



City of Hamilton
HAMILTON MUNICIPAL HERITAGE COMMITTEE
AGENDA

Meeting #: 25-005
Date: April 25, 2025
Time: 12:00 p.m.
Location: Room 264, 2nd Floor, City Hall (hybrid) (RM)
71 Main Street West

Matt Gauthier, Legislative Coordinator (905) 546-2424 ext. 6437

1. CALL TO ORDER

2. CEREMONIAL ACTIVITIES

3. APPROVAL OF AGENDA

(Added Items, if applicable, will be noted with *)

4. DECLARATIONS OF INTEREST

5. APPROVAL OF MINUTES OF PREVIOUS MEETING

5.1 HMHC 25-003 - No Quorum

Hamilton Municipal Heritage Committee No Quorum Minutes from the meeting held on March 28, 2025

5.2 HMHC 25-004

Hamilton Municipal Heritage Committee Minutes from the meeting held on April 4, 2025

6. DELEGATIONS

6.1 Dr. Richard Douglass-Chin, Afro Canadian Caribbean Association, respecting the Importance to Hamilton-Dundas history of commemorating Sophia Pooley in the 2 Hatt Street Heritage Designation

7. ITEMS FOR INFORMATION

7.1 Education & Communication Working Group Meeting Notes - March 6, 2025

7.2 PED25140

Delegated Approvals Respecting Heritage Permit Applications: HP2025-008, HP2025-010, and HP2025-011 (Wards 2, 3 and 12)

7.3 PED25126

Notice of By-law Passing to Designate Properties in Dundas under Part IV of the *Ontario Heritage Act* (Ward 13)

8. ITEMS FOR CONSIDERATION

8.1 PED25107

Recommendation to Designate 2 Hatt Street, Dundas under Part IV of the *Ontario Heritage Act* (Ward 13)

This item will be preceded by a staff presentation.

8.2 PED25071

Recommendation to Designate 252 Caroline Street South, Hamilton (Central Presbyterian Church), under Part IV of the *Ontario Heritage Act* (Ward 2)

This item will be preceded by a staff presentation.

8.3 PED25102

Recommendation to Designate 54 King Street East, Hamilton, (Former Bank of Nova Scotia) under Part IV of the *Ontario Heritage Act* (Ward 2)

This item will be preceded by a staff presentation.

8.4 PED25127

Notice of Intention to Demolish the Building Located at 96 John Street South, Hamilton, being a Non-Designated Property Listed on the Municipal Heritage Register (Ward 2)

8.5 PED25139

Notice of Intention to Demolish the Building Located at 39 Wilson Street, Hamilton, being a Non-Designated Property Listed on the Municipal Heritage Register (Ward 2)

Members of the public can contact the Clerk's Office to acquire the documents considered at this meeting, in an alternate format.

9. MOTIONS

10. NOTICE OF MOTIONS

11. GENERAL INFORMATION / OTHER BUSINESS

11.1 Verbal Update respecting the Status of 86 Homewood Avenue, Hamilton
(Outstanding Business List Item) (no copy)

11.2 Heritage Buildings and Landscapes Watch List

This list is determined by members of the Hamilton Municipal Heritage Committee. Members provide informal updates to the properties on this list, based on their visual assessments of the properties, or information they have gleaned from other sources, such as new articles and updates from other heritage groups.

Heritage Status: (I) Inventoried, (R) Registered, (D) Designated, (NHS) National Historic Site, (NOID) Notice of Intention to Designate

a. Endangered Buildings and Landscapes (RED)

(Red = Properties where there is a perceived immediate threat to heritage resources through: demolition; neglect; vacancy; alterations, and/or, redevelopment)

Ancaster

- (1) 372 Butter Road West, Andrew Sloss House (D) – S. Spolnik
- (2) 1021 Garner Road East, Lampman House (D) – S. Spolnik
- (3) 398 Wilson Street East, Marr House (D) – S. Spolnik

Dundas

- (4) 2 Hatt Street (R) – K. Burke
- (5) 216 Hatt Street (I) – K. Burke
- (6) 215 King Street West (R) – K. Burke
- (7) 219 King Street West (R) – K. Burke

Glanbrook

- (8) 2235 Upper James Street (R) – G. Carroll

Hamilton

- (9) 80-92 Barton Street East, Former Hanrahan Hotel (R) – S. Spolnik
- (10) 1155-1157 Beach Boulevard, Beach Canal Lighthouse and Cottage (D) – A. Denham-Robinson

Members of the public can contact the Clerk's Office to acquire the documents considered at this meeting, in an alternate format.

- (11) 66-68 Charlton Avenue West (D) – C. Kroetsch
- (12) 71 Claremont Drive, Auchmar Gate House / Claremont Lodge (R) – G. Carroll
- (13) 711 Concession Street, Former Mount Hamilton Hospital, 1932 Wing (R) – G. Carroll
- (14) 127 Hughson Street North, Firth Brothers Building (D) – C. Kroetsch
- (15) 163 Jackson Street West, Pinehurst / Television City (D) – C. Kroetsch
- (16) 108 James Street North, Tivoli (D) – C. Kroetsch
- (17) 98 James Street South, Former James Street Baptist Church (D) – C. Kroetsch
- (18) 378 Main Street East, Cathedral Boys School (R) – S. Spolnik
- (19) 679 Main Street East / 85 Holton Street South, Former St. Giles Church (I) – G. Carroll
- (20) 120 Park Street North (R) – C. Kroetsch
- (21) 828 Sanatorium Road, Long and Bisby Building (D) – G. Carroll
- (22) 100 West 5th Street, Century Manor (D) – G. Carroll

b. Buildings and Landscapes of Interest (YELLOW)

(Yellow = Properties that are undergoing some type of change, such as a change in ownership or use, but are not perceived as being immediately threatened)

Dundas

- (1) 64 Hatt Street, Former Valley City Manufacturing (D) – K. Burke
- (2) 24 King Street West, Former Majestic Theatre (I) – K. Burke
- (3) 3 Main Street, Former Masonic Lodge (D) – K. Burke
- (4) 23 Melville Street, Knox Presbyterian Church (D) – K. Burke
- (5) 574 Northcliffe Avenue, St. Joseph's Motherhouse (R) – L. Lunsted

Flamborough

- (6) 283 Brock Road, WF Township Hall (D) – L. Lunsted
- (7) 62 6th Concession East, Hewick House (I) – L. Lunsted

Hamilton

- (8) 1 Balfour Drive, Chedoke Estate / Balfour House, (R) – G. Carroll
- (9) 134 Cannon Street East, Cannon Knitting Mill (D) – C. Kroetsch
- (10) 52 Charlton Avenue West, Former Charlton Hall (D) – C. Kroetsch
- (11) 2 Dartnall Road, Rymal Road Station Silos (D) – G. Carroll
- (12) 54-56 Hess Street South (D) – C. Kroetsch
- (13) 1284 Main Street East, Delta High School (D) – G. Carroll
- (14) 311 Rymal Road East (R) – G. Carroll
- (15) St. Clair Boulevard Heritage Conservation District (D) – G. Carroll

Members of the public can contact the Clerk's Office to acquire the documents considered at this meeting, in an alternate format.

- (16) 56 York Boulevard / 63-76 MacNab Street North, Coppely Building (D) – G. Carroll
- (17) 84 York Boulevard, Philpott Church (NOID) – G. Carroll
- (18) 175 Lawrence Road, Hamilton Pressed / Century Brick (R) – G. Carroll
- (19) 65 Charlton Avenue East, Church of Ascension (D, NHS), Hamilton – G. Carroll
- (20) 4 Turner Avenue, Hamilton (R) – C. Kroetsch
- (21) 420 King St E, St. Patrick Roman Catholic Church (I) – S. Spolnik
- (22) 206-210 King Street East, Former Bremner Grocery (I) – G. Carroll
- (23) 1269 Mohawk Road, Ancaster (R) – G. Carroll
- (24) 657 King Street East, Hamilton (R) – G. Carroll
- (25) 665-667 King Street East, Hamilton (R) – G. Carroll
- (26) 90 Markland, Hamilton (D) – C. Kroetsch
- (27) 231 Bay St. N. (Gallery on the Bay/Hamilton Bridge Works Company Office) (I) – C. Kroetsch
- (28) 29 Harriet Street (Felton Brush Company) (I) – C. Kroetsch
- (29) 33 Bowen Street (Bradley Stable, Court House Hotel Stable) (R) – C. Kroetsch
- (30) 200 Main Street East, First Pilgrim United Church (R) - C. Kroetsch

Stoney Creek

- (31) 2251 Rymal Road East, Former Elfrida Church (R) – G. Carroll

c. Heritage Properties Update (GREEN)

(Green = Properties whose status is stable)

Dundas

- (1) 104 King Street West, Former Post Office (R) – K. Burke

Hamilton

- (2) 46 Forest Avenue, Rastrick House (D) – G. Carroll
- (3) 88 Fennell Avenue West, Auchmar (D) – A. Douglas
- (4) 125 King Street East, Norwich Apartments (R) – C. Kroetsch
- (5) 206 Main Street West, Arlo House (R) – C. Kroetsch
- (6) 50-54 Sanders Boulevard, Binkley Property (R) – K. Burke

d. Heritage Properties Update (BLACK)

(Black = Properties that HMHC have no control over and may be demolished)

Ancaster

(1) 442, 450 and 452 Wilson Street East (R) – S. Spolnik

12. ADJOURNMENT



HAMILTON MUNICIPAL HERITAGE COMMITTEE MINUTES HMHC 25-003

12:00 p.m.

March 28, 2025

Room 264, 2nd Floor (Hybrid)
Hamilton City Hall
71 Main Street West

Present: A. Denham-Robinson (Chair), G. Carroll (Vice-Chair), L. Lunsted
and A. MacLaren

**Absent with
Regrets:** Councillor C. Kroetsch
K. Burke, A. Douglas and S. Spolnik

Pursuant to Section 5.4(6) of the City of Hamilton's Procedural By-law 21- 021, as amended, at 12:15 p.m. the Legislative Coordinator to the Committee advised those in attendance that quorum had not been achieved within 15 minutes after the time set for the Hamilton Municipal Heritage Committee, therefore, the Legislative Coordinator to the Committee noted the names of those in attendance.

Pursuant to Sections 5.4(8) and (9) of the City of Hamilton's Procedural By-law 21-021, as amended, the Chair decided to proceed informally to hear the scheduled presentations and allowed those in attendance to discuss items of interest.

The meeting stood adjourned at 12:15 p.m.

Respectfully submitted,

Matt Gauthier
Legislative Coordinator
Office of the City Clerk



HAMILTON MUNICIPAL HERITAGE COMMITTEE MINUTES HMHC 25-004

9:30 a.m.

April 4, 2025

Room 264, 2nd Floor (Hybrid)
Hamilton City Hall
71 Main Street West

Present: Councillor C. Kroetsch
A. Denham-Robinson (Chair), G. Carroll (Vice-Chair), A. Douglas
(Virtual), L. Lunsted (Virtual) and S. Spolnik

**Absent with
Regrets:** K. Burke and A. MacLaren

1. CALL TO ORDER

Committee Chair Denham-Robinson called the meeting to order at 9:30 a.m.

2. CEREMONIAL ACTIVITIES

There were no Ceremonial Activities.

3. APPROVAL OF THE AGENDA

(Carroll/Lunsted)

That the agenda for the March 28, 2025, meeting of the Hamilton Municipal Heritage Committee be approved, as presented.

CARRIED

4. DECLARATIONS OF INTEREST

There were no Declarations of Interest.

5. APPROVAL OF MINUTES OF PREVIOUS MEETING

5.1 HMHC 25-003

Hamilton Municipal Heritage Committee Minutes from the meeting held on February 28, 2025.

(Carroll/Kroetsch)

That the Minutes of the January 24, 2025, meeting of the Hamilton Municipal Heritage Committee, be adopted, as presented.

CARRIED

6. DELEGATIONS

- 6.1 Pete VandenArend, Park Eight Inc, respecting Item 8.3, Notice of Intention to Demolish the Buildings Located at 191 Melville Street, Dundas, being a Non-Designated Property Listed on the Municipal Heritage Register (Ward 13) (PED25112)**

Pete VandenArend, Park Eight Inc, addressed Committee respecting Item 8.3, Notice of Intention to Demolish the Buildings Located at 191 Melville Street, Dundas, being a Non-Designated Property Listed on the Municipal Heritage Register.

(Carroll/Lunsted)

That the delegation from Pete VandenArend, Park Eight Inc, respecting Item 8.3, Notice of Intention to Demolish the Buildings Located at 191 Melville Street, Dundas, being a Non-Designated Property Listed on the Municipal Heritage Register, be received.

CARRIED

7. ITEMS FOR INFORMATION

(Spolnik/Douglas)

That the following Items for Information, be received:

- 7.1 PED25109
Delegated Approvals Respecting Heritage Permit Applications:
HP2025-002, HP2025-004, HP2025-005, and HP2025-006 (Ward 2)**
- 7.2 Delegated Approvals Respecting Heritage Permit Applications:
HP2025-002, HP2025-004, HP2025-005, and HP2025-006 (Ward 2)
Notice of Intention to Designate 105 Erie Avenue, Hamilton (Ward 3)**
- 7.3 Policy and Design Working Group Meeting Notes - February 10, 2025**
- 7.4 Education & Communication Working Group Meeting Notes
(a) December 4, 2024
(b) February 5, 2025**
- 7.5 HRPC 25-001
Heritage Permit Review Sub-Committee Minutes from the meeting
held on January 21, 2025**

CARRIED

8. ITEMS FOR CONSIDERATION

8.1 PED25070

Recommendation to Designate 200 Main Street East, Hamilton (First-Pilgrim United Church), under Part IV of the *Ontario Heritage Act* (Ward 2)

Scott Dickinson, Cultural Heritage Planner, addressed Committee respecting Report PED25070, Recommendation to Designate 200 Main Street East, Hamilton (First-Pilgrim United Church), under Part IV of the *Ontario Heritage Act*, with the aid of a PowerPoint presentation.

(Carroll/Spolnik)

That report PED25070, dated March 28, 2025, respecting the Recommendation to Designate 200 Main Street East, Hamilton (First-Pilgrim United Church), under Part IV of the *Ontario Heritage Act*, and the accompanying presentation, be received, and the following recommendations be approved:

- (a) That the City Clerk BE DIRECTED to give notice of Council's intention to designate 200 Main Street East, Hamilton (First-Pilgrim United Church), shown in Appendix A attached to Report PED25070, as a property of cultural heritage value pursuant to the provisions of Part IV, Section 29 of the *Ontario Heritage Act*, in accordance with the Statement of Cultural Heritage Value or Interest and Description of Heritage Attributes, attached as Appendix B to Report PED25070, subject to the following:
 - (i) If no objections are received to the notice of intention to designate in accordance with the *Ontario Heritage Act*, City Council directs staff to introduce the necessary by-law to designate the property to be of cultural heritage value or interest to City Council; and
 - (ii) If an objection to the notice of intention to designate is received in accordance with the *Ontario Heritage Act*, City Council directs staff to report back to Planning Committee to allow Council to consider the objection and decide whether or not to withdraw the notice of intention to designate the property.

CARRIED

8.2 PED25092

Heritage Permit Application HP2025-003, Under Part V of the *Ontario Heritage Act*, for the Demolition of Two Rear Detached Accessory Structures and the Construction of a new Rear Detached Accessory Structure at 155 Main Street North, Flamborough (Ward 15)

(Carroll/Lunsted)

That report PED25092, dated March 28, 2025, respecting the Heritage Permit Application HP2025-003, Under Part V of the *Ontario Heritage Act*, for the Demolition of Two Rear Detached Accessory Structures and the Construction of a new Rear Detached Accessory Structure at 155 Main Street North, Flamborough, be received, and the following recommendations be approved:

- (a) That Heritage Permit Application HP2025-003, for the demolition of two rear detached accessory structures and the construction of a rear detached accessory structure on the designated property at 155 Main Street North, Flamborough (Mill Street Heritage Conservation District), as shown in Appendix A to Report PED25092, BE APPROVED, subject to the approval of any required *Planning Act* applications and the following Heritage Permit conditions:
 - (i) That the final details of the windows, garage doors, siding and roofing material of the new structure be submitted to the satisfaction and approval of the Director of Planning and Chief Planner, prior to installation;
 - (ii) That any minor changes to the plans and elevations following approval shall be submitted, to the satisfaction and approval of the Director of Planning and Chief Planner, prior to submission as part of any application for a Building Permit and / or the commencement of any alterations; and,
 - (iii) That demolition, construction, and site alterations, in accordance with this approval, shall be completed no later than April 30, 2027. If the construction and site alterations are not completed by April 30, 2027, then this approval expires as of that date, and no alterations shall be undertaken without a new approval issued by the City of Hamilton.

CARRIED

8.3 PED25112

Notice of Intention to Demolish the Buildings Located at 191 Melville Street, Dundas, being a Non-Designated Property Listed on the Municipal Heritage Register (Ward 13)

(Douglas/Spolnik)

That Report PED25112, dated March 28, 2025, respecting a Notice of Intention to Demolish the Buildings Located at 191 Melville Street, Dundas, being a Non-Designated Property Listed on the Municipal Heritage Register, be received, and the following recommendations be approved:

- (a) That the Notice of Intention to Demolish the dwelling and detached garage structures located at 191 Melville Street, Dundas, attached as Appendix A to Report PED25112, BE RECEIVED; and
- (b) That the non-designated property located at 191 Melville Street, Dundas, BE REMOVED from the Municipal Heritage Register following its demolition.

CARRIED

9. MOTIONS

Chair A. Denham-Robinson relinquished the Chair to Vice-Chair G. Carroll in order to introduce the following Motion:

9.1 Hamilton Municipal Heritage Committee's Heritage Recognition Awards (2024-2025)

(Denham-Robinson/Carroll)

WHEREAS the mandate of the Hamilton Municipal Heritage Committee includes advising City staff and Council on programs and activities to increase public awareness and knowledge of heritage conservation issues, and to participate in heritage events and activities, such as the Annual Hamilton Municipal Heritage Committee Heritage Recognition Awards; and

WHEREAS the Education and Communication Working Group of the Hamilton Municipal Heritage Committee has reviewed the nominations for this year's Recognition Awards and have coordinated the proposed awards event date and location.

THEREFORE, BE IT RESOLVED:

That the Hamilton Municipal Heritage Committee's Heritage Recognition Awards be held on Thursday June 26th, 2025, at 7:00 p.m. at Bridgeworks, 200 Caroline Street, Hamilton, Ontario.

CARRIED

A. Denham-Robinson assumed the Chair.

10. NOTICE OF MOTIONS

There were no Notice of Motions.

11. GENERAL INFORMATION / OTHER BUSINESS

11.1 Winter 2025 McMaster Student Practicum Presentation

Due to a lack of quorum, the presentation respecting the Winter 2025 McMaster Student Practicum was heard at the March 28, 2025 meeting, however, not received.

(Carroll/Kroetsch)

That the presentation respecting the Winter 2025 McMaster Student Practicum, be received.

CARRIED

11.3 Heritage Buildings and Landscapes Watch List

Committee members provided brief updates on properties of interest.

(Carroll/Spolnik)

That Cultural Heritage staff be directed to report back to the Hamilton Municipal Heritage Committee with a verbal update on the status of the property located at 86 Homewood Ave, Hamilton.

CARRIED

(Carroll/Lunsted)

That the following updates, be received:

- (a) Endangered Buildings and Landscapes (RED):
(Red = Properties where there is a perceived immediate threat to heritage resources through: demolition; neglect; vacancy; alterations, and/or, redevelopment)

Ancaster

- (1) 372 Butter Road West, Andrew Sloss House (D) – S. Spolnik
- (2) 1021 Garner Road East, Lampman House (D) – S. Spolnik
- (3) 398 Wilson Street East, Marr House (D) – S. Spolnik

Dundas

- (4) 2 Hatt Street (R) – K. Burke
- (5) 216 Hatt Street (I) – K. Burke
- (6) 215 King Street West (R) – K. Burke
- (7) 219 King Street West (R) – K. Burke

Glanbrook

- (8) 2235 Upper James Street (R) – G. Carroll

Hamilton

- (9) 80-92 Barton Street East, Former Hanrahan Hotel (R) – S. Spolnik

- (10) 1155-1157 Beach Boulevard, Beach Canal Lighthouse and Cottage (D) – A. Denham-Robinson
- (11) 66-68 Charlton Avenue West (D) – C. Kroetsch
- (12) 71 Claremont Drive, Auchmar Gate House / Claremont Lodge (R) – G. Carroll
- (13) 711 Concession Street, Former Mount Hamilton Hospital, 1932 Wing (R) – G. Carroll
- (14) 127 Hughson Street North, Firth Brothers Building (D) – C. Kroetsch
- (15) 163 Jackson Street West, Pinehurst / Television City (D) – C. Kroetsch
- (16) 108 James Street North, Tivoli (D) – C. Kroetsch
- (17) 98 James Street South, Former James Street Baptist Church (D) – C. Kroetsch
- (18) 378 Main Street East, Cathedral Boys School (R) – S. Spolnik
- (19) 679 Main Street East / 85 Holton Street South, Former St. Giles Church (I) – G. Carroll
- (20) 120 Park Street North (R) – C. Kroetsch
- (21) 828 Sanatorium Road, Long and Bisby Building (D) – G. Carroll
- (22) 100 West 5th Street, Century Manor (D) – G. Carroll

- (b) Buildings and Landscapes of Interest (YELLOW):
(Yellow = Properties that are undergoing some type of change, such as a change in ownership or use, but are not perceived as being immediately threatened)

Dundas

- (1) 64 Hatt Street, Former Valley City Manufacturing (D) – K. Burke
- (2) 24 King Street West, Former Majestic Theatre (I) – K. Burke
- (3) 3 Main Street, Former Masonic Lodge (D) – K. Burke
- (4) 23 Melville Street, Knox Presbyterian Church (D) – K. Burke
- (5) 574 Northcliffe Avenue, St. Joseph's Motherhouse (R) – L. Lunsted

Flamborough

- (6) 283 Brock Road, WF Township Hall (D) – L. Lunsted
- (7) 62 6th Concession East, Hewick House (I) – L. Lunsted

Hamilton

- (8) 1 Balfour Drive, Chedoke Estate / Balfour House, (R) – G. Carroll
- (9) 134 Cannon Street East, Cannon Knitting Mill (NOID) – C. Kroetsch

- (10) 52 Charlton Avenue West, Former Charlton Hall (D) – C. Kroetsch
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- (12) 54-56 Hess Street South (D) – C. Kroetsch
- (13) 1284 Main Street East, Delta High School (D) – G. Carroll
- (14) 311 Rymal Road East (R) – G. Carroll
- (15) St. Clair Boulevard Heritage Conservation District (D) – G. Carroll
- (16) 56 York Boulevard / 63-76 MacNab Street North, Copley Building (D) – G. Carroll
- (17) 84 York Boulevard, Philpott Church (NOID) – G. Carroll
- (18) 175 Lawrence Road, Hamilton Pressed / Century Brick (R) – G. Carroll
- (19) 65 Charlton Avenue East, Church of Ascension (D, NHS), Hamilton – G. Carroll
- (20) 4 Turner Avenue, Hamilton (R) – C. Kroetsch
- (21) 420 King St E, St. Patrick Roman Catholic Church (I) – S. Spolnik
- (22) 206-210 King Street East, Former Bremner Grocery (I) – G. Carroll
- (23) 1269 Mohawk Road, Ancaster (I) – G. Carroll
- (24) 657 King Street East, Hamilton (R) – G. Carroll
- (25) 665-667 King Street East, Hamilton (R) – G. Carroll
- (26) 90 Markland, Hamilton (D) – C. Kroetsch
- (27) 231 Bay St. N. (Gallery on the Bay/Hamilton Bridge Works Company Office) (I) – C. Kroetsch
- (28) 29 Harriet Street (Felton Brush Company) (I) – C. Kroetsch
- (29) 33 Bowen Street (Bradley Stable, Court House Hotel Stable) (R) – C. Kroetsch
- (30) 200 Main Street East, Hamilton (First-Prilgrim United Church) – C. Kroetsch

Stoney Creek

- (31) 2251 Rymal Road East, Former Elfrida Church (R) – G. Carroll

- (c) Heritage Properties Update (GREEN):
(Green = Properties whose status is stable)

Dundas

- (1) 104 King Street West, Former Post Office (R) – K. Burke

Hamilton

- (2) 46 Forest Avenue, Rastrick House (D) – G. Carroll
- (3) 88 Fennell Avenue West, Auchmar (D) – A. Douglas

- (4) 125 King Street East, Norwich Apartments (R) – C. Kroetsch
- (5) 206 Main Street West, Arlo House (R) – C. Kroetsch
- (6) 50-54 Sanders Boulevard, Binkley Property (R) – K. Burke

- (d) Heritage Properties Update (BLACK):
(Black = Properties that HMHC have no control over and may be demolished)

Ancaster

- (1) 442, 450 and 452 Wilson Street East (R) – S. Spolnik

Heritage Status: (I) Inventoried, (R) Registered, (D) Designated,
(NOID) Notice of Intention to Designate, (NHS) National Historic
Site

CARRIED

12. ADJOURNMENT

There being no further business, the Hamilton Municipal Heritage Committee meeting was adjourned, at 9:59 a.m.

Respectfully submitted,

Matt Gauthier
Legislative Coordinator
Office of the City Clerk

Alissa Denham-Robinson
Chair, Hamilton Municipal Heritage
Committee

From: City of Hamilton <hello@hamilton.ca>

Sent: April 4, 2025 4:00 PM

To: clerk@hamilton.ca

Subject: Webform submission from: Request to Speak to a Committee of Council

Submitted on Fri, 04/04/2025 - 16:00

Submitted by: Anonymous

Submitted values are:

Committee Requested

Committee

Hamilton Heritage Committee

Will you be delegating in-person or virtually?

In-person

Will you be delegating via a pre-recorded video?

No

Requestor Information

Requestor Information

Dr. Richard Douglass-Chin

Afro Canadian Caribbean Association



Preferred Pronoun

he/him

Reason(s) for delegation request

Importance to Hamilton-Dundas history of commemorating Sophia Pooley in the 2 Hatt Street Heritage Designation.

Will you be requesting funds from the City?

No

Will you be submitting a formal presentation?

Yes

Education & Communication Working Group

Meeting Notes

Thursday, March 6, 2025 (6:00 pm – 7:00pm)

Virtual Meeting (Microsoft Teams)

Present: Alissa Denham-Robinson (Chair), Karen Burke, Julia Renaud, Robin McKee,

Regrets: Graham Carroll, Sara Sandham, Stefan Spolnik, Kristen McLaughlin

Staff Present: Lisa Christie, Cultural Heritage Planner

1. Changes to the Agenda

N/a

2. Declarations of Interest

- a. Alissa Denham-Robinson - related to the HMHC Heritage Recognition Awards - Heritage Streetscape Revitalization (August Street Businesses including but not limited to 20 Augusta Street). A family member works for the project Architect.
- b. Robin McKee - related to the HMHC Heritage Recognition Awards - Heritage Group, Society or Specialty Team (Beach Canal Lighthouse Group). Robin currently sits on the Board of Directors of the BCLG.

3. Review of Previous Meeting Notes:

- a. December 4, 2024 - Approved by general consensus.
- b. February 5, 2025 - Approved by general consensus.

4. Public Outreach and Events:

- a. HMHC Heritage Recognition Awards 2024-25
 - i. The Working Group generally discussed planning items for the next Award Celebration.
 - Date: June 26, 2025
 - Location: Bridgeworks, 200 Caroline St., Hamilton
 - ii. HMHC and Working Group Members reviewed the current nomination list to be finalized.

5. Other Business

- a. Opportunity for Hamilton to host a future CHO Ontario Heritage Conference
 - i. Alissa D-R provided an outline of the potential for Hamilton to host a conference. The Working Group was generally in favour of this opportunity.

March 6, 2025

- ii. Robin McKee noted that he was involved in the planning of the inaugural CHO Conference held in Hamilton in 2004. Ken Coit and Rob Hamilton were also involved.

b. Hamilton Wentworth Heritage Association (HWHHA) Awards

i. Volunteer Recognition

1. As a member of the HWHHA, the Working Group would like to recommend that HMHC submit Janice Brown for a Volunteer Recognition Certificate.

Suggested Citation: Janice Brown is recognized for her outstanding dedication and contributions to the Hamilton Municipal Heritage Committee (HMHC) over her four-year term as member of this citizen advisory committee to Hamilton City Council.

As Chair of the HMHC Inventory & Research Working Group, Janice played a vital role in researching heritage properties and completing comprehensive assessment forms for Built Heritage Inventory projects.

Additionally, as a member of the HMHC Education & Communication Working Group, Janice fostered community engagement by coordinating the Heritage Colouring Book Project with Bernie Custis Secondary School and assisting in the successful organization of the annual HMHC Heritage Recognition Awards.

Janice started advocating on behalf of heritage when she was a driving force with the Durand Neighbourhood Association and helped preserve the unique heritage and landscapes of that neighbourhood. Janice's commitment to heritage education and preservation has left a lasting impact on our City.

2. HWHHA Heritage Volunteer Recognition Certificates will be presented at the City of Hamilton Heritage Volunteer Service Awards Ceremony. This ceremony will take place during National Volunteer Week on Wednesday, April 30, 2025 at 6:30 pm, at the Coach House at Dundurn Castle.

ii. T.M. Bailey Award for Lifetime Achievement

1. The Working Group would like to recommend that HMHC submit Dr. Grant Head for recognition.

This nomination is made in light of the 50th Anniversary of the Ontario Heritage Act this year and the significant role that Dr. Head played in the creation of the Act, the designation of the first designated property in Ontario (Hamilton's Sandyford Place) and his role as Chair of Hamilton's First LACAC.

6. Next Meeting(s):

- a. HMHC Heritage Awards Review – Tuesday April 1, 2025 at 7pm



City of Hamilton Memorandum

To: Chair and Members of
Hamilton Municipal Heritage Committee

Date: April 25, 2025

Report No: PED25140

Subject/Title: Delegated Approvals Respecting Heritage Permit
Applications: HP2025-008, HP2025-010, and
HP2025-011

Ward(s) Affected: Wards 2, 3, and 12

Information

Please be advised that Heritage Permit Review Sub-committee confirmed their support for Heritage Permit Application HP2025-008 during a Heritage Permit Review meeting on March 18, 2025. Additionally, staff processed Heritage Permit Application HP2022-010, which provides an extension for Heritage Permit HP2021-033, which was originally approved by Council on October 13, 2021. Finally, staff have processed Heritage Permit HP2022-011, which provides an extension for Heritage Permit HP2021-058, which was supported at a Heritage Permit Review Sub-Committee meeting on February 15, 2022.

As such please be advised that pursuant to By-law No. 05-364, as amended by By-law No. 07-322, which delegates the power to consent to alterations to designated property under the *Ontario Heritage Act* to the Director of Planning and Chief Planner, the heritage permit applications listed below have been approved and are attached to this memorandum as Appendices A, B and C.

- HP2025-008: Repair and Restoration of Heritage Features at 126 MacNab Street South & 40-42 Bold Street, Hamilton
- HP2025-010: Extension of Council-approved Heritage Permit Application HP2021-033 to Relocate the Existing Two-Storey Stone Structure at 398 Wilson Street East, Ancaster
- HP2025-011: Replacement of Dormer Cladding at 121 St. Clair Avenue, Hamilton

Consultation

Heritage Permit Review Subcommittee

Appendices and Schedules Attached

Appendix A: Heritage Permit Application HP2025-008: Repair and Restoration of Heritage Features at 126 MacNab Street South & 40-42 Bold Street, Hamilton (Ward 2) (MacNab-Charles HCD, By-law No. 90-144)

Appendix B: Heritage Permit Application HP2025-010: Extension of Council-approved Heritage Permit Application HP2021-033 to Relocate the Existing Two-Storey Stone Structure at 398 Wilson Street East, Ancaster (Ward 12) (Marr House, By-law No. 78-87)

Appendix C: Heritage Permit Application HP2025-011: Replacement of Dormer Cladding at 121 St. Clair Avenue, Hamilton (Ward 3) (St. Clair Avenue HCD, By-law No. 86-125)

Prepared by: Lisa Christie, Cultural Heritage Planner
Planning and Economic Development, Planning

Submitted and recommended by: Alissa Golden, Cultural Heritage Program Lead
Planning and Economic Development, Planning



Mailing Address:
71 Main Street West
Hamilton, Ontario
Canada L8P 4Y5
www.hamilton.ca

Planning and Economic Development Department
Planning Division
71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5
Phone: 905-546-2424, Ext. 1258

FILE: HP2025-008

April 4, 2025

Jeff Steadman
1051 Old Mohawk Rd.
Hamilton, Ontario
L9K 1J9

Re: Heritage Permit Application HP2025-008: Repair and Restoration of Heritage Features at 126 MacNab Street South & 40-42 Bold Street, Hamilton (Ward 2) (MacNab-Charles HCD, By-law No. 90-144)

Please be advised that pursuant to By-law No. 05-364, as amended by By-law No. 07-322, which delegates the power to consent to alterations to designated property under the *Ontario Heritage Act* to the Director of Planning and Chief Planner, Heritage Permit Application HP2025-008 is approved for the designated property at 126 MacNab Street South & 40-42 Bold Street, Hamilton, in accordance with the materials submitted with the application for the following alterations:

- Repair and restoration of the fire-damaged building, including:
 - Replacement of three fire-damaged one-over-one hung wood windows to match the former windows (using Accoya wood);
 - Restoration of the existing wood windows;
 - Construction of new wood storms;
 - Jamb restoration and construction of new brickmoulds, as required; and,
 - Restoration of front entry, including repairs to the wood double door, replacement glass, new paint and reuse of existing hardware.

Subject to the following conditions:

- a) That any minor changes to the plans and elevations following approval shall be submitted, to the satisfaction and approval of the Director of Planning and Chief Planner, prior to submission as part of any application for a Building Permit and / or the commencement of any alterations; and,
- b) That the installation of the alterations, in accordance with this approval, shall be completed no later than April 30, 2027. If the alterations are not completed by

Re: Heritage Permit Application HP2025-008: Repair and Restoration of Heritage Features at 126 MacNab Street South & 40-42 Bold Street, Hamilton (Ward 2) (MacNab-Charles HCD, By-law No. 90-144) - Page 2 of 2

April 30, 2027, then this approval expires as of that date and no alterations shall be undertaken without a new approval issued by the City of Hamilton.

Please note that this property is designated under Part V of the *Ontario Heritage Act*, and that this permit is only for the above-noted work. Any departure from the approved plans and specifications is prohibited, and could result in penalties, as provided for by the *Ontario Heritage Act*. The terms and conditions of this approval may be appealed to the Ontario Land Tribunal within 30 days of your receipt of this Notice.

The issuance of this permit under the *Ontario Heritage Act* is not a waiver of any of the provisions of any By-law of the City of Hamilton, the requirements of the *Building Code Act*, the *Planning Act*, or any other applicable legislation.

If you have any further questions, feel free to contact Lisa Christie, Cultural Heritage Planner, at 905-546-2424 ext. 1291 or via email at Lisa.Christie@hamilton.ca.

Yours truly,



Anita Fabac, MCIP RPP
Acting Director of Planning and Chief Planner

cc: Lisa Christie, Cultural Heritage Planner
Chantal Costa, Plan Examination Secretary
Matt Gauthier, Legislative Coordinator
Councillor Kroetsch, Ward 2
Carlo Gorni, Urban Renewal Incentives Coordinator



Mailing Address:
71 Main Street West
Hamilton, Ontario
Canada L8P 4Y5
www.hamilton.ca

Planning and Economic Development Department
Planning Division
71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5
Phone: 905-546-2424, Ext. 1258

FILE: HP2025-010

April 4, 2025

Wilson St. Ancaster Inc.
c/o Authorized Planning Consultant Matt Johnston
UrbanSolutions Planning & Land Development Consultants Inc.
3 Studebaker Place, Unit 1
Hamilton, ON L8L 0C8

**Re: Heritage Permit Application HP2025-010: Extension of Council-approved
Heritage Permit Application HP2021-033 to Relocate the Existing Two-Storey
Stone Structure at 398 Wilson Street East, Ancaster, Marr House (Ward 12)
(By-law No. 78-87)**

Note: This Heritage Permit HP2025-010 is an extension of Heritage Permit HP2021-033, approved by Council on October 13, 2021, with conditions and previously extended by HP2023-022 and HP2024-009 by delegated authority. The applicant has been actively working toward clearing the conditions of Heritage Permit approval and, as a result of two recent OLT cases (OLT-22-003888 and OLT-23-001076) related to the proposed development on the subject property, the applicant will not be able to satisfy all conditions by April 30, 2025. This Heritage Permit HP2025-010 will extend the permit for a one-year period based on the date of extension request, expiring on April 30, 2026.

Please be advised that pursuant to By-law No. 05-364, as amended by By-law No. 07-322, which delegates the power to consent to alterations to designated property under the *Ontario Heritage Act* to the Director of Planning and Chief Planner, Heritage Permit Application HP2025-010 is approved for the designated property at 398 Wilson Street East, Ancaster (Marr House), in accordance with the materials submitted with Heritage Permit Application HP2021-033 and its subsequent extensions, for the following alterations:

- To renew the previously approved Heritage Permit HP2024-009, an extension of Council-approved Heritage Permit HP2021-033, for the relocation of the rubble stone structure at 398 Wilson Street East, Ancaster, to 15 Lorne Avenue to address subsurface soil and groundwater contamination.

Re: Heritage Permit Application HP2025-010: Extension of Council-approved Heritage Permit Application HP2021-033 to Relocate the Existing Two-storey Stone Structure at 398 Wilson Street East, Ancaster, Marr House (Ward 12) (By-law No. 78-87) - Page 2 of 3

Subject to the following conditions:

- (i) That any minor changes to the plans and elevations following approval shall be submitted, to the satisfaction and approval of the Director of Planning and Chief Planner, prior to submission as part of any application for a Building Permit and / or the commencement of any alterations;
- (ii) That the installation of the alterations, in accordance with this approval, shall be completed no later than **April 30, 2026**. If the alterations are not completed by **April 30, 2026**, then this approval expires as of that date and no alterations shall be undertaken without a new approval issued by the City of Hamilton;
- (iii) That the designating By-law No. 78-87 be repealed in accordance with the requirements of the *Ontario Heritage Act* at the expense of the owner;
- (iv) That a new designation By-law be prepared in accordance with the requirements of the Ontario Heritage Act for the building's new location at the expense of the owner;
- (v) That a new Survey be prepared to accompany a new designation By-law indicating the boundaries to which the designation applies;
- (vi) That the applicant enters into a Heritage Easement Agreement with the City to the satisfaction and approval of the Director of Planning and Chief Planner prior to the issuance of any Building Permit for demolition or new construction, and that this agreement is registered on title;
- (vii) That a Letter of Credit be provided to be held by the City based on the cost estimates for 100% of the total cost of securing, protecting, stabilizing, relocating, monitoring for a period of three years and the total cost of restoration. Such cost estimates shall be in a form satisfactory to the Director of Planning and Chief Planner;
- (viii) That any technical studies may be subject to Peer Review at the expense of the owner where deemed necessary;
- (ix) That if the building is to be relocated prior to site plan approval for the redevelopment of 392, 398, 400, 402, 406 and 412 Wilson Street East and 15 Lorne Avenue, then the owner shall apply for and receive approval of a Minor Site Plan Application (MDA), and any other relevant *Planning Act* applications for the proposed relocation; and,

Re: Heritage Permit Application HP2025-010: Extension of Council-approved Heritage Permit Application HP2021-033 to Relocate the Existing Two-storey Stone Structure at 398 Wilson Street East, Ancaster, Marr House (Ward 12) (By-law No. 78-87) - Page 3 of 3

- (x) That the owner submit an Official Plan Amendment and Zoning By-law Amendment for the redevelopment of 392, 398, 400, 402, 406 and 412 Wilson Street East and 15 Lorne Avenue or alternatively the owner provide written confirmation to the Director of Planning and Chief Planner that they will be proceeding in accordance with the existing zoning in effect for these lands.

Please note that this property is designated under Part IV of the *Ontario Heritage Act*, and that this permit is only for the above-noted work. Any departure from the approved plans and specifications is prohibited, and could result in penalties, as provided for by the *Ontario Heritage Act*. The terms and conditions of this approval may be appealed to the Ontario Land Tribunal within 30 days of your receipt of this Notice.

The issuance of this permit under the *Ontario Heritage Act* is not a waiver of any of the provisions of any By-law of the City of Hamilton, the requirements of the *Building Code Act*, the *Planning Act*, or any other applicable legislation.

If you have any further questions, feel free to contact Lisa Christie, Cultural Heritage Planner, at 905-546-2424 ext. 1291 or via email at Lisa.Christie@hamilton.ca.

Yours truly,



Anita Fabac, MCIP RPP
Acting Director of Planning and Chief Planner

cc: Lisa Christie, Cultural Heritage Planner
Chantal Costa, Plan Examination Secretary
Matt Gauthier, Legislative Coordinator
Councillor Cassar, Ward 12



Mailing Address:
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www.hamilton.ca

Planning and Economic Development Department
Planning Division
71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5
Phone: 905-546-2424, Ext. 1258

FILE: HP2025-011

April 4, 2025

Erica Lee Roebbelen & Gajendran Raveendranathan
121 St. Clair Avenue
Hamilton, ON
L8M 2N8

Re: Heritage Permit Application HP2025-011: Replacement of Dormer Cladding at 121 St. Clair Avenue, Hamilton (Ward 3), Part V Designated, By-law No. 86-125 (St. Clair Avenue HCD)

Note: This Heritage Permit HP2025-011 is an extension of Heritage Permit HP2021-058, approved by Heritage Permit Review Sub-Committee on February 15, 2022, by delegated authority. The applicant has indicated that they will not be able to complete the work by February 28, 2026. This Heritage Permit HP2025-011 will extend the permit for a two-year period based on the date of extension request, expiring on March 30, 2027.

Please be advised that pursuant to By-law No. 05-364, as amended by By-law No. 07-322, which delegates the power to consent to alterations to designated property under the *Ontario Heritage Act* to the Director of Planning and Chief Planner, Heritage Permit Application HP2025-011 is approved for the designated property at 121 St. Clair Avenue, Hamilton, in accordance with the materials submitted with the Heritage Permit Application HP2021-058 for the following alterations:

- To permit the replacement of the wood shake style shingle siding on the front (west) façade and side (north) façade dormers with shake style siding in either PVC composite or wood material.

Subject to the following conditions:

- a) That the applicant replace the existing vinyl board and batten on the front and north side dormer with a shake style siding in either PVC composite or wood material;
- b) That any minor changes to the plans and elevations following approval shall be submitted, to the satisfaction and approval of the Director of Planning and Chief

Re: Heritage Permit Application HP2025-011: Replacement of Dormer Cladding at 121 St. Clair Avenue, Hamilton (Ward 3), Part V Designated, By-law No. 86-125 (St. Clair Avenue HCD) - Page 2 of 2

Planner, prior to submission as part of any application for a Building Permit and / or the commencement of any alterations; and,

- c) That implementation of the alterations, in accordance with this approval, shall be completed no later than **March 30, 2027**. If the alterations are not completed by **March, 2027**, then this approval expires as of that date and no alterations shall be undertaken without a new approval issued by the City of Hamilton.

Please note that this property is designated under Part V of the *Ontario Heritage Act*, and that this permit is only for the above-noted work. Any departure from the approved plans and specifications is prohibited, and could result in penalties, as provided for by the *Ontario Heritage Act*. The terms and conditions of this approval may be appealed to the Ontario Land Tribunal within 30 days of your receipt of this Notice.

The issuance of this permit under the *Ontario Heritage Act* is not a waiver of any of the provisions of any By-law of the City of Hamilton, the requirements of the *Building Code Act*, the *Planning Act*, or any other applicable legislation.

If you have any further questions, feel free to contact Lisa Christie, Cultural Heritage Planner, at 905-546-2424 ext. 1291 or via email at Lisa.Christie@hamilton.ca.

Yours truly,



Anita Fabac, MCIP RPP
Acting Director of Planning and Chief Planner

cc: Lisa Christie, Cultural Heritage Planner
Chantal Costa, Plan Examination Secretary
Matt Gauthier, Legislative Coordinator
Councillor Nann, Ward 3



City of Hamilton Memorandum

To: Chair and Members of
Hamilton Municipal Heritage Committee

Date: April 25, 2025

Report No: PED25126

Subject/Title: Notice of By-law Passing to Designate Properties in
Dundas under Part IV of the *Ontario Heritage Act*

Ward(s) Affected: Ward 13

Information

Please be advised that Hamilton City Council has passed By-laws 25-049 and 25-050 to designate properties located at 85 King Street East, and 223 Governor's Road (Starfield), Dundas, during the Hamilton City Council session on March 26, 2025. As such, please be advised that on April 8, 2025, the City of Hamilton served notice to the property owners and to the Ontario Heritage Trust indicating that the subject properties were officially designated by Hamilton City Council under Section 29 of the Ontario Heritage Act.

A combined Notice of By-laws Passing for the subject properties was also published in the Hamilton Spectator on April 8, 2025. A copy of the combined notice to the Ontario Heritage Trust is attached as Appendix A to this memorandum.

Consultation

- *Hamilton Municipal Heritage Committee*
- *Planning Committee*
- *City Council*

Appendices and Schedules Attached

Appendix A: Notice of Passing of By-law to Designate Properties in Dundas under Part IV of the *Ontario Heritage Act*

Prepared by:	Meg Oldfield, Cultural Heritage Planner, Planning and Economic Development, Planning Division
	Maryssa Barras, Cultural Heritage Planning Technician II Planning and Economic Development, Planning
Submitted and recommended by:	Alissa Golden, Cultural Heritage Program Lead Planning and Economic Development, Planning Division

OUR Vision: To be the best place to raise a child and age successfully.

OUR Mission: To provide high quality cost conscious public services that contribute to a healthy,
safe and prosperous community, in a sustainable manner.

OUR Culture: Collective Ownership, Steadfast Integrity, Courageous Change, Sensational Service,
Engaged Empowered Employees.



Mailing Address:
71 Main Street West
Hamilton, Ontario
Canada L8P 4Y5
www.hamilton.ca

Planning and Economic Development Department
Planning Division

April 8, 2025

Ontario Heritage Trust
Attn: Provincial Heritage Registrar
10 Adelaide Street East
Toronto, ON M5C 1J3

Dear Provincial Heritage Registrar:

Re: Notice of By-laws Passing in Dundas under Part IV of the *Ontario Heritage Act*

Please take notice that the Council of the City of Hamilton has passed by-laws to designate the following properties as being of cultural heritage value under Part IV of the *Ontario Heritage Act*:

- **85 King Street East, Dundas (By-law Number 25-049)**
- **223 Governor's Road, Dundas (By-law Number 25-050)**

These properties were designated by Hamilton City Council on the 26th day of March, 2025 and the designating by-laws can be found at www.hamilton.ca. **Attached** please find a copies of By-law No. 25-049 and By-law No. 25-050.

A Notice of Passing of the By-law was also published in the Hamilton Spectator on **April 8, 2025**.

Any person who objects to any of the above By-laws may, within thirty days after the date of publication of the Notice of Passing of the By-laws, appeal to the Ontario Land Tribunal by giving the Tribunal and the Clerk of the municipality a notice of appeal setting out the objection to the By-law(s) and the reasons in support of the objection(s), accompanied by the fee charged by the Tribunal, in accordance with Section 29(8) of the *Ontario Heritage Act*.

If you have any questions regarding this Notice of Passing, please contact: Meg Oldfield, Cultural Heritage Planner, Email: Meg.Oldfield@hamilton.ca.

Matthew Trennum
City Clerk

MO

Attach.

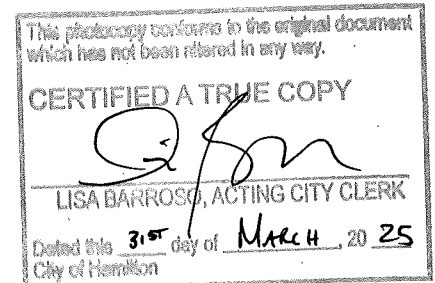
cc: Councillor Wilson, Ward 13
Patrick MacDonald, Solicitor
Rob Lalli, Director, Building Division
Anita Fabac, Acting Director, Planning and Chief Planner
Matt Gauthier, Legislative Coordinator
Meg Oldfield, Cultural Heritage Planner

Authority: Item 11(a), Planning Committee Report 24-011 (PED24124)
 CM: August 16, 2024 Ward: 13
 Written approval for this by-law was given by Mayoral Decision MDE-2025-06
 Dated March 26, 2025

Bill No. 049

**CITY OF HAMILTON
 BY-LAW NO. 25-049**

**To Designate Property Located at 85 King Street East, Dundas as Property of
 Cultural Heritage Value**



WHEREAS section 29 of the *Ontario Heritage Act*, R.S.O. 1990, c. O.18 authorizes Council of the municipality to enact by-laws to designate property, including all buildings and structures thereon, to be of cultural heritage value or interest;

AND WHEREAS Council of the City of Hamilton has received and considered the recommendations of its Hamilton Municipal Heritage Committee pertaining to this by-law, arising from the meeting of the Hamilton Municipal Heritage Committee held on July 22, 2024;

AND WHEREAS the Council of the City of Hamilton, at its meeting held on August 16, 2024, resolved to direct the City Clerk to take appropriate action to designate the Property described as 85 King Street East in Dundas in the City of Hamilton, and more particularly described in Schedule "A" hereto (the "Property"), as property of cultural heritage value or interest, which resolution was confirmed by By-law No. 24-156;

AND WHEREAS in accordance with subsection 29(3) of the *Ontario Heritage Act*, Council of the City of Hamilton has caused to be served on the owner of the Property and upon the Ontario Heritage Trust, a Notice of Intention to Designate the Property as being of cultural heritage value or interest, and has caused a Notice of Intention to Designate to be published in a newspaper having general circulation in the municipality, a copy of which is attached hereto as Schedule "B";

AND WHEREAS no Notice of Objection to the proposed designation under section 29(5) of the *Ontario Heritage Act* has been served upon the Clerk of the municipality;

AND WHEREAS Council has decided to designate the Property in accordance with section 29(8) of the *Ontario Heritage Act*;

NOW THEREFORE the Council of the City of Hamilton enacts as follows:

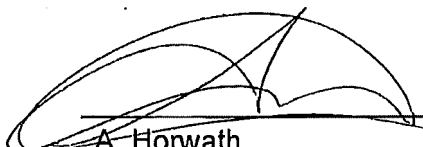
1. A statement explaining the cultural heritage value or interest of the Property, and a description of the heritage attributes of the Property are set out in Schedule "C" hereto.

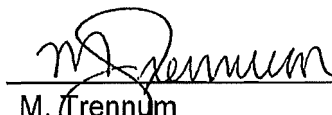
To Designate Property Located at 85 King Street East, Dundas as Property of Cultural Heritage Value

Page 2 of 7

2. The Property, together with its heritage attributes listed in Schedule "C" hereto, is hereby designated as property of cultural heritage value or interest.
3. The City Clerk is hereby authorized and directed,
 - a. to cause a copy of this By-law, together with the statement of cultural heritage value or interest and description of heritage attributes of the Property, to be served on the Ontario Heritage Trust, the owner of the Property, and any person who served an objection to the Notice of Intention to Designate, by a method permitted by the *Ontario Heritage Act*; and,
 - b. to publish a notice of passing of this By-law in a newspaper having general circulation in the City of Hamilton. Once this By-law comes into force and effect in accordance with the applicable provisions of the *Ontario Heritage Act*, the City Solicitor is hereby authorized and directed to cause a copy of this By-law, together with its Schedules, to be registered against the whole of the Property described in Schedule "A" hereto in the proper registry office.

PASSED this 5th day of March, 2025.



A. Horwath
Mayor

M. Trennum
City Clerk

To Designate Property Located at 85 King Street East, Dundas as Property of Cultural Heritage Value

Page 3 of 7

Schedule "A"
To
By-law No. 25-049

85 King Street East
Dundas, Ontario

PIN: 17478-0147 (LT)

Legal Description:

PT LOT 17, REGISTRAR'S COMPILED PLAN 1387 , PART 2 , 62R13818 , T/W
VM231521, IF ANY ; DUNDAS CITY OF HAMILTON

To Designate Property Located at 85 King Street East, Dundas as Property of Cultural Heritage Value

Page 4 of 7

Schedule "B"
To
By-law No. 25-049

85 King Street East
Dundas, Ontario

Notice of Intention to Designate
85 King Street East, Dundas

The City of Hamilton intends to designate 85 King Street East, Dundas, under Section 29 of the *Ontario Heritage Act*, as being a property of cultural heritage value.

Statement of Cultural Heritage Value or Interest

The circa 1846-48 one-storey building located at 85 King Street East, Dundas has physical value as a representative example of a nineteenth-century stone cottage influenced by the Regency style of architecture. The property has historical value for its associations with prominent Dundas residents, including John Fairgrieve, Margaret Grafton, Joanna Chapman and Catherine Gibbon, and the early heritage conservation movement in Dundas. The property at 85 King Street East is important in defining the historic Industrial character of the surrounding area, is historically and visually connected to the development of the Desjardins Canal, and maintains the historic character of the early settlement area of Cootes Paradise.

The Statement of Cultural Heritage Value or Interest, Description of Heritage Attributes and supporting Cultural Heritage Assessment may be found online via www.hamilton.ca or viewed at the Office of the City Clerk, 71 Main Street West, 1st Floor, Hamilton, Ontario, L8P 4Y5, during regular business hours.

Any person may, within 30 days after the date of the publication of the Notice, serve written notice of their objections to the proposed designation, together with a statement for the objection and relevant facts, on the City Clerk at the Office of the City Clerk.

Dated at Hamilton, this 24th day of January, 2025.



Matthew Trennum
City Clerk
Hamilton, Ontario

CONTACT: Maryssa Barras, Cultural Heritage Planning Technician,
E-mail: maryssa.barras@hamilton.ca; Phone: 905-546-2424 ext. 6126.
www.hamilton.ca/heritageplanning



Hamilton

To Designate Property Located at 85 King Street East, Dundas as Property of Cultural Heritage Value

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Schedule "C"
To
By-law No. 25-049

85 King Street East
Dundas, Ontario

**STATEMENT OF CULTURAL HERITAGE VALUE OR INTEREST AND
DESCRIPTION OF HERITAGE ATTRIBUTES**

Description of Property

The irregular polygonal-shaped 0.154 hectare property municipally-addressed as 85 King Street East, Dundas, is comprised of a one-storey stone structure built circa 1846- 48 and two frame outbuildings built in the twentieth century. It is located on the north side of King Street East in Dundas, between the intersection of Court Street to the west and Thorpe Street to the east, in the community of Dundas, in the City of Hamilton.

Statement of Cultural Heritage Value or Interest

The one-storey building located at 85 King Street East, Dundas, was originally constructed circa 1846-48. The property has physical value as a representative example of a nineteenth-century stone cottage influenced by the Regency style of architecture. The property has historical value for its associations with prominent Dundas residents, including John Fairgrieve, Margaret Grafton, Joanna Chapman and Catherine Gibbon, and the early heritage conservation movement in Dundas.

The stone dwelling at 85 King Street West was originally built prior to 1848 for John Fairgrieve (circa 1813/1811-1875), who worked as a wharfinger with business interests in the Desjardins Canal, served on Dundas' town council in 1850. By 1855, Fairgrieve dissolved his business interests in the Desjardins Canal and moved to Hamilton. In 1859 Margaret Grafton, the mother of the historically prominent business of Grafton & Co. Ltd.'s co-founder James Beatty Grafton (1826-1909), purchased the property and it was affiliated with the Grafton family until it was sold in the 1880s.

In the late-1970s, the property was part of a campaign to prevent the demolition of several significant heritage properties including 79-85 King Street East, to facilitate the construction of a residential building. The Architectural Conservancy of Ontario, the Dundas Heritage Association, and the King Street East Citizen's Group were active in their efforts to preserve the properties and the green space they provided. Advocates were able to negotiate for the sale of 85 King Street East to conserve it, and in 1980 Joanna Chapman (born 1939) purchased 85 King Street East to rent it to Catherine Gibbon (1949-2021). Joanna Chapman is a prominent Dundas resident who has

To Designate Property Located at 85 King Street East, Dundas as Property of Cultural Heritage Value

Page 6 of 7

served on Dundas's town council, owned Chapman and Prince Booksellers (later Chapman Books), founded the Urquhart Butterfly Garden, and has been active in Dundas's environmental and historic conservation movements. Catherine Gibbon, a notable community advocate, landscape artist, student and teacher at the Dundas Valley School of Art, and co-founder of the Carnegie Gallery resided at 85 King Street East from 1980-2021, having purchased the property from Chapman in 1988 or 1989.

The property at 85 King Street East is important in defining the historic industrial character of the surrounding area and is historically and visually connected to the development of the Desjardins Canal. The nineteenth-century stone dwelling is one of the oldest existing dwellings in the east end of Dundas and is connected with the early town development planned in the Cootes Paradise Survey. The well-preserved stone façade, which stands out as an immediately recognizable nineteenth-century heritage structure in the surrounding streetscape, combined with the unique topography and wooded character of the property maintains the historic character of the early settlement area.

Description of Heritage Attributes

Key attributes that embody the physical value of the property as being a representative example of a nineteenth-century stone dwelling with Regency influences, and its long-standing association with prominent residents and the heritage conservation movement in Dundas, include the:

- Front (south), and side (east and west) elevations and roofline of the circa 1846-1848 stone dwelling, including its:
 - One storey massing;
 - Low hip roof with a side (east) brick chimney and projecting eaves;
 - Rear rectangular field-stone summer kitchen wing with an end-gable roof;
 - Symmetrical three-bay front façade;
 - Cut-stone even coursed front façade with corner quoining;
 - Broken-course fieldstone side and rear walls;
 - Covered front porch with a low hip roof supported by Ionic wood columns atop concrete-block piers;
 - Flat-headed window and door openings with decorative rounded brickmoulds, stone voussoirs and tooled stone lug sills;
 - Six-over-six hung wood windows with wooden storms and functional wood shutters; and
 - Central front entrance with its:
 - Four-panel solid wood door and original hardware, including letter slot, doorbell, and doorknob;
 - Four-pane wooden transom; and,

To Designate Property Located at 85 King Street East, Dundas as Property of Cultural Heritage Value

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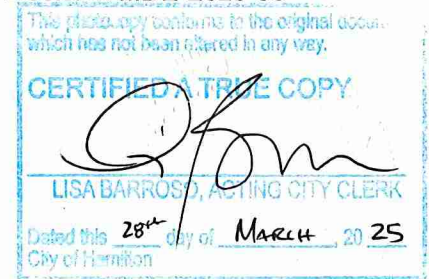
- Flanking sidelights with three upper glass panes and wood panels below.

Key attributes that embody the contextual value of the property as a defining feature of the historical character of King Street East and Dundas, include its:

- Deep setback from the public right-of-way;
- Location fronting onto King Street East;
- Proximity to the Desjardins Canal;
- Siting of the stone dwelling on the raised topography; and,
- Wooded character with mature trees.

Authority: Item 10(a), Planning Committee Report 24-018 (PED24181)
 CM: December 11, 2024 Ward: 13
 Written approval for this by-law was given by Mayoral Decision MDE-2025-06
 Dated March 26, 2025

Bill No. 050



CITY OF HAMILTON

BY-LAW NO. 25-050

To Designate Property Located at 223 Governor's Road, Dundas, City of Hamilton as Property of Cultural Heritage Value

WHEREAS section 29 of the *Ontario Heritage Act*, R.S.O. 1990, c. O.18 authorizes Council of the municipality to enact by-laws to designate property, including all buildings and structures thereon, to be of cultural heritage value or interest;

AND WHEREAS Council of the City of Hamilton has received and considered the recommendations of its Hamilton Municipal Heritage Committee pertaining to this by-law, arising from the meeting of the Hamilton Municipal Heritage Committee held on November 22, 2024;

AND WHEREAS the Council of the City of Hamilton, at its meeting held on December 11, 2024, resolved to direct the City Clerk to take appropriate action to designate the Property described as 223 Governor's Road in the City of Hamilton, and more particularly described in Schedule "A" hereto (the "Property"), as property of cultural heritage value or interest, which resolution was confirmed by By-law No. 24-234;

AND WHEREAS in accordance with subsection 29(3) of the *Ontario Heritage Act*, Council of the City of Hamilton has caused to be served on the owner of the Property and upon the Ontario Heritage Trust, a Notice of Intention to Designate the Property as being of cultural heritage value or interest, and has caused a Notice of Intention to Designate to be published in a newspaper having general circulation in the municipality, a copy of which is attached hereto as Schedule "B";

AND WHEREAS no Notice of Objection to the proposed designation under section 29(5) of the *Ontario Heritage Act* has been served upon the Clerk of the municipality;

AND WHEREAS Council has decided to designate the Property in accordance with section 29(8) of the *Ontario Heritage Act*;

NOW THEREFORE the Council of the City of Hamilton enacts as follows:

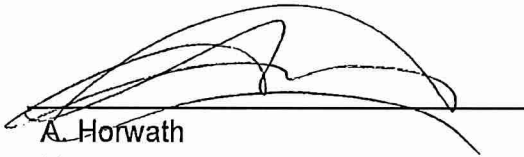
1. A statement explaining the cultural heritage value or interest of the Property, and a description of the heritage attributes of the Property are set out in Schedule "C" hereto.

To Designate Property Located at 223 Governor's Road, Dundas, City of Hamilton as Property of
Cultural Heritage Value

Page 2 of 6

2. The Property, together with its heritage attributes listed in Schedule "C" hereto, is hereby designated as property of cultural heritage value or interest.
3. The City Clerk is hereby authorized and directed,
 - a. to cause a copy of this By-law, together with the statement of cultural heritage value or interest and description of heritage attributes of the Property, to be served on the Ontario Heritage Trust, the owner of the Property, and any person who served an objection to the Notice of Intention to Designate, by a method permitted by the *Ontario Heritage Act*; and,
 - b. to publish a notice of passing of this By-law in a newspaper having general circulation in the City of Hamilton. Once this By-law comes into force and effect in accordance with the applicable provisions of the *Ontario Heritage Act*, the City Solicitor is hereby authorized and directed to cause a copy of this By-law, together with its Schedules, to be registered against the whole of the Property described in Schedule "A" hereto in the proper registry office.

PASSED this 26th day of March, 2025.



A. Horwath
Mayor



M. Trennum
City Clerk

To Designate Property Located at 223 Governor's Road, Dundas, City of Hamilton as Property of
Cultural Heritage Value

Page 3 of 6

Schedule "A"

To

By-law No. 25-050

**223 Governor's Road, Dundas
Hamilton, Ontario**

PIN: 17481-0422 (LT)

Legal Description:

FIRSTLY: PART PARK LT 1 PL 1461 BEING PART 3 ON 62R6174, SAVE AND
EXCEPT PT 1 ON 62R17979; T/W EASM'T OVER PT PARK LT 1 PL 1461, BEING
PT 1 ON 62R17979 FOR THE PURPOSE OF INGRESS AND EGRESS AS IN
WE615022; SCNDLY: PT PARK LOT 1 PL 1461, PART 2 ON 62R6174. DUNDAS;
CITY OF HAMILTON

To Designate Property Located at 223 Governor's Road, Dundas, City of Hamilton as Property of
Cultural Heritage Value

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Schedule "B"

To

By-law No. 25-050

**223 Governor's Road, Dundas
Hamilton, Ontario**

**Notice of Intention to Designate
223 Governor's Road, Dundas (Starfield)**

The City of Hamilton intends to designate 223 Governor's Road, Dundas, under Section 29 of the *Ontario Heritage Act*, as being a property of cultural heritage value.

Statement of Cultural Heritage Value or Interest

The property located at 223 Governor's Road, known as Starfield, is comprised of a brick residence constructed circa 1870. The property is a representative example of a vernacular mid-nineteenth century brick dwelling with Classical Revival influences and displays a high degree of craftsmanship. The property is associated with Timothy Greening, founder of T. Greening Wire Works, and local businessman John Maw. The property helps define the historic character of Governor's Road, is historically, functionally, and visually linked to its surroundings, and is considered to be a local landmark.

The Statement of Cultural Heritage Value or Interest, Description of Heritage Attributes and supporting Cultural Heritage Assessment may be found online via www.hamilton.ca or viewed at the Office of the City Clerk, 71 Main Street West, 1st Floor, Hamilton, Ontario, L8P 4Y5, during regular business hours.

Any person may, within 30 days after the date of the publication of the Notice, serve written notice of their objections to the proposed designation, together with a statement for the objection and relevant facts, on the City Clerk at the Office of the City Clerk.

Dated at Hamilton, this 11th day of February 2025.



Matthew Trennum
City Clerk
Hamilton, Ontario

CONTACT: Meg Oldfield, Cultural Heritage Planner,
E-mail: Meg.Oldfield@hamilton.ca
www.hamilton.ca/heritageplanning



Hamilton

To Designate Property Located at 223 Governor's Road, Dundas, City of Hamilton as Property of
Cultural Heritage Value

Page 5 of 6

Schedule "C"
To
By-law No. 25-050

223 Governor's Road, Dundas
Hamilton, Ontario

STATEMENT OF CULTURAL HERITAGE VALUE OR INTEREST, AND
DESCRIPTION OF HERITAGE ATTRIBUTES

Description of Property

The 0.49-hectare property at 223 Governor's Road, Dundas is comprised of a two-storey brick residence with a one-and-a-half storey eastern wing, originally constructed circa 1870. The property is located near the northeast corner of Governor's Road and Creighton Road, in the community of Dundas within the City of Hamilton.

Statement of Cultural Heritage Value or Interest

The property located at 223 Governor's Road, historically known as Starfield, is comprised of a brick residence constructed circa 1870. The cultural heritage value of the property lies in its design value as a representative example of a vernacular mid-nineteenth century brick dwelling with Classical Revival influences, as demonstrated by its Ionic columns, which also display a high degree of craftsmanship.

The historical value of the property lies in its direct association with people significant to the history and evolution of Dundas and its economy, including Timothy Greening (c.1815-1900), owner of the property from 1869 to 1896. In 1858, Timothy Greening immigrated to Hamilton with his half-brother, Benjamin Greening (1808-1877). Descended from a long line of wire manufacturers, Timothy Greening operated the T. Greening Wire Works, later Greening and Sons, from circa 1860 until his death in 1900, manufacturing wire cloth and sheet metal. The property is also associated with John Maw (1841-1920), a local businessman who resided at the property between 1904 and 1920. In 1865, Maw partnered with James Littler to form the Dundas Tool Works, which manufactured iron and woodworking machinery. In the 1880s, Maw joined the B. Greening Wire Works, serving as superintendent until 1906, at which time he was appointed Chairman of the Board of Directors.

The contextual value of the property lies in its role in defining the historic character of Governor's Road, one of the area's earliest transportation corridors that was constructed as a military route in the early-nineteenth century. The property is historically, functionally, and visually linked to its surroundings as one of the few extant mid-nineteenth century homes located along the Dundas portion of Governor's

To Designate Property Located at 223 Governor's Road, Dundas, City of Hamilton as Property of
Cultural Heritage Value

Page 6 of 6

Road, and for its connection to the site of the former T. Greening Wire Works industrial factory to the west. Initially situated on a 4-hectare lot, the property was home to an orchard and other small scale agricultural pursuits. Due to its prominent location and raised elevation on Governor's Road, the property is considered to be a local landmark.

Description of Heritage Attributes

The key attributes that embody the cultural heritage value of the property as a representative example of a vernacular mid-nineteenth century brick dwelling influenced by the Classical Revival architectural style and demonstrating a high degree of craftsmanship, and its historical association with Timothy Greening and John Maw, include:

- All elevations and rooflines of the combined one-and-a-half and two-storey brick dwelling including its:
 - Brick facades laid in Common bond;
 - Low hipped roofs with brick chimneys and plain fascia;
 - Flat-headed and segmentally-arched window openings with multi-pane hung wood windows and storms, brick voussoirs and stone lug sills;
 - Covered west, south and north porches with moulded cornice and Ionic columns;
 - West and southeast entrances, each with a multi-pane wood transom, sidelights and moulded wood trim;
 - North and northeast entrances with wood transoms; and,
 - Projecting ground-floor window bays with multi-pane wood windows and storms, and shared stone sills;

The projecting dormers in the one-and-a-half storey eastern portion of the building are not considered to be heritage attributes.

