. 94333HL)
(CLOSED BY BY-LAW 08-183, INST. NO. VM277239)

UNDERTAKING
RE: 1049 BEACH BOULEVARD FILE NO. DAB-19-171

I, (ME) _____, THE OWNER(S) OF THE LAND, HEREBY UNDERTAKE AND AGREE WITHOUT RESERVATION,

(A) TO COMPLY WITH ALL THE CONTENT OF THIS PLAN AND DRAWING AND NOT VARY THEREFROM.

(B) TO PERFORM THE FACILITIES, WORKS AND MATTERS MENTIONED IN SECTION 41(7)(A) OF THE PLANNING ACT SHOWN ON THIS PLAN AND DRAWING(S) IN ACCORDANCE WITH THE CONDITIONS OF APPROVAL AS SET OUT IN THE LETTERS OF APPROVAL DATED _____.

(C) TO MAINTAIN TO THE SATISFACTION OF THE CITY AND AT MY (OUR) SOLE RISK AND EXPENSE, ALL OF THE FACILITIES, WORKS OR MATTERS MENTIONED IN SECTION 41(7)(B) OF THE SAID ACT, SHOWN IN THIS PLAN AND DRAWING, INCLUDING REMOVAL OF SNOW FROM ACCESS RAMPS AND DRIVEWAYS, PARKING AND LOADING AREAS AND WALKWAYS.

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(E) NOTWITHSTANDING CURRENT SURFACE CONDITIONS, THE PROPERTY HAS BEEN DETERMINED TO BE AN AREA OF ARCHAEOLOGICAL POTENTIAL. ALTHOUGH AN ARCHAEOLOGICAL ASSESSMENT IS NOT REQUIRED BY CITY OF HAMILTON, THE PROPONENT IS CAUTIONED THAT DURING DEVELOPMENT ACTIVITIES, SHOULD DEEPLY BURIED ARCHAEOLOGICAL MATERIALS BE FOUND ON THE PROPERTY THE ONTARIO MINISTRY OF TOURISM, CULTURE AND SPORT (MTCES) SHOULD BE NOTIFIED IMMEDIATELY (416.314.7143). IN THE EVENT THAT HUMAN REMAINS ARE ENCOUNTERED DURING CONSTRUCTION, THE PROPONENT SHOULD IMMEDIATELY CONTACT BOTH MTCES AND THE REGISTRAR OR DEPUTY REGISTRAR OF THE CEMETERIES REGULATION UNIT OF MINISTRY OF SMALL BUSINESS AND CONSUMER SERVICES (416.326.8394).

DATED THIS _____ DAY OF _____ 20____

WITNESS (SIGNATURE) _____ OWNER(S) (SIGNATURE) _____

NOTE:

- ALL WORKS INVOLVED IN THE CONSTRUCTION, RELOCATION, REPAIR OF MUNICIPAL SERVICES FOR THE PROJECT SHALL BE TO THE SATISFACTION OF THE DIRECTOR OF PLANNING AND CHIEF PLANNER, PLANNING AND ECONOMIC DEVELOPMENT DEPARTMENT.
- THE APPROVAL OF THIS PLAN DOES NOT EXEMPT THE OWNER'S BONDED CONTRACTOR FROM THE REQUIREMENTS TO OBTAIN THE VARIOUS PERMITS/APPROVALS NORMALLY REQUIRED TO COMPLETE A CONSTRUCTION PROJECT, SUCH AS, BUT NOT LIMITED TO THE FOLLOWING:
 - BUILDING PERMIT
 - ROAD CUT PERMITS
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 - SEWER AND WATER PERMITS
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 - ENCROACHMENT AGREEMENT (IF REQUIRED)
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- WHEREVER POSSIBLE, THE CUTTING SURFACE ROOTS OF EXISTING TREES IS TO BE AVOIDED. HOWEVER, IF THESE CUTS ARE REQUIRED, CUTS SHOULD BE COMPLETED UNDER THE SUPERVISION OF A TREE MANAGEMENT PROFESSIONAL (I.e. CERTIFIED ARBORIST) SO THAT CUTS ARE MADE APPROPRIATELY.
- EXISTING SHED AT THE REAR OF THE PROPERTY IS TO BE REMOVED BY HAND TO ENSURE THAT EXISTING TREES AND THEIR ROOTS ARE NOT IMPACTED.

KEYPLAN
NOT TO SCALE

1049 BEACH BOULEVARD GRADING PLAN FOR BUILDING PERMIT

PART OF BURLINGTON BEACH EAST SIDE OF BEACH BOULEVARD (UNREGISTERED) AND PART OF MANOR AVENUE (FIRST AVENUE BY REGISTERED PLAN 452) (RENAMED BY BY-LAW 8695 INST. NO. 94333HL) (CLOSED BY BY-LAW 08-183, INST. NO. VM277239)

CITY OF HAMILTON
SCALE 1 : 200

MacKay, MacKay & PETERS LIMITED - ONTARIO LAND SURVEYORS
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WE HAVE REVIEWED THE PLANS FOR CONSTRUCTION OF A 2.5 STOREY DWELLING LOCATED AT 1049 BEACH BOULEVARD AND CERTIFY THAT THE GRADING SHOWN HEREON IS COMPATIBLE WITH THE ADJACENT PROPERTIES AND EXISTING MUNICIPAL SERVICES.

PROPOSED BUILDING SETBACKS AS SHOWN.

PROPOSED BUILDING HEIGHT AS SHOWN.

PROPOSED LOT COVERAGE AS SHOWN.

PROPOSED BUILDING SITE STATISTICS AS SHOWN

DECEMBER 14, 2020

DATE

ROY C. MACAY
ONTARIO LAND SURVEYOR
FOR MACKAY, MACKAY & PETERS LIMITED

MANOR AVENUE
(FIRST AVENUE BY REGISTERED PLAN 452)
(RENAMED BY BY-LAW 8695 INST. NO. 94333HL)
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GRADING AND SERVICING PLAN
SCALE 1:200

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Hamilton Building Division

1049 BEACH BOULEVARD GRADING PLAN FOR BUILDING PERMIT

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CITY OF HAMILTON
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ROY C. MACAY
ONTARIO LAND SURVEYOR
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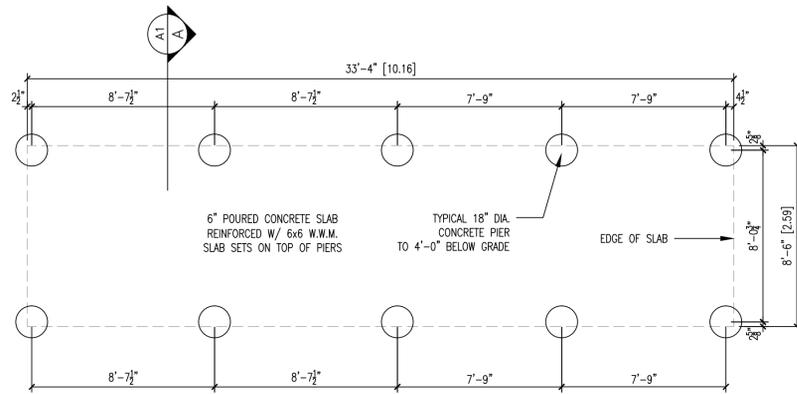
No.	DATE	REVISIONS
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4	JANUARY 14, 2020	REVISED PER CITY COMMENTS
3	NOVEMBER 27, 2019	UNDERGROUND SERVICES ADDED
2	OCTOBER 3, 2019	REMOVE PROPOSED ROAD WIDENING
1	AUGUST 6, 2019	SITE PLAN COMPLETED

MMP
MacKay, MacKay & Peters Limited
LAND SURVEYORS & MAPPERS
SINCE 1906

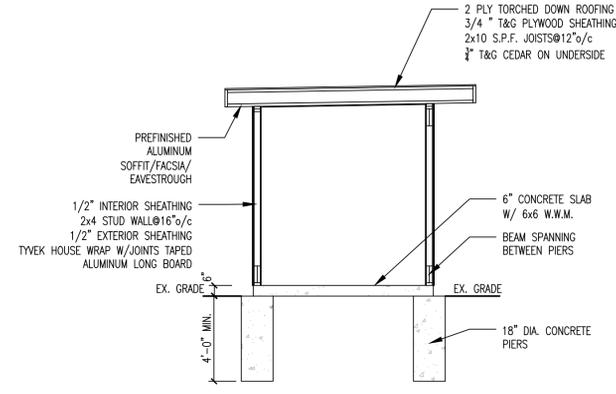
3380 South Service Road
Unit 101
Burlington, ON
L7N 3J5
(905) 639-1375
halton@mmplimited.com
mmplimited.com

CAD FILE: E:\(62) Hamilton-Wentworth\TMP\ SALTLETT\BURLINGTON BEACH\18-317\18-317-1\18-317-1-SP.dwg

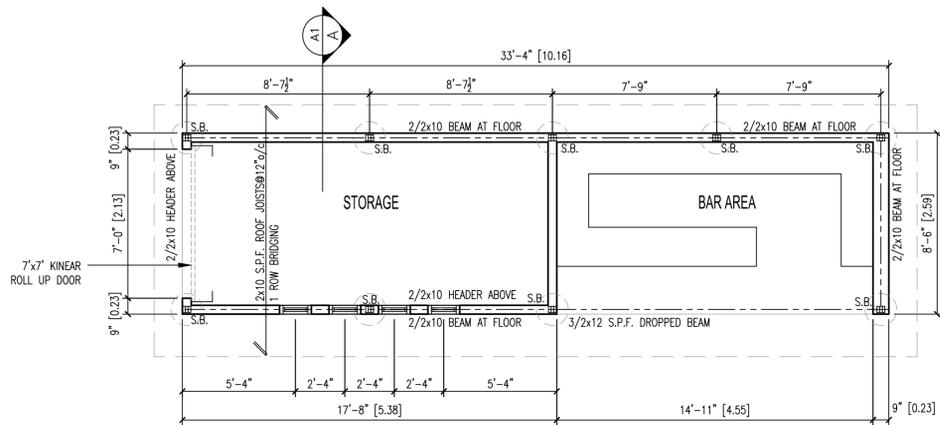
DRAWN BY: HAMILTON
CHECKED BY: PROJECT NO.
A.R. D.R. 18-317-1-SP DWG. NO. 2/2



PIER PLAN

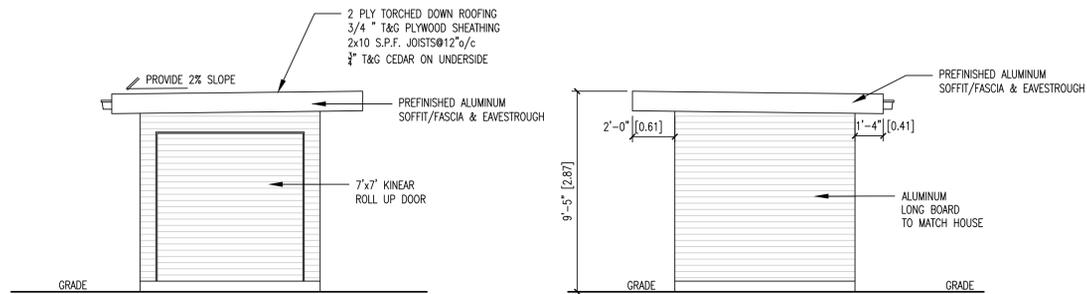


CROSS SECTION A



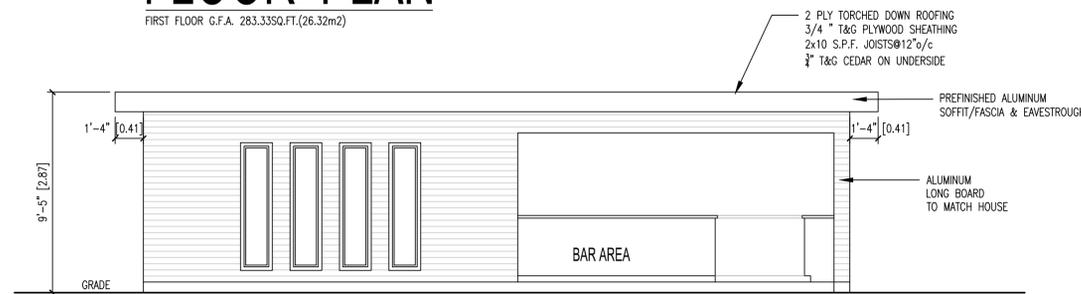
FLOOR PLAN

FIRST FLOOR G.F.A. 283.33SQ.FT.(26.32m²)

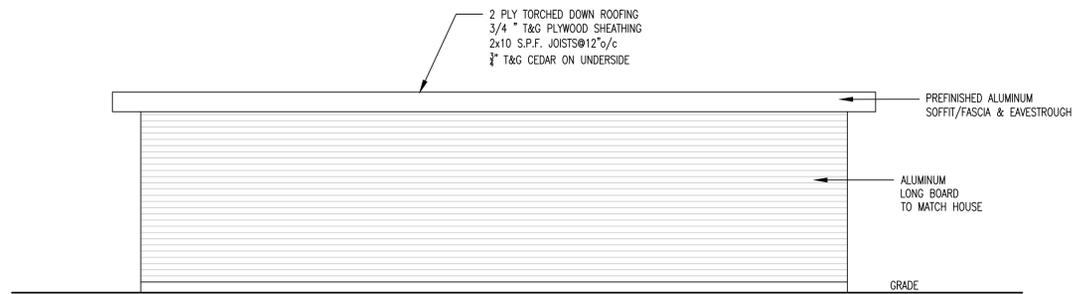


NORTH ELEVATION

SOUTH ELEVATION



FRONT ELEVATION



EAST ELEVATION

SYMBOL LEGEND

- S.B. PROVIDE SOLID BLOCKING DOWN TO FOUNDATION WALL
- BP BEAM POCKET
- P.L.× POINT LOAD FROM ABOVE
- STL. POST 3.5" STEEL POST W/ 3.5x3.5 TOP PLATE AND 5.5x5.5 BASE PLATE FIXED FROM UNDERSIDE OF ANGLE TO FOOTING
- EF EXHAUST FAN REFER TO HVAC DESIGN
- HB EXTERIOR HOSE BIB W/BACKFLOW

CONSTRUCTION NOTES

- ALL WASHROOMS, LAUNDRY AND RANGE TO HAVE EXHAUST FANS PROVIDE IN WALL BLOCKING IN ENSUITE BATH FOR FUTURE INSTALLATION OF GRAB BARS
- GENERAL CONTRACTOR TO VERIFY ALL DIMENSIONS AND ROOF SLOPES AND OVERHANGS PRIOR TO ORDERING TRUSSES ETC.
- ALL FOOTINGS TO BE MINIMUM 4'-0" BELOW FINAL GRADE
- ALL FOOTINGS TO BE PLACED ON UNDISTURBED SOIL
- ALL DIMENSIONS ARE TO FINISHED MATERIAL

ALL CONSTRUCTION TO CONFORM TO ONTARIO BUILDING CODE. CONTRACTOR, OWNER TO VERIFY ALL SIZES PRIOR TO ORDERING MATERIAL, DO NOT SCALE PLANS.

ALL WINDOW SIZES ARE GLAZING AREA ONLY WINDOW MANUFACTURER TO SIZE RSO BASED ON THIS

ALL DOOR SIZES SHOWN ARE SLAB SIZES ADD 2" OVERALL FOR RSO

FLOOR ENGINEERING, LVL SIZING, TRUSS LAYOUTS, HVAC AND ANY SPECIAL ENGINEERING DO NOT FORM PART OF THIS PACKAGE AND MUST BE OBTAINED SEPARATELY.

CONSULTANTS

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to design the work shown on the attached documents.

QUALIFICATION INFORMATION
 Required unless design is exempt under O.B.C. 3.2.5.1 of the building code
 Richard Weatherston
 R.W. CAD SERVICE INC. 29747
 REGISTRATION INFORMATION
 Required unless design is exempt under Div. C 3.2.4.1 of the building code
 R.G. CAD SERVICE INC. 29747
 FIRM NAME: BCM

R.G.CAD SERVICE INC.
 228 GREEN RD. STONEY CREEK
 PHONE (905) 664-8061

OWNER

TIM ANSTICE

PROPOSED CABANA
 1049 BEACH BLVD.
 HAMILTON, ONTARIO

Jordan Riley GROUP

905 379-6560
 www.jordanrileygroup.com

MARK	DATE	DESCRIPTION
MR.12/24		PRELIMINARY PLAN

PROJECT NO: ----
 CAD DWG FILE: BEACH CABANA.DWG
 DRAWN BY: KEVIN BOOTH
 CHK'D BY: RICHARD WEATHERSTON
 COPYRIGHT:

SHEET TITLE

CABANA PLAN

SCALE: 1/4" = 1'-0"

June 6, 2024

City of Hamilton

Committee of Adjustments

Cover Letter and Justification

I am writing this letter on behalf of my client whom is wishing to complete his new construction project at 1049 Beach Boulevard. Part of this project was the construction of a new single family residence and the current application before the Committee is to allow the construction of a small pool cabana which will facilitate the ability to have storage for pool and outdoor furniture together with an area for covered entertaining near the pool.

We feel that this proposal meets with the general intent of the Zoning By-Law as the previous home originally on this property had a rather larger structure in this location as an accessory building for cars, several properties along the street with backyards facing the Lake also have accessory structure close to rear lot lines as well. We have designed the cabana with a flat roof at a height well below the current allowable height as well to allow for the structure to not seem over powering with respect to massing and sight lines.

I trust this brief outline will satisfy any concerns and I look forward to any discussion you would like to have regarding our application.

Yours truly,

A handwritten signature in black ink, appearing to read 'Kevin Booth', with a long, sweeping horizontal flourish extending to the right.

Kevin Booth

Jordan Riley Group Inc.

Kevin

From: "Jeff Tweedle" <jtweedle@conservationhamilton.ca>
Date: June 19, 2024 5:46 PM
To: <kevin@jordanrileygroup.com>
Attach: 2024_LOP_Application_Fillable.pdf
Subject: RE: 1049 Beach Boulevard

Good afternoon Kevin,

Hamilton Conservation Authority (HCA) staff have received your inquiry regarding the proposed accessory structure (cabana) at 1049 Beach Boulevard, Hamilton. I have reviewed the following items which were included in your email:

- Site Plan, prepared by MMP, dated June 3, 2024
- Cabana Plan, prepared by Jordan Riley Group, dated March 12, 2024

The subject property is regulated by HCA pursuant to the *Conservation Authorities Act* and *Ontario Regulation 41/24* due to the proximity of the shoreline of Lake Ontario and the associated flooding and dynamic beach hazards. Based on my review of the submitted materials the proposed accessory structure (cabana) is located outside the dynamic beach hazard, but within the area regulated by HCA. As such, a Letter of Permission (LOP) from HCA will be required for the proposed works. I have attached the LOP application form to this email which can be completed and submitted to me via email or mail. The plans submitted in your previous email are sufficient and should be submitted with the completed application form as supporting materials. There is a \$256.51 (includes HST) fee for the LOP application which can be paid directly to HCA via cheque, e-transfer, or credit card. Please advise of your selected method of payment. If paying by credit card please provide a daytime phone number which HCA staff can call to collect payment information.

Outside of the regulatory requirements, I can provide some additional information relating to development of properties on the Hamilton Beach Strip area, which is provided for information only. According to HCA policy, the flood elevation on Lake Ontario, including wave uprush, is 78.5m. Though waves are unlikely to reach as far inland as most of the buildings along Beach Blvd, waves may overtop the pedestrian trail along the beach and may pond in rear yards if the elevation is below that of the trail. HCA staff generally recommend that all openings in the foundation (doors and windows) be constructed above the elevation of the pedestrian trail.

The Beach Blvd area is associated with a shallow aquifer that is influenced by lake level fluctuations. HCA staff recommend the hydrostatic pressure that can result from the shallow aquifer be assessed and foundations or any other excavations be designed accordingly to withstand the hydrostatic pressure. In addition, some locations within the Hamilton Beach Strip neighbourhood are susceptible to storm water infrastructure flooding (storm sewers with insufficient capacity that cannot handle larger rain events). Infrastructure flooding and flooding due to high groundwater are beyond the mandate of the HCA, and therefore we do not regulate this type of flooding.

Please let me know if you have any questions regarding the information provided above.

Regards,

Jeff Tweedle
Conservation Planner
Hamilton Conservation Authority
Phone: 905-525-2181 Ext. 164

The contents of this e-mail and any attachments are intended for the named recipient(s). This e-mail may contain information that is privileged and confidential. If you have received this message in error or are not the named recipient(s), please notify the sender and permanently delete this message without reviewing, copying, forwarding, disclosing or otherwise using it or any part of it in any form whatsoever. Thank you.

From: Kevin <kevin@jordanrileygroup.com>
Sent: Monday, June 10, 2024 10:37 AM
To: Nature <nature@conservationhamilton.ca>
Subject: 1049 Beach Boulevard

Good morning we are in the process of applying to Build a small accessory structure at above mentioned address and have been informed by the City of Hamilton that it falls under Conservation Approval. Can you have a look at our proposal and let me know if you foresee any issues and then what our proper approval process would be. Thank You

Kevin Booth
Jordan Riley Group Inc.
905 379-6560

Kevin

From: "Boucetta, Alexandra (MTO)" <Alexandra.Boucetta@ontario.ca>
Date: May 31, 2024 9:35 AM
To: "Kevin" <kevin@jordanrileygroup.com>
Subject: RE: Proposed Pool cabana 1049 Beach Boulevard Hamilton Ontario

Morning Kevin,

Thank you for your email. I have briefly reviewed the provided drawings and see no issues. Please submit a Building and Land Use (BLU) permit application through the link below. Ensure to upload a Site Plan, Architectural Drawings, and a Grading Plan if there will be any changes to grading.

[HCMS - Apply for a permit - Application for Building and Land Use permit \(gov.on.ca\)](#)

Thank you,

Alexandra Boucetta

Corridor Management Officer | Corridor Management, Central Region West | Operations Division
Ministry of Transportation | Ontario Public Service
416-816-4719 | alexandra.boucetta@ontario.ca



Taking pride in strengthening Ontario, its places and its people

From: Kevin <kevin@jordanrileygroup.com>
Sent: Friday, May 31, 2024 8:37 AM
To: Boucetta, Alexandra (MTO) <Alexandra.Boucetta@ontario.ca>
Subject: Proposed Pool cabana 1049 Beach Boulevard Hamilton Ontario

CAUTION -- EXTERNAL E-MAIL - Do not click links or open attachments unless you recognize the sender.
Good morning, we are in the process of making application to Build a small pool cabana at the rear of an existing pool at 1049 Beach Boulevard in Hamilton Ontario and require Ministry of Transportation approval. I have enclosed copy of Building Plan and Site Plan for your consideration, please advise if I require a formal application. Thanks

Kevin Booth
Jordan Riley Group Inc.
905 379-6560



Hamilton

**APPLICATION FOR A MINOR VARIANCE/PERMISSION
UNDER SECTION 45 OF THE PLANNING ACT**

1. APPLICANT INFORMATION

	NAME
Registered Owners(s)	Tim Anstice
Applicant(s)	Kevin Booth
Agent or Solicitor	Kevin Booth

1.2 Primary contact Applicant Owner Agent/Solicitor

1.3 Sign should be sent to Applicant Owner Agent/Solicitor

1.4 Request for digital copy of sign Yes* No

If YES, provide email address where sign is to be sent _____

1.5 All correspondence may be sent by email Yes* No

If Yes, a valid email must be included for the registered owner(s) AND the Applicant/Agent (if applicable). Only one email address submitted will result in the voiding of this service. This request does not guarantee all correspondence will sent by email.

1.6 Payment type In person Credit over phone* Cheque

*Must provide number above

2. LOCATION OF SUBJECT LAND

2.1 Complete the applicable sections:

Municipal Address	1049 Beach Boulevard		
Assessment Roll Number			
Former Municipality			
Lot	Part Manor Avenue	Concession	
Registered Plan Number	Plan 452	Lot(s)	
Reference Plan Number (s)	Part2&3 62R 21371	Part(s)	

2.2 Are there any easements or restrictive covenants affecting the subject land?

Yes No

If YES, describe the easement or covenant and its effect:

3. PURPOSE OF THE APPLICATION

Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled

All dimensions in the application form are to be provided in metric units (millimetres, metres, hectares, etc.)

3.1 Nature and extent of relief applied for:

We are proposing to build an Accessory Building to be a shed and covered seating area at within the required rear yard setback of 4.5M

Second Dwelling Unit

Reconstruction of Existing Dwelling

3.2 Why it is not possible to comply with the provisions of the By-law?

The shed and seating area is to be part of the pool equipment and storage area which is in the corner of the property the location would allow for better use of the homes current rear yard.

3.3 Is this an application 45(2) of the Planning Act.

Yes

No

If yes, please provide an explanation:

4. DESCRIPTION OF SUBJECT LAND AND SERVICING INFORMATION

4.1 Dimensions of Subject Lands:

Lot Frontage	Lot Depth	Lot Area	Width of Street
27.92	39.03	1083.7m ²	

4.2 Location of all buildings and structures on or proposed for the subject lands:
(Specify distance from side, rear and front lot lines)

Existing:

Type of Structure	Front Yard Setback	Rear Yard Setback	Side Yard Setbacks	Date of Construction
Single Family Home	7.38	19.05	16.2/1.74	12/01/2022

Proposed:

Type of Structure	Front Yard Setback	Rear Yard Setback	Side Yard Setbacks	Date of Construction
Accessory Building	34	2.35m	3.53/14.24	07/01/2024

4.3. Particulars of all buildings and structures on or proposed for the subject lands (attach additional sheets if necessary):

Existing:

Type of Structure	Ground Floor Area	Gross Floor Area	Number of Storeys	Height
Single Family Home	225m2	426m2	2	10M

Proposed:

Type of Structure	Ground Floor Area	Gross Floor Area	Number of Storeys	Height
Accessory Building	26.32m2	26.32m2	1	2.87M

- 4.4 Type of water supply: (check appropriate box)
- publicly owned and operated piped water system
 - privately owned and operated individual well

- lake or other water body
- other means (specify)

- 4.5 Type of storm drainage: (check appropriate boxes)
- publicly owned and operated storm sewers
 - swales

- ditches
- other means (specify)

4.6 Type of sewage disposal proposed: (check appropriate box)

- publicly owned and operated sanitary sewage
- system privately owned and operated individual
- septic system other means (specify) _____

4.7 Type of access: (check appropriate box)

- provincial highway
- municipal road, seasonally maintained
- municipal road, maintained all year
- right of way
- other public road

4.8 Proposed use(s) of the subject property (single detached dwelling duplex, retail, factory etc.):
Single Detached Dwelling

4.9 Existing uses of abutting properties (single detached dwelling duplex, retail, factory etc.):
Single Family Residential

7 HISTORY OF THE SUBJECT LAND

7.1 Date of acquisition of subject lands:
01/01/2000

7.2 Previous use(s) of the subject property: (single detached dwelling duplex, retail, factory etc)
Single Family Residential

7.3 Existing use(s) of the subject property: (single detached dwelling duplex, retail, factory etc)
Single Family residential

7.4 Length of time the existing uses of the subject property have continued:
60 plus years

7.5 What is the existing official plan designation of the subject land?

Rural Hamilton Official Plan designation (if applicable): _____

Rural Settlement Area: _____

Urban Hamilton Official Plan designation (if applicable) NEIGHBOURHOODS

Please provide an explanation of how the application conforms with the Official Plan.

7.6 What is the existing zoning of the subject land? C/S-1435 Site specific

7.8 Has the owner previously applied for relief in respect of the subject property?
(Zoning By-law Amendment or Minor Variance)

- Yes
- No

If yes, please provide the file number: ~~C/S-1435 Site specific~~

7.9 Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?

Yes

No

If yes, please provide the file number: _____

8 ADDITIONAL INFORMATION

8.1 Number of Dwelling Units Existing:

8.2 Number of Dwelling Units Proposed:

8.3 Additional Information (please include separate sheet if needed):

11 COMPLETE APPLICATION REQUIREMENTS

11.1 All Applications

- Application Fee
- Site Sketch
- Complete Application form
- Signatures Sheet

11.4 Other Information Deemed Necessary

- Cover Letter/Planning Justification Report
- Authorization from Council or Director of Planning and Chief Planner to submit application for Minor Variance
- Minimum Distance Separation Formulae (data sheet available upon request)
- Hydrogeological Assessment
- Septic Assessment
- Archeological Assessment
- Noise Study
- Parking Study



Hamilton

COMMITTEE OF ADJUSTMENT

City Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5

Telephone (905) 546-2424, ext. 4221

E-mail: cofa@hamilton.ca

NOTICE OF PUBLIC HEARING
Minor Variance

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
- Applicant/agent on file, or
- Person likely to be interested in this application

APPLICATION NO.:	A-24:152	SUBJECT PROPERTY:	197 Paradise Road North, Hamilton
ZONE:	Urban Protected Residential (C/S-1364)	ZONING BY-LAW:	Zoning By-law former City of Hamilton 6593, as Amended by By-law 96-125
ZONE:	Low Density Residential (R1)	ZONING BY-LAW:	Zoning By-law City of Hamilton 05-200

APPLICANTS: Owner: Javin Properties
Agent: Jenny Bognar

The following variances are requested:

Variances for Former Hamilton 6593;

1. An eave or gutter may extend a maximum of 41 centimetres into a required minimum setback instead of the maximum 30 centimetres permitted.
2. A maximum height of 6.25 metres shall be permitted for a Secondary Dwelling Unit- Detached instead of the maximum 6.0 metre height permitted.
3. A maximum ground floor area of 57 square metres shall be permitted for a Secondary Dwelling Unit- Detached instead of a maximum of 70% of the ground floor area of the principal dwelling required.
4. A maximum floor area ratio of 0.64 shall be permitted instead of the maximum 0.45 floor area ratio permitted.
5. A minimum 1.83 metre on site maneuvering space shall be provided instead of the minimum 6.0 metre maneuvering space required.

A-24:152

Variations for Hamilton 05-200;

1. A maximum height of 6.25 metres shall be permitted for an Additional Dwelling Unit- Detached instead of the maximum 6.0 metre height permitted.
2. A maximum ground floor area of 57 square metres shall be permitted for an Additional Dwelling Unit- Detached instead of a maximum of 70% of the ground floor area of the principal dwelling required.

PURPOSE & EFFECT: To permit the establishment of an additional Dwelling Unit- Detached.

Notes:

1. Variations written as requested by applicant.
2. It is notes that the subject lands were subject to city wide zoning by-law amendment 24-051, not final and binding, and as such are subject to the regulations of former Hamilton Zoning By-law 6593, as well as Hamilton Zoning By-law 05-200.

This Notice must be posted by the owner of any land which contains seven or more residential units so that it is visible to all residents.

This application will be heard by the Committee as shown below:

DATE:	Tuesday, August 6, 2024
TIME:	1:25 p.m.
PLACE:	Via video link or call in (see attached sheet for details)
	City Hall Council Chambers (71 Main St. W., Hamilton)
	To be streamed (viewing only) at www.hamilton.ca/committeeofadjustment

For more information on this matter, including access to drawings illustrating this request and other information submitted:

- Visit www.hamilton.ca/committeeofadjustment
- Visit Committee of Adjustment staff at 5th floor City Hall, 71 Main St. W., Hamilton

PUBLIC INPUT

Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, written comments must be received no later than noon August 2, 2024

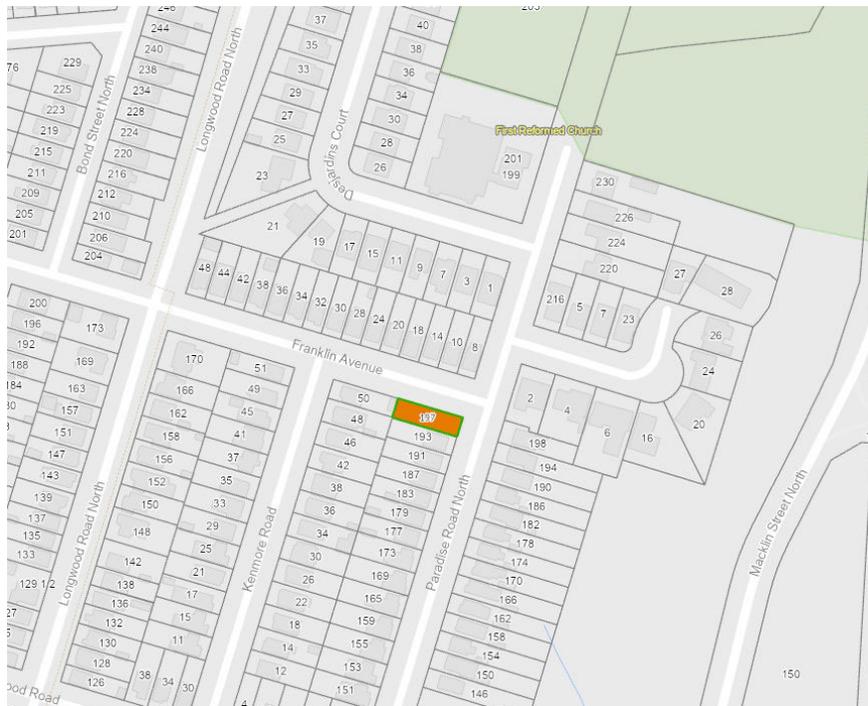
Orally: If you would like to speak to this item at the hearing you may do so via video link, calling in, or attending in person. Please see attached page for complete instructions, registration to participate virtually must be received no later than noon August 2, 2024

FURTHER NOTIFICATION

A-24:152

If you wish to be notified of future Public Hearings, if applicable, regarding A-24:152, you must submit a written request to cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5.

If you wish to be provided a Notice of Decision, you must attend the Public Hearing and file a written request with the Secretary-Treasurer by emailing cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5.



 **Subject Lands**

DATED: July 18, 2024

**Jamila Sheffield,
Secretary-Treasurer
Committee of Adjustment**

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public, and may include posting electronic versions.



Hamilton

COMMITTEE OF ADJUSTMENTCity Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5

Telephone (905) 546-2424, ext. 4221

E-mail: cofa@hamilton.ca**PARTICIPATION PROCEDURES****Written Submissions**

Members of the public who would like to participate in a Committee of Adjustment meeting are able to provide comments in writing advance of the meeting. Comments can be submitted by emailing cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5. **Comments must be received by noon on the date listed on the Notice of Public Hearing.**

Comments are available the Friday prior to the Hearing and are available on our website: www.hamilton.ca/committeeofadjustment

Oral Submissions

Members of the public are also able to provide oral comments regarding Committee of Adjustment Hearing items by participating Virtually through Webex via computer or phone or by attending the Hearing In-person. Participation Virtually requires pre-registration in advance. Please contact staff for instructions if you wish to make a presentation containing visual materials.

1. Virtual Oral Submissions

Interested members of the public, agents, and owners **must register by noon on the day listed on the Notice of Public Hearing** to participate Virtually.

To register to participate Virtually by Webex either via computer or phone, please contact Committee of Adjustment staff by email cofa@hamilton.ca. The following information is required to register: Committee of Adjustment file number, hearing date, name and mailing address of each person wishing to speak, if participation will be by phone or video, and if applicable the phone number they will be using to call in.

A separate registration for each person wishing to speak is required. Upon registering for a meeting, members of the public will be emailed a link for the Webex meeting one business day before the Hearing. Only those registered will be called upon to speak.

2. In person Oral Submissions

Interested members of the public, agents, and owners who wish to participate in person may attend Council Chambers on the date and time listed on the Notice of Public Hearing. Please note, you will be required to provide your name and address for the record. It is advised that you arrive **no less than 10 minutes** before the time of the Public Hearing as noted on the Notice of Public Hearing.

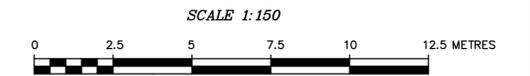
We hope this is of assistance and if you need clarification or have any questions, please email cofa@hamilton.ca.

Please note: Webex (video) participation requires either a compatible computer or smartphone and an application (app/program) must be downloaded by the interested party in order to participate. It is the interested party's responsibility to ensure that their device is compatible and operating correctly prior to the Hearing.

FRANKLIN AVENUE

(BY REGISTERED PLAN 679, P.I.N. 17468-0198 (LT))

PLAN SHOWING PROPOSED
ADDITIONAL DWELLING UNIT
(197 PARADISE ROAD NORTH)
PART OF LOTS
124, 125, 126 & 127
REGISTERED PLAN 679
CITY OF HAMILTON

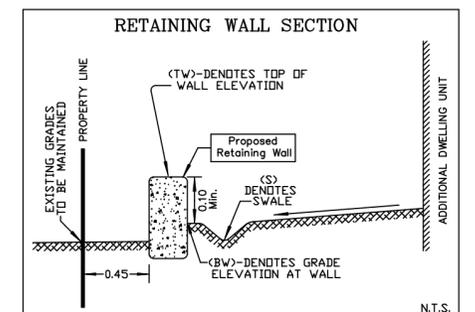
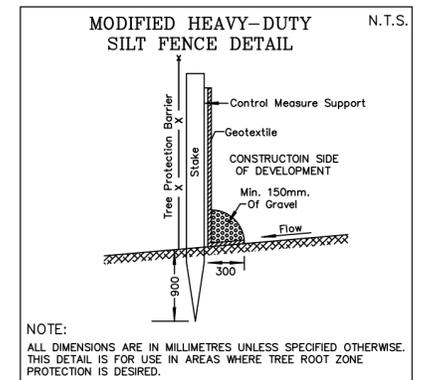


B.A. JACOBS SURVEYING LTD.
ONTARIO LAND SURVEYOR

METRIC NOTE:
DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE
CONVERTED TO FEET BY DIVIDING BY 0.3048.

- LEGEND:**
- D.S. DENOTES PROPOSED DOWNSPOUT
 - M.H. DENOTES MANHOLE
 - O.H.W. DENOTES OVERHEAD UTILITY WIRE
 - S.F.B. DENOTES SILT FENCE BARRIER
 - T.C. DENOTES TOP OF CURB
 - T.P.B. DENOTES TREE PROTECTION BARRIER
 - T.S. DENOTES TRAFFIC SIGN
 - U.P. DENOTES UTILITY POLE
 - W.V. DENOTES WATER VALVE
 - 0.3Ø DENOTES DIAMETER OF TREE
 - x 99.00 DENOTES EXISTING ELEVATION
 - x (99.00) DENOTES PROPOSED ELEVATION

ELEVATION NOTE:
ELEVATIONS SHOWN ON THIS PLAN ARE REFERRED TO CITY OF
HAMILTON BENCH MARK INDEXED AS No. 1-07.
LOCATION: CITY OF HAMILTON BENCH MARK, HOUSE No. 60
LONGWOOD ROAD NORTH OPPOSITE DEVON PLACE. No. 367.
ELEVATION = 99.219 m.



JUNE 3, 2024

DATE

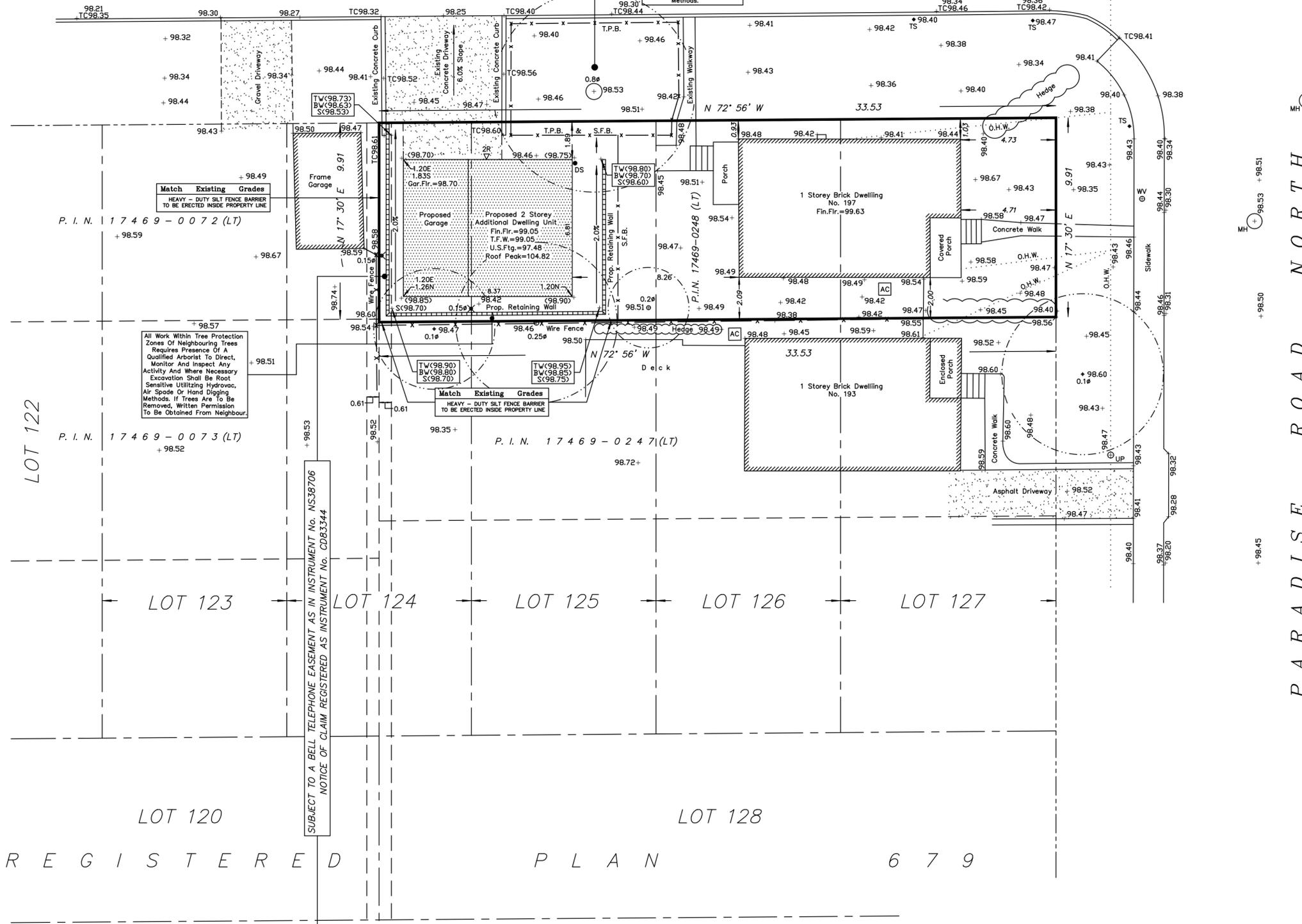
BRYAN JACOBS
ONTARIO LAND SURVEYOR



B.A. JACOBS SURVEYING LTD.
152 JACKSON STREET EAST, SUITE 102
HAMILTON, ONTARIO (L8N 1L3)
PHONE 905-521-1535 bajacobs@rogers.com

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JOB No. 23s59-P



ROOFWATER LEADERS NOTE:

ALL ROOFWATER LEADERS SHALL DISCHARGE ONTO SPLASH PADS
AND THEN TO GRASSED OR LANDSCAPED AREAS A MIN. OF 0.6m.
FROM THE BUILDING FACE.

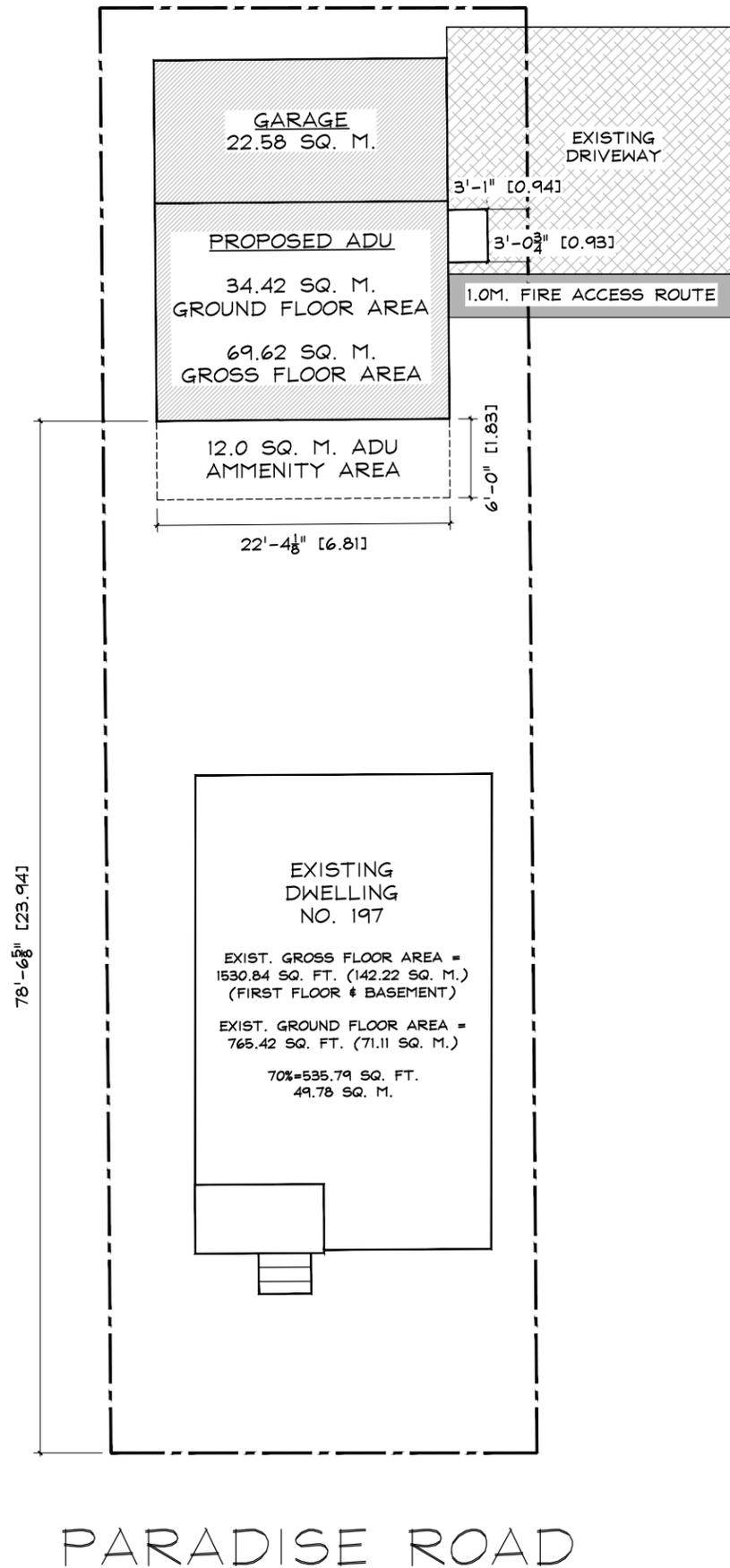
SITE DATA:	197 PARADISE ROAD NORTH
ZONING	C/S-1364 DESIGNATED AREA
LOT AREA:	332.12 sq. m.
LOT COVERAGE:	EXISTING DWELLING: (71.11 sq. m.)=21.4 % (EXCLUDES PORCHES) PROPOSED A.D.U.: (57.0 sq. m.)=17.2 % TOTAL: (128.11 sq.m.)=38.6%
MAXIMUM HEIGHT	ALLOWED: 6.0 m. PEAK OF ROOF=104.82 m. AVERAGE OF EXISTING & PROPOSED GRADES WITHIN 4.5 m. OF A.D.U. = 98.57 m. HEIGHT = 6.25 m.

SUBJECT TO A BELL TELEPHONE EASEMENT AS IN INSTRUMENT No. NS38706
NOTICE OF CLAIM REGISTERED AS INSTRUMENT No. CDB3344

REGISTERED

PLAN

679



FRANKLIN AVENUE

PARADISE ROAD

JAVIN PROPERTIES
 197 PARADISE ROAD NORTH
 HAMILTON, ON
 L8S 3T2

drafting + design
 ■ 193 East 43rd Street ■
 ■ Hamilton, ON ■ L8T 3C3 ■
 ■ jbdraftinganddesign@live.ca ■
 ■ 905.517.6027 ■

Jay Bognar
 06.11.24 signature required
 Jennifer Bognar reviews and takes responsibility for the design work described in this document
 firm bcin 103416 ■ individual bcin 33001

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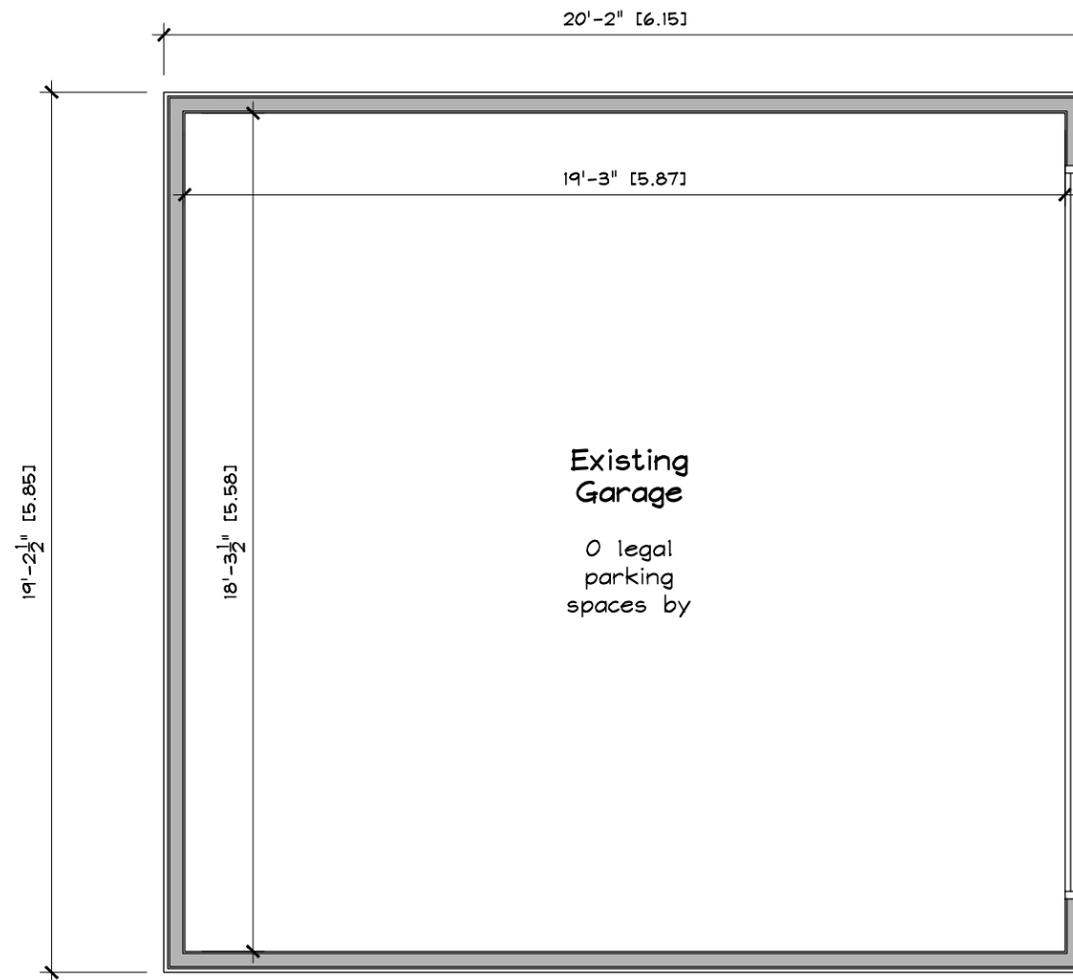
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SITE PLAN
 1:150
 SHEET **A1** OF 9



JAVIN PROPERTIES
197 PARADISE ROAD NORTH
HAMILTON, ON
L8S 3T2

drafting + design
 ■ 193 East 43rd Street ■
 ■ Hamilton, ON ■ L8T 3C3 ■
 ■ jbdraftinganddesign@live.ca ■
 ■ 905.517.6027 ■

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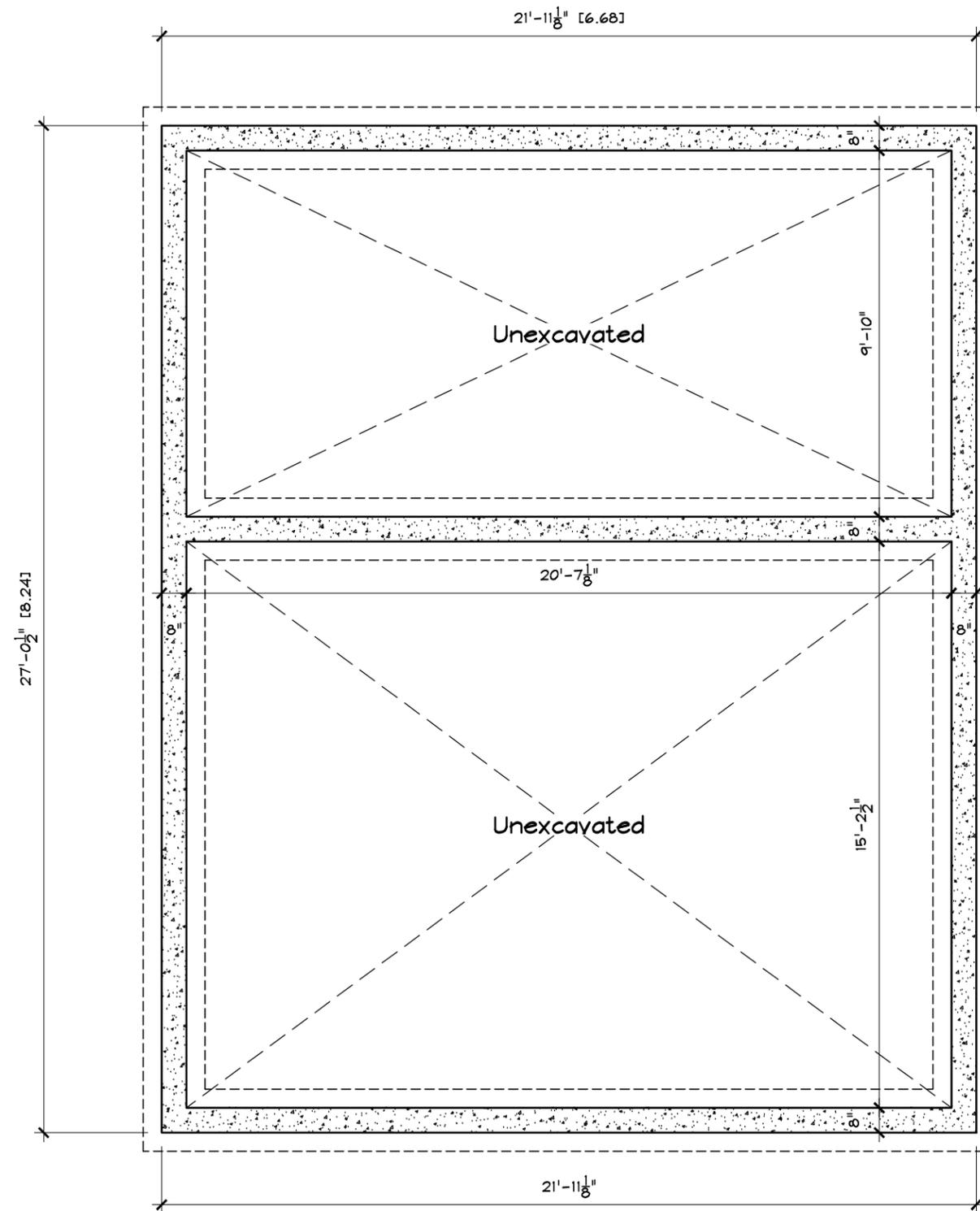
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EXISTING GARAGE PLAN
1/4" = 1'-0"

SHEET **A2** OF 9



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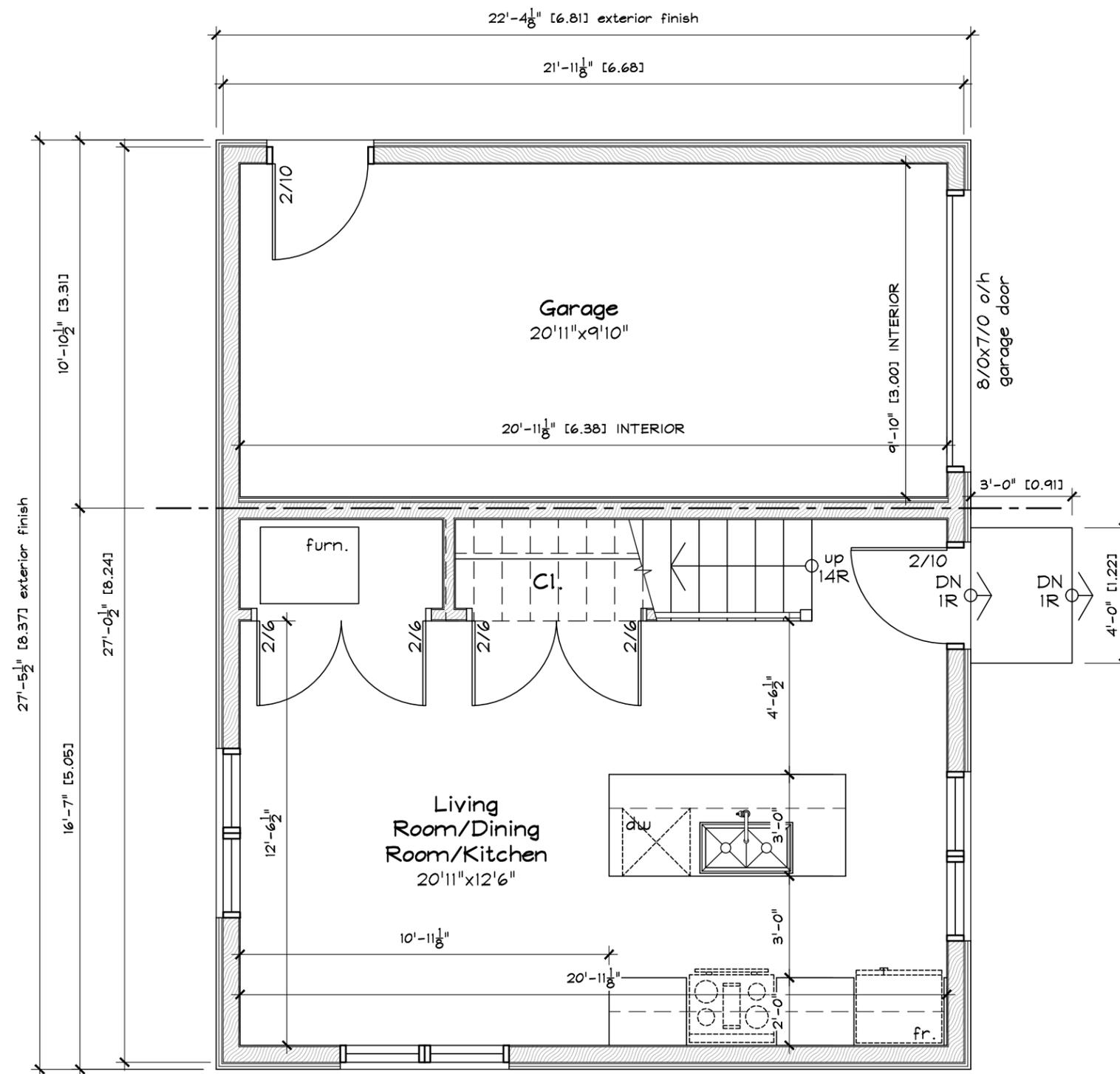
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PROPOSED
 FOUNDATION PLAN
 1/4" = 1'-0"

SHEET
A3
 OF 9



ADU Ground Floor Area: 370.48 sq. ft. (34.42 sq. m.)
 Garage Area: 243.02 sq. ft. (22.58 sq. m.)

JAVIN PROPERTIES
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 L8S 3T2

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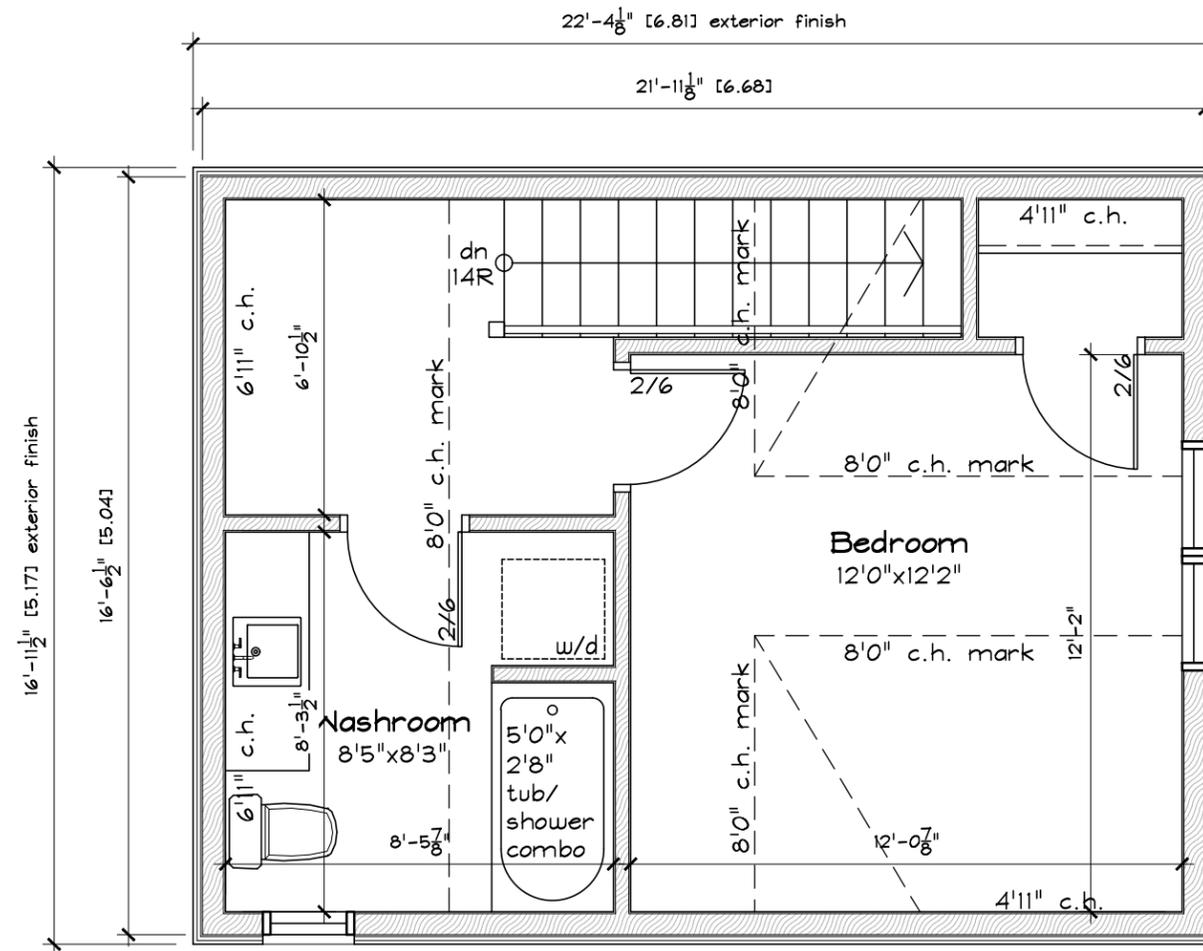
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PROPOSED FIRST FLOOR PLAN
 1/4" = 1'-0"

SHEET **A4** OF 9



Second Floor Area: 378.86 sq. ft. (35.20 sq. m.)

JAVIN PROPERTIES
 197 PARADISE ROAD NORTH
 HAMILTON, ON
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 Hamilton, ON L8T 3C3
 jbdraftinganddesign@live.ca
 905.517.6027

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PROPOSED SECOND FLOOR PLAN
 1/4" = 1'-0"

SHEET **A5** OF 9



JAVIN PROPERTIES
197 PARADISE ROAD NORTH
HAMILTON, ON
L8S 3T2

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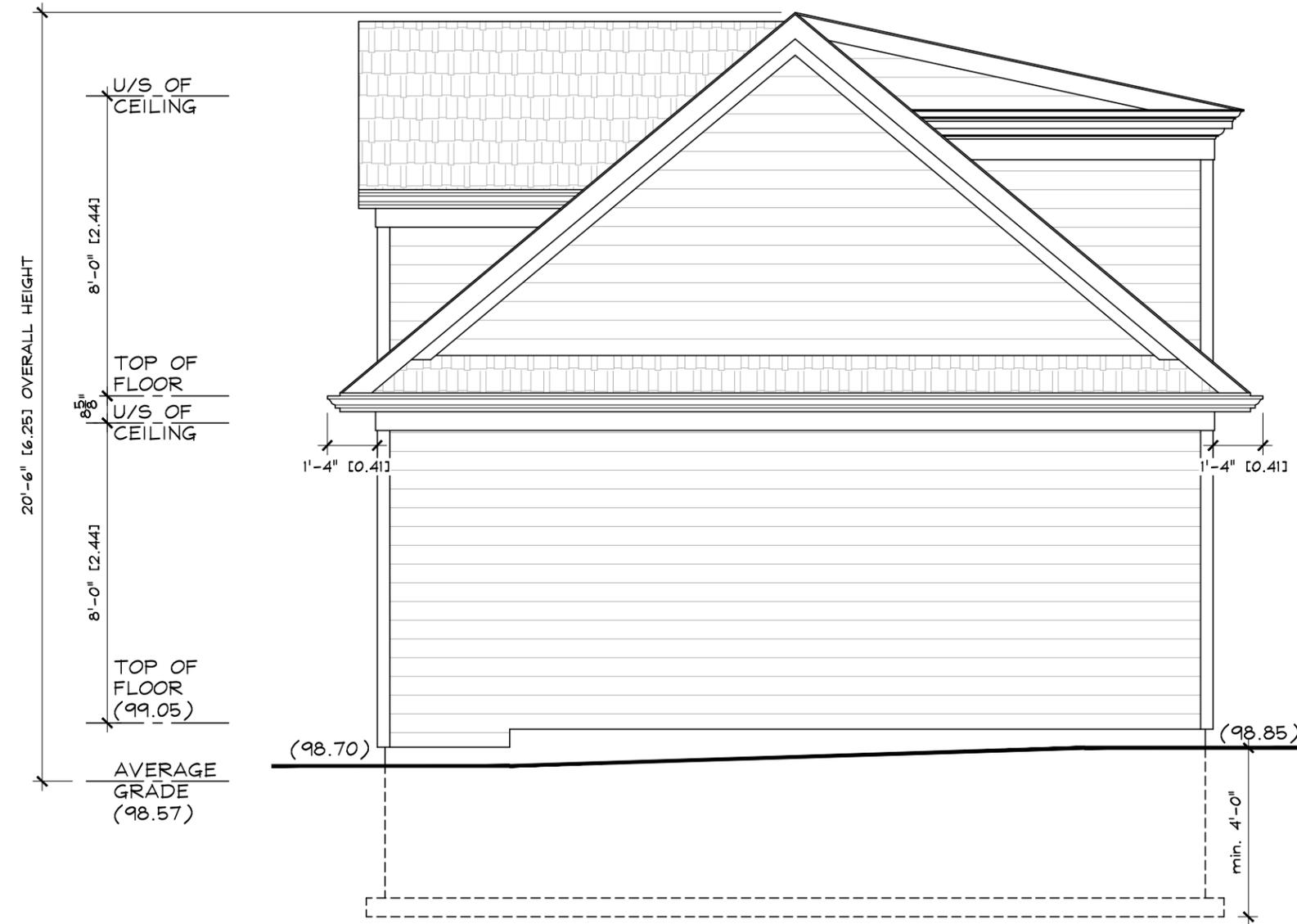
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PROPOSED FRONT
ELEVATION
1/4" = 1'-0"

SHEET
A6
OF 9



JAVIN PROPERTIES
 197 PARADISE ROAD NORTH
 HAMILTON, ON
 L8S 3T2

drafting + design

- 193 East 43rd Street
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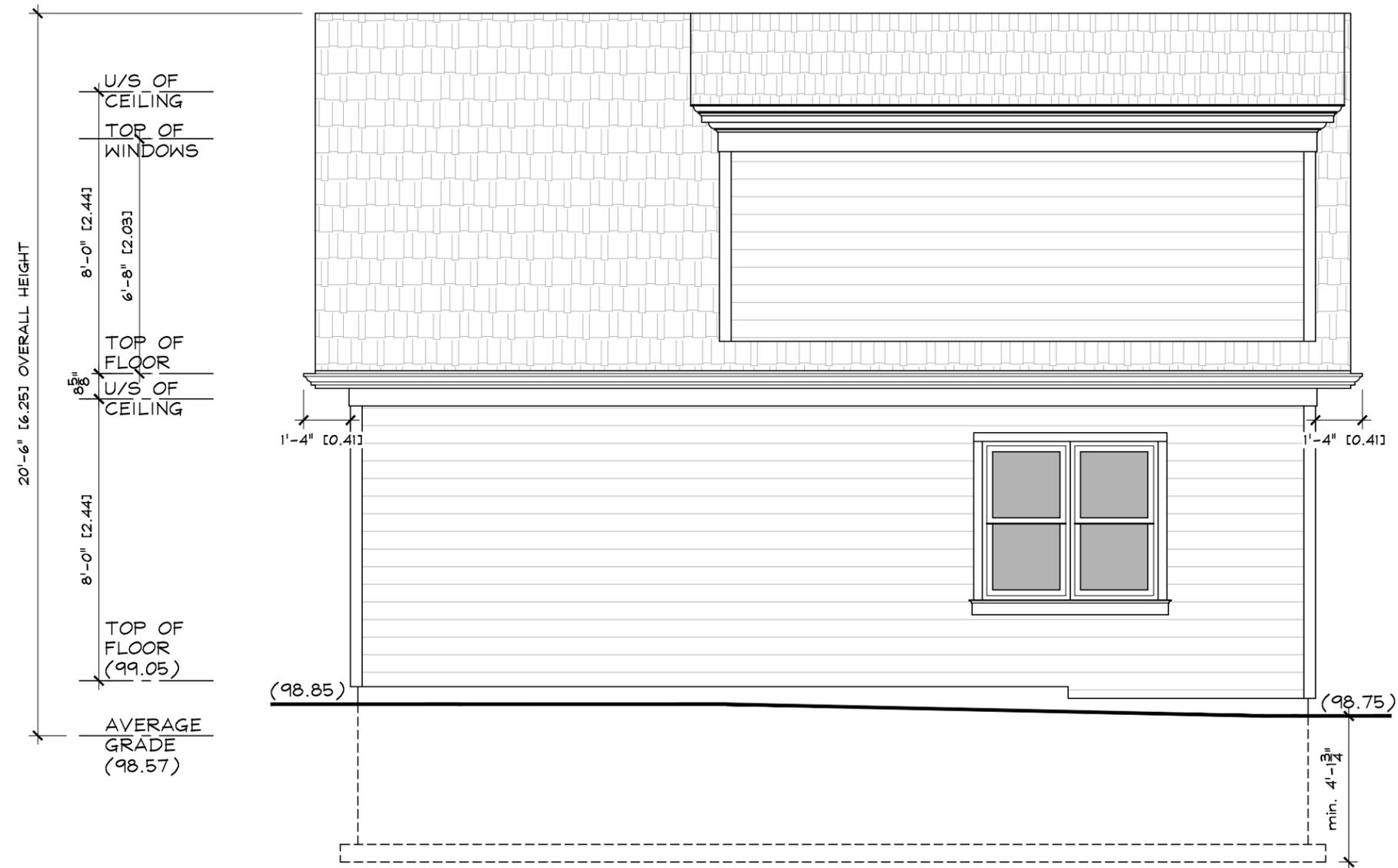
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PROPOSED RIGHT SIDE ELEVATION
 1/4" = 1'-0"

SHEET **A7** OF 9



JAVIN PROPERTIES
 197 PARADISE ROAD NORTH
 HAMILTON, ON
 L8S 3T2

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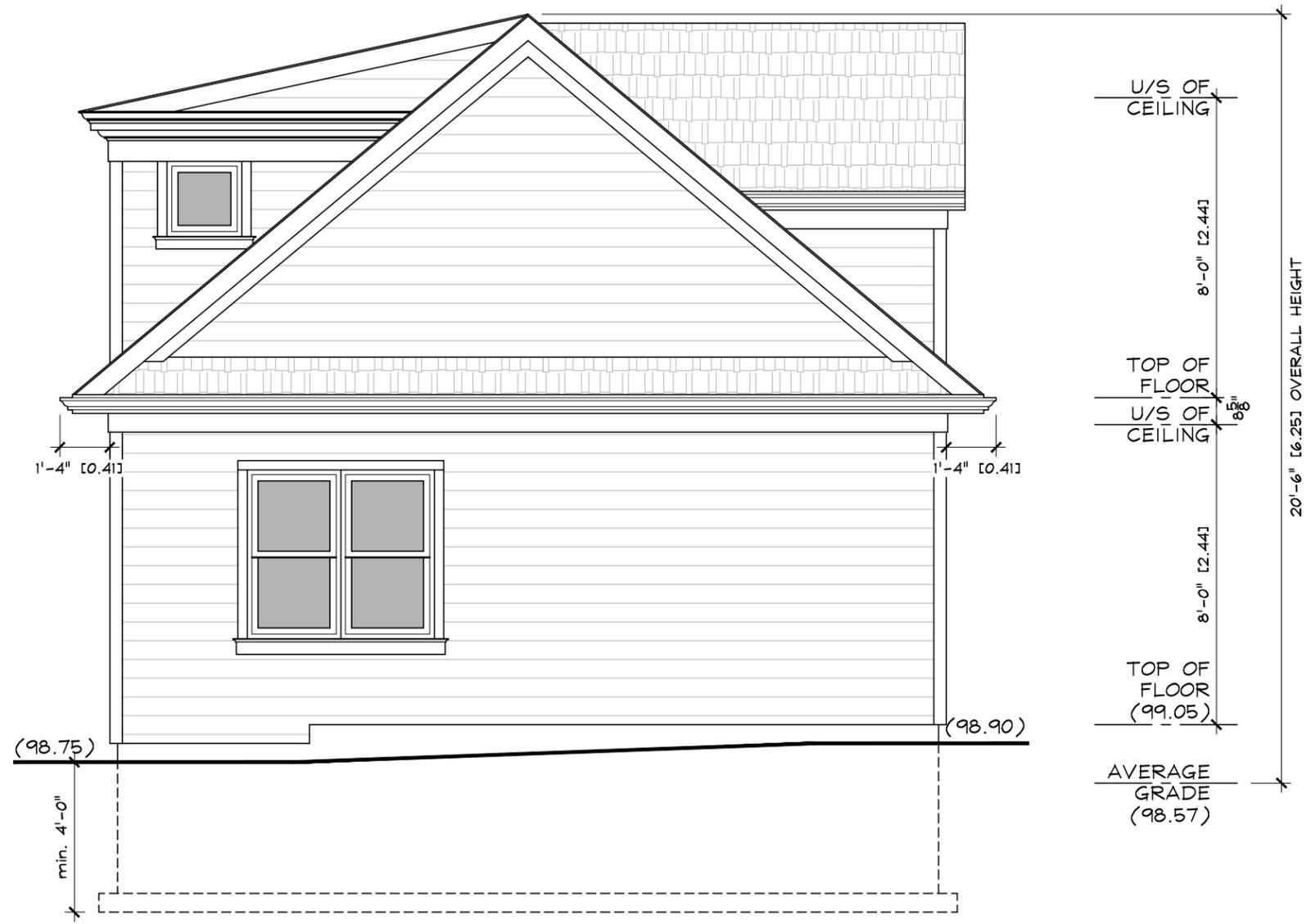
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PROPOSED REAR
 ELEVATION
 1/4" = 1'-0"

SHEET
A8
 OF 9



JAVIN PROPERTIES
 197 PARADISE ROAD NORTH
 HAMILTON, ON
 L8S 3T2

drafting + design

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- Hamilton, ON L8T 3C3
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PROPOSED LEFT
 SIDE ELEVATION
 1/4" = 1'-0"

SHEET
A9
 OF 9

Minor Variance Application - 197 Paradise Road North

Reasons for Needing Variances

Variance #1

Variance for an overall height of 6.25m. instead of the required 6.0m. max.

We are requesting this variance to ensure we have enough headroom space on the second floor as well as to provide a visually pleasing structure. The grades around the structure also lower the average grade from the flankage lot line which makes the structure feel tall but from the road it is much closer to the 6.0m. max.

We are only over the maximum height by 8" which is not visually evident nor does it change the look or feel of the structure.

We feel this request is minor in nature and is in keeping with the many 1-1/2 & 2 story dwellings in this area.

Variance #2

Variance for a reduced maneuvering space depth of 1.83m. instead of the required 6.0m. min.

Although we do not have enough room for required 6.0m. required maneuvering space, we do feel it's important to note that we are making the existing situation slightly better. The current garage sits at 0.63m from the property line and we are proposing 1.83m.

We have over 6.0m of parking depth, including the boulevard area, and we will be applying for a boulevard parking agreement for this space.

We feel this request is minor in nature and does not drastically change the existing situation, but rather makes it better. It also is very similar to many other lots in the area that have detached garages facing the flankage side.

Variance #3

Variance for an overall lot GFA of 0.64 instead of the required max. of 0.45 for the main dwelling plus new D-ADU (no including attached garage).

The intention of this bylaw was to avoid "monster homes" in this area. The addition of the ADU bylaws has not taken this into account which makes it virtually impossible to build anything without going over this GFA regulation.

We have provided various wall planes and roof heights to help keep this structure from looking too imposing or bulky.

We feel that this design is in keeping with the neighborhood character as many of these older homes are being expanded and ADU's added to keep up with the ever changing family dynamics.

Variance #4

Variance for a 57 sq. m. ground floor area for a D-ADU with attached garage instead of the allowable maximum of 49.78 sq. m. based upon the main dwelling area.

The maximum ground floor area of 49.78 sq. m. for the D-ADU is based upon 70% of the ground floor area of the main dwelling. However, the regulations apply to the whole D-ADU, which in this case includes a garage. The liveable portion of the D-ADU is only 34.42 sq. m. which does meet the regulation, which is important to note. We feel the garage is important to provide to ensure the existing parking is maintained as to not overwhelm the street with cars.

We feel this request is minor in nature and does not drastically change the streetscape or pose any negative impacts. The new structure will be a welcome addition to the streetscape as opposed to the current garage.

Variance #5

Variance for an eave/gutter overhang of 0.41m. instead of the maximum of 0.30m.

This overhang allows us to get the proper ceiling height on the second floor and also looks architecturally better on structure than a short overhang.

We feel this request is minor in nature and does not negatively impact any of the neighboring properties.

We appreciate your time and attention on this matter.



Hamilton

APPLICATION FOR A MINOR VARIANCE/PERMISSION
 UNDER SECTION 45 OF THE *PLANNING ACT*

1. APPLICANT INFORMATION

	NAME		
Registered Owners(s)	Javin Properties Inc.		
Applicant(s)	Jenny Bognar		
Agent or Solicitor	As per applicant		
		As per applicant	Phone: E-mail:

1.2 Primary contact Applicant Owner
 Agent/Solicitor

1.3 Sign should be sent to Applicant Owner
 Agent/Solicitor

1.4 Request for digital copy of sign Yes* No

If YES, provide email address where sign is to be sent _____

1.5 All correspondence may be sent by email Yes* No

If Yes, a valid email must be included for the registered owner(s) AND the Applicant/Agent (if applicable). Only one email address submitted will result in the voiding of this service. This request does not guarantee all correspondence will sent by email.

1.6 Payment type In person Credit over phone*
 Cheque _____

*Must provide number above

2. LOCATION OF SUBJECT LAND

2.1 Complete the applicable sections:

Municipal Address	197 Paradise Road North		
Assessment Roll Number			
Former Municipality			
Lot		Concession	
Registered Plan Number	679	Lot(s)	
Reference Plan Number (s)		Part(s)	124,125,126,127

2.2 Are there any easements or restrictive covenants affecting the subject land?

Yes No

If YES, describe the easement or covenant and its effect:

3. PURPOSE OF THE APPLICATION

Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled

All dimensions in the application form are to be provided in metric units (millimetres, metres, hectares, etc.)

3.1 Nature and extent of relief applied for:

See attached

Second Dwelling Unit Reconstruction of Existing Dwelling

3.2 Why it is not possible to comply with the provisions of the By-law?

See attached

3.3 Is this an application 45(2) of the Planning Act.

Yes No

If yes, please provide an explanation:

4. DESCRIPTION OF SUBJECT LAND AND SERVICING INFORMATION

4.1 Dimensions of Subject Lands:

Lot Frontage	Lot Depth	Lot Area	Width of Street
9.91 m.	33.53 m.	332.27 sq. m.	

4.2 Location of all buildings and structures on or proposed for the subject lands:
(Specify distance from side, rear and front lot lines)

Existing:

Type of Structure	Front Yard Setback	Rear Yard Setback	Side Yard Setbacks	Date of Construction
Dwelling	4.71m	17.78m	2.0m/0.93m	1950's

Proposed:

Type of Structure	Front Yard Setback	Rear Yard Setback	Side Yard Setbacks	Date of Construction
ADU w/ attached garage	23.94m	1.20m	1.20m/1.83m.	ASAP

4.3. Particulars of all buildings and structures on or proposed for the subject lands (attach additional sheets if necessary):

Existing:

Type of Structure	Ground Floor Area	Gross Floor Area	Number of Storeys	Height
Dwelling	71.40 sq. m.	142.80 sq. m.	1	6.5m approx.

Proposed:

Type of Structure	Ground Floor Area	Gross Floor Area	Number of Storeys	Height
ADU	34.42 sq. m.	69.62 sq. m.	1.5	6.25 m.
Garage	22.58 sq. m.	n/a	1	6.25 m.

- 4.4 Type of water supply: (check appropriate box)
 publicly owned and operated piped water system
 privately owned and operated individual well

- lake or other water body
 other means (specify)

- 4.5 Type of storm drainage: (check appropriate boxes)
 publicly owned and operated storm sewers
 swales

- ditches
 other means (specify)

4.6 Type of sewage disposal proposed: (check appropriate box)

publicly owned and operated sanitary sewage

system privately owned and operated individual

septic system other means (specify) _____

4.7 Type of access: (check appropriate box)

provincial highway

right of way

municipal road, seasonally maintained

other public road

municipal road, maintained all year _____

4.8 Proposed use(s) of the subject property (single detached dwelling duplex, retail, factory etc.):

Single family dwelling

4.9 Existing uses of abutting properties (single detached dwelling duplex, retail, factory etc.):

Single family dwellings

7 HISTORY OF THE SUBJECT LAND

7.1 Date of acquisition of subject lands:

2015

7.2 Previous use(s) of the subject property: (single detached dwelling duplex, retail, factory etc)

Single family dwelling

7.3 Existing use(s) of the subject property: (single detached dwelling duplex, retail, factory etc)

Always

7.4 Length of time the existing uses of the subject property have continued:

Always

7.5 What is the existing official plan designation of the subject land?

Rural Hamilton Official Plan designation (if applicable): _____

Rural Settlement Area: _____

Urban Hamilton Official Plan designation (if applicable) Neighbourhoods

Please provide an explanation of how the application conforms with the Official Plan.

See attached

7.6 What is the existing zoning of the subject land? C, S-1364

7.8 Has the owner previously applied for relief in respect of the subject property?

(Zoning By-law Amendment or Minor Variance)

Yes

No

If yes, please provide the file number: _____

7.9 Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?

Yes

No

If yes, please provide the file number: _____

8 ADDITIONAL INFORMATION

8.1 Number of Dwelling Units Existing: 1

8.2 Number of Dwelling Units Proposed: 1

8.3 Additional Information (please include separate sheet if needed):

11 COMPLETE APPLICATION REQUIREMENTS

11.1 All Applications

- Application Fee
- Site Sketch
- Complete Application form
- Signatures Sheet

11.4 Other Information Deemed Necessary

- Cover Letter/Planning Justification Report
 - Authorization from Council or Director of Planning and Chief Planner to submit application for Minor Variance
 - Minimum Distance Separation Formulae (data sheet available upon request)
 - Hydrogeological Assessment
 - Septic Assessment
 - Archeological Assessment
 - Noise Study
 - Parking Study
-
-



Hamilton

COMMITTEE OF ADJUSTMENT

City Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5

Telephone (905) 546-2424, ext. 4221

E-mail: cofa@hamilton.ca

NOTICE OF PUBLIC HEARING
Minor Variance

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
- Applicant/agent on file, or
- Person likely to be interested in this application

APPLICATION NO.:	A-24:154	SUBJECT PROPERTY:	1107 Main Street West, Hamilton
ZONE:	Transit Oriented Corridor Mixed Use Medium Density (TOC1, 772)	ZONING BY-LAW:	Zoning By-law City of Hamilton 05-200, as Amended by By-law No. 22-163

APPLICANTS: Owner: 1107 Main Street Inc. - Darryl Firsten
Agent: Up Consulting Ltd c/o David Galbraith

The following variances are requested:

1. A Finished Floor Elevation of any dwelling unit shall be permitted to be at grade instead of the minimum 0.5 metre Finished Floor Elevation required.
2. A maximum setback from Dow Avenue shall be 5.023 metres instead of the maximum 4.5 metres required.
3. A minimum setback shall be 9.3 metres for any portion of a building exceeding 37.5 metres in height instead of the minimum 9.3 metres required for any portion of a building exceeding 36.0 metres in height.
4. A minimum setback shall be 13.8 metres for any portion of a building exceeding 22.0 metres in height for the portion of the building abutting Cline Avenue and Dow Avenue instead of the minimum 14.3 metres required for any portion of a building exceeding 22.0 metres in height.

PURPOSE & EFFECT: So as to permit the construction of a fifteen (15) storey mixed use building.

Notes:

- i. Please note, insufficient information has been provided to determine the minimum rear yard setback to the portion of a building exceeding 22.0 metres in height. Should the proposed portion of the building exceeding 22.0 metres in height be setback less than the required 33.5 metres from the rear lot line, additional variances may be required.

A-24:154

- ii. Please note, it appears a “Gravel Stone” area is proposed along a portion of the lot line that abuts the Institutional Zone to the rear of the property and is indicated to overlap with the required 3 metres Planting Strip. Should a 3.0 metre Planting Strip, as defined under Section 3, not be provided along the lot line abutting an Institutional Zone, additional variances may be required.

This Notice must be posted by the owner of any land which contains seven or more residential units so that it is visible to all residents.

This application will be heard by the Committee as shown below:

DATE:	Tuesday, August 6, 2024
TIME:	1:30 p.m.
PLACE:	Via video link or call in (see attached sheet for details)
	City Hall Council Chambers (71 Main St. W., Hamilton)
	To be streamed (viewing only) at www.hamilton.ca/committeeofadjustment

For more information on this matter, including access to drawings illustrating this request and other information submitted:

- Visit www.hamilton.ca/committeeofadjustment
- Visit Committee of Adjustment staff at 5th floor City Hall, 71 Main St. W., Hamilton

PUBLIC INPUT

Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, written comments must be received no later than noon August 2, 2024

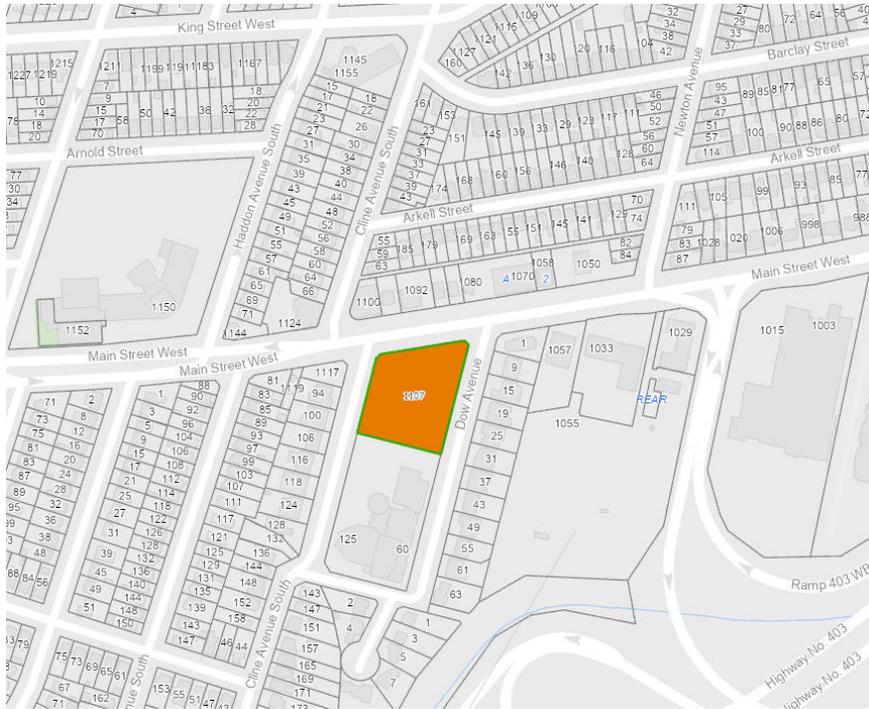
Orally: If you would like to speak to this item at the hearing you may do so via video link, calling in, or attending in person. Please see attached page for complete instructions, registration to participate virtually must be received no later than noon August 2, 2024

FURTHER NOTIFICATION

If you wish to be notified of future Public Hearings, if applicable, regarding A-24:154, you must submit a written request to cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5.

If you wish to be provided a Notice of Decision, you must attend the Public Hearing and file a written request with the Secretary-Treasurer by emailing cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5.

A-24:154



 Subject Lands

DATED: July 18, 2024

Jamila Sheffield,
Secretary-Treasurer
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public, and may include posting electronic versions.



Hamilton

COMMITTEE OF ADJUSTMENT

City Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5

Telephone (905) 546-2424, ext. 4221

E-mail: cofa@hamilton.ca

PARTICIPATION PROCEDURES

Written Submissions

Members of the public who would like to participate in a Committee of Adjustment meeting are able to provide comments in writing advance of the meeting. Comments can be submitted by emailing cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5. **Comments must be received by noon on the date listed on the Notice of Public Hearing.**

Comments are available the Friday prior to the Hearing and are available on our website: www.hamilton.ca/committeeofadjustment

Oral Submissions

Members of the public are also able to provide oral comments regarding Committee of Adjustment Hearing items by participating Virtually through Webex via computer or phone or by attending the Hearing In-person. Participation Virtually requires pre-registration in advance. Please contact staff for instructions if you wish to make a presentation containing visual materials.

1. Virtual Oral Submissions

Interested members of the public, agents, and owners **must register by noon on the day listed on the Notice of Public Hearing** to participate Virtually.

To register to participate Virtually by Webex either via computer or phone, please contact Committee of Adjustment staff by email cofa@hamilton.ca. The following information is required to register: Committee of Adjustment file number, hearing date, name and mailing address of each person wishing to speak, if participation will be by phone or video, and if applicable the phone number they will be using to call in.

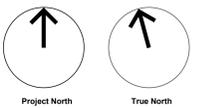
A separate registration for each person wishing to speak is required. Upon registering for a meeting, members of the public will be emailed a link for the Webex meeting one business day before the Hearing. Only those registered will be called upon to speak.

2. In person Oral Submissions

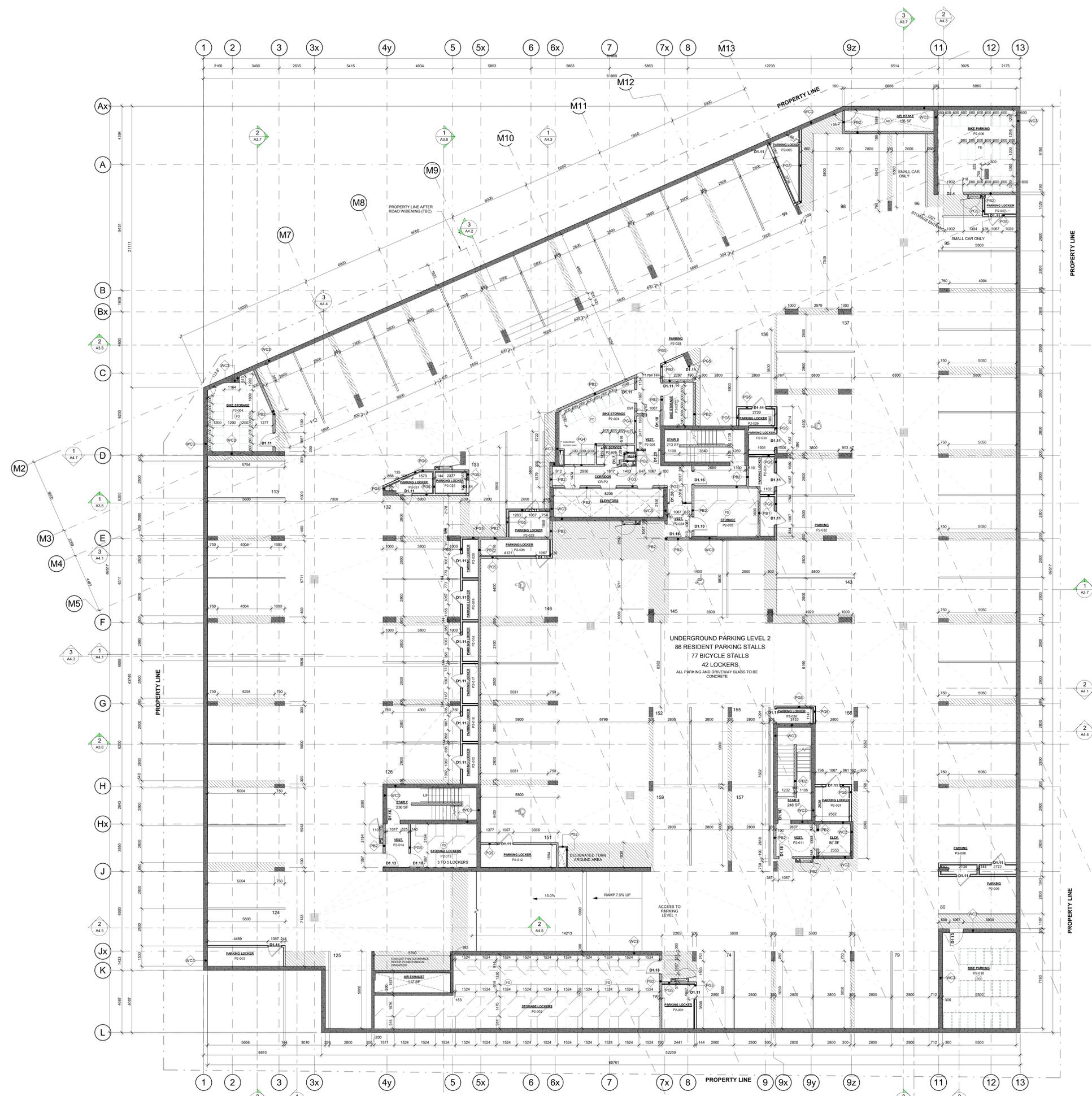
Interested members of the public, agents, and owners who wish to participate in person may attend Council Chambers on the date and time listed on the Notice of Public Hearing. Please note, you will be required to provide your name and address for the record. It is advised that you arrive **no less than 10 minutes** before the time of the Public Hearing as noted on the Notice of Public Hearing.

We hope this is of assistance and if you need clarification or have any questions, please email cofa@hamilton.ca.

Please note: Webex (video) participation requires either a compatible computer or smartphone and an application (app/program) must be downloaded by the interested party in order to participate. It is the interested party's responsibility to ensure that their device is compatible and operating correctly prior to the Hearing.



