



City of Hamilton
HERITAGE PERMIT REVIEW SUB-COMMITTEE
REVISED

Date: July 15, 2025

Time: 5:00 p.m.

Location: YouTube Channel Streaming for Virtual Meetings

All electronic meetings can be viewed at:

City's YouTube Channel:

<https://www.youtube.com/user/InsideCityofHamilton>

Alissa Golden, Email: Alissa.Golden@hamilton.ca, Phone: ext. 1202
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1. CALL TO ORDER	
2. CEREMONIAL ACTIVITIES	
3. APPROVAL OF AGENDA	
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9. HERITAGE PERMIT APPLICATIONS

- | | | |
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| 9.1 | HP2025-022 - 55 Main Street West, Hamilton (Former Hamilton Carnegie Building, Part IV) | 13 |
| | <ul style="list-style-type: none"> • Installation of two single-swing gates at the west marble stairs in the main lobby for security purposes, including: <ul style="list-style-type: none"> • Drilling three 1/2" holes for anchoring the vertical support and one 2" hole for power input for each gate; and, • The top gate is to be located at the first tread at the top of the stairs and the bottom gate is to be located at the edge of the stair landing. • Salvage, collection and storage of materials for repairs to the marble stairs if the gates are removed in the future, including: <ul style="list-style-type: none"> • Collection of marble dust and fragments produced when drilling the 1/2" holes; and, • Collection of marble plugs when drilling the 2" holes. | |
| 9.2 | HP2025-023 - 122 MacNab Street South, Hamilton (MacNab-Charles Heritage Conservation District, Part V) | 71 |
| | <ul style="list-style-type: none"> • Restoration of the brick parapet on the south-west corner of the rear wing of the building, including: <ul style="list-style-type: none"> • Repointing with a 1-1-6 course cream line mortar with pigment to match; and, • Installing true pressed clay bricks (lbstock) to replace missing or damaged bricks, to match the existing bricks. | |
| 9.3 | HP2025-025 - 47 James Street South, Hamilton (Landed Bank and Loan Company Building, Part IV) | 79 |
| | <ul style="list-style-type: none"> • Structural repairs of the existing brick parapet walls supporting the terra cotta parapet and balustrade at the roof level, including: <ul style="list-style-type: none"> • Repointing of brick at interior face of parapet, below architectural terra cotta; • Rebuilding of brick and replacement with compatible new brick, as required; and, • Removal and reinstatement of two architectural terra cotta units at interior face of parapet. | |

*9.4 HP2025-026 - 1007 Beach Boulevard, Hamilton (Hamilton Beach Heritage Conservation District, Part V)

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- Demolition of the existing two-storey single-detached dwelling; and,
- Construction of two new two-storey dwellings, each with;
 - A front gable roof;
 - Front setbacks similar to the adjacent dwellings;
 - A one-storey projecting front garage and porch;
 - Painted wood board-and-batten-style cladding; and,
 - Traditional window shapes, window placement, and wall-to-window ratios.

10. MOTIONS

11. NOTICES OF MOTION

12. ADJOURNMENT

Heritage Permit Review Subcommittee (Hamilton Municipal Heritage Committee)

July 15, 2025
Virtual Meeting

Members of the public are advised that individuals and the media may be audibly and/or visually recording this meeting. Please note that, while this meeting is open to the public for observation, any member of the public wishing to provide comment on any of the agenda items are encouraged to contact Cultural Heritage Planning staff or may choose to give a delegation to the Hamilton Municipal Heritage Committee.

Cultural Heritage Planning:

Alissa Golden, E-mail: Alissa.Golden@hamilton.ca, Phone: ext. 1202

Lisa Christie, E-mail: Lisa.Christie@hamilton.ca, Phone: ext. 1291

Meg Oldfield, E-mail: Meg.Oldfield@hamilton.ca, Phone: ext. 7163

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AGENDA

1. Approval of Agenda

- July 15, 2025

2. Declarations of Interest

3. Approval of Minutes from Previous Meetings:

- June 17, 2025

4. Heritage Permit Applications

a) **HP2025-022** – 55 Main Street West, Hamilton (Former Hamilton Carnegie Building, Part IV)

- Installation of two single-swing gates at the west marble stairs in the main lobby for security purposes, including:
 - Drilling three 1/2" holes for anchoring the vertical support and one 2" hole for power input for each gate; and,
 - The top gate is to be located at the first tread at the top of the stairs and the bottom gate is to be located at the edge of the stair landing.
- Salvage, collection and storage of materials for repairs to the marble stairs if the gates are removed in the future, including:

