



City of Hamilton
HERITAGE PERMIT REVIEW SUB-COMMITTEE
AGENDA

Date: May 20, 2025

Time: 5:00 p.m.

Location: YouTube Channel Streaming for Virtual Meetings

All electronic meetings can be viewed at:

City's YouTube Channel:

<https://www.youtube.com/user/InsideCityofHamilton>

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Lisa Christie, E-mail: Lisa.Christie@hamilton.ca, Phone: ext. 1291

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	Pages
1. CALL TO ORDER	
2. CEREMONIAL ACTIVITIES	
3. APPROVAL OF THE AGENDA	
(Added Items, if applicable, will be noted with *)	
3.1 Agenda HPRC 25-005 - May 20, 2025	5
4. DECLARATIONS OF INTEREST	
5. APPROVAL OF MINUTES OF PREVIOUS MEETING	
5.1 Minutes HPRC 25-004 - April 15, 2025	7
6. DELEGATIONS	
7. ITEMS FOR INFORMATION	
8. ITEMS FOR CONSIDERATION	

9. HERITAGE PERMIT APPLICATIONS

- 9.1 Pre-Consultation – 2463 Hwy 5 West, Flamborough (The Lochner Cottage, Part IV)
- Item to be received, reviewed last meeting however could not be received as quorum was not present at time of decision.
- 9.2 HP2025-009 – 1280 Main Street West, Hamilton (McMaster University Historic Core, Part IV) 15
- Installation of mechanical upgrades on the University Hall building, including;
 - Installation of two new passive ventilation hoods along the central core of the flat roof area, made of prefabricated metal housings with a galvanized finish, projecting approximately 32” above the roof surface; and,
 - New intake/exhaust ventilation grilles to be installed in two panes of an existing window opening on the north end of the building.

Note: This property received conditional approval from HPRS for a heritage permit which included a similar scope of work in 2022. HP2022-034 was approved in December 2022, the previous heritage permit expired December 31, 2024.

- 9.3 HP2025-015 – 235 Bowman Street Hamilton (Former Princess Elizabeth School, Part IV) 27
- Replacement of existing corroded steel windows on the former Princess Elizabeth School with new wood and aluminum window frames in a similar design to the existing windows.
- 9.4 HP2025-016 – 2463 Hwy 5 West, Flamborough (The Lochner Cottage, Part IV) 57
- Demolition of existing non designated structure on property; and
 - Construction of new single-family home in a similar location.

Note: This scope of work was reviewed by HPRC as a Pre-Consultation on April 15, 2025.

9.5 HP2025-017 – 3 Union Street, Waterdown (Mill Street Heritage
Conservation District Part V)

75

- Construction of new one-storey detached (24' x18') garage, including;
 - A one door garage on the first storey;
 - Horizontal wood siding; and
 - Asphalt shingles.

10. MOTIONS

11. NOTICES OF MOTION

12. ADJOURNMENT

**Heritage Permit Review Subcommittee
(Hamilton Municipal Heritage Committee)**

May 20, 2025
Virtual Meeting

Members of the public are advised that individuals and the media may be audibly and/or visually recording this meeting. Please note that, while this meeting is open to the public for observation, any member of the public wishing to provide comment on any of the agenda items are encouraged to contact Cultural Heritage Planning staff or may choose to give a delegation to the Hamilton Municipal Heritage Committee.

Cultural Heritage Planning:

Alissa Golden, E-mail: Alissa.Golden@hamilton.ca, Phone: ext. 1202

Lisa Christie, E-mail: Lisa.Christie@hamilton.ca, Phone: ext. 1291

Meg Oldfield, E-mail: Meg.Oldfield@hamilton.ca, Phone: ext. 7163

Scott Dickinson, E-mail: Scott.Dickinson@hamilton.ca, Phone: ext. 7167

AGENDA

1. Approval of Agenda

- May 20, 2025

2. Declarations of Interest

3. Approval of Minutes from Previous Meetings:

- April 15, 2025

4. Heritage Permit Applications

a) **Pre-Consultation** – 2463 Hwy 5 West, Flamborough (The Lochner Cottage, Part IV)

- Item to be received, reviewed last meeting however could not be received as quorum was not present at time of decision.

b) **HP2025-009** – 1280 Main Street West, Hamilton (McMaster University Historic Core, Part IV)

- Installation of mechanical upgrades on the University Hall building, including;
 - Installation of two new passive ventilation hoods along the central core of the flat roof area, made of prefabricated metal housings

- with a galvanized finish, projecting approximately 32" above the roof surface; and,
- New intake/exhaust ventilation grilles to be installed in two panes of an existing window opening on the north end of the building.

Note: This property received conditional approval from HPRS for a heritage permit which included a similar scope of work in 2022. HP2022-034 was approved in December 2022, the previous heritage permit expired December 31, 2024.

- c) **HP2025-015** – 235 Bowman Street Hamilton (Former Princess Elizabeth School, Part IV)
 - Replacement of existing corroded steel windows on the former Princess Elizabeth School with new wood and aluminum window frames in a similar design to the existing windows.
- d) **HP2025-016** – 2463 Hwy 5 West, Flamborough (The Lochner Cottage, Part IV)
 - Demolition of existing non designated structure on property; and
 - Construction of new single-family home in a similar location.

Note: This scope of work was reviewed by HPRC as a Pre-Consultation on April 15, 2025.

- e) **HP2025-017** – 3 Union Street, Waterdown (Mill Street Heritage Conservation District Part V)
 - Construction of new one-storey detached (24' x18') garage, including;
 - A one door garage on the first storey;
 - Horizontal wood siding; and
 - Asphalt shingles.

Next meeting: June 17, 2025



HERITAGE PERMIT REVIEW SUB-COMMITTEE MINUTES HPRC 25-003

5:00 p.m.

Tuesday, April 15, 2025

Webex Virtual Streaming

Present: Karen Burke (Chair), Graham Carroll (Vice Chair), Sandra Iskandar, Andy MacLaren, Katie McGirr, Matthew LaRose, Carol Priamo, Steve Wiegand

**Absent
With Regrets:** Andrew Douglas

**Also
Present:** Alissa Golden (Cultural Heritage Lead), Lisa Christie (Cultural Heritage Planner), Gabriel Lam (Assistant Cultural Heritage Planner)

1. CALL TO ORDER

Committee Chair K. Burke called the meeting to order at 5:12 p.m.

2. CEREMONIAL ACTIVITIES

There were no Ceremonial Activities.

3. APPROVAL OF THE AGENDA

(MacLaren/McGirr)

That the Agenda for April 15, 2025, meeting of the Heritage Permit Review Sub-Committee, be approved, as presented.

CARRIED

4. DECLARATIONS OF INTEREST

There were no Declarations of Interest.

5. APPROVAL OF MINUTES OF PREVIOUS MEETING

5.1 HPRS Minutes 25-003 (March 18, 2025)

(Carroll/MacLaren)

That the Minutes of March 18, 2025, meeting of the Heritage Permit Review Sub-Committee, be adopted, as presented.

CARRIED

6. DELEGATIONS

There were no Delegations.

7. ITEMS FOR INFORMATION

There were no Items for Information.

8. ITEMS FOR CONSIDERATION

There were no Items for Consideration.

9. HERITAGE PERMIT APPLICATIONS

9.1 HP2025-013 – 28 James Street North, Hamilton, (Lister Block, Part VI)

- Installation of 9 security cameras to be attached to contemporary panels in the first-floor elevations along James Street North and King William Street in inconspicuous areas and painted to blend in.

M. Dambeau was present to give an overview of the application and to respond to questions from the Sub-Committee.

(Priamo/LaRose)

- (a) That Heritage Permit 2025-013 – 28 James Street North, Hamilton, (Lister Block, Part VI), be received; and
- (b) That the Heritage Permit Review Sub-Committee advises heritage staff that Heritage Permit Application HP2025-013 be consented to, subject to the following conditions:
 - (i) That any minor changes to the plans and elevations following approval shall be submitted, to the satisfaction and approval of the Director of Planning and Chief Planner, prior to submission as part of any application for a Building Permit and / or the commencement of any alterations; and
 - (ii) That implementation / installation of the alteration(s), in accordance with this approval, shall be completed no later

than April 30, 2027. If the alteration(s) are not completed by April 30, 2027, then this approval expires as of that date and no alterations shall be undertaken without a new approval issued by the City of Hamilton.

CARRIED

9.2 HP2025-012 – 88 Fennell Avenue West, Hamilton (Auchmar Estate, Part IV)

- Installation of a new water main, including:
 - Removal of trees and shrubs on the south side of the property to permit the installation;
 - Digging of a temporary trench from the property line at Fennell Avenue to the historic structure, to be backfilled following installation;
 - Installation of a new water meter and backflow preventer in the basement beside the existing utility hookups; and,
 - Introduction of a new hole through the foundation.

C. Samko was present to give an overview of the application and to respond to questions from the Sub-Committee.

(MacLaren/McGirr)

- (a) That Heritage Permit 2025-012 – 88 Fennell Avenue West, Hamilton (Auchmar Estate, Part IV), be received; and
- (b) That the Heritage Permit Review Sub-Committee advises heritage staff that Heritage Permit Application HP2025-012 be consented to, subject to the following conditions:
 - (i) That any minor changes to the plans and elevations following approval shall be submitted, to the satisfaction and approval of the Director of Planning and Chief Planner, prior to submission as part of any application for a Building Permit and / or the commencement of any alterations; and
 - (ii) That implementation / installation of the alteration(s), in accordance with this approval, shall be completed no later than April 30, 2027. If the alteration(s) are not completed by April 30, 2027, then this approval expires as of that date and no alterations shall be undertaken without a new approval issued by the City of Hamilton.

CARRIED

9.3 HP2025-007 – 171 Forest Avenue, Hamilton (Part IV)

- Replacement of the front entry with a new sympathetic wood entry to match the size and dimensions of the existing transom, sidelights and door, including:
 - A new simplified lite pattern in the wood transom;
 - A six-panel solid wood door; and,
 - New exterior wood storms for the transom and sidelights.

Note: This property was previously considered at the March 18, 2025, meeting of the Heritage Permit Review Subcommittee and the applicant was asked to provide further detail regarding the proposal, including information on the storms and door panel design.

M. Kennedy was present to give an overview of the application on behalf of the applicant, and to respond to questions from the Sub-Committee.

(Priamo/MacLaren)

- (a) That Heritage Permit 2025-007 – 171 Forest Avenue, Hamilton (Part IV), be received; and
- (b) That the Heritage Permit Review Sub-Committee advises heritage staff that Heritage Permit Application HP2025-007 be consented to, subject to the following conditions:
 - (i) That any minor changes to the plans and elevations following approval shall be submitted, to the satisfaction and approval of the Director of Planning and Chief Planner, prior to submission as part of any application for a Building Permit and / or the commencement of any alterations; and
 - (iii) That implementation / installation of the alteration(s), in accordance with this approval, shall be completed no later than April 30, 2027. If the alteration(s) are not completed by April 30, 2027, then this approval expires as of that date and no alterations shall be undertaken without a new approval issued by the City of Hamilton.

CARRIED

9.4 HP2025-014 – 56 York Boulevard, Hamilton (Copley Commercial Block, Part IV)

- Adaptive reuse of the existing stone (east) and brick (west) buildings, including:
 - Exterior masonry restoration of both buildings, as required;
 - Installation of new windows in both buildings including:
 - New aluminum-clad hung wood windows throughout;
 - Reintroduction of the basement windows; and,

- Balconette windows in the upper storeys of the east elevation of the brick building (facing the interior courtyard between the buildings);
- Installation of new slate roof shingles in the stone building and new flat roof assemblies as required in both buildings;
- Reintroduction of a wood cornice on the brick building;
- Addition of new barrel vault glass roof above the interior courtyard (atrium) of the stone building;
- Interior renovations that retain and integrate the interior cast iron and wood columns;
- Addition of a fourth storey in the north end of the east (MacNab Street) elevation of the stone building continuing the line and finishes of the Mansard roof;
- Replacement of the metal-clad pedestrian passageway with a four-storey glass curtain wall; and
- Addition of vestibules with projecting copper-clad canopies in the east (MacNab Street) elevation of the stone building and connecting the two buildings in the south (York Boulevard) elevation.

S. Kulakowsky was present to give an overview of the application and to respond to questions from the Sub-Committee.

(Carroll/McGirr)

- (a) That Heritage Permit 2025-014 – 56 York Boulevard, Hamilton (Part IV), be received; and
- (b) That the Heritage Permit Review Sub-Committee advises heritage staff that Heritage Permit Application HP2025-014 be consented to, subject to the following conditions:
 - (i) That the masonry repairs be conducted in accordance with the City of Hamilton’s Masonry Restoration Guidelines, to the satisfaction and approval of the Director of Planning and Chief Planner;
 - (ii) That any minor changes to the plans and elevations following approval shall be submitted, to the satisfaction and approval of the Director of Planning and Chief Planner, prior to submission as part of any application for a Building Permit and / or the commencement of any alterations; and
 - (iii) That implementation / installation of the alteration(s), in accordance with this approval, shall be completed no later than April 30, 2027. If the alteration(s) are not completed by April 30, 2027, then this approval expires as of that date and no alterations shall be undertaken without a new approval issued by the City of Hamilton.

CARRIED

9.5 Pre-Consultation – 1007 Beach Boulevard, Hamilton (Hamilton Beach Heritage Conservation District, Part V)

- Demolition of existing structure;
- Subdivision of property; and
- Construction of new single-family home on each parcel.

M. Hobson and S. Clark were present to give an overview of the consultation and to respond to questions and advice from the Sub-Committee.

(Carroll/McGirr)

- (a) That the presentation pertaining to 1007 Beach Boulevard, Hamilton, (Hamilton Beach Heritage Conservation District, Part V) be received.

CARRIED

Pursuant to Section 5.4(9) of the City of Hamilton's Procedural By-law 21-021, the Staff Liaison advised the Chair at 6:45 p.m. that quorum was lost, the Chair decided to continue the meeting during the absence of quorum to hear the presentation for the Pre-Consultation- 2463 Highway 5 West, Flamborough (The Lochner Cottage, Part IV), with no decisions being approved.

9.6 Pre-Consultation – 2463 Highway 5 West, Flamborough (The Lochner Cottage, Part IV)

- Demolition of existing non-designated structure on property; and
- Construction of new single-family home in a similar location.

The Koonstras and I. Jonkman were present to give an overview of the consultation and to respond to questions and advice from the Sub-Committee.

10. MOTIONS

There were no Motions.

11. NOTICE OF MOTIONS

There were no Notice of Motions.

12. ADJOURNMENT

Pursuant to Section 5.4(9) of the City of Hamilton's Procedural By-law 21-021, the Staff Liaison advised those in attendance that quorum was not achieved since 6:45 p.m. when quorum was initially lost, therefore, the meeting stood adjourned.

Respectfully submitted,

Lisa Christie
Cultural Heritage Planner

Karen Burke, Chair
Heritage Permit Review
Sub-Committee

City of Hamilton - Heritage Permit Application Note Sheet

Address: 1280 Main Street West, Hamilton (McMaster University Historic Core, Part IV)
Permit Number: HP2025-009

Owner: McMaster University c/o Sam Sargeos
Applicant/Agent: Ed Schuck

Description of proposed alterations:

- Installation of mechanical upgrades on the University Hall building, including;
 - Installation of two new passive ventilation hoods along the central core of the flat roof area, made of prefabricated metal housings with a galvanized finish, projecting approximately 32" above the roof surface; and,
 - New intake/exhaust ventilation grilles to be installed in two panes of an existing window opening on the north end of the building.

Note: This property received conditional approval from HPRS for a heritage permit which included a similar scope of work in 2022. HP2022-034 was approved in December 2022, the previous heritage permit expired December 31, 2024.

Reasons for proposed alterations:

- New system upgrades are proposed for this Historic building as mandated by currently adopted standards and regulations regarding ventilation of McMaster University facilities.
 - New air handling units are proposed to service the entire building and will be housed within the existing attic spaces.
-

Documentation submitted with application:

- Heritage Permit application form
 - Architectural Drawings of Proposed Work
-

Draft Conditions for Consideration:

HERITAGE PERMIT REVIEW SUBCOMMITTEE

Meeting Date: May 20, 2024

- That any minor changes to the plans and elevations following approval shall be submitted, to the satisfaction and approval of the Director of Planning and Chief Planner, prior to submission as part of any application for a Building Permit and / or the commencement of any alterations; and
- That implementation / installation of the alteration(s), in accordance with this approval, shall be completed no later than May 31, 2027. If the alteration(s) are not completed by May 31, 2027, then this approval expires as of that date and no alterations shall be undertaken without a new approval issued by the City of Hamilton.

Designated Heritage Attributes (By-law No. 08-002)

DESIGNATED FEATURES

The boundaries of the designated property extend from the west side of Wallingford Hall to the east side of University Hall and Edwards Hall and from Scholar's Road to the ravine edge and the north side of Edwards Hall; it also includes Hamilton Hall, the Refectory and the Alumni Memorial Building.

Important to the preservation of this cluster of six buildings are: the original architectural materials and features of the façades and roofs of all six buildings, including the stone ashlar and brick masonry walls; cut stone door/ window surrounds, mullions and tracery; stone entrance steps, carved stone ornamentation, wrought-ironwork (notably the entrance doors of University Hall and Hamilton Hall).

The landscaped open space within the boundaries defined above, including the low stone wall with the Tudor archway linking University Hall and Edwards Hall. Also important to the preservation of University Hall, the Refectory and the Alumni Memorial Building are the interior spaces identified respectively as Convocation Hall, the Refectory Dining Hall and Memorial Hall and all of their original architectural finishes and features.

Photographs

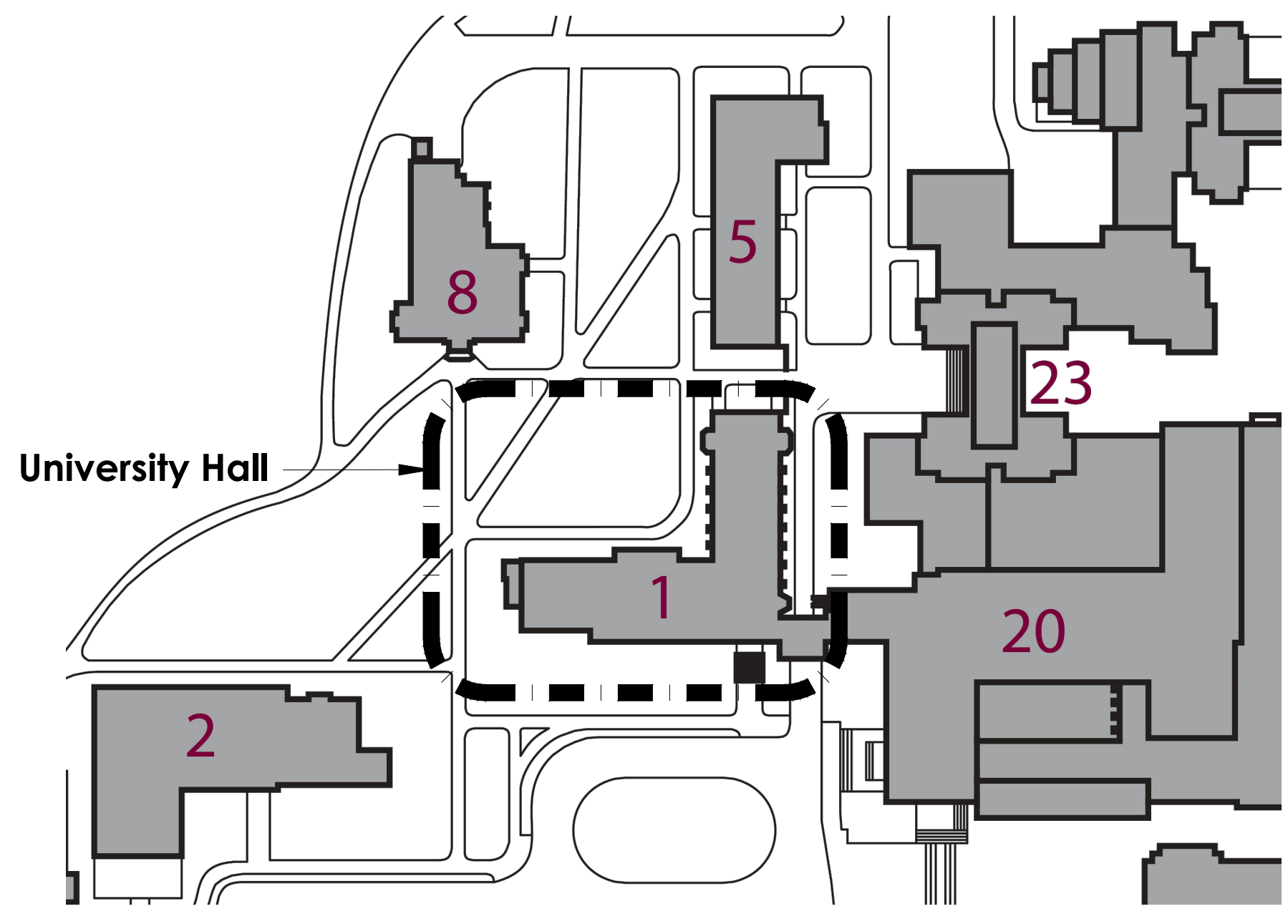


Figure 1: Image of Univeristy Hall, north elevation, from google photo sphere.