The key attributes that embody the contextual value of the property as a defining feature of the historical character of Governor's Road and the community of Dundas and it being historically and visually linked to its surroundings include its:

- Deep set back and prominent elevated location on Governor's Road.



City of Hamilton Report for Consideration

To: Chair and Members
Hamilton Municipal Heritage Committee

Date: April 25, 2025

Report No: PED25107

Subject/Title: Recommendation to Designate 2 Hatt Street,
Dundas, under Part IV of the *Ontario Heritage Act*

Ward(s) Affected: Ward 13

Recommendations

- 1) That the City Clerk **BE DIRECTED** to give notice of Council's intention to designate 2 Hatt Street, Dundas, shown in Appendix A attached to Report PED25107, as a property of cultural heritage value pursuant to the provisions of Part IV, Section 29 of the *Ontario Heritage Act*, in accordance with the Statement of Cultural Heritage Value or Interest and Description of Heritage Attributes, attached as Appendix B to Report PED25107, subject to the following:
 - (i) If no objections are received to the notice of intention to designate in accordance with the *Ontario Heritage Act*, City Council directs staff to introduce the necessary by-law to designate the property to be of cultural heritage value or interest to City Council;
 - (ii) If an objection to the notice of intention to designate is received in accordance with the *Ontario Heritage Act*, City Council directs staff to report back to Planning Committee to allow Council to consider the objection and decide whether or not to withdraw the notice of intention to designate the property.
- 2) That Tourism and Culture staff **BE DIRECTED** to continue discussions with representatives from Hamilton's Black communities in the development of a strategy for interpreting the history of Sophia Burthen Pooley.

Key Facts

- This Report recommends designation of the significant built heritage resource located at 2 Hatt Street, Dundas, under Part IV of the *Ontario Heritage Act*.
- The subject property is currently listed on the City's Municipal Heritage Register and is a high priority on the City's list of candidates for designation, as directed by Council.
- Staff have completed an evaluation of the subject property using Ontario Regulation 9/06 and determined that it has sufficient cultural heritage value or interest to warrant designation, as per the Statement of Cultural Heritage Value or Interest and Description of Heritage Attributes attached as Appendix B to Report PED25107.
- The cultural heritage value of the property includes its associations with the Hatt family and the founding of Dundas, as well as its potential to yield an understanding of Sophia Burthen Pooley, the history of slavery in Upper Canada, Black communities, and their history in Dundas.
- The Afro-Caribbean Canadian Association, Hamilton Black History Council, Dundas Museum and Archives, and the City of Hamilton's Indigenous Relations staff have been consulted in the preparation of this Report.
- Tourism and Culture staff continue to collaborate with representatives from Hamilton's Black communities (coordinated through the Afro-Caribbean Canadian Association) on how to interpret and share the property's potential to yield information on Sophia Burthen Pooley's story who was enslaved by the Hatt family.

Financial Considerations

N/A

Background

The subject property located at 2 Hatt Street, Dundas, shown in Appendix A attached to Report PED25107, is comprised of a one-storey single-detached stone commercial building constructed circa 1804. The subject property was first surveyed for potential heritage interest in the 1970s as part of the former Local Architectural Conservation Advisory Committee's inventory of historic buildings and was again surveyed by this same group in 1994. The property received a Hamilton Municipal Heritage Committee Heritage Property Conservation Award in 2008.

Property Standards

In May 2013, Municipal Law Enforcement staff received a complaint that the subject property had been vacated, and the property was added to the Vacant Building Registry, resulting in ongoing proactive monitoring of the building. In February 2019, Municipal Law Enforcement staff noted that the building had utilities connected with

minimal usage and, as a result, the property was removed from the Vacant Building Registry. In 2022, the building was again declared vacant, though it is currently an unregistered vacant building.

Designation Request

In 2017, the Hamilton Municipal Heritage Committee raised concerns about the status of the building, having been vacant since 2013 and listed for sale in June of 2017, and requested that staff review the property for designation under Part IV of the *Ontario Heritage Act*. On October 19, 2017, Heritage Committee considered staff Report PED17187 recommending the property be listed on the Municipal Heritage Register and added to staff's designation workplan for more comprehensive review for designation at a later date. These recommendations were approved by City Council on November 8, 2017, as part of Planning Committee Report 17-013.

As a result of the recent *Bill 23* changes to the *Ontario Heritage Act*, the former staff workplan for designation was rescinded and replaced with a new public list of Candidates for Designation under Part IV of the *Ontario Heritage Act* (see Report PED22211(a)), at which time 2 Hatt Street, Dundas was reprioritized for review for designation by January 1, 2025. At its meeting on February 27, 2023, the Inventory and Research Working Group of the Hamilton Municipal Heritage Committee considered a draft Cultural Heritage Assessment Report for the property and confirmed its support for designation. In a letter dated March 31, 2023, Cultural Heritage Planning staff notified the property owner of staff's recommendation to designate the property under Part IV of the *Ontario Heritage Act*.

Consultation and Engagement

In 2021, a private citizen posted signs around Dundas bringing attention to the town's history with slavery, including signs on the building at 2 Hatt Street. In May 2023, staff was in contact with a community member who has published works and curated an exhibit on Sophia Burthen Pooley (circa 1775/78- circa 1860) - a Black woman enslaved by members of the Hatt family for approximately seven years in the Ancaster and Dundas areas - with the intention of better understanding the connections between the property, Black history, and the history of slavery. As a result of this meeting staff sought out additional feedback from Hamilton's Black community. Following extended consultation with representatives from the Afro-Caribbean Canadian Association and Hamilton Black History Council in 2024, staff's Cultural Heritage Assessment Report (attached as Appendix C to this Report) was revised to incorporate their feedback and finalized in March 2025.

Tourism and Culture staff have also been engaged in ongoing discussions with the Afro-Canadian Caribbean Association on how to interpret and share Sophia Burthen Pooley's story. The Honouring Sophia Burthen Pooley Advisory Committee was formed

in 2023 and Hamilton Civic Museums staff continue to engage with the Advisory Committee to develop a strategy for interpretation.

Analysis

The intent of municipal designation, under Part IV of the *Ontario Heritage Act*, is to enable a process for the management and conservation of significant cultural heritage resources. Once a property is designated, the municipality can manage change to a property through the Heritage Permit process to ensure that the significant features of the property are maintained. Designated properties are also considered to be “protected heritage property” under the Provincial Planning Statement (2024), which shall be conserved through the *Planning Act* development application process.

Section 29(1) of the *Ontario Heritage Act* permits the Council of a municipality to designate property to be of cultural heritage value or interest where property meets two or more of the Criteria for Determining Cultural Heritage Value or Interest prescribed in Ontario Regulation 9/06, as amended by Ontario Regulation 569/22, which identifies nine criteria in three broad categories: Design / Physical Value; Historical / Associative Value; and Contextual Value.

The evaluation of cultural heritage value or interest of the subject property was completed by Cultural Heritage Planning staff based on site visits to view the exterior of the property, available primary and secondary research sources, and consultation with key stakeholders. The full Cultural Heritage Assessment Report for 2 Hatt Street is attached as Appendix B to Report PED25107. As outlined below, based on staff’s cultural heritage evaluation, it was determined that the subject property meets six of the nine criteria contained in Ontario Regulation 9/06 in all three categories.

Design / Physical Value

1. The property has physical value as a rare, unique, and early example of pre-Confederation architecture in Upper Canada. 2 Hatt Street is one of the oldest buildings in Dundas, is the only extant structure from Richard Hatt’s New Dundas Mill complex and is an early example of the use of dolostone from the nearby Niagara Escarpment in the construction of Dundas buildings. Features of the circa 1804 one-storey vernacular stone building representative of its value include its: one-storey massing; rectangular footprint; low side-gable roof; and coursed rubblestone elevations, with local dolostone.
2. The property does not display a high degree of craftsmanship.
3. The property does not demonstrate a high degree of technical or scientific achievement.

Historical / Associative Value

4. The property has historical value for its association with significant Dundas figures, events, and institutions, including the Hatt family, the New Dundas Mills, the founding of the Town of Dundas and the history of slavery in Ontario. As the last remaining building of the New Dundas Mills, 2 Hatt Street is an important relic of the town's early colonial settlement and industrial history. The New Dundas Mills (so named for its proximity to Dundas Street) was a mill complex which first began as a sawmill in 1799 and was expanded upon in 1800, before being purchased by Samuel Hatt (1776-1842), Richard Hatt (1769-1819), and Manuel Overfield (1773-1839) in 1804. Together, these three men, likely using the labour of indentured servants and enslaved persons, had the mill complex further expanded, constructing additional buildings including 2 Hatt Street, which served as a store. The mill quickly became a commercial success, having an irrevocable impact on the built form of Dundas - attracting American and European settlers westwards towards Spencer Creek and away from the 1792 Coote's Paradise town plan closer to where the Desjardins Canal sits today. Building on the town's rapid growth, 2 Hatt Street served as its very first informal post office, where letters would be addressed to the New Dundas Mills. In 1814 this would influence the Crown's official opening of the town's first post office, called the Dundas Post Office, at which point the name of Dundas officially superseded that of Coote's Paradise.

Of the three men who expanded the mills in 1804, Richard Hatt has historically been credited as the primary owner and operator of the mill after having purchased Samuel and Manuel's shares by 1808 – but all three men are attributed to its founding. Having originally started their business in Ancaster, Samuel and Richard worked to find ways in which to expand their business and influence, including by having roadways constructed to support their economic networks and expansion. This continued after they had purchased the New Dundas Mills, where Richard platted Dundas' early streets and established a town plot which would guide the growth of the town. Elsewhere, Richard expanded his political influence by serving as Justice of the Peace in 1800, establishing the *Upper Canada Phoenix* newspaper (the first newspaper west of York), entering the House of Assembly in 1817, and serving as a major during the War of 1812. Although Samuel stopped being co-owner of the mill by 1808, he remained closely involved in business with his brother, and was a key player in local political and economic networks similarly growing his influence and power before he eventually moved to Quebec following the War of 1812.

While historic records rarely include details on the people whose labour helped produce the wealth, influence, and power of early-nineteenth century industrialists like the Hatts, it is known that both Hatt brothers were complicit in institutions of slavery and oppression. Of the two, historic evidence has shown that Samuel enslaved at least one Black woman, named Sophia Burthen Pooley

(circa 1775/78- circa 1860), and was involved in the indenture (forced labour) of a Black orphaned child. While no evidence had been found to date showing Richard directly involving himself with slavery, he was responsible for the indenture of at least six individuals, and his continued business relationship with his brother, and other known slaveowners in the region, is evidence that he nonetheless profited from and supported these institutions.

5. The property has the potential to yield information that contributes to an understanding of the history of slavery in Upper Canada, Black communities, and their history in Dundas, early Dundas settlement and industry, and the nuanced intersections between them.

Historic documentation is biased towards remembering wealthy, elite, literate classes of landowners like the Hatts, which makes it difficult to identify the histories of the people whose labour, constructing and operating mills and farms, supported the financial success of the Hatt estate. In the case of 2 Hatt Street, an 1856 interview with Sophia Burthen Pooley (circa 1775/78- circa 1860) - a Black woman enslaved by members of the Hatt family for approximately seven years in the Ancaster and Dundas areas – provided a rare and valuable glimpse of the overlooked lives of indentured and enslaved people whose labour built the wealth and power of Upper Canada's elite in the early-nineteenth century. Little is known about Sophia's life, other than that she was born into slavery in Fishkill, New York, circa 1775-1778, before her and her sister were kidnapped and brought to Niagara as small children. In Niagara Sophia was sold to, and enslaved by, the notable Mohawk figure Joseph Brant (1743-1807), with whom she reportedly lived for 12 years. While under Brant's captivity, Sophia spent a large portion of her time in the Dundas area, and reported a childhood spent hunting with Brant's own young children, as well as instances of cruelty and abuse from Brant's wife Catherine (1759-1837) whose physical attacks left her with permanent scars. Sometime after Samuel and Richard Hatt arrived in Ancaster, they developed a business relationship with Joseph Brant which would culminate in Samuel Hatt purchasing Sophia from Brant for \$100, likely circa 1798-1799.

While there is no surviving historical documentation physically tying Sophia Burthen Pooley to the building at 2 Hatt Street, she was likely already enslaved by Samuel Hatt when he was involved in purchasing the New Dundas Mills. This means that it is likely that Sophia would have at the very least witnessed the construction of 2 Hatt Street while enslaved by the partial owner of the Mills. It is also reasonable to presume Richard Hatt was complicit in the enslavement of Sophia, as the brother and close business partner of Samuel at the time of his purchase of Sophia from such an important political and business figure such as Joseph Brant. Sophia's exchange between Brant and the Hatts was representative of the ways in which economic networks at the time were built, in part, on the trade of people who were captive, whether through slavery or

indenture. Further to this, the local political and economic conditions of the time mean that it would have been very likely that she would have interacted with the property at 2 Hatt Street, or else contributed to the wealth which allowed for its construction and commercial success. As an enslaved person, Sophia was part of the Hatt family's estate, and would have actively contributed to the growth of their wealth and power. Sophia's skills as a Kanien'kéha (Mohawk) speaker and her knowledge of Kanien'kéha culture would have had value to the Hatts, and it is likely that her contribution of these skills had positive impact on the growth of their businesses and wealth, which she would not have benefitted from.

The absence of direct documentary evidence tying Sophia to places where she lived and worked is a feature of the dispossession of enslaved people in Upper Canada. However, the existence of the industry building at 2 Hatt is attributable in part to the contributions of Sophia and the six unnamed indentured servants brought by the Hatts. In this context, 2 Hatt Street's significance is tied to its perseverance as the last remains of a property and industry whose success was tied to the labour of enslaved people like Sophia - the ambiguity of Sophia's relationship with the building also speaking to the deliberate erasure of Black histories from historic documentation.

6. The property does not demonstrate or reflect the work or ideas of an architect, artist, builder, designer, or theorist who is significant in the community

Contextual Value

7. The property is important in defining the historic character of the area as an early-nineteenth century single-detached building located prominently along an important and historic transportation corridor at the terminus of Hatt Street, near the northwest corner of Main Street and Governors Road. As the last remaining building of the New Dundas Mills complex, 2 Hatt Street is a relic of the area's historic industrial past which stands out in its immediate landscape, which is now primarily residential and commercial. The property's close proximity to major landmarks like the Dundas Town Hall at 60 Main Street helps define the area's continued use as an administrative centre throughout the nineteenth century, which arguably began with 2 Hatt Street's service as an informal post office.
8. The property is visually and historically linked to its surroundings. The property's visual relationship and proximity to the Dundas Town Hall speaks to the immediate area's historic status as the governing and administrative centre of Dundas. Its presence as the last remaining building of the New Dundas Mills complex also speaks to Dundas' early industrial roots. The property's location along Hatt Street, and on a plot included in the earliest town plans for Dundas, also speak to its relationship with early local urban development and the historic economic networks across the Head-of-the-Lake region, which wealthy land prospectors and early industrialists like the Hatts depended on to assert and

expand their influence. Roads and routes that connected places like Ancaster and York (Toronto) to the New Dundas Mills commemorate those networks of influence. 2 Hatt Street is representative of the historical relationships of power that both depended on the control, and even enslavement, of people to support the rapid early economic growth.

9. The property is considered to be a local landmark. Its location at the terminus of Hatt Street, proximity to Dundas Town Hall, the triangular shape of the plot, its squat rectangular shape, and its unique rubblestone dolostone exterior allow it to stand out in its now primarily residential immediate landscape.

Staff have determined that 2 Hatt Street, Dundas is of cultural heritage value or interest sufficient to warrant designation under Part IV of the *Ontario Heritage Act* and recommend designation according to the Statement of Cultural Heritage Value or Interest and Description of Heritage Attributes, attached as Appendix B to Report PED25107.

This Report also recommends that Tourism and Culture staff be directed to continue their collaboration and engagement with the Honouring Sophia Burthen Pooley Advisory Committee to develop a strategy for interpreting and sharing Sophia Burthen Pooley's story, which can be informed by the Cultural Heritage Assessment Report prepared as part of this designation process, attached as Appendix C to this Report.

The Recommendations of this Report are consistent with Provincial and Municipal legislation, policy, and direction, including:

- Determining the cultural heritage value or interest of a property based on design / physical value, historical / associative value, and contextual value criteria (*Ontario Heritage Act*, Ontario Regulation 9/06);
- Implementing proactive strategies for conserving significant built heritage resources (Provincial Planning Statement, 2024, Sub-section 4.6.4(b)); and,
- Designating properties of cultural heritage value under Part IV of the *Ontario Heritage Act* (Urban Hamilton Official Plan, Section B.3.4.2.3).

Alternatives

Under Part IV of the *Ontario Heritage Act*, the designation of property is a discretionary activity on the part of Council. Council, as advised by its Municipal Heritage Committee, may decide to designate property, or decline to designate property.

Decline to Designate

By declining to designate, the municipality would be unable to provide long-term, legal protection to this significant cultural heritage resource (designation provides protection

against inappropriate alterations and demolition) and would not fulfil the expectations established by existing municipal and provincial policies.

Without designation, the property would not be eligible for the City's financial incentives for heritage properties, including development charge exemption and grant and loan programs. Designation alone does not restrict the legal use of property, prohibit alterations and additions, nor does it restrict the sale of a property, or been demonstrated to affect its resale value. However, designation does allow the municipality to manage change to the heritage attributes of a property through the Heritage Permit process. Staff does not consider declining to designate any of the properties to be an appropriate conservation alternative.

Relationship to Council Strategic Priorities

- Priority 1: Sustainable Economic & Ecological Development
 - 1.2: Facilitate the growth of key sectors.
- Priority 3: Responsiveness & Transparency
 - 3.2: Get more people involved in decision making and problem solving.

Previous Reports Submitted

- PED17187 - Preliminary Screening for the Request to Designate 2 Hatt Street, Dundas, Under Part IV of the *Ontario Heritage Act* (Ward 13). A copy of this report can be obtained by contacting the Office of the City Clerk.

Consultation

At its meeting on February 27, 2023, the Inventory and Research Working Group of the Hamilton Municipal Heritage Committee considered staff's initial draft Cultural Heritage Assessment Report for the property and supported its designation.

In May 2023, staff contacted a local community member and author who has published works and curated an exhibit on Sophia Burthen Pooley with the intention of better understanding the connections between the subject property and the histories of slavery and Black people in Dundas. On May 25, 2023, staff met with the community member, whose feedback indicated that staff should revise their existing draft documents. Following this meeting, staff identified a need to conduct further consultation with Hamilton's Black communities.

On June 3, 2024, staff circulated a draft Cultural Heritage Assessment Report to representatives of the Afro-Caribbean Canadian Association for feedback. On July 9, 2024, staff met with the group to discuss the draft heritage evaluation and recommendation to designate the property. Following this consultation, staff completed major revisions to the Cultural Heritage Assessment Report and circulated a revised draft on November 21, 2024. A second consultation meeting was held on December 2,

2024, where staff presented the revised report to representatives from the Afro-Caribbean Canadian Association and the Hamilton Black History Council. A final revised draft of the report was produced using this additional feedback, which was again circulated to the group by email on January 20, 2025.

On November 21, 2024, Planning staff circulated a draft Cultural Heritage Assessment Report to the City of Hamilton Indigenous Relations staff for feedback.

On February 21, 2025, staff circulated a draft Cultural Heritage Assessment Report to the Dundas Museum and Archives for feedback.

On February 21, 2025, staff advised the Ward Councillor (Councillor A. Wilson) for Ward 13 of the recommendations of this report and provided them with a copy of the Cultural Heritage Assessment Report for their information.

In a letter dated March 31, 2023, staff advised the property owner that staff were moving forward with the recommendation to designate the property. The initial timeline indicated in this letter was revised following staff's previously noted consultation in May 2023. In both a letter and email dated February 6, 2025, staff provided the property owner with a copy of the proposed Statement of Cultural Heritage Value or Interest and advised them of the Heritage Committee meeting date that the recommendation would be considered. In an email dated February 26, 2025, staff provided the property owner with additional instructions on how they could participate in meeting.

Appendices and Schedules Attached

Appendix A: Location Map

Appendix B: Statement of Cultural Heritage Value or Interest and Description of Heritage Attributes.

Appendix C: Cultural Heritage Assessment Report

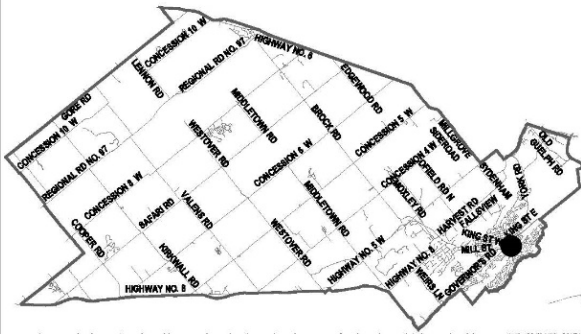
Prepared by: Maryssa Barras, Cultural Heritage Planning Technician II
Planning and Economic Development, Planning Division

Meg Oldfield, Cultural Heritage Planner
Planning and Economic Development, Planning Division

Submitted and recommended by: Anita Fabac, Acting Director of Planning and Chief Planner
Planning and Economic Development, Planning Division



● Site Location



Key Map - Ward 13

Location Map



PLANNING AND ECONOMIC DEVELOPMENT DEPARTMENT

File Name/Number:
2 Hatt St

Date:
February 18, 2025

Appendix "A"

Scale:
N.T.S.

Planner/Technician:
MB/AL

Subject Property



2 Hatt Street, Dundas

STATEMENT OF CULTURAL HERITAGE VALUE OR INTEREST AND DESCRIPTION OF HERITAGE ATTRIBUTES

Description of Property

The 0.056-hectare property at 2 Hatt Street is comprised of a one-storey single-detached stone commercial building, situated at the terminus of Hatt Street, near the northwest corner of Main Street and Governors Road, in the historic core of Dundas, in the former Town of Dundas within the City of Hamilton.

Statement of Cultural Heritage Value or Interest

The property located at 2 Hatt Street is comprised of a one-storey stone commercial building constructed circa 1804. As a rare, unique, and early example of pre-Confederation architecture in Upper Canada, the property has physical value as one of the oldest buildings in Dundas, the only extant structure from the New Dundas Mills, and as an early example of the use of dolostone from the Niagara Escarpment in the construction of Dundas buildings.

The property has historical value for its associations with significant Dundas figures, events, and institutions, including the New Dundas Mills, the founding of the Town of Dundas and the Hatt family. The property's early history is primarily associated with Richard Hatt (1769-1819) a local businessman, judge, politician, militia officer and recognized "founder" of the Town of Dundas. Richard, along with his brother Samuel Hatt (1776-1842) and their business partner Manuel Overfield (1773-1839), had 2 Hatt Street constructed circa 1804 after they had jointly purchased and expanded the New Dundas Mills. By 1808, Richard had become the sole proprietor of the complex, but he continued to maintain strong business relations with Samuel who operated a store nearby in Ancaster. The New Dundas Mills were critical to the growth of the town, leading to its prominence as a manufacturing and shipping centre in the nineteenth century.

The historical value of the property also lies in its potential to yield information that contributes to an understanding of the history of slavery in Upper Canada, Black communities, and their history in Dundas, early Dundas settlement and industry, and the nuanced intersections between them. Sophia Burthen Pooley (circa 1775/78- circa 1860) is an important and early figure in Ontario's Black History, with her life account being one of very few for which first-hand records of slavery as an enslaved person in Upper Canada (Ontario) in the late-eighteenth and early-nineteenth centuries that exists. Sophia was born into slavery in New York, and arrived in Upper Canada as a young child where she was sold and enslaved by the notable Mohawk leader Joseph Brant (1743-1807). During her time with Brant she lived in the Dundas area, and after approximately 12 years, circa 1798-99, she was sold to Samuel Hatt who would enslave her for 7 more years. While no direct documentation confirms her presence at 2 Hatt Street, Sophia was enslaved by Samuel while he was a co-owner of the New Dundas

Mills, and her labour, local knowledge, and skills as a Kanien'kéha (Mohawk) speaker would have been invaluable to the success of the New Dundas Mills, having a positive impact on the growth of the Hatts' businesses and wealth, which she would not have benefitted from. 2 Hatt Street's significance is tied to its perseverance as the last remains of a property and industry whose success was dependent on the contributions of enslaved people like Sophia - the ambiguity of Sophia's relationship with the building also speaking to the deliberate erasure of Black histories from historic documentation.

The property has contextual value as a defining feature of Hatt Street, Governors Road, and the Town of Dundas' historic character. Its location on its original plot along Hatt Street also speak to its relationship with historic urban development and economic networks across the Head-of-the-Lake region, which wealthy land prospectors and early industrialists like the Hatts depended on to assert and expand their influence. The property's location near the northwest corner of Main Street and Governors Road and the Town of Dundas, and proximity to Dundas Town Hall, visually connect it to its surroundings and contribute to its status as a local landmark.

Description of Heritage Attributes

The key attributes that embody the cultural heritage value of the property as a rare and unique example of pre-Confederation architecture, its association with the former New Dundas Mills and its owner Richard Hatt, and potential to yield an understanding of the history of slavery in Upper Canada and its connections to early Dundas settlement and industry include:

- All four elevations and the roofline of the one-storey stone building, including its:
 - Rectangular footprint;
 - Low side gable roof;
 - Coursed rubblestone façade constructed from dolostone;
 - Cut sandstone quoins;
 - Wood lintels and sills;
 - Rectangular door opening;
 - Three 12-over-12 wood windows on the south façade;
 - One 8-over-12 wood window on the north façade; and,
 - Stone foundation

The key attribute that embodies the contextual value of the property as a defining feature of the historic character of Hatt Street, Governors Road, the community of Dundas, and Dundas' role in establishing economic networks across the Head-of-the-Lake region which land prospectors and industrialists, including slaveholders, depended on to assert and expand their influence, and as a local landmark, is its:

- Location at the terminus of Hatt Street at the intersection of Governors Road and Main Street.

CULTURAL HERITAGE ASSESSMENT REPORT



2 Hatt Street, Dundas

City of Hamilton

Prepared by
Heritage and Urban Design Section
Planning Division
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City of Hamilton

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March 3, 2025 (FINAL DRAFT)

CULTURAL HERITAGE ASSESSMENT REPORT: A READER'S GUIDE

This cultural heritage assessment report is prepared as part of a standard process that assists in determining the cultural heritage value of properties and their prospective merit for protection, including designation and/or a heritage conservation easement agreement, under the *Ontario Heritage Act*.

This report is divided into five sections:

Section 1 comprises an introduction including a description of the property location.

Section 2, *Physiographic Context*, contains a description of the physiographic region in which the subject property is located.

Section 3, *Settlement Context*, contains a description of the broad historical development of the settlement in which the subject property is located as well as the development of the subject property itself. A range of secondary sources such as local histories and a variety of historical and topographical maps are used to determine settlement history.

Section 4, *Property Description*, describes the subject property's key heritage characteristics that provide the base information to be used in Section 5.

Section 5, *Cultural Heritage Assessment*, provides a summary of *Ontario Regulation 9/06*, the criteria for determining cultural heritage value or interest for designation under the *Ontario Heritage Act*, an evaluation of the which criteria the subject property satisfies and a recommendation as to whether or not the subject property should be protected under the *Ontario Heritage Act* through designation and/or a heritage conservation easement agreement, including a Statement of Cultural Heritage Value or Interest and Description of Heritage Attributes.

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1. Introduction

This cultural heritage assessment report examines the cultural heritage value or interest of the property located at 2 Hatt Street in Dundas, historically part of the New Dundas Mills industrial complex. The property is comprised of a one-storey stone commercial building constructed circa 1804 that has been modified over time.

The subject property was listed on the City's Municipal Heritage Register on August 15, 2017 (Planning Committee Report 17-013). On July 20, 2017, the Hamilton Municipal Heritage Committee requested that staff report on the potential for designation of 2 Hatt Street resulting in the preliminary evaluation of the property and the recommendation to add this property to the City's designation workplan. The staff report (PED17187) was carried by Planning Committee on October 31, 2017 and by City Council on November 8, 2017.

In 2020, the subject property was added to staff's designation workplan for further research and assessment of the property. As a result of the recent *Bill 23* changes to the *Ontario Heritage Act*, the former staff workplan for designation was rescinded and replaced with a new public list of Candidates for Designation under Part IV of the *Ontario Heritage Act* (see Report PED22211(a)), at which time 2 Hatt Street, Dundas was reprioritized for review for designation by January 1, 2025.

On May 25, 2023 staff held a consultation session with Andrew Hunter, the author of a book on Sophia Burthen Pooley. Following this meeting, staff identified a need to conduct further consultation with Hamilton's Black community. On June 3, 2024, staff circulated a draft Cultural Heritage Assessment Report to the Afro-Caribbean Canadian Association (ACCA) for feedback. On July 9, 2024, staff held a consultation meeting with ACCA for additional feedback on the evaluation of the property. Following this consultation, staff completed major revisions to the report, and recirculated a revised copy on November 21, 2024, followed by an additional consultation meeting with ACCA and the Hamilton Black History Council (HBHC) on December 2, 2024.

1.1 Potential Designation and Next Steps

Extensive research has been conducted to determine the cultural heritage value of the property, which is outlined in this document, and, having met designation criteria, the property is worthy of designation under Part IV of the *Ontario Heritage Act*.

1.2 Property Location

The 0.056-hectare subject property, comprised of a one-storey stone commercial building, is located in the historic downtown core of Dundas at the terminus of Hatt Street, near the northwest corner of Main Street and Governors Road, just south of Dundas Town Hall.

2. Physiographic Context

The subject property is located in the Westlands, a sub-region of the Great Lakes – St. Lawrence Lowlands physiographic region. Dundas lies within the Dundas Valley, the only major pre-glacial valley east of the Niagara Escarpment. The Valley was created by pre-glacial erosion, which cut deep into the Escarpment and then filled the Valley with 160 metres of silt loam, a type of topsoil considered to be ideal for agriculture.¹ The Escarpment walls are composed of 450 million-year-old shale and dolomitic limestone (also called dolostone), which served as the building material for many of Dundas' early structures and was also used in steel production.² The area's topography is largely defined by its proximity to major water bodies, including waterfalls and streams, such as Spencer Creek, which permitted the development of many of Dundas' early industries, including its historic mills, and Cootes Paradise, a wetland that connected Dundas to the western head of Lake Ontario.

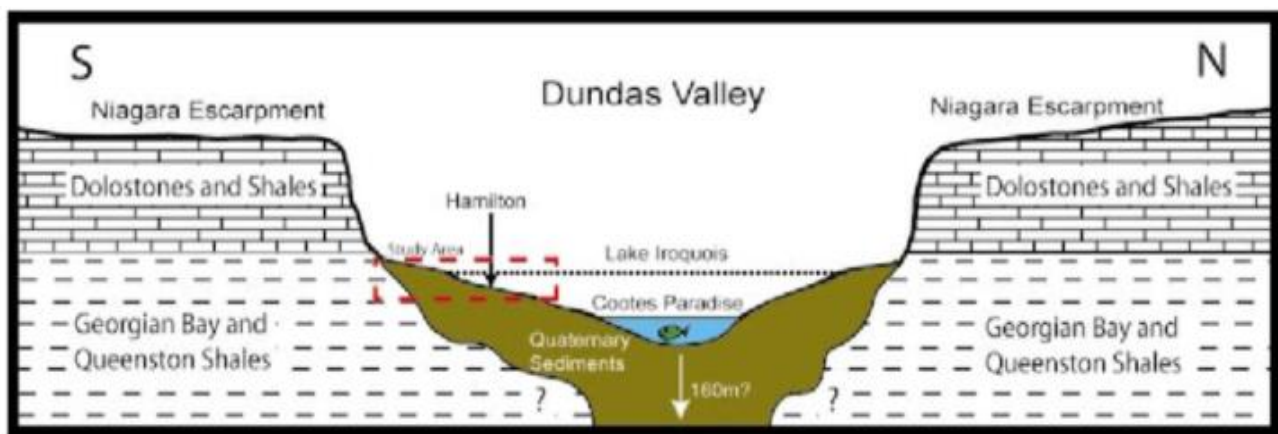


Figure 1: Schematic cross-section of Dundas Valley showing bedrock, sediment infill, and the prehistoric post-glacial Lake Iroquois and contemporary Cootes Paradise (Source: <https://www.researchgate.net/figure/Schematic-cross-section-of-Dundas-Valley-showing-bed>)

¹ Marilyn Miller & Joe Bucovetsky, "The Valley Town: Surveying the Urban Heritage in Dundas," in *Continuity with Change* ed. Mark Fram & John Weiler (Toronto: Dundurn Press, 1984), 112

² Ibid., 114

3. Settlement Context

3.1 Early Human Occupation to the Seventeenth Century

The area encompassing the former Town of Dundas has attracted human settlement since time immemorial, with archaeological evidence indicating Indigenous peoples had settled in the area at least 13,000 years ago.³ Historically, the Dundas Valley has been home to multiple overlapping First Nations as part of the traditional territories of the Neutral Nation (called Attawandaron by the Huron-Wendat meaning “peoples of a slightly different language”),⁴ as well as Anishinaabe, Huron-Wendat, and Haudenosaunee peoples. Indigenous oral traditions and histories tell us that, prior to the sixteenth century, the area was primarily occupied by the Neutral Nation, called Neutral

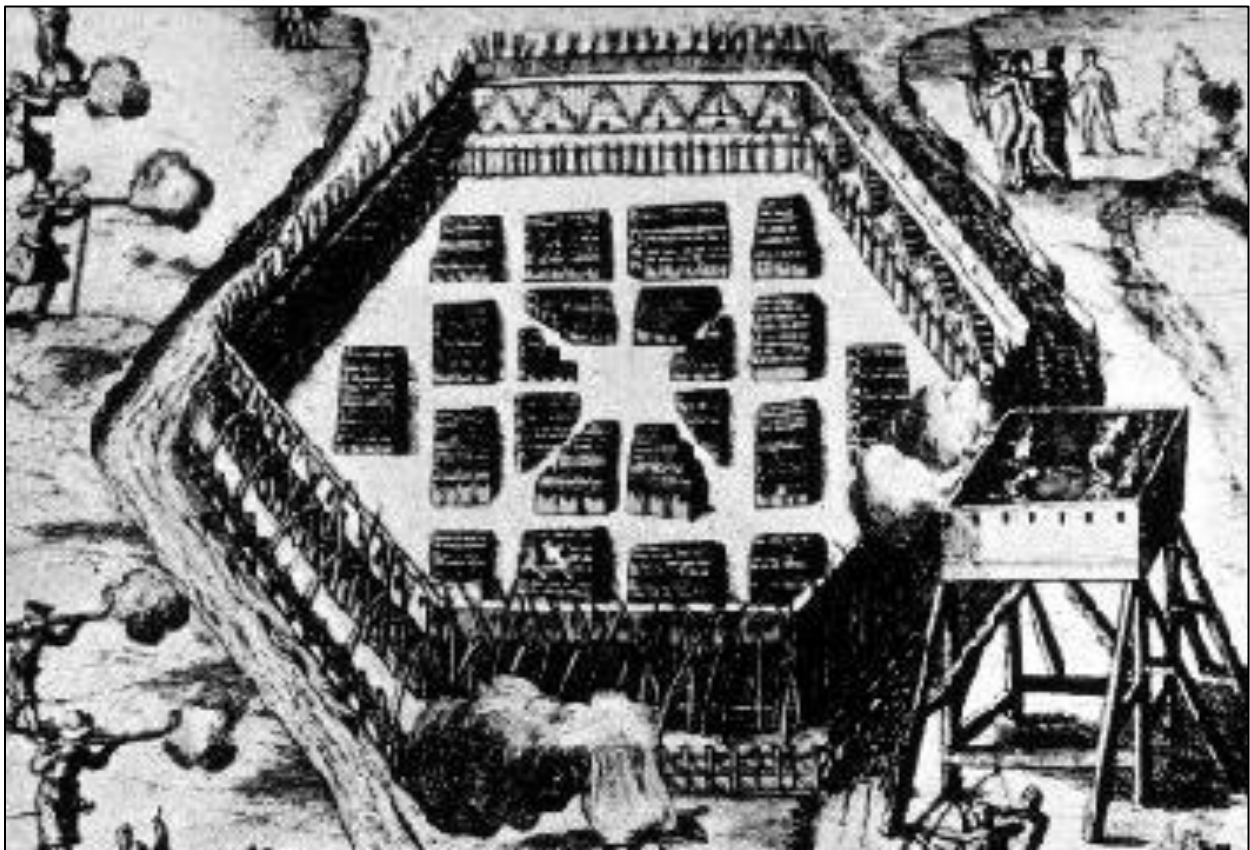


Figure 2: Drawing of a Haudenosaunee village circa 1632, by Samuel de Champlain. (Source: *Les voyages de la Nouvelle France occidentale, dicte Canada, faits par le Sr de Champlain*, AGO.98836, Art Gallery of Ontario, <https://ago.ca/collection/object/ago.9>)

³ Ronald F. Williamson, Peter L. Storck, Danielle A. Macdonald, Cam Walker, John L. Fagan, Andrea Carnevale, Andrew Stewart, Peter H. von Bitter, & Robert I. MacDonald, “New insights into early paleoindian (Gainey) associations with proboscideans and canids in the Niagara Peninsula, Southern Ontario, Canada,” *Journal of Archaeological Science: Reports*, 47, (2023); Cara Nickerson & Aicha Smith-Belghaba, “Early Indigenous People Hunted Mammoth in Hamilton area, ‘unprecedented’ study suggests,” *CBC News*, (2022), <https://www.cbc.ca/news/canada/hamilton/evidence-mammoth-butcher-in-ontario-1.6693736>.

⁴ William C. Noble, “The Neutral Confederacy,” *The Canadian Encyclopedia*, November 20, 2015.

by early French arrivals for their relatively neutral position in the wars between neighbouring Huron-Wendat Nations and Haudenosaunee Confederacies.⁵

The Neutral Nation's primary territory extended in the area between the Grand River and Lake Ontario. Their geo-political influence extended through far-ranging trade networks that spanned as far as Chesapeake Bay and the Carolinas.⁶ The trails and trade routes established by the Neutral Nation and other First Nations continued to play crucial roles in the movement of both Indigenous peoples and settler arrivals during the early colonial period, and still exist today in the form of highways and main roads, including Governor's Road, Highway 8, and Osler Drive.

The Neutral Nation were close relatives of the Huron-Wendat, whose primary territory was just north of their own.⁷ Like many of their contemporaries, the Nation consisted of a well-established and organized confederacy of horticultural longhouse communities, led by elected chiefs.⁸ While it is not clear when exactly conflict began in the area between Nations, First Nation oral traditions share that it had been a major disrupting force in the period prior to the sixteenth and seventeenth century when the earliest surviving written records related to the conflict were written. In reaction to this conflict, the Neutral Nation moved many of their established settlements towards the area between the Great Lakes, including the areas around what is now known as Dundas.⁹

3.2 Seventeenth Century to the 1763 Royal Proclamation

The seventeenth century was a period of major change and instability in the area, with pre-existing conflict between Nations intensifying because of European influence and incursion. At this early stage of European incursion into Indigenous territories, European powers were still a (rapidly growing) minority, in the early stages of establishing permanent settlements. The introduction of European diseases and commodities, however, had devastating consequences in an already unstable geo-political landscape, playing a major role in the success and proliferation of European settler colonies and the further destabilization of an area already experiencing conflict.

In addition to Europeans, the first People of African Descent arrived in North America at this time. In 1604, the very first recorded Black person to have passed through Canada was an African explorer and interpreter named Mathieu Da Costa.¹⁰ His story is a unique one, as the overwhelming majority of People of African Descent were brought to North America against their will as the property of wealthy European settlers through the

⁵ *Jesuit Relations and Allied Documents*, ed. Reuben Gold Thwaites (Cleveland: Burrows Brothers Company, 1896), 193, <https://digitalarchive.tpl.ca/objects/346028/the-jesuit-relations-and-allied-document#>.

⁶ William C. Noble, "Tsouharissen's Chiefdom: An Early Historic 17th Century Neutral Iroquoian Ranked Society," *Canadian Journal of Archeology* 9, no. 2 (1985): 139.

⁷ Alan McMillan & Eldon Yellowhorn, *First Peoples in Canada* (Vancouver: Douglas & McIntyre, 2004), 72-73.

⁸ *Ibid.*; Noble, William C. "The Neutral Confederacy."

⁹ McMillan & Yellowhorn, *First Peoples in Canada*, 86-88.

¹⁰ Dominique Millette, Maude-Emmanuelle Lambert, & Jessica Poulin, "Mathieu Da Costa," *The Canadian Encyclopedia*, Feb 7 2023, <https://www.thecanadianencyclopedia.ca/en/article/mathieu-da-costa>

transatlantic slave trade. In 1628, only 24 years after Da Costa arrived, the earliest known instance of chattel slavery to have taken place in Canada occurred when a child (taken from Guinea or Madagascar) was purchased and enslaved by a French priest and re-named Olivier LeJeune.¹¹ During this time, when European slavers establishing themselves in Africa were still beginning the cruel kidnapping, sale, and transport of Black people to North America, Indigenous peoples were also enslaved to meet the demands of both French and British colonisers. In the period from 1628 to 1700 the number of enslaved peoples in New France, which included the sparsely settled Ontario, included at least 4,092 people (2,692 Indigenous and 1,400 African people).¹²

At this time, the fur trade intensified as First Nations peoples increased their harvest of beaver furs to obtain European trade goods, and Europeans increased their beaver harvest activities as well.¹³ The result was decreased supply and increased demand for beaver furs, which spurred a series of conflicts, known as the Beaver Wars, between the Haudenosaunee and surrounding Nations. The Haudenosaunee's presence in Southern Ontario between Neutral Nation and Huron-Wendat territories (where the Haudenosaunee's traditional beaver hunting grounds were located), also increased pressures on a range of resources.¹⁴ By the mid-seventeenth century, these Beaver Wars, combined with the spread of European diseases and famine, had destabilized the once thriving Neutral Nation. Following the death of Tsouharissen, an important Neutral Nation leader, in 1646, the Nation became even more vulnerable. In 1651, the remaining members of the Neutral Nation were taken captive by the Seneca of the Haudenosaunee Confederacy or dispersed and reabsorbed into surrounding Nations.¹⁵

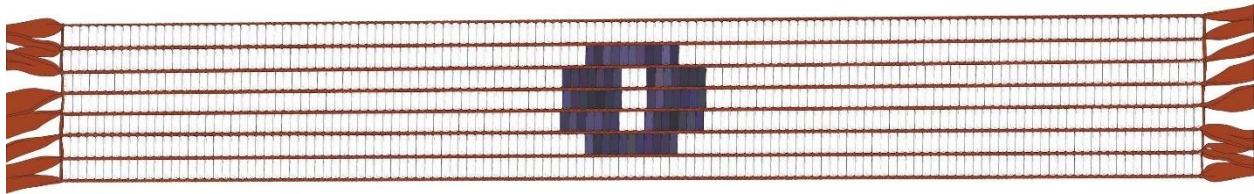


Figure 3: Representation of the Dish with One Spoon Wampum Belt. (Source: *The Dish with One Spoon, A Treaty Guide for Torontonians*, accessed September 30 2024, <https://talkingtreaties.ca/treaties-for-torontonians/dish-with-one-spoon/>)

Following the Beaver Wars, the Mississaugas, an Anishinaabe Nation who had inhabited the lands east of the Neutrals, moved into the area. In the late-seventeenth century, the Anishinaabe, Mississauga, and Haudenosaunee Nations established peace with the “Dish with One Spoon” Wampum promising that each Nation would share the

¹¹ Daniel G. Hill, *The Freedom-Seekers: Blacks in Early Canada*, (Toronto: Stoddart Publishing Co. Limited, 1992), 3.

¹² Adrienne Shadd, *The Journey from Tollgate to Parkway* (Toronto: Dundurn Press, 2010), 29; Hill, *The Freedom-Seekers: Blacks in Early Canada*, 9.

¹³ McMillan & Yellowhorn, *First Peoples in Canada*, 84-91.

¹⁴ Noble, William C. “The Neutral Confederacy”; Alan McMillan & Eldon Yellowhorn, *First Peoples in Canada*, 84-90.

¹⁵ McMillan & Yellowhorn, *First Peoples in Canada*, 88.

bounty of the land (the dish) together (using one spoon).¹⁶ This was confirmed again in 1701 during the Great Peace of Montreal, with over 1,300 First Nations delegates actively participating in discussions. In this same year the Seneca, Cayugas, and Onondagas of the then Five Nations of the Haudenosaunee Confederacy signed the Nanfan Treaty as a covenant chain agreement with the British Colonial Government, which the Haudenosaunee understood as an agreement to share and protect the Beaver Hunting Grounds territory (spanning from the Great Lakes to the Ohio River Valley) from incursion between Nations participating in the Treaty.¹⁷ The title of the Mississaugas to the land, however, was not considered in this British Deed despite this territory being occupied by the Mississauga.¹⁸

Following this period, which had established relative peace between the French and First Nations in the Great Lakes Region, the area began to experience a modest influx of French settlers (of which there were less than 100,000 across Canada) who established and/or re-established trade posts and fortifications in Southern Ontario and surrounding lands, like Detroit and Niagara.¹⁹ While often overlooked, the early infrastructure European settlers depended on required a substantial amount of labour often sourced from enslaved Indigenous, and later Black, people.²⁰ Records referencing the extent to which enslaved people were forced to build European landmarks, strongholds, and economic ventures are unfortunately sparse, but their impact can be seen in the discourse on labour or the lack of available labour upper and merchant-class settlers required and requested for their economic ventures.²¹ Under the expanding pre-industrial capitalist economic regime of the time, the direct relationship between economic prosperity and labour was solidifying, meaning that control and access to labour was an important means through which individual wealth was grown. As a result, while accurate records pertaining to the presence of enslaved people are sparse, we can see the impact and presence of enslaved people through the financial prosperity of wealthy slave-owning classes.²² At this same time, tensions and conflict grew between the Haudenosaunee and the British as British settlers continued to encroach on the Haudenosaunee's territories to the southeast of the Great Lakes, especially in the area known as the Mohawk Valley.

¹⁶ Victor P. Lytwyn, "A Dish with One Spoon: The Shared Hunting Grounds Agreement in the Great Lakes and St. Lawrence Valley Region," *Papers of the 28th Algonquin Conference* 28 (1997): 211.

¹⁷ Susan Hill, *The Clay We Are Made Of: Haudenosaunee Land Tenure on the Grand River*, (University of Manitoba Press, 2016); Jim Windle and Paul Williams, "What About that 1701 Nanfan Treaty?," *Two Row Times*, December 28 2016, <https://tworowtimes.com/historical/1701-nanfan-treaty/>.

¹⁸ *The Rouge River Valley Tract Unsurrendered Traditional Lands: Statement of Claim*, Mississaugas of the New Credit First Nation, submitted to The Government of Canada, March 31, 2015, <https://mncfn.ca/wp-content/uploads/2017/02/SOC-MNC-RRV-March-31-2015-KAFBS.pdf>. [SOC-MNC-RRV-March-31-2015-KAFBS.pdf \(mncfn.ca\)](https://mncfn.ca/wp-content/uploads/2017/02/SOC-MNC-RRV-March-31-2015-KAFBS.pdf).

¹⁹ Shadd, *The Journey from Tollgate to Parkway*; Afua Cooper, "The Enslavement of Africans in Canada," *The Canadian Historical Association: Immigration and Ethnicity in Canada Series* 39 (2022).

²⁰ Hill, *The Freedom-Seekers: Blacks in Early Canada*, 4.

²¹ Shadd, *The Journey from Tollgate to Parkway*, 34, 50-54.

²² Shadd, *The Journey from Tollgate to Parkway*, 50; "Enslaved Labour," Ontario Ministry of Public and Business Service Delivery, Accessed August 26, 2024, https://www.archives.gov.on.ca/en/explore/online/enslavedafricans/enslaved_labour.aspx.

3.3 1763 to 1800

1763 marked the end of most French claims to land in Canada, harkening the beginning of a new phase of British colonial incursion into Southern Ontario. It also marked the creation of the Royal Proclamation of 1763, which, in an effort to reduce settler/Indigenous conflict, promised to protect the lands west of the Appalachian Mountains as Indigenous territory. The immediate impact of this was instability and conflict as colonial government officials, military figures, and British settlers in New England pressured the British Crown to permit expansion towards the Great Lakes, an action which would actively violate both existing Treaties and the Proclamation. In fact, many settlers at this time continued to encroach on Indigenous territories to the West despite the British Crown's efforts to control expansion and limit the potential for expensive conflicts like Pontiac's War, led by Odawa Chief Obwandiyag (known in English as Pontiac). Complicating matters, while few records speak to the presence of enslaved people or free Black people prior to the 1780s, slavery proliferated at this time, meaning that there were additional displaced and migrating populations of Black people as well.²³



Figure 4: Eighteenth-century depiction of two enslaved women working. (Source: "An Overseer doing His Duty", near Fredericksburg, Virginia, ca. 1798. Watercolour by Benjamin Henry Latrobe. Image ID 1960.108.1.3.21, Courtesy of The Maryland Historical Society)

²³ See Shadd, *The Journey from Tollgate to Parkway*, 30.

The American War of Independence (1775-1783) caused the Crown to refocus its colonial settlement efforts to its remaining colonies in Upper and Lower Canada, as tens of thousands of displaced people sought to leave the newly created United States.²⁴ It is at this time that European settlement in Southern Ontario began to supersede that of Indigenous peoples as Loyalists, Late-Loyalists, and British Immigrants, among others, overwhelmed the territory. This was exacerbated by a need to quickly and cheaply construct mass amounts of infrastructure across the territory to sustain the new population, and further intensified by settler desires to capitalise on the new industry opportunities the land presented.²⁵ While Upper Canada did not develop the same type of plantation economies which defined the use of slavery in the American south, the conditions for enslaved people were just as harsh.²⁶

During the American War of Independence, as part of a military strategy, the British Army offered enslaved persons emancipation in exchange for their military service, attracting the support of up to tens of thousands of Black people.²⁷ After the war, many of these people made use of the policy to become what are known as Black Loyalists, obtaining their freedom and triggering the first major wave of voluntary immigration of Black people into Canada. While free, these Black Loyalists had been enslaved under British law by people who were British settlers at the time – and who were still not substantially distinct in either culture or identity from British given that American identity had not yet solidified – complicating the relationships which Black Loyalists had with the British colonial government in Canada. It is also worth considering that those Loyalist and European migrants who arrived during this time were socio-economic beneficiaries of slavery even if they were not directly slave-owners, given that existing trade and economic networks – especially for the upper-class – obtained and invested in products, industries, and social norms which supported slavery. Black Loyalists who made their way to Upper Canada, even in the face of prejudice against them, organized and exercised their rights to land promised to them by the British government, establishing communities in Southern Ontario.²⁸ The continued prevalence of slavery at this time also posed substantial dangers to Black people, who were at risk of being kidnapped and re-enslaved in spite of abolitionist legislation which came to be enacted in the following decades.²⁹

Critically, the British Colonial government did not have pre-existing land agreements with First Nations for the majority of what is now Ontario, and lacked the necessary data, capacity, and presence to actively regulate and control the mass arrival of Loyalist and immigrant settlers, creating an atmosphere in which settler land prospectors and squatters were able to illegally encroach on untreated Indigenous lands. In addition, a

²⁴ Miller & Bucovetsky, “The Valley Town,” 115.

²⁵ Hill, *The Freedom-Seekers: Blacks in Early Canada*, 15; Shadd, *The Journey from Tollgate to Parkway*, 34, 52-53.

²⁶ Cooper, “The Enslavement of Africans in Canada,” 7.

²⁷ “Timeline: Black History,” *The Canadian Encyclopedia*, accessed July 10, 2024, <https://www.thecanadianencyclopedia.ca/en/timeline/black-history>; see also Channon Oyeniran, “Black Loyalists in British North America,” *The Canadian Encyclopedia*, March 25, 2019, <https://www.thecanadianencyclopedia.ca/en/article/black-loyalists-in-british-north-america>.

²⁸ Shadd, *The Journey from Tollgate to Parkway*; Cooper, “The Enslavement of Africans in Canada.”

²⁹ Shadd, *The Journey from Tollgate to Parkway*, 27-29, 61.

large wave of Haudenosaunee peoples also migrated to Southern Ontario, having been promised rights to protected land in exchange for their support during the War, in part through the Nanfan Treaty. These Haudenosaunee people would eventually obtain a promise of unimpeded rights to what is known today as the Haldimand Tract, establishing the Six Nations of the Grand River. While both Mississauga of the Credit (Anishinaabe) and Haudenosaunee people have used and occupied land in Southern Ontario over time in history, the Mississauga became the primary Indigenous occupants of the Greater Golden Horseshoe area following the Neutral Nation in the eighteenth century. The Mississauga however, had a smaller population than the Haudenosaunee who were migrating to Southern Ontario as a result of two centuries of colonial dispossession, war, and conflict, limiting their abilities to push back the mass wave of settler migrants. As a result of this, the Mississauga signed a series of important and binding treaties during this time, including the Between the Lakes Treaty, first negotiated in 1784 but updated in 1792, which mediated the arrival of both settlers and Haudenosaunee people.³⁰ Ultimately, from 1783-1812, the Crown negotiated 15

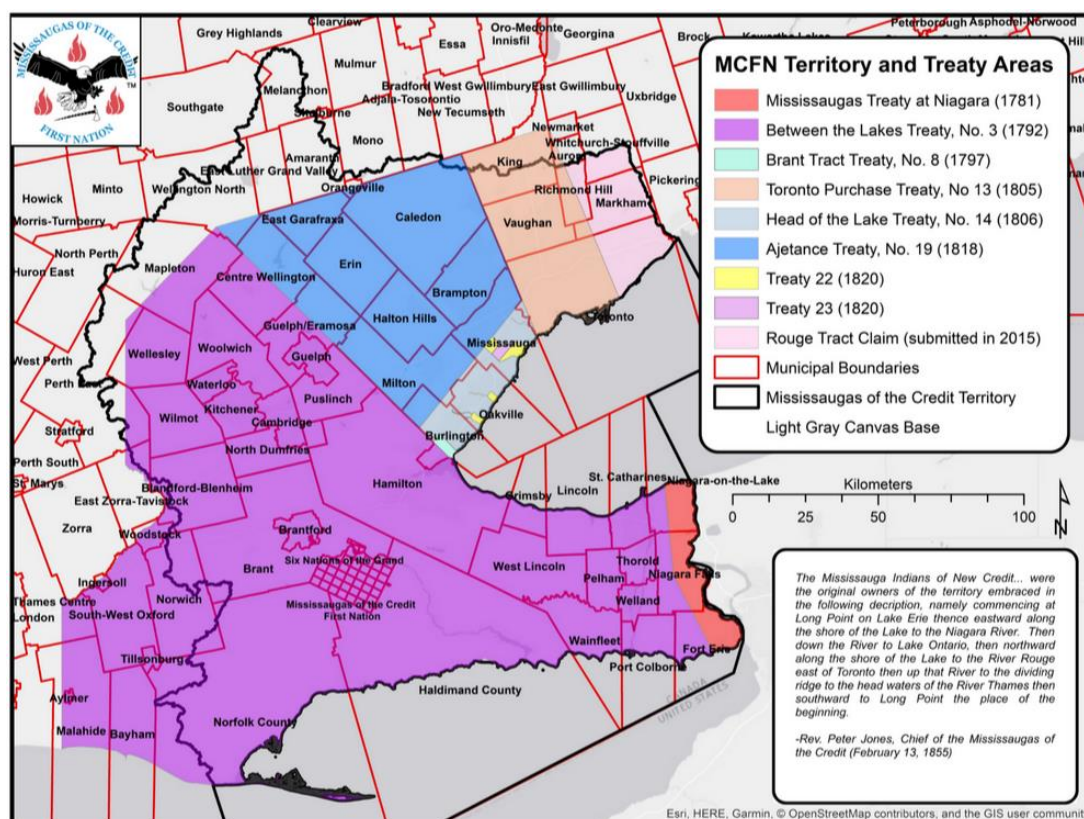


Figure 5: Map showing territories subject to treaties with the Mississaugas of the Credit, including the Between the Lakes Treaty, in purple. (Source: Municipalities within Mississaugas of the Credit First

³⁰ Between the Lakes Purchase and Collins Purchase, No. 3, 1792, *Government of Canada*, <https://www.rcaanc-cirnac.gc.ca/eng/1370372152585/1581293792285#ucls5>; Between the Lakes Treaty, No. 3 (1792), Mississaugas of the Credit First Nation, Accessed July 10, 2024, <https://mnfc.ca/between-the-lakes-treaty-no-3-1792/>; *The Rouge River Valley Tract Unsurrendered Traditional Lands: Statement of Claim*, Mississaugas of the New Credit First Nation.

treaties with Anishinaabe and Haudenosaunee peoples in Southern Ontario, which would eventually be broken by Upper Canadian government and settlers.³¹

3.4 The Founding of Dundas and the Nineteenth Century

Beginning in 1791, Lieutenant Governor John Graves Simcoe (1752-1806) appointed Augustus Jones (1757-1836) as Provincial Land Surveyor, directing him to lay out Townships from the Niagara River.³² Jones' initial survey included the Township of Geneva, made up of four concessions along the broken front of Lake Geneva, now known as Hamilton Harbour. An additional ten concessions were surveyed to the north of Geneva and amalgamated with the Township and lands surrounding the Dundas area to form the Township of Flamborough in 1793.³³ At this time a highway, which would follow pre-existing and long-established First Nations route running through Dundas from York (now Toronto) to London, first known as Governors Road but eventually named Dundas Street,³⁴ was also opened. Dundas' location at the intersection of this road and others leading to important settlements, like Niagara, lent it strategic importance during this time. As a result, 60-acres were reserved for the development of a garrison town which was surveyed in 1803, although the town's centre would eventually materialise around budding industry along Spencer Creek.

The earliest documented Euro-Canadian settler in Dundas was Anne Morden (1743-1832), a Loyalist Quaker widow from Pennsylvania who travelled to Fort Niagara in 1786 with her nine children. Additional settlers soon followed with several more Loyalist families living in the area by 1787.³⁵ Early settlers in the Dundas area were concerned with building basic infrastructure, clearing and cultivating land, and selling grain to nearby mills in Grimsby or Ancaster. While records related to Black and enslaved people are sparse, there were Black enslaved people in the Dundas area at this time whose labour played a critical role in the construction of local infrastructure and contributing to the growth of Euro-Canadian Loyalist wealth. For example, Samuel Hatt, who is known to have enslaved Sophia Burthen Pooley (see **Section 3.5.2** below), and signed on the indenture of Eli Brakenbridge, a Black orphaned child, after it had been

³¹ "Map of Ontario Treaties and Reserves," Ontario, Webpage, 2018, <https://www.ontario.ca/page/map-ontario-treaties-and-reserves>.

³² Miller & Bucovetsky, "The Valley Town," 115.

³³ Miller & Bucovetsky, "The Valley Town," 115.

³⁴ In 2021, the City of Toronto Council voted to rename the section of Dundas Street that runs through Toronto, due to Henry Dundas' 1792 amendment to a motion to abolish the slave trade in Britain and its colonies. Instead of immediately abolishing the slave trade as initially proposed Dundas suggested the word 'gradually' be added, arguing the immediate abolition of slavery would force the trade underground or allow merchants from other countries to fill the gap. He later proposed a plan to gradual abolition by the end of 1799, though the motion eventually deferred and finally dropped from the House of Lords due to the French Revolutionary Wars. The slave trade was not outlawed in the British Empire until 1807, and slavery was not completely abolished until 1834. In 2020, former Dundas ward Councillor Arlene VanderBeek received three requests from two individuals in the community to rename Dundas, though nothing has come of these requests thus far.

³⁵ T. Roy Woodhouse, *The History of the Town of Dundas Volume 1* (Dundas: Dundas Historical Society, 1968), 7-8.

made illegal to enter into an indenture without consent in 1810.³⁶ Other early Dundas and Head-of-Lake families known to have enslaved Black people include the Beasleys, Mordens, Durands and Chryslers,³⁷ with the success of early settlers and the construction of many buildings and much infrastructure at this time being directly attributable to the labour of these enslaved people.

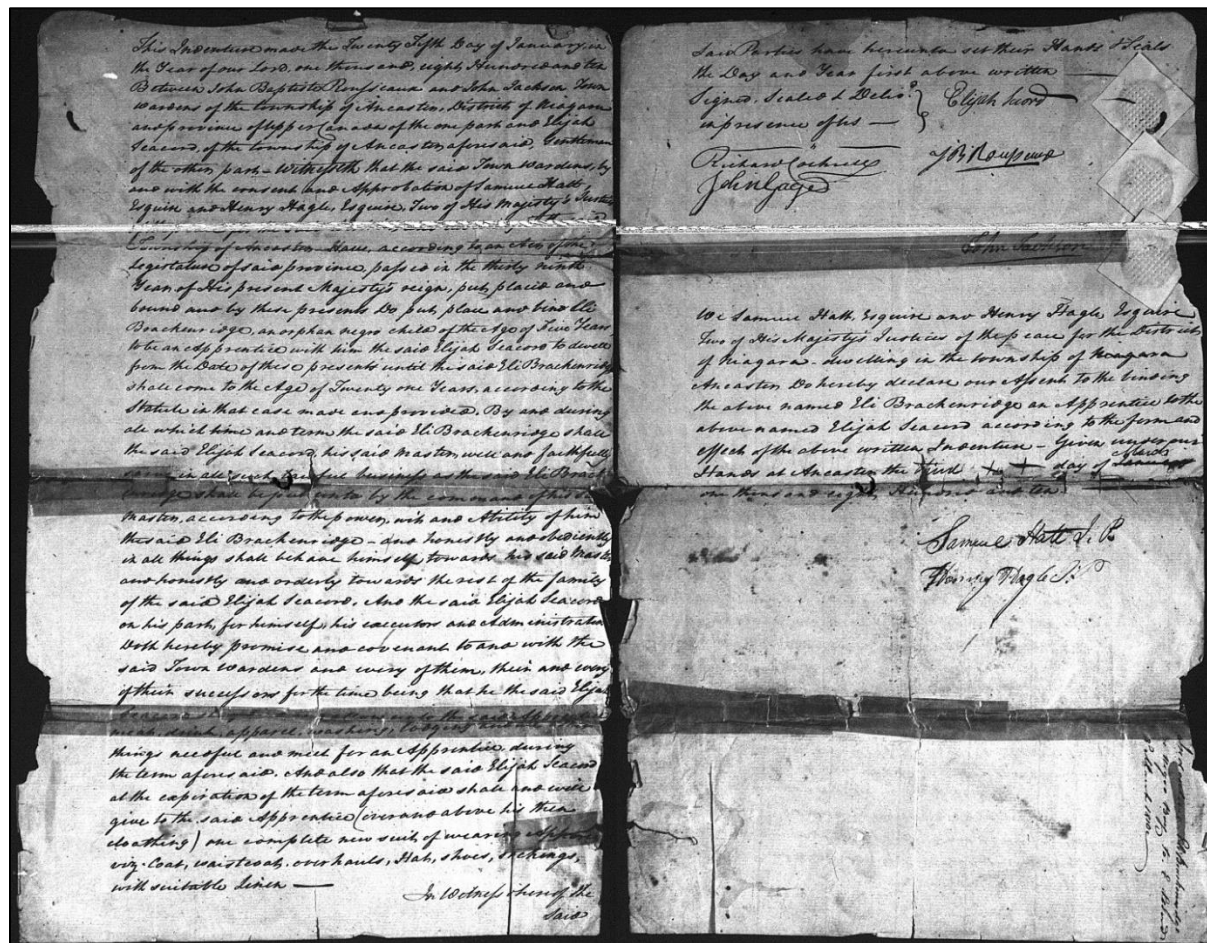


Figure 6: Indenture of Eli Brakenbridge, a Black boy, as an apprentice into the service of Elijah Secord, signed by Samuel Hatt. (Source: Indenture of Apprenticeship of Eli Brackenbridge, File F 493-1-0-102, Microfilm MS 7294, part of Jean Baptiste Rousseau Family Personal and Business Correspondence, Archives of Ontario)

3.4.1 The New Dundas Mills

While there were settlers in the area as early as the late 1780s, the founding of the Town of Dundas is often accredited to the opening of the New Dundas Mills in 1804 when Richard Hatt (1769-1819) and his brother Samuel Hatt (1776-1842) jointly purchased the mill with Manuel Overfield (1773-1839).³⁸ Richard Hatt immigrated to Upper Canada from England in 1792, and in 1794 was working as a mercantile clerk in

³⁶ Shadd, *The Journey from Tollgate to Parkway*, 50-52.

³⁷ Ibid, 33-38.

³⁸ Robert L. Fraser, "Richard Hatt," in *Dictionary of Hamilton Biography, Volume 1*, ed. T. Melville Bailey (Canada: W.L. Griffin, 1981), 96.

Niagara-on-the-Lake. While there, Richard petitioned local government on behalf of his father for a substantial tract of land, stating in his petition that the family's wealth and English origins made them more desirable than unscrupulous American born people of European descent (American national identity had yet to solidify).³⁹ By 1796, Richard's family including his father, brother Samuel, and six indentured servants, had joined him in Upper Canada, and by 1798 the Hatts had settled in Ancaster and opened a gristmill, called the Red Mill. The Hatt brothers actively worked to influence the geography of the area, widening an Indigenous trail that ran northeast of the village to attract more business by providing increased access to the mill, today known as Old Dundas Road.

The Red Mill, however, was unsuccessful, as much of the area's business was monopolized by nearby Jean Baptist Rousseaux (1758-1812). Part of Rousseaux's success can be attributed to his far-reaching network, being fluent in the Kanien'kéha (Mohawk) language and having built a close relationship with influential persons like Thayendanegea (Tie-end-a-nay-guh), also known as Joseph Brant (1743-1807). Rousseaux's own mill had also been founded several years earlier, in 1791, in partnership with Richard Beasley (1761-1842).⁴⁰ Beasley is also known to have enslaved people, and while there is no clear evidence that this mill was built using the labour of enslaved Black people, the funds Beasley used to finance the construction of the mill had certainly been accrued in part as a result of the exploitation of Black labour.⁴¹ While often only included as a footnote in the history of the region, it is important to remember that the accomplishments of those early individuals, speculators, and founders of settlements in the Head-of-the-Lake region were not achieved in a vacuum. Wealthy upper-class men, for example, did not build mills and roads themselves – they used their financial and socio-political influence to obtain land, and had indentured workers, servants, or enslaved people build on the land for them. Their wealth itself in many cases was built partly on investments and engagements with Americans, where slavery defined the economy. The resulting products, infrastructure, and buildings then generated wealth for these individuals as they were operated by working people – with the sale of these properties and their outputs to Loyalists who may not have been directly involved in slavery still supporting and sustaining existing economic networks which depended on it.

In 1799, while the Hatts were struggling to find the financial success they had hoped for, Anne Morden's son Jonathan constructed a sawmill along Spencer Creek, to which a gristmill was later added by Edward Peer.⁴² The mill was known as the Dundas Mill for its proximity to Dundas Street.⁴³ In 1801 and 1802, brothers Richard and Samuel Hatt, petitioned the government for milling rights at the head of Coote's Paradise.⁴⁴ Once granted, they, along with Manuel Overfield, jointly purchased the Dundas Mill property

³⁹ Ibid.

⁴⁰ *Ancaster's Heritage*, ed. Paul Grimwood (Ancaster Township Historical Society, 1973), 13; Robert L. Fraser, "Richard Hatt," in *Dictionary of Hamilton Biography, Volume 1*, ed. T. Melville Bailey (Canada: W.L. Griffin, 1981), 96.

⁴¹ Shadd, *The Journey from Tollgate to Parkway*, 36-37.

⁴² Edward Peer was a blacksmith who was known to be hostile to Indigenous peoples – having reportedly shot an Indigenous man for taking one of his blankets. See *Ancaster's Heritage*, ed. Grimwood, 18.

⁴³ T. Roy Woodhouse, *The History of the Town of Dundas Volume 1*, 14.