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1 LEVEL P2 FLOOR PLAN

No.	Date	Revision
40	2024-05-28	ISSUED FOR MINOR VARIANCE
38	2024-05-15	REVISED FOR TENDER
37	2024-05-03	ISSUED FOR SITE PLAN APPROVAL
36	2024-04-17	ISSUED FOR MINOR VARIANCE
35	2024-03-20	ISSUED FOR TENDER
34	2023-12-18	ISSUED FOR SPA
29	2023-11-13	ISSUED FOR COORDINATION
28	2023-11-08	STRUCTURAL COORDINATION
26	2023-09-20	ISSUED FOR SPA
24	2023-09-30	ISSUED FOR SPA
23	2023-11-28	ISSUED FOR CHAIRMAN
22	2023-10-26	ISSUED FOR COORDINATION
21	2023-08-11	REVISED FOR SPA
18	2023-04-26	ISSUED FOR COORDINATION
17	2023-04-27	ISSUED FOR REVIEW
14	2023-11-17	ISSUED FOR REZONING
13	2020-09-09	ISSUED FOR CLIENT REVIEW
11	2020-02-27	ISSUED FOR CLIENT REVIEW
10	2020-02-11	ISSUED FOR REZONING
2	2019-03-18	ISSUED FOR PRE-CONSTRUCTION

No. Date Revision

Client:

Project Name / Address:

IN8
1107 MAIN ST. W

City of Hamilton Site Plan File Number: DA-23-023

Project No: 19052

Drawing Date: 12/18/19

Client: M.S. JAA

Office Location: KITCHENER

Plot Date / Time: 5/28/2024 12:39:35 PM

LEVEL P2 FLOOR PLAN

Ontario Association of Architects

Scale: 1:100

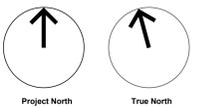
Status: MINOR VARIANCE

Revision No: r40

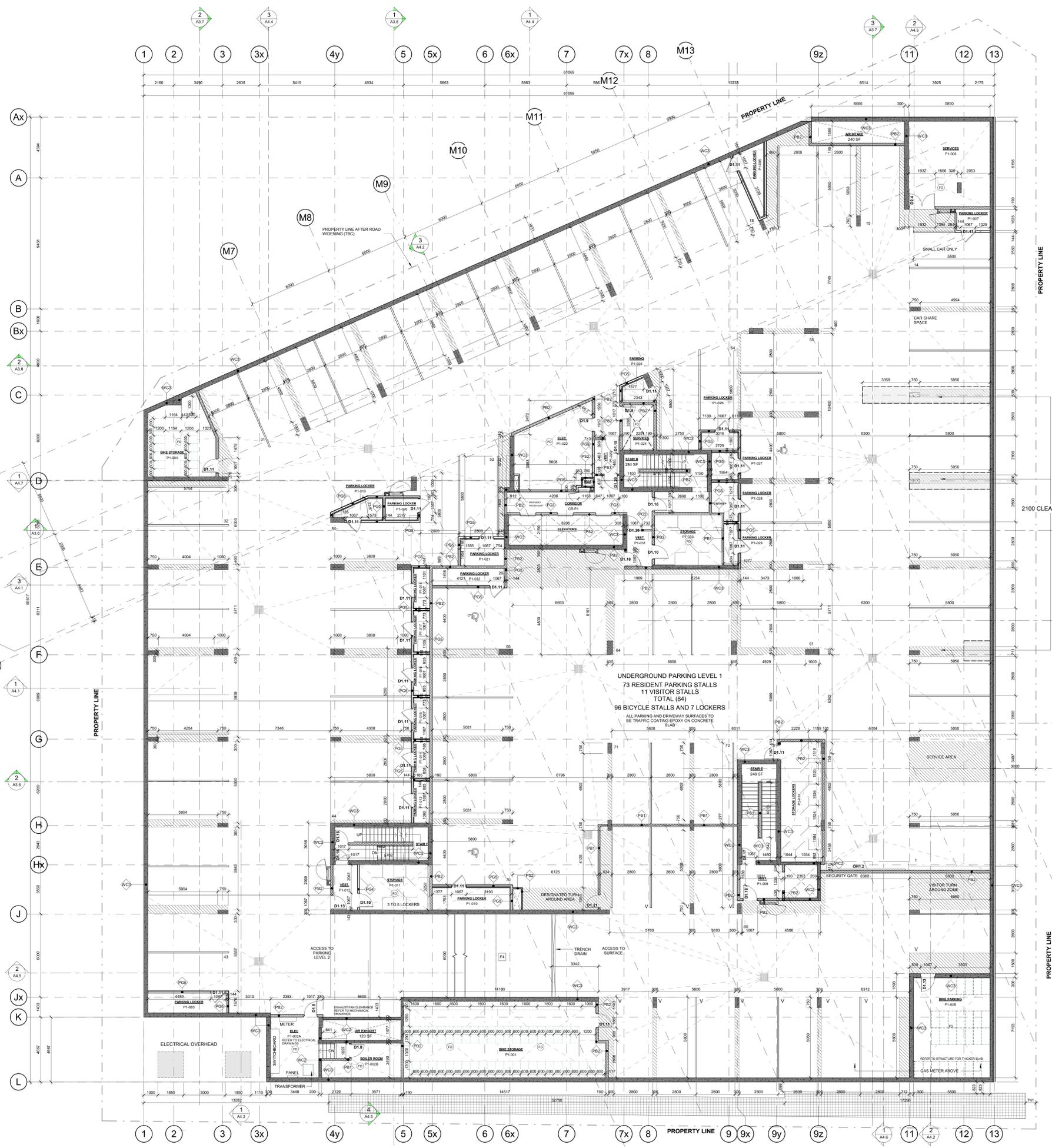
Drawing No: 7524

A2.1

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1 LEVEL P1 FLOOR PLAN
1 - 1/8"

No.	Date	Revision
40	2024-05-28	ISSUED FOR MINOR VARIANCE
38	2024-05-15	RE-ISSUED FOR TENDER
37	2024-05-03	ISSUED FOR SITE PLAN APPROVAL
36	2024-04-17	ISSUED FOR MINOR VARIANCE
35	2024-03-20	ISSUED FOR TENDER
29	2023-11-13	ISSUED FOR COORDINATION
28	2023-11-06	STRUCTURAL COORDINATION
26	2023-08-25	ISSUED FOR SPA
24	2022-09-30	ISSUED FOR SPA
23	2021-11-26	ISSUED FOR CP/ALZA
22	2021-10-30	ISSUED FOR COORDINATION
21	2021-06-11	RE-ISSUED FOR SPA
19	2021-05-04	ISSUED FOR COORDINATION
18	2021-04-26	ISSUED FOR COORDINATION
17	2021-04-21	ISSUED FOR REVIEW
14	2020-11-17	ISSUED FOR REZONING
13	2020-09-09	ISSUED FOR CLIENT REVIEW
11	2020-02-27	ISSUED FOR CLIENT REVIEW
10	2020-02-11	ISSUED FOR REZONING
2	2019-03-18	ISSUED FOR PRE-CONSULTATION

Client:

Project Name / Address:
**IN8
1107 MAIN ST. W**

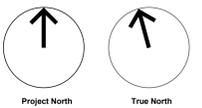
City of Hamilton Site Plan File Number: DA-23-023

Project No: 19002
Drawing Date: 12/18/19
Checked by: M.S. JAA
Office Location: KITCHENER
Plot Date / Time: 5/28/2024 12:39:40 PM

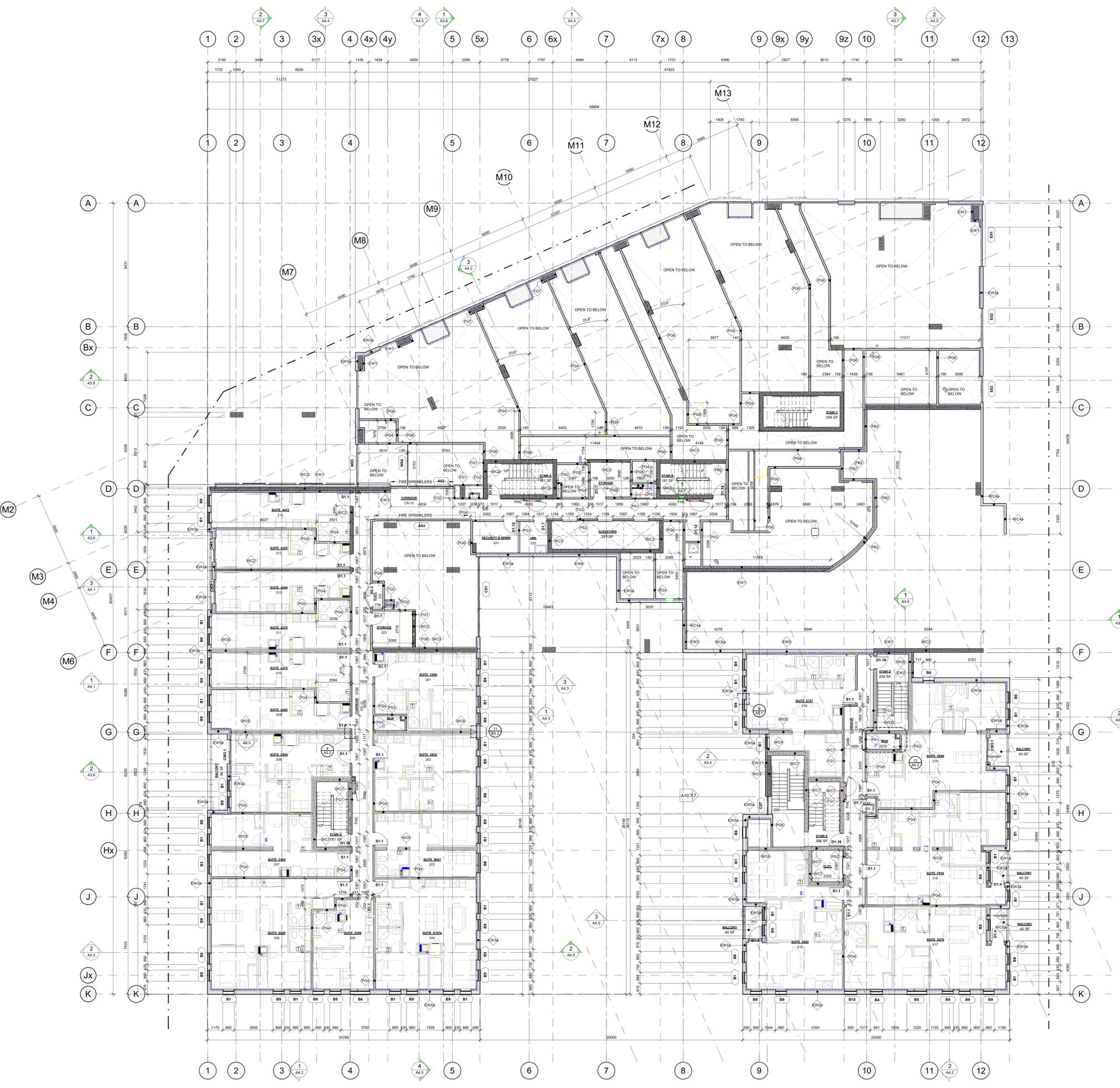
LEVEL P1 FLOOR PLAN

Drawing Scale: 1:100
Status: MINOR VARIANCE
Revision No: r40
Drawing No: A2.2

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1 LEVEL 2 FLOOR PLAN

No.	Date	Revision
40	2024-05-28	ISSUED FOR MINOR VARIANCE
38	2024-05-15	THE ISSUED FOR TENDER
37	2024-05-03	ISSUED FOR SITE PLAN APPROVAL
36	2024-04-17	ISSUED FOR MINOR VARIANCE
35	2024-03-20	ISSUED FOR TENDER
34	2023-11-18	ISSUED FOR SPA
33	2023-12-12	ISSUED FOR MARKETING REVISIONS
29	2023-11-13	ISSUED FOR COORDINATION
28	2023-11-08	STRUCTURAL COORDINATION
27	2023-09-19	CLIENT REVISIONS
26	2023-08-25	ISSUED FOR SPA
24	2022-09-30	ISSUED FOR SPA
23	2021-11-26	ISSUED FOR COORDINATION
22	2021-10-26	ISSUED FOR COORDINATION
21	2021-06-11	THE ISSUED FOR SPA
18	2021-04-26	ISSUED FOR COORDINATION
14	2020-11-17	ISSUED FOR REVISIONS
13	2020-09-09	ISSUED FOR CLIENT REVIEW
11	2020-02-25	ISSUED FOR CLIENT REVIEW
10	2020-01-11	ISSUED FOR REVISIONS

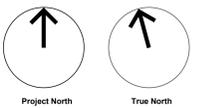
Project Name / Address
IN8
1107 MAIN ST. W
 City of Hamilton Site Plan File Number: DA-23-023
 Project No: 19052
 Drawing Date: 12/18/19
 Drawing By: M.S.
 Checked By: JAA
 Office Location: KITCHENER
 Plot Date / Time: 5/28/2024 12:39:56 PM

LEVEL 2 FLOOR PLAN

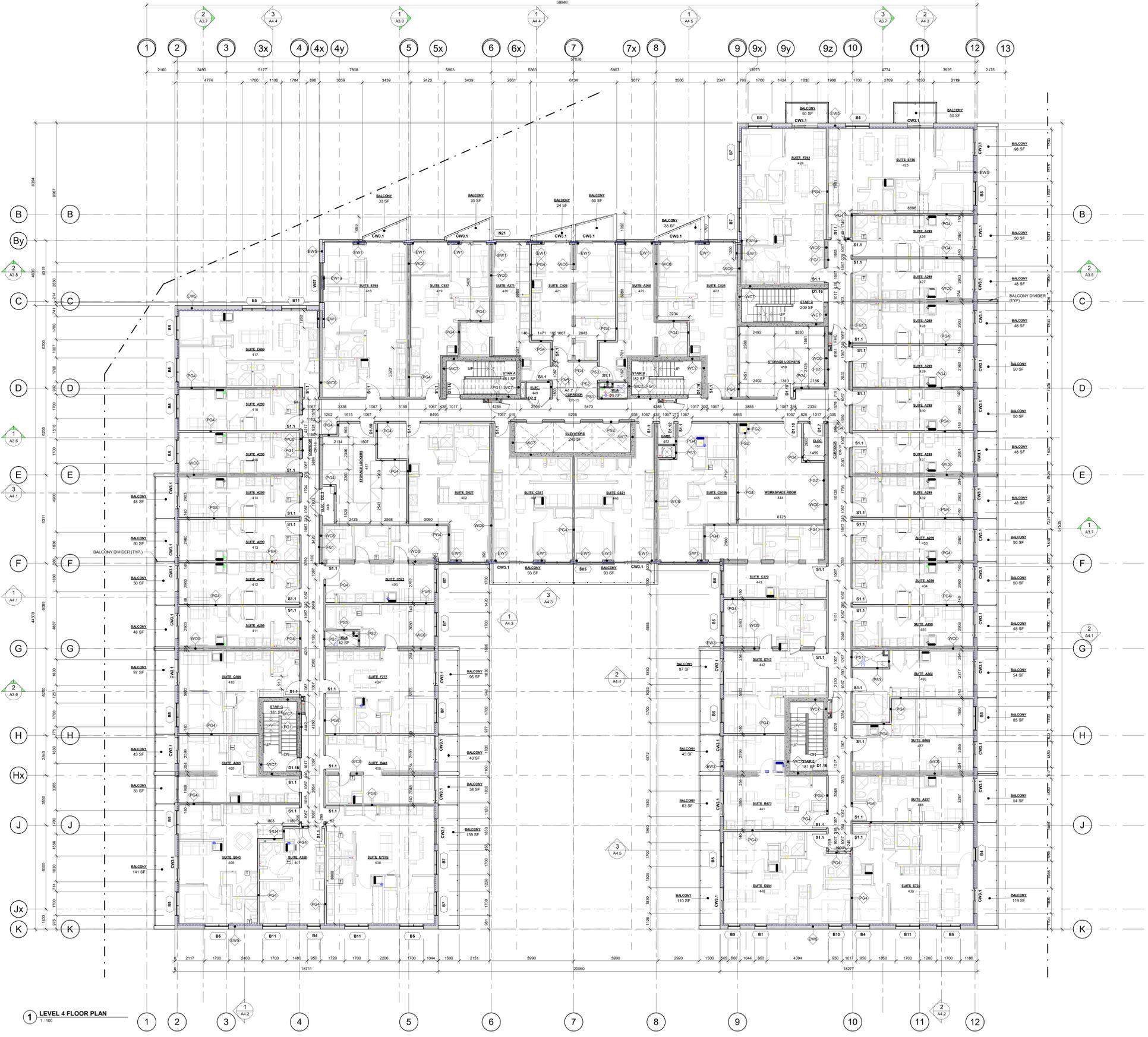
Ontario Association of Architects
 ARCHITECTS
 PROFESSIONAL LICENCE

Scale: 1:100
 Status: MINOR VARIANCE
 Revision No: r40
 Drawing No: A2.4

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1 LEVEL 4 FLOOR PLAN
1:100

No.	Date	Revision
46	2024-05-28	ISSUED FOR MINOR VARIANCE
38	2024-05-15	RE ISSUED FOR TENDER
37	2024-05-03	ISSUED FOR SITE PLAN APPROVAL
36	2024-04-17	ISSUED FOR MINOR VARIANCE
35	2024-03-20	ISSUED FOR TENDER
34	2023-12-18	ISSUED FOR EPA
33	2023-12-12	ISSUED FOR MARKETING REVISIONS
30	2023-11-21	ISSUED FOR COORDINATION
28	2023-08-25	ISSUED FOR EPA

Project Name / Address: **IN8 1107 MAIN ST. W**

City of Hamilton Site Plan File Number: DA-23-023

Project No: 19052

Drawing Date: 07/24/23

Client: MSW

Checked by: JAA

Office Location: KITCHENER

Plot Date / Time: 5/28/2024 12:40:12 PM

LEVEL 4 FLOOR PLAN

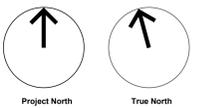
Drawing Scale: 1:100

Status: MINOR VARIANCE

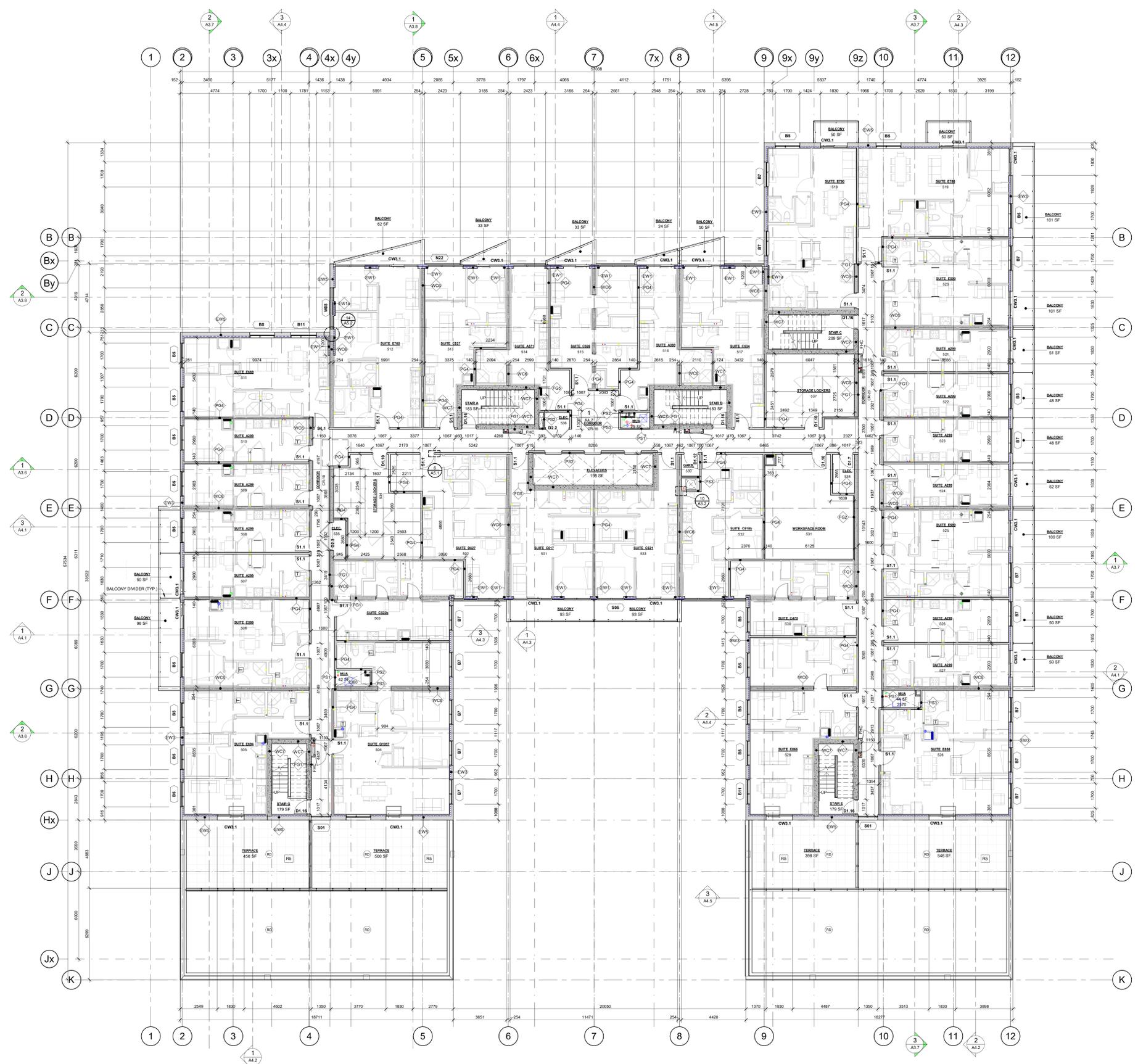
Revision No: **r40**

Drawing No: **A2.6**

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1 LEVEL 5 FLOOR PLAN
1:100

No.	Date	Revision
40	2024-05-28	ISSUED FOR MINOR VARIANCE
38	2024-05-15	PRE-ISSUED FOR TENDER
37	2024-05-03	ISSUED FOR SITE PLAN APPROVAL
36	2024-04-17	ISSUED FOR MINOR VARIANCE
35	2024-03-20	ISSUED FOR TENDER
34	2023-12-18	ISSUED FOR SPA
33	2023-12-12	ISSUED FOR MARKETING REVISIONS
27	2023-09-19	ISSUED FOR COORDINATION
29	2023-11-13	ISSUED FOR COORDINATION
28	2023-08-25	ISSUED FOR SPA
24	2022-09-30	ISSUED FOR SPA
23	2021-11-26	ISSUED FOR SPA/ALTA
18	2021-10-26	ISSUED FOR COORDINATION
21	2021-06-11	RE-ISSUED FOR SPA
13	2020-09-09	ISSUED FOR CLIENT REVIEW
11	2020-02-27	ISSUED FOR CLIENT REVIEW
10	2020-02-11	ISSUED FOR REZONING
2	2019-03-18	ISSUED FOR PRE-CONSULTATION

Project Name / Address:
**IN8
1107 MAIN ST. W**

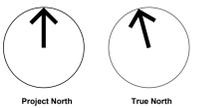
City of Hamilton Site Plan File Number: DA-23-023

Project No: 19052
Drawing Date: 12/18/19
Drawn by: M.S. Checked by: JAA
Office Location: KITCHENER
Plot Date / Time: 5/28/2024 12:40:19 PM

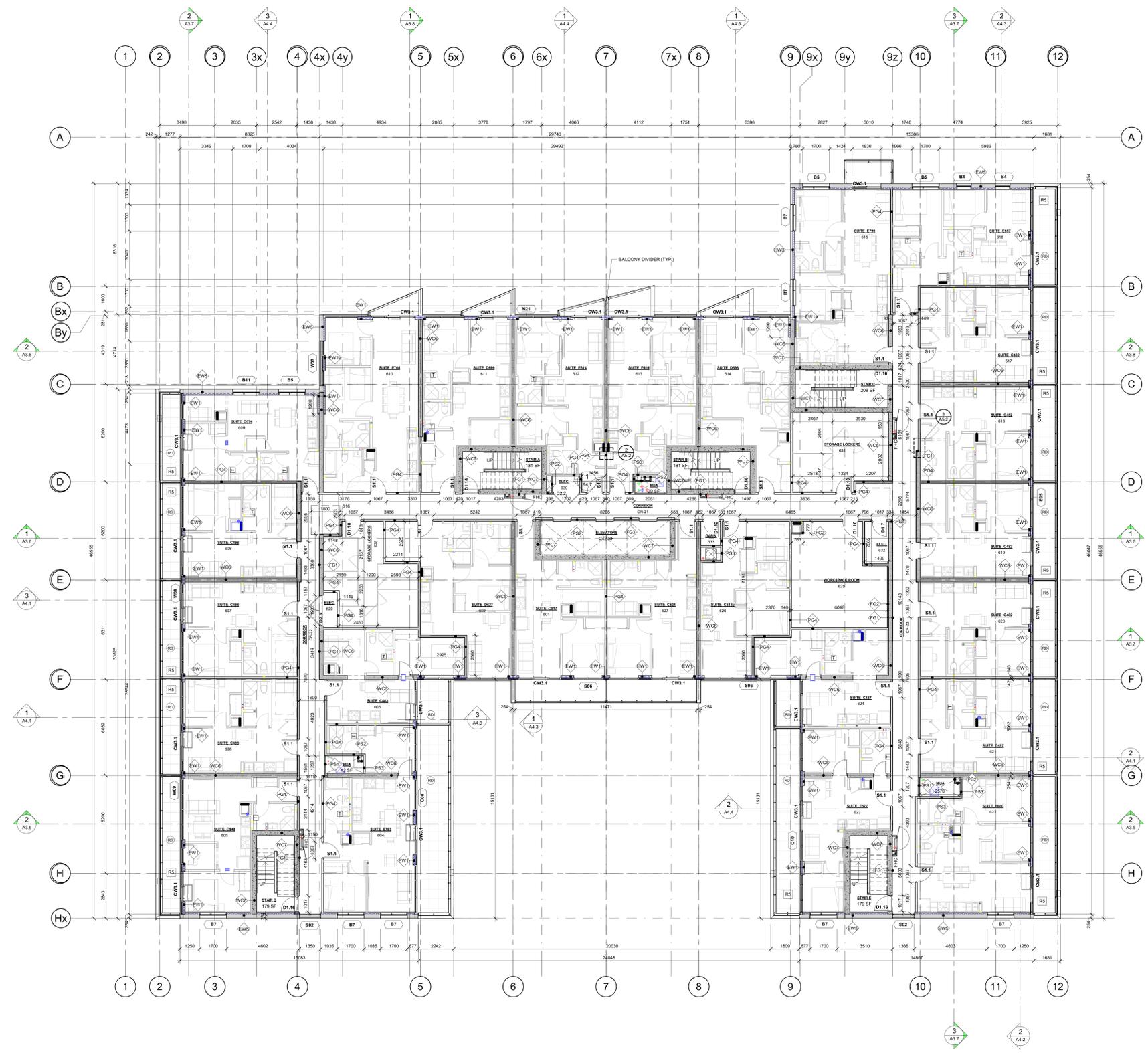
LEVEL 5 FLOOR PLAN

Drawing Scale: 1:100
Status: MINOR VARIANCE
Revision No: **r40**
Drawing No: **A2.7**

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1 LEVEL 6 FLOOR PLAN
1 : 100

No.	Date	Revision
40	2024-09-28	ISSUED FOR MINOR VARIANCE
38	2024-09-15	REVISED FOR TENDER
37	2024-09-03	ISSUED FOR SITE PLAN APPROVAL
36	2024-06-17	ISSUED FOR MINOR VARIANCE
35	2024-03-20	ISSUED FOR TENDER
34	2023-12-18	ISSUED FOR SPA
33	2023-12-12	ISSUED FOR MARKETING REVISIONS
29	2023-11-13	ISSUED FOR COORDINATION
27	2023-09-19	1 ST CLIENT REVISIONS
26	2023-08-25	ISSUED FOR SPA
24	2022-09-30	ISSUED FOR SPA

Client:

Project Name / Address:

IN8
1107 MAIN ST. W
City of Hamilton Site Plan File Number: DA-23-023

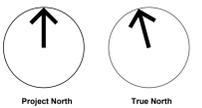
SRM
architects+
urban+designers

Project No: 19052
Drawing Date: 12/13/21
Drawn by: M.S. | Checked by: JAA
Office Location: KITCHENER
Plot Date / Time: 5/28/2024 12:40:26 PM

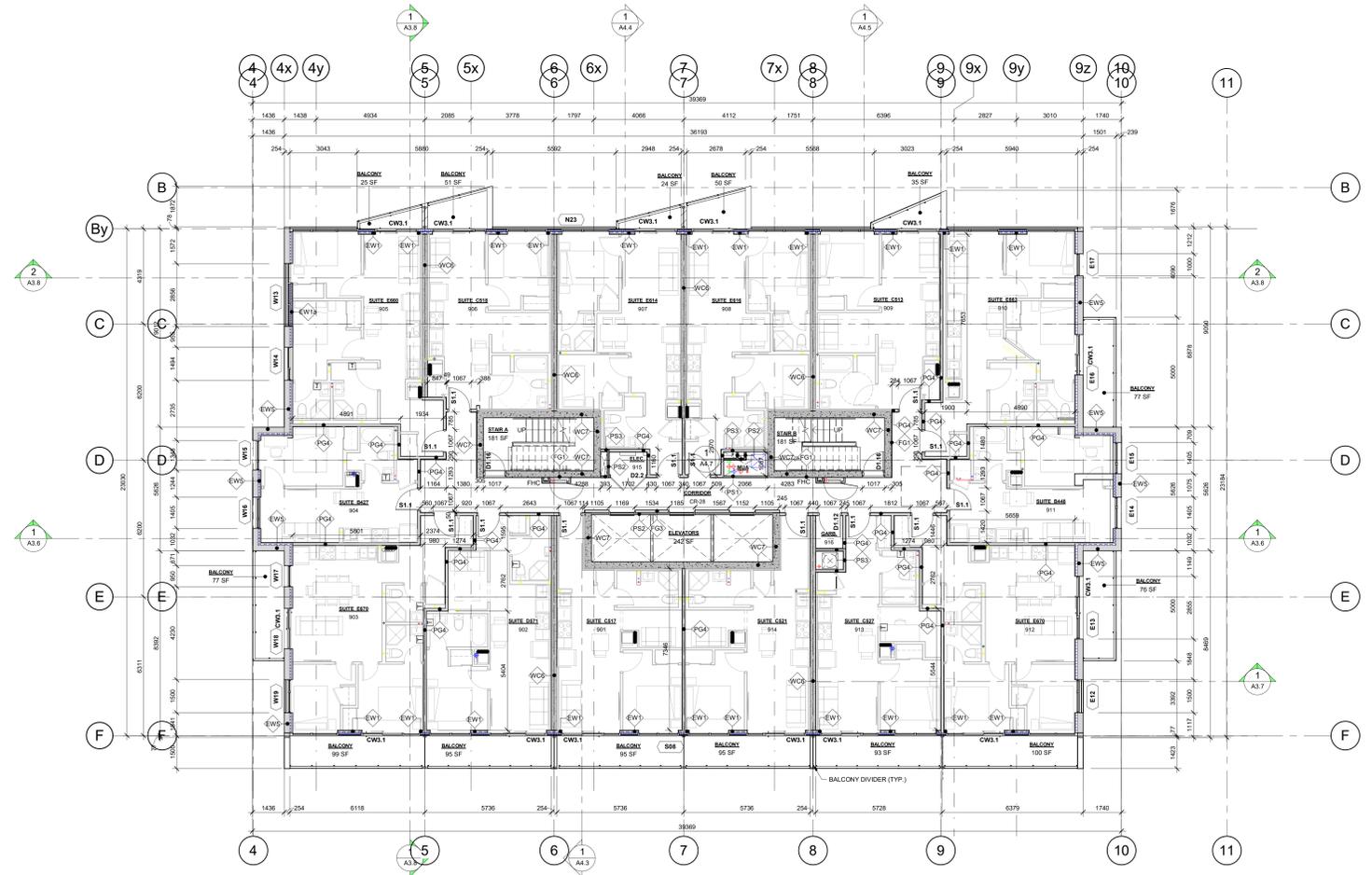
LEVEL 6 FLOOR PLAN

Ontario Association of Architects
Professional License
Drawing No: 1 : 100
Scale: MINOR VARIANCE
Revision No: r40
Drawing No: A2.8

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1 LEVEL 9, 11 FLOOR PLAN
1:100

No.	Date	Revision
40	2024-05-28	ISSUED FOR MINOR VARIANCE
38	2024-05-15	RELEASED FOR TENDER
37	2024-05-03	ISSUED FOR SITE PLAN APPROVAL
36	2024-04-17	ISSUED FOR MINOR VARIANCE
35	2024-03-20	ISSUED FOR TENDER
34	2023-12-18	ISSUED FOR SPA
27	2023-09-19	CLIENT REVISIONS
26	2023-08-25	ISSUED FOR SPA
24	2023-08-30	ISSUED FOR SPA
23	2023-11-28	ISSUED FOR OPA/ZA
22	2023-10-26	ISSUED FOR COORDINATION
21	2023-09-11	RELEASED FOR SPA
18	2023-08-26	ISSUED FOR COORDINATION
14	2023-11-17	ISSUED FOR REZONING
13	2020-09-09	ISSUED FOR CLIENT REVIEW
11	2020-02-27	ISSUED FOR CLIENT REVIEW
10	2020-02-11	ISSUED FOR REZONING
2	2019-03-18	ISSUED FOR PRE-CONSULTATION

Client: _____

Project Name / Address: _____

IN8
1107 MAIN ST. W

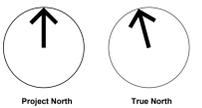
City of Hamilton Site Plan File Number: DA-23-023

Project No: 19052
Drawing Date: 12/18/19
Drawn by: M.S. | Checked by: JAA
Office Location: KITCHENER
Plot Date / Time: 5/28/2024 12:40:44 PM

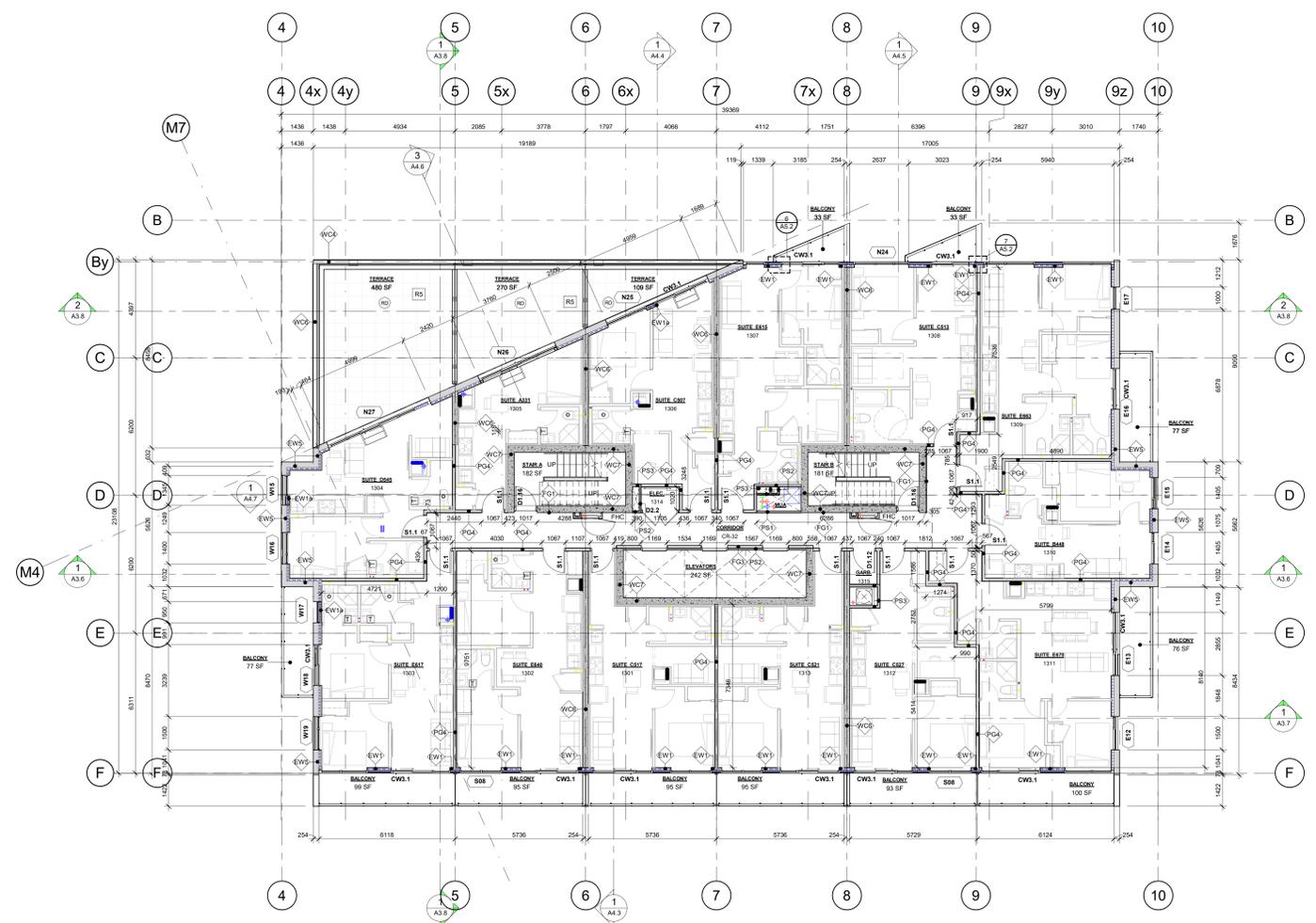
LEVEL 9, 11 FLOOR PLAN

Drawing Scale: 1:100
Status: MINOR VARIANCE
Revision No: r40
Drawing No: 7524
A2.11

The undersigned hereby certifies that the drawings were prepared by the architect or under the direct supervision of the architect, and that the architect is a duly licensed professional architect in the Province of Ontario. The undersigned hereby certifies that the drawings were prepared by the architect or under the direct supervision of the architect, and that the architect is a duly licensed professional architect in the Province of Ontario. The undersigned hereby certifies that the drawings were prepared by the architect or under the direct supervision of the architect, and that the architect is a duly licensed professional architect in the Province of Ontario.



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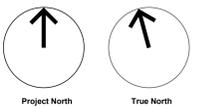
1 LEVEL 13 FLOOR PLAN
1:100

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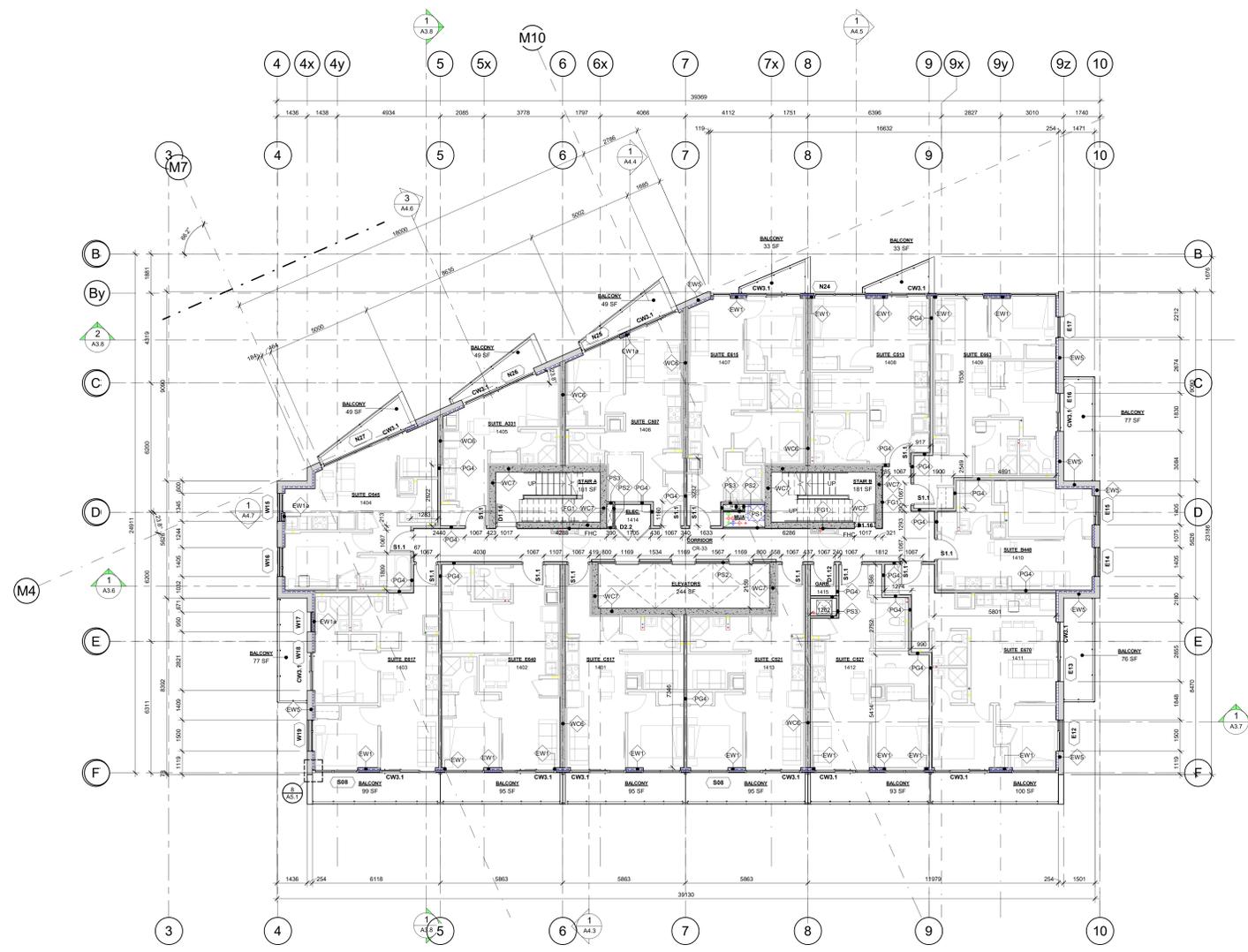
No.	Date	Revision
40	2024-05-28	ISSUED FOR MINOR VARIANCE
38	2024-05-15	RE-ISSUED FOR TENDER
37	2024-05-03	ISSUED FOR SITE PLAN APPROVAL
36	2024-04-17	ISSUED FOR MINOR VARIANCE
35	2024-03-20	ISSUED FOR TENDER
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33	2023-09-19	CLIENT REVISIONS
28	2023-08-25	ISSUED FOR SPA
24	2022-09-27	ISSUED FOR SPA
23	2021-11-20	ISSUED FOR OPA/ISA
22	2021-10-26	ISSUED FOR COORDINATION
21	2021-06-11	RE-ISSUED FOR SPA
18	2021-04-26	ISSUED FOR COORDINATION
14	2020-11-17	ISSUED FOR REDLINING

Project Name / Address:
IN8
1107 MAIN ST. W
 City of Hamilton Site Plan File Number: DA-23-023
 Project No: 19052
 Drawing Date: 09/18/20
 Drawn by: M.S. | Checked by: JAA
 Office Location: KITCHENER
 Plot Date / Time: 5/28/2024 12:40:53 PM

LEVEL 13 FLOOR PLAN
 Drawing Scale: 1:100
 Status: MINOR VARIANCE
 Revision No: **r40**
 Drawing No: **A2.13**



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1 LEVEL 14-15 FLOOR PLAN
1 : 100

No.	Date	Revision
40	2024-05-28	ISSUED FOR MINOR VARIANCE
38	2024-05-15	RE-ISSUED FOR TENDER
37	2024-05-03	ISSUED FOR SITE PLAN APPROVAL
36	2024-04-17	ISSUED FOR MINOR VARIANCE
35	2024-03-20	ISSUED FOR TENDER
34	2023-12-18	ISSUED FOR SPA
33	2023-09-19	CLIENT REVISIONS
28	2023-08-25	ISSUED FOR SPA
24	2022-09-27	ISSUED FOR SPA
23	2021-11-20	ISSUED FOR OPA/ISA
22	2021-10-26	ISSUED FOR COORDINATION
21	2021-06-11	RE-ISSUED FOR SPA
18	2021-04-26	ISSUED FOR COORDINATION
14	2020-11-17	ISSUED FOR REDLINING

Project Name / Address:
**IN8
1107 MAIN ST. W**

City of Hamilton Site Plan File Number: DA-23-023

Project No: 19052
Drawing Date: 09/21/23
Checked by: JAA
Office Location: KITCHENER
Plot Date / Time: 5/28/2024 12:40:58 PM

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LEVELS 14-15 FLOOR PLAN

Drawing Scale: 1 : 100
Status: MINOR VARIANCE
Revision No: **r40**
Drawing No: 7524
A2.14

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MATERIAL LEGEND		
	1	PRECAST CONCRETE - SAND/ YELLOW MASONRY VENEER
	2	PRECAST CONCRETE - WHITE
	3	PRECAST CONCRETE - CHARCOAL MASONRY VENEER
	4	RECLAIMED HERITAGE MASONRY
	5	SPANDREL PANEL
	6	GLAZING - TINT 2
	7	ALUMINUM MULLION
	8	METAL PANEL - DARK ANODIZED
	9	METAL PANEL - WHITE ANODIZED
	10	PRE-CAST CONCRETE CORNICE
	11	METAL CANOPY - CHARCOAL
	12	LOUVER BLANKING PANEL
	13	GLASS PANEL - CLEAR

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1 NORTH ELEVATION
1 - 100

No.	Date	Revision
40	2024-05-28	ISSUED FOR MINOR VARIANCE
38	2024-05-15	RE-ISSUED FOR TENDER
37	2024-05-03	ISSUED FOR SITE PLAN APPROVAL
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21	2021-06-11	RE-ISSUED FOR SPA
18	2021-04-28	ISSUED FOR COORDINATION
15	2020-12-01	ISSUED FOR OPTIMIZATION
14	2020-11-17	ISSUED FOR REZONING
10	2020-03-11	ISSUED FOR REZONING

Client: _____
 Project Name / Address: _____

IN8
1107 MAIN ST. W
 City of Hamilton Site Plan File Number: DA-23-023

SRM
 architects+
 urban+designers
 Project No: 19052
 Drawing Date: 12/15/19
 Drawn by: M.S. Checked by: JAA
 Office Location: KITCHENER
 Plot Date / Time: 5/28/2024 12:41:26 PM

NORTH ELEVATION

Ontario Association of Architects
 ARCHITECTS
 License No: 7554
 Drawing No: r40
 Scale: As indicated
 Status: MINOR VARIANCE
 License: r40
 Drawing: A3.1

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	3 PRECAST CONCRETE - CHARCOAL MASONRY VENEER
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	5 SPANDREL PANEL
	6 GLAZING - TINT 2
	7 ALUMINUM MULLION
	8 METAL PANEL - DARK ANODIZED
	9 METAL PANEL - WHITE ANODIZED
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1 EAST ELEVATION
1:100

No.	Date	Revision
40	2024-05-28	ISSUED FOR MINOR VARIANCE
38	2024-05-15	RE-ISSUED FOR TENDER
37	2024-05-03	ISSUED FOR SITE PLAN APPROVAL
36	2024-04-17	ISSUED FOR MINOR VARIANCE
35	2024-03-20	ISSUED FOR TENDER
34	2023-11-18	ISSUED FOR SPA
24	2022-09-30	ISSUED FOR SPA
22	2021-10-26	ISSUED FOR COORDINATION
21	2021-06-11	RE-ISSUED FOR ZBA
18	2021-04-28	ISSUED FOR COORDINATION
15	2020-12-01	ISSUED FOR OPINION
14	2020-11-17	ISSUED FOR REZONING
10	2020-03-11	ISSUED FOR REZONING

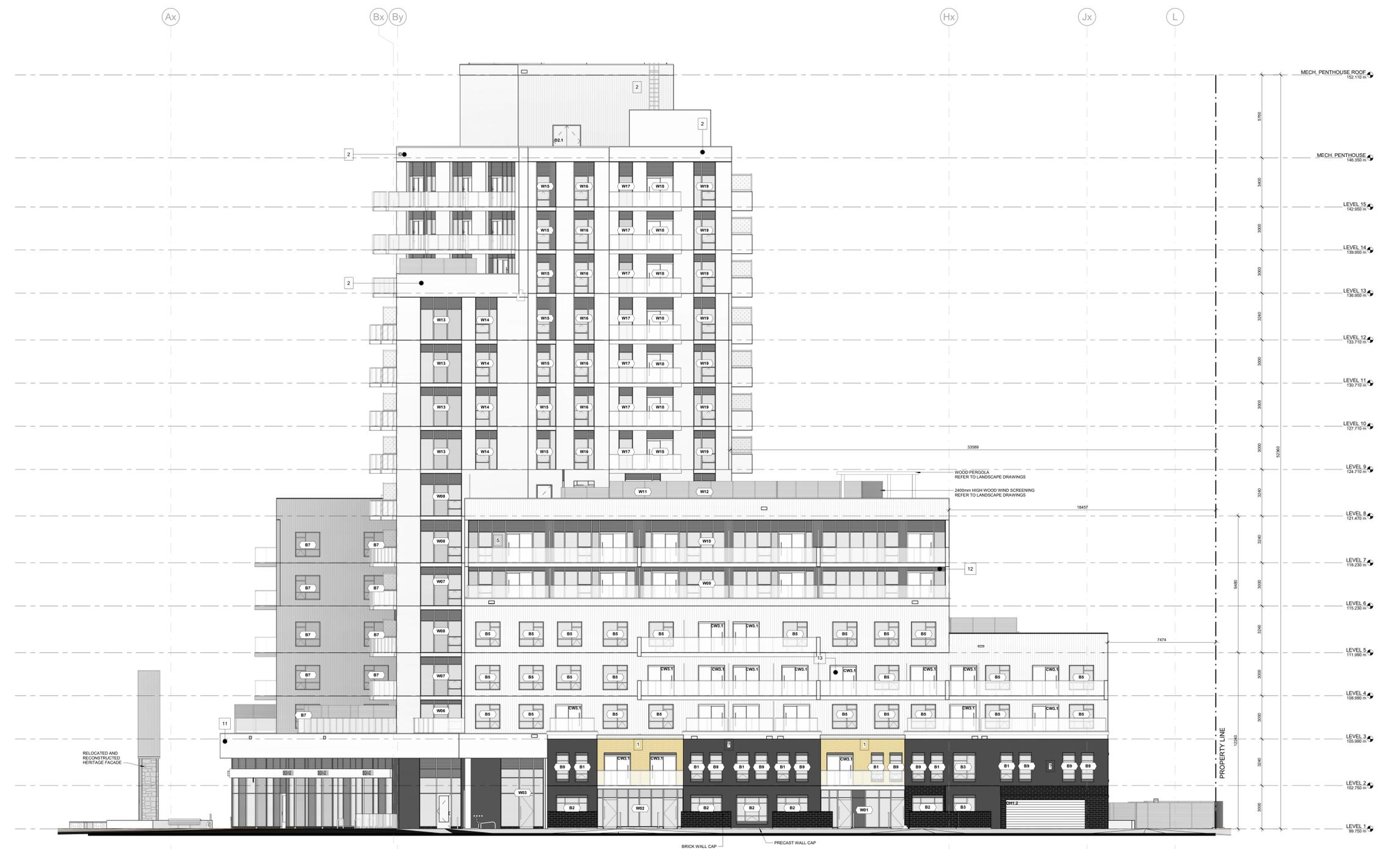
Project Name / Address: **IN8 1107 MAIN ST. W**
 City of Hamilton Site Plan File Number: DA-23-023
 Project No: 19052
 Drawing Date: 12/18/19
 Drawn by: M.S. Checked by: JAA
 Office Location: KITCHENER
 Plot Date / Time: 5/28/2024 12:45:18 PM
 Drawing Name: **EAST ELEVATION**
 Drawing Scale: As indicated
 Status: MINOR VARIANCE
 Revision No: **r40**
 Drawing No: **A3.3**

The architect has prepared these drawings in accordance with the Ontario Building Code and the Ontario Building Act. The architect is not responsible for any errors or omissions in these drawings. The architect is not responsible for any damages, if any, suffered by any third party as a result of decisions made or actions based on these drawings.

MATERIAL LEGEND	
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	2 PRECAST CONCRETE - WHITE
	3 PRECAST CONCRETE - CHARCOAL MASONRY VENEER
	4 RECLAIMED HERITAGE MASONRY
	5 SPANDREL PANEL
	6 GLAZING - TINT 2
	7 ALUMINUM MULLION
	8 METAL PANEL - DARK ANODIZED
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2 VARIATION IN THE TEXTURAL TREATMENT OF THE WHITE PRECAST



1 WEST ELEVATION
1:100

No.	Date	Revision
40	2024-05-28	ISSUED FOR MINOR VARIANCE
38	2024-05-15	RE-ISSUED FOR TENDER
37	2024-05-03	ISSUED FOR SITE PLAN APPROVAL
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14	2020-11-17	ISSUED FOR REZONING
10	2020-05-11	ISSUED FOR REZONING

Project Name / Address: **IN8 1107 MAIN ST. W**

City of Hamilton Site Plan File Number: DA-23-023

Project No: 19052

Client: **SRM architects+urban+designers**

Drawing Date: 07/22/2022

Checked by: M.S. JAA

Office Location: KITCHENER

Plot Date / Time: 5/28/2024 12:47:24 PM

Drawing Name: **WEST ELEVATION**

Ontario Association of Architects License 7554

Drawing Scale: As indicated

Status: MINOR VARIANCE

Revision No: **r40**

Drawing No: **A3.4**

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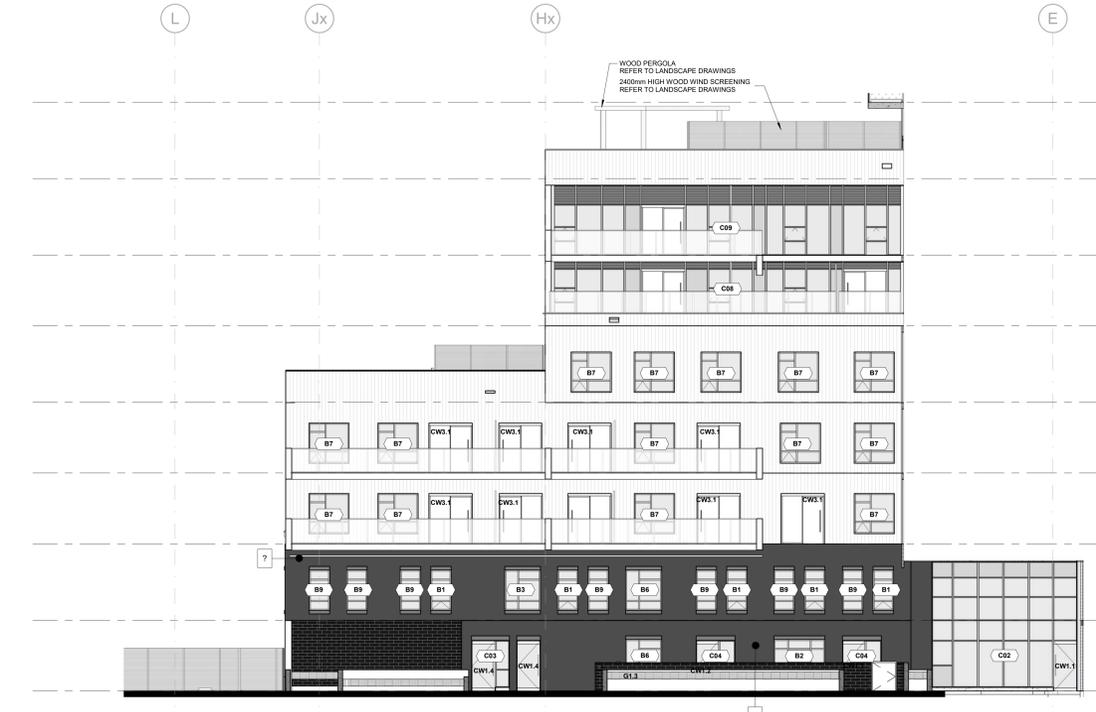
MATERIAL LEGEND	
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	6 GLAZING : TINT 2
	7 ALUMINUM MULLION
	8 METAL PANEL: DARK ANODIZED
	9 METAL PANEL: WHITE ANODIZED
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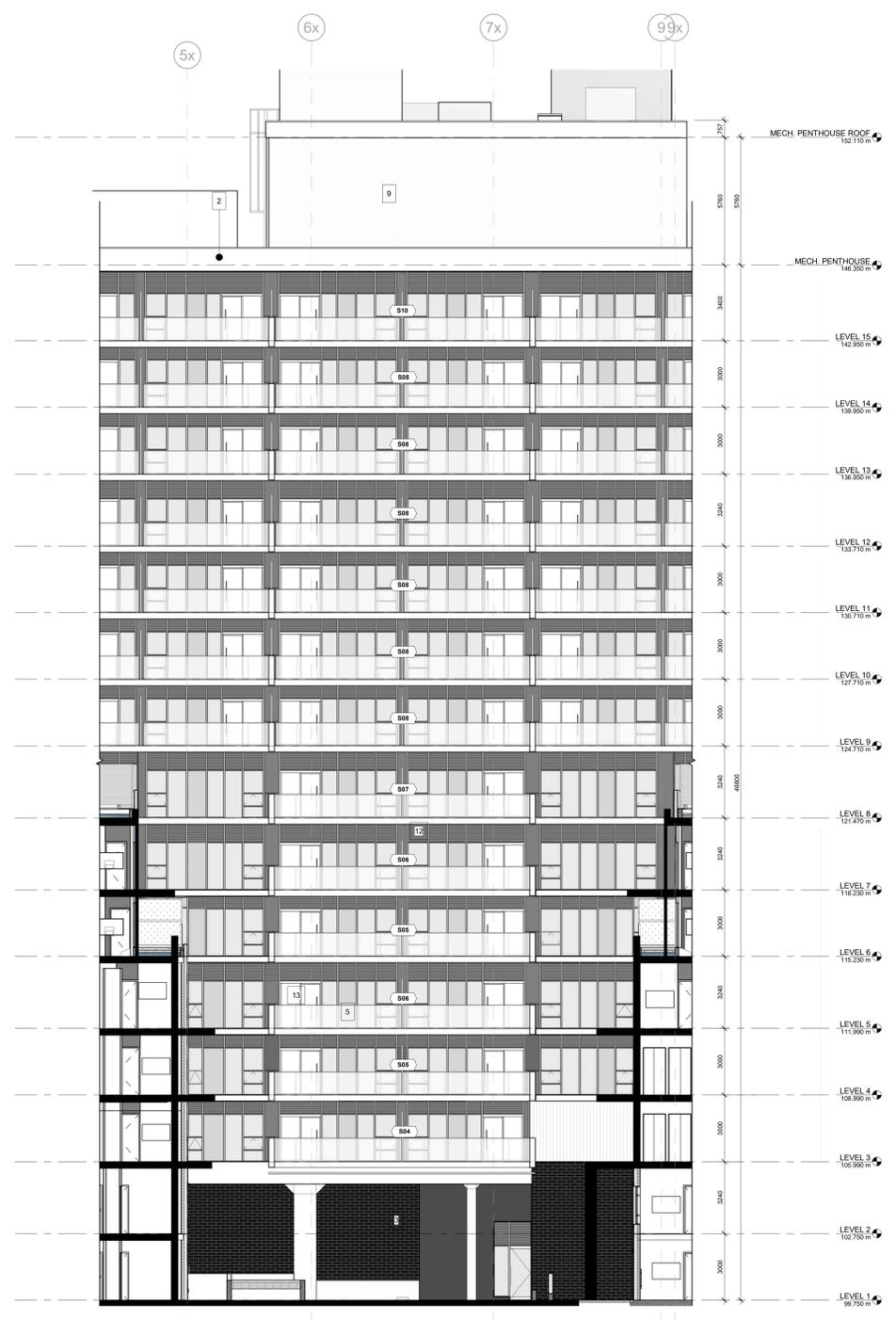
2 VARIATION IN THE TEXTURAL TREATMENT OF THE WHITE PRECAST



1 COURTYARD ELEVATION EAST WING
1:100



2 COURTYARD ELEVATION WEST WING
1:100



3 COURTYARD ELEVATION NORTH
1:100

No.	Date	Revision
40	2024-05-28	ISSUED FOR MINOR VARIANCE
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18	2021-04-28	ISSUED FOR COORDINATION

Client: _____

Project Name / Address: _____

IN8
1107 MAIN ST. W

City of Hamilton Site Plan File Number: DA-23-023

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architects+
urban+designers

Drawing Date: 01/21/21
Checked by: JAA
Office Location: KITCHENER
Plot Date / Time: 5/28/2024 12:48:21 PM

Drawing Name: **COURTYARD ELEVATIONS**

Ontario Association of Architects
As indicated
MINOR VARIANCE
r40
A3.5

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May 30, 2024

Committee of Adjustment Coordinator
Planning & Development
City of Hamilton
71 Main Street West, 5th Floor
Hamilton, ON, L8P 4Y5

**Re: Minor Variance Application – 1107 Main Street West, Hamilton
UP Consulting Project No. 006**

On behalf of my client, 1107 Main Street Inc. c/o Darryl Firsten, please accept this letter and the following materials as the complete minor variance application for the proposed development of the property municipally know as 1107 Main Street West, Hamilton:

- Architectural drawings prepared by SRM Architects
- Minor Variance application form
- Application fee in the amount of \$3,900 made payable to the City of Hamilton (to be delivered)

As you are aware, my client is advancing planning applications contemplating the redevelopment of the subject property for the purposes of a 15 storey residential apartment building. To date, the applicant has previously applied for an Official Plan Amendment and corresponding site specific Zoning By-Law Amendment which was approved by City of Hamilton Council in 2022. The proposed development is also subject to Site Plan Application DA-23-003, which received conditional approval on October 11, 2023.

Through the detailed design process which has occurred following the approval of the Official Plan Amendment and Zoning By-Law Amendment applications, a number of minor by-law deficiencies have been identified, which are the basis for this minor variance application.

This letter provides an overview of the proposed development, the site and its context, the land use planning framework which applies to the property, and the variances now requested. This letter also provides an overview of the 'Four Tests for a Variance' set out in the Planning Act, and how the variances are minor in nature, maintain the general purpose and intent of the Official Plan and Zoning By-Law, and are desirable for the use and development of the property.

Site Description and Context

The subject property is located at 1107 Main Street West, Hamilton in the Ainslie Wood East neighbourhood of the City. The subject property is a through lot which has a lot area of approximately 5,170 sq. m with 66 m of frontage along Main Street West, 60.3 m of frontage along Cline Avenue South and approximately 86.5 m of frontage on Dow Avenue. The property currently contains an institutional building / church known as Grace Evangelical Lutheran Church, which is listed on the City of Hamilton's Inventory of Buildings of Architectural and / or Historical Interest. The location of the subject property and a photo showing the existing church building are shown on Figures 1 and 2 on the following page.

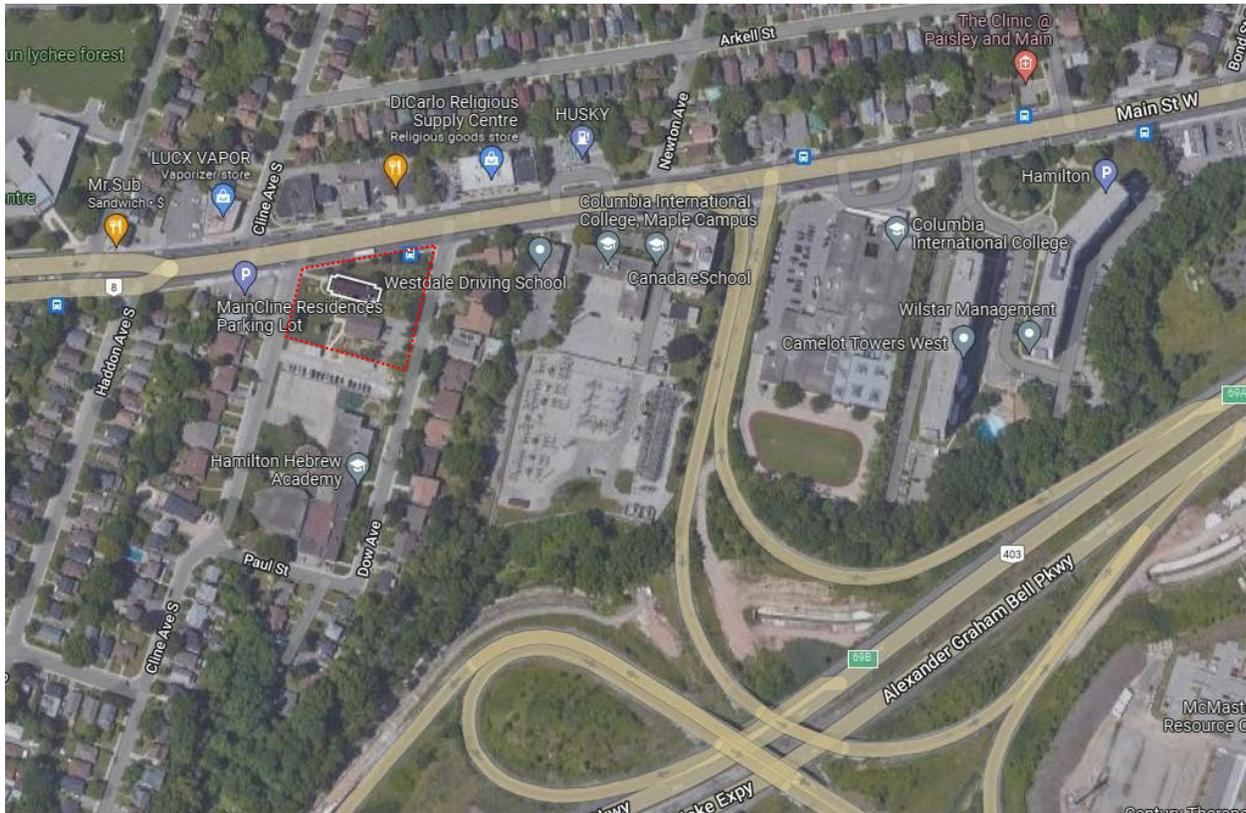


Figure 1: Site Location (Source: Google Earth)



Figure 2: Existing Church Building (Source: Google Earth)



The subject property is located in close proximity to a range and mix of commercial, residential and institutional uses as summarized in the following table.

North	South	East	West
Commercial and retail uses	Adas Israel Synagogue and Hebrew Academy	Columbia International College / Boarding School	Low Rise Residential Neighbourhood
Student Accommodations	Low density residential neighbourhood	Commercial / retail uses	McMaster University and Children's Hospital
Dalewood Recreation Centre	Stroud Park	Residential Apartment Buildings	Institutional / Religious Uses
McMaster Children's Hospital	Provincial Highway 403	Westdale Secondary School	Commercial / retail uses
McMaster Main Campus	Brantford Hamilton Rail Trail	Commercial Plazas	Major Commercial Node

Summary of Proposal

As shown on the Site Plan prepared by SRM Architects, the applicant is proposing the redevelopment of the subject property to contain a 15 storey mixed use building containing 308 residential units and approximately 549 sq. m of commercial floor space. A total of 171 parking stalls are proposed of which 11 are proposed to be dedicated as visitor spaces and the remaining for the residential use of the development.

The proposed development contemplates a U-shaped building with the tower being located centrally on the site, towards the Main Street West frontage. Two six-storey wings are proposed along the Cline Avenue and Dow Avenue frontages, framing the site. Building step-backs are proposed along the southern, eastern and western facades to provide transition in massing to adjacent residential areas.

Figure 3 shows the proposed site plan for the development. Figures 4-7 show the proposed building elevations.

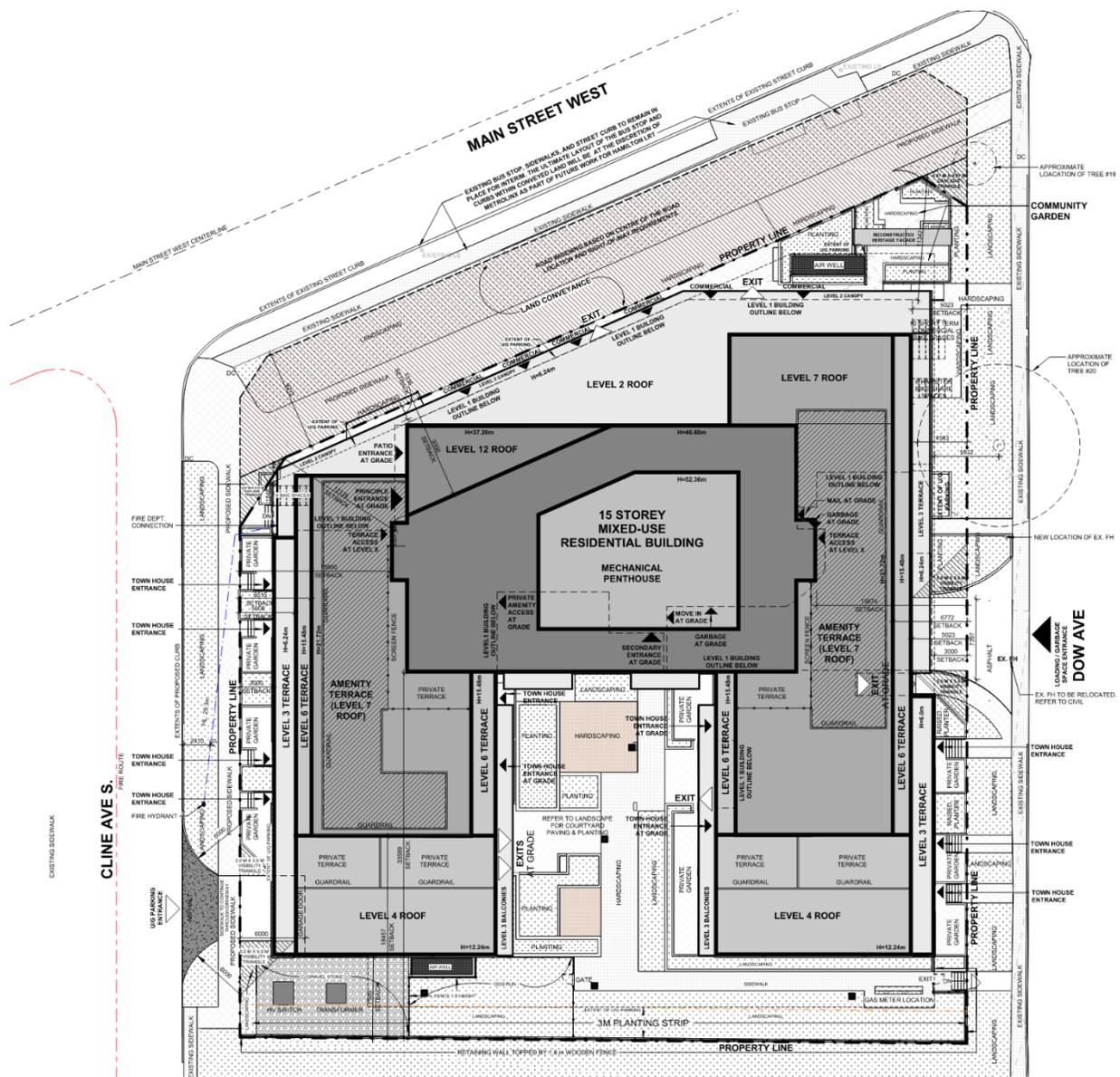


Figure 3: Proposed Site Plan (Source: SRM Architects)



Figure 4: North (Main Street Facing) Building Elevations (Source: SRM Architects)



Figure 5: South Elevation (Source: SRM Architects)



Figure 6: Eastern Building Elevation (Source: SRM Architects)



Figure 7: Western Building Elevation (Source: SRM Architects)



Previous Land Use Planning Applications

As noted, the subject property has been the subject of a previous Official Plan Amendment and Zoning By-Law Amendment applications, which were approved in 2022. The purpose of these applications was to allow for the contemplated 15 storey mixed use building. Specifically, the purpose of these applications is summarized below:

Official Plan Amendment:

To establish a new Area Specific Policy within Site Specific Policy - Area E within the Mixed Use – Medium Density designation in the Ainslie Wood Westdale Secondary Plan, to permit a 15 storey, mixed use development, on the subject property.

Zoning By-Law Amendment:

To modification to the Transit Oriented Corridor Mixed Use Medium Density (TOC1) Zone to Transit Oriented Corridor Mixed Use Medium Density (TOC1, 772, H75) Zone, to permit a 15 storey mixed use development on the subject property.

As part of the implementing by-law for the Zoning By-Law Amendment, a number of site-specific requirements and regulations were applied to the subject property, including the following:

Regulation	Requirement
Minimum Finished Floor Elevation of any dwelling unit	*0.5 metres above grade
Maximum Building Setback from a Street Line	<p>Main Street Maximum 13.3 metres</p> <p>Notwithstanding the above, a minimum setback of 9.3 metres from Main Street West for any portion of the building exceeding 36.0 metres in height.</p> <p>Cline Avenue and Dow Avenue *Maximum 4.5 metres from Cline Avenue South and Dow Avenue;</p> <p>Notwithstanding the above, the following minimum setbacks shall apply from Cline Avenue South and Dow Avenue</p> <p>A. 5.0 metres for any portion of the building exceeding a height of 7.8 metres</p> <p>B. 6.5 metres for any portion of the building exceeding a height of 16.5 metres; and,</p> <p>C. *14.3 metres for any portion of the building exceeding a height of 22.0 metres, except for an enclosed stairwell.</p>



Minimum Rear Yard	<p>14.5 metres for any portion of the building exceeding a height of 13.5 metres;</p> <p>17.5 metres for any portion of the building exceeding a height of 18.0 metres; and,</p> <p>33.5 metres for any portion of the building exceeding a height of 22.0 metres, except for an enclosed stairwell.</p>
Maximum Building Height	47.0 metres
Built Form for New Development	<p>1. A maximum of two driveways shall be permitted;</p> <p>2. A driveway on Dow Avenue shall have a maximum width of 7.5 metres and a driveway on Cline Avenue South shall have a maximum width of 6.0 metres; and,</p> <p>3. A driveway on Main Street West shall not be permitted.</p>
Visual Barrier	A visual barrier shall be required along any lot line abutting an Institutional Zone and may include a gate. ix)
Planting Strip	A planting strip with a minimum width of 3.0 metres shall be provided along any lot line abutting an Institutional Zone, except for a walkway to a gate.

I note that the proposed development adheres to all of these by-law requirements save for:

- Minimum Finished Floor Elevation of any dwelling unit be 0.5 metres above grade
- Maximum setback from Dow Avenue (4.5 metres required, whereas 5.023 metres proposed)
- Building setback from Main Street above 36 metres in building height (proposing a building setback of 9.3 m for any portion of the building exceeding 37.5 m in height, whereas the Zoning By-Law requires a minimum setback of 9.3 m for any portion of the building above 36 m in height).
- Minimum Setback of the building exceeding a height of 22.0 metres from Cline and Dow Avenue (13.8 m proposed whereas 14.3 m required)

In addition to the application of site specific regulations and requirements, a holding provision was applied to the property dealing with matters related to wind; heritage conservation, salvage and reuse; and conservation of heritage resources. I note that an application to remove the holding provision was submitted to the City of Hamilton on October 13, 2023 which is under final review.



Required Variance Applications

As noted above, as a result of detailed design undertaken as part of the site plan application for the project, there have been several slight changes in the site and building design now proposed. As a result of these revisions, variances are requested to:

- Permit ground level units at grade, whereas the By-Law requires a Minimum Finished Floor Elevation of any dwelling unit be 0.5 metres above grade.
- Permit a yard setback from Dow Avenue of 5.023 m whereas the by-law establishes a maximum setback of 4.5 metres; and,
- Permit a building setback of 9.3 m from the Main Street frontage for the exceeding 37.5 m in height, whereas the Zoning By-Law requires a minimum setback of 9.3 m for any portion of the building above 36 m in height.
- Permit a Minimum Setback of the building exceeding a height of 22.0 metres from Cline and Dow Avenue of 13.8 m, whereas 14.3 m required.

Land use planning rationale with respect to these required variances is discussed in the following subsections of this letter.

Discussion: 'Four Tests' of a Minor Variance

The Planning Act establishes 'four tests' which are to be assessed when considering the appropriateness of a minor variance. These are:

- Does the variance maintain the general intent and purpose of the Official Plan?
- Does the variance maintain the general intent and purpose of the Zoning By-Law?
- Is the variance appropriate and desirable for the use and development of the lands?
- Is the application minor in nature?

The following subsections of this letter discuss these tests and provide land use planning rationale with respect to the same.

Variance No. 1:

Proposing a building line setback of 5.023 m whereas Zoning By-Law requires a maximum setback of 4.5 m.

1. Does the variance maintain the general intent and purpose of the Official Plan?

Yes. It is my professional opinion that the proposed variance maintains the general intent and purpose of the Official Plan. The Official Plan does not speak to setback related matters, and the site specific policies of the Official Plan do not include reference to any required minimum or maximum setback from Dow Avenue.

I note that this setback has been contemplated since the submission of the original Official Plan Amendment and Zoning By-Law Amendment applications, and included on the drawing package submitted and endorsed by City Council. Despite this, the site specific regulation did not reflect the setback proposed from Dow Avenue and was an inadvertent omission from the implementing by-law. In this regard, it is my opinion that the requested variance is administrative



in nature and reflective of the decision of Council on the original Official Plan Amendment and Zoning By-Law Amendment applications.

2. Does the variance maintain the general intent and purpose of the Zoning By-Law?

Yes. It is my professional opinion that the proposed variance maintains the general intent and purpose of the Zoning By-Law.

As shown on the proposed site plan, the development contemplates a maximum building setback of 5.023 m whereas the site-specific zoning requires the building to be set back no more than 4.5 m. As noted, this setback has been contemplated since the submission of the original Official Plan Amendment and Zoning By-Law Amendment applications, and included on the drawing package submitted and endorsed by City Council. Despite this, the site specific regulation did not reflect the setback proposed from Dow Avenue and was an inadvertent omission from the implementing by-law. In this regard, it is my opinion that the requested variance is administrative in nature and reflective of the decision of Council on the original Official Plan Amendment and Zoning By-Law Amendment applications.

3. Is the variance appropriate and desirable for the use and development of the property?

Yes. It is my professional opinion that the proposed use and variance are desirable for the area. As noted, this setback has always been contemplated and the design, inclusive of this setback, was supported by City staff. As the development concept has remained generally the same, and that the setback has not increased since the approval of the Official Plan and Zoning By-Law Amendment, it is my opinion that the setback remains appropriate.

4. Is the application minor in nature?

Yes. Given the foregoing, it is my professional opinion that the variance is minor in nature as the required relief is necessary to address an oversight at the Zoning By-Law implementation phase. Further, the requested relief of slightly more than 0.5 m is inconsequential and does not constitute a significant departure from the by-law requirement.

Variance No. 2:

Proposing a building setback of 9.3 m for any portion of the building exceeding 37.5 m in height, whereas the Zoning By-Law requires a minimum setback of 9.3 m for any portion of the building above 36 m in height.

1. Does the variance maintain the general intent and purpose of the Official Plan?

Yes. It is my professional opinion that the proposed variance maintains the general intent and purpose of the Official Plan. The Official Plan does not contain policy direction specifically identifying setback requirements relative to height, but does include policy direction encouraging compatible built forms and transition in massing to low rise areas and to the public realm. In my opinion, the requested relief is minor in nature and maintain the overall purpose and intent of the Official Plan in this regard by still providing meaningful transitions and stepback from the front of the development to minimize massing implications at the street level along Main Street

2. Does the variance maintain the general intent and purpose of the Zoning By-Law?



Yes. It is my professional opinion that the proposed variance maintains the general intent and purpose of the Zoning By-Law. The site-specific zoning contains regulations and requirements related to building stepbacks / setbacks from the Main Street frontage as the overall height of the building increases. The purpose of these regulations is to ensure that Main Street maintains a pedestrian level scale of development and to ensure that the tower of the development is appropriately setback to minimize shadowing/shade and massing implications onto and over the public realm.

Through the detailed design process, the floor to floor heights of the development have been slightly adjusted to accommodate the pre-cast construction methodology which is proposed to be used to construct the building. As a result, the height of the first twelve floors has been increased by approximately 1.5 m past the 36 m height mark to accommodate the precast structure requirements. Accordingly, the setback distance of 9.3 m is now provided at the 37.5 m height mark of the building.

In my opinion, this requested variance maintains the general intent and purpose of the Zoning By-Law as it relates to the proposed development, as the required setback distance is still provided, albeit slightly higher than required by the By-Law. This 1.5 m height increase is negligible within the context of the overall development and does not constitute a significant departure from the by-law requirements.

3. Is the variance appropriate and desirable for the use and development of the property?

Yes. It is my professional opinion that the proposed use and variance are desirable for the area. As noted, the overall development concept has remained largely the same since approval by City council and that the modest increase in floor-to-floor heights is desirable for the use of the property since will allow for overhead ceiling heights that occupants will find more comfortable. The slight increase in floor to floor heights has led to this required variance, but does not represent a significant change from the intended land use as endorsed by City council.

4. Is the application minor in nature?

Yes. It is my professional opinion that the variance is minor in nature. The requested relief responds to the determined construction methodology. The required setback distance (9.3 m) is still provided, however this distance is not achieved for an additional 1.5 m in building height. In my opinion, this is minor in nature and in keeping with the originally proposed development concept.

Variance No. 3:

Dwelling unit proposed at grade whereas the By-Law requires a minimum finished floor elevation of 0.5 m above grade for any dwelling unit.

1. Does the variance maintain the general intent and purpose of the Official Plan?

Yes. It is my professional opinion that the proposed variance maintains the general intent and purpose of the Official Plan. The Official Plan is silent on the matter, but does include design direction supporting the integration of compatible land uses and urban design direction to ensure that ground level units are designed to be compatible and sympathetic to the surrounding neighbourhood. In my opinion, the design includes ground level units with direct



pedestrian accesses thereto, with several units have steps/stoops on their street facing facades. The Official Plan also includes direction to support the provision of barrier free / accessible units, which the variance will help to facilitate. In my opinion, the proposed variance will maintain the general intent and purpose of the Official Plan.

2. Does the variance maintain the general intent and purpose of the Zoning By-Law?

Yes. It is my professional opinion that the proposed variance maintains the general intent and purpose of the Zoning By-Law. Based on the City Staff Report for the Official Plan Amendment and Zoning By-Law Amendment, it is my understanding that the purpose of requiring a minimum finished floor elevation for ground level units “is to avoid rear lotting and ensure buildings are designed with front porch conditions facing the street” and “to provide a development scale that is reflective of the neighbourhood which is dominated by low rise dwellings accessed at grade.”

As shown on the proposed architectural drawings, the ground level units proposed along both Dow Avenue and Cline Avenue South have been designed to front onto the municipal street and will direct accesses to the public realm and many units including front porches and stoops. In my opinion, the proposed design which orients units towards the public realm is in keeping with the purpose and intent of the Zoning By-Law and satisfies this Planning Act test.

3. Is the variance appropriate and desirable for the use and development of the property?

Yes. It is my professional opinion that the proposed use and variance are desirable for the area. As discussed, the purpose of this regulation is to ensure that units are streetfacing and that the development is provided at a scale reflective of the neighbourhood. In my opinion, the requested variance is appropriate and desirable for the use of the property as the design of the building includes street facing ground level units, in keeping with the intent of the by-law.

4. Is the application minor in nature?

Yes. It is my professional opinion that the variance is minor in nature. As noted, the development will contain street-facing units which is the intent of the regulation. The variance requested is not being sought to deviate from this direction, but rather is being requested to ensure barrier free accessibility and to support the logical development of the property.

Variance No. 4

Proposing a building setback of 13.8 m for portions of the building exceeding 22 m in height, whereas 14.3 m is required. This variance is required to account for ‘bump-outs’ from the tower between level 8 and 15 which is necessary to align parts of the structural pre-cast system to transfer loads from the upper tower down through the podium structure.

1. Does the variance maintain the general intent and purpose of the Official Plan?

Yes. It is my professional opinion that the proposed variance maintains the general intent and purpose of the Official Plan. The Official Plan is silent on the matter, but does include design direction to ensure appropriate setbacks between towers and adjacent lands. In our opinion, the slightly reduced setback where the building is greater than 22 m in height is negligible, and the



13.8 m setback contemplated will provide ample separation between the tower and adjacent lands.

2. Does the variance maintain the general intent and purpose of the Zoning By-Law?

Yes. It is my professional opinion that the proposed variance maintains the general intent and purpose of the Zoning By-Law. As noted above, this slight variance has been requested to account for two structural bump outs between levels 8-15 which are required to account for the proposed structural precast system to transfer loads from the taller portions of the tower to its base. These bump outs are limited in length, with the remainder of the tower facades abiding by the otherwise required 14.3 m setback.

3. Is the variance appropriate and desirable for the use and development of the property?

Yes. It is my professional opinion that the variance is desirable for the use and development of the property, as it will support the proposed structural system. The development has been considered and supported by council and this revision is necessary to implement the broader development concept for the lands.

4. Is the application minor in nature?

Yes. It is my professional opinion that the variance is minor in nature. As noted, the 'bump outs' will be limited in length relative to the rest of the façade, and the overall reduction in setback distance of 0.5 m is negligible.

Conclusion

We trust that the information provided in this letter along with the attached architectural drawings provides you with sufficient information for the review and processing of the minor variance application. Should you require anything further, or should you wish to discuss, please do not hesitate to contact me.

Sincerely,

A handwritten signature in black ink, appearing to read 'D. Galbraith', written in a cursive style.

David Galbraith, MCIP RPP
President, UP Consulting



Hamilton

Committee of Adjustment
 City Hall, 5th Floor,
 71 Main St. W.,
 Hamilton, ON L8P4Y5

Phone: (905) 546-2424 ext. 4221
 Email: cofa@hamilton.ca

APPLICATION FOR A MINOR VARIANCE/PERMISSION
 UNDER SECTION 45 OF THE *PLANNING ACT*

1. APPLICANT INFORMATION

	NAME	[REDACTED]	
Registered Owners(s)	1107 Main Street Inc.		
Applicant(s)	Up Consulting Ltd c/o David Galbraith		
Agent or Solicitor		Phone:	
		E-mail:	

1.2 Primary contact Applicant Owner Agent/Solicitor

1.3 Sign should be sent to Applicant Owner Agent/Solicitor

1.4 Request for digital copy of sign Yes* No

If YES, provide email address where sign is to be sent [REDACTED]

1.5 All correspondence may be sent by email Yes* No

If Yes, a valid email must be included for the registered owner(s) AND the Applicant/Agent (if applicable). Only one email address submitted will result in the voiding of this service. This request does not guarantee all correspondence will sent by email.

1.6 Payment type In person Credit over phone* Cheque

*Must provide number above

2. LOCATION OF SUBJECT LAND

2.1 Complete the applicable sections:

Municipal Address	1107 Main Street West, Hamilton		
Assessment Roll Number			
Former Municipality			
Lot	PIN 17464-0282 (LT)	Concession	
Registered Plan Number	728	Lot(s)	21-33
Reference Plan Number (s)	62R-11411	Part(s)	8

2.2 Are there any easements or restrictive covenants affecting the subject land?

Yes No

If YES, describe the easement or covenant and its effect:

3. PURPOSE OF THE APPLICATION

Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled

All dimensions in the application form are to be provided in metric units (millimetres, metres, hectares, etc.)

3.1 Nature and extent of relief applied for:

- Minimum Finished Floor Elevation of any dwelling unit be 0.5 metres above grade
- Maximum setback from Dow Avenue (4.5 metres required, whereas 5.023 metres proposed)
- Building setback from Main Street above 36 metres in building height (proposing a building setback of 9.3 m for any portion of the building exceeding 37.5 m in height, whereas the Zoning By-Law requires a minimum setback of 9.3 m for any portion of the building above 36 m in height).
- Minimum Setback of the building exceeding a height of 22.0 metres from Cline and Dow Avenue (13.8 m proposed whereas 14.3 m required)

Second Dwelling Unit

Reconstruction of Existing Dwelling

3.2 Why it is not possible to comply with the provisions of the By-law?

Variances resulting from detailed design which has led to slight deviations from site specific zoning for the project

3.3 Is this an application 45(2) of the Planning Act.

Yes

No

If yes, please provide an explanation:

4. DESCRIPTION OF SUBJECT LAND AND SERVICING INFORMATION

4.1 Dimensions of Subject Lands:

Lot Frontage	Lot Depth	Lot Area	Width of Street
66 m & 60.3 & 86.5 m	Varies	5170 sq m	

4.2 Location of all buildings and structures on or proposed for the subject lands:
(Specify distance from side, rear and front lot lines)

Existing:

Type of Structure	Front Yard Setback	Rear Yard Setback	Side Yard Setbacks	Date of Construction
Church	3.996 m	32.256 m	16.273 m / 13.421 m	01/09/1959

Proposed:

Type of Structure	Front Yard Setback	Rear Yard Setback	Side Yard Setbacks	Date of Construction
15 Storey Apartment	12.13 m	7.5 m	5 m	Proposed

4.3. Particulars of all buildings and structures on or proposed for the subject lands (attach additional sheets if necessary):

Existing:

Type of Structure	Ground Floor Area	Gross Floor Area	Number of Storeys	Height

Proposed:

Type of Structure	Ground Floor Area	Gross Floor Area	Number of Storeys	Height
15 Storey Apartment	2,689 sq. m	19,392.2 sq.m	15	46.6

4.4 Type of water supply: (check appropriate box)

- publicly owned and operated piped water system
- privately owned and operated individual well

- lake or other water body
- other means (specify)

4.5 Type of storm drainage: (check appropriate boxes)

- publicly owned and operated storm sewers
- swales

- ditches
- other means (specify)

- 4.6 Type of sewage disposal proposed: (check appropriate box)
- publicly owned and operated sanitary sewage
 system privately owned and operated individual
 septic system other means (specify) _____
- 4.7 Type of access: (check appropriate box)
- provincial highway right of way
 municipal road, seasonally maintained other public road
 municipal road, maintained all year _____
- 4.8 Proposed use(s) of the subject property (single detached dwelling duplex, retail, factory etc.):
 15 storey mixed use building (~550 sq m of at-grade commercial) containing 308 residential units
- 4.9 Existing uses of abutting properties (single detached dwelling duplex, retail, factory etc.):
 Primarily residential

7 HISTORY OF THE SUBJECT LAND

- 7.1 Date of acquisition of subject lands:
 2020
- 7.2 Previous use(s) of the subject property: (single detached dwelling duplex, retail, factory etc)
 Institutional / church
- 7.3 Existing use(s) of the subject property: (single detached dwelling duplex, retail, factory etc)
 Institutional / church
- 7.4 Length of time the existing uses of the subject property have continued:
 Approximately 60 years
- 7.5 What is the existing official plan designation of the subject land?
- Rural Hamilton Official Plan designation (if applicable): NA
- Rural Settlement Area: _____
- Urban Hamilton Official Plan designation (if applicable) Mixed Use – Medium Density
- Please provide an explanation of how the application conforms with the Official Plan.
 Development conforms to site specific OP policy applicable to lands which permits a high rise mixed use development
- 7.6 What is the existing zoning of the subject land? TOC1, 772, H75
- 7.8 Has the owner previously applied for relief in respect of the subject property?
 (Zoning By-law Amendment or Minor Variance)
- Yes No
- If yes, please provide the file number: _____

7.9 Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?

Yes No

If yes, please provide the file number: _____

8 ADDITIONAL INFORMATION

8.1 Number of Dwelling Units Existing: 0

8.2 Number of Dwelling Units Proposed: 308

8.3 Additional Information (please include separate sheet if needed):

See cover letter and attached architectural drawings

11 COMPLETE APPLICATION REQUIREMENTS

11.1 All Applications

- Application Fee
- Site Sketch
- Complete Application form
- Signatures Sheet

11.4 Other Information Deemed Necessary

- x Cover Letter/Planning Justification Report
- Authorization from Council or Director of Planning and Chief Planner to submit application for Minor Variance
- Minimum Distance Separation Formulae (data sheet available upon request)
- Hydrogeological Assessment
- Septic Assessment
- Archeological Assessment
- Noise Study
- Parking Study



Hamilton

COMMITTEE OF ADJUSTMENT

City Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5

Telephone (905) 546-2424, ext. 4221

E-mail: cofa@hamilton.ca

NOTICE OF PUBLIC HEARING
Minor Variance

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
- Applicant/agent on file, or
- Person likely to be interested in this application

APPLICATION NO.:	HM/A-24:02	SUBJECT PROPERTY:	72 Holmes Avenue, Hamilton
ZONE:	"C/S-1335, S-1335a, S-720" (Urban Protected Residential)	ZONING BY-LAW:	Zoning By-law former City of Hamilton 6593, as Amended

APPLICANTS: Owner: Paul & Susan Seguro
Agent: Peter Chee, Miko Urban Consulting Inc.

The following variances are requested:

1. One (1) parking space shall be provided instead of the minimum required Three (3) parking spaces.

PURPOSE & EFFECT: To facilitate the construction of a new single detached dwelling with one (1) secondary dwelling unit.

Notes:

1. Please be advised the property is also subject to the R1 Zone, Amending By-law 24-051 and 24-052 within the Hamilton Zoning by-law 05-200, which is not yet final and binding. As per the submitted application the proposal has been reviewed against the current 6593 Former Hamilton Zoning By-law C District.
2. Please be advised previous consent and minor variance application HM.B.23.25 and HM.A.23.111 is associated with this property.

This Notice must be posted by the owner of any land which contains seven or more residential units so that it is visible to all residents.

This application will be heard by the Committee as shown below:

DATE:	Tuesday, August 6, 2024
TIME:	1:35 p.m.
PLACE:	Via video link or call in (see attached sheet for details)
	City Hall Council Chambers (71 Main St. W., Hamilton)

HM/A-24:02

	To be streamed (viewing only) at www.hamilton.ca/committeeofadjustment
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For more information on this matter, including access to drawings illustrating this request and other information submitted:

- Visit www.hamilton.ca/committeeofadjustment
- Visit Committee of Adjustment staff at 5th floor City Hall, 71 Main St. W., Hamilton

PUBLIC INPUT

Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, written comments must be received no later than noon August 2, 2024

Orally: If you would like to speak to this item at the hearing you may do so via video link, calling in, or attending in person. Please see attached page for complete instructions, registration to participate virtually must be received no later than noon August 2, 2024

FURTHER NOTIFICATION

If you wish to be notified of future Public Hearings, if applicable, regarding HM/A-24:02, you must submit a written request to cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5.

If you wish to be provided a Notice of Decision, you must attend the Public Hearing and file a written request with the Secretary-Treasurer by emailing cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5.

HM/A-24:02



 Subject Lands

DATED: July 18, 2024

Jamila Sheffield,
Secretary-Treasurer
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public, and may include posting electronic versions.



Hamilton

COMMITTEE OF ADJUSTMENTCity Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5

Telephone (905) 546-2424, ext. 4221

E-mail: cofa@hamilton.ca**PARTICIPATION PROCEDURES****Written Submissions**

Members of the public who would like to participate in a Committee of Adjustment meeting are able to provide comments in writing advance of the meeting. Comments can be submitted by emailing cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5. **Comments must be received by noon on the date listed on the Notice of Public Hearing.**

Comments are available the Friday prior to the Hearing and are available on our website: www.hamilton.ca/committeeofadjustment

Oral Submissions

Members of the public are also able to provide oral comments regarding Committee of Adjustment Hearing items by participating Virtually through Webex via computer or phone or by attending the Hearing In-person. Participation Virtually requires pre-registration in advance. Please contact staff for instructions if you wish to make a presentation containing visual materials.

1. Virtual Oral Submissions

Interested members of the public, agents, and owners **must register by noon on the day listed on the Notice of Public Hearing** to participate Virtually.

To register to participate Virtually by Webex either via computer or phone, please contact Committee of Adjustment staff by email cofa@hamilton.ca. The following information is required to register: Committee of Adjustment file number, hearing date, name and mailing address of each person wishing to speak, if participation will be by phone or video, and if applicable the phone number they will be using to call in.

A separate registration for each person wishing to speak is required. Upon registering for a meeting, members of the public will be emailed a link for the Webex meeting one business day before the Hearing. Only those registered will be called upon to speak.

2. In person Oral Submissions

Interested members of the public, agents, and owners who wish to participate in person may attend Council Chambers on the date and time listed on the Notice of Public Hearing. Please note, you will be required to provide your name and address for the record. It is advised that you arrive **no less than 10 minutes** before the time of the Public Hearing as noted on the Notice of Public Hearing.

We hope this is of assistance and if you need clarification or have any questions, please email cofa@hamilton.ca.

Please note: Webex (video) participation requires either a compatible computer or smartphone and an application (app/program) must be downloaded by the interested party in order to participate. It is the interested party's responsibility to ensure that their device is compatible and operating correctly prior to the Hearing.

METRIC
DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

GENERAL GRADING NOTES

- ALONG ADJOINING PROPERTIES GRADE TO MEET EXISTING OR PROPOSED ELEVATIONS WITH SLOPES (MIN. 3H TO 1V) AND/OR RETAINING WALLS AS SPECIFIED.
- ALL RETAINING WALLS, WALKWAYS, CURBS, ETC., SHALL BE PLACED A MIN. OF 0.45M OFF THE PROPERTY LINE. ALL WALLS 1.0M OR HIGHER SHALL BE DESIGNED BY A P.ENG.
- SHOULD A RETAINING WALL BE REQUIRED, THE TOP OF WALL ELEVATIONS SHALL BE SET 150MM ABOVE THE PROPOSED SIDE YARD SWALES.
- RETAINING WALLS 0.6M IN HEIGHT OR GREATER REQUIRE CONSTRUCTION OF A FENCE OR GUARD RAIL AT THE TOP OF THE REAR OF THE WALL. GUARDS FOR RETAINING WALLS SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH THE REQUIREMENTS OF EXTERIOR GUARDS AS CONTAINED IN THE ONTARIO BUILDING CODE.
- SLOPES OF SWALES FOR BOTH BACK TO FRONT AND SPLIT DRAINAGE SHALL BE NO LESS THAN 2.0% GRADE AND NO GREATER THAN 3% GRADE (3:1 SLOPES).
- WHEN MATCHING TO EXISTING PROPERTIES WHERE A 2.0% GRADE CANNOT BE ACHIEVED, A 1.5% GRADE IS PERMITTED PROVIDED A 150MM SUB-DRAIN IS INSTALLED BELOW THE BOTTOM OF THE SWALE AND DRAINED TO A SUITABLE OUTLET, (WITH A MINIMUM 0.3M COVER OVER THE SUB-DRAIN), OR OTHER MITIGATION MEASURES.
- MINIMUM GRADE FOR A WRAP-AROUND SWALE IN THE BACKYARD SHALL BE 1.0%.
- UNLESS OTHERWISE NOTED, THE GROUND BETWEEN PROPOSED ELEVATIONS ON SIDE LOTS SHALL BE GRADED AS A STRAIGHT LINE.
- TOP OF FOUNDATION WALLS FOR BUILDINGS SHALL BE 150MM (MIN) ABOVE FINISHED GRADE.
- DRIVEWAY SLOPES SHALL NOT BE LESS THAN 2% AND NOT MORE THAN 7.0%. REVERSED SLOPED DRIVEWAYS IN NEW DEVELOPMENTS ARE NOT PERMITTED.
- ALL FILL PLACED ON LOTS SHALL BE COMPACTED TO A MINIMUM 95% SPD (UNLESS OTHERWISE RECOMMENDED BY THE GEOTECHNICAL ENGINEER). ALL MATERIAL SHALL BE PLACED IN LAYERS NOT EXCEEDING 300MM LIFTS.
- FOR DELINEATION OF TREE PROTECTION ZONES, BUFFERS, REMOVALS AND PROTECTION SCHEMATICS, ETC., REFER TO TREE PROTECTION PLAN.
- IF GRADING IS REQUIRED ON LANDS ADJACENT TO THE DEVELOPMENT WHICH ARE NOT OWNED BY THE DEVELOPER, THEN THE DEVELOPER MUST OBTAIN WRITTEN PERMISSION FROM THE ADJACENT PROPERTY OWNER TO ALLOW THE DEVELOPER TO GRADE ON THE ADJACENT LANDS, OTHERWISE RETAINING WALLS MUST BE USED.
- THE WRITTEN PERMISSION REQUIRED FROM THE ADJACENT LANDOWNER SHALL BE OBTAINED PRIOR TO ENTERING THE LANDS. SHOULD PERMISSION NOT BE OBTAINED OR IS WITHDRAWN PRIOR TO COMMENCING THE WORK, THEN THE DEVELOPER SHALL LIMIT HIS ACTIVITIES TO THE LIMITS OF THE DEVELOPMENT SITE.
- DRIVEWAY AND DRIVEWAY APPROACHES SHALL BE LOCATED SUCH THAT HYDRO VAULTS AND OTHER STREET FURNITURE ARE A MIN. OF 1.2M FROM THE PROJECTIONS OF THE OUTSIDE GARAGE WALLS.

GENERAL UNDERGROUND SERVICES NOTES

- ALL SERVICES TO BE INSTALLED AS PER CITY OF HAMILTON CONSTRUCTION AND MATERIAL SPECIFICATIONS MANUAL (LATEST EDITION) AND MINISTRY OF THE ENVIRONMENT GUIDELINES (LATEST EDITION).
- MINIMUM HORIZONTAL SEPARATION BETWEEN WATER SERVICES MAINS AND SEWER DRAINS AND MUNICIPAL SEWER MAINS SHALL BE 2.0M MEASURED FROM THE CLOSEST PIPE EDGE TO CLOSEST PIPE EDGE. VERTICAL SEPARATION WHERE WATER SERVICE MAINS PASS OVER A SEWER DRAIN OR MUNICIPAL SEWER MAIN MUST BE A MINIMUM OF 0.25M UNLESS GREATER SEPARATION IS REQUIRED TO PROVIDE FOR PROPER BEDDING AND STRUCTURAL SUPPORT. WATER SERVICES MAINS PASSING UNDER SEWER DRAINS OR MUNICIPAL SEWER MAINS MUST HAVE A SEPARATION OF 0.5M BETWEEN THE INVERT OF THE SEWER MAIN DRAIN AND THE CROWN OF THE WATER SERVICE MAIN. ALL WATER SERVICES TO BE INSTALLED WITH A MINIMUM OF 1.0M COVER. SEWER DRAINS TO BE INSTALLED WITH A MINIMUM COVER OF 2.0M AT THE PROPERTY LINE BELOW THE FINAL ROAD GRADE OR AT SUCH HIGH POINTS AS MAY BE NECESSARY TO MAINTAIN THE LEVEL OF THE MAIN SEWER. ON PRIVATE PROPERTY THE MINIMUM COVER FOR SEWER DRAINS IS TO BE NO LESS THAN 1.2M.
- APPROVAL OF THIS DRAWING IS FOR MATERIAL ACCEPTABILITY AND COMPLIANCE WITH MUNICIPAL AND PROVINCIAL SPECIFICATIONS AND STANDARDS ONLY. APPROVAL AND INSPECTION BY THE CITY OF THE WORKS DOES NOT CERTIFY THE LINE AND GRADE OF THE WORKS AND IT IS THE OWNER'S RESPONSIBILITY TO HAVE THEIR ENGINEER CERTIFY THIS ACCORDINGLY.
- ALL BACKFLOW PREVENTION DEVICES MUST BE SELECTED, INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE CITY OF HAMILTON'S BACKFLOW PREVENTION BY-LAW #10-100.

PRIVATE DRAINS

- PRIVATE DRAINS TO BE 150MM DIA. PVC PIPE, C/S B182.1 M-1983, SDR 26 AS PER FORM 500. STORM PIPE SHALL BE WHITE AND SANITARY SHALL BE ANY COLOUR OTHER THAN WHITE. WOOD MARKING AT END OF SANITARY PRIVATE DRAIN SHALL BE PAINTED RED.
- COVER AND BEDDING MATERIAL FOR PRIVATE DRAINS SHALL BE GRANULAR 'A' INSTALLED AS PER OPSD 802.010 OR 802.013.
- MINIMUM FALL FOR PRIVATE DRAINS TO BE 2.0%.
- TOP OF SANITARY PRIVATE DRAINS AT STREET LINE TO BE 2.2M (MIN) BELOW CENTERLINE ROAD ELEVATION AT THAT POINT OR AS DETAILED.
- TOP OF STORM PRIVATE DRAINS AT STREET LINE TO BE 1.2M (MIN) BELOW CENTERLINE ROAD ELEVATION AT THAT POINT OR AS DETAILED.

BUILDING RAINWATER LEADERS

- BUILDING RAINWATER LEADERS SHALL NOT BE CONNECTED TO THE STORM PRIVATE DRAIN BUT SHALL DISCHARGE ONTO THE GROUND SURFACE VIA SPLASH PADS, A MINIMUM OF 0.60M FROM A BUILDING FACE.
- SUMP PUMPS WITH CHECK VALVES SHALL BE INSTALLED IN EACH DWELLING TO PUMP THE BUILDING WEeping TILES TO THE STORM PRIVATE DRAIN. THE SUMP OUTLET PIPE SHALL EXTEND A MINIMUM OF 150MM ABOVE THE PROPOSED GRADE AT THE DWELLING (BASEMENT CEILING) PRIOR TO DISCHARGING TO THE STORM PRIVATE DRAIN.

WATER SERVICE

- W DENOTES WATER SERVICE CONNECTION (20MM DIA. TYPE 'K' SOFT COPPER) AS PER WM-207.01.
- GRANULAR BEDDING AS PER WM-200.01 AND WM-200.02 TO BE GRANULAR 'D' AS PER FORM 600.

SANITARY AND STORM SEWERS

- CONSTRUCTION OF SANITARY & STORM SEWERS & PRIVATE DRAINS SHALL BE IN ACCORDANCE WITH CITY STANDARDS & SPECIFICATIONS (LATEST EDITION) AND MINISTRY OF ENVIRONMENT (MOE) GUIDELINES (LATEST EDITION).
- COVER AND BEDDING MATERIAL FOR PVC PIPE SHALL BE GRANULAR 'A' MATERIAL AS PER OPSD 802.010 OR 802.013.

SUMP PUMPS

- SUMP PUMPS WITH CHECK VALVES ARE TO BE INSTALLED IN EACH DWELLING TO PUMP THE WEeping TILES TO THE STORM PRIVATE DRAIN. THE SUMP OUTLET SHALL EXTEND A MINIMUM OF 150MM ABOVE THE PROPOSED GRADE AT THE DWELLING (BASEMENT CEILING) PRIOR TO DISCHARGING TO THE STORM PRIVATE DRAIN.

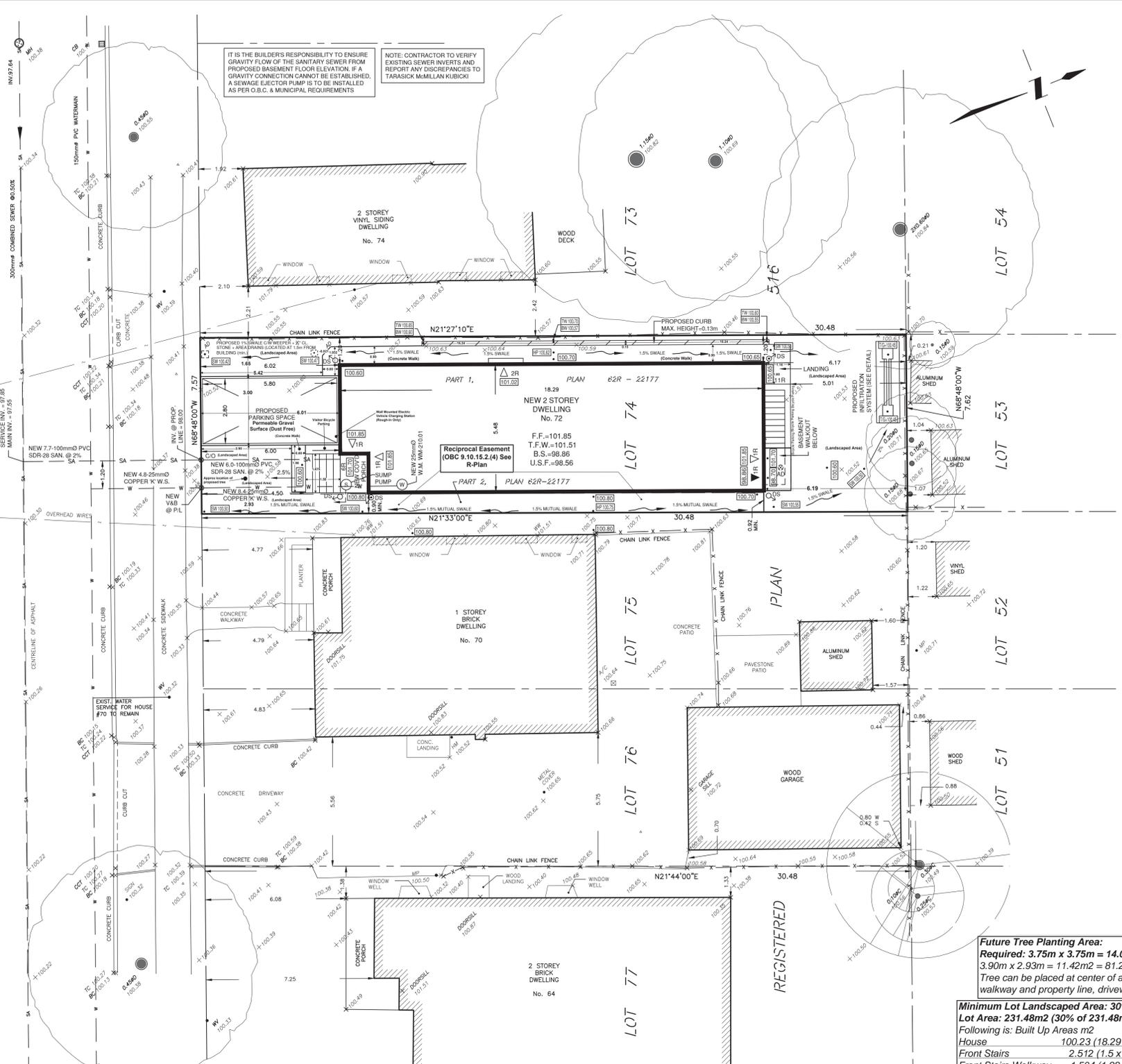
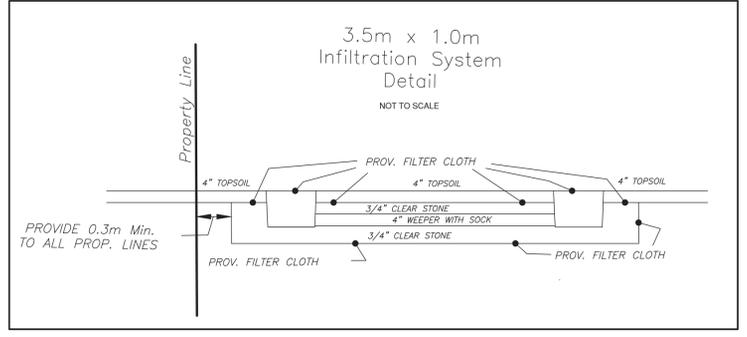
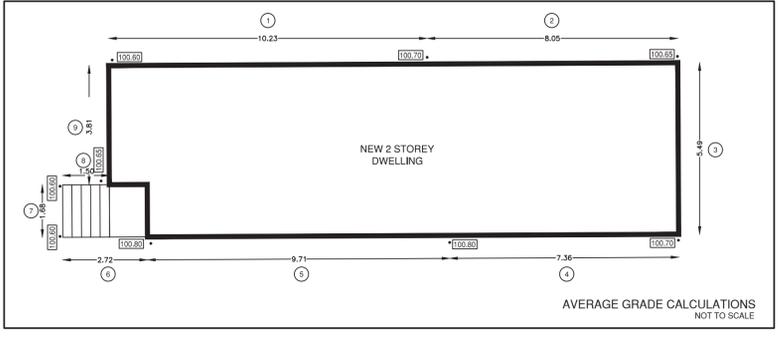
ROOFWATER LEADERS

- ALL ROOFWATER LEADERS SHALL DISCHARGE ONTO SPLASH PADS AND THEN TO GRASSED OR LANDSCAPED AREAS A MIN. OF 0.6M FROM THE BUILDING FACE.