Plans / Drawings

Please see Architectural Drawings attached as **Appendix “A”** to this Notesheet.

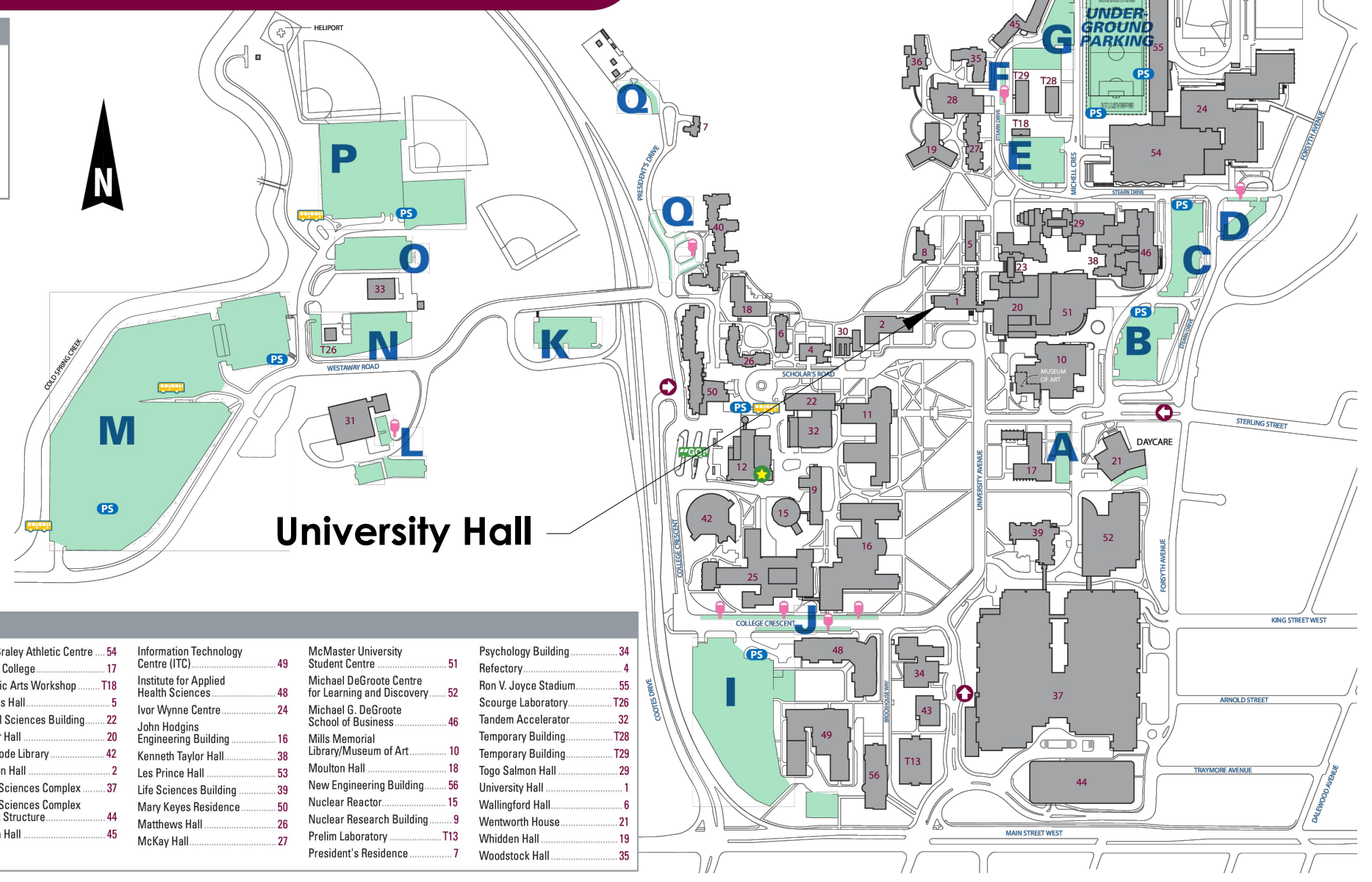
Please see Specs for Glazing Louvres attached as **“Appendix B”** to this Notesheet.



3 SITE MAP - UNIVERSITY HALL (BLDG. No.1)
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0 10 20 50mm

Campus Map McMaster University

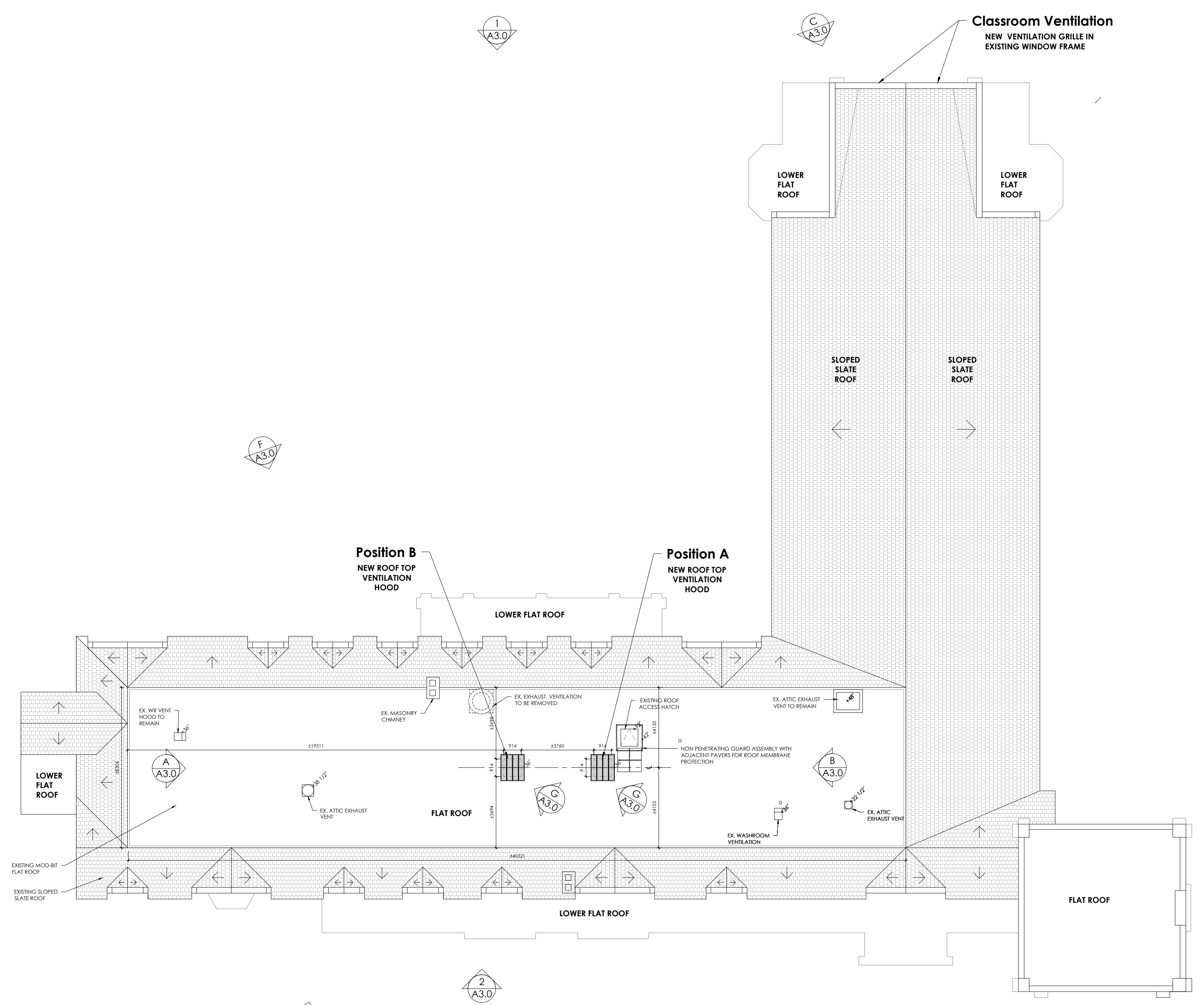
- LEGEND
- McMaster University Entrance
 - Security and Parking Services
 - Parking Lot Location
 - Bus Routes
 - Short Term Parking - Pay and Display
 - Campus Shuttle Bus Service
 - On Bus Stop



Campus Buildings Index

A.N. Burns Science Building	25	Information Technology Centre (ITC)	49	McMaster University Student Centre	51	Psychology Building	36
Alumni Memorial Building	8	Institute for Applied Health Sciences	48	Michael G. DeGroen School of Business	46	Refectory	4
Applied Dynamics Laboratory	33	Joseph H. Bechtel School of Engineering	24	Mills Memorial Library	18	Robt V. Joyce Stadium	55
Bates Residence	40	Law School	38	McMaster University Library	37	Southern Laboratory	78
Biology Greenhouse	30	Las Price Hall	53	McMaster University Library	37	Tandem Accelerator	32
Brandon Hall	36	Life Sciences Complex	27	McMaster University Library	37	Temporary Building	729
Burns Science Building	11	Mary Kaye Residence	50	McMaster University Library	37	Temporary Building	729
Campus Services Building	31	Mathews Hall	26	McMaster University Library	37	Top Salon Hall	29
Chester New Hall	23	McKay Hall	27	McMaster University Library	37	University Hall	1
Chick Centre	12	McMaster University Library	37	McMaster University Library	37	Walkington Hall	8
Commons Building	28	McMaster University Library	37	McMaster University Library	37	Wentworth House	21
Communications Research Laboratory	41	McMaster University Library	37	McMaster University Library	37	Woodcock Hall	35

2 KEY PLAN - MCMASTER CAMPUS
A2.0
0 10 20 50mm



1 UNIVERSITY HALL - EXISTING ROOF PLAN
A2.0
0 10 20 50mm

REVISIONS

NO.	DATE	PARTICULAR
1	25.04.30	ISSUED FOR HERITAGE PERMIT

NOTES:

KEY PLAN:

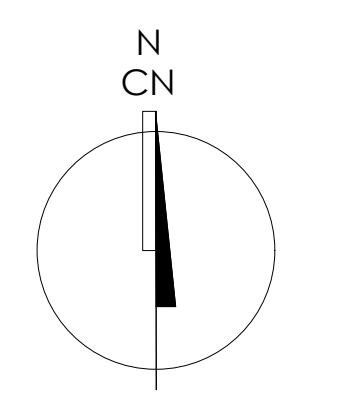
CLIENT:
MCMASTER UNIVERSITY
HAMILTON, ONTARIO

PROJECT:
22262
UNIVERSITY HALL VENTILATION UPGRADE

McMaster University Campus
1280 MAIN ST. W.
HAMILTON, ON L8S 4K1

ORIGINAL PAGE SIZE ARCH D - 24" x 36"
KEY TO DETAIL LOCATION:
A - DETAIL NO.
B - DETAIL NO. ORIGIN

ARCHITECTS
THE VENTIN GROUP LTD



A2.0

Plot Date: Apr 29, 2025 - 2:31 pm B.Y. edshuck

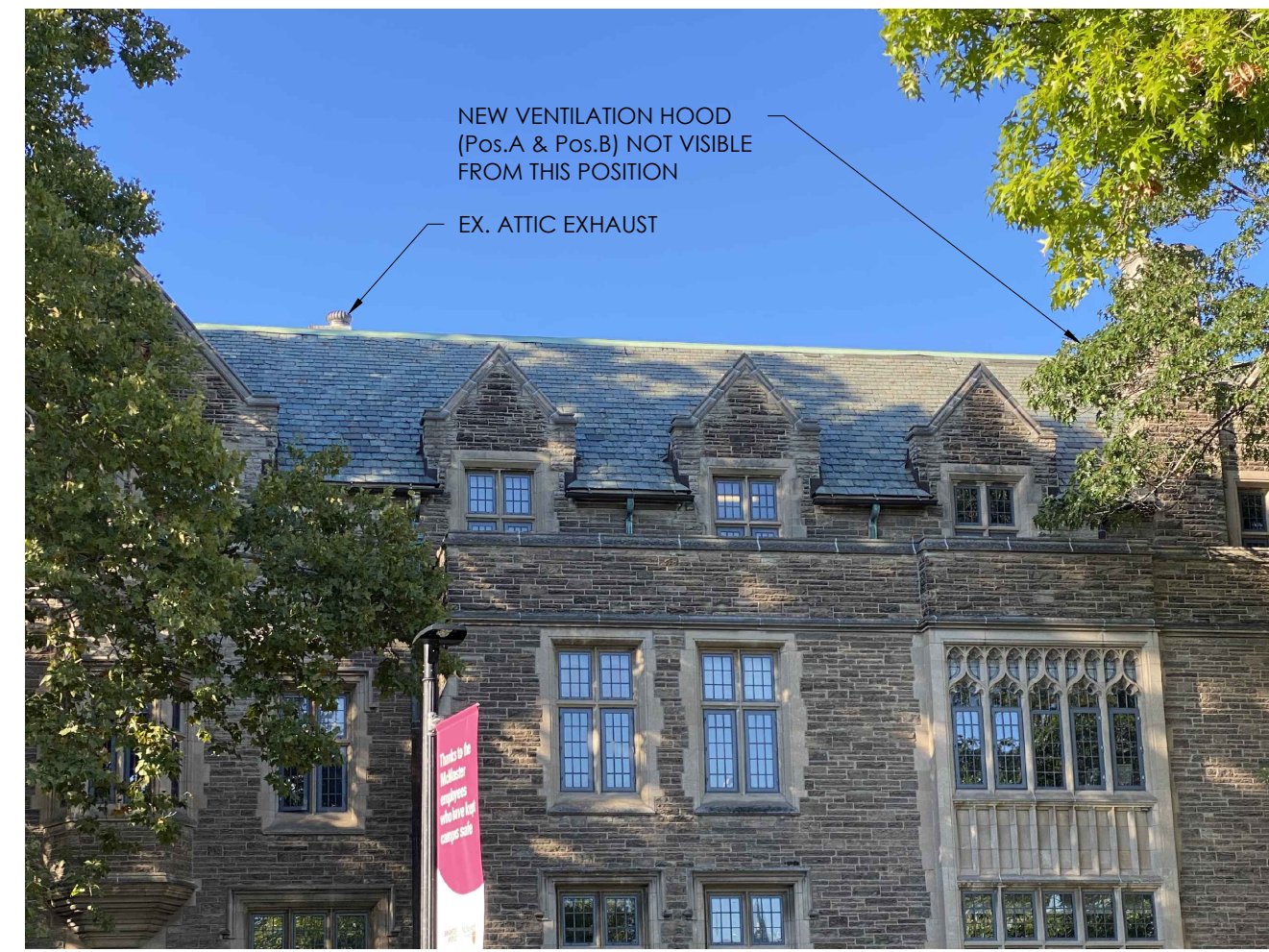
DRAWN BY: ES CHECKED BY: **

KEY PLAN, ROOF PLAN, PARTIAL EXTERIOR GRAPHICS

Reproduction of drawings and related documents in whole or in part is forbidden without written permission of the Ventin Group.



C NORTH END - CONVOCAATION HALL - WINDOW VENTS
A3.0 N.T.S.



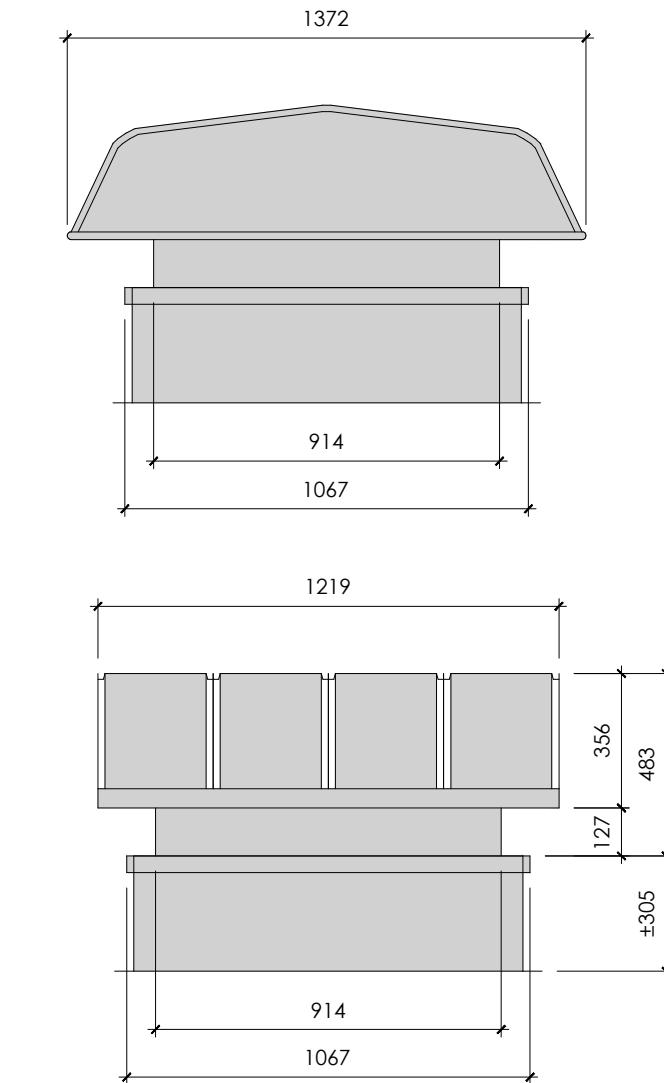
D SOUTH ELEVATION OF WEST WING from Sidewalk
A3.0 N.T.S.



E WEST ELEVATION OF WEST WING from Pathway
A3.0 N.T.S.



F NORTH ELEVATION OF WEST WING from Courtyard
A3.0 N.T.S.