⁴⁴ Ibid., 17.

including water rights, the saw mill, and a dam, and had a new, larger mill, potashery, stills, pig sties, a general store (believed to be present day 2 Hatt Street) built on the property – calling it the New Dundas Mills. By 1807, this mill had become an industrial success, which in turn attracted new settlers and industry to the area. It is not known who the labourers were in the construction of the New Dundas Mill, but it likely included the labour of the six white indentured servants which the Hatts brought to North America, alongside that of enslaved Black people like Sophia Burthen Pooley, who is unlikely to be the only person to have been enslaved by the Hatt family.

Likely around the time that the New Dundas Mill was opened, the area became known as Anonhwarore'tsherakoyòn:ne in the Kanien'kéha language, meaning the place of the old hat – possibly in reference to Richard Hatt, who was the eldest of the Hatt brothers.⁴⁵ If this is the case, this term reflects the relationship the Hatts developed with



Figure 7: The New Dundas Mills circa 1900. (Source: Dundas Mill, P-2223, Photograph Collection, Dundas Museum and Archives)

⁴⁵ This word and translation for Anonhwarore'tsherakoyòn:ne was obtained from Brian Maracle during a session on Mohawk Language in July 2024 held by the Two Row on the Grand. While the term may reference the elder Hatt brother given that Kanien'kéha place names often reference the relationship between people and that place, the original story behind the naming of Anonhwarore'tsherakoyòn:ne (Dundas) is not recorded in any reference materials found to date.

Kanien'kéha speakers, including but not limited to Sophia Burthen Pooley, Joseph Brant, Teyoninhokarawen (John Norton, c. 1784-1825), and Rousseaux.⁴⁶ In English the town would not become known as Dundas until 1814, when the Crown opened the Dundas Post Office, so named for its proximity to Dundas Street.

In 1806, Samuel Hatt sold his share of the New Dundas Mill to Richard, having remained in Ancaster to operate the existing general store, maintaining a position of wealth and authority. During the War of 1812 Samuel served as a captain in the British forces, and by 1816 he was in Chambly, Quebec, where he became a powerful and wealthy (having purchased a mansion and land for 13,000 pounds) member of the Legislative Council.⁴⁷ By 1808, Manuel Overfield's share of the mill had also been purchased by Richard Hatt, turning him into the mill's sole proprietor.⁴⁸ Richard Hatt's reputation and influence in Upper Canada continued to grow during this time, as he was appointed a Justice of Peace in 1800, petitioned Dundas to become the administrative centre for the area in 1810, served as a Major in the War of 1812, and was elected to the House of Assembly in 1817.⁴⁹ Simultaneously, Richard Hatt strategically expanded his milling industry, attracting and employing new settlers, developing a concentrated core of settlement in what is now Dundas. Hatt improved water and road corridors, clearing and deepening Spencer Creek, and opened several businesses to support the mill's expansion, including a cooperage (which made barrels in which to ship the processed flour in), two storehouses, a blacksmith shop, and a farm.⁵⁰

After Richard Hatt's death in 1819, James Bell Ewart (1801-1853) began leasing the industrial complex, eventually purchasing the property in 1838, subleasing the buildings to other individuals. This included 2 Hatt Street, which had been converted into a blacksmith's shop circa 1818 and continued to operate as such for 125 years.⁵¹

3.4.2 Sophia Burthen Pooley and Enslaved People in Dundas

Sophia Burthen Pooley (circa 1775/78 – circa 1860) was an enslaved Black woman who arrived in Ontario during the Loyalist migration wave into Upper Canada. In 1856, Sophia was interviewed about her life by a Quaker abolitionist, who published the interview that provides a rare firsthand account from an enslaved person in Upper Canada in the eighteenth century.

⁴⁶ In collaboration with Bruce A. Parker, "HATT, RICHARD," in *Dictionary of Canadian Biography*, vol. 5. University of Toronto/Université Laval, 2003. Accessed August 1, 2024, https://www.biographi.ca/en/bio/hatt_richard_5E.html.

⁴⁷ Collaboration with Parker, "HATT, RICHARD," https://www.biographi.ca/en/bio/hatt_richard_5E.html; Fraser, "Richard Hatt," 96; "Samuel Hatt," Assemblée Nationale du Québec, 2009, <https://www.assnat.qc.ca/fr/patrimoine/anciens-parlementaires/hatt-samuel-209.html>; Paul-Henri Hudon, "Un Personnage Historique de Chambly Mal Connu, Samuel Hatt," *Journal le Montérégien*, April 21, 2020, <https://journallemonteregien.com/un-personnage-historique-de-chambly-mal-connu-samuel-hatt/>.

⁴⁸ T. Roy Woodhouse, *The History of the Town of Dundas Volume 1*, 15-16.

⁴⁹ Collaboration with Parker, "HATT, RICHARD," https://www.biographi.ca/en/bio/hatt_richard_5E.html.

⁵⁰ Sophia Burthen Pooley in Benjamin Drew, *A Northside View of Slavery* (Boston: John P. Jewett & Co., 1856), <https://docsouth.unc.edu/neh/drew/drew.html>.

⁵¹ T. Roy Woodhouse, *The History of the Town of Dundas Volume 3* (Dundas: Dundas Historical Society, 1968), 16.

Sophia was born into slavery in Fishkill, New York, circa 1775-78. At this time, slavery of Black people by way of the Dutch slave trade was a defining feature of New England colonial settlement, and Fishkill was no exception with Black enslaved people making up a substantial portion of its population.⁵² While little is known about her early childhood, Sophia reported that she was violently stolen from her parents Dinah and Oliver when she was seven years old by her 'master's sons-in-law,' Daniel Outwaters (1755-1827) and Simon Knox (1732-1832).⁵³ Outwaters and Knox (also spelled Noakes, Naks, Naxon, and Noxon) took her up the Genesee River to Lake Ontario, before bringing her to Niagara where she was sold. While both men are listed in American registers during the War of Independence, they both also became Late-Loyalists by the early 1800s.⁵⁴ Knox is first recorded in Canada in 1799 before filing a Loyalist land petition in 1800 in Potton, Quebec. Outwaters similarly likely left Fishkill in 1800 after a warrant for his arrest was issued,⁵⁵ settling with his family in Canada in Adolphustown by 1803, eventually filing Loyalist land petition in 1810.⁵⁶ The immigration and involvement of these two men in the settlement of Ontario during this time speaks to the direct and complicit ties between the colonial development of early Ontario and slave economies – the money these men used to build their reputations and purchase land and goods came from the sale of humans and the labour of enslaved people in the slave-dependent industries which defined their hometowns. Sophia's likely first slaver was Joseph Harris (1727- circa 1785), Outwater's father-in-law by Joseph's first wife and Knox's father-in-law by his second wife, and a marked 'Tory' (Loyalist) during the American War of Independence.⁵⁷ These details highlight the direct involvement of people who would become Canadians in the cruel institutions of slavery in North America.

It is not precisely known when Sophia was brought to Niagara. Her account offers some information into approximate timelines, but these are only estimates rather than precise dates. Historic records show that this event may have taken place circa 1785, supported by the facts that Simon Knox did not become Joseph Harris's son-in-law until 1780 and that Joseph Harris died circa 1785. Upon her arrival in Niagara Sophia was purchased by Joseph Brant, who would have also been returning to Niagara from Cataraqui near the mouth of the Genesee River around the same time in early 1785.⁵⁸ Joseph Brant was an important Haudenosaunee military leader and wealthy political

⁵² Michael E. Groth, *Slavery and Freedom in the Mid-Hudson Valley*, (New York: SUNY Press, 2017), 6.

⁵³ Pooley in Drew, *A Northside View of Slavery*.

⁵⁴ Andrew Hunter, *It Was Dark There All the Time: Sophia Burthen and the Legacy of Slavery in Canada*, (New Brunswick: Goose Lane Editions, 2022); Patricia A. Wardell, "Outwater," *Early Bergen County Families, compiled by Pat Wardell*, Accessed July 10, 2024, <https://silo.tips/download/early-bergen-county-families-compiled-by-pat-wardell-130-crestview-drive-englewo>; "Simon Naxon," Reference RG 1 L3L, Microfilm Reel C-2493, Item Number 64637, Pages 708-711 (1800).

⁵⁵ Arrest Warrant for Daniel Outwater, Dutchess County, NY Ancient Documents, Document number 58515, (1800), <https://www.dutchessny.gov/Departments/County-Clerk/Ancient-Document-Search.html>

⁵⁶ Wardell, "Outwater," *Early Bergen County Families*.

⁵⁷ Kathlyne Knickerbacker Viele, *Viele Records 1613-1913*, (New York: Tobias A. Wright, 1913), 112; DeWitt, Mary, *Harris Family Group Sheets*, GSBC, (Ridgewood Public Library, Ridgewood, NJ.) Accessed July 10, 2024, <https://dutchgenie.net/GSBC-familyfiles/familyfiles/g0/p505.htm#i38175>.

⁵⁸ Isabel Thompson Kelsay, *Joseph Brant 1743-1807: Man of Two Worlds* (Syracuse, New York: Syracuse University Press, 1984), 364-367.

player who, unlike many of his contemporaries, spoke, read, and wrote English fluently. In 1780, Joseph Brant married his third wife Catherine Croghan/Adonwentishon (1759-1837), who was either the sister or niece to Johannes Tekarihoga, an appointed leader by the Mohawk hereditary council, furthering his political status.⁵⁹ While it is difficult to understand Catherine's role as a slaver herself, her mixed background as the daughter of a Kanien'kéha woman and a wealthy white British agent, major landowner, and slaver in New York can help inform an understanding of her complacency with slavery.⁶⁰

In her 1855 account, Sophia noted the rapidly changing demographics in the late 1700s, remarking that she thought she was "the first colored girl brought to Canada" and that "there were hardly any white people in Canada then - nothing here but Indians and wild beasts."⁶¹ She also remarked that she only knew of two other 'colored men' enslaved by Brant – Simon Ganseville and the 'father of John Patten' (Prince Von Patter).⁶² This contradicts some publications which indicate that Brant may have enslaved as many as 20 to 40 Black people over his life,⁶³ but the original source which quantifies this figure is presently unclear. The legal status of Black people was complex at this time, making it difficult to confirm precisely how many Black people there were in Upper Canada at all, and of them how many were enslaved.



Figure 8: Painting of what may be Coote's Paradise, circa 1860. (Source: John Herbert Caddy, *Three men fishing, possibly in Coote's Paradise, near Hamilton, C.W.*, Item 2838090, R9266, Library and Archives Canada)

⁵⁹ Ibid., 272-279.

⁶⁰ Nicholas B. Wainright, *George Croghan: Wilderness Diplomat*, (Chapel Hill: The University of North Carolina Press, 1959).

⁶¹ Pooley & Drew, *A Northside View of Slavery*.

⁶² Ibid; 'Prince Van Patter's Will,' National Archives of Canada, MG19, Vol. F19, # R2912-0-5-E, The Brown Collection.

⁶³ See Shadd, *The Journey from Tollgate to Parkway*; Hill, *The Freedom-Seekers: Blacks in Early Canada*; Kelsay, *Joseph Brant 1743-1807: Man of Two Worlds*; Hunter, *It Was Dark There All the Time*.

This is further complicated by assumptions both in law and in practice that to be Black was to be a slave and that terms like ‘servant’ were used as euphemisms for enslaved people.⁶⁴ Additionally, Brant held a number of prisoners and captives who were not free, and were neither enslaved, making it difficult to precisely differentiate and tally people held under Brant’s authority as either slaves, prisoners, or captives. Furthermore, free and enslaved Black people lived and worked together for the same slave-owners, complicating our understanding of the historical landscape and narrative of freedom.⁶⁵ In any case, while the precise number of Black people enslaved by Brant over his life is unknown, it is likely that number was higher than what Sophia recounted. Regardless, Sophia’s account reflecting an experience of isolation from other Black people and communities⁶⁶ brings complexity to our understanding of Brant’s status as a slaver and participation in slavery in the last decades of his life in Upper Canada.

Sophia described Brant as peacemaker and diplomat (possibly in reference to his position as an honorary Pine Tree Chief – a distinct title from *royaner*⁶⁷ - in the Haudenosaunee council), and she recalled sharing the latter part of her childhood with the children of Joseph and Catharine Brant (the eldest of which was born in 1784) around Dundas and Ancaster, meaning that she would have been present in Dundas prior to Samuel Hatt and may have known the Hatts before she was sold and enslaved by them. However, Sophia also remarked that she received cruel treatment by Brant’s third wife, Catherine, who would beat her for not understanding the Kanien’kéha language and permanently scarred her face on two separate occasions with a hatchet and a knife, respectively. When Brant learned what his wife had done, Sophia said that he “was very angry...and punished her as if she had been a child...[He said] you know I adopted her as one of the family, and now you’re trying to put all the work on her.”⁶⁸ While Sophia did not recount ill-will towards Brant, her experience suffering at the hands of his wife is an important reminder of the cruel realities of her legal position as *property* rather than as an adopted daughter. Further, the implications of Brant’s involvement on any scale in chattel slavery via the purchase and sale of human lives remains an important reality to acknowledge, with sources reliably indicating he did not oppose slavery.⁶⁹

In all, Sophia’s recounted story reflects the nuanced complexities of the lived experiences of People of African Descent who were enslaved, having built real relationships with Brant and his family members throughout her time with them but being harshly reminded of her status as chattel rather than a person in the eyes of her enslavers. Comparatively, in addition to enslaving Black people like Sophia, Brant held white prisoners captive like Margaret Cline (circa 1759 – 1823), a woman who had been

⁶⁴ Shadd, *The Journey from Tollgate to Parkway*, 42.

⁶⁵ Cooper, “The Enslavement of Africans in Canada,” 25-26; see also ‘Prince Van Patter’s Will.’

⁶⁶ Cooper, “The Enslavement of Africans in Canada.”

⁶⁷ Royaner is the Kanien’kéha position in Haudenosaunee governance often translated into English as either chief or hereditary chief. Rick Monture, *We Share our Matters: Two Centuries of Writing and Resistance at Six Nations of the Grand River*, (University of Manitoba Press, 2014), 32-34.

⁶⁸ Pooley & Drew, *A Northside View of Slavery*. Catherine was also reportedly remembered as an unpleasant woman by Margaret Cline, a white woman taken as a war prisoner by Joseph Brant. *Ancaster’s Heritage*, ed. Grimwood, 23.

⁶⁹ Kelsay, *Joseph Brant 1743-1807: Man of Two Worlds*, 533.

taken as a prisoner in her youth in New York's Mohawk Valley (not far from Dutchess County where Sophia was born).⁷⁰ While Margaret was a captive she was given freedoms which Sophia was not, marrying Jean Baptiste Rousseaux (another local figure who had been complicit in slavery) the miller in Ancaster in 1787 with Brant's blessing.⁷¹ While this context sets a precedent for Brant's political motives through the transfer of people in the area, the treatment of Margaret as an individual with agency and choice compared to that of Sophia, who was sold, reflects the clear difference in status and agency afforded to Sophia as a Black, enslaved person.

Sophia reported that she remained with Brant for 12 to 13 years, likely spending a substantial portion of that time around Ancaster and Dundas, before she was sold to Samuel Hatt for \$100.⁷² The date of this transaction is, again, unclear in the historic record, but it would have likely taken place circa 1798-1799, given that Samuel Hatt did not arrive in Upper Canada until 1796, and that the Hatt family did not settle in Ancaster until 1798. An important issue to note is that, unlike her first enslavers who would become Loyalists in Fishkill, the Hatts were recent immigrants, showing that settlers in Upper Canada at the time, regardless of their origins, were complicit in slavery.

While Samuel is the Hatt brother attributed to the purchase of Sophia, he is not the only person complicit in her captivity. At this time Richard and Samuel were still firmly in a business partnership and both had interests in building a relationship with Brant, meaning that Richard would have certainly known Sophia and would have likely been involved in the decision to purchase and, by extension, enslave her. What is certain is that Richard knew Sophia, did not prevent her enslavement, and would have directly benefited from her labour through his brother as a business partner. While Sophia did not discuss the reason for her sale to the Hatts in her 1855 account, it is possible that she may have been of particular interest to the Hatts as part of broader strategic business and political decisions. As recent immigrants, Samuel and Richard did not speak any Indigenous languages, which would have been a disadvantage in a time when First Nations were important players in the local landscape as customers, trading partners, and political allies.⁷³ No doubt a major reason for Jean Baptiste Rousseaux's success at his nearby mill was his bilingualism, speaking Kanien'kéha fluently and maintaining a positive relationship with Brant after they fought together in the American War of Independence.⁷⁴ We know that Sophia spoke Kanien'kéha fluently, was familiar with the local geography of Ancaster and Dundas and, through her time enslaved by Brant, had an understanding of Haudenosaunee lifeways and governance. Furthermore, seeing Brant's influence and affluence, the Hatts likely sought him as an important business connection. Given these circumstances, Sophia's sale may have been influenced by her skills and knowledge alongside the business and political circumstances and aspirations of both the Hatts and Brant.

⁷⁰ *Ancaster's Heritage*, ed. Grimwood, 22-23.

⁷¹ *Ibid.*

⁷² Pooley & Drew, *A Northside View of Slavery*.

⁷³ Axtell, *Natives and Newcomers*, 46-75.

⁷⁴ *Ancaster's Heritage*, ed. Grimwood, 22.



Figure 9: The New Dundas Mills circa 1890, 2 Hatt Street is highlighted. (Source: Kerr Milling Company, GN-0148, Glass Negative Collection, Dundas Museum and Archives)

Besides noting her sale and the name of the man who enslaved her, Sophia did not remark on her time with the Hatts in 1855, and as a result the circumstances of her captivity at this time are not known. It is known that the Hatts did have active interests in provincial and local politics, which required building business relationships with Haudenosaunee peoples. One such example of the Hatt's interests in political and business negotiations comes from 1808, when Richard and Samuel Hatt tried to negotiate the purchase of land along the Grand River from John Norton (1770-1827), a Haudenosaunee man who was born to a Scottish mother, for which Sophia's language skills, cultural knowledge, and familiarity with the Brant family may have been useful.⁷⁵ In addition, Sophia's sale can be partly attributed to her gender. During this time women played important roles in relationship building between Indigenous peoples and settlers. The marriage of Margaret Cline to Jean Baptiste Rousseaux is an example of this, an event which would have formalized Brant and Rousseaux's relationship.

While there are obvious differences between Margaret and Sophia, in that Sophia had no agency in decisions made around her future, her sale to Samuel Hatt parallels similar relationship building themes in Margaret's story⁷⁶. Further to this, Sophia and Samuel would have been of similar ages, and Samuel was not married until 1807 – likely around the same time or shortly after Sophia was freed. Without more information

⁷⁵ Collaboration with Parker, "HATT, RICHARD," https://www.biographi.ca/en/bio/hatt_richard_5E.html; see also Axtell, *Natives and Newcomers*, 42-44.

⁷⁶ It is worth noting that at this time it was usual for European men and Indigenous women to marry 'in the custom of the country' as a means of furthering their economic and political relationships. While Sophia's enslavement means that the role she played was forced upon her while Indigenous women who entered into these relationships often held considerable agency, the prevalence of marriages in the custom of the country as a means of formalizing business relations and as a means for European Settlers to acquire local knowledge and translations may have informed the motivations behind Sophia's sale by Brant and purchase by the Hatts. For more information on the roles of women as translators and economic players during this time see Sylvia Van Kirk, *Many Tender Ties: Women in Fur-Trade Society, 1670-1870*, (Norman: University of Oklahoma Press, 1983), 28-29, 50, 54, 66-68, 89.

it is impossible to confirm the type of treatment Sophia received, but her gender and the known circumstances of her enslavement mean that it would be likely for Sophia to have experienced sexual violence.⁷⁷ The gendered particularities of Sophia's experience as an enslaved person can also be seen when comparing her with her male contemporaries. For example, the will of Prince Van Patter, one of the men Sophie identified as being enslaved by Brant, shows that he was granted title to land by the Brants.⁷⁸

In all, Sophia remained enslaved by Samuel Hatt for approximately seven years "until the white people said [she] was free, and put [her] up to running away," further elaborating that they "could not take the law into [their] own hands."⁷⁹ What exactly is meant by this is unclear, given that slavery would not be abolished until 1833 and that the earlier abolitionist acts from 1793 and 1807 did not free persons like Sophia who were enslaved prior to the passing of these Acts.⁸⁰ The exact time at which Sophia gained her freedom is, as a result, unclear, but it took place prior to the War of 1812, likely sometime between 1801-1807.

After her time in Dundas and Ancaster Sophia found her way to the Queen's Bush, a Black settlement near present-day Waterloo. Sophia's decision as a free person to move to a Black majority community is significant, as this would be the first time since she was stolen as a child from her parents that she would be living in a community of people like her. Sophia's choice to live among Black people in a Black community once she was freed speaks to her understanding of belonging and community as a person with agency and autonomy. While there, Sophia married a Black farmer named Robert Pooley, although this marriage was short lived when Robert left Sophia for a white woman. Little is known about Robert besides that he was recorded in censuses for Waterloo in the 1820s, but it is possible for him to have been a Black Loyalist or to have otherwise escaped slavery given that there are several Black Loyalists with the last name Pooley recorded in Nova Scotia's records.⁸¹ Following her separation from Robert, Sophia moved to the Queen's Bush, likely sometime in the 1830s,⁸² as a free woman for the rest of her life until her death circa 1860.

3.5 Site History

As part of the New Dundas Mill complex, the one-storey stone building was likely built in 1804 as a general store during its initial expansion. Circa 1818, the building was converted into a blacksmith shop, and it would continue to operate as such for the next 125 years, changing owners several times (see **Appendix E: Ownership History**) before being converted into a residential property in 1943.⁸³ It is worth noting that while

⁷⁷ Cooper, "The Enslavement of Africans in Canada"; Wilson, "Sexual Exploitation of Black Women from the Years 1619-2020," *Journal of Race, Gender, and Ethnicity* 10, (2021): 122-129.

⁷⁸ 'Prince Van Patter's Will,' National Archives of Canada.

⁷⁹ Pooley & Drew, *A Northside View of Slavery*.

⁸⁰ Cooper, "The Enslavement of Africans in Canada."

⁸¹ Book of N.

⁸² Linda Brown-Kubisch, *The Queen's Bush Settlement: Black Pioneers 1839-1865*, (Toronto: Natural Heritage Books, 2004).

⁸³ T. Roy Woodhouse, *The History of the Town of Dundas Volume 3* (Dundas: Dundas Historical Society, 1968), 16.

the 1827 map of Dundas (Figure 10) shows a structure located on the property of 2 Hatt Street, a more detailed 1851 map by Marcus Smith (Figure 11) does not show a structure being located on the property. This is likely an error on Smith's part, as an engraving from 1853 shows a roofline similar to that of the property located at 2 Hatt Street in the same approximate location, and there is no record of the building being moved to or from a different location.

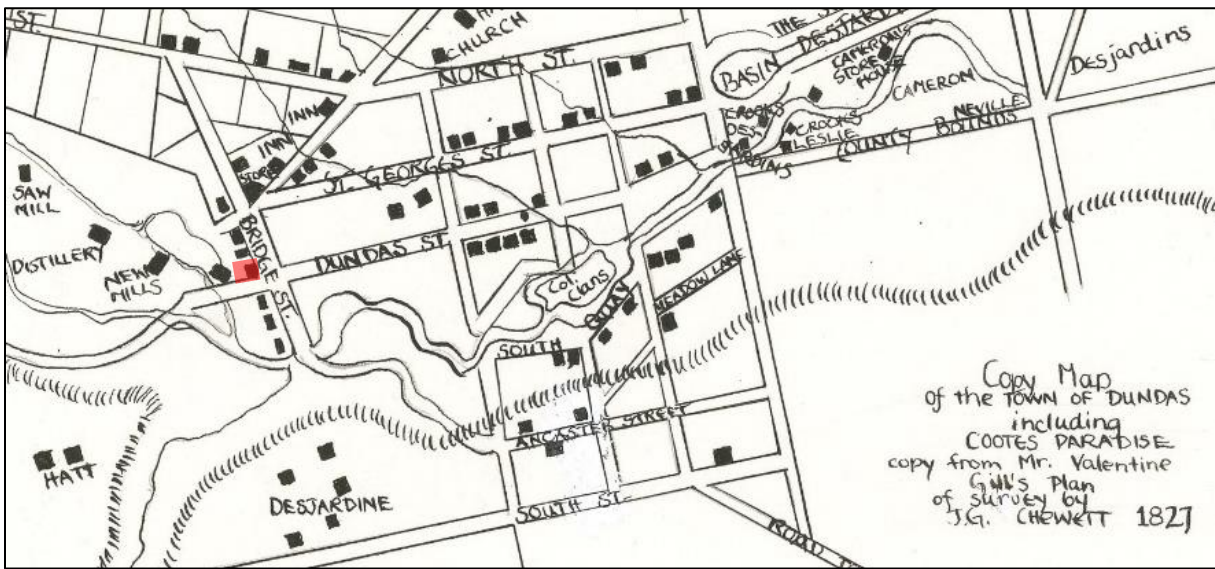


Figure 10: Copy Map of the Town of Dundas, including Cootes Paradise, 1827. Subject property highlighted in red (Source: Dundas Museum & Archives, <https://collections.dundasmuseum.ca/index.php/Detail/objects/27279>)



Figure 11: Map of the Town of Dundas, Marcus Smith, 1851. Closeup of 2 Hatt Street. Location of subject property highlighted in red. (Source: McMaster University, <http://digitalarchive.mcmaster.ca/islandora/object/macrepo%3A61445>)

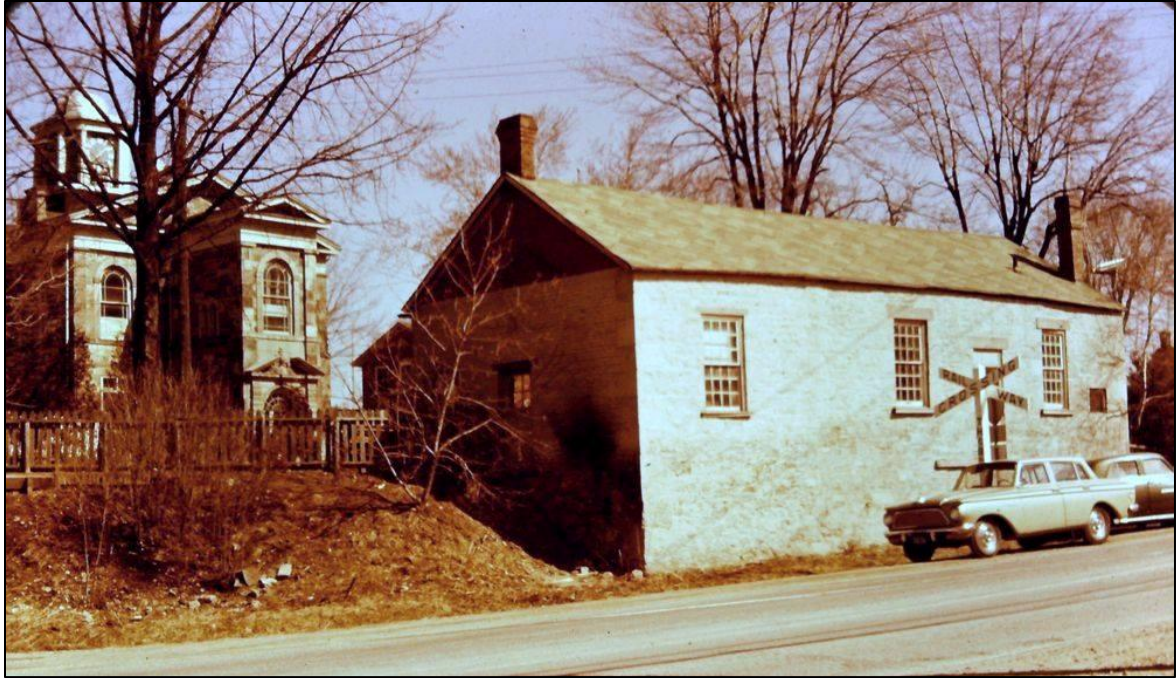


Figure 12: 2 Hatt Street c. 1950s, prior to renovations (Source: Dundas Museum & Archives, "The Way We Were in the Nineteen Sixties" Slide Collection)



Figure 13: 2 Hatt Street, 1964, following renovations (Source: Dundas Museum & Archives, "The Way We Were in the Nineteen Sixties" Slide Collection)

In 1961, the property was sold to Robert Folkes of R. Folkes Ent. Ltd., who opened R. Folkes House of Lights and Shades.⁸⁴ It was during this time that a large portion of the east wall and approximately 9 feet of the north wall were demolished and converted into a display window (*Figure 13*). In the early 2000s, access to Main Street from Hatt Street was cut off and the terminus of Hatt Street was converted into a parking lot for Town Hall. In 2004, the property was sold again and converted into a private art gallery called Cairn Gorm Studio Artworks, which operated until 2013.⁸⁵ The building is currently vacant.

Recent initiatives, like signage installed on the building in 2021, has brought into question the relationship between the building at 2 Hatt Street, the success and growth of the Town of Dundas and the life and role of Sophia Burthen Pooley and other enslaved peoples in its development.

3.6 Contemporary Context

The subject property is located at the terminus of Hatt Street, near the northwest corner of Main Street and Governors Road. The areas immediately south and west feature variably sized commercial buildings that possess various setbacks, heights, and styles, constructed in the mid- to late-twentieth century, whereas the areas north and east are mostly residential buildings with the same varying details, save for Dundas Town Hall immediately northeast of the subject property. The streetscape is largely characterized by commercial driveways, parking lots, and businesses set back from the road with some tree cover and front-facing landscaping.

⁸⁴ Craig Campbell, "Dundas' 2 Hatt Street Approved for High Priority Heritage Assessment," *Dundas Star News*, October 20, 2017, <https://www.insideottawavalley.com/news-story/7664794-dundas-2-hatt-st-approved-for-high-priority-heritage-assessment/>.

⁸⁵ Craig Campbell, "Dundas' 2 Hatt St. will get Preliminary Heritage Screening this Year," *Dundas Star News*, August 25, 2017, <https://www.hamiltonnews.com/news-story/7521039-dundas-2-hatt-st-will-get-preliminary-heritage-screening-this-year/>.



Figure 14: Looking north from 2 Hatt Street, 2 Hatt Street seen at left and Dundas Town Hall at right (January 2023)



Figure 15: Twentieth century residential buildings south and east of 2 Hatt Street (at right), looking southeast from terminus of Hatt Street towards Main Street and Governors Road (January 2023)



Figure 16: Twentieth century commercial buildings and driveways west of 2 Hatt Street, looking west up Governors Road (January 2023)



Figure 17: Twentieth century commercial buildings south of 2 Hatt Street (January 2023)

4. Property Description

The 0.056-hectare subject property, comprised of a one-storey stone commercial building, is located in the historic downtown core of Dundas at the terminus of Hatt Street, north of the intersection of Governors Road and Main Street, and just south of Dundas Town Hall.

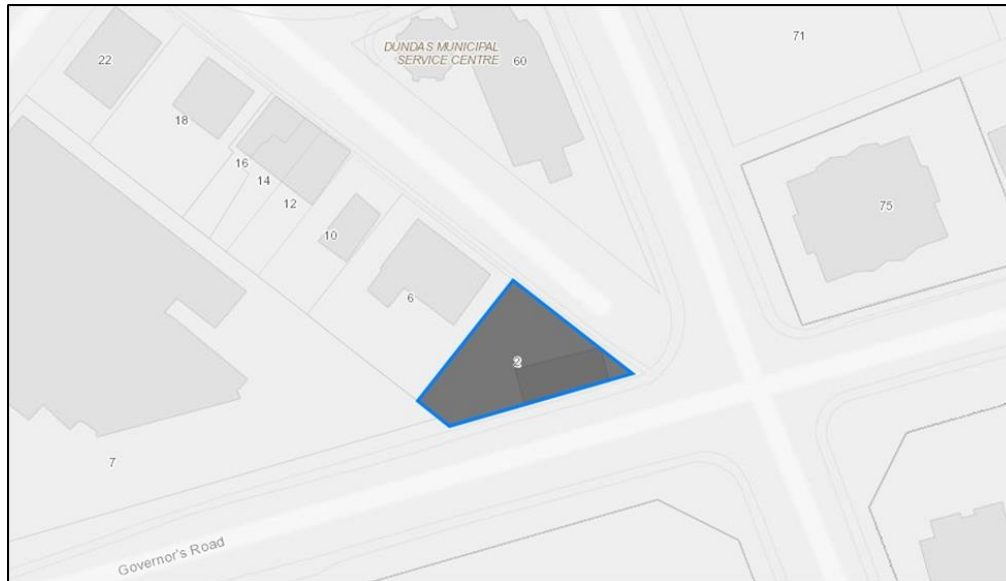


Figure 18: Map of subject property and surrounding area, City of Hamilton, GISNet

4.1 Evolution of the Buildings and Landscape

The one-storey building has undergone several alterations since it was first constructed circa 1804. The most notable alterations that have taken place to the stone building, and its surroundings, include:

- Conversion from general store to blacksmith shop (c.1818)
- Conversion from blacksmith shop to residence (c.1943)
- Conversion from residence to commercial storefront (1961), including:
 - The demolition of a large portion of east wall and approximately nine feet of the north wall to accommodate the addition of a display window
 - Relocation of chimney from the east gable to the southeast roofline to accommodate the addition of the display window
 - Patching of a crack in the mortar along the south wall with concrete

Note: Bowing of south wall evident at this time

- Addition of verandah to west end (c.1974-1994)
- Addition of bay window to north wall, (c.1974-1994)
- Sandblasting of exterior rubblestone façade (c.1982)
- Removal of door or opening (perhaps a service entrance) on the north wall that was filled in with rubble stone and replacement with smaller entrance (date unknown)

4.2 Building Description

The property is comprised of a one-storey, single-detached stone building, believed to have been constructed circa 1804 in a vernacular style. Its features include:

- Rectangular footprint;
- Coursed rubblestone facades with cut sandstone quoins;
- Side gable roof; and,
- Wood lintels.

5. Cultural Heritage Assessment

The following is an evaluation of the cultural heritage value or interest of the subject property, in accordance with *Ontario Regulation 9/06*:

5.1 Criteria for Determining Cultural Heritage Value or Interest

According to Subsection 1 (2) of *Ontario Regulation 9/06*, Criteria for Determining Cultural Heritage Value or Interest, a property may be designated under Section 29 of the *Ontario Heritage Act* if it meets two or more of the following criteria:

1. The property has design value or physical value because it is a rare, unique, representative or early example of a style, type, expression, material or construction method.
2. The property has design value or physical value because it displays a high degree of craftsmanship or artistic merit.
3. The property has design value or physical value because it demonstrates a high degree of technical or scientific achievement.
4. The property has historical value or associative value because it has direct associations with a theme, event, belief, person, activity, organization or institution that is significant to the community.
5. The property has historical value or associative value because it yields or has the potential to yield, information that contributes to the understanding of a community or culture.
6. The property has historical value or associative value because it demonstrates or reflects the work or ideas of an architect, artist, builder, designer or theorist who is significant to a community.
7. The property has contextual value because it is important in defining, maintaining or supporting the character of an area.
8. The property has contextual value because it is physically, functionally, visually or historically linked to its surroundings.
9. The property has contextual value because it is a landmark.

The following is a summary of the cultural heritage value of the subject property according to *Ontario Regulation 9/06*:

5.1.1 Design/Physical Value

1. The property has physical value as a rare, unique, and early example of pre-Confederation architecture in Upper Canada. 2 Hatt Street is one of the oldest buildings in Dundas, is the only extant structure from Richard Hatt's New Dundas Mill complex and is an early example of the use of dolostone from the nearby Niagara Escarpment in the construction of Dundas buildings. Features of the circa 1804 one-storey vernacular stone building representative of its value include its: one-storey massing; rectangular footprint; low side-gable roof; and

coursed rubblestone elevations, with local dolostone.

2. The property does not display a high degree of craftsmanship.
3. The property does not demonstrate a high degree of technical or scientific achievement.

5.1.2 Historical/Associative Value

4. The property has historical value for its association with significant Dundas figures, events, and institutions, including the Hatt family, the New Dundas Mills, the founding of the Town of Dundas and the history of slavery in Ontario. As the last remaining building of the New Dundas Mills, 2 Hatt Street is an important relic of the town's early colonial settlement and industrial history. The New Dundas Mills (so named for its proximity to Dundas Street) was a mill complex which first began as a sawmill in 1799 and was expanded upon in 1800, before being purchased by Samuel Hatt (1776-1842), Richard Hatt (1769-1819), and Manuel Overfield (1773-1839) in 1804. Together, these three men, likely using the labour of indentured servants and enslaved persons, had the mill complex further expanded, constructing additional buildings including 2 Hatt Street, which served as a store. The mill quickly became a commercial success, having an irrevocable impact on the built form of Dundas - attracting American and European settlers westwards towards Spencer Creek and away from the 1792 Coote's Paradise town plan closer to where the Desjardins Canal sits today. Building on the town's rapid growth, 2 Hatt Street served as its very first informal post office, where letters would be addressed to the New Dundas Mills. In 1814 this would influence the Crown's official opening of the town's first post office, called the Dundas Post Office, at which point the name of Dundas officially superseded that of Coote's Paradise.

Of the three men who expanded the mills in 1804, Richard Hatt has historically been credited as the primary owner and operator of the mill after having purchased Samuel and Manuel's shares by 1808 – but all three men are attributed to its founding. Having originally started their business in Ancaster, Samuel and Richard worked to find ways in which to expand their business and influence, including by having roadways constructed to support their economic networks and expansion. This continued after they had purchased the New Dundas Mills, where Richard platted⁸⁶ Dundas' early streets and established a town plot which would guide the growth of the town. Elsewhere, Richard expanded his political influence by serving as Justice of the Peace in 1800, establishing the *Upper Canada Phoenix* newspaper (the first newspaper west of York), entering the House of Assembly in 1817, and serving as a major during the War of 1812. Although Samuel stopped being co-owner of the mill by 1808, he remained closely involved in business with his brother, and was a key player in local political and economic networks similarly growing his influence and power

⁸⁶ Platting is the process of planning out or mapping an area, usually for the purpose of development.

before he eventually moved to Quebec following the War of 1812. While historic records rarely include details on the people whose labour helped produce the wealth, influence and power of early-nineteenth century industrialists like the Hatts, we know that both Hatt brothers were complicit in institutions of slavery and oppression. Of the two, historic evidence has shown that Samuel enslaved at least one Black woman, named Sophia Burthen Pooley (circa 1775/78- circa 1860), and was involved in the indenture (forced labour) of a Black orphaned child. While no evidence had been found to date showing Richard directly involving himself with slavery, he was responsible for the indenture of at least six individuals, and his continued business relationship with his brother, and other known slaveowners in the region, is evidence that he nonetheless profited from and supported these institutions.

5. The property has the potential to yield information that contributes to an understanding of the history of slavery in Upper Canada, Black communities and their history in Dundas, early Dundas settlement and industry, and the nuanced intersections between them.

Historic documentation is biased towards remembering wealthy, elite, literate classes of landowners like the Hatts, which makes it difficult to identify the histories of the people whose labour, constructing and operating mills and farms, supported the financial success of the Hatt estate. In the case of 2 Hatt Street, an 1856 interview with Sophia Burthen Pooley (circa 1775/78- circa 1860) - a Black woman enslaved by members of the Hatt family for approximately seven years in the Ancaster and Dundas areas – provided a rare and valuable glimpse of the overlooked lives of indentured and enslaved people whose labour built the wealth and power of Upper Canada's elite in the early-nineteenth century. Little is known about Sophia's life, other than that she was born into slavery in Fishkill, New York, circa 1775-1778, before her and her sister were kidnapped and brought to Niagara as small children. In Niagara Sophia was sold to, and enslaved by, the notable Mohawk figure Joseph Brant (1743-1807), with whom she reportedly lived for 12 years. While under Brant's captivity, Sophia spent a large portion of her time in the Dundas area, and reported a childhood spent hunting with Brant's own young children, as well as instances of cruelty and abuse from Brant's wife Catherine (1759-1837) whose physical attacks left her with permanent scars. Sometime after Samuel and Richard Hatt arrived in Ancaster, they developed a business relationship with Joseph Brant which would culminate in Samuel Hatt purchasing Sophia from Brant for \$100, likely circa 1798-1799.

While there is no surviving historical documentation physically tying Sophia Burthen Pooley to the building at 2 Hatt Street, she was likely already enslaved by Samuel Hatt when he was involved in purchasing the New Dundas Mills. This means that it is likely that Sophia would have at the very least witnessed the construction of 2 Hatt Street while enslaved by the partial owner of the Mills. It is also reasonable to presume Richard Hatt was complicit in the enslavement of

Sophia, as the brother and close business partner of Samuel at the time of his purchase of Sophia from such an important political and business figure such as Joseph Brant. Sophia's exchange between Brant and the Hatts was representative of the ways in which economic networks at the time were built, in part, on the trade of people who were captive, whether through slavery or indenture. Further to this, the local political and economic conditions of the time mean that it would have been very likely that she would have interacted with the property at 2 Hatt Street, or else contributed to the wealth which allowed for its construction and commercial success. As an enslaved person, Sophia was part of the Hatt family's estate, and would have actively contributed to the growth of their wealth and power. Sophia's skills as a Kanien'kéha (Mohawk) speaker and her knowledge of Kanien'kéha culture would have had value to the Hatts, and it is likely that her contribution of these skills had positive impact on the growth of their businesses and wealth, which she would not have benefitted from.

The absence of direct documentary evidence tying Sophia to places where she lived and worked is a feature of the dispossession of enslaved people in Upper Canada. However, the existence of the industry building at 2 Hatt is attributable in part to the contributions of Sophia and the six unnamed indentured servants brought by the Hatts. In this context, 2 Hatt Street's significance is tied to its perseverance as the last remains of a property and industry whose success was tied to the labour of enslaved people like Sophia - the ambiguity of Sophia's relationship with the building also speaking to the deliberate erasure of Black histories from historic documentation.

6. The property does not demonstrate or reflect the work or ideas of an architect, artist, builder, designer or theorist who is significant in the community.

5.1.2 Contextual Value

7. The property is important in defining the historic character of the area as an early-nineteenth century single-detached building located prominently along an important and historic transportation corridor at the terminus of Hatt Street, near the northwest corner of Main Street and Governors Road. As the last remaining building of the New Dundas Mills complex, 2 Hatt Street is a relic of the area's historic industrial past which stands out in its immediate landscape, which is now primarily residential and commercial. The property's close proximity to major landmarks like the Dundas Town Hall at 60 Main Street helps define the area's continued use as an administrative center throughout the nineteenth century, which arguably began with 2 Hatt Street's service as an informal post office.
8. The property is visually and historically linked to its surroundings. The property's visual relationship and proximity to the Dundas Town Hall speaks to the immediate area's historic status as the governing and administrative center of Dundas. Its presence as the last remaining building of the New Dundas Mills complex also speaks to Dundas' early industrial roots. The property's location

along Hatt Street, and on a plot included in the earliest town plans for Dundas, also speak to its relationship with early local urban development and the historic economic networks across the Head-of-the-Lake region, which wealthy land prospectors and early industrialists like the Hatts depended on to assert and expand their influence. Roads and routes that connected places like Ancaster and York (Toronto) to the New Dundas Mills commemorate those networks of influence. 2 Hatt Street is representative of the historical relationships of power that both depended on the control, and even enslavement, of people to support the rapid early economic growth.

9. The property is considered to be a local landmark. Its location at the terminus of Hatt Street, proximity to Dundas Town Hall, the triangular shape of the plot, its squat rectangular shape, and its unique rubblestone dolostone exterior allow it to stand out in its now primarily residential immediate landscape.

9.1 Recommendation

The property located at 2 Hatt Street, Dundas satisfies the criteria established in *Ontario Regulation 9/06*. The subject property has design value because it is an early and unique example of an architectural style and use of material; it has historical value because it has direct associations with significant events, institutions and people to the community; and it has contextual value because it is important in defining the character of the area, is visually and historically linked to its surroundings, and is considered to be a local landmark. Therefore, the subject property warrants protection under the *Ontario Heritage Act* through designation and/or the negotiation of a heritage conservation easement agreement, in accordance with the following Description of Property, Statement of Cultural Heritage Value or Interest, and Description of Heritage Attributes:

Description of Property

The 0.056-hectare property at 2 Hatt Street is comprised of a one-storey single-detached stone commercial building, situated at the terminus of Hatt Street, near the northwest corner of Main Street and Governors Road, in the historic core of Dundas, in the former Town of Dundas within the City of Hamilton.

Statement of Cultural Heritage Value or Interest

The property located at 2 Hatt Street is comprised of a one-storey stone commercial building constructed circa 1804. As a rare, unique and early example of pre-Confederation architecture in Upper Canada, the property has physical value as one of the oldest buildings in Dundas, the only extant structure from the New Dundas Mills, and as an early example of the use of dolostone from the Niagara Escarpment in the construction of Dundas buildings.

The property has historical value for its associations with significant Dundas figures, events, and institutions, including the New Dundas Mills, the founding of the Town of Dundas and the Hatt family. The property's early history is primarily associated with Richard Hatt (1769-1819) a local businessman, judge, politician, militia officer and

recognized “founder” of the Town of Dundas. Richard, along with his brother Samuel Hatt (1776-1842) and their business partner Manuel Overfield (1773-1839), had 2 Hatt Street constructed circa 1804 after they had jointly purchased and expanded the New Dundas Mills. By 1808, Richard had become the sole proprietor of the complex, but he continued to maintain strong business relations with Samuel who operated a store nearby in Ancaster. The New Dundas Mills were critical to the growth of the town, leading to its prominence as a manufacturing and shipping centre in the nineteenth century.

The historical value of the property also lies in its potential to yield information that contributes to an understanding of the history of slavery in Upper Canada, Black communities and their history in Dundas, early Dundas settlement and industry, and the nuanced intersections between them. Sophia Burthen Pooley (circa 1775/78- circa 1860) is an important and early figure in Ontario’s Black History, with her life account being one of very few for which first-hand records of slavery as an enslaved person in Upper Canada (Ontario) in the late-eighteenth and early-nineteenth centuries exist. Sophia was born into slavery in New York, and arrived in Upper Canada as a young child where she was sold and enslaved by the notable Mohawk leader Joseph Brant (1743-1807). During her time with Brant she lived in the Dundas area, and after approximately 12 years, likely circa 1798-99, she was sold to Samuel Hatt who would enslave her for 7 more years. While no direct documentation confirms her presence at 2 Hatt Street, Sophia was enslaved by Samuel while he was a co-owner of the New Dundas Mills, and her labour, local knowledge, and skills as a Kanien’kéha (Mohawk) speaker would have been invaluable to the success of the New Dundas Mills, having a positive impact on the growth of the Hatts’ businesses and wealth, which she would not have benefitted from. 2 Hatt Street’s significance is tied to its perseverance as the last remains of a property and industry whose success was dependent on the contributions of enslaved people like Sophia - the ambiguity of Sophia’s relationship with the building also speaking to the deliberate erasure of Black histories from historic documentation.

The property has contextual value as a defining feature of Hatt Street, Governors Road and the Town of Dundas’ historic character. Its location on its original plot along Hatt Street also speak to its relationship with historic urban development and economic networks across the Head-of-the-Lake region, which wealthy land prospectors and early industrialists like the Hatts depended on to assert and expand their influence. The property’s location near the northwest corner of Main Street and Governors Road and the Town of Dundas, and proximity to Dundas Town Hall, visually connect it to its surroundings and contribute to its status as a local landmark.

Description of Heritage Attributes

The key attributes that embody the cultural heritage value of the property as a rare and unique example of pre-Confederation architecture and its association with the former New Dundas Mills and its owner Richard Hatt, and potential to yield an understanding of the history of slavery in Upper Canada and its connections to early Dundas settlement and industry include:

- All four elevations and the roofline of the one-storey stone building, including its:
 - Rectangular footprint;

- Low side gable roof;
- Coursed rubblestone façade constructed from dolostone;
- Cut sandstone quoins;
- Wood lintels and sills;
- Rectangular door opening;
- Three 12-over-12 wood windows on the south façade;
- One 8-over-12 wood window on the north façade; and,
- Stone foundation

The key attribute that embodies the contextual value of the property as a defining feature of the historic character of Hatt Street, Governors Road, the community of Dundas, and Dundas' role in establishing economic networks across the Head-of-the-Lake region which land prospectors and industrialists, including slaveholders, depended on to assert and expand their influence, and as a local landmark include its:

- Location at the terminus of Hatt Street at the intersection of Governors Road and Main Street.

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Appendix A: Location Map

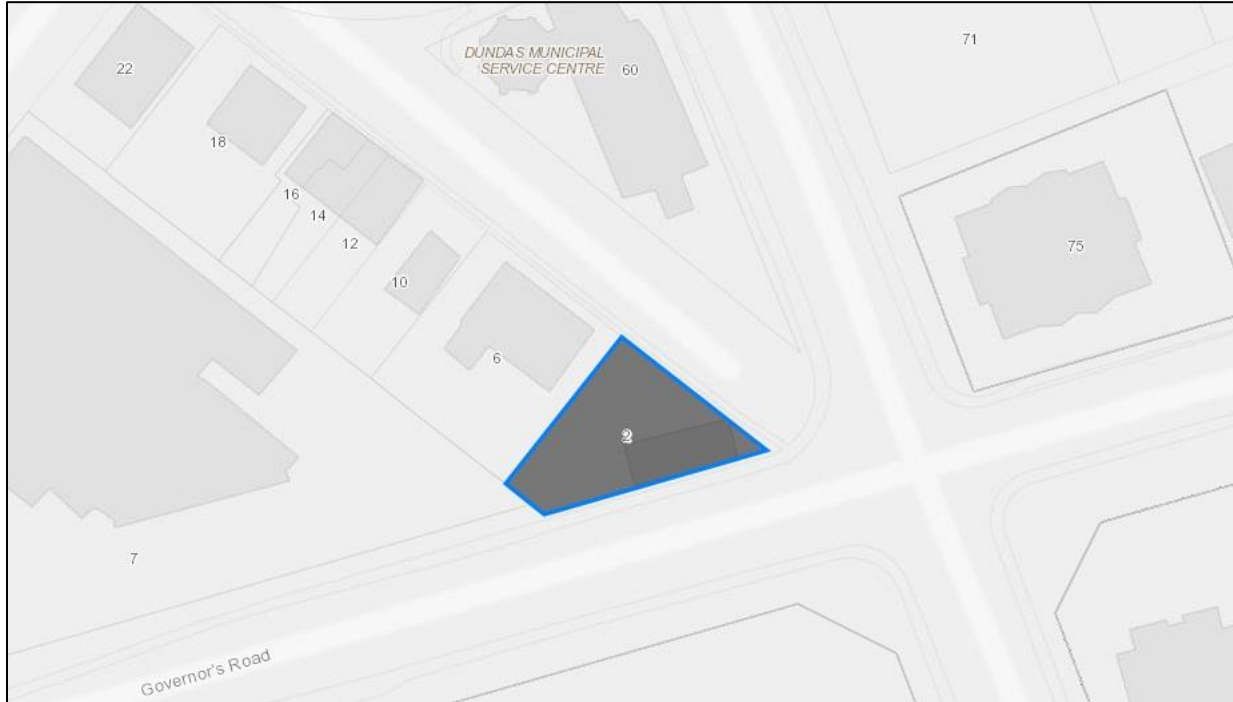


Image 1: Map of subject property and surrounding area, City of Hamilton, GISNet



Image 2: Aerial view of subject property and immediate vicinity, City of Hamilton, GISNet

Appendix B: Photographs



Image 3: Northern Elevation (December 2022)



Image 4: Eastern Elevation (December 2022)



Image 5: Southern Elevation (December 2022)



Image 6: Western Elevation (December 2022)



Image 7: 2 Hatt Street looking west down Governors Road (December 2022)



Image 8: 2 Hatt Street looking north up Hatt Street. Town Hall seen at right (January 2023)



Image 9: 2 Hatt Street looking south to intersection of Governors Road and Main Street (January 2023)

Appendix C: Historical Photographs



*Image 10: 1853 view of Dundas from Osler Drive. Subject property circled in red.
(Source: Dundas Museum and Archives)*

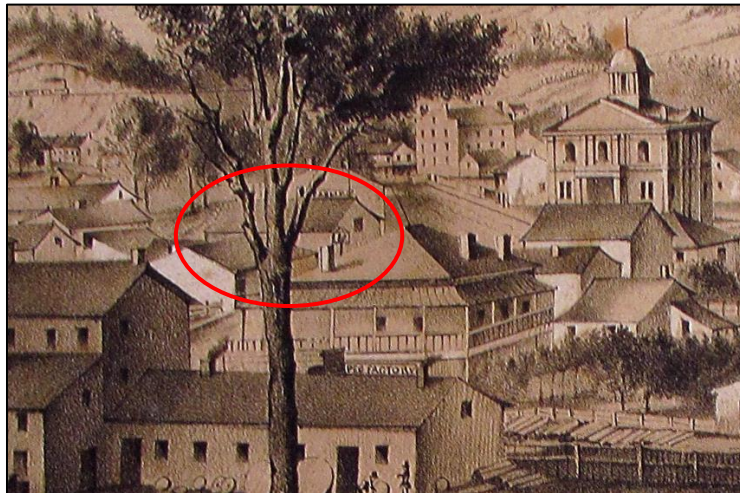


Image 11: Closeup of subject property, circled in red (Source: Dundas Museum and Archives)



Image 12: 2 Hatt Street, c. 1950s, prior to renovations (Source: Dundas Museum & Archives, "The Way We Were in the Nineteen Sixties" Slide Collection)



Image 13: 2 Hatt Street after renovations were complete, 1964 (Source: Dundas Museum & Archives, "The Way We Were in the Nineteen Sixties" Slide Collection)

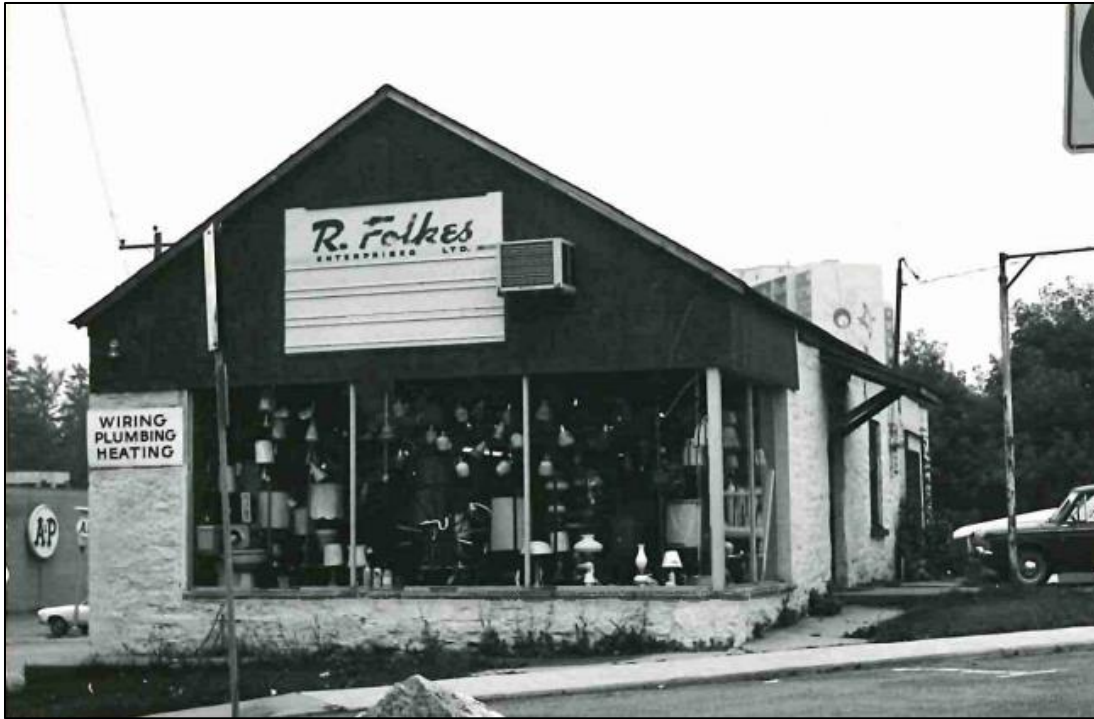


Image 14: 2 Hatt Street, September 1974 (Source: Dundas Central Business District Photography Survey by the Hamilton-Wentworth Regional Planning Department)



Image 15: 2 Hatt Street at left, c. 1970s, Dundas Town Hall at left, and a Toronto, Hamilton & Buffalo Railway Engine and Box Car at centre (Source: Vintage Hamilton, <https://www.facebook.com/photo/?fbid=1616060068412280&set=a.482033535148278>)



Image 16: Governor's Road, looking left from Main Street, 2 Hatt Street at left, 1981
(Source: Dundas Museum & Archives,
<https://collections.dundasmuseum.ca/index.php/Detail/objects/19259>)

Appendix D: Plans and Mapping

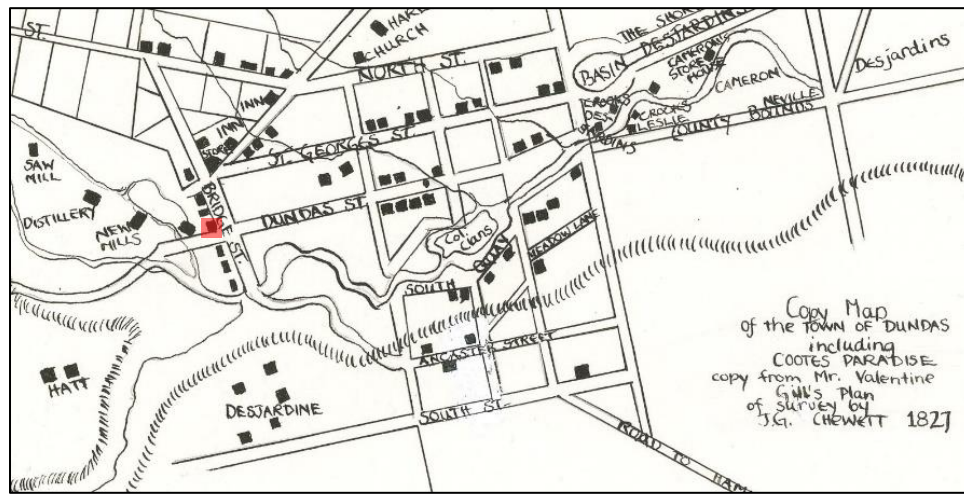


Image 17: Map of the Town of Dundas, 1827. 2 Hatt Street circled in red. (Source: Dundas Museum & Archives, <https://collections.dundasmuseum.ca/index.php/Detail/objects/27279>)

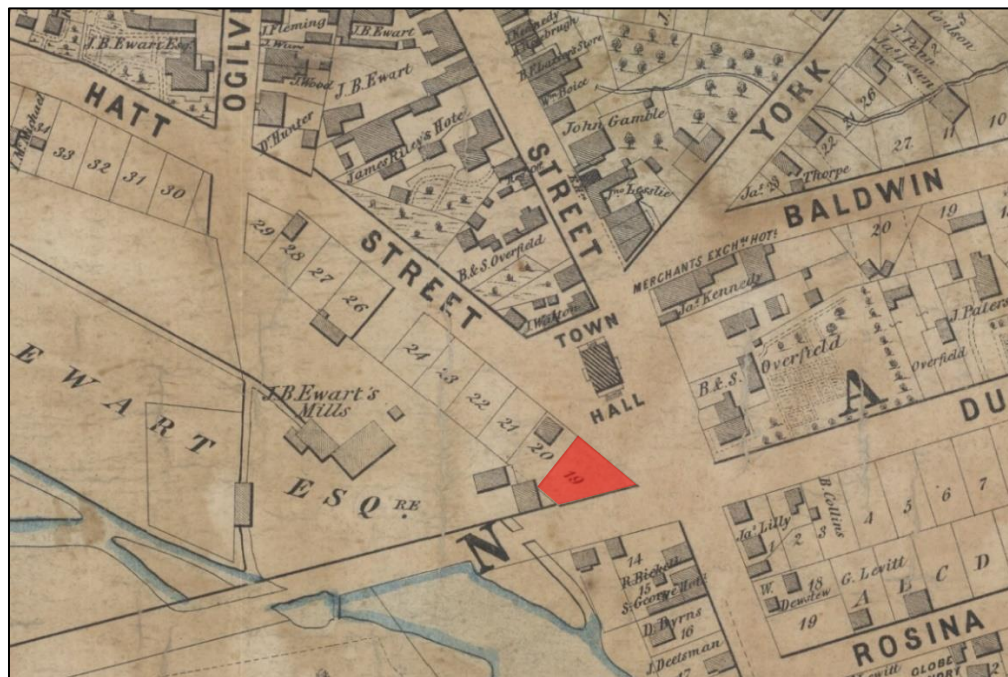


Image 18: Map of the Town of Dundas in the Counties of Wentworth and Halton, Canada West, Marcus Smith, 1851. NOTE: 2 Hatt Street should be located plot of land highlighted in red above. There is no explanation for this discrepancy (Source: McMaster University, <http://digitalarchive.mcmaster.ca/islandora/object/macrepo%3A61445>)

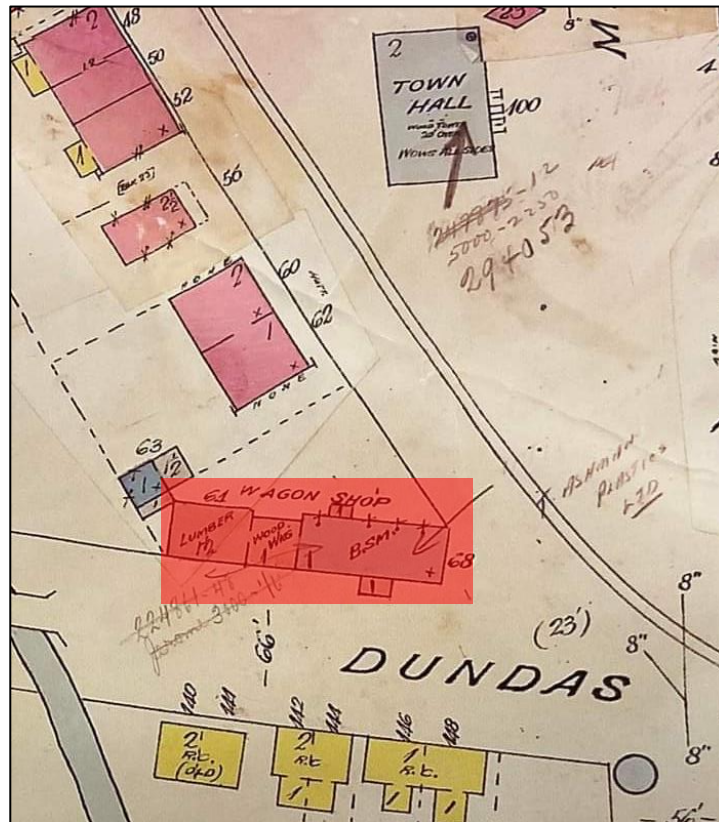


Image 19: 1914 Charles E. Goad Fire Insurance Plan for the Town of Dundas. Subject property highlighted in red.

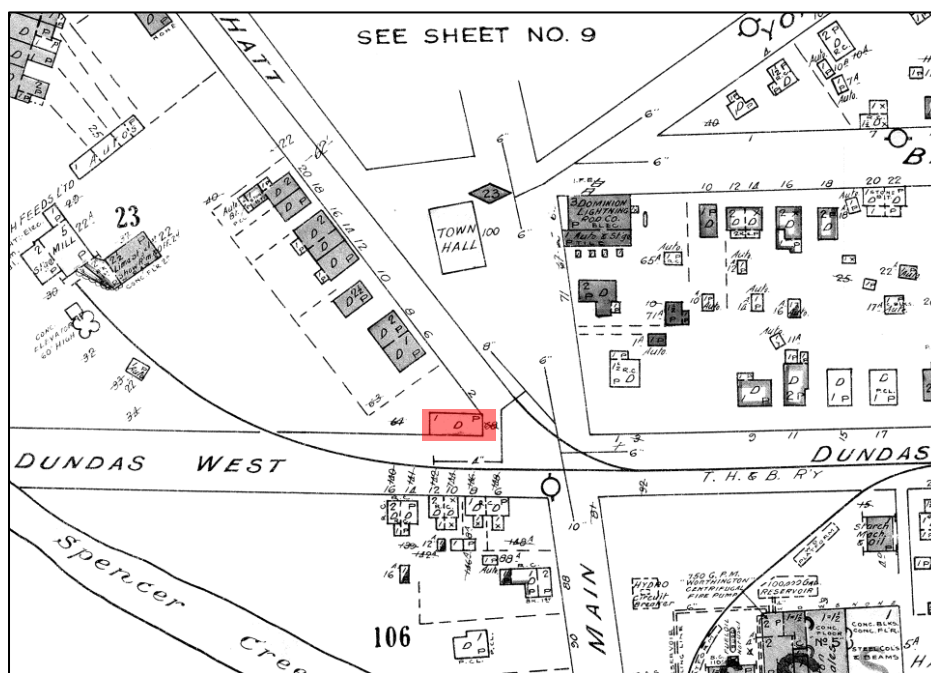


Image 20: 1951 Underwriters' Survey Bureau Fire Insurance Plan for the Town of Dundas, Sheet 10. Subject property highlighted in red.

Appendix E: Property Ownership History

Year	Name of Owner	Number of Hectares
1799	Jonathan Morden	
1800	Edward Peer	
1804	Richard Hatt, Samuel Hatt, Manuel Overfield	
1808	Richard Hatt	
1819	John Ogilvy Hatt	
1840	Robert Heslop	0.056
1850	George Leavitt	0.056
1850	Alfred Wilbur	0.056
1850	George Leavitt	0.056
1855	Robert Hatt	0.056
1858	John Ogilvy Hatt	0.056
1858	Edward Lyons	0.056
1861	Joseph Wright	0.056
1862	Shubael Eleazor Randall`	0.056
1863	Joseph Wright	0.056
1890	William Lawson	0.056
1945	Ferdinand & Matilda Lowe	0.056
1948	Joseph LeRuez	0.056
1955	William & Anne Knapp	0.056
1961	R. Folkes Enterprises Ltd.	0.056
2004	Andrew & Janet Galbreath	0.056

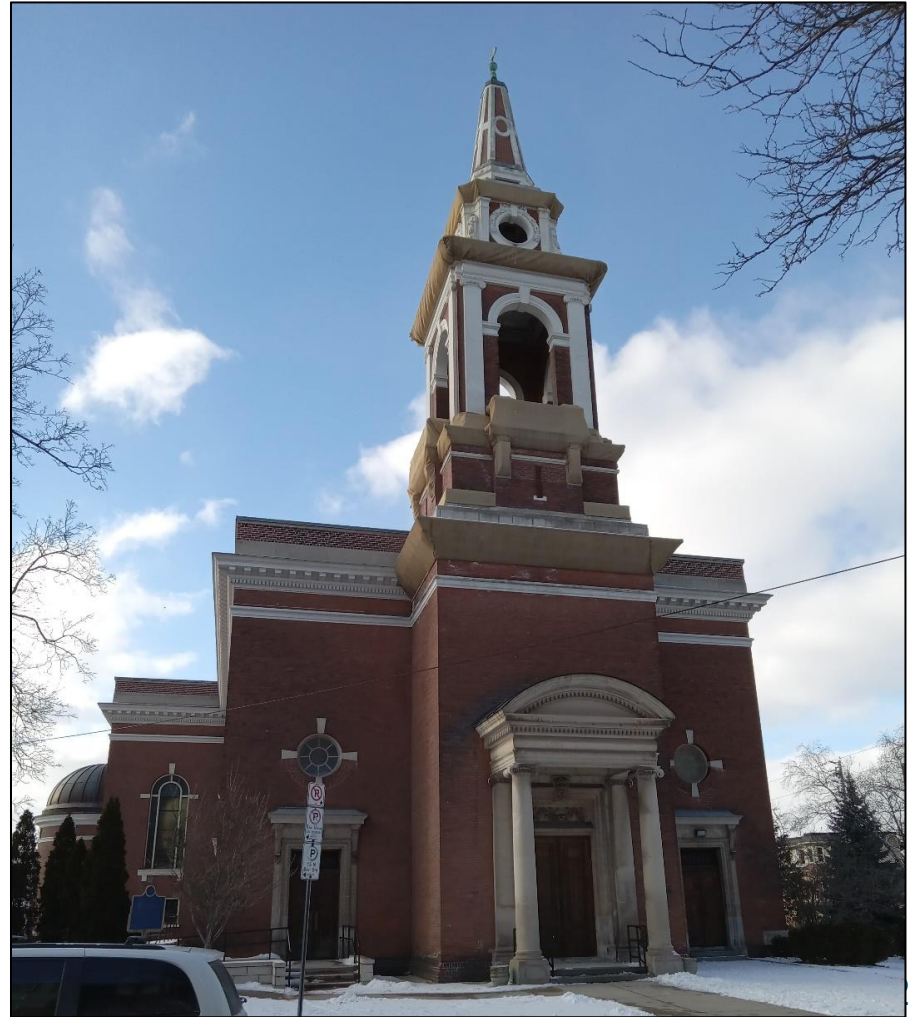


Recommendation To Designate 252 Caroline Street South, Hamilton (Central Presbyterian Church)

April 25, 2025

Hamilton Municipal Heritage Committee

252 Caroline Street South, Hamilton



1991 – Ontario Heritage Trust erects plaque commemorating Property.