SILTATION AND EROSION CONTROL

- SILTATION CONTROL BARRIERS SHALL BE PLACED AS DETAILED.
- ALL SILTATION CONTROL MEASURES SHALL BE CLEANED AND MAINTAINED AFTER EACH RAINFALL AS DIRECTED AND TO THE SATISFACTION OF THE CITY OF HAMILTON.
- ADDITIONAL SILT CONTROL LOCATIONS MAY BE REQUIRED AS DETERMINED BY THE CITY OF HAMILTON.

Average grade calculations					
Formula: Ave. GRADE = SUM [(ELEV 1+ELEV 2)x0.5xDIST] / SUM DIST					
Length	ELEV 1	ELEV 2	Average	DIST	(ELEV 1+ELEV 2) x0.5xDIST
1	100.60	100.70	100.65	10.23	1029.65
2	100.70	100.65	100.68	8.05	810.43
3	100.65	100.70	100.68	5.49	552.71
4	100.70	100.80	100.75	7.36	741.52
5	100.80	100.80	100.80	9.71	978.77
6	100.80	100.60	100.70	2.72	273.90
7	100.60	100.60	100.60	1.68	169.01
8	100.60	100.65	100.63	1.50	150.94
9	100.65	100.60	100.63	3.81	383.38
			SUM:	50.55	5090.31
			Average GRADE [metres] =	100.70	
			Date:	October 11, 2023	
			Address:	70 Holmes Avenue	
Tarasick, McMillan Limited, Ontario Land Surveyors					



LEGAL DESCRIPTION:
LOT 74
REGISTERED PLAN 516
CITY OF HAMILTON
REGIONAL MUNICIPALITY OF HAMILTON-WENTWORTH

SURVEY INFORMATION

SURVEY INFORMATION IS TAKEN FROM PLAN OF SURVEY WITH TOPOGRAPHY PREPARED BY TARASICK McMILLAN KUBICKI LIMITED, ONTARIO LAND SURVEYORS, DATED FEBRUARY 6, 2023.

ELEVATION NOTE

ELEVATIONS ARE REFERRED TO CANADIAN GEODETIC VERTICAL DATUM 1928 (1978 ADJUSTMENT), AND WERE DERIVED FROM GEODETIC SURVEYS OF CANADA BENCHMARK No. 0011965003, HAVING A PUBLISHED ELEVATION OF 100.149 metres.

LOCATION DESCRIPTION

TOWNSHIP: HAMILTON-WENTWORTH CANADIAN MARTYRS SEPARATE SCHOOL, ONSOUTH SIDE OF MAIN STREET, 76.2 M WEST OF EMERSON STREET, TABLE INEAST CONCRETE FOUNDATION WALL, 5.18 M SOUTH OF SIDE ENTRANCE, 3.81 M FROM SOUTHEAST CORNER, 15 CM BELOW STONE SIDING, AT ROAD LEVEL.

LEGEND

MH	DENOTES	MANHOLE
PH	DENOTES	FIRE HYDRANT
WUP	DENOTES	WOOD UTILITY POLE
WV	DENOTES	WATER VALVE
▲	DENOTES	ENTRY POINT AT LOWER LEVEL
▲	DENOTES	EXISTING SPOT ELEVATION
●	DENOTES	PROPOSED SPOT ELEVATION
○	DENOTES	PROPOSED RAINWATER DOWNSPOUT
○	DENOTES	PROPOSED SUMP PUMP LOCATION AND OUTLET
○	DENOTES	AREA DRAIN
○	DENOTES	CONIFEROUS TREE WITH TRUNK DIAMETER
○	DENOTES	DECIDUOUS TREE WITH TRUNK DIAMETER
○	DENOTES	TREE TO BE REMOVED
→	DENOTES	DIRECTION AND GRADIENT OF DRAINAGE
→	DENOTES	DIRECTION OF SWALE

DO NOT SCALE DRAWINGS

- CONTRACTOR MUST CHECK AND VERIFY ALL DIMENSIONS, SPECIFICATIONS AND DRAWINGS ON SITE AND REPORT ANY DISCREPANCIES TO THE ENGINEER/ARCHITECT PRIOR TO PROCEEDING WITH ANY OF THE WORK.
- THESE PLANS ARE TO REMAIN THE PROPERTY OF THE DESIGNER AND MUST BE RETURNED UPON REQUEST. THESE PLANS MUST NOT BE USED IN ANY OTHER LOCATION WITHOUT THE WRITTEN APPROVAL OF THE DESIGNER.
- ALL WORKS TO BE DONE IN ACCORDANCE WITH THE ONTARIO BUILDING CODE.

REVISIONS

NO.	DESCRIPTION

APPLICANT / OWNER

PAUL SEGURO
seguirhomes@gmail.com
(416)-836-3671

PROJECT:
PROPOSED 2 STOREY SINGLE FAMILY DWELLING
72 HOLMES AVENUE, HAMILTON

SHEET TITLE:

SITE LAYOUT / GRADING AND SERVICING PLAN

SCALE: 1:100

TARASICK McMILLAN KUBICKI LIMITED
ONTARIO LAND SURVEYORS

4181 SLADEVIEW CRESCENT, UNIT 42, MISSISSAUGA, ONTARIO L5L 5R2
TEL: (905) 569-8849 FAX: (905) 569-3160
E-MAIL: office@tmsurveyors.com

DRAWN BY: D.J.H. FILE No. 9695-SGP-2023-10-10

Future Tree Planting Area:
Required: 3.75m x 3.75m = 14.06m²
3.90m x 2.93m = 11.42m² = 81.22% of 14.06m²
Tree can be placed at center of area show between front walkway and property line, driveway and side lot line.

Minimum Lot Landscaped Area: 30% Min

Lot Area: 231.48m² (30% of 231.48m² = 69.44m²)
Following is: Built Up Areas m²
House 100.23 (18.29 x 5.48)
Front Stairs 2.512 (1.5 x 1.675)
Front Stairs Walkway 1.504 (1.98 x 0.76)
Driveway 18.030 (6.01 x 3.0)
Front Westerly Walkway 0.598 (1.032 x 0.60)(minus 0.021)
West Side Walkway 16.46 (0.90 x 18.29)
Rear Walkway 2.088 (1.16 x 1.80)
Rear Basement Steps 5.301 (1.16 x 4.57)
West Retaining Wall 2.286 (0.15 x 15.24)
Subtotal 149.009
231.48m² - 149.009m² = 82.471m²
Total Lot Landscaped Area Retained: 82.47m² = 35.62% of 231.48m² (5.62% above required min)

Front Yard Landscaping: 50% Min

Total Front Yard Area 45.513m² (50% of 45.513m² = 22.76m²)
Following is: Hard Surfaces m²
Driveway 18.030 (6.01 x 3.0)
Front Stairs 2.512 (1.5 x 1.675)
Front Stairs Walkway 1.188 (1.98 x 0.60)
Front Westerly Walkway 0.598 (1.032 x 0.60)(minus 0.021)
Subtotal 22.328
45.513m² - 22.328m² = 23.185m²
Total Front Yard Landscaped Area Retained: 23.185m² = 50.94% of 45.513 (0.94% above required min)



For Visual Purposes. Concept Only.

LIST OF DRAWINGS	
A-1	COVER SHEET
A-2	BASEMENT FLOOR PLAN
A-3	GROUND FLOOR PLAN
A-4	SECOND FLOOR PLAN
A-5	ROOF PLAN
A-6	SOUTH ELEVATION
A-7	NORTH ELEVATION
A-8	WEST ELEVATION
A-9	EAST ELEVATION
A-10	WALL SECTION
A-11	CONC. COLD ROOM AND GUARD DETAILS
A-12	BEARING WALL AND REAR DECK DETAILS
A-13	GENERAL NOTES
A-14	GENERAL NOTES

RESIDENTIAL - 2 UNITS

72 HOLMES AVE,
HAMILTON ONTARIO



Contractor Must Check And Verify the existing Site conditions including All Dimensions and report any Discrepancies to Consultants before proceeding with any Work at the Job Site. Do Not Scale The Drawings. All Drawings, Specifications And Related Documents Are The Copyright Of The Architect. And/Or Designer And Must Be Returned Upon Request. Reproduction Of Drawings, Specifications And Related Documents In Part Or Whole Is Forbidden Without The Architects Written Permission. This Drawing Is Not To Be Used For Construction Until Signed By The Architect and/or Designer.

2659121 Ontario Inc. Design & Project Managers

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Tel: 519-941-8304 Cell: 416-804-7595
mannymarcos13@gmail.com

Drawing Title
COVER SHEET

Project
RESIDENTIAL - 2 UNITS

72 HOLMES AVE, HAMILTON ONTARIO

I.S	Drawn by	JULY 16, 2023	Plot Date
M.M	Checked by	JUNE 13, 2024.	Revised
AS SHOWN	Scale		Drawing No.
2215-689	Project No.	A-1	
1 OF 14	Sheet No.		



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 mannyarcoos13@gmail.com

Basement Floorplan
 Residential - 2 Units
 72 HOLMES AVE, HAMILTON ONTARIO

Drawn by: I.S.
 Checked by: M.M.
 Project No.: AS SHOWN
 2215-689
 Sheet No.: 2 OF 14

Plot Date: JULY 16, 2023
 Revised: JUNE 13, 2024
 Drawing No.: A-2

ALL ARCHITECTURAL DRAWINGS SHALL BE READ IN CONJUNCTION WITH STRUCTURAL DRAWINGS.

STRUCTURAL LEGEND

B1	1 3/4" x 9 1/2" (2.0E 3100) WestFraser LVL (2 PLY)
B7	1 3/4" x 9 1/2" (2.0E 3100) WestFraser LVL (2 PLY)
J1	9 1/2" NI-40x
J2	9 1/2" NI-80
H3	US3.56/9.5

ADDITIONAL NOTES:

- 6" CONC. SLAB WITH 10M REBAR BOTH WAYS @12" O.C.
- 2-2X8
- 2X8 PT @16" O.C. JOISTS WITH DECK BOARDS
- 2-3-1/2" X 3-1/2" X 1/4" STEEL ANGLES
- 1-3-1/2" X 3-1/2" X 1/4" STEEL ANGLES

- CM SMOKE ALARM AND CARBON MONOXIDE
- SA SMOKE ALARM WITH STROBE

UNIT 2 SECONDARY UNIT
 95.74 SQ.M.

BASEMENT FLOOR AREA: (102.32 SQ. M.)
 LAUNDRY AREA: (0.99 SQ. M.)
 MECH. AREA: (2.99 SQ. M.)
 COLD ROOM AREA: (2.60 SQ. M.)
 BASEMENT FLOOR NET AREA (95.74 SQ.M.)

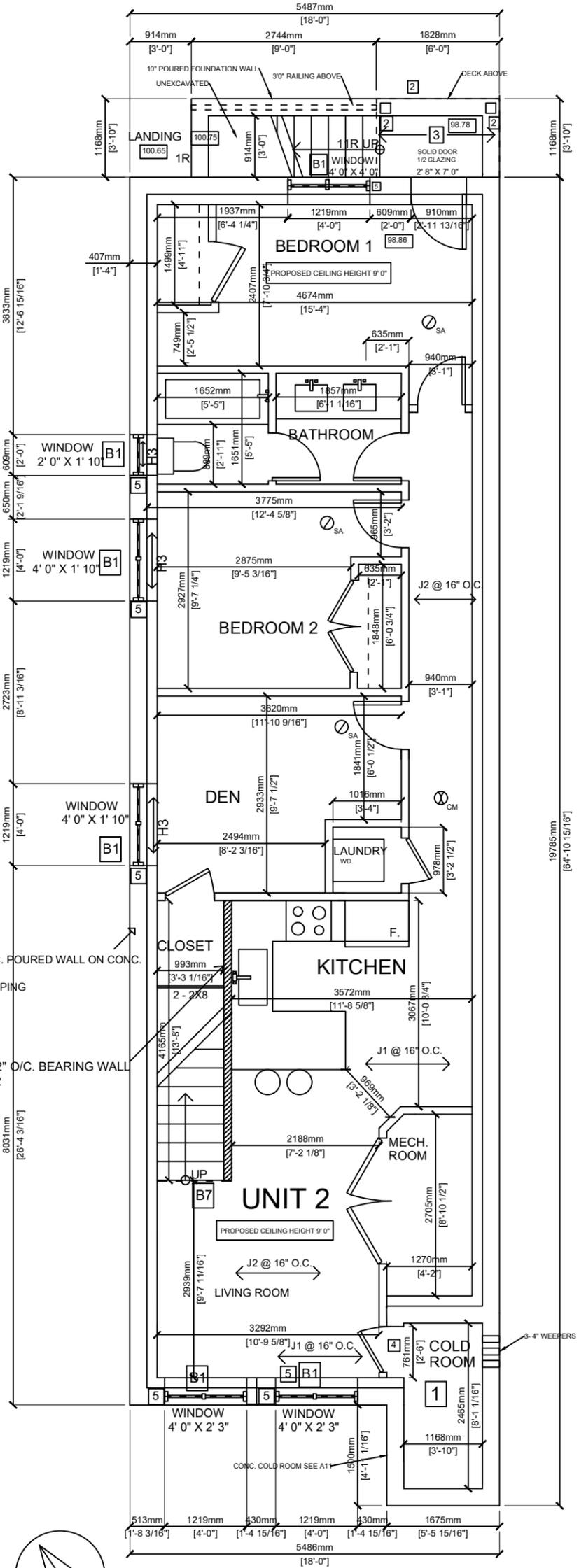
LIVING/DINING ROOM AREA: 11.30 SQ.M.
 MIN. WINDOW GLAZING (10%): 1.13 SQ.M.
 PROP. WINDOW GLAZING (14.8%): 1.67 SQ.M.

BEDROOM 1: (10.35 SQ. M.)
 MIN. WINDOW GLAZING (5%): (0.68 SQ. M.)
 PROP. WINDOW GLAZING (21.64%): (2.24 SQ. M.)

BEDROOM 2 AREA: (9.12 SQ. M.)
 MIN. WINDOW GLAZING (5%): (0.46 SQ. M.)
 PROP. WINDOW GLAZING (7.46%): (0.68 SQ. M.)

REFER TO GENERAL NOTES A12-A14

- 1 STRIP FOOTING SEE GENERAL NOTES
- 2 FOUNDATION WALL SEE GENERAL NOTES
- 6 INTERIOR STUD WALL CONSTRUCTION SEE GENERAL NOTES
- 15 BASEMENT SLAB SEE GENERAL NOTES
- 19 BASEMENT INSULATION AND STRAPPING SEE GENERAL NOTES
- 20 ANCHOR BOLTS SEE GENERAL NOTES
- 23 WEEPING TILE SEE GENERAL NOTES
- 32 MAIN STAIRS AND EXTERIOR STAIRS SEE GENERAL NOTES
- 33 GUARD RAIL SEE GENERAL NOTES
- 38 STEEL BEARING PLATE FOR MASONRY WALLS SEE GENERAL NOTES
- 39 SMOKE ALARMS SEE GENERAL NOTES
- 40 CARBON MONOXIDE DETECTORS SEE GENERAL NOTES
- 41 PORCH SLAB CONSTRUCTION SEE GENERAL NOTES



It is the contractors responsibility to ensure that all construction conforms with the Ontario Building Code.

BASEMENT FLOORPLAN
 SCALE 1:75



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 mannymarcos13@gmail.com

GROUND FLOOR PLAN
 Residential - 2 Units
 72 HOLMES AVE, HAMILTON ONTARIO

I.S. Drawn by
 M.M. Checked by
 AS SHOWN Scale
 2215-689 Project No.
 3 OF 14 Sheet No.

JULY 16, 2023 Plot Date
 JUNE 13, 2024 Revised
A-3 Drawing No.

ALL ARCHITECTURAL DRAWINGS SHALL BE READ IN CONJUNCTION WITH STRUCTURAL DRAWINGS.

STRUCTURAL LEGEND	
J1	9 1/2" NI-40x
J4	9 1/2" NI-80
B11 DR	1 3/4" x 7 1/4" (2.0E 3100) WestFraser LVL (2 PLY)
B20 DR	1 3/4" x 7 1/4" (2.0E 3100) WestFraser LVL (3 PLY)
B8	1 3/4" x 9 1/2" (2.0E 3100) WestFraser LVL (3 PLY)
B10	1 3/4" x 9 1/2" (2.0E 3100) WestFraser LVL (2 PLY)
H1	IUS2.56/9.5
H2	HUS1.81/10
H4C	HUC410
H4	HGUS410

ADDITIONAL NOTES:	
1	2 2X6 POST TO FOUNDATION
2	2- 2X8 PT
3	2X8 PT @ 16" O.C. JOISTS WITH DECK BOARDS
4	2X4 CEILING JOISTS AND 2X4 ROOF RAFTERS @ 16" O.C.
5	1- 3-1/2" X 3-1/2" X 1/4" STEEL ANGLES

CM SMOKE ALARM AND CARBON MONOXIDE
 SA SMOKE ALARM WITH STROBE

W1a (FRR 1 HR) WALL ASSEMBLY
 2X4 STUDS @ 16" O.C WITH 3.5" THICK ABSORPTIVE MATERIAL AND 1 LAYER 5/8" TYPE X DRYWALL ON EACH SIDE

UNIT 1 PRIMARY UNIT
 93.56 SQ.M. (MAIN) + 99.27 SQ.M. (SECOND)

GROUND FLOOR CALCS:

GROSS FLOOR AREA: (98.32 SQ. M.)
 LAUNDRY AREA: (1.22 SQ. M.)
 MECH. AREA: (3.54 SQ. M.)
 GROUND FLOOR NET AREA (93.56 SQ.M.)
 FRONT PORCH AREA: (2.01 SQ. M.)
 REAR DECK AREA (2.23 SQ.M.)

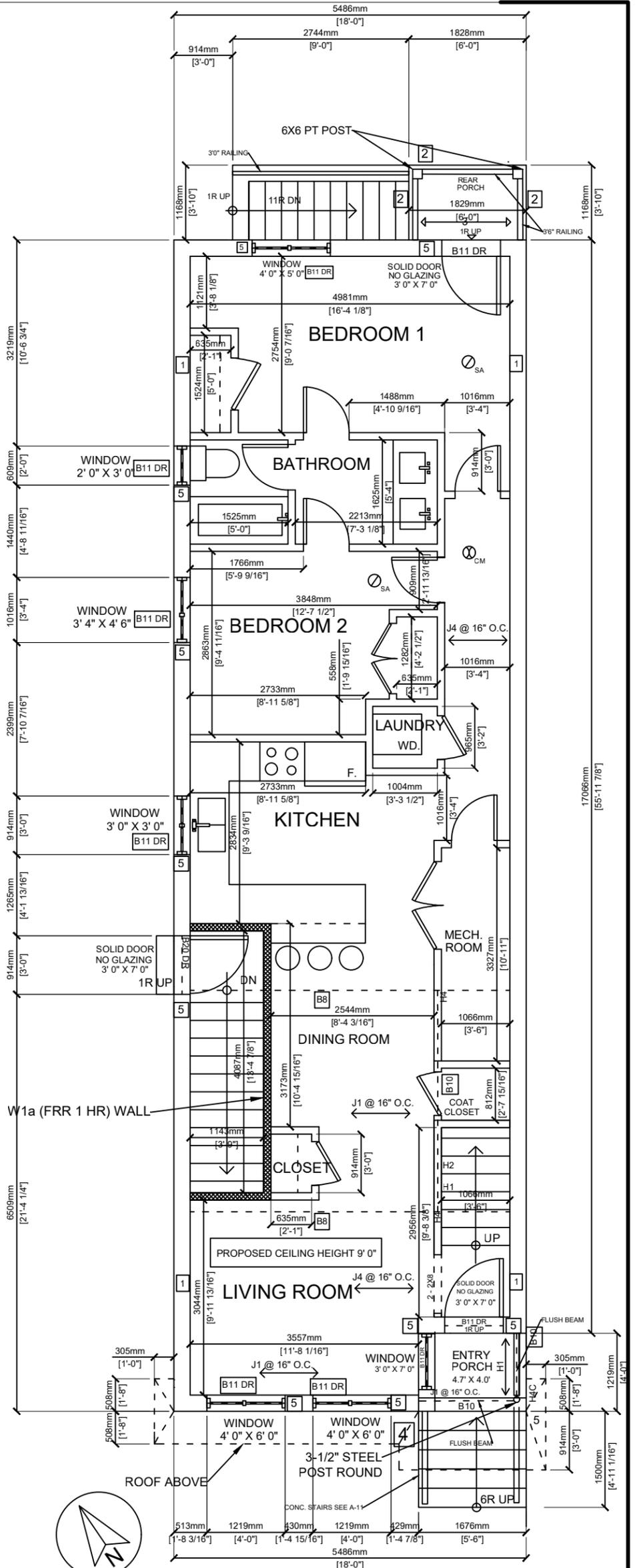
BEDROOM 1 AREA: (13.42 SQ. M.)
 MIN. WINDOW GLAZING (5%): (0.67 SQ. M.)
 PROP. WINDOW GLAZING (13.8%): (1.85 SQ. M.)
 BEDROOM 2 AREA: (9.36 SQ. M.)
 MIN. WINDOW GLAZING (5%): (0.47 SQ. M.)
 PROP. WINDOW GLAZING (14.9%): (1.39 SQ. M.)
 LIVING/DINING ROOM AREA: 18.95 SQ.M.
 MIN. WINDOW GLAZING (10%): 1.90 SQ.M.
 PROP. WINDOW GLAZING (23.5%): 4.46 SQ.M.

TOTAL UNIT 1 CALS:

93.56 SQ.M. (GROUND FLOOR NET AREA) + 99.27 (SECOND FLOOR NET AREA) = 192.83 SQ.M.

REFER TO GENERAL NOTES A12-A14

- 3 BRICK-STONE VENEER CONSTRUCTION SEE GENERAL NOTES
- 39 SMOKE ALARMS SEE GENERAL NOTES
- 4 FRAME WALL CONSTRUCTION SEE GENERAL NOTES
- 40 CARBON MONOXIDE DETECTORS SEE GENERAL NOTES
- 6 INTERIOR STUD WALL CONSTRUCTION SEE GENERAL NOTES
- 24 EXTERIOR CONCRETE STEPS SEE GENERAL NOTES
- 32 MAIN STAIRS AND EXTERIOR STAIRS SEE GENERAL NOTES
- 33 GUARD RAIL SEE GENERAL NOTES



It is the contractors responsibility to ensure that all construction conforms with the Ontario Building Code.

GROUND FLOOR PLAN
SCALE 1:75



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 mannymarcos13@gmail.com

SECOND FLOOR PLAN
 Residential - 2 Units
 72 HOLMES AVE, HAMILTON ONTARIO

Drawn by: I.S.
 Checked by: M.M.
 Scale: AS SHOWN
 Project No.: 2215-689
 Sheet No.: 4 OF 14
 Plot Date: JULY 16, 2023
 Revised: JUNE 13, 2024
 Drawing No.: **A-4**

ALL ARCHITECTURAL DRAWINGS SHALL BE READ IN CONJUNCTION WITH STRUCTURAL DRAWINGS.

STRUCTURAL LEGEND	
B24 DR	1 3/4" x 7 1/4" (2.0E 3100) WestFraser LVL (2 PLY)

ADDITIONAL NOTES:	
1	2 2X6 POST TO FOUNDATION
2	ENG. ROOF TRUSSES @ 24" O.C.
3	2X4 CEILING JOISTS AND 2X4 ROOF RAFTERS @ 16" O.C.
4	2 X 10 WINDOW LINTELS
5	1-3-1/2" X 3-1/2" X 1/4" STEEL ANGLES

UNIT 1 CONTINUED
 99.27 SQ.M.

SECOND FLOOR CALCS:
 GROSS FLOOR AREA: (100.30 SQ. M.)
 LAUNDRY AREA: (1.03 SQ. M.)
 SECOND FLOOR NET AREA (99.27 SQ.M.)

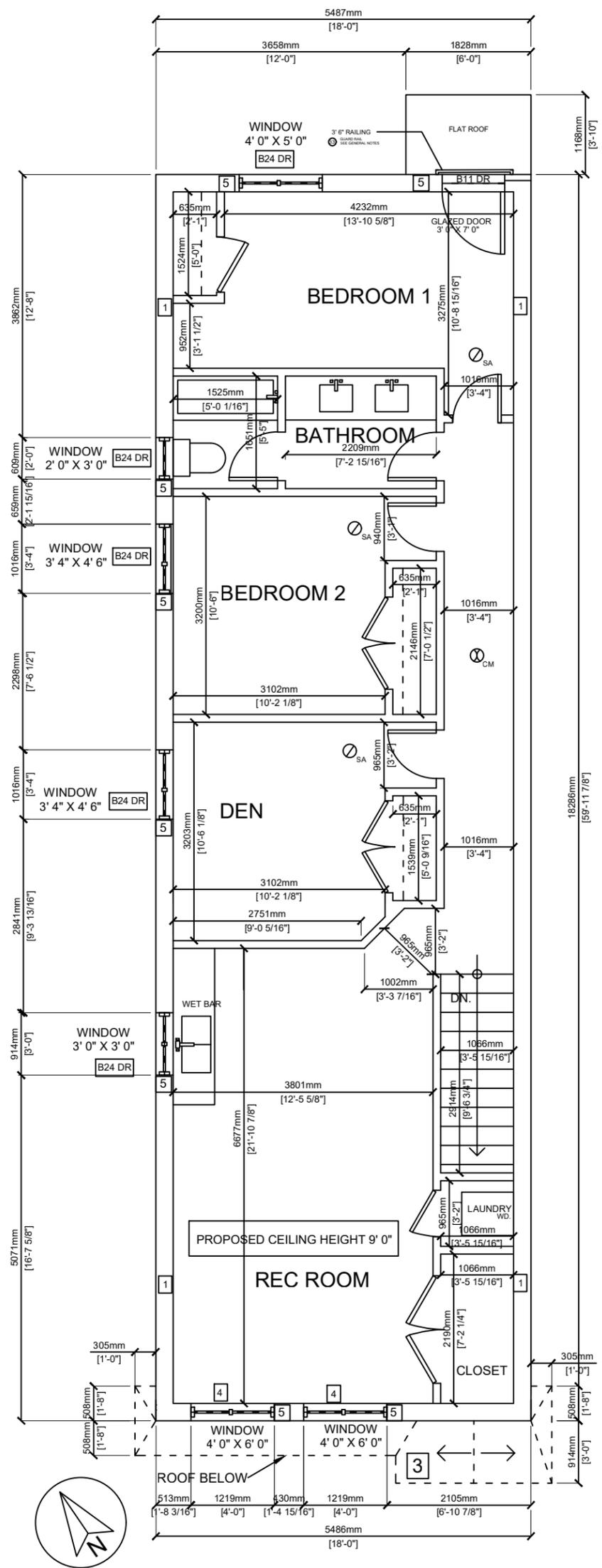
BEDROOM 1 AREA: (12.37 SQ. M.)
 MIN. WINDOW GLAZING (5%): (0.62 SQ. M.)
 PROP. WINDOW GLAZING (15%): (1.85 SQ. M.)

BEDROOM 2 AREA: (10.54 SQ. M.)
 MIN. WINDOW GLAZING (5%): (0.53 SQ. M.)
 PROP. WINDOW GLAZING (13.2%): (1.39 SQ. M.)

REC ROOM AREA: 13.18 SQ.M.
 MIN. WINDOW GLAZING (10%): 1.32 SQ.M.
 PROP. WINDOW GLAZING (33.8%): 4.46 SQ.M.

TOTAL UNIT 1 CALS:
 93.56 SQ.M. (GROUND FLOOR NET AREA) + 99.27 (SECOND FLOOR NET AREA) = 192.83 SQ.M.

- REFER TO GENERAL NOTES A12-A14
- 3 BRICK-STONE VENEER CONSTRUCTION SEE GENERAL NOTES
 - 4 FRAME WALL CONSTRUCTION SEE GENERAL NOTES
 - 6 INTERIOR STUD WALL CONSTRUCTION SEE GENERAL NOTES
 - 32 MAIN STAIRS AND EXTERIOR STAIRS SEE GENERAL NOTES
 - 33 GUARD RAIL SEE GENERAL NOTES
 - 39 SMOKE ALARMS SEE GENERAL NOTES
 - 40 CARBON MONOXIDE DETECTORS SEE GENERAL NOTES



It is the contractors responsibility to ensure that all construction conforms with the Ontario Building Code.

SECOND FLOOR PLAN

SCALE 1:75



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ROOF PLAN
 Residential - 2 Units
 72 HOLMES AVE, HAMILTON ONTARIO

I.S
 M.M
 AS SHOWN
 2215-689
 5 OF 14

SEPT 15, 2023
 JUNE 13, 2024
A-5

ROOF OVERHANG IS 12" WITH 4" EAVES. TOTAL OVERHANG OF 1'-4" UNLESS OTHERWISE NOTED

SEE STRUCTURAL PLAN FOR PRODUCT LIST

CONVENTIONAL FRAMING 
 2X6 AT 16" O.C. RAFTERS
 2X8 HIPS AND RIDGES

ALL ARCHITECTURAL DRAWINGS SHALL BE READ IN CONJUNCTION WITH STRUCTURAL DRAWINGS.

ALL ROOF SLOPES ARE 7/12

ROOF NOTES:
 ASPHALT SHINGLES
 FINISHED OVERHANG: 12"
 2X6 FASCIA BOARD

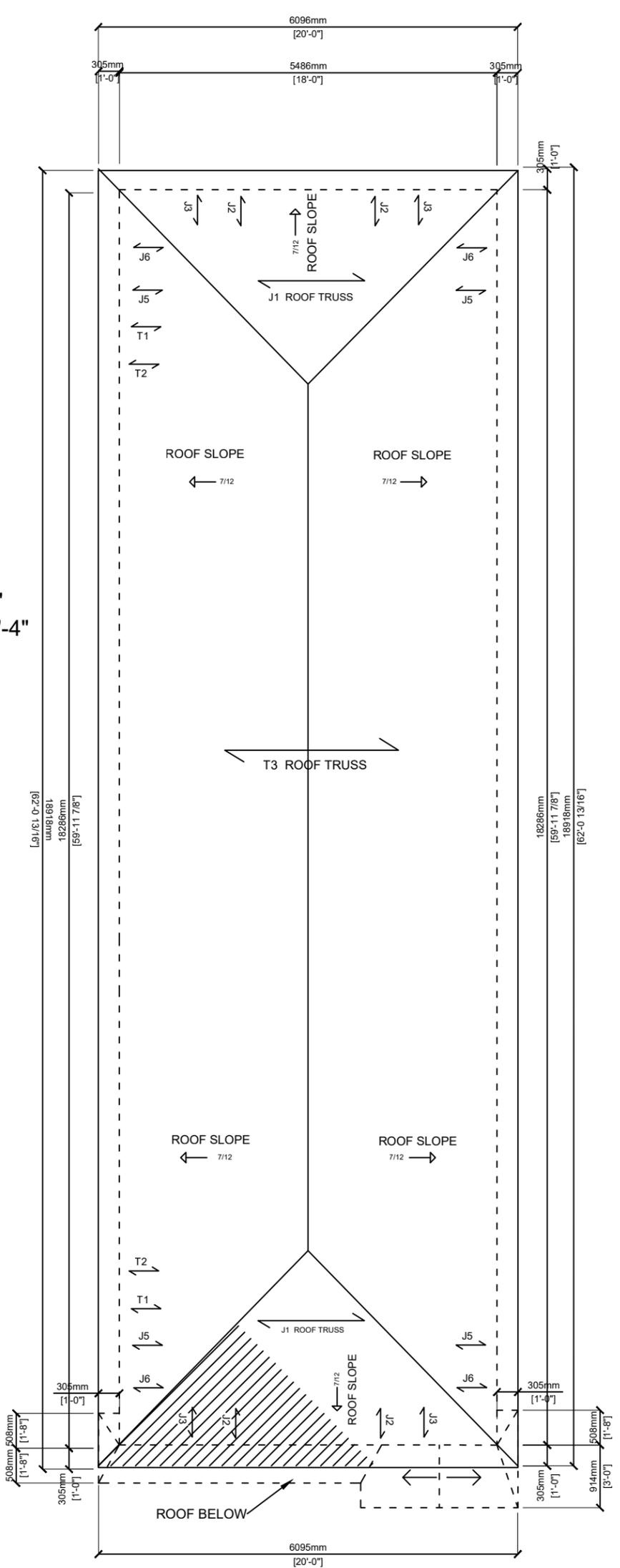
REFER TO GENERAL NOTES A12-A14

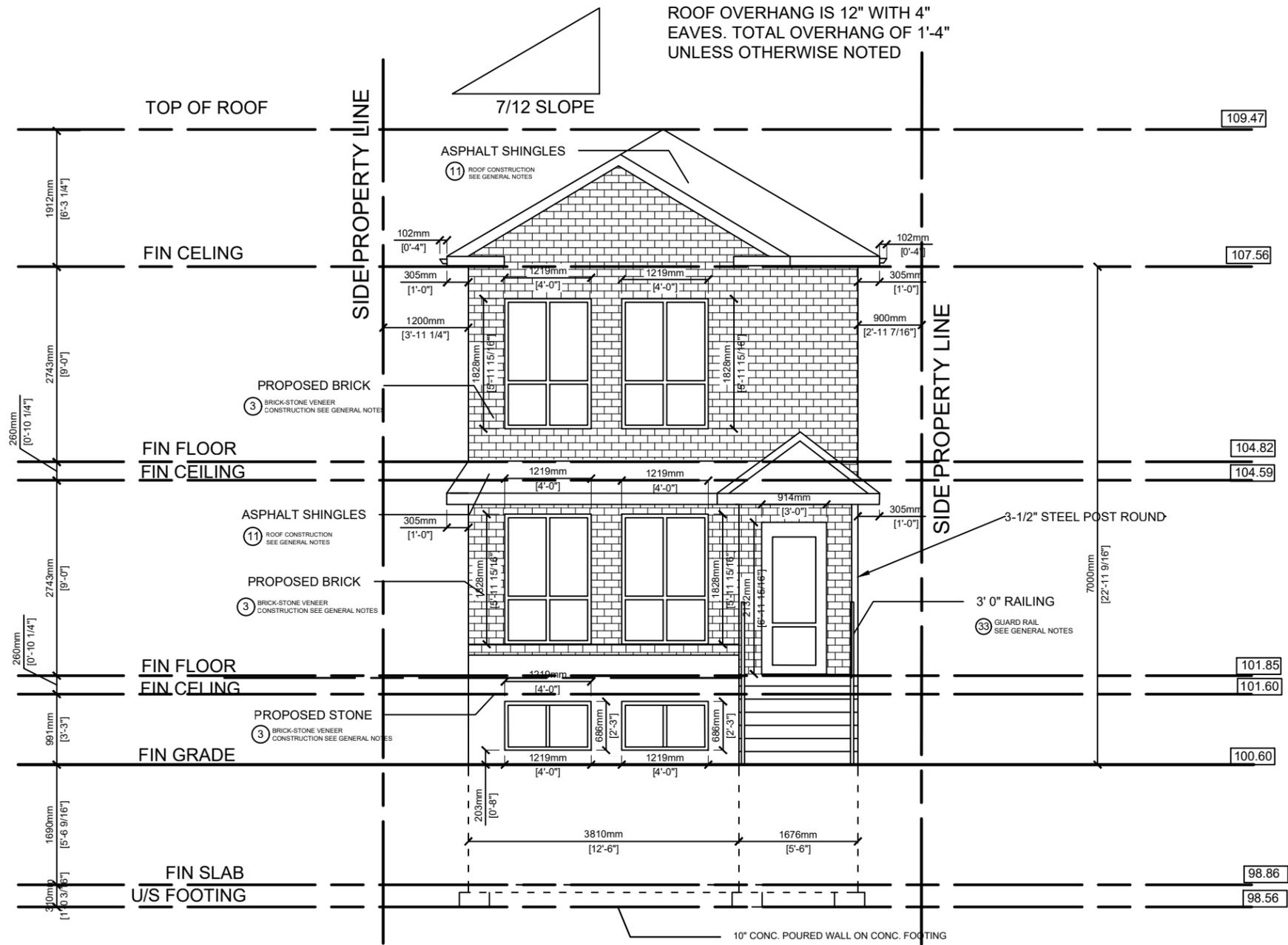
- 11 ROOF CONSTRUCTION SEE GENERAL NOTES
- 12 ROOF INSULATION SEE GENERAL NOTES
- 22 METAL FLASHING SEE GENERAL NOTES



It is the contractors responsibility to ensure that all construction conforms with the Ontario Building Code.

ROOF PLAN
SCALE 1:75





It is the contractors responsibility to ensure that all construction conforms with the Ontario Building Code.

SOUTH ELEVATION
SCALE 1:75



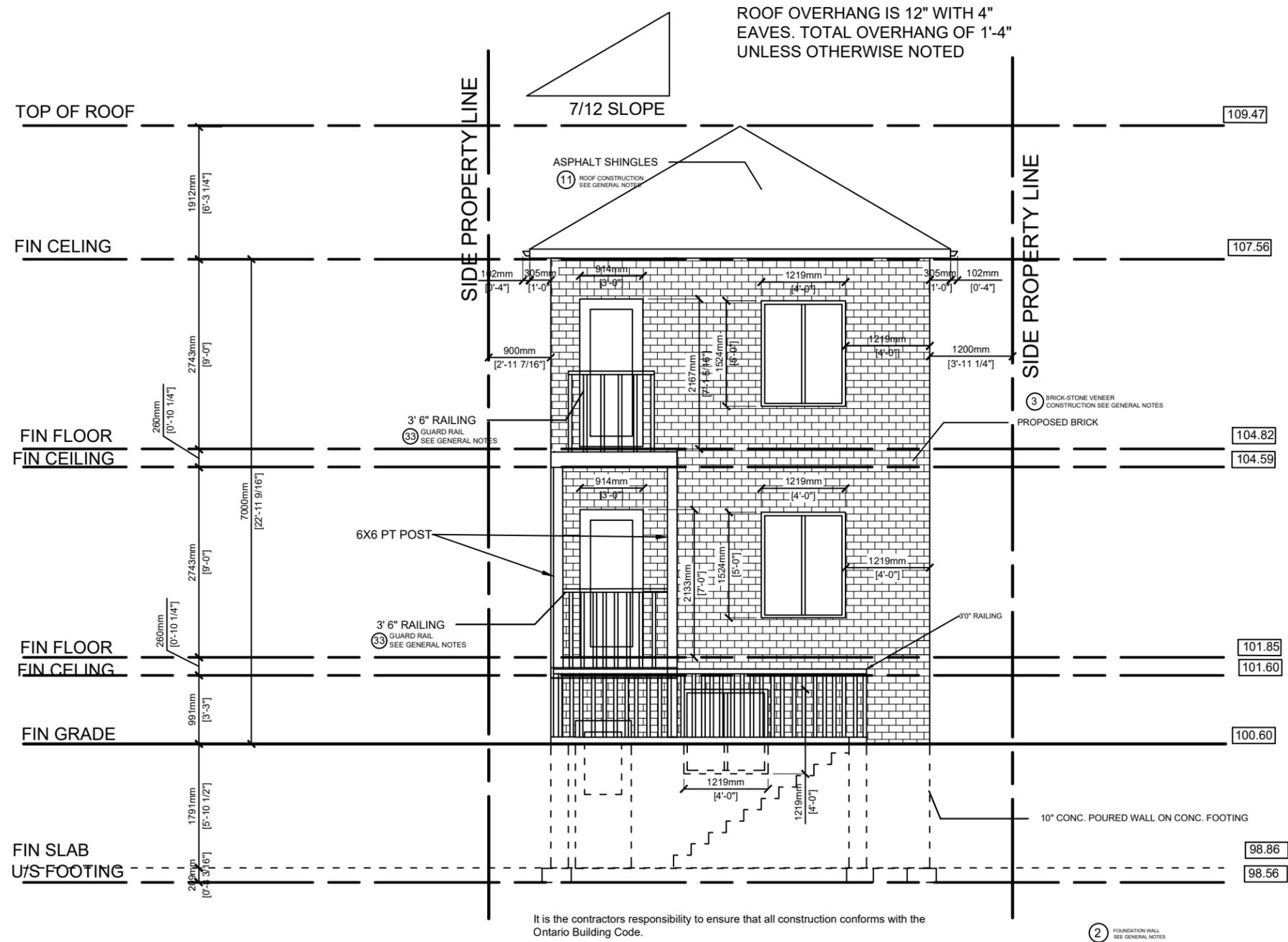
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Drawing Title
SOUTH ELEVATION
 Project
RESIDENTIAL - 2 UNITS
 72 HOLMES AVE, HAMILTON ONTARIO

I.S	Drawn by	JULY 16, 2023	Plot Date
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NORTH ELEVATION
SCALE 1:75



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NORTH ELEVATION

RESIDENTIAL - 2 UNITS

72 HOLMES AVE, HAMILTON ONTARIO

Drawing Title

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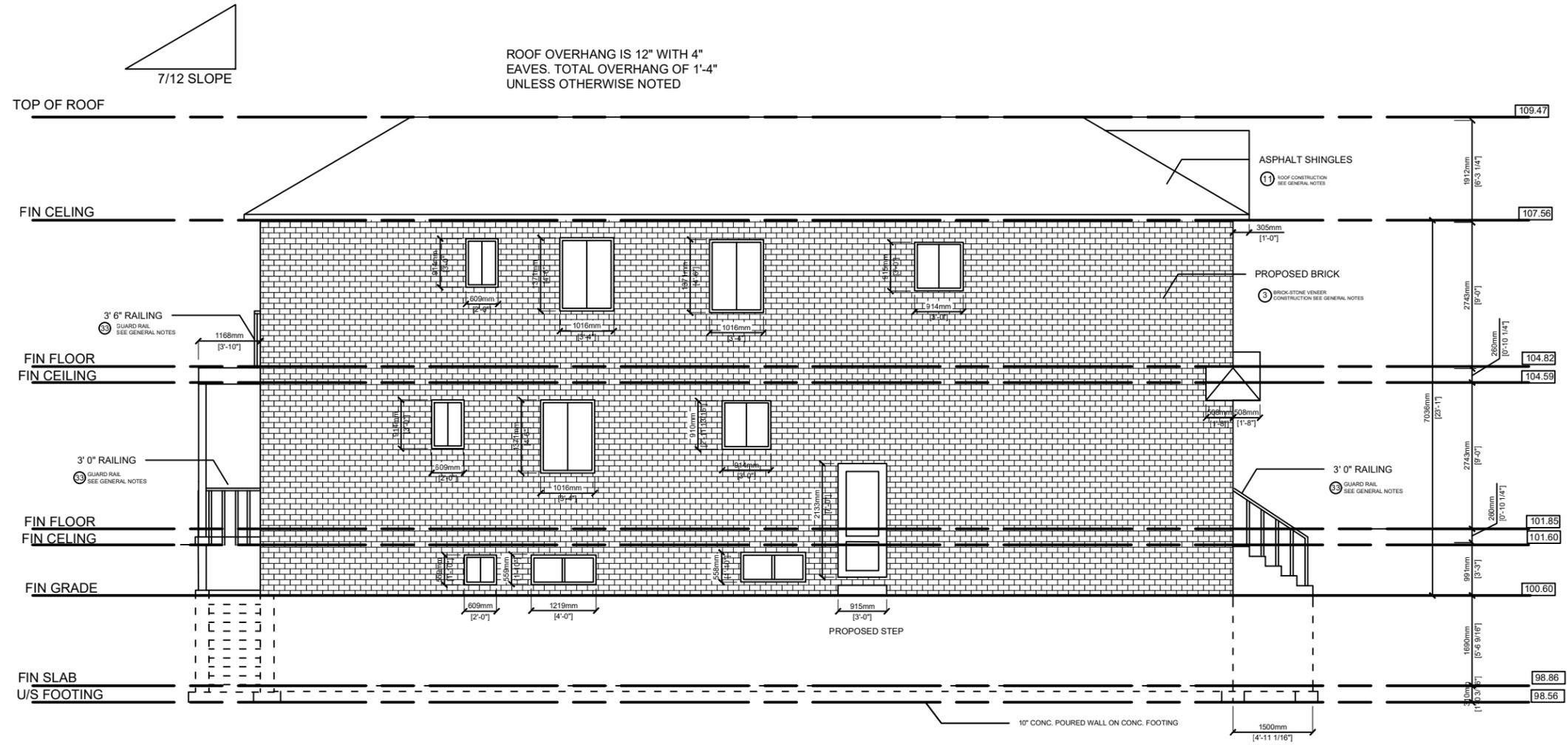
2215-689

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It is the contractors responsibility to ensure that all construction conforms with the Ontario Building Code.

WINDOW CALCS (WEST ELEVATION)
 MAXIMUM PERMITTED OPENINGS: 7%
 AREA OF WALL: 128.65 SQ. M.
 AREA OF OPENINGS: 8.65 SQ. M.

 AREA PERMITTED: 8.97 SQ. M. (7%)
 AREA PROPOSED: 8.65 SQ. M. (6.72%)

WEST ELEVATION
SCALE 1:100



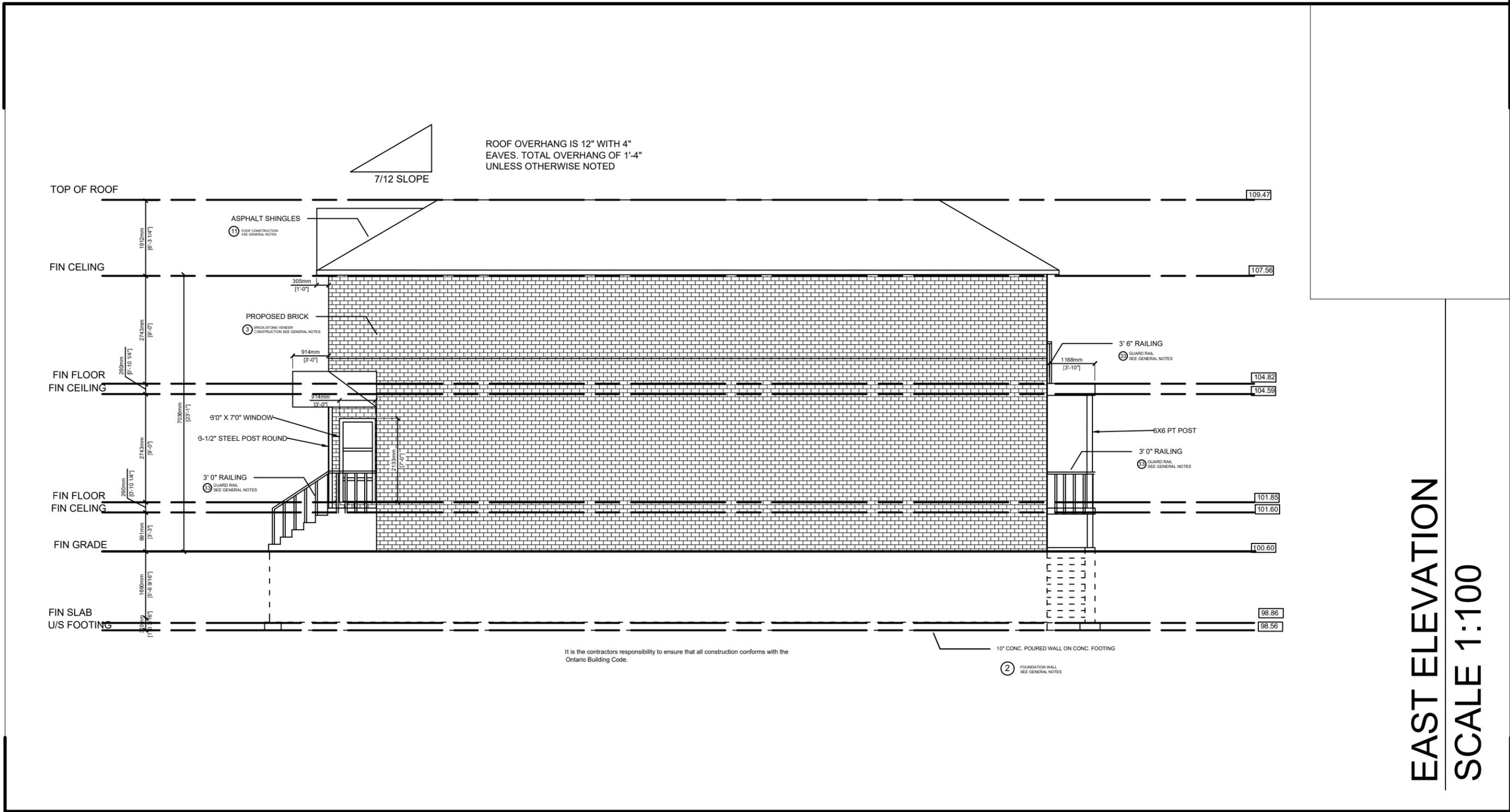
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WEST ELEVATION
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EAST ELEVATION
SCALE 1:100

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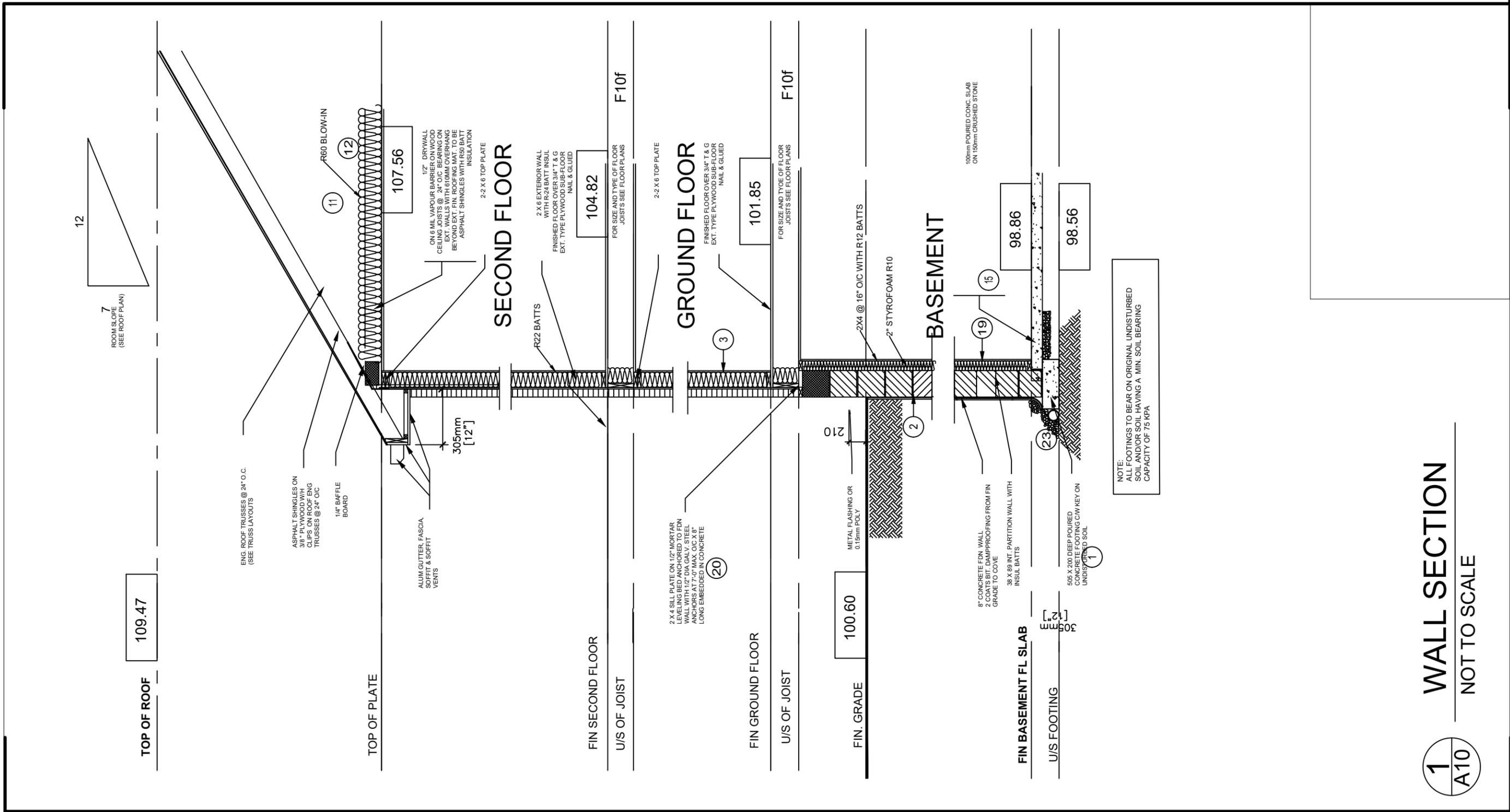
Drawing Title
EAST ELEVATION

Project
RESIDENTIAL - 2 UNITS

72 HOLMES AVE, HAMILTON ONTARIO

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1
A10
WALL SECTION
NOT TO SCALE



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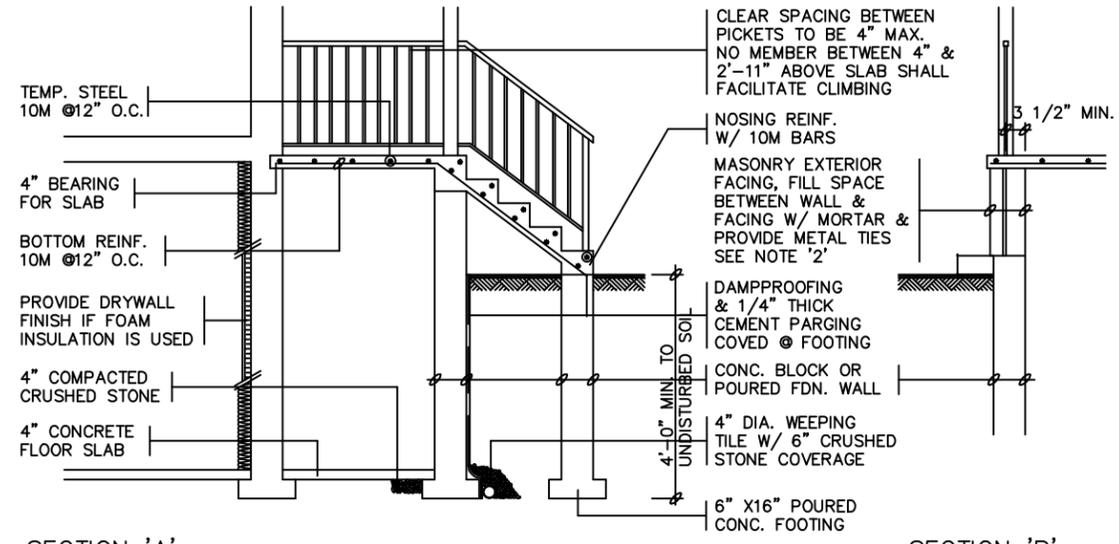
Drawing Title
WALL SECTION

Project
RESIDENTIAL - 2 UNITS

72 HOLMES AVE, HAMILTON ONTARIO

I.S	Drawn by	AUGUST 14, 2023	Plot Date
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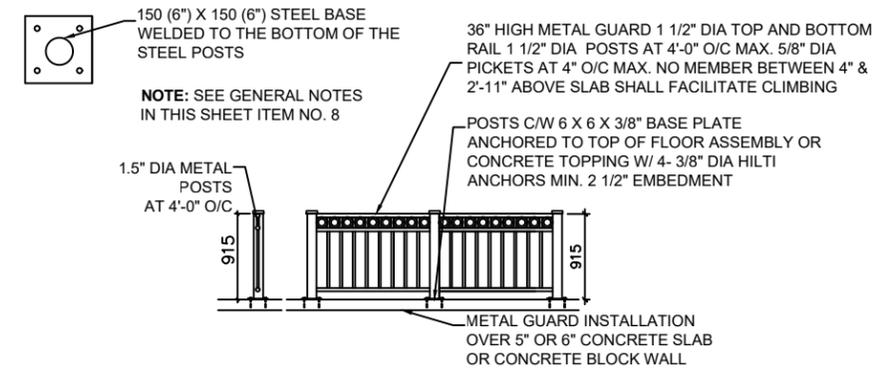


SECTION 'A'

SECTION 'B'

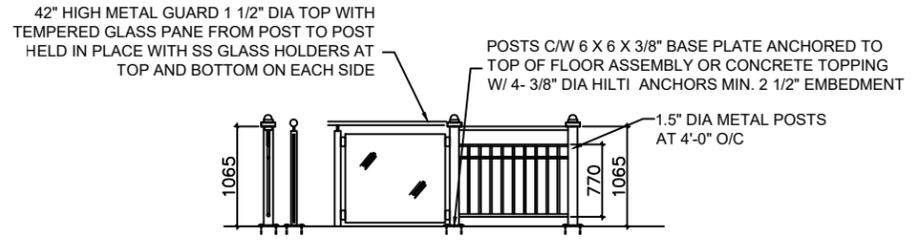
GENERAL NOTES

1. EXTERIOR STAIRS
7 7/8" RISE MAXIMUM
8 1/4" RUN MINIMUM
9 1/4" TREAD MINIMUM
2. MASONRY TIES
WHEN BRICK FACING IS USED ABOVE GROUND LEVEL, PROVIDE 3/16" DIA. CORROSION RESISTANT METAL TIES @ 36" HORIZONTAL & 8" VERTICAL
3. GUARDS
ARE REQUIRED AROUND CONCRETE SLAB IF MORE THAN 2'-0" ABOVE GRADE & ON BOTH SIDES OF STAIRS CONTAINING MORE THAN 6 RISERS. MINIMUM 31" HIGH FOR STAIRS. MINIMUM 35" HIGH FOR PORCHES UP TO 5'-11" ABOVE GRADE. MINIMUM 42" HIGH FOR GREATER HTS.
4. HANDRAIL
ARE REQUIRED WHERE STEPS HAVE MORE THAN 3 RISERS. HANDRAIL HEIGHT 31" - 38".
5. FOUNDATION WALLS
THICKNESS OF FOUNDATION WALLS IS DEPENDANT UPON HEIGHT OF FINISH GRADE ABOVE BASEMENT FLOOR
UNIT MASONRY THICKNESS 8" - MAX. HEIGHT 3'-11"
UNIT MASONRY THICKNESS 10" - MAX. HEIGHT 5'-11"
UNIT MASONRY THICKNESS 12" - MAX. HEIGHT 7'-3"
6. CONCRETE
MINIMUM CONCRETE STRENGTH SHALL BE 4650 PSI W/ 5%-8% AIR ENTRAINMENT
CONCRETE SLAB THICKNESS 4" UP TO 6'-8" SPAN
CONCRETE SLAB THICKNESS 5" UP TO 8'-4" SPAN
CONCRETE SLAB THICKNESS 6" UP TO 10'-0" SPAN
7. PROVIDE MINIMUM 3/4" CLEAR CONCRETE COVER TO REINFORCING BARS



INTERIOR GUARD HEIGHT - 3'-0"

EXTERIOR GUARDS SERVING A HOUSE ARE REQUIRED TO BE 900MM (2'-11") HIGH WHERE THE WALKWAY SURFACE IS LESS THAN 1.8M (5'-11") ABOVE ADJACENT GROUND LEVEL. WHERE THE WALKWAY SURFACE IS GREATER THAN 1.8M (5'-11") ABOVE THE ADJACENT GROUND LEVEL, THE GUARD IS REQUIRED TO BE 1070MM (3'-6") HIGH.



EXTERIOR GUARD HEIGHT - 3'-6"

1 A11 CONC. PORCH DETAILS WITH COLD ROOM NOT TO SCALE

2 A11 GUARD RAIL DETAILS NOT TO SCALE



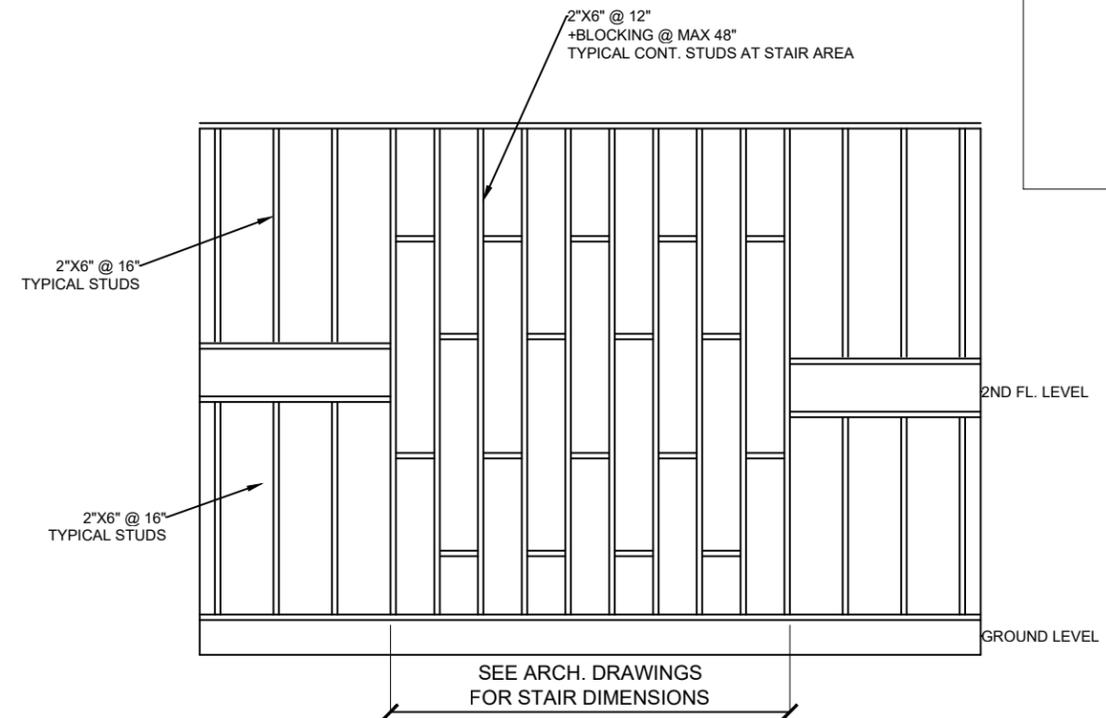
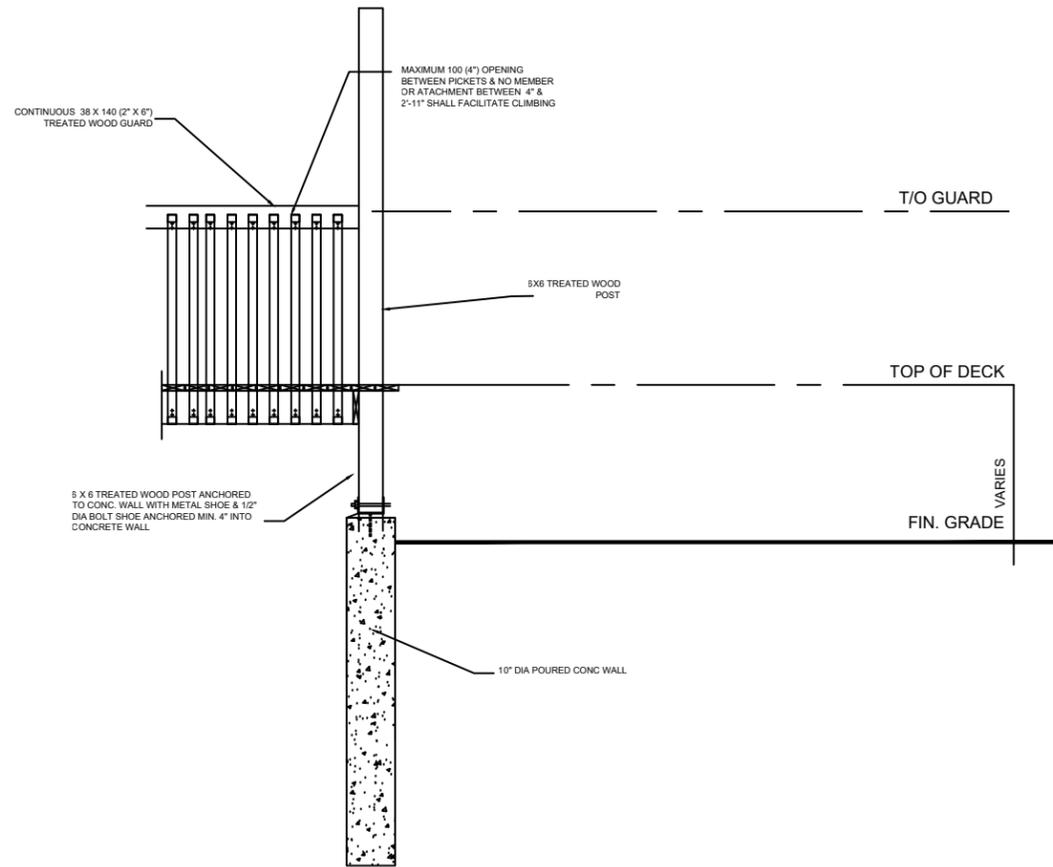
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Drawing Title
COLD ROOM SECTION AND GUARD DETAILS
Project
RESIDENTIAL - 2 UNITS
72 HOLMES AVE, HAMILTON ONTARIO

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1
A12

REAR TREATED WOOD DECK
NOT TO SCALE

2
A12

WALL SIDE ON STAIRS ON GROUND/FLOOR
NOT TO SCALE



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Drawing Title
BEARING WALL AND REAR DECK DETAILS
Project
RESIDENTIAL - 2 UNITS
72 HOLMES AVE, HAMILTON ONTARIO

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GENERAL NOTES

- 1 STRIP FOOTING**
SUPPORTING EXTERIOR WALLS
ALL FOOTINGS SHALL REST ON NATURAL UNDISTURBED SOIL OR COMPACTED ENGINEERED FILL WITH MIN. BEARING CAPACITY OF 75 KPa. (10.88 P.S.I.) OR GREATER
- FOOTING SIZES FOR TWO-STORY BRICK VENEER 508 X 152mm (20" X 6") ASSUMING MAX. LIVE LOAD OF 2.4 KPa. (50 P.S.I.) PER FLOOR AND MAX. LENGTH OF SUPPORTING FLOOR JOISTS IS 4.9m (16'-1")
- CONTINUOUS KEVED CONCRETE FOOTING (FOR POURED CONC. FDN WALLS)
- 15 MPa. (2200 P.S.I.) AT 28 DAYS
- MIN. 1220mm (4'-0") BELOW GRADE ON UNDISTURBED SOIL
- STEP FOOTING: STEP FOOTINGS- HORIZONTAL STEPS 610mm (2'-0") MINIMUM. VERTICAL STEP 610mm (2'-0") MAX. FOR FIRM SOIL AND 400mm (1'-4") FOR SAND AND GRAVEL

-25.5 WIDE X 8" DEEP CONC. FOOTING FOR WOOD FRAME MASONRY VENEER(FRONT WALL OF STRUCTURE)
-20" WIDE X 8" DEEP CONC. FOOTING FOR WOOD FRAME (SIDES AND REAR WALLS OF STRUCTURE)

- 2 FOUNDATION WALL** (SEE O.B.C. 9.15.4)

8" POURED CONCRETE WITH 15M @ 16" O.C. VERTICALLY (SEE BASEMENT FLOOR PLAN FOR REBAR LOCATION) AND OPT. DRAINAGE LAYER DRAINAGE REQUIRED WHEN BASEMENT INSULATION EXTENDS 900mm (2'-11") BELOW FINISHED GRADE MAX. WALL HEIGHT 2300mm (7'-7") USING

- LATERAL SUPPORT OF WALL PROVIDE BY ANCHORED SILL PLATE
- WATERPROOF THE EXTERIOR FACE OF THE WALL BELOW GRADE IN CONFORMANCE WITH SUBSECTION 9.13.5 OF THE O.B.C.
- NOT LESS THAN 19mm (3/4") OF MINERAL FIBER INSULATION WITH DENSITY OF NOT LESS THAN 57 kg/M3 (3.6 LBS/SQ CUBIT)
- 2. NOT LESS THAN 100mm (4") OF FREE DRAINING GRANULAR MATERIAL OR
- 3. A SYSTEM THAN CAN BE SHOWN TO PROVIDE EQUIVALENT PERFORMANCE TO THAT PROVIDED BY THE MATERIAL DESCRIBED ABOVE
- PROVIDE R-10 2" THICK RIGID INSULATION INSIDE FOUNDATION WALL FROM TOP OF FINISHED GRADE 24" TOWARDS THE FOOTING

- 3 BRICK-STONE-BLOCK VENEER CONSTRUCTION (2 X 6)**

- 90mm (4") OR 75mm (3") FACE BRICK OR STONE
- 90mm (4") BLOCK WITH 2 LAYERS 6mm (1/4") PARGING AND 1 LAYER 1/8" STUCCO FINISH CONFORMING TO O.B.C. 9.28. MAXIMUM 11000mm (36'-1") HIGH
- 25 X 178 X 0.76mm (1" X 7" X 0.03mm) GALVANIZED METAL TIES @ 400 (16") O/C HORIZONTAL AND 600mm (24") O/C VERTICAL NOT TO COMPRESS THE EXTERIOR SHEATHING
- 25mm (1") AIR SPACE
- 0.7 kg/ sq m (NO.15) BUILDING PAPER
- 1" THICK (R-5) STYROFOAM EXT TYPE SHEATHING
- 38 X 140 (2" X 6") WOOD STUDS @ 400mm (16") O/C
- R-22 INSULATION BATTS(USING THERMAL PACKAGE A1
- 0.15mm (0.006") AIR/VAPOUR BARRIER TO CONFORM TO CAN/CGSB-51.340-M AND SUBSECTIONS 9.25.3 & 9.25.4 OF THE O.B.C.
- 12.7mm (1/2") INTERIOR GYP. WALL BOARD FINISH
- PROVIDE 10mm (3/8") WEEP HOLES MAX. 800mm (32") O/C IN STARTER COARSE & OVER OPENINGS PROVIDE BASE FLASHING UP MIN. 150mm (6") BEHIND BUILDING PAPER
- PROVIDE OR BRICK OR STONE SILLS UNDER ALL OPENINGS AND FLASH UNDER SILL.
- EXPOSING BUILDING FACE (O.B.C. 9.10.14.5) EXT. WALLS TO HAVE A F.R.R. OF NOT LESS THAN 45 MIN. WHERE LIMITING DISTANCE IS LESS THAN 1.2M(3'-11") AND WHERE LIMITING DISTANCE IS LESS THAN 600mm (24") THE EXPOSING BUILDING FACE SHALL BE CLADDED IN NON-COMBUSTIBLE MATERIAL.

- 4 FRAME WALL CONSTRUCTION (2 X 6)**

- STUCCO BOARD OR SIDING AS PER ELEVATION
- 0.7kg/sq.m (NO.15) BUILDING PAPER
- 12.7mm (1/2") EXTERIOR TYPE SHEATHING
- 38 X 140 (2 X 6) WOOD STUDS @ 400mm (16") O/C
- R-24 INSULATION BATTS
- 0.15mm (0.006") AIR/VAPOUR BARRIER TO CONFORM TO CAN/CGSB-51.340-M AND SUBSECTIONS 9.25.3 & 9.25.4 OF THE O.B.C.

- 5 INTERIOR STUD PARTITION**

- 38 X (2 X 4) @ 400mm (16") O/C BEARING 38 X 89 (2 X 4) @ 600mm (24") O/C NON BEARING 12.7mm (1/2") INT. GYPSUM WALLBOARD BOTH SIDES 38 X 89 (2 X 4) BOTTOM PLATE 2- 38 X 89 (2 X 4) TOP PLATE & TRIPLE STUDS AT CORNERS

- 6 INTERIOR STUD PARTITION (FOR 2 STOREYS)**

- 38 X (2 X 4) @ 400mm (16") OR 38 X 89 (2 X 4) @ 300mm (12") O/C FOR 3 STOREYS WITH 12.7mm (1/2") GYPSUM WALLBOARD BOTH SIDES
- 38 X 89 (2 X 4) BOTTOM PLATE 2- 38 X 89 (2 X 4) TOP PLATE & TRIPLE STUDS AT CORNERS
- 38 X 89 (2 X 4) INTERMEDIATE BLOCKING OR 38 X 140 (2 X 6) CONSTRUCTION TO COMPLY AS INDICATED ON DRAWINGS

- 7 BEARING PARTITION (BASEMENT)**

- 38 X (2 X 4) @ 400mm (16") FOR 2 STOREYS
- 38 X 89 (2 X 4) SILL ON DAMPPROOFING MATERIAL 12.7mm (1/2") DIA ANCHOR BOLTS 200mm (8") LONG EMBEDDED MIN. 100mm (4") INTO CONC. @ 2400mm (7'-10") O/C ON 100 mm (4") HIGH CONC. CURB ON 350 X 150 (13 3/4" X 6") POURED CONC.FOOTING ON UNDISTURBED SOIL
- 2- 38 X 89 (2 X 4) TOP PLATES
- 38 X 89 (2 X 4) INTERMEDIATE BLOCKING OR 38 X 140 (2 X 6) CONSTRUCTION TO COMPLY AS INDICATED ON DRAWINGS

- 8 BEARING PARTITION (FIRST FLOOR)**

- 38 X (2 X 4) @ 400mm (16") O/C
- 38 X 89 (2 X 4) SILL PLATE
- 2- 38 X 89 (2 X 4) TOP PLATES
- 38 X 89 (2 X 4) INTERMEDIATE BLOCKING OR 38 X 140 (2 X 6) CONSTRUCTION TO COMPLY AS INDICATED ON THE DRAWINGS

- 9 PARTY WALL CONSTRUCTION (BLOCK WALL)**

- 12.7mm (1/2") GYP. WALL BOARD TAPED JOINTS ON 19 X 64 (1 X 3) WOOD SPACERS @ 400 mm (16") O/C ON EACH SIDE
- 200mm (8") HOLLOW CONC. BLOCK OF NORMAL WEIGHT AGGREGATE
- MINIMUM 1 HOUR F.R.R. CONT. FROM T/O FDN WALL TO U/S OF ROOF SHEATHING
- 2 STOREY BLOCK PARTY TO BE 200mm (8") POURED CONC. OR 200mm (8") CONC. BLOCK FDN WALL ON A MIN. 610mm x 250mm (24 X 10) POURED CONC. FOOTING ON UNDISTURBED SOIL. (SIZE OF FOOTING TO SOIL ENGINEER AS PER SOIL CONDITION AND SUPPORTED JOIST LENGTH)

- 10 PARTY WALL CONSTRUCTION (WOOD FRAME WALL)**

- 12.7mm (1/2") GYP. WALL BOARD TAPED JOINTS ON RESIL. METAL CHANNELS ON EACH SIDE
- 2 ROWS 38 X 89 (2 X 4) WOOD STUDS @ 300mm (12") WITH 2 ROWS OF LATERAL SUPPORT OF WALLS 2460mm (8'-1") IN HEIGHT SINGLE BOTTOM PLATE AND TOP DOUBLE PLATE
- SOUND ATTENUATION BATTS MIN. 1.2kg/m.sq. (0.25 lbs/ sq.feet) MINERAL WOOL
- 25mm (1") AIR SPACE BETWEEN ROWS OF STUDS CONT. FROM T/O TO FDN WALL TO U/S OF ROOF SHEATHING
- 2 STOREY BLOCK PARTY TO BE 200mm (8") POURED CONC. OR 200mm (8") CONC. BLOCK FDN WALL ON A MIN. 610mm x 250mm (24 X 10) POURED CONC. FOOTING ON UNDISTURBED SOIL. (SIZE OF FOOTING TO SOIL ENGINEER AS PER SOIL CONDITION AND SUPPORTED JOIST LENGTH)

- 11 ROOF CONSTRUCTION**

- 10.25 kg/sq.m (NO. 210) ASPHALT SHINGLES
- TYPE "S" ROLL ROOFING FROM EDGE OF ROOF EXTENDING A MIN. DISTANCE OF 900mm (2'-11") UP TO ROOF SLOPE TO A LINE NOT LESS THAN 300mm (12") PAST THE INSIDE FACE OF THE EXTERIOR WALL
- 10mm (3/8") PLYWOOD SHEATHING WITH "H" CLIPS
- APPROVED WOOD TRUSSES @ 600mm(24") O/C
- 38 X 89 (2 X 4) TRUSS BRACING AS PER TRUSS CERTIFICATE @ 1830mm (6'-0" O/C BOTTOM CHORD FOR ROOF SLOPES 4:12 OR GREATER
- ALUMINUM EAVES TROUGH ON ALUMINUM FASCIA AND ALUMINUM VENTED SOFFIT
- ATTIC VENTILATION 1:300 OF INSULATED CEILING AREA WITH 50% AT EAVES

ROOF RAFTERS (WHERE NO CEILING IS INSTALLED)	
MAXIMUM CLEAR SPAN	
RAFTER SIZE	RAFTER SPACING
	16" O.C.
2 X 4	9'-3"
2 X 6	14'-7"
2 X 8	19'-2"
ROOF SNOW LOAD 31 PSF	
RAFTER SIZE	RAFTER SPACING
	16" O.C.
2 X 4	8'-1"
2 X 6	12'-9"
2 X 8	16'-9"

ROOF JOISTS (WHERE CEILING IS INSTALLED)	
MAXIMUM CLEAR SPAN	
JOIST SIZE	JOIST SPACING
	16" O.C.
2 X 4	7'-4"
2 X 6	11'-6"
2 X 8	15'-2"
ROOF SNOW LOAD 31 PSF	
JOIST SIZE	JOIST SPACING
	16" O.C.
2 X 4	6'-5"
2 X 6	10'-2"
2 X 8	13'-3"

CONVENTIONAL ROOF FRAMING
- 38 X 140 (2 X 6) RAFTERS @ 400mm (1'-4") O/C & 38 X 184 (2 X 8) RIDGE BOARD C/W
38 X 89 (2 X 4) COLLAR TIES @ MID SPAN, CEILING

- 12 ROOF INSULATION**

PROVIDE R-60 ROOF INSULATION 0.15mm (0.006") AIR/VAPOUR BARRIER CONFORMING TO SUBSECTION 9.25.2 & 9.25.3 OF THE O.B.C. MIN. 15.9mm (5/8") GYP. WALL BOARD OR APPROVED EQUAL.

- 13 EXPOSED FLOOR AND EXTERIOR**

PROVIDE (R-24) INSULATION 0.15mm (0.006") VAPOUR BARRIER / CONTINUOUS AIR BARRIER AND FINISHED SOFFIT

- 14 SUBFLOOR, JOISTS STRAPPING AND BRIDGING**

FINISHED FLOOR ON 15.9mm (5/8") T & G SUB-FLOOR ON WOOD FLOOR JOISTS FOR CERAMIC TILE APPLICATION (SEE O.B.C. 9.30.6)
8mm (1/4") PANEL TYPE UNDERLAY UNDER RESILIENT AND PARQUET FLOORING (SEE O.B.C. 9.23.9.4) ALL JOISTS BRIDGED WITH 38 X 38mm (2 X 2) CROSS BRACING AT 2100mm (6'-11") O/C MAX. UNLESS PANEL TYPE CEILING FINISH IS APPLIED

- 15 BASEMENT SLAB**

100mm (4") 15 MPa. (2200P.S.I.) CONCRETE SLAB ON 0.15mm (0.006") DAMP PROOFING AND 127mm (5") CRUSHED STONE. PROVIDE R-10 2" THICK RIGID INSULATION UNDER SLAB WHENEVER IT IS HEATED

- 16 GARAGE SLAB**

- 100mm (4") 32 MPa. (4650P.S.I.) CONCRETE SLAB AT 28 DAYS WITH 5-8% AIR ENT. ON 100mm (4") CRUSHED STONE (SEE 9.3.1.6 OF THE O.B.C.).
- REINFORCED W/2.9 X W2.9 (6 X 6) WIRE MESH LOCATED NEAR THE MID DEPTH OF SLAB
- ANY FILL PLACED BENEATH THE SLAB, OTHER THAN COARSE CLEAN GRANULAR FILL, SHALL BE COMPACTED AT NOT LESS THAN 95% PROCTOR
- SLOPE TO FRONT AT 1% MINIMUM

- 17 GARAGE WALLS & CEILINGS**

- 12.7mm (1/2") GYPSUM WALL BOARD ON WALLS AND CEILINGS BETWEEN HOUSE AND GARAGE
- R-22 INSULATION IN WALLS
- R-22 INSULATION IN 38 X 140 (2 X 6) WALLS

- 18 DOOR (BETWEEN GARAGE AND DWELLING UNIT)**

- R-31 INSULATION IN CEILINGS
- 0.15mm (0.006") AIR/VAPOUR BARRIER CONFORMING TO CAN/CGSB 5134-M SUBSECTION 9.25.3 AND 9.25.4 OF THE O.B.C. ON WARM SIDE OF INSULATION ALL JOINTS OF GYPSUM WALL BOARD TO BE TAPED AND SEALED GAS TIGHT.

- 19 BASEMENT INSULATION AND STRAPPING**

- R-10 CONT. RIGID INSULATION AGAINST FOUNDATION WALL HELD IN PLACE WITH 2 X 4 STUDS AT 16" O.C. AND R-12 INSULATING BATTS IN BETWEEN STUDS
- AIR/VAPOUR BARRIER CONFORMING TO SUBSECTION 9.25.3 AND 9.25.4 OF THE O.B.C.
- RIGID INSULATION SHALL BE INSTALLED FROM CONC.S LAB AND UP TO UNDERSIDE OF FLOOR JOISTS
- DAMP PROOFING BETWEEN FOUNDATION WALL AND INSULATION WITH 0.7 kg/ sq.m. (NO.15) BUILDING PAPER

- 20 ANCHOR BOLTS**

- 38 X 89 (2 X 4) SILL PLATE WITH 12.7mm (1/2") DIAMETER ANCHOR BOLTS 200mm (8") LONG MIN. EMBEDDED 100mm (4") INTO CONC. AT 2400mm (7'-10") O/C

- 21A U/LC CLASS-B VENT**

- 610mm (2'-0") ABOVE POINT OF CONTACT WITH ROOF SLOPES UP TO 8:12
- DIRECT VENT FURNACE TERMINAL MIN. 900mm (2'-11") FROM A GAS REGULATOR AND MIN. 300mm (12") ABOVE FINISHED GRADE FROM ALL OPENINGS, EXHAUST AND INTAKE VENTS H.R.V. INTAKE TO BE MIN. 1830mm (6'-0") FROM ALL EXHAUST TERMINALS. REFER TO GAS UTILIZATION CODE

- 21B CHIMNEY**

- CHIMNEYS AND FLUES TO CONFORM TO SECTION 9.21 OF THE O.B.C.
- CHEMNEYS TO BW 915mm (3'-0") ABOVE ROOF AND NOT LESS THAN 610mm (2'-0") ABOVE THE HIGHEST ROOF STRUCTURE WITHIN 3050 (10'-0") OF CHIMNEY SUPPORT METAL CHIMNEYS LATERALLY AT 2030mm (6'-8") VERTICALLY
- CHIMNEY CAPS TO HAVE A MINIMUM OF 25mm (1") PROJECTION
- PROVIDE CHIMNEY SADDLE WITH FLASHING IF CHIMNEY WIDTH IS GREATER THAN 600mm (2'-0") CLAY FLUE LINERS 15.9mm (5/8") THICK EXTEND LINERS FROM 200mm (7 7/8") BELOW BREACHING OPENING OR FROM TOP OF SMOKE CHAMBER TO NOT LESS THAN 50mm (2") OR MORE THAN 100mm (4") ABOVE CHIMNEY CAP
- MASONRY FIREPLACE CONSTRUCTION TO COMPLY WITH SECTION 9.22 OF THE O.B.C.

- 22 METAL FLASHING**

- 0.33mm (0.013") GALVANIZED PAINTED STEEL
- 100mm (4") UNDER WALL SHEATHING AND SHINGLES
- 150mm (6") UP BRICK FACE INTO REGLET

- 23 WEEPING TILE**

- 100mm (4") DIAMETER WEEPING TILE 150mm (6") CRUSHED STONE OVER AND AROUND ALL FOOTINGS, INCLUDING GARAGE FOOTINGS

- 24 EXTERIOR CONCRETE STEPS**

- EXTERIOR CONCRETE STEPS TO CONFORM WITH ARTICLE 9.8.7.1 OF THE O.B.C.

- 25 WOOD SHUTTERS**

- WOOD SHUTTERS TO BE 305mm (12") WIDE

- 26A STRAPPING**

- 19 X 64mm (1 X 3) CONTINUOUS WOOD STRAPPING BOTH SIDES OF STEEL BEAM

- 26B STEEL PIPE COLUMN**

- STEEL PIPE COLUMN SEE O.B.C. 9.15.3.3 FOR FOOTING SIZE.
- 90mm (3 1/2") DIAMETER WITH A WALL THICKNESS OF 4.76mm (3/16") NON ADJUST. ST. COL. WITH 150 X 150 X 95mm (6 X 6 X 3/8") STEEL TOP AND BOTTOM PLATE. BASE PLATE 100 X 250 X 12.7mm (4" X 10" X 1/2") WITH 2-12.7mm DIA. X 300 mm LONG X 50mm (2-1/2" DIA. X 12" LONG X 2") HOOK HANGERS FIELD WELD COLUMN TO BASE PLATE ON
- 870 X 870 X 410mm (34" X 34" X 16") POURED CONCRETE FOOTING ON UNDISTURBED SOIL OR ENG. FILL CAPABLE OF SUSTAINING A PRESSURE OF 125 KPa. (18.13 P.S.I.) MIN. AS PER SOIL REPORT.

- 27 ADJUSTABLE STEEL PIPE COLUMN**

- STEEL PIPE COLUMN SEE O.B.C. 9.15.3.3 FOR FOOTING SIZE.
- 3 1/2" DIAMETER WITH A WALL THICKNESS OF 4.76mm (3/16") ADJUST. ST. COL. WITH 150 X 150 X 95mm (6 X 6 X 3/8") STEEL TOP AND BOTTOM PLATE. BASE PLATE 100 X 250 X 12.7mm (4" X 10" X 1/2") WITH 2-12.7mm DIA. X 300 mm LONG X 50mm (2-1/2" DIA. X 12" LONG X 2") HOOK HANGERS FIELD WELD COLUMN TO BASE PLATE ON
- 1067 X 1067 X 457mm (42" X 42" X 18") POURED CONCRETE FOOTING ON UNDISTURBED SOIL OR ENG. FILL CAPABLE OF SUSTAINING A PRESSURE OF 125 KPa. (18.13 P.S.I.) MIN. AS PER SOIL REPORT

- 28 STEEL PIPE COLUMN**

- STEEL PIPE COLUMN SEE O.B.C. 9.15.3.3 FOR FOOTING SIZE.
- 4" X 4" SQUARE WITH A WALL THICKNESS OF 3/16" STEEL COLUMN WITH 6 X 6 X 3/8" STEEL TOP AND BOTTOM PLATE
- BASE PLATE 4" X 10" X 1/2" WITH 2-12.7mm DIA. X 300mm LONG X 50mm (2-1/2" DIA. X 12" LONG X 2") HOOK HANGERS FIELD WELD COLUMN TO BASE PLATE ON FOUNDATION WALL

- 29 ATTIC ACCESS HATCH**

- ATTIC HATCH TO BE WEATHER STRIPPED MIN. 510 X 710mm (20" X 28") AND BACKED WITH R-60 RIGID INSULATION

- 30 - CAPPED RANGE HOOD VENT WITH BIRD SCREEN**

- 31 - CAPPED DRYER VENT. WITH BIRD SCREEN**

- 32 MAIN STAIRS AND EXTERIOR STAIRS**

TO HAVE UNIFORM TREADS AND RISERS (SEE 9.8.2 & 9.8.4. OF THE O.B.C.

-MAX. RISE-----200 (7 7/8")
-MAX. RUN-----355 (14")
-MAX. TREAD WIDTH-----355 (14")

-MIN. RISER-----125 (4 7/8")
-MIN. RUN-----254 (10")
-MIN. TREAD-----255 (9 1/4")
-MAX. NOSING-----25 (1")
-MIN. HEADRM (INT. STAIRS)-----1950 (6'-5")
-MIN. HEADRM (EXT. STAIRS)-----2050 (6'-9")

-HANDRAIL @ LANDING-----1070 (3'-6") MAX.
-HANDRAIL @ LANDING-----800 (2'-7") MIN.
-HANDRAIL @ STAIRS/RAMP-----965 (3'-2") MAX.
-HANDRAIL @ STAIRS/RAMP-----700 (2'-10") MIN.
-MIN. STAIRS WIDTH-----900 (3'-0")

- FOR CURVED STAIRS**

-MIN RUN-----150 (6")
-MIN AVG. RUN-----200 (8")

- 33 GUARD RAIL**

- OPENINGS THROUGH A GUARD OF AN BALCONY, AN EXIT STAIRS, STAIRS, LANDINGS AND THE FLOOR LEVEL AROUND A STAIRS WELL IN A DWELLING UNIT SHALL BE OF A SIZE SO AS TO PREVENT THE PASSAGE OF A SPHERICAL OBJECT HAVING A DIAMETER OF 100mm (4") IN RESIDENTIAL OCCUPANCIES AND A MINIMUM OF 200mm (8") IN OTHER OCCUPANCIES

- 34 LINEN CLOSET**

- LINEN CLOSET SHALL HAVE 4 SHELVES MIN.330mm (14") DEEP

- 35 - CLOTHES CLOSET TO BE PROVIDED WITH A HANGING ROD AND 330mm (12") OF SHELF ABOVE**

- 36 - MECHANICAL EXHAUST FAN - VENTED TO EXTERIOR TO PROVIDE A MINIMUM OF ONE AIR CHANGE PER HOUR AND SHALL CONFORM TO 9.32.5 OF THE O.B.C.**

- 37 - DIRECT VENT GAS FIRE PLACE VENT TO BE MIN. 300mm (12") FROM ANY OPENING ABOVE FIN. GRADE REFER TO GAS UTILIZATION CODE**

- 38 - CLEARANCE FIREPLACE CONSTRUCTION TO COMPLY WITH MANUFACTURERS SPECIFICATIONS.**

- 38B STEEL BEARING PLATE FOR MASONRY WALLS**

- 280 X 280 X 16mm (11" x 11" x 5/8") STEEL PLATE FOR STEEL BEAMS
- 280 X 280 X 12mm (11" X 11" X 1/2") STEEL PLATE FOR WOOD BEAMS BEARING ON CONCRETE BLOCK PARTY WALL ANCHORED WITH 2-19 X 200mm (2-3/4" X 8") LONG GALVANIZED ANCHORS WITH SOLID BLOCK COURSE LEVEL WITH NON SHRINK GROUT OR SOLID WOOD BEARING FOR WOOD STUD WALLS
- SOLID BEARING TO BE AS WIDE AS THE SUPPORTED MEMBER. SOLID WOOD BEARING COMPRISED OF BUILT UP WOOD STUDS TO BE CONSTRUCTED IN ACCORDANCE WITH O.B.C. 9.17.4.2. (2.)



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Drawing Title	GENERAL NOTES	Drawn by	I.S	Checked by	M.M	Scale	AS SHOWN	Project No.	2215-689	Sheet No.	13 OF 14
Project	RESIDENTIAL - 2 UNITS										
72 HOLMES AVE, HAMILTON ONTARIO											

Plot Date	SEPT 15, 2023
Revised	JUNE 13, 2024
Drawing No.	A-13

39 SMOKE ALARMS
 - SMOKE ALARMS CONFORMING TO CAN/ULC-S531
 "SMOKE ALARMS" SHALL BE INSTALLED ON OR NEAR
 THE CEILING ON EACH STOREY OF A DWELLING UNIT
 INCLUDING BASEMENTS 900MM (36") OR MORE ABOVE
 AN ADJACENT LEVEL (SEE SECTION 9.10.19. OF THE
 O.B.C.)
 A SMOKE ALARM IS INSTALLED:
 - IN EACH SLEEPING ROOM, AND
 - IN A LOCATION BETWEEN THE SLEEPING ROOMS
 AND THE REMAINDER OF THE STOREY, AND IF THE
 SLEEPING ROOMS ARE SERVED BY A HALLWAY, THE
 SMOKE ALARM SHALL BE LOCATED IN THE HALLWAY.
 - SMOKE ALARMS SHALL BE INTERCONNECTED &
 LOCATED SUCH THAT ONE IS WITHIN 5M OF EVERY
 ROOM DOOR AND NO MORE THAN 15M TRAVEL
 DISTANCE FROM ANY POINT OF THE FLOOR.
 -SMOKE ALARMS SHALL HAVE A VISUAL SIGNALING
 COMPONENT CONFIRMING TO THE REQUIREMENT IN
 18.5.3. (TYPICAL)

40 CARBON MONOXIDE DETECTORS
 - INSTALL A CARBON MONOXIDE DETECTOR
 CONFORMING TO CAN/CSA-6.19. "RESIDENTIAL
 CARBON MONOXIDE ALARMING DEVICES" OR UL 2034.
 "SINGLE AND MULTIPLE STATION CARBON MONOXIDE
 ALARMS" ADJACENT TO EVERY SLEEPING AREA FOR
 DWELLINGS WITH FUEL BURNING FIREPLACE OR
 STOVE, OR AN ATTACHED GARAGE (SEE SECTION
 9.33.4. OF THE O.B.C.)

41 PORCH SLAB CONSTRUCTION (O.B.C. 9.40.)
 - FOR MAX. 2500mm (8'-2") PORCH DEPTH, 130mm (5")
 32 KPa (4650 PSI) CONC. SLB WITH 5 - 8% AIR
 ENTRAINMENT REINFORCED WITH 10M BARS @
 200mm (8") O/C EACH WAY ON CENTERS OF SLAB
 (MIN. 1 3/4" CONC. COVER FROM THE BOTTOM OF
 THE SLAB TO THE FIRST LAYER OF BARS) C/W
 600 X600 (23 5/8" X 23 5/8") 10M DOWELS @ 600mm
 (23 5/8") O/C ANCHORED INTO THE PERIMETER
 FOUNDATION WALLS (SLAB TO BEAR NOT LESS
 THAN 75mm (3") ONTO SUPPORTING FOUNDATION
 WALLS - SLOPE SLAB MIN. 1% FROM DOOR

42 STRUCTURAL STEEL
 1- STRUCTURAL STEEL SHALL CONFORM TO
 CAN/CSA-G40-21 GRADE 300W HOLLOW STRUCTURAL
 SECTION SHALL CONFORM TO CAN/CSA-G40-21
 GRADE 350W CLASS"H"
 2- REINFORCING STEEL SHALL CONFORM TO
 CSA-G30-18M GRADE 400-R

43 STEEL LINTELS SPANS
 MAXIMUM SPANS FOR STEEL LINTELS SUPPORTING
 MASONRY VENEER USE:
 1- MAX. 2.47 M (8'-1") USE 90 X 90 X 6 (3 1/2" X 3 1/2" X 1/4")
 2- MAX. 2.66 M (8'-9") USE 100 X 90 X 6 (4" X 3 1/2" X 1/4")
 3- MAX. 3.30 M (10'-10") USE 125 X 90 X 8 (4 7/8" X 3 1/2" X 5/16")
 4- MAX. 3.48 M (11'-5") USE 125 X 90 X 10 (4 7/8" X 3 1/2" X 3/8")
 STEEL LINTELS MUST HAVE EVEN AND LEVEL BEARING AND
 MUST BE SUPPORTED BY AT LEAST 150mm (6") AT EACH END.
 MASONRY ARCHES (JACK, SEGMENTAL, AND ROMAN)CAN BE
 DESIGNED AND CONSTRUCTED TO SUPPORT MASONRY
 VENEER OVER OPENINGS (SEE ELEVATIONS FOR TYPES)

44 DOOR SCHEDULE
 - EXTERIOR DOORS TO HAVE A THERMAL RESISTANCE
 OF R-4 OR WITH STORM DOOR SLIDING
 DOORS TO HAVE A THERMAL RESISTANCE OF R-1.7
 - GLASS IN SIDE LIGHTS GREATER THAN 500mm
 (19 3/4") STORM DOORS IN SLIDING PATIO DOOR AND
 IN SHOWER DOORS TO BE OF SAFETY GLASS
 - DOOR TO BE RESISTANT TO FORCED ENTRY IN
 CONFORMANCE TO SUBSECTION 9.6.8. OF THE O.B.C.