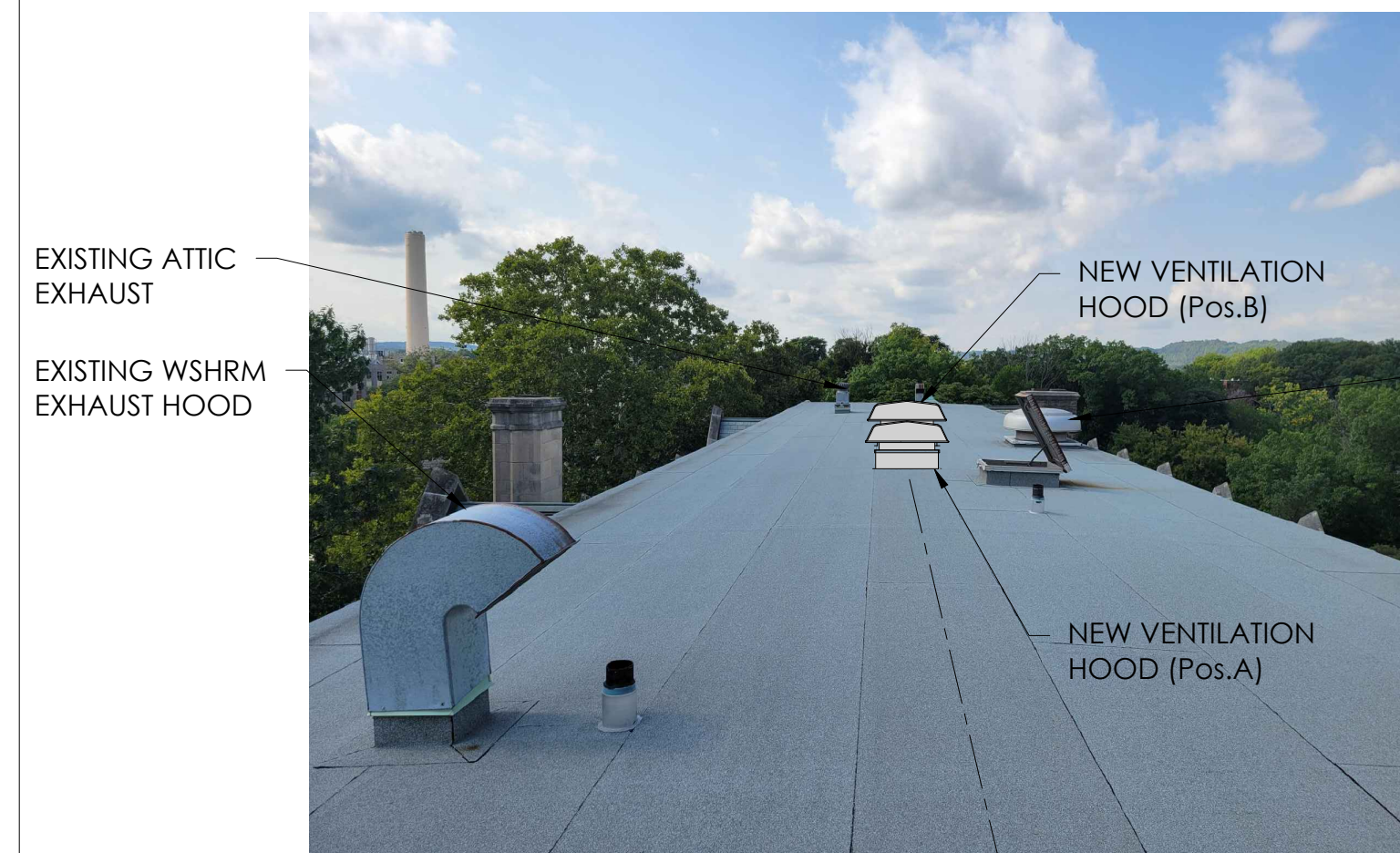


G SCHEMATIC - VENT HOOD - Typical of 2
A3.0 N.T.S.

REVISIONS		
NO.	DATE	PARTICULAR
1	25.04.30	ISSUED FOR HERITAGE PERMIT

NOTES:

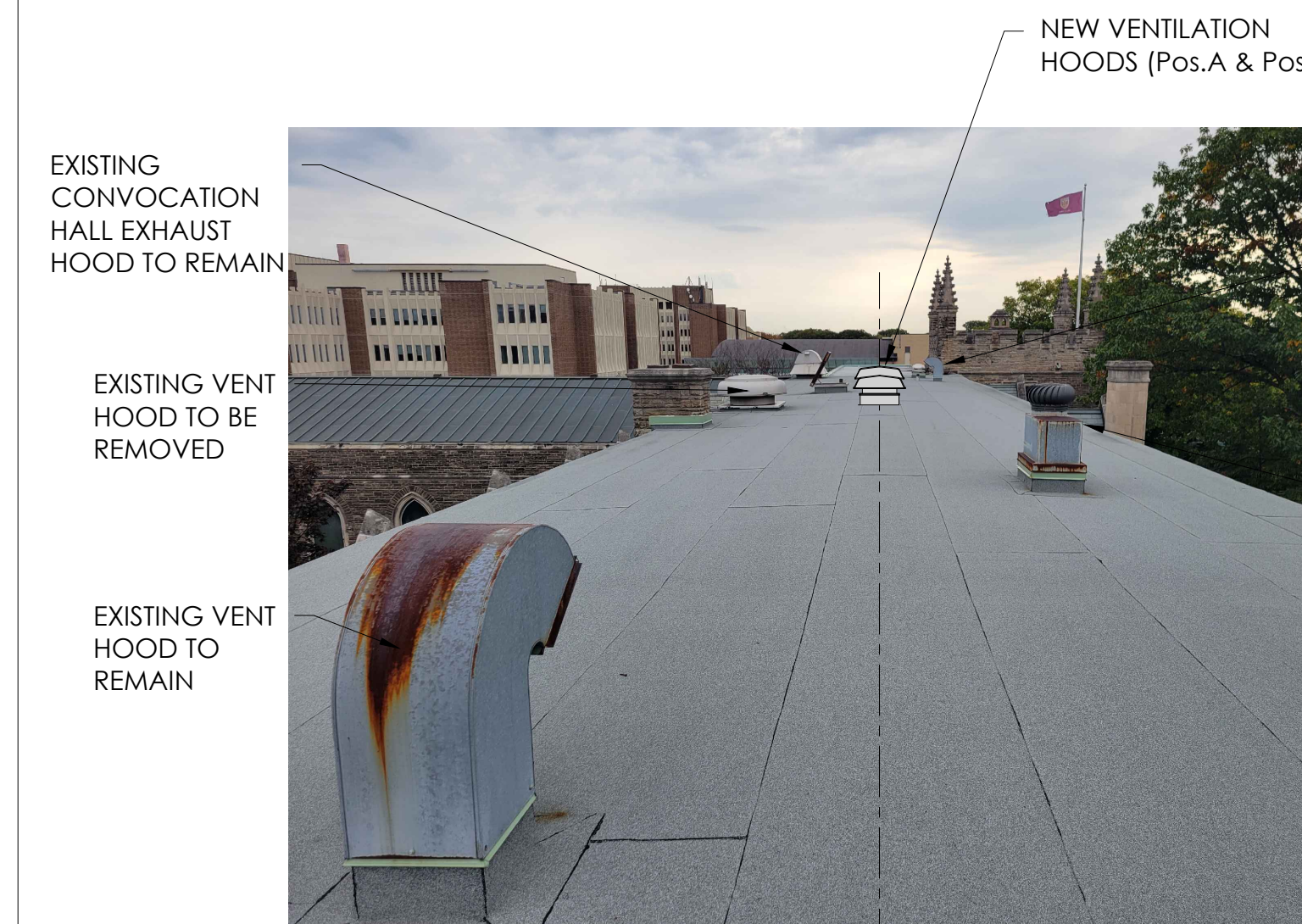
All dimensions and measurements must be checked and verified by the General Contractor. Reproduction of drawings and related documents in whole or in part is forbidden without written permission of the Ventin Group.



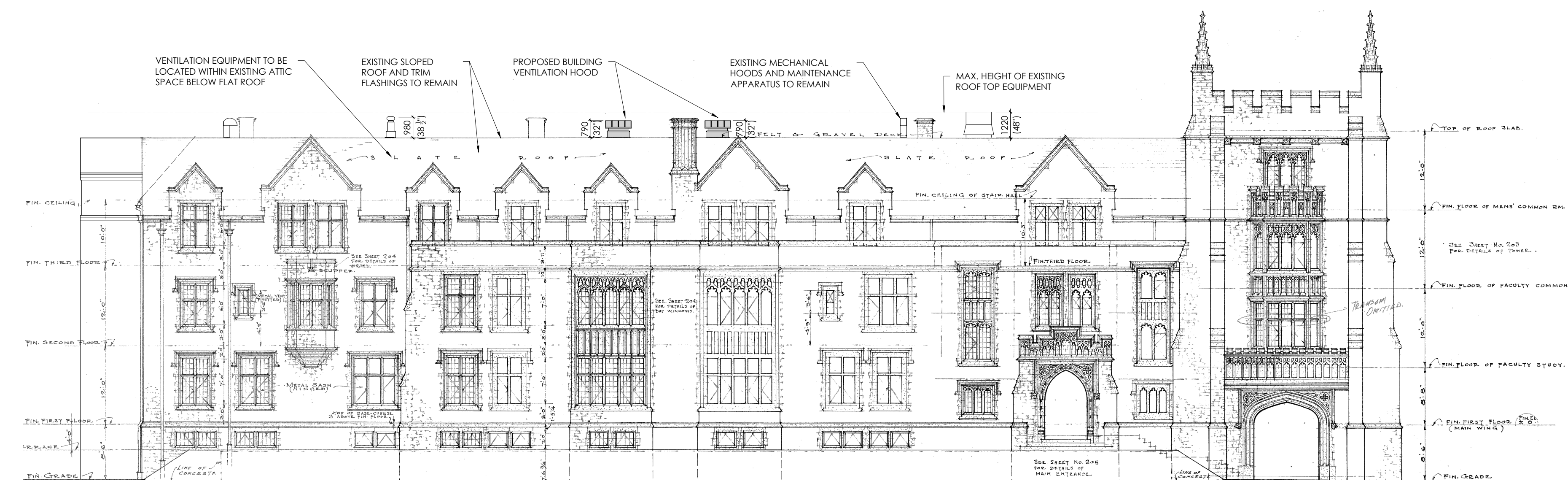
B ROOF TOP - VIEW TO WEST
A3.0 N.T.S.



1 NORTH UNIVERSITY HALL - PARTIAL ELEVATION
A3.0



A ROOF TOP - VIEW TO EAST
A3.0 N.T.S.



2 SOUTH UNIVERSITY HALL - PARTIAL ELEVATION
A3.0

Filename: K:\YVG-Barrford\McMaster University Hall Ventilation Upgrade-22262.dwg Drawings: Wd-Current\YUW-Heritage Submission.dwg
Plot Date: Apr 29, 2025 - 2:29pm By: edhuck

KEY PLAN:

CLIENT:
McMASTER UNIVERSITY
HAMILTON, ONTARIO



PROJECT:
22262

UNIVERSITY HALL VENTILATION UPGRADE

McMaster University Campus
1280 MAIN ST. W.
HAMILTON, ON L8S 4K1

ORIGINAL PAGE SIZE ARCH D - 24" x 36"

KEY TO DETAIL LOCATION:

- A - DETAIL NO.
- B - DETAIL NO. ORIGIN

+VVG ARCHITECTS
THE VENTIN GROUP LTD

A3.0

PARTIAL ELEVATIONS AND DETAILS



GLAZING LOUVERS



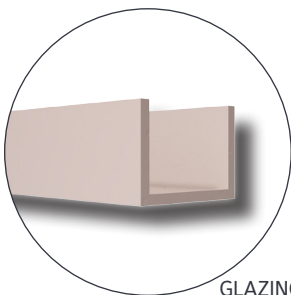
GLAZING LOUVERS



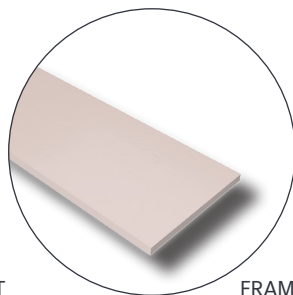
ELF15J

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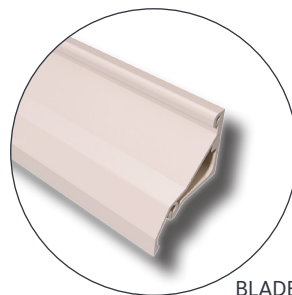
COMPONENT DETAILS



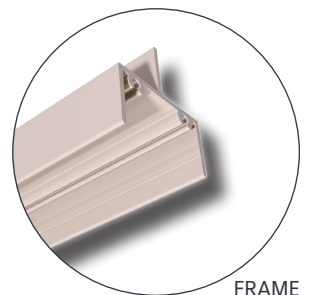
GLAZING POCKET



FRAME CAP



BLADE



FRAME

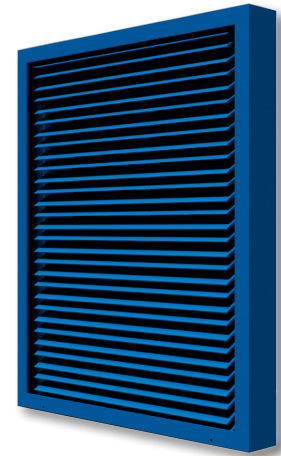


- ALUMINUM BUILD
- 1½" FRAME DEPTH
- 50% FREE AREA
- LOW MAINTENANCE
- ECONOMICAL

ELF15J

THIN LINE STATIONARY LOUVER

The ELF15J is 1½" deep stationary louver which has a 45° blade angle, primarily used for decorative and PTAC applications where water penetration is not a concern.



- ALUMINUM BUILD
- 1¼" FRAME DEPTH
- 63% FREE AREA
- ECONOMICAL
- ARCHITECTURALLY STYLED

ET125-30

THIN LINE STATIONARY LOUVER

The ET125 and ET125-30 louver(s) are 1¼" deep thin line stationary louver(s), primarily used for decorative and PTAC applications where water penetration is not a concern.



- 60° BLADE ANGLE
- 2" FRAME DEPTH
- 28% FREE AREA
- SIGHT PROOF
- LOW MAINTENANCE

ELF22V

STATIONARY LOUVER

The ELF22V is a 2" deep stationary louver which has a 60° blade angle, primarily used for decorative and PTAC applications where water penetration is not a concern.



- 45° BLADE ANGLE
- 2" FRAME DEPTH
- 42% FREE AREA
- ALUMINUM BUILD
- EXCELLENT PRESSURE DROP

ELF211

STATIONARY LOUVER

The ELF211D is a 2" deep stationary louver featuring 42% free area with a high performance frame system and a non-drainable head.

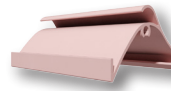


- ALUMINUM BUILD
- 2" FRAME DEPTH
- 38% FREE AREA
- LOW MAINTENANCE
- EXCELLENT PERFORMANCE

ELF211D

STATIONARY LOUVER

The ELF211D is a 2" deep stationary louver featuring 38% free area with a high performance frame system and a drainable head to help collect and remove water. This louver also has an architecturally styled hidden mullion, allowing a continuous blade appearance.



- 99% EFFECTIVE
- 2" FRAME DEPTH
- 43% FREE AREA
- SIGHT PROOF
- ECONOMICAL

EME220DD

WIND-DRIVEN RAIN LOUVER

The EME220DD Stationary Wind-Driven Rain Louver has a 2" deep frame, sight proof blades, 43% free area, and great pressure drop performance.

GLAZING LOUVERS

In the architectural community, there are applications in which louvers are installed directly into glazing systems. Glazing frame louvers are designed to easily be installed into a glazed opening. For these louvers, the glazing frame is either welded or mechanically fastened onto the louver. The louver is then installed directly into the glazing frame. The design of glazing frame louvers is easy for contractors to install directly into a glazing system(s). Some glazing frame louvers offer performance such as water penetration protection and even wind-driven rain protection.



MODEL	MIN. DIM.	MAX. DIM.	DEPTH	BLADE ANGLE	BLADE STYLE	BLADE ORIENTATION	FREE AREA	AMCA CERTIFICATION		
								AIR PERF.	WIND-DR. RAIN	WATER PENETRATION
ELF15J	6" x 6"	UNLIMITED	1½"	45°	NON-DRAINABLE	HORIZONTAL	50%	-	-	-
ET125-30	12" x 12"	UNLIMITED	1¼"	30°	THIN LINE	HORIZONTAL	63%	-	-	-
ELF22V	8" x 8"	UNLIMITED	1½"	60°	CHEVRON	HORIZONTAL	28%	-	-	-
ELF211	6" x 10"	UNLIMITED	2"	45°	NON-DRAINABLE	HORIZONTAL	42%	✓	-	✓
ELF211D	6" x 10"	UNLIMITED	2"	45°	DRAINABLE	HORIZONTAL	38%	✓	-	✓
EME220DD	6" x 6"	UNLIMITED	2"	COMPOUND	SINUSOIDAL	HORIZONTAL	43%	✓	✓	✓

*All glazing frame options are available for all extruded aluminum louvers. *For the most current catalog information please visit www.ruskin.com, or use the Ruskin® Online Louver Selection Tool.

RUSKIN® LOUVER COLORS

*NO LOUVER SHAPES AVAILABLE



*We can match any color!

HERITAGE PERMIT REVIEW SUBCOMMITTEE
Meeting Date: May 20, 2024

City of Hamilton - Heritage Permit Application Note Sheet

Address: 235 Bowman Street Hamilton (Former Princess Elizabeth School, Part IV)

Permit Number: HP2025-015

Owner: Yeshiva of Hamilton c/o Rabbi Daniel Green

Applicant/Agent: Emily McMurchy, Cynthia Zahoruk Architects

Description of proposed alterations:

- Replacement of existing corroded steel windows on the former Princess Elizabeth School with new wood and aluminum window frames in a similar design to the existing windows.

Reasons for proposed alterations:

- The existing windows have poor thermal performance as they do not provide a thermal break between interior and exterior of structure;
 - The existing windows do not provide reliable security for the building; and
 - New windows will improve thermal performance and improve security of the building.
-

Documentation submitted with application:

- Heritage Permit application form
 - Architectural Drawings of Proposed Work
 - Heritage Feature Assessment
-

Draft Conditions for Consideration:

- That any minor changes to the plans and elevations following approval shall be submitted, to the satisfaction and approval of the Director of Planning and Chief Planner, prior to submission as part of any application for a Building Permit and / or the commencement of any alterations; and
- That implementation / installation of the alteration(s), in accordance with this approval, shall be completed no later than May 31, 2027. If the alteration(s) are not completed by May 31, 2027, then this approval expires as of that date and no

HERITAGE PERMIT REVIEW SUBCOMMITTEE

Meeting Date: May 20, 2024

alterations shall be undertaken without a new approval issued by the City of Hamilton.

Designated Heritage Attributes (By-law No. 92-031)

DESIGNATED FEATURES

Important to the preservation of the former Princess Elizabeth School are the original features of the west (Front), north and south facades, and on the interior: the entrance hallway, two original stairways, corridors and auditorium. Included is the decorative stonework, the original steel-sash windows and wood doors (interior and exterior), the coved ceiling and skylight of the auditorium, the glazed wall tile and original woodwork. Excluded are the rear wall of the modern fire-rated partition walls enclosing the balcony and stairwells.

Photographs



Figure 1: Image of the front elevation of the former Princess Elizabeth School, (City files).