May 2017 - Property listed on Municipal Heritage Register.

March 2023 – Council-directed high priority for designation



Recommendation for Designation Under Part IV of the OHA

252 Caroline Street South, Hamilton

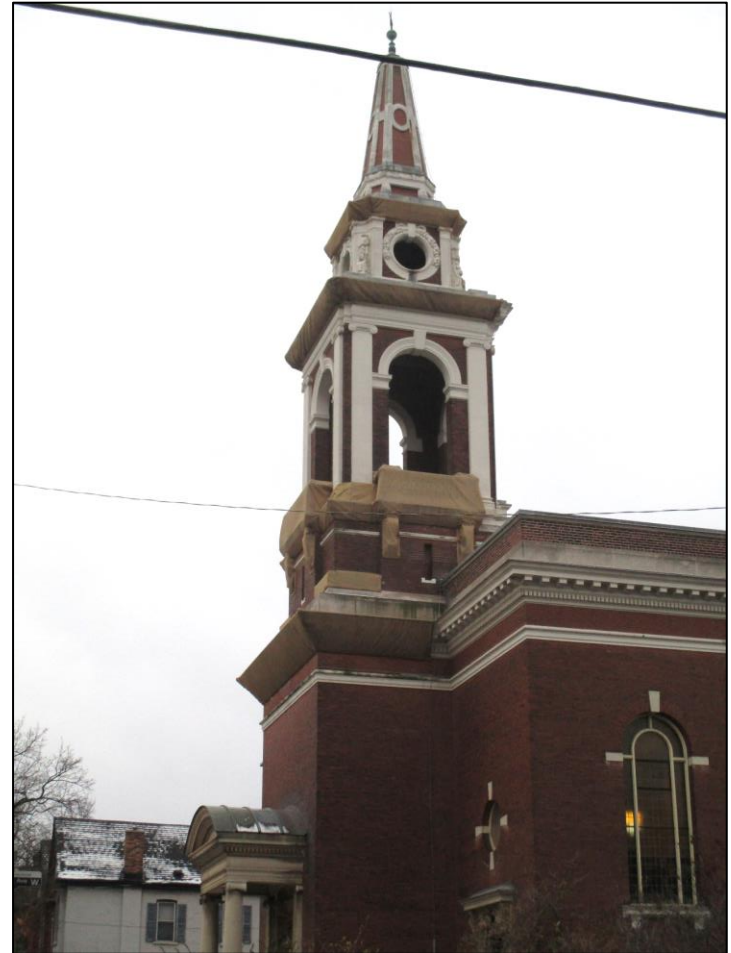
Ontario Regulation 9/06 Criteria (8 of 9)

- Design / Physical (Criteria #1, 2)
- Historical / Associative (Criteria #4, 5, 6)
- Contextual (Criteria #7, 8, 9)

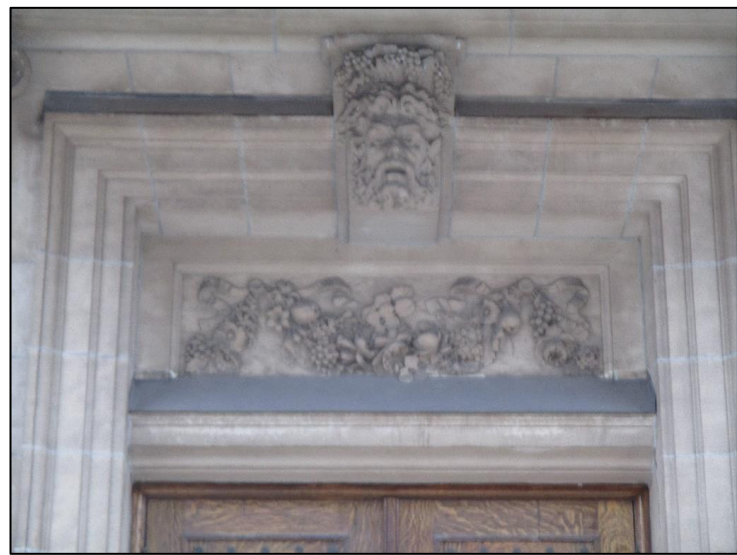


Design / Physical Value

1. The property is a **representative example** of a place of worship **influenced** by the **Beaux-Arts** and **Colonial Revival** styles, which is also an **early example** of the **Colonial Revival** in **Ontario**.
2. The property displays a **high degree** of craftsmanship or artistic merit.
3. The property does not display a high degree of technical or scientific achievement.

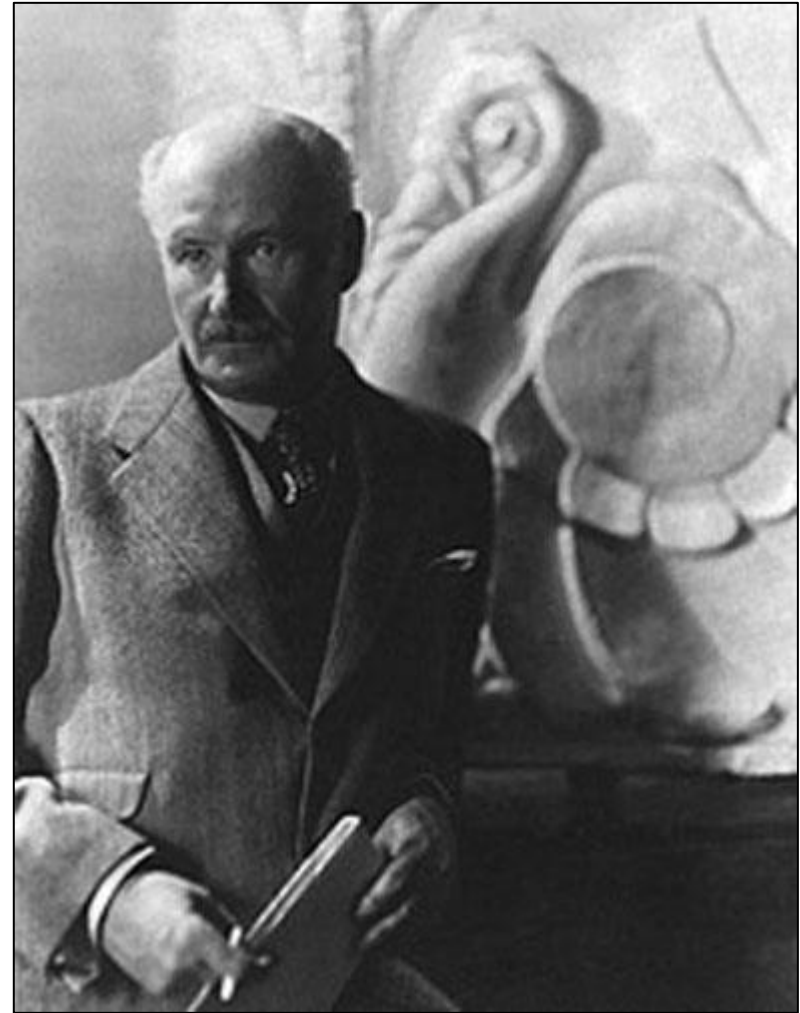




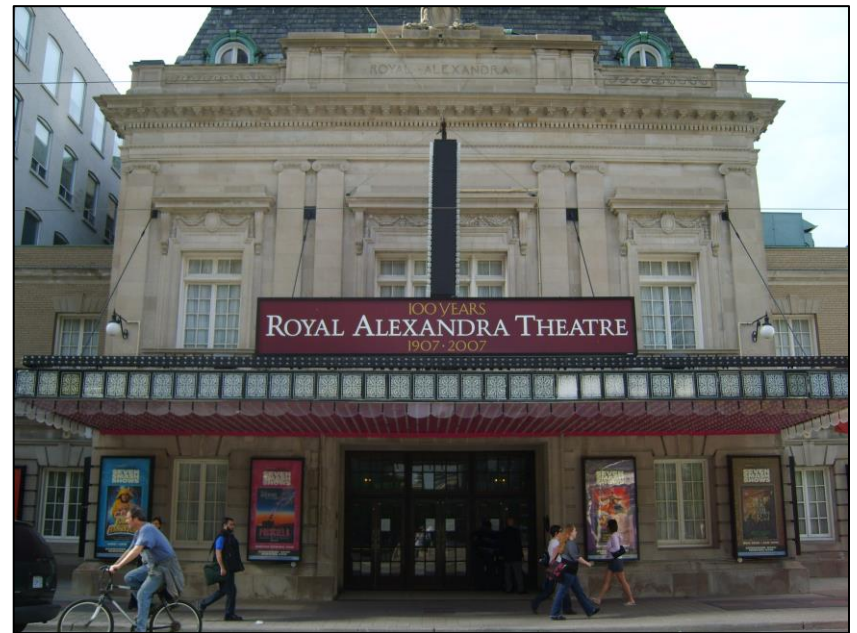


Historical / Associative Value

4. The property is associated with the long-standing **Central Presbyterian Church**.
5. The property has the **potential** to yield information that **contributes** to an understanding of Hamilton's **Presbyterian** community.
6. The property is considered to demonstrate the work or ideas of famed **Canadian** architect **John McIntosh Lyle**.







Contextual Value

7. The property **defines** the **character** of the **Durand neighborhood**.
8. The property is **visually** and **historically linked to its surroundings**.
9. The property is **considered** to be a local **landmark**.



Statement of Cultural Heritage Value or Interest (Summary)

The one-storey brick church at **252 Caroline Street South** was built in 1908. It has design value as a **representative example** of a place of worship influenced by the **Beaux-Arts** and **Colonial Revival** architectural styles and as an **early example** of the **Colonial Revival** style in **Ontario**. The property displays a **high degree of craftsmanship**.

The historical value of the property lies in its association with the historic **Central Presbyterian Church**, which has had a presence in Hamilton since **1841**. It is also associated with famed Canadian architect **John McIntosh Lyle**.

Contextually, this property is important in **defining the character** of the **Durand Neighborhood**, and is **visually and historically linked** to its surroundings. As a distinctive, massive and highly visible structure, it is considered a **landmark**.

Description of Heritage Attributes

(Summary)

- All elevations and roofline of the one-storey brick 1908 place of worship, including its:
 - T-shaped plan;
 - Red brick façade laid in Common bond;
 - Brick steeple with stone accents including belfry; including the:
 - Belfry with stone arches supported by brick piers, Ionic pilasters topped by entablature and stone balconies;
 - Lantern with stone oculus openings with carved floral motifs, Doric pilasters, and corner niches; and,
 - Octagonal brick spire with stone accents.
 - Flat roof with a brick parapet and stone entablature with projecting cornice, modillions, and dentils below;
 - Symmetrical front (east) façade with its:
 - Main entrance with moulded stone door surround with floral motif and carved stone head in Classical style;
 - Portico with segmental pediment supported by entablature on top of Ionic columns and pilasters;
 - Flanking oculus windows with brick voussoirs and stone keystones;
 - Flanking entrances with moulded stone surround with moulded flat pediment supported by carved brackets;
 - Round-headed windows with elaborate stained glass with moulded cornice and supporting carved brackets;
 - Projecting rounded side entrances with half-dome roof and moulded cornice with moulded stone door surround, transom and triangular pediment supported by carved brackets.

The original first storey on the 1908 Sunday School building is considered to be of cultural heritage value or interest but is not included in the list of Heritage Attributes forming part of this designation by-law.

Key attributes that embody the contextual value of the property as a defining feature of the historical character of Durand and as a neighbourhood landmark, include its:

- Location at the corner of Caroline Street South and Charlton Avenue West with a moderate setback from the public right-of-way; and,
- The highly visible brick steeple with belfry, lantern, and octagonal spire.

Staff Recommendation

That the City Clerk be directed to give **notice of Council's intention to designate 252 Caroline Street South, Hamilton (Central Presbyterian Church)**, shown in Appendix A attached to Report PED25071, as a property of cultural heritage value pursuant to the provisions of Part IV, Section 29 of the *Ontario Heritage Act*, in accordance with the Statement of Cultural Heritage Value or Interest and Description of Heritage Attributes, attached as Appendix B to Report PED25071, subject to the following:

- (a) If no objections are received to the notice of intention to designate in accordance with the *Ontario Heritage Act*, City Council directs staff to introduce the necessary by-law to designate the property to be of cultural heritage value or interest to City Council;
- (a) If an objection to the notice of intention to designate is received in accordance with the *Ontario Heritage Act*, City Council directs staff to report back to Planning Committee to allow Council to consider the objection and decide whether or not to withdraw the notice of intention to designate the property.



Hamilton

QUESTIONS?



Hamilton

THANK YOU



City of Hamilton Report for Consideration

To: Chair and Members
Hamilton Municipal Heritage Committee

Date: April 25, 2025

Report No: PED25071

Subject/Title: Recommendation to Designate 252 Caroline Street South, Hamilton (Central Presbyterian Church), under Part IV of the *Ontario Heritage Act*

Ward(s) Affected: Ward 2

Recommendations

- 1) That the City Clerk **BE DIRECTED** to give notice of Council's intention to designate 252 Caroline Street South, Hamilton (Central Presbyterian Church), shown in Appendix A attached to Report PED25071, as a property of cultural heritage value pursuant to the provisions of Part IV, Section 29 of the *Ontario Heritage Act*, in accordance with the Statement of Cultural Heritage Value or Interest and Description of Heritage Attributes, attached as Appendix B to Report PED25071, subject to the following:
 - (i) If no objections are received to the notice of intention to designate in accordance with the *Ontario Heritage Act*, City Council directs staff to introduce the necessary by-law to designate the property to be of cultural heritage value or interest to City Council;
 - (ii) If an objection to the notice of intention to designate is received in accordance with the *Ontario Heritage Act*, City Council directs staff to report back to Planning Committee to allow Council to consider the objection and decide whether or not to withdraw the notice of intention to designate the property.

Key Facts

- This Report recommends designation of the significant built heritage resource located at 252 Caroline Street South, Hamilton, known as Central Presbyterian Church, under Part IV of the *Ontario Heritage Act*.
- The subject property is currently listed on the City's Municipal Heritage Register and is a high priority on the City's list of candidates for designation.
- Staff have completed an evaluation of the subject property using Ontario Regulation 9/06 and determined that it has sufficient cultural heritage value or interest to warrant designation, as per the Statement of Cultural Heritage Value or Interest and Description of Heritage Attributes attached as Appendix B to Report PED25071.
- Representatives of the Congregation of Central Presbyterian Church were consulted in the preparation of this Report and recommendation to designate the subject property.

Financial Considerations

N/A

Background

The subject property located at 252 Caroline Street South, Hamilton, shown in Appendix A attached to Report PED25071, is comprised of a one-storey brick church constructed in 1908, known as Central Presbyterian Church. The property is also comprised of an attached two-storey brick Sunday School building, municipally addressed as 165 Charlton Avenue West, constructed in 1908. The second storey was added to the Sunday School building in 1960. The property was first surveyed for potential heritage interest in the 1970s as a part of the Hamilton Local Architectural Conservation Advisory Committee's inventory of the Durand Neighbourhood. In 1991, the Ontario Heritage Trust erected a plaque on the subject property commemorating the cultural heritage value of the subject property.

In 2016, the subject property was surveyed as part of the City's Durand Neighbourhood Built Heritage Inventory project. In May 2017, staff prepared Report PED17092, which identified the subject property as a "Significant Built Resource" of cultural heritage value or interest and recommended that 252 Caroline Street South be listed on the Municipal Heritage Register and added to staff's designation workplan. The recommendations were approved by City Council as part of Planning Committee Report 17-004 in May 2017.

As a result of the recent Bill 23 changes to the *Ontario Heritage Act*, the former staff workplan for designation was rescinded and replaced with a new public list of Candidates for Designation under Part IV of the *Ontario Heritage Act* (see Report PED22211(a)), at which time 252 Caroline Street South was reprioritized for review for

designation by January 1, 2025. In a letter dated July 26, 2023, staff notified the property owner of the changes to the City's heritage designation process and the reprioritization of staff's review of the property for designation.

Analysis

The intent of municipal designation, under Part IV of the *Ontario Heritage Act*, is to enable a process for the management and conservation of significant cultural heritage resources. Once a property is designated, the municipality can manage change to a property through the Heritage Permit process to ensure that the significant features of the property are maintained. Designated properties are also considered to be "protected heritage property" under the Provincial Planning Statement (2024), which shall be conserved through the *Planning Act* development application process.

Section 29(1) of the *Ontario Heritage Act* permits the Council of a municipality to designate property to be of cultural heritage value or interest where property meets two or more of the Criteria for Determining Cultural Heritage Value or Interest prescribed in Ontario Regulation 9/06, as amended by Ontario Regulation 569/22, which identifies nine criteria in three broad categories: Design / Physical Value; Historical / Associative Value; and Contextual Value. The evaluation of cultural heritage value or interest of the subject property was completed by Cultural Heritage Planning staff based on a site visit of the exterior of the property conducted on December 4, 2024 (see photographs attached as Appendix C to Report PED25071) and available primary and secondary research sources (attached as Appendix D to Report PED25071). As outlined below, based on staff's cultural heritage evaluation, it was determined that the subject property meets eight of the nine criteria contained in Ontario Regulation 9/06 in all three categories.

Design / Physical Value

1. The one-storey brick church located at 252 Caroline Street South was constructed in 1908. It has design and physical value as a representative example of a place of worship influenced by the Beaux-Arts and Colonial Revival architectural styles, and as an early example of a Colonial Revival style building in Ontario.

The features typical of the Beaux-Arts style include the: monumental size and scale of the structure; the symmetrical front elevation; the eclectic use of Classical elements including the entablature with cornice, modillions and dentils, portico with segmented pediment and carved stone head; and the round-headed window openings.

The features typical of the Colonial Revival style include the tower and spire over the main entrance inspired by the historical examples provided by James Gibbs' (1682-1754) church at St. Martins-in-the-Fields and by New England meeting

houses; the use of modern materials including steel and artificial stone; and the greater level of ornamentation compared to historical prototypes.

The attached brick Sunday School building, addressed as 165 Charlton Avenue West, was built concurrently in 1908 and the second storey was added in 1960.

2. This property displays a high degree of craftsmanship through the steeple, including its: brick tower with stone accents supporting an open belfry with round-headed stone arches supported by brick piers; stone Ionic pilasters supporting entablature with dentils; and moulded cornice and stone balconies supported by brackets. The belfry supports a lantern with stone oculus openings with carved floral motifs, Doric pilasters, and corner niches with decorative elements. The lantern is topped by an octagonal brick spire with stone accents.

Other elements which display a high degree of craftsmanship include the: entablature with projecting cornice, modillions and dentils; round-headed window openings with brick voussoirs and stone keystones and end stones and stone lug sills with moulded cornice and supporting carved brackets; oculus windows with brick voussoirs and stone keystones; main entrance in projecting base of steeple tower with moulded stone door surround with floral motif and carved stone head in Classical style; main entrance portico with segmental pediment with dentils supported by entablature with dentils and plain frieze and architrave on top of Ionic columns and pilasters; entrances flanking main entrances with moulded stone surround with moulded flat pediment supported by carved brackets; and, projecting rounded side entrances with half-dome roof and moulded cornice with moulded stone door surround, transom and triangular pediment supported by carved brackets.

3. The property does not appear to demonstrate a high degree of technical or scientific achievement.

Historical or Associative Value

4. This property has historical value as it is directly associated with the long-standing Central Presbyterian Church. Formed in 1841, the congregation now known as Central Presbyterian first met in a small wooden schoolhouse at the corner of Jackson Street East and James Street South. A small group initially, the congregation grew rapidly in the late 1840s and 1850s, necessitating several moves before settling on a site at the corner of Jackson Street West and MacNab Street South in 1858 (now the site of the Superior Court of Justice). A large Gothic Revival church was built on this site which would be home to the Church until 1906. On June 21, 1906, the Central Presbyterian Church caught fire. Blamed on faulty overhead electrical wires, the 1858 building was devastated. While the congregation had decided to rebuild, they had set their sights on a new location southwest of their former church, in the Durand Neighbourhood.

5. The property has the potential to yield information that contributes to an understanding of a community or culture. As a church with a long-standing presence in the local community, this property may yield information that contributes to an understanding of the Presbyterian Church in Hamilton.
6. This property demonstrates the work of famed Canadian architect John McIntosh Lyle (1872-1945). Lyle, born in Belfast, Ireland, came to Canada with the rest of his family when he was six years old. His father, Reverend Samuel Lyle (1841-1919), became the minister of Central Presbyterian Church in 1878, a position he would hold until 1910. Lyle was educated in Hamilton, before receiving training at Yale and the famed Ecole des Beaux-Arts of Paris. Returning from Paris, Lyle worked for several New York architectural firms before returning to Canada, setting up his own architectural practice in Toronto in 1906. An advocate for the Beaux Arts style, Lyle was also a proponent of the idea of a national style of architecture, one that would be uniquely “Canadian” through the incorporation of natural and Indigenous motifs. Lyle designed prominent buildings throughout Canada, including the Royal Alexandria Theatre (1907) and Union Station (1927) in Toronto, the Bank of Nova Scotia building in Halifax (1929) and the Memorial Arch at the Royal Military College in Kingston (1921). The subject property represents one of the earliest works attributed to John McIntosh Lyle, though he also designed a number of other structures in Hamilton, including “Gateside” at 135 Aberdeen Avenue (1905), the Gage Park Fountain (1926), “Wynnstay” at 437 Wilson Street East, Ancaster (1926), and the York Street High Level Bridge (1927).

Contextual Value

7. The property is important in defining the historic character of the Durand Neighbourhood. Durand, one of Hamilton’s oldest residential neighbourhoods, was home to many of Hamilton’s wealthy through the nineteenth and early twentieth centuries. These residents built the large and architectural impressive homes for which Durand is known for today. The subject property, being a large and impressive church built in what was once a novel architectural style, is an important part of this historic character.
8. The property is visually and historically linked to the surrounding area, being sited on its original location in a sympathetic streetscape featuring many dwellings constructed in the late-nineteenth and early-twentieth centuries.
9. This property, due to its size, height, prominent corner lot location and architectural style, is a visually distinctive yet still sympathetic structure which dominates the local streetscape while still seeming part of it. This well-known structure has been featured on local walking tours and is considered to be a local landmark.

The recommendations of this Report are consistent with Provincial and Municipal legislation, policy, and direction, including:

- Determining the cultural heritage value or interest of a property based on design/physical value, historical/associative value, and contextual value criteria (*Ontario Heritage Act*, Ontario Regulation 9/06);
- Implementing proactive strategies for conserving significant built heritage resources (Provincial Planning Statement, 2024, Sub-section 4.6.4(b)); and,
- Designating properties of cultural heritage value under Part IV of the *Ontario Heritage Act* (Urban Hamilton Official Plan, Section B.3.4.2.3).

Staff have determined that 252 Caroline Street South, Hamilton, is of cultural heritage value or interest sufficient to warrant designation under Part IV of the *Ontario Heritage Act* and recommend designation according to the Statement of Cultural Heritage Value or Interest and Description of Heritage Attributes, attached as Appendix B to Report PED25071.

Alternatives

Under Part IV of the *Ontario Heritage Act*, the designation of property is a discretionary activity on the part of Council. Council, as advised by its Municipal Heritage Committee, may decide to designate property, or decline to designate property.

Decline to Designate

By declining to designate, the municipality would be unable to provide long-term, legal protection to this significant cultural heritage resource (designation provides protection against inappropriate alterations and demolition) and would not fulfil the expectations established by existing municipal and provincial policies.

Without designation, the property would not be eligible for the City's financial incentives for heritage properties, including development charge exemption and grant and loan programs. Designation alone does not restrict the legal use of property, prohibit alterations and additions, nor does it restrict the sale of a property, or been demonstrated to affect its resale value. However, designation does allow the municipality to manage change to the heritage attributes of a property through the Heritage Permit process. Staff does not consider declining to designate any of the properties to be an appropriate conservation alternative.

Relationship to Council Strategic Priorities

- Priority 1: Sustainable Economic & Ecological Development
 - 1.2: Facilitate the growth of key sectors.
- Priority 3: Responsiveness & Transparency
 - 3.2: Get more people involved in decision making and problem solving.

Previous Reports Submitted

- [Durand Neighbourhood Built Heritage Inventory \(PED17092\) \(Ward 2\)](#)

Consultation

In a letter dated October 10, 2024, sent via registered mail, staff advised the owner of the subject property that staff were moving forward with the recommendation to designate the property. Staff were contacted by representatives of the congregation of the subject property on November 11, 2024, to arrange a meeting to discuss the upcoming designation of the subject property.

On December 4, 2024, staff met with representatives of the congregation to discuss the proposed designation and the potential adaptive reuse of their property. Staff also advised the owner of the financial incentives that would be available to them once the property is designated, to help facilitate the retention, conservation, and adaptive reuse of the heritage features of the subject property.

On March 21, 2025, staff met with representatives of the congregation to discuss the recommendation to designate the property. The representatives expressed some concern with the Sunday School building being included in the Description of Heritage Attributes, as the congregation anticipates the potential redevelopment of the Sunday School to maintain the financial viability of Central Presbyterian Church. As a result of this discussion, staff removed the Sunday School building from the proposed list of heritage attributes. Staff determined that the removal would not compromise the cultural heritage value or interest of the subject property, and that any potential impact of the removal of these chimneys would be studied as part of the Cultural Heritage Impact Assessment which would be required as part of the any future development of the site.

In a subsequent letter dated April 1, 2025, sent via email, staff provided the representatives with a copy of the proposed Statement of Cultural Heritage Value or Interest and advised them of the Hamilton Municipal Heritage Committee meeting date that the recommendation would be considered.

Planning staff have emailed the Ward Councillor (Councillor C. Kroetsch) for Ward 2 and provided an overview of the reasons for designation and the process for designating a property.

Appendices and Schedules Attached

Appendix A: Location Map

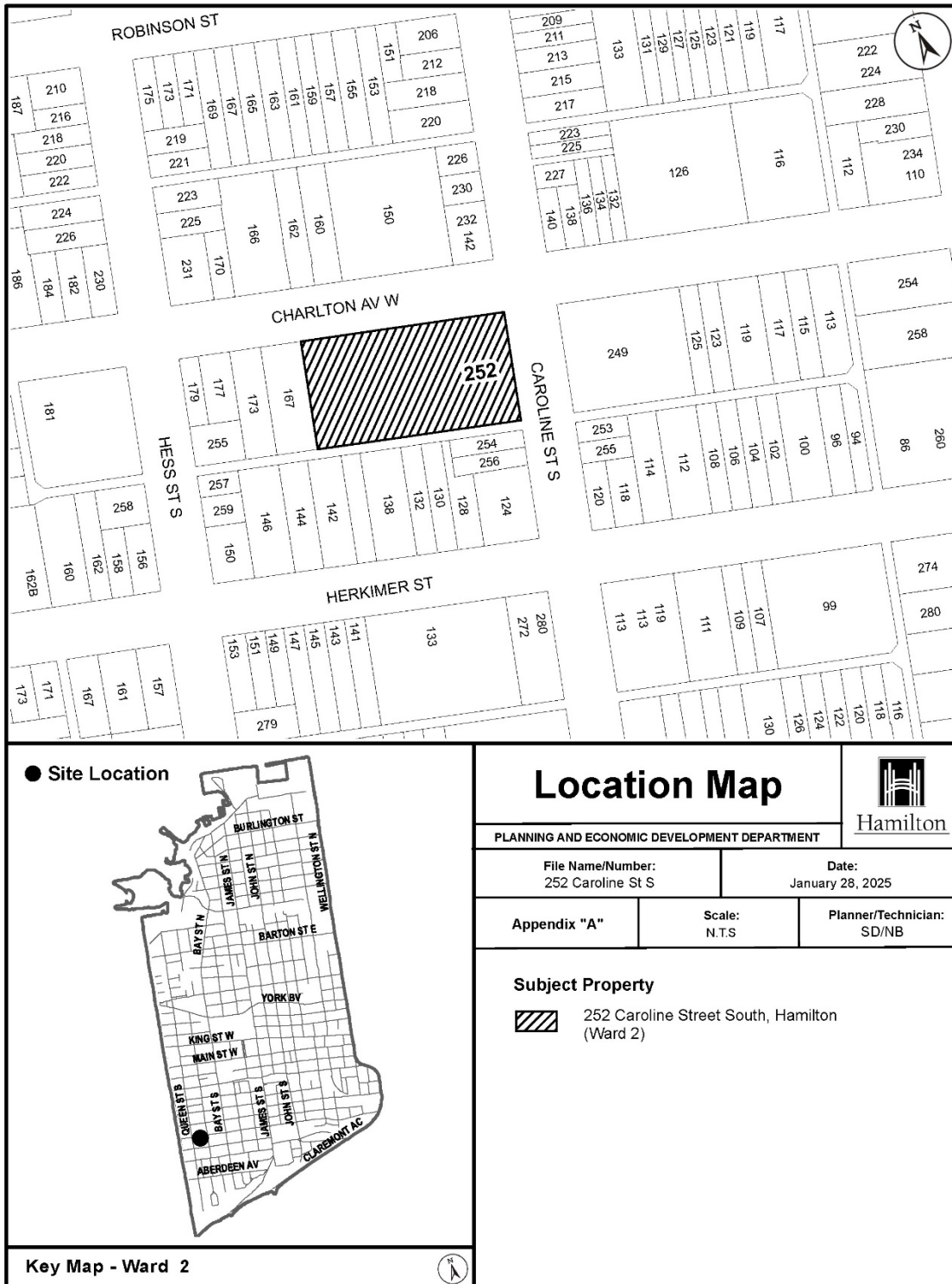
Appendix B: Statement of Cultural Heritage Value or Interest and Description of
Heritage Attributes.

Appendix C: Photographs

Appendix D: Research Sources

Prepared by: Scott Dickinson, Cultural Heritage Planner
Planning and Economic Development, Planning Division

**Submitted and
recommended by:** Anita Fabac, Acting Director of Planning and Chief Planner
Planning and Economic Development, Planning Division



STATEMENT OF CULTURAL HERITAGE VALUE OR INTEREST AND DESCRIPTION OF HERITAGE ATTRIBUTES

Description of Property

The 0.32-hectare property municipally addressed as 252 Caroline Street South is comprised of a one-storey brick church constructed in 1908. The property is also comprised of an attached two-storey brick Sunday School building, municipally addressed as 165 Charlton Avenue West, constructed in 1908 and modified in 1960. The property is located on the southwest corner of the intersection of Caroline Street South and Charlton Avenue West, in the historic Durand Neighbourhood, in the City of Hamilton.

Statement of Cultural Heritage Value or Interest

The 1908 one-storey brick structure located at 252 Caroline Street South has design value as a representative example of a place of worship influenced by the Beaux-Arts and Colonial Revival styles, and as an early example of a Colonial Revival building in Ontario. The property also displays a high degree of craftsmanship through its elaborate steeple, carved stone decorations and eclectic classical elements, including the portico with pediment supported by Ionic columns and carved stone head.

The historical value of the property lies in its association with the historic Central Presbyterian Church, which has had a presence in Hamilton since 1841. It is also associated with prominent Canadian architect John McIntosh Lyle (1872-1945), the subject property being both one of his first designs and one of the buildings which introduced the Colonial Revival style to Canada. Raised in Hamilton and educated at the Ecole des Beaux-Arts of Paris, Lyle championed the idea of a uniquely Canadian style of architecture. Other Hamilton properties designed by Lyle include Gateside at 135 Aberdeen Avenue (1905), the Gage Park Fountain (1926), Wynnstay at 437 Wilson Street East, Ancaster (1926), and the York Street High Level Bridge (1927).

Contextually, this property is important in defining the historic character of the historic Durand Neighbourhood. It is historically and visually linked to its surroundings, being on its original location within a sympathetic residential streetscape. As a large and highly visible structure in a distinctive architectural style, this property is considered a local landmark.

Description of Heritage Attributes

Key attributes that embody the physical value of the property as a representative example of a place of worship influenced by the Beaux-Arts and Colonial Revival styles, as an early example of the Colonial Revival style and in displaying a high degree of craftsmanship, and its associations with the Central Presbyterian Church and architect John Lyle, include:

- All elevations and roofline of the one-storey brick 1908 place of worship, including its:
 - T-shaped plan;
 - Red brick façade laid in Common bond;
 - Brick steeple with stone accents including belfry; including the:
 - Open belfry with round-headed stone arches supported by brick piers, stone Ionic pilasters supporting entablature with dentils and moulded cornice and stone balconies supported by brackets;
 - Lantern above the belfry, with stone oculus openings with carved floral motifs, Doric pilasters, and corner niches with decorative elements; and,
 - Octagonal brick spire with stone accents.
 - Flat roof with a brick parapet and stone entablature with projecting cornice, modillions, and dentils below;
 - Symmetrical front (east) façade with its:
 - Main entrance in projecting base of steeple tower with its moulded stone door surround with floral motif and carved stone head in the Classical style;
 - Main entrance portico with segmental pediment with dentils supported by entablature with dentils and plain frieze and architrave on top of Ionic columns and pilasters;
 - Flanking oculus windows with brick voussoirs and stone keystones;
 - Flanking entrances with moulded stone surround with moulded flat pediment supported by carved brackets;
 - Round-headed window openings with elaborate stained glass in the side facades with brick voussoirs and stone keystones, endstones and stone lug sills with moulded cornice and supporting carved brackets; and,
 - Projecting rounded side entrances with half-dome roof and moulded cornice with moulded stone door surround, transom and triangular pediment supported by carved brackets.

The original first storey on the 1908 Sunday School building is considered to be of cultural heritage value or interest but is not included in the list of Heritage Attributes forming part of this designation by-law.

Key attributes that embody the contextual value of the property as a defining element in the character of the surrounding area, and as a local landmark include its:

- Location at the corner of Caroline Street South and Charlton Avenue West with a moderate setback from the public right-of-way; and,
- The highly visible brick steeple with belfry, lantern, and octagonal spire.

Photographs

All photographs taken by City of Hamilton staff on December 4, 2024, unless otherwise noted.



Figure 1: Central Presbyterian Church from the intersection of Charlton Avenue and Caroline Street. City of Hamilton staff, February 7, 2025.



Figure 2: View of north elevation.



Figure 3: View of south elevation.



Figure 4: View of southwestern corner.



Figure 5: View of Sunday School front (north) elevation.



Figure 6: View of Sunday School rear (south) elevation.



Figure 7: Detail view of spire.



Figure 8: Detail view of spire base.



Figure 9: Detail view of spire top.



Figure 10: Detail view of front (east) elevation.



Figure 11: Detail view of front (east) elevation.

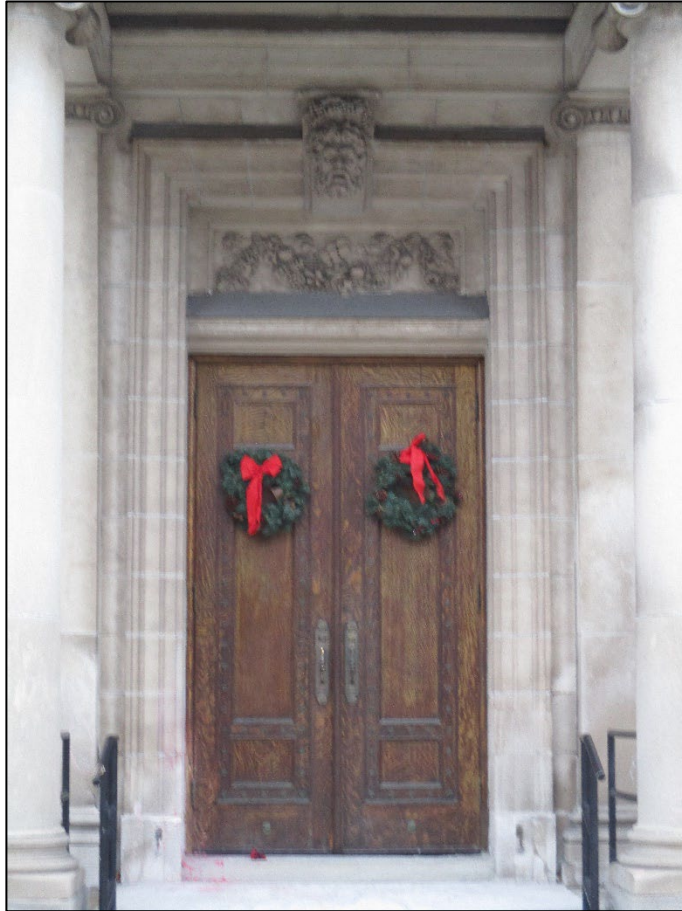


Figure 12: Detail view of doorway on front (east) elevation.



Figure 13: Detail view of carved decorative elements.



Figure 14: Detail view of secondary entrance on front (east) elevation.



Figure 15: Detail view of window surround.



Figure 16: View of side (south) elevation entrance.



Figure 17: Detail view of doorway on side (south) elevation.



Figure 18: Detail view of doorway on side (north) elevation entrance.



Figure 19: Detail view of northwest corner of Sunday School.



Figure 20: Detail view of Sunday School entrance on front (north) elevation.

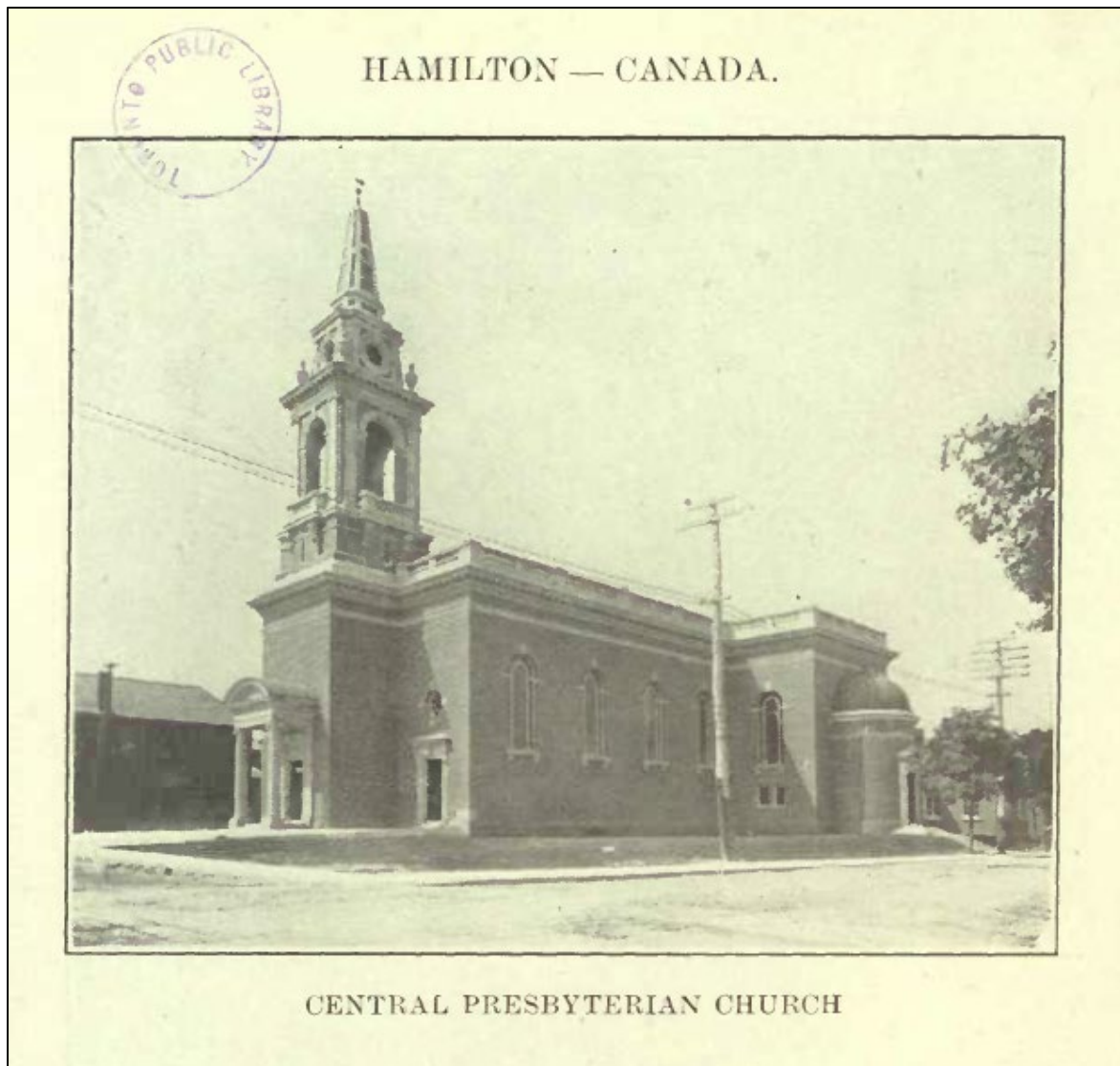


Figure 21: Central Presbyterian Church in 1913 (Hamilton, Canada: its history, commerce and industries and resources, 1913)



Figure 22: Elevation of subject property by John Lyle, 1907 (John M. Lyle: Towards a Canadian Architecture, 1982).

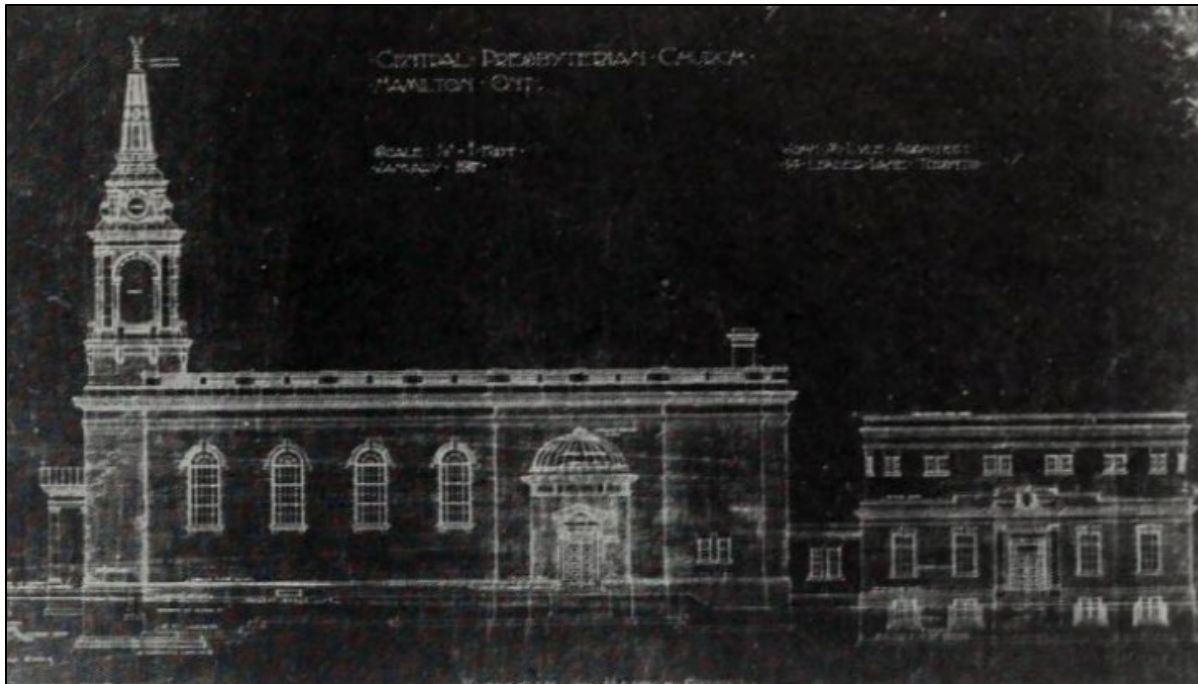


Figure 23: Elevation of subject property by John Lyle, 1907 (John M. Lyle: Towards a Canadian Architecture, 1982).

Research Sources

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"Presbyterians Report Rolls, Finances Grow" in *The Hamilton Spectator*. February 26, 1959.

"Tenders for Sub Trades" in *The Hamilton Spectator*. May 9, 1960.

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City of Hamilton Report for Consideration

To: Chair and Members
Hamilton Municipal Heritage Committee

Date: April 25, 2025

Report No: PED25102

Subject/Title: Recommendation to Designate 54 King Street East, Hamilton (Former Bank of Nova Scotia), under Part IV of the *Ontario Heritage Act*

Ward(s) Affected: Ward 2

Recommendations

- 1) That the City Clerk **BE DIRECTED** to give notice of Council's intention to designate 54 King Street East, Hamilton (Former Bank of Nova Scotia), shown in Appendix A attached to Report PED25102, as a property of cultural heritage value pursuant to the provisions of Part IV, Section 29 of the *Ontario Heritage Act*, in accordance with the Statement of Cultural Heritage Value or Interest and Description of Heritage Attributes, attached as Appendix B to Report PED25102, subject to the following:
 - (i) If no objections are received to the notice of intention to designate in accordance with the *Ontario Heritage Act*, City Council directs staff to introduce the necessary by-law to designate the property to be of cultural heritage value or interest to City Council;
 - (ii) If an objection to the notice of intention to designate is received in accordance with the *Ontario Heritage Act*, City Council directs staff to report back to Planning Committee to allow Council to consider the objection and decide whether or not to withdraw the notice of intention to designate the property.

Key Facts

- This Report recommends designation of the significant built heritage resource located at 54 King Street East, Hamilton, known as the Former Bank of Nova Scotia, under Part IV of the *Ontario Heritage Act*.
- The subject property is currently listed on the City's Municipal Heritage Register and is a high priority on the City's list of candidates for designation.
- Staff have completed an evaluation of the subject property using Ontario Regulation 9/06 and determined that it has sufficient cultural heritage value or interest to warrant designation, as per the Statement of Cultural Heritage Value or Interest and Description of Heritage Attributes attached as Appendix B to Report PED25102.
- Members of 2SLGBTQ+ Communities have been consulted in the preparation of this Report and recommendation to designate 54 King Street East.

Financial Considerations

Not applicable.

Background

The subject property located at 54 King Street East, Hamilton, shown in Appendix A attached to Report PED25102, is comprised of a three-storey Beaux-Arts commercial building constructed in 1914, known as the Former Bank of Nova Scotia. The property was first surveyed for potential heritage interest in the 1980s by the former Local Architectural Conservation Advisory Committee. In 2013, the property was added to the Municipal Heritage Register as a result of a Council motion to list all Inventoried heritage properties facing Gore Park on the City's Register. A preliminary evaluation of the property was prepared in 2014 as part of the Downtown Hamilton Built Heritage Inventory project, at which time the property was identified as a candidate for designation under the *Ontario Heritage Act* and added to staff's designation workplan.

As a result of the recent Bill 23 changes to the *Ontario Heritage Act*, the former staff workplan for designation was rescinded and replaced with a new public list of Candidates for Designation under Part IV of the *Ontario Heritage Act* (see Report PED22211(a)), at which time 54 King Street East was reprioritized for review for designation by January 1, 2025. In a letter dated July 26, 2023, staff notified the property owner of the changes to the City's heritage designation process and the reprioritization of staff's review of the property for designation.

Analysis

The intent of municipal designation, under Part IV of the *Ontario Heritage Act*, is to enable a process for the management and conservation of significant cultural heritage resources. Once a property is designated, the municipality can manage change to a property through the Heritage Permit process to ensure that the significant features of the property are maintained. Designated properties are also considered to be “protected heritage property” under the Provincial Planning Statement (2024), which shall be conserved through the *Planning Act* development application process.

Section 29(1) of the *Ontario Heritage Act* permits the Council of a municipality to designate property to be of cultural heritage value or interest where property meets two or more of the Criteria for Determining Cultural Heritage Value or Interest prescribed in Ontario Regulation 9/06, as amended by Ontario Regulation 569/22, which identifies nine criteria in three broad categories: Design / Physical Value; Historical / Associative Value; and Contextual Value.

The evaluation of cultural heritage value or interest of the subject property was completed by Cultural Heritage Planning staff based on site visits to the exterior of the property conducted in December of 2024 and on February 14, 2025 (see photographs attached as Appendix C to Report PED25102) and available primary and secondary research sources (attached as Appendix D to Report PED25102). As outlined below, based on staff’s cultural heritage evaluation, it was determined that the subject property meets eight of the nine criteria contained in Ontario Regulation 9/06 in all three categories.

Design / Physical Value

1. The property located at 54 King Street East, Hamilton, known as the former Bank of Nova Scotia, has physical value as a representative example of a commercial bank building designed in the Beaux-Arts Classicism architectural style. Completed in 1914 for the Bank of Nova Scotia, the three-storey high building was constructed with brick, steel, and concrete, and features a symmetrical, and imposing façade faced with Ohio Canyon cut stone with an even-course finish. The property also has physical value for its use of Ohio Canyon sandstone, which was an expensive imported material used in Hamilton as early as the 1870s primarily for detailing and embellishments, with this property being the only known example in the city to use it for a complete façade. Design features typical of the Beaux-Arts Classicism architectural style include the: balustrade; entablature with a dentilated course, a plain frieze, and a moulded cornice; large stone-lined columns with Doric capitals and moulded bases; presence of tall metal-framed windows with decorative grillwork in the upper square panes which span the second and third storeys; and, recessed central entrance with a stone surround, and the presence of a double-leaf door.

Sometime after the 1980s, two stone lions were added as decoration in front of the first storey window bays flanking either side of the front entrance, which have become notable of features the building. While much of the building's exterior features are intact, over time some small modifications and upgrades were completed, including the replacement of the tall second and third storey metal-framed windows with new windows and window casings which replicate the style of the original windows. The first storey windows were also modified and replaced, possibly more than once, elongating them and removing the original carved stone sill. This means that the current windows which are sympathetic to the original design of the façade, mirroring the original tripartite design of the second and third storey windows, are not original to the façade. The current recessed, double leaf door is similarly a replacement, but it is significant that the original recessed double leaf design has been preserved.

In the year 2000, renovations were completed to add a rear first-storey extension to the building, atop which sits a second-storey patio. The extension is not considered to be of heritage value.

2. The property displays a high degree of artistic merit. The grand, symmetrical, and detailed design of the façade represents a high degree of design and artistic ability, represented through the: balustrade with four columns topped with metal flashing; the entablature with a dentilated course, a plain frieze, and a moulded cornice; large stone-lined columns with Doric capitals and moulded bases; presence of tall metal-framed windows with decorative grillwork in the upper square panes which span the second and third storeys; and, recessed central entrance with stone surround.
3. The property does not demonstrate a high degree of technical or scientific achievement.

Historical / Associative Value

4. The property has historical and associative value due to its connections with the banking industry and 2SLGBTQ+ communities in Hamilton. The Bank of Nova Scotia (now Scotiabank) was incorporated in 1832 as a public bank. The first Bank of Nova Scotia branch opened in Hamilton in 1902 on the corner of King and John Streets. The continued growth of the bank eventually led to the purchase of the lot at 54 King Street East, on which the extant building would be constructed. First opened in 1914, the Bank of Nova Scotia building was centrally located in what was the city's growing financial centre until 1954 when the branch was consolidated into a new building at 12 King Street East. Throughout the first half of the twentieth century, Gore Park continued to serve as an important economic and social centre for both the wealthy and average Hamiltonian, with manicured gardens and monuments to Canadian nationalist figures symbolizing the city's identity and status. By the 1950s, however, trends in urban renewal

began to change the face of Gore Park as proposals for increased car-centric designs and accommodations, alongside the rise of suburbs, changed the demography of this important area. The subject property was no doubt influenced by these trends, and in 1956 the property was converted into offices for the Royal Trust Company (1956-1964), followed by a real estate office. As Gore Park's demography continued to change, so did that of 54 King Street East. By the mid-1970s, the property transitioned from an office into a restaurant, eventually being converted into an adult entertainment business called Billy Rose Palace in 1980, and in 1983 a trendy nightclub called Club 54 (or The 54). From the 1970s to the early 1990s, these businesses played a role in transforming the reputation from its previous life in white-collar business into one of gathering and nightlife, and more specifically alternative nightlife scenes.

By the 1990s, advocacy and community organizing on national and local scales had transformed Canadian society increasing widespread acceptance of 2SLGBTQ+ people. To this end, some businesspeople began looking towards catering to 2SLGBTQ+ audiences and markets, as was the case of 54 King Street East when, in 1993, the owner of the property opened The Embassy nightclub. As one of very few openly 2SLGBTQ+ friendly spaces at this time, The Embassy would go on to become a cornerstone of the 2SLGBTQ+ landscape in Hamilton until its closure in 2018. Over two decades, The Embassy persisted in a fluctuating landscape that saw many other 2SLGBTQ+ places of gathering and community open and close, and its persistence helped it build a reputation as a central feature of Hamilton's 2SLGBTQ+ landscape. Consequently, The Embassy became the site of important community events coloured by local politics surrounding the 2SLGBTQ+ communities. In the late 1990s, for example, 2SLGBTQ+ Hamiltonians criticized the business for exploiting the community members' money without adopting political risks that come along with open and financial support of 2SLGBTQ+ events. This led to the business attempting to abandon its 2SLGBTQ+ label in the year 2000, reportedly even trying to bar 2SLGBTQ+ patrons from accessing the building. This decision had a negative impact on 2SLGBTQ+ people in the city, who lacked spaces for community building and gathering. While some people chose to boycott the Embassy at this time, the absence of alternative spaces in Hamilton meant that many continued to frequent it, eventually resulting in the business returning to its prior explicitly 2SLGBTQ+ state. By 2003, The Embassy had become more involved in community events - with the very first 'Ms. Pride' drag competition being hosted in the building.

Although it was a well-known 2SLGBTQ+ site, patrons of The Embassy accessed it through the rear entrance rather than the front. This reflects the underground nature of 2SLGBTQ+ communities even as recently as the 2000s and 2010s. This also offered some protection to patrons of this highly visible landmark who were a target for homophobia. One example of the type of homophobic attacks to 2SLGBTQ+ people include a high-profile assault and hate

crime in 2007 where three gay men were attacked after leaving the club, which sparked protest in the community, resulting in a march to 54 King Street East in solidarity. The closure of The Embassy in 2018 had a major impact on Hamilton's 2SLGBTQ+ communities, which has historically had very few longstanding 2SLGBTQ+ spaces. In 2023, the building re-opened as a nightclub but is no longer a 2SLGBTQ+ institution.

5. The property yields information that contributes to an understanding of Hamilton's early twentieth-century downtown communities, as well 2SLGBTQ+ communities. The property's transition through history, from a financial institution to nightlife and recreation businesses, provides insight into changes in use and demography in both Gore Park and downtown Hamilton. The property's involvement in important 2SLGBTQ+ events, and as a major 2SLGBTQ+ landmark in Hamilton's downtown core, is a continued tangible reminder of the city's 2SLGBTQ+ urban heritage.
6. The property demonstrates and reflects the work and ideas of the nationally prominent firm Bond & Smith architects, which was formed by a partnership between Charles Herbert Acton Bond (1869-1924) and Sanford Fleming Smith (1874-1943). During their 17-year partnership, based in Toronto, Bond & Smith designed many notable buildings across Southern Ontario and the maritime provinces. Among these works were at least three additional buildings for the Bank of Nova Scotia. 54 King Street East is one of only two known examples in Hamilton of the work of architects Bond & Smith, with the only other building in Hamilton being the MacKay Building. The MacKay Building is also located in Gore Park at 66 King Street East, and it bears a clear resemblance to the Hermant Building at 19 Dundas Square in Toronto.

Contextual Value

7. The property is important in defining the historic character of the area around Gore Park in downtown Hamilton. Located on the south side of King Street East between Hughson and John Streets opposite Gore Park, fronting directly onto the public right-of-way, 54 King Street East also has access via a rear alley running east-west from Hughson Street South. 54 King Street East is part of the remaining commercial streetscape on the south side of King Street East with a consistent street wall spanning between James and Wellington Streets.
8. The property is visually, physically, and historically linked to its surroundings. As one of the remaining historic buildings in the King Street East block between Hughson and John Streets, the property is part of a landmark block facing Gore Park which includes other architecturally significant properties including the Victoria Building (68 King Street East), MacKay Building (66 King Street East), John Sopinka Courthouse (45 Main Street East), and additional early Victorian row buildings (58-64 King Street East), and is also located in the same Gore Park

landscape and viewshed as several other architectural landmarks like the Right House (35-41 King Street East) and Treble Hall (6-12 John Street North).

The property is additionally connected to a landscape of banking and financial buildings in Hamilton's downtown core as one of only two remaining historic banking buildings (the other being the 1928 Bank of Montreal building at 1-5 Main Street West). While most historic banking buildings in the area have been demolished, the area surrounding 54 King Street East is still defined by these buildings, including 12 King Street East (now Scotiabank) which was occupied by banks as early as 1848, and 40-44 King Street East which historically was home to the circa 1840 Gore Bank Building, and is currently home to a 1977 bank.

9. The property is considered to be a landmark. The building's classical influences and shallow setback create an imposing and grand façade, with its thick pilasters and smooth stone finish evoking monumentality which is reminiscent of its original institutional use as a bank. Its attractive façade combined with its highly trafficked location near Gore Park have also helped it become a popular location for television and movie filming. The property's recent history associated with Hamilton's 2SLGBTQ+ communities has also established a well-known and recognized reputation for the property as a historical landmark for the community.

Staff have determined that 54 King Street East, Hamilton is of cultural heritage value or interest sufficient to warrant designation under Part IV of the *Ontario Heritage Act* and recommend designation according to the Statement of Cultural Heritage Value or Interest and Description of Heritage Attributes, attached as Appendix B to Report PED25102.

The Recommendations of this Report are consistent with Provincial and Municipal legislation, policy, and direction, including:

- Determining the cultural heritage value or interest of a property based on design / physical value, historical / associative value, and contextual value criteria (*Ontario Heritage Act*, Ontario Regulation 9/06);
- Implementing proactive strategies for conserving significant built heritage resources (Provincial Planning Statement, 2024, Sub-section 4.6.4(b)); and,
- Designating properties of cultural heritage value under Part IV of the *Ontario Heritage Act* (Urban Hamilton Official Plan, Section B.3.4.2.3).

Alternatives

Under Part IV of the *Ontario Heritage Act*, the designation of property is a discretionary activity on the part of Council. Council, as advised by its Municipal Heritage Committee, may decide to designate property, or decline to designate property.

Decline to Designate

By declining to designate, the municipality would be unable to provide long-term legal protection to this significant cultural heritage resource (designation provides protection against inappropriate alterations and demolition) and would not fulfil the expectations established by existing municipal and provincial policies.

Without designation, the property would not be eligible for the City's financial incentives for heritage properties, including development charge exemption and grant and loan programs. Designation alone does not restrict the legal use of property or prohibit alterations and additions. It does not restrict the sale of a property, nor has it been demonstrated to affect its resale value. However, designation does allow the municipality to manage change to the heritage attributes of a property through the Heritage Permit process. Staff does not consider declining to designate the property to be an appropriate conservation alternative.

Relationship to Council Strategic Priorities

- Priority 1: Sustainable Economic & Ecological Development
 - 1.2: Facilitate the growth of key sectors.
- Priority 3: Responsiveness & Transparency
 - 3.2: Get more people involved in decision making and problem solving.

Previous Reports Submitted

- [PED22211\(a\) Response to Bill 23, Schedule 6, More Homes Built Faster Act, 2022, and its Changes to the Ontario Heritage Act and its Regulations](#)
- [PED14191 Implementation of the Recommendations of the Downtown Built Heritage Inventory Project \(as amended in Revised Hamilton Municipal Heritage Committee Report 14-009\(a\)\)](#)

Consultation

In October 2025, following the completion of preliminary research which revealed significant heritage value connected with 2SLGBTQ+ communities, staff identified four individuals for consultation who had connections to the property's history as a 2SLGBTQ+ space. On January 21, 2025, staff circulated a draft evaluation to these individuals for comment by email, which staff later considered and incorporated into the final evaluation.

In a letter dated February 6, 2025, addressed to the property owner sent by registered mail, staff gave notice of staff's intention to present their recommendation to designate the property at the April 25, 2025, Hamilton Municipal Heritage Committee meeting. After the registered mail was returned, staff provided additional notice in a letter

delivered by staff to the subject property on February 24, 2025. Staff met with the property owner on March 3, 2025, to discuss the staff recommendation to designate, and on March 4, 5, and 6, 2025 had further phone communication with them.

In an email dated February 6, 2025, planning staff advised the Ward Councillor (Councillor C. Kroetsch) for Ward 2 of this designation and provided an overview of the recommendations of this Report.

Appendices and Schedules Attached

Appendix A: Location Map

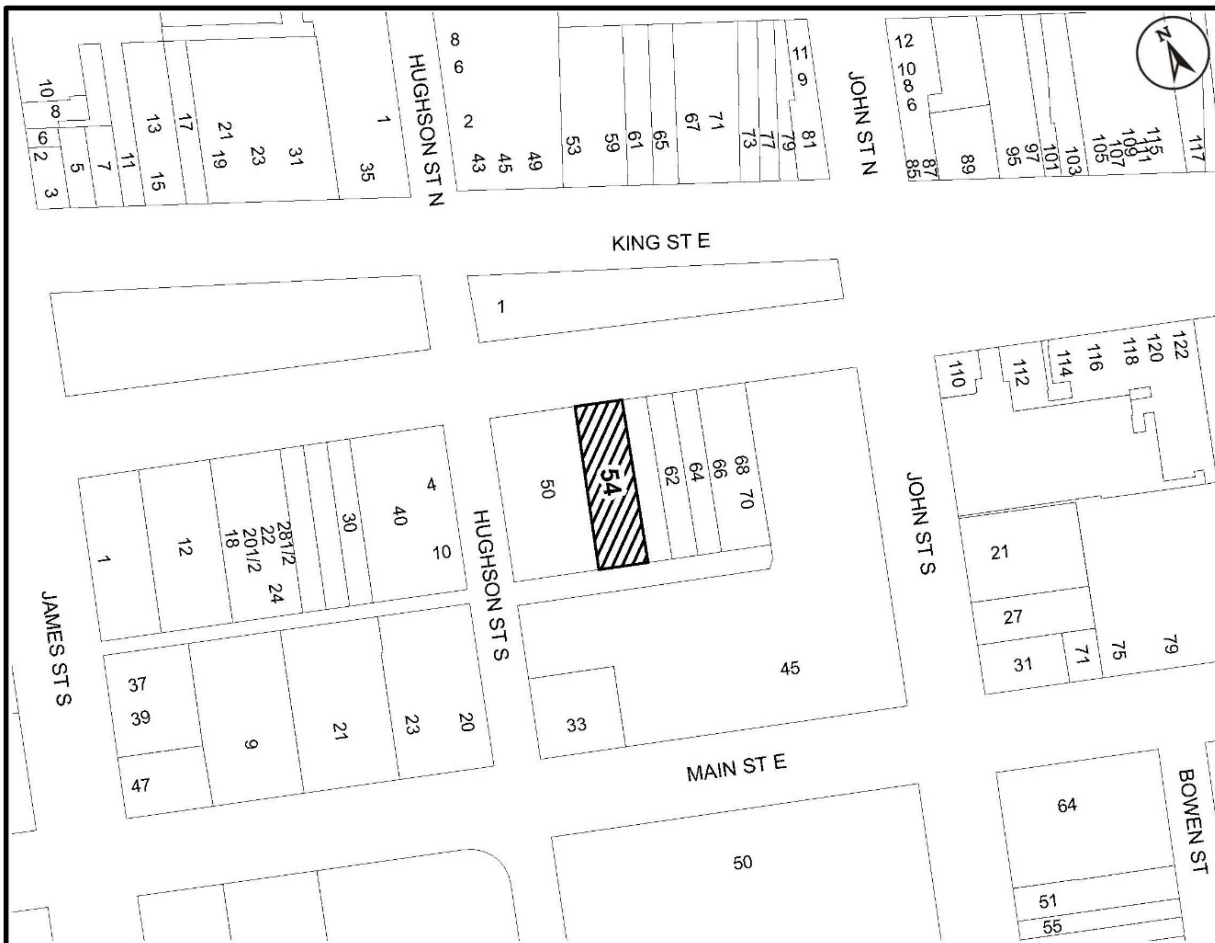
Appendix B: Statement of Cultural Heritage Value or Interest and Description of Heritage Attributes.

Appendix C: Photographs

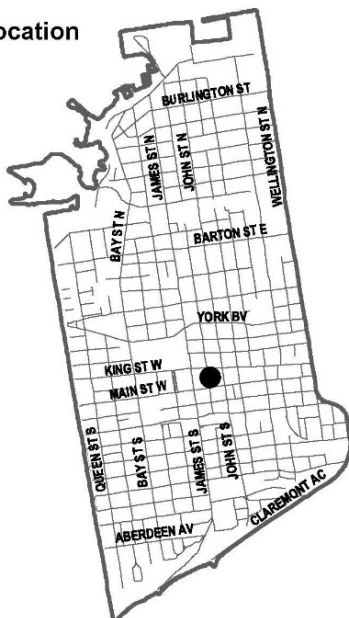
Appendix D: Research Sources

Prepared by: Maryssa Barras, Cultural Heritage Planning Technician II
Planning and Economic Development, Planning Division

Submitted and recommended by: Anita Fabac, Acting Director of Planning and Chief Planner
Planning and Economic Development, Planning Division



● Site Location



Key Map - Ward 2

Location Map



PLANNING AND ECONOMIC DEVELOPMENT DEPARTMENT

File Name/Number:
54 King St E


Date:
February 18, 2025

Appendix "A"

Scale:
N.T.S

Planner/Technician:
MB/AL

Subject Property

 54 King Street East, Hamilton

STATEMENT OF CULTURAL HERITAGE VALUE OR INTEREST AND DESCRIPTION OF HERITAGE ATTRIBUTES

Description of Property

The 0.05-hectare property municipally addressed as 54 King Street East, Hamilton, known as the former Bank of Nova Scotia Building, is comprised of a three-storey high, stone-faced building constructed in 1914 of brick, steel, and concrete. It is located on the south side of King Street East, near the intersection of Hughson Street South and King Street East, across from Gore Park, in the Beasley Neighbourhood of Downtown Hamilton, in the City of Hamilton.

Statement of Cultural Heritage Value or Interest

The property at 54 King Street East has physical value as a representative example of an early-twentieth century Beaux-Arts Classicism commercial building. Completed in 1914, the three-storey high building was constructed with brick, steel, and concrete, and features a symmetrical, and imposing façade faced with Ohio Canyon cut stone, massive pilasters with Doric capitals, and large multi-pane windows, among other notable features. The property also displays a high degree of artistic merit in its grand, symmetrical, and detailed design of the façade, including its balustrade, entablature, stone-lined columns with Doric capitals, the presence of tall metal-framed windows with decorative grillwork, and the recessed central entrance with stone surround.

The property has historical and associative value due to its direct connections with the banking institutions and Hamilton's 2SLGBTQ+ communities and reflects the work and ideas of the nationally prominent firm Bond & Smith Architects. Originally built for the Bank of Nova Scotia (now Scotiabank), the building is centrally located in what was the city's growing financial center surrounding Gore Park. By the 1950s, trends in urban renewal began to change the face of Gore Park and, by the mid-1970s, the property transitioned into a restaurant, and eventually a nightclub by 1983. In 1993, a new nightclub called The Embassy opened its doors as one of very few openly 2SLGBTQ+ friendly spaces and would go on to become a cornerstone of the 2SLGBTQ+ landscape in Hamilton until its closure in 2018. As a high-profile 2SLGBTQ+ place, The Embassy was home to many important community events, including both positive celebratory events and homophobic attacks. The property's involvement in important 2SLGBTQ+ events, and as a major 2SLGBTQ+ landmark in Hamilton's downtown core, is a continued tangible reminder of Hamilton's 2SLGBTQ+ urban heritage.