DOOR SCHEDULE: DOOR IDENTIFICATION

	METRIC	IMPERIAL	
1.	814 X 2030 X 45	2'-8" X 6'-8" X 1 3/4"	INSUL. DR RSI 0.7 (R4)
2.	884 X 2030 X 45	2'-10" X 6'-8" X 1 3/4"	INSUL. DR RSI 0.7 (R4)
3.	915 X 2030 X 45	3'-0" X 6'-8" X 1 3/4"	INSUL. DR RSI 0.7 (R4)
4.	814 X 2030 X 45	2'-8" X 6'-8" X 1 3/4"	INSUL. DR RSI 0.7 (R4)
5.	814 X 2030 X 45	2'-8" X 6'-8" X 1 3/4"	SOLID CORE DOOR
6.	804 X 2030 X 45	2'-7" X 6'-8" X 1 3/8"	SLAB DOOR
7.	810 X 2030 X 45	2'-7" X 6'-8" X 1 3/8"	SLAB DOOR
8.	860 X 2030 X 45	2'-10" X 6'-8" X 1 3/8"	SLAB DOOR
9.	710 X 2030 X 45	2'-4" X 6'-8" X 1 3/8"	SLAB DOOR
10.	760 X 2030 X 45	2'-6" X 6'-8" X 1 3/8"	SLAB DOOR
11.	814 X 2030 X 45	2'-8" X 6'-8" X 1 3/8"	SLAB DOOR
12.	864 X 2030 X 45	2'-10" X 6'-8" X 1 3/8"	SLAB DOOR
13.	814 X 2030 X 45	2'-8" X 6'-8" X 1 3/8"	SLAB DOOR
14.	810 X 2030 X 35	2'-7" X 6'-8" X 1 3/8"	SLAB BI-FOLD DOOR
15.	760 X 2030 X 35	2'-6" X 6'-8" X 1 3/8"	SLAB BI-FOLD DOOR
16.	2-760 X 2030 X 35	2-2'-6" X 6'-8" X 1 3/8"	SLAB BI-FOLD DOOR
17.	814 X 2030 X 35	2'-8" X 6'-8" X 1 3/8"	SLAB BI-FOLD DOOR
18.	2-914 X 2030 X 35	2-3'-0" X 6'-8" X 1 3/8"	SLAB BI-FOLD DOOR
19.	1220 X 2030 X 35	4'-0" X 6'-8" X 1 3/8"	SLAB BI-FOLD DOOR
20.	2-1220 X 2030 X 35	2-4'-0" X 6'-8" X 1 3/8"	SLAB BI-FOLD DOOR
21.	408 X 2030 X 35	1'-4" X 6'-8" X 1 3/8"	SLAB DOOR
22.	2-610 X 2030 X 35	2-2'-0" X 6'-8" X 1 3/8"	SLIDERS
23.	2-864 X 2030 X 35	2-2'-10" X 6'-8" X 1 3/8"	INSULATED DOOR
24.		MIRRORED SLIDERS	

45 LINTEL SCHEDULE

	IMPERIAL	METRIC	
W1	2-38 X 140	2-2" X 6"	SPRUCE NO.2
W2	2-38 X 184	2-2" X 8"	SPRUCE NO.2
W3	2-38 X 235	2-2" X 10"	SPRUCE NO.2
W4	2-38 X 286	2-2" X 12"	SPRUCE NO.2
BUILT UP BEAMS			
B1	3-38 X 140	3-2" X 6"	SPRUCE NO.2
B2	3-38 X 184	3-2" X 8"	SPRUCE NO.2
B3	3-38 X 235	3-2" X 10"	SPRUCE NO.2
B4	3-38 X 286	3-2" X 12"	SPRUCE NO.2
B5	4-38 X 140	4-2" X 6"	SPRUCE NO.2
B6	4-38 X 184	4-2" X 8"	SPRUCE NO.2
B7	4-38 X 235	4-2" X 10"	SPRUCE NO.2
B8	4-38 X 286	4-2" X 12"	SPRUCE NO.2

46 STEEL LINTELS

	METRIC	IMPERIAL
L1	90 X 90 X 6.0	3 1/2" X 3 1/2" X 1/4"
L2	90 X 90 X 8.0	3 1/2" X 3 1/2" X 5/16"
L3	100 X 90 X 8.0	4" X 3 1/2" X 5/16"
L4	125 X 90.0	5" X 3 1/2" X 5/16"
L5	125 X 125 X 8.0	5" X 5" X 5/16"
L6	125 X 100 X 10.0	5" X 4" X 3/8"
L7	150 X 100 X 10.0	6" X 4" X 3/8"

LAMINATED VENEER LUMBER (LVL) BEAMS

	METRIC	IMPERIAL
LVL1	1 - 45 X 241	1- 1 3/4" X 9 1/2"
LVL2	2 - 45 X 241	2- 1 3/4" X 9 1/2"
LVL3	3 - 45 X 241	3- 1 3/4" X 9 1/2"
LVL4	4 - 45 X 241	4- 1 3/4" X 9 1/2"
LVL5	1 - 45 X 302	1- 1 3/4" X 11 7/8"
LVL6	2 - 45 X 302	2- 1 3/4" X 11 7/8"
LVL7	3 - 45 X 302	3- 1 3/4" X 11 7/8"
LVL8	4 - 45 X 302	4- 1 3/4" X 11 7/8"

LUMBER

1- ALL FRAMING LUMBER TO BE SPRUCE
 NO.1 GRADE UNLESS NOTED OTHERWISE
 2- END BEARING JOISTS - 38mm (1 1/2")
 BEAMS - 89mm (3 1/2")
 3- LATERAL SUPPORT FOR WALLS PARALLEL TO
 JOISTS. METAL ANCHORS 38 X 5mm (1 1/2" X 3/16") A7
 2030mm (6'-8") SPACING BENT INTO MASONRY 80mm
 (3") AND EXTEND OVER 3 PARALLEL JOISTS
 4- JOISTS HANGERS: PROVIDE METAL HANGERS FOR
 ALL JOISTS AND BUILT-UP WOOD MEMBERS
 INTERCEPTING FLUSH BUILT-UP WOOD MEMBERS
 5- ALL LAMINATED VENEER LUMBER (LVL) BEAMS,
 GIRDERS TRUSSES AND METAL HANGER
 CONNECTIONS SUPPORTING ROOF FRAMING TO BE
 DESIGNED & CERTIFIED BY A TRUSS MANUFACTURER.
 6- LUMBER EXPOSED TO EXTERIOR TO BE SPRUCE
 NO.1 GRADE PRESSURE TREATED OR CEDAR UNLESS
 OTHERWISE NOTED
 7- LVL BEAMS SHALL BE 2.0E WS MICRO-LAM (fb=
 2800PSI MIN.) OR EQUIVALENT. NAIL EACH PLY WITH
 89mm 3 1/2" COMMON NAILS @ 300 mm (12") O/C
 STAGGERED IN 2-ROWS FOR 235, 286 AND 302mm (9
 1/2", 11 1/4" & 11 7/8") DEPTHS AND STAGGERED IN 3
 ROWS FOR GREATER DEPTHS & FOR 4 PLY MEMBERS
 ADD 13 (1/2") DIA GALV. BOLTS AT MID DEPTH OF
 BEAM @ 915 mm (36") O/C
 8- WOOD FRAMING MEMBERS THAT ARE NOT
 TREATED WITH A WOOD PRESERVATIVE AND ARE IN
 CONTACT WITH CONCRETE THAT IS LESS THAN
 150mm (6") ABOVE GROUND OR SLAB, PROVIDE
 0.15mm (0.006") POLYETHYLENE FILM OR NO. 50
 (45LBS) ROLL ROOFING DAMP PROOFING BETWEEN
 WOOD AND CONCRETE

FLOOR JOISTS

JOIST SIZE	1 X 3 STRAPPING OR DRYWALL CEILING		
	JOIST SPACING		
	12" O.C.	16" O.C.	24" O.C.
2 X 4	8'-1"	5'-7"	5'-2"
2 X 6	9'-6"	8'-10"	8'-2"
2 X 8	11'-7"	11'-0"	10'-6"
2 X 10	13'-8"	12'-11"	12'-4"
2 X 12	15'-7"	14'-9"	14'-1"

JOIST SIZE

JOIST SIZE	2 X 2 BRIDGING		
	JOIST SPACING		
	12" O.C.	16" O.C.	24" O.C.
2 X 4	8'-6"	5'-11"	5'-2"
2 X 6	10'-3"	9'-4"	8'-2"
2 X 8	12'-6"	11'-9"	10'-8"
2 X 10	14'-6"	13'-8"	12'-10"
2 X 12	16'-5"	15'-5"	14'-6"

JOIST SIZE

JOIST SIZE	BOTH STRAPPING AND BRIDGING		
	JOIST SPACING		
	12" O.C.	16" O.C.	24" O.C.
2 X 4	8'-6"	5'-11"	5'-2"
2 X 6	10'-3"	9'-4"	8'-2"
2 X 8	13'-1"	12'-2"	10'-8"
2 X 10	15'-1"	14'-0"	13'-1"
2 X 12	16'-5"	15'-9"	14'-8"

JOIST SIZE

JOIST SIZE	1 1/2" - 2" CONCRETE TOPPING		
	JOIST SPACING		
	12" O.C.	16" O.C.	24" O.C.
2 X 4	8'-6"	5'-11"	5'-2"
2 X 6	10'-3"	9'-4"	8'-2"
2 X 8	13'-6"	12'-3"	10'-8"
2 X 10	17'-3"	15'-8"	13'-6"
2 X 12	20'-5"	19'-0"	15'-8"

47 ALUM RAIN WATER LEADER

ALUMINUM RAIN WATER LEAD TO STORM DRAINAGE
 OR CONCRETE / PVC PAD SPLASH TO FRONT OR
 REAR YARDS.

48 VERIFICATION

VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION.
 REPORT ALL DISCOVERIES OF ERRORS OMISSIONS
 AND/OR DISCREPANCIES TO THE ARCHITECT AND/OR
 DESIGNER CONSULTANT AS APPLICABLE
 USE ONLY LATEST REVISED DRAWINGS OR THOSE
 MARKED "ISSUED FOR CONSTRUCTION".
 DO NOT SCALE DRAWINGS.

49 STEP FOOTING

VERTICAL RISE:
 23 5/8" MAX. FOR FIRM SOILS OR
 15 3/4" MAX. FOR SAND OR GRAVEL
 HORIZONTAL RUN: 23 5/8"

50 CERAMIC TILE

WHEN CERAMIC TILE APPLIED TO A MORTAR BED
 WITH ADHESIVE, THE BED SHALL BE A MIN. OF 1/2"
 THICK AND REINFORCED WITH GALVANIZED DIAMOND
 MESH LATH, APPLIED OVER POLYETHYLENE ON
 SUB-FLOORING ON JOISTS AT NO MORE THAN 12" O.C.
 WITH AT LEAST 2 ROWS CROSS BRIDGING

51 WINDOW SCHEDULE (SEE O.B.C. 9.7.1.3.)

1) EXCEPT WHERE A DOOR ON THE SAME FLOOR
 LEVEL AS THE BEDROOM PROVIDES DIRECT ACCESS
 TO THE EXTERIOR EVERY FLOOR LEVEL CONTAINING
 A BEDROOM IN A SUITE SHALL BE PROVIDED WITH :
 - EACH SUCH WINDOW SHALL PROVIDE INDIVIDUAL
 UNOBSTRUCTED OPEN PORTION HAVING A MIN. AREA
 OF 0.35 sq.m (3.9 sq.ft) WITH NO DIMENSION LESS THAN
 380mm (15")
 2) EXCEPT FOR BASEMENTS AREAS, THE WINDOW
 DESCRIBED IN SENTENCE (1) SHALL HAVE A MAX.SILL
 HEIGHT OF 1000mm (3'-3") ABOVE THE FLOOR

56 STUCCO FINISH

TO BE INSTALLED AS PER MANUFACTURER'S SPECS.
 AND O.B.C. 9.28. STUCCO.
 DUROCK POLYSTYRENE SYSTEM BY DUROCK OR
 APPROVED EQUAL.

1- APPLY FIBRE MESH STARTER STRIPS TO THE
 BOTTOM OF THE SUBSTRATE (8" ABOVE GRADE) WITH
 DUROCK PREP. COAT. APPLY SAME AROUND WINDOW
 AND DOOR OPENINGS.
 2- APPLY DUROCK POLYSTYRENE INSUL. BD. (1.5"
 THICKNESS R-7 VALUE) WITH DUROCK PREP. COAT
 (SPECIAL DUROCK FASTENERS MAY BE REQUIRED ON
 SOME SUBSTRATES) THE INSUL. BD. MUST BE
 APPLIED IN STAGGERED FASHION, SIMILAR TO BRICK
 AND BLOCK.
 3- APPLY DUROCK PREP. COAT TO INSUL. AND IMBED
 THE FIBRE MESH INTO THIS WET EMULSION.
 4- APPLY AN ADDITIONAL COAT OF DUROCK PREP.
 COAT TO ACHIEVE A SMOOTH SURFACE.
 5- SOME FINISHES REQUIRE A DUROCK BASE COAT
 (SAME COLOUR AS FINISH) TO BE APPLIED AS
 PRIMER.
 6- APPLY ONE OF THE DUROCK FINISH COATS (GRAIN,
 VENETIAN, PEBBLE, MARBLE OR SPRAY) WITH THE
 COLOUR OF YOUR CHOICE.

57 FLAT ROOF CONSTRUCTION

BUILT-UP 4-PLY TAR AND GRAVEL ROOF DRAINED TO
 ROOF DRAINS OR SCUPPERS, BUILT IN ACCORDANCE
 TO SUBSECTION 9.27.11 OBC

TYPICAL NOTES

1- GUARDS AROUND EXTERIOR BALCONIES, PORCHES,
 AND DECKS SHALL BE DESIGNED/ INSTALLED SO
 THAT NO MEMBER, ATTACHMENT OR OPENING
 LOCATED BETWEEN 100mm (4") and 900MM (2'-11")
 ABOVE THE FLOOR OF THE BALCONY, PORCH OR
 DECK WILL FACILITATE CLIMBING.
 OPENINGS THROUGH ANY GUARD SHALL BE OF SIZE
 WHICH WILL PREVENT THE PASSAGE OF A SPHERICAL
 OBJECT HAVING A DIAMETER OF NOT MORE
 THAN 100 mm (4")
 O.B.C. 4.1.10.1. THE MINIMUM SPECIFIED LOAD
 APPLIED HORIZONTALLY AND NORMAL TO THE SPAN
 AT THE TOP OF EVERY REQUIRED GUARD SHALL BE:
 A) 40 lb/ft. FOR EXTERIOR BALCONIES OF
 INDIVIDUAL RESIDENTIAL UNITS AND A
 CONCENTRATED LOAD OF 200 lb APPLIED
 CONCURRENTLY.
 B) 100 lb/ft. FOR EXITS AND STAIRS.
 C) 150 lb/ft. FOR LOCATIONS OTHER THAN DESCRIBED
 ABOVE

INDIVIDUAL ELEMENTS WITHIN THE GUARD,
 INCLUDING SOLID PANELS AND PICKETS, SHALL BE
 DESIGNED FOR 20 PSI, OR 100 lb OF CONCENTRATED
 LOAD AT ANY POINT IN THE ELEMENT, WHICH
 RESULTS IN THE MORE CRITICAL LOADING
 CONDITION.
 THE MINIMUM SPECIFIED LOAD APPLIED VERTICALLY
 AT THE TOP OF EVERY REQUIRED GUARD SHALL BE
 100 lb/ft AND NEED NOT BE CONSIDERED TO ACT
 SIMULTANEOUSLY WITH THE HORIZONTAL LOAD.

2- ALL STRUCTURAL STEEL TO CONFORM TO
 CON S 16.1 LATEST ADDITION
 3- ALL H.S.S. SECTION FY-350
 4- FINISH TO STRUCTURAL STEEL
 5- GUARD DESIGN IN COMPLIANCE W/ O.B.C. 4.1.10.1
 6- ALL GUARDS TO BE PRIMED AND PAINTED WITH
 TWO (2) FINISH COATS (CO-ORDINATE COLOUR WITH
 OWNER)
 3- NO WORK SHALL ENCRASH ONTO ADJOINING
 OR ADJACENT PROPERTIES.

4- SMOKE ALARMS SHALL BE INSTALLED ON EACH
 STOREY OF A DWELLING UNIT, INCLUDING
 BASEMENT O.B.C. 9.10.18.2 (1) (A) (B) AND (C).

5- CARBON MONOXIDE DETECTORS: SHALL BE
 INSTALLED ADJACENT TO BEDROOM AREAS.

6- CARBON MONOXIDE DETECTORS: IN EACH ROOM
 THAT CONTAINS A FUEL BURNING APPLIANCE
 PROVIDE A CARBON MONOXIDE DETECTOR ON OR
 NEAR THE CEILING EQUIPPED WITH AN ALARM
 AUDIBLE THROUGHOUT DWELLING UNIT OR
 INTERCONNECT WITH SMOKE ALARM SO THAT
 WHEN THE ACTIVATE THE SMOKE ALARM AS PER
 O.B.C. 9.33.4.1.(1) AND AS PER O.B.C. 9.33.4.2.(1) (2)
 AND (4).

5- EXCAVATION NOTES:
 EXCAVATION AND /OR CONSTRUCTION ON
 ADJACENT PROPERTIES REQUIRES THE CONSENT
 OF AFFECTED PROPERTY OWNER(S).

7- EVERY EXCAVATION SHALL BE UNDERTAKEN IN A
 MANNER AS TO PREVENT MOVEMENT WHICH WOULD
 CAUSE DAMAGE TO ADJACENT PROPERTY, EXISTING
 STRUCTURES, UTILITIES, ROADS AND SIDEWALKS AT ALL
 STAGES OF CONSTRUCTION.

8- MIN. SOIL BEARING CAPACITY 75 KPA. SOIL IS NOT
 PEAT, FILL OR SENSITIVE CLAY. THE DISTANCE BETWEEN
 THE BOTTOM OF FOOTINGS AND THE WATER TABLE IS
 EQUAL TO OR GREATER THAN THE WIDTH OF THE
 FOOTINGS.

9- WHERE THE DEPTH OF EXCAVATION EXCEEDS 4 FEET
 EXCAVATE AT 45 DEGREE ANGLE OR IN ACCORDANCE
 WITH APPROVED SHORING DRAWINGS AND DETAILS.
 STRUCTURE IS NOT LOCATED ON GROUNDS HAVING
 SLOPE STEEPER THAN 1 VERTICAL TO 2 HORIZONTAL.

10- SURFACE DRAINAGE SHALL NOT BE DISCHARGED
 DIRECTLY OR INDIRECTLY ONTO A SIDE WALK,
 DRIVEWAY, STAIRWELL OR AN ADJOINING PROPERTY.



Contractor Must Check And Verify the
 existing Site conditions including All
 Dimensions and report any Discrepancies to
 Consultants before proceeding
 with any Work at the Job Site Do Not Scale
 The Drawings. All Drawings, Specifications
 And Related Documents Are The Copyright
 Of The Architect. And Or Designer And Must
 Be Returned Upon Request. Reproduction
 Of Drawings, Specifications And Related
 Documents In Part Or Whole Is Forbidden
 Without The Architects Written Permission.
 This Drawing Is Not To Be Used For
 Construction Until Signed By The Architect
 and/or Designer.

2659121 Ontario Inc.
Design & Project Managers
 16 Nashville Ave Unit A Toronto, Ontario, M6M 1J1
 Tel: 519-941-8304 Cell: 416-804-7595
 mannymarcos13@gmail.com

Drawing Title
GENERAL NOTES
 Project
RESIDENTIAL - 2 UNITS

72 HOLMES AVE, HAMILTON ONTARIO

Drawn by
 I.S.
 Checked by
 M.M.
 Scale
 AS SHOWN
 Project No.
 2215-689
 Sheet No.
 14 OF 14

Plot Date
 SEPT 15, 2023
 Revised
 JUNE 13, 2024
 Drawing No.
A-14



Mi-Ko Urban Consulting Inc.

• Land Use Planners • Development Consultants
• Project Managers • Design Consultants

16 High St, Etobicoke, Ontario - M8Y 3N8 - Tel: 416-230-6935

By Email Only

To: Committee of Adjustment
71 Main Street West, 5th Floor
Hamilton, Ontario,
L8P 4Y5

Tel: 905-546-2424 ext. 4221
Email cofa@hamilton.ca

Re: 72 Holmes Avenue
HM/A- 24:2

Dear Secretary Treasurer

In regards to the above noted application and on behalf of Mr. Paul Seguro and Ms. Susan Seguro, I am requesting the Committee reschedule the meeting for the same. This application was 'tabled' at the meeting of February 13th, 2024. The primary reason for this tabling was my client had request for 3 'Secondary Units' whereas the Bylaw permits 1 Secondary Unit.

At that time, the City was preparing for new zoning bylaws, 24-051 & 24-052, which would be in keeping with the Governments of Ontario's and Canada's intensification initiatives.

Those bylaws were passed on April 10th, 2024. These bylaws permit up to 3 additional Secondary Units, subject to certain provisions. As I understand, there were 4 appeals. Despite the appeals has nothing to do with my client's property, my client was informed by City staff that, due to the appeals, these bylaws are not in affect.

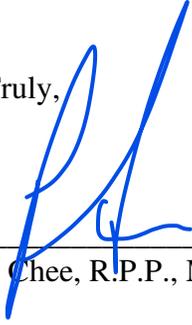
Without going into the merits and appropriateness of that assertion, my clients wish to proceed under the current Zoning Bylaw, namely 6593, for a Single Dwelling with a single Secondary Unit. The variance required to enable this, is as follows:

Variance 1. *The reduction of the required Parking Space from 4 spaces to 1*

It should be noted that this variance is in keeping with the Council enacted but not final and binding, Zoning Bylaws 24-051/24-052, and as such, is in keeping with the 4 tests of a Minor Variance pursuant to 45(1) of the Planning Act. Enclosed is my clients' revised Site Plan and House Drawings.

In closing, it would be appreciated if you can amend the application accordingly and return it to the earliest Committee meeting available. If you have any questions, please do not hesitate to contact me. Thank you.

Yours Truly,

A handwritten signature in blue ink, appearing to be 'PKC', written over a horizontal line.

Peter K. Chee, R.P.P., M.C.I.P.

cc. Client



Committee of Adjustment
 City Hall, 5th Floor,
 71 Main St. W.,
 Hamilton, ON L8P4Y5

Phone: (905) 546-2424 ext. 4221
 Email: cofa@hamilton.ca

APPLICATION FOR A MINOR VARIANCE/PERMISSION
 UNDER SECTION 45 OF THE *PLANNING ACT*

1. APPLICANT INFORMATION

	NAME	[REDACTED]	
Registered Owners(s)	Paul & Susan Seguro		
Applicant(s)	Peter Chee, Miko Urban Consulting Inc.		
Agent or Solicitor		Phone:	
		E-mail:	

1.2 Primary contact Applicant Owner Agent/Solicitor

1.3 Sign should be sent to Applicant Owner Agent/Solicitor

1.4 Request for digital copy of sign Yes* No

If YES, provide email address where sign is to be sent [REDACTED]

1.5 All correspondence may be sent by email Yes* No

If Yes, a valid email must be included for the registered owner(s) AND the Applicant/Agent (if applicable). Only one email address submitted will result in the voiding of this service. This request does not guarantee all correspondence will sent by email.

1.6 Payment type In person Credit over phone* Cheque [REDACTED]

*Must provide number above

2. LOCATION OF SUBJECT LAND

2.1 Complete the applicable sections:

Municipal Address	72 Holmes Avenue		
Assessment Roll Number			
Former Municipality	Hamilton		
Lot		Concession	
Registered Plan Number	516	Lot(s)	74
Reference Plan Number (s)	62R-22177	Part(s)	Parts 1 & 2

2.2 Are there any easements or restrictive covenants affecting the subject land?

Yes No

If YES, describe the easement or covenant and its effect:

A easement with Lot 75 for the purpose of Section 9.10.14.2(4) of the OBC (Limit. Dist.)

3. PURPOSE OF THE APPLICATION

Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled

All dimensions in the application form are to be provided in metric units (millimetres, metres, hectares, etc.)

3.1 Nature and extent of relief applied for:

(See Planning Brief, Attached)

Second Dwelling Unit Reconstruction of Existing Dwelling

3.2 Why it is not possible to comply with the provisions of the By-law?

(See Planning Brief, Attached)

3.3 Is this an application 45(2) of the Planning Act.

Yes No

If yes, please provide an explanation:

4. DESCRIPTION OF SUBJECT LAND AND SERVICING INFORMATION

4.1 Dimensions of Subject Lands:

Lot Frontage	Lot Depth	Lot Area	Width of Street
7.57	30.48	231.485	15.24

4.2 Location of all buildings and structures on or proposed for the subject lands:
(Specify distance from side, rear and front lot lines)

Existing:

Type of Structure	Front Yard Setback	Rear Yard Setback	Side Yard Setbacks	Date of Construction
Vacant Lands				
See C.of A., H/MA-23:111	6.0	6.0	1.2m & 0.90m	03/01/2024
Detached dwelling with 1 Primary Unit and 2 Secondary Units				

Proposed:

Type of Structure	Front Yard Setback	Rear Yard Setback	Side Yard Setbacks	Date of Construction
Detached dwelling with 1 Primary Unit and 2 Secondary Units	6.0m	6.0m	1.20m & 0.90m	03/01/2024

4.3. Particulars of all buildings and structures on or proposed for the subject lands (attach additional sheets if necessary):

Existing:

Type of Structure	Ground Floor Area	Gross Floor Area	Number of Storeys	Height
Vacant Lands				
See C.of A., H/MA-23:111				
Detached dwelling with 1 Primary Unit and 2 Secondary Units	98.5m ²	285.73m ²	2	9.0

Proposed:

Type of Structure	Ground Floor Area	Gross Floor Area	Number of Storeys	Height
Detached dwelling with 1 Primary Unit and 2 Secondary Units	98.5m ²	285.73m ²	2	9.0

4.4 Type of water supply: (check appropriate box)

- publicly owned and operated piped water system
- privately owned and operated individual well

- lake or other water body
- other means (specify)

4.5 Type of storm drainage: (check appropriate boxes)

- publicly owned and operated storm sewers
- swales

- ditches
- other means (specify)

4.6 Type of sewage disposal proposed: (check appropriate box)

- publicly owned and operated sanitary sewage
 system privately owned and operated individual
 septic system other means (specify) _____

4.7 Type of access: (check appropriate box)

- provincial highway right of way
 municipal road, seasonally maintained other public road
 municipal road, maintained all year _____

4.8 Proposed use(s) of the subject property (single detached dwelling duplex, retail, factory etc.):

Detached Dwelling with 3 units.

4.9 Existing uses of abutting properties (single detached dwelling duplex, retail, factory etc.):

Detached Dwellings

7 HISTORY OF THE SUBJECT LAND

7.1 Date of acquisition of subject lands:

Dec 29, 2022

7.2 Previous use(s) of the subject property: (single detached dwelling duplex, retail, factory etc)

Vacant Lands

7.3 Existing use(s) of the subject property: (single detached dwelling duplex, retail, factory etc)

Vacant Lands - see C.of A., H/MA-23:111

7.4 Length of time the existing uses of the subject property have continued:

Since 1912

7.5 What is the existing official plan designation of the subject land?

Rural Hamilton Official Plan designation (if applicable): _____

Rural Settlement Area: _____

Urban Hamilton Official Plan designation (if applicable) Neighborhood-See Brief Attached

Please provide an explanation of how the application conforms with the Official Plan.

7.6 What is the existing zoning of the subject land? C. of A., H/MA-23:111

7.8 Has the owner previously applied for relief in respect of the subject property?
 (Zoning By-law Amendment or Minor Variance)

- Yes No

If yes, please provide the file number: C. of A., H/MA-23:111

7.9 Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?

Yes

No

If yes, please provide the file number: _____

8 ADDITIONAL INFORMATION

8.1 Number of Dwelling Units Existing: 0

8.2 Number of Dwelling Units Proposed: 3

8.3 Additional Information (please include separate sheet if needed):

(See Planning Brief)

11 COMPLETE APPLICATION REQUIREMENTS

11.1 All Applications

- Application Fee
- Site Sketch
- Complete Application form
- Signatures Sheet

11.4 Other Information Deemed Necessary

- Cover Letter/Planning Justification Report
 - Authorization from Council or Director of Planning and Chief Planner to submit application for *Minor Variance*
 - Minimum Distance Separation Formulae (data sheet available upon request)
 - Hydrogeological Assessment
 - Septic Assessment
 - Archeological Assessment
 - Noise Study
 - Parking Study
-
-



Hamilton

COMMITTEE OF ADJUSTMENT

City Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5

Telephone (905) 546-2424, ext. 4221

E-mail: cofa@hamilton.ca

NOTICE OF PUBLIC HEARING
Consent/Land Severance

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
- Applicant/agent on file, or
- Person likely to be interested in this application

APPLICATION NO.:	B-24:18	SUBJECT PROPERTY:	137 Peter Street, Hamilton
-------------------------	----------------	--------------------------	----------------------------

APPLICANTS: Owner Retained: Andrew McAllister
Owner Severed: Blari Fleming, Jennifer Legare
Agent: Jansen Consulting - Amy Schaeffer

PURPOSE & EFFECT: To permit the conveyance of a parcel of land containing one half of a semi-detached dwelling, and to retain a parcel of land containing one half of a semi-detached dwelling. Semi detached dwelling under construction.

	Frontage	Depth	Area
SEVERED LANDS:	7.8 m [±]	15.7 m [±]	139 m ² ±
RETAINED LANDS:	8.2 m [±]	15.7 m [±]	132 m ² ±

Associated Planning Act File(s): HM/A-21:51 & HM/A-22:213

This Notice must be posted by the owner of any land which contains seven or more residential units so that it is visible to all residents.

This application will be heard by the Committee as shown below:

DATE:	Tuesday, August 6, 2024
TIME:	1:40 p.m.
PLACE:	City Hall Council Chambers (71 Main St. W., Hamilton)
	To be streamed (viewing only) at www.hamilton.ca/committeeofadjustment

For more information on this matter, including access to drawings illustrating this request and other information submitted:

B-24:18

- Visit www.hamilton.ca/committeeofadjustment
- Visit Committee of Adjustment staff at 5th floor City Hall, 71 Main St. W., Hamilton

PUBLIC INPUT

Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, written comments must be received no later than noon **August 2, 2024**

Orally: If you would like to speak to this item at the hearing you may do so via video link, calling in, or attending in person. Please see attached page for complete instructions, registration to participate virtually must be received no later than noon **August 2, 2024**

FURTHER NOTIFICATION

If you wish to be notified of future Public Hearings, if applicable, regarding B-24:18, you must submit a written request to cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5.

If you wish to be provided the Notice of Decision of the proposed consent, you must make a written request to the Secretary-Treasurer of The City of Hamilton Committee of Adjustment by email at cofa@hamilton.ca or by mail through City Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5.

B-24:18



 **Subject Lands**

DATED: July 18, 2024

Jamila Sheffield,
Secretary-Treasurer
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public.

If a person or public body that files an appeal of a decision of The City of Hamilton Committee of Adjustment in respect of the proposed consent does not make written submissions to The City of Hamilton Committee of Adjustment before it gives or refuses to give a provisional consent, the Ontario Land Tribunal may dismiss the appeal.



Hamilton

COMMITTEE OF ADJUSTMENT

City Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5

Telephone (905) 546-2424, ext. 4221

E-mail: cofa@hamilton.ca

PARTICIPATION PROCEDURES

Written Submissions

Members of the public who would like to participate in a Committee of Adjustment meeting are able to provide comments in writing advance of the meeting. Comments can be submitted by emailing cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5. **Comments must be received by noon on the date listed on the Notice of Public Hearing.**

Comments are available the Friday prior to the Hearing and are available on our website: www.hamilton.ca/committeeofadjustment

Oral Submissions

Members of the public are also able to provide oral comments regarding Committee of Adjustment Hearing items by participating Virtually through Webex via computer or phone or by attending the Hearing In-person. Participation Virtually requires pre-registration in advance. Please contact staff for instructions if you wish to make a presentation containing visual materials.

1. Virtual Oral Submissions

Interested members of the public, agents, and owners **must register by noon on the day listed on the Notice of Public Hearing** to participate Virtually.

To register to participate Virtually by Webex either via computer or phone, please contact Committee of Adjustment staff by email cofa@hamilton.ca. The following information is required to register: Committee of Adjustment file number, hearing date, name and mailing address of each person wishing to speak, if participation will be by phone or video, and if applicable the phone number they will be using to call in.

A separate registration for each person wishing to speak is required. Upon registering for a meeting, members of the public will be emailed a link for the Webex meeting one business day before the Hearing. Only those registered will be called upon to speak.

2. In person Oral Submissions

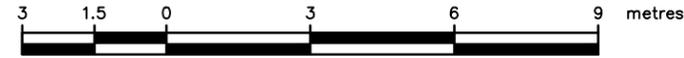
Interested members of the public, agents, and owners who wish to participate in person may attend Council Chambers on the date and time listed on the Notice of Public Hearing. Please note, you will be required to provide your name and address for the record. It is advised that you arrive **no less than 10 minutes** before the time of the Public Hearing as noted on the Notice of Public Hearing.

We hope this is of assistance and if you need clarification or have any questions, please email cofa@hamilton.ca.

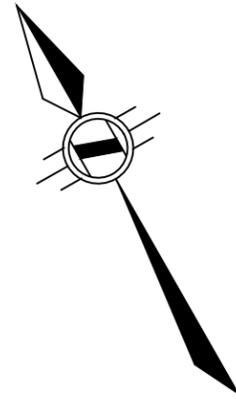
Please note: Webex (video) participation requires either a compatible computer or smartphone and an application (app/program) must be downloaded by the interested party in order to participate. It is the interested party's responsibility to ensure that their device is compatible and operating correctly prior to the Hearing.

SKETCH FOR SEVERANCE APPLICATION
 OF PART OF
LOT 12
REGISTERED PLAN No. 57
 IN THE
CITY OF HAMILTON

SCALE 1:150 METRIC



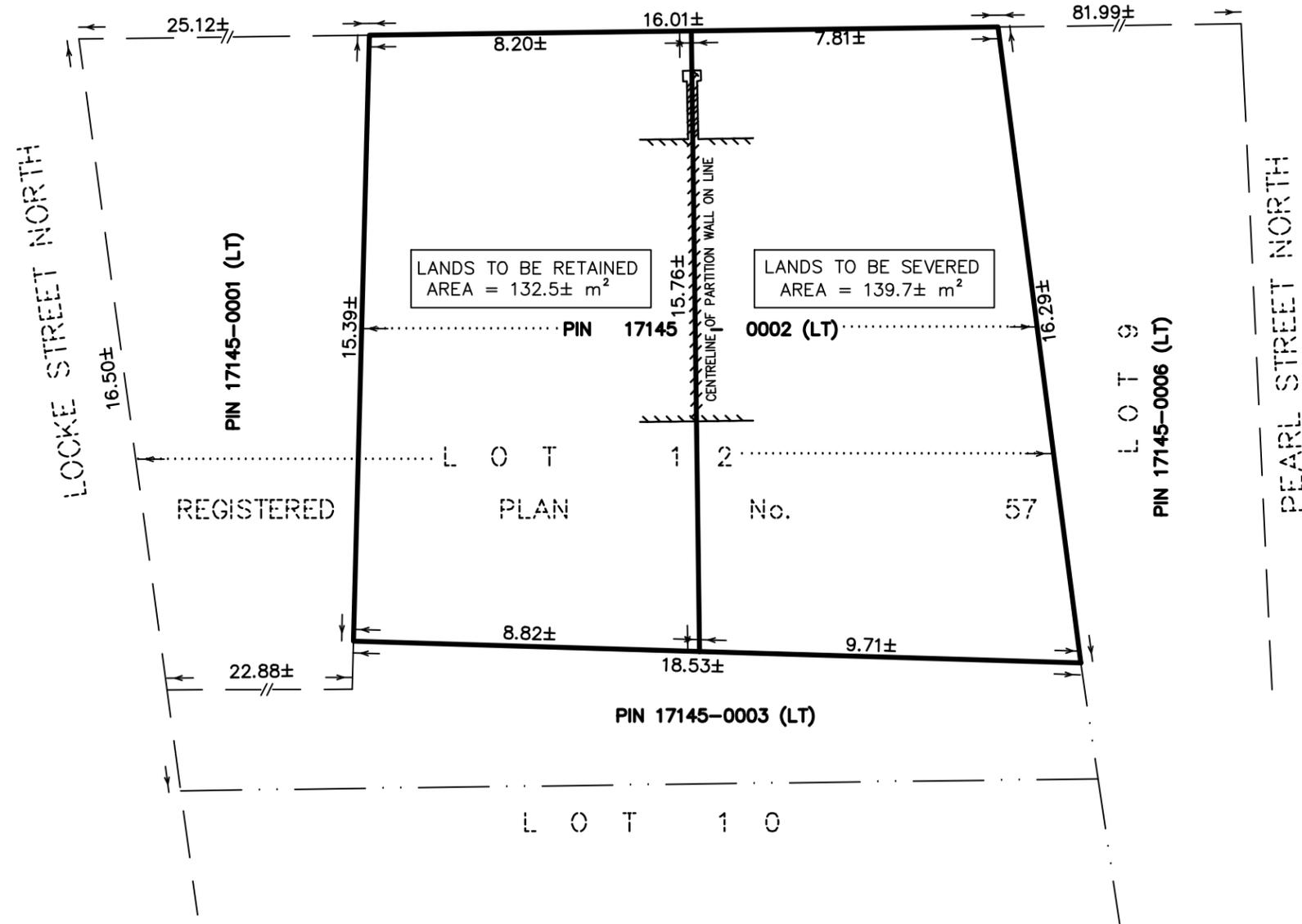
R.A. McLAREN, O.L.S. - 2024



PETER STREET
 (FORMERLY MAIN STREET, BY REGISTERED PLAN 1435)



KEY MAP NOT TO SCALE



NOTE:

DISTANCES SHOWN ON THIS PLAN WERE DERIVED FROM PLAN BY A.T. McLAREN LTD. DATED JANUARY 10, 2024.

CAUTION:

A) THIS IS NOT A PLAN OF SURVEY AND SHALL NOT BE USED EXCEPT FOR THE PURPOSE INDICATED IN THE TITLE BLOCK.

B) THIS PLAN IS PROTECTED BY COPYRIGHT ©

METRIC NOTE

DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

137 PETER STREET

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		A.T. McLaren Limited LEGAL AND ENGINEERING SURVEYS		
		69 JOHN STREET SOUTH, SUITE 230 HAMILTON, ONTARIO, L8N 2B9 PHONE (905) 527-8559 FAX (905) 527-0032		
Drawn MN	Checked RAM	Crew Chief SM	Scale 1:150	Dwg.No. 35723-SK



Hamilton

COMMITTEE OF ADJUSTMENT

City Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5

Telephone (905) 546-2424, ext. 4221, 3935

E-mail: cofa@hamilton.ca

NOTICE OF DECISION
Minor Variance

APPLICATION NO.:	HM/A-22:213	SUBJECT PROPERTY:	137 PETER STREET, HAMILTON
ZONE:	"D/S-1787" (Urban Protected Residential – 1 & 2 Family Dwellings etc.)	ZONING BY-LAW:	Zoning By-law 6593, as Amended 19-307

APPLICANTS: BLAIR FLEMING
GSP GROUP INC. - JOSEPH LIBERATORE

The following variances are **GRANTED**:

1. A minimum side yard width of 1.2 metres shall be permitted instead of the minimum 2.7 metre side yard width required.

Notes:

1. Please note that this application is subsequent to Minor Variance Application No. HM/A-21:51, applicable to the proposed development, which was granted by the Committee on August 12, 2021, and became final and binding on September 2, 2021.
2. Details respecting eaves or gutters where not shown. The applicant shall ensure that the maximum eave and gutter projections are achieved; otherwise, further variances may be required.

THE DECISION OF THE COMMITTEE IS:

That the variances, as set out above, are **GRANTED** for the following reasons:

1. The Committee, having regard to the evidence, is of the opinion that the relief granted is of a minor nature.
2. The relief granted is desirable for the appropriate development of the land and building and is consistent with the general intent and purpose of the By-laws and the Official Plans as referred to in Section 45 of The Planning Act, 1990.
3. The Committee, having regard to the evidence, is satisfied that there will be no adverse impact on any of the neighbouring lands.
4. The submissions made regarding this matter affected the decision by supporting the granting of the application.

HM/A-22:213

DATED AT HAMILTON, July 28, 2022.

D. Smith (Chairman)

B. Charters

M. Switzer

L. Gaddy

T. Lofchik

N. Mleczko

D. Serwatak

NOTES:

1. THE LAST DATE ON WHICH AN APPEAL TO THE ONTARIO LAND TRIBUNAL (OLT) MAY BE FILED IS **August 17, 2022**
2. **This decision is not final and binding unless otherwise noted.**

DOMINION OF CANADA)	IN THE MATTER OF Official Plan Amendment No. 202 (By-law No. 24-050) AND IN THE MATTER OF Sections 17(22) of the <i>Planning Act</i>, R.S.O. 1990, c. P.13. Low Density-Residential Zones
)	
)	
Province of Ontario)	
)	
)	
)	

TO WIT:

I, **Lisa Kelsey**, Legislative Coordinator, City Clerk's Office, of the City of Hamilton, **DO SOLEMNLY DECLARE:**

1. That Notice of a Public Meeting for the purpose of informing the public in respect of the Low Density-Residential Zones Policies in Secondary Plans was given on the 2nd day of February, 2024, by being published in the Hamilton Spectator, as prescribed by law.
2. That By-law No. 24-050, being Urban Hamilton Official Plan Amendment 202 was adopted by the City of Hamilton on the 10th day of April, 2024.
3. That written Notice of Adoption of the said plan was given in accordance with Section 17(23) of the *Planning Act* on the 19th day of April, 2024.
4. That a Notice of Appeal was filed under Section 17(24) of the *Planning Act* on the 9th day of May, 2024, being twenty days from the day of the notice given of the adoption of the said plan; and that said appeal was withdrawn on May 15, 2024.
5. That, in accordance with Sections 17(29.2) and (30)(a) and (b) of the *Planning Act*, I verily believe that the plan is deemed to come into effect on the 15th day of May, 2024, being the day the last appeal was withdrawn.

AND I MAKE THIS solemn Declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath and by virtue of the *Evidence Act*.

DECLARED before me at the
City of Hamilton
this 21st day of June, 2024

) 
)



A Commissioner, etc.

CI-22-G
Tamara Kathleen Bates,
a Commissioner, etc.,
Province of Ontario, for the City of Hamilton.
Expires August 8, 2025

Authority: Item 4, Planning Committee Report 24-003 (PED22154(a))
CM: March 27, 2024 Ward: City Wide
Written approval for this by-law was given by Mayoral Decision MDE-2024 10
Dated April 10, 2024

Bill No. 050

CITY OF HAMILTON

BY-LAW NO. 24-050

To Adopt:

**Official Plan Amendment No. 202 to
the Urban Hamilton Official Plan**

Respecting:

**Low Density Residential Policies in
Secondary Plans**

NOW THEREFORE the Council of the City of Hamilton enacts as follows:

1. Amendment No. 202 to the Urban Hamilton Official Plan consisting of Appendix "A", hereto annexed and forming part of this by-law, is hereby adopted.

PASSED this 10th day of April, 2024.



A. Horwath
Mayor



J. Pilon
Acting City Clerk

Appendix "A"

Urban Hamilton Official Plan Amendment No. 202

The following text constitutes Official Plan Amendment No. 202 to the Urban Hamilton Official Plan.

1.0 Purpose and Effect:

The purpose and effect of this Amendment is:

- To establish a policy within Volume 2, to allow certain Low Density Residential policies of Volume 1 to take precedence over certain Low Density Residential policies in secondary plans for the purposes of permitted density ranges, built form, and height.
- To establish a policy within Volume 1 to require the Neighbourhood Infill Design Guidelines be evaluated when considering an application for residential intensification for permitted low density residential uses.

2.0 Location:

The lands affected by this Amendment are located within certain Secondary Plan areas in the former municipalities of Ancaster, Flamborough, Glanbrook, Hamilton, and Stoney Creek.

3.0 Basis:

The basis for permitting this Amendment is:

- The Amendment provides consistency between the policies of the Urban Hamilton Official Plan and the implementation of new Low Density Residential zoning with expanded permissions as it applies to lands within certain secondary plans.
- The Amendment implements the objectives of the Urban Hamilton Official Plan to provide a range and mix of housing types and assists in achieving residential intensification goals.
- The proposed Amendment is consistent with the Provincial Policy Statement,

2020 and conforms to the Growth Plan for the Greater Golden Horseshoe, 2019, as amended.

4.0 Actual Changes:

4.1 Volume 1 – Parent Plan

Text

4.1.1 Chapter B – Communities

a. That Volume 1: Chapter B – Communities, Section 2.4 – Residential Intensification, Policy B.2.4.2.2 be amended by:

- i) deleting the "and," in Policy B.2.4.2.2 i);
- ii) deleting the period at the end of Policy B.2.4.2.2 j) and replacing it with "and,"; and,
- iii) by adding new Policy B.2.4.2.2 k) as follows:

"k) for uses permitted in Volume 1 Policy E.3.4.3, the ability to meet the Neighbourhood Infill Design Guidelines."

4.2 Volume 2 – Secondary Plans

Text

4.2.1 Chapter B – Secondary Plans – Section B.1.0 – General Policies

a. That Volume 2: Chapter B – Secondary Plans - Section B.1.0 – General Policies be amended by adding Policies B.1.5 a), b), and c) as follows:

"B.1.5 a) Notwithstanding Policies B.1.2, B.1.5, and the policies contained in Sections B.2.0 to B.7, and Volume 1 Policy F.1.2.2, for all lands designated Low Density Residential 1, 1a, 1b, 2, 2a, 2b, 2e, and 2f on the land use plans appended to each secondary plan area, and for lands designated Low Density Residential 3 on Map B.6.6-1 Strathcona Secondary Plan: Land Use Plan, Policies E.3.4.3, E.3.4.4, and E.3.4.5 of Volume 1 shall apply for the purposes of permitted density ranges, built form, and height.

b) Policy B.1.5 a) shall not apply to the following:

- i) Section B.4.4 – Waterdown Community Node Secondary Plan;
- ii) Policy B.5.3.8. – Area Specific Policies in the North-West Glanbrook Secondary Plan;
- iii) Policy B.5.4.11.10 – Site Specific Policy – Area J in the Mount Hope Secondary Plan; and,
- iv) Section B.7.4 – Fruitland-Winona Secondary Plan.

b) An enacted Zoning By-law Amendment shall be required to give effect to Section B.1.5 a) and b)."

5.0 Implementation:

An implementing Zoning By-law Amendment will give effect to the intended permissions on the subject Secondary Plan lands.

This Official Plan Amendment is Schedule "1" to By-law No. 24-050 passed on the 10th day of April, 2024.

**The
City of Hamilton**


A. Horwath
Mayor



J. Pilon
Acting City Clerk



Hamilton

**APPLICATION FOR CONSENT TO SEVER LAND
and VALIDATION OF TITLE
UNDER SECTION 53 & 57 OF THE PLANNING ACT**

Please see additional information regarding how to submit an application, requirements for the required sketch and general information in the Submission Requirements and Information.

1. APPLICANT INFORMATION

	NAME
Purchaser*	
Registered Owners(s)	retained } Andrew D.G. McAllister severed } Blair Fleming + Jennifer Michelle Legare
Applicant(s)**	AMY TALUKDER + JEFF JANSEN of JANSEN CONSULTING
Agent or Solicitor	Agent is applicant

*Purchaser must provide a copy of the portion of the agreement of purchase and sale that authorizes the purchaser to make the application in respect of the land that is the subject of the application.

** Owner's authorisation required if the applicant is not the owner or purchaser.

1.2 Primary contact Purchaser Applicant Owner Agent/Solicitor

1.3 Sign should be sent to Purchaser Applicant Owner Agent/Solicitor

1.4 Request for digital copy of sign Yes* No

If YES, provide email address where sign is to be sent

1.5 All correspondence may be sent by email Yes* No

If Yes, a valid email must be included for the registered owner(s) AND the Applicant/Agent (if applicable). Only one email address submitted will result in the voiding of this service. This request does not guarantee all correspondence will sent by email.

1.6 Payment type

 In person
 Cheque

 Credit over phone*

*Must provide number above

2. LOCATION OF SUBJECT LAND

2.1 Complete the applicable sections:

Municipal Address	137 PETER ST.		
Assessment Roll Number	25 18 010 104 51650 0000		
Former Municipality	CITY OF HAMILTON		
Lot	12 PT.	Concession	
Registered Plan Number	57	Lot(s)	
Reference Plan Number (s)		Part(s)	

2.2 Are there any easements or restrictive covenants affecting the subject land?

 Yes No

If YES, describe the easement or covenant and its effect:

3 PURPOSE OF THE APPLICATION

3.1 Type and purpose of proposed transaction: (check appropriate box)

- | | |
|--|--|
| <input checked="" type="checkbox"/> creation of a new lot(s) | <input type="checkbox"/> concurrent new lot(s) |
| <input type="checkbox"/> addition to a lot | <input type="checkbox"/> a lease |
| <input type="checkbox"/> an easement | <input type="checkbox"/> a correction of title |
| <input type="checkbox"/> validation of title (must also complete section 8) | <input type="checkbox"/> a charge |
| <input type="checkbox"/> cancellation (must also complete section 9) | |
| <input type="checkbox"/> creation of a new non-farm parcel (must also complete section 10)
(i.e. a lot containing a surplus farm dwelling
resulting from a farm consolidation) | |

3.2 Name of person(s), if known, to whom land or interest in land is to be transferred, leased or charged:

 SEVERED LOT TO REMAIN IN BLAIR FLEMING + JENNIFER LEGARE'S NAME.

3.3 If a lot addition, identify the lands to which the parcel will be added:

 N/A

3.4 Certificate Request for Retained Lands: Yes*

* If yes, a statement from an Ontario solicitor in good standing that there is no land abutting the subject land that is owned by the owner of the subject land other than land that could be conveyed without contravening section 50 of the Act. (O. Reg. 786/21)

4 DESCRIPTION OF SUBJECT LAND AND SERVICING INFORMATION

4.1 Description of subject land:

All dimensions to be provided in metric (m, m² or ha), attach additional sheets as necessary.

	Retained (remainder)	Parcel 1	Parcel 2	Parcel 3*	Parcel 4*
Identified on Sketch as:	LANDS TO BE RETAINED	LANDS TO BE SEVERED			
Type of Transfer	N/A				
Frontage	8.20 M	7.81 M			
Depth	15.76 M	16.29 M			
Area	132.5 M ²	139.7 M ²			
Existing Use	RESIDENTIAL SFD	RES →			
Proposed Use	RESIDENTIAL SEMI-DET.	RESIDENTIAL SEMI-DET.			
Existing Buildings/ Structures	1-STORY DWELLING →				
Proposed Buildings/ Structures	3-STORY SEMI-DETACHED DWELLING	3-STORY SEMI-DETACHED DWELLING	→ BOTH APPROVED W/ BUILDINGS PERMIT # 22-119120-00-R9 + # 23-132351-00-R9 + # 23-132345-00-R9		
Buildings/ Structures to be Removed	1-STORY DWELLING →		APPROVED W/ DEMOLITION PERMIT # 22-119257-00- DP DP		

* Additional fees apply.

4.2 Subject Land Servicing

a) Type of access: (check appropriate box)

- provincial highway
 municipal road, seasonally maintained
 municipal road, maintained all year
- right of way
 other public road

b) Type of water supply proposed: (check appropriate box)

- publicly owned and operated piped water system
 privately owned and operated individual well
- lake or other water body
 other means (specify) _____

c) Type of sewage disposal proposed: (check appropriate box)

- publicly owned and operated sanitary sewage system
 privately owned and operated individual septic system
 other means (specify) _____

4.3 Other Services: (check if the service is available)

- electricity
 telephone
 school bussing
 garbage collection

5 CURRENT LAND USE

5.1 What is the existing official plan designation of the subject land?

Rural Hamilton Official Plan designation (if applicable): _____

Rural Settlement Area: _____

Urban Hamilton Official Plan designation (if applicable) LOW DENSITY RESIDENTIAL 3

Please provide an explanation of how the application conforms with a City of Hamilton Official Plan.

THIS APPLICATION CONFORMS TO THE OFFICIAL PLAN BECAUSE ONLY 1 DWELLING UNIT IS PROPOSED PER LOT, MAINTAINING LOW DENSITY.

5.2 Is the subject land currently the subject of a proposed official plan amendment that has been submitted for approval?

- Yes No Unknown

If YES, and known, provide the appropriate file number and status of the application.

5.3 What is the existing zoning of the subject land? "D" DISTRICT - URBAN PROTECTED RESIDENTIAL

If the subject land is covered by a Minister's zoning order, what is the Ontario Regulation Number?

5.4 Is the subject land the subject of any other application for a Minister's zoning order, zoning by-law amendment, minor variance, consent or approval of a plan of subdivision?

- Yes No Unknown

If YES, and known, provide the appropriate file number and status of the application.

HM/A-21:51 - APPROVED + HM/A-22:213 - APPROVED (BOTH MV)

5.5 Are any of the following uses or features on the subject land or within 500 metres of the subject land, unless otherwise specified. Please check the appropriate boxes, if any apply.

Use or Feature	On the Subject Land	Within 500 Metres of Subject Land, unless otherwise specified (indicate approximate distance)
An agricultural operation, including livestock facility or stockyard * Submit Minimum Distance Separation Formulae (MDS) if applicable	<input type="checkbox"/>	N/A
A land fill	<input type="checkbox"/>	
A sewage treatment plant or waste stabilization plant	<input type="checkbox"/>	
A provincially significant wetland	<input type="checkbox"/>	
A provincially significant wetland within 120 metres	<input type="checkbox"/>	
A flood plain	<input type="checkbox"/>	
An industrial or commercial use, and specify the use(s)	<input type="checkbox"/>	
An active railway line	<input type="checkbox"/>	
A municipal or federal airport	<input type="checkbox"/>	

6 HISTORY OF THE SUBJECT LAND

- 6.1 Has the subject land ever been the subject of an application for approval of a plan of subdivision or a consent under sections 51 or 53 of the *Planning Act*?
 Yes No Unknown

If YES, and known, provide the appropriate application file number and the decision made on the application.

- 6.2 If this application is a re-submission of a previous consent application, describe how it has been changed from the original application.

N/A

- 6.3 Has any land been severed or subdivided from the parcel originally acquired by the owner of the subject land?
 Yes No

If YES, and if known, provide for each parcel severed, the date of transfer, the name of the transferee and the land use.

- 6.4 How long has the applicant owned the subject land?

2015

- 6.5 Does the applicant own any other land in the City? Yes No
 If YES, describe the lands below or attach a separate page.

7 PROVINCIAL POLICY

- 7.1 Is this application consistent with the Policy Statements issued under Section 3 of the *Planning Act*?
 Yes No (Provide explanation)

BUILDING STRONGER COMMUNITIES BY PROVIDING MORE SAFE HOUSING + PROVIDING SIMILAR TYPE OF HOUSING THAT EXISTS ON ST.

- 7.2 Is this application consistent with the Provincial Policy Statement (PPS)?
 Yes No (Provide explanation)

YES, INCREASE HOUSING PROVIDED IN ONTARIO.

- 7.3 Does this application conform to the Growth Plan for the Greater Golden Horseshoe?
 Yes No (Provide explanation)

YES, PROVIDES MORE AFFORDABLE HOUSING TO FAMILIES IN THE AREA.

- 7.4 Are the subject lands subject to the Niagara Escarpment Plan?
 Yes No (Provide explanation)

7.5 Are the subject lands subject to the Parkway Belt West Plan?

Yes No (Provide explanation)

7.6 Are the subject lands subject to the Greenbelt Plan?

Yes No (Provide explanation)

7.7 Are the subject lands within an area of land designated under any other provincial plan or plans?

Yes No (Provide explanation)

8 ADDITIONAL INFORMATION - VALIDATION N/A

8.1 Did the previous owner retain any interest in the subject land?

Yes No (Provide explanation)

8.2 Does the current owner have any interest in any abutting land?

Yes No (Provide explanation and details on plan)

8.3 Why do you consider your title may require validation? (attach additional sheets as necessary)

9 ADDITIONAL INFORMATION - CANCELLATION N/A

9.1 Did the previous owner retain any interest in the subject land?

Yes No (Provide explanation)

9.2 Does the current owner have any interest in any abutting land?

Yes No (Provide explanation and details on plan)

9.3 Why do you require cancellation of a previous consent? (attach additional sheets as necessary)

10 ADDITIONAL INFORMATION - FARM CONSOLIDATION

N/A

10.1 Purpose of the Application (Farm Consolidation)

If proposal is for the creation of a non-farm parcel resulting from a farm consolidation, indicate if the consolidation is for:

- Surplus Farm Dwelling Severance from an Abutting Farm Consolidation
- Surplus Farm Dwelling Severance from a Non-Abutting Farm Consolidation

10.2 Location of farm consolidation property:

Municipal Address			
Assessment Roll Number			
Former Municipality			
Lot		Concession	
Registered Plan Number		Lot(s)	
Reference Plan Number (s)		Part(s)	

10.3 Rural Hamilton Official Plan Designation(s)

If proposal is for the creation of a non-farm parcel resulting from a farm consolidation, indicate the existing land use designation of the abutting or non-abutting farm consolidation property.

0.4 Description of farm consolidation property:

Frontage (m):	Area (m ² or ha):
---------------	------------------------------

Existing Land Use(s): _____ Proposed Land Use(s): _____

0.5 Description of abutting consolidated farm (excluding lands intended to be severed for the surplus dwelling)

Frontage (m):	Area (m ² or ha):
---------------	------------------------------

Existing Land Use: _____ Proposed Land Use: _____

0.7 Description of surplus dwelling lands proposed to be severed:

Frontage (m): (from Section 4.1)	Area (m ² or ha): (from Section 4.1)
----------------------------------	---

Front yard set back: _____

a) Date of construction:

- Prior to December 16, 2004 After December 16, 2004

b) Condition:

- Habitable Non-Habitable

11 COMPLETE APPLICATION REQUIREMENTS

11.1 All Applications

- Application Fee
- Site Sketch
- Complete Application Form
- Signatures Sheet

11.2 Validation of Title

- All information documents in Section 11.1
- Detailed history of why a Validation of Title is required
- All supporting materials indicating the contravention of the Planning Act, including PIN documents and other items deemed necessary.

11.3 Cancellation

- All information documents in Section 11.1
- Detailed history of when the previous consent took place.
- All supporting materials indicating the cancellation subject lands and any neighbouring lands owned in the same name, including PIN documents and other items deemed necessary.

11.4 Other Information Deemed Necessary

- Cover Letter/Planning Justification Report
 - Minimum Distance Separation Formulae (data sheet available upon request)
 - Hydrogeological Assessment
 - Septic Assessment
 - Archeological Assessment
 - Noise Study
 - Parking Study
-
-



Hamilton

COMMITTEE OF ADJUSTMENT

City Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5

Telephone (905) 546-2424, ext. 4221

E-mail: cofa@hamilton.ca

NOTICE OF PUBLIC HEARING
Minor Variance

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
- Applicant/agent on file, or
- Person likely to be interested in this application

APPLICATION NO.:	A-24:156	SUBJECT PROPERTY:	1414 & 1416 King Street East, Hamilton
ZONE:	H - Community Shopping and Commercial (6593)	ZONING BY-LAW:	Zoning By-law Choose an item., as Amended Click or tap here to enter text.

APPLICANTS: Owner: 1604146 Ontario Inc - Luigi Arcuri
Agent: Urban Belief Inc. c/o Palak Kataria

The following variances are requested:

1. To permit a 1.5 metres front yard for 1414 King Street East, and a 0 metre front yard for 1416 King St. E. whereas the by-law requires a minimum front yard of 6.0 metres.
2. To permit a 0.93 metre side yard for 1414 King St. E. and a 0 metre side yard for 1414 and 1416 King St. E. whereas the zoning by-law requires a minimum of 1.2 metres building setback from the side lot line.
3. To permit a rear yard of 5.79 metres for 1416 King St. E. whereas the by-law requires a minimum rear yard of 7.5 metres
4. To permit a 231.2 square metres lot area for 1414 King St. E. and 226.1 square metres for 1416 King St. E. whereas the by-law requires a minimum lot area of 360 square metres.
5. To permit a 0-metre planting strip for 1414 and 1416 King St. E. whereas the by-law requires a minimum planting strip of 2.0 metres.
6. To permit one (1) parking space for 1414 and 1416 King St. E. whereas the by-law requires a minimum of 2 parking spaces.
7. To permit a manoeuvring space of 0 metre for 1414 and 1416 King St. E. whereas the by-law requires a minimum manoeuvring space of 6.0 metres.
8. To permit a landscape area of 0% for 1414 King St. E. whereas the by-law requires a minimum

A-24:156

landscape area of 50%.

PURPOSE & EFFECT: So as to facilitate consent application (HM/B-23:89) to re-create two lots, which was approved on January 18, 2024, and highlight all necessary variances required to clear.

Notes: N/A

This Notice must be posted by the owner of any land which contains seven or more residential units so that it is visible to all residents.

This application will be heard by the Committee as shown below:

DATE:	Tuesday, August 6, 2024
TIME:	1:45 p.m.
PLACE:	Via video link or call in (see attached sheet for details)
	City Hall Council Chambers (71 Main St. W., Hamilton)
	To be streamed (viewing only) at www.hamilton.ca/committeeofadjustment

For more information on this matter, including access to drawings illustrating this request and other information submitted:

- Visit www.hamilton.ca/committeeofadjustment
- Visit Committee of Adjustment staff at 5th floor City Hall, 71 Main St. W., Hamilton

PUBLIC INPUT

Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, written comments must be received no later than noon August 2, 2024

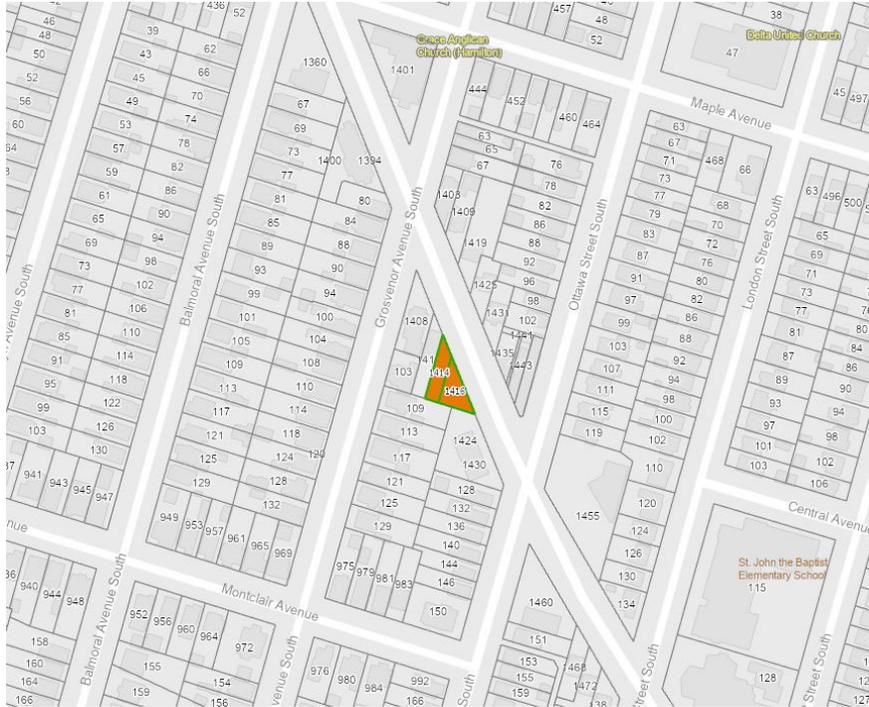
Orally: If you would like to speak to this item at the hearing you may do so via video link, calling in, or attending in person. Please see attached page for complete instructions, registration to participate virtually must be received no later than noon August 2, 2024

FURTHER NOTIFICATION

If you wish to be notified of future Public Hearings, if applicable, regarding A-24:156, you must submit a written request to cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5.

If you wish to be provided a Notice of Decision, you must attend the Public Hearing and file a written request with the Secretary-Treasurer by emailing cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5.

A-24:156



Subject Lands

DATED: July 18, 2024

Jamila Sheffield,
Secretary-Treasurer
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public, and may include posting electronic versions.



Hamilton

COMMITTEE OF ADJUSTMENT

City Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5

Telephone (905) 546-2424, ext. 4221

E-mail: cofa@hamilton.ca

PARTICIPATION PROCEDURES

Written Submissions

Members of the public who would like to participate in a Committee of Adjustment meeting are able to provide comments in writing advance of the meeting. Comments can be submitted by emailing cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5. **Comments must be received by noon on the date listed on the Notice of Public Hearing.**

Comments are available the Friday prior to the Hearing and are available on our website: www.hamilton.ca/committeeofadjustment

Oral Submissions

Members of the public are also able to provide oral comments regarding Committee of Adjustment Hearing items by participating Virtually through Webex via computer or phone or by attending the Hearing In-person. Participation Virtually requires pre-registration in advance. Please contact staff for instructions if you wish to make a presentation containing visual materials.

1. Virtual Oral Submissions

Interested members of the public, agents, and owners **must register by noon on the day listed on the Notice of Public Hearing** to participate Virtually.

To register to participate Virtually by Webex either via computer or phone, please contact Committee of Adjustment staff by email cofa@hamilton.ca. The following information is required to register: Committee of Adjustment file number, hearing date, name and mailing address of each person wishing to speak, if participation will be by phone or video, and if applicable the phone number they will be using to call in.

A separate registration for each person wishing to speak is required. Upon registering for a meeting, members of the public will be emailed a link for the Webex meeting one business day before the Hearing. Only those registered will be called upon to speak.

2. In person Oral Submissions

Interested members of the public, agents, and owners who wish to participate in person may attend Council Chambers on the date and time listed on the Notice of Public Hearing. Please note, you will be required to provide your name and address for the record. It is advised that you arrive **no less than 10 minutes** before the time of the Public Hearing as noted on the Notice of Public Hearing.

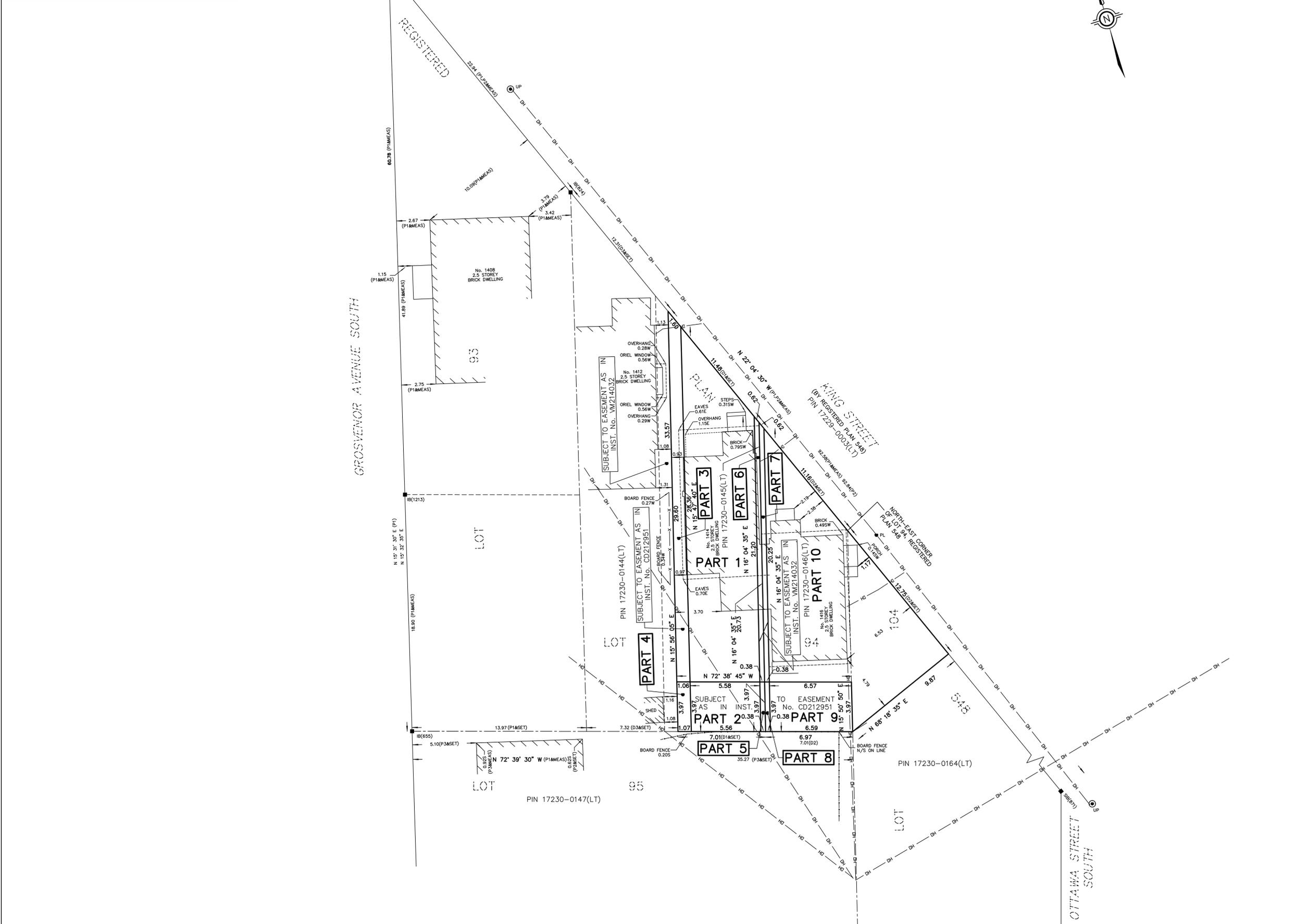
We hope this is of assistance and if you need clarification or have any questions, please email cofa@hamilton.ca.

Please note: Webex (video) participation requires either a compatible computer or smartphone and an application (app/program) must be downloaded by the interested party in order to participate. It is the interested party's responsibility to ensure that their device is compatible and operating correctly prior to the Hearing.

OBSERVED REFERENCE POINTS (ORPs): UTM ZONE 17, NAD83(CSRS)(2010.0) COORDINATES ARE TO URBAN ACCURACY PER O.REG. 216/10 SECTION 14(2).

POINT ID	NORTHING (m)	EASTING (m)
ORP A	4 963 040.69	599 746.52
ORP B	4 962 702.07	599 866.55

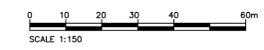
COORDINATES CANNOT, IN THEMSELVES, BE USED TO RE-ESTABLISH THE CORNERS OR BOUNDARIES SHOWN ON THIS PLAN.



SCHEDULE			
PART	LOT	PLAN	PIN
1	PART OF LOT 94	REGISTERED PLAN 548	ALL OF PIN 17230-0145(LT)
2			
3			
4			
5			
6	PART OF LOTS 94 AND 104		ALL OF PIN 17230-0146(LT)
7			
8			
9			
10			

PARTS 2, 3, 4 AND 9 ARE SUBJECT TO EASEMENT AS IN INST. NO. CD212951
 PARTS 6 AND 7 ARE SUBJECT TO EASEMENT AS IN INST. NO. WM214032
 PARTS 5 AND 8 ARE SUBJECT TO EASEMENT AS IN INST. NOS. CD212951 AND WM214032

**PLAN OF SURVEY OF
 PART OF LOTS 94 AND 104
 REGISTERED PLAN 548
 CITY OF HAMILTON**



THE INTENDED PLOT SIZE OF THIS PLAN IS 864mm IN WIDTH BY 559mm IN HEIGHT WHEN PLOTTED AT A SCALE OF 1:150.
 2023 Y. ZHANG SURVEYING LIMITED

METRIC DISTANCES AND COORDINATES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

DISTANCES HEREON ARE GROUND AND CAN BE CONVERTED TO GRID BY MULTIPLYING BY THE COMBINED SCALE FACTOR OF 0.999886

BEARINGS HEREON ARE GRID AND DERIVED FROM OBSERVED REFERENCE POINTS A AND B, BY REAL TIME NETWORK(RTN) OBSERVATIONS, UTM ZONE 17, NAD83 (CSRS)(2010.0).

FOR BEARING COMPARISONS, A ROTATION OF 2°28'30" COUNTER-CLOCKWISE WAS APPLIED TO BEARINGS ON P1 AND P2.

- LEGEND**
- DENOTES SURVEY MONUMENT FOUND
 - DENOTES SURVEY MONUMENT SET
 - SIB DENOTES STANDARD IRON BAR
 - SSIB DENOTES SHORT STANDARD IRON BAR
 - IB DENOTES IRON BAR
 - 655 DENOTES J.T. PETERS, O.L.S.
 - 824 DENOTES A.T. McLAREN, O.L.S.
 - 871 DENOTES D.A. HARRINGTON, O.L.S.
 - 1213 DENOTES J.D. PETERS, O.L.S.
 - P1 DENOTES PLAN OF SURVEY BY A.T. McLAREN LTD., O.L.S., DATED: JULY 21, 2006
 - P2 DENOTES REGISTERED PLAN 548
 - P3 DENOTES PLAN OF SURVEY BY A.T. McLAREN LTD., O.L.S., DATED: APRIL 26, 1977
 - D1 DENOTES INSTRUMENT NUMBER CD212951
 - D2 DENOTES INSTRUMENT NUMBER WM153653
 - D3 DENOTES INSTRUMENT NUMBER CM214032
 - PL DENOTES POLE
 - UP DENOTES UTILITY POLE

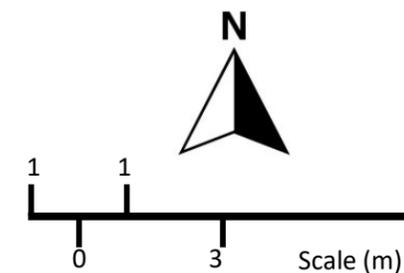
SURVEYOR'S CERTIFICATE
 I CERTIFY THAT,
 1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT, THE LAND TITLES ACT AND THE REGULATIONS MADE UNDER THEM.
 2. THE SURVEY WAS COMPLETED ON THE XXth DAY OF XXXX, 2023.

XXXX XXth, 2023 DATE **DRAFT**
 YIFAN ZHANG
 ONTARIO LAND SURVEYOR

THIS PLAN OF SURVEY RELATES TO AOLS PLAN SUBMISSION FORM NUMBER V-58XXX.

Y. ZHANG SURVEYING LIMITED
 ONTARIO LAND SURVEYORS
 www.yzsurveying.com

FIELD: XX	CAD: HZ	CHECKED by: Yifan Z.
JOB NUMBER: 23-0XX		DATE: March 20, 2024
DRAWING FILE: H:\Shared drives\Job Folders\2024-5\Drawing\2024-05-RP.dwg		



Property	Height	Current Status	Existing Use
1414 King ST East	2.5 Storey Building	Currently Vacant	Residential*
1416 King St East	2.5 Storey Building	Currently Vacant	Commercial on Ground and Residential on above*

*** BOTH PROPERTIES ARE PROPOSED TO BE USED AS RESIDENTIAL**

Both the properties are connected to each other from the exterior appearance

No.	REVISION ISSUE	DATE

SCOPE OF WORK

PROPOSAL TO RECREATE TWO LOTS 1414 and 1416 KING ST E, WHICH HAVE MERGED INADVERTENTLY.

GENERAL NOTES

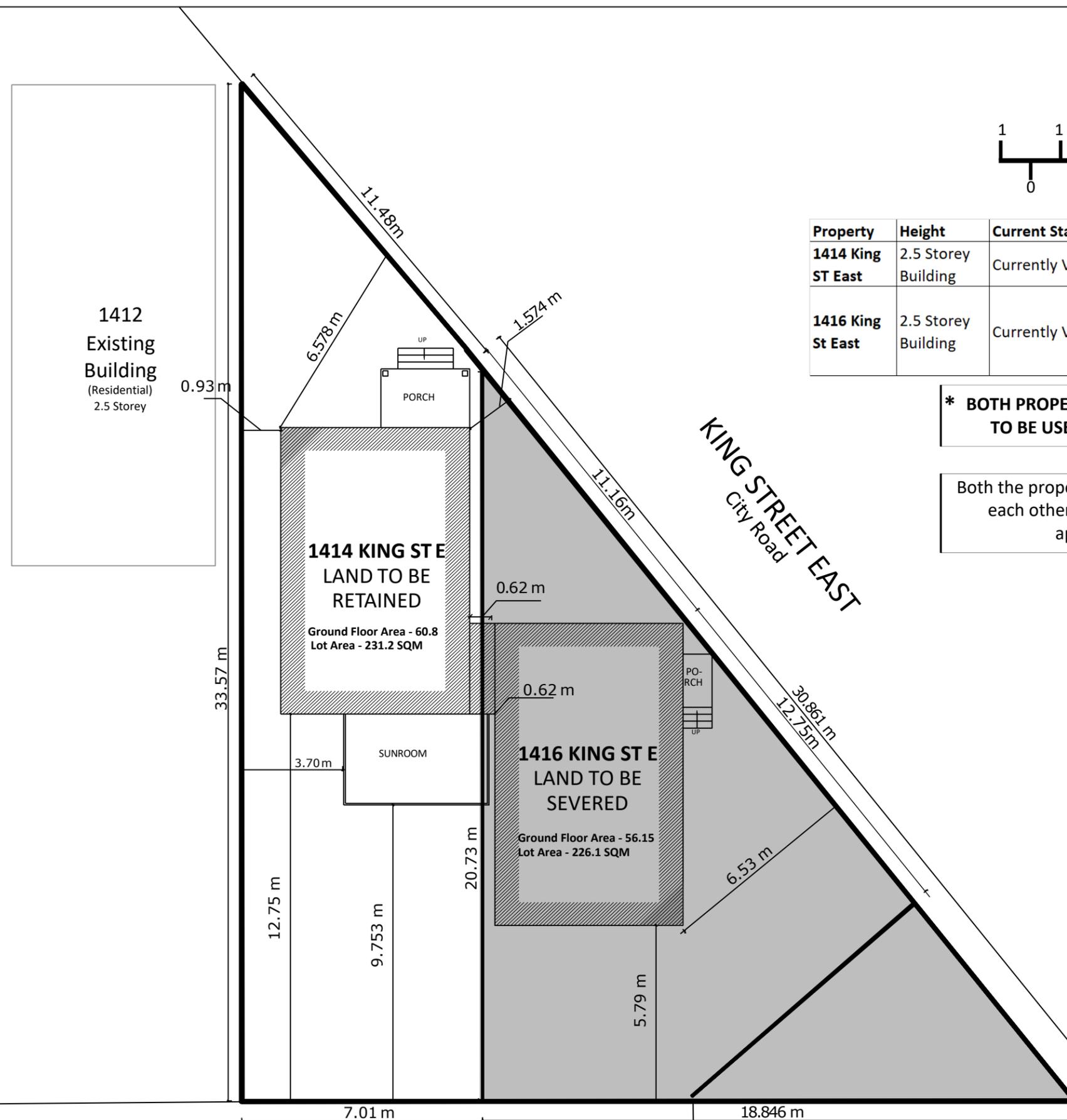
DO NOT SCALE DRAWINGS
 PROPERTY RIGHTS RETAINED BY:
 URBAN BELIEF INC.
 ANY REPRODUCTION IN WHOLE OR IN PART UNDER THE RULES AND BY-LAWS OF THE CORPORATION IS STRICTLY FORBIDDEN.
 ANY REPRODUCTIONS MUST BE AUTHORIZED BY

SHEET TITLE

SITE PLAN
 (Metric)

CITY: HAMILTON 1414 AND 1416 KING ST E
 EXISTING DWELLING BUILDING

SHEET PROJECT
A1 | OCT 2023

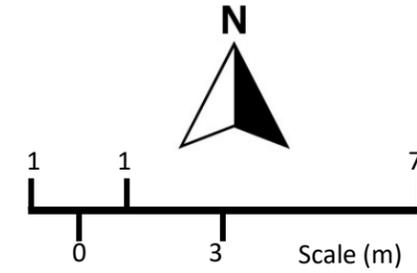


1412 Existing Building (Residential) 2.5 Storey

1414 KING ST E LAND TO BE RETAINED
 Ground Floor Area - 60.8
 Lot Area - 231.2 SQM

1416 KING ST E LAND TO BE SEVERED
 Ground Floor Area - 56.15
 Lot Area - 226.1 SQM

109



Property	Height	Current Status	Existing Use
1414 King ST East	2.5 Storey Building	Currently Vacant	Residential*
1416 King St East	2.5 Storey Building	Currently Vacant	Commercial on Ground and Residential on above*

*** BOTH PROPERTIES ARE PROPOSED TO BE USED AS RESIDENTIAL**

Both the properties are connected to each other from the exterior appearance

No.	REVISION ISSUE	DATE

SCOPE OF WORK

PROPOSAL TO RECREATE TWO LOTS 1414 and 1416 KING ST E, WHICH HAVE MERGED INADVERTENTLY.

GENERAL NOTES

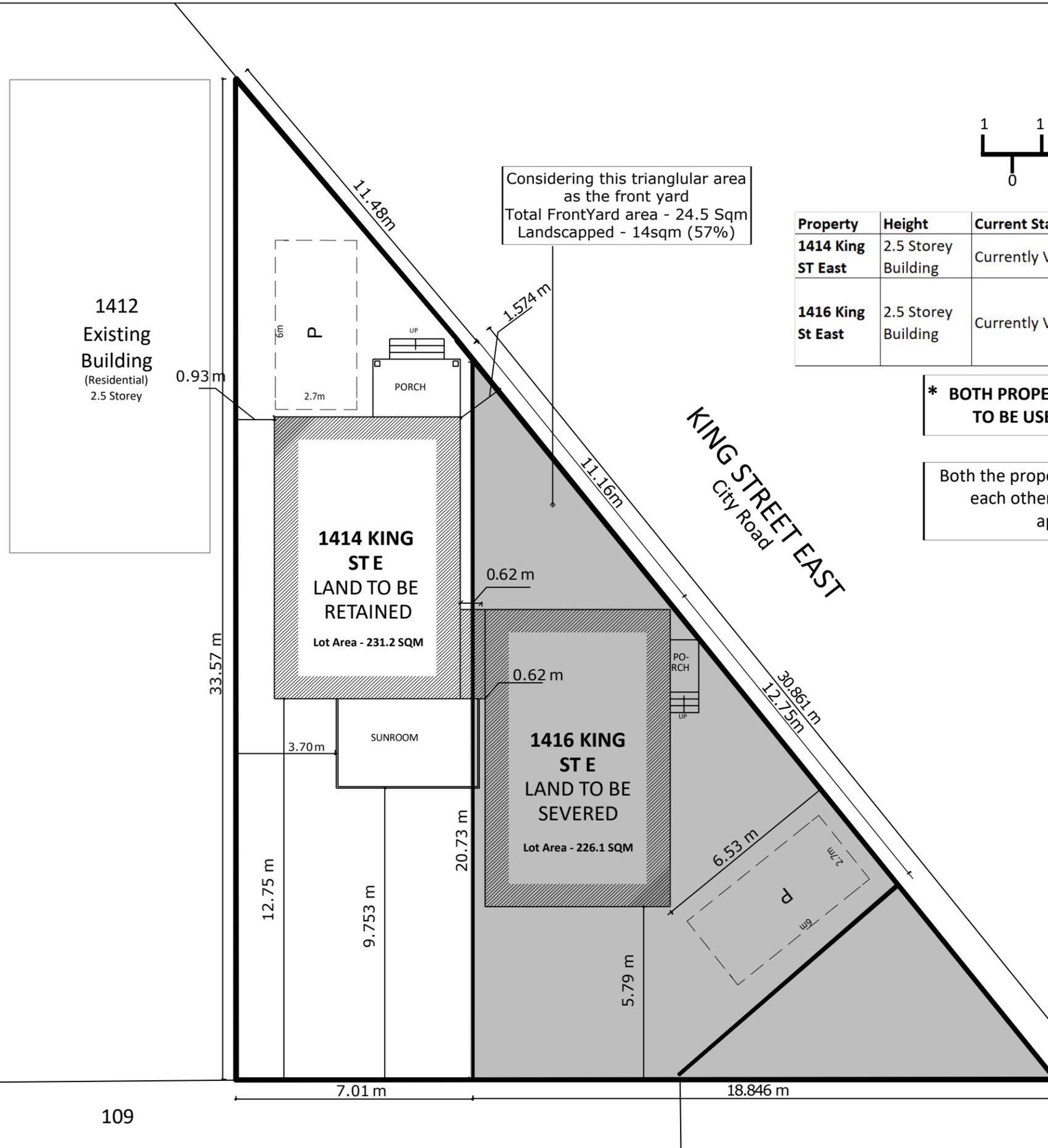
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SHEET TITLE

SITE PLAN WITH PARKING (Metric)

CITY: HAMILTON 1414 AND 1416 KING ST E
 EXISTING DWELLING BUILDING

SHEET **A2** PROJECT OCT 2023





No.	REVISION ISSUE	DATE

SCOPE OF WORK

PROPOSAL TO RECREATE TWO LOTS 1414 and 1416 KING ST E, WHICH HAVE MERGED INADVERTENTLY.

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SHEET TITLE

Street View and
 satellite Images

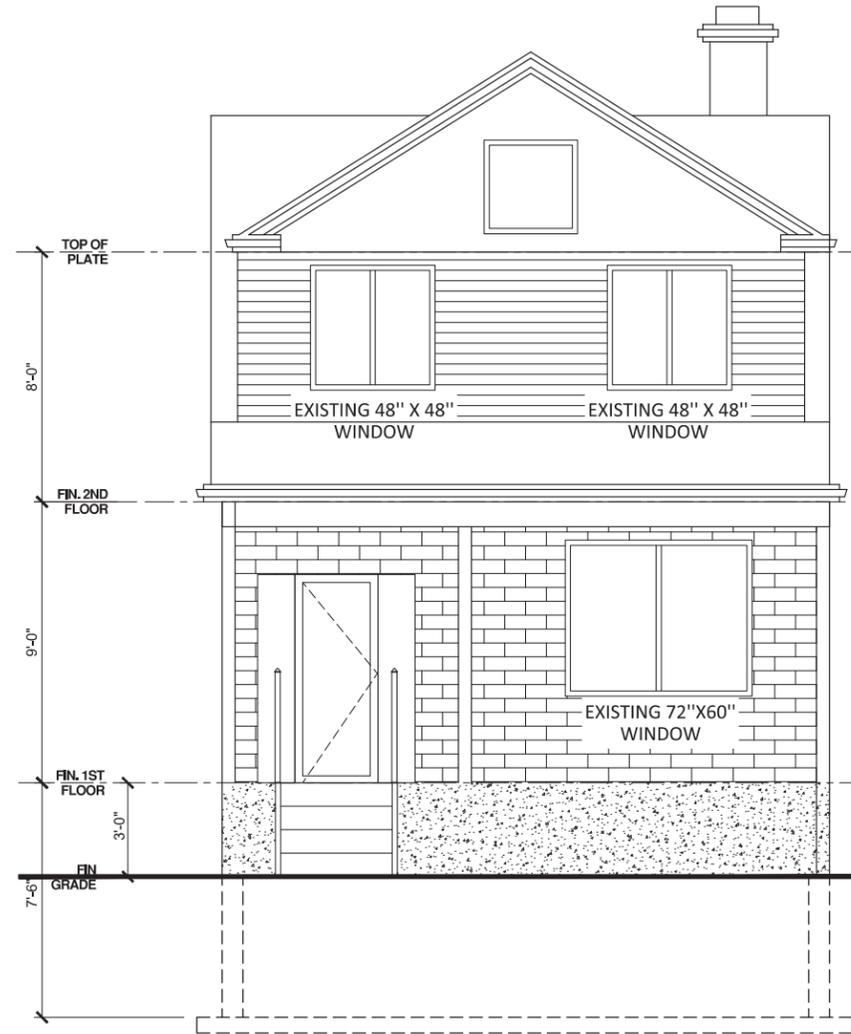
CITY: HAMILTON 1414 AND
 1416 KING ST E
 EXISTING DWELLING BUILDING

SHEET

A3

PROJECT
 OCT 2023

1414 KING ST E



FRONT SIDE ELEVATION

No.	REVISION ISSUE	DATE

SCOPE OF WORK

PROPOSAL TO RECREATE TWO LOTS 1414 and 1416 KING ST E, WHICH HAVE MERGED INADVERTENTLY

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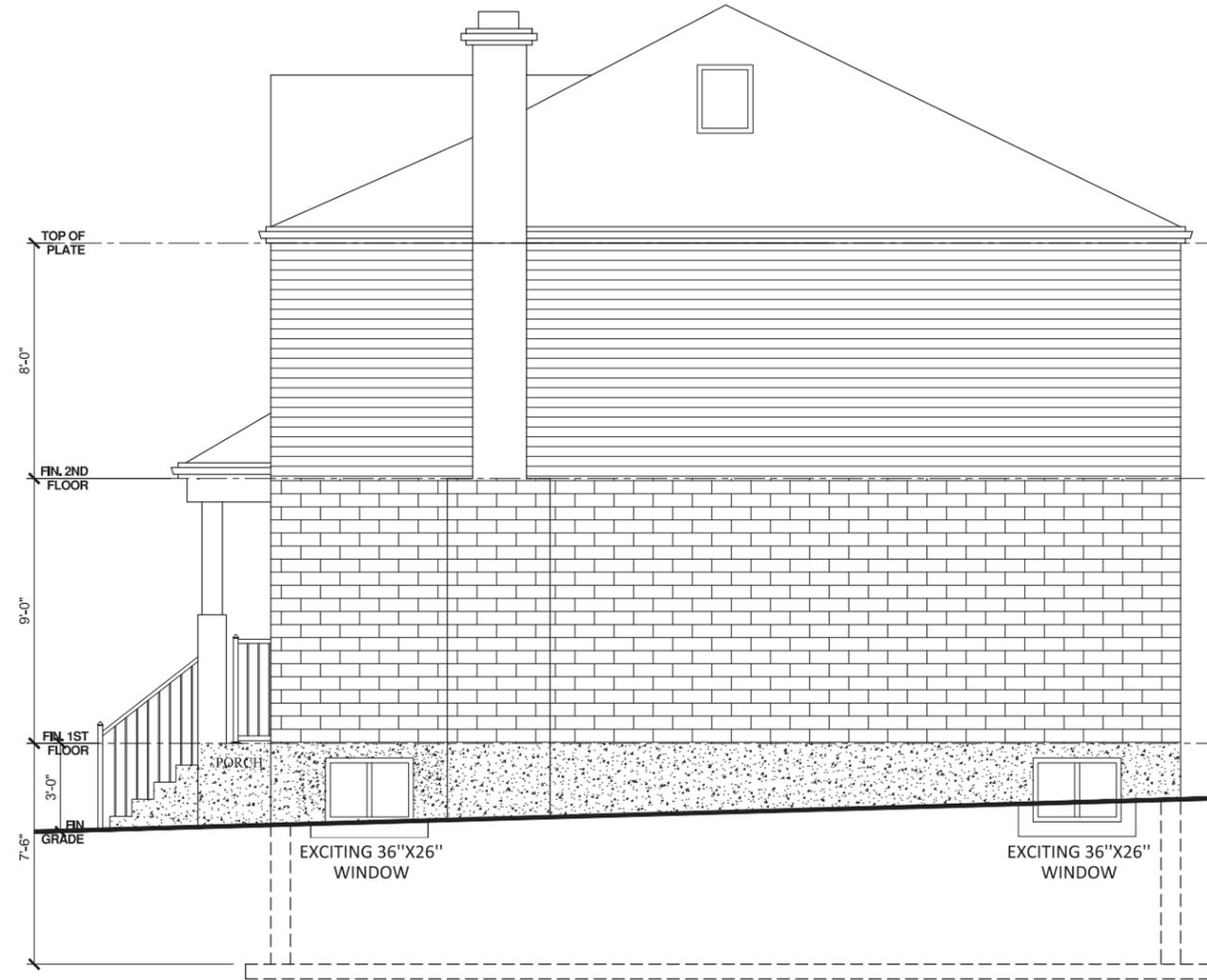
SHEET TITLE

FRONT SIDE ELEVATION

CITY: HAMILTON
 1414 KING ST E
 EXISTING DWELLING BUILDING

SHEET	PROJECT
A4	APRIL 2024
	3/16" = 1'-0"

1414 KING ST E



RIGHT SIDE ELEVATION

No.	REVISION ISSUE	DATE

SCOPE OF WORK

PROPOSAL TO RECREATE TWO LOTS 1414 and 1416 KING ST E, WHICH HAVE MERGED INADVERTENTLY

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SHEET TITLE

RIGHT SIDE ELEVATION

CITY: HAMILTON

1414 KING ST E
 EXISTING DWELLING BUILDING

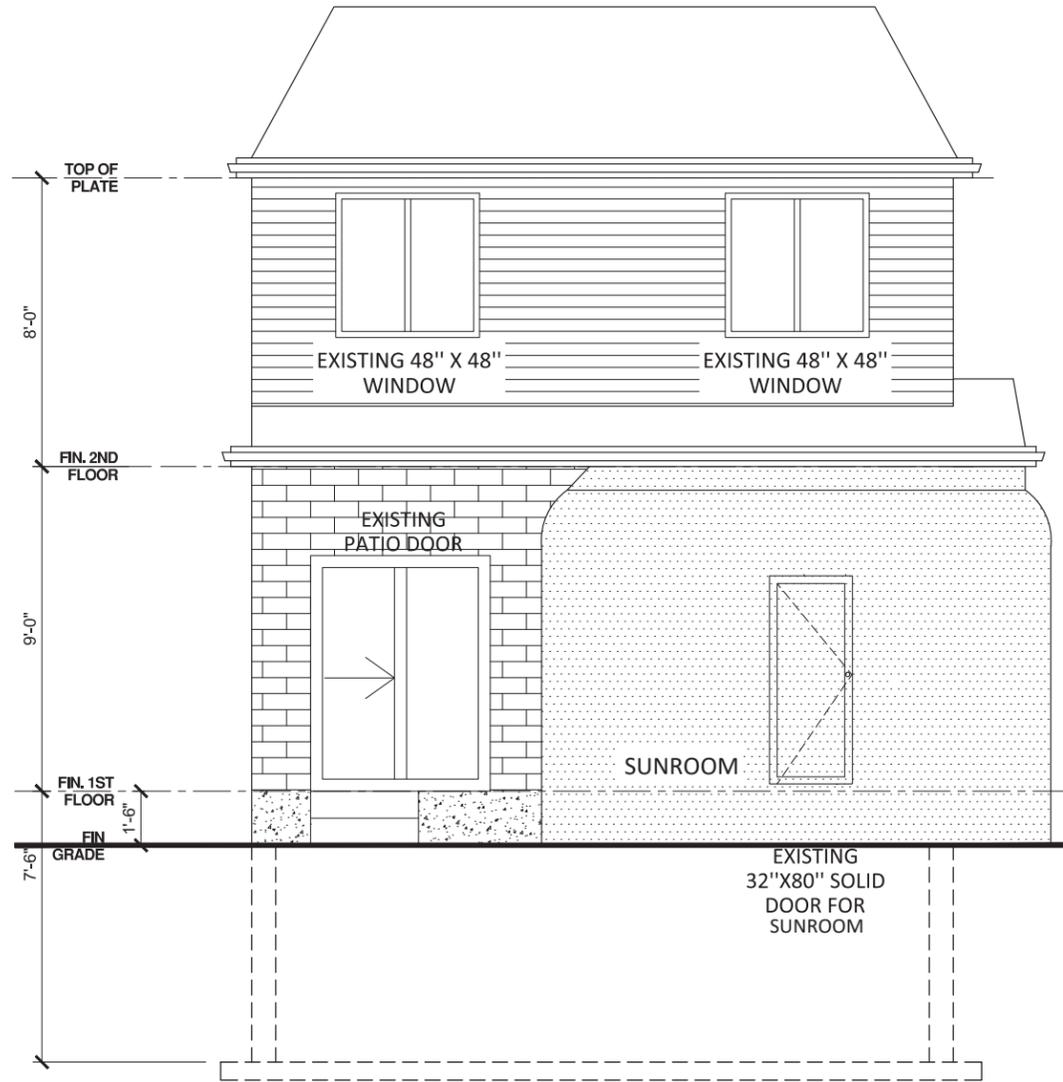
SHEET

A5

PROJECT

APRIL 2024
 N.T.S

1414 KING ST E



REAR SIDE ELEVATION

No.	REVISION ISSUE	DATE

SCOPE OF WORK

PROPOSAL TO RECREATE TWO LOTS 1414 and 1416 KING ST E, WHICH HAVE MERGED INADVERTENTLY

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SHEET TITLE

REAR SIDE ELEVATION

CITY: HAMILTON

1414 KING ST E

EXISTING DWELLING BUILDING

SHEET

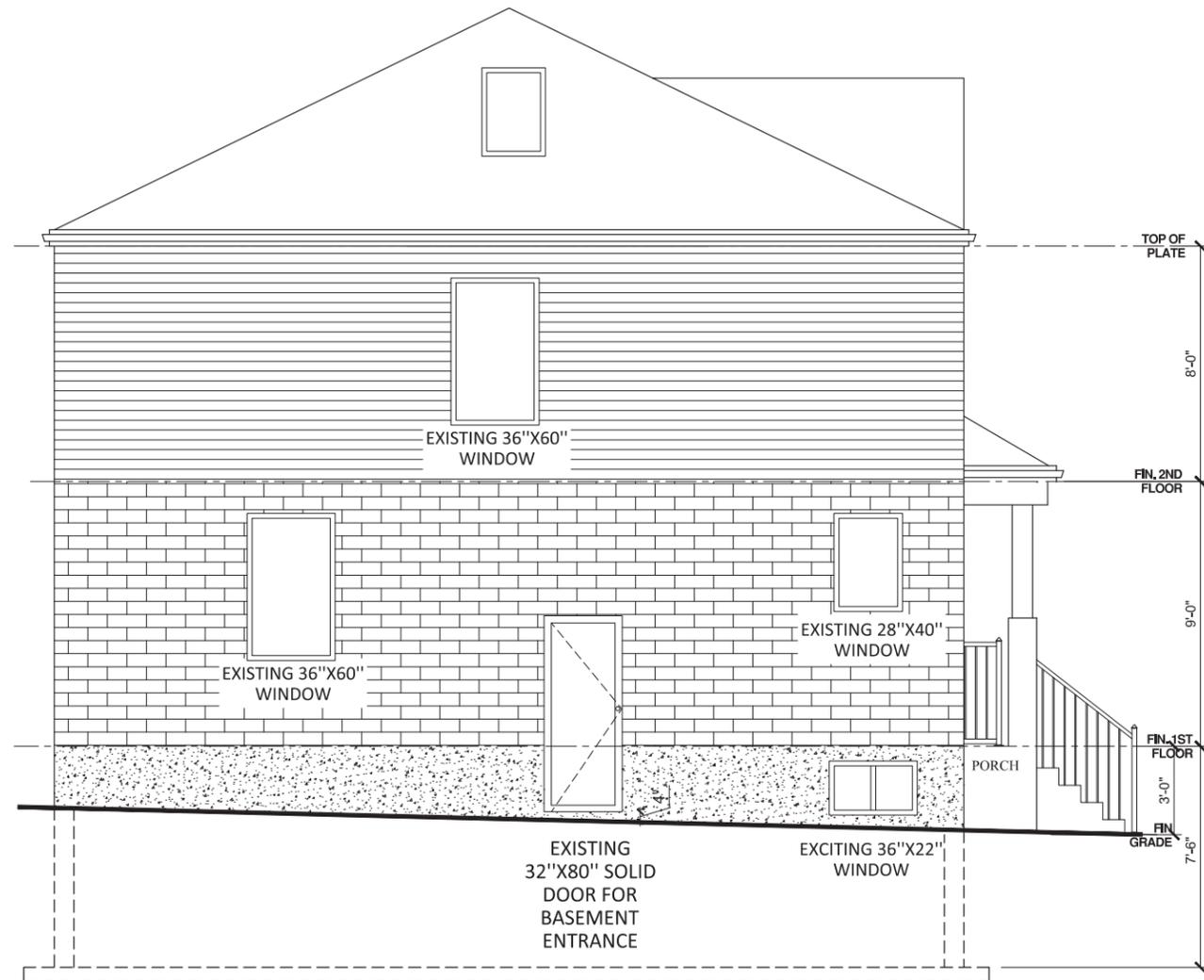
A6

PROJECT

APRIL 2024

N.T.S

1414 KING ST E



LEFT SIDE ELEVATION

No.	REVISION ISSUE	DATE

SCOPE OF WORK

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SHEET TITLE

LEFT SIDE ELEVATION

CITY: HAMILTON

1414 KING ST E

EXISTING DWELLING BUILDING

SHEET

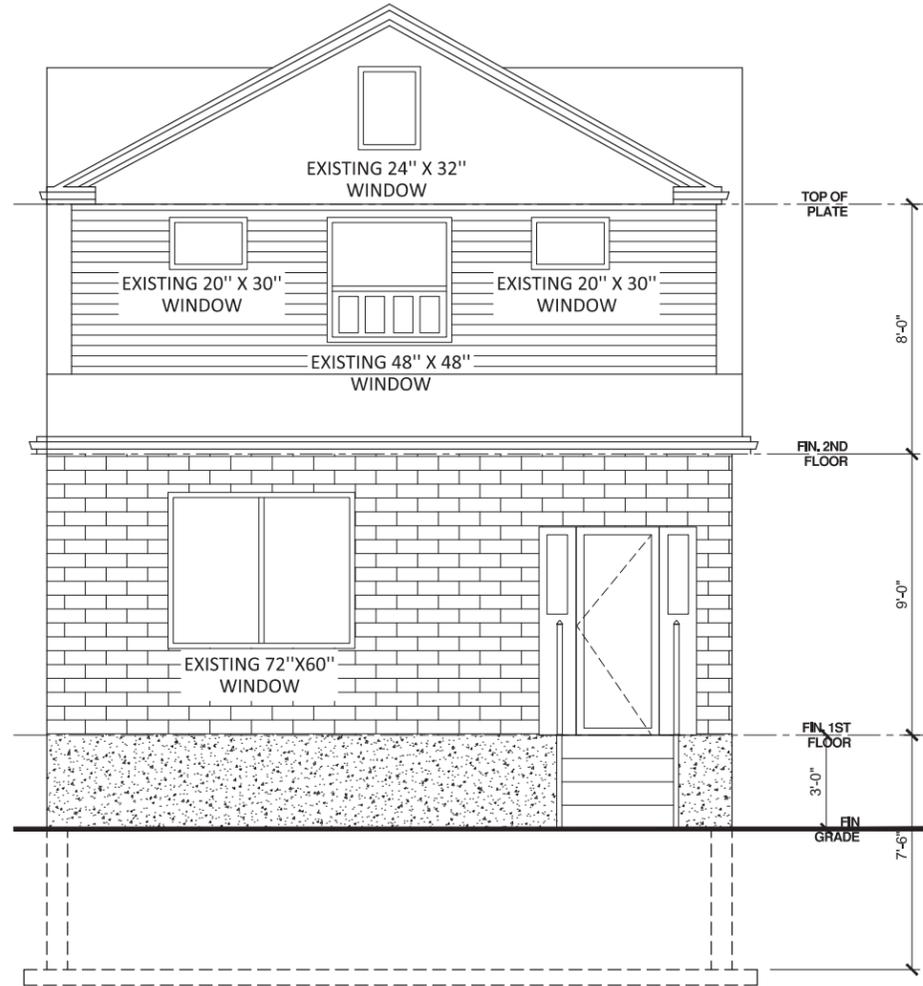
A7

PROJECT

APRIL 2024

3/8" = 1'-0"

1416 KING ST E



FRONT SIDE ELEVATION

No.	REVISION ISSUE	DATE

SCOPE OF WORK

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SHEET TITLE

FRONT SIDE ELEVATION

CITY: HAMILTON

1416 KING ST E

EXISTING DWELLING BUILDING

SHEET

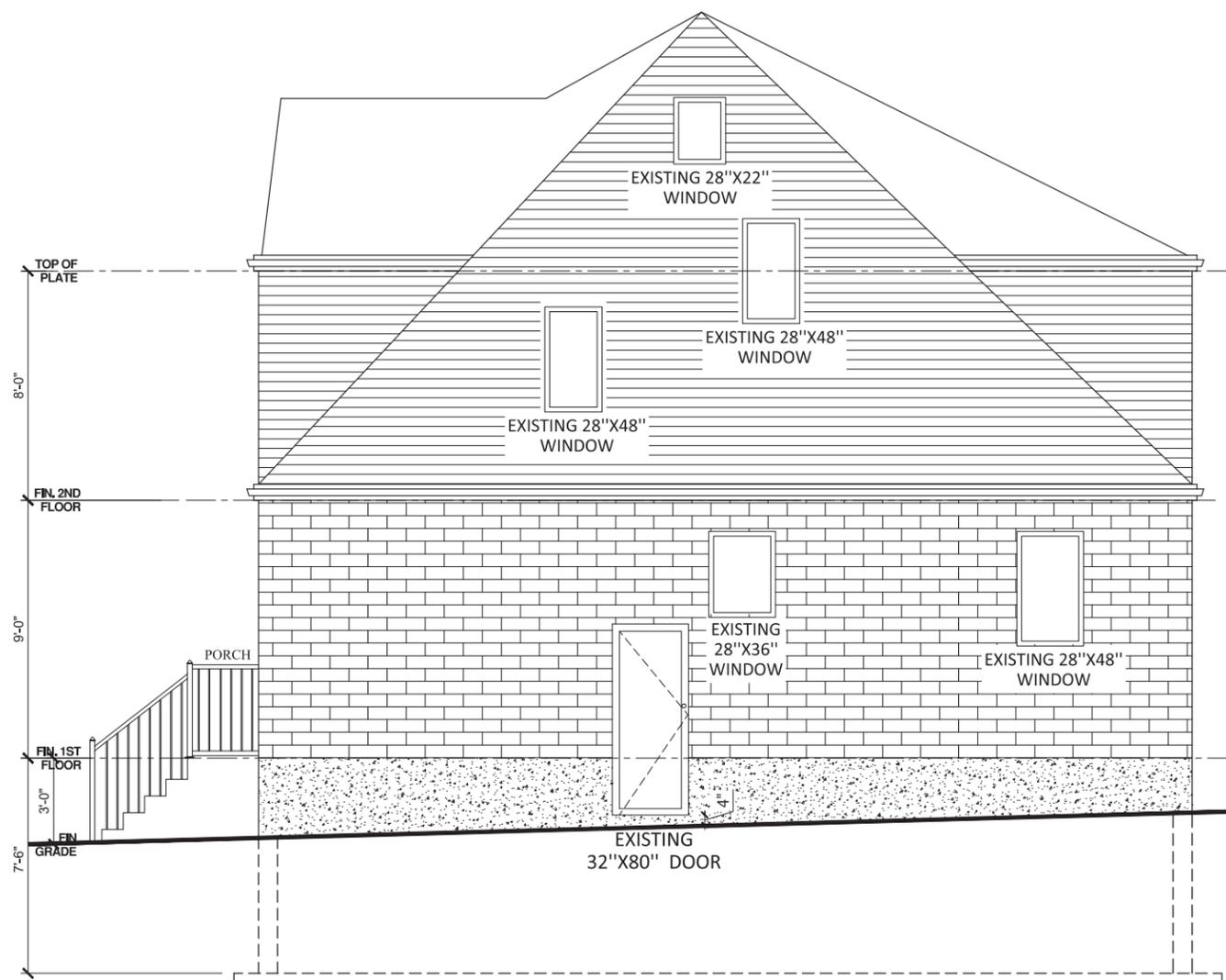
A8

PROJECT

APRIL 2024

3/16" = 1'-0"

1416 KING ST E



RIGHT SIDE ELEVATION

No.	REVISION ISSUE	DATE

SCOPE OF WORK

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SHEET TITLE

RIGHT SIDE ELEVATION

CITY: HAMILTON

1416 KING ST E

EXISTING DWELLING BUILDING

SHEET

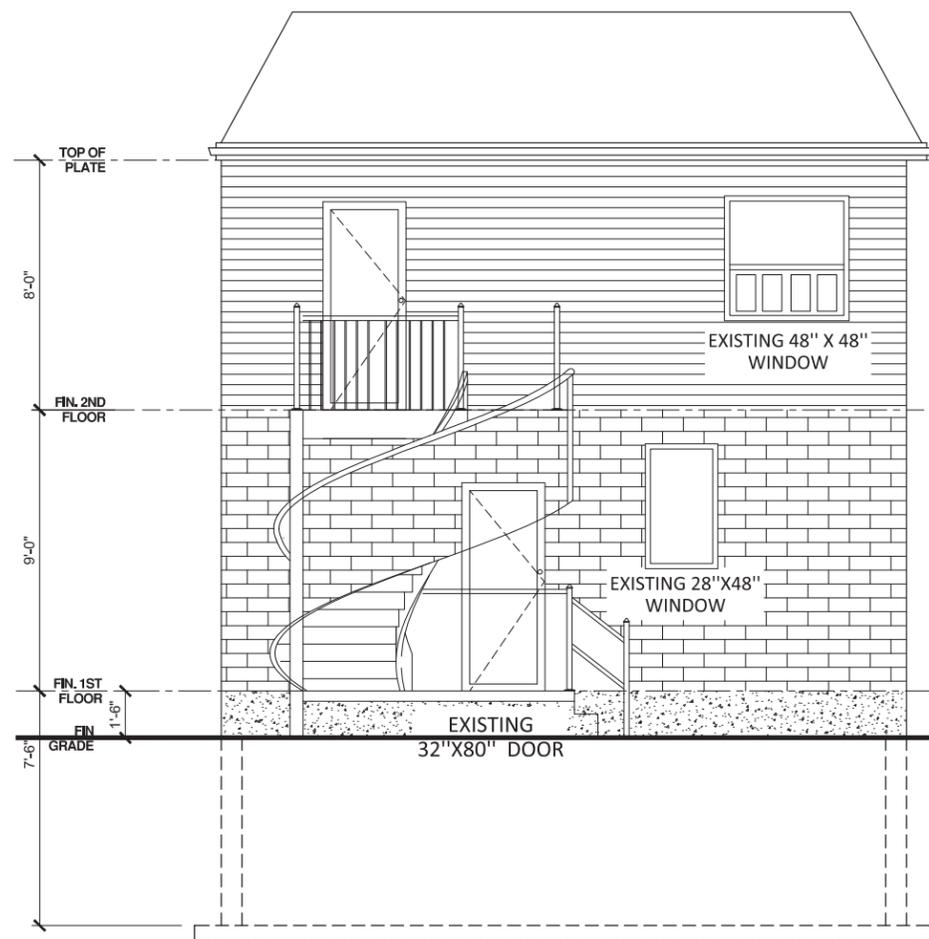
A9

PROJECT

APRIL 2024

3/8" = 1'-0"

1416 KING ST E



REAR SIDE ELEVATION

No.	REVISION ISSUE	DATE

SCOPE OF WORK

PROPOSAL TO RECREATE TWO LOTS 1414 and 1416 KING ST E, WHICH HAVE MERGED INADVERTENTLY

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SHEET TITLE

REAR SIDE ELEVATION

CITY: HAMILTON

1416 KING ST E

EXISTING DWELLING BUILDING

SHEET

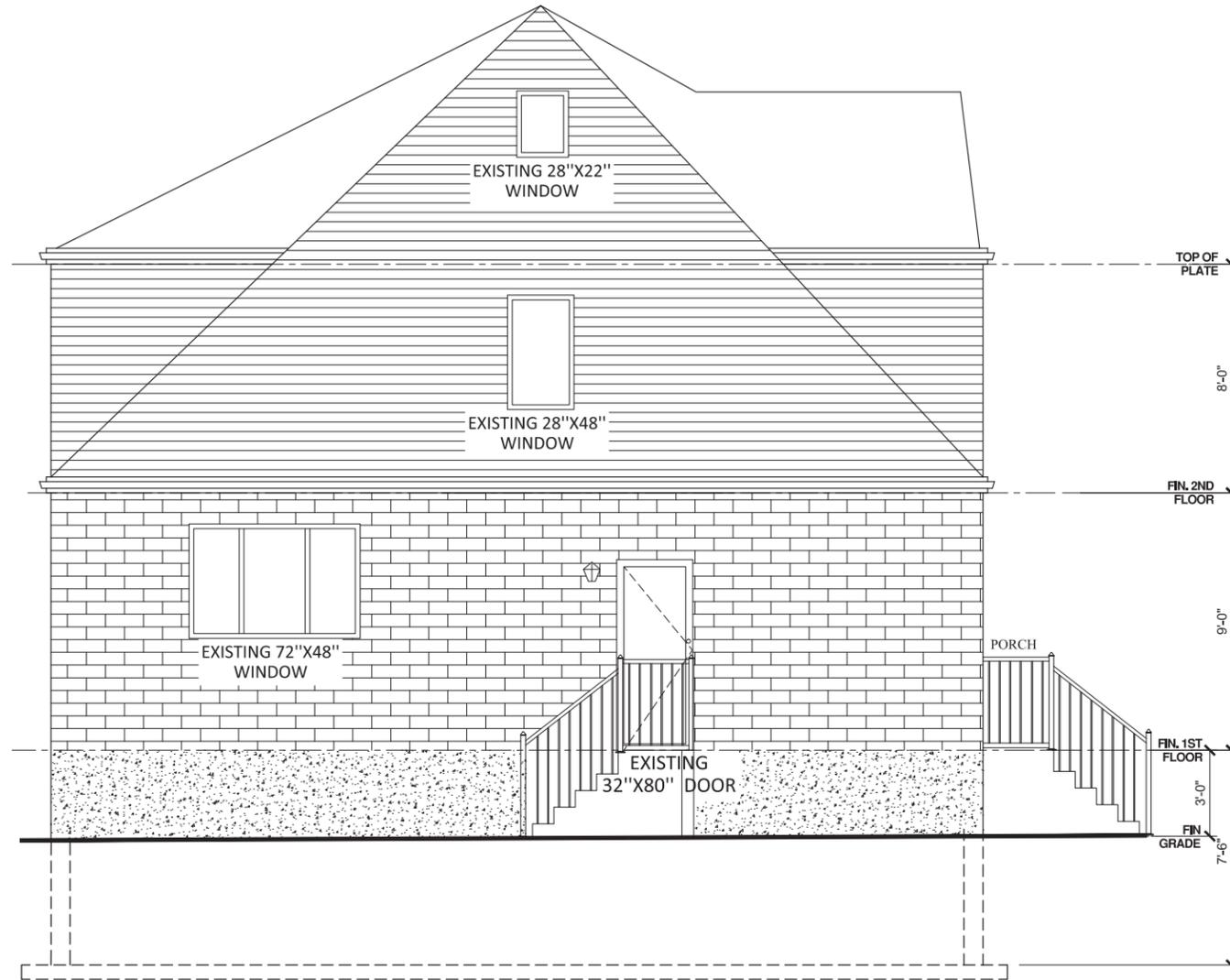
A10

PROJECT

APRIL 2024

N.T.S

1416 KING ST E



LEFT SIDE ELEVATION

No.	REVISION ISSUE	DATE

SCOPE OF WORK

PROPOSAL TO RECREATE TWO LOTS 1414 and 1416 KING ST E, WHICH HAVE MERGED INADVERTENTLY

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SHEET TITLE

LEFT SIDE ELEVATION

CITY: HAMILTON

1416 KING ST E

EXISTING DWELLING BUILDING

SHEET

A11

PROJECT

APRIL 2024

N.T.S

	Required	Existing	Required	Proposed Variance		Conforming/ Non-Conforming
				1414 King St East (Retained)	1416 King St East (Conveyed)	
"H" COMMUNITY SHOPPING & COMMERCIAL DISTRICT <i>in accordance with section 14 of former City of Hamilton Zoning By-law No. 6593</i>						
Height Requirements [as per section 14(2) of the former City of Hamilton Zoning By-law No. 6593]	(i) Except as provided in subclause (ii), no building or structure shall exceed four storeys or 17.0 metres (55.77 feet) in height; (ii) Where side yards are not less than 3.0 metres (9.84 feet) wide, the height of a building or structure shall not exceed eight storeys or 26.0 metres (85.30 feet) in height.	< 17.0 metres	< 17.0 metres	No Variance Proposed	No Variance Proposed	Conforms
Front Yard Requirement [as per section 14(3) of the former City of Hamilton Zoning By-law No. 6593]	(i) Where a front yard is required for any lot on the same side of a street between two intersecting streets, a front yard of a depth at least as great as that required for any such lot; 1430 King St E zoned D/S-1822 D District min front yard = 6.0m	Lands to be Conveyed (1416): 0 m Lands to be Retained (1414): =1.5 m	6m	Variance proposed to have front yard of 1.5 m for 1414 (Retained), where 6m is required	Variance proposed to have front yard of 0 m for 1416 (Conveyed), where 6m is required	Non-Conforming
Side Yard Requirement [as per section 14(3) of the former City of Hamilton Zoning By-law No. 6593]	(ii) (a) For a building used wholly or partly for human habitation except for a hostel, tourist home, and a tourist camp, if not over two and a half storeys or 11.0 metres (36.09 feet) in height, then a side yard along each side lot line, of a width of at least 1.2 metres (3.94 feet), and if higher, then at least 2.7 metres (8.86 feet), and for a building or structure not so used, no side yard shall be required, except where the lot upon which the same is situate adjoins a district in which side yards are required, in which case there shall be a side yard along that side, of a width at least as great as that required in such adjoining district; Provided however, that when dwelling units occur above business uses, the foregoing shall not apply to require side yards; (but see Building Regulations for front and rear light and ventilation requirements in such cases).	Common Side Yard = 0.0m Exterior Side Yards Lands to be Conveyed (1416): 0m minimum and 6.5m maximum Lands to be Retained: 0.93m	1.2 m	Variance proposed to have side yard of 0 m and 0.93 m for 1414 (Retained), where 1.2 m is required. Lot is irregular so sideyards are their but calculation is done considering minimum width.	Variance proposed to have side yard of 0 m for 1416 (Conveyed), where 1.2 m is required. Lot is irregular so sideyards are their but calculation is done considering minimum width.	Non-Conforming
	NOTE: Side yards are however, required by the Building By-Law for fire protection, for certain types of construction.					