HERITAGE PERMIT REVIEW SUBCOMMITTEE
Meeting Date: May 20, 2024



Figure 2: North side of the west elevation of the former Princess Elizabeth School, (City Files).

HERITAGE PERMIT REVIEW SUBCOMMITTEE
Meeting Date: May 20, 2024



Figure 3: South side of West elevation of the former Princess Elizabeth School, (City Files).

HERITAGE PERMIT REVIEW SUBCOMMITTEE
Meeting Date: May 20, 2024



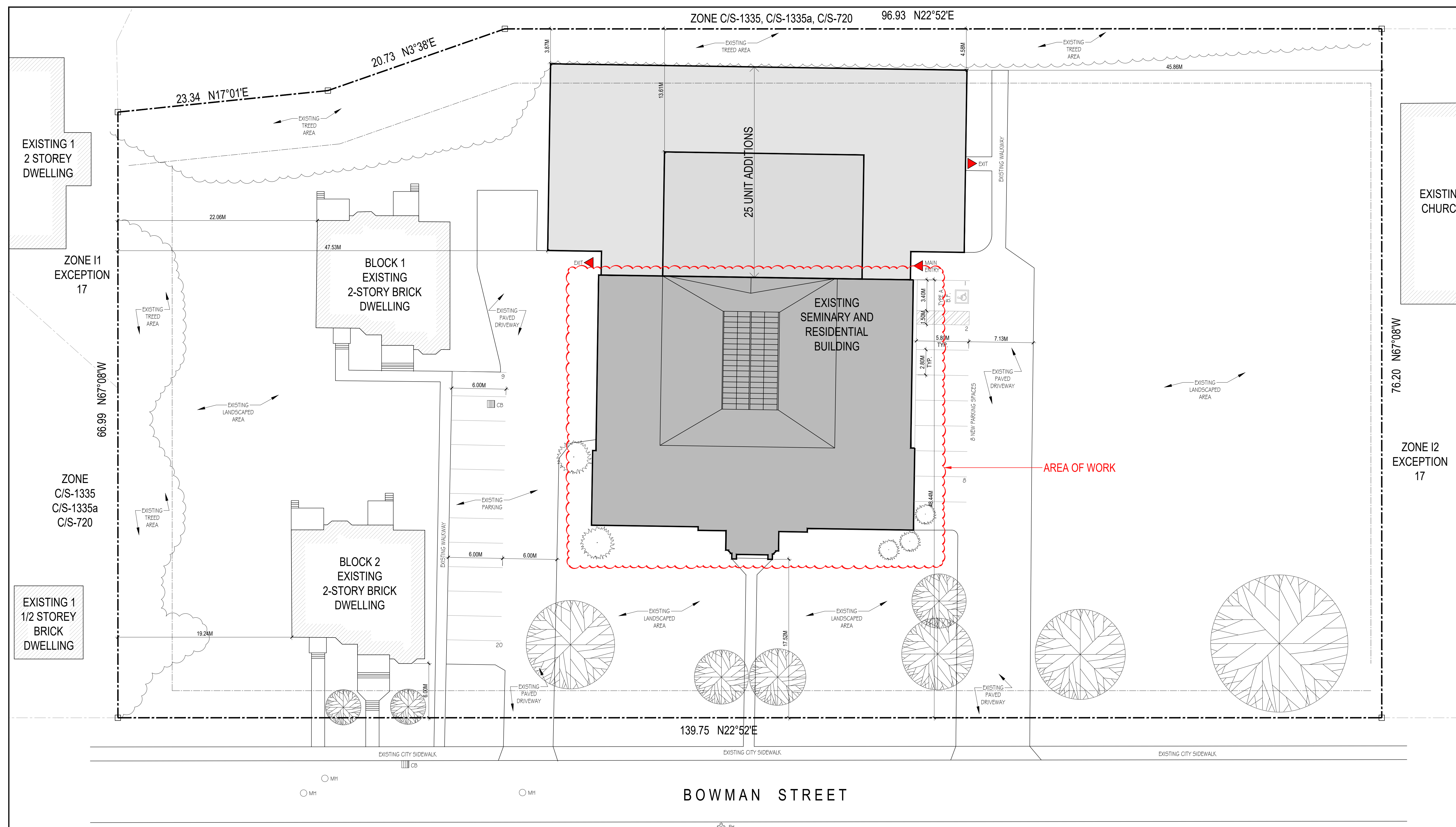
Figure 4: South elevation of the former Princess Elizabeth School, (City files).

Plans / Drawings

Please see Architectural Drawings attached as **Appendix “A”** to this Notesheet.

Please see Heritage Feature Assessment attached as **“Appendix B”** to this Notesheet.

AREA FOR E-FILE COMMENTS



NOTES:

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SCALE: AS NOTED
 DRAWN BY: KR/EM
 PRINT DATE: 30/04/2025

235 BOWMAN
 WINDOW REPLACEMENTS
 235 BOWMAN STREET
 HAMILTON ONTARIO

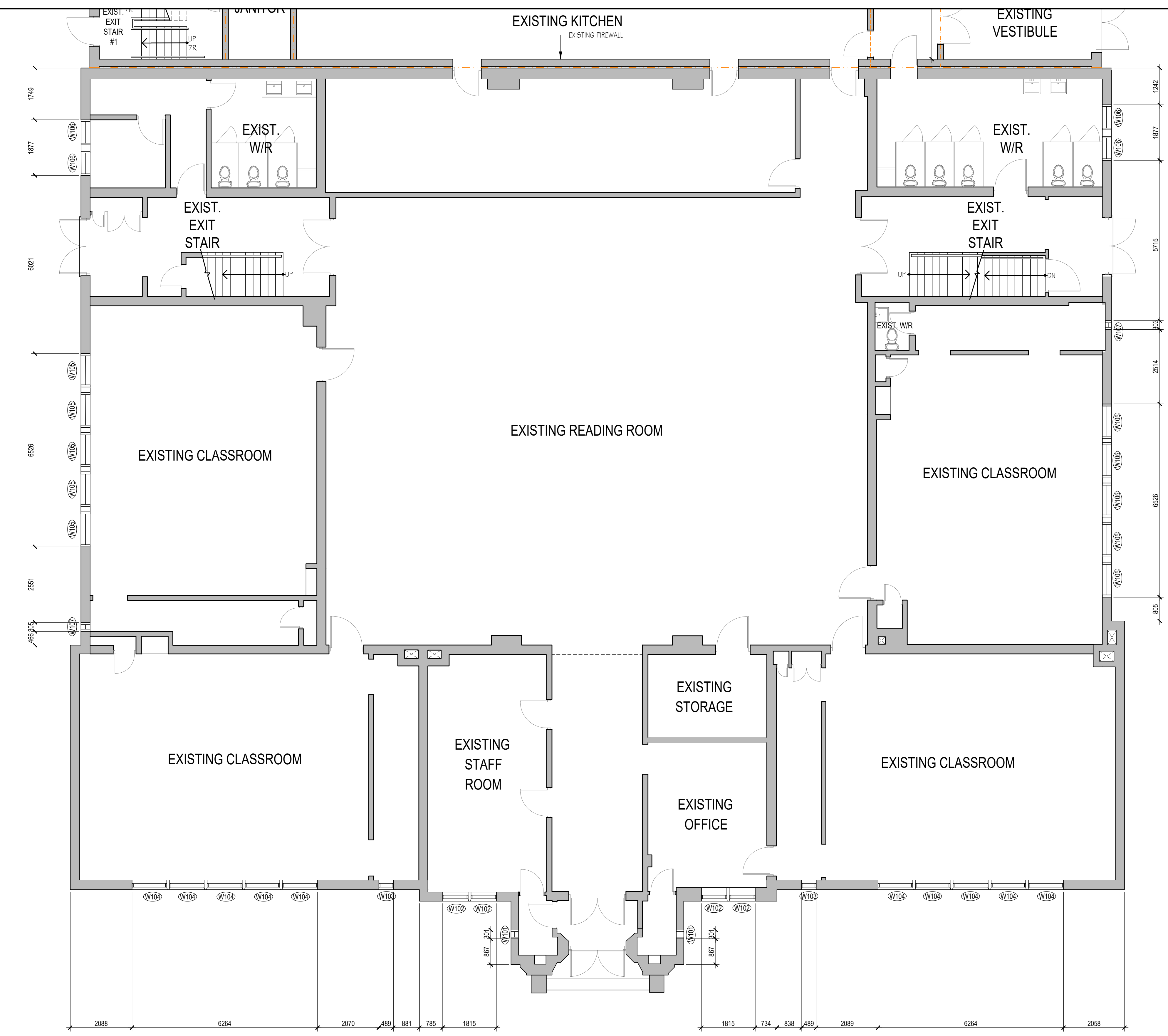
SITE PLAN

SP1.01

1 SITE PLAN
 SCALE: 1:200

GENERAL NOTES	DWG/DETAIL REFERENCE	IDENTIFICATION REFERENCE
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AREA FOR E-FILE COMMENTS



WINDOW SCHEDULE

WINDOW		
NO.	QTY.	SIZE
GROUND FLOOR		
W101	2	301mm(W) x 925mm(H)
W102	4	858mm(W) x 1607mm(H)
W103	2	489mm(W) x 1607mm(H)
W104	10	1173mm(W) x 3117mm(H)
W105	10	1172mm(W) x 3117mm(H)
W106	2	829mm(W) x 1871mm(H)
W107	2	305mm(W) x 1607mm(H)
SECOND FLOOR		
W201	2	1018mm(W) x 689mm(H)
W201A	2	1018mm(W) x 1316mm(H)
W202		NOT IN USE
W203	2	489mm(W) x 1577mm(H)
W204	14	1173mm(W) x 2644mm(H)
W205	10	1172mm(W) x 2644mm(H)
W206	4	752mm(W) x 1060mm(H)
W206A	4	752mm(W) x 1991mm(H)
W207	4	743mm(W) x 1871mm(H)
W208	2	305mm(W) x 1607mm(H)



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SCALE: AS NOTED
 DRAWN BY: KR/CZ
 PRINT DATE: 30/04/2025

235 BOWMAN
 WINDOW REPLACEMENTS
 235 BOWMAN STREET
 HAMILTON ONTARIO

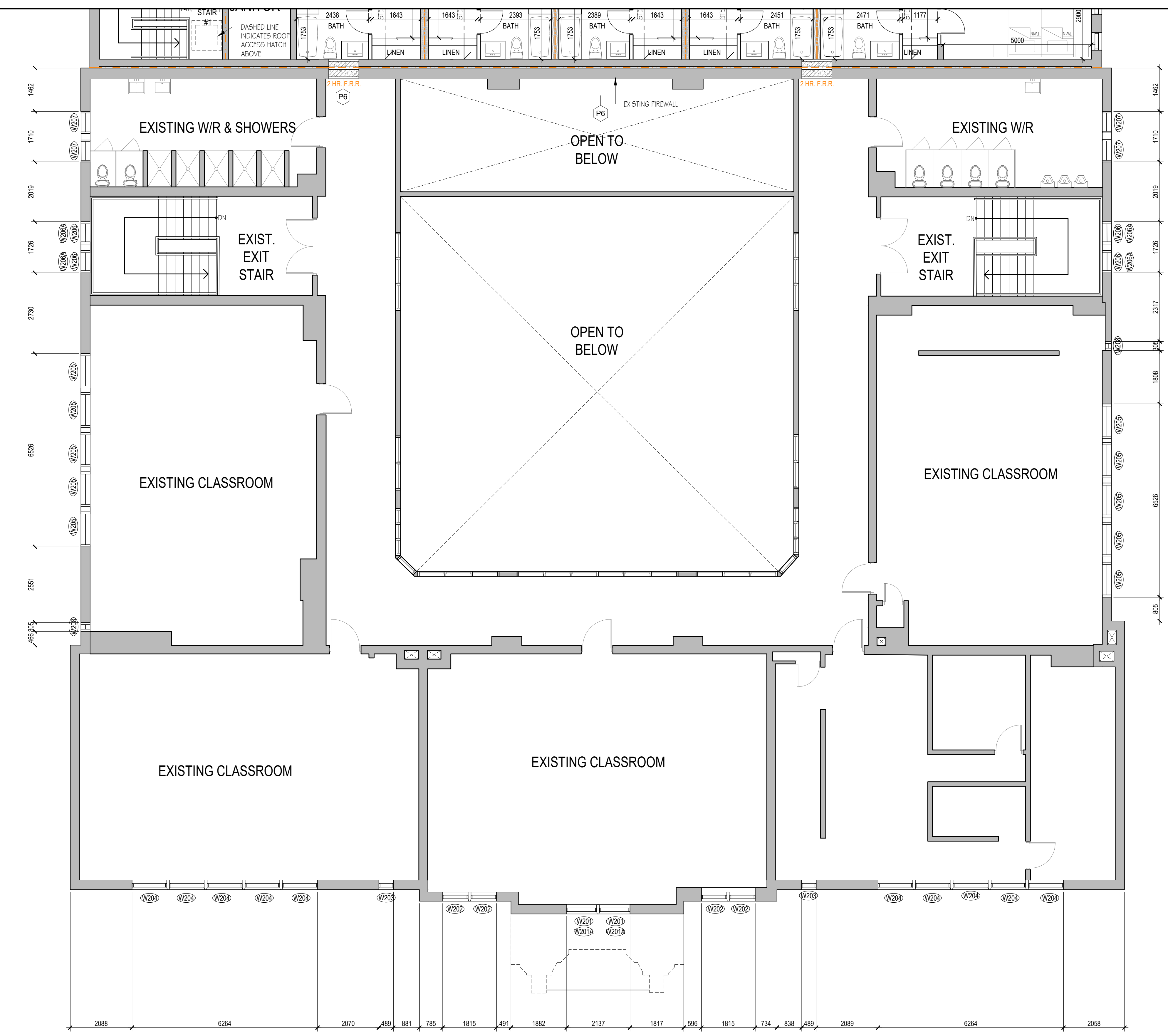
EXISTING GROUND FLOOR PLAN

A1.01

1 EXISTING GROUND FLOOR PLAN
 SCALE: 1:75

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AREA FOR E-FILE COMMENTS



CYNTHIA ZAHORUK ARCHITECTS
 3077 NEW STREET,
 BURLINGTON, ON L7N1M6
 905.331.4480



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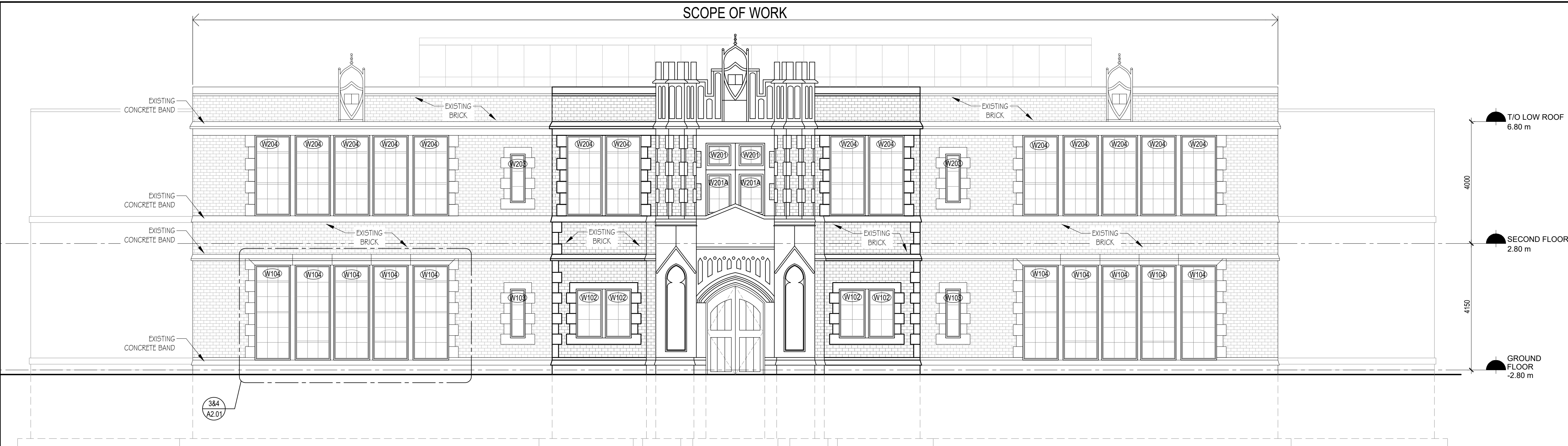
EXISTING SECOND FLOOR PLAN

A1.02

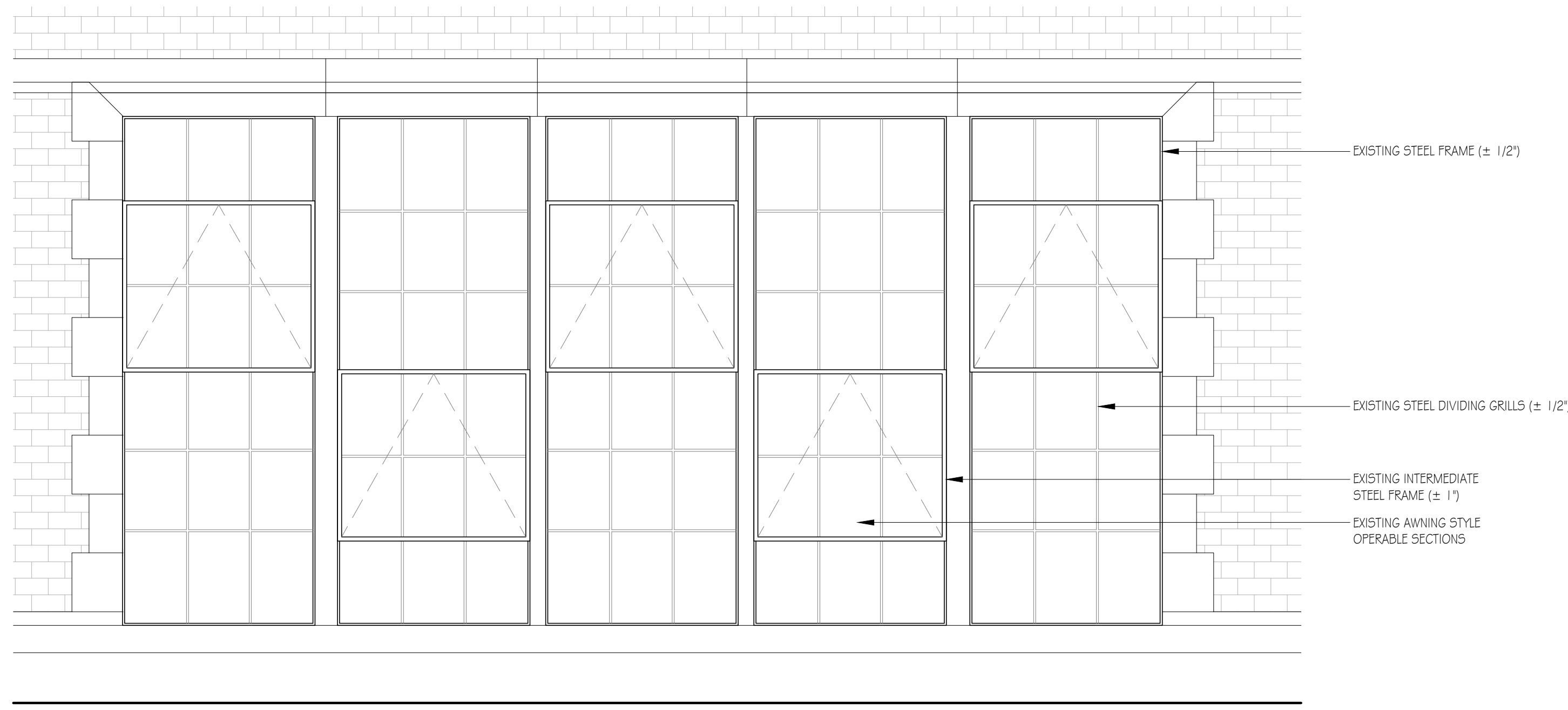
1 EXISTING SECOND FLOOR PLAN
 SCALE: 1:75