The former Bank of Nova Scotia building is considered to be an important landmark for 2SLGBTQ+ people, has been widely used in film and visual media, and is important in defining the character of the area around Gore Park in downtown Hamilton. The property is visually, physically, and historically linked to its surroundings as part of the King Street East streetscape adjacent to Gore Park, which includes other architecturally significant buildings.

Description of Heritage Attributes:

The key attributes that embody the physical value of the property as a representative example of a commercial bank building designed in the Beaux-Arts Classicism architectural style displaying a high degree of artistic merit, and the historical value of the property for its associations with early-nineteenth century banking institutions, late-twentieth century 2SLGBTQ+ communities and events, and Bond & Smith architects, include the:

- Front (north) elevation and roofline of the three-storey high building, including its:
 - Symmetrical façade clad with Ohio Canyon cut stone with an even-course finish and decorative details, including its:
 - Stone balustrade;
 - Entablature with a dentilated course, plain frieze, and moulded cornice; and,
 - Four large stone-lined pilasters with Doric capitals and moulded plinths;
 - Flat-headed window openings with:
 - Moulded stone surrounds and trim; and,
 - The presence of multi-pane metal windows with decorative metal Roman lattice window grillwork;
 - Recessed central entrance with:
 - Stone surround with flanking columns with moulded panels and Doric capitals and entablature; and,
 - The presence of a double-leaf door.

The key attributes that embody the contextual value of the property as a landmark and as a defining feature of Gore Park, include its:

- Location fronting onto King Street East.

Photographs

All images taken by City of Hamilton Staff unless otherwise stated.



Image 1: Front (north) elevation (February 21, 2025)



Image 2: Front (north) elevation (February 21, 2025)



Image 3: Front (north) elevation (July 10, 2012)



Image 4: Close-up of the stone balustrade, entablature, and doric capitals (July 10, 2012)



Image 5: Close-up of the dentilated cornice (July 10, 2012)



Image 6: Close up of multi-pane metal windows with decorative metal Roman lattice window grillwork (July 10, 2012)



Image 7: Close-up of the recessed central entrance with stone surround, flanking columns with moulded panels and Doric capitals and entablature (July 10, 2012)



Image 8: Rear (south) elevation (Feb 21, 2025)



Image 9: Historic image of the front (north) elevation, circa 1950. (Hamilton Public Library, Image number 32022189061688, circa 1950)



Image 10: Historic image of the front (north) elevation, circa 1950s. (Hamilton Public Library, Image number 32022189061183, circa 1950s)



Image 11: Historic image of the front (north) elevation, circa 1973. (Hamilton L.A.C.A.C. Flashcard, circa 1973)

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City of Hamilton Report for Consideration

To: Chair and Members
Hamilton Municipal Heritage Committee

Date: April 25, 2025

Report No: PED25127

Subject/Title: Notice of Intention to Demolish the Building Located at 96 John Street South, Hamilton, being a Non-Designated Property Listed on the Municipal Heritage Register

Ward(s) Affected: Ward 2

Recommendations

- 1) That the Notice of Intention to Demolish the structure located at 96 John Street South, Hamilton, attached as Appendix A to Report PED25127, **BE RECEIVED**.

Key Facts

- This Report recommends no action be taken in response to the Notice of Intention to Demolish the listed property located at 96 John Street South, Hamilton, under Section 27(9) of the *Ontario Heritage Act*, received on February 6, 2025.
- The property was listed on the Municipal Heritage Register in September 2014, as part of the Downtown Hamilton Built Heritage Inventory project.
- Although the existing structure on the property is of heritage interest, it has been modified and retains few heritage features and materials. As such, staff do not recommend designation under Part IV of the *Ontario Heritage Act* at this time in response to the notice.
- The property will remain listed on the Municipal Heritage Register until it is automatically removed on January 1, 2027, as per the current provisions of the *Ontario Heritage Act*.

Financial Considerations

Not applicable.

Background

The subject property, municipally addressed as 96 John Street South, Hamilton, (see Appendix A to Report PED25127) is comprised of a three-storey brick structure, constructed in 1875 with a rear two storey addition added sometime between 1898-1911. The property was listed on the Municipal Heritage Register in September 2014 as part of the Downtown Hamilton Built Heritage Inventory project. The preliminary evaluation of the property identified it as a Character Supporting Resource, having historical and contextual cultural heritage value or interest contributing to the character of the area and therefore being worthy of listing on the Municipal Heritage Register. The property was not identified as a candidate for designation under the *Ontario Heritage Act*.

On March 3, 2025, staff received a Notice of Intention to Demolish for the subject property by email (attached as Appendix B to Report PED25127). Submitted with the Notice was a Building Condition Assessment Report prepared by J.P. Samuel and Associates Inc. dated March 2025 (attached as Appendix C to Report PED25127). The Building Condition Assessment indicates that the building has structural damage and significant deterioration of critical load-bearing elements, and that restoration of these features is technically challenging and financially unfeasible. As such the report recommends that removal of the structure is the best course of action for the property.

Analysis

Listing a property on the Municipal Heritage Register as a non-designated property of cultural heritage value or interest provides 60 days interim protection from demolition. The 60-day interim period is intended to allow staff time to discuss alternatives for conservation of a property with the owner, including opportunities for retention, adaptive re-use and financial incentives, and photo-documentation of the property prior to demolition. In the case of significant heritage properties, like those identified as candidates for designation, the 60-day delay could allow Council time to consider issuing a notice of intention to designate the property to prevent demolition.

The preliminary research and evaluation of 96 John Street South conducted as part of the Downtown Hamilton Built Heritage Inventory project identified the property as a “Character Supporting Resource”, having historical and contextual cultural heritage value or interest contributing to the character of the area and therefore being worthy of listing on the Municipal Heritage Register. Upon receipt of the Notice of Intention to Demolish, staff conducted an updated evaluation of cultural heritage value or interest of the subject property using Ontario Regulation 9/06. Staff’s updated evaluation confirms that the property meets the following criteria under Ontario Regulation 9/06:

- Criteria 1 (Design or Physical Value) – The property is a representative example of a vernacular nineteenth-century brick commercial structure.
- Criteria 4 (Historical / Associative Value) – The property has historical value for its association with commercial development in Hamilton and the Corktown neighbourhood.
- Criteria 5 (Historical / Associative Value) – The property has the potential to yield information that contributes to an understanding of the development of the Corktown Neighbourhood and John Street South commercial streetscape in the late-nineteenth and early-twentieth centuries.
- Criteria 7 (Contextual Value) – The property is important in supporting the character of the area as part of the late-nineteenth century commercial brick row of buildings along John Street South.
- Criteria 8 (Contextual Value) – The property is historically and visually linked to its surroundings.

Further, since its construction circa 1875, the property has undergone several changes. The structure's windows are modern replacements, and the first storey storefront has been remodelled, with the details from the original wooden frontage depicted in a 1932 photograph having since been removed, and the original windowfronts having been enclosed and stuccoed (see Photographs attached as Appendix D to Report PED25127). As a brick commercial row-building which has been heavily modified, the remaining historic value of the property now relies on its relationship with the surrounding commercial row buildings. Both historic row buildings which would have sat on either side of the property have been demolished, which disrupts 96 John Street South's continuity from the broader context which supports its heritage value. As a result, the property has more value as a contributing asset in a heritage landscape rather than as a property with individual merit for designation under Part IV of the *Ontario Heritage Act*.

Staff have reviewed the Building Condition Assessment (attached as Appendix C of Report PED25127), which provides an engineer's assessment of the existing condition of the property and outlines issues compromising the building's structural integrity. The report notes that cost and complexity of work necessary to repair the building is unfeasible and would only serve as a temporary solution. The report indicates that the full demolition is the safest and financially viable plan for the structure. Staff note that the report does not indicate that the building is unsafe or in an imminent state of collapse, and that it is repairable, at a cost.

Following receipt of the Building Condition Assessment, the report was circulated to Building Inspections staff and Municipal Law Enforcement for their consideration. To date, the building has not been deemed to be unsafe and there are no active orders to demolish the building.

Staff recommend that the Notice of Intention to Demolish the structure at 96 John Street South, Hamilton be received. Although the property is of heritage interest that contributes to the character of the area, staff do not recommend designation of the

property under Part IV of the *Ontario Heritage Act* to prevent its demolition at this time. The building does still retain heritage interest and, since it has not been confirmed that the owner will be able to demolish the building, which is subject to Demolition Control Area By-law No.22-101, staff do not recommend removing the property from the Municipal Heritage Register at this time. The property would remain listed on the Municipal Heritage Register until its automatic removal on January 1, 2027, as per the current provisions of the *Ontario Heritage Act*.

The recommendations of this Report are consistent with Provincial and Municipal legislation, policy, and direction, including the following relevant policies from the Urban Hamilton Official Plan, Volume 1:

- Identifying cultural heritage resources through a continuing process of inventory, survey, and evaluation, as a basis for the wise management of these resources (B.3.4.2.1 b));
- Maintaining the Municipal Heritage Register, pursuant to the *Ontario Heritage Act*, and seeking advice from the Municipal Heritage Committee when considering additions and removals of non-designated properties from the Register (B.3.4.2.4); and,
- Requiring a cultural heritage resource to be thoroughly documented for archival purposes in the event that rehabilitation and reuse of the resource is not viable as part of a *Planning Act* application process (B.3.4.2.13).

Further, the City of Hamilton's Demolition Control Area By-law No. 22-101 restricts the demolition of residential property in certain situations with the intent of preventing the premature loss of dwelling units and the creation of vacant land. As per Section 4(f) of the By-law, the restriction on demolition does not apply when a residential property has been found to be unsafe under Section 15.9 of the Building Code Act and an order to demolish has been issued under that section without any option to repair.

Alternatives

Hamilton Municipal Heritage Committee may recommend that Council direct staff to designate the subject property under Part IV of the *Ontario Heritage Act* in response to the Notice of Intention to Demolish. While the subject property satisfies criteria under Ontario Regulation 9/06, staff do not recommend this alternative. While conserving cultural heritage resources is a priority in municipal and provincial policies, staff note that the extant property has been modified and limited historical fabric remains, and its identified heritage value is primarily contextual.

Relationship to Council Strategic Priorities

- Priority 1: Sustainable Economic & Ecological Development
 - 1.2: Facilitate the growth of key sectors.
- Priority 3: Responsiveness & Transparency
 - 3.2: Get more people involved in decision making and problem solving.

Previous Reports Submitted

- Not Applicable

Consultation

Staff confirmed receipt of the Notice of Intention to Demolish in an email to the agent for the owner on March 3, 2025, and advised of the process for bringing forward the notice to the Hamilton Municipal Heritage Committee for their advice, before consideration by Planning Committee and final decision of Council.

In addition, Planning Staff notified Councillor (Kroetsch) for Ward 2 by email on March 27, 2025, of the Notice of Intention to Demolish for 96 John Street South, Hamilton and provided an overview of the recommendations of this Report.

Appendices and Schedules Attached

Appendix A: Location Map

Appendix B: Notice of Intention to Demolish, sent via email on March 3, 2025

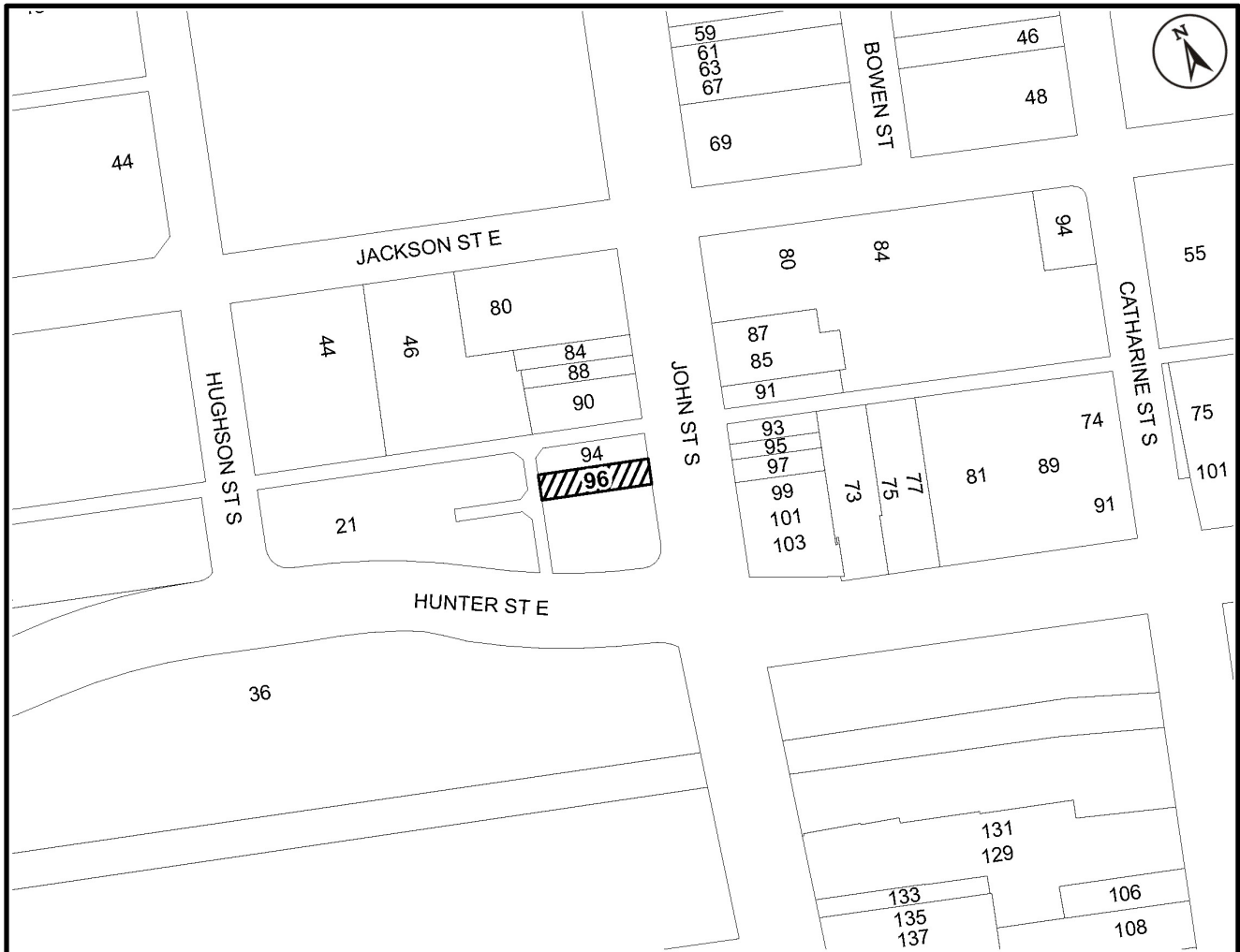
Appendix C: Building Condition Assessment Report prepared by J.P. Samuel and Associates Inc. dated March 2025

Appendix D: Photographs

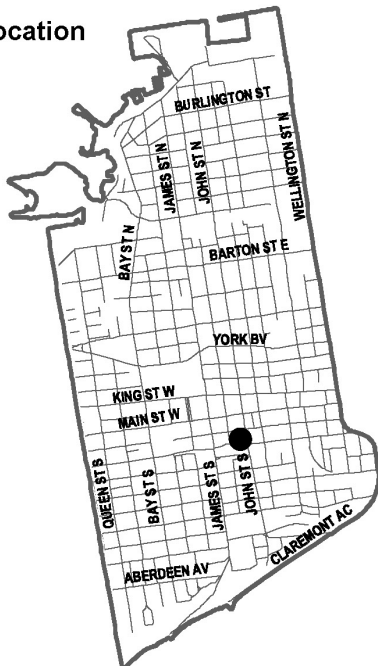
Prepared by: Lisa Christie, Cultural Heritage Planner
Planning and Economic Development, Planning Division

Maryssa Barras, Cultural Heritage Planning Technician
Planning and Economic Development, Planning Division

Submitted and recommended by: Anita Fabac, Acting Director of Planning and Chief Planner
Planning and Economic Development, Planning Division



● Site Location



Key Map - Ward 2

Location Map



Hamilton

PLANNING AND ECONOMIC DEVELOPMENT DEPARTMENT

File Name/Number:
96 John St S

Date:
March 28, 2025

Appendix "A"

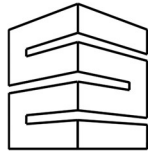
Scale:
N.T.S

Planner/Technician:
LC/NB

Subject Property



96 John Street South, Hamilton
(Ward 2)



J.P. SAMUEL & ASSOCIATES INC.
STRUCTURAL ENGINEERS
1040 Garner Road West, Suite C203, Ancaster, ON
(647) 671-8530, jsamuel@jpsamuel.com, www.jpsamuel.com

To:

City of Hamilton
Heritage & Urban Design, Planning Division
71 Main Street West
Hamilton, ON L8P 4Y5

Subject: Notice of Intention to Demolish – 96 John Street South, Hamilton

Dear Lisa,

I am writing to formally notify the City of Hamilton of the client's intention to demolish the structure located at **96 John Street South, Hamilton**. I understand that this property is listed on the City of Hamilton's **Register of Properties of Cultural Heritage Value or Interest** under the Ontario Heritage Act.

As required, this letter serves as the official **60-day notice** to City Council regarding the planned demolition. While I acknowledge that no additional documentation is required at this stage, I am providing the following information to assist in your review:

1. Reason for Demolition:

See attached Building Condition Assessment Report.

2. Proposed Next Steps:

Following demolition, the site will be cleared, with no immediate plans for future redevelopment at this time.

Please let me know if you require any further information.

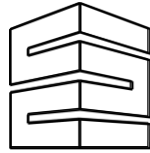
Thank you for your time and consideration. I look forward to your response.

Sincerely,

J.P. Samuel & Associates Inc.

A handwritten signature in black ink, appearing to read 'James Samuel', written over a horizontal line.

James Samuel, P. Eng.



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BUILDING CONDITION ASSESSMENT

96 JOHN ST. S, HAMILTON, ONTARIO

PREPARED FOR:

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PROPERTY MANAGER
MARKLAND PROPERTY MANAGEMENT
25 MAIN ST WEST, SUITE 2025
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MARCH 2025

PROJECT NUMBER: 2025-JPS-013

The material in this report is based on the available information at the time it was prepared. Any recommendations provided within this report are solely for the purpose of the clearly outlined scope herein. J.P. Samuel & Associates Inc. accepts no liability for damages suffered from reliance on the information contained in this report for use outside the limitation of the intended scope.

Executive Summary

This Executive Summary is subject to the limitations and discussions contained in the attached report and must be read in conjunction with the report. The report has been prepared at the request of Markland Property Management. This building condition assessment is limited to the building located on the property located at 96 John St. S, Hamilton, Ontario.

J.P. Samuel & Associates Inc. staff performed site review on January 08, 2025. This report contains our conclusions based on the observations made during our site review(s) and is based on the condition of the building(s) on the date of our site review(s). The staff that attended the site review completed a visual assessment with photographic record to document existing conditions and items of concern. No physical or destructive testing was performed.

The primary objective of this structural assessment is to evaluate the condition of the building at 96 John St. S., Hamilton, to determine whether structural deficiencies render it unsafe for occupancy. The assessment focuses on identifying signs of structural distress, deterioration, or failure that could compromise the building's integrity and stability. Compliance of any buildings or other elements on the property to existing or past building codes or any other regulations, statutes, requirements by law or similar matters is not under the scope of this assessment and report.

Within this report is a detailed review of the main framing components of the building that are relevant to the structural assessment. The report includes any items of concern identified by Markland Property Management, as well as those discovered during our on-site visual review

Based on our assessment, the building has extensive structural damage, with significant deterioration affecting critical load-bearing elements. The severity of these deficiencies compromises the building's stability and safety, making restoration technically challenging and financially unfeasible. ***The high cost of repairs, coupled with the uncertainty of long-term durability, makes demolition the most practical and cost-effective solution.*** Removing the structure eliminates safety risks associated with its continued deterioration and allows for redevelopment in compliance with modern building standards. This approach ensures public safety while providing an opportunity for more sustainable and efficient land use.

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1.0 General:

1.1 Introduction

This report presents the findings of our structural assessment of the building at 96 John St. S., Hamilton, Ontario. The purpose of the review was to evaluate the building's condition and identify structural deficiencies that may render it unsafe for occupancy. Authorization to proceed with the assessment was provided by Markland Property Management, and our site review was conducted on January 08, 2025.

1.2 Objective

The objective of this assessment is to determine whether the building's structural condition justifies demolition as the most practical and cost-effective solution. The evaluation focuses on identifying significant structural deficiencies that compromise stability and safety. The findings provide technical support for the demolition permit application by documenting deterioration in key structural elements.

1.3 Method of Review

A visual inspection of the building was conducted to assess its structural condition. The review involved a walk-through of accessible areas to identify visible signs of deterioration, such as cracks, deformations, or other structural distress. Observations were documented through a photographic record, and no physical or destructive testing was performed.

1.4 Statement of Limitations

This report is not an overall certification of the building's structural integrity but is based solely on visual observations made during our site review. It does not account for concealed conditions or elements not visible during the assessment. The responsibility for the original design of the building remains with the engineers and architects who designed it, and it is assumed that the construction was carried out in accordance with the original design documents, revisions, and instructions.

This report is the property of J.P. Samuel & Associates Inc. and has been prepared exclusively for Markland Property Management. It may not be shared, used, or transferred to any other party, including tenants, property managers, or building owners, without the written consent of J.P. Samuel & Associates Inc.

2.0 Observations:

2.1 Introduction

The building at 96 John St. S., Hamilton, is a three-storey, mixed-use structure located at the intersection of Hunter St. E. and John St. S. It is currently vacant but was previously occupied by a jewelry shop on the ground floor, with the upper floors appearing to have been used as residential space.

The structure is primarily wood-framed, with masonry exterior walls. The building's framing system consists of wood joists supporting the floors and roof, wood posts and beams providing vertical support, and wood stud walls forming the interior partitions. The floors are constructed with wood decking, and the ceilings are finished with drywall.



Figure 1: Site Key Plan (Source: Google Maps)



Figure 2: Building at 96 John St N (Source: Google Maps)

2.2 Major Issues

The structural assessment identified critical deficiencies that render the main floor unsafe and compromise the overall stability of the building. Key concerns include foundation deterioration, extensive joist damage, inadequate bearing conditions, compromised load-bearing walls, and roof deflection. Additionally, cracks in structural wood columns and masonry deterioration indicate progressive weakening that could lead to structural failure if left unaddressed. While some issues may not pose an immediate risk, preventative measures are necessary to avoid further deterioration and potential collapse. These factors are explained in detail below.

2.2.1 Foundation and Water Infiltration:

The existing rubble foundation wall is not waterproofed from the exterior, resulting in significant water infiltration. Over time, this has led to deterioration of the foundation material, weakening the structural integrity of the building. Addressing these issues would require exterior excavation, installation of a proper waterproofing membrane, a weeping tile system to manage water drainage, and repointing of the stone wall to restore its stability. Without these measures, continued water penetration will accelerate deterioration and further compromise the foundation's load-bearing capacity.



Figure 3: Damaged Foundation wall

2.2.2 Extensive Ground Floor Joist Damage and Inadequate Bearing on Beams

Significant structural deficiencies were observed on the ground floor joists, primarily due to water infiltration from the exterior grade level. The ground floor is at the same elevation as the exterior, allowing moisture to penetrate and cause extensive damage at the joist support points. A load-bearing wall was introduced at some point to provide additional support, but it has since deteriorated, further reducing the floor system's overall stability.

Additionally, the ground floor joists lack proper bearing on the supporting beams, which does not comply with standard building code requirements. Approximately 90% of the floor joists spanning from the south wall to the middle beam either have insufficient bearing or are not properly secured to the main beam. As per structural standards, joists must either have a minimum bearing length on beams or be secured using joist hangers to ensure adequate load transfer. However, in this case, the joists appear to be loosely

resting on the beams or wedged between adjacent elements without proper support. This condition significantly increases the risk of joist movement, deflection, or even dislodgment under load.

The combined effects of moisture-related deterioration and improper bearing conditions severely compromise the stability of the ground floor system. Without corrective measures, these deficiencies could lead to localized floor failures or progressive structural weakening. To address these issues, damaged joists must be replaced or reinforced, proper bearing must be ensured on beams, and structural joist hangers should be installed where necessary. Additionally, waterproofing measures should be implemented at the foundation level to prevent further water infiltration and protect the integrity of the ground floor structure.



Figure 4: Inadequate Joist Bearing

2.2.3 Second Floor Joist Damage

All existing second-floor joists have been cut at their support points on top of the middle beam by a plumber to accommodate piping. This alteration has significantly weakened the structural integrity of the floor, as the joists are no longer able to provide adequate support. The removal of critical portions of the joists reduces their load-carrying capacity and increases the risk of localized failures, further compromising the overall stability of the building.

To restore structural integrity, proper reinforcement of the cut joists is necessary, either by installing sister joists or other structural strengthening measures. Without intervention, the weakened second-floor joists increase the likelihood of progressive structural failure.

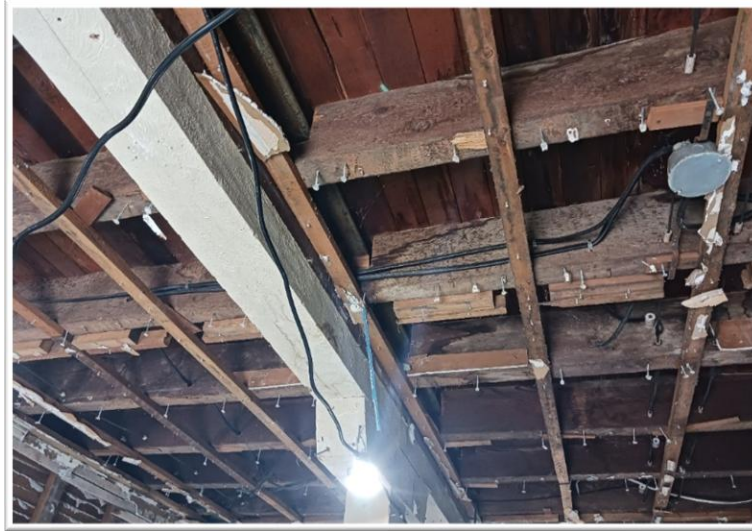


Figure 5: Compromised Joists Due to Top Cuts for Plumbing Installation

2.2.4 North Exterior Wall Issues

The north exterior wall was originally an interior wall but became an exterior wall after a portion of the building was demolished. However, it was never properly waterproofed, allowing water infiltration over time. The continuous exposure to moisture has led to material degradation, weakening the structural performance of the wall. Without proper waterproofing, the deterioration will persist, further jeopardizing the building's stability.

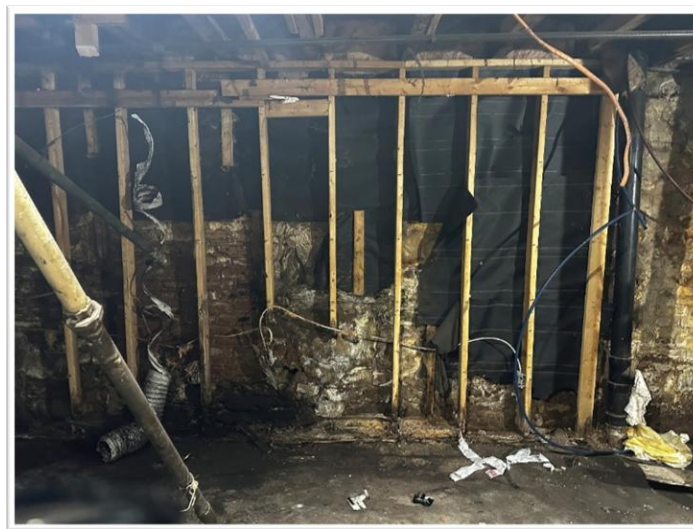


Figure 6: Improper Waterproofing

2.2.5 Load-Bearing Exterior Wall and Lintel Beam Cracking

Significant cracking was observed in the exterior masonry wall, which serves as a load-bearing element supporting the floor joists. The cracks, particularly around the window opening, indicate structural distress

and potential weakening of the wall's load-carrying capacity. A prominent vertical crack extends downward from the window, suggesting differential settlement or structural movement.

Additionally, the lintel beam above the window exhibits visible cracks, which may be attributed to excessive loading, material degradation, or insufficient reinforcement. Since this wall plays a critical role in supporting the floor system, any compromise in its integrity can lead to further structural instability. Water infiltration through these cracks can accelerate deterioration, weakening the masonry and increasing the risk of localized failure. Given the extent of damage, addressing these issues would require a detailed structural intervention rather than localized repairs to ensure the stability of the load-bearing wall and its supported elements.



Figure 7: Crack on Exterior Load Bearing Wall and Lintel

2.2.6 Inadequate Joist Bearing on Load-Bearing Wall

The floor joists exhibit inadequate bearing conditions on load-bearing walls, compromising structural stability. In one instance, a joist had been cut at the top near its support, reducing its effective bearing area and weakening its load transfer capacity. Additionally, a visible gap between the joist and the wall suggests either differential settlement or localized material loss at the bearing point, further reducing structural support.

As shown in the image, several joists lack proper bearing on the exterior load-bearing wall, appearing to rest partially on deteriorated material. The absence of sufficient bearing prevents effective load transfer, increasing the risk of localized failures and excessive deflection over time. The weakened condition of the bearing points further reduces the structural integrity of the floor system.

To restore stability, joist connections must be reinforced, and proper bearing conditions must be reestablished. Where joists do not fully seat on the exterior wall, corrective measures such as extending the joists, installing ledger boards, or using engineered joist hangers must be implemented. Addressing these deficiencies is essential to prevent further structural weakening and ensure the long-term integrity of the floor system.



Figure 8: Inadequate Joist Bearing on Load-Bearing Wall

2.2.7 Extensive Floor Joist and Load-Bearing Wall Deterioration Due to Water Infiltration

Severe deterioration of the floor joists is evident in multiple areas throughout the building, primarily due to prolonged water infiltration. These joists, which are critical structural components, rest on a load-bearing masonry wall and are responsible for transferring floor loads to the supporting structure. Visible signs of damage include wood decay, discoloration, and partial material loss, indicating long-term moisture exposure. In some locations, sections of the joists appear to have weakened significantly or rotted away, reducing their ability to provide proper support. Additionally, the floor panels above show water infiltration marks, confirming widespread moisture damage. The continuous exposure to water has severely compromised the structural integrity of both the floor system and its supporting elements.

The load-bearing masonry wall beneath the joists also exhibits significant distress, further compounding the structural issues. Signs of deterioration include missing mortar joints, crumbling bricks, and localized material loss at the upper section where the joists are supported. Moisture infiltration has weakened the masonry bond, reducing its ability to provide stable support. In several areas, gaps are visible between the joists and the wall, likely due to settlement, displacement, or material deterioration at the bearing points. The compromised condition of both the joists and the masonry wall affects the overall load transfer, increasing the risk of structural failure.

To restore stability, the damaged sections of the load-bearing wall must be repaired by replacing deteriorated bricks and mortar, ensuring proper load distribution. Additionally, affected joists will require

reinforcement or replacement to restore their structural capacity. Addressing the root cause of water infiltration is also essential to prevent further deterioration and ensure the long-term stability of the structure.



Figure 9: Joist deterioration due to water infiltration and load bearing wall cracks

2.2.8 Roof Deflection Indicating Joist Failure

A noticeable dip is present on the roof, indicating failure of the underlying roof joists. This deflection suggests that the joists have bowed under excessive loading or weakened due to long-term deterioration. When joists fail, they lose their ability to maintain a level surface, resulting in a sagging roof structure.

Additionally, the roof drainage system is located to the left of the dip, meaning water will not naturally flow toward the drain. Instead, water is likely to accumulate in the depressed area, leading to water ponding issues during rainfall. Prolonged moisture exposure can further weaken the joists, accelerating structural deterioration and increasing the risk of further deflection or collapse.

To restore the structural integrity of the roof, the failed joists must be reinforced or replaced, and the roof slope should be corrected to ensure proper drainage. Additionally, the drainage system should be evaluated to determine whether repositioning or additional drains are required to prevent further structural issues.

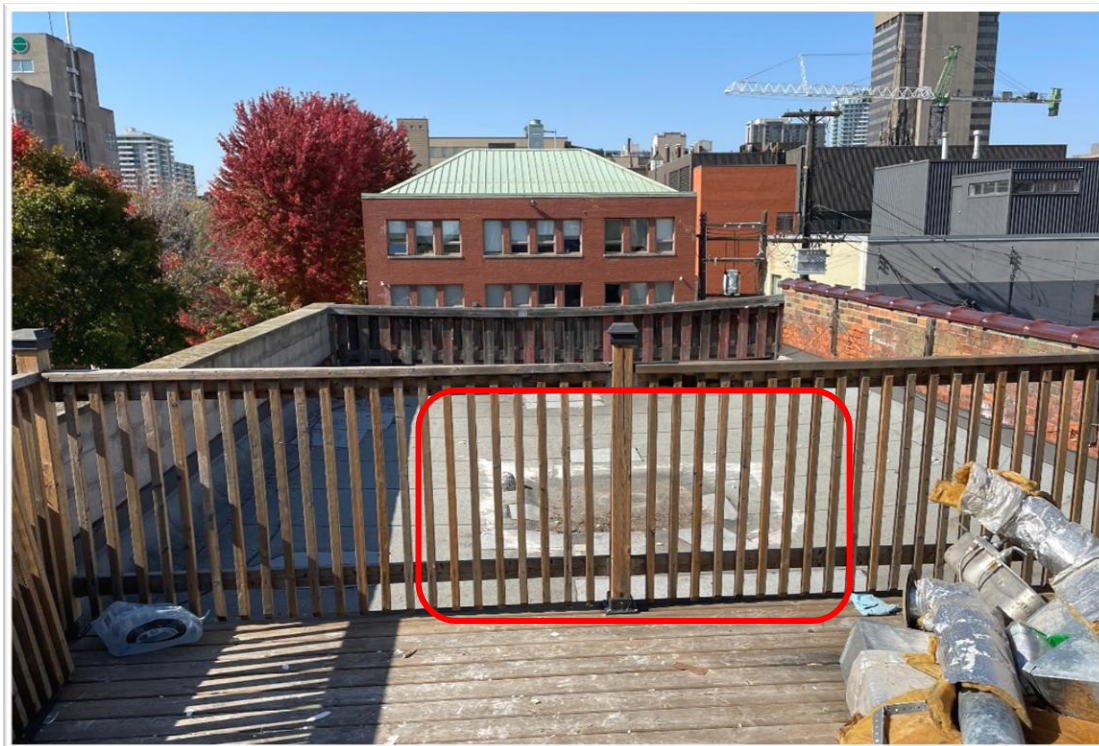


Figure 10: Significant Dip on the Roof

2.2.9 Cracked Structural Wood Column

A significant vertical crack is visible on the structural wood column, extending from the top to approximately midway down its length. This column plays a critical role in supporting the beam above, which in turn carries floor and ceiling loads. While the crack may not pose an immediate structural concern, continued expansion of the crack over time could severely compromise the column's stability, ultimately leading to failure of the structure it supports.

Vertical cracks in a wood column typically develop due to excessive loading, drying shrinkage, or material defects. If the crack continues to widen, it will reduce the column's effective cross-section, weakening its capacity to transfer loads. Over time, if left unaddressed, this damage could lead to further splitting, increased deflection in the supported beam, and potential structural failure. This issue was also observed at another location in the building, reinforcing the need for preventative action before the cracks progress further.

To prevent future failure, reinforcement or replacement of the column should be considered. If reinforcement is pursued, methods such as steel plate wrapping or bolted splints could be used to improve the column's load-bearing capacity and prevent further cracking. However, if the crack continues to grow and significantly compromises the column's strength, complete replacement will be necessary to ensure the structural integrity of the building.



Figure 11: Cracked Structural Column

2.2.10 Deflected Lintel and Compromised Wall Integrity

The masonry wall in the image exhibits severe structural distress, with visible cracking, material loss, and a compromised lintel. The wood lintel above the opening appears to be significantly deflected, indicating that it is no longer providing adequate support. This deformation suggests prolonged material deterioration, excessive loading, or moisture-induced weakening over time.

Additionally, the bearing conditions of the lintel on both sides are compromised. The masonry supporting the lintel has deteriorated, with visible cracks and displacement at the bearing points. The left side of the opening shows a clear separation between the concrete and masonry, indicating differential movement that further weakens the structure. On the right side, the masonry at the lintel support has also deteriorated, reducing its capacity to carry loads effectively.

Although this is a non-load-bearing wall, its current condition poses a significant risk of localized collapse. The extensive damage to both the lintel and its supports means that the entire section needs to be demolished and rebuilt to restore structural integrity. Proper reconstruction with a reinforced lintel and stable bearing conditions will ensure long-term durability and prevent further structural instability.



Figure 12: Deflected Lintel with Compromised Supports and Cracked Masonry Wall

3.0 Discussion/Recommendations

Based on the structural assessment, several corrective measures are required to address the significant deficiencies identified in the building. The following actions are recommended to prevent further deterioration and restore structural integrity:

3.1 Foundation Waterproofing and Drainage System:

The rubble foundation has experienced extensive deterioration due to prolonged water infiltration. The lack of waterproofing has allowed moisture to seep into the foundation walls, weakening their load-bearing capacity and accelerating material degradation.

To address this issue, the foundation must be excavated, cleaned, and waterproofed to prevent further moisture penetration. A waterproof membrane should be applied to the exterior foundation wall to create a sealed barrier against water infiltration. Additionally, a weeping tile system must be installed at the base of the foundation to effectively redirect groundwater away from the structure. Repointing of deteriorated mortar joints and stone replacements will be necessary to restore structural integrity. These measures will reduce water-induced deterioration and enhance the long-term stability of the foundation.

3.2 Extensive Ground Floor Joist Damage and Inadequate Bearing on Beams

The ground floor joists have deteriorated significantly due to moisture infiltration and lack of proper bearing conditions on the beams. The absence of secure connections between the joists and beams increases the risk of movement, deflection, and localized failure.

To correct these deficiencies, all damaged ground floor joists must be replaced or reinforced. Joists that have lost material integrity at their support points should be removed and replaced with properly sized members. Additionally, secure bearing conditions must be established by ensuring that the joists meet the minimum bearing length on beams or by installing code-compliant joist hangers. Structural reinforcement of the supporting beams may also be required to improve overall load distribution and floor stability.

3.3 Second-Floor Joist Strengthening

The second-floor joists have been severely compromised due to modifications where the tops of the joists were cut at their bearing points to accommodate plumbing installations. This alteration has significantly weakened their ability to carry loads, increasing the risk of localized failures.

To restore their load-bearing capacity, additional support joists must be installed alongside the compromised members to strengthen the existing structure. These new joists must be properly fastened and secured to ensure effective load distribution. If the extent of damage is severe, full replacement of the affected joists may be necessary. Additionally, any future mechanical or plumbing modifications must be carefully planned to avoid further weakening of structural components. Proper review and coordination should be conducted to ensure that essential load-bearing elements remain intact.

3.4 North Exterior Wall Waterproofing and Stabilization

The north exterior wall was originally an interior partition and was not designed to withstand continuous moisture exposure. The absence of waterproofing has led to material deterioration, weakening the overall stability of the wall.

To prevent further degradation, the wall must be properly waterproofed using a moisture barrier and sealants. If sections of the masonry show severe material loss, localized repairs or reinforcement will be necessary to restore its structural integrity. Ensuring proper waterproofing and drainage will prevent recurring water damage and improve long-term durability.

3.5 Load-Bearing Exterior Wall and Lintel Beam Reconstruction

The exterior load-bearing masonry wall exhibits significant structural distress, with visible cracks around a window opening. These cracks indicate differential settlement or material failure, reducing the wall's ability to carry floor loads. Additionally, the wood lintel above the window has cracked and deflected, suggesting material degradation or excessive loading.

Given the extent of damage, a localized repair approach is not sufficient. To ensure long-term structural stability, the damaged sections of the wall must be rebuilt, and the compromised lintel must be replaced with a properly reinforced structural member. The masonry at the bearing points of the lintel must also be reconstructed to restore adequate load distribution.

3.6 Inadequate Joist Bearing on Load-Bearing Wall

A floor joist was found to have been cut at the top near its support on a load-bearing wall. Additionally, a visible gap between the joist and the wall suggests differential settlement or material loss at the bearing point.

To restore proper load transfer, the bearing area must be repaired, and the joist connection must be reinforced. If settlement is a contributing factor, additional structural stabilization measures may be required to prevent further displacement.

3.7 Extensive Floor Joist and Load-Bearing Wall Deterioration Due to Water Infiltration

The floor joists and load-bearing masonry wall have been severely affected by water infiltration, resulting in wood decay, material loss, and weakened structural performance. The masonry wall supporting these joists has also suffered significant deterioration, with crumbling mortar joints and missing sections.

To restore stability, the damaged floor joists must be reinforced or replaced. Any joists that show signs of advanced material loss must be replaced with structurally sound members. Additionally, the load-bearing masonry wall must be repaired by replacing deteriorated bricks and repointing mortar joints to restore its load-carrying capacity. Waterproofing the surrounding areas is critical to prevent future water-related deterioration.

3.8 Roof Deflection and Drainage Correction

The noticeable dip in the roof indicates that the underlying roof joists have failed. This deflection prevents proper drainage, increasing the risk of water ponding and accelerating deterioration.

To correct this issue, all failed roof joists must be replaced or reinforced. Additionally, the roof slope must be adjusted to ensure that water flows toward the drainage system rather than accumulating in depressed areas. The existing drainage system should be reevaluated, and if necessary, repositioned or supplemented with additional drains to prevent future water-related structural issues.

3.9 Cracked Structural Wood Column Reinforcement

A significant vertical crack was observed in a primary structural wood column, reducing its ability to effectively transfer loads. While the crack may not pose an immediate failure risk, continued widening could lead to loss of column stability.

To prevent progressive failure, the cracked column should be reinforced using steel plate wrapping or bolted splints. If the crack continues to expand, full replacement will be required to ensure long-term structural stability.

3.10 Deflected Lintel and Compromised Wall Integrity

The wood lintel above an opening has visibly deflected, while the supporting masonry has developed severe cracks. The masonry supporting the lintel has deteriorated on both sides, reducing its ability to provide adequate bearing.

Given the extent of the deterioration, the entire lintel and its supporting masonry must be rebuilt. A new reinforced lintel should be installed, and the surrounding wall sections must be reconstructed to restore load-bearing capacity. These measures will ensure long-term structural stability and prevent further localized failures.

3.11 Feasibility of Repairs vs. Demolition

Given the extensive structural deficiencies observed throughout the building, the feasibility of repairs must be critically evaluated. While structural reinforcements and waterproofing improvements could address some of the issues, the cost and complexity of restoration would be significant. Many critical load-bearing elements have suffered irreversible material loss, requiring widespread reconstruction efforts.

Even with full repairs, the long-term performance of the structure remains uncertain. The financial investment required to restore the foundation, replace joists, reinforce walls, and rebuild compromised sections is disproportionate to the benefits of retaining the structure. Given these factors, demolition and reconstruction remain the most practical and cost-effective solution. Instead of expensive repairs with no guarantee of future stability, demolition would allow for the redevelopment of the site with a structurally sound, code-compliant building that ensures long-term safety.

4.0 Conclusion:

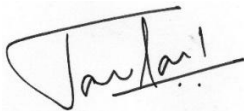
As outlined in this report, the structural assessment of the building at 96 John St. S., Hamilton, has revealed severe structural deficiencies that make repairs both costly and impractical. The foundation, floor joists, walls, and roof structure have all suffered significant deterioration due to long-term moisture infiltration, poor bearing conditions, and past modifications that have weakened critical load-bearing elements. Addressing these deficiencies would require major reconstruction efforts, including foundation excavation, floor and roof joist replacements, lintel and masonry wall repairs, and comprehensive waterproofing improvements. Even with extensive repairs, the overall stability of the structure remains uncertain due to the widespread material degradation and structural distress.

The cost and complexity of restoring the structure far exceed the feasibility of repairs. The building's age, history of structural modifications, and ongoing deterioration suggest that any repair strategy would only serve as a temporary solution, requiring ongoing maintenance and future interventions. The interconnected nature of the structural issues means that localized repairs would not be sufficient, and extensive reconstruction across multiple areas would be necessary, further increasing costs.

Given these factors, demolishing and reconstructing the building is the most practical and cost-effective solution. A newly constructed structure would ensure compliance with modern building codes, provide long-term durability, and significantly reduce future maintenance costs. Attempting to salvage the deteriorated structure would result in a substantial financial investment with no guarantee of long-term stability. Therefore, full demolition and rebuilding present the safest, most sustainable, and financially viable course of action. Should you have any concerns or questions regarding the contents of this document, please do not hesitate to contact our office.

Report prepared by:

J.P. Samuel & Associates Inc.



James Samuel, P. Eng.



March 03rd, 2025

Photographs



Image 1: Front (east) elevation of 96 John Street South (City of Hamilton, 2025)



Image 2: Front (east) and side (north) elevations of 96 John Street South (City of Hamilton, 2011)



Image 3: Front (east) and side (north) elevations of 96 John Street South (City of Hamilton, 2025)



Image 4: Front (east) and side (south) elevations of 96 John Street South (City of Hamilton, 2011)



Image 5: Side (south) elevation of 96 John Street South (City of Hamilton, 2011)



Image 6: Front (east) elevation of 96 John Street South (City of Hamilton, 2011)



Image 7: View of 96 John Street South taken from the southeast looking west (City of Hamilton, 2025)



Image 8: View of 96 John Street South looking north from the intersection of John Street South and Hunter Street East (City of Hamilton, 2025)



Image 9: Front (east) elevation of 96 John Street South (City of Hamilton, c. 1970s)



Image 10: Image looking south along John Street, showing the front (east) elevation of 96 John Street South on the far right of the image. (City of Hamilton, 1932)



City of Hamilton Report for Consideration

To: Chair and Members
Hamilton Municipal Heritage Committee

Date: April 25, 2025

Report No: PED25139

Subject/Title: Notice of Intention to Demolish the Building Located
at 39 Wilson Street, Hamilton, being a Non-
Designated Property Listed on the Municipal
Heritage Register

Ward(s) Affected: Ward 2

Recommendations

- 1) That the Notice of Intention to Demolish the detached building located at 39 Wilson Street, Hamilton, attached as Appendix B to Report PED25139, **BE RECEIVED.**

Key Facts

- This Report recommends no action be taken in response to the Notice of Intention to Demolish the detached circa 1902 two-and-one-half-storey brick building located at 39 Wilson Street, Hamilton, under Section 27(9) of the *Ontario Heritage Act*, received on April 3, 2025.
- The building to be demolished at 39 Wilson Street is located on the property municipally addressed as 37 Wilson Street, which is also comprised of a circa 1867 Gothic Revival church listed on the Municipal Heritage Register and a high-priority candidate for designation, and its circa 1969 modern addition to the north, known as 104 Hughson Street North.
- The cultural heritage value of the church on the property will not be impacted by the demolition of the building at 39 Wilson Street, which was assessed as part of the conditionally approved Site Plan Application SPA-25-009 as outlined in the Cultural Heritage Impact Assessment forming part of the Notice of Intention to Demolish.

- Staff consider the building at 39 Wilson Street to be sufficiently documented prior to demolition and note that items proposed to be salvaged from the building will be coordinated through the Site Plan process.

Financial Considerations

Not applicable.

Background

The subject property is a multi-addressed property (see location map attached as Appendix A to Report PED25139) comprised of:

- a Gothic Revival brick church constructed circa 1867, municipally addressed as 37 Wilson Street;
- a rear north addition to the church constructed in 1969, municipally addressed as 104 Hughson Street North; and,
- a detached, two-and-one-half storey brick building constructed circa 1902, municipally addressed as 39 Wilson Street.

This report addresses a Notice of Intention to Demolish the detached, two-and-one-half storey brick building addressed as 39 Wilson Street.

In 2014, the subject property was listed on the Municipal Heritage Register as part of the Downtown Hamilton Built Heritage Inventory project. The 1860s church structure at 37 Wilson Street and the detached brick manse located at 39 Wilson Street were both identified as having cultural heritage value or interest worthy of listing on the Municipal Heritage Register. The church structure was also identified as a candidate for designation under Part IV of the *Ontario Heritage Act* and added to the staff work plan. In 2014, as part of the Downtown Inventory, staff met with the owners of the property to discuss the merits of designation.

As a result of the recent Bill 23 changes to the *Ontario Heritage Act*, the former staff workplan for designation was rescinded and replaced with a new public list of Candidates for Designation under Part IV of the *Ontario Heritage Act* (see Report PED22211(a)), at which time only 37 Wilson Street was reprioritized for review for designation as a high priority. In a letter dated July 26, 2023, staff notified the property owner of the changes to the City's heritage designation process and the reprioritization of staff's review of the property for designation.

On April 22, 2024, the City received a Formal Consultation Application FCSP-24-055 for the subject property. This application detailed the existing church congregation's intention to modify the property to better meet their current needs. Given the property's existing physical constraints and the congregation's intention to retain the historic circa 1867 church structure, this application included a proposal to demolish the detached

brick dwelling at 39 Wilson Street to accommodate an addition to the east side of the church. On June 19, 2024, staff met with the applicants and advised them that the property was listed on the Municipal Heritage Register and of the legislative process for the owners to give their required Notice of Intention to Demolish under the *Ontario Heritage Act*. Staff also confirmed the owners' intention to retain the existing circa 1867 Church structure and circa 1969 modern extension at 37 Wilson Street and 104 Hughson Street North, respectively.

In January 2025, the City received Site Plan Control Application SPA-25-009 proposing demolition of the existing detached brick building located at 39 Wilson Street to facilitate the construction of a three-storey, 257 square metre addition to the church. A Cultural Heritage Impact Assessment was submitted with the application which both assessed the impact of the demolition of the building known as 39 Wilson Street, and the proposed addition to the church known as 37 Wilson Street. The Policy and Design Working Group of the Hamilton Municipal Heritage Committee considered the Cultural Heritage Impact Assessment report and found it to be comprehensive and complete. The Site Plan Control Application was conditionally approved on February 19, 2025.

On April 3, 2025, staff received a Notice of Intention to Demolish for the subject property, which included the Cultural Heritage Impact Assessment dated January 10, 2025, originally prepared as part of the Site Plan process (attached as Appendix B to Report PED25139).

Analysis

Listing a property on the Municipal Heritage Register as a non-designated property of cultural heritage value or interest provides 60 days interim protection from demolition. The 60-day interim period is intended to allow staff time to discuss alternatives for conservation of a property with the owner, including opportunities for retention, adaptive re-use and financial incentives, and photo-documentation of the property prior to demolition. In the case of significant heritage properties, like those identified as candidates for designation, the 60-day delay could allow Council time to consider issuing a notice of intention to designate the property to prevent demolition.

The preliminary evaluation of the circa 1902 building located at 39 Wilson Street, prepared as part of the Downtown Inventory, indicates that it is of cultural heritage value or interest, but not a candidate for individual designation. The Cultural Heritage Impact Assessment submitted with this Notice of Intention to Demolish (attached as Appendix B to Report PED25139), addresses the impacts of its proposed demolition. Due to constraints of the property presented by the proximity of the existing building at 39 Wilson Street to the historic circa 1867 church, limited space exists to retain and modify the existing buildings to meet the needs of the congregation who occupy it. The Cultural Heritage Impact Assessment includes documentation of the building to be demolished and identifies features to be salvaged prior to demolition, which will be coordinated as part of the Site Plan process.

As such, staff do not recommend taking any action in response to the Notice of Intention to Demolish the structure at 39 Wilson Street. Staff are satisfied that the heritage value of the circa 1867 church structure also located on the property will not be impacted by the demolition of the adjacent building. The property will remain listed on the Municipal Heritage Register as the remaining church retains cultural heritage value or interest. Staff anticipate bringing forward a recommendation to designate the property following completion of the works approved as part of the Site Plan process.

The recommendations of this Report are consistent with Provincial and Municipal legislation, policy, and direction, including the following relevant policies from the Urban Hamilton Official Plan, Volume 1:

- Identifying cultural heritage resources through a continuing process of inventory, survey, and evaluation, as a basis for the wise management of these resources (B.3.4.2.1 b));
- Maintaining the Municipal Heritage Register, pursuant to the *Ontario Heritage Act*, and seeking advice from the Municipal Heritage Committee when considering additions and removals of non-designated properties from the Register (B.3.4.2.4); and,
- Requiring a cultural heritage resource to be thoroughly documented for archival purposes in the event that rehabilitation and reuse of the resource is not viable as part of a *Planning Act* application process (B.3.4.2.13).

Alternatives

Hamilton Municipal Heritage Committee may recommend that Council direct staff to designate the subject property under Part IV of the *Ontario Heritage Act* in response to the Notice of Intention to Demolish. While the subject property meets criteria under Ontario Regulation 9/06, the structure proposed to be demolished is not identified as a candidate for designation and its demolition will not impact the cultural heritage value of the church building also located on the property, which is expected to be designated at a future date.

Relationship to Council Strategic Priorities

- Priority 1: Sustainable Economic & Ecological Development
 - 1.2: Facilitate the growth of key sectors.
- Priority 3: Responsiveness & Transparency
 - 3.2: Get more people involved in decision making and problem solving.

Previous Reports Submitted

- [Revised Hamilton Municipal Heritage Committee Report 14-009\(a\)](#)

Consultation

Staff confirmed receipt of the Notice of Intention to Demolish in an email to the agent for the owner on April 3, 2025, and advised of the process for bringing forward the notice to the Hamilton Municipal Heritage Committee for their advice, before consideration by Planning Committee and final decision of Council.

On February 10, 2025, the Policy & Design Working Group reviewed and passed a motion to accept the Cultural Heritage Impact Assessment submitted by the applicant as part of their Site Plan Control Application SPA-25-009.

Staff have emailed the Ward Councillor (Councillor C. Kroetsch) for Ward 2 and provided an overview of the recommendations of this Report.

Appendices and Schedules Attached

Appendix A: Location Map

Appendix B: Notice of Intention to Demolish

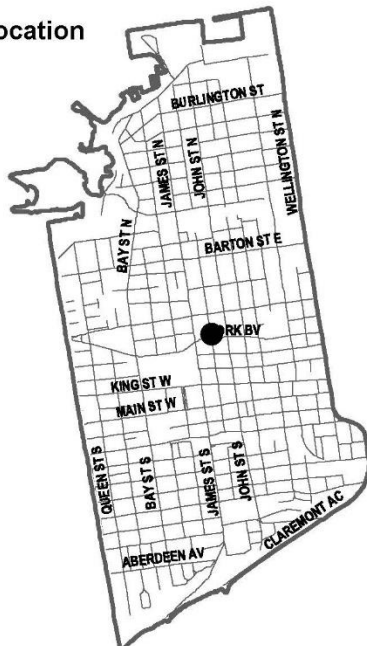
Prepared by: Meg Oldfield, Cultural Heritage Planner
Planning and Economic Development, Planning Division

Maryssa Barras, Cultural Heritage Planning Technician II
Planning and Economic Development, Planning Division

Submitted and recommended by: Anita Fabac, Acting Director of Planning and Chief Planner
Planning and Economic Development, Planning Division



● Site Location



Key Map - Ward 2

Location Map



Hamilton

PLANNING AND ECONOMIC DEVELOPMENT DEPARTMENT

File Name/Number:
39 Wilson St

Date:
April 8, 2025

Appendix "A"

Scale:
N.T.S

Planner/Technician:
MB/AL

Subject Property



37 & 39 Wilson Street and 104 Hughson Street North



Building footprints

April 3, 2025

Planning and Economic Development Department
City Hall, 5th Floor
71 Main Street West
Hamilton ON L8P 4Y5
Alissa.Golden@hamilton.ca

ATTENTION: Alissa Golden, Cultural Heritage Program Lead

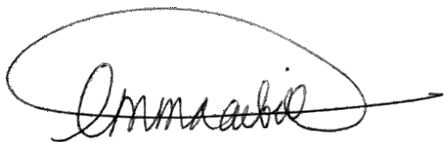
SUBJECT: Notice of Intention to Demolish
39 Wilson Street, Hamilton, ON L8R 1C6
(Unoccupied Manse Adjacent to Trinity Lutheran Church)

In 2023, Invizij Architects were retained by Trinity Lutheran to review opportunities for improving the Church's accessibility, functionality, and sustainability in order to meet the needs of a neighbourhood experiencing rapid growth, while also amalgamating a number of congregations from around the city in one, central location.

One of the interventions recommended therein included demolishing the adjacent manse in order to make room to construct a new addition to the church which will provide a clear, primary entrance, as well as allow barrier-free access to the sanctuary, church hall, and all three levels of the existing Luther Haus addition (located on the north side of the original church building).

In support of the proposed redevelopment, please find the attached Cultural Heritage Impact Assessment, prepared by Hobson Built Heritage, 71 pages, dated 10 JAN 2025, appended to this notification letter.

Sincerely,

A handwritten signature in black ink, appearing to read 'Emma Cubitt', enclosed within a large, loopy oval shape.

Emma Cubitt
Principal, Invizij Architects
M.Arch., OAA, MRAIC, LEED ®AP

Page 1 of 1



HERITAGE IMPACT ASSESSMENT

Trini ☐ Lutheran Church
37-39 Wilson E, Hamilton

10 JAN 2025

HOBSON
built
heritage

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EXECUTIVE SUMMARY

Hobson Built Heritage was retained by Trinity Lutheran Church to prepare a *Heritage Impact Assessment* (HIA) for proposed alterations to their property located at 37-39 Wilson Street in downtown Hamilton. The property contains a brick Church built in 1867 and a 2-storey brick dwelling built in 1902 for the Church Caretaker. The proposed alterations include the following:

- demolition of the former Caretaker's House (1902) located in the east side yard of the Church at 39 Wilson Street that is currently vacant
- construction of a new 3-storey addition with a flat roof on the east side of the Church to meet current needs of the congregation

The subject property is Listed on the Municipal Heritage Register and has been identified as a property that has High Potential for Designation under the *Ontario Heritage Act*. The cultural heritage value of the site is associated with the Church that was built in 1867. The 1902 Caretakers' House and the 1969 rear addition to the Church are not identified as having significant cultural heritage value.

The proposed alterations will have positive impacts for the heritage resource because they will support its ongoing use by the congregation associated with it. Furthermore, the proposed expansion will improve the congregation's capacity to provide social services and programs that benefit the community.

Negative impacts associated with the proposed demolition of the Caretakers' House at 39 Wilson Street are minor and can be mitigated through documentation and salvage. This building has been documented and potential salvage items have been identified in the photo-documentation provided in Appendix B: Photo Documentation. No further mitigation is required. The applicant is encouraged to remove the recommended salvage items prior to demolition, if feasible.

Negative impacts to the east wall of the Church associated with the proposed addition have been effectively minimized through thoughtful design measures. The proposed interior renovations to the Church will have no negative impacts on the cultural heritage value or heritage attributes.

Therefore, it is recommended that the proposed alterations be permitted, subject to the applicant providing the following information to heritage staff for final approval, prior to the issue of building permits:

- *Shoring & Vibration Monitoring Plan*: a plan for shoring and monitoring the east wall and foundation of the Church during construction that includes limiting vibrations and protection measures for the stained-glass windows
- *Structural Drawings & Specifications*: detailed structural drawings and specifications new openings through the east wall of the Church and installation of new foundations adjacent to the rubblestone foundation of the Church

- *Stained Glass Window Salvage & Protections Measures* – a qualified stained-glass professional should be consulted to assess the condition of the stained-glass windows in the east wall, provide protection measures during construction, and undertake any removals. Salvaged glass should be re-used in the new addition and/or used as a repair material for windows that require repairs.

1.0 INTRODUCTION

Preparation of this report included site investigation, historical research, review of relevant heritage policies and applicable legislation, consultation with heritage planning staff, and meetings with the client and their project team.

2.0 LOCATION & SITE DESCRIPTION

The subject property is located in the Beasley Neighbourhood in downtown Hamilton on the northeast corner of Wilson Street and Hughson Street North. The property contains a brick church oriented north-south with the front entrance on Wilson Street. The church has a rear addition with an entrance on Hughson Street North and there is a detached 2-storey brick dwelling on the east side of the church with an entrance on Wilson Street.

The Church site is located on a busy intersection and Wilson Street is a major east-west artery through the downtown core. Currently there is construction underway on adjacent properties to the north and east of the Church for residential towers.



AERIAL VIEW – Google earth photo taken before condo construction to the east and north of the church

1 1867 Church 2 1902 Caretaker's House 3 1969 Rear Addition

The Church (1867 with 1969 rear addition)

The Gothic Revival style church has a rectangular plan with a gable roof and a corner tower and steeple at the southwest corner. The Church Sanctuary is raised above a full height basement level that serves as the Parish Hall. The church has three bays across the front and five bays along the sides. The bays are separated by shallow brick buttresses and each bay contains a large arched window and segmentally arched basement window. There is a large rosette window on the front elevation that is flanked by lancet windows and there are lancet windows in the tower. All of the windows have stained or etched glass, with the exception of the basement windows. There are raised brick corbels below the eaves. The masonry opening have carved stone hood moulds and beveled stone sills. The brick buttresses have cut stone copings.

The Wilson Street elevation is built close to the street with very little setback from the public sidewalk. The front entrance on Wilson Street has been modified, the arch in the portico has been infilled with brick and original wood door have been replaced. The secondary entrance on Hughson Street North enters into the rear addition where church offices and classrooms are located. There is a small strip of landscaping along the Hughson Street frontage.



Main Entrance on Wilson



Hughson N Elevation

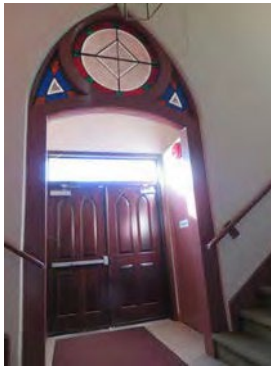


Secondary entrance on Hughson N

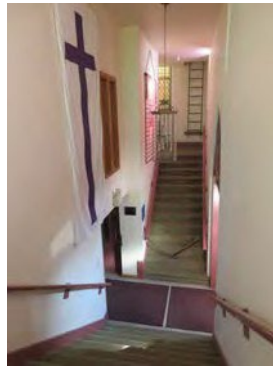
The rear addition wraps around the back and east side of the church. It is three storeys with a flat roof that matches the height of the eaves of the church roof. The materials and design elements reference the Gothic Revival church in a Mid-Century Modern style, including the vertical arrangement of the windows into clearly defined bays and stone trim details that frame and cap the vertical window bays. (The caps are concrete and the vertical trim is Queenston limestone but both have been covered with modern flashing).

Inside the front entrance there is a small vestibule that opens onto a narrow hallway. There are stairs up to the Gallery at either end of this hallway. The west stair continues up into the Tower. At the north end of the entrance hall are steps down to the Parish Hall, an entrance to the passenger lift that serves the Gallery and basement levels, and steps up to the Sanctuary. The Gallery overlaps the stained-glass windows on the front elevation and in the first bay of the side elevations.

The interior of the Sanctuary is open with no columns or aisles. Notable features of the Sanctuary space include the stained-glass windows and the large altar painting on the north end wall. There is a Gallery at the south end of the Sanctuary that contains remnants of a pipe organ. The area below the Gallery is separated from the Sanctuary by an oak and glass partition wall.



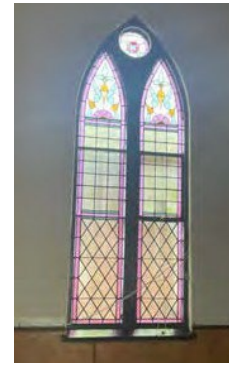
Entrance Vestibule



Stairs to Gallery & Tower



Altar painting

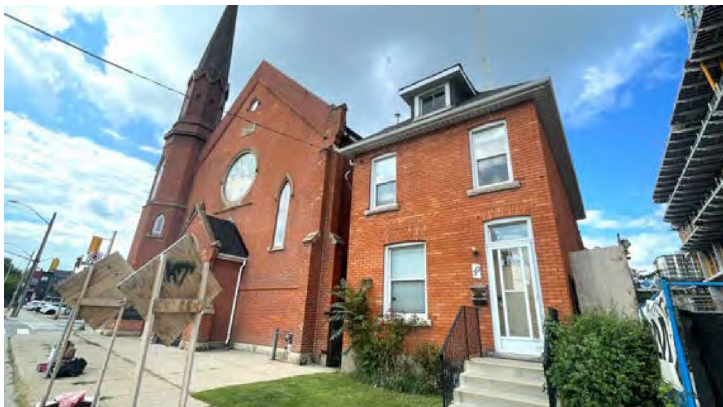


Stained-glass window

The Caretaker's House (1902)

There is a two-storey brick dwelling located in the east side yard that belongs to the church and was originally constructed as the Caretaker's House but has not served this purpose for many years. It is currently vacant because the congregation does not have a use for it, and they have been unable to find a reliable long-term tenant. It is a modest brick structure with a square plan and hipped roof. The interior has a side hall plan with a living room, dining room and kitchen on the ground floor and three bedrooms and a bathroom on the 2nd floor. The basement is partially finished and is used for storage and contains the laundry and furnace room. The foundation appears to be poured in place concrete and the brick appears to be a veneer. The windows have segmental brick arches and quarry-cut stone sills. The original wood doors and windows have been replaced.

The Church and Caretaker's Residence are separated by a narrow walkway with an iron gate at the entrance on Wilson Street. The iron gate has the initials 'STJ' and was presumably installed after 1955 when the Church was re-named 'St. John's Lutheran Church'. There is a small rear yard behind the Caretaker's Residence that is enclosed by the Church on west side and the rear addition of the Church on the north side. There is an entrance into the Church addition from this yard.



Caretaker's House (1902) – proposed for demolition to accommodate the proposed addition



3.0 HERITAGE PLANNING CONTEXT

The subject property is located in the Historic Beasley Neighbourhood and is Listed on the *Municipal Heritage Register*. It has recently been identified by staff as a property that has High Potential for Designation under the *Ontario Heritage Act*. Heritage staff have prepared a *Draft Statement of Cultural Heritage Value*. The dwelling located on the Church property at 39 Wilson Street has not been identified as a significant heritage resource and is not listed as a heritage attribute in the *Draft Statement of Cultural Heritage Value*.

The church is included in the City of Hamilton's *Inventory of Significant Places of Worship*. The *Inventory* sheet is included in the Appendix of this report.

Heritage interest in the site is primarily associated with the 1867 Church and does not include the 1969 rear addition or the 1902 Caretaker's House. The heritage attributes identified by staff pertain to the exterior elements of the 1867 Church. Heritage attributes identified by staff are included in the list included in *Statement of Cultural Heritage Value* in Section 5.0 of this report.



HERITAGE MAPPING – the 1867 Church on the subject property is Listed on the *Municipal Heritage Register* and has been identified by staff as having High Potential for Designation

4.0 HISTORICAL CONTEXT

Primitive Methodist Church: 1867-1880

The church was originally built for a Primitive Methodist congregation. The cornerstone was laid on April 13, 1867 and the first service was held on December 14, 1867. The church was designed by Albert Harvey Hills (1816-1878), one of the earliest architects active in Hamilton. He opened a builder's office with his brother in the 1830s. In 1846, he began to practice as an architect under his own name. In 1867-68 Directory, he is listed as an architect and civil engineer. Hills designed a number of early churches and ward schools in Hamilton in the 1860s and 70s and worked with Frederick Kortrum on the Hamilton City Hall & Market Building in 1857. One of his most important commissions was the Hamilton Crystal Palace that was opened by Prince of Wales in 1860.

The church appears on the 1876 Birdseye View of Hamilton and identified as the 'Primitive Methodist Church' at the corner of Gore & Hughson. (Gore is now called Wilson). The image corresponds to the Church footprint today including the octagonal corner tower. The 1876 image shows a 2-storey appendage at the rear with a gable roof that served as the Parsonage. (This building was demolished in the 1969 when the Sunday School Addition was built.)