	(b) For a hostel, tourist home and a tourist camp, if not over three storeys or 11.0 metres (36.09 feet) in height, then a side yard along each side lot line, of a width of at least 1.2 metres (3.94 feet), and if over three storeys or 11.0 metres (36.09 feet) in height, then at least 2.7 metres (8.86 feet), provided that for every storey above the fourth storey, the width of each side yard shall be greater by an additional 1.0 metres (3.28 feet);					
Rear Yard Requirement [as per section 14(3) of the former City of Hamilton Zoning By-law No. 6593]	(iii) (a) For a building used wholly for human habitation, a rear yard of a depth of at least 7.5 metres (24.61 feet) (6908/52) (9655/62) (79-288) (80-049) (b) For a building used partly for human habitation, a rear yard of a depth of at least 7.5 metres (24.61 feet) for every part of the building so used; and (9655/62) (79-288) (80-049) (c) In all other cases a rear yard of a depth of at least 4.5 metres (14.76 feet).	Lands to be Conveyed: 5.79m Lands to be Retained: 9.573m	7.5 m	No Variance Proposed for retained (1414)	Proposed Variance for Lands to be Conveyed (1416) to have rear yard of 5.79m, where 7.5m is required	Non-Conforming Conforming
Intensity of Use [as per section 14(4) of the former City of Hamilton Zoning By-law No. 6593]	(4) Every lot or tract of land upon which a dwelling is erected, converted or reconstructed in an "H" District shall have within the district: (9655/62) (i) For a single family dwelling, residential care facility, short-term care facility, or lodging house, a width of at least 12.0 metres (39.37 feet) and an area of at least 360.0 square metres (3,875.01 square feet); (9655/62) (79-288) (80-049) (81-27) (ii) For one or two dwelling units in the same building with a commercial use, a width of at least 12.0 metres (39.37 feet) and an area of at least 360.0 square metres (3,875.01 square feet).	Lands to be Conveyed: 226.1 sq. m Lands to be Retained: 231.5 sq. m	360 sqm	Variance proposed to have area of 231.2 sqm for retained parcel (1414), where 360 sqm is required.	Variance proposed to have area of 226.1 sqm for conveyed parcel (1416), where 360 sqm is required.	Non-Conforming
Floor Area Ratio [as per section 14(5) of the former City of Hamilton Zoning By-law No. 6593]	(5) No building or structure in an "H" District shall have a gross floor area of more than four times the area within the district of the lot on which it is situated.	Retained (1414) - 182.4 sqm Conveyed (1416) - 168.45 sqm	Retained (1414) - 924.8 Conveyed (1416) 904.4	No Variance Req'd, please confirm	No Variance Req'd, please confirm	Unable to Determine Compliance
Distance Requirements [as per section 14(7) & (8) of the former City of Hamilton Zoning By-law No. 6593]	(7) Except as provided in Subsection 8, every residential care facility emergency shelter or corrections residence shall be situated on a lot having a minimum radial separation distance of 300.0 metres from the lot line to the lot line of any other lot occupied or as may be occupied by a residential care facility, emergency shelter, corrections residence or correctional facility. (8) Where a radial separation distance from the lot line of an existing residential care facility is less than 300.0 metres to the lot line of any other lot occupied by a					N/A

	residential care facility, emergency shelter, corrections residence or correctional facility may be expanded or redeveloped to accommodate not more than the permitted number of residents. (8a) In addition to the requirements of Subsections (7) and (8), a corrections residence shall be situated on a lot having a minimum radial separation distance of 30.0 metres from the lot line to the lot line of any other lot occupied by an existing residential use or residential district.					
Landscape Requirements for Commercial Uses [as per section 14(9) of the former City of Hamilton Zoning By-law No. 6593	(9) (i) A planting strip of not less than 1.5 metres in width shall be provided and maintained along every side lot line and rear lot line adjoining a residential district or use, except where a building, structure or accessory building is located and except for the area used for access driveways; and (ii) Where any parking space or manoeuvring space is adjacent to a street line, a landscaped area having a minimum average width of 2.0 metres, but not less than 1.0 metres in width, shall be provided and maintained along the entire street line of the lot, except for the area used for access driveways.	Not Provided	2.0 m	Variance requested to have 0m of planting strip where 2.0 m is required	Variance requested to have 0m of planting strip where 2.0 m is required	Non-Conforming
Parking [as per section 19(1)ii. of the former City of Hamilton Zoning By-law No. 6593	(ii) Parking shall be provided in accordance with Section 18(A) of this Bylaw and the following: (a) No additional parking space shall be required for either a Secondary Dwelling Unit or a Secondary Dwelling Unit - Detached, provided the required parking spaces which existed on May 12, 2021 for the existing dwelling shall continue to be provided and maintained; 1. Notwithstanding Section 19.(1) (ii) (a), one parking space shall be required for a Secondary Dwelling Unit - Detached if it constitutes the fourth Dwelling Unit on a lot					N/A

Section 18A - Parking Requirements

Zoning By-law 6593

Minimum Number of Parking Spaces Section 18A(1)(a) and Table 1 of Hamilton Zoning By-law 6593	Except as otherwise provided, for every building or structure and use identified in this Section, there shall be provided and maintained within each district on the same lot on which one or more buildings are erected, altered, extended or enlarged,	1 space provided for each lot	2 parking spaces	variance requested to allow for 1 parkingspace whereas 2 are required	variance requested to allow for 1 parkingspace whereas 2 are required	Non-Conforming
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	(a) not less than the number of parking spaces at the ratio mentioned in column 2 for the corresponding use mentioned in paragraphs numbered 1, 2, 3 and 4 of column 1 of Table 1					
	Refer to Table 1 to determine the number of required parking spaces and add it here. (a) Single family dwelling; (a) 2 parking spaces for each Class A dwelling unit, for the first 8 habitable rooms in the dwelling unit plus 0.5 parking space for each additional habitable room; (97-112) (b) Two family dwelling; (b) 1 space per Class A dwelling unit;					
Minimum Number of Visitor Spaces Section 18A(1)(b) and Table 2 of Hamilton Zoning By- law 6593	Not less than the number of parking spaces exclusively for visitors at the ratio mentioned in column 2 for the corresponding residential use mentioned in column 1 of Table 2, as already included in the minimum number of required parking spaces for residential uses mentioned in Table 1. Refer to Table 2 to determine the number of required visitor parking spaces and add it here.					N/A
Minimum Number of Loading Spaces and Minimum Parking Space Size for Multiple Dwellings Section 18A(1)(c) and Table 3 of Hamilton Zoning By- law 6593	Where a building is a multiple dwelling contained more than four dwelling units, a minimum number of loading spaces conveniently located for the building having the minimum dimensions mentioned in columns 2 and 3 for the corresponding number of dwelling units mentioned in column 1 of Table 3. Refer to Table 3 to determine the required number of loading spaces and add it here. Minimum Number of Loading Spaces Required:					N/A
	Refer to Table 3 to determine the minimum size of the loading space and add it here. Minimum Loading Space Size Required:					
Minimum Number of Loading Spaces and Minimum Parking Space Size for Commercial Uses Section 18A(1)(d) and Table 4 of Hamilton Zoning By- law 6593	Where a building, structure or land is used for commercial purposes and except as provided in clause (e), a minimum number of loading spaces having minimum dimensions mentioned in column 2 and 3 for the corresponding floor area of the building mentioned in column 1 of Table 4, (shall not apply to a public parking structure)					N/A

	<p><i>Refer to Table 4 to determine the minimum number of required loading spaces and add it here.</i></p> <p>Minimum Number of Loading Spaces Required:</p>					
	<p><i>Refer to Table 4 to determine the minimum size of the loading space and add it here.</i></p> <p>Minimum Loading Space Size Required:</p>					
<p>Minimum Manoeuvring Space Section 18A(1)(f) and Table 6 of Hamilton Zoning By-law 6593</p>	<p>Manoeuvring space abutting upon and accessory to each required parking space, having an aisle width mentioned in column 2 of Table 6 for each parking space having a parking angle mentioned in column 1,</p> <p><i>Refer to Table 6 to determine the minimum manoeuvring space.</i></p> <p>Minimum Manoeuvring Space Size: Single family dwellings (Parking requirements - maneuvering and access aisle) 90 degrees= 6.0 metres</p>	Not Provided	6.0 metres	Variance to allow for Manoeuvring space of 0m is requested where 6.0m is required	Variance to allow for Manoeuvring space of 0m is requested where 6.0m is required	Non-Conforming
<p>Commercial Floor Area over 450.0 Square Metres Section 18A(2) of Hamilton Zoning By-law 6593</p>	<p>Where the total commercial floor area of all commercial buildings or structures comprised in an undertaking, work project or scheme exceeds 450.0 square metres, not more than one exemption shall be permitted for the total commercial floor area by deducting a maximum of 450.0 square metres from the total commercial floor area for the purpose of calculating the minimum number of parking spaces required to be provided under paragraph 4 of Table 1 of clause (a) subsection 1.</p>	For information in how the number of required parking spaces were calculated.				
<p>Properties Shown on Area "A" and "B" in Schedule "I" Section 18A(3) of Hamilton Zoning By-law 6593</p>	<p>Where the uses mentioned in paragraphs 2, 3, and 4 of Table 1 of clause (a) of subsection 1 are located in Areas "A" and "B" shown on Schedule "I", the minimum number of parking spaces mentioned in column 2 of Table 7 shall be provided and maintained for the corresponding Area mentioned in column 1.</p>	For information in how the number of required parking spaces were calculated as the property is in Area "A" or "B" in Schedule "I".				
<p>Parking Calculation Results in a Fractional Number Section 18A(6) of Hamilton Zoning By-law 6593</p>	<p>Where calculations of the number of parking and loading spaces result in a fractional number of parking or loading spaces, the next higher number shall be taken.</p>	For information in how the number of required parking spaces were calculated as it resulted in a fraction.				

Minimum Parking Space Size Section 18A(7) of Hamilton Zoning By-law 6593	Every required parking space, other than a parallel parking space, shall have dimensions not less than <u>2.7 metres width and 6.0 metres long</u> .	2.6m x 5.5m revised plan to show this	2.7 m x 6.0m	No variance necessary, please confirm	No variance necessary, please confirm	Conforms? Please confirm
Single Family Dwelling where more than One Parking Space is in an Attached Garage Section 18A(7a) of	Notwithstanding subsection (7), for a single family dwelling, where more than one parking space is provided in an attached garage, then an open stairway may project into the length of the required parking space not more than					N/A
Hamilton Zoning By-law 6593	0.75m provided that the height of the stairway does not exceed 0.5m.					
Minimum Parallel Parking Space Size Section 18A(8) of Hamilton Zoning By-law 6593	Every parallel parking space shall have dimensions not less than 2.5m wide and 6.7m long					N/A
Location of Required Parking Space, Loading Space and Manoeuvring Space Section 18A(9) of Hamilton Zoning By-law 6593	Required parking space, loading space and manoeuvring space shall be provided and maintained only on the lot which the principal use, building or structure is located.	Provided				Conforms
Unobstructed Required Parking Space Section 18A(10) of Hamilton Zoning By-law 6593	Sufficient space additional to required parking space shall be provided and maintained on the same lot on which the parking space is located, in such a manner as to enable each and every parking space to be unobstructed and freely and readily accessible from within the lot, without moving any vehicle on the lot or encroaching on any designated parking or loading space.	Not provided		Not applicable as only one parking space is proposed	Not applicable as only one parking space is proposed	Non-Conforming
Landscaped Area in Front Yard Section 18A(14a) of Hamilton Zoning By-law 6593	Except for single family dwellings, two family dwellings and three family dwellings <u>erected prior to December 14, 1971</u> , no part of a required parking space for a single family dwelling, two family dwelling or three family dwelling in a residential district shall be located in a required front yard and not less than 50% of the gross area of the front yard shall be used for a landscaped area excluding concrete, asphalt, gravel, pavers or other similar materials.	Retained (1414) - 0% Conveyed (1416) - irregular lot (57%)	50%	Variance requested for the landscape area in front yard to be 0% where minimum 50% is required	Considering the front as the triangular portion as shown on the Site Plan, variance is not required, please confirm	Unable to Determine Compliance

<p>Single Family Dwelling, Two Family Dwellings and Three Family Dwellings - Parking Provided in the Front Yard Section 18A(14b) of Hamilton Zoning By-law 6593</p>	<p>For single family dwellings, two family dwellings, and three family dwellings <u>erected p</u> <u>rior to December 14, 1971</u>, parking may be provided and maintained in the front yard provided that: i) The area for parking shall not occupy more than 50% of the gross area of the front yard.</p>	<p>Provided</p>				<p>Conforms</p>
	<p>ii) Not less than 50% of the gross area of the front yard shall be used for a landscaped area, excluding concrete, asphalt, gravel, pavers or other similar materials.</p>	<p>Retained (1414) - 0% Conveyed (1416) - irregular lot (57%)</p>	<p>50%</p>	<p>Variance requested for the landscape area in front yard to be 0% where minimum 50% is required</p>	<p>Considering the front as the triangular portion as shown on the Site Plan, variance is not required, please confirm</p>	<p>Unable to Determine Compliance</p>
<p>Single Family Dwelling, Two Family Dwellings and Three Family Dwellings –</p>	<p>Where a single family dwelling, two family dwelling or three family dwelling in a residential district is <u>located on a corner lot</u>,</p>	<p>Not a corner lot</p>				<p>N/A</p>
<p>On a Corner Lot Section 18A(14c) of Hamilton Zoning By-law 6593</p>	<p>parking may be permitted in the side yard that abuts the street line provided that: i) The area for parking shall not occupy more than 50% of the gross area of the side yard; and</p>					
	<p>ii) not less than 50% of the gross area of the side yard shall be used for a landscaped area, excluding concrete, asphalt, gravel, pavers or other similar materials.</p>					
<p>Calculating Gross Area of the Front Yard Section 18A(14d) of Hamilton Zoning By-law 6593</p>	<p>For the purposes of clauses (14a)(14b)&(14h), the gross area of the <u>front yard</u> shall be calculated as the area between the front lot line and the front of the principal dwelling and the area extending from the side lot line to side lot line but subtracting: - unenclosed entrance porches - vestibules -ramps -front steps -chimneys -bay windows -ornamental projections -terraces -platforms -a walkway between the front entrance of the principal dwelling and the front lot line or driveway with a maximum width of 0.6m</p>					

<p>Calculating Gross Area of the Side Yard Section 18A(14e) of Hamilton Zoning By-law 6593</p>	<p>For purposes of clause (14c), the gross area of the <u>side yard</u> shall be calculated as the area between the side lot line and a principal dwelling and the area extending from the front yard to the rear yard subtracting:</p> <ul style="list-style-type: none"> - unenclosed entrance porches - vestibules -ramps -side steps -chimneys -bay windows -ornamental projections -terraces -platforms -alcoves -stairwells -a walkway located in the side yard between the area extending from the front yard to the rear yard of the principal dwelling with a maximum of 0.6m 					
<p>Required Parking in the Front Yard Section 18A(14g) of</p>	<p>Except as provided for in clauses (14a),(14b) and (14h), no part of the required parking area</p>					N/A
<p>Hamilton Zoning By-law 6593</p>	<p>in a residential district shall be located in a required front yard.</p>					
<p>Location of Required Parking for a Single Family Dwelling Section 18A(14h) of Hamilton Zoning By-law 6593</p>	<p>For the purpose of a single family dwelling, the following shall apply:</p> <p>i) only one of the required parking spaces may be located in the front yard, and</p>	<p>Provided</p>				Conforms
	<p>ii) notwithstanding subsection 10, only the accessibility to one of the required parking spaces may be obstructed by any other required parking spaces.</p>	<p>Only one parking space provided per lot</p>				
<p>More Than One Use Proposed Section 18A(17) of Hamilton Zoning By-law 6593</p>	<p>Except as provided in subsections 18, 19, and 20, where more than one use is made of land, or a building, or a structure, there shall be provided and maintained a total number of,</p> <p>(a) parking spaces, equal to the aggregate number of parking spaces required to be provided for each use;</p> <p>(b) loading spaces, equal to the aggregate number of loading spaces required to be provided for each use.</p>					N/A

<p>Joint Residential Use and Commercial Use Section 18A(20) of Hamilton Zoning By-law 6593</p>	<p>Where a building or structure is comprised of a joint residential use and a commercial use, (a) the aggregate of the required residential and commercial parking spaces may be reduced by not more than 20% of either the required residential parking spaces or the required commercial parking spaces whichever is the lesser only if, (i) the number of parking spaces equal to the amount of the reduction are accessible to both the residential and commercial uses at times; and, (ii) not less than 80% of the parking spaces accessory to the residential uses are fully and completely separated from parking spaces accessory to the commercial uses; and, (b) the number of the required loading spaces for the commercial uses may be reduced by 50% of the required number of loading spaces for the residential uses.</p>	<p>Future uses to be residential</p>				<p>N/A</p>
<p>Access to Required Parking Spaces and manoeuvring Spaces Section 18A(21) of Hamilton Zoning By-law 6593</p>	<p>All required parking spaces and manoeuvring space shall have access by means of one or more access driveways, a) located on the lot, or b) located partly on the lot in the case of a mutual driveway c) by means of a right of way.</p>	<p>Manoeuvring space provided on the ROW</p>	<p>Manoeuvring space required to be located on lot</p>	<p>Variance requested to allow for the Manoeuvring space to be provided on the ROW</p>	<p>Variance requested to allow for the Manoeuvring space to be provided on the ROW</p>	<p>Non-Conforming</p>
<p>Unobstructed Access to and from Required Parking Spaces Section 18A(22) of Hamilton Zoning By-law 6593</p>	<p>All manoeuvring space shall be maintained free and clear of all obstructions to permit unobstructed access to and from required parking spaces.</p>	<p>Provided</p>				<p>Conforms</p>
<p>Access Driveway Section 18A(23) of Hamilton Zoning By-law 6593</p>	<p>Every access driveway shall provide easy access from a highway to the parking area to which the access driveway is accessory.</p>	<p>Provided</p>				<p>Conforms</p>
<p>Five or Less Parking Spaces Section 18A(24) of Hamilton Zoning By-law 6593</p>	<p>Every parking area for a use where, a) There are <u>fi ve or less</u> parking spaces shall have: not less than one access driveway or one mutual driveway, having a width of at least 2.8m</p>	<p>2.6m, revised to 2.7m</p>	<p>minimum width of 2.8 m required</p>	<p>Variance requested to have width of driveway to be 2.7m where minimum 2.8m is required</p>	<p>Variance requested to have width of driveway to be 2.7m where minimum 2.8m is required</p>	<p>Non-Conforming</p>
	<p>b) There are <u>m ore than five (5)</u> parking spaces shall have:</p>					<p>N/A</p>

	<p>i) not less than one access driveway or mutual access driveway having a width of at least 5.5m, or</p> <p>ii) a separate ingress driveway and a separate egress driveway, each having a width of at least 3.0m and each operated in a one way but opposite direction to each other and so designed that vehicles shall not back out onto an adjoining highway.</p> <p>iii) Markings on the surface of the parking area delineating the separate parking spaces; and</p> <p>iv) bumpers or wheel barriers to prevent the physical encroachment beyond the parking area except at the entrance to and exit from the parking area.</p>				
Residential District Vehicular Access Section 18A(27) of Hamilton Zoning By-law 6593	No land in a <u>ny residential district</u> shall be used for the purpose of vehicular access to or egress from any land in a commercial district or industrial district.				N/A
Residential - Lands a Multiple Dwelling is Not Permitted Section 18A(28) of Hamilton Zoning By-law 6593	No land in any residential district in which a multiple dwelling is not permitted shall be used for the purpose of vehicular access to or egress from any land used for a multiple dwelling.				N/A
Parking for a Townhouse Dwelling or Maisonette Dwelling Section 18A(29) of Hamilton Zoning By-law 6593	Where a parking space for a <u>townhouse dwelling or maisonette dwelling</u> is covered and attached to or enclosed within the dwelling unit, the entrance to the parking space shall be located not less than 6.0m from the entrance to the individual driveway.				N/A
Parking Surface Material Section 18A(30) of Hamilton Zoning By-law 6593	Except as provided in subsection 31, a permanent durable and dustless surface that is graded, drained and paved with concrete or asphalt or a combination of concrete and asphalt shall be provided and maintained for every parking area, manoeuvring space, loading space and access driveway.	Provided			Conforms
Parking Surface Material –	A gravel or similar surface or other suitable	Provided			Conforms

<p>Single Family Dwelling, Two Family Dwelling, and Street Townhouse Dwelling Section 18A(31) of Hamilton Zoning By-law 6593</p>	<p>paving shall be provided and maintained for every parking space and access driveway accessory to a <u>single family dwelling, two family dwelling and to a street townhouse dwelling</u> each having separate access driveways.</p>					
<p>Restaurants in the "H" District Section 18A(36) of Hamilton Zoning By-law 6593</p>	<p>Notwithstanding any other provisions of this By-law, the following shall apply to restaurants in the "H" District:</p> <p>1. There shall be provided and maintained accessory to a restaurant in an "H" District,</p> <p>(a) a parking area containing parking space at the rate of one space for every six persons who may be lawfully accommodated except that,</p> <p>(i) no parking space shall be required within the area more particularly described as area "A" shown on Schedule "I";</p> <p>(ii) parking space at the rate of one space for every twelve persons who may be lawfully accommodated shall be provided and maintained within the area more particularly described as area "B" shown on Schedule "I";</p> <p>(b) a distance of not less than 12.0 metres (39.37 feet) between a residential district and the driveway and the parking area and manoeuvring area used in conjunction with a restaurant;</p> <p>(c) a landscaped area for the parking area referred to in clause (a) of not less than 1.5 metres (4.92 feet) in width along and within every side lot line and front lot line that abuts a highway and any public right-of-way.</p>					<p>N/A</p>
	<p>2. No points of ingress or egress at the lot line, to or from the lot on which parking for a restaurant is located shall be situate closer than 30.0 metres (98.43 feet) to a residential district boundary.</p>					
<p>Restaurants in the "H" District – Sections that do not apply for property within areas "A" and "B" shown on Schedule "I" Section 18A(37) of Hamilton Zoning By-law 6593</p>	<p>Clause (b) of paragraph 1 of subsection 36 of this section and paragraph 2 of the said subsection 36 shall not apply to the land situate within areas "A" and "B" shown on Schedule "I".</p>					<p>N/A</p>
<p>Properties Located in the</p>	<p>Except for residential care facilities, retirement</p>					<p>N/A</p>

<p>area shown on Schedule “K” Section 18A(42) of Hamilton Zoning By-law 6593</p>	<p>homes, correctional facilities, correction residences and emergency shelters, where residential uses mentioned in paragraph 1 in Table 1 and Table 3 area located in the area shown on Schedule “K”, no parking and loading will be required for residential uses established within the period from <u>September 1, 2002</u> and <u>September 1, 2005</u>.</p>					
<p>Areas shown on Schedules “P”, “Q”, “S” and “T” – Permitted Commercial Uses Parking Requirements Section 18A(43) of Hamilton Zoning By-law 6593</p>	<p>The provisions of Subsection 18A(1) shall not apply to any permitted commercial use(s), except “Medical Office” which includes “Doctor, Dentist, Osteopath and Drugless Practitioner,” located in all or part of the building existing on the effective date of this By-law, within the areas shown on Schedules “P”, “Q”, “S” and “T”, attached as Schedules “A4”, “A5”, “A7” and “A8” to this By-law, no parking spaces are required provided that the number of parking spaces which existed on the effective date of this By-law shall continue to be provided and maintained. Where an addition or expansion of an existing building is proposed, the parking requirements of Section 18A(1) above, shall only apply to the commercial use or uses contained within the increased gross floor area.</p>					<p>N/A</p>
<p>Area shown on Schedules “R” – Permitted Commercial Uses Parking Requirements Section 18A(44) of Hamilton Zoning By-law 6593</p>	<p>The provisions of Subsection 18A(1) shall not apply to any permitted commercial use(s), except “Restaurant” and “Medical Office” which includes “Doctor, Dentist, Osteopath and Drugless Practitioner,” located in all or part of the building existing on the effective date of this By-law, within the area shown on Schedule “R”, attached as Schedule “A6” to this By-law, no parking spaces are required provided that the number of parking spaces which existed on</p>					<p>N/A</p>
	<p>the effective date of this By-law shall continue to be provided and maintained. Where an addition or expansion of an existing building is proposed, the parking requirements of Section 18A(1) above, shall only apply to the commercial use or uses contained within the increased gross floor area.</p>					

<p>Area shown on Schedules "U" – Permitted Commercial Uses Parking Requirements Section 18A(45) of Hamilton Zoning By-law 6593</p>	<p>Notwithstanding Section 18A(3) and Table 7 and Section 18A(36)(1)(a), the provisions of Subsection 18A(1) shall not apply to any permitted commercial use(s), except "Medical Office" which includes "Doctor, Dentist, Osteopath and Drugless Practitioner," located in all or part of the building existing on the effective date of this By-law, within the areas shown on Schedule "U" – James Street North and Schedule "U" – James Street South, attached as Schedule "A1" and "A2" to this By-law, no parking spaces are required provided that the number of parking spaces which existed on the effective date of this By-law shall continue to be provided and maintained. Where an addition or expansion of an existing building is proposed, the parking requirements of Section 18A(1) above, shall only apply to the commercial use or uses contained within the increased gross floor area.</p>					<p>N/A</p>
<p>Area shown on Schedules "R" and zoned "H" (Community Shopping and Commercial, etc.) – Permitted Commercial Uses Parking Requirements Section 18A(46) of Hamilton Zoning By-law 6593</p>	<p>Notwithstanding Section 18A(3) and Table 7 and Section 18A(36)(1)(a), the provisions of Subsection 18A(1) shall not apply to any permitted commercial use(s), except "Medical Office" which includes "Doctor, Dentist, Osteopath and Drugless Practitioner," located in all or part of the building existing on the effective date of this By-law that is zoned "H" (Community Shopping and Commercial, etc.) District or a site specific "H" District, except those properties identified on Schedule "R", no parking spaces are required provided that the number of parking spaces which existed on the effective date of this By-law shall continue to be provided and maintained. Where an addition or expansion of an existing building is proposed, the parking requirements of Section 18A(1) above, shall only apply to the commercial use or uses contained within the increased gross floor area.</p>					<p>N/A</p>

S.No.	Existing	Required	Proposed Variance	
			1414 King St East (Retained)	1416 King St East (Conveyed)
1	Lands to be Conveyed (1416): 0 m Lands to be Retained (1414): =1.5 m	6m	Variance proposed to have front yard of 1.5 m for 1414 (Retained), where 6m is required	Variance proposed to have front yard of 0 m for 1416 (Conveyed), where 6m is required
2	Common Side Yard = 0.0m Exterior Side Yards Lands to be Conveyed (1416): 0m minimum and 6.5m maximum Lands to be Retained: 0.93m	1.2 m	Variance proposed to have side yard of 0 m and 0.93 m for 1414 (Retained), where 1.2 m is required. Lot is irregular so sideyards are their but calculation is done considering minimum width.	Variance proposed to have side yard of 0 m for 1416 (Conveyed), where 1.2 m is required. Lot is irregular so sideyards are their but calculation is done considering minimum width.
3	Lands to be Conveyed: 5.79m Lands to be Retained: 9.573m	7.5 m	No Variance Proposed for retained (1414)	Proposed Variance for Lands to be Conveyed (1416) to have rear yard of 5.79m, where 7.5m is required
4	Lands to be Conveyed: 226.1 sq. m Lands to be Retained: 231.5 sq. m	360 sqm	Variance proposed to have area of 231.2 sqm for retained parcel (1414), where 360 sqm is required.	Variance proposed to have area of 226.1 sqm for conveyed parcel (1416), where 360 sqm is required.
5	Not Provided	2.0 m	Variance requested to have 0m of planting strip where 2.0 m is required	Variance requested to have 0m of planting strip where 2.0 m is required
6	1 space provided for each lot	2 parking spaces	variance requested to allow for 1 parkingspace whereas 2 are required	variance requested to allow for 1 parkingspace whereas 2 are required
7	Not Provided	6.0 metres	Variance to allow for Manoeuvring space of 0m is requested where 6.0m is required	Variance to allow for Manoeuvring space of 0m is requested where 6.0m is required
8	2.6m x 5.5m revised plan to show this	2.7 m x 6.0m	No variance necessary, please confirm	No variance necessary, please confirm
9	Retained (1414) - 0% Conveyed (1416) - irregular lot (57%)	50%	Variance requested for the landscape area in front yard to be 0% where minimum 50% is required	Considering the front as the triangular portion as shown on the Site Plan, variance is not required, please confirm

10	Retained (1414) - 0% Conveyed (1416) - irregular lot (57%)	50%	Variance requested for the landscape area in front yard to be 0% where minimum 50% is required	Considering the front as the triangular portion as shown on the Site Plan, variance is not required, please confirm
11	Manoeuvring space provided on the ROW	Manoeuvring space required to be located on lot	Variance requested to allow for the Manoeuvring space to be provided on the ROW	Variance requested to allow for the Manoeuvring space to be provided on the ROW
12	2.6m, revised to 2.7m	minimum width of 2.8 m required	Variance requested to have width of driveway to be 2.7m where minimum 2.8m is required	Variance requested to have width of driveway to be 2.7m where minimum 2.8m is required

PLANNING AND ECONOMIC DEVELOPMENT DEPARTMENT
 Building Division
 71 Main Street West
 Hamilton, Ontario, Canada, L8P 4Y5
 Phone: 905.546.2720 Fax: 905.546.2764
www.hamilton.ca



Hamilton

May 16, 2024

FILE: ALR
 FOLDER:
 ATTENTION OF: Ross McIntosh
 TELEPHONE NO: (905) 546-2424
 EXTENSION: 2077

PALAK KATARIA
 141 MCANULTY BLVD
 HAMILTON, ON L8H 3H6

Attention:

Re: ZONING COMPLIANCE REVIEW IN SUPPORT OF A MINOR VARIANCE APPLICATION
Present Zoning: "H" COMMUNITY SHOPPING & COMMERCIAL (Zoning by-law 6593)
Address: 1414 & 1416 KING St. E HAMILTON, ON

An Applicable Law Review respecting zoning bylaw compliance has been completed and the following comments are provided.

COMMENTS:

1. The purpose of this application is to facilitate consent application (HM/B-23:89) to recreate two lots, which was approved on January 18, 2024, and highlight all necessary variances required to clear consent conditions for both the lands retained and the lands conveyed.
2. The proposed use for both the lands retained and the lands conveyed is residential.
1414 King St East - Currently Vacant and was being used as residential.
1416 King St East - Currently Vacant but was being used as mixed use, with commercial on lower level and residential unit on upper floor. Proposed to be used as Residential in future.
3. Construction of the proposed development is subject to the issuance of a building permit in the normal manner. Be advised that Ontario Building Code regulations may require specific setbacks and construction types.
4. All Yard Encroachments shall conform to Section Eighteen "Encroachments on Yards" of the former City of Hamilton Zoning By-law No. 6593.

5. All mechanical and unitary equipment shall conform to Section Eighteen of the former City of Hamilton Zoning By-law No. 6593.
6. All new fences proposed for this development must comply with the regulations contained within Sign By-law 10-142.
7. The designer shall ensure that the fire access route conforms to the Ontario Building Code.
8. The proposed development has been reviewed and compared to the standards of the "H" Community Shopping & Commercial District under former City of Hamilton Zoning By-Law No.6593 as indicated in the following chart:

	Required	Provided	Conforming/ Non-Conforming
"H" COMMUNITY SHOPPING & COMMERCIAL DISTRICT <i>in accordance with section 14 of former City of Hamilton Zoning By-law No. 6593</i>			
Height Requirements [as per section 14(2) of the former City of Hamilton Zoning By-law No. 6593]	(i) Except as provided in subclause (ii), no building or structure shall exceed four storeys or 17.0 metres (55.77 feet) in height; (ii) Where side yards are not less than 3.0 metres (9.84 feet) wide, the height of a building or structure shall not exceed eight storeys or 26.0 metres (85.30 feet) in height.	< 17.0 metres	Conforms
Front Yard Requirement [as per section 14(3) of the former City of Hamilton Zoning By-law No. 6593]	(i) Where a front yard is required for any lot on the same side of a street between two intersecting streets, a front yard of a depth at least as great as that required for any such lot; 1430 King St E zoned D/S-1822 D District min front yard = 6.0m	Lands to be Conveyed: <6.0m Lands to be Retained: <6.0m	Non-Conforming
Side Yard Requirement [as per section 14(3) of the former City of Hamilton Zoning By-law No. 6593]	(ii) (a) For a building used wholly or partly for human habitation except for a hostel, tourist home, and a tourist camp, if not over two and a half storeys or 11.0 metres (36.09 feet) in height, then a side yard along each side lot line, of a width of at least 1.2 metres (3.94 feet), and if higher, then at least 2.7 metres (8.86 feet), and for a building or structure not so used, no side yard shall be required, except where the lot upon which the same is situate adjoins a district in which side yards are required, in which case there shall be a side yard along that side, of a width at least as great as that required in such adjoining district; Provided however, that when dwelling units occur above business uses, the foregoing shall not apply to require side yards; (but see Building Regulations for front and rear light and ventilation requirements in such cases).	Common Side Yard = 0.0m Exterior Side Yards Lands to be Conveyed: Approx 6.0m (Applicant to Confirm) Lands to be Retained: 0.93m	Non-Conforming

	<p>NOTE: Side yards are however, required by the Building By-Law for fire protection, for certain types of construction.</p> <p>(b) For a hostel, tourist home and a tourist camp, if not over three storeys or 11.0 metres (36.09 feet) in height, then a side yard along each side lot line, of a width of at least 1.2 metres (3.94 feet), and if over three storeys or 11.0 metres (36.09 feet) in height, then at least 2.7 metres (8.86 feet), provided that for every storey above the fourth storey, the width of each side yard shall be greater by an additional 1.0 metres (3.28 feet);</p>		
<p>Rear Yard Requirement [as per section 14(3) of the former City of Hamilton Zoning By-law No. 6593</p>	<p>(iii) (a) For a building used wholly for human habitation, a rear yard of a depth of at least 7.5 metres (24.61 feet) (6908/52) (9655/62) (79-288) (80-049) (b) For a building used partly for human habitation, a rear yard of a depth of at least 7.5 metres (24.61 feet) for every part of the building so used; and (9655/62) (79-288) (80-049) (c) In all other cases a rear yard of a depth of at least 4.5 metres (14.76 feet).</p>	<p>Lands to be Conveyed: 5.79m</p> <p>Lands to be Retained: 9.573m</p>	<p>Non-Conforming</p> <p>Conforming</p>
<p>Intensity of Use [as per section 14(4) of the former City of Hamilton Zoning By-law No. 6593</p>	<p>(4) Every lot or tract of land upon which a dwelling is erected, converted or reconstructed in an "H" District shall have within the district: (9655/62) (i) For a single family dwelling, residential care facility, short-term care facility, or lodging house, a width of at least 12.0 metres (39.37 feet) and an area of at least 360.0 square metres (3,875.01 square feet); (9655/62) (79-288) (80-049) (81-27) (ii) For one or two dwelling units in the same building with a commercial use, a width of at least 12.0 metres (39.37 feet) and an area of at least 360.0 square metres (3,875.01 square feet).</p>	<p>Lands to be Conveyed: 226.1 sq. m</p> <p>Lands to be Retained: 231.5 sq. m</p>	<p>Non-Conforming</p>
<p>Floor Area Ratio [as per section 14(5) of the former City of Hamilton Zoning By-law No. 6593</p>	<p>(5) No building or structure in an "H" District shall have a gross floor area of more than four times the area within the district of the lot on which it is situate.</p>	<p>Details not Provided</p>	<p>Unable to Determine Compliance</p>
<p>Distance Requirements [as per section 14(7) & (8) of the former City of Hamilton Zoning By-law No. 6593</p>	<p>(7) Except as provided in Subsection 8, every residential care facility emergency shelter or corrections residence shall be situated on a lot having a minimum radial separation distance of 300.0 metres from the lot line to the lot line of any other lot occupied or as may be occupied by a residential care facility, emergency shelter, corrections residence or correctional facility.</p> <p>(8) Where a radial separation distance from the lot line of an existing residential care facility is less than 300.0 metres to the lot line of any other lot occupied by a</p>		<p>N/A</p>

	<p>residential care facility, emergency shelter, corrections residence or correctional facility may be expanded or redeveloped to accommodate not more than the permitted number of residents.</p> <p>(8a) In addition to the requirements of Subsections (7) and (8), a corrections residence shall be situated on a lot having a minimum radial separation distance of 30.0 metres from the lot line to the lot line of any other lot occupied by an existing residential use or residential district.</p>		
<p>Landscape Requirements for Commercial Uses [as per section 14(9) of the former City of Hamilton Zoning By-law No. 6593]</p>	<p>(9) (i) A planting strip of not less than 1.5 metres in width shall be provided and maintained along every side lot line and rear lot line adjoining a residential district or use, except where a building, structure or accessory building is located and except for the area used for access driveways; and</p> <p>(ii) Where any parking space or manoeuvring space is adjacent to a street line, a landscaped area having a minimum average width of 2.0 metres, but not less than 1.0 metres in width, shall be provided and maintained along the entire street line of the lot, except for the area used for access driveways.</p>	Not Provided	Non-Conforming
<p>Parking [as per section 19(1)ii. of the former City of Hamilton Zoning By-law No. 6593]</p>	<p>(ii) Parking shall be provided in accordance with Section 18(A) of this Bylaw and the following: (a) No additional parking space shall be required for either a Secondary Dwelling Unit or a Secondary Dwelling Unit - Detached, provided the required parking spaces which existed on May 12, 2021 for the existing dwelling shall continue to be provided and maintained; 1. Notwithstanding Section 19.(1) (ii) (a), one parking space shall be required for a Secondary Dwelling Unit - Detached if it constitutes the fourth Dwelling Unit on a lot</p>		N/A

Section 18A - Parking Requirements

Zoning By-law 6593

<p>Minimum Number of Parking Spaces Section 18A(1)(a) and Table 1 of Hamilton Zoning By-law 6593</p>	<p>Except as otherwise provided, for every building or structure and use identified in this Section, there shall be provided and maintained within each district on the same lot on which one or more buildings are erected, altered, extended or enlarged,</p> <p>(a) not less than the number of parking spaces at the ratio mentioned in column 2 for the corresponding use mentioned in paragraphs numbered 1, 2, 3 and 4 of column 1 of Table 1</p>	1 space provided for each lot	Non-Conforming
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	<p>Refer to Table 1 to determine the number of required parking spaces and add it here.</p> <p>(a) Single family dwelling; (a) 2 parking spaces for each Class A dwelling unit, for the first 8 habitable rooms in the dwelling unit plus 0.5 parking space for each additional habitable room; (97-112) (b) Two family dwelling; (b) 1 space per Class A dwelling unit;</p>		
<p>Minimum Number of Visitor Spaces Section 18A(1)(b) and Table 2 of Hamilton Zoning By-law 6593</p>	<p>Not less than the number of parking spaces exclusively for visitors at the ratio mentioned in column 2 for the corresponding residential use mentioned in column 1 of Table 2, as already included in the minimum number of required parking spaces for residential uses mentioned in Table 1.</p> <p>Refer to Table 2 to determine the number of required visitor parking spaces and add it here.</p>		N/A
<p>Minimum Number of Loading Spaces and Minimum Parking Space Size for Multiple Dwellings Section 18A(1)(c) and Table 3 of Hamilton Zoning By-law 6593</p>	<p>Where a building is a multiple dwelling contained more than four dwelling units, a minimum number of loading spaces conveniently located for the building having the minimum dimensions mentioned in columns 2 and 3 for the corresponding number of dwelling units mentioned in column 1 of Table 3.</p> <p>Refer to Table 3 to determine the required number of loading spaces and add it here.</p> <p>Minimum Number of Loading Spaces Required:</p>		N/A
	<p>Refer to Table 3 to determine the minimum size of the loading space and add it here.</p> <p>Minimum Loading Space Size Required:</p>		
<p>Minimum Number of Loading Spaces and Minimum Parking Space Size for Commercial Uses Section 18A(1)(d) and Table 4 of Hamilton Zoning By-law 6593</p>	<p>Where a building, structure or land is used for commercial purposes and except as provided in clause (e), a minimum number of loading spaces having minimum dimensions mentioned in column 2 and 3 for the corresponding floor area of the building mentioned in column 1 of Table 4, (shall not apply to a public parking structure)</p> <p>Refer to Table 4 to determine the minimum number of required loading spaces and add it here.</p> <p>Minimum Number of Loading Spaces Required:</p>		N/A

	<p>Refer to Table 4 to determine the minimum size of the loading space and add it here.</p> <p>Minimum Loading Space Size Required:</p>		
<p>Minimum Manoeuvring Space Section 18A(1)(f) and Table 6 of Hamilton Zoning By-law 6593</p>	<p>Manoeuvring space abutting upon and accessory to each required parking space, having an aisle width mentioned in column 2 of Table 6 for each parking space having a parking angle mentioned in column 1,</p> <p>Refer to Table 6 to determine the minimum manoeuvring space.</p> <p>Minimum Manoeuvring Space Size:</p> <p>Single family dwellings (Parking requirements - maneuvering and access aisle)</p> <p>90 degrees= 6.0 metres</p>	Not Provided	Non-Conforming
<p>Commercial Floor Area over 450.0 Square Metres Section 18A(2) of Hamilton Zoning By-law 6593</p>	<p>Where the total commercial floor area of all commercial buildings or structures comprised in an undertaking, work project or scheme exceeds 450.0 square metres, not more than one exemption shall be permitted for the total commercial floor area by deducting a maximum of 450.0 square metres from the total commercial floor area for the purpose of calculating the minimum number of parking spaces required to be provided under paragraph 4 of Table 1 of clause (a) subsection 1.</p>	For information in how the number of required parking spaces were calculated.	
<p>Properties Shown on Area "A" and "B" in Schedule "I" Section 18A(3) of Hamilton Zoning By-law 6593</p>	<p>Where the uses mentioned in paragraphs 2, 3, and 4 of Table 1 of clause (a) of subsection 1 are located in Areas "A" and "B" shown on Schedule "I", the minimum number of parking spaces mentioned in column 2 of Table 7 shall be provided and maintained for the corresponding Area mentioned in column 1.</p>	For information in how the number of required parking spaces were calculated as the property is in Area "A" or "B" in Schedule "I".	
<p>Parking Calculation Results in a Fractional Number Section 18A(6) of Hamilton Zoning By-law 6593</p>	<p>Where calculations of the number of parking and loading spaces result in a fractional number of parking or loading spaces, the next higher number shall be taken.</p>	For information in how the number of required parking spaces were calculated as it resulted in a fraction.	
<p>Minimum Parking Space Size Section 18A(7) of Hamilton Zoning By-law 6593</p>	<p>Every required parking space, other than a parallel parking space, shall have dimensions not less than <u>2.7 metres width and 6.0 metres long.</u></p>	2.6m x 5.5m	Non-Conforming
<p>Single Family Dwelling where more than One Parking Space is in an Attached Garage Section 18A(7a) of</p>	<p>Notwithstanding subsection (7), for a single family dwelling, where more than one parking space is provided in an attached garage, then an open stairway may project into the length of the required parking space not more than</p>		N/A

Hamilton Zoning By-law 6593	0.75m provided that the height of the stairway does not exceed 0.5m.		
Minimum Parallel Parking Space Size Section 18A(8) of Hamilton Zoning By-law 6593	Every parallel parking space shall have dimensions not less than 2.5m wide and 6.7m long		N/A
Location of Required Parking Space, Loading Space and Manoeuvring Space Section 18A(9) of Hamilton Zoning By-law 6593	Required parking space, loading space and manoeuvring space shall be provided and maintained only on the lot which the principal use, building or structure is located.	Provided	Conforms
Unobstructed Required Parking Space Section 18A(10) of Hamilton Zoning By-law 6593	Sufficient space additional to required parking space shall be provided and maintained on the same lot on which the parking space is located, in such a manner as to enable each and every parking space to be unobstructed and freely and readily accessible from within the lot, without moving any vehicle on the lot or encroaching on any designated parking or loading space.	Not provided	Non-Conforming
Landscaped Area in Front Yard Section 18A(14a) of Hamilton Zoning By-law 6593	Except for single family dwellings, two family dwellings and three family dwellings <u>erected prior to December 14, 1971</u> , no part of a required parking space for a single family dwelling, two family dwelling or three family dwelling in a residential district shall be located in a required front yard and not less than 50% of the gross area of the front yard shall be used for a landscaped area excluding concrete, asphalt, gravel, pavers or other similar materials.	Details not provided	Unable to Determine Compliance
Single Family Dwelling, Two Family Dwellings and Three Family Dwellings - Parking Provided in the Front Yard Section 18A(14b) of Hamilton Zoning By-law 6593	For single family dwellings, two family dwellings, and three family dwellings <u>erected prior to December 14, 1971</u> , parking may be provided and maintained in the front yard provided that: i) The area for parking shall not occupy more than 50% of the gross area of the front yard.	Provided	Conforms
	ii) Not less than 50% of the gross area of the front yard shall be used for a landscaped area, excluding concrete, asphalt, gravel, pavers or other similar materials.	Details not Provided	Unable to Determine Compliance
Single Family Dwelling, Two Family Dwellings and Three Family Dwellings –	Where a single family dwelling, two family dwelling or three family dwelling in a residential district is <u>located on a corner lot</u> ,	Not a corner lot	N/A

<p>On a Corner Lot Section 18A(14c) of Hamilton Zoning By-law 6593</p>	<p>parking may be permitted in the side yard that abuts the street line provided that:</p> <p>i) The area for parking shall not occupy more than 50% of the gross area of the side yard; and</p>		
<p>Calculating Gross Area of the Front Yard Section 18A(14d) of Hamilton Zoning By-law 6593</p>	<p>For the purposes of clauses (14a)(14b)&(14h), the gross area of the <u>front yard</u> shall be calculated as the area between the front lot line and the front of the principal dwelling and the area extending from the side lot line to side lot line but subtracting:</p> <ul style="list-style-type: none"> - unenclosed entrance porches - vestibules -ramps -front steps -chimneys -bay windows -ornamental projections -terraces -platforms -a walkway between the front entrance of the principal dwelling and the front lot line or driveway with a maximum width of 0.6m 		
<p>Calculating Gross Area of the Side Yard Section 18A(14e) of Hamilton Zoning By-law 6593</p>	<p>For purposes of clause (14c), the gross area of the <u>side yard</u> shall be calculated as the area between the side lot line and a principal dwelling and the area extending from the front yard to the rear yard subtracting:</p> <ul style="list-style-type: none"> - unenclosed entrance porches - vestibules -ramps -side steps -chimneys -bay windows -ornamental projections -terraces -platforms -alcoves -stairwells -a walkway located in the side yard between the area extending from the front yard to the rear yard of the principal dwelling with a maximum of 0.6m 		
<p>Required Parking in the Front Yard Section 18A(14g) of</p>	<p>Except as provided for in clauses (14a),(14b) and (14h), no part of the required parking area</p>		N/A

Hamilton Zoning By-law 6593	in a residential district shall be located in a required front yard.		
Location of Required Parking for a Single Family Dwelling Section 18A(14h) of Hamilton Zoning By-law 6593	For the purpose of a single family dwelling, the following shall apply: i) only one of the required parking spaces may be located in the front yard, and	Provided	Conforms
	ii) notwithstanding subsection 10, only the accessibility to one of the required parking spaces may be obstructed by any other required parking spaces.	Only one parking space provided per lot	
More Than One Use Proposed Section 18A(17) of Hamilton Zoning By-law 6593	Except as provided in subsections 18, 19, and 20, where more than one use is made of land, or a building, or a structure, there shall be provided and maintained a total number of, (a) parking spaces, equal to the aggregate number of parking spaces required to be provided for each use; (b) loading spaces, equal to the aggregate number of loading spaces required to be provided for each use.		N/A
Joint Residential Use and Commercial Use Section 18A(20) of Hamilton Zoning By-law 6593	Where a building or structure is comprised of a joint residential use and a commercial use, (a) the aggregate of the required residential and commercial parking spaces may be reduced by not more than 20% of either the required residential parking spaces or the required commercial parking spaces whichever is the lesser only if, (i) the number of parking spaces equal to the amount of the reduction are accessible to both the residential and commercial uses at times; and, (ii) not less than 80% of the parking spaces accessory to the residential uses are fully and completely separated from parking spaces accessory to the commercial uses; and,	Future uses to be residential	N/A
	(b) the number of the required loading spaces for the commercial uses may be reduced by 50% of the required number of loading spaces for the residential uses.		
Access to Required Parking Spaces and manoeuvring Spaces Section 18A(21) of Hamilton Zoning By-law 6593	All required parking spaces and manoeuvring space shall have access by means of one or more access driveways, a) located on the lot, or b) located partly on the lot in the case of a mutual driveway	Manoeuvring space provided on the ROW	Non-Conforming

	c) by means of a right of way.		
Unobstructed Access to and from Required Parking Spaces Section 18A(22) of Hamilton Zoning By-law 6593	All manoeuvring space shall be maintained free and clear of all obstructions to permit unobstructed access to and from required parking spaces.	Provided	Conforms
Access Driveway Section 18A(23) of Hamilton Zoning By-law 6593	Every access driveway shall provide easy access from a highway to the parking area to which the access driveway is accessory.	Provided	Conforms
Five or Less Parking Spaces Section 18A(24) of Hamilton Zoning By-law 6593	Every parking area for a use where, a) There are <u>five or less</u> parking spaces shall have: not less than one access driveway or one mutual driveway, having a width of at least 2.8m	2.6m	Non-Conforming
	b) There are <u>more than five (5)</u> parking spaces shall have: i) not less than one access driveway or mutual access driveway having a width of at least 5.5m, or ii) a separate ingress driveway and a separate egress driveway, each having a width of at least 3.0m and each operated in a one way but opposite direction to each other and so designed that vehicles shall not back out onto an adjoining highway. iii) Markings on the surface of the parking area delineating the separate parking spaces; and iv) bumpers or wheel barriers to prevent the physical encroachment beyond the parking area except at the entrance to and exit from the parking area.		N/A
Residential District Vehicular Access Section 18A(27) of Hamilton Zoning By-law 6593	No land in <u>any residential district</u> shall be used for the purpose of vehicular access to or egress from any land in a commercial district or industrial district.		N/A
Residential - Lands a Multiple Dwelling is Not Permitted Section 18A(28) of Hamilton Zoning By-law 6593	No land in any residential district in which a multiple dwelling is not permitted shall be used for the purpose of vehicular access to or egress from any land used for a multiple dwelling.		N/A

<p>Parking for a Townhouse Dwelling or Maisonette Dwelling Section 18A(29) of Hamilton Zoning By-law 6593</p>	<p>Where a parking space for a <u>townhouse dwelling or maisonette dwelling</u> is covered and attached to or enclosed within the dwelling unit, the entrance to the parking space shall be located not less than 6.0m from the entrance to the individual driveway.</p>		N/A
<p>Parking Surface Material Section 18A(30) of Hamilton Zoning By-law 6593</p>	<p>Except as provided in subsection 31, a permanent durable and dustless surface that is graded, drained and paved with concrete or asphalt or a combination of concrete and asphalt shall be provided and maintained for every parking area, manoeuvring space, loading space and access driveway.</p>	Provided	Conforms
<p>Parking Surface Material – Single Family Dwelling, Two Family Dwelling, and Street Townhouse Dwelling Section 18A(31) of Hamilton Zoning By-law 6593</p>	<p>A gravel or similar surface or other suitable paving shall be provided and maintained for every parking space and access driveway accessory to a <u>single family dwelling, two family dwelling and to a street townhouse dwelling</u> each having separate access driveways.</p>	Provided	Conforms
<p>Restaurants in the “H” District Section 18A(36) of Hamilton Zoning By-law 6593</p>	<p>Notwithstanding any other provisions of this By-law, the following shall apply to restaurants in the “H” District:</p> <p>1. There shall be provided and maintained accessory to a restaurant in an “H” District,</p> <p>(a) a parking area containing parking space at the rate of one space for every six persons who may be lawfully accommodated except that,</p> <p>(i) no parking space shall be required within the area more particularly described as area “A” shown on Schedule “I”;</p> <p>(ii) parking space at the rate of one space for every twelve persons who may be lawfully accommodated shall be provided and maintained within the area more particularly described as area “B” shown on Schedule “I”;</p> <p>(b) a distance of not less than 12.0 metres (39.37 feet) between a residential district and the driveway and the parking area and manoeuvring area used in conjunction with a restaurant;</p> <p>(c) a landscaped area for the parking area referred to in clause (a) of not less than 1.5 metres (4.92 feet) in width along and within every side lot line and front lot line that abuts a highway and any public right-of-way.</p>		N/A

	2. No points of ingress or egress at the lot line, to or from the lot on which parking for a restaurant is located shall be situate closer than 30.0 metres (98.43 feet) to a residential district boundary.		
Restaurants in the "H" District – Sections that do not apply for property within areas "A" and "B" shown on Schedule "I" Section 18A(37) of Hamilton Zoning By-law 6593	Clause (b) of paragraph 1 of subsection 36 of this section and paragraph 2 of the said subsection 36 shall not apply to the land situate within areas "A" and "B" shown on Schedule "I".		N/A
Properties Located in the area shown on Schedule "K" Section 18A(42) of Hamilton Zoning By-law 6593	Except for residential care facilities, retirement homes, correctional facilities, correction residences and emergency shelters, where residential uses mentioned in paragraph 1 in Table 1 and Table 3 area located in the area shown on Schedule "K", no parking and loading will be required for residential uses established within the period from <u>September 1, 2002 and September 1, 2005</u> .		N/A
Areas shown on Schedules "P", "Q", "S" and "T" – Permitted Commercial Uses Parking Requirements Section 18A(43) of Hamilton Zoning By-law 6593	The provisions of Subsection 18A(1) shall not apply to any permitted commercial use(s), except "Medical Office" which includes "Doctor, Dentist, Osteopath and Drugless Practitioner," located in all or part of the building existing on the effective date of this By-law, within the areas shown on Schedules "P", "Q", "S" and "T", attached as Schedules "A4", "A5", "A7" and "A8" to this By-law, no parking spaces are required provided that the number of parking spaces which existed on the effective date of this By-law shall continue to be provided and maintained. Where an addition or expansion of an existing building is proposed, the parking requirements of Section 18A(1) above, shall only apply to the commercial use or uses contained within the increased gross floor area.		N/A
Area shown on Schedules "R" – Permitted Commercial Uses Parking Requirements Section 18A(44) of Hamilton Zoning By-law 6593	The provisions of Subsection 18A(1) shall not apply to any permitted commercial use(s), except "Restaurant" and "Medical Office" which includes "Doctor, Dentist, Osteopath and Drugless Practitioner," located in all or part of the building existing on the effective date of this By-law, within the area shown on Schedule "R", attached as Schedule "A6" to this By-law, no parking spaces are required provided that the number of parking spaces which existed on		N/A

	<p>the effective date of this By-law shall continue to be provided and maintained. Where an addition or expansion of an existing building is proposed, the parking requirements of Section 18A(1) above, shall only apply to the commercial use or uses contained within the increased gross floor area.</p>		
<p>Area shown on Schedules “U” – Permitted Commercial Uses Parking Requirements Section 18A(45) of Hamilton Zoning By-law 6593</p>	<p>Notwithstanding Section 18A(3) and Table 7 and Section 18A(36)(1)(a), the provisions of Subsection 18A(1) shall not apply to any permitted commercial use(s), except “Medical Office” which includes “Doctor, Dentist, Osteopath and Drugless Practitioner,” located in all or part of the building existing on the effective date of this By-law, within the areas shown on Schedule “U” – James Street North and Schedule “U” – James Street South, attached as Schedule “A1” and “A2” to this By-law, no parking spaces are required provided that the number of parking spaces which existed on the effective date of this By-law shall continue to be provided and maintained. Where an addition or expansion of an existing building is proposed, the parking requirements of Section 18A(1) above, shall only apply to the commercial use or uses contained within the increased gross floor area.</p>		N/A
<p>Area shown on Schedules “R” and zoned “H” (Community Shopping and Commercial, etc.) – Permitted Commercial Uses Parking Requirements Section 18A(46) of Hamilton Zoning By-law 6593</p>	<p>Notwithstanding Section 18A(3) and Table 7 and Section 18A(36)(1)(a), the provisions of Subsection 18A(1) shall not apply to any permitted commercial use(s), except “Medical Office” which includes “Doctor, Dentist, Osteopath and Drugless Practitioner,” located in all or part of the building existing on the effective date of this By-law that is zoned “H” (Community Shopping and Commercial, etc.) District or a site specific “H” District, except those properties identified on Schedule “R”, no parking spaces are required provided that the number of parking spaces which existed on the effective date of this By-law shall continue to be provided and maintained. Where an addition or expansion of an existing building is proposed, the parking requirements of Section 18A(1) above, shall only apply to the commercial use or uses contained within the increased gross floor area.</p>		N/A

Best regards,



Hamilton

COMMITTEE OF ADJUSTMENT

City Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5

Telephone (905) 546-2424, ext. 4221, 3935

E-mail: cofa@hamilton.ca

APPEAL INFORMATION – CONSENTS/SEVERANCES

1. Who may file an appeal of the Decision of the Committee of Adjustment or Consent Authority?

Please note neighbours and other interested parties not defined are no longer eligible to file Planning Act Section 53(19) appeals. See [Bill 23, More Homes Built Faster Act, 2022](#) for more information.

Planning Act Section 53(19) appeals may be filed by the applicant, the Minister of Municipal Affairs and Housing, a “specified person” (as defined by Planning Act 1(1)), and any “public body” (as defined by Planning Act 1(1)).

2. When must an appeal be received to be considered?

Planning Act Section 53(19) appeals must be received no later than the end of business on the last date of appeal listed on the Notice of Decision. The last date of appeal is 20 days from the date of the giving of Notice of the Decision. Please see Notice of Decision for exact date.

3. Where must the appeal be filed to be considered?

Planning Act Section 53(19) appeals must be received either by hardcopy or electronic copy. Please see below for more information:

Hardcopy: at City Hall and addressed to the Secretary-Treasurer of the Committee of Adjustment, Hamilton City Hall, 5th Floor, 71 Main Street West, Hamilton, ON, L8P 4Y5. Do not address appeals to any other departments or locations. Appeals received by the office of the Committee of Adjustment after the last date of appeal as a result of second-hand mailing will be time barred and of no effect.

Electronic copy: by email delivered to cofa@hamilton.ca. Do not address appeals to any other departments or locations. Appeals received by the office of the Committee of Adjustment after the last date of appeal as a result of incorrectly addressed emails will be time barred and of no effect. If the information submitted will include large file sizes not able to be sent in one email, please contact cofa@hamilton.ca in advance to request a file sharing link.

4. What information must be submitted for the appeal to be considered?

Planning Act Section 53(19) appeals must include:

- Notice of appeal, the Ontario Land Tribunal (OLT) Appeal Form, this can be found by contacting Committee of Adjustment staff at the 5th floor of City Hall or at the OLT website <https://olt.gov.on.ca/appeals-process/forms/>, a cover letter, etc. may also be submitted if there is not sufficient room in the form;

- Filing fee, the fee is currently \$400 (subject to change) and must be paid as outlined on the OLT Appeal Form;
- All other information as required by the Appeal Form.

Questions or Information:
Contact Committee of Adjustment Staff (cofa@hamilton.ca)



Hamilton

COMMITTEE OF ADJUSTMENT

City Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5

Telephone (905) 546-2424, ext. 4221, 3935

E-mail: cofa@hamilton.ca

NOTICE OF DECISION
Consent/Land Severance

APPLICATION NO.:	HM/B-23:89	SUBJECT PROPERTY:	1414 & 1416 KING STREET EAST, HAMILTON
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APPLICANTS: Owner: 1604146 ONTARIO INC
Agent: Urban Belief Inc. – P. Kataria

PURPOSE & EFFECT: To permit the conveyance of a parcel of land containing an existing residential and office use and to retain a parcel of land containing an existing residential use. All structures are intended to remain.

	Frontage	Depth	Area
SEVERED LANDS (1416 King St. E.):	30.8 m [±]	24 m [±]	226 m ² ±
RETAINED LANDS (1414 King St. E.):	11.5 m [±]	33.3 m [±]	231 m ² ±

THE DECISION OF THE COMMITTEE IS:

That the said application, as set out above, Approved as Amended with Conditions, for the following reasons:

1. The proposal does not conflict with the intent of the Urban/Rural Hamilton Official Plan.
2. The proposal does not contravene Zoning By-law requirements.
3. The Committee considers the proposal to be in keeping with development in the area.
4. The Committee is satisfied that a plan of subdivision is not necessary for the proper and orderly development of the lands.
5. The submissions made regarding this matter affected the decision by supporting the granting of the application, with amendments.

Having regard to the matters under subsection 51(24) of the Planning Act, R.S.O. 1990, c.P. 13, the said application shall be subject to the following condition(s):

1. The owner shall submit a deposited Ontario Land Surveyor's Reference Plan to the Committee of Adjustment Office, unless exempted by the Land Registrar. The reference plan must be

HM/B-23:89

submitted in pdf and also submitted in CAD format, drawn at true scale and location and tied to the City corporate coordinate system. (Committee of Adjustment Section)

2. The owner shall pay any outstanding realty taxes and/or all other charges owing to the City Treasurer. (Committee of Adjustment Section)
3. The owner submits to the Committee of Adjustment office an administration fee, payable to the City of Hamilton, to cover the costs of setting up a new tax account for each newly created lot. (Committee of Adjustment Section)
4. The owner shall comply with Ontario Building Code requirements regarding spatial separation distances of any structures. Compliance to be confirmed by the Planning and Economic Development Department (Building Division – Building Engineering Section)
5. The owner shall receive final approval of the appropriate Planning Act application in order to seek relief from the requirements of the Zoning By-law (Planning Division – Zoning Review Section).
6. The owner shall submit survey evidence that the lands to be severed and/or the lands to be retained, including the location of any existing structure(s), parking and landscaping, conform to the requirements of the Zoning By-Law or alternatively apply for and receive final approval of the appropriate Planning Act application in order to seek relief from the requirements of the Zoning By-law (Planning Division – Zoning Review Section).
7. The owner shall complete an Applicable Law Review to identify any zoning deficiencies in both the retained and severed lands. The owner shall seek necessary planning approvals to address any identified zoning deficiencies in order to facilitate this Consent Application, to the satisfaction of the Director of Development Planning.

DATED AT HAMILTON, January 18, 2024.

D. Smith (Chairman)

M. Dudzic

B. Charters

T. Lofchik

N. Mleczko

D. Serwatak

M. Smith

M. Switzer

HM/B-23:89

The date of the giving of this Notice of Decision is **January 25, 2024**. Above noted conditions **MUST** be fulfilled within **TWO (2) YEARS** of the date of this Notice of Decision (January 25, 2026) or the application shall be deemed to be REFUSED (Planning Act, 53(41)).

NOTES:

1. THE LAST DATE ON WHICH AN APPEAL TO THE ONTARIO LAND TRIBUNAL (OLT) MAY BE FILED IS **February 14, 2024** A Notice of Appeal must be filed with the Secretary-treasurer of the Committee of Adjustment, must set out the reasons for the appeal and must be accompanied by the applicable fee. See Appeal Information Consents/Severances for more information.
2. **This Decision is not final and binding unless otherwise noted and must not be acted upon until the period of appeal has expired.**
3. The Decision does not release any persons from the necessity of observing the requirements of building regulations, the license by-law, or any other by-law of the City of Hamilton.



Hamilton

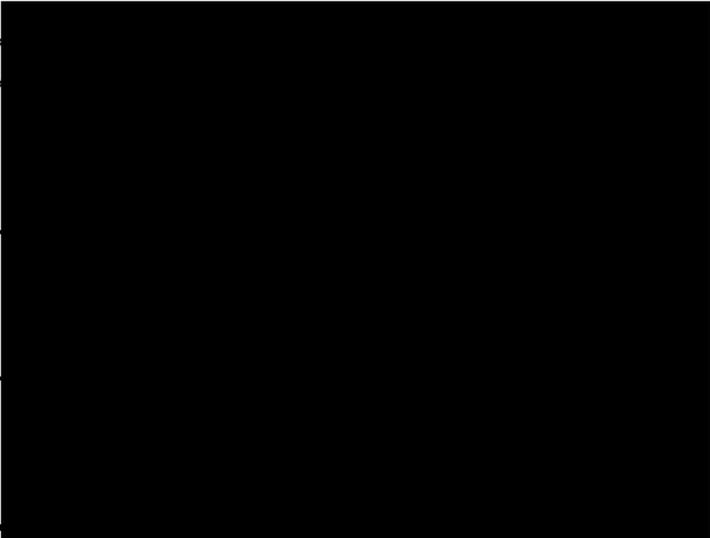
Committee of Adjustment
 City Hall, 5th Floor,
 71 Main St. W.,
 Hamilton, ON L8P4Y5

Phone: (905) 546-2424 ext. 4221
 Email: cofa@hamilton.ca

APPLICATION FOR A MINOR VARIANCE/PERMISSION
 UNDER SECTION 45 OF THE *PLANNING ACT*

1. APPLICANT INFORMATION

	NAME
Registered Owners(s)	1604146 Ontario Inc.
Applicant(s)	1604146 Ontario Inc.
Agent or Solicitor	Urban Belief Inc.



1.2 Primary contact Applicant Owner Agent/Solicitor

1.3 Sign should be sent to Applicant Owner Agent/Solicitor

1.4 Request for digital copy of sign Yes* No
 If YES, provide email address where sign is to be sent

1.5 All correspondence may be sent by email Yes* No

If Yes, a valid email must be included for the registered owner(s) AND the Applicant/Agent (if applicable). Only one email address submitted will result in the voiding of this service. This request does not guarantee all correspondence will sent by email.

1.6 Payment type In person Credit over phone*
 Cheque

*Must provide number above

2. LOCATION OF SUBJECT LAND

2.1 Complete the applicable sections:

Municipal Address	1414 King St East and 1416 King St East, Hamilton ON L8M 1H8		
Assessment Roll Number	251804029306150 and 251804029306170		
Former Municipality	Hamilton		
Lot		Concession	
Registered Plan Number	PL 548	Lot(s)	94 and 548
Reference Plan Number (s)		Part(s)	

2.2 Are there any easements or restrictive covenants affecting the subject land?

Yes No

If YES, describe the easement or covenant and its effect:

Attached reference plan shows the Easement.

3. PURPOSE OF THE APPLICATION

Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled

All dimensions in the application form are to be provided in metric units (millimetres, metres, hectares, etc.)

3.1 Nature and extent of relief applied for:

See attached Sheet

Second Dwelling Unit

Reconstruction of Existing Dwelling

3.2 Why it is not possible to comply with the provisions of the By-law?

Grandfathered property: bringing the existing lots into compliance to fulfill a condition of a related Consent application. These two lots had been merged on title due to common ownership and were separated through this process. Minor Variance seeks to bring this into compliance

3.3 Is this an application 45(2) of the Planning Act.

Yes

No

If yes, please provide an explanation:

4. DESCRIPTION OF SUBJECT LAND AND SERVICING INFORMATION

4.1 Dimensions of Subject Lands:

Lot Frontage	Lot Depth	Lot Area	Width of Street
11.48 and 23.91	33.57 and 20.73	231.2 and 226.1	-

4.2 Location of all buildings and structures on or proposed for the subject lands:
(Specify distance from side, rear and front lot lines)

Existing:

Type of Structure	Front Yard Setback	Rear Yard Setback	Side Yard Setbacks	Date of Construction
Residential Building on 1414	1.5	9.75	0.93 (Right) and 0 (Left)	Unknown (Around 1900's)
Residential Building on 1416	0	5.79	0	Unknown (Around 1900's)

Proposed:

Type of Structure	Front Yard Setback	Rear Yard Setback	Side Yard Setbacks	Date of Construction
NA				

4.3 Particulars of all buildings and structures on or proposed for the subject lands (attach additional sheets if necessary):

Existing:

Type of Structure	Ground Floor Area	Gross Floor Area	Number of Storeys	Height
Residential Building on 1414	60.8	182.4	2.5	6.09
Residential Building on 1416	56.15	168.45	2.5	6.09

Proposed:

Type of Structure	Ground Floor Area	Gross Floor Area	Number of Storeys	Height
NA				

- 4.4 Type of water supply: (check appropriate box)
 publicly owned and operated piped water system
 privately owned and operated individual well

- lake or other water body
 other means (specify)

- 4.5 Type of storm drainage: (check appropriate boxes)
 publicly owned and operated storm sewers
 swales

- ditches
 other means (specify)

4.6 Type of sewage disposal proposed: (check appropriate box)

- publicly owned and operated sanitary sewage
 system privately owned and operated individual
 septic system other means (specify) _____

4.7 Type of access: (check appropriate box)

- provincial highway right of way
 municipal road, seasonally maintained other public road
 municipal road, maintained all year _____

4.8 Proposed use(s) of the subject property (single detached dwelling duplex, retail, factory etc.):
Residential - Single Detached Dwelling, for both properties4.9 Existing uses of abutting properties (single detached dwelling duplex, retail, factory etc.):
Residential - Single Detached Dwelling.**7 HISTORY OF THE SUBJECT LAND**7.1 Date of acquisition of subject lands:
August 21, 20237.2 Previous use(s) of the subject property: (single detached dwelling duplex, retail, factory etc)
Residential on 1414, Residential and Office on 14167.3 Existing use(s) of the subject property: (single detached dwelling duplex, retail, factory etc)
Existing Vacant and proposed to be Residential on 1414, Residential on 14167.4 Length of time the existing uses of the subject property have continued:
Vacant since bought (20 Months), Unknown before

7.5 What is the existing official plan designation of the subject land?

Rural Hamilton Official Plan designation (if applicable): _____

Rural Settlement Area: _____

Urban Hamilton Official Plan designation (if applicable) Neighbourhoods

Please provide an explanation of how the application conforms with the Official Plan.

Proposed and Existing use is continued to be residential, which is permitted in this designation.

7.6 What is the existing zoning of the subject land? H" Districts (Community Shopping & Commercial)7.8 Has the owner previously applied for relief in respect of the subject property?
(Zoning By-law Amendment or Minor Variance)

- Yes No

If yes, please provide the file number: H" Districts (Community Shopping & Commercial)

7.9 Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?

Yes

No

If yes, please provide the file number: _____

8 ADDITIONAL INFORMATION

8.1 Number of Dwelling Units Existing: 1

8.2 Number of Dwelling Units Proposed: 0

8.3 Additional Information (please include separate sheet if needed):

There is one dwelling unit on each property

11 COMPLETE APPLICATION REQUIREMENTS

11.1 All Applications

- Application Fee
- Site Sketch
- Complete Application form
- Signatures Sheet

11.4 Other Information Deemed Necessary

- Cover Letter/Planning Justification Report
- Authorization from Council or Director of Planning and Chief Planner to submit application for Minor Variance
- Minimum Distance Separation Formulae (data sheet available upon request)
- Hydrogeological Assessment
- Septic Assessment
- Archeological Assessment
- Noise Study
- Parking Study

Planning Brief submitted in support of Consent application

Reference Plan



Hamilton

COMMITTEE OF ADJUSTMENT

City Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5

Telephone (905) 546-2424, ext. 4221

E-mail: cofa@hamilton.ca

NOTICE OF PUBLIC HEARING
Minor Variance

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
- Applicant/agent on file, or
- Person likely to be interested in this application

APPLICATION NO.:	A-24:161	SUBJECT PROPERTY:	83 & 85 Sanford Avenue, Hamilton
ZONE:	"R1a" (Low Density Residential – Small Lot)	ZONING BY-LAW:	Zoning By-law City of Hamilton 05-200, as Amended

APPLICANTS: Owner: William Szucsko
Agent: Elizabeth Porter

The following variances are requested:

1. A triplex dwelling shall be permitted on both the retained and severed lands notwithstanding that a triplex dwelling is not permitted.
2. A minimum lot width of 7.3m shall be permitted for both the retained and severed lands instead of the minimum 9.0m lot width required.
3. A minimum southerly side yard setback of 0.6m shall be permitted for the retained lands and a minimum northerly side yard setback of 0.0m shall be permitted for the severed lands instead of the minimum 1.2m side yard setback required.
4. No onsite parking shall be permitted for both the severed and retained lands instead of the minimum three (3) parking spaces required.
5. The existing accessory building (rear frame shed) on the severed lands shall be permitted to be located as close as 0.3m from the northerly side lot line instead of the 1.2m minimum setback required.

PURPOSE & EFFECT: To facilitate Land Severance Application HM/B-22:44 for residential purposes and permit existing conditions.

Notes:

A triplex dwelling is permitted under the new proposed zoning regulations; however, the new zoning regulations are currently under appeal. Therefore, a variance is requested in the interim until such time that the new zoning regulations become final and binding.

Please note that under the new parking regulations, no parking is required for a triplex dwelling located in Parking Rate Area 1 (PRA1).

A-24:161

This Notice must be posted by the owner of any land which contains seven or more residential units so that it is visible to all residents.

This application will be heard by the Committee as shown below:

DATE:	Tuesday, August 6, 2024
TIME:	1:50 p.m.
PLACE:	Via video link or call in (see attached sheet for details)
	City Hall Council Chambers (71 Main St. W., Hamilton)
	To be streamed (viewing only) at www.hamilton.ca/committeeofadjustment

For more information on this matter, including access to drawings illustrating this request and other information submitted:

- Visit www.hamilton.ca/committeeofadjustment
- Visit Committee of Adjustment staff at 5th floor City Hall, 71 Main St. W., Hamilton

PUBLIC INPUT

Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, written comments must be received no later than noon August 2, 2024

Orally: If you would like to speak to this item at the hearing you may do so via video link, calling in, or attending in person. Please see attached page for complete instructions, registration to participate virtually must be received no later than noon August 2, 2024

FURTHER NOTIFICATION

If you wish to be notified of future Public Hearings, if applicable, regarding A-24:161, you must submit a written request to cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5.

If you wish to be provided a Notice of Decision, you must attend the Public Hearing and file a written request with the Secretary-Treasurer by emailing cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5.

A-24:161



 Subject Lands

DATED: July 18, 2024

Jamila Sheffield,
Secretary-Treasurer
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public, and may include posting electronic versions.



Hamilton

COMMITTEE OF ADJUSTMENTCity Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5

Telephone (905) 546-2424, ext. 4221

E-mail: cofa@hamilton.ca**PARTICIPATION PROCEDURES****Written Submissions**

Members of the public who would like to participate in a Committee of Adjustment meeting are able to provide comments in writing advance of the meeting. Comments can be submitted by emailing cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5. **Comments must be received by noon on the date listed on the Notice of Public Hearing.**

Comments are available the Friday prior to the Hearing and are available on our website: www.hamilton.ca/committeeofadjustment

Oral Submissions

Members of the public are also able to provide oral comments regarding Committee of Adjustment Hearing items by participating Virtually through Webex via computer or phone or by attending the Hearing In-person. Participation Virtually requires pre-registration in advance. Please contact staff for instructions if you wish to make a presentation containing visual materials.

1. Virtual Oral Submissions

Interested members of the public, agents, and owners **must register by noon on the day listed on the Notice of Public Hearing** to participate Virtually.

To register to participate Virtually by Webex either via computer or phone, please contact Committee of Adjustment staff by email cofa@hamilton.ca. The following information is required to register: Committee of Adjustment file number, hearing date, name and mailing address of each person wishing to speak, if participation will be by phone or video, and if applicable the phone number they will be using to call in.

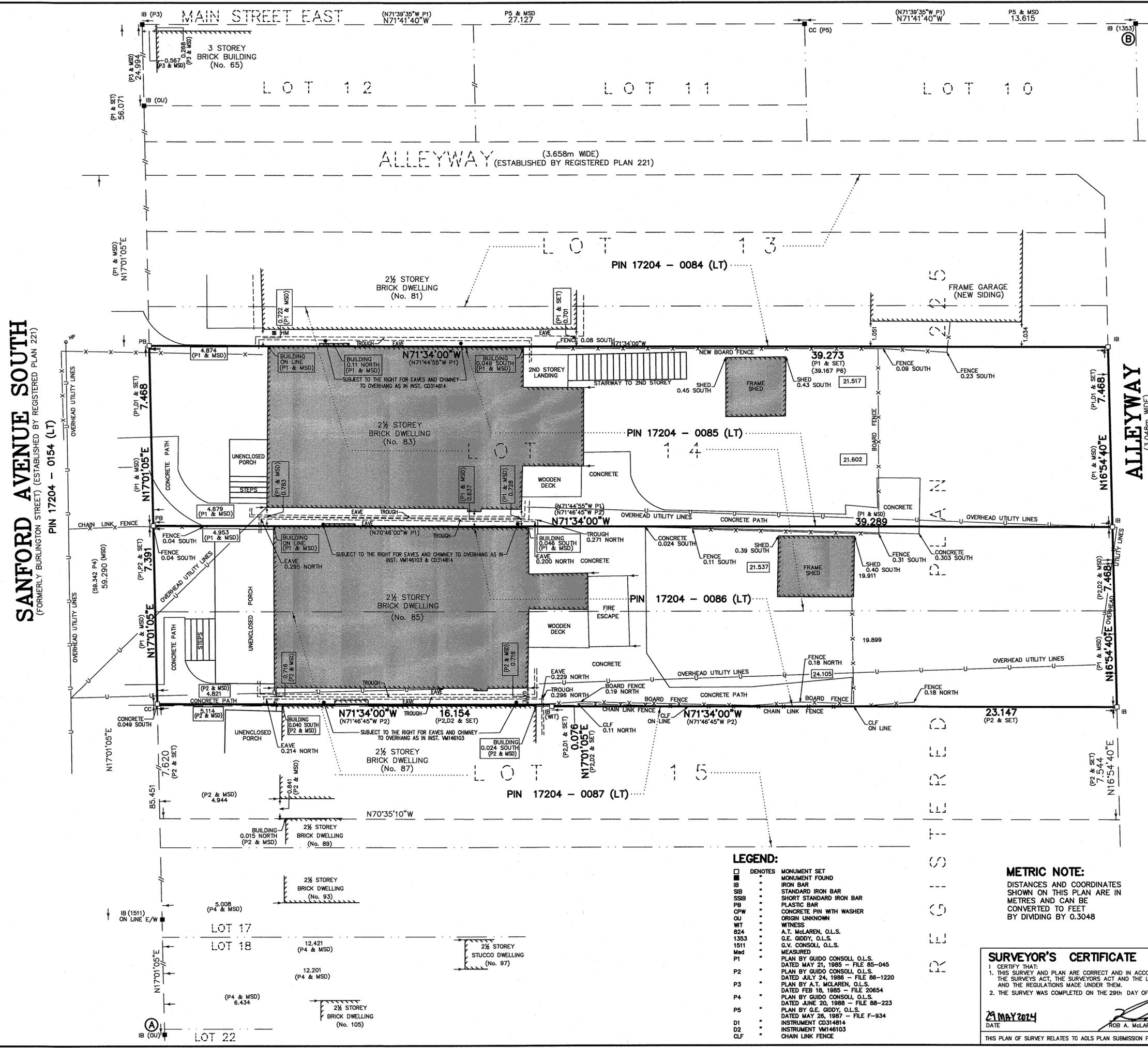
A separate registration for each person wishing to speak is required. Upon registering for a meeting, members of the public will be emailed a link for the Webex meeting one business day before the Hearing. Only those registered will be called upon to speak.

2. In person Oral Submissions

Interested members of the public, agents, and owners who wish to participate in person may attend Council Chambers on the date and time listed on the Notice of Public Hearing. Please note, you will be required to provide your name and address for the record. It is advised that you arrive **no less than 10 minutes** before the time of the Public Hearing as noted on the Notice of Public Hearing.

We hope this is of assistance and if you need clarification or have any questions, please email cofa@hamilton.ca.

Please note: Webex (video) participation requires either a compatible computer or smartphone and an application (app/program) must be downloaded by the interested party in order to participate. It is the interested party's responsibility to ensure that their device is compatible and operating correctly prior to the Hearing.



SURVEYOR'S REAL PROPERTY REPORT (PART 2)

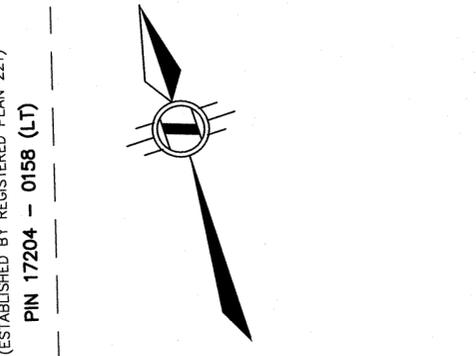
PART OF LOT 14 & 15, PLAN 225 IS SUBJECT TO AND TOGETHER WITH AN EASEMENT AS IN INSTRUMENT CD314814 AND SUBJECT TO AND TOGETHER WITH AS EASEMENT AS IN INSTRUMENT VM146103 AS ILLUSTRATED ON THE PLAN.

THIS PLAN DOES NOT CERTIFY COMPLIANCE WITH ZONING BY-LAWS.

THIS PLAN WAS PREPARED FOR WILLIAM SZUCSKO.

SURVEYOR'S REAL PROPERTY REPORT
 PART 1, PLAN OF PART OF
LOTS 14 & 15
REGISTERED PLAN 225
 (THOMAS STINSON'S SURVEY)
 IN THE
CITY OF HAMILTON
 SCALE 1:100 METRIC

R.A. McLAREN, O.L.S. - 2024



BEARING COMPARISON
 FOR BEARING COMPARISONS A ROTATION OF 00°58'53" COUNTER CLOCKWISE WAS APPLIED TO BEARINGS ON P1 AND P2 TO CONVERT TO GRID BEARINGS

BEARING NOTE:
 BEARINGS ARE UTM GRID, DERIVED FROM OBSERVED REFERENCE POINTS A AND B, BY REAL TIME NETWORK OBSERVATIONS, UTM ZONE 17, NAD83 (CSRS) (2010.0)

NOTE:
 DISTANCES ARE GROUND AND CAN BE CONVERTED TO GRID BY MULTIPLYING BY THE COMBINED SCALE FACTOR OF 0.99969357

INTEGRATION DATA

POINT ID	NORTHING	EASTING
ORP A	4789016.518	593536.108
ORP B	4789153.185	593620.503

COORDINATES CANNOT, IN THEMSELVES, BE USED TO RE-ESTABLISH CORNERS OR BOUNDARIES SHOWN ON THIS PLAN.

- LEGEND:**
- DENOTES
 - MONUMENT SET
 - IB MONUMENT FOUND
 - IB IRON BAR
 - SIB STANDARD IRON BAR
 - SSIB SHORT STANDARD IRON BAR
 - PB PLASTIC BAR
 - CPW CONCRETE PIN WITH WASHER
 - OU ORIGIN UNKNOWN
 - WT WITNESS
 - 824 A.T. McLAREN, O.L.S.
 - 1353 G.E. GIDDY, O.L.S.
 - 1511 G.V. CONSOLI, O.L.S.
 - Med MEASURED
 - P1 PLAN BY GUIDO CONSOLI, O.L.S. DATED MAY 21, 1985 - FILE 85-045
 - P2 PLAN BY GUIDO CONSOLI, O.L.S. DATED JULY 24, 1986 - FILE 86-1220
 - P3 PLAN BY A.T. McLAREN, O.L.S. DATED FEB 18, 1985 - FILE 20654
 - P4 PLAN BY GUIDO CONSOLI, O.L.S. DATED JUNE 20, 1988 - FILE 88-223
 - P5 PLAN BY G.E. GIDDY, O.L.S. DATED MAY 26, 1987 - FILE F-934
 - D1 INSTRUMENT CD314814
 - D2 INSTRUMENT VM146103
 - CLF CHAIN LINK FENCE

METRIC NOTE:
 DISTANCES AND COORDINATES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

SURVEYOR'S CERTIFICATE

I CERTIFY THAT:
 1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT AND THE LAND TITLES ACT AND THE REGULATIONS MADE UNDER THEM.
 2. THE SURVEY WAS COMPLETED ON THE 29th DAY OF MAY, 2024

29 MAY 2024
 DATE

ROB A. McLAREN, O.L.S.
 SIGNATURE

THIS PLAN OF SURVEY RELATES TO AOLS PLAN SUBMISSION FORM NUMBER 80233

No.	DESCRIPTION	DATE	BY
2	CLARIFYING BUILDING TIES	JUN. 17, 2024	KM
1	INITIAL DRAWING	MAY 29, 2024	KM

REVISIONS

© R.A. McLaren, O.L.S. - 2024. NO PERSON MAY COPY, REPRODUCE, DISTRIBUTE OR ALTER THIS PLAN IN WHOLE OR IN PART WITHOUT THE WRITTEN PERMISSION OF R.A. McLAREN, O.L.S.

A.T. McLaren Limited
 LEGAL AND ENGINEERING SURVEYS

69 JOHN STREET SOUTH, SUITE 230
 HAMILTON, ONTARIO, L8N 2B9
 PHONE (905) 527-8559 FAX (905) 527-0032

Drawn KM	Checked RBM	Crew Chief ZA	Scale 1:100	Dwg.No. 37757
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SANFORD AVENUE SOUTH
 (FORMERLY BURLINGTON STREET) (ESTABLISHED BY REGISTERED PLAN 221)
 PIN 17204 - 0154 (LT)

ALLEYWAY
 (3.048m WIDE)
 (ESTABLISHED BY REGISTERED PLAN 221)
 PIN 17204 - 0158 (LT)



**Hamilton Fire Service
Fire Prevention Division
WEST OFFICE**

55 King William Street
Hamilton ON L8R 1A2
Tel. (905) 546-3350
Fax (905) 546-3359

File No. 9148

June 04, 2001

Bill Szucsko
83 Sanford Avenue South
Hamilton ON L8M 2G7

Dear Sir

**Re: 83 Sanford Avenue South
In the former City of Hamilton
(now city of Hamilton, Ontario)**

Please be advised that our Department conducted a re-inspection of the above premises on May 24, 2001. All requirements contained in our Fire Safety Inspection Report dated August 10, 2000 have been complied with to our satisfaction.

In addition, this building now meets the requirements of the Retrofit Section 9.5 of the Ontario Fire Code (O.Reg. 388/97).

Trusting this is the information you require.

Yours truly

A handwritten signature in black ink, appearing to read "J. R. Winn".

J. R. Winn
Chief Fire Prevention Officer

FGB/jmj

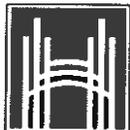
**APPENDIX "A" - SMOKE ALARM SYSTEM
SMOKE ALARM SYSTEM**

Test the building's smoke alarm system now and annually hereafter, to ensure that the system operates satisfactorily. The person or agency conducting the test shall provide written documentation **(the attached form can be used to satisfy the written documentation)** to include a summary of the test, including all deficiencies found and corrective action taken if any, in conformance with the following specifications:

- a) Each sensing chamber on all smoke alarms (ionization or photoelectric) shall be tested for activation by injecting smoke into the chamber.

NOTE: Artificial or real smoke may be used.

- b) Each test button on all smoke alarms shall be tested for audible activation (as applicable).
- c) All smoke alarms shall operate simultaneously when a smoke alarm unit is tested in accordance with a) and b).
- d) Each pull station shall be activated and all smoke alarms shall operate simultaneously for each activation (where applicable).
-



Hamilton

COMMITTEE OF ADJUSTMENT

City Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y6

Telephone (905) 546-2424, ext. 4221, 3935

E-mail: cofa@hamilton.ca

APPLICATION NO.:	HM/B-22:44	SUBJECT PROPERTY:	83 SANFORD AVENUE S HAMILTON
-------------------------	-------------------	--------------------------	---

APPLICANTS: WILLIAM SZUCSKO
ELIZABETH PORTER

PURPOSE & EFFECT: To permit the conveyance of a parcel of land and to retain a parcel of land for residential purposes.

	Frontage	Depth	Area
SEVERED LANDS:	7.47 m [±]	39.01 m [±]	291.46 m ^{2±}
RETAINED LANDS:	7.49 m [±]	39.28 m [±]	294.58 m ^{2±}

Associated Planning Act File(s): N/A

THE DECISION OF THE COMMITTEE IS:

That the said application, as set out above, Approved with Conditions, for the following reasons:

1. The proposal does not conflict with the intent of the Urban Hamilton Official Plan.
2. The proposal does not contravene Zoning By-law requirements.
3. The Committee considers the proposal to be in keeping with development in the area.
4. The Committee is satisfied that a plan of subdivision is not necessary for the proper and orderly development of the lands.
5. The submissions made regarding this matter affected the decision by supporting the granting of the application.

Having regard to the matters under subsection 51(24) of the Planning Act, R.S.O. 1990, c.P. 13, the said application shall be subject to the following condition(s):

1. The owner shall submit a deposited Ontario Land Surveyor's Reference Plan to the Committee of Adjustment Office, unless exempted by the Land Registrar. The reference plan must be submitted in pdf and also submitted in CAD format, drawn at true scale and location and tied to the City corporate coordinate system. (Committee of Adjustment Section)

HM/B-22:44

2. The owner shall pay any outstanding realty taxes and/or all other charges owing to the City Treasurer. (Committee of Adjustment Section)
3. The owner submits to the Committee of Adjustment office an administration fee, payable to the City of Hamilton, to cover the costs of setting up a new tax account for each newly created lot. (Committee of Adjustment Section)
- ✓ 4. The owner shall comply with Ontario Building Code requirements regarding spatial separation distances of any structures. Compliance to be confirmed by the Planning and Economic Development Department (Building Division – input either Plan Examination Section or Building Engineering Section).
- ✓ 5. The owner shall submit survey evidence that the lands to be severed and retained, including the location of any existing structure, parking and landscaping conform to the requirements of the Zoning By-Law or alternatively apply for and receive final approval of any variances from the requirements of the Zoning By-Law as determined necessary by the Planning and Economic Development Department (Building Division – Zoning Section).
- ✓ 6. The applicant shall provide confirmation of the existing uses on the lands to be retained/conveyed in order to determine compliance with the permitted uses of the "C" District or alternatively apply for and receive final approval of a Zoning By-law Amendment as determined necessary by the Planning and Economic Development Department (Building Division – Zoning Section).
- ✓ 7. The owner shall receive final approval of any necessary variances from the requirements of the Zoning By-law as determined necessary by the Planning and Economic Development Department (Building Division – Zoning Section)
- ✓ 8. A Permit to injure or remove municipal trees is a requirement of this application. Therefore, a Tree Management Plan must be submitted to the Forestry and Horticulture Section c/o the Urban Forestry Health Technician, to address potential conflicts with publicly owned trees.

DATED AT HAMILTON, June 23, 2022.

D. Smith (Chairman)

B. Charters

M. Dudzic

M. Switzer

T. Lofchik



Porter Law Office
Barristers, Solicitors & Notaries Public
 Elizabeth Porter, A.D., LL.B.
 Upasana Kang, BA (Economics), LL.M.

3.1

Application to sever lots 83 and 85 Sanford Ave. Both properties are owned by William Szucsko and are registered to him using the same name. This process caused the properties to join.