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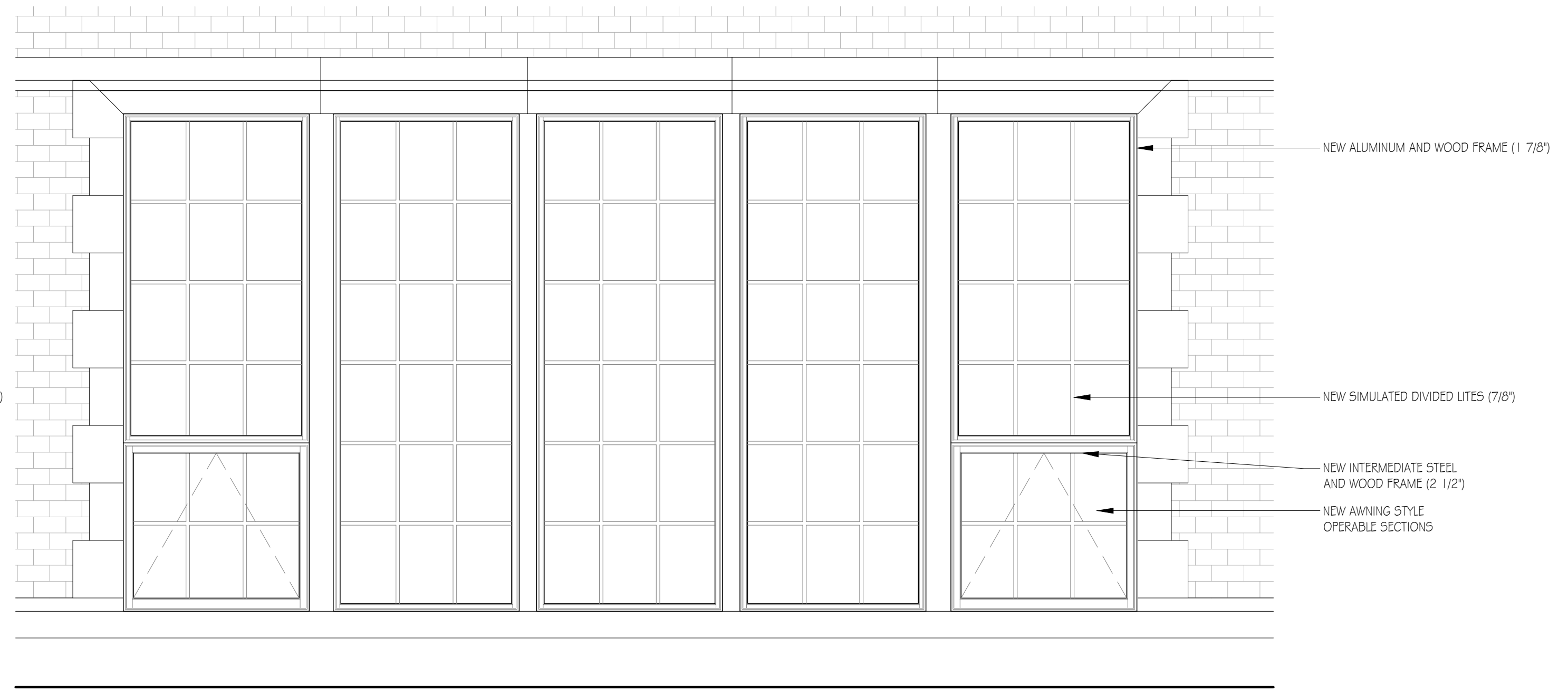
AREA FOR E-FILE COMMENTS



1 WEST ELEVATION (FRONT) - EXISTING
SCALE: 1:75



2 EXISTING WINDOW ELEVATION - EXISTING HERITAGE WINDOWS
SCALE: 1:25



3 PROPOSED WINDOW ELEVATION - PROPOSED NEW WINDOWS
SCALE: 1:25



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235 BOWMAN
WINDOW REPLACEMENTS
235 BOWMAN STREET
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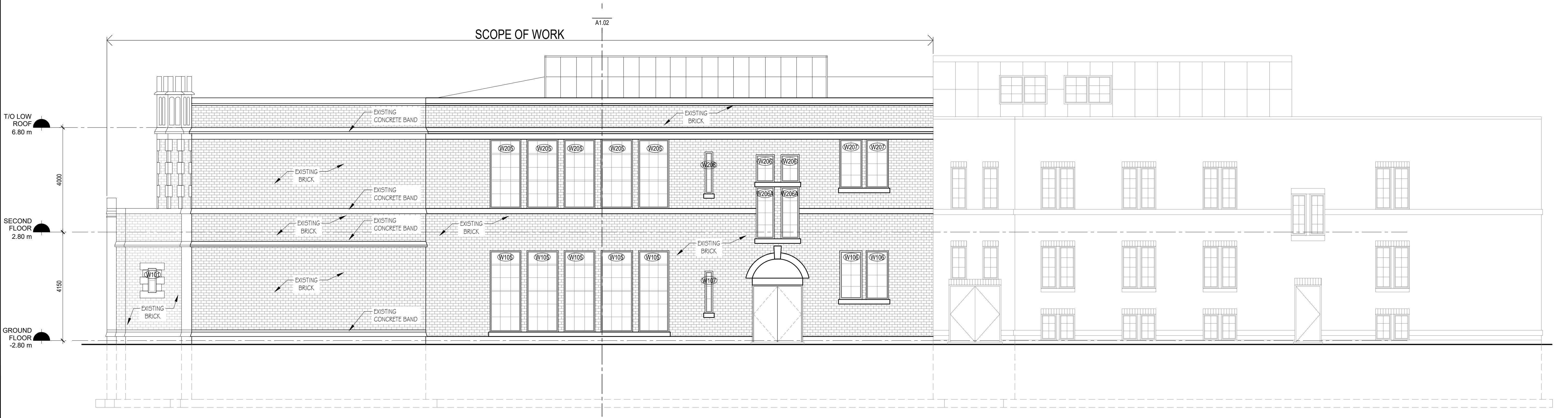
WEST AND NORTH ELEVATIONS

A2.02

AREA FOR E-FILE COMMENTS



4 NORTH ELEVATION (SIDE) - EXISTING
SCALE: 1:75



2 SOUTH ELEVATION (SIDE) - EXISTING
SCALE: 1:75



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EAST AND SOUTH ELEVATIONS

A2.01



**CYNTHIA
ZAHORUK**
ARCHITECTS

HERITAGE FEATURE ASSESSMENT

Date: May 1, 2025

To: City of Hamilton, Heritage Committee

From: Cynthia Zahoruk Architects

Project: **Yeshiva of Hamilton**

Address: 235 Bowman Street, Hamilton

Subject: **Assessment of Existing Historic Steel Sash Windows**

Building History

As described in the City of Hamilton By-Law 92-031, the Yeshiva of Hamilton school, originally West Hamilton School, was constructed in 1922 as a 1-storey brick and steel building with a second storey added in 1930. The building was renamed the Princess Elizabeth School in 1940 and then purchased by Hamilton Hebrew Academy in 1991. The original building and addition were designed by notable architects of the time, Warren & McDonnell and F.W. Warren. The original structure is an example of early twentieth century Collegiate Gothic style architecture and is particularly notable for its stone banding, carved stone detailing, Tudor-arched entrance doorway, second storey turreted frontispiece, and steel sash windows.

This application seeks to address the deterioration of the original steel sash windows.

Condition of Existing Windows

The windows have been assessed by Cynthia Zahoruk Architects and Lower City Joinery. Please refer to attached Appendix A "Condition Report" prepared by Lower City Joinery. Site review of the windows revealed that the existing wood window sills have contributed to significant water damage to the metal window frames. The frames are significantly rusted and corroded. Refer to Appendix B for photos of existing windows.

The existing windows have poor thermal performance due to the existing single pane glazing and the deteriorated solid metal frames which do not provide any thermal break between the exterior and interior of the building. The existing windows also cannot provide reliable security for the building due to their frail condition.

ARCHITECTURE

INTERIOR DESIGN

PLANNING



**CYNTHIA
ZAHORUK**
ARCHITECTS

Consideration for Refurbishment

In considering the option of maintaining the existing steel frames and replacing the glazing with modern dual pane glazing it does not appear likely that the existing steel frames could survive or function with replaced modern glass. Many parts of the historic metal frames are corroded beyond repair, it is not known whether they could remain in-tact during removal of the existing glass or whether the existing thin metal frames could structurally support the dual pane glazing that is required for increased thermal performance of the building.

Furthermore, if the glass is replaced and the frames remain then the historic frames are expected to degrade further while they continue to collect condensation due to their lack of thermal break. Refurbishment of the existing non-thermally broken frames and installing thermal glazing would easily be more costly and less sustainable for the future operation of the school. The required effort to replace the glass and restore the frames in situ is not practically or financially feasible.

An alternate consideration for the possibility of maintaining the historic windows is to install new storm windows outside of the existing windows. Due to the size of the window openings (up to 1.2m W x 3.1m H in groupings of 5), the use of exterior storm windows will dramatically affect the look of the building as individual mullions would need to be added for strength. The result will block any views of the original windows on the exterior of the building and will not be beneficial to the historic aesthetic.

Consideration for Replacement Windows

Thoughtfully designed and selected replacement windows can replicate the appearance of original heritage windows, ensuring that the building's historical character is maintained through the use of slim profile frames and simulated divided lights. Ridley Windows has provided a design (see attached Appendix C) for combination wood and aluminum window frames which offer increased durability and building performance while very closely matching the original heritage windows style to respect and preserve the character of the building.

Carefully and intentionally designed replacement windows can maintain the overall character of the windows with a thermally broken modern aluminum and wood frame window conforming to current code standards for water control and thermal conductivity. This adds to overall building energy efficiency, security and comfort in the interior spaces.

Modern windows offer better insulation and can significantly reduce energy consumption for heating and cooling. The existing R-value (heat transfer resistance) of the windows, which comprise 23% of the exterior wall area, is approximately R1. Whereas new double pane and thermally broken windows will provide an R-value of minimum R3.125 helping to regulate

ARCHITECTURE

INTERIOR DESIGN

PLANNING



temperature, reduce drafts, improve the interior environment comfort, decrease energy consumption for the building, and provide a far more sustainable solution for the Owner.

Replacement windows also provide an opportunity to install proper functioning operators (opening windows) which will allow natural ventilation of classroom spaces. Replacement windows can also feature advanced locking mechanisms and stronger glass, improving the overall security of the building.

Conclusion

The existing windows have deteriorated significantly due to weather exposure since their original construction, inhibiting building performance and security. The metal frames in particular are heavily damaged and do not appear to be stable enough to survive replacement of glazing or to support the weight and depth of modern double pane glazing that would be required to improve the building's thermal and energy performance. It is our recommendation to remove the existing failing windows and to install new windows to match the original windows dimensions as closely as possible and maintain the historic presence of the building while also providing modern thermal and energy performance.

Sincerely,

A handwritten signature in black ink, appearing to read "CZ", with a long horizontal flourish extending to the right.

Cynthia Zahoruk
O.A.A., MRAIC, LEED Ap
B.E.S., B. Arch, CPHD

A handwritten signature in black ink, appearing to read "EMcMurchy", with a long horizontal flourish extending to the right.

Emily McMurchy
O.A.A., M.Arch, HonBAS, CPHD



APPENDIX A

Condition Statement

prepared by Lower City Joinery

April 17, 2025

ARCHITECTURE

INTERIOR DESIGN

PLANNING

3077 New Street, Suite 201
Burlington, ON L7N1M6

www.czarchitect.com

Phone: 905-331-4480
Email: cz@czarchitect.com



17 April, 2025

Lower City Joinery
34 Biggar Avenue
Hamilton ON L8L 3Z4

Yeshiva of Hamilton
Attn: Rabbi Daniel Green
235 Bowman St
Hamilton, ON

Condition Statement; 235 Bowman St. Windows

The steel windows at 235 Bowman Street, Hamilton, ON show signs of extensive corrosion. Wood sills are degrading due to condensation from the primarily single-glazed windows. Previous attempts to exclude moisture with silicone and other caulking have made matters worse by retaining moisture that otherwise may have drained away, thereby exacerbating corrosion of the steel frames.

Although some of the original single-glazing has been replaced with double-glazed IGUs, the vast majority of the glazing is single and failing. Seals on the very slim IGUs are also failing.

Replacing existing windows with modern double-glazed windows in a style sympathetic to the existing windows would preserve the aesthetic value while minimizing energy loss.

Prepared by:

Mike Kennedy – Lower City Joinery

LOWER CITY JOINERY	HAMILTON, ONTARIO	(905) 807-7893	MK@LOWERCITYJOINERY.COM	LOWERCITYJOINERY.COM
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APPENDIX B

Photos of Existing Windows

March 31, 2025



Figure 1 – Existing corroded steel window frame



Figure 2 – Existing rusted steel window frame



Figure 3 – Existing corroded steel window frame patched with caulking, cracked glass, and water-damaged wood window sill.



Figure 4 – Existing corroded steel window frame patched with caulking, and water damaged wood window sill.



Figure 5 – Existing corroded steel window frame.



Figure 6 – Existing corroded steel window frame with cracked glass, and water damaged wood window sill.