In 1880, the Primitive Methodist congregation merged with other Methodist groups and moved to another location. The church sat vacant for a few years before being sold to a Lutheran congregation.



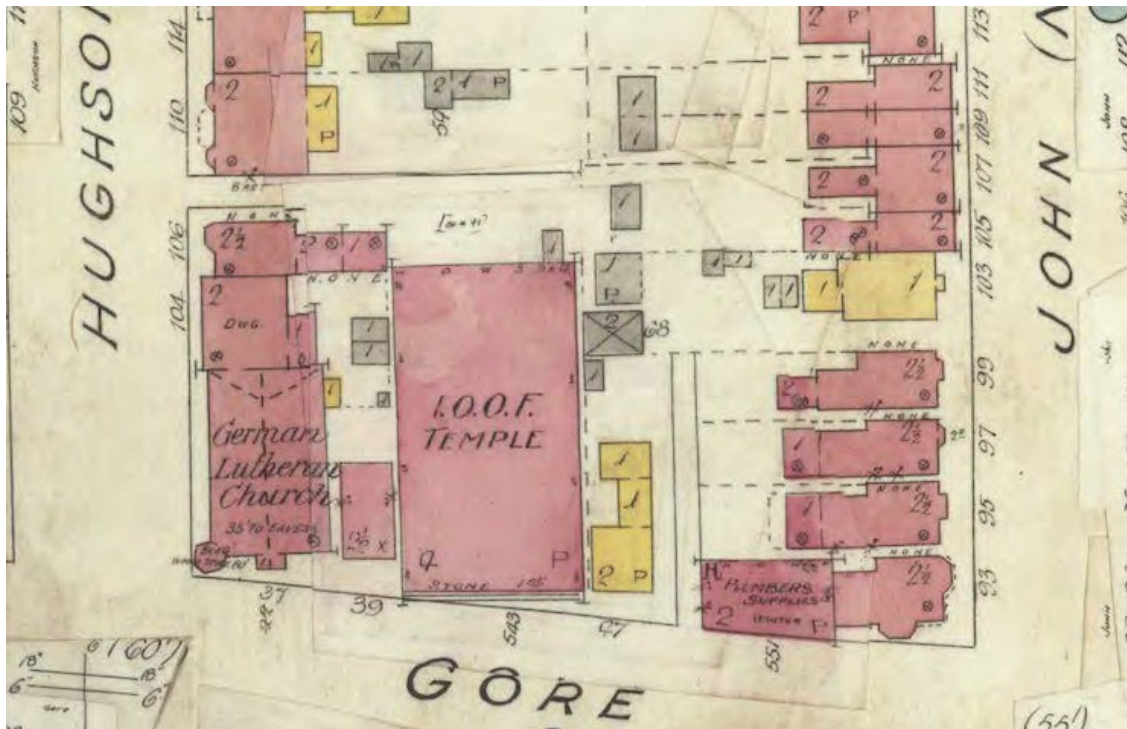
1876 BIRDSEYE VIEW – Church and attached Manse

St. Paul's German Evangelical Lutheran Church: 1884-1955
St. John's Evangelical Lutheran Church: 1955-2019
Trinity Lutheran Church: 2019-present

In 1884, St. Paul's German Evangelical Lutheran congregation purchased the Church and attached Parsonage for \$8,000. Prior to this, the Lutheran congregation had been conducting services in German in other locations, beginning in 1858 at Christ's Church Cathedral. They built their first church at Market and Bay Streets. When this became too small, they purchased the large brick church on Gore Street (now Wilson Street) vacated by the Methodists.

The 1898 Fire Insurance Plan corresponds to the image that appears on the 1876 Birdseye View but the building is now identified as the 'German Lutheran Church'.

In 1902, the congregation built a modest 2-storey brick dwelling in the east side yard of the church for the Sexton that cost \$4,500. A Sexton is a paid employee of a Church who maintains the church property. In later years the house is referred to as 'The Custodian's House', for the purposes of this report it is referred to as the Caretaker's House. It appears on the 1911 Fire Insurance Plan and corresponds to the dwelling at 39 Wilson Street that is proposed for demolition. By this time, a large Odd Fellows Hall had been built next door.



1911 FIRE INSURANCE PLAN Sheet 16 – Church with attached Manse and detached Caretaker's Residence

In 1908, Otilie Palm (later Otilie Palm-Jost) was commissioned to paint a mural of The Resurrection for the altar. Funds for the altarpiece and for stained glass windows in the Sanctuary were provided by Mrs. Gompf, the wife of a Hamilton brewery owner. Palm-Jost was a Canadian Impressionist painter who had studied at the Hamilton School of Art and at summer schools in New England with the American Impressionist painters of the time. She was a founding member

of the Hamilton Art Students League (1898). In 1911 she moved to Germany where she continued to exhibit her work. In 1997, fine art conservator Elizabeth Shambrook did restoration work on the altar painting. (See additional information about the artist provided in the Appendix)

In 1923, the Sanctuary was remodeled, and a new altar, pulpit, lectern, and lighting were installed for a cost of \$2,000. In 1923, a new pipe organ was purchased for a cost of \$3,600. This replaced the first pipe organ that was installed in 1895. The railing installed in 1895 remains in the choir loft today.

In 1946, the entire church was remodeled and decorated at a cost of \$10,000. The renovations included a new floor, pews, and centre aisle in the Sanctuary and a modern oil heating system was installed. On the 1947 Fire Insurance Plan the church is referred to as 'St. Paul's Lutheran Church'. By this time, the Odd Fellows Hall next door has been converted to a warehouse.

In 1955, the evolving Synod of the Evangelical Lutheran Church of Canada created four new congregations, including the St. John's Evangelical Lutheran Church congregation, which replaced the prior congregation at 37 Wilson Street.

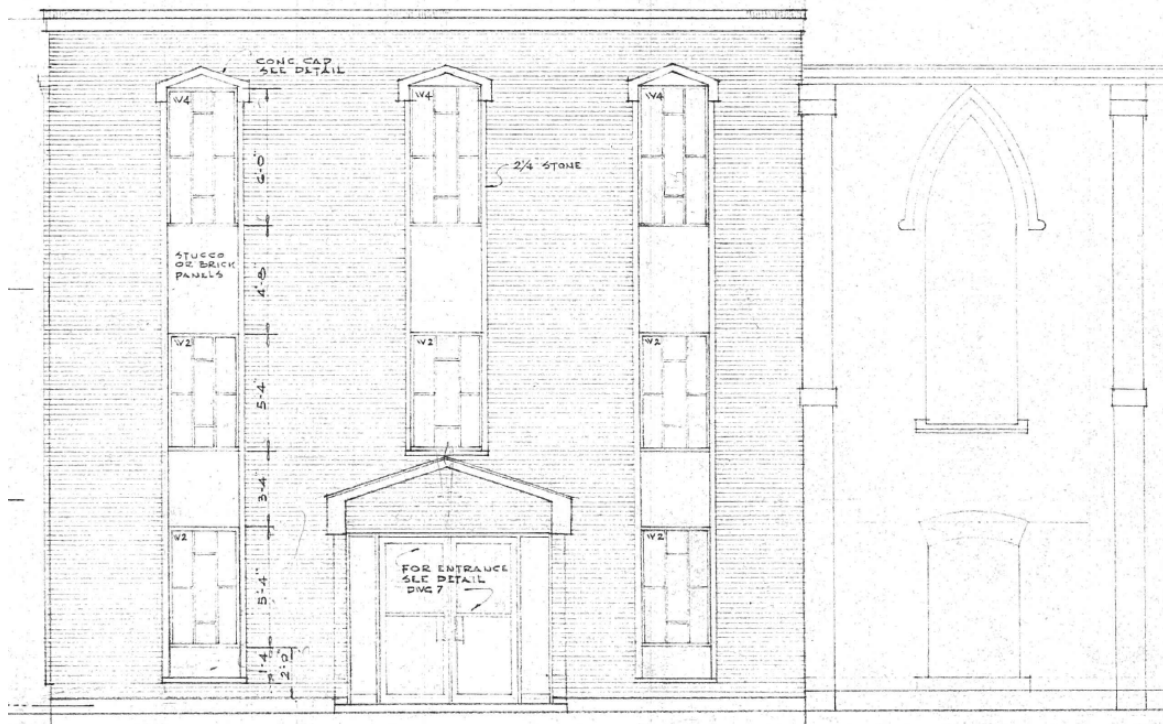
In 1969 a three-storey rear addition was built to house the Church's large Sunday School program that had grown in the post-war period with the influx of German speaking immigrants to Hamilton after World War II. The Old Manse that appears on the 1964 Fire Insurance Plan was demolished to make way for the new Sunday School Addition. The Church is labelled in German on this plan as 'St. Johannes Kirche Evangelische Lutherhische'. By this time, the Odd Fellows Hall next door has been demolished and is now a parking lot.



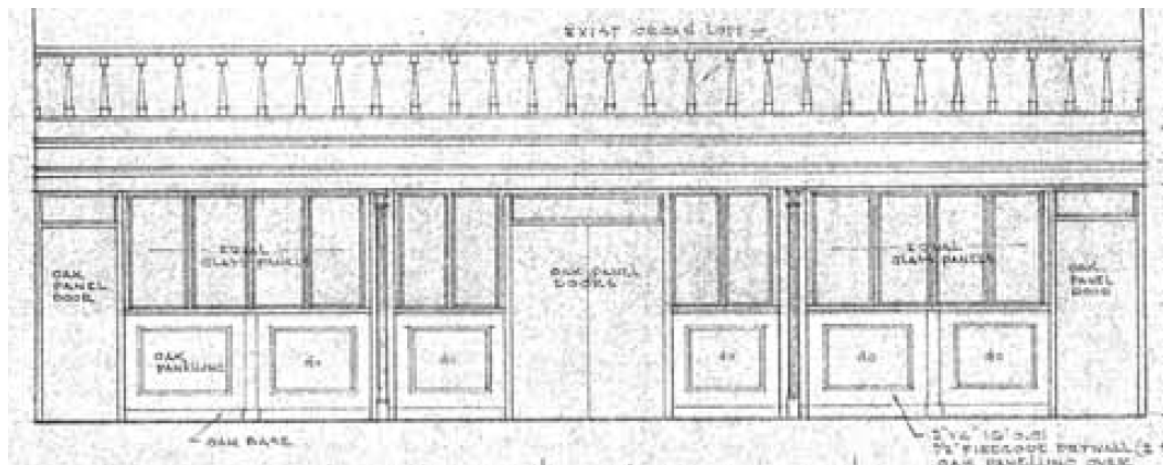
1969 Sunday School Addition that replaced the Old Manse

The Sunday School Addition opened on November 9th, 1969. At the time there were 235 Sunday School Children in 8 classes with 22 teachers, 77 children with 4 teachers in Saturday German School, 34 Scots with 6 Leaders, and a Youth Group of 40 young people with 4 Advisors.

The Sunday School Addition was designed by local architect James Henry Christie (1922-2007) of Stoney Creek. The Church has Architectural Drawings by Christie that show the original geometric pattern in the windows and stone framing details. The Lutheran Archives at Wilfred Laurier University has a c.1969 Photo of the Sunday School Addition before the windows were replaced and the stone pediments were clad with aluminum flashing. In 1991, Christie prepared plans for a partition wall at the south end of the Sanctuary and a passenger lift.



1969 Sunday School Addition designed by James Christie – the original windows have since been replaced



1991 partition wall at the south end of the Sanctuary designed by James Christie that is proposed for removal

In 2019, the Church once again changed its name to the Trinity Lutheran Church after the four local Lutheran congregations amalgamated.

5.0 CULTURAL HERITAGE VALUE

The cultural heritage value of Trinity Lutheran Church is summarized below:

Design or Physical Values:

- it is a representative example of a brick 19th century Gothic Revival Methodist Church built in 1867
- the brick construction and Gothic Revival elements display a high degree of craftsmanship
- it is a representative example of the work of Albert Harvey Hills (1816-1878), a significant Hamilton architect who designed several prominent Hamilton buildings
- the Resurrection mural is a rare example in Canada of a large altarpiece by Canadian Impressionist painter Otilie Palm Jost (1878-1961)

Historical and Associative Values:

- it is associated with the history of Primitive Methodism (1867-1880) and Evangelical Lutheranism (1884-present) in Hamilton:
 - Primitive Methodists: 1867-1884
 - St. Paul's German Evangelical Lutheran: 1884-1955
 - St. John's Evangelical Lutheran: 1955-2019
 - Trinity Lutheran: since 2019-

Contextual Values:

- it is a recognizable landmark on a prominent corner site that contributes to the historic character of the Beasley Neighbourhood

Heritage Attributes:

The heritage attributes pertain to exterior elements of the 1867 Church, the 1867 & 1908 stained glass windows, and the 1908 Resurrection Altarpiece, and include the following elements:

- exterior brick walls
- octagonal corner tower
- steeply pitched gable roof
- brick corbels and buttresses
- carved stone hood moulds and cut stone sills
- front portico
- stained & etched glass windows including the arched, quatrefoil, trefoil, and lancet windows, the large rosette window on the front elevation, and the glazed transom in the vestibule
- arched doorway in the vestibule with stained-glass transom

5.1 EVALUATION ACCORDING TO ONTARIO REGULATION 9/06

According to Subsection 1 (2) of *Ontario Regulation 9/06, Criteria for Determining Cultural Heritage Value or Interest*, a property may be designated under section 29 of the *Ontario Heritage Act* if it meets two or more of the following criteria:

Property: Trinity Lutheran Church, 37 Wilson Street East, Hamilton ON

CRITERIA	ASSESSMENT (YES/NO)	RATIONALE
1. Design of physical value:		
i) Is a rare, unique, representative or early example of a style, type, expression, material or construction method	<u>YES</u>	It is a representative example of a Gothic Revival style church constructed in 1867.
ii) Displays a high degree of craftsmanship or artistic merit	YES	The brick & stone masonry and the 1867 & 1908 stained-glass windows display a high degree of craftsmanship. The 1908 Resurrection altarpiece by Otilie Palm Jost displays a high degree of artistic merit.
iii) Demonstrates a high degree of technical or scientific achievement	NO	The large open interior of the Sanctuary space displays a moderate degree of technical achievement typical of 19 th century brick churches.
2. Historical or associative value		
i) Has direct associations with a theme, event, believe, person, activity, organization or institution that is significant to a community	<u>YES</u>	It is associated with Methodist and Lutheran congregations in Hamilton: <ul style="list-style-type: none"> • Primitive Methodist Church: 1867-1880 • St. Paul's German Evangelical Lutheran Church: 1884-1955 • St. John's Evangelical Lutheran Church: 1955-2019 • Trinity Lutheran Church: 2019-present
ii) Yields, or has the potential to yield, information that contributes to an understanding of a community or culture	<u>YES</u>	It contributes to an understanding of religious institutions in Hamilton.

iii) Demonstrates or reflects the work or ideas of an architect, artist, builder, designer or theorist who is significant to the community	<u>YES</u>	<p>The Church is a good example of the work of Albert H. Hills (1816-1878), a notable early architect in Hamilton.</p> <p>The 1908 Resurrection altarpiece is a rare example of an altarpiece by Canadian Impressionist painter Otilie Palm Jost (1878-1961).</p>
3. Contextual Value		
i) Is important in defining, maintaining, or supporting the character of an area	<u>YES</u>	It supports the historic character of the Beasley neighbourhood.
ii) Is physically, functionally, visually, or historically linked to its surroundings	<u>YES</u>	<p>It is historically linked to Primitive Methodist and Evangelical Lutheran congregations in Hamilton.</p> <p>It remains functionally linked to the Lutheran congregation and the German-speaking Lutheran diaspora in Hamilton.</p>
iii) Is a landmark	<u>YES</u>	It is a landmark because it is located on a major downtown thoroughfare on a corner site.

EVALUATION SUMMARY: meets 8 criteria

6.0 PROPOSED ALTERATIONS

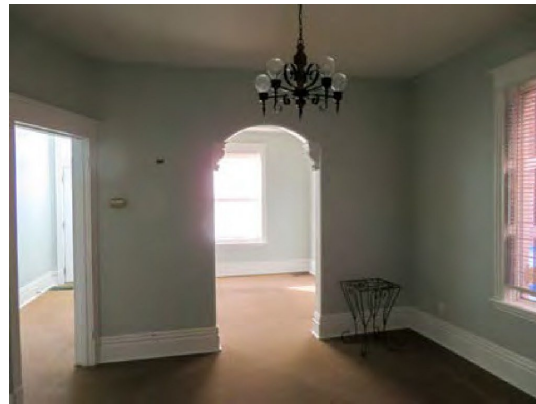
Proposed Demolition

The brick dwelling located in the east side yard of the church must be demolished to accommodate the proposed addition. It was originally constructed by the congregation in 1902 as the Caretaker's Residence and is a modest brick structure with a square plan and a hipped roof.

The congregation currently has no need for residential quarters on the property and they have not been successful in securing a suitable long-term tenant for this building. Therefore, they are proposing to demolish this structure so that the east side yard can be better utilised for expansion of the Church.



The Caretaker's House (1902) in the east side yard must be demolished to accommodate the proposed addition



Proposed Addition

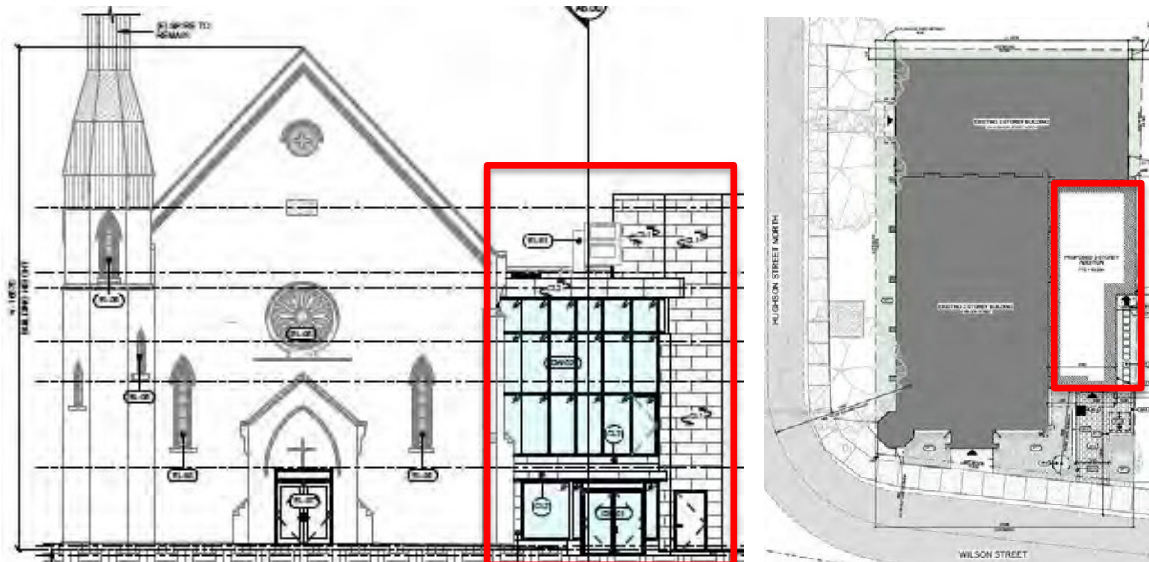
The proposed addition will be attached to the east side of the Church and will fill the east side yard which is the only area on the site that can accommodate further expansion of the church.

The height of the addition will match the height of the existing 3-storey rear addition. Bays 2-5 in the east wall of the church will be preserved and enclosed inside a new atrium connection. The addition has been designed so that all of stained-glass windows are preserved and illuminated by natural light from 3 skylights in the roof of the new atrium.

The new rooms in the three-storey addition are organized around an atrium so that there will be minimal impact on the east wall of the church. The portion of the east wall that is enclosed inside the addition will be left exposed inside the new atrium.

The addition is designed in a contemporary manner to differentiate it from the heritage fabric and to reflect current architectural taste. The front elevation of the addition will be glazed to create openness to the street. The addition is setback from the front wall of the church so that the heritage building remains prominent from the street and so that its original form remains clearly legible. Views through the glazed exterior to the east wall of the church will further reinforce the legibility of the original structure. The front setback on Wilson will be landscaped,

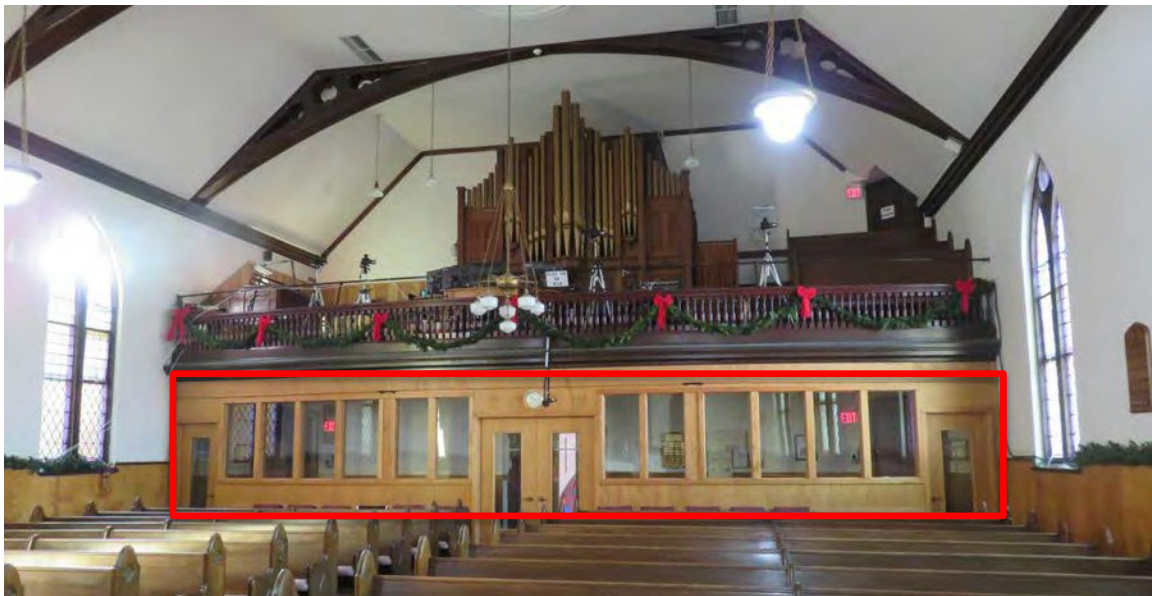
and the entrance will be fully accessible. The addition will contain a new elevator that will service the two levels of the Church and the three levels of the new addition.



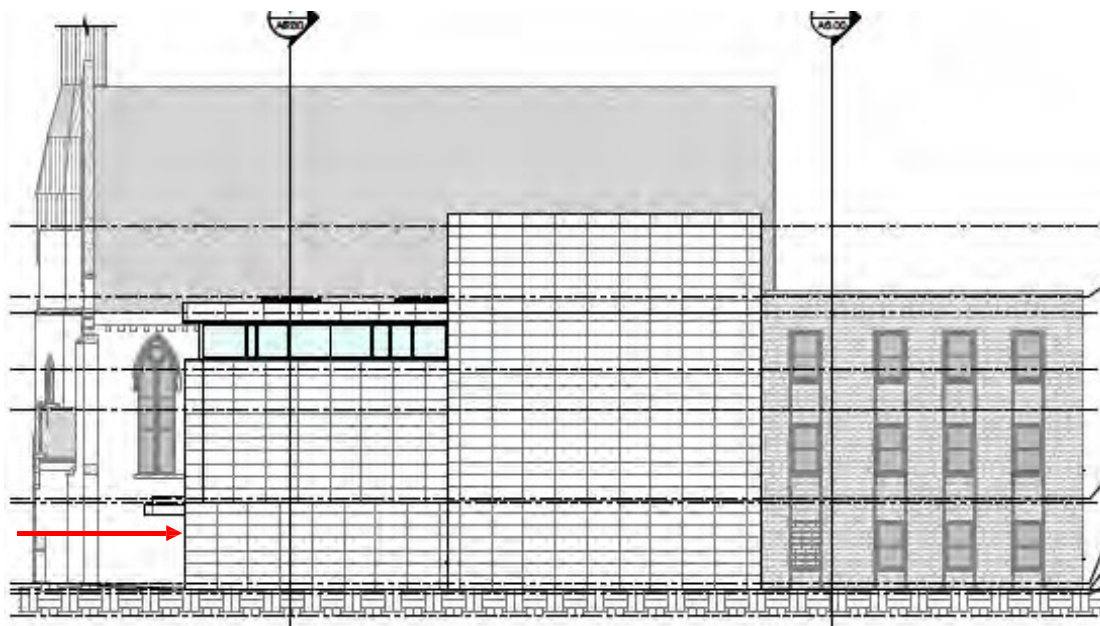
Proposed Addition on the east side of the Church – glazed front wall and new landscaping on Wilson Street – interior space in the addition is organized around an atrium to minimize impacts on the east wall of the Church – skylights in the roof will provide natural light to illuminate the stained glass windows in the atrium

Proposed Interior Alterations

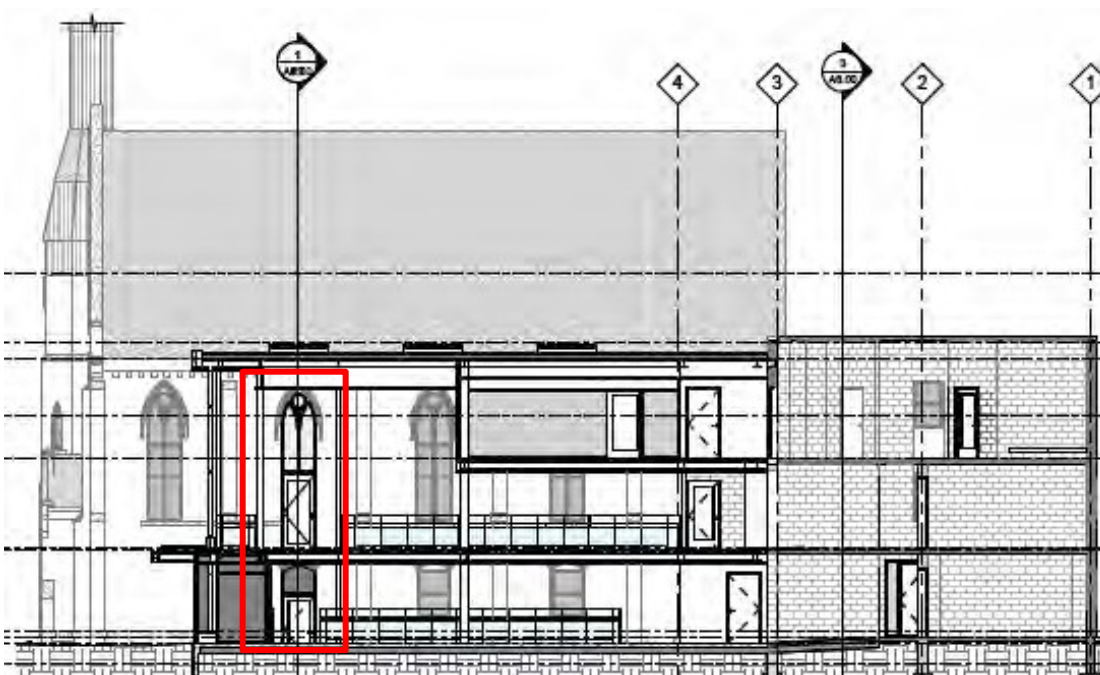
Minor changes will be made to the interior of the Sanctuary. The oak and glass partition wall at the south end of the Sanctuary that was installed in 1991 will be removed to enlarge the Sanctuary space. The existing passenger lift in this area will be removed since it will be replaced by a new elevator in the addition.



Proposed Interior Alterations to the Sanctuary - partition wall installed in 1991 to be removed – Gallery to remain



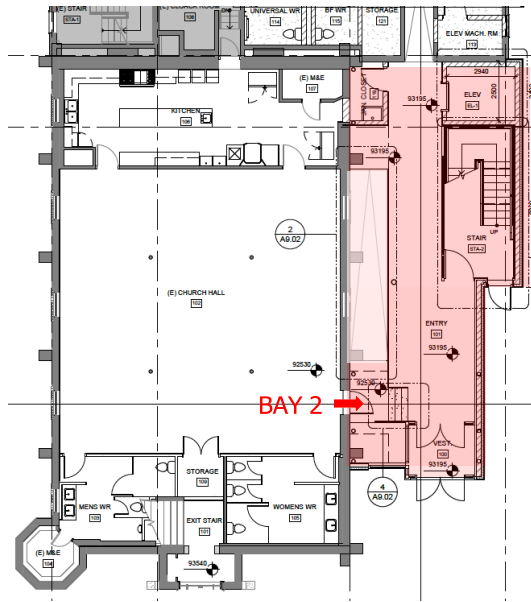
PROPOSED ADDITION East side elevation – the addition is setback and does not impact the church roof



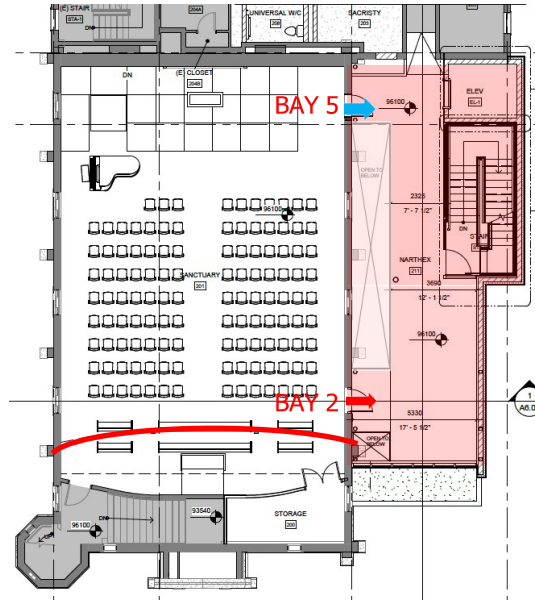
Bay 2

Bay 5

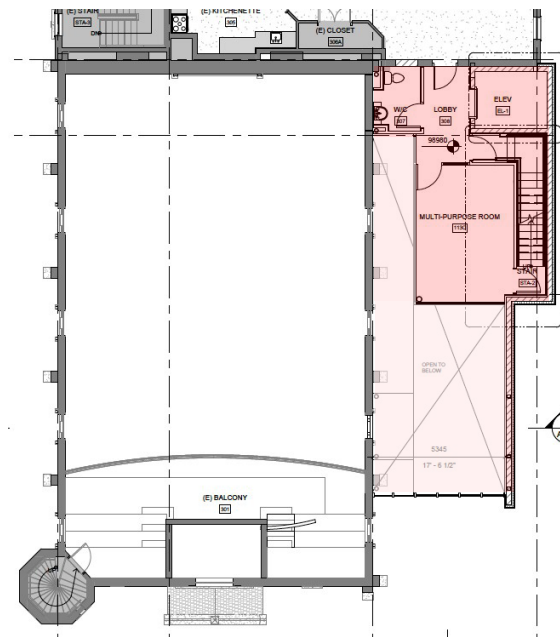
PROPOSED ADDITION Section through to the east side elevation of the Church – existing windows in Bay 2 will be modified for doorways into the new addition – the upper portions of these windows will remain



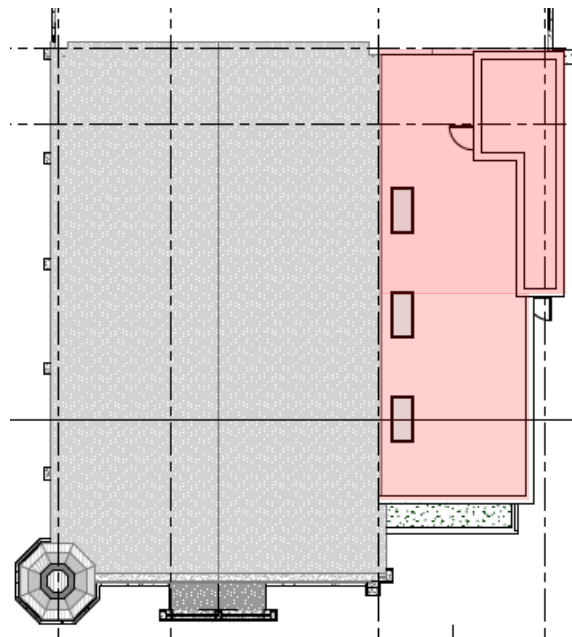
LEVEL 1 – Parish Hall



LEVEL 2 - Sanctuary



LEVEL 3 - Gallery



ROOF PLAN

- Proposed 3-storey Addition
- Atrium open to below
- Partition wall to be removed
- New doorway through east wall of the Church
- Existing doorway through east wall of the Church

7.0 HERITAGE IMPACT ASSESSMENT

The proposed demolition of the 1902 Caretaker's House will not have a negative impact on the cultural heritage value of the site. It does not have significant cultural heritage value and has not been identified as a heritage attribute. Demolition of a structure that the congregation has no use for to allow expansion of the Church provides positive benefits because it support ongoing use of the heritage building.

The impacts of the proposed addition have been minimized through thoughtful design measures including:

- locating the addition on the side and setting it back from the front wall of the Church
- matching the height and employing a flat roof to avoid impacts to the Church roof
- utilizing the existing masonry openings in the east wall of the Church for through connections into the new addition
- utilizing an atrium connection that minimizes impacts on the east wall of the Church
- employing a high quality of design in a contemporary manner that reflects current needs of the congregation and is complementary in scale and massing to the 1867 Church

There will be direct impacts to one of the 1908 stained-glass windows in the east wall of the Sanctuary that is a heritage attribute. The lower portion must be removed so that a new doorway can be installed. Negative impacts can be mitigated by preserving the upper portion *in situ* and by salvaging and reusing any glass that is removed. The salvaged glass can be reused either as a feature in the new addition or for use as a repair material for any windows that require repairs. This work should be undertaken by a stained-glass expert.



East wall of the Church – the stained-glass window in Bay 2 must be modified for a doorway into the proposed addition.

Potential impacts to the foundation and east wall of the Church during demolition, excavation and new construction can be mitigated through careful planning and construction management.

Careful planning includes preparation of detailed structural drawings and masonry specifications by qualified professionals with heritage expertise for new openings through and new connections to the east wall and foundation of the Church.

Careful construction management includes monitoring and protection of the heritage masonry and stained-glass windows in the east wall throughout the demolition and construction process.

8.0 CONCLUSIONS & RECOMMENDATIONS

The proposed alterations will have positive impacts for the heritage resource because they will support its ongoing use by the congregation associated with it. Furthermore, the proposed expansion will improve the congregation's capacity to provide social services and programs that benefit the community.

Negative impacts associated with the proposed demolition of the Caretakers' House at 39 Wilson Street are minor and can be mitigated through documentation and salvage. This building has been documented and potential salvage items have been identified in the photo-documentation provided in Appendix B: Photo Documentation. No further mitigation is required. The applicant is encouraged to remove the recommended salvage items prior to demolition, if feasible.

Negative impacts to the east wall of the Church associated with the proposed addition have been effectively minimized through thoughtful design measures. The proposed interior renovations to the Church will have no negative impacts on the cultural heritage value or heritage attributes.

Therefore, it is recommended that the proposed alterations be permitted, subject to the applicant providing the following information to heritage staff for final approval, prior to the issue of building permits:

- *Shoring & Vibration Monitoring Plan*: a plan for shoring and monitoring the east wall and foundation of the Church during construction that includes limiting vibrations and protection measures for the stained-glass windows
- *Structural Drawings & Specifications*: detailed structural drawings and specifications new openings through the east wall of the Church and installation of new foundations adjacent to the rubblestone foundation of the Church
- *Stained Glass Window Salvage & Protections Measures* – a qualified stained-glass professional should be consulted to assess the condition of the stained-glass windows in the east wall, provide protection measures during construction, and undertake any removals. Salvaged glass should be re-used in the new addition and/or used as a repair material for windows that require repairs.

9.0 SOURCES

Archives of the Lutheran Synod are at Wilfred Laurier University (St. Paul's Evangelical Lutheran Church - St. John's Evangelical Lutheran Church - Trinity Lutheran Church)

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Wilson, Paul. 'Elizabeth rushes in for angel retreads: Restores Historical Altar Icon'. *Hamilton Spectator*, (Thursday, November 13, 1997); p A3

10.0 QUALIFICATIONS OF THE AUTHOR

The author of this report is a professional member of the *Canadian Association of Heritage Professionals*. Formal education includes a *Master of Arts in Architectural History* from the University of Toronto and a *Diploma in Heritage Conservation* from the Willowbank School of Restoration Arts. Professional experience includes an internship at the Ontario Heritage Trust, three years as Architectural Historian & Conservation Specialist at Taylor Hazell Architects in Toronto, and 12 years in private practice in Ontario as a heritage consultant. Other relevant experience includes teaching Architectural History at the University of Toronto and McMaster University and teaching Research Methods and Conservation Planning at the Willowbank School for Restoration Arts in Queenston. In addition to numerous heritage reports, the author has published work in academic journals such as the *Journal of the Society for the Study of Architecture in Canada* and the *Canadian Historical Review*.

APPENDIX A: PHOTO DOCUMENTATION



37-39 Wilson Street: 1867 Church & 1902 Caretaker's House – condo construction next door



37-39 Wilson Street; 1867 Church & 1902 Caretaker's House - there is a narrow walkway between them that is closed off from the street by an iron gate



1867 Church – front entrance on Wilson Street



1867 Church – corner tower



1867 Church - west side elevation on Hughson N



1969 Sunday School Addition – attached at rear



1867 Church - west side elevation on Hughson N – raised Sanctuary, above a full height basement level



1969 Sunday School Addition that replaced the attached 1867 Parsonage – the original windows have been replaced – cladding has been installed on top of the concrete window caps and above the door – the trim framing the window bays is Queenston limestone



Narrow gap between the Church & Caretaker's House



Iron gate with "STJ" (St. John's)
POTENTIAL SALVAGE ITEM



East wall of the Church – basement window infilled



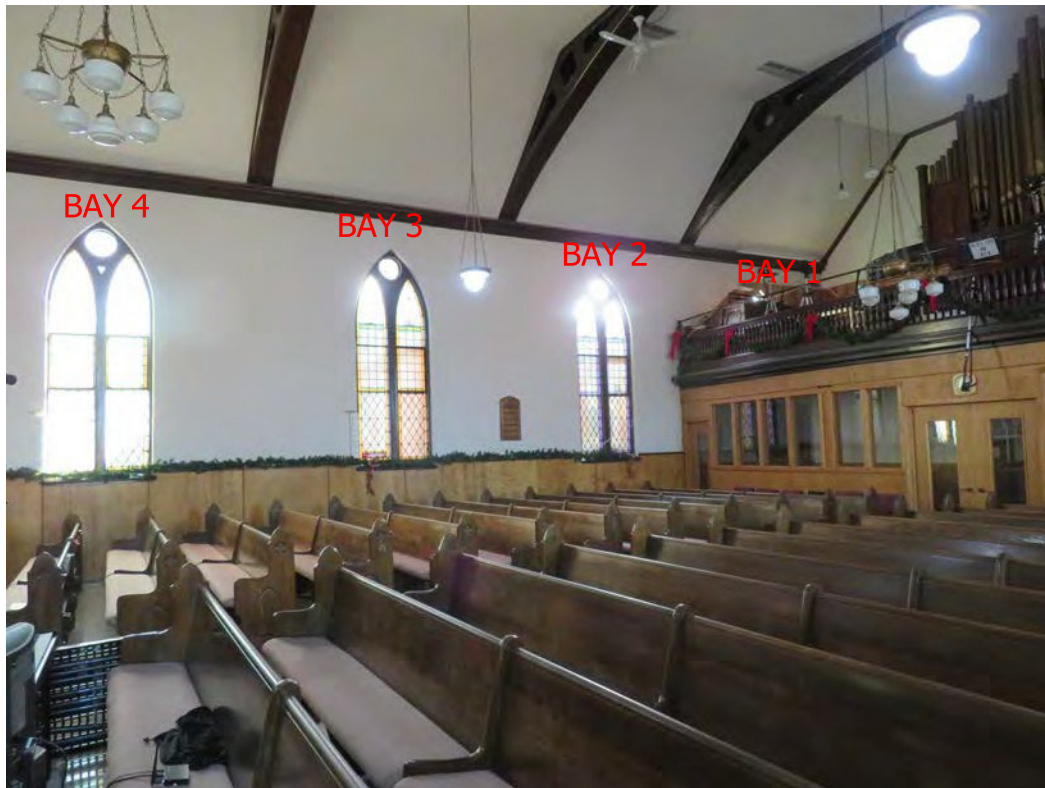
Narrow path betw. Church & Caretaker's House



Church Interior – Sanctuary north wall - 1908 Resurrection altarpiece by Otilie Palm Jost (1878-1961)



Church Interior – Sanctuary east wall – existing doorway into the rear addition in Bay 5 – a similar modification will be made to the window in Bay 1



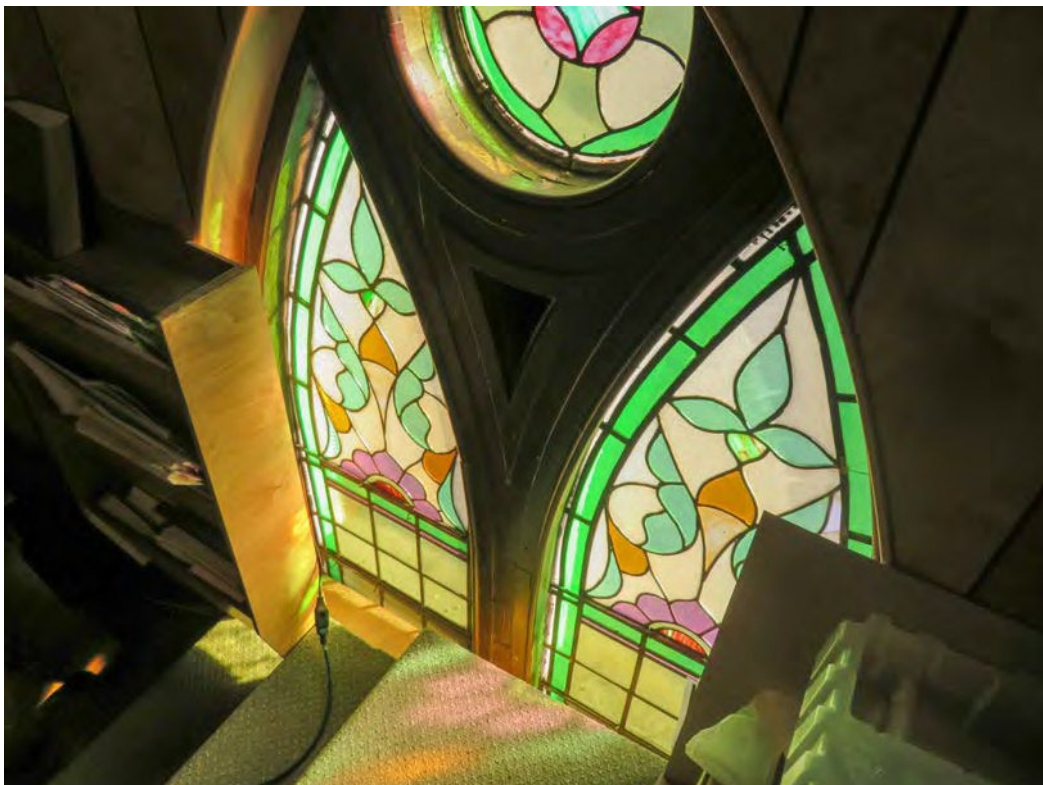
Church Interior – Sanctuary east wall & Gallery – the Gallery overlaps the stained-glass window in Bay 1



Church Interior – below the Gallery – oak partition wall & elevator installed in 1991 to be removed



Church interior – looking south towards the Gallery & Organ



Church interior – Sanctuary east wall from the Gallery – the Gallery overlaps the stained-glass window in Bay 1

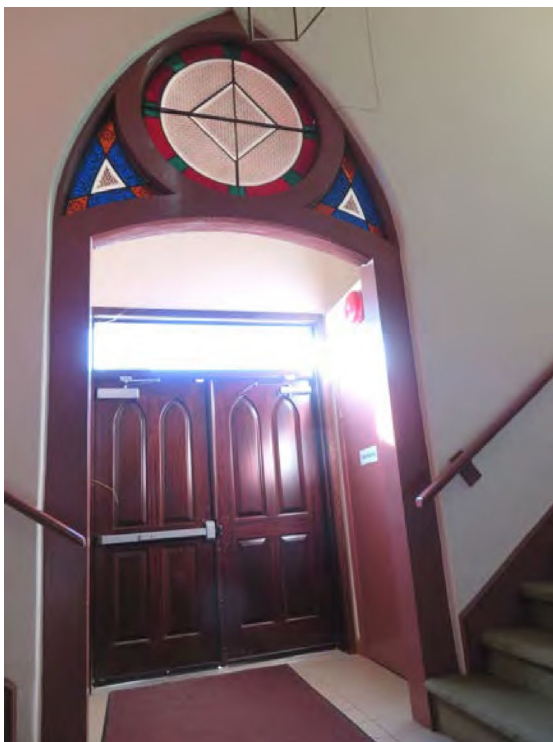


Church interior – Sanctuary east wall – stained-glass windows in Bays 1, 2, 3 & 4 (left) – there is a door in Bay 5 with stained glass above that matches the other windows

RECOMMENDED MITIGATION: salvage stained-glass from window to be modified for new doorway – work to be undertaken by stained-glass expert



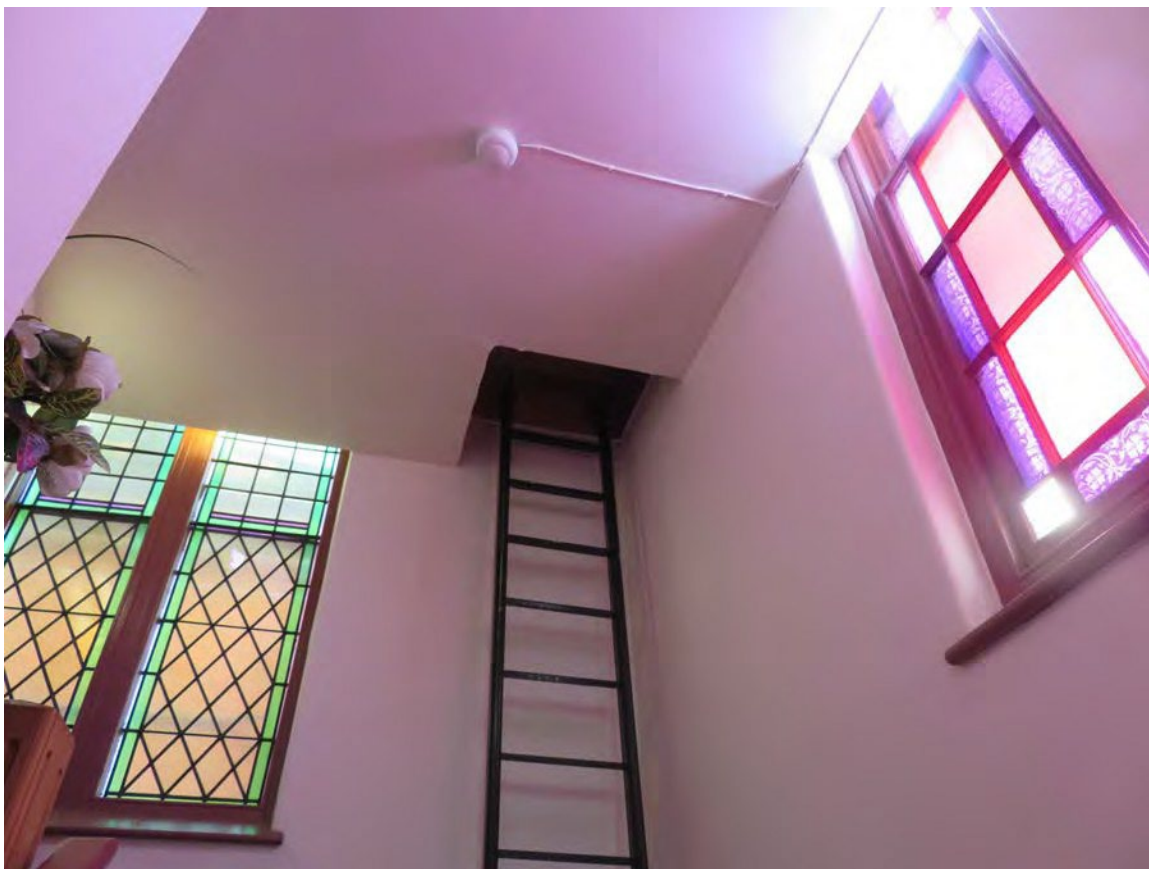
1908 altar painting of the Resurrection by Otilie Palm Jost (1878-1961) – the trefoil stained-glass window is back lit – inscribed 'Be Not Afraid'



Church interior – small Vestibule inside the Front Entrance on Wilson Street – doorway and arched transom with stained glass – *arch and stained-glass transom are heritage attributes to be preserved *in situ*



Church Interior - Corridor inside the Main Entrance on Wilson Street with two staircases up to the Gallery – the west stairs continue up into the tower



Church Interior – the Gallery overlaps the stained-glass window in Bay 1 on the east side elevation (left) and stained glass windows on the front elevation (right) – the front elevation has 1867 stained & etched glass windows



Church Interior – damaged 1908 stained-glass windows in the east (left) and west (right) side elevations

RECOMMENDED MITIGATION: stained glass expert to assess condition of stained-glass windows in East wall and provide protection measures



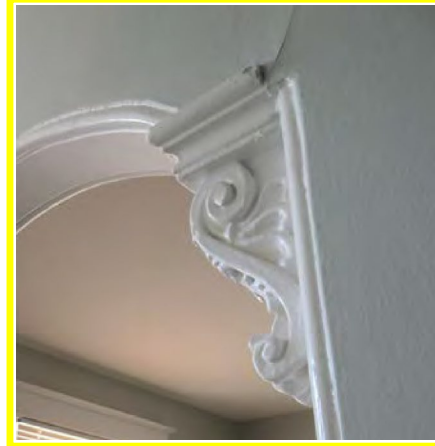
1902 Caretakers House, 39 Wilson Street – brick veneer – windows and doors have brick arches and cut stone sills – doors and windows have been replaced and concrete stairs have been installed at the front entrance on Wilson Street – foundation is parged



1902 Caretaker's House – view from the stairwell of the rear addition to the rear elevation and rear yard of the Caretaker's House – the east wall of the church is visible on the right – the new condo construction next door is visible on the left



1902 Caretaker's House – interior – front door with transom above – replacement door

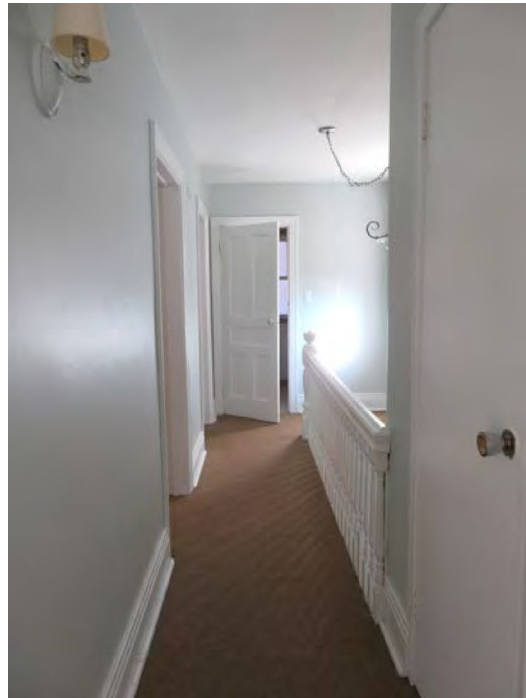


1902 Caretaker's House – interior – 1st floor – the front room has two arched openings with ornate scrolls – the ornate heat vent covers are original

POTENTIAL SALVAGE ITEMS: metal vent covers & decorative wall brackets



1902 Caretaker's House – interior – stairs to the 2nd floor



Hallway on the 2nd floor

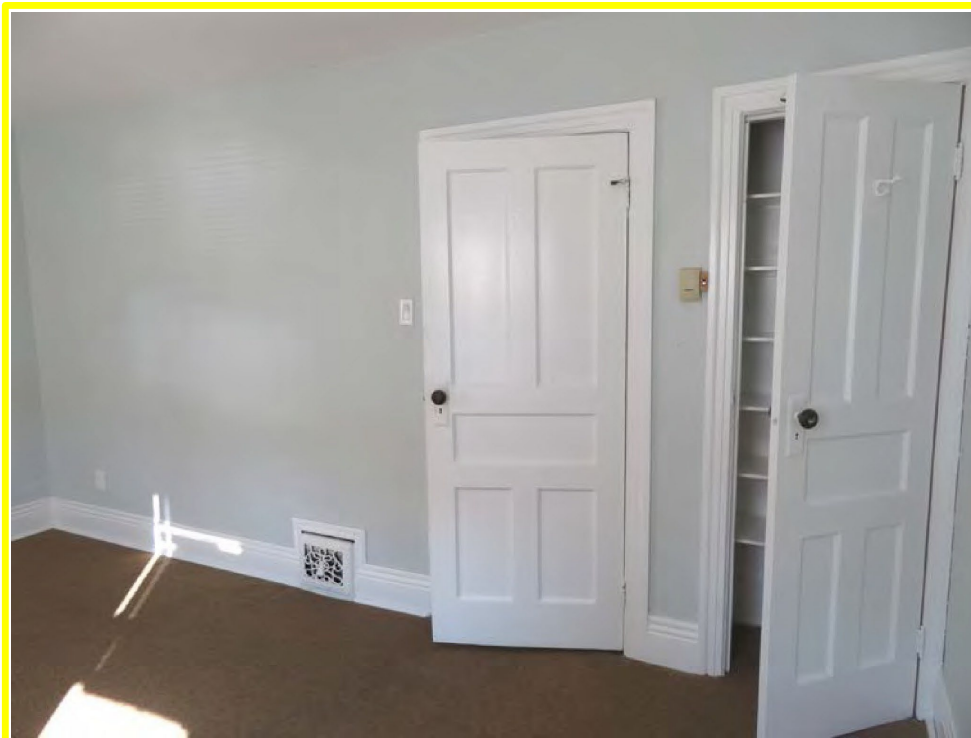


1902 Caretaker's House - original stair railing and newel post in the upstairs hallway

POTENTIAL SALVAGE ITEMS: stair newel, handrail & balusters



1902 Caretaker's House – interior – 2nd floor – original doors and vent covers



1902 Caretaker's House – interior – 2nd floor – original doors and vent covers

POTENTIAL SALVAGE ITEMS: paneled wood doors



1902 Caretaker's House – interior – 2nd floor – original door hardware and vent covers

POTENTIAL SAVLAGE ITEMS: door hardware & decorative metal vent covers

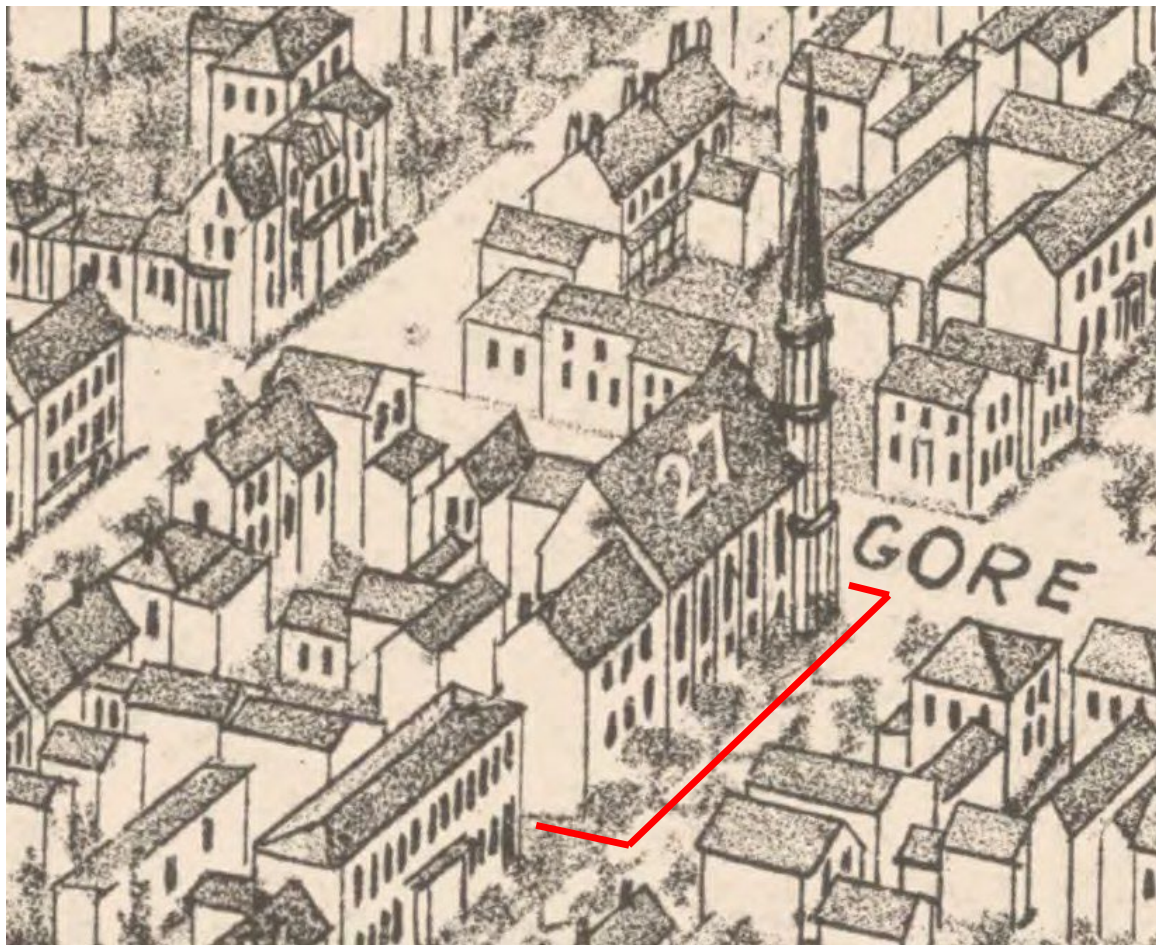
APPENDIX B: HISTORIC DOCUMENTATION



1851 MARCUS SMITH MAP

[HPL]

COMMENT: empty lot on northeast corner of Gore & Hughson, owned by 'Dr. J. Bates'

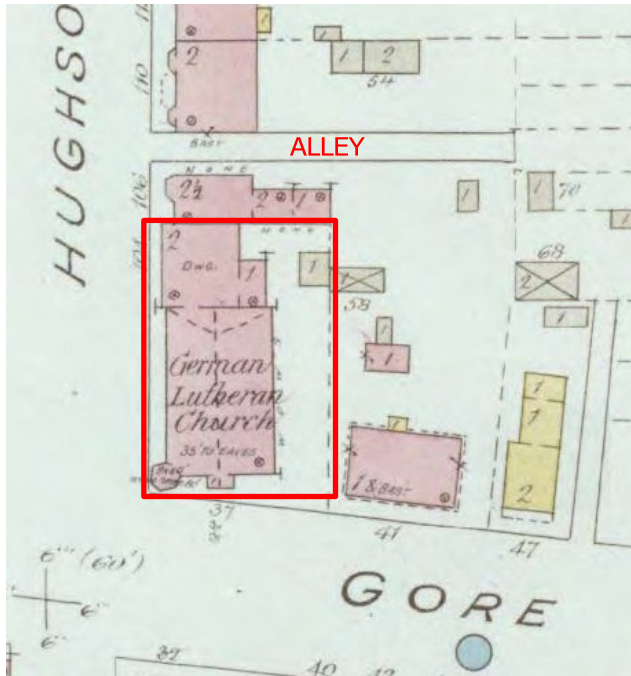


27 Primitive Methodist.

1876 BIRDSEYE VIEW OF HAMILTON

[McMaster]

- northeast corner of Gore (now Wilson E) & Hughson N
- large church with a corner tower on Gore Street and a 2-storey wing at the back on Hughson Street
- trees along Hughson Street North – large building to the north
- identified as the Primitive Methodist Church



1898 FIRE INSURANCE PLAN, SHEET 16

[McMaster]

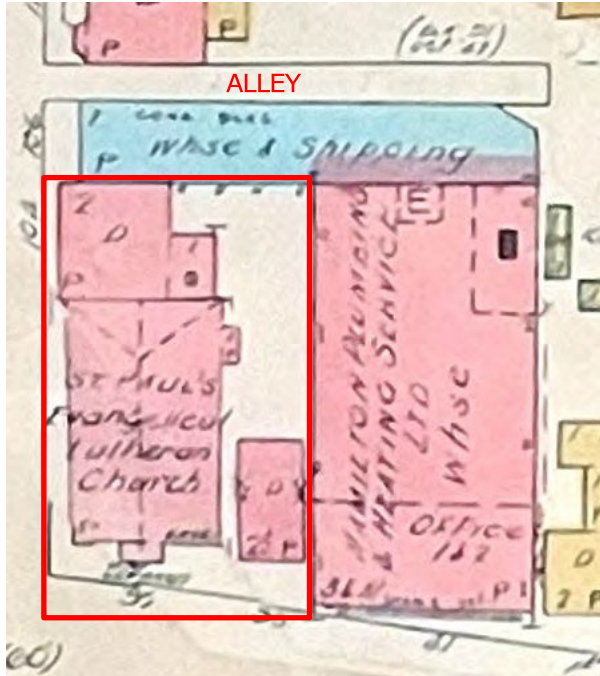
- brick church with corner tower and the the 2-storey structure attached at the back that served as the Manse
- street address is #37 Gore Street and #104-106 Hughson Street North
- identified as German Lutheran Church



1911 FIRE INSURANCE PLAN, SHEET 16

[McMaster]

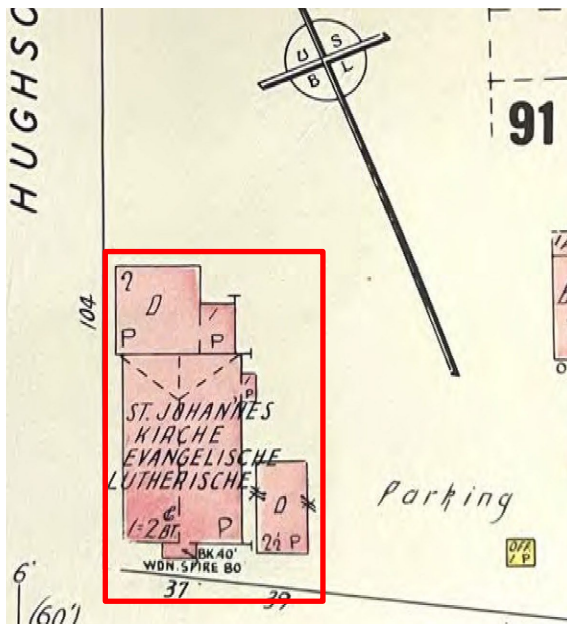
- there is a 2.5-storey brick structure in the east side yard that corresponds to the Caretaker's House at 37 Wilson Street that is proposed for demolition
- there is a large Odd Fellows Hall next door
- the street address is #37-39 Gore Street and 104 Hughson Street North
- identified as the German Lutheran Church



1947 FIRE INSURANCE PLAN, SHEET 126

[McMaster]

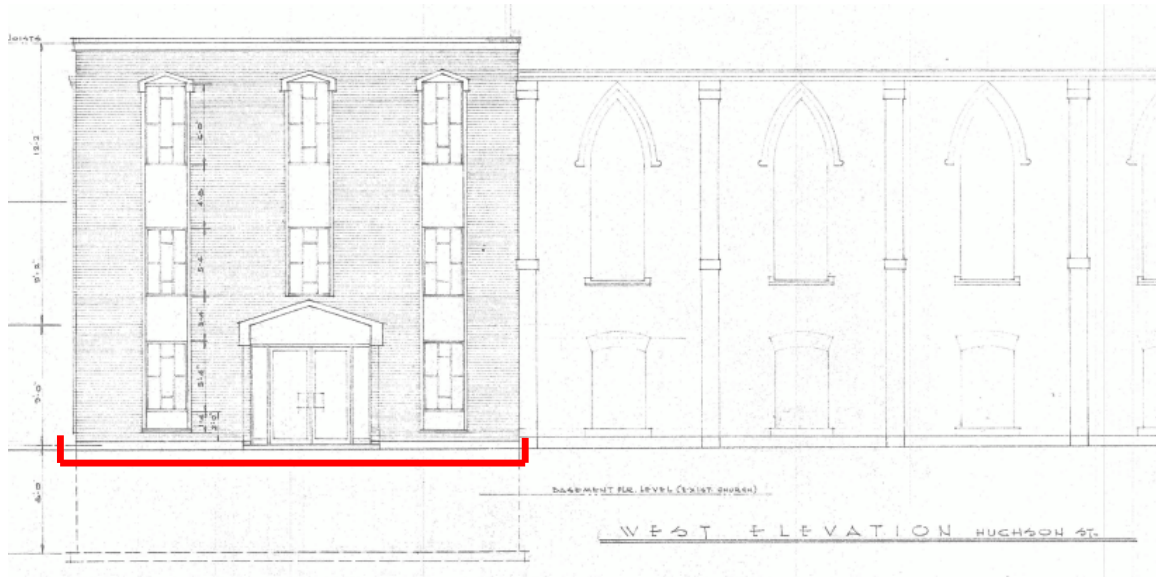
- the Odd Fellows Hall next door on Wilson Street is now a warehouse with shipping entrance on Hughson
- the house next door on Hughson Street has been demolished & replaced by a loading dock
- the street address is #37-39 Gore Street and 104 Hughson Street North
- identified as St. Paul's Evangelical Lutheran Church



1964 FIRE INSURANCE PLAN, SHEET 126

[McMaster]

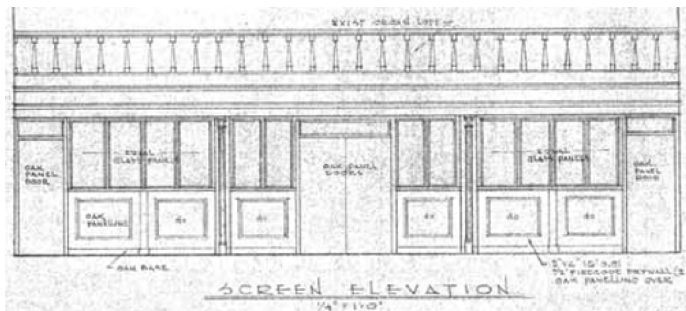
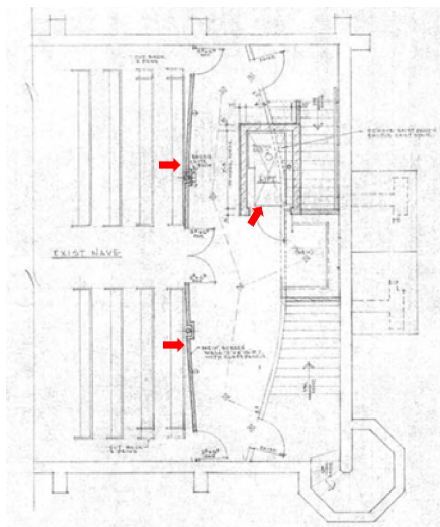
- several brick houses next door on Hughson Street North have been demolished
- the Odd Fellows Hall next door on Wilson Street has been demolished
- the street address is #37-39 Gore Street and 104 Hughson Street North
- identified as St. Johannes Kirche Evangelische Lutherische



1969 ARCHITECTURAL DRAWING: Church Hall, St. John's Lutheran Church

- 3-storey Sunday School Addition on Hughson Street that replaced the Old Manse
- note the geometric pattern of the original windows that have since been replaced

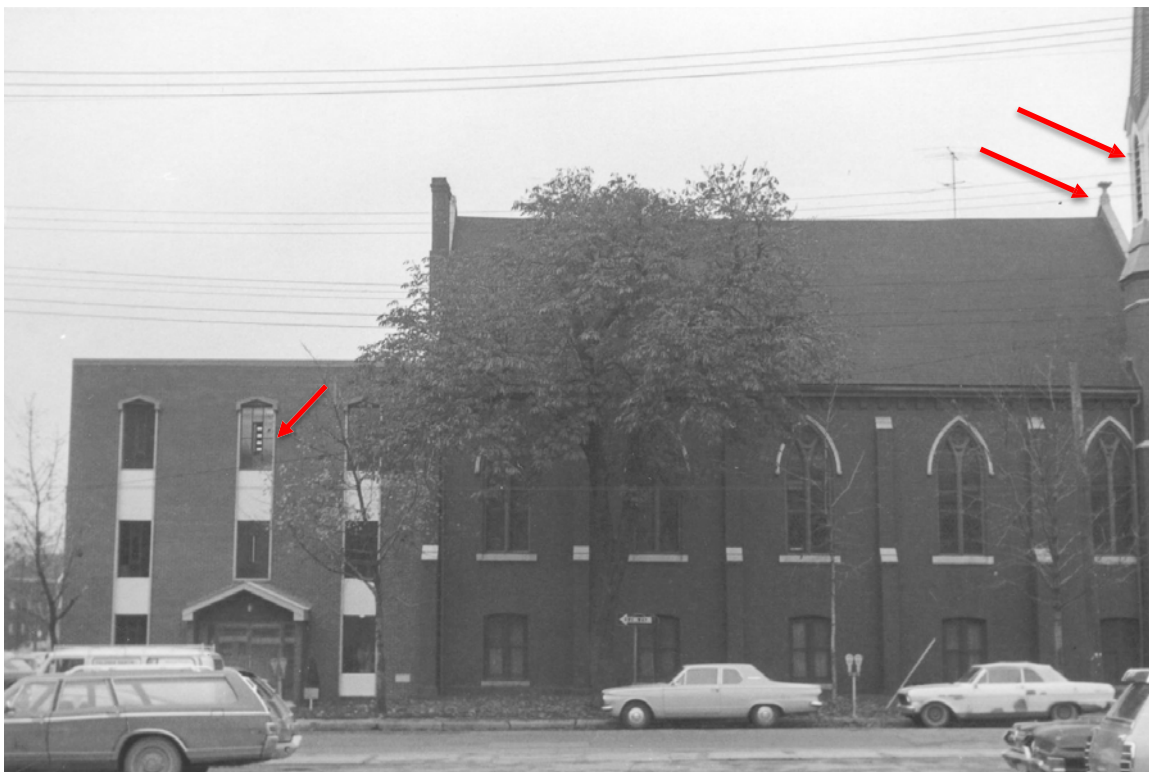
ARCHITECT: JAMES HENRY CHRISTIE (1922-2007)



1991 ARCHITECTURAL DRAWING

- Left: new screen wall and elevator
- Right: new oak & glass screen built below the existing gallery railing

ARCHITECT: JAMES HENRY CHRISTIE (1922-2007)



c.1969 PHOTO: Trinity Lutheran, Hughson Street North elevation – Sunday School addition that replaced the Old Manse {Lutheran Archives, WLU}

COMMENT: note the original geometric glazing pattern in the windows of the Sunday School Addition and stone framing details – note the original louvers in the Church steeple – note the original stone coping on the Church gable

APPENDIX C: OTTILIE PALM-JOST (1878-1961)

Studied at the Hamilton School of Art and at summer schools in New England with the American Impressionist painters of the time. Founding Member of the Hamilton Art Students League (1898).