When Mr. Szucsko purchased both properties they were sold as multi-residential buildings for rentals. He may need confirmation or approval for "non-conforming use" as the descriptions of the properties on title is for single residential use.

3.2

The buildings are over 65 years old and at time of purchase was being used as a multi-residential building for the purposes of residential rentals. Mr. Szucsko has continued to use the buildings as multi-residential units for residential rental purposes.

3.3

The buildings are described on title as a single residential building, however, for many years it was used as a multi-residential building for the purpose of residential rentals.

3.1 To confirm
 a legal - non-complying of the existing
 dwellings 83 and 85 Sanford Ave S.



Hamilton

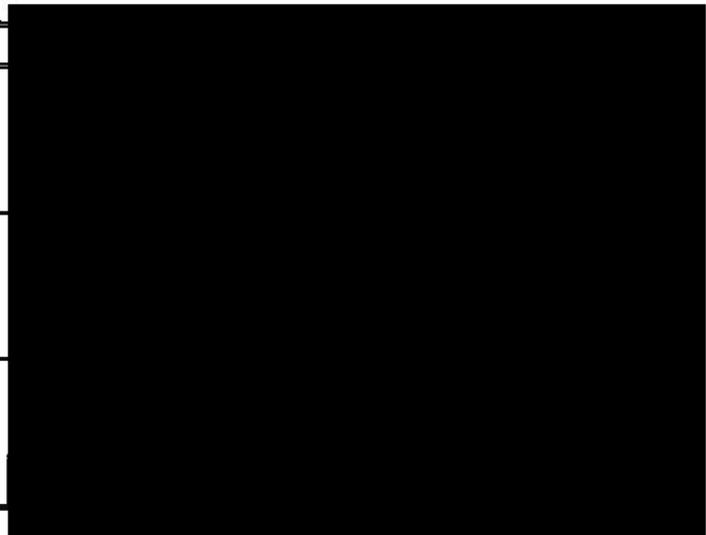
Committee of Adjustment
 City Hall, 5th Floor,
 71 Main St. W.,
 Hamilton, ON L8P4Y5

Phone: (905) 546-2424 ext. 4221
 Email: cofa@hamilton.ca

APPLICATION FOR A MINOR VARIANCE/PERMISSION
 UNDER SECTION 45 OF THE *PLANNING ACT*

1. APPLICANT INFORMATION

	NAME
Registered Owners(s)	William Szucsko
Applicant(s)	
Agent or Solicitor	Elizabeth Porter



1.2 Primary contact

Applicant

Owner

Agent/Solicitor

1.3 Sign should be sent to

Applicant

Owner

Agent/Solicitor

1.4 Request for digital copy of sign

Yes*

No

If YES, provide email address where sign is to be sent



1.5 All correspondence may be sent by email

Yes*

No

If Yes, a valid email must be included for the registered owner(s) AND the Applicant/Agent (if applicable). Only one email address submitted will result in the voiding of this service. This request does not guarantee all correspondence will be sent by email.

1.6 Payment type

In person

Credit over phone*

Cheque

*Must provide number above

2. LOCATION OF SUBJECT LAND

2.1 Complete the applicable sections:

Municipal Address	83 & 85 Sanford Avenue South, Hamilton, ON		
Assessment Roll Number	030-243-02050-0000		
Former Municipality	Hamilton-Wentworth		
Lot	14	Concession	
Registered Plan Number	PL 225	Lot(s)	
Reference Plan Number (s)		Part(s)	

2.2 Are there any easements or restrictive covenants affecting the subject land?

Yes No

If YES, describe the easement or covenant and its effect:

northernly cave of the house erected once having adjoining lands to the north parts

3. PURPOSE OF THE APPLICATION

Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled

All dimensions in the application form are to be provided in metric units (millimetres, metres, hectares, etc.)

3.1 Nature and extent of relief applied for:

As per paragraph 5 of the Committee of Adjustments for approval for severance by providing evidence that the building, parking lots and building etc. conform to the requirement of the Zoning By-law and if not to apply for and obtain approval of minor variance for designation as a multi family dwelling or approved as a non-conforming use.

Second Dwelling Unit

Reconstruction of Existing Dwelling

3.2 Why it is not possible to comply with the provisions of the By-law?

Both Buildings on both lots 83 and 85 Sanford are approximately over 65 years old, and has been used as multiple residential rental buildings for approximately since 1950. To comply with the bylaw would mean tearing down the buildings. Mr. Szucsko purchased the buildings in 2001 and 2003 as multi family dwellings and he has continued to use them as such to date. In order for the approval for the Severance the unit must evidence of compliance or obtain a variance.

3.3 Is this an application 45(2) of the Planning Act.

Yes

No

If yes, please provide an explanation:

45(2) of the Planning Act grants Power to the Committee of Adjustment to approve of requests to sever lots as well as to place conditions for the approvals to take place. 83 Sanford is designated as a single dwelling and commercial use and zoned R1A

4. DESCRIPTION OF SUBJECT LAND AND SERVICING INFORMATION

4.1 Dimensions of Subject Lands:

Lot Frontage	Lot Depth	Lot Area	Width of Street
7.470648 m	39.0144 m	291.46 m	

4.2 Location of all buildings and structures on or proposed for the subject lands:
(Specify distance from side, rear and front lot lines)

Existing:

Type of Structure	Front Yard Setback	Rear Yard Setback	Side Yard Setbacks	Date of Construction
Residential building - 83	4.874 m	39.273 m	0.783	
Residential building - 85	4.953 m	39.289 m	0.295	

Proposed:

Type of Structure	Front Yard Setback	Rear Yard Setback	Side Yard Setbacks	Date of Construction
Same - no changes	4.874 m	39.273 m	0.783	
Same - no changes	4.953 m	39.289 m	0.295	

4.3. Particulars of all buildings and structures on or proposed for the subject lands (attach additional sheets if necessary):

Existing:

Type of Structure	Ground Floor Area	Gross Floor Area	Number of Storeys	Height
Residential building - 83	62 m ²	237 m ²	2 1/2	10 m
Residential building - 85	62 m ²	237 m ²	2 1/2	10 m

Proposed:

Type of Structure	Ground Floor Area	Gross Floor Area	Number of Storeys	Height
Same - no changes	62 m ²	237 m ²	2 1/2	10 m
Same - no changes	62 m ²	237 m ²	2 1/2	10 m

- 4.4 Type of water supply: (check appropriate box)
- publicly owned and operated piped water system
- privately owned and operated individual well

- lake or other water body
- other means (specify)

- 4.5 Type of storm drainage: (check appropriate boxes)
- publicly owned and operated storm sewers
- swales

- ditches
- other means (specify)

- 4.6 Type of sewage disposal proposed: (check appropriate box)
- publicly owned and operated sanitary sewage
- system privately owned and operated individual
- septic system other means (specify) _____
- 4.7 Type of access: (check appropriate box)
- provincial highway right of way
- municipal road, seasonally maintained other public road
- municipal road, maintained all year _____
- 4.8 Proposed use(s) of the subject property (single detached dwelling duplex, retail, factory etc.):
Multi-Family dwelling
- 4.9 Existing uses of abutting properties (single detached dwelling duplex, retail, factory etc.):
Multi-Family dwelling

7 HISTORY OF THE SUBJECT LAND

- 7.1 Date of acquisition of subject lands:
2001
- 7.2 Previous use(s) of the subject property: (single detached dwelling duplex, retail, factory etc)
retail downstairs and single family dwelling upstairs/ Multi-Family dwelling
- 7.3 Existing use(s) of the subject property: (single detached dwelling duplex, retail, factory etc)
Multi family dwelling building
- 7.4 Length of time the existing uses of the subject property have continued:
Since 1950
- 7.5 What is the existing official plan designation of the subject land?

Rural Hamilton Official Plan designation (if applicable): N/A

Rural Settlement Area: _____

Urban Hamilton Official Plan designation (if applicable) Mixed use medium density

Please provide an explanation of how the application conforms with the Official Plan.

The unit remains as a mixed use medium density, it is being changed from single family dwelling and a commercial use to multi family dwelling.

- 7.6 What is the existing zoning of the subject land? R1A

- 7.8 Has the owner previously applied for relief in respect of the subject property?
(Zoning By-law Amendment or Minor Variance)

Yes No

If yes, please provide the file number: R1A

7.9 Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?

Yes No

If yes, please provide the file number: HM/B-22:44

8 ADDITIONAL INFORMATION

8.1 Number of Dwelling Units Existing: 3

8.2 Number of Dwelling Units Proposed: 3

8.3 Additional Information (please include separate sheet if needed):

There is no construction being done on the property.

11 COMPLETE APPLICATION REQUIREMENTS

11.1 All Applications

- Application Fee
- Site Sketch
- Complete Application form
- Signatures Sheet

11.4 Other Information Deemed Necessary

- Cover Letter/Planning Justification Report
 - Authorization from Council or Director of Planning and Chief Planner to submit application for Minor Variance
 - Minimum Distance Separation Formulae (data sheet available upon request)
 - Hydrogeological Assessment
 - Septic Assessment
 - Archeological Assessment
 - Noise Study
 - Parking Study
- _____
- _____



Hamilton

COMMITTEE OF ADJUSTMENT

City Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5

Telephone (905) 546-2424, ext. 4221

E-mail: cofa@hamilton.ca

CORRECTED NOTICE OF PUBLIC HEARING
Minor Variance

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
- Applicant/agent on file, or
- Person likely to be interested in this application

APPLICATION NO.:	A-24:163	SUBJECT PROPERTY:	393 Rymal Road West, Hamilton
ZONE:	“DE/S-664, DE/S-664a, DE/S-664b, DE/S-664c, DE/S-1023” (Low Density Multiple Dwellings)	ZONING BY-LAW:	Zoning By-law former City of Hamilton 6593, as Amended

APPLICANTS: Owner: Zest Communities Inc. - Rob Baibcco
 Agent: Baiocco Construction Corp. - Sally Yong-Lee

The following variances are requested:

1. A maximum height of 7.0m shall be permitted instead of the maximum 4.0m height permitted for accessory buildings.
2. The proposed accessory building shall be permitted to be located within a required side yard as close as 6.2m to a side lot line whereas the zoning By-law states that no accessory building shall be located within a required side yard.

PURPOSE & EFFECT: To facilitate the construction of a 372.0m² accessory building (pergola) for the existing Retirement Community.

Notes:

No elevation plans were included with this application; as such, the applicant shall ensure that the requested height variance is correct and as per the height definition in the zoning By-law.

This Notice must be posted by the owner of any land which contains seven or more residential units so that it is visible to all residents.

This application will be heard by the Committee as shown below:

DATE:	Tuesday, August 6, 2024
TIME:	1:55 p.m.

A-24:163

PLACE:	Via video link or call in (see attached sheet for details)
	City Hall Council Chambers (71 Main St. W., Hamilton)
	To be streamed (viewing only) at www.hamilton.ca/committeeofadjustment

For more information on this matter, including access to drawings illustrating this request and other information submitted:

- Visit www.hamilton.ca/committeeofadjustment
- Visit Committee of Adjustment staff at 5th floor City Hall, 71 Main St. W., Hamilton

PUBLIC INPUT

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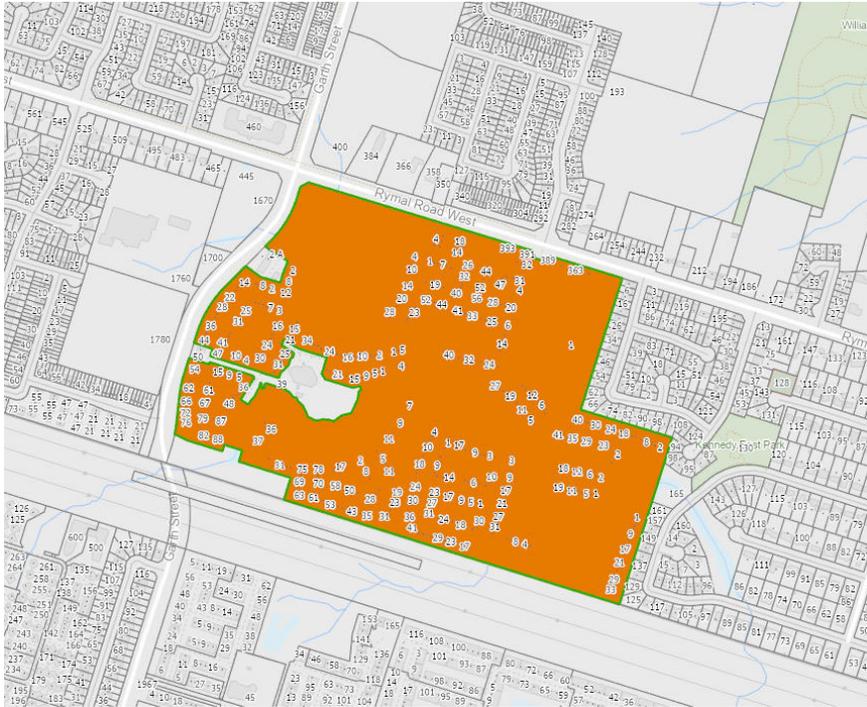
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FURTHER NOTIFICATION

If you wish to be notified of future Public Hearings, if applicable, regarding A-24:163, you must submit a written request to cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5.

If you wish to be provided a Notice of Decision, you must attend the Public Hearing and file a written request with the Secretary-Treasurer by emailing cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5.

A-24:163



 Subject Lands

DATED: July 18, 2024

Jamila Sheffield,
Secretary-Treasurer
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public, and may include posting electronic versions.



Hamilton

COMMITTEE OF ADJUSTMENT

City Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5

Telephone (905) 546-2424, ext. 4221

E-mail: cofa@hamilton.ca

PARTICIPATION PROCEDURES

Written Submissions

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Comments are available the Friday prior to the Hearing and are available on our website: www.hamilton.ca/committeeofadjustment

Oral Submissions

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1. Virtual Oral Submissions

Interested members of the public, agents, and owners **must register by noon on the day listed on the Notice of Public Hearing** to participate Virtually.

To register to participate Virtually by Webex either via computer or phone, please contact Committee of Adjustment staff by email cofa@hamilton.ca. The following information is required to register: Committee of Adjustment file number, hearing date, name and mailing address of each person wishing to speak, if participation will be by phone or video, and if applicable the phone number they will be using to call in.

A separate registration for each person wishing to speak is required. Upon registering for a meeting, members of the public will be emailed a link for the Webex meeting one business day before the Hearing. Only those registered will be called upon to speak.

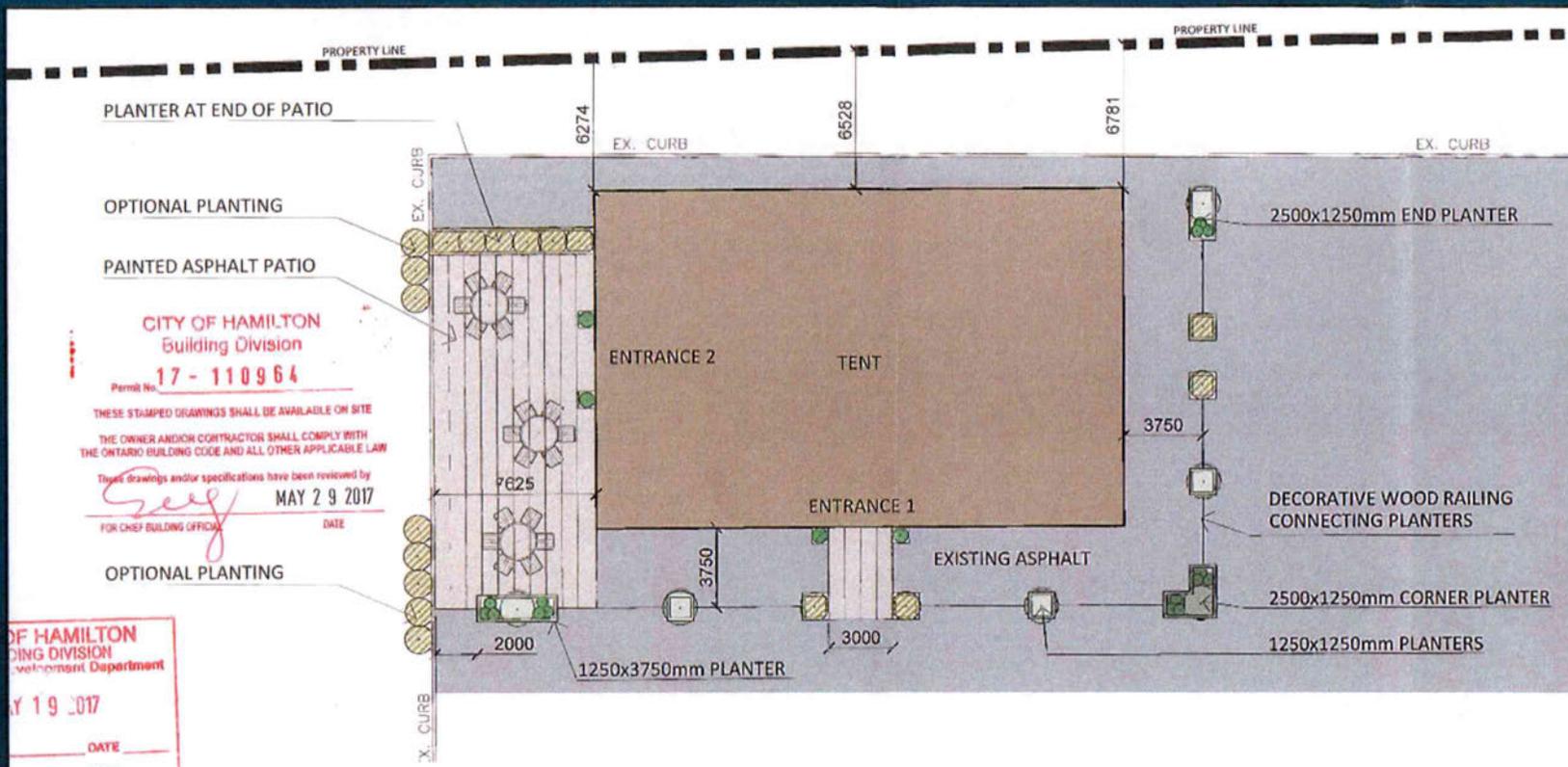
2. In person Oral Submissions

Interested members of the public, agents, and owners who wish to participate in person may attend Council Chambers on the date and time listed on the Notice of Public Hearing. Please note, you will be required to provide your name and address for the record. It is advised that you arrive **no less than 10 minutes** before the time of the Public Hearing as noted on the Notice of Public Hearing.

We hope this is of assistance and if you need clarification or have any questions, please email cofa@hamilton.ca.

Please note: Webex (video) participation requires either a compatible computer or smartphone and an application (app/program) must be downloaded by the interested party in order to participate. It is the interested party's responsibility to ensure that their device is compatible and operating correctly prior to the Hearing.

APPENDIX A



CITY OF HAMILTON
 Building Division
 Permit No. **17-110964**
 THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE
 THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH
 THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAWS
 These drawings and/or specifications have been reviewed by
[Signature] **MAY 29 2017**
 FOR CHIEF BUILDING OFFICER DATE

CITY OF HAMILTON
 Planning Division
 Development Department
 MAY 19 2017
 DATE
 SAMPLE PLANTERS



KEY-MAP

- PROPOSED LARGE CURB
- PROPOSED SMALL CURB
- PROPOSED SMALL CURB
- ASPHALT
- PAINTED ASPHALT
- PROPOSED DECORATIVE RAILING

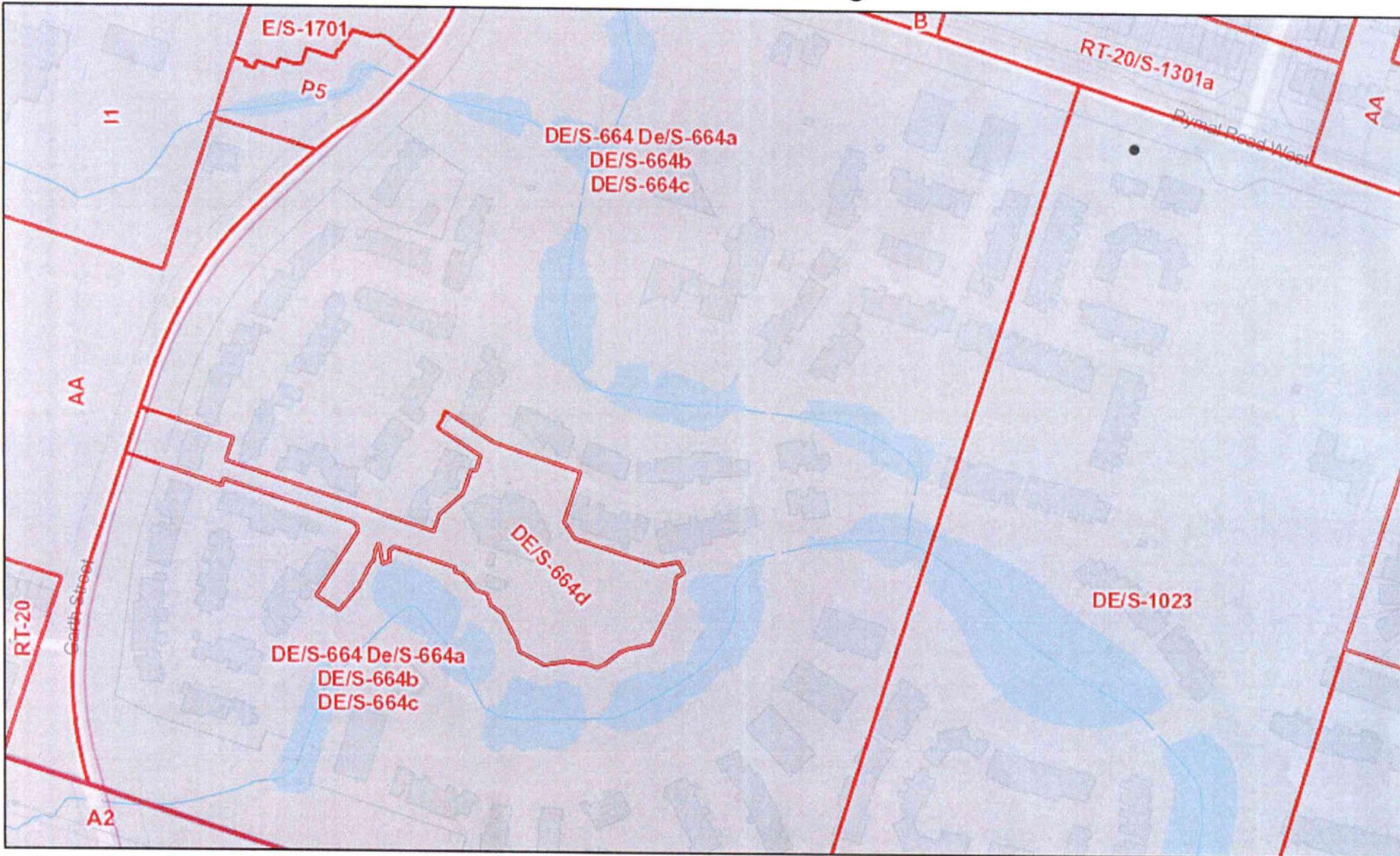


ST. ELIZABETH HOSPITAL
 ZEST COMMUNITIES
 OMC LANDSCAPE ARCHITECTURE
 Innovative, Quality Planning
 270 Sherman Avenue North, Suite 215-102, Hamilton, ON L8L 6H4
 Telephone: 905.681.2504 Fax: 905.681.2944 www.omclandscape.com
 LANDSCAPE ARCHITECTURE - ENVIRONMENTAL PLANNING - RECREATION ANALYSIS

SCALE: 1:100
 DRAWN BY: AZ
 CHECKED BY: MM
 DATE: 03/29/17
 CONCEPT SKETCH
 ISSUED FOR REVIEW

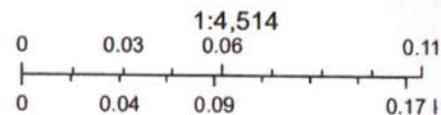


SER SPECIAL EVENTS TENT - ZEST



2/6/2024, 11:52:35 AM

- Ward Boundary
- Community Boundary
- City Boundary
- Urban Boundary
- Property Parcels
- Zoning Compliance Review Required
- Zoning Boundaries
- Interim Control By-laws



APPENDIX B

Committee of Adjustment
 City Hall, 5th Floor,
 71 Main St. W.,
 Hamilton, ON L8P4Y5

Phone: (905) 546-2424 ext. 4221
 Email: cofa@hamilton.ca



Hamilton

APPLICATION FOR A MINOR VARIANCE/PERMISSION
 UNDER SECTION 45 OF THE *PLANNING ACT*

1. APPLICANT INFORMATION

	NAME	
Registered Owners(s)	Zest Communities Inc. <i>Rob Baiocco</i>	
Applicant(s)	Baiocco Construction Corp. - Sally Yong-Lee	
Agent or Solicitor		
		Phone:
		E-mail:

1.2 Primary contact Applicant Owner Agent/Solicitor

1.3 Sign should be sent to Applicant Owner Agent/Solicitor

1.4 Request for digital copy of sign Yes* No

If YES, provide email address where sign is to be sent

1.5 All correspondence may be sent by email Yes* No

If Yes, a valid email must be included for the registered owner(s) AND the Applicant/Agent (if applicable). Only one email address submitted will result in the voiding of this service. This request does not guarantee all correspondence will sent by email.

1.6 Payment type In person Credit over phone*
 Cheque

*Must provide number above

2. LOCATION OF SUBJECT LAND

2.1 Complete the applicable sections:

Municipal Address	393 RYMAL RD W , HAMILTON		
Assessment Roll Number	2518081101081610000 Ward 08		
Former Municipality			
Lot		Concession	
Registered Plan Number		Lot(s)	
Reference Plan Number (s)		Part(s)	

2.2 Are there any easements or restrictive covenants affecting the subject land?

Yes No

If YES, describe the easement or covenant and its effect:

Storm Water Ponds

3. PURPOSE OF THE APPLICATION

Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled

All dimensions in the application form are to be provided in metric units (millimetres, metres, hectares, etc.)

3.1 Nature and extent of relief applied for:

Application to increase the current height variance (4m) to 7m - the height of existing tent structure. Reference Permit #23 137847 00TE.

Second Dwelling Unit Reconstruction of Existing Dwelling

3.2 Why it is not possible to comply with the provisions of the By-law?

The tent structure has a height of 7m at peak.

3.3 Is this an application 45(2) of the Planning Act.

Yes No

If yes, please provide an explanation:

Tent (pergola) is an accessory structure providing a social gathering space for residents. We are seeking a variance for the height.

4. DESCRIPTION OF SUBJECT LAND AND SERVICING INFORMATION

4.1 Dimensions of Subject Lands:

Lot Frontage	Lot Depth	Lot Area	Width of Street
Approx. 660m	Approx. 600m	Approx. 55ha	Private Internal Road

4.2 Location of all buildings and structures on or proposed for the subject lands:
(Specify distance from side, rear and front lot lines)

Existing:

Type of Structure	Front Yard Setback	Rear Yard Setback	Side Yard Setbacks	Date of Construction
Tent Frame (Pergola)	6.2 - 6.7 (See Appendix A)	See Appendix A	See Appendix A	10/20/2023

Proposed:

Type of Structure	Front Yard Setback	Rear Yard Setback	Side Yard Setbacks	Date of Construction
See Above	See Above	See Above	See Above	10/20/2023

4.3. Particulars of all buildings and structures on or proposed for the subject lands (attach additional sheets if necessary):

Existing:

Type of Structure	Ground Floor Area	Gross Floor Area	Number of Storeys	Height
Tent Frame (Pergola)	372m	372m	1	7m

Proposed:

Type of Structure	Ground Floor Area	Gross Floor Area	Number of Storeys	Height
Tent Frame (Pergola)	372m	372m	1	7m

4.4 Type of water supply: (check appropriate box)

- publicly owned and operated piped water system
- privately owned and operated individual well

- lake or other water body
- other means (specify)

4.5 Type of storm drainage: (check appropriate boxes)

- publicly owned and operated storm sewers
- swales

- ditches
- other means (specify)

4.6 Type of sewage disposal proposed: (check appropriate box)

publicly owned and operated sanitary sewage

system privately owned and operated individual

septic system other means (specify) _____

4.7 Type of access: (check appropriate box)

provincial highway

right of way

municipal road, seasonally maintained

other public road

municipal road, maintained all year _____

4.8 Proposed use(s) of the subject property (single detached dwelling duplex, retail, factory etc.):

Office building, retirement residences, bungalow garden homes

4.9 Existing uses of abutting properties (single detached dwelling duplex, retail, factory etc.):

Residential

7 HISTORY OF THE SUBJECT LAND

7.1 Date of acquisition of subject lands:

Approximately 2013

7.2 Previous use(s) of the subject property: (single detached dwelling duplex, retail, factory etc)

Office building, retirement residences, bungalow garden homes

7.3 Existing use(s) of the subject property: (single detached dwelling duplex, retail, factory etc)

Office building, retirement residences, bungalow garden homes

7.4 Length of time the existing uses of the subject property have continued:

Over 40 years

7.5 What is the existing official plan designation of the subject land?

Rural Hamilton Official Plan designation (if applicable): _____

Rural Settlement Area: _____

Urban Hamilton Official Plan designation (if applicable) Neighbourhoods

Please provide an explanation of how the application conforms with the Official Plan.

7.6 What is the existing zoning of the subject land? Mixed - See Appendix B

7.8 Has the owner previously applied for relief in respect of the subject property?

(Zoning By-law Amendment or Minor Variance)

Yes

No

If yes, please provide the file number: ~~Mixed - See Appendix B~~

7.9 Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?

Yes

No

If yes, please provide the file number: _____

8 ADDITIONAL INFORMATION

8.1 Number of Dwelling Units Existing: 600

8.2 Number of Dwelling Units Proposed: 0

8.3 Additional Information (please include separate sheet if needed):

Existing Dwelling Units are in excess of 600.

The Tent Frame (Pergola) is intended to provide flexible, enclosed space for ongoing resident activities, programs and events during suitable seasons.

11 COMPLETE APPLICATION REQUIREMENTS

11.1 All Applications

- Application Fee
- Site Sketch
- Complete Application form
- Signatures Sheet

11.4 Other Information Deemed Necessary

- Cover Letter/Planning Justification Report
- Authorization from Council or Director of Planning and Chief Planner to submit application for Minor Variance
- Minimum Distance Separation Formulae (data sheet available upon request)
- Hydrogeological Assessment
- Septic Assessment
- Archeological Assessment
- Noise Study
- Parking Study



Hamilton

COMMITTEE OF ADJUSTMENT

City Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5

Telephone (905) 546-2424, ext. 4221

E-mail: cofa@hamilton.ca

NOTICE OF PUBLIC HEARING
Minor Variance

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
- Applicant/agent on file, or
- Person likely to be interested in this application

APPLICATION NO.:	A-24:159	SUBJECT PROPERTY:	2 Field Road, Ancaster
ZONE:	Settlement Residential (S1)	ZONING BY-LAW:	Zoning By-law City of Hamilton 05-200

APPLICANTS: Owner: Chris MacDonald
 Agent: Dale Thring

The following variances are requested:

1. A porch deck or canopy may encroach the full distance of the front yard instead of the maximum 1.5 metre or half the distance of the required yard, whichever is the lesser.
2. A porch deck or canopy may encroach 1.781 metres into the required side yard, instead of the maximum 1.5 metre or half the distance of the required yard, whichever is the lesser.

PURPOSE & EFFECT: To permit the construction of a porch.

Notes:

1. It is noted that the lot line abutting Jerseyville Road West is considered the front lot line for the purposes of zoning review.

This Notice must be posted by the owner of any land which contains seven or more residential units so that it is visible to all residents.

This application will be heard by the Committee as shown below:

DATE:	Tuesday, August 6, 2024
TIME:	2:15 p.m.
PLACE:	Via video link or call in (see attached sheet for details)
	City Hall Council Chambers (71 Main St. W., Hamilton)

A-24:159

	To be streamed (viewing only) at www.hamilton.ca/committeeofadjustment
--	---

For more information on this matter, including access to drawings illustrating this request and other information submitted:

- Visit www.hamilton.ca/committeeofadjustment
- Visit Committee of Adjustment staff at 5th floor City Hall, 71 Main St. W., Hamilton

PUBLIC INPUT

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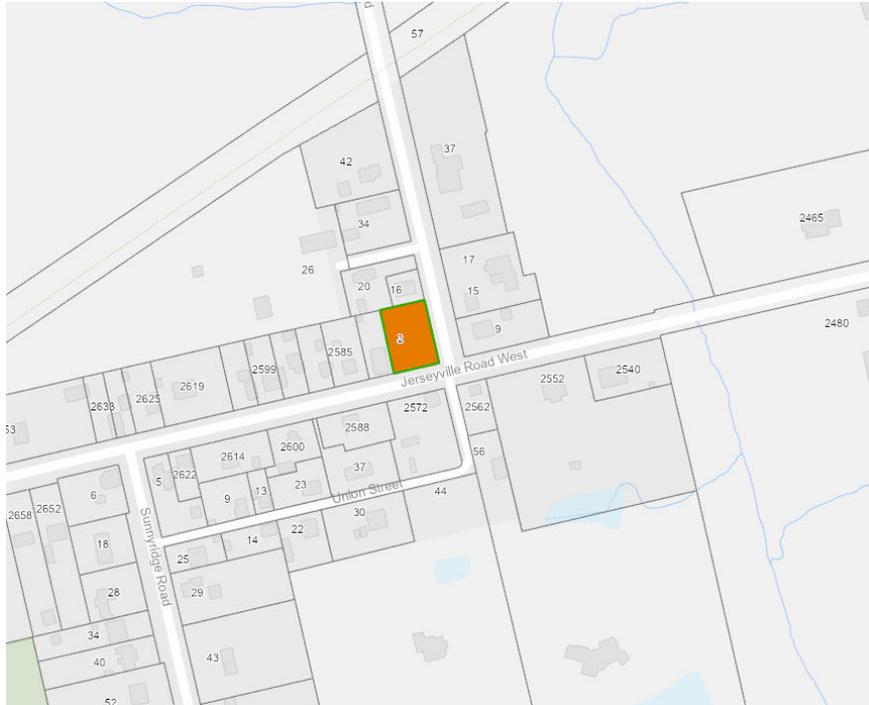
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A-24:159



 Subject Lands

DATED: July 18, 2024

Jamila Sheffield,
Secretary-Treasurer
Committee of Adjustment

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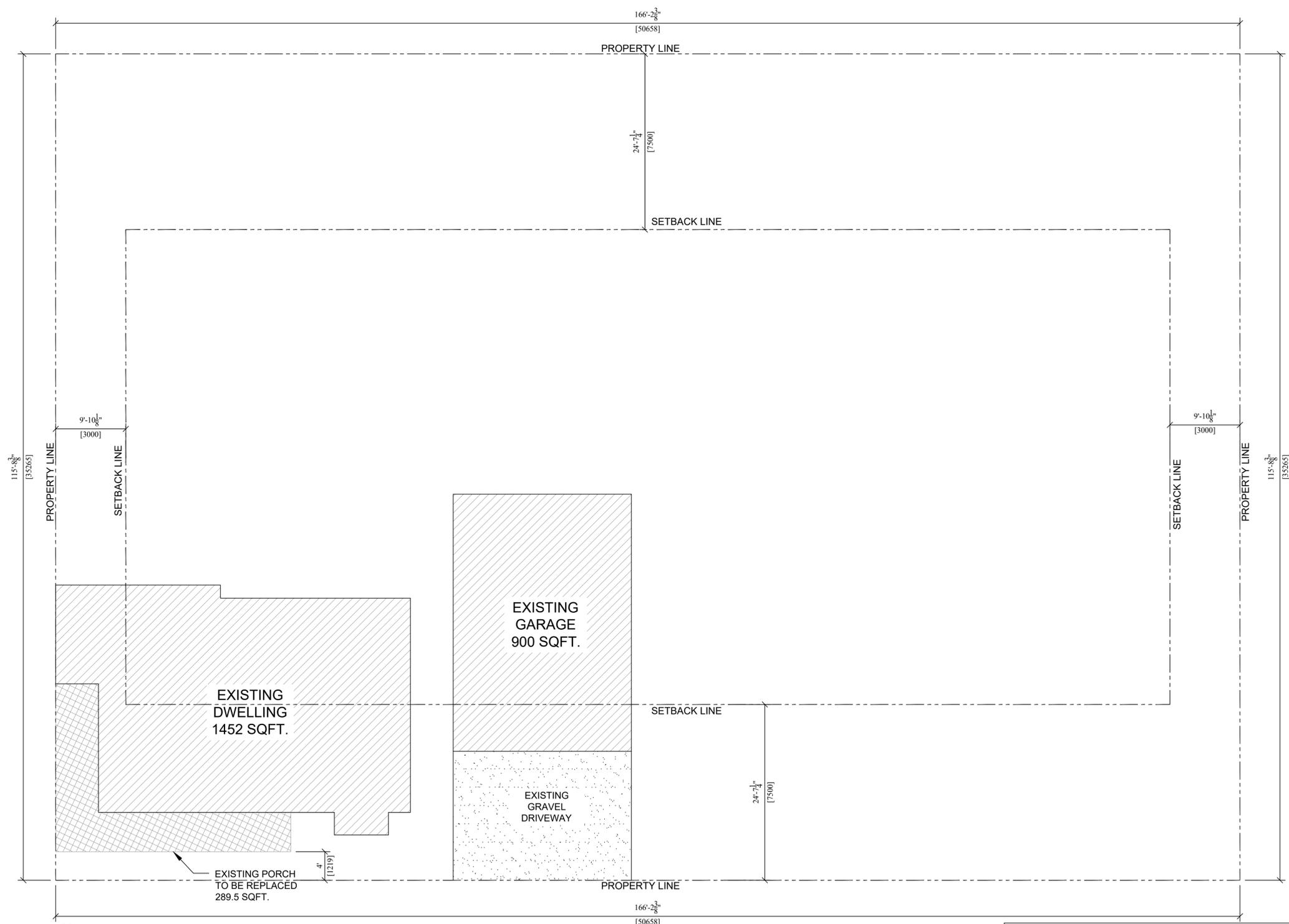
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1 SITEPLAN
SP1.01 SCALE: 3/16" = 1'-0"



SITE STATISTICS	
MUNICIPAL ADDRESS	2 FIELD ROAD JERSEYVILLE, ONTARIO L0R 1R0
ZONING	SETTLEMENT RESIDENTIAL - S1
MAXIMUM ROOF HEIGHT	10.5 m (34'-5 3/8")
PROPOSED ROOF HEIGHT	3.2 m (10'-6 1/2")
LOT AREA:	1786.46 m ² (19,229.34 sqft)
BUILDING COVERAGE: (BUILDING/LOT AREA)	
PERMITTED :	1786.46 m ² (19,229.34 sqft) - 100%
EXISTING DWELLING:	134.90 m ² (1452 sqft) - 7.55%
EXISTING GARAGE:	83.61 m ² (900 sqft) - 4.68%
PROPOSED PORCH (EXISTING TO BE REPLACED):	26.90 m ² (289.5 sqft) - 1.5%
LANDSCAPED AREA:	1,499.11 m ² (16,136.43 sqft) - 83.92%
DRIVEWAY:	41.94 m ² (451.41 sqft) - 2.35%

NO.	DATE	DESCRIPTION
1	12/06/2023	DESIGN

REVISION

ND N.D. DESIGNS
49 MARKHAM CRESCENT
STONE CREEK, ON
L8J 2Y3
T/905.818.9197
E/n.d.designs@outlook.com

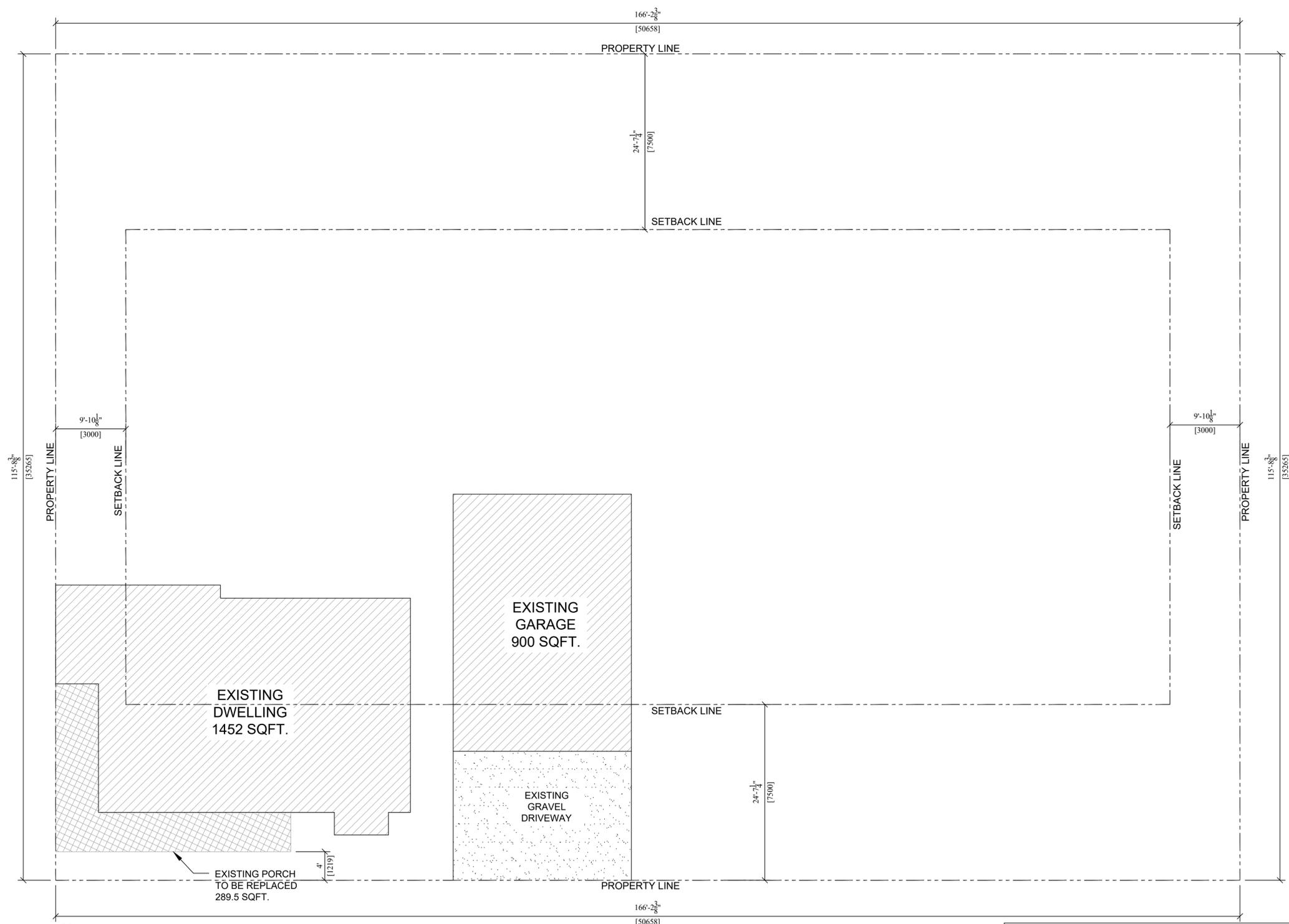
SEAL & SIGNATURE:

CLIENT:
CHRIS MACDONALD

PROJECT:
2 FIELD ROAD PROCH

SHEET CONTENTS:	
SITEPLAN	
PROJECT NUMBER:	23-06-01
DRAWING SCALE:	3/16" = 1'-0"
DRAWN BY:	DJT
CHECKED BY:	
DATE:	12/06/2023
SHEET NO:	SP1.01
REV:	1

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1 SITEPLAN
SP1.01 SCALE: 3/16"=1'-0"



SITE STATISTICS	
MUNICIPAL ADDRESS	2 FIELD ROAD JERSEYVILLE, ONTARIO L0R 1R0
ZONING	SETTLEMENT RESIDENTIAL - S1
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E/n.d.designs@outlook.com



CLIENT:
CHRIS MACDONALD

PROJECT:
2 FIELD ROAD PROCH

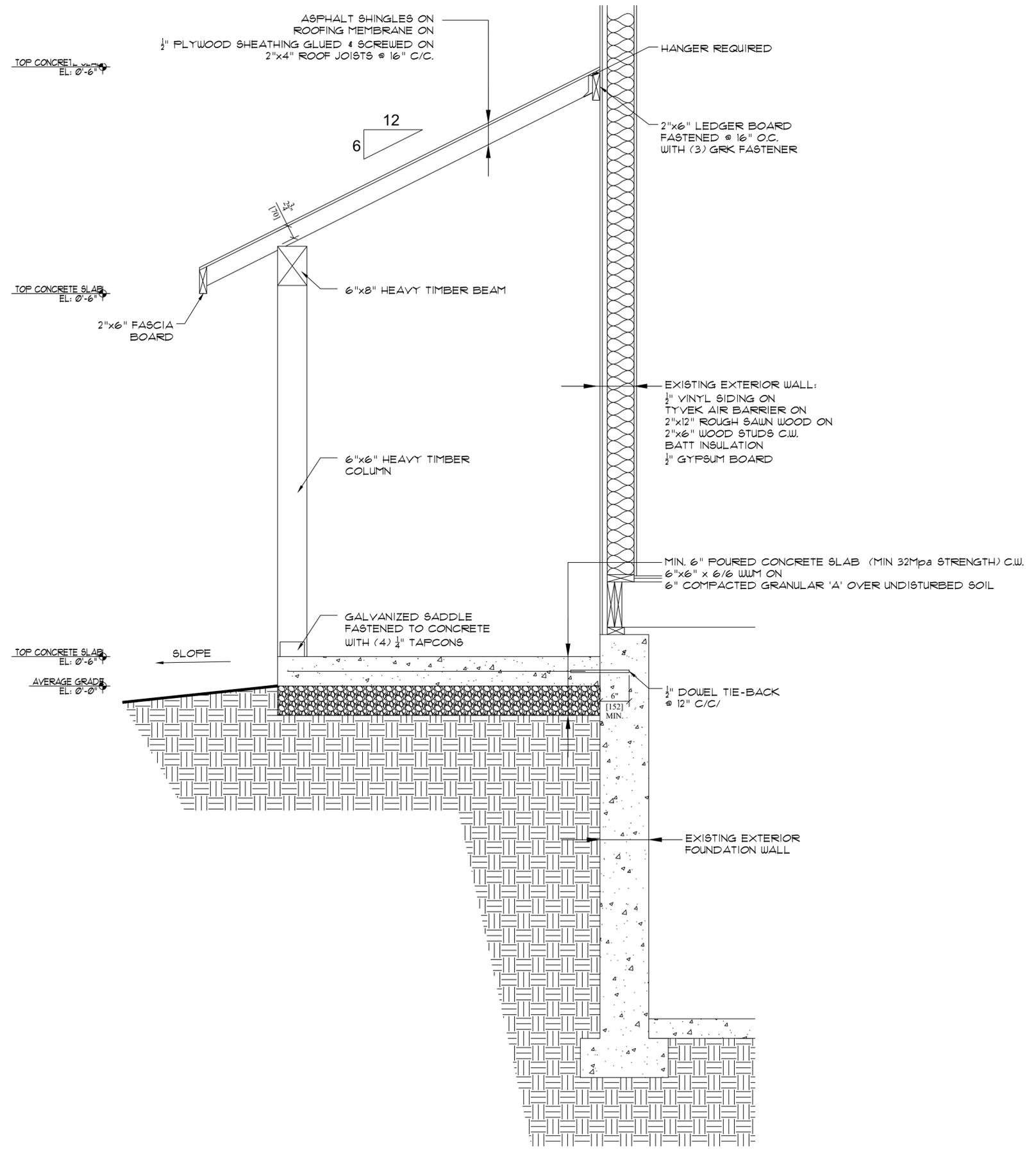
SHEET CONTENTS:
SITEPLAN

PROJECT NUMBER:
23-06-01

DRAWING SCALE:
3/16"=1'-0"

DRAWN BY:	CHECKED BY:	DATE:
DJT		12/06/2023

SHEET NO:	REV:
SP1.01	1



1 BUILDING SECTION
 A4.01 SCALE: 1" = 1'-0"

NOTES	
1.	THE LATEST APPROVED DRAWINGS ONLY ARE TO BE USED FOR CONSTRUCTION.
2.	BEAMS - PROVIDE 3 ¹ / ₂ " OF SOLID BEARING FOR BEAMS
3.	JOISTS - PROVIDE 1 ¹ / ₂ " OF SOLID BEARING FOR JOISTS

NO.	DATE	DESCRIPTION
1	12/06/2023	DESIGN

REVISION

ND N.D. DESIGNS
 49 MARKHAM CRESCENT
 STONEY CREEK, ON
 L8J 2Y3
 T/905.818.9197
 E/n.d.designs@outlook.com

SEAL & SIGNATURE:

LICENSED PROFESSIONAL ENGINEER
 12-June-2023
 A. HRASTOV
 100222347
 PROVINCE OF ONTARIO

CLIENT:
 CHRIS MACDONALD

PROJECT:
 2 FIELD ROAD PROCH

SHEET CONTENTS:
 SECTION AND DETAIL

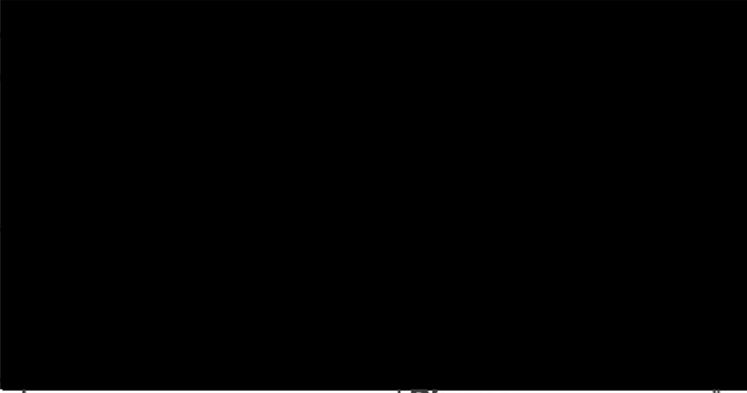
PROJECT NUMBER: 23-06-01	DRAWING SCALE: 1"=1'-0"
DRAWN BY: DJT	CHECKED BY: DATE: 12/06/2023
SHEET NO: A4.01	REV: 1



Hamilton

**APPLICATION FOR A MINOR VARIANCE/PERMISSION
UNDER SECTION 45 OF THE PLANNING ACT**

1. APPLICANT INFORMATION

	NAME	
Registered Owners(s)	Chris MacDonald	
Applicant(s)	Dale Thring	
Agent or Solicitor		
		Phone:
		E-mail:

1.2 Primary contact Applicant Owner Agent/Solicitor

1.3 Sign should be sent to Applicant Owner AgentSolicitor

1.4 Request for digital copy of sign Yes* No

If YES, provide email address where sign is to be sent _____

1.5 All correspondence may be sent by email Yes* No

If Yes, a valid email must be included for the registered owner(s) AND the Applicant/Agent (if applicable). Only one email address submitted will result in the voiding of this service. This request does not guarantee all correspondence will sent by email.

1.6 Payment type In person Credit over phone* Cheque

*Must provide number above

2. LOCATION OF SUBJECT LAND

2.1 Complete the applicable sections:

Municipal Address	2 Field Rd, Jerseyville, ON, L0R 1R0		
Assessment Roll Number			
Former Municipality			
Lot		Concession	
Registered Plan Number		Lot(s)	
Reference Plan Number (s)		Part(s)	

2.2 Are there any easements or restrictive covenants affecting the subject land?

Yes No

If YES, describe the easement or covenant and its effect:

3. PURPOSE OF THE APPLICATION

Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled

All dimensions in the application form are to be provided in metric units (millimetres, metres, hectares, etc.)

3.1 Nature and extent of relief applied for:

Rebuilding of the existing porch does not meet zoning by-law setback requirements of 3.0 meters at the side yard or 7.5 meters of the front yard. We can achieve 0 meters for side yard and 1.2 meters for front yard.

Second Dwelling Unit Reconstruction of Existing Dwelling

3.2 Why it is not possible to comply with the provisions of the By-law?

The existing dwelling was built with-in the minimum 3.0m side yard setback and 7.5m front yard setback lines. Therefore replacing the existing porch we cannot meet setback requirements.

3.3 Is this an application 45(2) of the Planning Act.

Yes No

If yes, please provide an explanation:

4. DESCRIPTION OF SUBJECT LAND AND SERVICING INFORMATION

4.1 Dimensions of Subject Lands:

Lot Frontage	Lot Depth	Lot Area	Width of Street
50.6m	35.3m	1786.46m ²	6.7m

4.2 Location of all buildings and structures on or proposed for the subject lands:
(Specify distance from side, rear and front lot lines)

Existing:

Type of Structure	Front Yard Setback	Rear Yard Setback	Side Yard Setbacks	Date of Construction
Single Detached Dwelling	1.2m	23.2m	0m/35.5m	03/20/1797
Detached Garage	5.5m	18.8m	17m/26m	03/20/1987

Proposed:

Type of Structure	Front Yard Setback	Rear Yard Setback	Side Yard Setbacks	Date of Construction
Replacement Front Porch	1.2m	23.2m	35.5m/0m	

4.3. Particulars of all buildings and structures on or proposed for the subject lands (attach additional sheets if necessary):

Existing:

Type of Structure	Ground Floor Area	Gross Floor Area	Number of Storeys	Height
Single Detached Dwelling	134.9m ²	181.3m ²	2	7.01m
Detached Garage	83.6m ²	83.6m ²	1	4.88m

Proposed:

Type of Structure	Ground Floor Area	Gross Floor Area	Number of Storeys	Height
Replacement Front Porch	26.9m ²	26.9m ²	1	3.2m

- 4.4 Type of water supply: (check appropriate box)
- publicly owned and operated piped water system
 - privately owned and operated individual well

- lake or other water body
- other means (specify)

- 4.5 Type of storm drainage: (check appropriate boxes)
- publicly owned and operated storm sewers
 - swales

- ditches
- other means (specify)

4.6 Type of sewage disposal proposed: (check appropriate box)

- publicly owned and operated sanitary sewage
 system privately owned and operated individual
 septic system other means (specify) _____

4.7 Type of access: (check appropriate box)

- provincial highway right of way
 municipal road, seasonally maintained other public road
 municipal road, maintained all year _____

4.8 Proposed use(s) of the subject property (single detached dwelling duplex, retail, factory etc.):

Single Detached Dwelling

4.9 Existing uses of abutting properties (single detached dwelling duplex, retail, factory etc.):

Sing detached dwelling

7 HISTORY OF THE SUBJECT LAND

7.1 Date of acquisition of subject lands:

2017

7.2 Previous use(s) of the subject property: (single detached dwelling duplex, retail, factory etc)

Single Detached Dwelling

7.3 Existing use(s) of the subject property: (single detached dwelling duplex, retail, factory etc)

Single Detached Dwelling

7.4 Length of time the existing uses of the subject property have continued:

7

7.5 What is the existing official plan designation of the subject land?

Rural Hamilton Official Plan designation (if applicable): SETTLEMENT RESIDENTIAL

Rural Settlement Area: JERSEYVILLE RURAL SETTLEMENT AREA

Urban Hamilton Official Plan designation (if applicable) _____

Please provide an explanation of how the application conforms with the Official Plan.

7.6 What is the existing zoning of the subject land? SETTLEMENT RESIDENTIAL - S1

7.8 Has the owner previously applied for relief in respect of the subject property?
 (Zoning By-law Amendment or Minor Variance)

- Yes No

If yes, please provide the file number: _____

7.9 Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?

Yes

No

If yes, please provide the file number: _____

8 ADDITIONAL INFORMATION

8.1 Number of Dwelling Units Existing: 1

8.2 Number of Dwelling Units Proposed: 1

8.3 Additional Information (please include separate sheet if needed):

11 COMPLETE APPLICATION REQUIREMENTS

11.1 All Applications

- Application Fee
- Site Sketch
- Complete Application form
- Signatures Sheet

11.4 Other Information Deemed Necessary

- Cover Letter/Planning Justification Report
 - Authorization from Council or Director of Planning and Chief Planner to submit application for Minor Variance
 - Minimum Distance Separation Formulae (data sheet available upon request)
 - Hydrogeological Assessment
 - Septic Assessment
 - Archeological Assessment
 - Noise Study
 - Parking Study
-
-



Hamilton

COMMITTEE OF ADJUSTMENT

City Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5

Telephone (905) 546-2424, ext. 4221

E-mail: cofa@hamilton.ca

NOTICE OF PUBLIC HEARING
Minor Variance

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
- Applicant/agent on file, or
- Person likely to be interested in this application

APPLICATION NO.:	A-24:157	SUBJECT PROPERTY:	768 Field Road, Ancaster
ZONE:	"P7 and A1" (Conservation/Hazard Land Rural and Agricultural)	ZONING BY-LAW:	Zoning By-law City of Hamilton 05-200, as Amended

APPLICANTS: Owner: Al Koudys
Agent: Harry Dehaan

The following variances are requested:

1. A maximum gross floor area of 22.5% shall be permitted for the expansion of the existing building instead of the maximum 10.0% of the gross floor area of an existing building permitted.

PURPOSE & EFFECT: To facilitate the expansion of an existing single detached dwelling through the construction of a one storey addition (private garage).

Notes:

The applicant shall ensure that any eave/gutter projections proposed into the front yard conform to the maximum 0.6m projection permitted; otherwise, further variances shall be required.

Details regarding the access driveway location and size, the internal parking space size or obstructions, and finished floor area of the attached garage were not shown from which to confirm compliance. Therefore, the applicant shall ensure compliance is achieved; otherwise, further variances shall be required.

Please note that this property is exempt from the requirement of Electric vehicle parking as it is located in an Open Space P7 zone.

This Notice must be posted by the owner of any land which contains seven or more residential units so that it is visible to all residents.

This application will be heard by the Committee as shown below:

A-24:157

DATE:	Tuesday, August 6, 2024
TIME:	2:20 p.m.
PLACE:	Via video link or call in (see attached sheet for details)
	City Hall Council Chambers (71 Main St. W., Hamilton)
	To be streamed (viewing only) at www.hamilton.ca/committeeofadjustment

For more information on this matter, including access to drawings illustrating this request and other information submitted:

- Visit www.hamilton.ca/committeeofadjustment
- Visit Committee of Adjustment staff at 5th floor City Hall, 71 Main St. W., Hamilton

PUBLIC INPUT

Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, written comments must be received no later than noon August 2, 2024

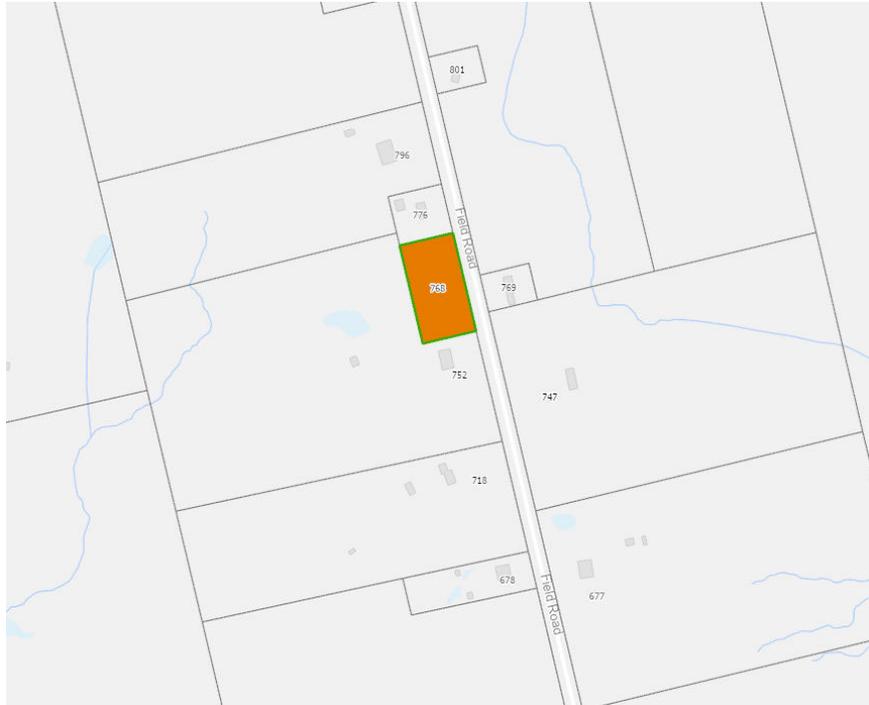
Orally: If you would like to speak to this item at the hearing you may do so via video link, calling in, or attending in person. Please see attached page for complete instructions, registration to participate virtually must be received no later than noon August 2, 2024

FURTHER NOTIFICATION

If you wish to be notified of future Public Hearings, if applicable, regarding A-24:157, you must submit a written request to cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5.

If you wish to be provided a Notice of Decision, you must attend the Public Hearing and file a written request with the Secretary-Treasurer by emailing cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5.

A-24:157



 Subject Lands

DATED: July 18, 2024

Jamila Sheffield,
Secretary-Treasurer
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public, and may include posting electronic versions.



Hamilton

COMMITTEE OF ADJUSTMENTCity Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5

Telephone (905) 546-2424, ext. 4221

E-mail: cofa@hamilton.ca**PARTICIPATION PROCEDURES****Written Submissions**

Members of the public who would like to participate in a Committee of Adjustment meeting are able to provide comments in writing advance of the meeting. Comments can be submitted by emailing cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5. **Comments must be received by noon on the date listed on the Notice of Public Hearing.**

Comments are available the Friday prior to the Hearing and are available on our website: www.hamilton.ca/committeeofadjustment

Oral Submissions

Members of the public are also able to provide oral comments regarding Committee of Adjustment Hearing items by participating Virtually through Webex via computer or phone or by attending the Hearing In-person. Participation Virtually requires pre-registration in advance. Please contact staff for instructions if you wish to make a presentation containing visual materials.

1. Virtual Oral Submissions

Interested members of the public, agents, and owners **must register by noon on the day listed on the Notice of Public Hearing** to participate Virtually.

To register to participate Virtually by Webex either via computer or phone, please contact Committee of Adjustment staff by email cofa@hamilton.ca. The following information is required to register: Committee of Adjustment file number, hearing date, name and mailing address of each person wishing to speak, if participation will be by phone or video, and if applicable the phone number they will be using to call in.

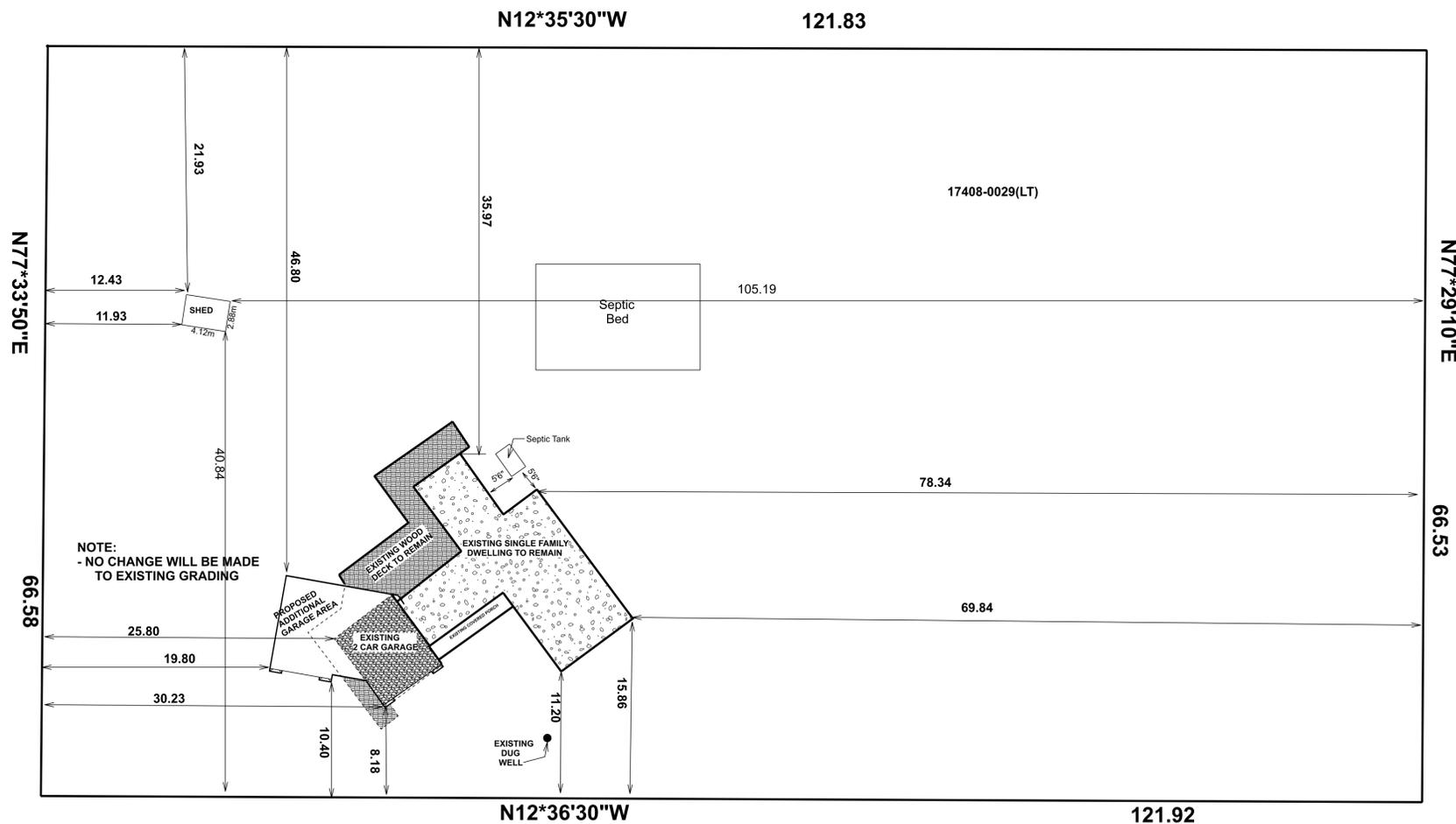
A separate registration for each person wishing to speak is required. Upon registering for a meeting, members of the public will be emailed a link for the Webex meeting one business day before the Hearing. Only those registered will be called upon to speak.

2. In person Oral Submissions

Interested members of the public, agents, and owners who wish to participate in person may attend Council Chambers on the date and time listed on the Notice of Public Hearing. Please note, you will be required to provide your name and address for the record. It is advised that you arrive **no less than 10 minutes** before the time of the Public Hearing as noted on the Notice of Public Hearing.

We hope this is of assistance and if you need clarification or have any questions, please email cofa@hamilton.ca.

Please note: Webex (video) participation requires either a compatible computer or smartphone and an application (app/program) must be downloaded by the interested party in order to participate. It is the interested party's responsibility to ensure that their device is compatible and operating correctly prior to the Hearing.



GENERAL NOTES:

1. THE CONTRACTOR MUST CHECK AND VERIFY ALL DIMENSIONS ON THE JOB PRIOR TO CONSTRUCTION.
2. ALL CONSTRUCTION IS TO MEET THE CURRENT REQUIREMENTS OF THE ONTARIO BUILDING CODE (O.B.C.) AND MUNICIPAL BY-LAWS.
3. THE REQUIRED PERMITS AND APPROVALS ARE TO BE OBTAINED BEFORE THE CONTRACTOR COMMENCES WITH THE WORK.
4. DRAWINGS ARE NOT TO BE SCALED.
5. BEFORE ORDERING ROOF TRUSSES, VERIFY ALL DIMENSIONS ON THE JOB.
6. IF THERE ARE ANY DESIRED CHANGES TO THE DESIGN OF THE BUILDING IN WHICH THE BUILDING PERMIT WAS ISSUED FOR, THE DESIGNER MUST BE NOTIFIED OF SUCH 'DESIRED CHANGES' AND GIVE APPROVAL BEFORE THE CHANGE COMMENCES.
7. IF ANY ERRORS ARE DISCOVERED ON THE DRAWINGS, THE DESIGNER MUST BE NOTIFIED BEFORE CONSTRUCTION CONTINUES.
8. ALL ELECTRICAL TO MEET ESA CODES

FOOTPRINT & AREA DETAILS

Existing Lot area: 87,309.74 sq ft (8,111.34m²)
 Existing dwelling: 2,022 sq ft (187.85m²)
 Existing attached garage: 510 sq ft (47.38m²)
 Existing shed: 127 sq ft (11.80m²)
 Existing total dwelling & shed footprint: 2,532 sq ft (235.23m²)
 Existing lot coverage of buildings: 2.90%

New proposed garage area: 810 sq. ft. (75.25m²)
 New total garage area: 1,350 sq. ft. (125.42m²)
 New total of dwelling & shed footprint: 3,342 sq ft (310.48m²)
 New total lot coverage: 3.82%

Ridge height 15' 6"

DRAWING COMPLETED BY: HARRY DEHAAN

BCIN # 31702

SIGNATURE: *Harry Dehaan*

VERSION

Review: Nov, 2023
 Review: Jan, 2023
 Permit: April, 2024

GARAGE ADDITION

CLIENT:
 Albert Koudys

COPYRIGHT: Reproduction or use of these drawings and any related attachments by intended parties or without consent is strictly prohibited and guilty parties risk prosecution under Ontario law.

ROAD ALLOWANCE BETWEEN LOTS 18 and 19 - KNOWN AS FIELD ROAD

**PART 1 - PLAN OF SURVEY OF
 PART OF LOT 18
 CONCESSION 1
 GEOGRAPHIC TOWNSHIP OF ANCASTER
 CITY OF HAMILTON**



PROJECT ADDRESS 768 Field Rd, Hamilton, ON L0R 1T0	SITE PLAN	
	PHONE: 905-570-2213	BCNI # 31702
DRAWN BY: hdh SCALE: AS NOTED DATE: April 22nd, 2024	CONTRACTOR: Double H Construction Ltd.	SP1.01



Hamilton

Committee of Adjustment
 City Hall, 5th Floor,
 71 Main St. W.,
 Hamilton, ON L8P4Y5

Phone: (905) 546-2424 ext. 4221
 Email: cofa@hamilton.ca

APPLICATION FOR A MINOR VARIANCE/PERMISSION
 UNDER SECTION 45 OF THE *PLANNING ACT*

1. APPLICANT INFORMATION

	NAME		
Registered Owners(s)	AL KOUDYS		
Applicant(s)	HARRY DEHAAN		
Agent or Solicitor		Phone:	
		E-mail:	

1.2 Primary contact Applicant Owner Agent/Solicitor

1.3 Sign should be sent to Applicant Owner Agent/Solicitor

1.4 Request for digital copy of sign Yes* No
 If YES, provide email address where sign is to be sent

1.5 All correspondence may be sent by email Yes* No

If Yes, a valid email must be included for the registered owner(s) AND the Applicant/Agent (if applicable). Only one email address submitted will result in the voiding of this service. This request does not guarantee all correspondence will sent by email.

1.6 Payment type Credit over phone*

*Must provide number above

2. LOCATION OF SUBJECT LAND

2.1 Complete the applicable sections:

Municipal Address	768 Field Road		
Assessment Roll Number	140110468000000		
Former Municipality	Ancaster		
Lot	18	Concession	1
Registered Plan Number		Lot(s)	
Reference Plan Number (s)		Part(s)	

2.2 Are there any easements or restrictive covenants affecting the subject land?

 Yes No

If YES, describe the easement or covenant and its effect:

3. PURPOSE OF THE APPLICATION

Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled

All dimensions in the application form are to be provided in metric units (millimetres, metres, hectares, etc.)

3.1 Nature and extent of relief applied for:

To increase a 2 car garage to a 3 car garage. Garage will continue to be attached to the existing single family dwelling. The square footage of the proposed exceeds the 10% allowed for in a P7 zoning by approx 500 sq ft

 Second Dwelling Unit Reconstruction of Existing Dwelling

3.2 Why it is not possible to comply with the provisions of the By-law?

Primary reason is that the third proposed bay is greater than the permitted build size of 10%. The second factor is that the existing home is on an angle to the road and the new proposed garage area needs to be a minimum of 10 meter from the front yard set back, this causes the new area to be on an angle off the side of the existing garage.

3.3 Is this an application 45(2) of the Planning Act.

 Yes No

If yes, please provide an explanation:

If I understand 45(2) correctly, the land use prior to the by-law is being maintained.

4. DESCRIPTION OF SUBJECT LAND AND SERVICING INFORMATION

4.1 Dimensions of Subject Lands:

Lot Frontage	Lot Depth	Lot Area	Width of Street
121.92 m	66.53 m	8,111.34 m ²	66'

4.2 Location of all buildings and structures on or proposed for the subject lands:
(Specify distance from side, rear and front lot lines)

Existing:

Type of Structure	Front Yard Setback	Rear Yard Setback	Side Yard Setbacks	Date of Construction
single family home with attached garage	8.18m	35.97m	25.8 m & 69.84m	01/01/1980
shed	40.84m	21.93m	11.93 m & 105.19m	01/01/1995

Proposed:

Type of Structure	Front Yard Setback	Rear Yard Setback	Side Yard Setbacks	Date of Construction
additional attached garage space	10.40m	46.80m	19.80m	01/08/2024

4.3. Particulars of all buildings and structures on or proposed for the subject lands (attach additional sheets if necessary):

Existing:

Type of Structure	Ground Floor Area	Gross Floor Area	Number of Storeys	Height
single family dwelling	187.85m ²	187.85m ²	1	4.72m
garden Shed	11.87m ²	11.87m ²	1	2.5m
attached garage	47.38m ²	47.38m ²	1	4.72m
wood decks	102.19m ²	102.19m ²	1	0.6m

Proposed:

Type of Structure	Ground Floor Area	Gross Floor Area	Number of Storeys	Height
additional garage area	75.25m ²	75.25m ²	1	4.72m

4.4 Type of water supply: (check appropriate box)

- publicly owned and operated piped water system
- privately owned and operated individual well

- lake or other water body
- other means (specify)

4.5 Type of storm drainage: (check appropriate boxes)

- publicly owned and operated storm sewers
- swales

- ditches
- other means (specify)

- 4.6 Type of sewage disposal proposed: (check appropriate box)
- publicly owned and operated sanitary sewage
- system privately owned and operated individual
- septic system other means (specify) _____
- 4.7 Type of access: (check appropriate box)
- provincial highway right of way
- municipal road, seasonally maintained other public road
- municipal road, maintained all year _____
- 4.8 Proposed use(s) of the subject property (single detached dwelling duplex, retail, factory etc.):
no change to use - maintaining a single family dwelling

- 4.9 Existing uses of abutting properties (single detached dwelling duplex, retail, factory etc.):
single family dwellings - residential

7 HISTORY OF THE SUBJECT LAND

- 7.1 Date of acquisition of subject lands:
09/01/2020
- 7.2 Previous use(s) of the subject property: (single detached dwelling duplex, retail, factory etc)
single family dwelling - residential
- 7.3 Existing use(s) of the subject property: (single detached dwelling duplex, retail, factory etc)
single family dwelling - residential
- 7.4 Length of time the existing uses of the subject property have continued:
40+ years

- 7.5 What is the existing official plan designation of the subject land?

Rural Hamilton Official Plan designation (if applicable): rural residential

Rural Settlement Area: Rural Lynden

Urban Hamilton Official Plan designation (if applicable) _____

Please provide an explanation of how the application conforms with the Official Plan.
by continuing to use the property as a single family dwelling

- 7.6 What is the existing zoning of the subject land? been advised it is A2 and P7

- 7.8 Has the owner previously applied for relief in respect of the subject property?
(Zoning By-law Amendment or Minor Variance)

Yes

No

If yes, please provide the file number: _____

7.9 Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?

 Yes No

If yes, please provide the file number: _____

8 ADDITIONAL INFORMATION

8.1 Number of Dwelling Units Existing: 1

8.2 Number of Dwelling Units Proposed: 0

8.3 Additional Information (please include separate sheet if needed):

The proposed garage extension has been drawn on a site plan and has been submitted along with the minor variance application as part of the required details to the applications "Site Sketch"

11 COMPLETE APPLICATION REQUIREMENTS

11.1 All Applications

- Application Fee
- Site Sketch
- Complete Application form
- Signatures Sheet

11.4 Other Information Deemed Necessary

- Cover Letter/Planning Justification Report
- Authorization from Council or Director of Planning and Chief Planner to submit application for Minor Variance
- Minimum Distance Separation Formulae (data sheet available upon request)
- Hydrogeological Assessment
- Septic Assessment
- Archeological Assessment
- Noise Study
- Parking Study



Hamilton

COMMITTEE OF ADJUSTMENT

City Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5

Telephone (905) 546-2424, ext. 4221

E-mail: cofa@hamilton.ca

NOTICE OF PUBLIC HEARING
Minor Variance

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
- Applicant/agent on file, or
- Person likely to be interested in this application

APPLICATION NO.:	A-24:151	SUBJECT PROPERTY:	2460 Concession 6 West, Flamborough
ZONE:	“P7, P8 and A1” (Conservation/Hazard Land Rural (P7), Conservation/Hazard Land Rural (P8), and Agriculture)	ZONING BY-LAW:	Zoning By-law City of Hamilton 05-200, as Amended

APPLICANTS: Owner: Donald Wulff and Margaret Wulff
Agent: Darel Pennings

The following variances are requested:

1. An Additional Dwelling Unit – Detached shall be permitted whereas the use of an Additional Dwelling Unit – Detached is not permitted in the P7 zone.

PURPOSE & EFFECT: To facilitate the conversion of an existing dwelling in order to establish an Additional Dwelling Unit - Detached on the subject lands.

Notes:

There are no requirements for an Additional Dwelling Unit – Detached in the P7 zone.

This Notice must be posted by the owner of any land which contains seven or more residential units so that it is visible to all residents.

This application will be heard by the Committee as shown below:

DATE:	Tuesday, August 6, 2024
TIME:	2:25 p.m.
PLACE:	Via video link or call in (see attached sheet for details)
	City Hall Council Chambers (71 Main St. W., Hamilton)
	To be streamed (viewing only) at

A-24:151

www.hamilton.ca/committeeofadjustment
--

For more information on this matter, including access to drawings illustrating this request and other information submitted:

- Visit www.hamilton.ca/committeeofadjustment
- Visit Committee of Adjustment staff at 5th floor City Hall, 71 Main St. W., Hamilton

PUBLIC INPUT

Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, written comments must be received no later than noon August 2, 2024

Orally: If you would like to speak to this item at the hearing you may do so via video link, calling in, or attending in person. Please see attached page for complete instructions, registration to participate virtually must be received no later than noon August 2, 2024

FURTHER NOTIFICATION

If you wish to be notified of future Public Hearings, if applicable, regarding A-24:151, you must submit a written request to cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5.

If you wish to be provided a Notice of Decision, you must attend the Public Hearing and file a written request with the Secretary-Treasurer by emailing cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5.

A-24:151



 **Subject Lands**

DATED: July 18, 2024

Jamila Sheffield,
Secretary-Treasurer
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public, and may include posting electronic versions.



Hamilton

COMMITTEE OF ADJUSTMENT

City Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5

Telephone (905) 546-2424, ext. 4221

E-mail: cofa@hamilton.ca

PARTICIPATION PROCEDURES

Written Submissions

Members of the public who would like to participate in a Committee of Adjustment meeting are able to provide comments in writing advance of the meeting. Comments can be submitted by emailing cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5. **Comments must be received by noon on the date listed on the Notice of Public Hearing.**

Comments are available the Friday prior to the Hearing and are available on our website: www.hamilton.ca/committeeofadjustment

Oral Submissions

Members of the public are also able to provide oral comments regarding Committee of Adjustment Hearing items by participating Virtually through Webex via computer or phone or by attending the Hearing In-person. Participation Virtually requires pre-registration in advance. Please contact staff for instructions if you wish to make a presentation containing visual materials.

1. Virtual Oral Submissions

Interested members of the public, agents, and owners **must register by noon on the day listed on the Notice of Public Hearing** to participate Virtually.

To register to participate Virtually by Webex either via computer or phone, please contact Committee of Adjustment staff by email cofa@hamilton.ca. The following information is required to register: Committee of Adjustment file number, hearing date, name and mailing address of each person wishing to speak, if participation will be by phone or video, and if applicable the phone number they will be using to call in.

A separate registration for each person wishing to speak is required. Upon registering for a meeting, members of the public will be emailed a link for the Webex meeting one business day before the Hearing. Only those registered will be called upon to speak.

2. In person Oral Submissions

Interested members of the public, agents, and owners who wish to participate in person may attend Council Chambers on the date and time listed on the Notice of Public Hearing. Please note, you will be required to provide your name and address for the record. It is advised that you arrive **no less than 10 minutes** before the time of the Public Hearing as noted on the Notice of Public Hearing.

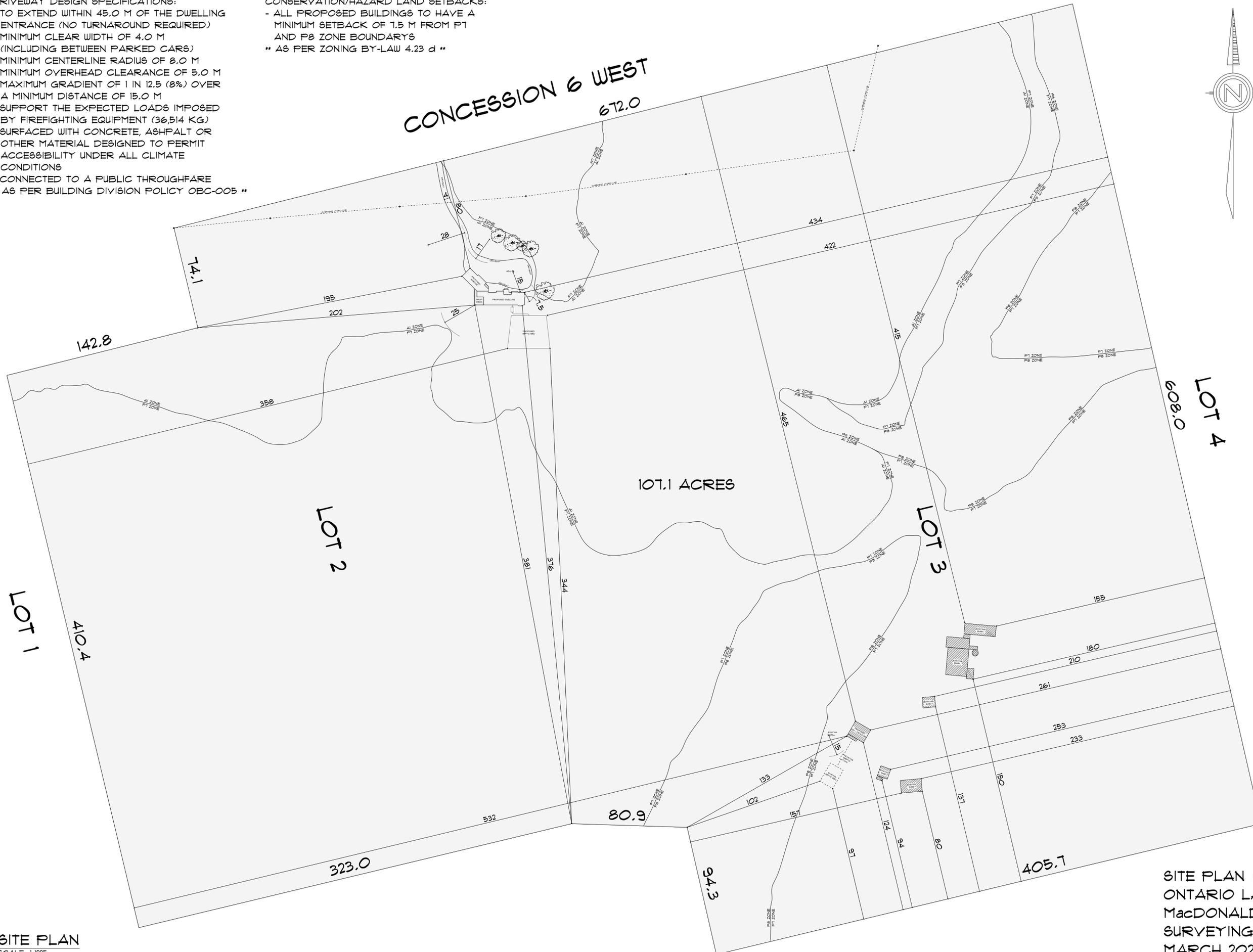
We hope this is of assistance and if you need clarification or have any questions, please email cofa@hamilton.ca.

Please note: Webex (video) participation requires either a compatible computer or smartphone and an application (app/program) must be downloaded by the interested party in order to participate. It is the interested party's responsibility to ensure that their device is compatible and operating correctly prior to the Hearing.

- DRIVEWAY DESIGN SPECIFICATIONS:**
- TO EXTEND WITHIN 45.0 M OF THE DWELLING ENTRANCE (NO TURNAROUND REQUIRED)
 - MINIMUM CLEAR WIDTH OF 4.0 M (INCLUDING BETWEEN PARKED CARS)
 - MINIMUM CENTERLINE RADIUS OF 8.0 M
 - MINIMUM OVERHEAD CLEARANCE OF 5.0 M
 - MAXIMUM GRADIENT OF 1 IN 12.5 (8%) OVER A MINIMUM DISTANCE OF 15.0 M
 - SUPPORT THE EXPECTED LOADS IMPOSED BY FIREFIGHTING EQUIPMENT (36,514 KG)
 - SURFACED WITH CONCRETE, ASPHALT OR OTHER MATERIAL DESIGNED TO PERMIT ACCESSIBILITY UNDER ALL CLIMATE CONDITIONS
 - CONNECTED TO A PUBLIC THROUGHFARE
- ** AS PER BUILDING DIVISION POLICY OBC-005 ****

- CONSERVATION/HAZARD LAND SETBACKS:**
- ALL PROPOSED BUILDINGS TO HAVE A MINIMUM SETBACK OF 1.5 M FROM P1 AND P8 ZONE BOUNDARIES
- ** AS PER ZONING BY-LAW 4.23 d ****

CONCESSION 6 WEST



SITE PLAN
SCALE: 1:1225

SITE PLAN IS REFERENCED TO ONTARIO LAND SURVEY BY MacDONALD TAMBLYN LORD SURVEYING LTD. DATED MARCH 2023

Wulff Residence
2460 Concession 6 West
Branchton, ON
N0B 1L0

PEERLESS
FINE HOMES

PHONE: 905.881.1111
EMAIL: info@peerlessfinehomes.ca
WEBSITE: peerlessfinehomes.ca

SCALE: 1:1225
DRAWN BY: Darel Pennings
DATE: Tuesday, June 04, 2024

SECTION LETTER: A
PAGE NUMBERS: 1/1
Proposed Site Plan



Hamilton

APPLICATION FOR A MINOR VARIANCE/PERMISSION
 UNDER SECTION 45 OF THE *PLANNING ACT*

1. APPLICANT INFORMATION

	NAME		
Registered Owners(s)	Donald Wulff & Margaret Wulff		
Applicant(s)	Darel Pennings		
Agent or Solicitor			Phone:
			E-mail:

1.2 Primary contact Applicant Owner Agent/Solicitor

1.3 Sign should be sent to Applicant Owner AgentSolicitor

1.4 Request for digital copy of sign Yes* No

If YES, provide email address where sign is to be sent [REDACTED]

1.5 All correspondence may be sent by email Yes* No

If Yes, a valid email must be included for the registered owner(s) AND the Applicant/Agent (if applicable). Only one email address submitted will result in the voiding of this service. This request does not guarantee all correspondence will sent by email.

1.6 Payment type In person Credit over phone* Cheque [REDACTED]

*Must provide number above

2. LOCATION OF SUBJECT LAND

2.1 Complete the applicable sections:

Municipal Address	2460 Concession 6 West		
Assessment Roll Number			
Former Municipality	Township of Beverly		
Lot	2	Concession	5
Registered Plan Number		Lot(s)	2
Reference Plan Number (s)		Part(s)	1

2.2 Are there any easements or restrictive covenants affecting the subject land?

Yes No

If YES, describe the easement or covenant and its effect:

Hydro Corridor

3. PURPOSE OF THE APPLICATION

Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled

All dimensions in the application form are to be provided in metric units (millimetres, metres, hectares, etc.)

3.1 Nature and extent of relief applied for:

To facilitate the conversion of the existing Single Detached Dwelling to an Additional Dwelling Unit-Detached located in the P7 zoned portion of the subject lands and the construction of a new Single Detached Dwelling in the A1 zoned portion of the property.

Second Dwelling Unit Reconstruction of Existing Dwelling

3.2 Why it is not possible to comply with the provisions of the By-law?

An Additional Dwelling Unit-Detached is not permitted within the P7 zone.

3.3 Is this an application 45(2) of the Planning Act.

Yes No

If yes, please provide an explanation:

4. DESCRIPTION OF SUBJECT LAND AND SERVICING INFORMATION

4.1 Dimensions of Subject Lands:

Lot Frontage	Lot Depth	Lot Area	Width of Street
672m	484m	434,207m ²	

4.2 Location of all buildings and structures on or proposed for the subject lands:
(Specify distance from side, rear and front lot lines)

Existing:

Type of Structure	Front Yard Setback	Rear Yard Setback	Side Yard Setbacks	Date of Construction
Single Detached Dwelling	465m	124m	133m & 261m	N/A
Barn	415m	150m	217m & 155m	N/A
Shed	514m	80m	157m & 233m	N/A
Shed	500m	94m	141m & 253m	N/A
Shed	460m	137m	191m & 210m	N/A

Proposed:

Type of Structure	Front Yard Setback	Rear Yard Setback	Side Yard Setbacks	Date of Construction
Additional Dwelling Unit-Detached	465m	124m	133m & 261m	N/A
Single Detached Dwelling	80m	376m	195m & 434m	ASAP

4.3. Particulars of all buildings and structures on or proposed for the subject lands (attach additional sheets if necessary):

Existing:

Type of Structure	Ground Floor Area	Gross Floor Area	Number of Storeys	Height
Single Detached Dwelling	159m ²		1.5	6m
Barn	669m ²	669m ²	1	12m
Shed	140m ²	140m ²	1	7m
Shed	70m ²	70m ²	1	4m
Shed	70m ²	70m ²	1	

Proposed:

Type of Structure	Ground Floor Area	Gross Floor Area	Number of Storeys	Height
Additional Dwelling Unit-Detached	159m ²		1.5	4m
Single Detached Dwelling	476m ²	476m ²	1	

- 4.4 Type of water supply: (check appropriate box)
- publicly owned and operated piped water system
- privately owned and operated individual well

- lake or other water body
- other means (specify)
- _____

- 4.5 Type of storm drainage: (check appropriate boxes)
- publicly owned and operated storm sewers
- swales

- ditches
- other means (specify)
- _____

4.6 Type of sewage disposal proposed: (check appropriate box)

publicly owned and operated sanitary sewage

system privately owned and operated individual

septic system other means (specify) Septic System

4.7 Type of access: (check appropriate box)

provincial highway

right of way

municipal road, seasonally maintained

other public road

municipal road, maintained all year

4.8 Proposed use(s) of the subject property (single detached dwelling duplex, retail, factory etc.):

Single Detached Dwelling & Additional Dwelling Unit-Detached

4.9 Existing uses of abutting properties (single detached dwelling duplex, retail, factory etc.):

Single Detached Dwelling

7 HISTORY OF THE SUBJECT LAND

7.1 Date of acquisition of subject lands:

November 2022

7.2 Previous use(s) of the subject property: (single detached dwelling duplex, retail, factory etc)

Single Detached Dwelling

7.3 Existing use(s) of the subject property: (single detached dwelling duplex, retail, factory etc)

Single Detached Dwelling

7.4 Length of time the existing uses of the subject property have continued:

50+ Years

7.5 What is the existing official plan designation of the subject land?

Rural Hamilton Official Plan designation (if applicable): Agricultural

Rural Settlement Area: _____

Urban Hamilton Official Plan designation (if applicable) _____

Please provide an explanation of how the application conforms with the Official Plan.

7.6 What is the existing zoning of the subject land?

A1 (Agricultural)

P7 (Conservation Hazard Land Rural)

P8 (Conservation Hazard Land Rural)

7.8 Has the owner previously applied for relief in respect of the subject property?

(Zoning By-law Amendment or Minor Variance)

Yes

No

If yes, please provide the file number: _____

7.9 Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?

Yes No

If yes, please provide the file number: _____

8 ADDITIONAL INFORMATION

8.1 Number of Dwelling Units Existing: 1

8.2 Number of Dwelling Units Proposed: 2

8.3 Additional Information (please include separate sheet if needed):

11 COMPLETE APPLICATION REQUIREMENTS

11.1 All Applications

- Application Fee
- Site Sketch
- Complete Application form
- Signatures Sheet

11.4 Other Information Deemed Necessary

- Cover Letter/Planning Justification Report
 - Authorization from Council or Director of Planning and Chief Planner to submit application for Minor Variance
 - Minimum Distance Separation Formulae (data sheet available upon request)
 - Hydrogeological Assessment
 - Septic Assessment
 - Archeological Assessment
 - Noise Study
 - Parking Study
-
-



Hamilton

COMMITTEE OF ADJUSTMENT

City Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5

Telephone (905) 546-2424, ext. 4221

E-mail: cofa@hamilton.ca

NOTICE OF PUBLIC HEARING
Minor Variance

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
- Applicant/agent on file, or
- Person likely to be interested in this application

APPLICATION NO.:	A-24:164	SUBJECT PROPERTY:	16 McKay Road, Dundas
ZONE:	Single Detached Residential (R2)	ZONING BY-LAW:	Zoning By-law former Town of Dundas 3581-86, as Amended 24-051

APPLICANTS: Owner: Laura Cole
Agent: Jonathan Lensink, P.Eng

The following variances are requested:

1. A minimum side yard of 3.2 metres on one side for a interior lot which there is no garage or carport instead of 5.0 metres required.
2. To permit a (1) required parking space to be permitted in the required front yard instead of no required parking spaces permitted in the required front yard required.

PURPOSE & EFFECT: To permit the construction of a addition to a existing single detached dwelling.

Notes:

- i) Please be advised this property was apart by-law 24-051 which was approved by Council April 10th 2024. The property is proposed to be zoned Low Density Residential (R1) in Hamilton Zoning By-law 05-200.
- ii) As per note above the regulations of the R1 Zone in 05-200 were reviewed and zoning is unable to determine compliance of a minimum landscaped area of 30% as per Section 15.1.2.1 h).
- iii) Additional variance is required for proposed parking space size as per by-law 05-200 a width of 2.8 metres is required and a width of 2.7 metres is proposed.

This Notice must be posted by the owner of any land which contains seven or more residential units so that it is visible to all residents.

A-24:164

This application will be heard by the Committee as shown below:

DATE:	Tuesday, August 6, 2024
TIME:	2:30 p.m.
PLACE:	Via video link or call in (see attached sheet for details)
	City Hall Council Chambers (71 Main St. W., Hamilton)
	To be streamed (viewing only) at www.hamilton.ca/committeeofadjustment

For more information on this matter, including access to drawings illustrating this request and other information submitted:

- Visit www.hamilton.ca/committeeofadjustment
- Visit Committee of Adjustment staff at 5th floor City Hall, 71 Main St. W., Hamilton

PUBLIC INPUT

Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, written comments must be received no later than noon August 2, 2024

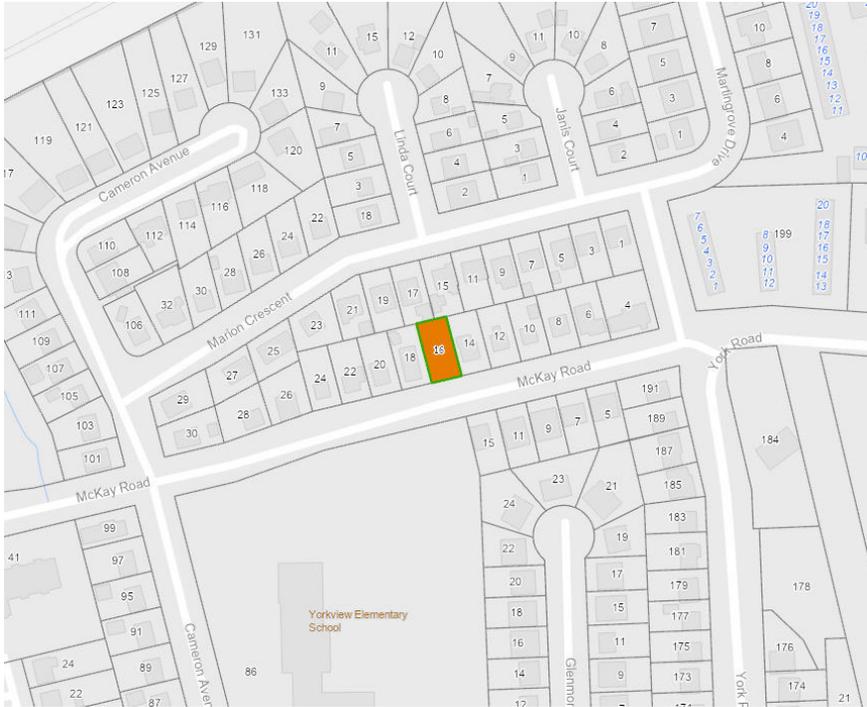
Orally: If you would like to speak to this item at the hearing you may do so via video link, calling in, or attending in person. Please see attached page for complete instructions, registration to participate virtually must be received no later than noon August 2, 2024

FURTHER NOTIFICATION

If you wish to be notified of future Public Hearings, if applicable, regarding A-24:164, you must submit a written request to cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5.

If you wish to be provided a Notice of Decision, you must attend the Public Hearing and file a written request with the Secretary-Treasurer by emailing cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5.

A-24:164



 Subject Lands

DATED: July 18, 2024

Jamila Sheffield,
Secretary-Treasurer
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public, and may include posting electronic versions.



Hamilton

COMMITTEE OF ADJUSTMENTCity Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5

Telephone (905) 546-2424, ext. 4221

E-mail: cofa@hamilton.ca**PARTICIPATION PROCEDURES****Written Submissions**

Members of the public who would like to participate in a Committee of Adjustment meeting are able to provide comments in writing advance of the meeting. Comments can be submitted by emailing cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5. **Comments must be received by noon on the date listed on the Notice of Public Hearing.**

Comments are available the Friday prior to the Hearing and are available on our website: www.hamilton.ca/committeeofadjustment

Oral Submissions

Members of the public are also able to provide oral comments regarding Committee of Adjustment Hearing items by participating Virtually through Webex via computer or phone or by attending the Hearing In-person. Participation Virtually requires pre-registration in advance. Please contact staff for instructions if you wish to make a presentation containing visual materials.

1. Virtual Oral Submissions

Interested members of the public, agents, and owners **must register by noon on the day listed on the Notice of Public Hearing** to participate Virtually.

To register to participate Virtually by Webex either via computer or phone, please contact Committee of Adjustment staff by email cofa@hamilton.ca. The following information is required to register: Committee of Adjustment file number, hearing date, name and mailing address of each person wishing to speak, if participation will be by phone or video, and if applicable the phone number they will be using to call in.

A separate registration for each person wishing to speak is required. Upon registering for a meeting, members of the public will be emailed a link for the Webex meeting one business day before the Hearing. Only those registered will be called upon to speak.

2. In person Oral Submissions

Interested members of the public, agents, and owners who wish to participate in person may attend Council Chambers on the date and time listed on the Notice of Public Hearing. Please note, you will be required to provide your name and address for the record. It is advised that you arrive **no less than 10 minutes** before the time of the Public Hearing as noted on the Notice of Public Hearing.

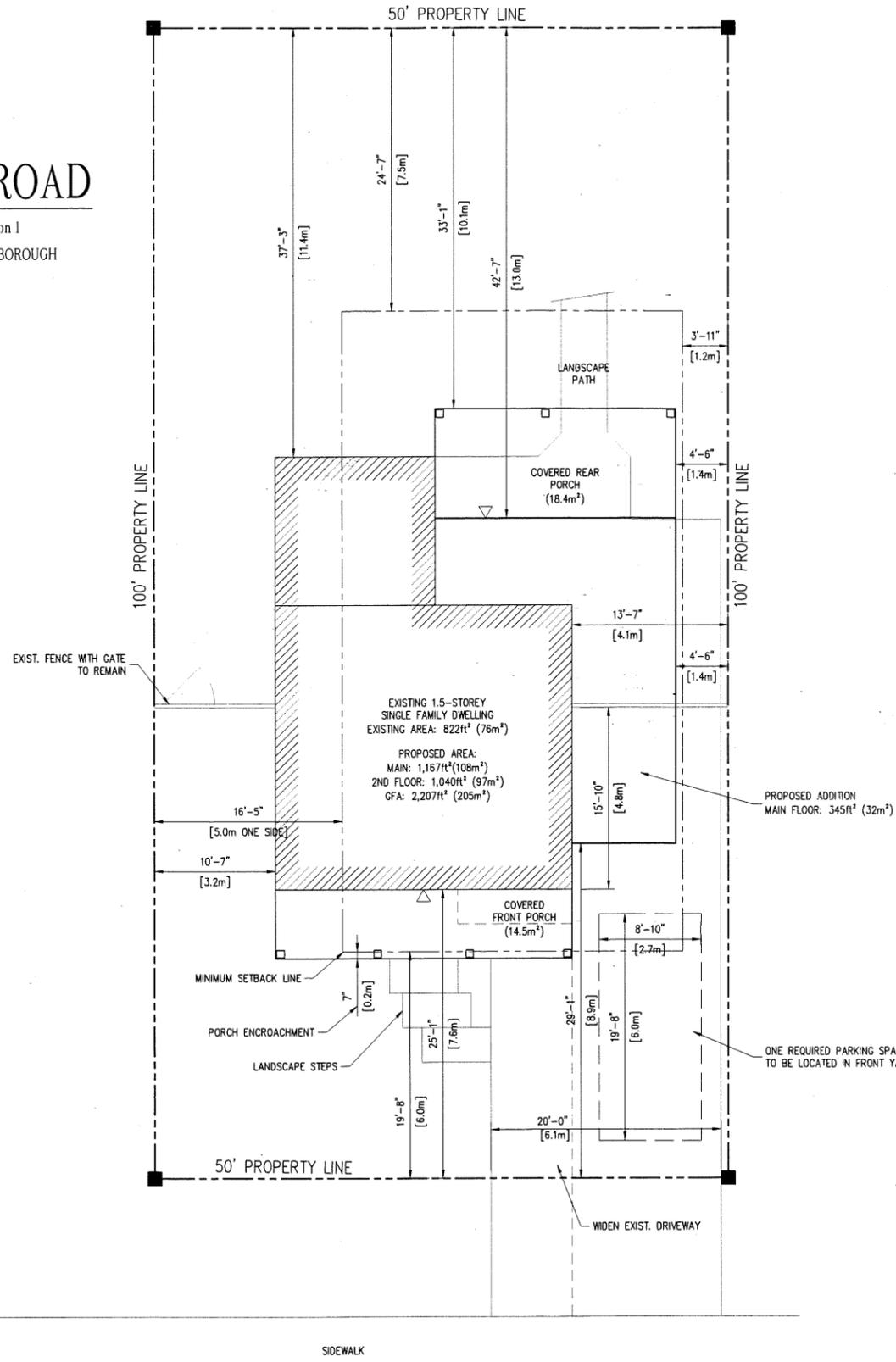
We hope this is of assistance and if you need clarification or have any questions, please email cofa@hamilton.ca.