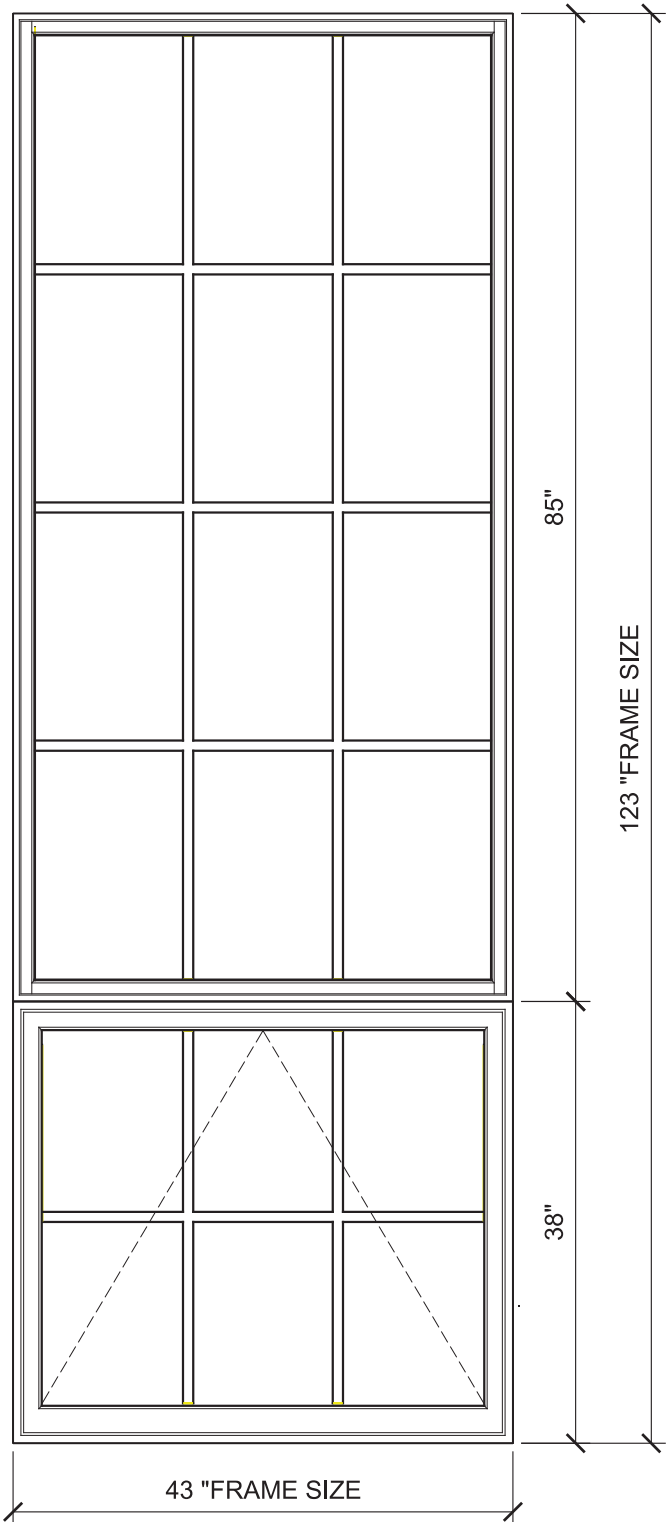


APPENDIX C

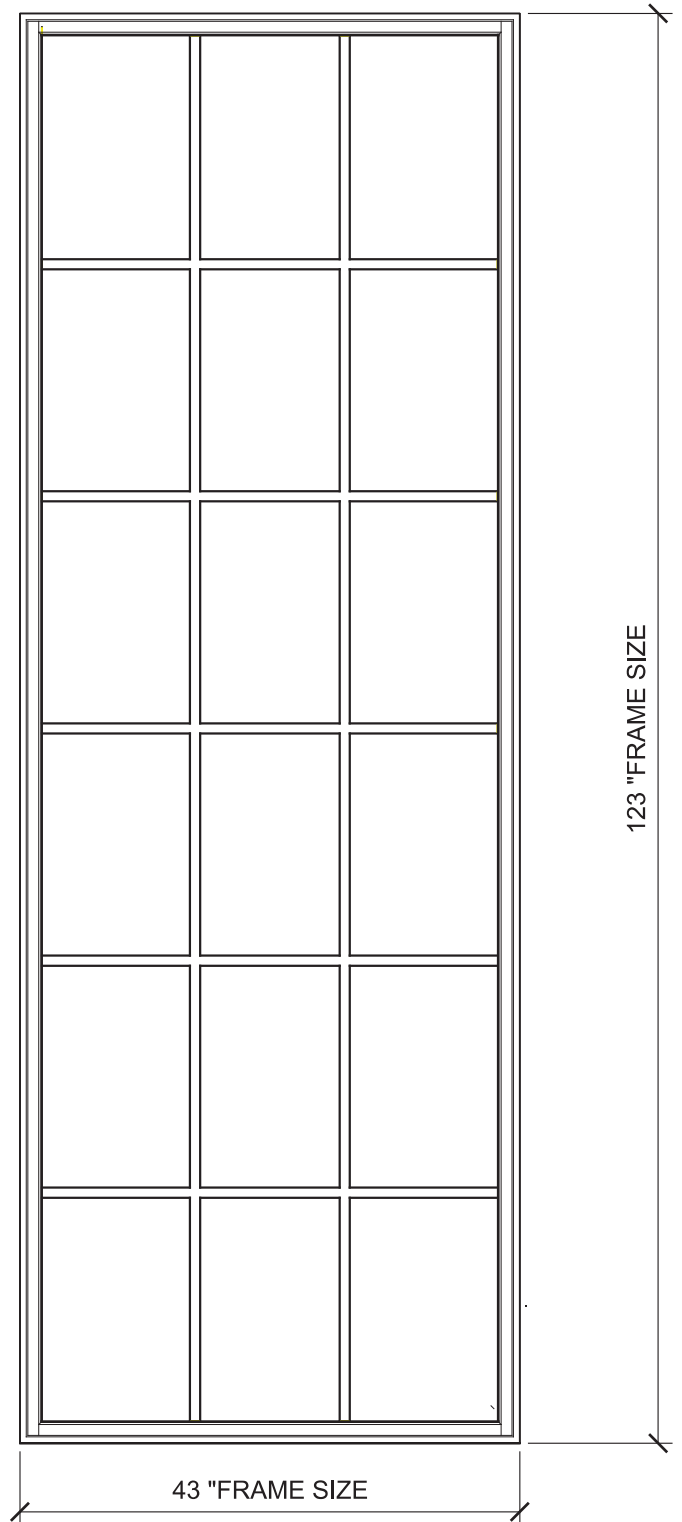
New Window Details

prepared by Ridley Windows and Doors

February 20, 2025

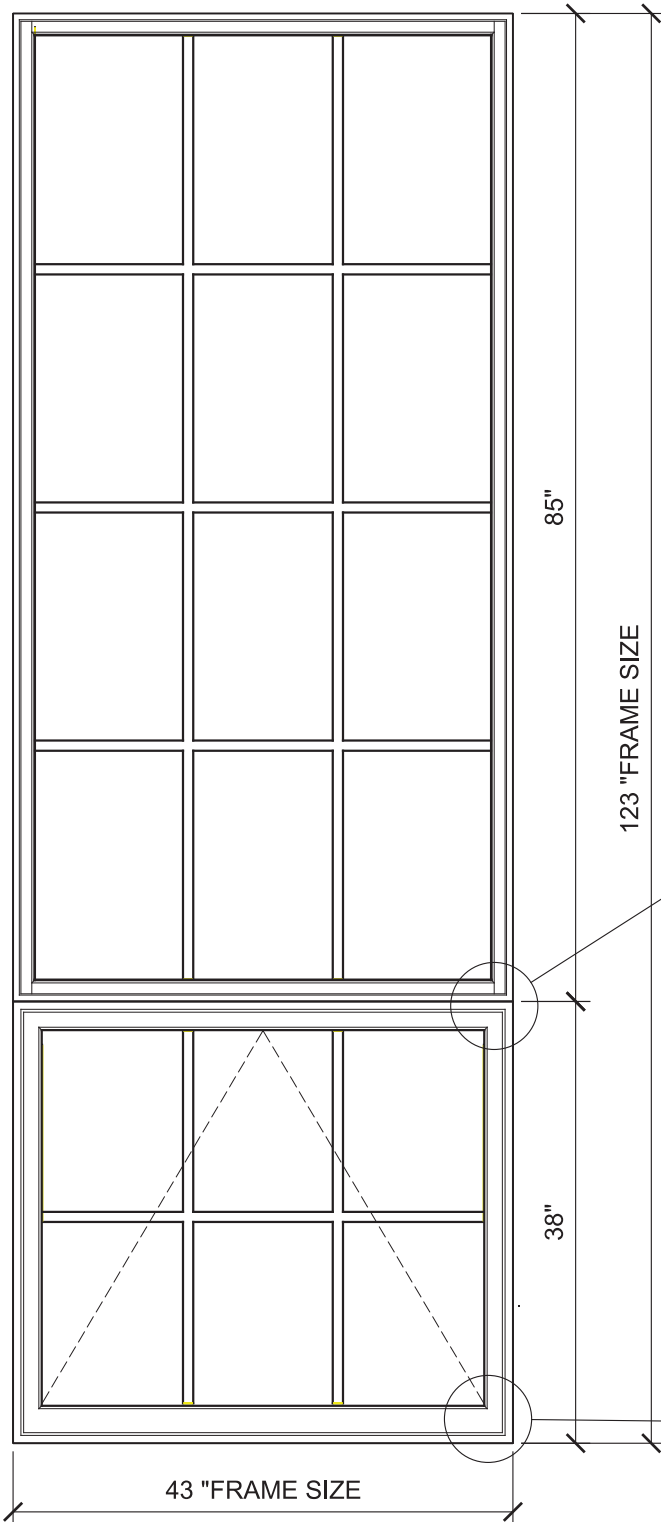


VENTING

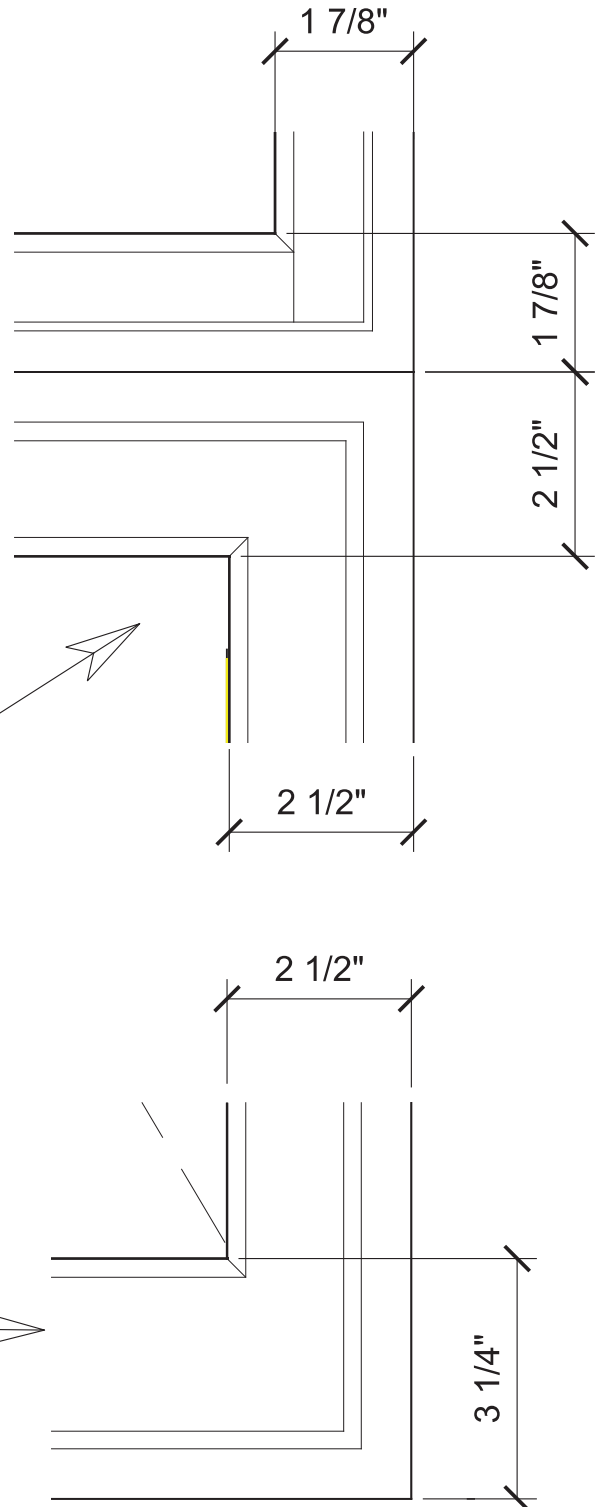


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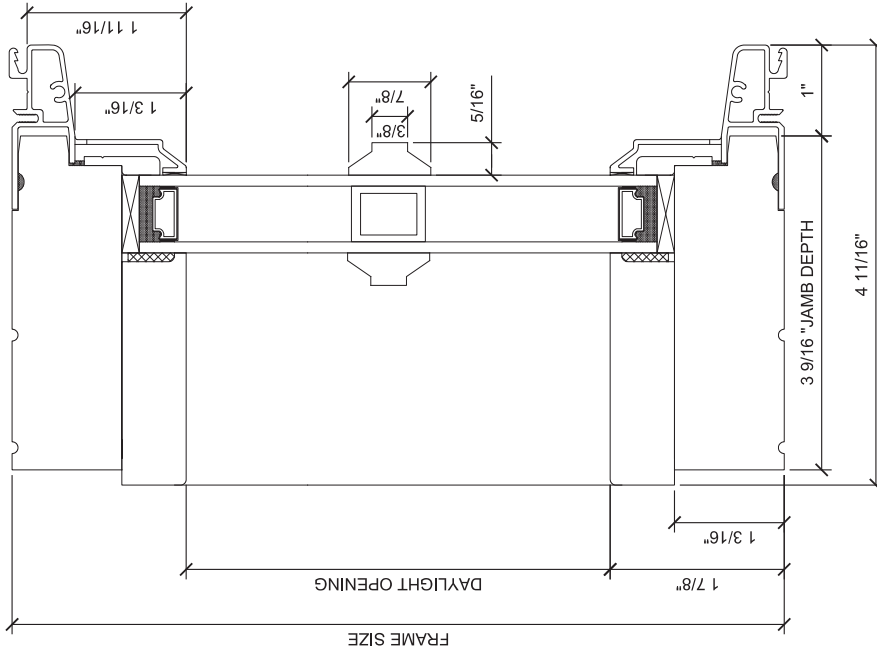
REVISION DATE: MM/DD/YY	BY RM	REVISION DESCRIPTION: INITIAL RELEASE	REV A
<p>RIDLEY WINDOWS & DOORS</p>		PROJECT: YESHIVA HERITAGE SCHOOL	
		DRAWING: WINDOW DETAILS	
DWG DATE: 02/20/25	DRAWN BY: RM	SCALE:	PAGE: 1 OF 1
FULL FILE NAME: Y:\2025 PROJECTS\YESHIVA HERITAGE SCHOOL			



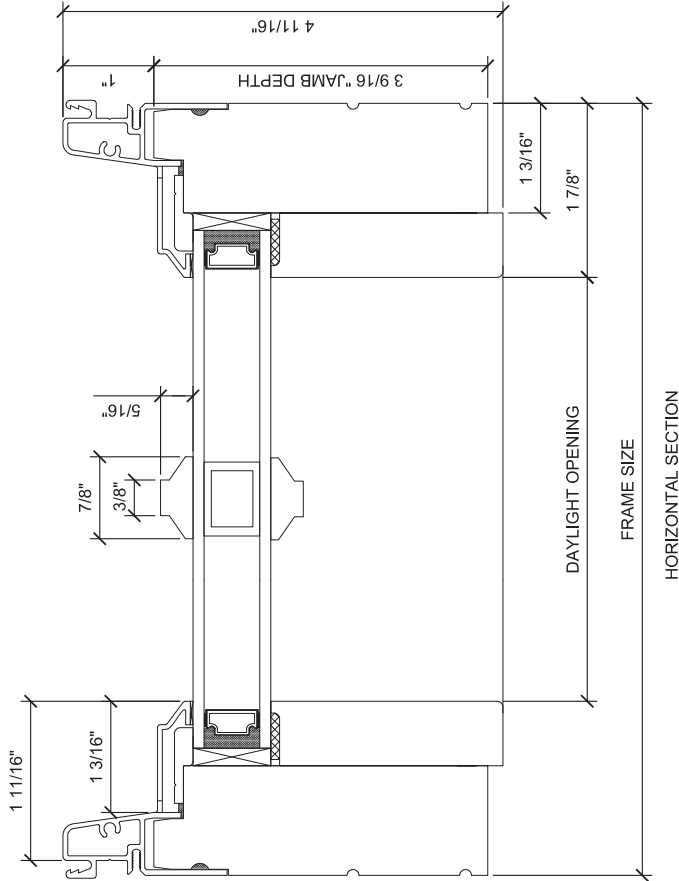
VENTING



REVISION DATE: MM/DD/YY	BY RM	REVISION DESCRIPTION: INITIAL RELEASE	REV A
RIDLEY WINDOWS & DOORS		PROJECT: YESHIVA HERITAGE SCHOOL	
		DRAWING: WINDOW DETAILS	
DWG DATE: 02/20/25	DRAWN BY: RM	SCALE:	PAGE: 1 OF 1
FULL FILE NAME: Y:\2025 PROJECTS\YESHIVA HERITAGE SCHOOL			



VERTICAL SECTION



HORIZONTAL SECTION

REVISION DATE: MM/DD/YY	BY: RM	REVISION DESCRIPTION: INITIAL RELEASE	REV: A
RIDLEY WINDOWS & DOORS			
PROJECT: NORCLAD WINDOW			
DRAWING: DIRECT SET WITH 7/8" PUTTY GRILLE BARS			
DWG DATE: 02/19/25	DRAWN BY: RM	SCALE:	PAGE: 1 OF 1
FULL FILE NAME: COMMON SUPLIERS/NORWOOD/NORCLAD DETAILS			

HERITAGE PERMIT REVIEW SUBCOMMITTEE
Meeting Date: May 20, 2024**City of Hamilton - Heritage Permit Application Note Sheet****Address:** 2463 Hwy 5 West, Flamborough (The Lochner Cottage, Part IV)**Permit Number:** HP2025-016

Owner: Greta and Lammert Koonstra**Applicant/Agent:** Robert Pasuta and Susan Fielding

Description of proposed alterations:

- Demolition of existing non-designated structure on property, and
- Construction of new single-family home in a similar location.

Reasons for proposed alterations:

- Existing structure does not meet the needs of owner.

Documentation submitted with application:

- Heritage Permit application form
- Site Plan
- New Construction Drawings

Draft Conditions for Consideration:

- | |
|---|
| <ul style="list-style-type: none"><input type="checkbox"/> That any minor changes to the plans and elevations following approval shall be submitted, to the satisfaction and approval of the Director of Planning and Chief Planner, prior to submission as part of any application for a Building Permit and / or the commencement of any alterations; and<input type="checkbox"/> That implementation / installation of the alteration(s), in accordance with this approval, shall be completed no later than June 30, 2027. If the alteration(s) are not completed by June 30, 2027, then this approval expires as of that date and no alterations shall be undertaken without a new approval issued by the City of Hamilton. |
|---|

Reasons for Designation (By-law No. 84-79)

This one-and-a-half-storey clapboard dwelling, built prior to 1844 is a simple form of Georgian style architecture, a design unusual in Flamborough. The four windows in the facade and the two in the east wall retain the original 9 over 6 double hung sashes, and the front doorway its sidelights. It is historically significant, having been built on property originally of a 200-acre Crown grant to the Hon. Peter Russell, a British Officer in the American War of Independence, who emigrated to Upper Canada in 1796 and settled in Toronto. He was appointed Administrator of Upper Canada.

HERITAGE PERMIT REVIEW SUBCOMMITTEE
Meeting Date: May 20, 2024

Photographs



Figure 1: View of the property from the road, structure on the left is protected by the designation by-law, Structure on the right is proposed for demolition (Google Streetview).

HERITAGE PERMIT REVIEW SUBCOMMITTEE
Meeting Date: May 20, 2024



Figure 2: South elevation of house proposed for demolition (Submitted by consultant)



HERITAGE PERMIT REVIEW SUBCOMMITTEE
Meeting Date: May 20, 2024

Figure 3: West elevation of house proposed for demolition (Submitted by consultant)



Figure 4: East elevation of house proposed for demolition (Submitted by consultant)



Figure 5: North elevation of house proposed for demolition (Submitted by consultant)

HERITAGE PERMIT REVIEW SUBCOMMITTEE
Meeting Date: May 20, 2024



Figure 6: South elevation of designated structure on the property (circa 2002, city files)

Plans / Drawings

Please see Site Plan attached as **Appendix “A”** to this Notesheet.

Please see Architectural Drawings attached as **“Appendix B”** to this Notesheet



NOTE: THERE WILL BE NO REMOVAL OF, OR ALTERATION TO, ANY EXISTING DEVELOPMENT FEATURES, AND NO CHANGES TO GRADES AT THE PROPERTY LINES.

2 Key Plan
A.10 1" = 400'-0"

1 Site Plan
A.10 1/32" = 1'-0"

- GENERAL NOTES**
1. THE CONTRACTOR MUST CHECK AND VERIFY ALL DIMENSIONS ON THE JOB PRIOR TO CONSTRUCTION.
 2. BEFORE ORDERING ROOF TRUSSES, VERIFY ALL DIMENSIONS ON THE JOB.
 3. DRAWINGS ARE NOT TO BE SCALED.
 4. ALL CONSTRUCTION IS TO MEET THE CURRENT REQUIREMENTS OF THE ONTARIO BUILDING CODE (O.B.C.) AND MUNICIPAL BY-LAWS. THE REQUIRED PERMITS AND APPROVALS ARE TO BE OBTAINED BEFORE THE CONTRACTOR COMMENCES WITH THE WORK.
 5. IF THERE ARE ANY DESIRED CHANGES TO THE DESIGN OF THE BUILDING IN WHICH THE BUILDING PERMIT WAS ISSUED FOR, THE DESIGNER MUST BE NOTIFIED OF SUCH DESIRED CHANGES AND GIVE APPROVAL BEFORE THE CHANGE COMMENCES.
 6. IF ANY ERRORS ARE DISCOVERED ON THE DRAWINGS, THE DESIGNER MUST BE NOTIFIED BEFORE CONSTRUCTION COMMENCES.

No.	DATE	DESCRIPTION
DP1	01.17.2025	Preliminary Design
DP2	01.24.2025	Issued for Client Review
DP3	01.29.2025	Issued for Client Review
DP4	02.21.2025	Issued for Client Review

iDESIGN DRAFTING
 580 Sheffield Rd., R.R.#1,
 Troy, Ontario L0R 2B0
 Office: 519-647-3223
 Cell: 519-751-8412 i-design.ca

Ian Jonkman reviews and takes responsibility for the design work on behalf of a firm, Andy Jonkman Construction Ltd., registered under sub-section 3.2.4. of Division C of the Building Code.