- Collection of marble dust and fragments produced when drilling the 1/2" holes; and,
 - Collection of marble plugs when drilling the 2" holes.
- b) **HP2025-023** – 122 McNab Street South, Hamilton (MacNab-Charles Heritage Conservation District, Part V)
- Restoration of the brick parapet on the south-west corner of the rear wing of the building, including:
 - Repointing with a 1-1-6 course cream line mortar with pigment to match; and,
 - Installing true pressed clay bricks (Ibstock) to replace missing or damaged bricks, to match the existing bricks.
- c) **HP2025-025** – 47 James Street South, Hamilton (Landed Banking and Loan Company Building, Part IV)
- Structural repairs of the existing brick parapet walls supporting the terra cotta parapet and balustrade at the roof level, including:
 - Repointing of brick at interior face of parapet, below architectural terra cotta;
 - Rebuilding of brick and replacement with compatible new brick, as required; and,
 - Removal and reinstatement of two architectural terra cotta units at interior face of parapet.

Next meeting: August 19, 2025



HERITAGE PERMIT REVIEW SUB-COMMITTEE MINUTES HPRC 25-006

5:00 p.m.

Tuesday, June 17, 2025

Webex Virtual Streaming

Present: Karen Burke (Chair), Graham Carroll (Vice Chair), Andy MacLaren, Katie McGirr, Matthew LaRose, Carol Priamo

**Absent
With Regrets:** Andrew Douglas, Sandra Iskandar, Steve Wiegand

**Also
Present:** Ken Coit (Director of Heritage and Urban Design), Lisa Christie (Cultural Heritage Planner), Gabriel Lam (Assistant Cultural Heritage Planner)

1. CALL TO ORDER

Committee Chair K. Burke called the meeting to order at 5:00 p.m.

2. CEREMONIAL ACTIVITIES

There were no Ceremonial Activities.

3. APPROVAL OF THE AGENDA

(McGirr/MacLaren)

That the Agenda for June 17, 2025, meeting of the Heritage Permit Review Sub-Committee, be approved, as presented.

CARRIED

4. DECLARATIONS OF INTEREST

There were no Declarations of Interest.

5. APPROVAL OF MINUTES OF PREVIOUS MEETING

5.1 HPRS Minutes 25-005 (May 20, 2025)

(MacLaren/LaRose)

That the Minutes of May 20, 2025, meeting of the Heritage Permit Review Sub-Committee, be approved, as presented.

CARRIED

6. DELEGATIONS

There were no Delegations.

7. ITEMS FOR INFORMATION

There were no Items for Information.

8. ITEMS FOR CONSIDERATION

There were no Items for Consideration.

9. HERITAGE PERMIT APPLICATIONS

9.1 HP2025-018 – 71 Main Street West, Hamilton (Hamilton City Hall, Part IV)

- Replacement of 12 automatic swing doors and 18 adjacent glass panels on the front entrance of City Hall to match the existing design and proportions of the existing system with new material.

Cynthia Cenerini and Andrew Chiu were present to give an overview of the project and to answer questions from the committee.

(Priamo/MacLaren)

- (a) That Heritage Permit 2025-0018 – 71 Main Street West, Hamilton (Hamilton City Hall, Part IV), be received; and
- (b) That the Heritage Permit Review Sub-Committee advises heritage staff that Heritage Permit Application HP2025-018 be consented to, subject to the following conditions:
 - (i) That any minor changes to the plans and elevations following approval shall be submitted, to the satisfaction and approval of the Director of Planning and Chief Planner, prior to submission as part of any application for a Building Permit and / or the commencement of any alterations; and
 - (ii) That implementation / installation of the alteration(s), in accordance with this approval, shall be completed no later than June 30, 2027. If the alteration(s) are not completed by

June 30, 2027, then this approval expires as of that date and no alterations shall be undertaken without a new approval issued by the City of Hamilton.

CARRIED

9.2 HP2025-019 – 24 Griffin Street, Flamborough (Griffin Stone Cottage, Part IV)

- Replacement of front entry with a new sympathetic wood entry to match the size and dimensions of the existing transom, sidelights and door, including:
 - New 6 paneled solid wood door, new frame, door, hardware and weatherstripping;
 - Removal of current wood storm door and storm sidelights;
 - Addition of a sash on the interior of transom window, original glass to be maintained; and
 - Construction of sidelights that replicate the originals but with insulated glass units (IGU) and an authentic muntin divider.