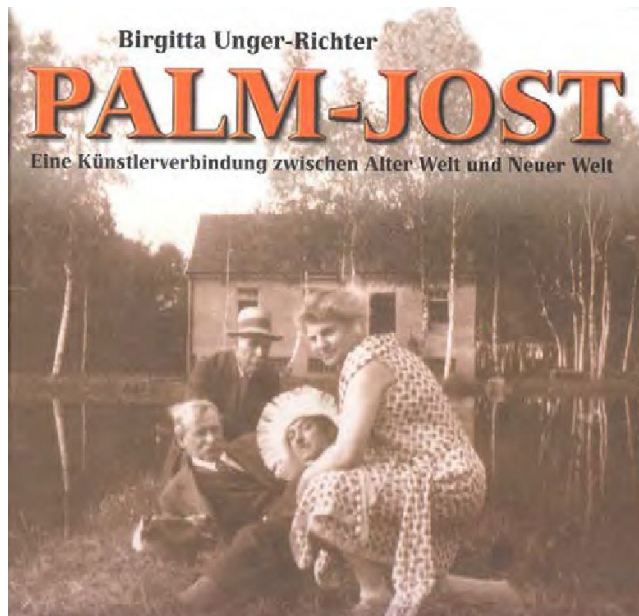
Worked as an illustrator for the Hamilton Herald, Hamilton Spectator and the Globe (Toronto).

In 1908 she painted a large mural of The Resurrection for St. John's Lutheran Church (restored by Elizabeth Shambrook in 1997).

In 1911 she moved to Germany where she continued to exhibit her work.

Beckett Gallery, *Ottilie Palm Jost (1868-1961) Canadian Impressionist*, 1992 exhibition.

The Art Gallery of Hamilton has a several of her works, including what appears to be a study for The Resurrection altarpiece.



The Resurrection, 1908 - St. John's Lutheran Church, Hamilton (now Trinity Lutheran)

photo credit: Terry Wayne



photo credit: Terry Wayne



photo credit: Terry Wayne

Painted by Otilie Palm Jost
in 1908, this mural was
restored in memory of
Audie and Beatrice Heilig
by their daughters in 1997

1997 restoration dedicated to Audie & Beatrice Heilig



Study for Figure of Jesus, Art Gallery of Hamilton

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Contributors
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Artist/Maker name "Jost, Otilie Palm"

1 of 1		Back to list
Artist/Maker	Jost, Otilie Palm	
Artist other names	<ul style="list-style-type: none">Palm Jost, Otilie	
Technique	<ul style="list-style-type: none">Painting	
Gender	Female	
Birth	<ul style="list-style-type: none">1878-02-13 Hamilton, Ontario, Canada	
Death	<ul style="list-style-type: none">1961 - - March 1961	
Address	<ul style="list-style-type: none">Hamilton, Ontario, Canada	
File location	<ul style="list-style-type: none">Winnipeg Art Gallery - Clara Lander LibraryHamilton Public Library - Local History and Archives DepartmentArt Gallery of Ontario - Edward P. Taylor Research Library and ArchivesMontreal Museum of Fine Arts - Library	
Record number	8391	
Record Creation Date	1985-03-13	
Record Change Date	2012-04-18	

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St. John's Evangelical Lutheran Church



Heritage Status

City Inventory: Yes

Address: 104 Hughson Street North

Current Use: Place of Worship

Previous Building: Yes

Alternate/ Historical Name(s): Primitive Methodist Church, The Old German Church, St. Paul's Lutheran Church, St. Paul's Evangelical Lutheran Church

Current Affiliation: Lutheran

Historical Affiliation(s): Methodist

Associated Features:

Architect(s): Albert H. Hills

Builder(s): Albert H. Hills 1865, Mr. Houlden 1884

Construction Date: 1865 **Material:** Red Brick **Style:** Gothic Revival

Associated Person(s): Rev. Thomas Heisse, Pastor Philipp Weingartner, Ottilie Palm-Jost

Associated Group(s): Trinity Lutheran Church

Associated Event(s): 1907-1911, Mr. Gompf, a Hamilton brewery owner commissioned artist Ottilie Palm-Jost to create a large canvas for behind the altar; 1910, creation of Trinity Lutheran Church by English-speaking members of the church; 1955, church reorganization brings new name to the church, now St. John's Lutheran Church; Annual Good Friday Passiontide concerts

Associated Theme(s): Preservation of German language, 'Mother Church' of Hamilton's Lutheran congregations during reorganization in 1950s

Additions/Alterations: 1884, addition of tower and steeple; 1907-1911, interior changes including painting of large canvas behind altar; 1923, chancel remodelled; 1947, interior of church renovated; 1962, repairs to steeple

Architectural Features: Circular brick tower topped by wooden spire, circular windows in front façade, date stone 1864

History

As early as 1845, a small group of Primitive Methodist adherents began worshipping in a frame building on John Street North, between Wilson and Cannon. The membership replaced this early structure with a brick building in 1865 on Hughson Street North, but following the amalgamation of the various sects within the Methodist Church, in 1880 they voted to join the larger Gore Street Methodist Church on John Street North and vacate their own building. In 1884, St Paul's German Evangelical Lutheran congregation, looking for a larger place of worship for their growing membership, purchased the vacant church for \$8,000.

The Lutheran congregation in Hamilton can trace their origins to 1857, when the curate of Christ's Church, Rev. Theo Heisse conducted services and performed the rites of the church in the German language for a small group of immigrants. A year later, the group was offered the use of the schoolroom of the Congregational Church and Rev. C. Rechenberg from First Lutheran in Toronto came to conduct occasional services. Wishing to have their own place of worship, in 1864 the growing congregation purchased a small brick building to serve as a "kirche" on Market and Bay Streets from lawyer John Holden, naming it St Paul's Lutheran. Steady growth of church membership during the 1870s resulted in the building becoming overcrowded and the site unsuitable for redevelopment; so the need for a new location became necessary.

On obtaining ownership of the Hughson Street Church, the Lutheran congregation transferred the name of their former church and the 1864 date stone to the new location. They undertook alterations to the building, the most notable being the addition of a steeple on the southwest corner tower; however, during the erection, there was a terrible accident, when the contractor lost his life in a fall.

Between the beginnings of the congregation in 1857 and 1920, the German language was used for all the services and rites of the church. Gradually English was introduced and services in both languages were held, but the outbreak of war in 1939 resulted in the exclusive used of English at all main services. This church has always been recognized as a place that welcomed European immigrants to its congregation - between 1889 and 1900, 1920 and 1931 and again following the end of World War II, large numbers of refugees and immigrants from Germany and the Baltic States of

Latvia, Lithuania and Estonia arrived in Hamilton and came to St. Paul's to worship - swelling the congregation to number several thousand by 1953.

As a way of solving the serious accommodation problem, the Synod of the Evangelical Lutheran Church of Canada introduced major changes in 1955 by dissolving Hamilton's two Lutheran churches, St. Paul's Lutheran and Trinity Lutheran on Victoria Avenue. The total membership was reorganized and four new congregations officially created - Grace Lutheran in the west, Faith Lutheran in the east, Transfiguration Lutheran on the Hamilton Mountain and St. Paul's, which was renamed St. John's, to serve the downtown area.

The two church buildings, St. Paul's and Trinity, were put up for sale. Synod directed that the purchase of St Paul's should be offered to the largest ethnic group worshipping at the church, namely the German congregation, while the other English-speaking congregations would build new places of worship, financed from the sale of the two former churches that was expected to raise \$150,000.

Formally dissolved on 29 May 1955, the first worship service in the renamed St. John's Evangelical Lutheran Church was held 5 June 1955. Pastor Philipp Weingartner was installed as minister of the new congregation - having come to Canada with his family and like many of his parishioners, a refugee from Europe,

Reference Material:

St. John's Evangelical Lutheran Church Scrapbook (Hamilton Public Library)

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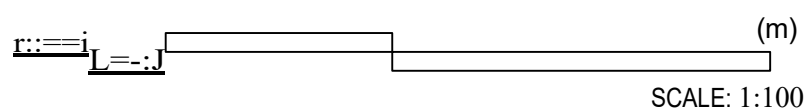
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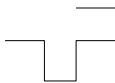
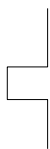
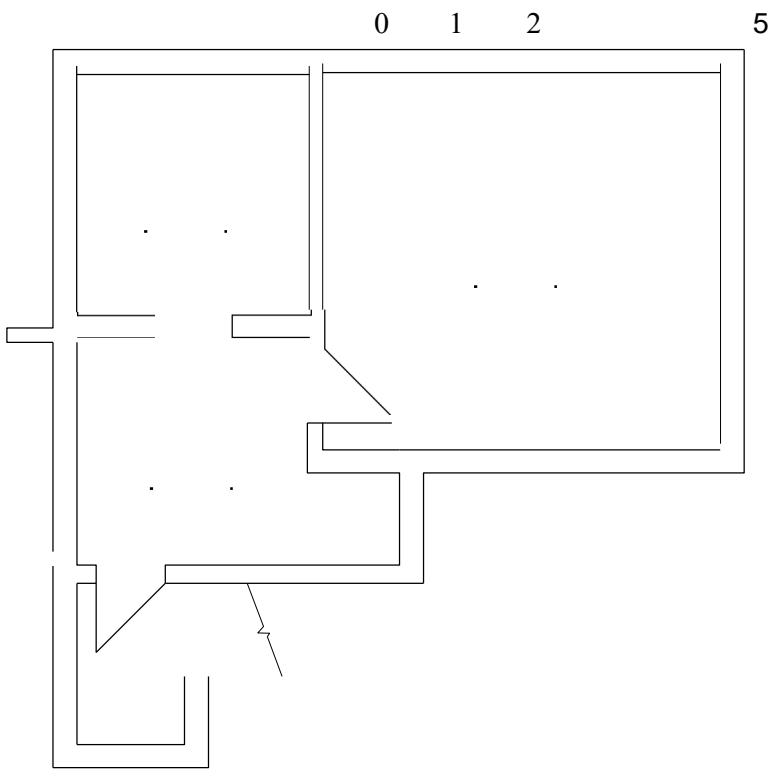
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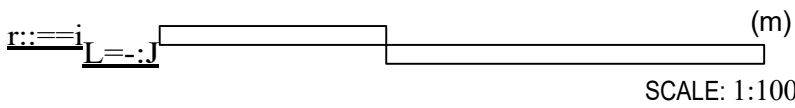


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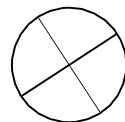
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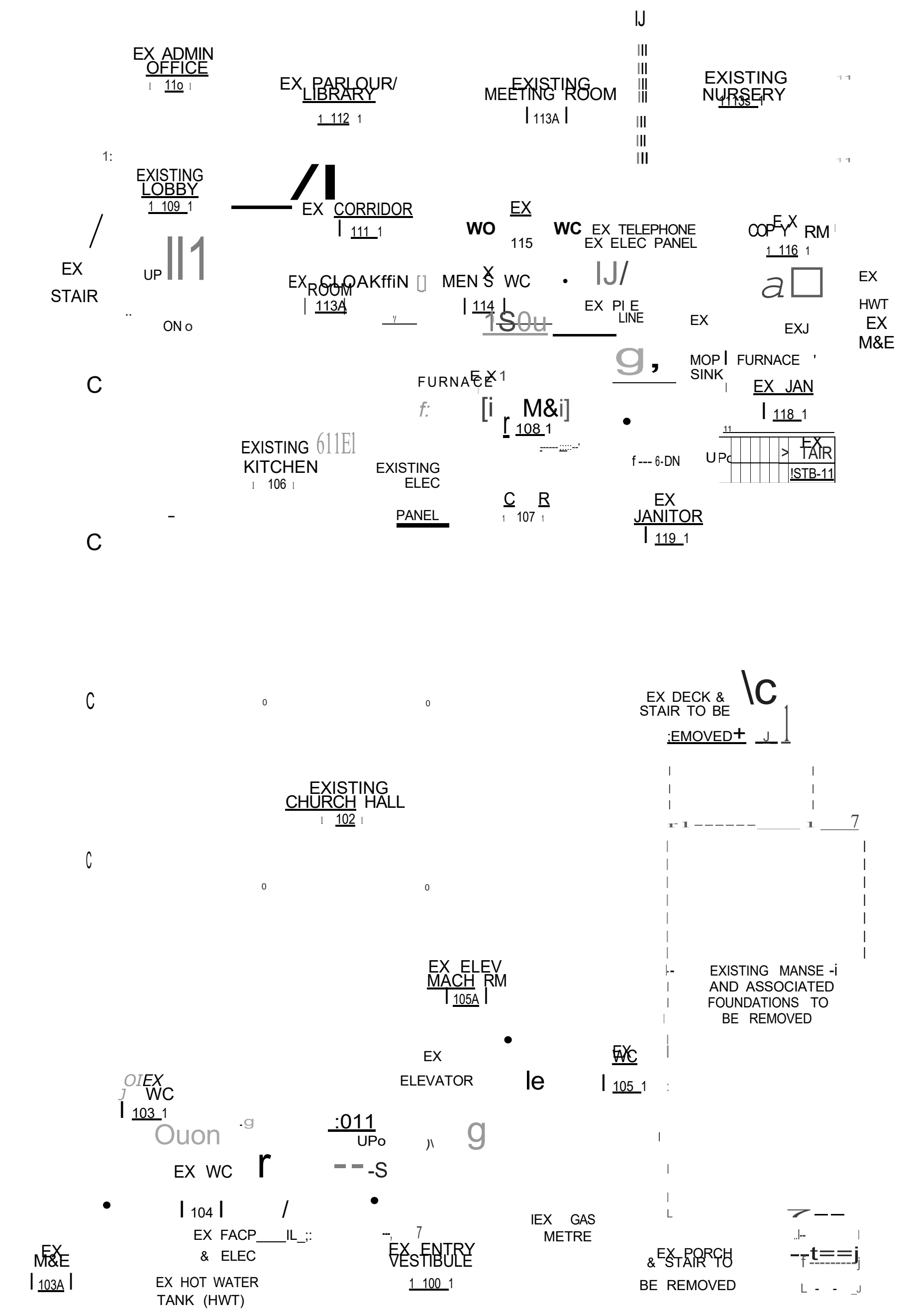
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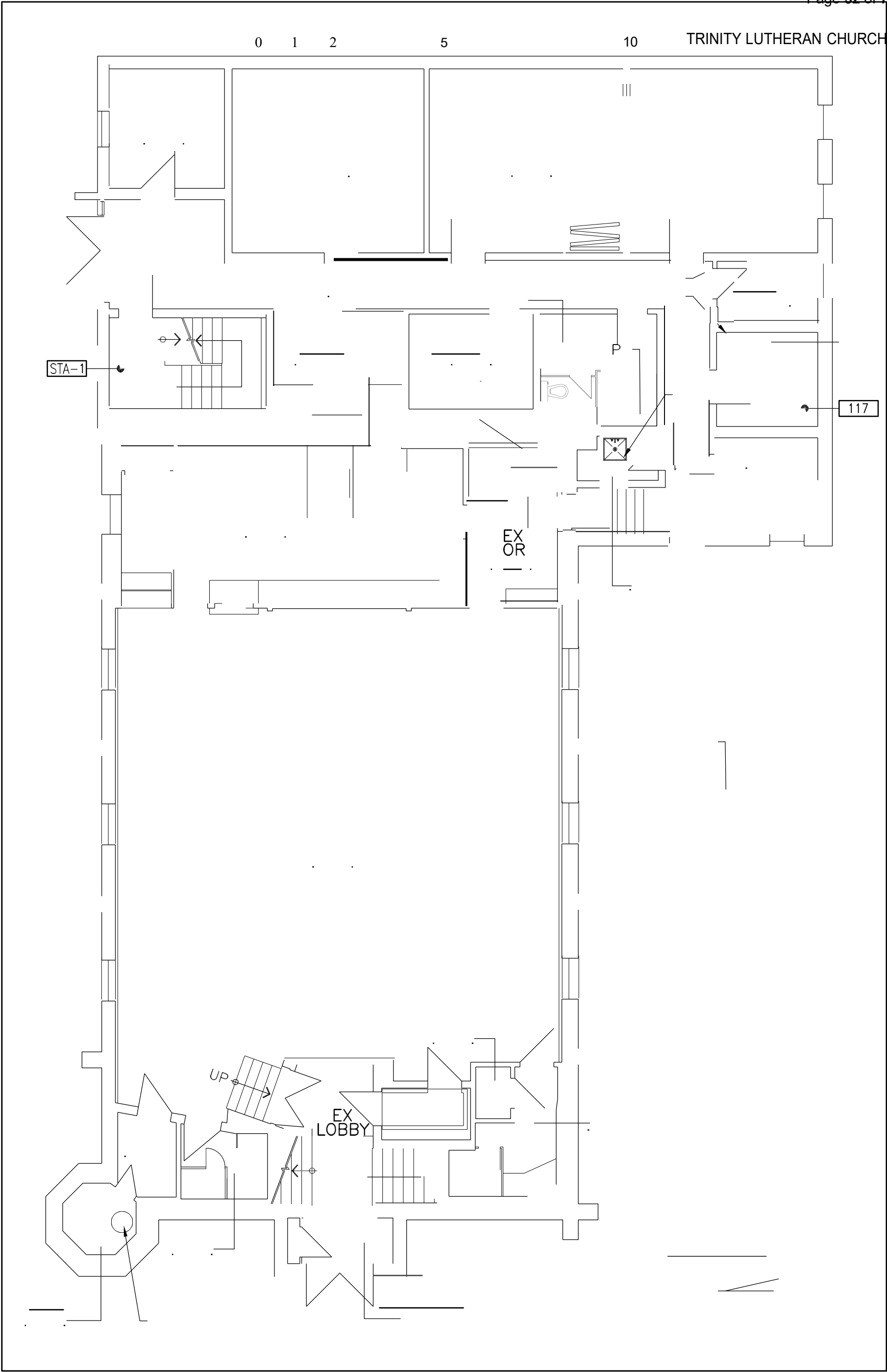


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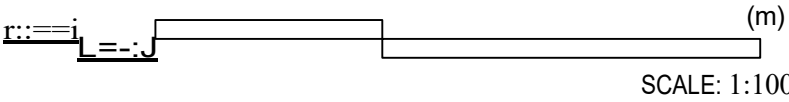


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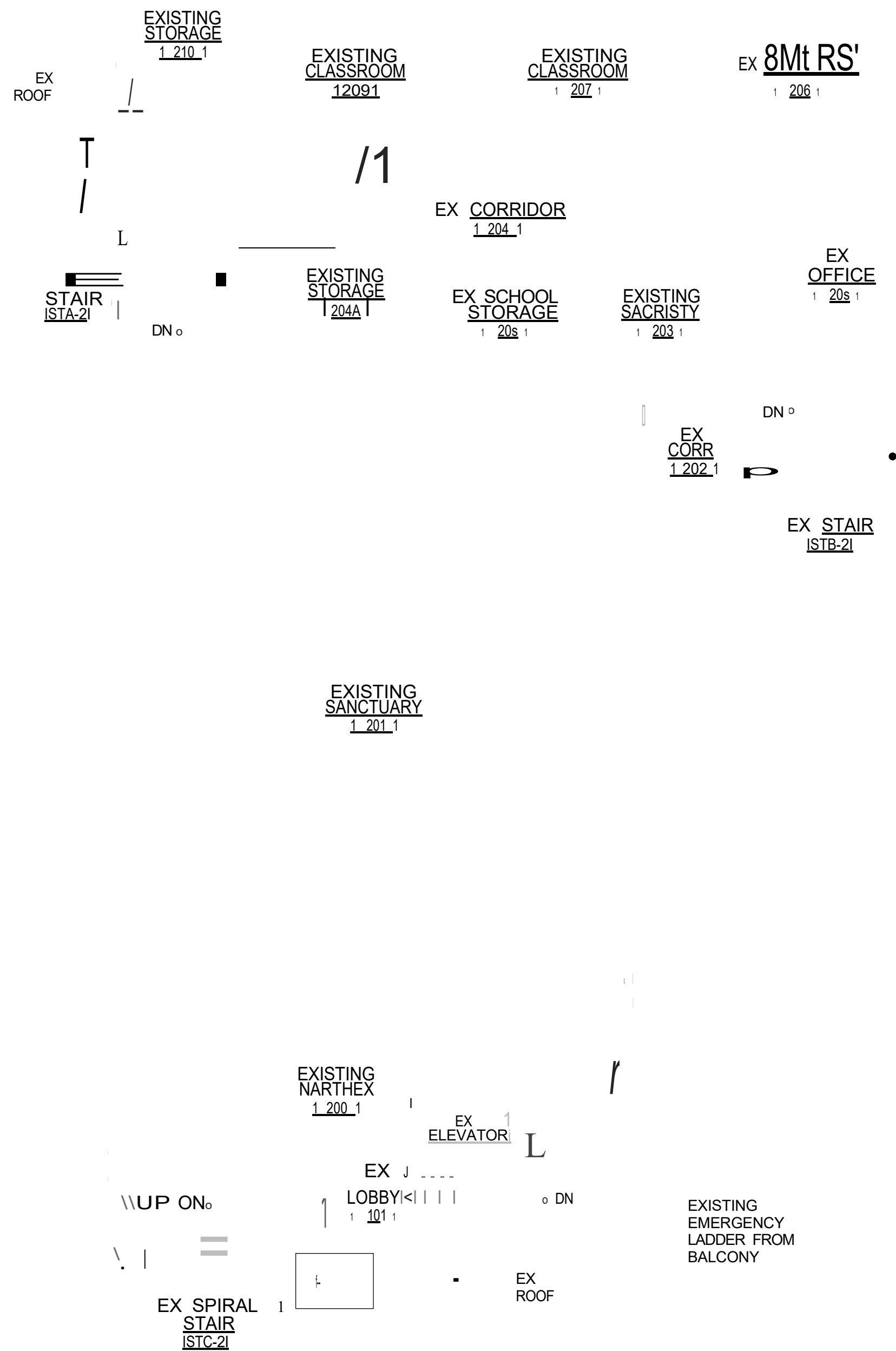


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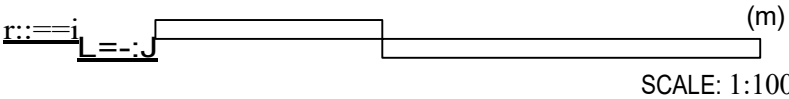
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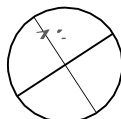
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EXISTING SANCTUARY LEVEL PLAN

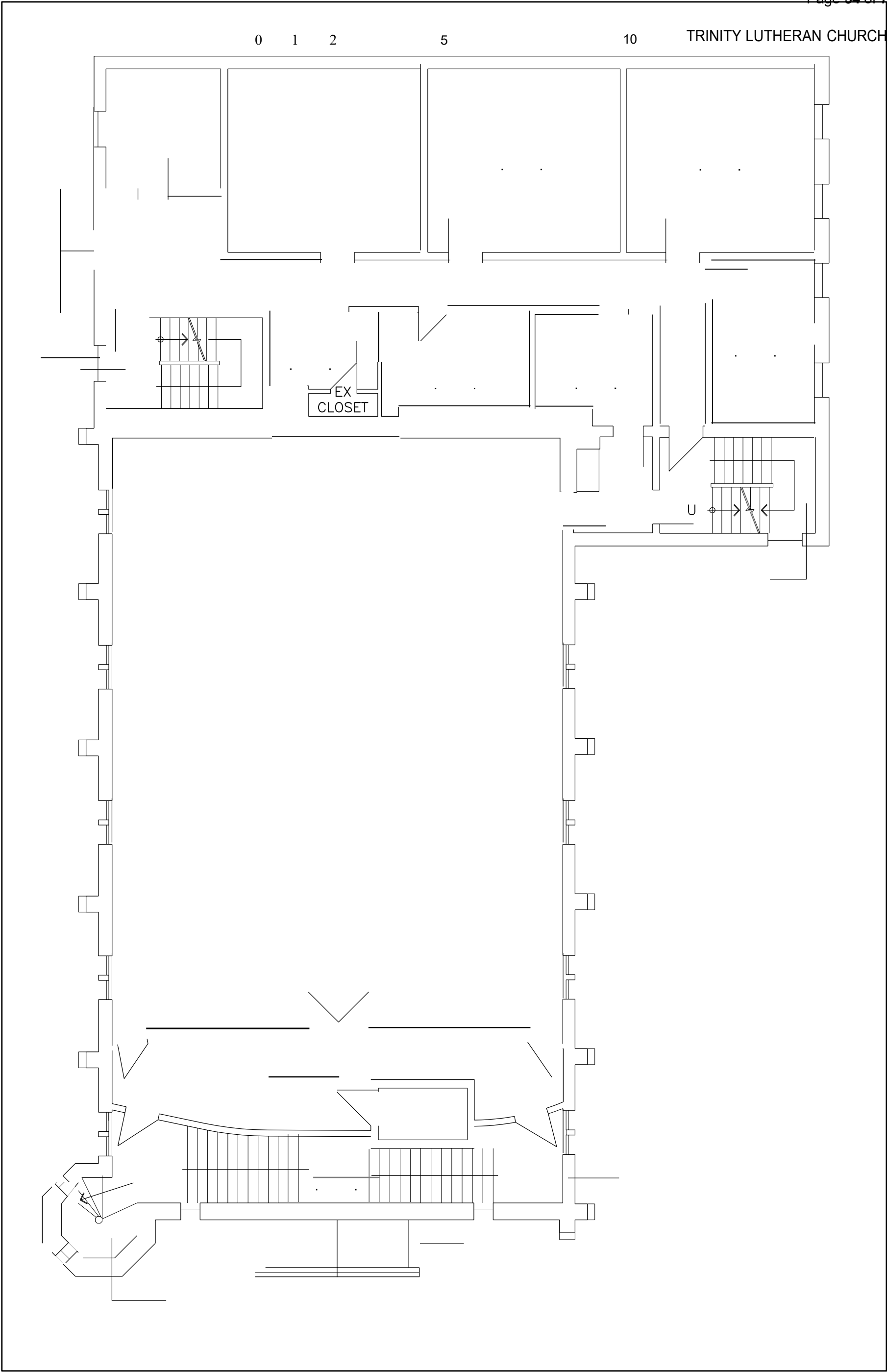


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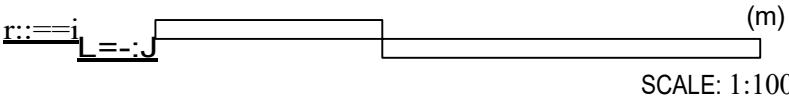
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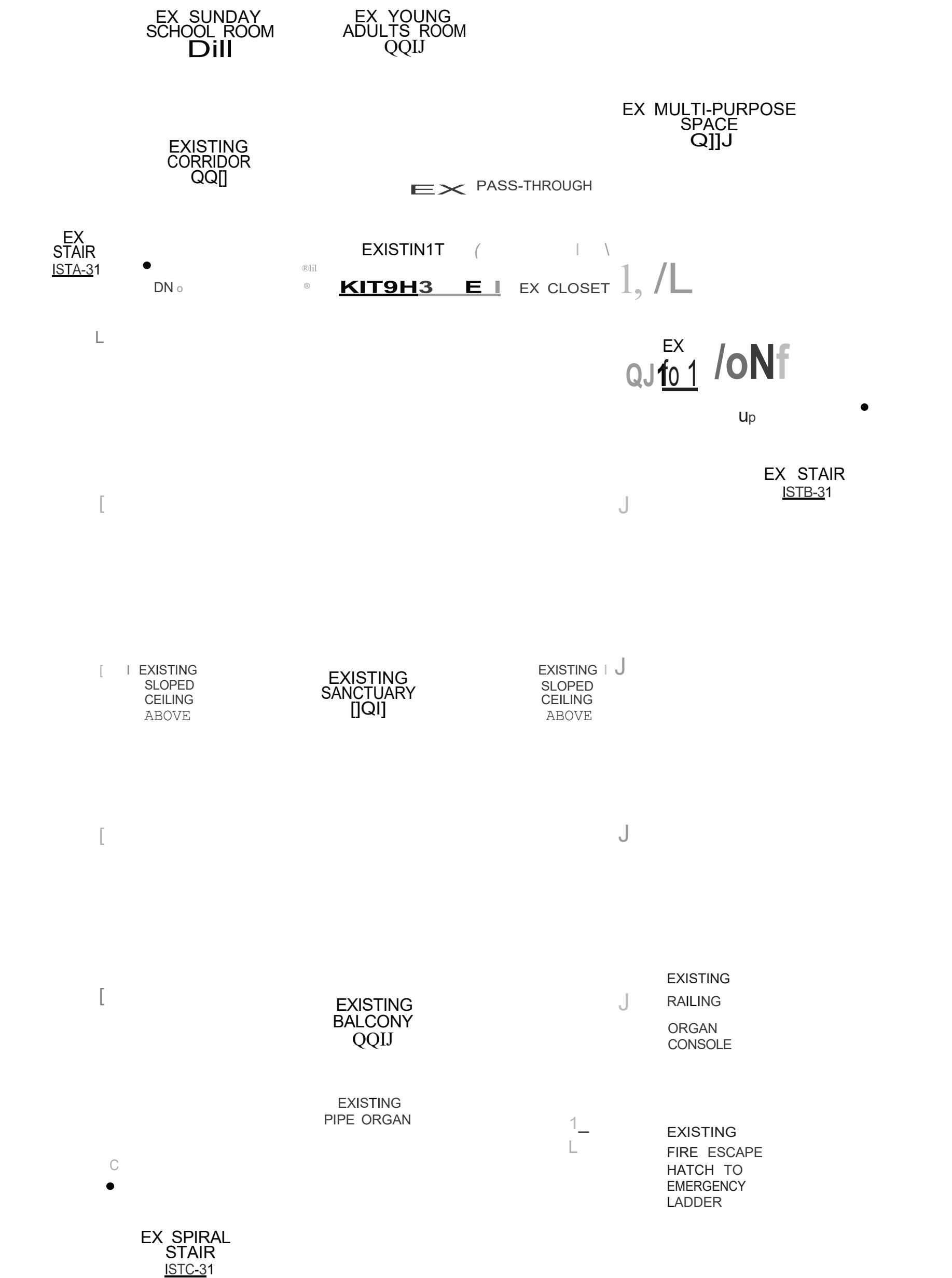
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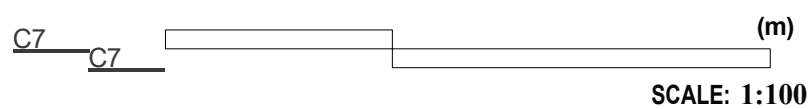



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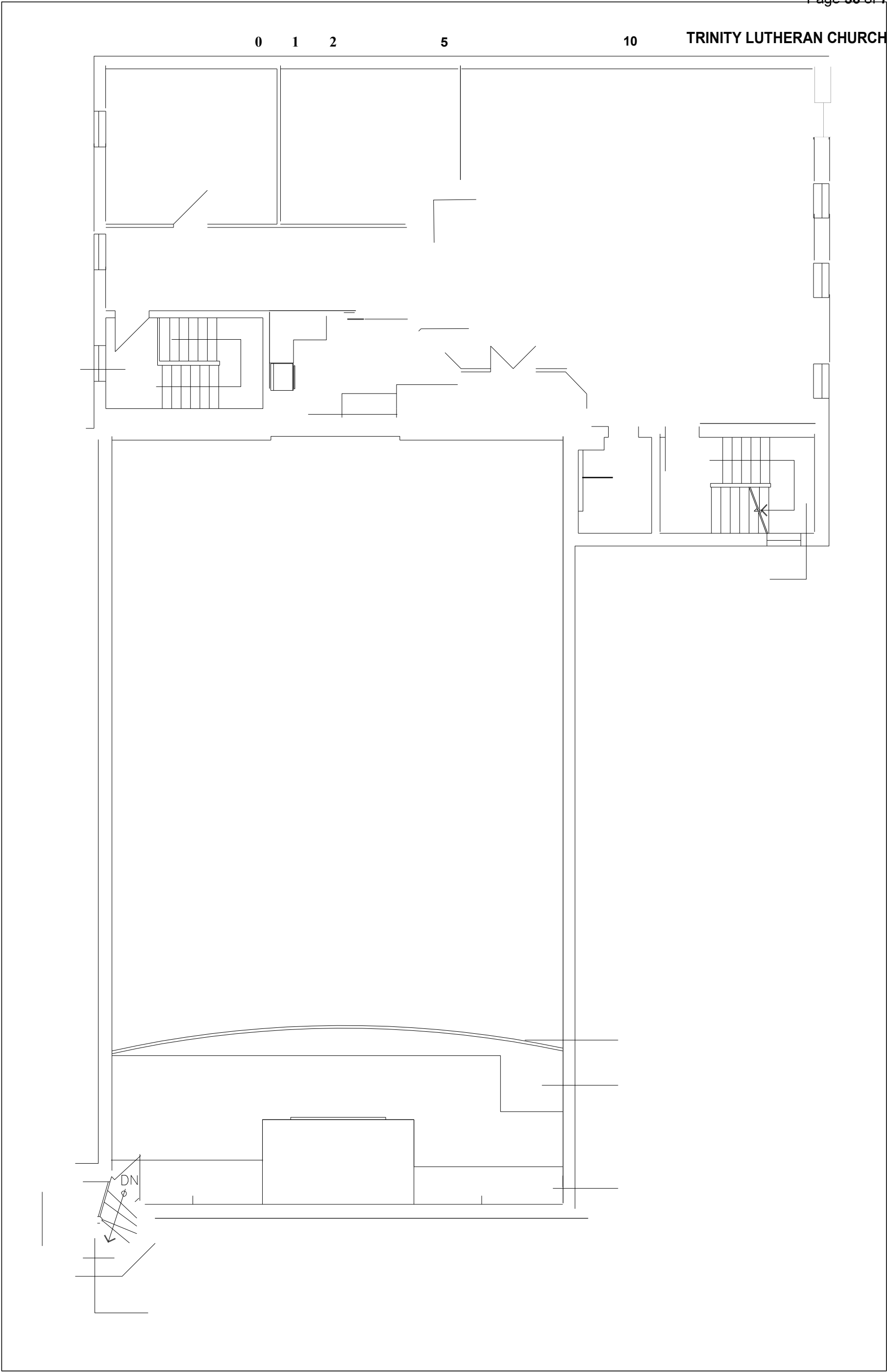
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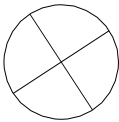
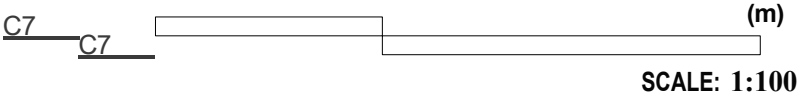


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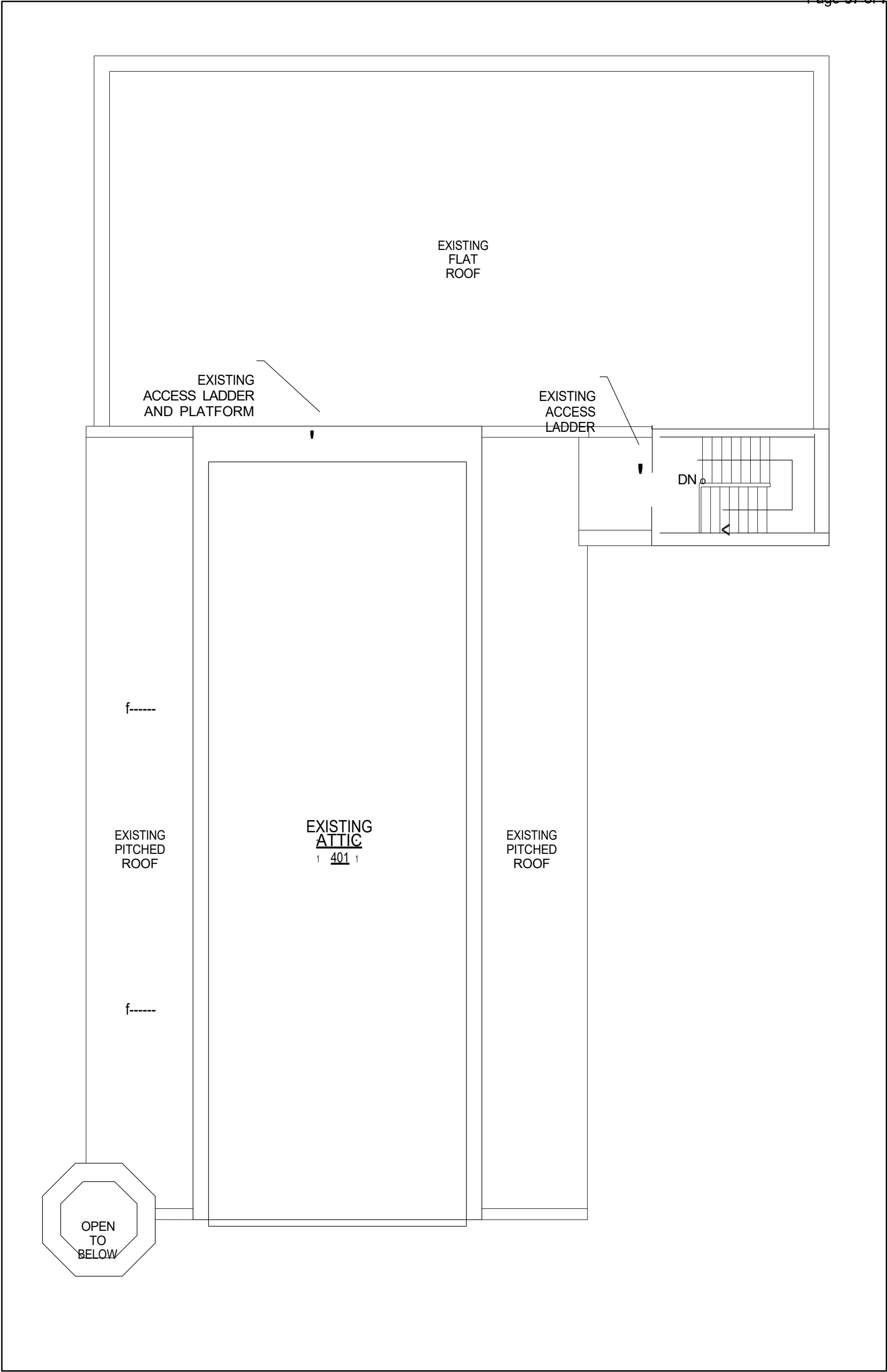
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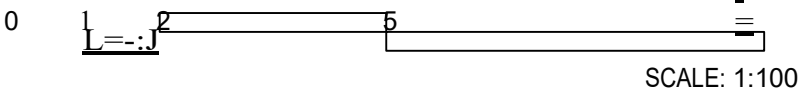
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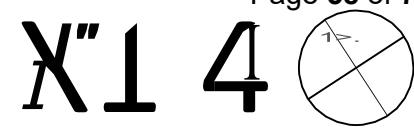


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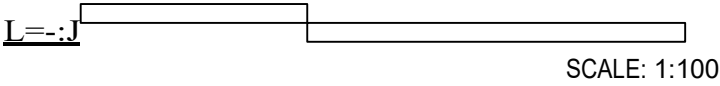
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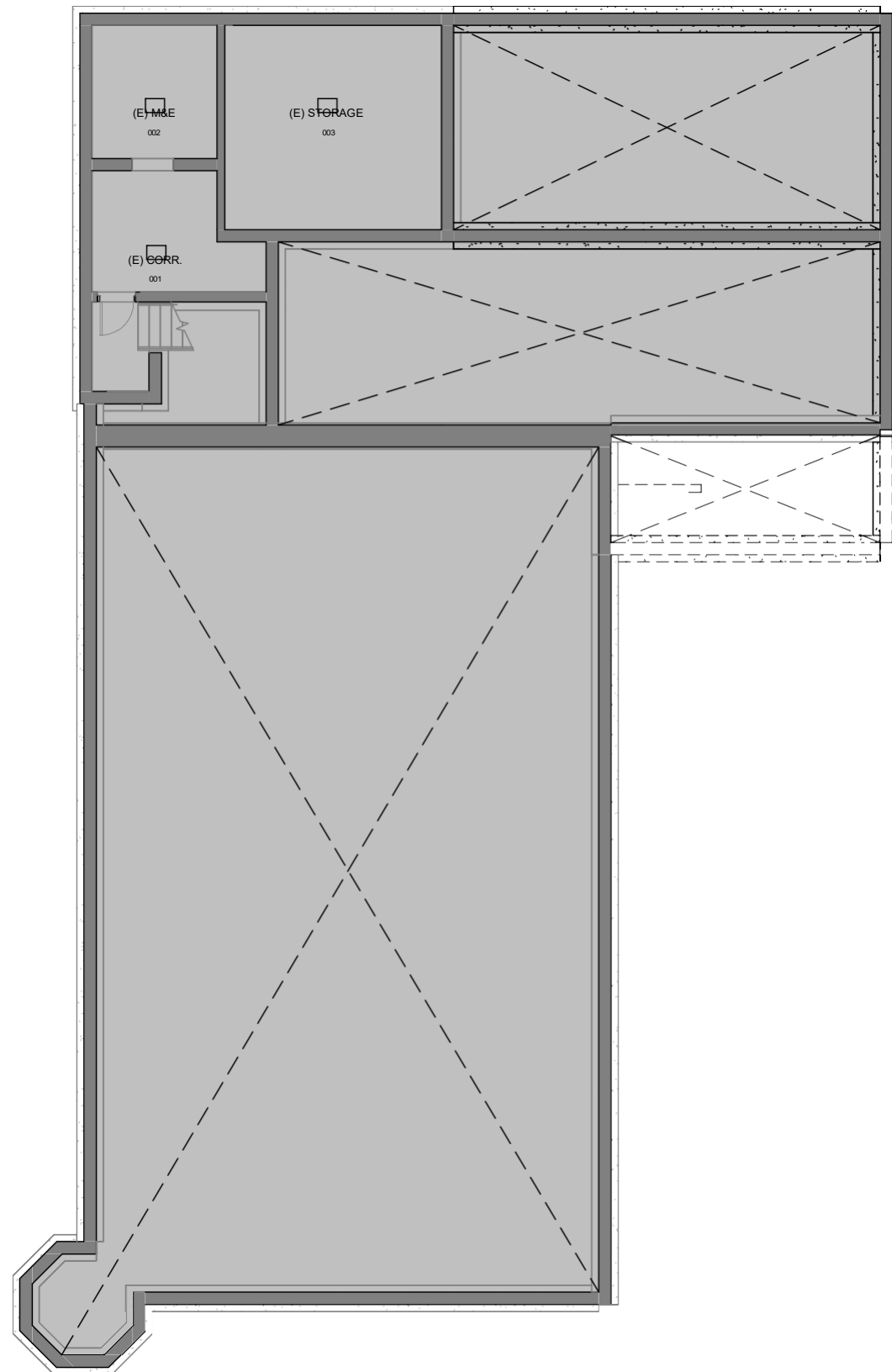




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BASEMENT - DEMOLITION PLAN

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LEGEND:

-  (E) TO DEMOLISH
 (E) WALL TO REMAIN
 (E) DOOR TO DEMOLISH
 (E) DOOR TO REMAIN
 EXTENT OF FLOOR SLAB TO BE DEMOLISHED
 APPROXIMATE EXTENT OF ROOF DECK TO BE DEMOLISHED. REFER TO STRUCTURAL.
 (E) FLOOR TO REMAIN

GENERAL NOTES:

- [illegible]

DEMOLITION NOTES

D-01	(E) WALL TO BE DEMOLISHED (INCLUDING, BUT NOT LIMITED TO ALL SERVICES, FITMENTS, ACCESSORIES, ETC.); PATCH, REPAIR AND MAKE GOOD ALL EXISTING SURFACES TO REMAIN TO ACCEPT NEW CONSTRUCTION AND FINISHES. REFER TO DRAWING FOR DEMOLITION OF STRUCTURAL FRAMING AND SUPPORTS.
D-02	DEMOLITION OF WALL FOR NEW OPENING. COORDINATE W/ NEW ARCHITECTURAL DRAWINGS & STRUCTURAL FOR LINTEL LOCATIONS
D-03	(E) WINDOW, FRAME AND SILL, TO BE DEMOLISHED, IN PLACE TO MATCH
D-04	(E) DOOR & FRAME TO BE DEMOLISHED
D-05	(E) DOOR PANEL TO BE REMOVED AND DISPOSED, MAKE GOOD (E) FRAME TO RECEIVE NEW DOOR PANEL AND HARDWARE.
D-06	(E) PLUMBING FIXTURE TO BE REMOVED, INCLUDING ANY MILLWORK RELATED ITEMS. REFER TO MECH.
D-07	(E) STAIRS, RAILINGS, AND ASSOCIATED ELEMENTS TO BE REMOVED
D-08	(E) FLOOR FINISHES TO BE REMOVED, EXPOSE EXISTING SUBSTRUCTURE. MAKE GOOD (E) TO RECEIVE NEW FINISH PER SPECIFICATIONS
D-09	REMOVE EXISTING WOOD PANELING, MAKE GOOD (E) WALLS TO RECEIVE NEW FINISH
D-10	REMOVE EXISTING STAGE SUBSTRUCTURE, STEPS, AND ASSOCIATED ELEMENTS. MAKE GOOD (E) TO REMAIN
D-11	REMOVE EXISTING STEPPED PLATFORM FLOOR AND STAIRS
D-12	REMOVE EXISTING BRICK VENEER, INSULATION AND ASSOCIATED ELEMENTS TO EXPOSE (E) CONCRETE BLOCKS

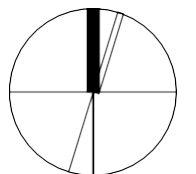


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PROJECT NAME:

TRINITY LUTHERAN
CHURCH

PROJECT ADDRESS:

104 HUGHSON ST N
HAMILTON, ON
L8R 1C6

PROJECT NO.:

24022

DRAWING TITLE:

LEVEL 0 - DEMOLITION PLANS

DRAWN BY:

CD

CHECKED BY:

KR

DATE:

SEPTEMBER 2024

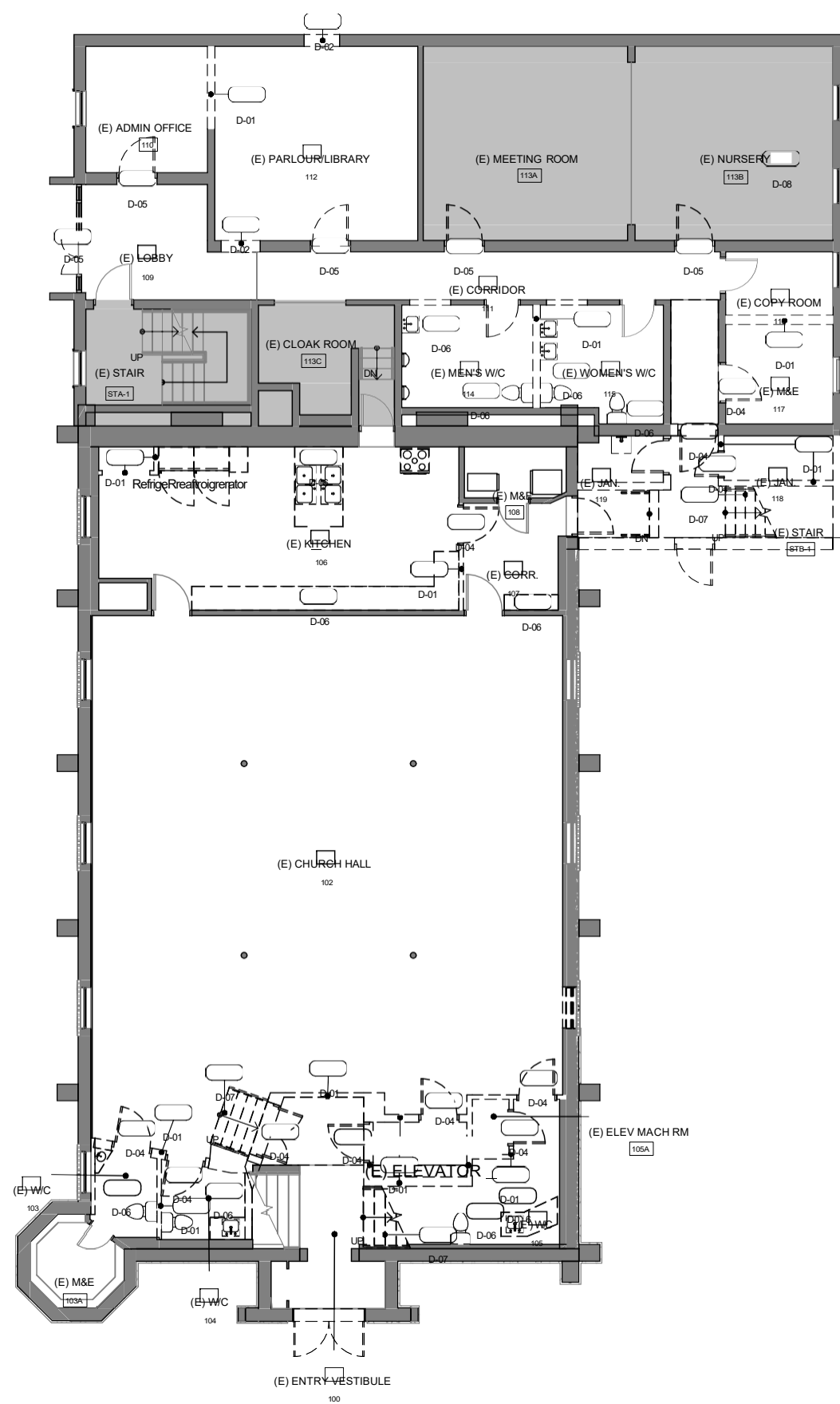
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DRAWING NO.:

A2.00








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GROUND LEVEL - DEMOLITION PLAN

1 - 100 A2.0

LEGEND:

-  (E) TO DEMOLISH
 (E) WALL TO REMAIN
 (E) DOOR TO DEMOLISH
 (E) DOOR TO REMAIN
 EXTENT OF FLOOR SLAB TO BE DEMOLISHED
 APPROXIMATE EXTENT OF ROOF DECK TO BE DEMOLISHED. REFER TO STRUCTURAL.
 (E) FLOOR TO REMAIN

GENERAL NOTES:

1. REFER TO STRUCTURAL FOR ASSOCIATED DEMOLITION.
2. REFER TO MECHANICAL AND ELECTRICAL FOR ASSOCIATED DEMOLITION. COORDINATE WITH MECHANICAL FOR EXTENT OF CHANGES TO (E) PLUMBING, HEATING, VENTILATION AND SPRINKLER SYSTEMS. COORDINATE WITH ELECTRICAL FOR EXTENT OF CHANGES TO (E) LIGHTING, POWER, FIRE ALARM AND DOOR SECURITY SYSTEMS.
3. (E) FLOOR AND ROOF STRUCTURE TO REMAIN. UNLESS NOTED OTHERWISE.
4. WHERE SURFACES ARE DISTURBED DUE TO DEMOLITION OR ALTERATIONS AND NOT REQUIRED TO BE COVERED WITH NEW FINISHES, SUCH SURFACES SHALL BE PATCHED, REPAIRED AND MADE GOOD TO MATCH (E) ADJACENT MATERIALS AND FINISHES.
5. WHERE (E) SURFACES ARE DISTURBED DUE TO DEMOLITION OR ALTERATIONS AND NOT REQUIRED TO BE COVERED WITH NEW FINISHES, SUCH SURFACES SHALL BE PATCHED, REPAIRED AND MADE GOOD TO MATCH (E) ADJACENT MATERIALS AND FINISHES.
6. WHERE (E) SURFACES ARE DISTURBED DUE TO DEMOLITION OR ALTERATIONS AND NOT REQUIRED TO BE COVERED WITH NEW FINISHES, SUCH SURFACES SHALL BE PATCHED, REPAIRED AND MADE GOOD TO MATCH (E) ADJACENT MATERIALS AND FINISHES.
7. PATCH, REPAIR AND MAKE GOOD ALL MATERIALS AND FINISHES WHERE DISTURBED BY DEMOLITION AND ALTERATIONS. REFER TO ALL DOCUMENTS FOR FULL EXTENT OF WORK REQUIRED. NOTE THAT MAKING GOOD INCLUDES WORK ASSOCIATED WITH REMOVAL OF EXISTING CHAIRS AND NEW SERVICES, ETC. (I.E. PLUMBING, HEATING, ELECTRICAL MODIFICATIONS IN THE (E) BUILDING, DEMOLITION OF EXISTING STRUCTS, CONDUCITS, ETC. IN THE (E) BUILDING ETC.).
8. WHERE (E) PARTITIONS / FURRINGS / BUILDING FITMENTS, HOUSEKEEPING PADS, ETC. ARE BEING DEMOLISHED, FILL IN AND LEAVE CHAIRS AND SUBSTRATES TO RECEIVE NEW SPECIFIED MATERIALS AND FINISHES.
9. WHERE (E) FLOORING MATERIALS ARE INDICATED IN SLAB OR ROOF SLAB, DEMOLITION IS TO COMPLETELY DEMOLISH (E) FLOORING TO EXPOSE THE STRUCTURAL FLOOR SLAB. PATCH, REPAIR, FILL HOLES IN SLAB, AND MAKE GOOD (E) FLOOR SLAB TO MATCH (E) FLOORING. REMOVE ALL BULBS, LUMPS IN MATERIALS / FINISHES, OR DEPRESSIONS. (E) FLOOR SLAB TO ACCEPT NEW SPECIFICATIONS AND FLOORING MATERIALS.
10. WHERE NEW CEILING MATERIALS ARE INDICATED ON THE REFLECTED CEILING PLAN OR ROOM FINISH SCHEDULE, COMPLETELY DEMOLISH (E) CEILING MATERIALS, BUILDING MATERIALS, LIGHTING SYSTEMS AND HANGERS, THEN INSTALL A COMPLETE NEW CEILING SYSTEM.
11. WHERE (E) MATERIALS AND REQUIRED TO BE DEMOLISHED FOR REPAIR OR REPLACEMENT, (E) SURFACES FROM DEMOLISH MATERIALS AND MAKE CLEAR AND READY FOR REINSTALLATION.
12. WHERE (E) SERVICES ARE BEING DEMOLISHED AND STRUCTURAL FLOORING IS TO BE EXPOSED, FILL (E) SLAB PENETRATIONS WITH CONCRETE WITH FINE RATING TO MATCH (E) ADJACENT FLOOR SLAB AND PATCH, REPAIR AND DEMOLISH (E) FLOORING TO MATCH (E) ADJACENT LEVEL AND VOID OF WAVES, BUMPS IN MATERIALS/FINISHES, OR DEPRESSIONS. (E) FLOOR MATERIALS NOT TO MATCH TO JOINTS AND FLOOR MANUFACTURERS REQUIREMENTS.
13. NOT ALL DEMOLITION IS SHOWN. CONTRACTORS TO SITE VERIFY AND DOCUMENT (E) CONDITIONS OF EXISTING BUILDING. CONTRACTORS TO REMOVE NON-ESSENTIAL BUILDING ELEMENTS INCLUDING BUT NOT LIMITED TO ABOVE CEILING FRAMING, REMAINING PLASTER/GWB CLINGS, LIGHT FIXTURES, SHAWNS, ETC. AND FLOOR SYSTEMS, BUILDING FITMENTS AND ACCESSORIES.

DEMOLITION NOTES

D-01	(E) WALL TO BE DEMOLISHED (INCLUDING, BUT NOT LIMITED TO ALL SERVICES, FITMENTS, ACCESSORIES, ETC.); PATCH, REPAIR AND MAKE GOOD ALL EXISTING SURFACES TO REMAIN TO ACCEPT NEW CONSTRUCTION AND FINISHES. REFER TO STRUCTURAL FOR DEMOLITION OF STRUCTURAL FRAMING AND SUPPORTS.
D-02	DEMOLITION OF (E) WALL FOR NEW OPENING. COORDINATE W/ NEW ARCHITECTURAL DRAWINGS & STRUCTURAL FOR LINTEL LOCATIONS
D-03	(E) WINDOW, FRAME AND SILL, TO BE DEMOLISHED, FIELD TO MATCH.
D-04	(E) DOOR & FRAME TO BE DEMOLISHED
D-05	(E) DOOR PANEL TO BE REMOVED AND DISPOSED, MAKE GOOD (E) FRAME TO RECEIVE NEW DOOR PANEL AND HARDWARE
D-06	(E) MILLWORK FIXTURES TO BE REMOVED, INCLUDING ALL MILLWORK RELATED ITEMS. REFER TO MECH
D-07	(E) STAIRS, RAILINGS, AND ASSOCIATED ELEMENTS TO BE REMOVED
D-08	(E) FLOOR FINISHES TO BE REMOVED, EXPOSE EXISTING SUBSTRUCTURE TO RECEIVE NEW FINISH PER SPECIFICATIONS
D-09	REMOVE EXISTING WINDOW PANELING, MAKE GOOD (E) WALLS TO RECEIVE NEW FINISH
D-10	REMOVE EXISTING STAGE SUBSTRUCTURE, STEPS, AND ALL ASSOCIATED ELEMENTS. MAKE GOOD (E) TO REMAIN
D-11	REMOVE EXISTING STEPED PLATFORM FLOOR AND STAIRS.
D-12	REMOVE EXISTING BRICK VENEER, INSULATION AND ASSOCIATED ELEMENTS TO EXPOSE (E) CONCRETE BLOCKS

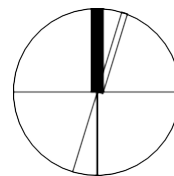



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PROJECT NAME

TRINITY LUTHERAN
CHURCH

PROJECT ADDRESS:

104 HUGHSON ST N
HAMILTON, ON
L8R 1C6

PROJECT NO.:

24022

DRAWING TITLE

LEVEL 1 - DEMOLITION
PLANS

DRAWN BY:

CD

CHECKED BY _____

KD

DATE _____

SEPTMBER 2024

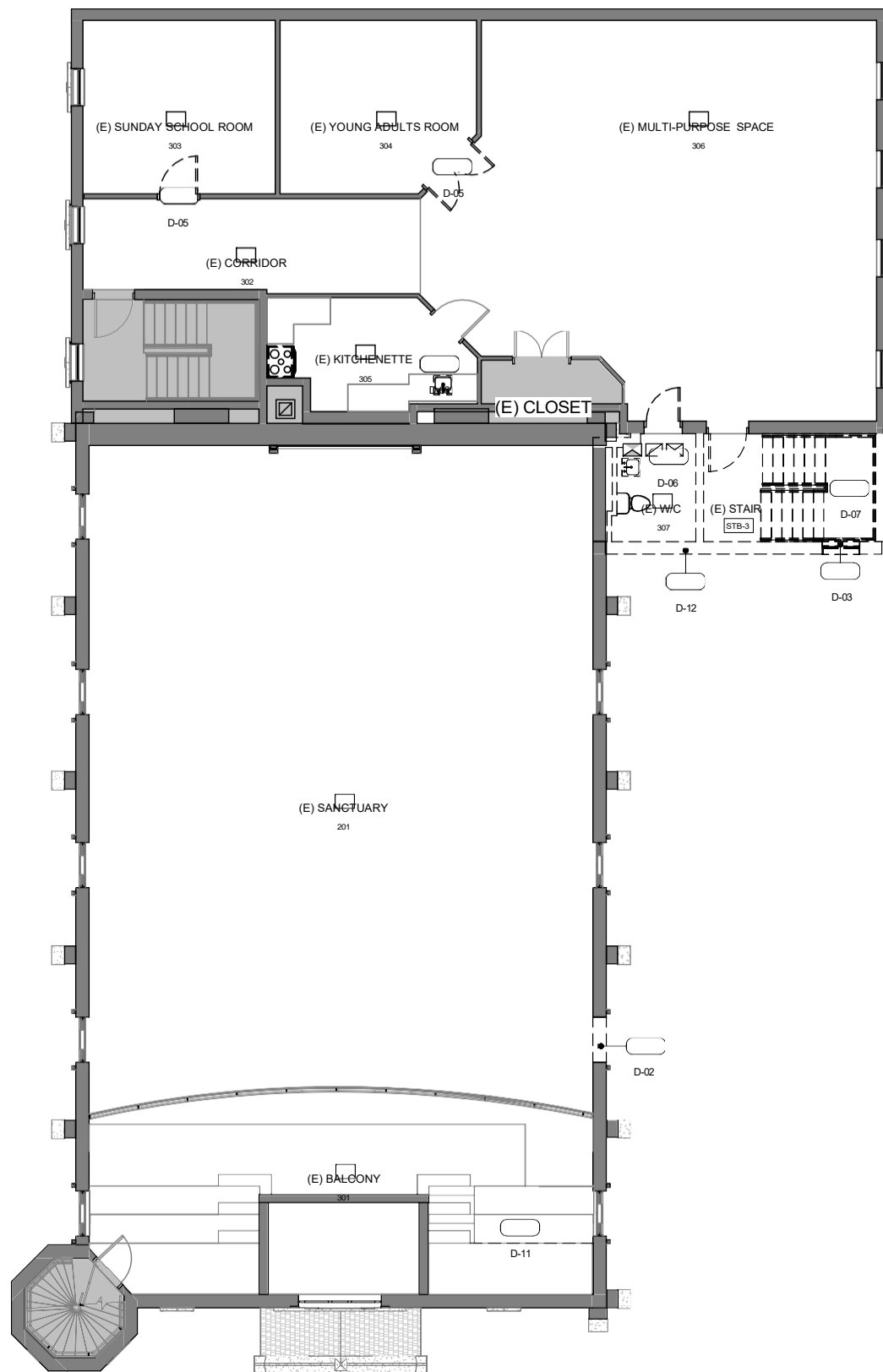
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1 : 100

DRAWING NO.:

A2.01








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LEVEL 3 - DEMOLITION PLAN

1 - 100 A2.03

LEGEND:

-  (E) TO DEMOLISH
 (E) WALL TO REMAIN
 (E) DOOR TO DEMOLISH
 (E) DOOR TO REMAIN
 EXTENT OF FLOOR SLAB TO BE DEMOLISHED
 APPROXIMATE EXTENT OF ROOF DECK TO BE DEMOLISHED. REFER TO STRUCTURAL.
 (E) FLOOR TO REMAIN

GENERAL NOTES:

1. REFER TO STRUCTURAL FOR ASSOCIATED DEMOLITION.
2. REFER TO MECHANICAL AND ELECTRICAL FOR ASSOCIATED DEMOLITION. COORDINATE WITH MECHANICAL FOR EXTENT OF CHANGES TO (E) PLUMBING, HEATING, VENTILATION AND SPRINKLER SYSTEMS. COORDINATE WITH ELECTRICAL FOR EXTENT OF CHANGES TO LIGHTING, POWER, FIRE ALARM AND DOOR SECURITY SYSTEMS.
3. (E) FLOOR AND ROOF STRUCTURE TO REMAIN. UNLESS NOTED OTHERWISE.
4. WHERE (E) SURFACES ARE DISTURBED DUE TO DEMOLITION OR ALTERATIONS AND NOT REQUIRED TO BE COVERED WITH NEW FINISHES, SUCH SURFACES SHALL BE PATCHED, REPAIRED AND MADE GOOD TO MATCH (E) ADJACENT MATERIALS AND FINISHES.
5. WHERE (E) SURFACES ARE DISTURBED DUE TO DEMOLITION OR ALTERATIONS AND NOT REQUIRED TO BE COVERED WITH NEW FINISHES, SUCH SURFACES SHALL BE PATCHED, REPAIRED AND MADE GOOD TO MATCH (E) ADJACENT MATERIALS AND FINISHES.
6. WHERE (E) SURFACES ARE DISTURBED DUE TO DEMOLITION OR ALTERATIONS AND NOT REQUIRED TO BE COVERED WITH NEW FINISHES, SUCH SURFACES SHALL BE PATCHED, REPAIRED AND MADE GOOD TO MATCH (E) ADJACENT MATERIALS AND FINISHES.
7. PATCH, REPAIR AND MAKE GOOD ALL MATERIALS AND FINISHES WHERE DISTURBED BY DEMOLITION AND ALTERATIONS. REFER TO ALL DOCUMENTS FOR FULL EXTENT OF WORK REQUIRED. NOTE THAT MAXIMUM GROUND INCLUDES WORK ASSOCIATED WITH REMOVAL OF ALL NON-INDICATED NEW SERVICES, ETC. (I.E. PLUMBING, HEATING, ELECTRICAL MODIFICATIONS IN THE (E) BUILDING, INSULATION OF ALL STRUCTS, CONDUITS, ETC. IN THE (E) BUILDING ETC.)
8. WHERE (E) PARTITIONS / FURRINGS / BUILDING FITMENTS, HOUSEKEEPING PADS, ETC. ARE BEING DEMOLISHED, PATCH, REPAIR AND MAKE GOOD SUBSTRATES TO RECEIVE NEW SPECIFIED MATERIALS AND FINISHES.
9. WHERE (E) FLOORING MATERIALS ARE INDICATED IN THE (E) FLOOR AND ROOF SLAB TO BE COMPLETELY DEMOLISH (E) FLOORING TO EXPOSE THE STRUCTURAL FLOOR SLAB. PATCH, REPAIR, FILL HOLES IN SLAB, AND MAKE GOOD (E) FLOOR SLAB TO ACCEPT NEW FLOORING MATERIALS AND FINISHES. (E) FLOOR SLAB TO ACCEPT NEW SPECIFICATIONS AND MATERIALS AND FINISHES.
10. WHERE NEW CEILING MATERIALS ARE INDICATED ON THE REFLECTED CEILING PLANS OR ROOM FINISH SCHEDULE, COMPLETELY DEMOLISH (E) CEILING SYSTEMS, INCLUDING BUILDING MATERIALS, JOINT SYSTEMS AND HANGERS, THEN INSTALL A COMPLETE NEW CEILING SYSTEM.
11. WHERE (E) MATERIALS AND REQUIRED TO BE PATCHED, REPAIR AND MAKE GOOD TO MATCH (E) SURFACES FROM DEMOLISH MATERIALS AND MAKE CLEAN AND READY FOR REINSTALLATION.
12. WHERE (E) SERVICES ARE BEING DEMOLISHED AND (E) STRUCTURAL SLAB, PATCH, REPAIR, FILL EXPOSED FILL (E) SLAB PENETRATIONS WITH CONCRETE WITH FINE RATING TO MATCH (E) ADJACENT FLOOR SLAB AND PATCH, REPAIR AND MAKE GOOD FLOORING MATERIALS TO MATCH THE LEVEL AND VOID OF WAVES, BUMPS IN MATERIALS/FINISHES, OR DEPRESSIONS. (E) FLOOR SLAB TO ACCEPT NEW SPECIFICATIONS AND MATERIALS/FINISHES AND FINISHES AND FLOOR MANUFACTURERS REQUIREMENTS.
13. NOT ALL DEMOLITION IS SHOWN. CONTRACTORS TO SITE VERIFY AND DOCUMENT (E) CONDITIONS AND MATERIALS TO BE DEMOLISHED. DEMOLITION OF NON-ESSENTIAL BUILDING ELEMENTS INCLUDING BUT NOT LIMITED TO ABOVE CEILING FRAMING, REMAINING PLASTER/GWB CEILINGS, LIGHT FIXTURES, PARTITIONS AND ELEMENTS, FLOORING, BUILDING FITMENTS AND ACCESSORIES.