Individual BCIN: 45579
 Firm BCIN: 103245
Ian Jonkman
 NAME SIGNATURE

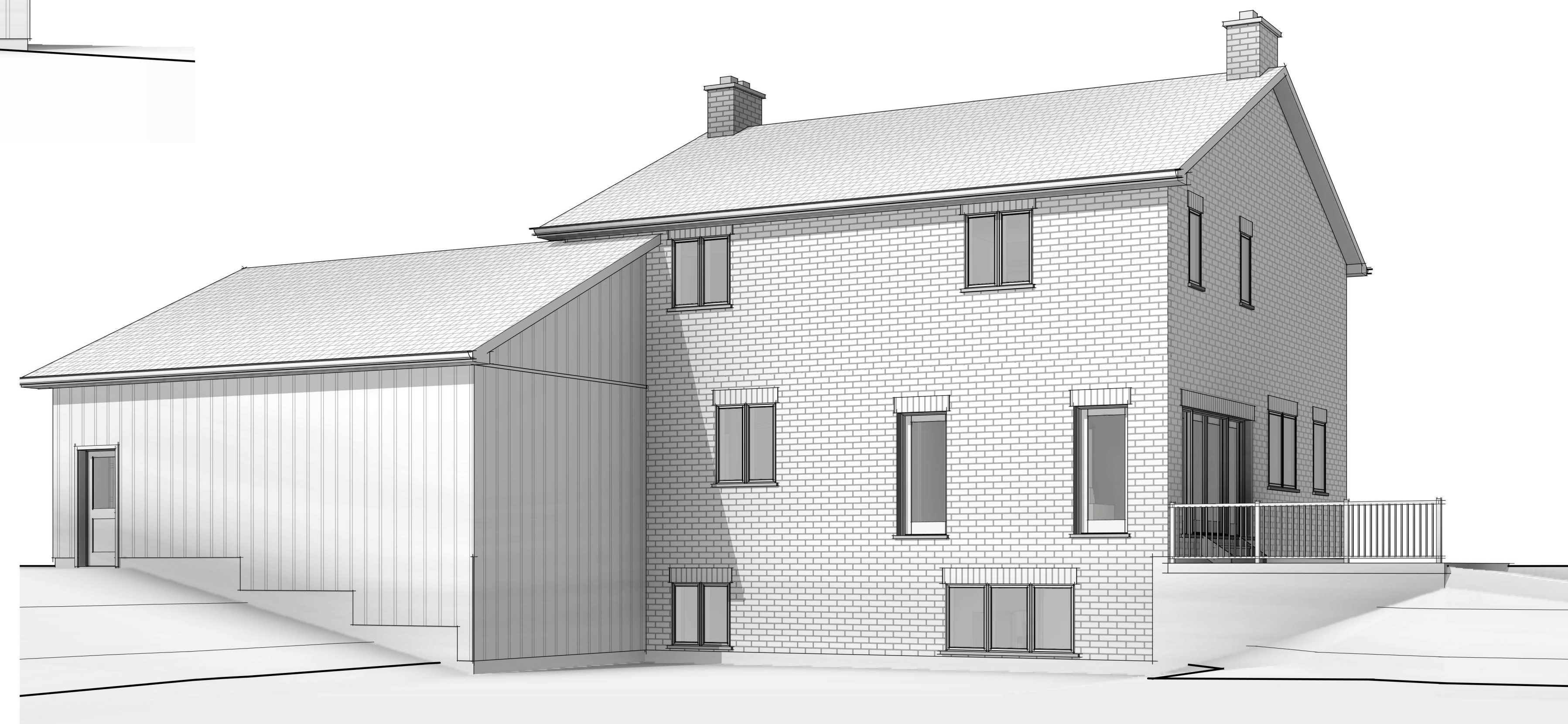
PROJECT INFORMATION
 2463 Hwy 5 W,
 Troy, ON L0R 2B0

SHEET TITLE
 Site Plan

OWNER:
DRAWN BY: B.Powell
CHECKED BY: I.Jonkman
DATE: 02.21.2025 **SHEET:** A.10
SCALE: As indicated **OF:** A.9
PROJECT NO.: J24079



- GENERAL NOTES**
1. THE CONTRACTOR MUST CHECK AND VERIFY ALL DIMENSIONS ON THE JOB PRIOR TO CONSTRUCTION.
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DRAWING INDEX

- A.1 Title Page
- A.2 Front & Back Elevations
- A.3 Left & Right Elevations
- A.4 Foundation Plan
- A.5 Main Floor Plan
- A.6 Second Floor Plan
- A.7 Roof Plan
- A.8 Building Sections & Details
- A.9 General Notes

PROJECT INFORMATION

ITEM	DESCRIPTION
1.	Building Area & Gross Area
	Living Area = 1,297 sq. ft.
	Main Floor Living Area = 1,300 sq. ft.
	Second Floor Living Area = 2,597 sq. ft.
	Attached Garage, Covered Porches, Balconies
	Attached Garage Area = 807 sq. ft.
	Front Covered Porch = 54 sq. ft.
2.	Storeys = 2 storey
3.	Specified Snow Load = 1.25kPa
4.	Climatic Zone = Zone 1 (<5000 Degree Days)
5.	Compliance Package = SB-12 Prescriptive Compliance Package A2

No.	DATE	DESCRIPTION
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DR3	01.29.2025	Issued for Client Review
DR4	02.04.2025	Issued for Client Review

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 Individual BCIN: 45579
 Firm BCIN: 103245
Ian Jonkman
 NAME SIGNATURE

PROJECT INFORMATION

2461 Hwy 5 W,
 Troy, ON L0R 2B0

SHEET TITLE

Title Page

OWNER: B.Powell

DRAWN BY: J.Jonkman

CHECKED BY: J.Jonkman

DATE: 02.04.2025 SHEET: A.1

SCALE: 1/4" = 1'-0" OF A.9

PROJECT No.: J24079



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1 FRONT ELEVATION
A.2 1/4" = 1'-0"



2 BACK ELEVATION
A.2 1/4" = 1'-0"

No.	DATE	DESCRIPTION
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DR4	02.04.2025	Issued for Client Review

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Firm BCIN: 103245
Ian Jonkman
NAME SIGNATURE

PROJECT INFORMATION
2461 Hwy 5 W,
Troy, ON L0R 2B0

SHEET TITLE
Front & Back Elevations

OWNER:	
DRAWN BY:	B.Powell
CHECKED BY:	I.Jonkman
DATE	02.04.2025
SCALE	1/4" = 1'-0" OF A.9
PROJECT No.:	J24079



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1 LEFT ELEVATION
A.3 1/4" = 1'-0"



2 RIGHT ELEVATION
A.3 1/4" = 1'-0"

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DR3	01.29.2025	Issued for Client Review
DR4	02.04.2025	Issued for Client Review

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Firm BCIN: 103245

Ian Jonkman
NAME SIGNATURE

PROJECT INFORMATION
2461 Hwy 5 W,
Troy, ON L0R 2B0

SHEET TITLE
Left & Right Elevations

OWNER:
DRAWN BY: B.Powell

CHECKED BY: I.Jonkman

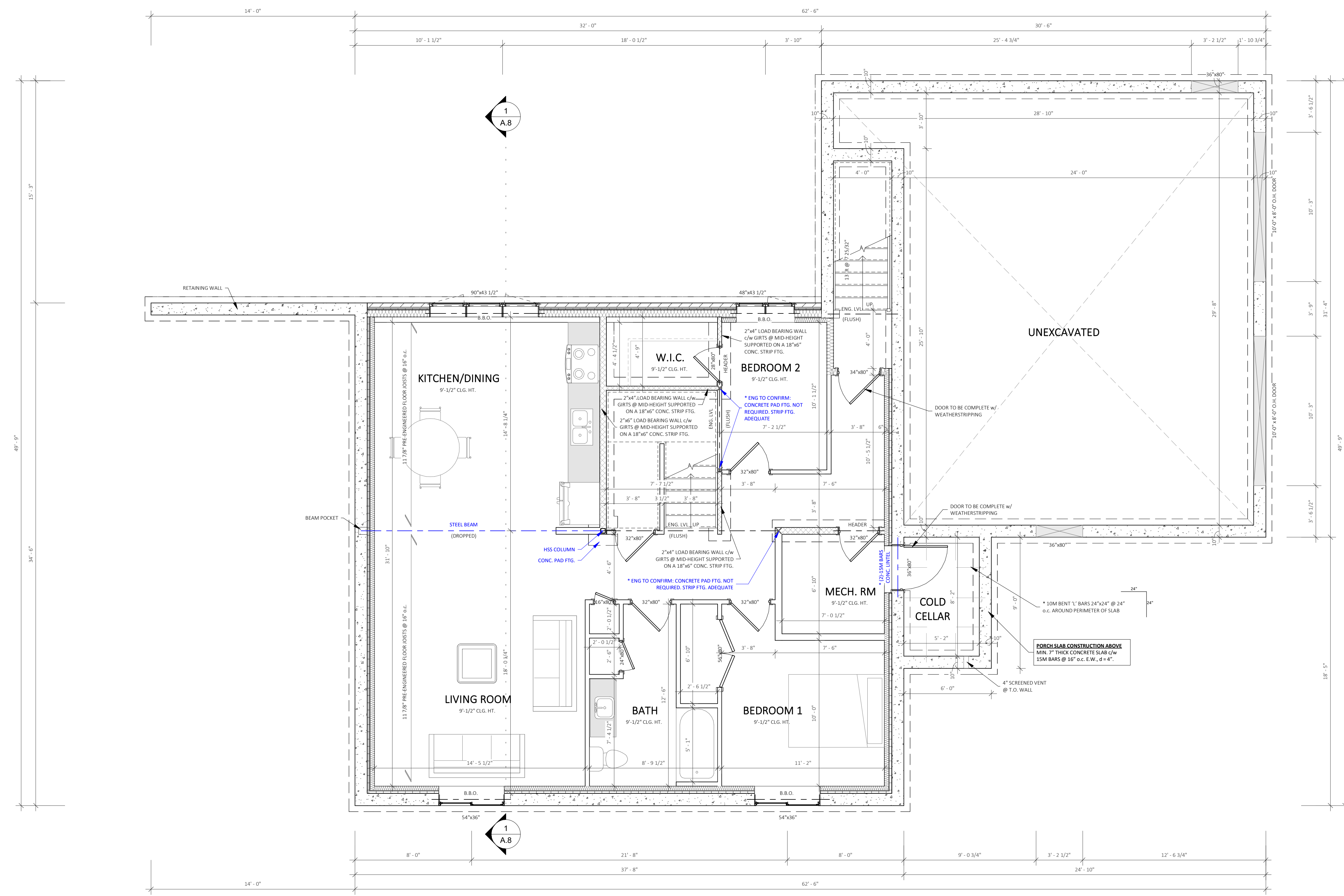
DATE: 02.04.2025 SHEET: A.3

SCALE: 1/4" = 1'-0" OF A.9

PROJECT No.: J24079

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1 FOUNDATION PLAN
A.4 1/4" = 1'-0"

No.	DATE	DESCRIPTION
DR1	01.17.2025	Preliminary Design
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DR3	01.29.2025	Issued for Client Review
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iDESIGN
DRAFTING

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Ian Jonkman
NAME SIGNATURE

PROJECT INFORMATION

2461 Hwy 5 W.
Troy, ON L0R 2B0

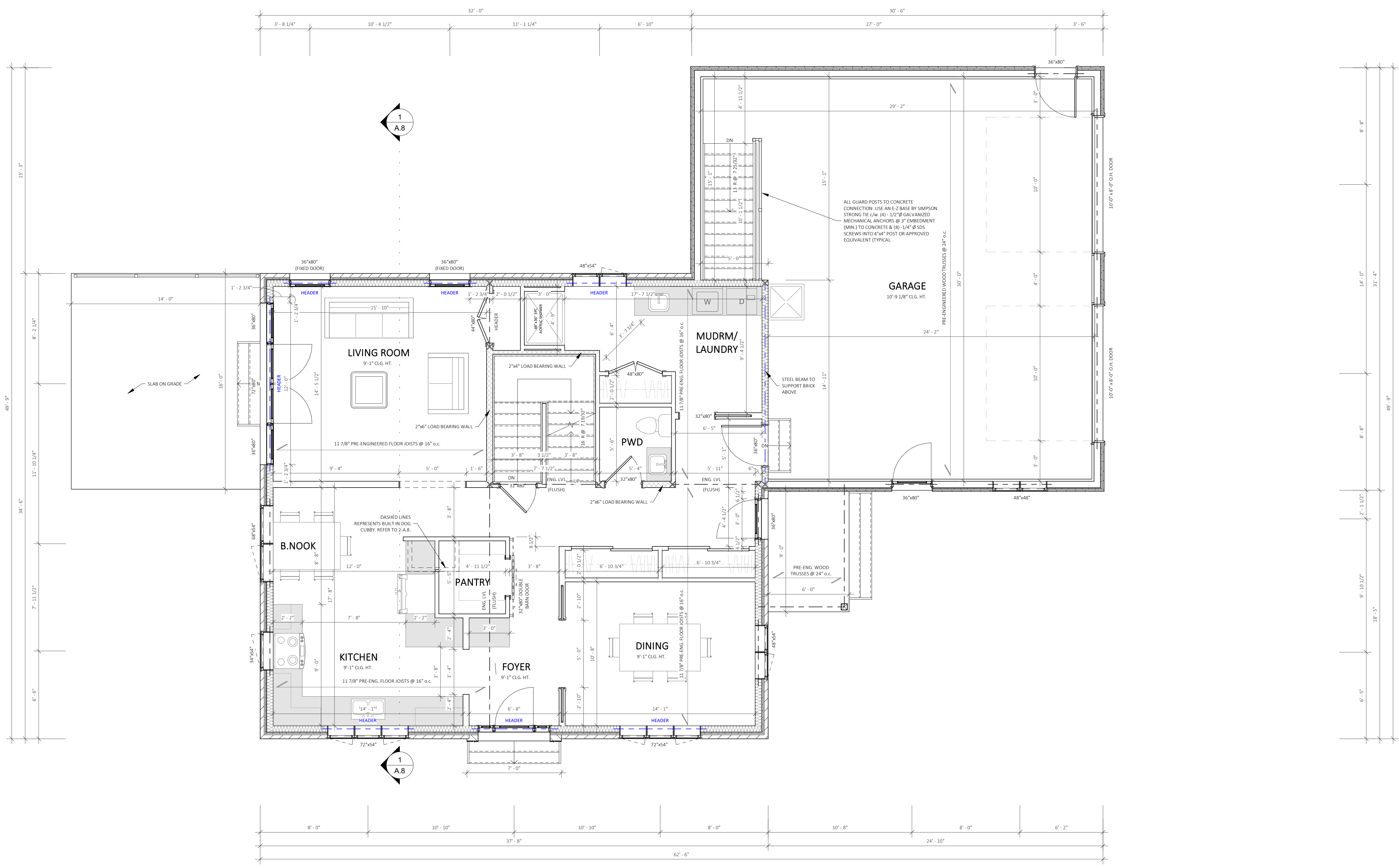
SHEET TITLE

Foundation Plan

OWNER:	
DRAWN BY:	B.Powell
CHECKED BY:	I.Jonkman
DATE	02.04.2025
SCALE	1/4" = 1'-0" OF A.9
PROJECT No.:	J24079

GENERAL NOTES

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1 MAIN FLOOR PLAN
A.5 1/4" = 1'-0"

No.	DATE	DESCRIPTION
DR1	01.17.2025	Preliminary Design
DR2	01.24.2025	Issued for Client Review
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DR4	02.04.2025	Issued for Client Review

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Individual BCIN: 45579
Firm BCIN: 103245

Ian Jonkman
NAME SIGNATURE

PROJECT INFORMATION
2461 Hwy 5 W,
Troy, ON L0R 2B0

SHEET TITLE
Main Floor Plan

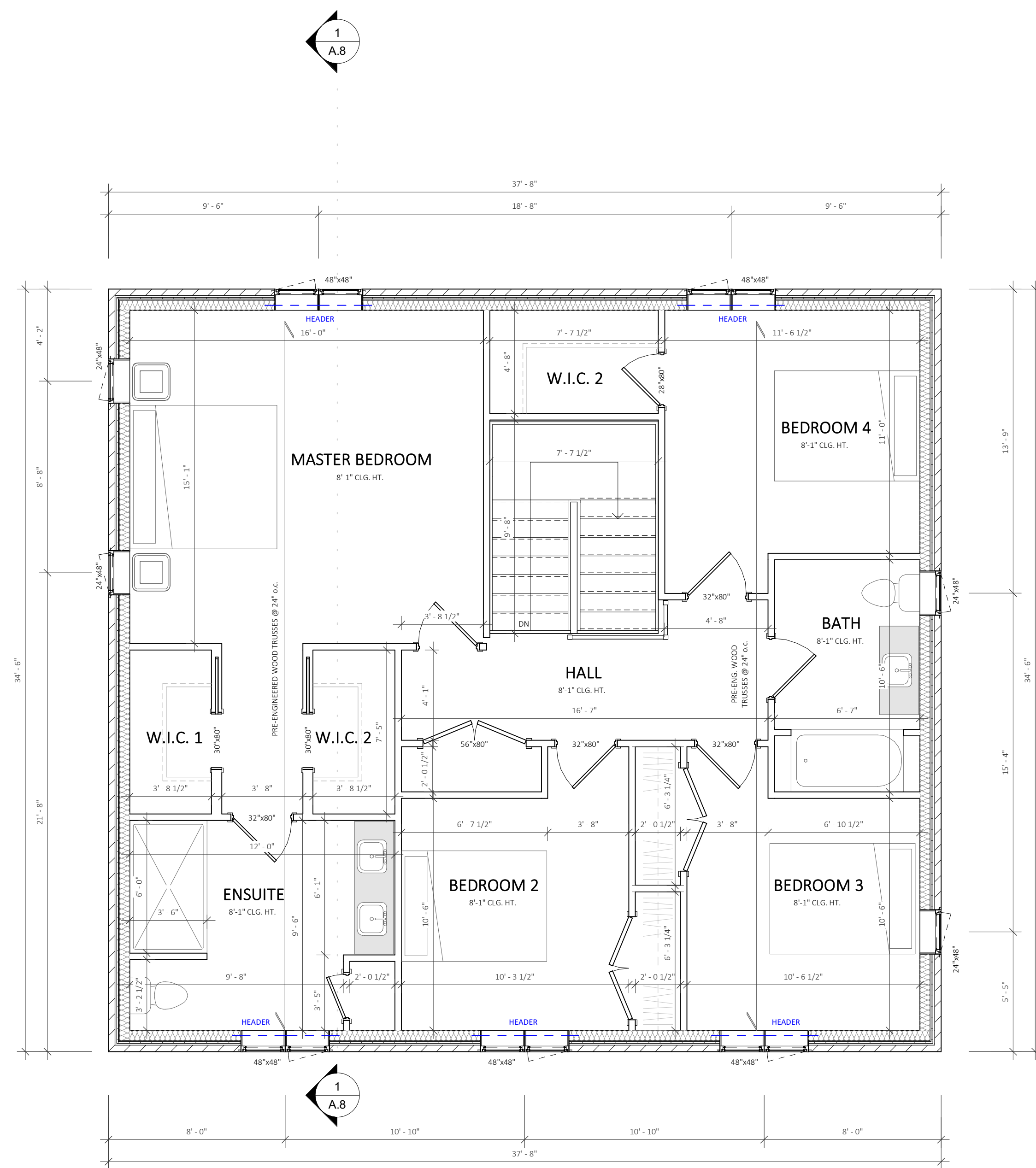
OWNER:
DRAWN BY: B.Powell
CHECKED BY: I.Jonkman

DATE	02.04.2025	SHEET	A.5
SCALE	1/4" = 1'-0"	OF	A.9

PROJECT No.: J24079



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1 SECOND FLOOR PLAN
A.6 1/4" = 1'-0"

No.	DATE	DESCRIPTION
DR1	01.17.2025	Preliminary Design
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DR4	02.04.2025	Issued for Client Review

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Troy, Ontario L0R 2B0
Office: 519-647-3223
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Individual BCIN: 45579
Firm BCIN: 103245