Please note: Webex (video) participation requires either a compatible computer or smartphone and an application (app/program) must be downloaded by the interested party in order to participate. It is the interested party's responsibility to ensure that their device is compatible and operating correctly prior to the Hearing.



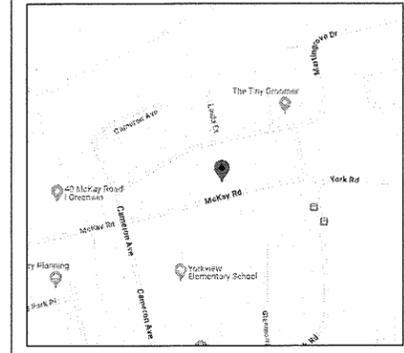
16 MCKAY ROAD

Part 59, Lot 18, Concession 1
TOWNSHIP OF WEST FLAMBOROUGH



16 MCKAY ROAD - ZONING CHART (R2, DUNDAS 3581-86)

ITEM	ZONING BY-LAW	EXISTING	PROPOSED	COMPLIANCE
MINIMUM LOT FRONTAGE	15.0m	15.2m	15.2m	YES
MINIMUM LOT AREA	450m ²	464.5m ²	464.5m ²	YES
MINIMUM FRONT YARD	6.0m	7.6m	7.6m	YES
MINIMUM INTERIOR SIDE YARD	1.2m & 5.0m	4.1m & 3.2m	1.4m & 3.2m	NO
MINIMUM REAR YARD	7.5m	11.4m	11.4m	YES
MAXIMUM BUILDING HEIGHT	10.5m	6.6m	8.4m	YES
REQUIRED PARKING	1 SPACE	1 SPACE	1 SPACE	YES
PARKING LOCATION	NOT IN FRONT YARD	PARTIALLY FRONT YARD	FRONT YARD	NO
FRONT PORCH PROJECTION	3.0m MAX. 4.0m SETBACK MIN.	-	0.2m ENCROACH. 5.8m SETBACK	YES



KEY MAP

REV.	DATE	REMARKS
2	26JUNE24	VARIANCE
1	12JUNE24	CONCEPTS
0	04APR24	CONCEPTS



JONATHAN LENSINK, P. ENG.
JONLENSINK@GMAIL.COM
(905) 807-0191
CERT. OF AUTH. 100565231

PROJECT TITLE

COLE RESIDENCE
16 MCKAY ROAD
DUNDAS, ON

DRAWING TITLE

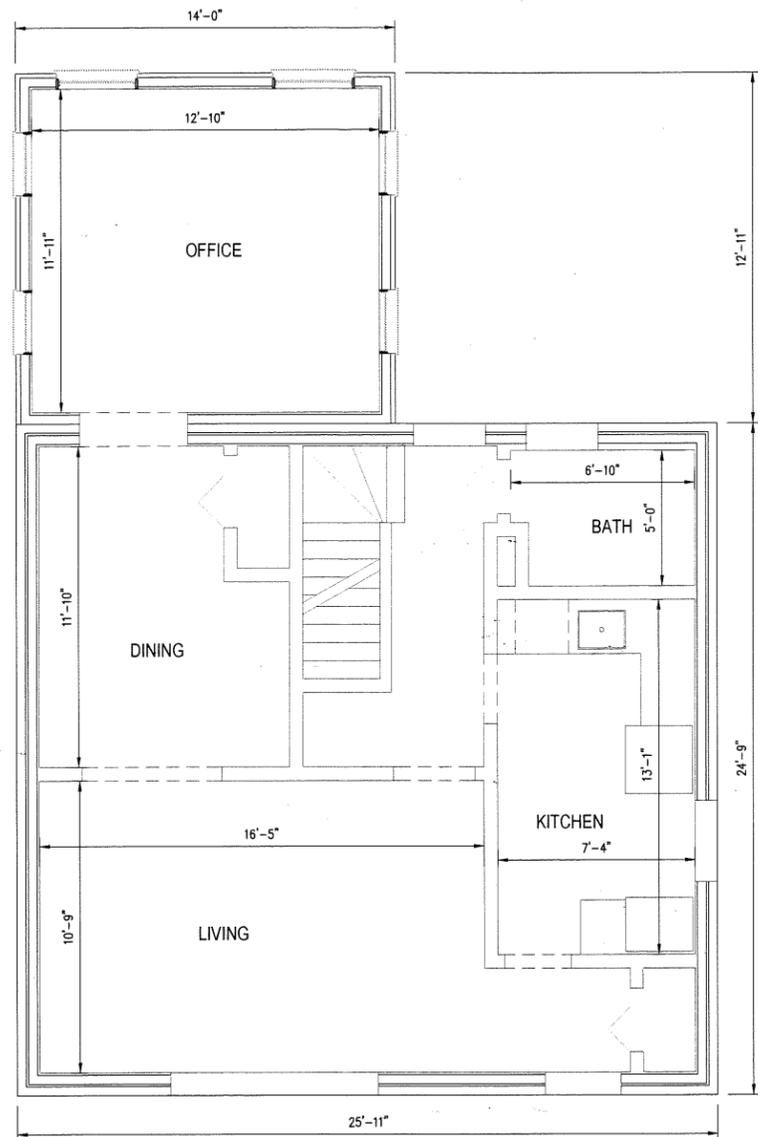
LOT PLAN &
ZONING INFORMATION

SCALE AS NOTED
DATE 26JUNE24

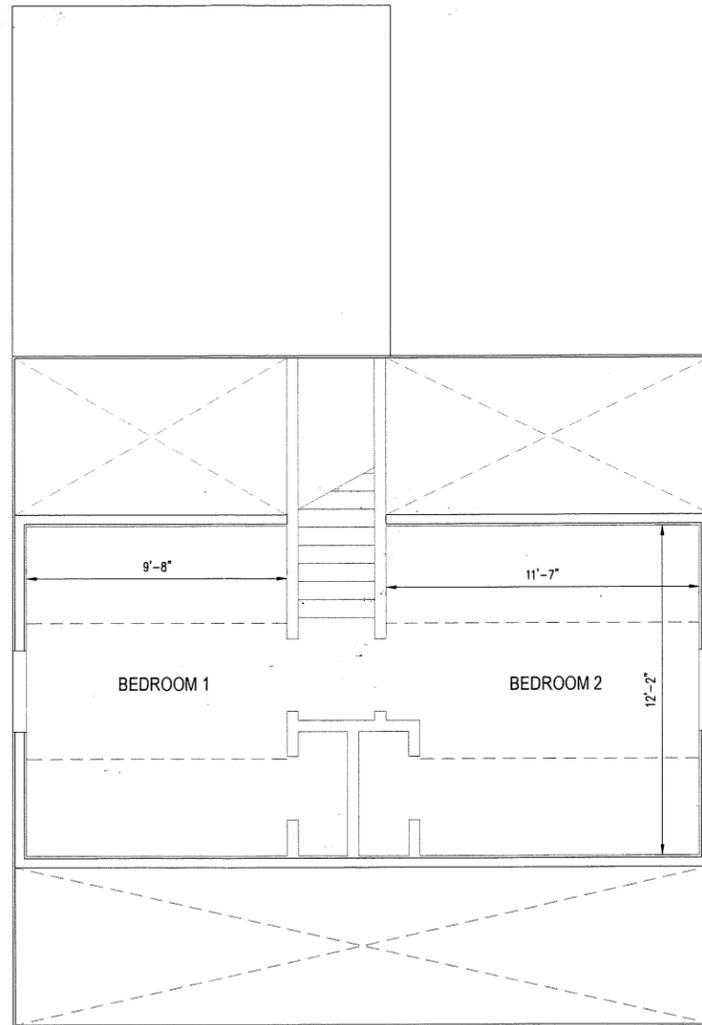
SHEET No.
LP1 2

1 LOT PLAN
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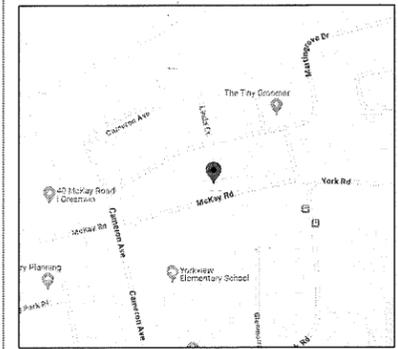
MCKAY RD.



1 MAIN FLOOR PLAN (EXISTING)
Scale: 1/4"=1'-0"



2 2ND FLOOR PLAN (EXISTING)
Scale: 1/4"=1'-0"



KEY MAP

REV.	DATE	REMARKS
2	26JUNE24	VARIANCE
1	12JUNE24	CONCEPTS
0	04APR24	CONCEPTS



JONATHAN LENSINK P. ENG.
JMLENSINK@GMAIL.COM
3653 807-9191
CERT. OF AUTH. 100565231

PROJECT TITLE

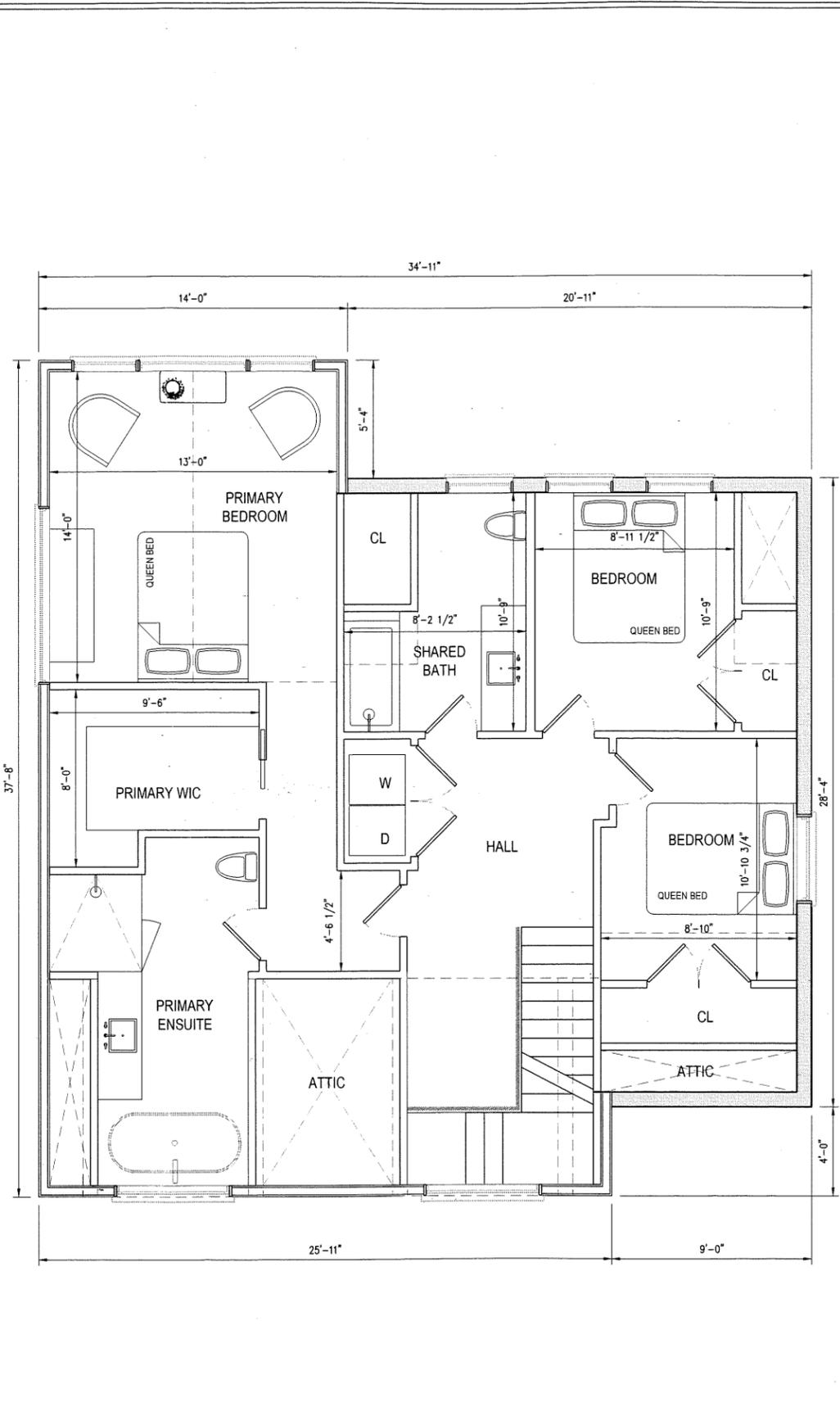
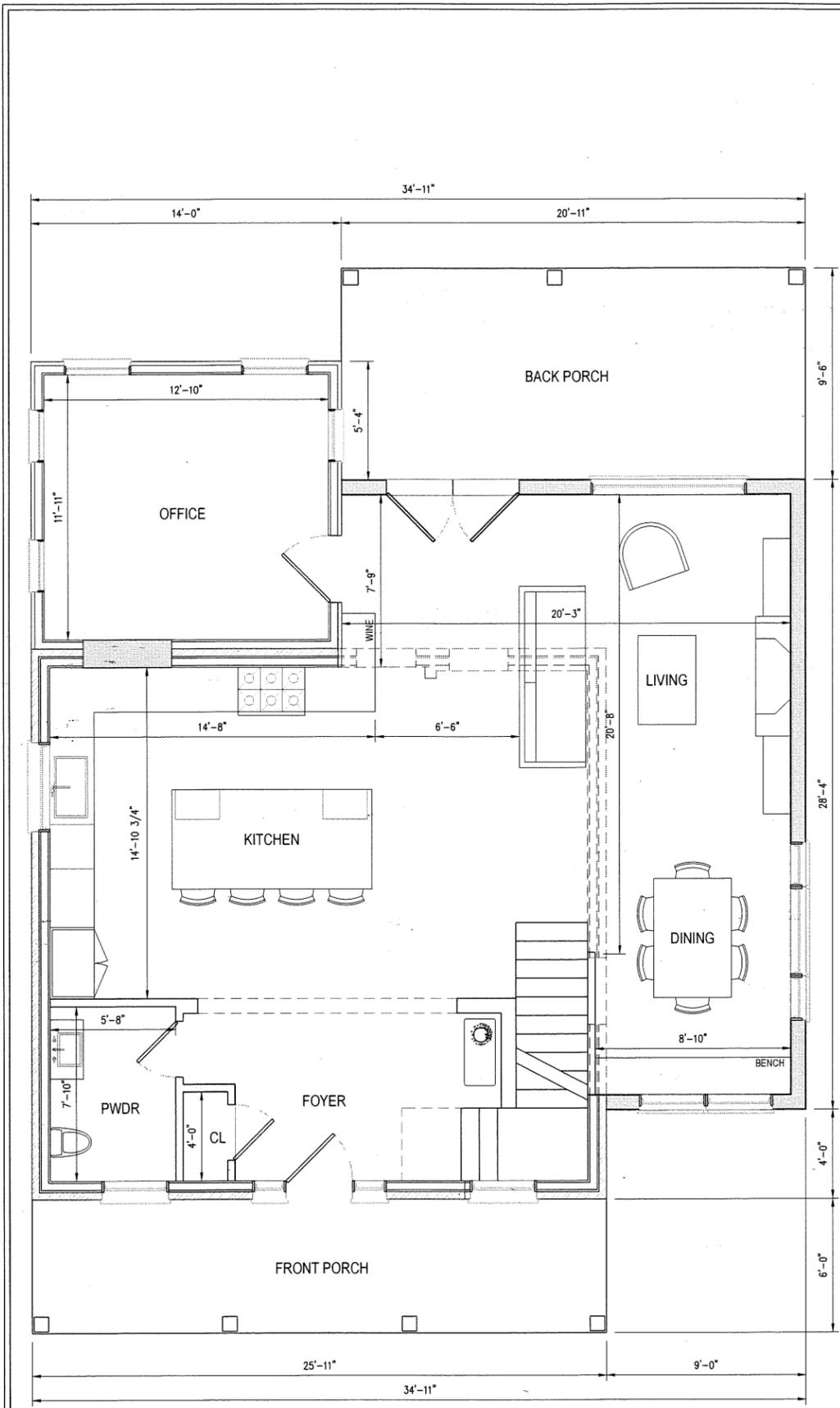
COLE RESIDENCE
16 MCKAY ROAD
DUNDAS, ON

DRAWING TITLE

EXISTING FLOOR PLANS

SCALE AS NOTED
DATE 26JUNE24

SHEET No.
A1.01 2



KEY MAP

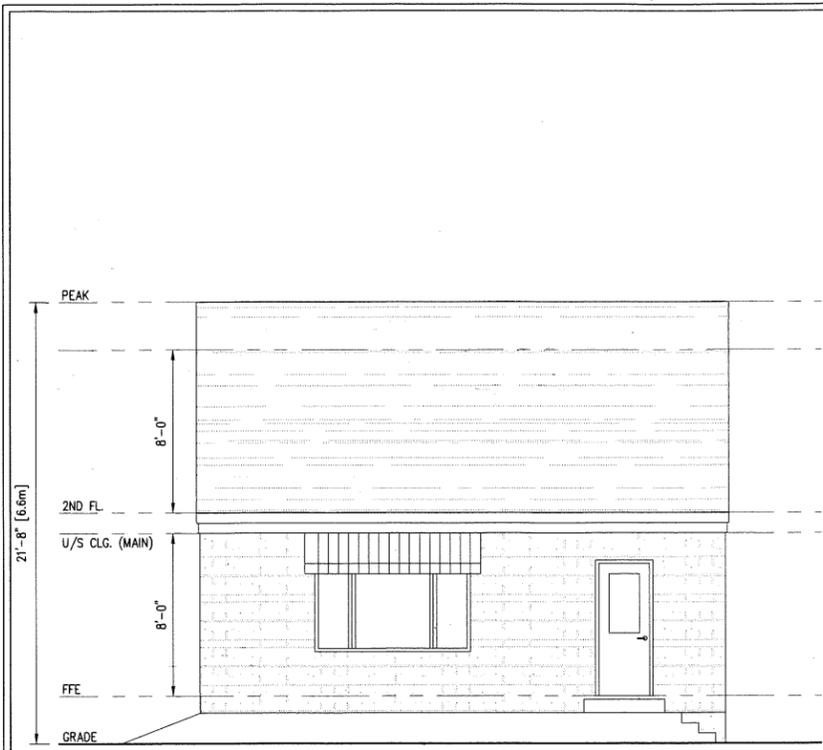
REV.	DATE	REMARKS
2	26JUNE24	VARIANCE
1	12JUNE24	CONCEPTS
0	04APR24	CONCEPTS

JONATHAN LENSINK, P. ENG.
JONLENSINK@GMAIL.COM
(905) 807-6191
CERT. OF AUTH: 100565231

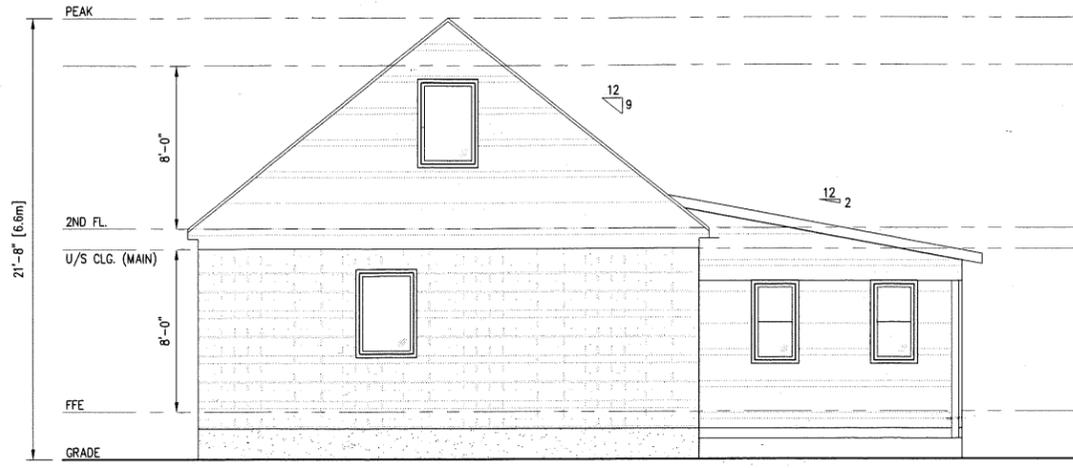
PROJECT TITLE
**COLE RESIDENCE
16 MCKAY ROAD
DUNDAS, ON**

DRAWING TITLE
PROPOSED FLOOR PLANS

SCALE AS NOTED
DATE 26JUNE24
SHEET No. **A1.02** 2



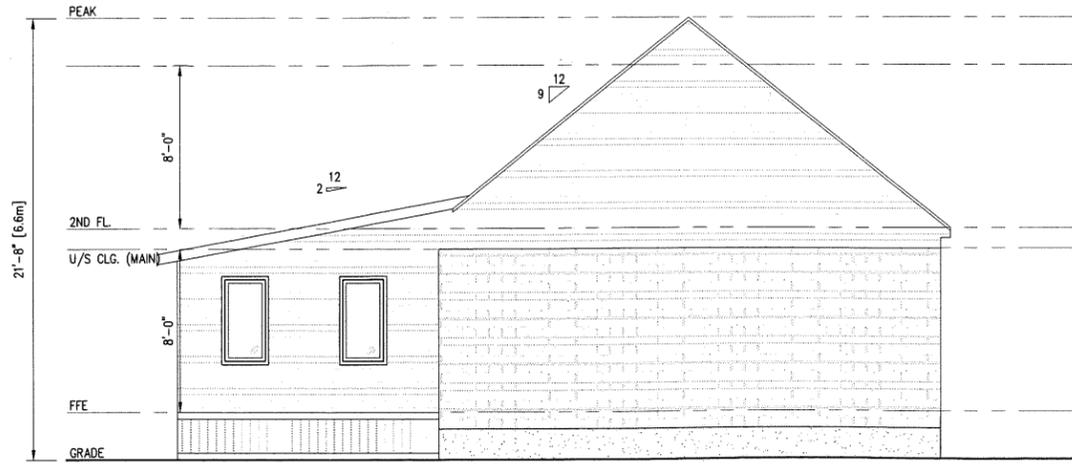
1 FRONT ELEVATION
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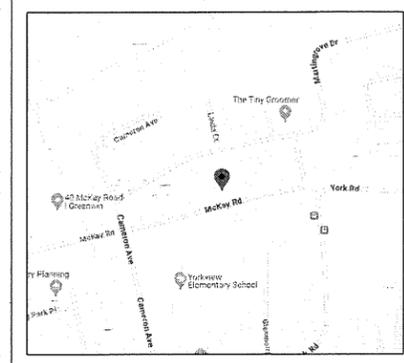
2 RIGHT SIDE ELEVATION
Scale: 3/16":1'-0"



3 REAR ELEVATION
Scale: 3/16":1'-0"



4 LEFT SIDE ELEVATION
Scale: 3/16":1'-0"



KEY MAP

REV.	DATE	REMARKS
2	26JUNE24	VARIANCE
1	12JUNE24	CONCEPTS
0	04APR24	CONCEPTS



JONATHAN LENSINK, P. ENG.
JONLENSINK@GMAIL.COM
(905) 807-0191
CERT. OF AUTH: 100565231

PROJECT TITLE

COLE RESIDENCE
16 MCKAY ROAD
DUNDAS, ON

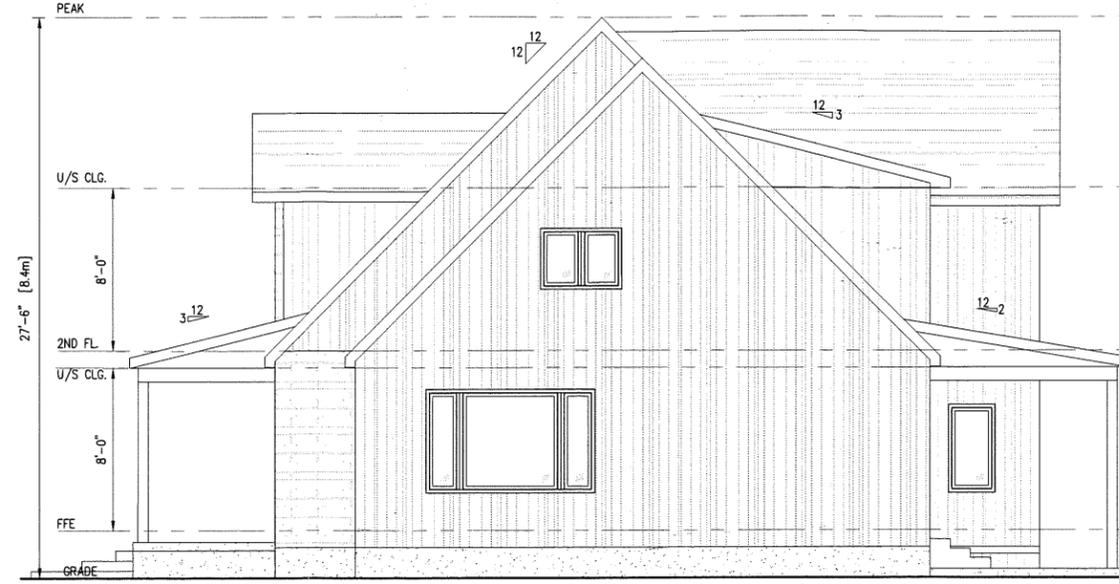
DRAWING TITLE

EXISTING ELEVATIONS

SCALE AS NOTED
DATE 26JUNE24
SHEET No. A2.01 2



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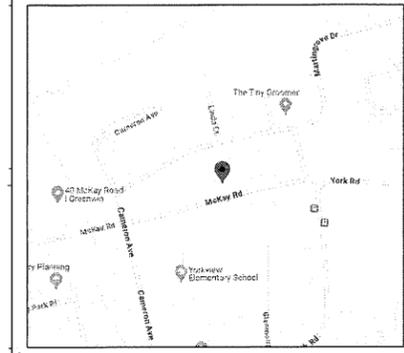
2 RIGHT SIDE ELEVATION
Scale: 3/16":1'-0"



3 REAR ELEVATION
Scale: 3/16":1'-0"



4 LEFT SIDE ELEVATION
Scale: 3/16":1'-0"



KEY MAP

REV.	DATE	REMARKS
2	26JUNE24	VARIANCE
1	12JUNE24	CONCEPTS
0	04APR24	CONCEPTS



JONATHAN LENSINK, P. ENG.
JONLENSINK@GMAIL.COM
(905) 807-0191
CERT. OF AUTH: 100585231

PROJECT TITLE
**COLE RESIDENCE
16 MCKAY ROAD
DUNDAS, ON**

DRAWING TITLE
PROPOSED ELEVATIONS

SCALE AS NOTED
DATE 26JUNE24
SHEET No. **A2.02** 2



Hamilton

Committee of Adjustment
 City Hall, 5th Floor,
 71 Main St. W.,
 Hamilton, ON L8P4Y5

Phone: (905) 546-2424 ext. 4221
 Email: cofa@hamilton.ca

APPLICATION FOR A MINOR VARIANCE/PERMISSION
 UNDER SECTION 45 OF THE *PLANNING ACT*

1. APPLICANT INFORMATION

	NAME		
Registered Owners(s)	Laura Cole		
Applicant(s)	Jonathan Lensink, P.Eng.		
Agent or Solicitor			Phone:
			E-mail:

1.2 Primary contact Applicant Owner Agent/Solicitor

1.3 Sign should be sent to Applicant Owner AgentSolicitor

1.4 Request for digital copy of sign Yes* No

If YES, provide email address where sign is to be sent _____

1.5 All correspondence may be sent by email Yes* No

If Yes, a valid email must be included for the registered owner(s) AND the Applicant/Agent (if applicable). Only one email address submitted will result in the voiding of this service. This request does not guarantee all correspondence will sent by email.

1.6 Payment type In person Credit over phone* Cheque

 *Must provide number above

2. LOCATION OF SUBJECT LAND

2.1 Complete the applicable sections:

Municipal Address	16 McKay Road		
Assessment Roll Number	260220152000000		
Former Municipality	Dundas		
Lot	18	Concession	1 (TWP of W. FLAMBOURNE)
Registered Plan Number		Lot(s)	
Reference Plan Number (s)		Part(s)	59

2.2 Are there any easements or restrictive covenants affecting the subject land?

Yes No

If YES, describe the easement or covenant and its effect:

3. PURPOSE OF THE APPLICATION

Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled

All dimensions in the application form are to be provided in metric units (millimetres, metres, hectares, etc.)

3.1 Nature and extent of relief applied for:

To permit a side yard of 3.2m instead of the required 5.0m where there is no garage.
To permit 1 required parking space to be located in the front yard of the dwelling.

Second Dwelling Unit

Reconstruction of Existing Dwelling

3.2 Why it is not possible to comply with the provisions of the By-law?

Existing dwelling does not meet the 5.0m side yard. Owner is enlarging the house to accommodate a blended family and would like to use the existing side yard.

3.3 Is this an application 45(2) of the Planning Act.

Yes

No

If yes, please provide an explanation:

4. DESCRIPTION OF SUBJECT LAND AND SERVICING INFORMATION

4.1 Dimensions of Subject Lands:

Lot Frontage	Lot Depth	Lot Area	Width of Street
50' (15.2m)	100' (30.4m)	464.5sq.m.	

4.2 Location of all buildings and structures on or proposed for the subject lands:
(Specify distance from side, rear and front lot lines)

Existing:

Type of Structure	Front Yard Setback	Rear Yard Setback	Side Yard Setbacks	Date of Construction
House	7.6m	11.4m	3.2m & 4.1m	1960's

Proposed:

Type of Structure	Front Yard Setback	Rear Yard Setback	Side Yard Setbacks	Date of Construction
House	7.6m	11.4m	3.2m & 1.4m	2024 Add'n

4.3. Particulars of all buildings and structures on or proposed for the subject lands (attach additional sheets if necessary):

Existing:

Type of Structure	Ground Floor Area	Gross Floor Area	Number of Storeys	Height
House	76sq.m.	103sq.m.	1.5	6.6m

Proposed:

Type of Structure	Ground Floor Area	Gross Floor Area	Number of Storeys	Height
House	110sq.m.	205sq.m.	2	8.4m

- 4.4 Type of water supply: (check appropriate box)
 publicly owned and operated piped water system
 privately owned and operated individual well

- lake or other water body
 other means (specify)
-

- 4.5 Type of storm drainage: (check appropriate boxes)
 publicly owned and operated storm sewers
 swales

- ditches
 other means (specify)
-

- 4.6 Type of sewage disposal proposed: (check appropriate box)
- publicly owned and operated sanitary sewage
 system privately owned and operated individual
 septic system other means (specify) _____
- 4.7 Type of access: (check appropriate box)
- provincial highway right of way
 municipal road, seasonally maintained other public road
 municipal road, maintained all year _____
- 4.8 Proposed use(s) of the subject property (single detached dwelling duplex, retail, factory etc.):
 Single detached dwelling
- 4.9 Existing uses of abutting properties (single detached dwelling duplex, retail, factory etc.):
 Single detached dwelling on 3 sides, school across the road.

7 HISTORY OF THE SUBJECT LAND

- 7.1 Date of acquisition of subject lands:
 2022
- 7.2 Previous use(s) of the subject property: (single detached dwelling duplex, retail, factory etc)
 Single Detached Dwelling
- 7.3 Existing use(s) of the subject property: (single detached dwelling duplex, retail, factory etc)
 Single Detached Dwelling
- 7.4 Length of time the existing uses of the subject property have continued:
 +/- 60 years
- 7.5 What is the existing official plan designation of the subject land?

Rural Hamilton Official Plan designation (if applicable): _____

Rural Settlement Area: _____

Urban Hamilton Official Plan designation (if applicable) Neighbourhoods

Please provide an explanation of how the application conforms with the Official Plan.

This will provide a fuller use of the property for the current family.

- 7.6 What is the existing zoning of the subject land? ~~R2~~ R2 JL
- 7.8 Has the owner previously applied for relief in respect of the subject property?
 (Zoning By-law Amendment or Minor Variance)
- Yes No
- If yes, please provide the file number: R2 JL

7.9 Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?

Yes

No

If yes, please provide the file number: _____

8 ADDITIONAL INFORMATION

8.1 Number of Dwelling Units Existing: 1

8.2 Number of Dwelling Units Proposed: 1

8.3 Additional Information (please include separate sheet if needed):

11 COMPLETE APPLICATION REQUIREMENTS

11.1 All Applications

- Application Fee
- Site Sketch
- Complete Application form
- Signatures Sheet

11.4 Other Information Deemed Necessary

- Cover Letter/Planning Justification Report
 - Authorization from Council or Director of Planning and Chief Planner to submit application for Minor Variance
 - Minimum Distance Separation Formulae (data sheet available upon request)
 - Hydrogeological Assessment
 - Septic Assessment
 - Archeological Assessment
 - Noise Study
 - Parking Study
- _____
- _____



Hamilton

COMMITTEE OF ADJUSTMENT

City Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5

Telephone (905) 546-2424, ext. 4221

E-mail: cofa@hamilton.ca

NOTICE OF PUBLIC HEARING
Minor Variance

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
- Applicant/agent on file, or
- Person likely to be interested in this application

APPLICATION NO.:	A-24:158	SUBJECT PROPERTY:	9 Meldrum Avenue, Flamborough
ZONE:	"S1" (Settlement Residential)	ZONING BY-LAW:	Zoning By-law City of Hamilton 05-200, as Amended

APPLICANTS: Owner: Attila and Izabella Bauer
Agent: Attila and Izabella Bauer

The following variances are requested:

1. A maximum gross floor area of 115.83 square metres and a maximum building height of 5.08 metres shall be permitted for all buildings accessory to the single detached dwelling instead of the requirement that all buildings accessory to a single detached dwelling shall not exceed a maximum gross floor area of 45 square metres and shall have a maximum building height of 4.5 metres.

PURPOSE & EFFECT: To facilitate the construction of a new building accessory to an existing single detached dwelling.

Notes:

1. Please be advised the property is subject to Amending By-law 24-051 and 24-052 within the Hamilton Zoning by-law 05-200, which is not yet final and binding.

This Notice must be posted by the owner of any land which contains seven or more residential units so that it is visible to all residents.

This application will be heard by the Committee as shown below:

DATE:	Tuesday, August 6, 2024
TIME:	2:35 p.m.
PLACE:	Via video link or call in (see attached sheet for details)
	City Hall Council Chambers (71 Main St. W., Hamilton)
	To be streamed (viewing only) at

A-24:158

www.hamilton.ca/committeeofadjustment
--

For more information on this matter, including access to drawings illustrating this request and other information submitted:

- Visit www.hamilton.ca/committeeofadjustment
- Visit Committee of Adjustment staff at 5th floor City Hall, 71 Main St. W., Hamilton

PUBLIC INPUT

Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, written comments must be received no later than noon August 2, 2024

Orally: If you would like to speak to this item at the hearing you may do so via video link, calling in, or attending in person. Please see attached page for complete instructions, registration to participate virtually must be received no later than noon August 2, 2024

FURTHER NOTIFICATION

If you wish to be notified of future Public Hearings, if applicable, regarding A-24:158, you must submit a written request to cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5.

If you wish to be provided a Notice of Decision, you must attend the Public Hearing and file a written request with the Secretary-Treasurer by emailing cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5.

A-24:158



 Subject Lands

DATED: July 18, 2024

Jamila Sheffield,
Secretary-Treasurer
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public, and may include posting electronic versions.



Hamilton

COMMITTEE OF ADJUSTMENT

City Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5

Telephone (905) 546-2424, ext. 4221

E-mail: cofa@hamilton.ca

PARTICIPATION PROCEDURES

Written Submissions

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1. Virtual Oral Submissions

Interested members of the public, agents, and owners **must register by noon on the day listed on the Notice of Public Hearing** to participate Virtually.

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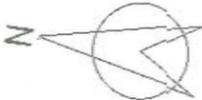
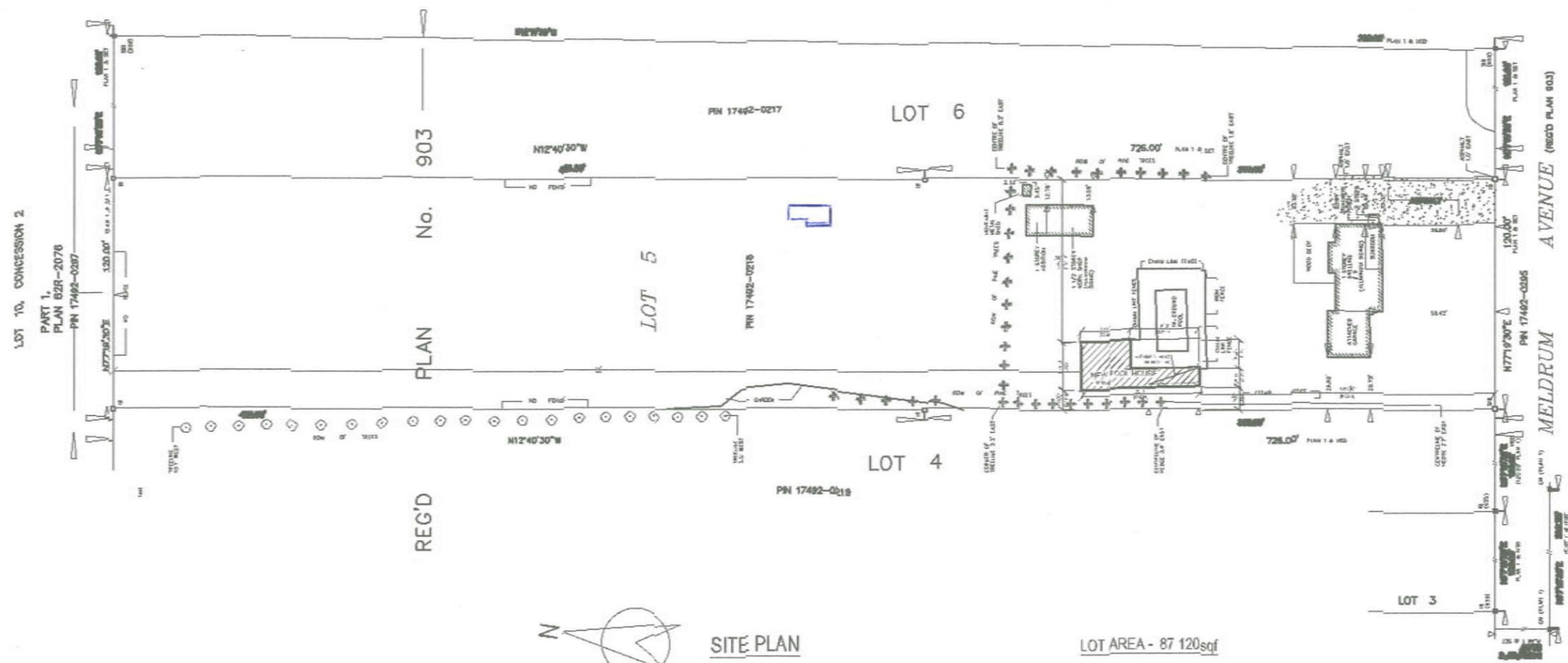
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SITE PLAN

SCALE 1/8" = 1'-0"
 NOTE EXISTING GRADES & ELEVATIONS FROM LOT DRAINAGE PATTERNS REMAINS UNCHANGED.

LOT AREA - 87 120sqf

- EXISTING HOUSE (3 GARAGE) COVERAGE - 1,730sqf
- EXISTING T.V. ROOM - 65sqf
- EXISTING W.C. ROOM - 57sqf
- EXISTING M.H. ROOM - 25sqf
- NEW POOL HOUSE - 132sqf
- TOTAL - 2,582sqf @ 45% COV.



No.	Revision/Issue	Date
1	BUILDING PERMIT	03.13.2024

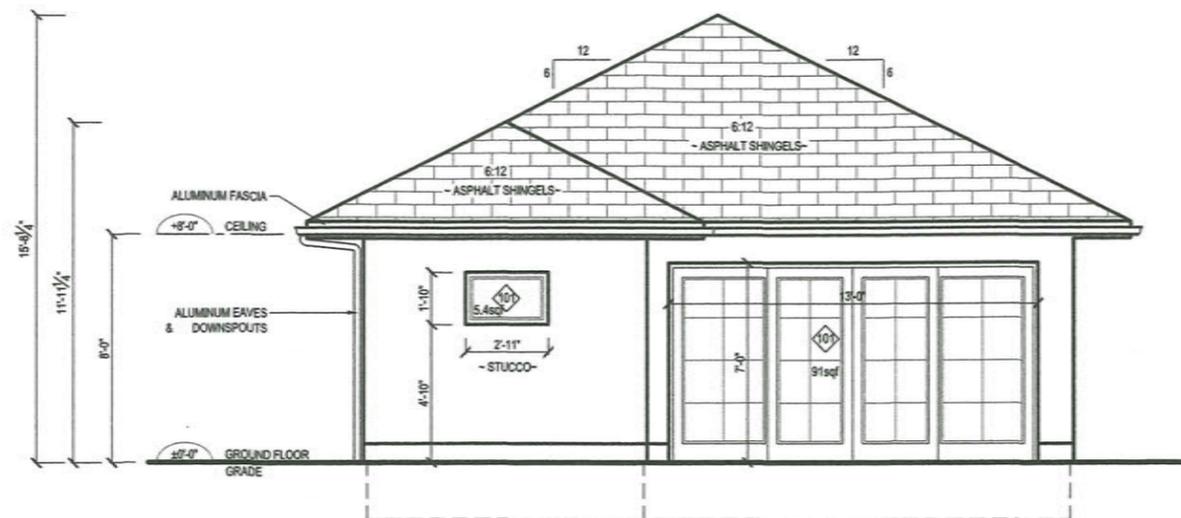
THIS PLAN IS A PRELIMINARY DESIGN AND IS SUBJECT TO THE APPROVAL OF THE MUNICIPAL ENGINEER. THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THE ENGINEER'S LIABILITY IS LIMITED TO THE PROFESSIONAL SERVICES PROVIDED HEREIN. THE CLIENT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THE ENGINEER'S LIABILITY IS LIMITED TO THE PROFESSIONAL SERVICES PROVIDED HEREIN.

Project Name and Address:
 9 MELDRUM Avenue
 HAMILTON, ON

GABRIS Associates
 494A Gladstone Avenue
 Toronto, Ontario M6H 3K9
 Tel: 416-857-4977
 E-mail: info@gabris.ca

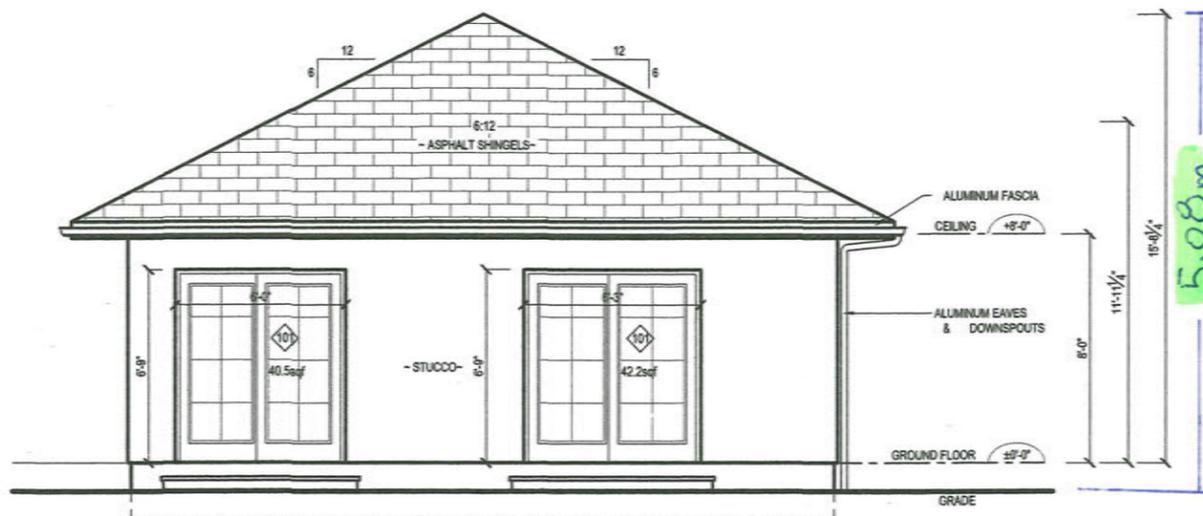
Sheet No.	24 02/07
Scale	AS NOTED
Plan No.	A-01

SITE PLAN



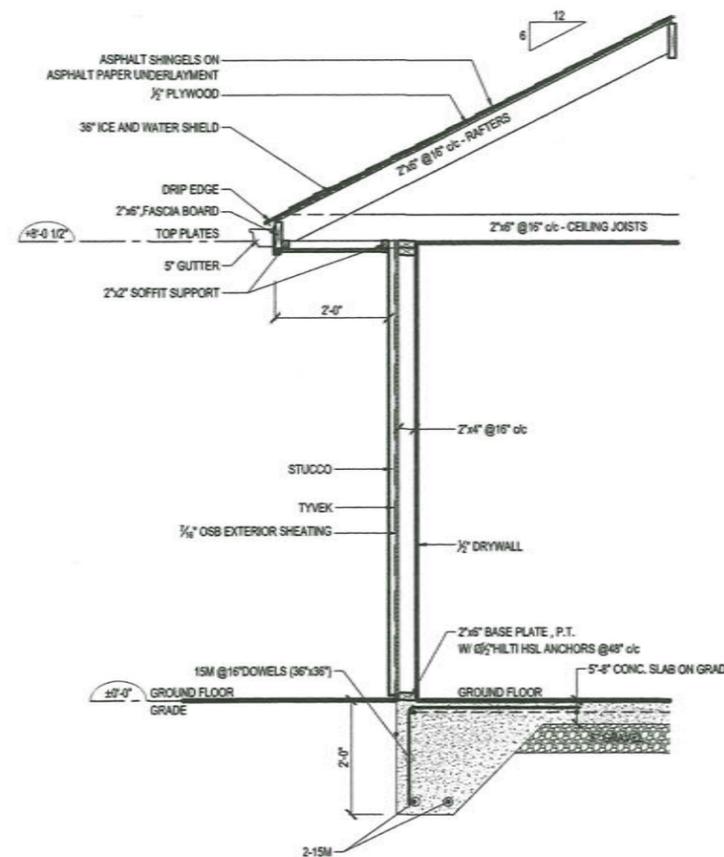
SOUTH ELEVATION

SCALE 3/4" = 1'-0"



NORTH ELEVATION

SCALE 3/4" = 1'-0"



SECTION A-A

SCALE 1/2" = 1'-0"



No.	Revision/Issue	Date
1.	BUILDING PERMIT	05.13.2024

CONTRACTOR SHALL CHECK AND VERIFY ALL LAYOUT CONDITIONS, DIMENSIONS AND OTHER CONDITIONS WHICH AFFECT THE LAYOUT AND CONSTRUCTION OF THE WORK. CONTRACTOR SHALL REPORT ALL DIMENSIONAL AND/OR INFORMATION AND/OR INSTRUCTION DISCREPANCIES TO THE CONSULTANT BEFORE PROCEEDING WITH THE WORK. DRAWINGS ARE NOT TO BE SCALED. CONTRACT DOCUMENTS SHALL REMAIN THE PROPERTY OF THE CONSULTANT AND SHALL BE RETURNED UPON COMPLETION OF THE PROJECT. NO PORTIONS OF THE CONTRACT DOCUMENTS MAY BE USED IN ANY FORM FOR ANY DESIGN AND/OR CONSTRUCTION PROJECT OTHER THAN THE PROJECT FOR WHICH THESE DOCUMENTS WERE ORIGINALLY PREPARED AND ISSUED BY THE CONSULTANT.

Project Name and Address
9 MELDRUM Avenue
 HAMILTON, ON

GABRIS Associates
 496A Gladstone Avenue
 Toronto, Ontario, M6H 3H9
 Tel. 416-857 4971
 E-mail info@gabris.ca

Project # 24 02 487
 Date AS NOTED
 Sheet **A-06**

ELEVATIONS II., SECTION A-A

PIN 17492-0217

LOT 6

N12°40'30"W

NO FENCE

LOT 5

PIN 17492-0218

N12°40'30"W

NO FENCE

LOT 4

PIN 17492-0219

TREELINE 3.5' WEST

CORNER OF TREELINE 3.3' EAST

CENTRELINE OF HEDGE 3.4' EAST

CENTRELINE OF HEDGE 2.7' EAST

CENTRE OF TREELINE 5.2' EAST

CENTRE OF TREELINE 1.8' EAST

ASPHALT 1.0' EAST

726.00' PLAN 1 & SET

120.00' PLAN 1 & SET

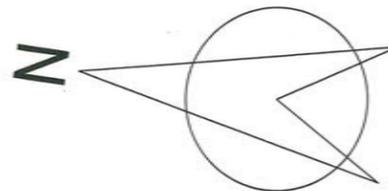
N77°19'30"E

PIN 17492-0295

726.00' PLAN 1 & MSD

221.28m

MELDRUM AVENUE (REG'D PLAN 903)



SITE PLAN

SCALE 3/32" = 1'-0"

NOTE: EXISTING GRADING SLOPES AND LOT DRAINING PATTERN REMAINS UNCHANGED.

LOT AREA - 87 120sqf

TOOL SHED - 240sqf *AS*

EXISTING HOUSE (& GARAGE) COVERAGE - 1,720 sqf

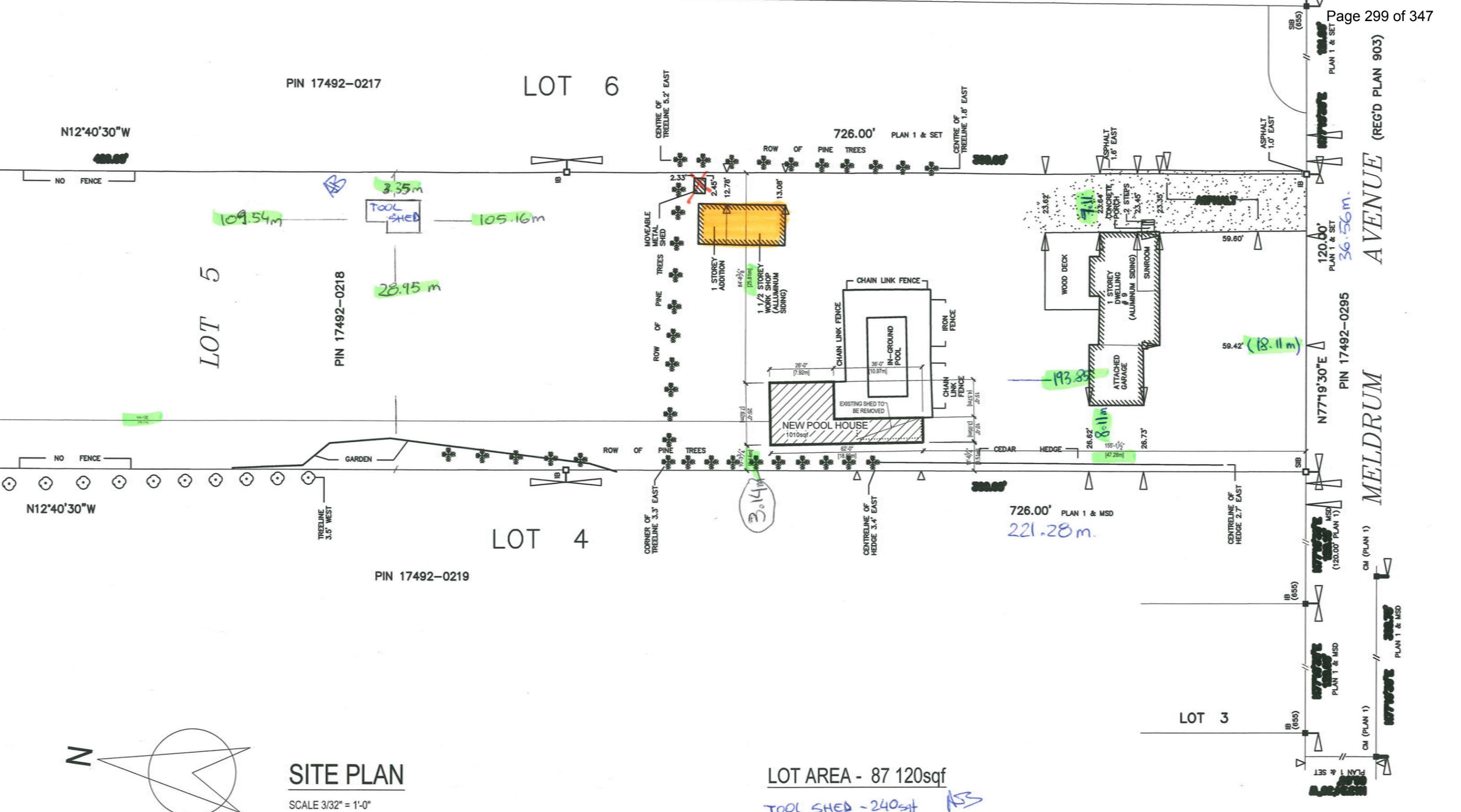
EXISTING REAR DECK - 625 sqf

EXISTING WORKSHOP - 573 sqf **TO BE DEMOLISHED**

EXISTING METAL SHED - 28 sqf **TO BE REMOVED**

NEW POOL HOUSE - 1,010 sqf

TOTAL - $\frac{3,966 \text{ sqf}}{87,120 \text{ sqf}} = 4.5\%$
 $\frac{4,196 \text{ sqf}}{87,120} = 4.81\%$ *AS*



To the Committee of Adjustment,

We are the Bauer family, residing at 9 Meldrum Ave, Hamilton.

We would like to build an accessory structure beside our pool. The structure would replace the old workshop and the old shed/pool house on the west side of the pool. We would like to combine the two structures and build it on the west side of our property because we feel it would serve better at that location. We also feel the structural integrity of the old workshop is questionable. So instead of renovating it, we would like to relocate it.

The new accessory building would serve as a mechanical room, accessory for the pool, storage and hobby shop. Combining the two old structures resulted in exceeding the maximum allowed lot coverage (45 m² to 93.8 m²) and the design of the roof resulted in slightly exceeding the maximum allowed height (4.05m to 5.08m).

Prior to submitting this application, we discussed our plans with our neighbours, the Arbuckle family on the West side and the Gill family on the East side and we got their verbal approval. We maintain a good relationship with our neighbours, and we felt that we didn't need to attach their written approval.

We hope you consider our idea of combining the two structures as a feasible idea and we hope you can approve it.

With kind regards,

Attila and Izabella Bauer

Committee of Adjustment
 City Hall, 5th Floor,
 71 Main St. W.,
 Hamilton, ON L8P4Y5

Phone: (905) 546-2424 ext. 4221
 Email: cofa@hamilton.ca



Hamilton

**APPLICATION FOR A MINOR VARIANCE/PERMISSION
 UNDER SECTION 45 OF THE PLANNING ACT**

1. APPLICANT INFORMATION

	NAME		
Registered Owners(s)	Attila and Izabella Bauer		
Applicant(s)	Attila Bauer Izabella Bauer		
Agent or Solicitor			
		Phone:	
		E-mail:	

1.2 Primary contact Applicant Owner Agent/Solicitor

1.3 Sign should be sent to Applicant Owner Agent/Solicitor

1.4 Request for digital copy of sign Yes* No

If YES, provide email address where sign is to be sent

1.5 All correspondence may be sent by email Yes* No

If Yes, a valid email must be included for the registered owner(s) AND the Applicant/Agent (if applicable). Only one email address submitted will result in the voiding of this service. This request does not guarantee all correspondence will be sent by email.

1.6 Payment type In person Credit over phone*
 Cheque

*Must provide number above

2. LOCATION OF SUBJECT LAND

2.1 Complete the applicable sections:

Municipal Address	9 Meldrum Ave, Hamilton		
Assessment Roll Number			
Former Municipality			
Lot	5	Concession	2
Registered Plan Number	62R-2076	Lot(s)	
Reference Plan Number (s)		Part(s)	

2.2 Are there any easements or restrictive covenants affecting the subject land?

Yes No

If YES, describe the easement or covenant and its effect:

3. PURPOSE OF THE APPLICATION

Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled

All dimensions in the application form are to be provided in metric units (millimetres, metres, hectares, etc.)

3.1 Nature and extent of relief applied for:

Acc. Bld. Lot coverage Max 45m², proposed 93.8m² Pool house only

Acc. Bld. Lot coverage Max 45m² proposed.115.83m² combined; poolhouse and tool shed(22.03m²)

Acc. Bld height, max 4.5m, proposed 5.08

Second Dwelling Unit

Reconstruction of Existing Dwelling

3.2 Why it is not possible to comply with the provisions of the By-law?

Design

3.3 Is this an application 45(2) of the Planning Act.

Yes

No

If yes, please provide an explanation:

4. DESCRIPTION OF SUBJECT LAND AND SERVICING INFORMATION

4.1 Dimensions of Subject Lands:

Lot Frontage	Lot Depth	Lot Area	Width of Street
36.56m	221.28m	8093.71m ²	

4.2 Location of all buildings and structures on or proposed for the subject lands:
(Specify distance from side, rear and front lot lines)

Existing:

Type of Structure	Front Yard Setback	Rear Yard Setback	Side Yard Setbacks	Date of Construction
HOUSE& ATT. GARAGE	18.11m	193.85m	7.11m E, 8.11m W	01/01/2003
REAR DECK	25.42m	183m	7m E, 19.2m W	01/01/1950
TOOL SHED	105.16m	109.54m	3.35m E, 28.95m W	05/28/2024
WORK SHOP	TO BE DEMOLISHED			

Proposed:

Type of Structure	Front Yard Setback	Rear Yard Setback	Side Yard Setbacks	Date of Construction
POOL HOUSE	47.28m	155.11m	25.81m E, 3.14m W	

4.3. Particulars of all buildings and structures on or proposed for the subject lands (attach additional sheets if necessary):

Existing:

Type of Structure	Ground Floor Area	Gross Floor Area	Number of Storeys	Height
HOUSE & ATT. GARAGE	159.79m ²	159.79m ²	1	5.79m
REAR DECK	58.06m ²	58.06m ²	1	1.22m
TOOL SHED	22.03m ²	22.03m ²	1	3.66m
WORK SHOP	TO BE DEMOLISHED			

Proposed:

Type of Structure	Ground Floor Area	Gross Floor Area	Number of Storeys	Height
POOL HOUSE	93.8m ²	93.8m ²	1	5.08m

- 4.4 Type of water supply: (check appropriate box)
- publicly owned and operated piped water system
 - privately owned and operated individual well

- lake or other water body
- other means (specify)

- 4.5 Type of storm drainage: (check appropriate boxes)
- publicly owned and operated storm sewers
 - swales

- ditches
- other means (specify)

- 4.6 Type of sewage disposal proposed: (check appropriate box)
- publicly owned and operated sanitary sewage
- system privately owned and operated individual
- septic system other means (specify) _____
- 4.7 Type of access: (check appropriate box)
- provincial highway right of way
- municipal road, seasonally maintained other public road
- municipal road, maintained all year _____
- 4.8 Proposed use(s) of the subject property (single detached dwelling duplex, retail, factory etc.):
SINGLE FAMILY DETACHED
- 4.9 Existing uses of abutting properties (single detached dwelling duplex, retail, factory etc.):
SINGLE FAMILY DETACHED

7 HISTORY OF THE SUBJECT LAND

- 7.1 Date of acquisition of subject lands:
2007
- 7.2 Previous use(s) of the subject property: (single detached dwelling duplex, retail, factory etc)
SINGLE FAMILY DETACHED
- 7.3 Existing use(s) of the subject property: (single detached dwelling duplex, retail, factory etc)
SINGLE FAMILY DETACHED
- 7.4 Length of time the existing uses of the subject property have continued:
- 7.5 What is the existing official plan designation of the subject land?

Rural Hamilton Official Plan designation (if applicable): Greensville Rural Settlement

Rural Settlement Area: Settlement Residential

Urban Hamilton Official Plan designation (if applicable) _____

Please provide an explanation of how the application conforms with the Official Plan.

- 7.6 What is the existing zoning of the subject land? S1
- 7.8 Has the owner previously applied for relief in respect of the subject property?
(Zoning By-law Amendment or Minor Variance)
- Yes No
- If yes, please provide the file number: S1

7.9 Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?

Yes

No

If yes, please provide the file number: _____

8 ADDITIONAL INFORMATION

8.1 Number of Dwelling Units Existing: 1

8.2 Number of Dwelling Units Proposed: 1

8.3 Additional Information (please include separate sheet if needed):

Proposed to build accessory building.

11 COMPLETE APPLICATION REQUIREMENTS

11.1 All Applications

- Application Fee
- Site Sketch
- Complete Application form
- Signatures Sheet

11.4 Other Information Deemed Necessary

- Cover Letter/Planning Justification Report
 - Authorization from Council or Director of Planning and Chief Planner to submit application for Minor Variance
 - Minimum Distance Separation Formulae (data sheet available upon request)
 - Hydrogeological Assessment
 - Septic Assessment
 - Archeological Assessment
 - Noise Study
 - Parking Study
-
-



Hamilton

COMMITTEE OF ADJUSTMENT

City Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5

Telephone (905) 546-2424, ext. 4221

E-mail: cofa@hamilton.ca

NOTICE OF PUBLIC HEARING
Minor Variance

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
- Applicant/agent on file, or
- Person likely to be interested in this application

APPLICATION NO.:	A-24:162	SUBJECT PROPERTY:	3 Cora Road, Flamborough
ZONE:	Settlement Residential (S1)	ZONING BY-LAW:	Zoning By-law City of Hamilton 05-200

APPLICANTS: Owner: Eric & Amy Steffler
 Agent: Jenny Bognar

The following variances are requested:

1. A maximum aggregate gross floor area of 64.46 square metres shall be permitted instead of the maximum 45 square metre aggregate gross floor area permitted.

PURPOSE & EFFECT: To facilitate the establishment of an accessory building.

Notes:

1. Variance written as requested.

This Notice must be posted by the owner of any land which contains seven or more residential units so that it is visible to all residents.

This application will be heard by the Committee as shown below:

DATE:	Tuesday, August 6, 2024
TIME:	2:40 p.m.
PLACE:	Via video link or call in (see attached sheet for details)
	City Hall Council Chambers (71 Main St. W., Hamilton)
	To be streamed (viewing only) at www.hamilton.ca/committeeofadjustment

A-24:162

For more information on this matter, including access to drawings illustrating this request and other information submitted:

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PUBLIC INPUT

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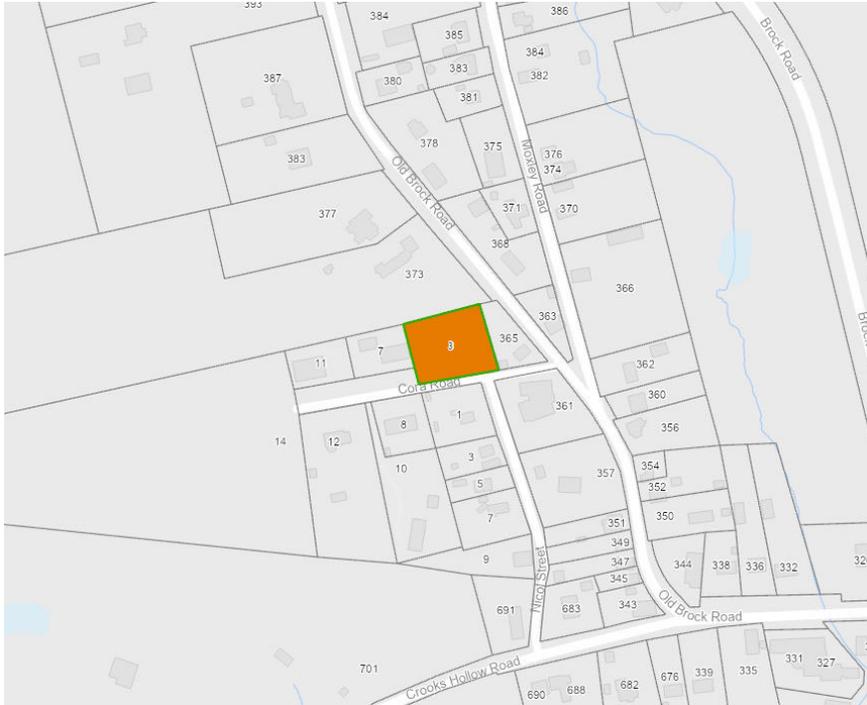
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A-24:162



 Subject Lands

DATED: July 18, 2024

Jamila Sheffield,
Secretary-Treasurer
Committee of Adjustment

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City Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5

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E-mail: cofa@hamilton.ca

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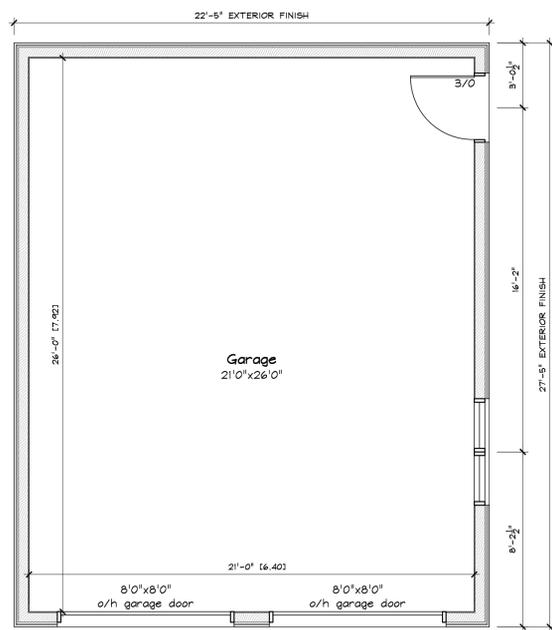
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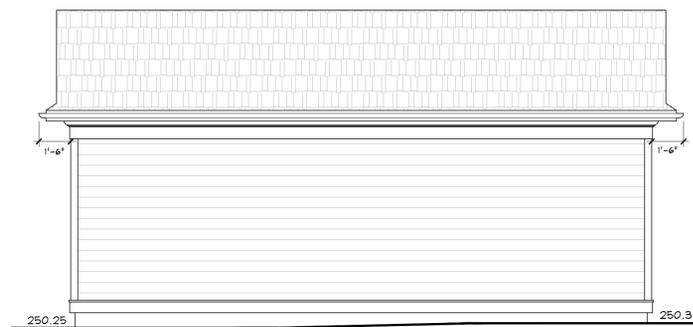
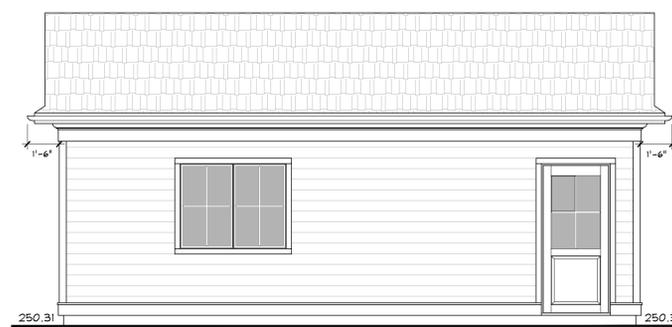
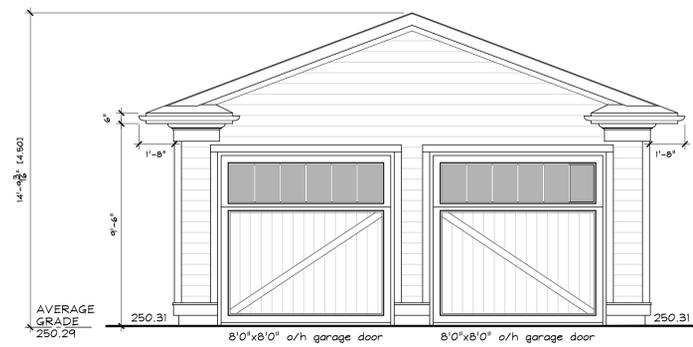
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Building Area: 614.59 sq. ft. (57.10 sq. m.)



THE STEFFLER RESIDENCE
 3 CORA ROAD
 GREENSVILLE, ON
 L9H 5J2

drafting + design
 ■ 193 East 43rd Street ■
 ■ Hamilton, ON ■
 ■ L8T 3C3 ■
 ■ jbdraftinganddesign@live.ca ■
 ■ 905.517.6027 ■

06.25.24 signature required
 Jennifer Bognar reviews and takes responsibility for the design work described in this document
 firm bcjn 103416 ■ individual bcjn 33001

DATE	ISSUE DESCRIPTION
07-29-23	ISSUED FOR REVIEW
09-27-23	ISSUED FOR REVIEW
06-25-24	ISSUED FOR MV

ALL DIMENSIONS AND INFORMATION SHOWN ON THESE DRAWINGS MUST BE CHECKED AND VERIFIED ON SITE AND ANY DISCREPANCIES REPORTED TO THE DESIGNER PRIOR TO CONSTRUCTION AND FABRICATION OF ITS COMPONENTS. SHOULD EXISTING CONDITIONS OR SERVICES BE FOUND TO VARY FROM THAT INDICATED ON THE DRAWINGS, THE DESIGNER MUST BE NOTIFIED IMMEDIATELY. THE DESIGNER IS NOT LIABLE FOR ANY CHANGES MADE BY THE CONTRACTOR WITHOUT THE DESIGNER'S KNOWLEDGE AND PERMISSION.

FEATURES OF CONSTRUCTION NOT FULLY SHOWN ARE ASSUMED TO BE THE SAME CHARACTER AS THOSE NOTED FOR SIMILAR CONDITIONS.

UNLESS SPECIFICALLY NOTED OTHERWISE ON THE DRAWINGS, NO PROVISION HAS BEEN MADE IN THE DESIGN FOR CONDITIONS OCCURRING DURING CONSTRUCTION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE ALL NECESSARY BRACING, SHORING, SHEET PILING OR OTHER TEMPORARY SUPPORTS TO SAFEGUARD ALL EXISTING OR ADJACENT STRUCTURES AFFECTED BY THIS WORK.

ALL DRAWINGS AND RELATED DOCUMENTS SHALL REMAIN THE PROPERTY AND COPYRIGHT OF JB DRAFTING AND DESIGN. USE LATEST REVISED DRAWINGS. DO NOT SCALE DRAWINGS.

PROPOSED GARAGE PLAN & ELEVATIONS
 1/4" = 1'-0"

SHEET
A2
 of 2

Minor Variance Application

Project: 3 Cora Road, Greenville

Reasons for Needing Variances

Variance #1

Variance for a 64.46 sq. m. aggregate accessory building gross floor area instead of the required maximum of 45 sq. m., to facilitate the construction of a new detached garage.

We are proposing to build a 57.10 sq. m. detached garage, which will add accessory building coverage to an existing 7.26 sq. m. shed.

It is important to note that the overall accessory building lot coverage, including the new garage, is only 2.05%, which is much less than the maximum of 7.5%.

The home owner desires a garage of this size so there is ample room to fit both their vehicles in, as well as to use for storage of property equipment, such as a riding lawn mower.

We have also moved the building farther away from the rear and left side property lines to help alleviate any impact on the neighboring properties, and have set it quite far back from the street to avoid and negative impact on the streetscape.

We feel this request is quite minor in nature and does not cause any overbuilding of the site.

We also feel that this is in keeping with the intent of the official plan and fits in well with the many other lots in this rural area that have accessory building such as this.

We appreciate your time and consideration in this manner.



Hamilton

APPLICATION FOR A MINOR VARIANCE/PERMISSION
 UNDER SECTION 45 OF THE *PLANNING ACT*

1. APPLICANT INFORMATION

NAME	
Registered Owners(s)	Eric & Amy Steffler
Applicant(s)	Jenny Bognar
Agent or Solicitor	As per applicant
E-mail:	

1.2 Primary contact Owner Applicant Agent/Solicitor

1.3 Sign should be sent to Applicant Owner Agent/Solicitor

1.4 Request for digital copy of sign Yes* No

If YES, provide email address where sign is to be sent _____

1.5 All correspondence may be sent by email Yes* No

If Yes, a valid email must be included for the registered owner(s) AND the Applicant/Agent (if applicable). Only one email address submitted will result in the voiding of this service. This request does not guarantee all correspondence will sent by email.

1.6 Payment type In person Credit over phone* Cheque _____

*Must provide number above

2. LOCATION OF SUBJECT LAND

2.1 Complete the applicable sections:

Municipal Address	3 Cora Road		
Assessment Roll Number			
Former Municipality	Dundas		
Lot	Part of Lot 9	Concession	Concession 2
Registered Plan Number		Lot(s)	
Reference Plan Number (s)		Part(s)	

2.2 Are there any easements or restrictive covenants affecting the subject land?

Yes No

If YES, describe the easement or covenant and its effect:

3. PURPOSE OF THE APPLICATION

Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled

All dimensions in the application form are to be provided in metric units (millimetres, metres, hectares, etc.)

3.1 Nature and extent of relief applied for:

See attached.

Second Dwelling Unit Reconstruction of Existing Dwelling

3.2 Why it is not possible to comply with the provisions of the By-law?

See attached.

3.3 Is this an application 45(2) of the Planning Act.

Yes No

If yes, please provide an explanation:

4. DESCRIPTION OF SUBJECT LAND AND SERVICING INFORMATION

4.1 Dimensions of Subject Lands:

Lot Frontage	Lot Depth	Lot Area	Width of Street
62.99 m.	53.46 m.	3140.35 sq. m.	7.0 m. approx.

4.2 Location of all buildings and structures on or proposed for the subject lands:
(Specify distance from side, rear and front lot lines)

Existing:

Type of Structure	Front Yard Setback	Rear Yard Setback	Side Yard Setbacks	Date of Construction
Dwelling	19.51 m.	21.05 m.	8.78 m./40.53 m.	Unknown
Shed	48.23 m.	1.14 m.	1.12 m./ n/a	Unknown

Proposed:

Type of Structure	Front Yard Setback	Rear Yard Setback	Side Yard Setbacks	Date of Construction
Detached Garage	29.16 m.	10.72 m.	3.11 m.	ASAP

4.3. Particulars of all buildings and structures on or proposed for the subject lands (attach additional sheets if necessary):

Existing:

Type of Structure	Ground Floor Area	Gross Floor Area	Number of Storeys	Height
Dwelling	107.55 sq. m.	205.55 sq. m. approx.	2	10.0 m. approx.
Shed	7.26 sq. m.	n/a	1	4.0 m. approx.

Proposed:

Type of Structure	Ground Floor Area	Gross Floor Area	Number of Storeys	Height
Detached Garage	57.10 sq. m.	n/a	1	4.48 m.

- 4.4 Type of water supply: (check appropriate box)
 publicly owned and operated piped water system
 privately owned and operated individual well

- lake or other water body
 other means (specify)

- 4.5 Type of storm drainage: (check appropriate boxes)
 publicly owned and operated storm sewers
 swales

- ditches
 other means (specify)

4.6 Type of sewage disposal proposed: (check appropriate box)

- publicly owned and operated sanitary sewage
 system privately owned and operated individual
 septic system other means (specify) _____

4.7 Type of access: (check appropriate box)

- provincial highway right of way
 municipal road, seasonally maintained other public road
 municipal road, maintained all year _____

4.8 Proposed use(s) of the subject property (single detached dwelling duplex, retail, factory etc.):

Single family dwelling

4.9 Existing uses of abutting properties (single detached dwelling duplex, retail, factory etc.):

Single family dwelling

7 HISTORY OF THE SUBJECT LAND

7.1 Date of acquisition of subject lands:

July 6, 2021

7.2 Previous use(s) of the subject property: (single detached dwelling duplex, retail, factory etc)

Single family dwelling

7.3 Existing use(s) of the subject property: (single detached dwelling duplex, retail, factory etc)

Single family dwelling

7.4 Length of time the existing uses of the subject property have continued:

Always

7.5 What is the existing official plan designation of the subject land?

Rural Hamilton Official Plan designation (if applicable): _____

Rural Settlement Area: Rural Settlement Areas - Greensville

Urban Hamilton Official Plan designation (if applicable) _____

Please provide an explanation of how the application conforms with the Official Plan.

See attached

7.6 What is the existing zoning of the subject land? _____ S1

7.8 Has the owner previously applied for relief in respect of the subject property?
 (Zoning By-law Amendment or Minor Variance)

- Yes No

If yes, please provide the file number: _____

7.9 Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?

Yes

No

If yes, please provide the file number: _____

8 ADDITIONAL INFORMATION

8.1 Number of Dwelling Units Existing: 1

8.2 Number of Dwelling Units Proposed: 0

8.3 Additional Information (please include separate sheet if needed):

11 COMPLETE APPLICATION REQUIREMENTS

11.1 All Applications

- Application Fee
- Site Sketch
- Complete Application form
- Signatures Sheet

11.4 Other Information Deemed Necessary

- Cover Letter/Planning Justification Report
 - Authorization from Council or Director of Planning and Chief Planner to submit application for Minor Variance
 - Minimum Distance Separation Formulae (data sheet available upon request)
 - Hydrogeological Assessment
 - Septic Assessment
 - Archeological Assessment
 - Noise Study
 - Parking Study
-
-



Hamilton

COMMITTEE OF ADJUSTMENT

City Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5

Telephone (905) 546-2424, ext. 4221

E-mail: cofa@hamilton.ca

NOTICE OF PUBLIC HEARING
Minor Variance

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
- Applicant/agent on file, or
- Person likely to be interested in this application

APPLICATION NO.:	A-24:155	SUBJECT PROPERTY:	566 Highway 6, Flamborough
ZONE:	General Business Park (M2)	ZONING BY-LAW:	Zoning By-law City of Hamilton 05-200, as Amended 10-128
ZONE:	Prestige Business Park (M3)		

APPLICANTS: Owner: West Waterdown Industrial
Agent: Arcadis Professional Services (Canada) Inc. c/o Isabelle Ilagan

The following variances are requested:

1. A maximum setback abutting Highway 6 shall be 41.88 metres instead of the maximum permitted 27.0 metres.

PURPOSE & EFFECT: So as to permit the construction of a Warehouse use.

Notes:

- i. This variance is required for conditional approval of Site Plan application DA-24-007, which was conditionally approved on March 13, 2024.
- ii. The proposed variance is applicable to the entirety of the property as per a Divisional interpretation for development located within two or more Zones. It is noted that the requested variance is specific to the lot line abutting Highway No. 6, however Section 9.3.3 b)ii) is applicable to all portions of the building abutting a lot line. Please note, no additional variances are required for maximum building setback for the proposed portion of the building abutting Medicorum Place.
- iii. Please note, a Divisional interpretation has determined that the maximum setback to a street line within the "M3" Zone shall only be applied to the portion of a building closest to the street line. As such, the closest portion of the proposed Warehouse building is indicated to be 27.44 metres from the street line and the farthest portion of the building is proposed to be 41.88 metres

A-24:155

from the street line. As per the above interpretation, the proposed building is considered to have a maximum setback of 27.44 metres.

- iv. Be advised, insufficient information has been provided to determine the total area for Landscaped Area and Landscaped Parking Islands associated with the proposed parking area(s). Please note, Landscaped Area/ Landscape Parking Island shall only be calculated based on Landscaped elements that are directly associated with a Parking Lot/ Area. Landscaping used in the calculation for required landscaped buffers abutting a street line cannot be used towards the calculation required under this Section. The Landscaped Area associated with all parking areas shall be clearly indicated on the Site Plan. Additional Variances may be required should the total Landscaped Area and Landscaped Parking Islands not meet the requirements under Section 5.2(h).

This Notice must be posted by the owner of any land which contains seven or more residential units so that it is visible to all residents.

This application will be heard by the Committee as shown below:

DATE:	Tuesday, August 6, 2024
TIME:	2:45 p.m.
PLACE:	Via video link or call in (see attached sheet for details)
	City Hall Council Chambers (71 Main St. W., Hamilton)
	To be streamed (viewing only) at www.hamilton.ca/committeeofadjustment

For more information on this matter, including access to drawings illustrating this request and other information submitted:

- Visit www.hamilton.ca/committeeofadjustment
- Visit Committee of Adjustment staff at 5th floor City Hall, 71 Main St. W., Hamilton

PUBLIC INPUT

Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, written comments must be received no later than noon August 2, 2024

Orally: If you would like to speak to this item at the hearing you may do so via video link, calling in, or attending in person. Please see attached page for complete instructions, registration to participate virtually must be received no later than noon August 2, 2024

FURTHER NOTIFICATION

If you wish to be notified of future Public Hearings, if applicable, regarding A-24:155, you must submit a written request to cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5.

A-24:155

If you wish to be provided a Notice of Decision, you must attend the Public Hearing and file a written request with the Secretary-Treasurer by emailing cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5.



 **Subject Lands**

DATED: July 18, 2024

Jamila Sheffield,
Secretary-Treasurer
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public, and may include posting electronic versions.



Hamilton

COMMITTEE OF ADJUSTMENT

City Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5

Telephone (905) 546-2424, ext. 4221

E-mail: cofa@hamilton.ca

PARTICIPATION PROCEDURES

Written Submissions

Members of the public who would like to participate in a Committee of Adjustment meeting are able to provide comments in writing advance of the meeting. Comments can be submitted by emailing cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5. **Comments must be received by noon on the date listed on the Notice of Public Hearing.**

Comments are available the Friday prior to the Hearing and are available on our website: www.hamilton.ca/committeeofadjustment

Oral Submissions

Members of the public are also able to provide oral comments regarding Committee of Adjustment Hearing items by participating Virtually through Webex via computer or phone or by attending the Hearing In-person. Participation Virtually requires pre-registration in advance. Please contact staff for instructions if you wish to make a presentation containing visual materials.

1. Virtual Oral Submissions

Interested members of the public, agents, and owners **must register by noon on the day listed on the Notice of Public Hearing** to participate Virtually.

To register to participate Virtually by Webex either via computer or phone, please contact Committee of Adjustment staff by email cofa@hamilton.ca. The following information is required to register: Committee of Adjustment file number, hearing date, name and mailing address of each person wishing to speak, if participation will be by phone or video, and if applicable the phone number they will be using to call in.

A separate registration for each person wishing to speak is required. Upon registering for a meeting, members of the public will be emailed a link for the Webex meeting one business day before the Hearing. Only those registered will be called upon to speak.

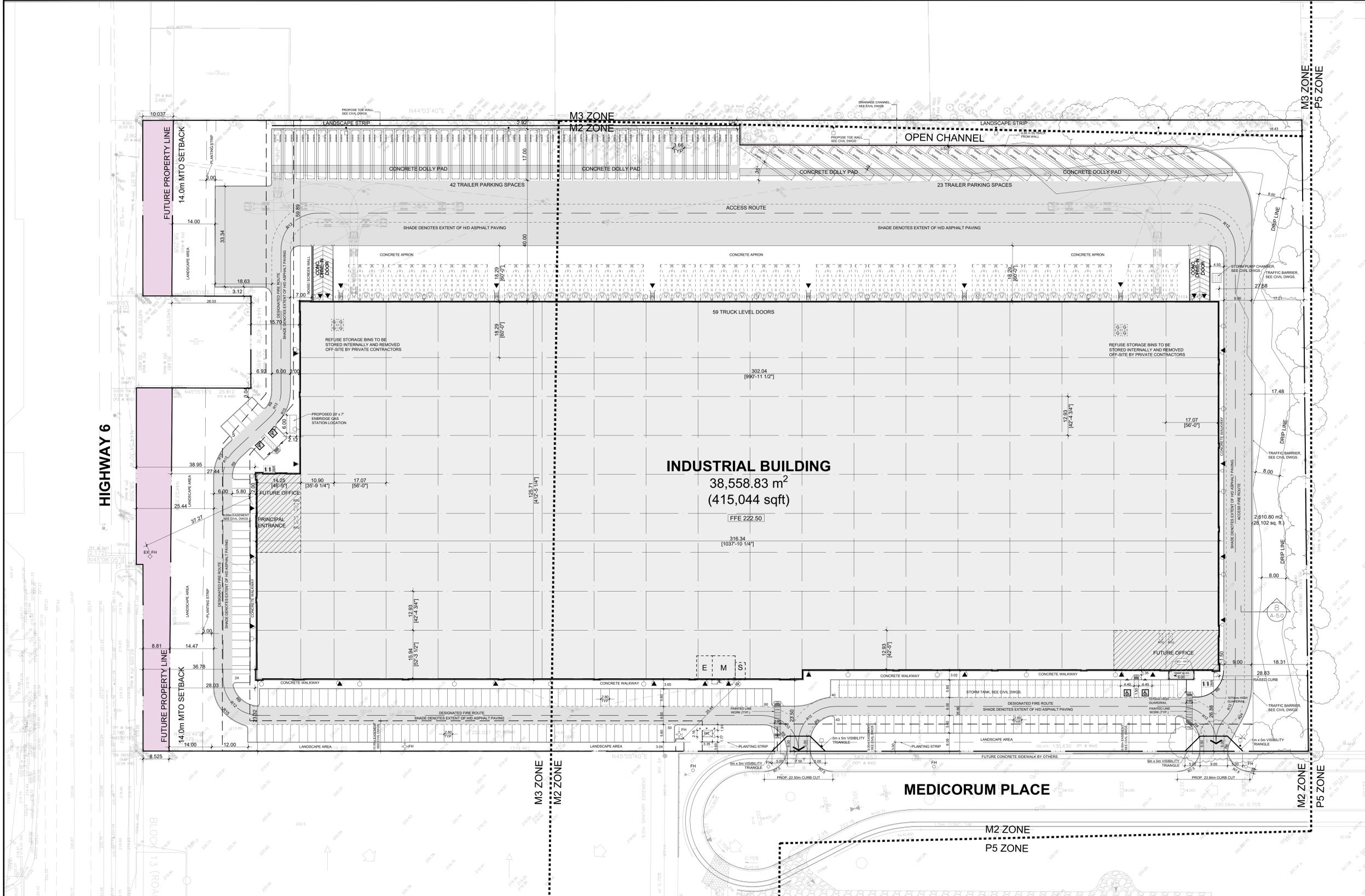
2. In person Oral Submissions

Interested members of the public, agents, and owners who wish to participate in person may attend Council Chambers on the date and time listed on the Notice of Public Hearing. Please note, you will be required to provide your name and address for the record. It is advised that you arrive **no less than 10 minutes** before the time of the Public Hearing as noted on the Notice of Public Hearing.

We hope this is of assistance and if you need clarification or have any questions, please email cofa@hamilton.ca.

Please note: Webex (video) participation requires either a compatible computer or smartphone and an application (app/program) must be downloaded by the interested party in order to participate. It is the interested party's responsibility to ensure that their device is compatible and operating correctly prior to the Hearing.

No.	ISSUED	DATE
1	ISSUED FOR ZONING COMPLIANCE	DEC. 20, 2023
2	ISSUED FOR SPA	JAN. 22, 2024
3	ISSUED FOR PERMIT	MAR. 28, 2024
4	RE-ISSUED FOR SPA	APR. 8, 2024
5	ISSUED FOR TENDER	MAY 8, 2024
6	RE-ISSUED FOR SPA	MAY 31, 2024



No.	REVISION	DATE

BALDASSARRA
Architects Inc.

30 Great Gulf Drive, Unit 20 | Concord ON | L4K 0K7
T. 905.660.0722 | www.baldassarra.ca



OWNERS INFORMATION:

INDUSTRIAL DEVELOPMENT

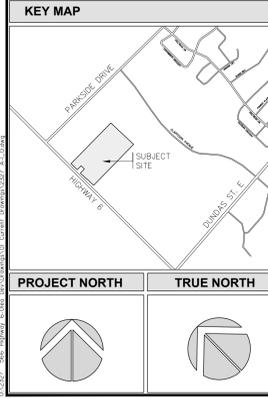
566 HIGHWAY 6
HAMILTON, ON

Site Plan

File No. DA-24-007

DATE:	DRAWN BY:	CHECKED:	SCALE:
JUL 2023	HP	JP	1:500

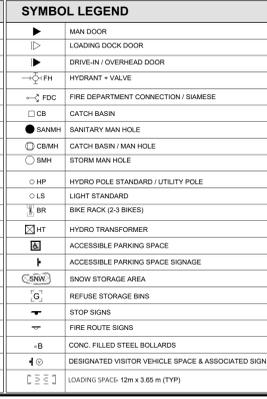
PROJECT No. 23-27 DRAWING No. **A-1.0**



LEGAL DESCRIPTION	
TOPOGRAPHIC SURVEY OF PART OF LOT 13 CONCESSION 3 GEOGRAPHIC TOWNSHIP OF EAST FLAMBOROUGH IN THE CITY OF HAMILTON	
AS PREPARED BY: A.T. McLaren Limited	
SITE PLAN NOTES	
1.	SNOW TO BE REMOVED OFF-SITE BY PRIVATE CONTRACTOR
2.	GARBAGE AND RECYCLING TO BE STORED INTERNALLY AND REMOVED OFF-SITE BY PRIVATE CONTRACTOR
3.	REFER TO ELECTRICAL DRAWINGS FOR ALL LIGHT POLES AND SITE LIGHTING.

SITE STATISTICS	
SITE AREA	78,915.43 m ² or 19.50 acres
DEVELOPABLE AREA	77,126.92 m ² or 19.05 acres
ZONING	M2, M3
SITE COVERAGE	38,558.83 m ² or 49.99%
LANDSCAPED AREA	12,900.17 m ² or 16.72%
PAVED AREA	25,667.92 m ² or 33.29%
BUILDING HEIGHT	11.0 m (MAX) 14.96 m
SETBACKS	
FRONT YARD	6.0 m (MIN) 27.44 m
REAR YARD	6.0 m (MIN) 27.58 m
EXTERIOR SIDE YARD	6.0 m (MIN) 23.50 m
INTERIOR SIDE YARD	6.0 m (MIN) 59.89 m
G.F.A.	
OFFICE	853.89 m ² or 9,191 sf
WAREHOUSE	37,704.94 m ² or 405,853 sf
TOTAL G.F.A.	38,558.83 m ² or 415,044 sf
REQUIRED	28
PROVIDED	224
PARKING	
INDUSTRIAL USE OFFICE USE	28 spaces
WAREHOUSE	28 spaces
TOTAL PARKING	28 spaces
BARRIER-FREE (MIN. 4% of required total)	2 spaces
	4 spaces

SYMBOL LEGEND	
▶	MAN DOOR
▶	LOADING DOOR DOOR
▶	HYDRANT - VALVE
▶	FIRE DEPARTMENT CONNECTION / SIAMOSE
▶	CATCH BASIN
▶	CBM1
▶	CBM2
▶	STORM MAN HOLE
▶	HP
▶	HYDRO POLE STANDARD / UTILITY POLE
▶	LS
▶	LIGHT STANDARD
▶	BR
▶	BIKE RACK (2-3 BIKES)
▶	HT
▶	HYDRO TRANSFORMER
▶	ACCESSIBLE PARKING SPACE
▶	ACCESSIBLE VISITOR SPACE SIGNAGE
▶	SNOW STORAGE AREA
▶	REFUSE STORAGE BINS
▶	STOP SIGNS
▶	FIRE ROUTE SIGNS
▶	CONC. FILLED STEEL BOLLARDS
▶	DESIGNATED VISITOR VEHICLE SPACE & ASSOCIATED SIGN
▶	LOADING SPACE- 12m x 3.65 m (TYP)



UNDERTAKING

File No. DA-24-007

(1) To comply with all the content of this plan and drawing and to undertake and agree without reservation, to perform the construction of the City and/or other utility and services, all of the facilities, works or matters mentioned in Section 417(2) of the Planning Act, shown on this plan and drawing, as set out in the Letter of Approval dated _____.

(2) To permit the construction of the City and/or other utility and services, all of the facilities, works or matters mentioned in Section 417(2) of the said Act, shown on this plan and drawing, including removal of snow from access ramps and driveways, parking and loading areas and walkways.

(3) In the event that the Owner does not comply with the plan dated _____, the Owner agrees that the City may enter the land and do the required works, and further the Owner authorizes the City to use the security filed to obtain compliance with this plan.

(4) That the Owner agrees to provide the municipal services (CXX) or full address (CXX) to the building or on a sign in accordance with the City's Sign By-Law, near the entrance in a manner that is visible from the street.

(5) That the Owner shall include in the Agreement, in writing, satisfactory to the City, that it will grant to the City any easements that may be required, which may include a drainage easement for communication and infrastructure.

(6) In the event of any conflict with existing City facilities or easements, the Owner shall be responsible for the relocation of such facilities or easements.

(7) The Owner agrees to provide the municipal services (CXX) or full address (CXX) to the building or on a sign in accordance with the City's Sign By-Law, near the entrance in a manner that is visible from the street.

(8) The Owner shall complete to the satisfaction of the Director of Engineering of the City of Hamilton and Canada Post: a) include on all other plans and drawings, a statement that advises the prospective purchaser, b) that the home/business mail delivery will be from a designated Centralized Mail Box, c) that the developments are responsible for notifying the purchase of the exact Centralized Mail Box locations prior to the closing of any home sales, d) the owner further agrees to work with Canada Post to determine and provide temporary suitable Centralized Mail Box locations which may be utilized by Canada Post until the curbs, boulevards and sidewalks are in place in the remainder of the subdivision.

(9) Install a concrete pad to accommodate with the requirements of and in locations to be approved by Canada Post to facilitate the placement of Community Mail Boxes

(10) Identify the pads above on the engineering survey drawings. Said pads are to be placed at the time of the sidewalk and/or curb installation with each phase of the plan of subdivision.

(11) Determine the location of all centralized mail receiving facilities in cooperation with Canada Post and to indicate the location of the centralized mail facilities on appropriate maps, information boards and plans.

(12) Make an area to be prominently displayed in the sales offices) showing specific Centralized Mail Facility locations.

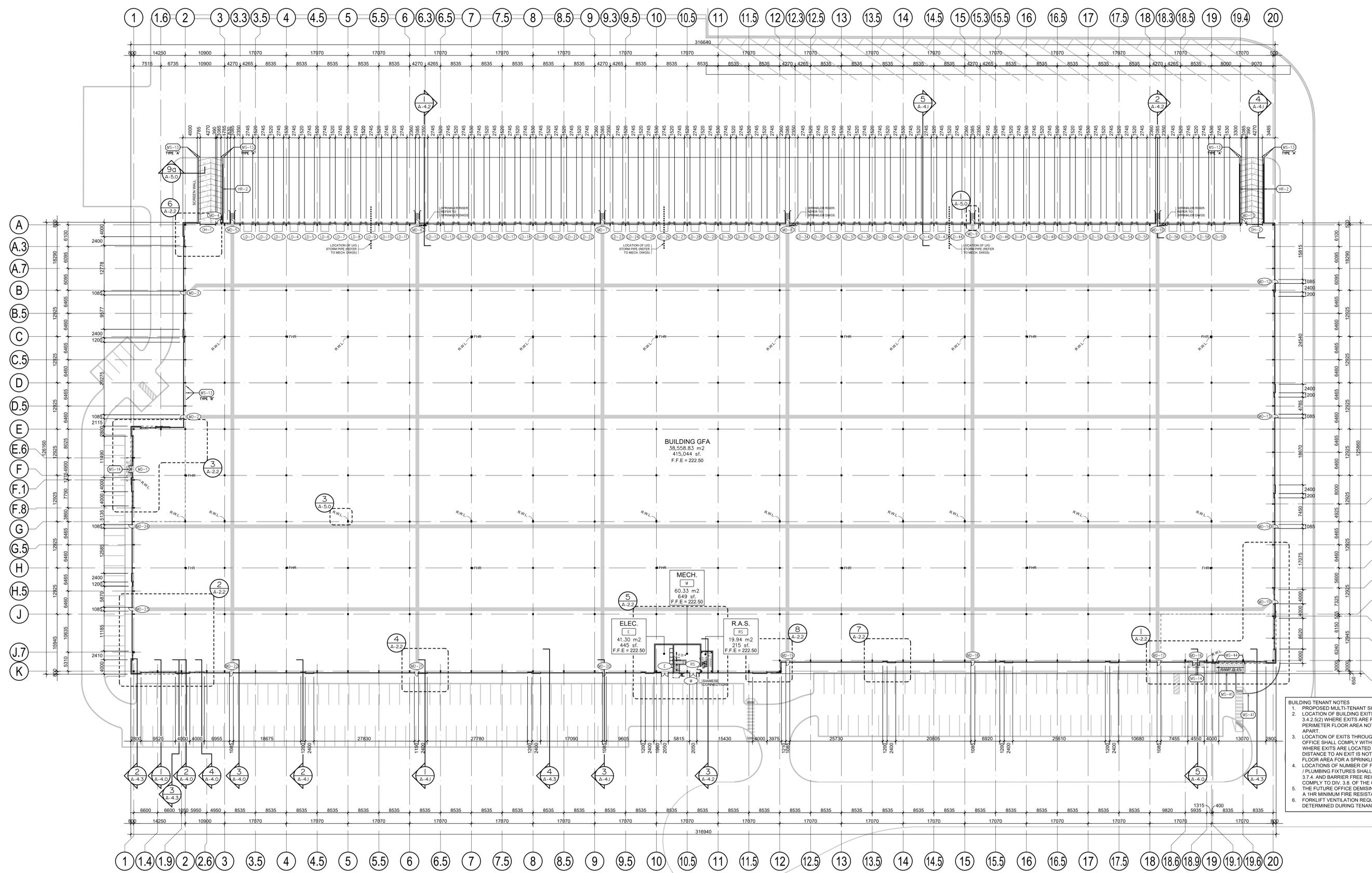
(13) Canada Post's multi-use policy, which requires that the owner/developer provide the centralized mail facility (Lock Box Assembly) at their own expense (less than 100 units will require a floor loading Lock Box Assembly). Areas that 100 units will require a roof loading Lock Box Assembly) which will require a mail room) will be in effect for buildings and complexes with a common lobby, divided this _____ day of _____, 20____.

Witness (Signature) _____ Owner's (Signature) _____
Witness (print) _____ Owner's (print) _____
Address of Witness _____

SITE PLAN NOTES	
1.	All work involved in the construction, relocation, repair or municipal services for the project shall be to the satisfaction of the Director of Planning and Chief Planner, Planning and Economic Development Department.
2.	Fire Route Signs and 3-Way Fire Hydrants shall be established to the satisfaction of the City Fire Department and at the expense of the owner.
3.	Main driveway dimensions at the property line boundaries are minus 7.5 m unless otherwise stated.
4.	All driveways from property lines for the first 7.5 m shall be within 5% maximum grade, thereafter all driveways shall be within 10% maximum grade.
5.	The approval of this plan does not exempt the owner's bonded contractor from the requirements to obtain the various permits/approvals normally required to complete a construction project, such as, but not limited to the following: - Building permit - Release of Services - Road out permits - Encroachment Agreements (if Required) - Committee of Adjustment
6.	Abandoned accesses must be removed and the curb and boulevard restored with soil at the Owner's expense to the satisfaction of the Traffic Engineering Section, Public Works Department.
7.	For visibility triangles at the vehicular access points, the following note to be provided: 5.0 metres by 5.0 metres visibility triangles in which the maximum height of any object or mature vegetation is not to exceed a height of 0.60 metres above the corresponding perpendicular centreline elevation of the adjacent street.
8.	Proposed signage shall conform to the City's Sign and Other Devices By-law No. 10-107.
9.	Lighting must be directed on site and must not spill over to adjacent properties or streets.
10.	CALL BEFORE YOU DIG, arrange for underground hydro cable (locates) and gas (locates) before beginning construction by contacting Ontario One Call at 1-800-400-2255.
11.	ALL WASTE MUST BE STORED AND COLLECTED ON PRIVATE PROPERTY ACCORDING TO THE CITY OF HAMILTON'S SOLID WASTE MANAGEMENT BY-LAW 20-221.
12.	SUBJECT TO ANY REQUIREMENTS THAT HAVE BEEN IDENTIFIED BY EXTERNAL AGENCIES.



PROJECT NORTH



- BUILDING TENANT NOTES**
1. PROPOSED MULTI-TENANT SHELL BUILDING
 2. LOCATION OF BUILDING EXITS IS BASED ON O.B.C. 3.4.2.5(2) WHERE EXITS ARE PLACED ALONG THE PERIMETER FLOOR AREA NOT MORE THAN 60m APART.
 3. LOCATION OF EXITS THROUGH THE FUTURE OFFICE SHALL COMPLY WITH O.B.C. 3.4.2.5(1)(C) WHERE EXITS ARE LOCATED SO THAT THE TRAVEL DISTANCE TO AN EXIT IS NOT MORE THAN 45m IN A FLOOR AREA FOR A SPRINKLER BUILDING.
 4. LOCATIONS OF NUMBER OF FUTURE WASHROOMS / PLUMBING FIXTURES SHALL COMPLY WITH DIV. 3.7.4. AND BARRIER FREE REQUIREMENTS SHALL COMPLY TO DIV. 3.8. OF THE O.B.C.
 5. THE FUTURE OFFICE DEMISING WALL SHALL HAVE A 1HR MINIMUM FIRE RESISTANCE RATING.
 6. FORTULIFT VENTILATION REQUIREMENTS TO BE DETERMINED DURING TENANT FIT-UP.

No.	ISSUED	DATE
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5	ISSUED FOR TENDER	MAY 8, 2024

6	RE-ISSUED FOR SPA	MAY 21, 2024
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No.	REVISION	DATE

BALDASSARRA
Architects Inc.