DEMOLITION NOTES

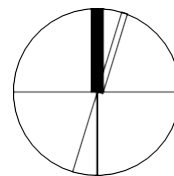
D-01	(E) WALL TO BE DEMOLISHED (INCLUDING, BUT NOT LIMITED TO ALL SERVICES, FITMENTS, ACCESSORIES, ETC.). PATCH, REPAIR AND MAKE GOOD ALL EXISTING SURFACES TO REMAIN TO ACCEPT NEW CONSTRUCTION AND FINISHES. REFER TO STRUCTURAL FOR DEMOLITION OF STRUCTURAL FRAMING AND SUPPORTS.
D-02	(E) REMOVAL OF (E) WALL FOR NEW OPENING. COORDINATE W/ NEW ARCHITECTURAL DRAWINGS & STRUCTURAL FOR LINTEL LOCATIONS
D-03	(E) WINDOW, FRAME AND SILL TO BE DEMOLISHED, IN ACCORD TO MATCH
D-04	(E) DOOR & FRAME TO BE DEMOLISHED
D-05	(E) DOOR PANEL TO BE REMOVED AND DISPOSED. MAKE GOOD (E) FRAME TO RECEIVE NEW DOOR PANEL AND HARDWARE
D-06	(E) PLUMBING FIXTURES TO BE REMOVED, INCLUDING ANY MISC. RELATED ITEMS. REFER TO MECH
D-07	(E) STAIRS, RAILINGS, AND ASSOCIATED ELEMENTS TO BE REMOVED.
D-08	(E) FLOOR FINISHES TO BE REMOVED. EXPOSE EXISTING SUBSTRUCTURE TO RECEIVE NEW FINISH PER SPECIFICATIONS
D-09	REMOVE EXISTING WOOD PANELING, MAKE GOOD (E) WALLS TO RECEIVE NEW FINISH
D-10	REMOVE EXISTING STAGE SUBSTRUCTURE, STEPS, ANY ASSOCIATED ELEMENTS. MAKE GOOD (E) TO REMAIN
D-11	REMOVE EXISTING STEPPED PLATFORM FLOOR AND STAIRS.
D-12	REMOVE EXISTING BRICK VENEER, INSULATION AND ASSOCIATED ELEMENTS TO EXPOSE (E) CONCRETE BLOCKS



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PROJECT NAME

TRINITY LUTHERAN
CHURCH

PROJECT ADDRESS:

104 HUGHSON ST N
HAMILTON, ON
L8R 1C6

PROJECT NO.:

24022

DRAWING TITLE

LEVEL 3 - DEMOLITION PLANS

DRAWN BY:

CD

CHECKED BY _____

KR

DATE: _____

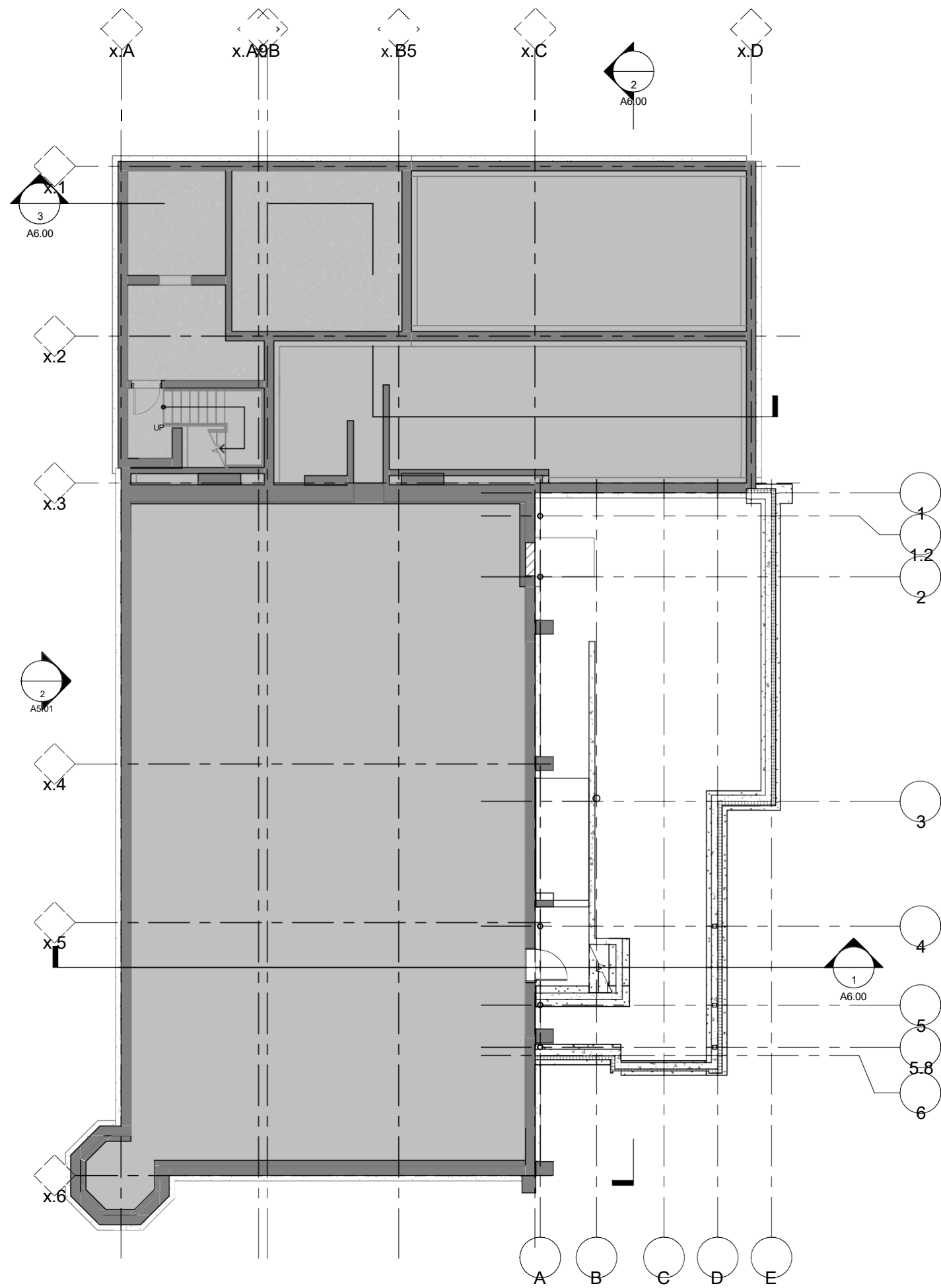
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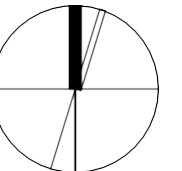
1. FIRE RATED WALLS
ASSEMBLIES ARE TO BE CONSTRUCTED AS CONTINUOUS FIRE SEPARATIONS AND TO BE TERMINATED AT INTERSECTION WITH ANOTHER FIRE SEPARATION OR A RATED MATERIAL. ALL PENETRATIONS TO BE SEALED W/ FIRE STOP SEALANT AS REQUIRED.
2. REFER TO LIFE SAFETY DRAWING FOR LOCATION OF FIRE SEPARATIONS. ALL OPENINGS WITHIN A RATED ASSEMBLY ARE TO BE RATED OR PROTECTED OPENINGS.
3. FOR NON-BARRIER FREE UNITS, REFER TO DETAIL 4/A311 FOR STUD WALL REINFORCEMENT DETAILS REQUIRED BY OBC 3.3.4.9.

NOTES



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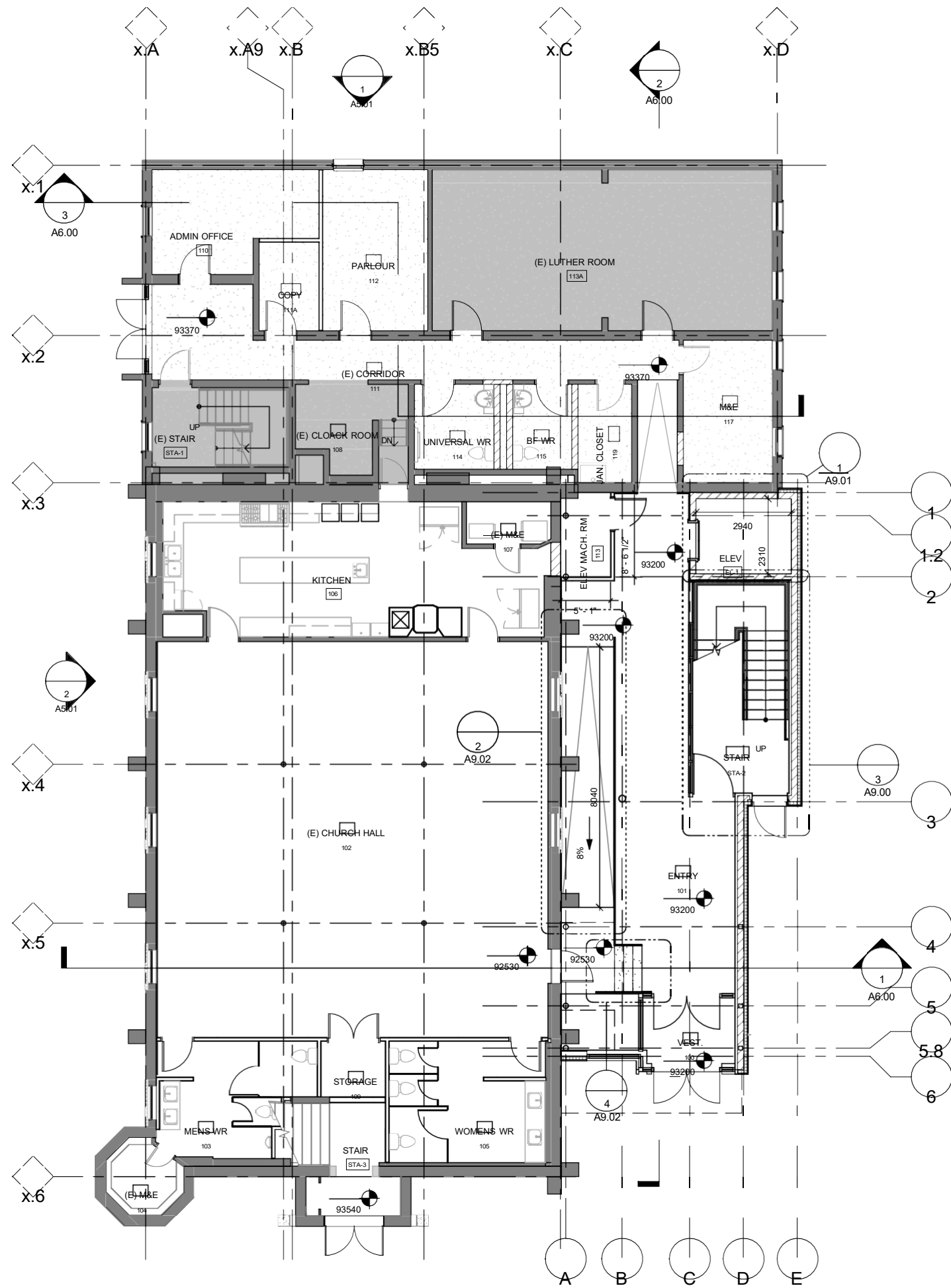
PROJECT NAME:	
TRINITY LUTHERAN CHURCH	
PROJECT ADDRESS:	
104 HUGHSON ST N HAMILTON, ON L8R 1C6	
PROJECT NO.:	
24022	
DRAWING TITLE:	
LEVEL 0 - FLOOR PLANS	
DRAWN BY:	SB
CHECKED BY:	KB
DATE:	SEPTEMBER 2024
SCALE:	1 : 100
DRAWING NO.:	

A3.00

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BASEMENT - FLOOR PLAN

1 : 100 A3.00



GROUND - FLOOR PLAN

1 · 100 A3.01

GENERAL NOTES:

1. FIRE RATED WALLS
ASSEMBLIES ARE TO BE CONSTRUCTED AS CONTINUOUS FIRE SEPARATIONS AND TO BE TERMINATED AT INTERSECTION WITH ANOTHER FIRE SEPARATION OR A RATED MATERIAL. ALL PENETRATIONS TO BE SEALED W/FIRE STOP SEALANT AS REQUIRED.
2. REFER TO LIFE SAFETY DRAWING FOR LOCATION OF FIRE SEPARATIONS. ALL OPENINGS WITHIN A RATED ASSEMBLY ARE TO BE RATED OR PROTECTED OPENINGS.
3. FOR NON-BARRIER FIRE UNITS, REFER TO DETAIL 4/A311 FOR STUD WALL REINFORCEMENT DETAILS REQUIRED BY OBC 3.3.4.9.

NOTES

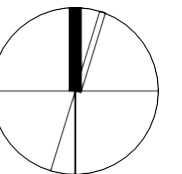
— LINE DENOTES APARTMENT
COMPARTMENTALIZATION AIR
CONTROL LAYER.



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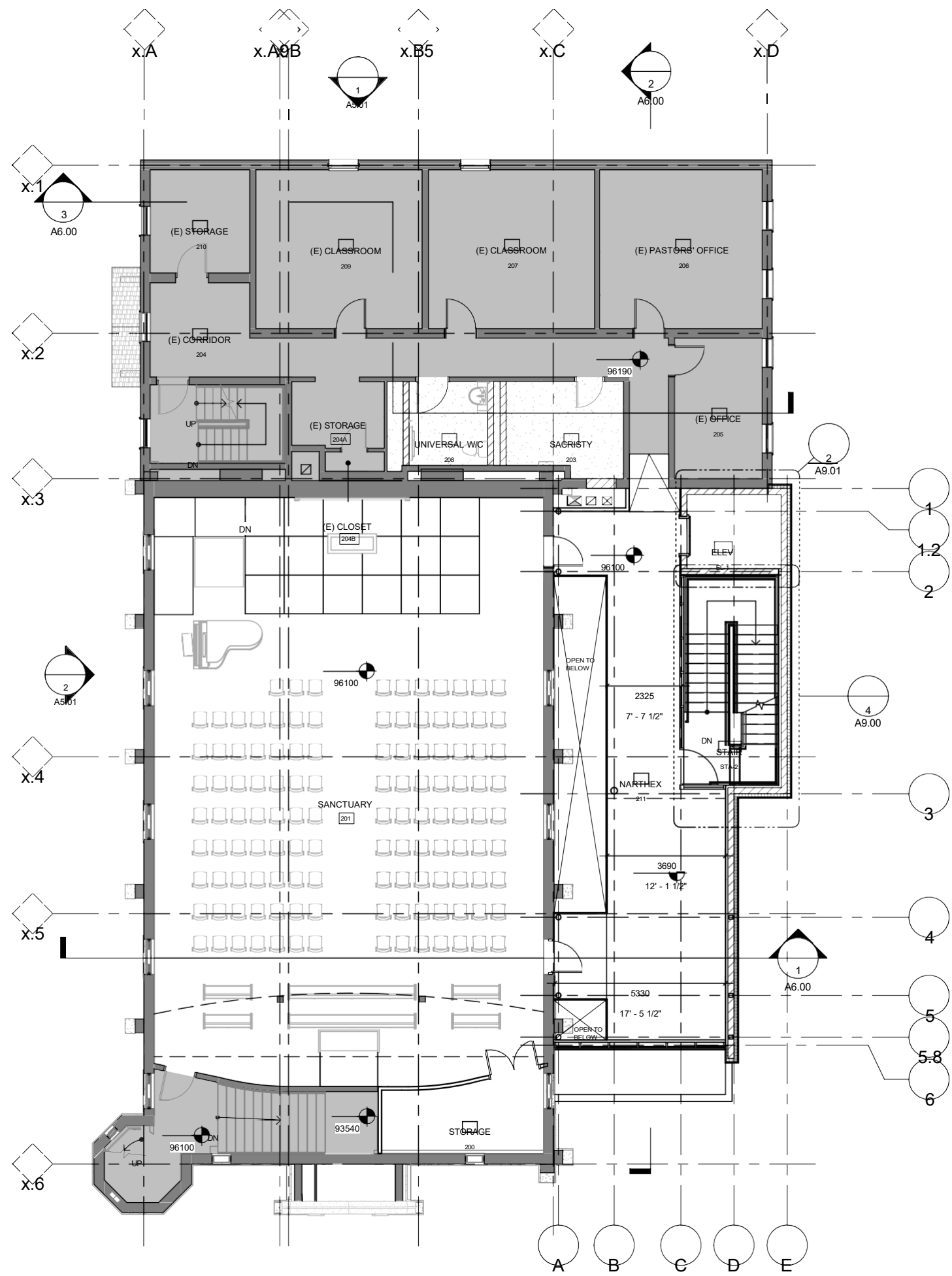
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PROJECT NAME	
TRINITY LUTHERAN CHURCH	
PROJECT ADDRESS	
104 HUGHSON ST N HAMILTON, ON L8R 1C6	
PROJECT NO.:	
24022	
DRAWING TITLE:	
LEVEL 1 - FLOOR PLANS	
DRAWN BY:	
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DATE:	
SEPTEMBER 2024	
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GENERAL NOTES:

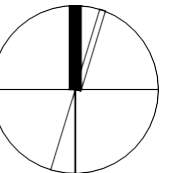
1. FIRE RATED WALLS
ASSEMBLIES ARE TO BE CONSTRUCTED AS CONTINUOUS FIRE SEPARATIONS AND TO BE TERMINATED AT INTERSECTION WITH ANOTHER FIRE SEPARATION OR A RATED MATERIAL. ALL PENETRATIONS TO BE SEALED W/ FIRE STOP SEALANT AS REQUIRED.
2. REFER TO LIFE SAFETY DRAWING FOR LOCATION OF FIRE SEPARATIONS. ALL OPENINGS WITHIN A RATED ASSEMBLY ARE TO BE RATED OR PROTECTED OPENINGS.
3. FOR NON-BARRIER FREE UNITS, REFER TO DETAIL 4/A311 FOR STUD WALL REINFORCEMENT DETAILS REQUIRED BY OBC 3.3.4.9.

NOTES



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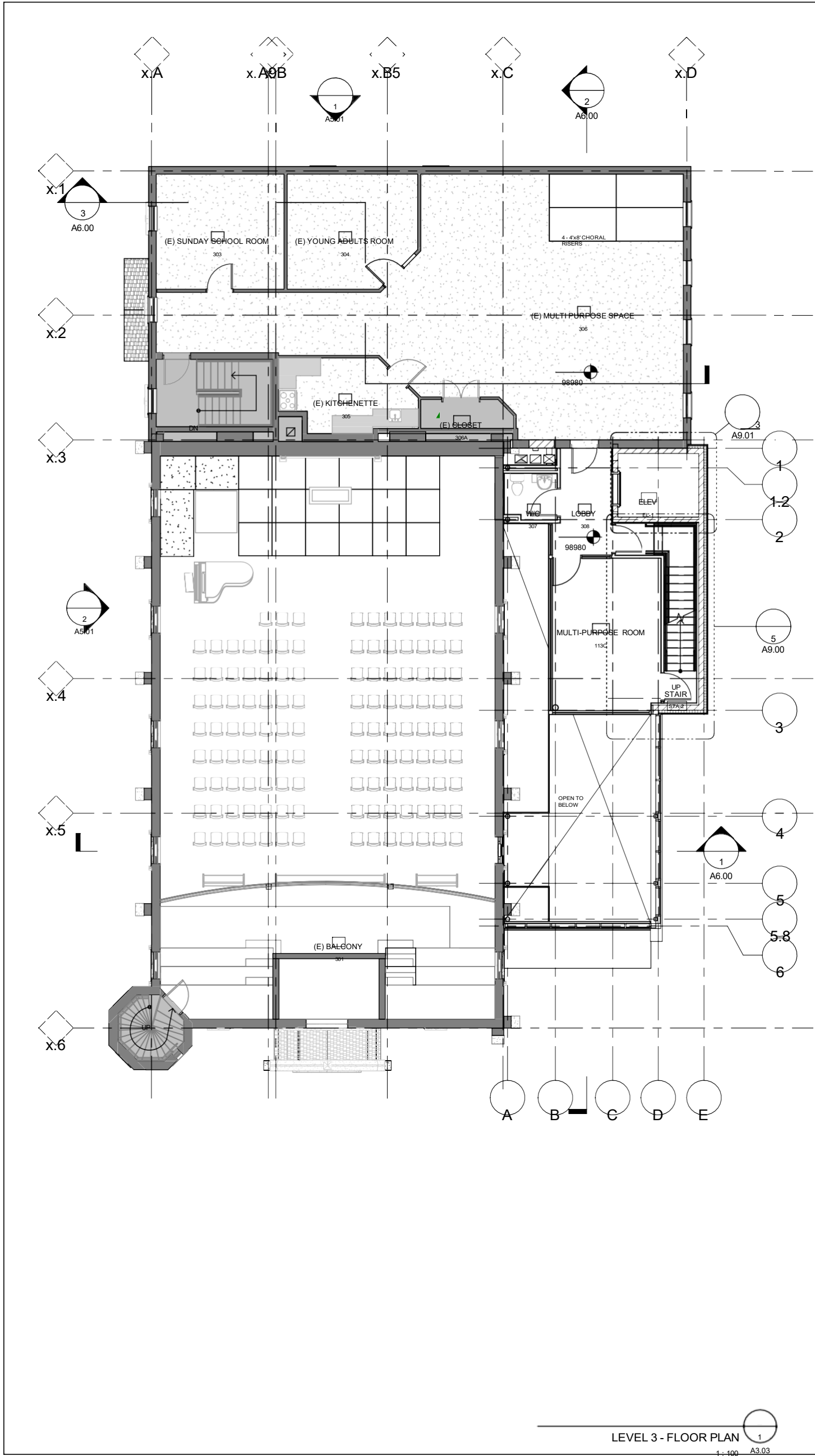
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PROJECT NAME:	
TRINITY LUTHERAN CHURCH	
PROJECT ADDRESS:	
104 HUGHSON ST N HAMILTON, ON L8R 1C6	
PROJECT NO.:	
24022	
DRAWING TITLE:	
LEVEL 2 - FLOOR PLANS	
DRAWN BY:	SB
CHECKED BY:	KB
DATE:	SEPTEMBER 2024
SCALE:	1 : 100
DRAWING NO.:	

A3.02

PLOTTED: 22/11/2024 4:55:07 PM



GENERAL NOTES:

1. FIRE RATED WALLS ASSEMBLIES ARE TO BE CONSTRUCTED AS CONTINUOUS FIRE SEPARATIONS AND TO BE TERMINATED AT INTERSECTION WITH ANOTHER FIRE SEPARATION OR A RATED MATERIAL. ALL PENETRATIONS TO BE SEALED W/FIRE STOP SEALANT AS REQUIRED.
2. REFER TO LIFE SAFETY DRAWING FOR LOCATION OF FIRE SEPARATIONS. ALL OPENINGS WITHIN A RATED ASSEMBLY ARE TO BE RATED OR PROTECTED OPENINGS.
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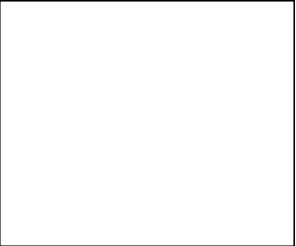
— LINE DENOTES APARTMENT COMPARTMENTALIZATION AIR CONTROL LAYER.

NOTES

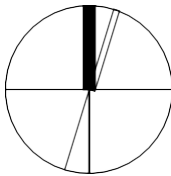


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REV.	DESCRIPTION	DATE



PROJECT NORTH
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PROJECT NAME:

TRINITY LUTHERAN
CHURCH

PROJECT ADDRESS:

104 HUGHSON ST N
HAMILTON, ON
L8R 1C6

PROJECT NO.:

24022

DRAWING TITLE:

LEVEL 3 - FLOOR PLANS

DRAWN BY:

SB

CHECKED BY:

KB

DATE:

SEPTEMBER 2024

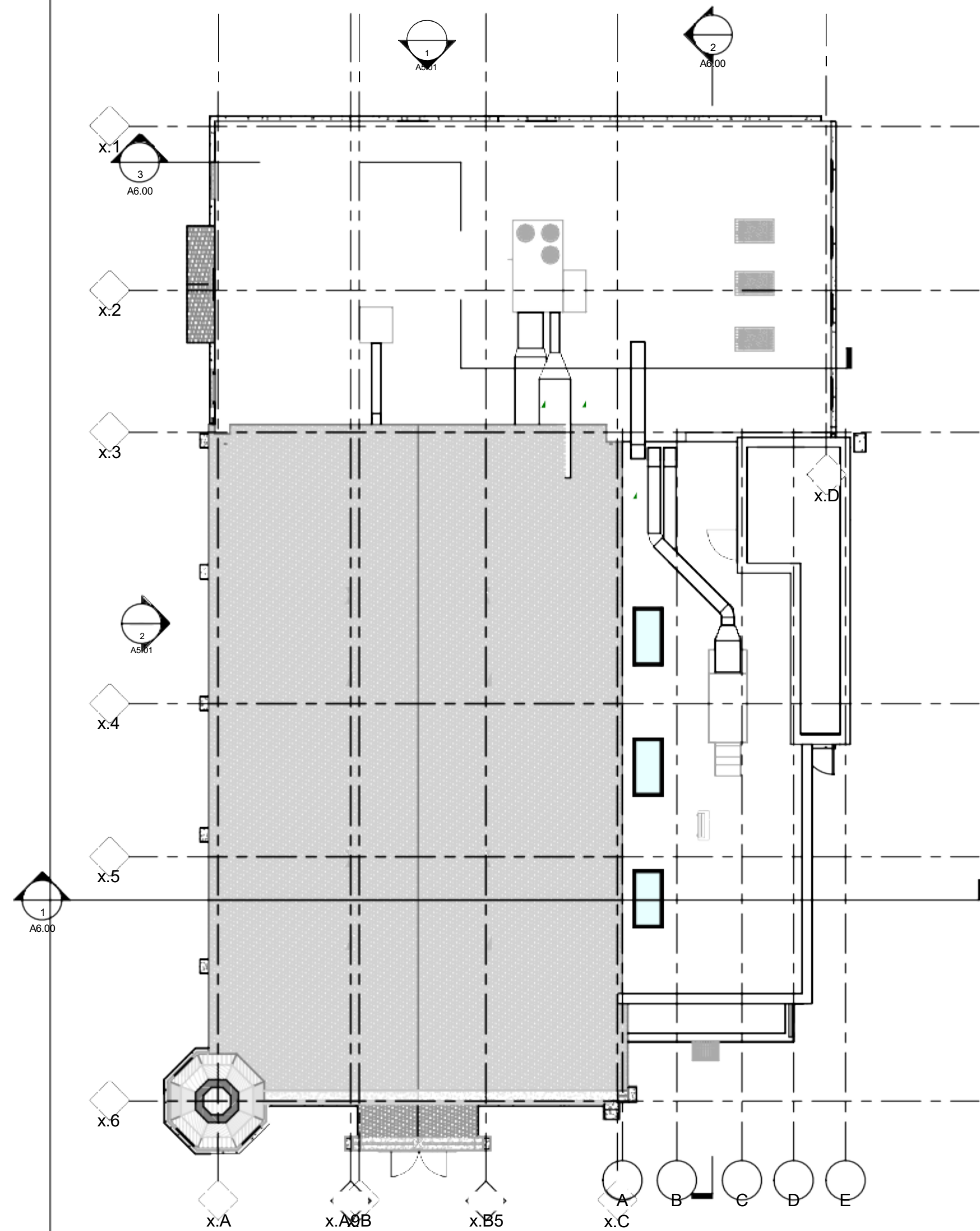
SCALE:

1 : 100

DRAWING NO.:

A3.03

PLOTTED: 22/11/2024 4:55:11 PM C:\Users\james\OneDrive\Documents\2024\Trinity Lutheran Church\Arch - James\A3.03.dwg



GENERAL NOTES:

1. FIRE RATED WALLS
ASSEMBLIES ARE TO BE CONSTRUCTED AS CONTINUOUS FIRE SEPARATIONS AND TO BE TERMINATED AT INTERSECTION WITH ANOTHER FIRE SEPARATION OR A RATED MATERIAL. ALL PENETRATIONS TO BE SEALED W/ FIRE STOP SEALANT AS REQUIRED.
2. REFER TO LIFE SAFETY DRAWING FOR LOCATION OF FIRE SEPARATIONS. ALL OPENINGS WITHIN A RATED ASSEMBLY ARE TO BE RATED OR PROTECTED OPENINGS.
3. FOR NON-BARRIER FREE UNITS, REFER TO DETAIL 4/A311 FOR STUD WALL REINFORCEMENT DETAILS REQUIRED BY OBC 3.3.4.9.

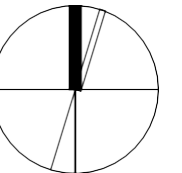
NOTES

— — LINE DENOTES APARTMENT
COMPARTMENTALIZATION AIR
CONTROL LAYER.



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PROJECT NAME:

TRINITY LUTHERAN
CHURCH

PROJECT ADDRESS:

104 HUGHSON ST N
HAMILTON, ON
L8R 1C6

PROJECT NO.:

24022

DRAWING TITLE:

ROOF PLAN

DRAWN BY:

R	
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CHECKED BY:

R	
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DATE:

SEPTEMBER 2024

SCALE:

: 100

DRAWING NO.:

A3.04

ROOF PLAN

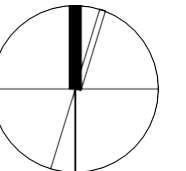
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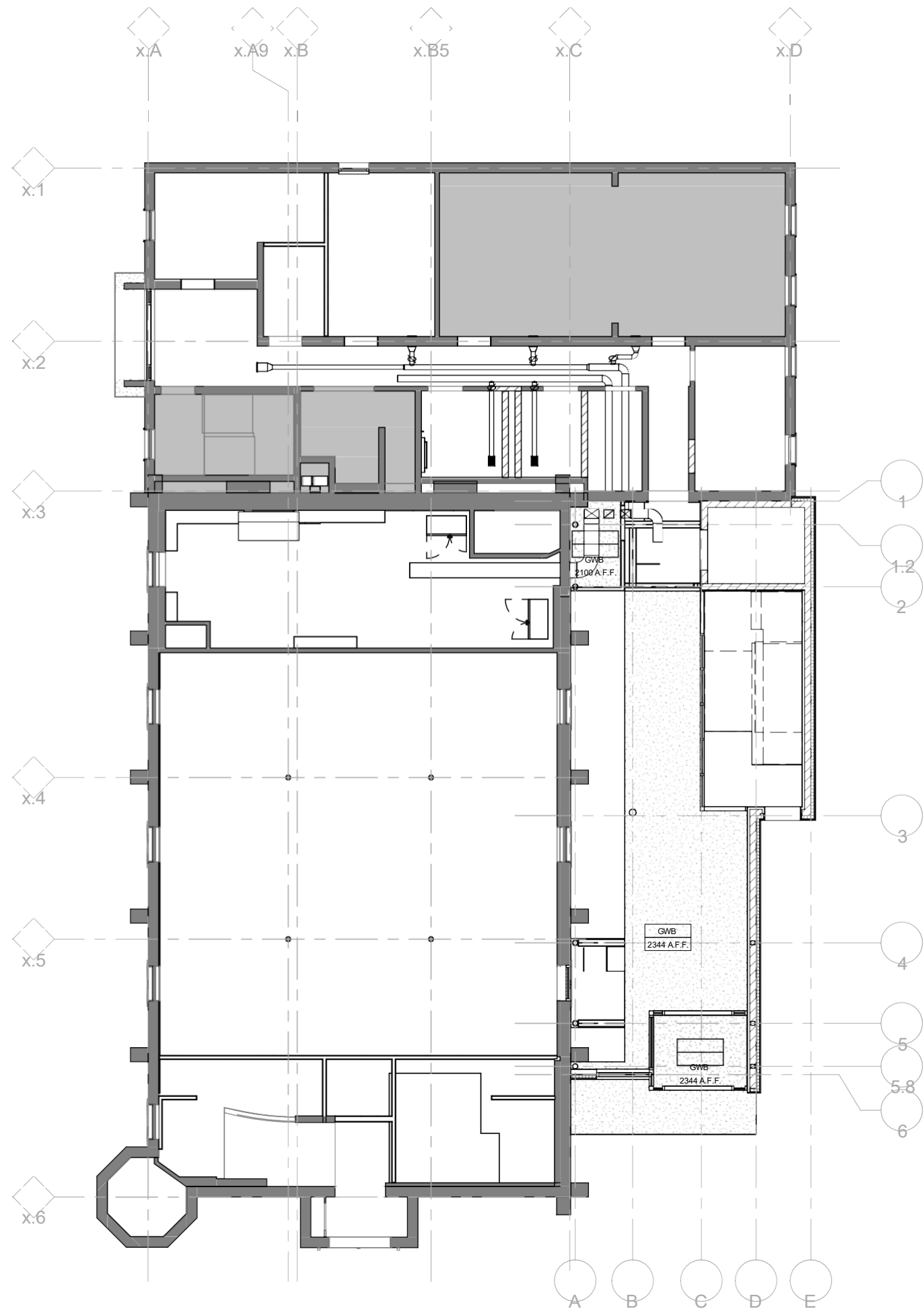
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PROJECT NAME:	
TRINITY LUTHERAN CHURCH	
PROJECT ADDRESS:	
104 HUGHSON ST N HAMILTON, ON L8R 1C6	
PROJECT NO.:	
24022	
DRAWING TITLE:	
LEVEL 1 - RCP	
DRAWN BY:	
Author	
CHECKED BY:	
Checker	
DATE:	-
SCALE:	1 : 100
DRAWING NO.:	

A4.01



GROUND - RCP
1 : 100

1 : 100 A4.01

MATERIALS

 GYPSUM WALLBOARD
CEILING

SUSPENDED ACOUSTIC
CEILING TYPE C1

WOOD
CEILING

 EXTENT OF SLOPED CLG
BELOW 1220mm

 FIBER CEMENT BOARD
CEILING

RCP SYMBOLS

ELECTRICAL DOCUMENTS

610X1220 RECESSED LIGHT FIXTURE

SUSPENDED LIGHT FIXTURE


SUSPENDED LIGHT FIXTURE

— SURFACE MOUNTED LIGHT FIXTURE

 SURFACE MOUNTED LIGHT FIXTURE

TRACK LIGHT

ROUND, SURFACE MOUNTED LED LIGHT
FIXTURE, WHITE TRIM

 SUSPENDED DRUM LIGHT,
WHITE 900mm

LED WALL LIGHT FIXTURE

LED VANITY LIGHT FIXTURE
CENTERED ON SINK. TYP

EXTERIOR WALL LIGHT FIXTURE


CEILING FAN WITH LIGHT

EXHAUST

EXPOSED D
PAINTED TO


 CEILING COLOUR

MECHANICAL DIFFUSERS-
SUPPLY AIR COLOUR TO
MATCH CEILING/WALL COLOUR

 **MECHANICAL DIFFUSERS-**
RETURN AIR COLOUR TO
MATCH CEILING/WALL
COLOUR.

RECESSED CEILING
HEATER

SPRINKLER HEADS

	EXIT SIGN
	EXIT SIGN -

ACCESS PANEL TO ACC

DAMPERS, BALANCING DAMPERS,
CLEANOUTS, MECHANICAL UNITS ETC.
ACCESS PANEL FRAME TO BE
CONCEALED PROVIDE FIRE RATED
CEILINGS. SIZE 300x300 UNLESS
OTHERWISE NOTED.

RCP GENERAL NOTES:

1. ALL SUSPENDED GWB CEILINGS TO BE TYPE C2. UNO. REFER TO DWG A0.1. WATER RESISTANT GYPSUM WALLBOARD TO BE USED IN WASHROOMS.
2. CEILING ACCESS PANELS TO BE PROVIDED TO ALL SERVICES REQUIRING ACCESS SUCH AS FIRE DAMPERS, BALANCING DAMPERS, SHUT-OFF VALVES, ETC.
3. ACCESS PANELS TO BE ALIGNED WITH OTHER CEILING FIXTURES, DIFFUSERS, AND DEVICES. CONTRACTOR TO SITE VERIFY LOCATIONS AND REPORT ANY DISCREPANCIES TO THE CONSULTANT. COLOUR OF ACCESS PANEL TO MATCH CEILING COLOUR FINISH.
4. ALL LIGHT FIXTURES, DIFFUSERS, ETC. TO BE PLACED IN THE CENTER OF TILE UNLESS OTHERWISE NOTED.
5. ALL EXIT SIGNS TO BE CENTERED OVER DOOR UNLESS OTHERWISE NOTED. COORDINATE LOCATIONS WITH FLOOR PLANS.
6. DRAWING TO BE READ IN CONJUNCTION WITH MECHANICAL AND ELECTRICAL DOCUMENTS REFER TO A4.1, A4.3-A4.5 DWGS FOR ENLARGED RCP IN UNITS.

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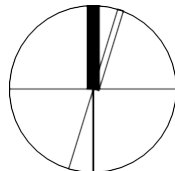


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REV.	DESCRIPTION	DATE



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PROJECT NAME:

TRINITY LUTHERAN
CHURCH

PROJECT ADDRESS:

104 HUGHSON ST N
HAMILTON, ON
L8R 1C6

PROJECT NO.:

24022

DRAWING TITLE:

LEVEL 2 - RCP

DRAWN BY:

Author

CHECKED BY:

Checker

DATE:

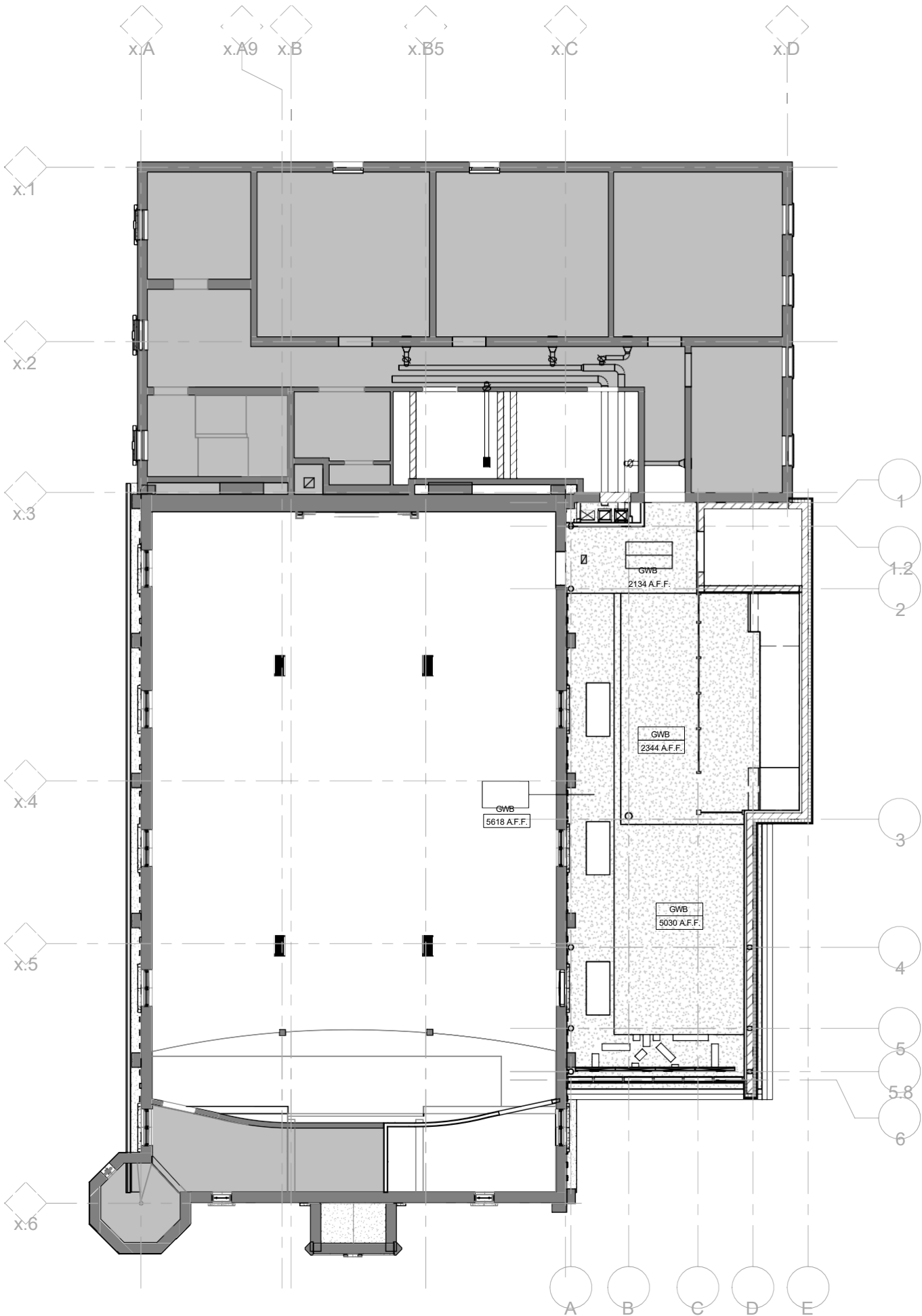
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SCALE:

1 : 100

DRAWING NO.:

A4.02



LEVEL 2 - RCP

1

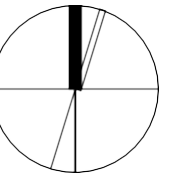
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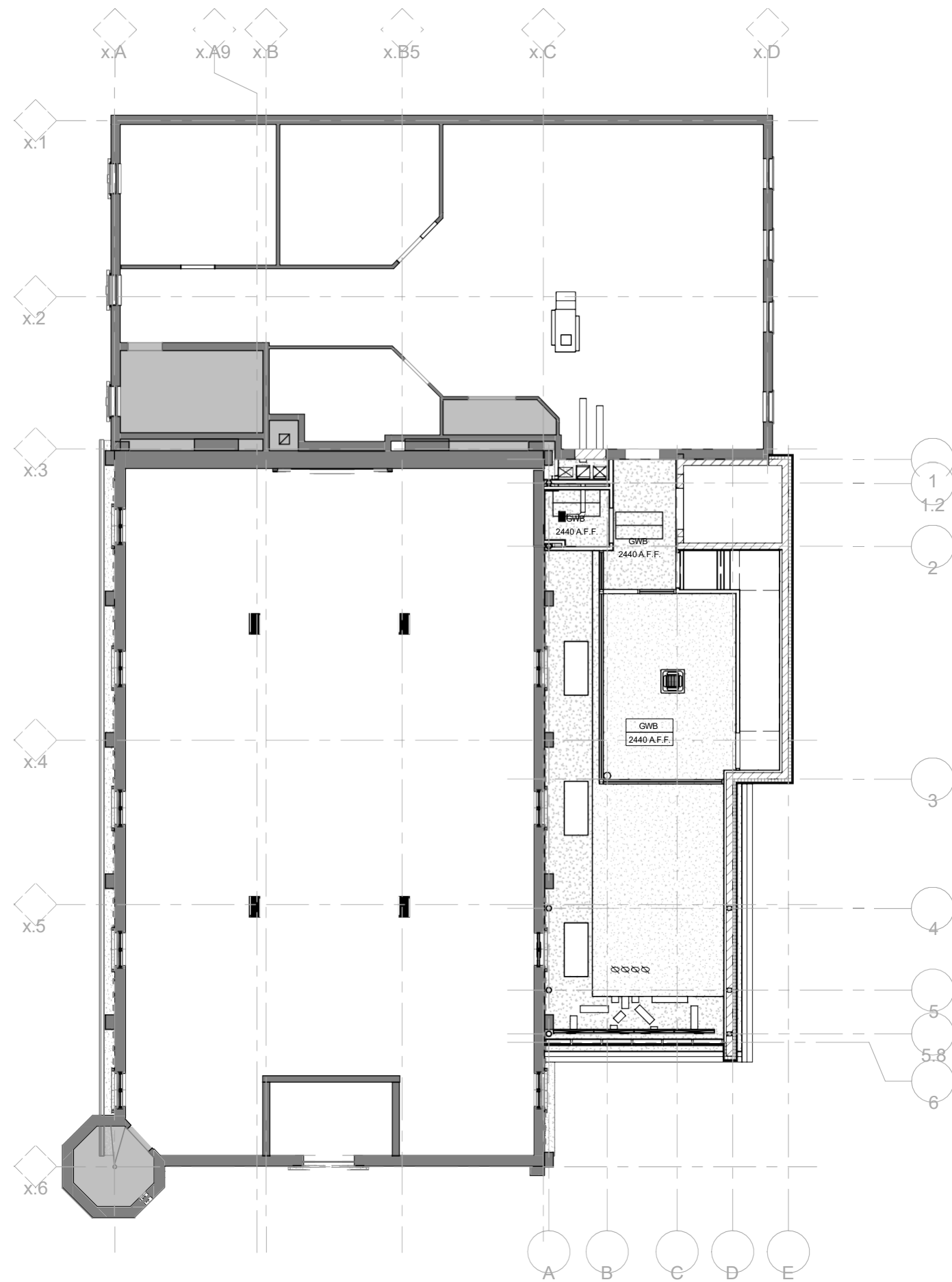
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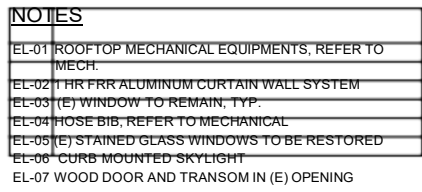
PROJECT NAME: TRINITY LUTHERAN CHURCH	
PROJECT ADDRESS: 104 HUGHSON ST N HAMILTON, ON L8R 1C6	
PROJECT NO.:	24022
DRAWING TITLE: LEVEL 3 - RCP	
DRAWN BY:	Author
CHECKED BY:	Checker
DATE:	-
SCALE:	1 : 100
DRAWING NO.:	

A4.03

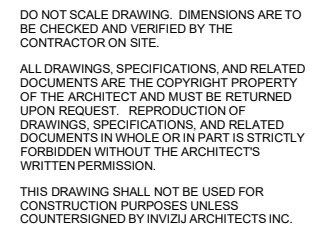


LEVEL 3 - RCP

1 : 100 A4.03



REV	DESCRIPTION	DATE YYYY/MM/DD



PROJECT NAME: TRINITY LUTHERAN CHURCH	
PROJECT ADDRESS: 104 HUGHSON ST N HAMILTON, ON L8R 1C6	
PROJECT NO.:	24022
DRAWING TITLE: BUILDING ELEVATIONS	
DRAWN BY:	SB
CHECKED BY:	KB
DATE:	SEPTEMBER 2024
SCALE:	1 : 100
DRAWING NO.:	
A5.00	



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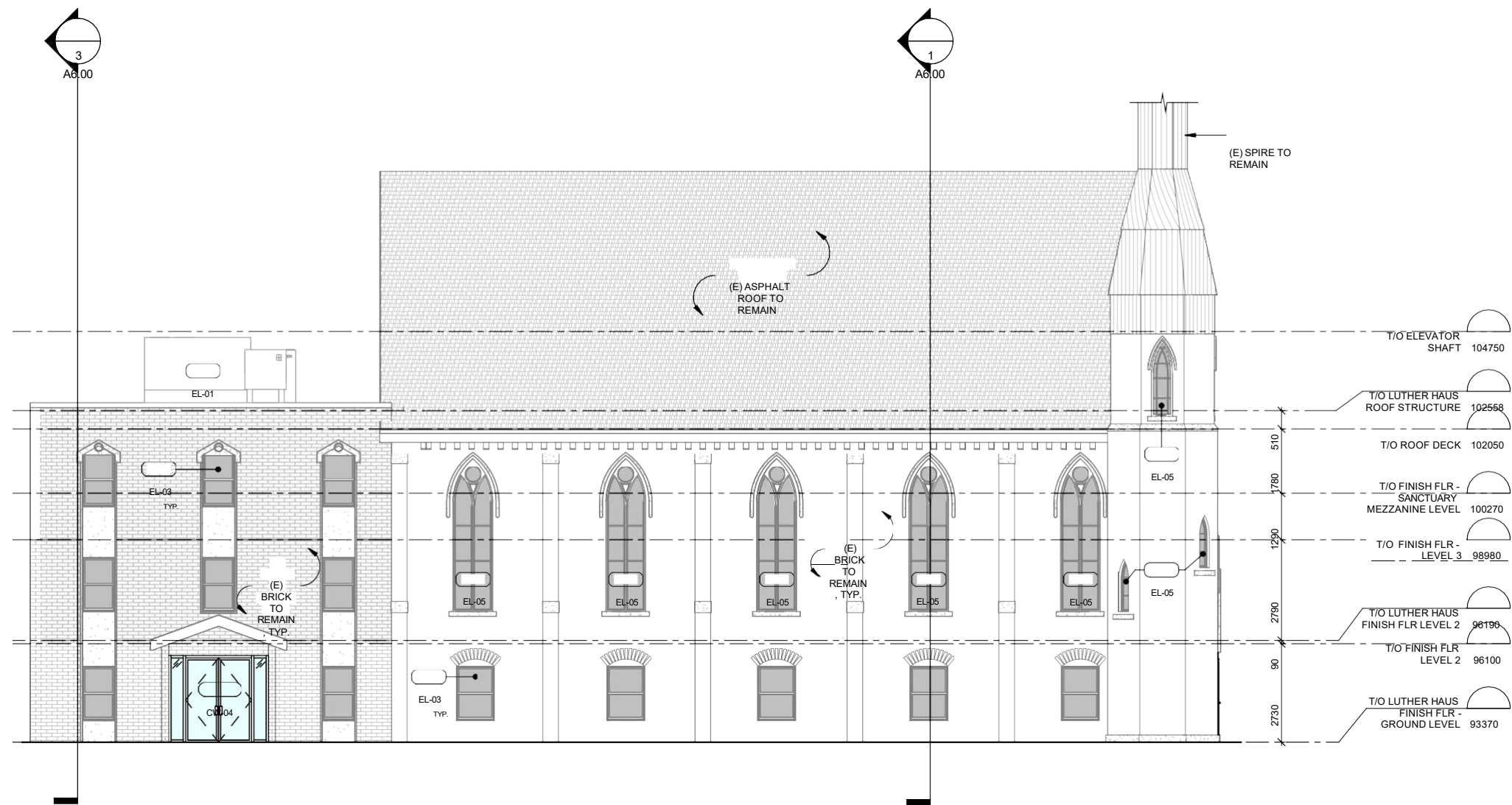
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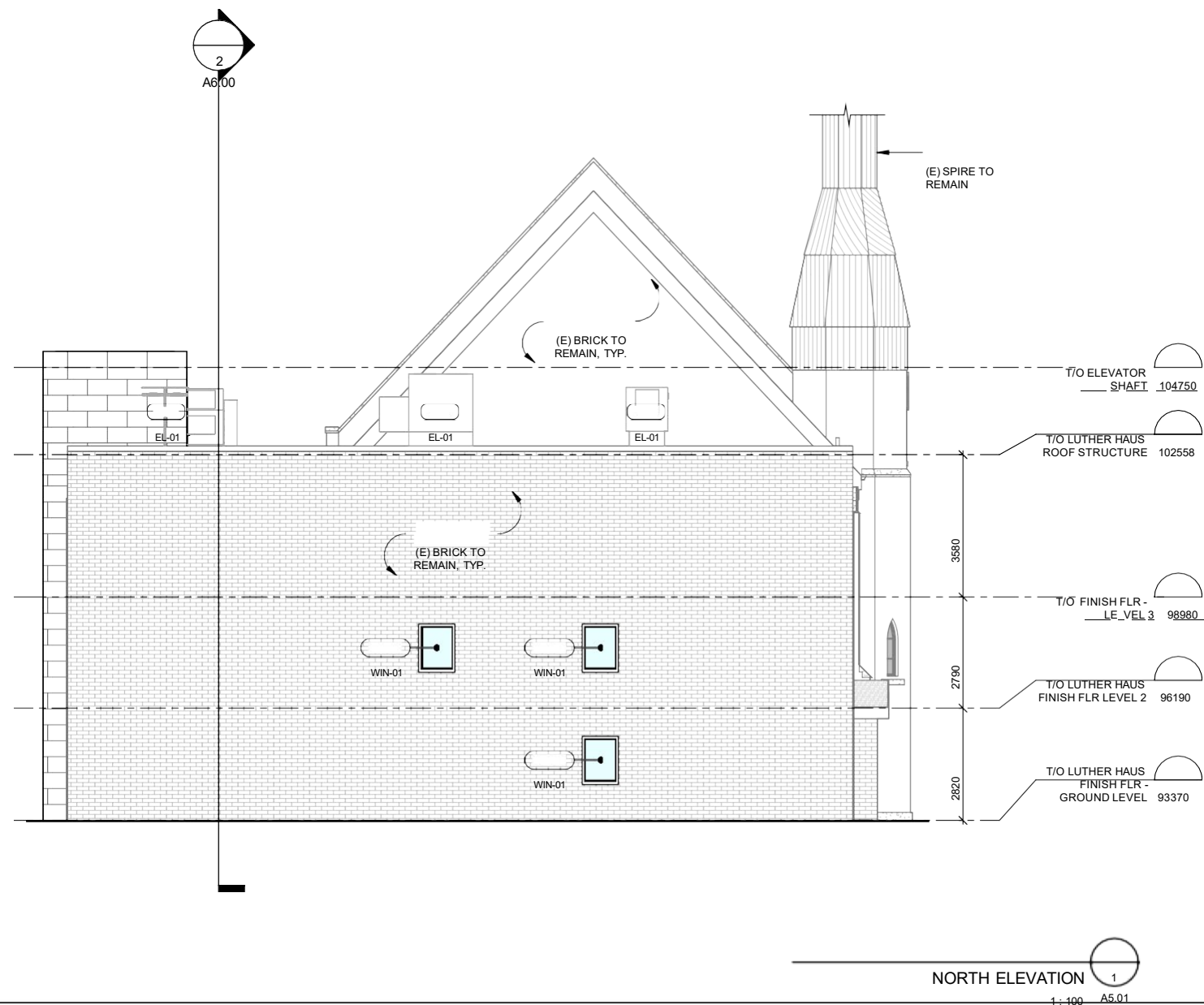
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TRINITY LUTHERAN CHURCH	
PROJECT ADDRESS:	
104 HUGHSON ST N HAMILTON, ON L8R 1C6	
PROJECT NO.:	
24022	
DRAWING TITLE:	
BUILDING ELEVATIONS	
DRAWN BY:	
KB	
CHECKED BY:	
HY	
DATE:	
11/11/24	
SCALE:	
1 : 100	
DRAWING NO.:	

A5.01



WEST ELEVATION

1 : 100 A5.01



NORTH ELEVATION

1:100 A5.01

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PROJECT NAME:

TRINITY LUTHERAN
CHURCH

PROJECT ADDRESS:

104 HUGHSON ST N
HAMILTON, ON
L8R 1C6

PROJECT NO.:

24022

DRAWING TITLE:

BUILDING SECTIONS

DRAWN BY:

R

CHECKED BY:

R

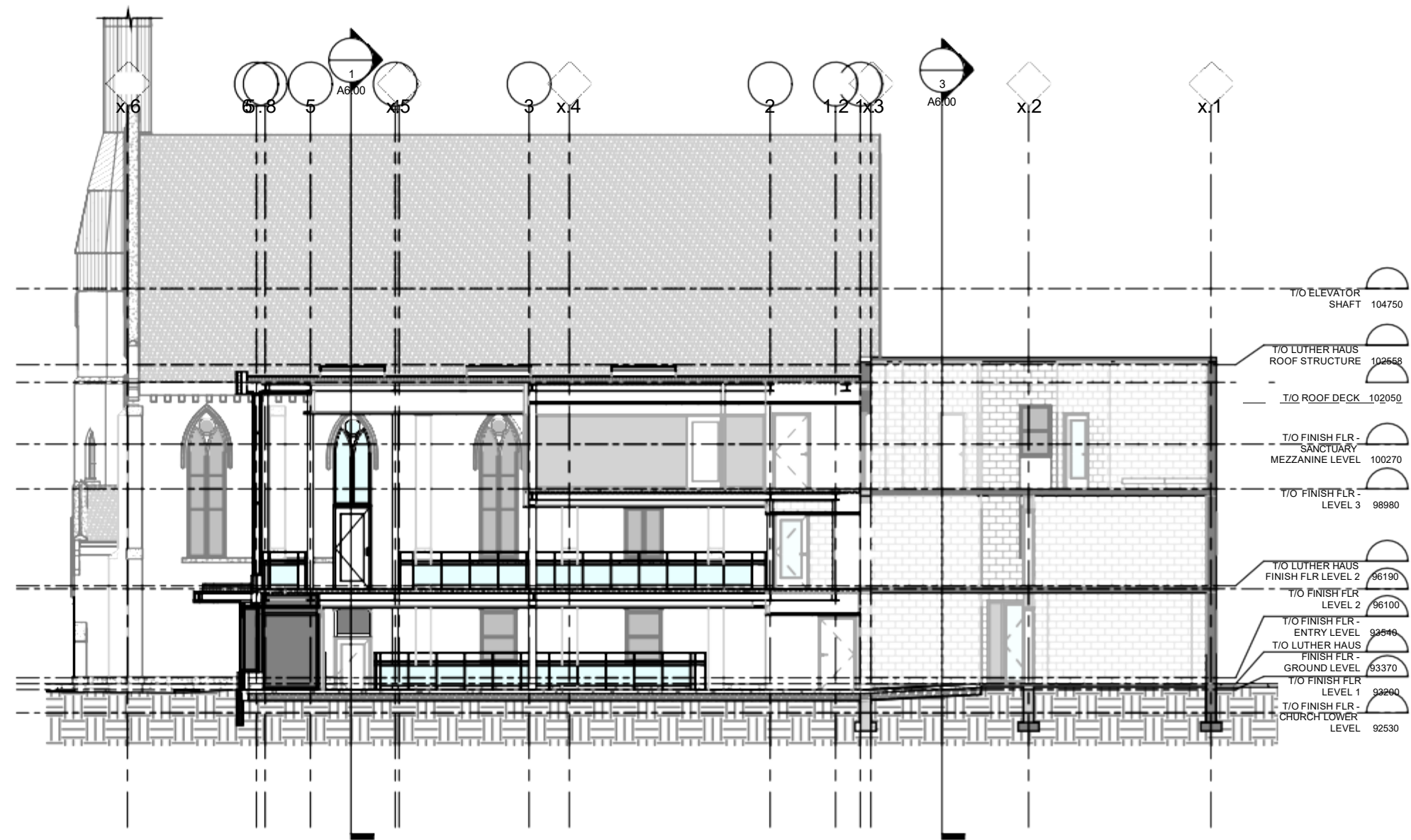
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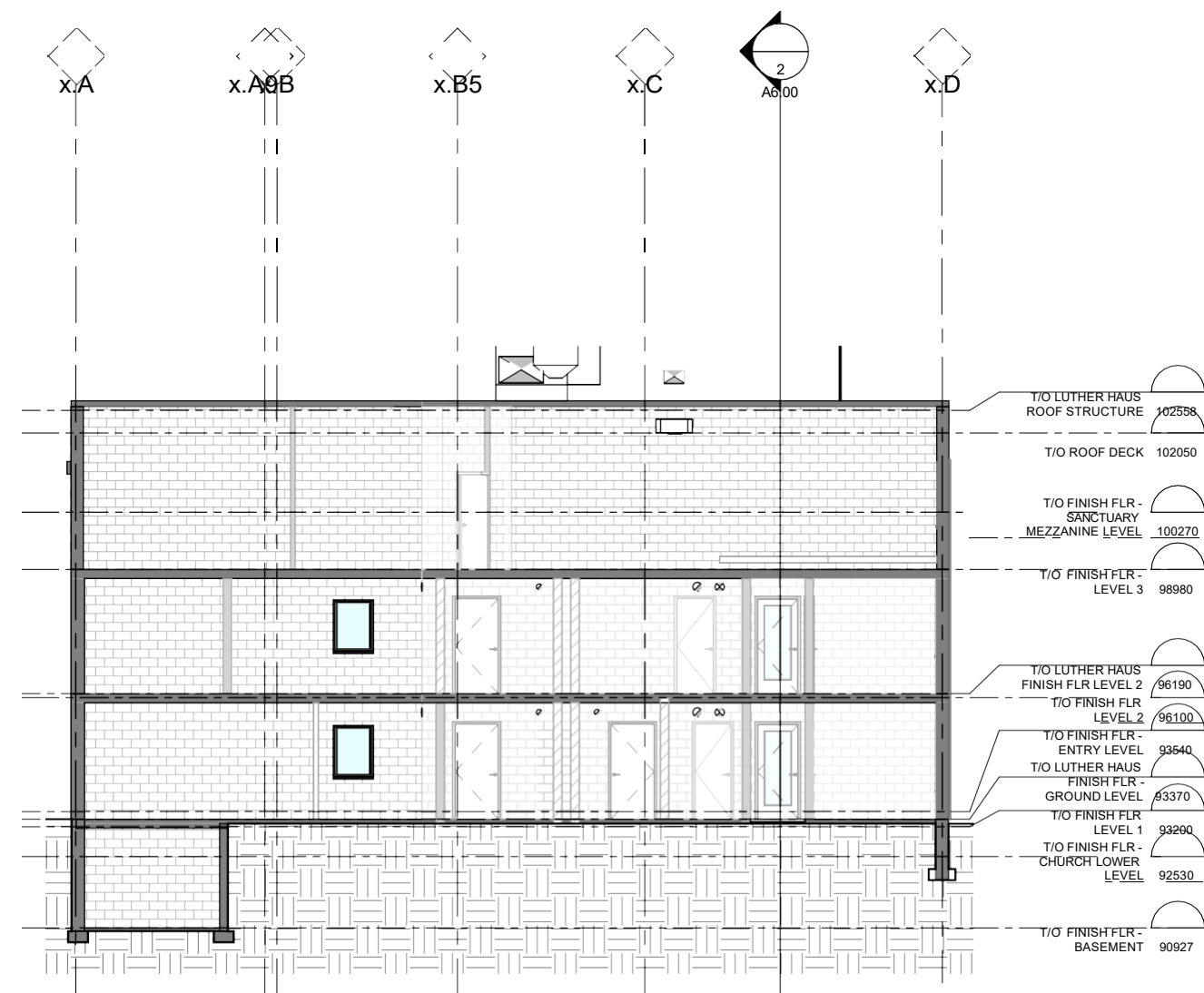
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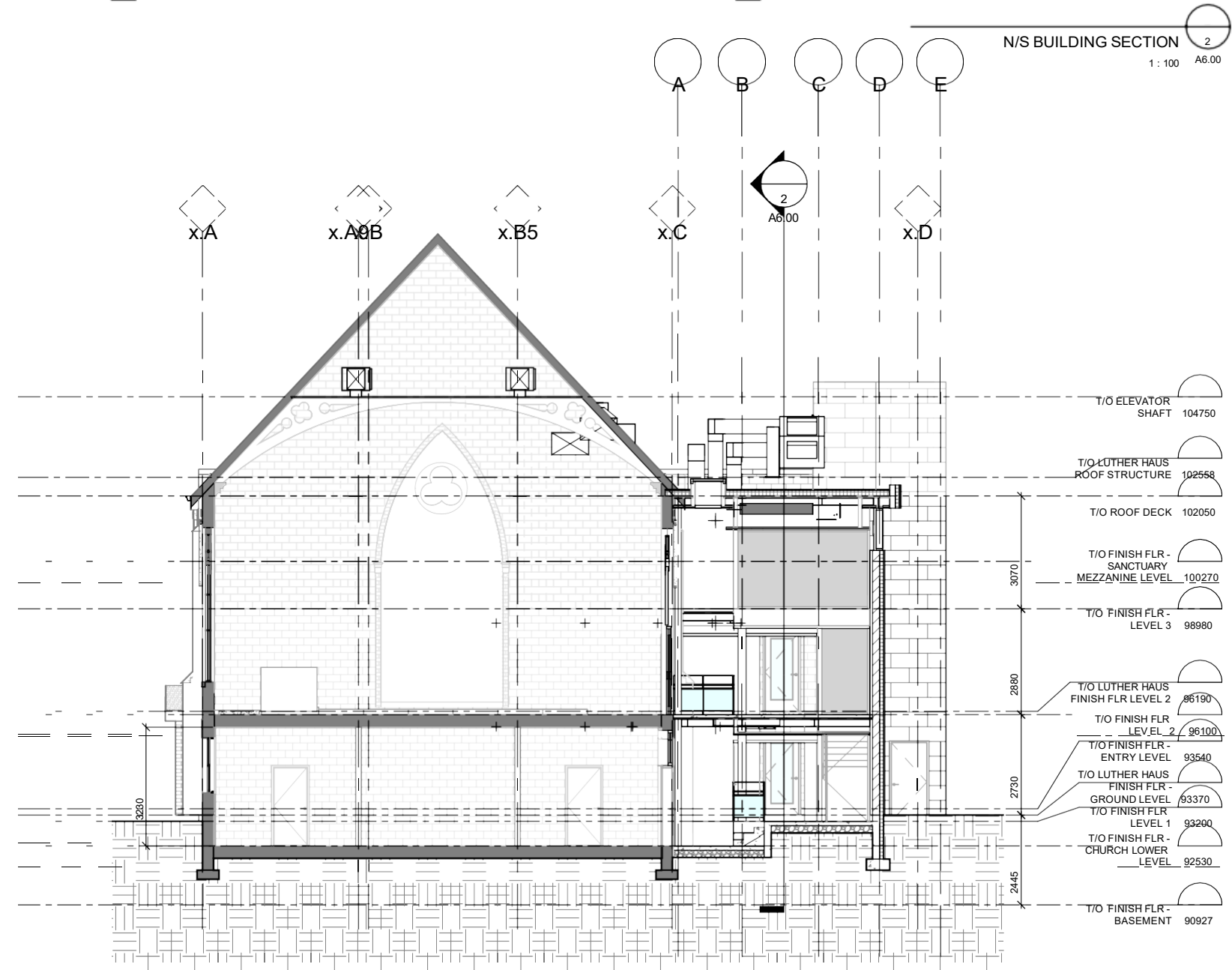
N/S BUILDING SECTION

1 : 100 A6.00



LUTHER HAUS SECTION

1 : 100 A6.00



E/W BUILDING SECTION

1 : 100 A6.00

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