Ian Jonkman
NAME SIGNATURE

PROJECT INFORMATION

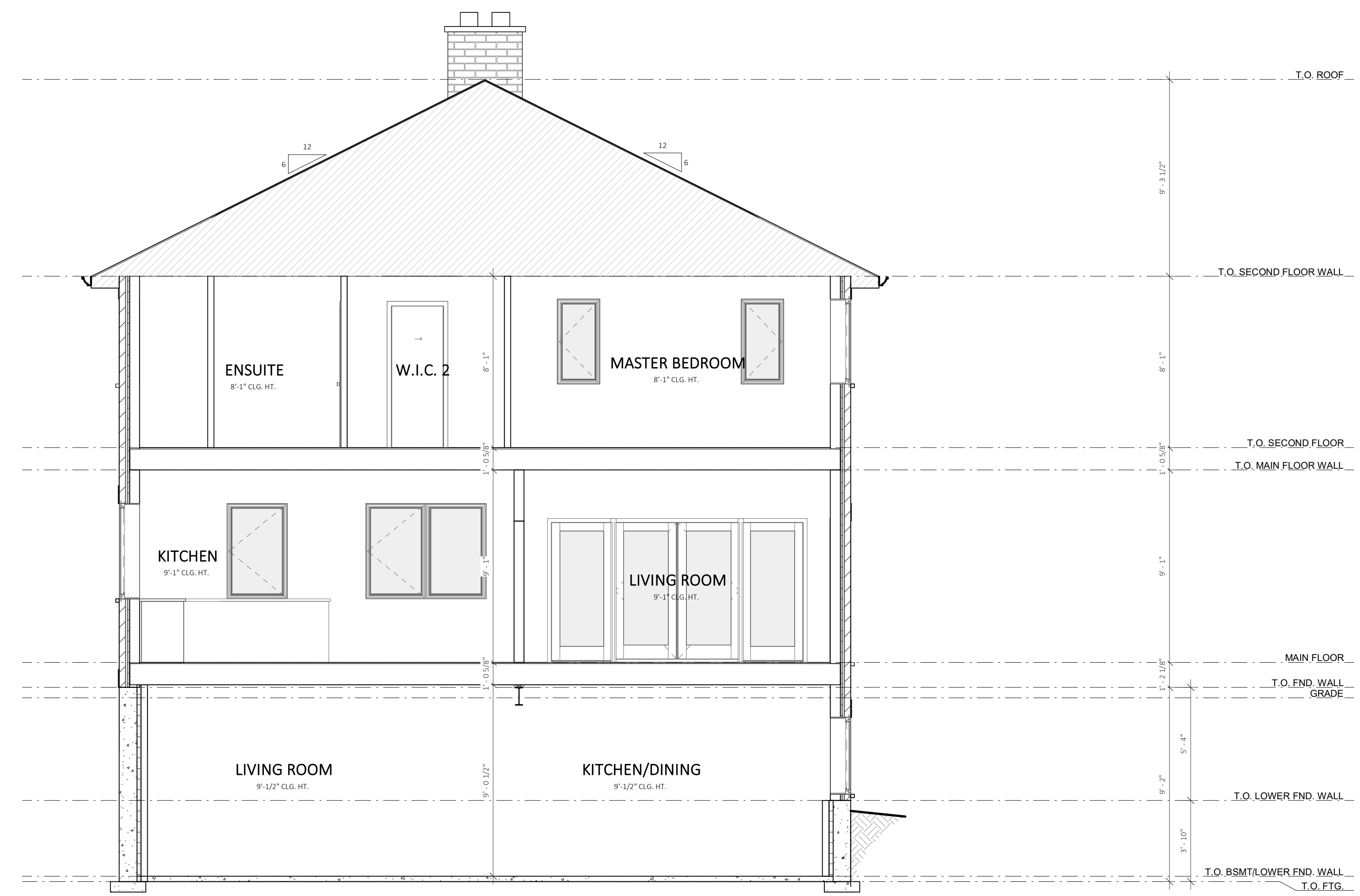
2461 Hwy 5 W.
Troy, ON L0R 2B0

SHEET TITLE
Second Floor Plan

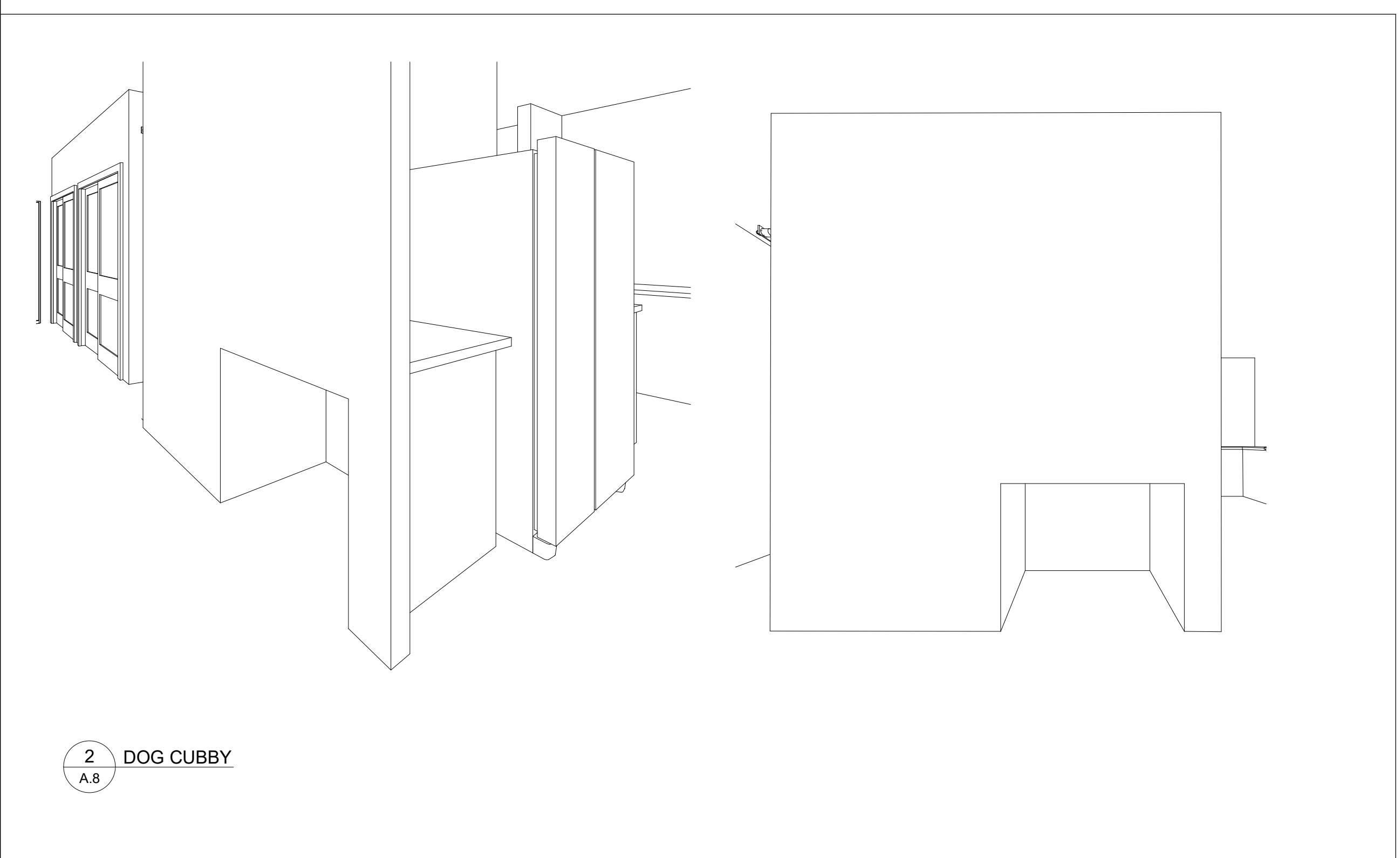
OWNER:	
DRAWN BY:	B.Powell
CHECKED BY:	I.Jonkman
DATE	SHEET
02.04.2025	A.6
SCALE	OF
1/4" = 1'-0"	A.9
PROJECT No. : J24079	



- GENERAL NOTES**
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1 CROSS SECTION 1
A.8 1/4" = 1'-0"



2 DOG CUBBY
A.8

No.	DATE	DESCRIPTION
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Individual BCIN: 45579
Firm BCIN: 103245

Ian Jonkman
NAME SIGNATURE

PROJECT INFORMATION

2461 Hwy 5 W.
Troy, ON L0R 2B0

SHEET TITLE
Building Sections & Details

OWNER:
DRAWN BY: B.Powell

CHECKED BY: I.Jonkman

DATE: 02.04.2025 SHEET: A.8

SCALE: 1/4" = 1'-0" OF A.9

PROJECT No.: J24079

HERITAGE PERMIT REVIEW SUBCOMMITTEE
Meeting Date: May 20, 2024

City of Hamilton - Heritage Permit Application Note Sheet

Address: 3 Union Street, Waterdown (Mill Street Heritage Conservation District Part V)
Permit Number: HP2025-017

Owner: Pascal Ferrand
Applicant/Agent: Same as above

Description of proposed alterations:

- Construction of new one-storey detached (24' x18') garage, including;
 - A one door garage on the first storey;
 - Horizontal wood siding; and
 - Asphalt shingles.
-

Reasons for proposed alterations:

- Presently the owner doesn't have a garage, a new garage would provide them sufficient space for storing their vehicle.
-

Documentation submitted with application:

- Heritage Permit application form
 - Elevations
-

Draft Conditions for Consideration:

- That the final details of the garage door, siding and roofing materials be submitted, to the satisfaction and approval of the Director of Planning and Chief Planner, prior to installation;
- That any minor changes to the plans and elevations following approval shall be submitted, to the satisfaction and approval of the Director of Planning and Chief Planner, prior to submission as part of any application for a Building Permit and / or the commencement of any alterations; and
- That implementation / installation of the alteration(s), in accordance with this approval, shall be completed no later than June 30, 2027. If the alteration(s) are not completed by June 30, 2027, then this approval expires as of that date and no

alterations shall be undertaken without a new approval issued by the City of Hamilton.

Relevant HCD Policies (By-law No. 96-34-H)

Mill Street HCD Plan:

4.5 New Building Construction

The introduction of new buildings into the Mill-John-Union-Griffin Heritage Conservation District is a part of the continuing changes that may be experienced by any community. New development, if permitted by the Official Plan and Zoning By-law, will be required to be compatible with the character of the adjoining properties and the streetscape. The new building must be designed to look appropriate and to be compatible with the midst of the established neighbourhood. Its appearance should be sensitive to the character of its neighbours.

The construction of new buildings, aside from accessory structures, should be confined to the construction of buildings on vacant lots. While not prohibited by the *Ontario Heritage Act*, the demolition of existing heritage buildings and redevelopment of the sites with new structures is actively discouraged within the Heritage Conservation District. Property owners are encouraged to work with existing buildings, altering and adding to them in a sympathetic manner rather than demolishing and building anew.

The following guidelines for new construction are intended to provide a framework for *compatible* development. They are not intended to be a detailed prescription for each new building. This should enable property owners to design creatively within the general context of an established built form.

4.5.1 General Policies

As any proposed building will be a new structure within the Heritage Conservation District, it is anticipated that the structure should look new and not pretend to be historic by replicating or copying older facades. Copying historic details that have no relevance in contemporary construction such as shutter, multi-paned sash, “gingerbread” and wrap-around verandahs should be avoided. The general factors that govern the visual relationships between an infill building and its neighbours: height, width, proportion, relationship to the street, roof forms, composition, proportion of openings, materials and colours, should be studied carefully and used as a basis for new construction.

4.5.9 Exterior Cladding: Materials and Colours

Brick veneer, stone, stucco and wood cladding are the most prevalent wall materials in the Heritage Conservation District. Wall materials of new construction should reflect the predominant traditional materials and their respective colours: brick (red) and stucco (light). Wood (clapboard and shiplap) is also considered to be an acceptable walling material. Wooden shingles may also be considered acceptable when used on upper wall surfaces of stucco or brick walls. Use of concrete or other masonry blocks, metal, and synthetic sidings should be avoided.

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Windows and doors in the area are predominantly painted wood. Avoid the use of synthetic or metal clad window and door units and untreated or natural wood. Stone foundations are appropriate for new construction; however, carefully selected and laid textured concrete or masonry blocks can provide a more economical alternative. Do not parge or stucco the foundation wall. Avoid using materials that were primarily used for wall construction such as bricks.

Mill Street HCD Study Excerpt - Heritage Property Assessment Report for 3 Union Street

Architecture

This two-and-a-half-storey vernacular residence is a frame structure set on a stone foundation. The gable roof is oriented east/west, almost saltbox in shape as the eaves dip close to the one-storey height along the east elevation. The main elevation was probably oriented originally towards Main Street although there are no distinguishable marks due to the modern metal siding. The principal entrance and the window openings on Union are randomly located across the elevation. Some of the window sashes have been replaced; however, the remaining six over six sashes may be indicative of an earlier construction date.

Historical Background:

The construction date is indeterminate but may date from the mid-1800s. It is located on Lot 1, Block XLII.

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Photographs



Figure 1: View of 3 Union Street from Union (City Files).



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Figure 2: View of 3 Union Street from Main Street South, (Google Street View).



Figure 3: View to garage location, (C/O Owner).

Plans / Drawings



Figure 4: Site Plan Submitted by owner. Please note the proposed deck is no longer part of the scope of work.

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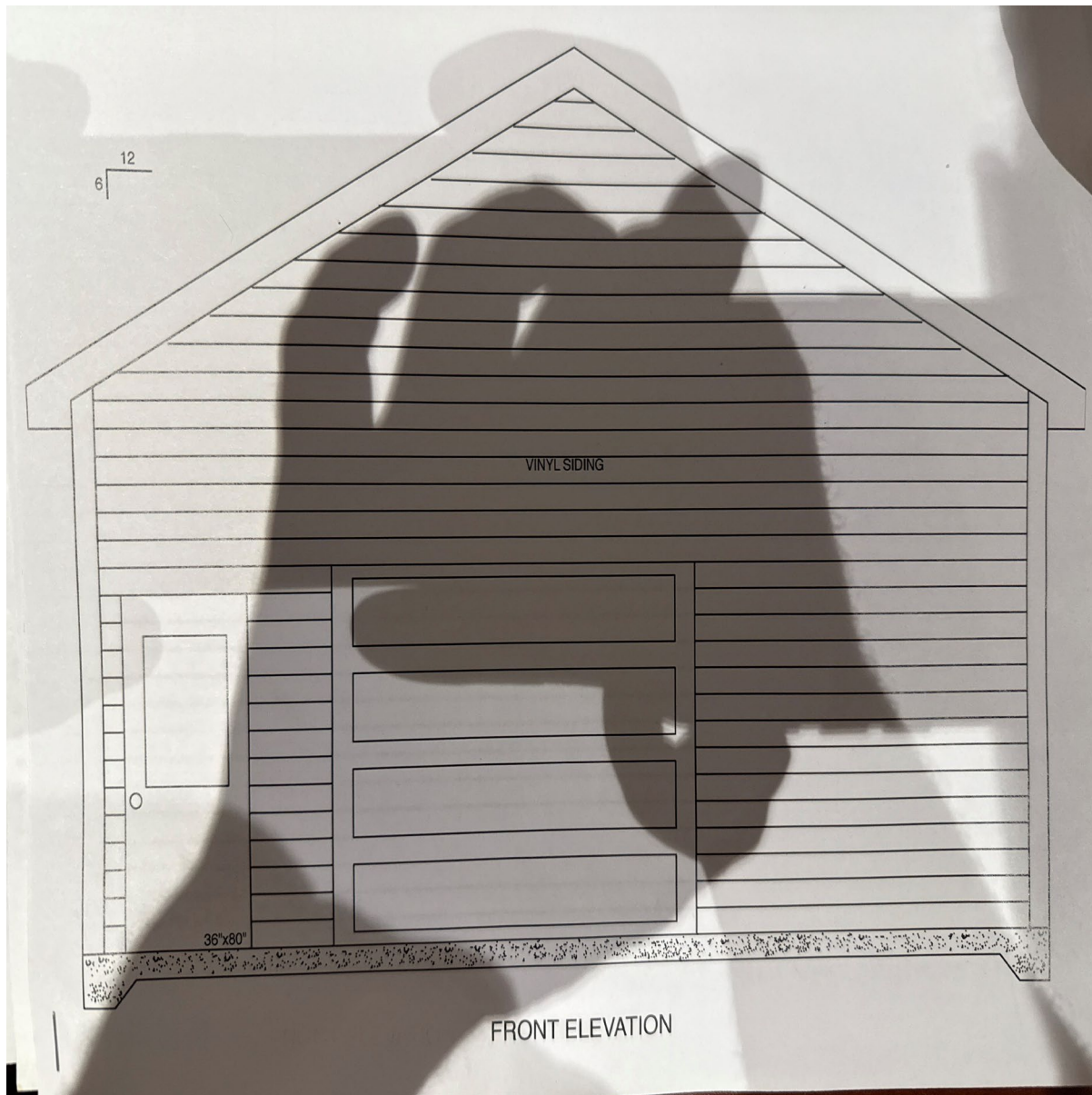


Figure 5: Front elevation of the proposed garage, (c/o Owner).

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Figure 6: Rear elevation of the proposed garage, (c/o Owner).

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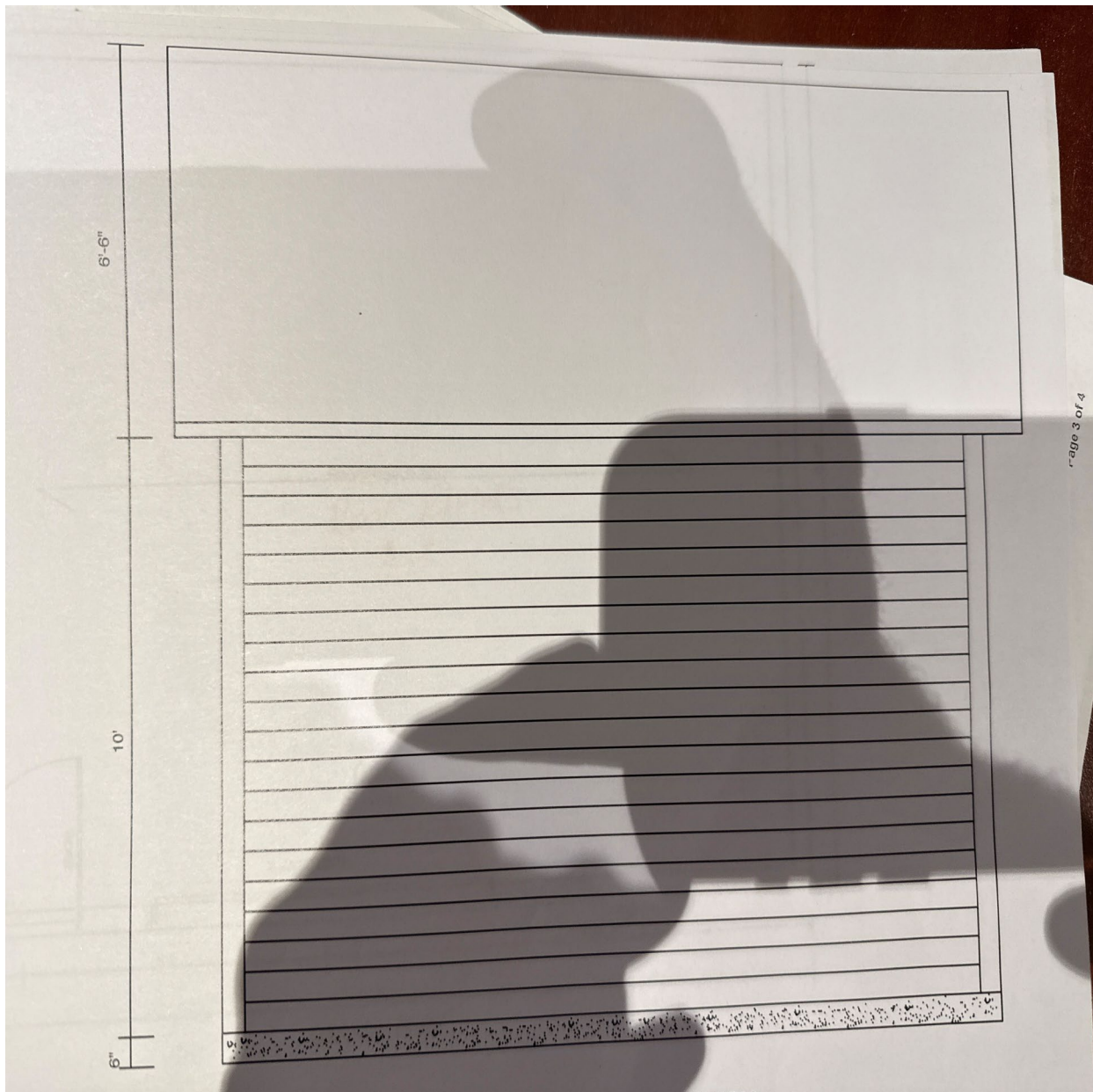


Figure 7: Side elevation of the proposed garage, (c/o Owner).