30 Great Gulf Drive, Unit 20 | Concord ON | L4K 0K7
T. 905.660.0722 | www.baldassarra.ca

OWNERS INFORMATION:



INDUSTRIAL DEVELOPMENT

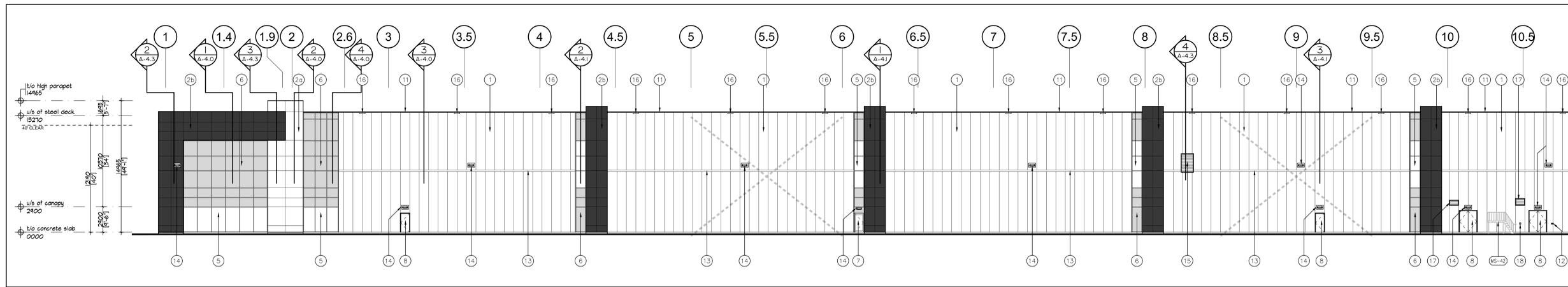
566 HIGHWAY 6
HAMILTON, ON

Floor Plan

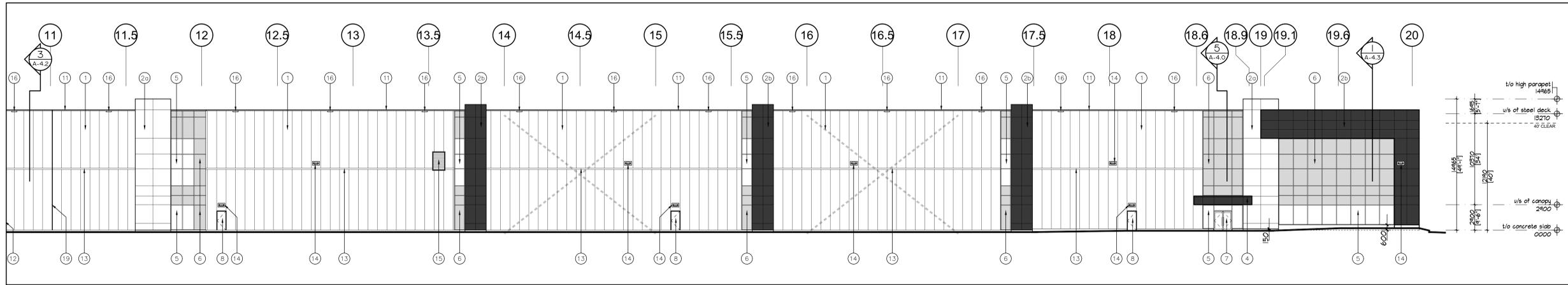
DATE:	DRAWN BY:	CHECKED:	SCALE:
JUL. 2023	HP	JP	1:400
PROJECT No.:	DRAWING No.:		

23-27 **A-2.0**

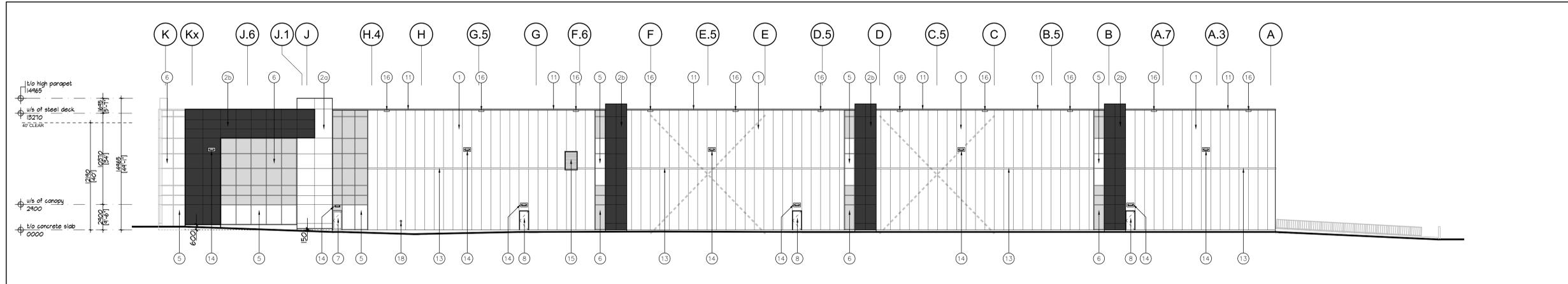
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6	RE-ISSUED FOR SPA	MAY 31, 2024



1 Partial - South Elevation
A-3.0 1:200



2 Partial - South Elevation
A-3.0 1:200



3 East Elevation
A-3.0 1:200

LEGEND

1	INSULATED METAL PANELS, SMOOTH FINISH, COLOUR: WHITE.	10	INSULATED METAL SECTIONAL OVERHEAD DOOR CW DOCK SEAL, DOCK LEVELLER, DOCK BUMPERS AND 510mm x 152mm (WH) LEXAN INSERT. 2745mm (W) X 3050mm (H). COLOUR TO BE WHITE. DOCK SEAL TO HAVE BUSINESS PARK LOGO.
2	COMPOSITE ALUMINIUM PANELS BY ALPOLIC, COLOUR: TXG GREY OR CVG GREY OR AGT GREY.	11	PREFINISHED METAL CAP FLASHING. COLOUR TO MATCH INSULATED METAL PANEL BELOW.
2b	COMPOSITE ALUMINIUM PANELS BY ALPOLIC, COLOUR: CNC CHARCOAL.	12	SIAMESE CONNECTION.
3	INSULATED PRECAST PANELS, SMOOTH SANDBLAST FINISH, COLOUR: WHITE.	13	150mm WIDE x 25.4mm DEEP DECORATIVE BANDS. COLOUR TO MATCH METAL PANELS.
4	CANOPY, COMPOSITE ALUMINIUM PANELS BY ALPOLIC, COLOUR: CNC CHARCOAL.	14	LIGHT FIXTURE, SEE ELECTRICAL DRAWINGS FOR MOUNTING HEIGHTS.
5	THERMAL LOW-E GLASS VISION GLAZING CW CLEAR ANODIZED THERMALLY BROKEN ALUMINIUM CURTAIN WALL FRAMES. (COLOUR OF GLAZING: GREY TINT)	15	48" WIDE x 34" HIGH EXHAUST LOUVER CW COUNTER BALANCING DAMPER (REFER TO MECH. DWGS). BAKED ENAMEL FINISH TO MATCH METAL PANELS.
6	SPANDREL PANEL CW CLEAR ANODIZED THERMALLY BROKEN ALUMINIUM CURTAIN WALL FRAMES. (COLOUR OF SPANDREL: INKAN 1-121-1)	16	600mm WIDE x 150mm HIGH SCUPPERS (68 COUNT)
7	CLEAR TEMPERED THERMAL GLASS AND ALUMINIUM DOOR(S), COLOUR OF ALUMINIUM TO MATCH CURTAIN WALL.	17	LOUVERS, BAKED ENAMEL FINISH TO MATCH METAL PANELS. REFER TO MECH. DWGS.
8	INSULATED HOLLOW METAL MAN DOOR IN THERMAL PRESSED STEEL FRAME, PAINT TO MATCH ADJACENT MATERIAL.	18	NON-FREEZE HOSE BIB. REFER TO MECH. DWGS.
9	INSULATED METAL SECTIONAL OVERHEAD DOOR CW 510mm x 125mm (WH) LEXAN INSERT. 4270mm (W) x 4880mm (H). COLOUR TO BE WHITE.	19	EXPANSION JOINT. PROVIDE EMEAL AT PRECAST EXPANSION JOINT.

NOTE:
"ROOF TOP UTILITY AND MECHANICAL EQUIPMENT WILL BE SUFFICIENTLY SET BACK FROM EDGE OF BUILDING PARAPET AND WILL NOT BE VISIBLE FROM PUBLIC VIEW."

SCALE 1:200

No.	REVISION	DATE
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BALDASSARRA
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T. 905.660.0722 | www.baldassarra.ca



OWNERS INFORMATION:

INDUSTRIAL DEVELOPMENT

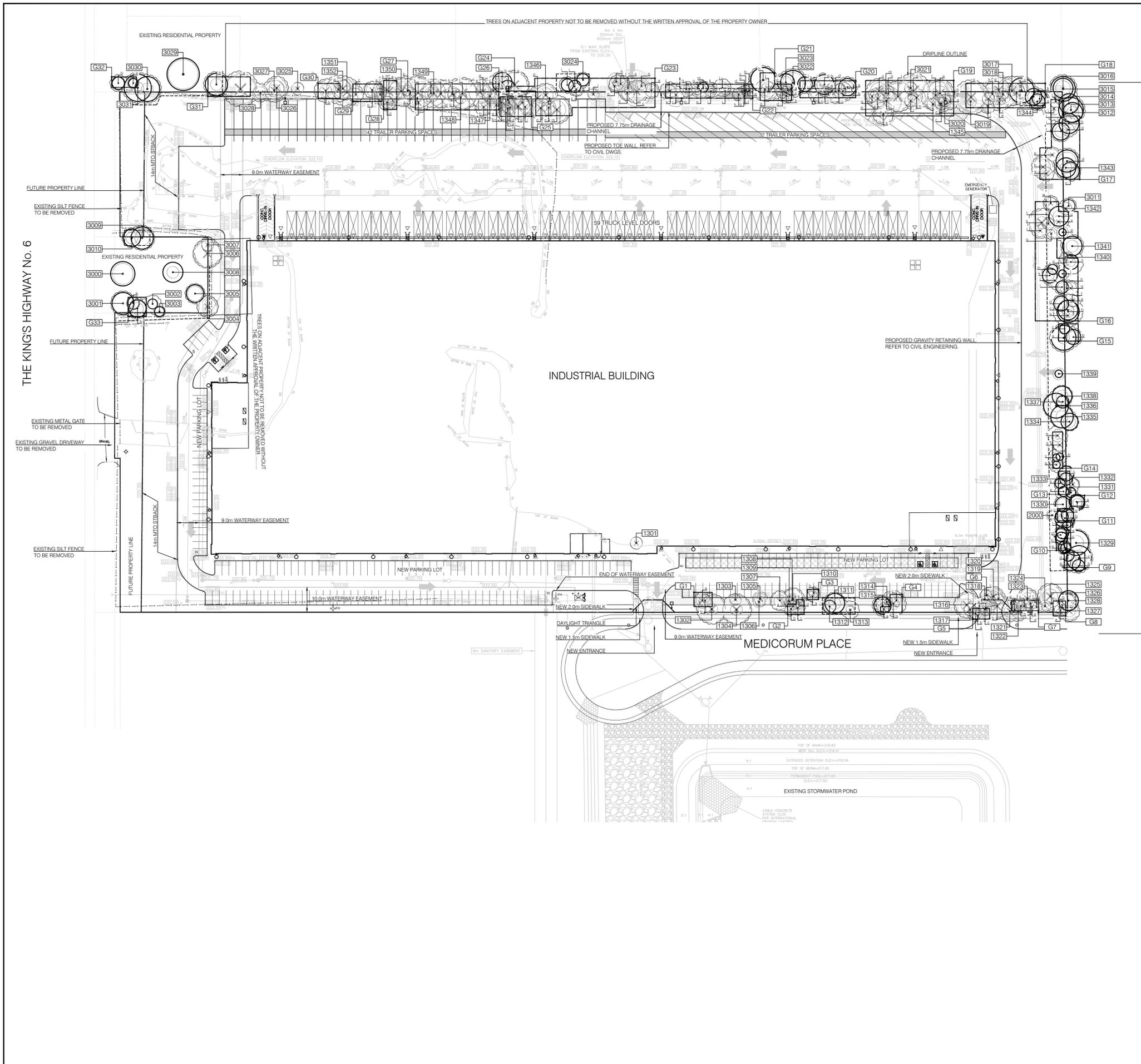
566 HIGHWAY 6
HAMILTON, ON

Elevations

File No. DA-24-007			
DATE:	DRAWN BY:	CHECKED:	SCALE:
JUL. 2023	HP	JP	AS NOTED
PROJECT No.	DRAWING No.		

23-27

A-3.0



INVENTORY INFORMATION:
FIRST INVENTORY:
MAY 15th, 2023

LEGEND

- MINIMUM PROTECTION ZONE
- EX. DECIDUOUS TREE TO REMAIN
- EX. CONIFEROUS TREE TO REMAIN
- EX. DECIDUOUS TREE TO BE REMOVED
- EX. CONIFEROUS TREE TO BE REMOVED
- TREE PRESERVATION FENCING
SEE DETAIL 1, TPD-2
- TREE GROUP
- TREE TAG / IDENTIFICATION

FOR EXISTING TREE IDENTIFICATION TABLE AND TREE PRESERVATION DETAILS REFER TO TPD-1 - TPD-2

TREES ON ADJACENT PROPERTY NOT TO BE REMOVED WITHOUT THE WRITTEN APPROVAL OF THE PROPERTY OWNER

EXISTING INDUSTRIAL PROPERTY

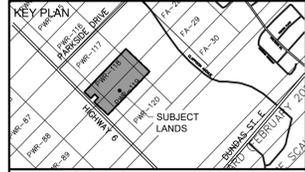
CLIENT
WEST WATERDOWN INDUSTRIAL LLP
5530 RUE MAURICE CULLEN, SUITE 1234,
LAVAL, QC

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Arcadis Professional Services (Canada) Inc.
Formerly B Group Professional Services (Canada) Inc.

ISSUES

No.	DESCRIPTION	DATE
1	ISSUED FOR SPA	2024-01-18
2	SECOND SITE PLAN SUBMISSION	2024-04-04
3	THIRD SITE PLAN SUBMISSION	2024-05-31



CONSULTANTS

NOT FOR CONSTRUCTION



PRIME CONSULTANT

ARCADIS
360 James Street North - Suite 200
Hamilton ON L8L 1H5 Canada
tel 905 546 1010
www.arcadis.com

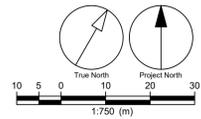
PROJECT
INDUSTRIAL DEVELOPMENT
566 HIGHWAY 6, HAMILTON, ON

PROJECT NO:
140918

DRAWN BY: T.KEMP	CHECKED BY: Z.BROWN
PROJECT MGR: C.JANDU	APPROVED BY: Z.BROWN

SHEET TITLE
TREE PROTECTION PLAN

SHEET NUMBER TPP-1	ISSUE 3
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EXISTING TREE IDENTIFICATION TABLE

Table with columns: TREE NO. OR GRP, BOTANICAL NAME, COMMON NAME, DBH (cm), CONDITION, MINIMUM TREE PROTECTION ZONE (MTPZ) (m), OWNERSHIP, IMPACTS OF DEVELOPMENT, RECOMMENDATION, COMMENTS. Contains 1300+ rows of tree data.

EXISTING TREE IDENTIFICATION TABLE

Table with columns: TREE NO. OR GRP, BOTANICAL NAME, COMMON NAME, DBH (cm), CONDITION, MINIMUM TREE PROTECTION ZONE (MTPZ) (m), OWNERSHIP, IMPACTS OF DEVELOPMENT, RECOMMENDATION, COMMENTS. Contains 1300+ rows of tree data.

(1) Trees recommended to be PRESERVED in SHADED BOXES
(2) Condition: Good (G) - dead branches less than 10%; signs of good compartmentalization on any wounds; no structural defects
(3) Comments based on tree health, condition, structure and existing physical constraints; recommendations for pruning or decomposition.
(4) Ownership: S - Subject Property, A - Adjacent Property, M - Municipal Property
(5) Recommendation: Preserve, Remove, Transplant
(6) Rationale: Reason(s) for removal based on impact of construction
NONE - no construction activity occurs at or within the dripline of a tree.
LIMITED - construction activity occurs at or within the dripline of a tree, but is not likely to lead to tree death in the short term (5-10 years) if precautionary measures are taken; this may require root pruning
IMPACTED - construction activity (XXX = structures, fencing, trenching, grading, etc) which requires the direct removal of a tree or occurs within a significant portion of the canopy/foot zone, such that the activity will significantly affect tree health leading to death in the short term

CLIENT WEST WATERDOWN INDUSTRIAL LLP 5530 RUE MAURICE CULLEN, SUITE 1234, LAVAL, QC

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Arcadis Professional Services (Canada) Inc. formerly IBI Group Professional Services (Canada) Inc.

ISSUES table with columns: No., DESCRIPTION, DATE. Contains 3 entries regarding SPA and site plan submissions.



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PROJECT INDUSTRIAL DEVELOPMENT 566 HIGHWAY 6, HAMILTON, ON

PROJECT NO: 140918 DRAWN BY: T.KEMP CHECKED BY: Z.BROWN PROJECT MGR: C.JANDU APPROVED BY: Z.BROWN SHEET TITLE: TREE PROTECTION DETAILS

SHEET NUMBER TPD-1 ISSUE 3

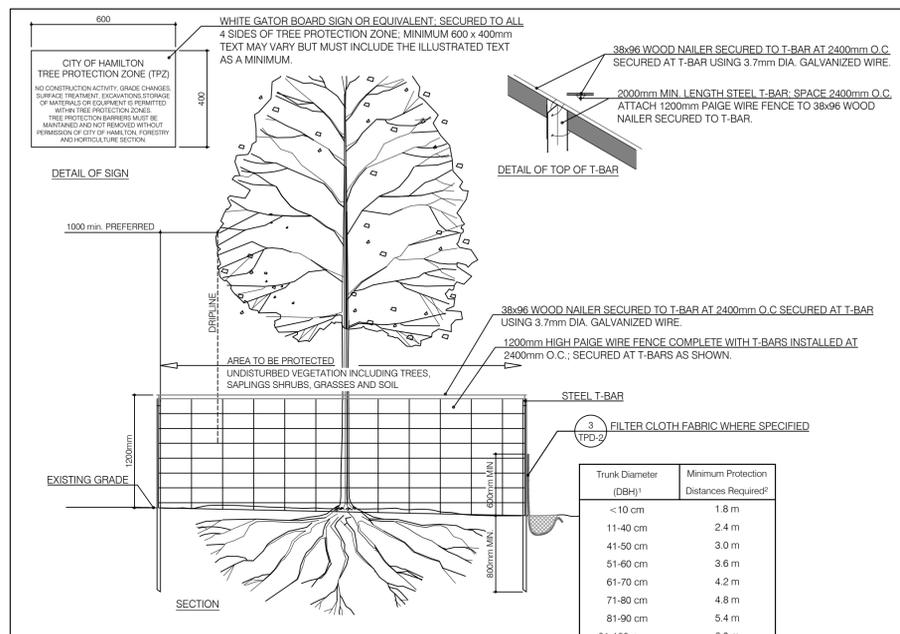
Vertical text on the right edge: File Location: \\140918_566_Highway_7_D_Design\landscapes\140918TPD.dwg Plotted: Thursday, May 30, 2024 7:03:31 PM by Taylor Kemp

EXISTING TREE IDENTIFICATION TABLE

TREE NO. OR GRP	BOTANICAL NAME	COMMON NAME	DBH (cm)	CONDITION	MINIMUM TREE PROTECTION ZONE (MTPZ) (m)	OWNERSHIP	IMPACTS OF DEVELOPMENT ⁽⁴⁾	RECOMMENDATION ⁽⁵⁾	COMMENTS ⁽⁶⁾
G20a	QUERCUS MACROCARPA	BUR OAK	32.5	F	2.4	A	LIMITED: 7.75m DRAINAGE CHANNEL	P	
b	QUERCUS MACROCARPA	BUR OAK	60.0	F	3.6	A	IMPACTED: 7.75m DRAINAGE CHANNEL	R	
c	QUERCUS MACROCARPA	BUR OAK	15.5	P	2.4	A	IMPACTED: 7.75m DRAINAGE CHANNEL	R	
d	QUERCUS MACROCARPA	BUR OAK	70.0	F	4.2	A	IMPACTED: 7.75m DRAINAGE CHANNEL	R	
e	QUERCUS MACROCARPA	BUR OAK	17.5	F	2.4	S	IMPACTED: 7.75m DRAINAGE CHANNEL	R	
f	QUERCUS MACROCARPA	BUR OAK	26.5	P	2.4	A	IMPACTED: 7.75m DRAINAGE CHANNEL	R	
g	QUERCUS MACROCARPA	BUR OAK	42.0	F	3.0	NONE		R	
h	QUERCUS MACROCARPA	BUR OAK	42.0	P	3.0	S	IMPACTED: 7.75m DRAINAGE CHANNEL	R	
i	(DEAD)		24.5	D	A		IMPACTED: 7.75m DRAINAGE CHANNEL, REMOVE DUE TO CONDITION	R	
j	QUERCUS MACROCARPA	BUR OAK	30.0	G	2.4	A	LIMITED: REMOVAL OF ADJACENT SPECIES	P	
G21a	QUERCUS MACROCARPA	BUR OAK	24.0	F	2.4	A	IMPACTED: 7.75m DRAINAGE CHANNEL	R	
b	QUERCUS MACROCARPA	BUR OAK	10.0	P	1.8	S	IMPACTED: 7.75m DRAINAGE CHANNEL	R	
c	QUERCUS MACROCARPA	BUR OAK	30.0	F	2.4	A	IMPACTED: 7.75m DRAINAGE CHANNEL	R	
d	QUERCUS MACROCARPA	BUR OAK	15.0	P	2.4	A	IMPACTED: 7.75m DRAINAGE CHANNEL	R	
e	QUERCUS MACROCARPA	BUR OAK	23.5	F	2.4	A	IMPACTED: 7.75m DRAINAGE CHANNEL	R	
f	QUERCUS MACROCARPA	BUR OAK	42.0	P	3.0	A	IMPACTED: 7.75m DRAINAGE CHANNEL	R	
g	QUERCUS MACROCARPA	BUR OAK	30.0	F	2.4	A	IMPACTED: 7.75m DRAINAGE CHANNEL	R	
h	QUERCUS MACROCARPA	BUR OAK	72.0	P	4.8	A	LIMITED: 7.75m DRAINAGE CHANNEL	P	
G22a	QUERCUS MACROCARPA	BUR OAK	18.0	F	2.4	A	IMPACTED: 7.75m DRAINAGE CHANNEL	R	
b	(DEAD)		13.0	D	2.4	A	IMPACTED: 7.75m DRAINAGE CHANNEL	R	
c	QUERCUS MACROCARPA	BUR OAK	13.0	P	2.4	A	IMPACTED: 7.75m DRAINAGE CHANNEL	R	
d	QUERCUS MACROCARPA	BUR OAK	12.0	F	2.4	A	IMPACTED: 7.75m DRAINAGE CHANNEL	R	
e	QUERCUS MACROCARPA	BUR OAK	13.5	P	2.4	A	IMPACTED: 7.75m DRAINAGE CHANNEL	R	
f	QUERCUS MACROCARPA	BUR OAK	18.0	P	2.4	S	IMPACTED: 7.75m DRAINAGE CHANNEL	R	
g	(DEAD)		18.0	D	S		IMPACTED: 7.75m DRAINAGE CHANNEL	R	
h	QUERCUS MACROCARPA	BUR OAK	15.5	P	2.4	S	IMPACTED: 7.75m DRAINAGE CHANNEL	R	
i	QUERCUS MACROCARPA	BUR OAK	24.0	F	2.4	A	IMPACTED: 7.75m DRAINAGE CHANNEL	R	
j	QUERCUS MACROCARPA	BUR OAK	20.0	F	2.4	A	LIMITED: 7.75m DRAINAGE CHANNEL	P	
k	QUERCUS MACROCARPA	BUR OAK	14.5	P	2.4	S	IMPACTED: 7.75m DRAINAGE CHANNEL	R	
l	QUERCUS MACROCARPA	BUR OAK	32.0	P	2.4	A	IMPACTED: 7.75m DRAINAGE CHANNEL	R	
m	QUERCUS MACROCARPA	BUR OAK	21.0	P	2.4	A	LIMITED: 7.75m DRAINAGE CHANNEL	P	
n	(DEAD)		19.0	D	A		IMPACTED: 7.75m DRAINAGE CHANNEL, REMOVE DUE TO CONDITION	R	
o	QUERCUS MACROCARPA	BUR OAK	35.0	P	2.4	A	IMPACTED: 7.75m DRAINAGE CHANNEL	R	
p	QUERCUS MACROCARPA	BUR OAK	17.2	P	2.4	A	IMPACTED: 7.75m DRAINAGE CHANNEL	R	
q	QUERCUS MACROCARPA	BUR OAK	19.5	F	2.4	A	IMPACTED: 7.75m DRAINAGE CHANNEL	R	
r	QUERCUS MACROCARPA	BUR OAK	80.0	P	4.8	S	IMPACTED: 7.75m DRAINAGE CHANNEL	R	
s	(DEAD)		25.0	D	A		IMPACTED: 7.75m DRAINAGE CHANNEL, REMOVE DUE TO CONDITION	R	
t	(DEAD)		25.0	D	A		IMPACTED: 7.75m DRAINAGE CHANNEL, REMOVE DUE TO CONDITION	R	
G23a	(DEAD)		30.0	D	A		IMPACTED: 7.75m DRAINAGE CHANNEL, REMOVE DUE TO CONDITION	R	
b	QUERCUS MACROCARPA	BUR OAK	31.5	P	2.4	A	IMPACTED: 7.75m DRAINAGE CHANNEL	R	
c	QUERCUS MACROCARPA	BUR OAK	105.0	F	6.0	S	IMPACTED: 7.75m DRAINAGE CHANNEL	R	
d	QUERCUS MACROCARPA	BUR OAK	42.0	F	3.0	S	IMPACTED: 7.75m DRAINAGE CHANNEL	R	
e	QUERCUS MACROCARPA	BUR OAK	12.5	F	2.4	A	IMPACTED: 7.75m DRAINAGE CHANNEL	R	
f	QUERCUS MACROCARPA	BUR OAK	32.0	F	2.4	A	IMPACTED: 7.75m DRAINAGE CHANNEL	R	
g	QUERCUS MACROCARPA	BUR OAK	32.0	P	2.4	A	IMPACTED: 7.75m DRAINAGE CHANNEL	R	
h	QUERCUS MACROCARPA	BUR OAK	52.0	P	3.6	A	IMPACTED: 7.75m DRAINAGE CHANNEL	R	
i	QUERCUS MACROCARPA	BUR OAK	25.0	F	2.4	S	IMPACTED: CURB, 9m WATERWAY EASEMENT	R	
j	QUERCUS MACROCARPA	BUR OAK	25.0	F	2.4	A	NONE	P	
k	QUERCUS MACROCARPA	BUR OAK	26.0	G	2.4	A	IMPACTED: 9m WATERWAY EASEMENT	R	
l	QUERCUS MACROCARPA	BUR OAK	35.0	F	2.4	A	NONE	P	
m	QUERCUS MACROCARPA	BUR OAK	22.0	G	2.4	S	IMPACTED: TRUCK PARKING STALLS, 9m WATERWAY EASEMENT	R	
n	QUERCUS MACROCARPA	BUR OAK	58.0	G	3.6	S	IMPACTED: TRUCK PARKING STALLS, 9m WATERWAY EASEMENT	R	
o	QUERCUS MACROCARPA	BUR OAK	20.0	P	2.4	S	IMPACTED: TRUCK PARKING STALLS, 9m WATERWAY EASEMENT	R	
p	QUERCUS MACROCARPA	BUR OAK	30.0	F	2.4	S	IMPACTED: TRUCK PARKING STALLS, 9m WATERWAY EASEMENT	R	
q	QUERCUS MACROCARPA	BUR OAK	26.0	G	2.4	A	IMPACTED: 9m WATERWAY EASEMENT	R	
G24a	QUERCUS MACROCARPA	BUR OAK	105.0	F	6.0	S	IMPACTED: CURB, 9m WATERWAY EASEMENT	R	
b	TILIA AMERICANA	BASSWOOD	23.0	F	2.4	A	LIMITED: REMOVAL OF ADJACENT SPECIES	P	
G25a	QUERCUS MACROCARPA	BUR OAK	23.0	F	2.4	S	IMPACTED: TRUCK PARKING STALLS, CURB, 9m WATERWAY EASEMENT	R	
b	QUERCUS MACROCARPA	BUR OAK	11.5	P	2.4	S	IMPACTED: TRUCK PARKING STALLS, CURB, 9m WATERWAY EASEMENT	R	
c	QUERCUS MACROCARPA	BUR OAK	27.5	P	2.4	S	IMPACTED: TRUCK PARKING STALLS, CURB, 9m WATERWAY EASEMENT	R	
d	QUERCUS MACROCARPA	BUR OAK	35.0	P	2.4	S	IMPACTED: TRUCK PARKING STALLS, 9m WATERWAY EASEMENT	R	
e	QUERCUS MACROCARPA	BUR OAK	36.0	F	2.4	S	IMPACTED: TRUCK PARKING STALLS, 9m WATERWAY EASEMENT	R	
f	QUERCUS MACROCARPA	BUR OAK	56.0	P	3.6	S	IMPACTED: TRUCK PARKING STALLS, 9m WATERWAY EASEMENT	R	
g	QUERCUS MACROCARPA	BUR OAK	76.0	G	4.8	S	IMPACTED: TRUCK PARKING STALLS, CURB, 9m WATERWAY EASEMENT	R	
h	QUERCUS MACROCARPA	BUR OAK	47.4	F	3.0	S	IMPACTED: TRUCK PARKING STALLS, CURB, 9m WATERWAY EASEMENT	R	
i	QUERCUS MACROCARPA	BUR OAK	35.0	F	2.4	S	IMPACTED: TRUCK PARKING STALLS, 9m WATERWAY EASEMENT	R	
G26a	QUERCUS MACROCARPA	BUR OAK	18.5	G	2.4	S	IMPACTED: TRUCK PARKING STALLS, 9m WATERWAY EASEMENT	R	
b	QUERCUS MACROCARPA	BUR OAK	25.0	F	2.4	S	IMPACTED: TRUCK PARKING STALLS, 9m WATERWAY EASEMENT	R	
c	QUERCUS MACROCARPA	BUR OAK	63.0	F	4.2	S	IMPACTED: TRUCK PARKING STALLS, CURB, 9m WATERWAY EASEMENT	R	
d	QUERCUS MACROCARPA	BUR OAK	26.0	F	2.4	S	IMPACTED: 9m WATERWAY EASEMENT	R	
e	QUERCUS MACROCARPA	BUR OAK	105.0	P	6.0	S	IMPACTED: TRUCK PARKING STALLS, CURB, 9m WATERWAY EASEMENT	R	
f	QUERCUS MACROCARPA	BUR OAK	120.0	G	6.0	S	IMPACTED: TRUCK PARKING STALLS, CURB, 9m WATERWAY EASEMENT	R	
g	(DEAD)		40.0	D	S		IMPACTED: TRUCK PARKING STALLS, CURB, 9m WATERWAY EASEMENT	R	
h	QUERCUS MACROCARPA	BUR OAK	41.5	P	3.0	S	IMPACTED: TRUCK PARKING STALLS, CURB, 9m WATERWAY EASEMENT	R	
i	QUERCUS MACROCARPA	BUR OAK	81.0	G	5.4	S	IMPACTED: TRUCK PARKING STALLS, CURB, 9m WATERWAY EASEMENT	R	
j	QUERCUS MACROCARPA	BUR OAK	36.0	G	2.4	S	IMPACTED: 9m WATERWAY EASEMENT	R	
k	QUERCUS MACROCARPA	BUR OAK	91.5	F	6.0	S	IMPACTED: TRUCK PARKING STALLS, CURB, 9m WATERWAY EASEMENT	R	
l	QUERCUS MACROCARPA	BUR OAK	25.0	F	2.4	S	IMPACTED: TRUCK PARKING STALLS, CURB, 9m WATERWAY EASEMENT	R	
G27a	ACER NEGUNDO	BOXELDER MAPLE	10.5	F	1.8	S	IMPACTED: 9m WATERWAY EASEMENT	R	
b	ACER NEGUNDO	BOXELDER MAPLE	11.5	P	2.4	S	IMPACTED: 9m WATERWAY EASEMENT	R	SEVERE LEAN
G28a	QUERCUS MACROCARPA	BUR OAK	86.0	F	5.4	S	IMPACTED: TRUCK PARKING STALLS, CURB, 9m WATERWAY EASEMENT	R	714
b	QUERCUS MACROCARPA	BUR OAK	86.0	F	5.4	S	IMPACTED: TRUCK PARKING STALLS, CURB, 9m WATERWAY EASEMENT	R	
c	QUERCUS MACROCARPA	BUR OAK	15.0	F	2.4	S	IMPACTED: TRUCK PARKING STALLS, CURB, 9m WATERWAY EASEMENT	R	
G29a	CRATAEGUS MOLLIS	DOWNY HAWTHORN	20.0	F	2.4	S	IMPACTED: TRUCK PARKING STALLS, CURB, 9m WATERWAY EASEMENT	R	
b	CRATAEGUS MOLLIS	DOWNY HAWTHORN	15.0	G	2.4	S	IMPACTED: 9m WATERWAY EASEMENT	R	
c	(DEAD)		17.0	D	S		IMPACTED: TRUCK PARKING STALLS, CURB, 9m WATERWAY EASEMENT	R	
G30a	QUERCUS MACROCARPA	BUR OAK	75.0	F	4.8	S	IMPACTED: TRUCK PARKING STALLS, CURB, 9m WATERWAY EASEMENT	R	
b	QUERCUS MACROCARPA	BUR OAK	26.0	F	2.4	S	IMPACTED: 9m WATERWAY EASEMENT	R	
G31a	QUERCUS MACROCARPA	BUR OAK	150.0	F	6.0	A	IMPACTED: TRUCK PARKING STALLS, CURB, 9m WATERWAY EASEMENT	R	(117)
b	QUERCUS MACROCARPA	BUR OAK	32.5	G	2.4	A	LIMITED: REMOVAL OF ADJACENT SPECIES	P	
G32a	PICEA GLAUCA	WHITE SPRUCE	26.0	G	2.4	A	NONE	P	
b	PICEA GLAUCA	WHITE SPRUCE	37.0	G	2.4	A	NONE	P	
G33a	PICEA GLAUCA	WHITE SPRUCE	32.0	F	2.4	A	NONE	P	
b	PICEA GLAUCA	WHITE SPRUCE	21.0	P	2.4	A	NONE	P	UPPER CROWN ONLY, 25% DEAD

(1) Trees recommended for PRESERVING IN SHADED BONES.
 (2) Condition: Good (G) - dead branches less than 10%; signs of good compartmentalization on any wounds; no structural defects. Fair (F) - 10-30% dead branches; size or occurrence of wounds present some concerns; minor structural defects. Poor (P) - more than 30% dead branches; weak compartmentalization; early leaf drop, presence of insects or disease; major structural defects. Dead (D) - tree shows signs of life.
 (3) Comments based on tree health, condition, structure and existing physical constraints; recommendations for pruning or decomposition.
 (4) Ownership: S - Subject Property. A - Adjacent Property. M - Municipal Property.
 (5) Recommendation: Preserve, Remove, Transplant.
 (6) Rationale: Reasons for removal based on impact of construction.
 NONE - no construction activity occurs at or within the dripline of a tree.
 LIMITED - construction activity occurs at or within the dripline of a tree, but is not likely to lead to tree death in the short term (5-10 years) if precautionary measures are taken; this may require root pruning.
 IMPACTED - construction activity (XXX) = structures, fencing, trenching, grading, etc) which requires the direct removal of a tree or occurs within a significant portion of the canopy/foot zone, such that the activity will significantly affect tree health leading to death in the short term.

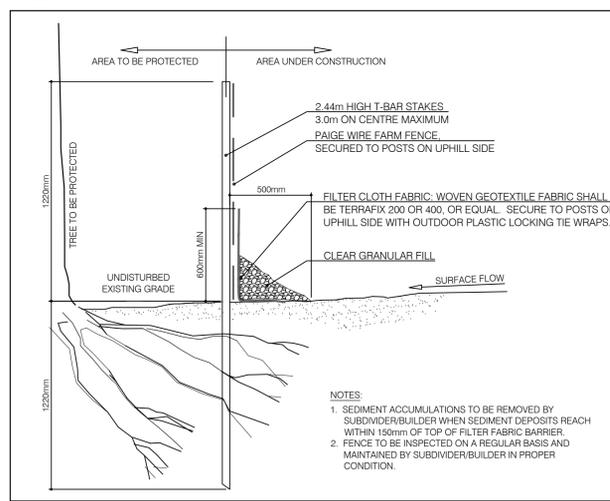
1 EXISTING TREE IDENTIFICATION TABLE (CONTINUED FROM TPD-1)
 TPD-2 N.T.S



TREE PRESERVATION NOTES:

- ALL EXISTING TREES TO REMAIN ON SITE, OR ON ADJACENT PROPERTIES, SHALL BE TAGGED AND FULLY PROTECTED WITH FENCING BEYOND THEIR DRIPLINE TO THE SATISFACTION OF THE CITY. TREE PROTECTION ZONES MAY BE EXPANDED AS REQUIRED BASED ON THE SPECIES OF THE TREE. THESE BARRIERS ARE CREATED TO PROTECT THE ROOTS, TRUNKS AND BRANCHES DURING DEVELOPMENT, AS WELL AS THE UNDERSTOREY AND GROUNDCOVERS. SMALL LOT BY LOT TREE PROTECTION REQUIRES SNOW FENCING WITH METAL POST ENCLOSURES. LONG TERM DEVELOPMENT CONSTRUCTION REQUIRES SPECIAL PAIGE WIRE FENCING OR PLYWOOD TO A MINIMUM HEIGHT OF 1.2m.
- FENCES SHALL BE LOCATED AT A MINIMUM OF 0.5 TIMES THE CROWN RADIUS OF THE TREE FROM THE DRIPLINE, 360 DEGREES AROUND THE PERIMETER OF INDIVIDUAL OR CLUSTERED TREES.
- AREAS WITHIN THE TREE PROTECTION ZONE SHALL NOT BE USED FOR THE STORAGE OF BUILDING MATERIALS, STRUCTURES OR EQUIPMENT. THIS TREE PROTECTION ZONE SHALL BE COMPLETED PRIOR TO THE COMMENCEMENT OF SITE CLEARANCE, DEMOLITION, OR ANY TYPE OF CONSTRUCTION.
- SURPLUS SOIL, EQUIPMENT, VEHICLES, TOOLS, DEBRIS OR MATERIALS SHALL NOT BE PLACED OVER THE ROOT SYSTEMS OF THE TREES WITHIN THE TREE PROTECTION ZONE. NO CONTAMINANTS SHALL BE DUMPED OR FLUSHED WHERE FEEDER ROOTS OF TREES EXIST.
- TREE ROOTS TYPICALLY SPREAD WELL BEYOND THE DRIPLINE OF TREES, UP TO 3.5 TIMES THE DRIPLINE RADIUS, AND ARE LOCATED PREDOMINANTLY IN THE TOP 30CM OF SOIL. AS THIS AREA IS NOT PROTECTED, ACTIVITY SHOULD BE KEPT TO A MINIMUM TO PREVENT ROOT DAMAGE AND SOIL COMPACTION. WHERE ROOT SYSTEMS OF TREES ARE EXPOSED OR DAMAGED BY CONSTRUCTION WORK, THE CITY MUST BE ADVISED FIRST BEFORE THE ROOTS ARE TRIMMED NEATLY AND THE AREA BACK-FILLED WITH TOPSOIL.
- EQUIPMENT SHALL NOT COMPACT SOIL OVER THE ROOT ZONE OF EXISTING TREES. TO AVOID DAMAGE TO TREES THAT ARE TO BE PROTECTED, ACCESS ROUTES MUST BE ESTABLISHED AWAY FROM PROTECTED AREAS. ALL ACCESS ROUTES REGARDLESS OF HOW TEMPORARY, MUST BE IDENTIFIED AND APPROVED BY THE CITY.
- WRITTEN PERMISSION MUST BE OBTAINED FROM THE CITY PRIOR TO CONDUCTING WORK SUCH AS TUNNELING, TORPEDOING, DIGGING OR TRENCHING WITHIN THE DRIPLINE OF ANY TREE TO MINIMIZE ROOT INJURY AND AVOID SOIL COMPACTION.
- WHEREVER POSSIBLE AVOID CUTTING SURFACE ROOTS. DURING EXCAVATION IF ROOT CUTS ARE NECESSARY, IT SHOULD BE DONE QUICKLY, MAKING FLUSH CUTS WHILE SUPERVISED BY AN INSPECTING CITY FORESTRY REPRESENTATIVE. THE ROOTS SHALL BE BACKFILLED AND WATERED BEFORE THEY HAVE A CHANCE TO DRY OUT. WHERE ROOTS REQUIRE REMOVAL, THERE MAY BE A SUBSEQUENT DECLINE WITHIN THE TREE CANOPY. BRANCHES SHOULD ONLY BE REMOVED IF DIEBACK OCCURS.
- WHERE LIMBS OR PORTIONS OF TREES ARE DAMAGED OR MUST BE REMOVED FROM CITY OWNED TREES TO ACCOMMODATE CONSTRUCTION WORK, CITY FORESTRY PERSONNEL, IN ACCORDANCE WITH ACCEPTED ARBORICULTURE PRACTICES, WILL REMOVE THEM. MEASURES SHALL BE TAKEN TO PREVENT ANY FURTHER DAMAGE.
- UNLESS AUTHORIZED, ALL INDIVIDUALS SHALL AVOID DISTURBING ORIGINAL GRADES AROUND TREES IN AREAS OF THE TREE PROTECTION ZONE. IN ADDITION, ROAD GRADES SHOULD MATCH TOPOGRAPHY AT THE CURB LINES TO MAXIMIZE TREE RETENTION IN BOULEVARD AND FRONT YARDS. IF GRADES AROUND PROTECTED TREES ARE LIKELY TO CHANGE, THE DEVELOPER AND THEIR AGENTS SHALL BE REQUIRED TO TAKE SUCH PRECAUTIONS AS DRY WELLS, RETAINING WALLS AND ROOT FEEDING TO THE SATISFACTION OF THE CITY.
- NO CABLES, ROPES SHALL BE WRAPPED AROUND OR INSTALLED IN OR ON ANY TREE THAT IS TO REMAIN AFTER CONSTRUCTION. NOR SHALL IT HAVE SIGNS OR FENCES NAILED TO IT, OR SURVEY MARKINGS OR PAINT APPLIED TO IT.
- ALL VEGETATION WITHIN THE TREE PROTECTION ZONE, INCLUDING TREES, SHRUBS, GRASSES ARE TO BE WATERED, AND MAINTAINED TO AN ACCEPTABLE LEVEL AS REQUIRED.
- THE CITY SHALL BE NOTIFIED TO INSPECT ALL TREE PROTECTION ZONES. THESE MEASURES SHALL REMAIN IN EFFECT UNTIL THE COMPLETION OF THE WORK, AT WHICH TIME AUTHORIZATION FROM THE CITY MUST BE OBTAINED BEFORE REMOVAL.
- THE CITY MUST BE NOTIFIED IMMEDIATELY WHEN ANY MUNICIPALLY OWNED TREE IS INJURED OR DESTROYED DURING CONSTRUCTION OR DEVELOPMENT.
- IN ACCORDANCE WITH THE MIGRATORY BIRDS CONVENTION ACT, 1994, AND ACTIVE BAT SEASON, TREE REMOVAL SHALL NOT TAKE PLACE FROM MARCH 31 TO OCTOBER 31.
- IN ACCORDANCE WITH THE CITY TREE PROTECTION GUIDELINES, A TREE MANAGEMENT PROFESSIONAL (I.E. CERTIFIED ARBORIST, REGISTERED PROFESSIONAL FORESTER OR LANDSCAPE ARCHITECT) IS TO PROVIDE A VERIFICATION OF TREE PROTECTION LETTER TO THE DIRECTOR OF PLANNING TO CONFIRM THAT ALL TREE PROTECTION MEASURES HAVE BEEN INSTALLED. NATURAL HERITAGE PLANNING STAFF SHOULD BE COPIED ON THIS CORRESPONDENCE. THIS CORRESPONDENCE IS REQUIRED PRIOR TO THE UNDERTAKING OF ANY GRADING ACTIVITIES.

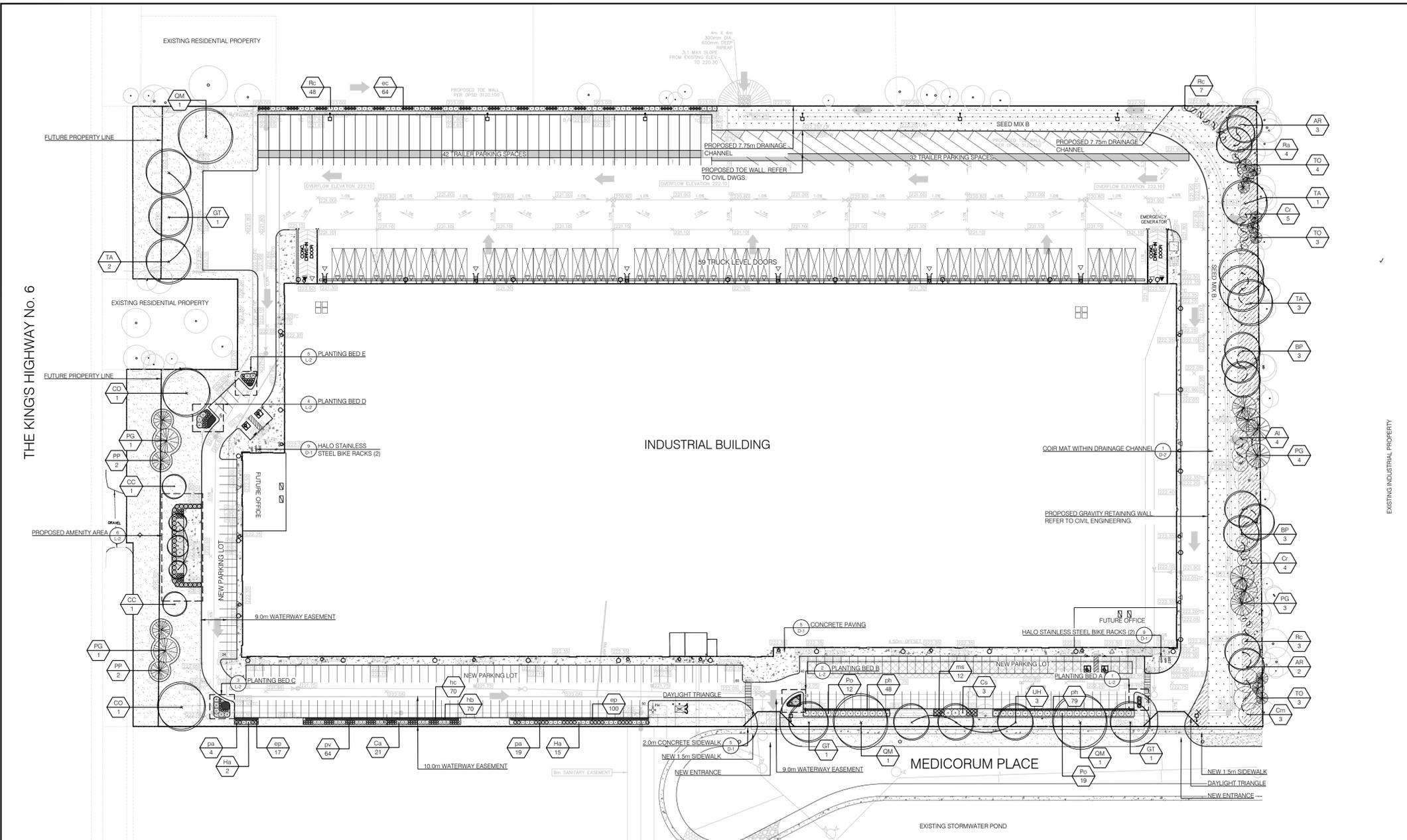
2 TREE PRESERVATION FENCING
 TPD-2 N.T.S



3 EROSION CONTROL AND SEDIMENTATION FENCING
 TPD-2 N.T.S

WOOD DISPOSAL NOTES:

- ALL WOOD DEBRIS ON SITE IN NATURALIZED AREAS SHALL REMAIN TO DETERIORATE NATURALLY. ALL BRUSH, LIMBS AND STEMS SHALL BE PLACED AT RANDOM, NOT FILED, AND SHALL NOT EXCEED 1.2m IN HEIGHT ABOVE GROUND LEVEL. ALL WOOD DEBRIS LESS THAN 10cm SHALL BE CHIPPED. ALL WOOD DEBRIS SHALL BE REMOVED A MINIMUM OF 5m FROM ANY PATH OR ROAD, DRAINAGE INFRASTRUCTURE, WATER COURSE, MANICURED LAWN OR PARK AREA. WOOD DEBRIS SHALL BE PLACED IN THE LOCATIONS INDICATED OR ANOTHER LOCATION WITH THE WRITTEN APPROVAL OF THE CONSULTANT OR CITY OF HAMILTON FORESTRY. ANY ADDITIONAL WOOD DEBRIS THAT CANNOT BE ACCOMMODATED ON SITE SHALL BE REMOVED AND DISPOSED OF BY THE CONTRACTOR.
- WHERE DEEMED APPROPRIATE, WILDLIFE TREES MAY BE RETAINED AS HABITATS FOR BIRDS AND MAMMALS. NO WILDLIFE TREE IS TO BE RETAINED WITHIN 5m OF ANY PATH OR ROAD, DRAINAGE INFRASTRUCTURE, WATER COURSE, MANICURED LAWN OR PARK AREA. WILDLIFE TREE HEIGHTS SHALL BE DETERMINED BY ENSURING THE TREE HEIGHT IS LESS THAN 1.5x THE HORIZONTAL DISTANCE AWAY FROM ANY POTENTIAL TARGET



LEGEND

- TOPSOIL AND SOD AS SPECIFIED
MINIMUM 150mm TOPSOIL DEPTH
- TOPSOIL AND SEED MIX A AS SPECIFIED
MINIMUM 150mm TOPSOIL DEPTH
- TOPSOIL AND SEED MIX B AS SPECIFIED
MINIMUM 150mm TOPSOIL DEPTH
- MULCHED AREA
- CONCRETE PAVING
- EX. DECIDUOUS TREE TO REMAIN
- PROPOSED DECIDUOUS SHADE TREE
- PROPOSED CONIFEROUS TREE
- PROPOSED DECIDUOUS SHRUBS
- PROPOSED CONIFEROUS SHRUBS
- PROPOSED PERENNIALS
- PROPOSED ORNAMENTAL GRASSES
- PLANT SPECIES
- QUANTITY
- DETAIL NUMBER
- SHEET NUMBER

- ### LANDSCAPE NOTES:
- ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH BY-LAWS AND CODES HAVING JURISDICTION OVER SITE LOCATION.
 - COMPLETE ALL WORK TO THE SATISFACTION OF THE LANDSCAPE ARCHITECT.
 - REPORT ANY CHANGES, DISCREPANCIES OR SUBSTITUTIONS TO THE LANDSCAPE ARCHITECT FOR REVIEW. OBTAIN APPROVAL FROM THE LANDSCAPE ARCHITECT BEFORE PROCEEDING.
 - IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE EXISTING SERVICE LOCATIONS.
 - EXACT LOCATIONS OF PLANT MATERIAL WILL BE DETERMINED BY PLACEMENT OF SITE SERVICES SUCH AS HYDRO VALVES, METERS, UTILITIES ROOF RAIN WATER LEADERS, DRIVEWAYS, LIGHT STANDARDS, ETC.
 - SUPPLY ALL PLANT MATERIAL IN ACCORDANCE WITH THE CANADIAN STANDARDS FOR NURSERY STOCK (991 Es).
 - INSTALL PLANT MATERIAL ACCORDING TO DETAILS SHOWN.
 - DISTURBED SOIL AREAS AROUND TREES AND SHRUBS ARE TO BE COVERED WITH SHREDDED CONIFER BARK MULCH SUCH AS CANADA RED OR GRO-BARK 50MM MULCH, OR APPROVED EQUIVALENT. ALTERNATIVE MULCHES MUST BE APPROVED BY THE LANDSCAPE ARCHITECT.
 - CONTRACTOR TO UTILIZE LAYOUT DIMENSIONS WHERE PROVIDED.
 - PROVIDE PLANTING BED AREA AS NOTED ON THE DRAWING OR TO ACCOMMODATE MATURE SIZE OF PLANT MATERIAL.
 - ALL SUPPORT SYSTEMS MUST BE REMOVED BY THE CONTRACTOR AT TIME OF FINAL ACCEPTANCE. NO EXTRAS WILL BE PAID TO COMPLETE THIS WORK.
 - SUPPLY AND PLACE TOPSOIL IN ACCORDANCE WITH OPSS 802 TO A MINIMUM DEPTH OF 150mm UNLESS OTHERWISE SPECIFIED.
 - SUPPLY AND PLACE SOD IN ACCORDANCE WITH OPSS 803 UNLESS OTHERWISE SPECIFIED.
 - SUPPLY AND PLACE SEED IN ACCORDANCE WITH OPSS 804 UNLESS OTHERWISE SPECIFIED. ALL 5:1 OR GREATER SLOPES TO BE SEEDED WITH TACIFIER. CONTRACTOR TO PROVIDE NECESSARY EROSION CONTROL PROTECTION AS REQUIRED TO ENSURE SOIL STABILIZATION AND PROPER SEED GERMINATION.
 - ALL DIMENSIONS IN METRES UNLESS OTHERWISE NOTED.
 - IF DISCREPANCIES ARISE BETWEEN PLANT MATERIAL COUNT SHOWN ON DRAWING AND PLANT LIST, THE DRAWING SHALL BE CONSIDERED CORRECT.
 - CONTRACTOR TO PROVIDE MINIMUM TWO (2) YEAR WARRANTY FROM DATE ACCEPTED ON ALL WORK UNLESS OTHERWISE SPECIFIED.
 - ANY SITE PLAN OR GRADING AND SERVICES SHOWN IS FOR INFORMATION ONLY. REFER TO APPROVED DRAWINGS.
 - NOT FOR CONSTRUCTION UNLESS STAMPED, SIGNED AND DATED BY LANDSCAPE ARCHITECT.
 - DRAWINGS NOT TO BE REPRODUCED WITHOUT WRITTEN CONSENT FROM LANDSCAPE ARCHITECT.
 - APPROVAL OF LANDSCAPE PLAN TO BE OBTAINED FROM MUNICIPALITY.
 - FOR GRADING AND SERVICES INFORMATION REFER TO THE ENGINEER'S DRAWINGS.
 - FOR LIGHTING INFORMATION AND POWER DISTRIBUTION REFER TO THE ELECTRICAL DRAWINGS.

CLIENT
WEST WATERDOWN INDUSTRIAL LLP
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Arcadis Professional Services (Canada) Inc.
Formerly IBI Group Professional Services (Canada) Inc.

ISSUES		
No.	DESCRIPTION	DATE
1	ISSUED FOR SPA	2024-01-18
2	SECOND SITE PLAN SUBMISSION	2024-04-04
3	THIRD SITE PLAN SUBMISSION	2024-05-31

CONSULTANTS		
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NOT FOR CONSTRUCTION

SEAL

PROPOSED PLANTING SCHEDULE

KEY	BOTANICAL NAME	COMMON NAME	CAL.	COND.	MATURE HEIGHT (m)	MATURE SPREAD (m)	O.C. SPACING (m)	QNTY.	%	
DECIDUOUS TREES										
AA	Acer rubrum 'Armstrong'	Armstrong Maple	50mm	W.B.	16.0	7.0	8.0	1	1.80%	
AR	Acer rubrum	Red Maple		#10 cont.	15.0	12.0	10.0	5	8.90%	
BP	Betula papyrifera	Paper Birch		#15 cont.	16.0	12.0	10.0	6	10.60%	
CC	Cercis canadensis	Eastern Redbud	50mm	W.B.	10.0	8.0	8.0	2	3.60%	
CO	Celtis occidentalis	Common Hackberry	50mm	W.B.	18.0	16.0	10.0	2	3.60%	
GT	Gleditsia tricanthos var. inermis	Thornless Honeylocust	50mm	W.B.	18.0	13.0	10.0	3	5.40%	
PG	Picea glauca	White Spruce	200cm	W.B.	25.0	8.0	8.0	9	16.10%	
PP	Picea pungens	Colorado Blue Spruce	200cm	W.B.	18.0	6.0	8.0	4	7.10%	
PV	Prunus virginiana	Chokecherry	50mm	W.B.	7.0	6.0	8.0	2	3.60%	
QM	Quercus macrocarpa	Burr Oak	50mm	W.B.	22.0	18.0	10.0	3	5.40%	
TA	Tilia americana	Boulevard Linden	50mm	W.B.	25.0	15.0	10.0	6	10.60%	
TO	Thuja occidentalis	White Cedar	200cm	W.B.	12.0	4.0	8.0	10	17.90%	
UH	Ulmus x 'Homestead'	Homestead Elm	50mm	W.B.	18.0	12.0	10.0	3	5.40%	
								TOTAL	56	100%
SHRUBS										
Al	Aamelanchier laevis	Allegheny Serviceberry		#1 cont.	5.0	5.0	3.0	4		
Ca	Ceanothus americanus	New Jersey Tea		#1 cont.	1.25	1.25	3.0	21		
Cm	Crataegus mollis	Downy Hawthorn		#1 cont.	12.0	8.0	3.0	5		
Cr	Cornus racemosa	Grey Dogwood		#1 cont.	4.0	4.0	4.0	9		
Cs	Cornus sericea	Red Osier Dogwood		#1 cont.	2.0	2.5	3.0	8		
Ha	Hydrangea arborescens 'Annabelle'	Annabelle Hydrangea		#1 cont.	1.5	1.5	1.5	17		
Mp	Myrica pensylvanica	Bayberry		#1 cont.	2.0	2.0	2.0	5		
Po	Physocarpus opulifolius	Common Ninebark		#1 cont.	2.0	2.0	2.0	36		
Ra	Rhus aromatica	Fragrant Sumac		#1 cont.	1.5	2.0	3.0	4		
Rc	Rosa carolina	Pasture Rose		#1 cont.	1.75	1.75	3.0	58		
To	Thuja occidentalis 'Sunkist'	Sunkist Cedar		#1 cont.	2.5	1.5	1.5	29		
								TOTAL	196	

PERENNIALS/ORNAMENTAL GRASSES

an	Aster novae-angliae	New England Aster	#1 cont.	1.25	0.6	0.6	18	
ca	Calamagrostis acutiflora Karl Foerster'	Feather Reed Grass	#1 cont.	1.5	0.8	0.8	32	
ec	Elymus canadensis	Canada Wild Rye	#1 cont.	1.5	0.9	0.9	64	
ep	Echinacea purpurea	Purple Coneflower	#1 cont.	1.2	0.6	0.6	117	
fb	Hemerocallis 'Big Time Happy'	Daylily	#1 cont.	0.45	0.5	0.5	70	
fc	Hemerocallis 'Children's Festival'	Daylily	#1 cont.	0.55	0.5	0.5	70	
hm	Heuchera micrantha 'Palace Purple'	Coral Bells	#1 cont.	0.3	0.45	0.45	30	
ms	Miscanthus sinensis 'Kleine Fontaine'	Chinese Silver Grass	#1 cont.	1.5	1.25	1.25	46	
pa	Pennisetum alopecuroides 'Prairie Winds'	Desert Plains Fountain Grass	#1 cont.	0.9	0.6	0.6	23	
ph	Pennisetum alopecuroides 'Hameln'	Dwarf Fountain Grass	#1 cont.	0.9	0.6	0.6	127	
pv	Panicum virgatum 'Prairie Fire'	Prairie Fire Switch Grass	#1 cont.	1.5	0.8	0.8	64	
ss	Sedum spectabile 'Autumn Fire'	Stoncrop	#1 cont.	0.9	0.6	0.6	14	
TOTAL								675

SEED MIX A:
CONTRACTOR TO SOW NURSE CROP AVENA SATIVA OVER ENTIRE AREA TO BE SEED AT A RATE OF 25kg/HECTARE.
UPLAND DRY MEADOW MIX BY CONSERVATION HALTON. TO BE SEED AT A RATE OF 25KG PER HA. SEED MIX TO INCLUDE:
Black Eyed Susan (Rudbeckia hirta) 15%
Big Bluestem (Andropogon gerardi) 30%
Blue Wood Aster (Symphyotrichum cordifolius) 1%
Canada Goldenrod (Solidago canadensis) 2%
Canada Anemone (Anemone canadensis) 1%
Common Milkweed (Asclepias syriaca) 5%
Evening Primrose (Oenothera biennis) 2%
Grass Leaved Goldenrod (Euthamia graminifolia) 1%
Little Blue Stem (Schizachyrium scoparium) 20%
Meadow/Open Field Sage (Carex granularis) 12%
New England Aster (Aster novae-angliae) 1%
Virginia Bower (Clematis virginiana) 5%
Wild Bergamot (Monarda fistulosa) 5%

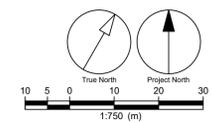
NATIVE SEED MIXES DO BEST WHEN PLANTED IN THE FALL, BETWEEN OCTOBER 15TH AND NOVEMBER 15TH. LATE FALL SOWINGS ADDITIONALLY STRATIFY THE SEED. AN EARLY SPRING SOWING IN APRIL WILL WORK BUT NOT AS EFFECTIVELY. IF IDEAL GROWING SEASONS ARE UNAVAILABLE, THE SEED MAY GO DORMANT AND NOT GERMINATE UNTIL SPRING THE FOLLOWING YEAR.

SUBSTITUTIONS MAY BE MADE WITH NATIVE SPECIES ONLY. SUBSTITUTIONS MUST BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.

SEED MIX B:
CONTRACTOR TO SOW NURSE CROP AVENA SATIVA OVER ENTIRE AREA TO BE SEED AT A RATE OF 25kg/HECTARE.
MEADOW MARSH MIX BY CONSERVATION HALTON. TO BE SEED AT A RATE OF 25KG PER HA. SEED MIX TO INCLUDE:
Bebb's Sedge (Carex bebbii) 1%
Blue Lobelia (Lobelia siphilitica) 1%
Blue Vervain (Verbena hastata) 15%
Boneset (Eupatorium perfoliatum) 2%
Dark Green Burdock (Scirpus atrovirens) 5%
Fox Sedge (Carex vulpudina) 25%
Grass Leaved Goldenrod (Euthamia graminifolia) 1%
Meadow/Open Field Sage (Carex granularis) 10%
Purple Stemmed Aster (Symphyotrichum punctatum) 1%
Soft Rush (Lonicera effusa) 5%
Spotted Joe Pye Weed (Eupatorium maculatum) 2%
Monkey Flower (Mimulus rigens) 1%
Stalk Grass Sedge (Carex scopae) 2%
Tall Manna Grass (Glyceria grandis) 2%
Woollgrass (Scirpus cyperinus) 2%
Fowl Bluegrass (Poa palustris) 25%

NATIVE SEED MIXES DO BEST WHEN PLANTED IN THE FALL, BETWEEN OCTOBER 15TH AND NOVEMBER 15TH. LATE FALL SOWINGS ADDITIONALLY STRATIFY THE SEED. AN EARLY SPRING SOWING IN APRIL WILL WORK BUT NOT AS EFFECTIVELY. IF IDEAL GROWING SEASONS ARE UNAVAILABLE, THE SEED MAY GO DORMANT AND NOT GERMINATE UNTIL SPRING THE FOLLOWING YEAR.

SUBSTITUTIONS MAY BE MADE WITH NATIVE SPECIES ONLY. SUBSTITUTIONS MUST BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.



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PROJECT MGR:
C.JANDU

CHECKED BY:
Z.BROWN
APPROVED BY:
Z.BROWN

SHEET TITLE
LANDSCAPE PLAN
SHEET NUMBER
L-1
ISSUE
3

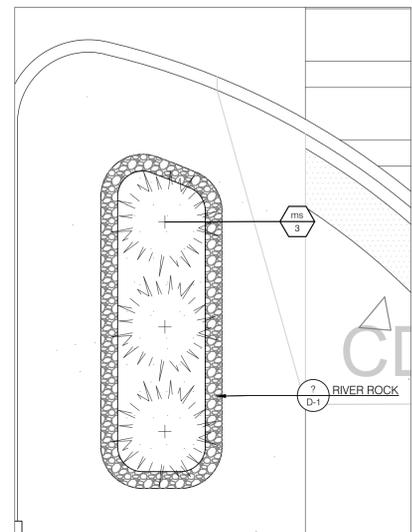
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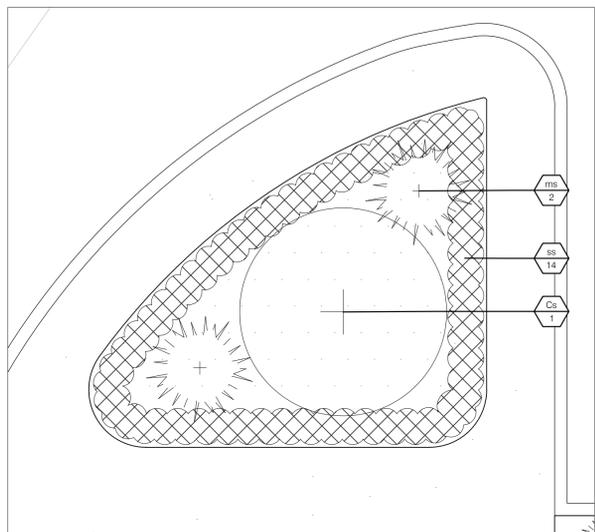
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ISSUES

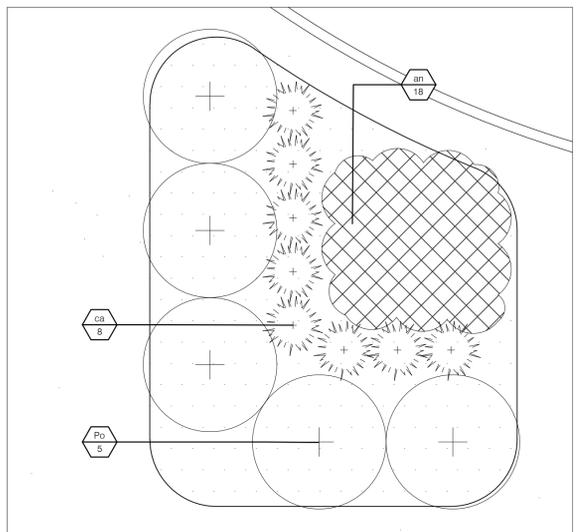
No.	DESCRIPTION	DATE
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2	SECOND SITE PLAN SUBMISSION	2024-04-04
3	THIRD SITE PLAN SUBMISSION	2024-05-31



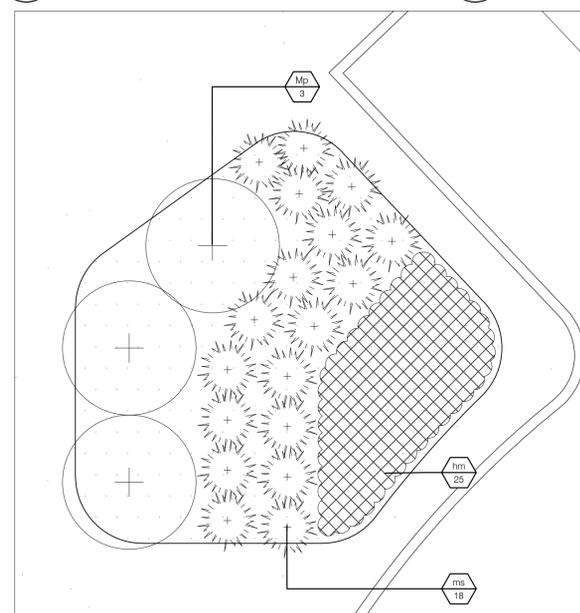
1 PLANTING BED A
 L-2 1:40



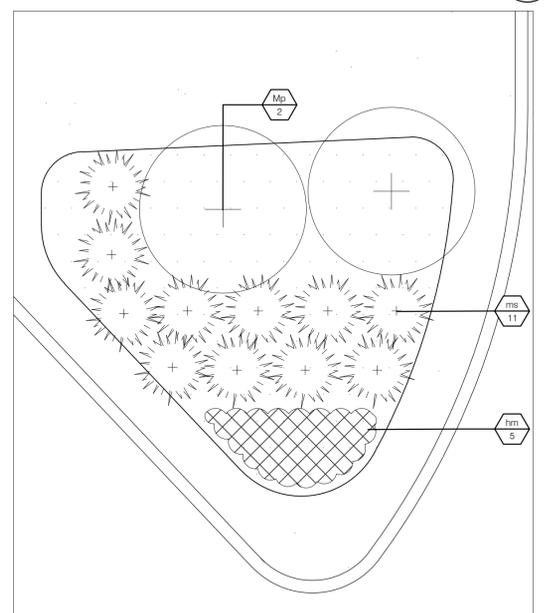
2 PLANTING BED B
 L-2 1:40



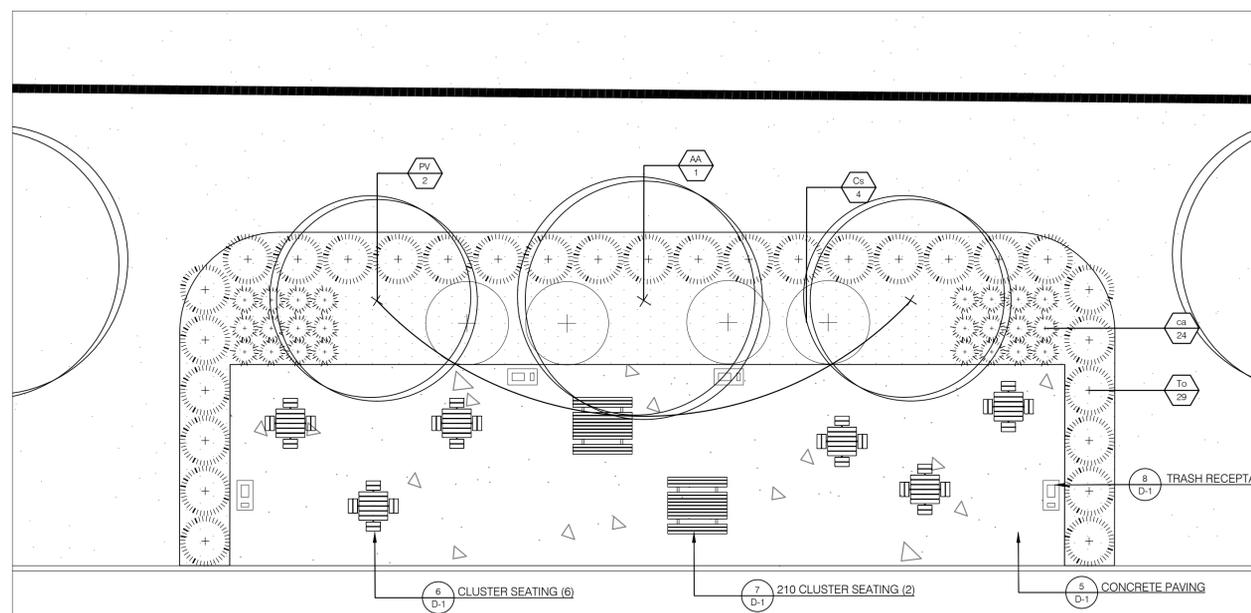
3 PLANTING BED C
 L-2 1:40



4 PLANTING BED D
 L-2 1:40



5 PLANTING BED E
 L-2 1:40



6 AMENITY AREA
 L-2 1:100



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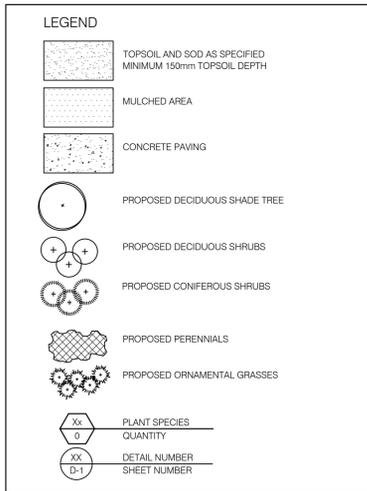
PROJECT NO: 140918
DRAWN BY: T.KEMP
CHECKED BY: Z.BROWN
PROJECT MGR: C.JANDU
APPROVED BY: Z.BROWN

SHEET TITLE
LANDSCAPE PLAN

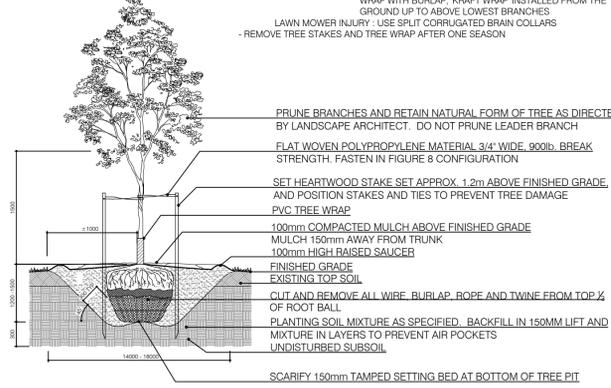
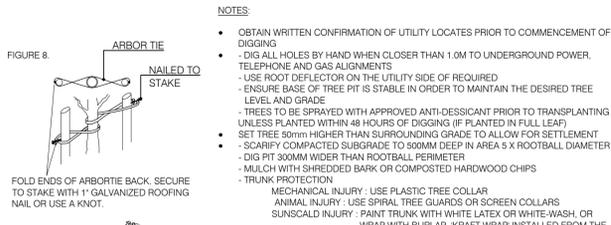
SHEET NUMBER L-2 **ISSUE** 3

L-2 PROPOSED PLANTING SCHEDULE

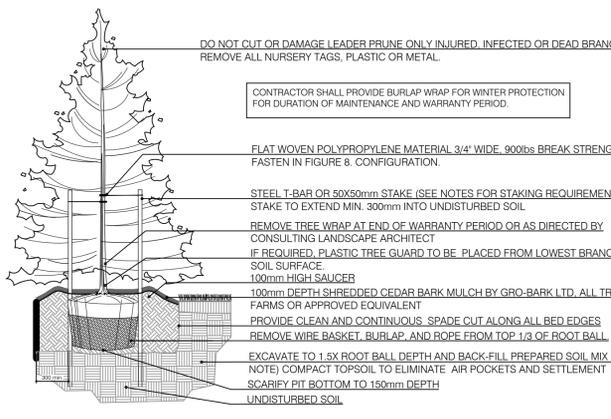
KEY	BOTANICAL NAME	COMMON NAME	CAL.	COND.	MATURE HEIGHT (m)	MATURE SPREAD (m)	O.C. SPACING (m)	QNTY.
DECIDUOUS TREES								
AA	Acer rubrum 'Armstrong'	Armstrong Maple	50mm	W.B.	16.0	7.0	8.0	1
PV	Prunus virginiana	Common Chokecherry	50mm	W.B.	7.0	6.0	8.0	2
TOTAL 3								
SHRUBS								
Cs	Cornus sericea	Red Osier Dogwood			#1 cont.	2.0	2.5	3.0
Mp	Myrica pensylvanica	Bayberry			#1 cont.	2.0	2.0	2.0
Po	Physocarpus opulifolius	Common Ninebark			#1 cont.	2.0	2.0	2.0
To	Thuja occidentalis 'Sunkist'	Sunkist Cedar			#1 cont.	2.5	1.5	1.5
TOTAL 44								
PERENNIALS/ORNAMENTAL GRASSES								
an	Aster novae-angliae	New England Aster			#1 cont.	1.25	0.6	0.6
ca	Calamagrostis acutiflora 'Karl Foerster'	Feather Reed Grass			#1 cont.	1.5	0.8	0.8
hm	Heuchera micrantha 'Palace Purple'	Coral Bells			#1 cont.	0.3	0.45	0.45
ms	Miscanthus sinensis 'Kleine Fontaine'	Chinese Silver Grass			#1 cont.	1.5	1.25	1.25
ss	Sedum spectabile 'Autumn Fire'	Stonewort			#1 cont.	0.9	0.6	0.6
TOTAL 128								



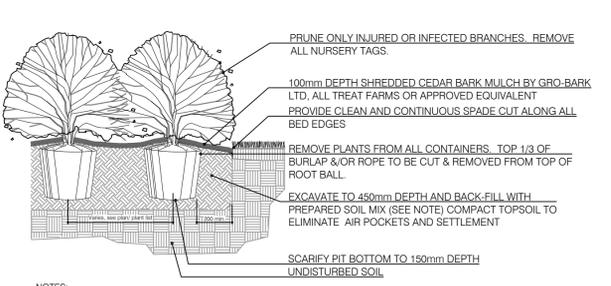
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 Plotted: Thursday, May 30, 2024, 7:05:44 PM by Taylor Kemp



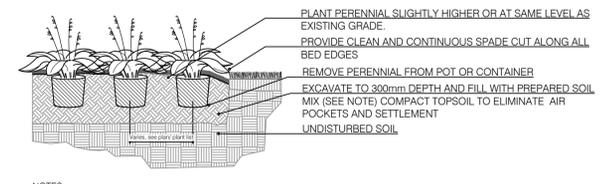
1 BALLED & BURLAPPED/WIRE BASKET DECIDUOUS TREE
D-1 N.T.S.



2 BALLED & BURLAPPED/WIRE BASKET CONIFEROUS TREE
D-1 N.T.S.

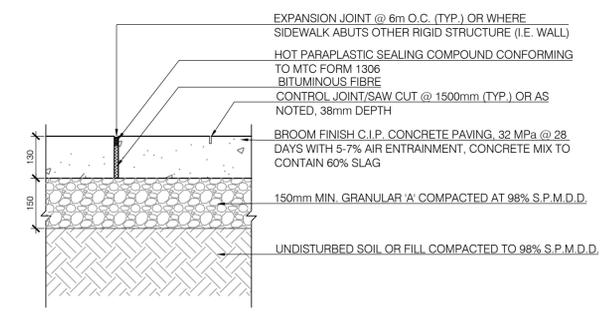


3 BALLED & BURLAPPED/POTTED SHRUB
D-1 N.T.S.

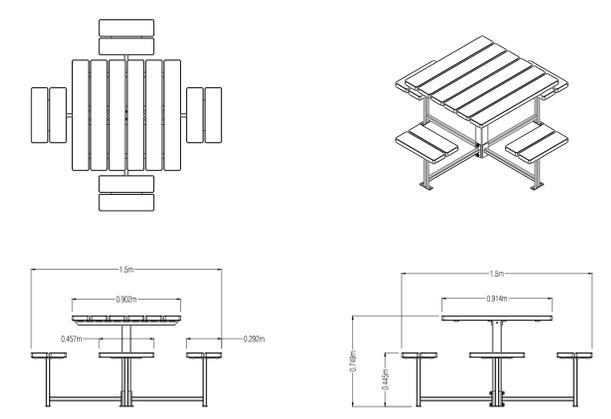


NOTES:
1. SOIL MIXTURE: FOUR (4) PARTS NATIVE SOIL ONE (1) PART WELL ROTTED COMPOST.
2. SAUCER SHALL BE SOAKED WITH WATER AND MULCHED IMMEDIATELY FOLLOWING PLANTING.
3. ALL DIMENSIONS ARE IN mm.
4. CUT AND REMOVE CONTAINER. SCARIFY ROOTBALL SIDES.
5. ALL PLANTS TO BE STRAIGHT AND PLANTED VERTICALLY REGARDLESS OF SLOPE.

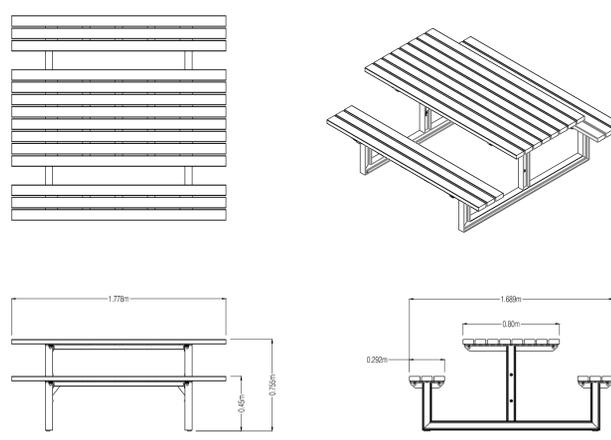
4 CONTAINER GROWN PERENNIAL/GRASS
D-1 N.T.S.



5 CONCRETE PAVING
D-1 N.T.S.



6 CLUSTER SEATING (MTB-0400-00011) SURFACE MOUNT, AS MANUFACTURED BY MAGLIN
D-1 N.T.S.



7 210 CLUSTER SEATING SURFACE MOUNT, AS MANUFACTURED BY MAGLIN
D-1 N.T.S.

LEXICON
MRR-1500-00012
Legacy #LXRC1502-48-MS-VGST-LD0-VGST-RS

DESCRIPTION: 1500 Series - Lexicon Recycle Receptacle: Steel Frame, Laser Cut and Formed Steel Side Panels, Metal Lids, Front Opening, 2 Streams, 1 x 32 and 1 x 16 Gallon Polyethylene Liners, Vinyl Graphics, Rain Shield

FINISH: All steel components are protected with E-Coat rust proofing. The Maglin Powdercoat System provides a durable finish on all metal surfaces.

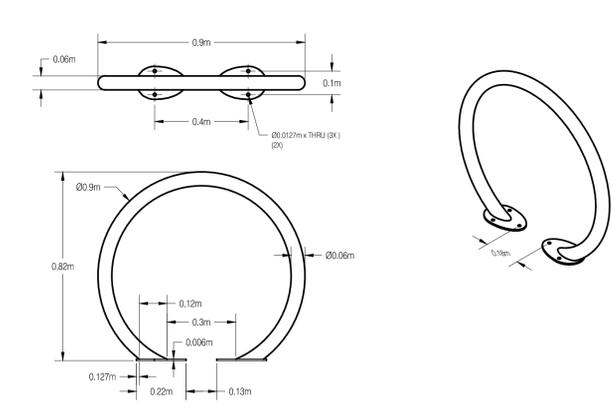
INSTALLATION: The trash/recycle unit is delivered pre-assembled. Holes (9/16") are provided in each mounting foot for securing to base.

TO SPECIFY: Select MRR-1500-00012
Choose:
- Powdercoat Color

HEIGHT: 47.5" (120.7cm) LENGTH: 35" (88.8cm) DEPTH: 19" (48.3cm) WEIGHT: 209.85lbs (95.2kg)

MAGLIN Site Furniture
T 800 716 9308
F 877 250 8353
www.maglin.com
sales@maglin.com

8 LEXICON TRASH RECEPTACLE (MRR-1500-00012) SURFACE MOUNT, AS MANUFACTURED BY MAGLIN
D-1 N.T.S.



9 HALO STAINLESS STEEL BIKE RACK, AS MANUFACTURED BY HAUSER SITE FURNITURE
D-1 N.T.S.

CLIENT
WEST WATERDOWN INDUSTRIAL LLP
5530 RUE MAURICE CULLEN, SUITE 1234, LAVAL, QC

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Arcadis Professional Services (Canada) Inc.
Formerly IBI Group Professional Services (Canada) Inc.

No.	DESCRIPTION	DATE
1	ISSUED FOR SPA	2024-01-18
2	SECOND SITE PLAN SUBMISSION	2024-04-04
3	THIRD SITE PLAN SUBMISSION	2024-05-31



CONSULTANTS
NOT FOR CONSTRUCTION

SEAL

PRIME CONSULTANT
ARCADIS
360 James Street North - Suite 200
Hamilton ON L8L 1H5 Canada
tel 905 546 1010
www.arcadis.com

PROJECT
INDUSTRIAL DEVELOPMENT
566 HIGHWAY 6, HAMILTON, ON

PROJECT NO:
140918
DRAWN BY:
T.KEMP
PROJECT MGR:
C.JANDU
CHECKED BY:
Z.BROWN
APPROVED BY:
Z.BROWN

SHEET TITLE
LANDSCAPE DETAILS

SHEET NUMBER
D-1
ISSUE
3



Chair and Members of Committee of Adjustment c/o Ms. Jamila Sheffield
 Committee of Adjustment
 City of Hamilton
 71 Main Street West – 5th Floor
 Hamilton ON, L8P 4Y5

Arcadis Professional Services
 (Canada) Inc.
 55 St. Clair Avenue West
 7th Floor Suite 200
 Hamilton, Ontario L8L 1H5
 Canada
 Phone: 905 546 1010
www.arcadis.com

Date: June 17, 2024

Our Ref: 140918

Subject: **APPLICATION FOR MINOR VARIANCE AT 566 HIGHWAY 6 IN THE CITY OF HAMILTON**

Dear Ms. Sheffield,

1.0 INTRODUCTION

Arcadis Professional Services (Canada) Inc. (“Arcadis”) is the authorized planning agent for West Waterdown Industrial LLP (the “client”), the owner of approximately 0.27 hectares of land located at 566 Highway 6 in the City of Hamilton (the “City”) (herein referred to as the “subject site”). As you may be aware, there is currently a Site Plan Approval application in process with the City for the subject site in which Conditional Site Plan approval was granted on March 13, 2024 (File: DA-24-007). The proposed development has been revised since the original Site Plan Submission on January 23, 2024, to reflect changes to the naturalized channel at the northeast corner of the site. The application was resubmitted on June 7, 2024.

The proposed development is to construct an industrial building with an approximate building area of 38,558.83 m² with 224 total parking spaces (65 trailer spaces and 4 barrier-free spaces) and 59 loading dock door spaces. Access is being proposed via 2 driveways near the terminus of the Medicorum Place cul-de-sac.

To permit the industrial building, an application for Minor Variance will be required to address requirements related to the maximum yard setbacks abutting a street. Through our analysis, it is our opinion that the variance meets the four tests outlined in Section 45 (1) of the *Planning Act*, RSO 1990, for the reasons outlined within our planning discussion in Section 4.0 below.

2.0 SITE LOCATION AND CONTEXT

The subject site is located northeast of Dundas Street East (Highway No. 5 West) and Highway No. 6 intersection (Clappison’s Corner), on the eastern side of Highway 6. It is generally rectangular in shape with an approximate area of 19.49 ac and a combined frontage of 179 m. The frontage is interrupted by the abutting residential parcel (570 Highway No. 6), which is developed with a 1-storey single detached residential dwelling.

The subject site has an approximate depth of 382 m. As seen in **Figure 1**, the subject site is currently vacant with vegetation comprised of former crop areas, strips of shrubs, and treed hedgerows along portions of the subject site’s boundary. The subject site is located in the community of Waterdown, in the north part of the City of Hamilton. The site is surrounded by existing industrial users within the Flamborough Industrial Park and the Flamborough Power Centre North with some rural residential uses located on Highway 6. The lands to the northwest are owned by the City of Hamilton and will be developed for future emergency services. Employment uses including Stryker Canada, Burlington Automation, and XYZ and WARDJET and commercial uses including Value Village and the

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 City of Hamilton
 June 17, 2024

Keg Steakhouse + Bar are located to the east of the site. Immediately to the southwest of the subject site is Highway 6.



Figure 1: Aerial image of subject site, retrieved from Google Maps

3.0 PROPOSED DEVELOPMENT

The proposed development has been revised since the original Site Plan Submission on January 23, 2024, to reflect changes to the naturalized channel at the northeast corner of the site. The proposed development is to construct an industrial building with an approximate building area of 38,558.83 m² with 224 total parking spaces (65 trailer spaces and 4 barrier-free spaces) and 59 loading dock door spaces. Access is being proposed via 2 driveways near the terminus of the Medicorum Place cul-de-sac. Please refer to **Figure 2** for a reduced version of the Site Plan prepared by Baldassarra Architects.

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 City of Hamilton
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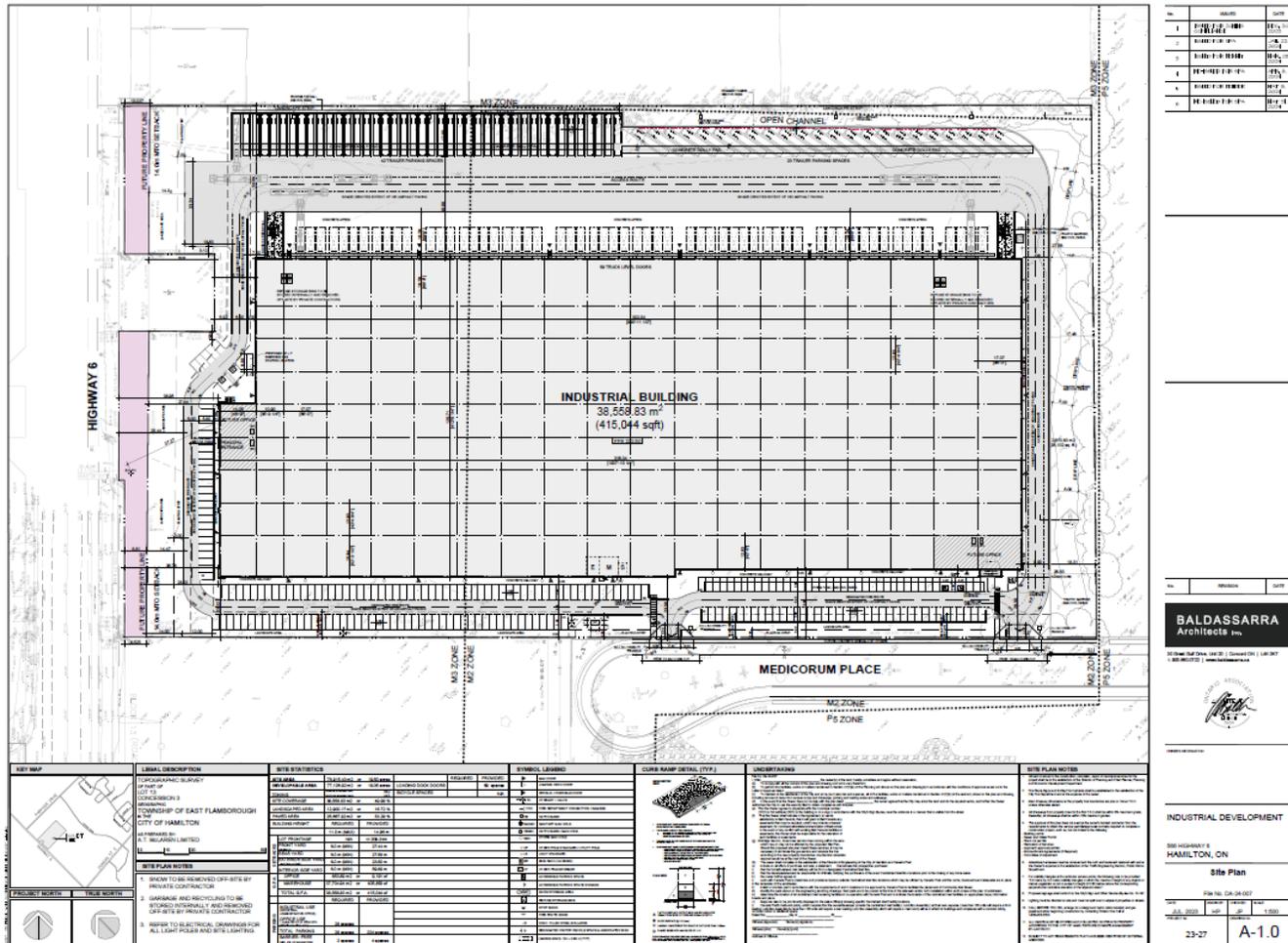


Figure 2: Site Plan prepared by Baldassarra Architects

4.0 PROPOSED MINOR VARIANCES

As per Schedule E-1 (Urban Land Use Designations) of the Urban Hamilton Official Plan (“UHOP”), the subject site is located within the Employment Area and is designated ‘Business Park’. The subject site is zoned ‘General Business Park’ (M2) and ‘Prestige Business Park’ (M3) as per the City of Hamilton Zoning By-law 05-200 (the “Zoning By-law”). The revised Site Plan was reviewed against the Zoning Compliance Review which was completed on January 16, 2024. The variance being applied for, made under Section 45 (1) of the *Planning Act*, is as follows:

Variance 1: A maximum setback of 41.88 m abutting Highway 6 shall be provided, whereas Section 9.3.3b) of the Zoning By-law requires a maximum 27.0 m setback from a street to be provided for the entire site/building.

Planning Act Section 45 (1) Compliance

Section 45 (1) of the Planning Act permits the Committee of Adjustment to grant Minor Variances from the Zoning By-law provided that they meet what is known at the four (4) tests. The four tests are:

Chair and Members of Committee of Adjustment c/o Ms. Jamila Sheffield
 City of Hamilton
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1. Is the variance minor in nature?
2. Is the variance desirable and appropriate?
3. Does the variance maintain the general intent and purpose of the Official Plan? and,
4. Does the variance maintain the general intent and purpose of the Zoning By-law?

The following will provide an analysis of the proposed variance against the four tests.

4.1 Variance 2: Maximum Setback Abutting a Street

The proposed development would require a variance to permit a maximum setback of 41.88 m abutting Highway 6, whereas the Zoning By-law requires a maximum 27.0 m setback from a street to be provided for the entire site/building.

1. Is the variance minor in nature?

The determination of whether this variance can be considered minor is based on the overall impact an increase in the maximum setback abutting Highway 6 would have on the surrounding properties and the neighbourhood context. The lands to the northwest is owned by the City of Hamilton and will be developed for future emergency services whereas the lands to the southeast contain a stormwater management pond and industrial lands. As outlined above, the lands to the southwest side of 566 Highway 6 are low density residential uses and there is an existing residential dwelling between Highway 6 and the proposed development (i.e. which was acquired by MTO this past January and is not part of this development). The residential uses are appropriately setback from the building due to Highway 6, the lands expropriated by MTO, the 14 m MTO setback, and the 3 m planting strip.

From Highway 6, the closest part of the building is setback 27.44 m and the farthest portion of the building is setback 41.88 m due to the bend in the road to circumvent the existing residential dwelling. Notably, there is a 15.70 m setback from the residential dwelling to the building. Approximately 77% of the building remains generally in conformity with the 27 m maximum setback except for about 23% of the building being located farther as the designated fire route, 9 m servicing easement, 6 m circulation road, parking spaces, and 2 m concrete walkway for pedestrian access must be accommodated. As such, the increased maximum setback would not result in adverse impacts to the surrounding uses.

2. Is the variance desirable and appropriate?

The requested variance is necessary to permit the most effective design and situation of the proposed development within the subject site. It is appropriate to circumvent the existing residential property located along Highway 6 which is not part of this development as well as to facilitate the road circulation along Highway 6. The variance is required to accommodate the 14 m MTO setback, the 3 m planting strip, the designated fire route, 9 m servicing easement, parking spaces, and 2 m concrete walkway. Overall, the proposed development as a whole represents appropriate and desirable development, given its contribution to employment uses within the immediate area.

3. Does the variance maintain the general intent and purpose of the Official Plan? and,

As outlined above, the subject site is located within the Employment Area and is designated 'Business Park'. In regard to the goals of the Employment Area Designations, the requested variance supports the proposed development which will contribute to the supply of zoned and serviced employment lands to help meet the City's projected employment growth forecast. Furthermore, the UHOP states that "Business Parks are planned for a broad range of employment uses compatible with the design policies for business parks. These areas are well served by roadway infrastructure and are generally more able to accommodate proper buffering from sensitive land uses". The requested variance will permit the proposed industrial building which is a permitted use within the designation

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City of Hamilton
June 17, 2024

and will contribute to the range of employment uses within the area. Moreover, the requested variance will not result in any adverse impacts to the adjacent properties or surrounding neighbourhood as outlined above.

4. Does the variance maintain the general intent and purpose of the Zoning By-law?

The subject site is zoned General Business Park (M2) and Prestige Business Park (M3). The intent and purpose of the maximum setback abutting a street is to ensure compatibility between existing and future uses and to reduce adverse impacts to surrounding properties. As outlined above, the variance would not result in adverse impacts to the surrounding uses.

5.0 PLANNING CONCLUSION

Based on our analysis above, it is our opinion that the above variance is minor in nature, is desirable and appropriate for the efficient use of the property, and continues to maintain the general intent of the Official Plan and Zoning By-law. The overall proposed development utilizes vacant lands within the urban boundary of the City and will contribute to the City's projected employment growth forecast which is desirable and appropriate. As such, we are of the opinion that the variance should be approved by the Committee of Adjustment as the proposal meets the objectives of the City and represents good planning that is in the public's interest.

In support of the application, please find enclosed the following:

- One (1) completed and signed copy of the Minor Variance Application Form;
- One (1) copy of the Architectural Set prepared by Baldassarra Architects;
- One (1) copy of the Landscape Plan prepared by Arcadis;
- One (1) cheque in the amount of \$3,900.00 made payable to the City of Hamilton; and,
- One (1) cheque in the amount of \$1,489.34 made payable to the Hamilton Conservation Authority.

We trust the enclosed is in order, however, should you have any questions or require any additional information, please do not hesitate to contact the undersigned.

Sincerely,
Arcadis Professional Services (Canada) Inc.



Carmen Jandu MCIP RPP
Associate – Senior Planner



Isabelle Ilagan
Planner

Email: carmen.jandu@arcadis.com
Direct Line: 905 546 1010 ext 63106
Mobile: 416 938 3838

CC. Doug Tam, via email
Danny Ash, via email



Hamilton

Phone: (905) 546-2424 ext. 4221
 Email: cofa@hamilton.ca

APPLICATION FOR A MINOR VARIANCE/PERMISSION
 UNDER SECTION 45 OF THE *PLANNING ACT*

1. APPLICANT INFORMATION

	NAME
Registered Owners(s)	West Waterdown Industrial
Applicant(s)	Same as Agent below
Agent or Solicitor	Arcadis Professional Services (Canada) Inc. (Arcadis) c/o Isabelle Ilagan

1.2 Primary contact Applicant Owner Agent/Solicitor

1.3 Sign should be sent to Applicant Owner Agent/Solicitor

1.4 Request for digital copy of sign Yes* No

If YES, provide email address where sign is to be sent

1.5 All correspondence may be sent by email Yes* No

If Yes, a valid email must be included for the registered owner(s) AND the Applicant/Agent (if applicable). Only one email address submitted will result in the voiding of this service. This request does not guarantee all correspondence will sent by email.

1.6 Payment type In person Credit over phone* Cheque

*Must provide number above

2. LOCATION OF SUBJECT LAND

2.1 Complete the applicable sections:

Municipal Address	566 Highway 6		
Assessment Roll Number			
Former Municipality	Flamborough		
Lot	13	Concession	3
Registered Plan Number		Lot(s)	
Reference Plan Number (s)	62R17284	Part(s)	SAVE/EXCEPT PARTS

2.2 Are there any easements or restrictive covenants affecting the subject land?

Yes No

If YES, describe the easement or covenant and its effect:

3. PURPOSE OF THE APPLICATION

Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled

All dimensions in the application form are to be provided in metric units (millimetres, metres, hectares, etc.)

3.1 Nature and extent of relief applied for:

Please refer to Cover Letter.

Second Dwelling Unit Reconstruction of Existing Dwelling

3.2 Why it is not possible to comply with the provisions of the By-law?

Please refer to Cover Letter.

3.3 Is this an application 45(2) of the Planning Act.

Yes No

If yes, please provide an explanation:

4. DESCRIPTION OF SUBJECT LAND AND SERVICING INFORMATION

4.1 Dimensions of Subject Lands:

Lot Frontage	Lot Depth	Lot Area	Width of Street
±179 m (along Highway No. 6)	±382 m (from Highway No. 6 to the rear of the property)	±7.89 ha (19.49 acres)	± 17 m

4.2 Location of all buildings and structures on or proposed for the subject lands:
(Specify distance from side, rear and front lot lines)

Existing:

Type of Structure	Front Yard Setback	Rear Yard Setback	Side Yard Setbacks	Date of Construction
Vacant				

Proposed:

Type of Structure	Front Yard Setback	Rear Yard Setback	Side Yard Setbacks	Date of Construction
Spec build industrial	6.0m - 41.88m	6.0m - 27.58m	6.0m - 23.5m (ext) &	

4.3 Particulars of all buildings and structures on or proposed for the subject lands (attach additional sheets if necessary):

Existing:

Type of Structure	Ground Floor Area	Gross Floor Area	Number of Storeys	Height
Vacant				

Proposed:

Type of Structure	Ground Floor Area	Gross Floor Area	Number of Storeys	Height
Spec build industrial	38,558.83m ²	77,117.66m ²	2	14.965m

- 4.4 Type of water supply: (check appropriate box)
 publicly owned and operated piped water system
 privately owned and operated individual well

- lake or other water body
 other means (specify)

- 4.5 Type of storm drainage: (check appropriate boxes)
 publicly owned and operated storm sewers
 swales

- ditches
 other means (specify)

4.6 Type of sewage disposal proposed: (check appropriate box)

- publicly owned and operated sanitary sewage
 system privately owned and operated individual
 septic system other means (specify) _____

4.7 Type of access: (check appropriate box)

- provincial highway right of way
 municipal road, seasonally maintained other public road
 municipal road, maintained all year _____

4.8 Proposed use(s) of the subject property (single detached dwelling duplex, retail, factory etc.):
 Spec build industrial building

4.9 Existing uses of abutting properties (single detached dwelling duplex, retail, factory etc.):
 Open space, business park uses, single detached dwellings

7 HISTORY OF THE SUBJECT LAND

7.1 Date of acquisition of subject lands:
 2021

7.2 Previous use(s) of the subject property: (single detached dwelling duplex, retail, factory etc)
 Vacant

7.3 Existing use(s) of the subject property: (single detached dwelling duplex, retail, factory etc)
 Vacant

7.4 Length of time the existing uses of the subject property have continued:
 N/A

7.5 What is the existing official plan designation of the subject land?

Rural Hamilton Official Plan designation (if applicable): _____

Rural Settlement Area: _____

Urban Hamilton Official Plan designation (if applicable) Employment Area: Business Park

Please provide an explanation of how the application conforms with the Official Plan.
 Please refer to Cover Letter.

7.6 What is the existing zoning of the subject land? General Business Park (M2) Zone
Prestige Business Park (M3) Zone

7.8 Has the owner previously applied for relief in respect of the subject property?
 (Zoning By-law Amendment or Minor Variance)

- Yes No

If yes, please provide the file number: _____

7.9 Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?

Yes

No

If yes, please provide the file number: _____

8 ADDITIONAL INFORMATION

8.1 Number of Dwelling Units Existing: 0

8.2 Number of Dwelling Units Proposed: 0

8.3 Additional Information (please include separate sheet if needed):

11 COMPLETE APPLICATION REQUIREMENTS

11.1 All Applications

- Application Fee
- Site Sketch
- Complete Application form
- Signatures Sheet

11.4 Other Information Deemed Necessary

- Cover Letter/Planning Justification Report
 - Authorization from Council or Director of Planning and Chief Planner to submit application for Minor Variance
 - Minimum Distance Separation Formulae (data sheet available upon request)
 - Hydrogeological Assessment
 - Septic Assessment
 - Archeological Assessment
 - Noise Study
 - Parking Study
-
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