Note: This Heritage Permit application is a resubmission of the previously-approved Heritage Permit HP2021-038, which expired February 28, 2024.

Jim and Fay Mansfield were present to give an overview of the project and to answer questions from the committee.

(Carroll/McGirr)

- (a) That Heritage Permit 2025-0019 – 24 Griffin Street, Flamborough (Griffin Stone Cottage, Part IV), be received; and
- (b) That the Heritage Permit Review Sub-Committee advises heritage staff that Heritage Permit Application HP2025-019 be consented to, subject to the following conditions:
 - (iii) That any minor changes to the plans and elevations following approval shall be submitted, to the satisfaction and approval of the Director of Planning and Chief Planner, prior to submission as part of any application for a Building Permit and / or the commencement of any alterations; and
 - (iv) That implementation / installation of the alteration(s), in accordance with this approval, shall be completed no later

than June 30, 2027. If the alteration(s) are not completed by June 30, 2027, then this approval expires as of that date and no alterations shall be undertaken without a new approval issued by the City of Hamilton.

CARRIED

9.3 HP2025-020 – 8 Margaret Street, Flamborough (Reid House, Part IV)

- Replacement in kind of wood siding on all elevations of home with new wood siding (Maibec); and,
- Replacement in kind of the existing contemporary eavestroughs with similar profile and colour.

Stephen Dorrell was present to give an overview of the application and to respond to questions and advice from the Sub-Committee.

(MacLaren/McGirr)

- (a) That Heritage Permit 2025-020 – 8 Margaret Street, Flamborough (Reid House, Part IV), be received; and
- (b) That the Heritage Permit Review Sub-Committee advises heritage staff that Heritage Permit Application HP2025-020 be consented to, subject to the following conditions:
 - (i) That any minor changes to the plans and elevations following approval shall be submitted, to the satisfaction and approval of the Director of Planning and Chief Planner, prior to submission as part of any application for a Building Permit and / or the commencement of any alterations; and
 - (i) That implementation / installation of the alteration(s), in accordance with this approval, shall be completed no later than June 30, 2027. If the alteration(s) are not completed by June 30, 2027, then this approval expires as of that date and no alterations shall be undertaken without a new approval issued by the City of Hamilton.

CARRIED

9.4 HP2025-021 – 290 Fennell Avenue West, Hamilton (Century Manor, Part IV)

- Demolition of existing Powerhouse and Trades buildings.

Note: The two structures proposed to be demolished are not identified in the Reasons for Designation for the property. This Heritage Permit is required

because the Ontario Heritage Act now requires approval for the demolition or removal of any building or structure on a designated heritage property.

Glenn Wellings, Kevin Bushell and Jacqueline McDermid were present to give an overview of the application and to respond to questions from the Sub-Committee.

(MacLaren/McGirr)

- (a) That Heritage Permit 2025-021 – 290 Fennell Avenue West, Hamilton (Century Manor, Part IV), be received; and
- (b) That the Heritage Permit Review Sub-Committee advises heritage staff that Heritage Permit Application HP2025-021 be consented to, subject to the following conditions:
 - (i) That any minor changes to the plans and elevations following approval shall be submitted, to the satisfaction and approval of the Director of Planning and Chief Planner, prior to submission as part of any application for a Building Permit and / or the commencement of any alterations; and
 - (ii) That implementation / installation of the alteration(s), in accordance with this approval, shall be completed no later than June 30, 2027. If the alteration(s) are not completed by June 30, 2027, then this approval expires as of that date and no alterations shall be undertaken without a new approval issued by the City of Hamilton.

CARRIED

10. MOTIONS

There were no Motions.

11. NOTICE OF MOTIONS

There were no Notice of Motions.

12. ADJOURNMENT

There being no further business, the Heritage Permit Review Sub-Committee was adjourned at 6:09 pm.

Respectfully submitted,

Lisa Christie

Karen Burke, Chair

Cultural Heritage Planner

Heritage Permit Review
Sub-Committee

HERITAGE PERMIT REVIEW SUBCOMMITTEE
Meeting Date: July 15, 2025

City of Hamilton - Heritage Permit Application Note Sheet

Address: 55 Main Street West, Hamilton (Former Hamilton Carnegie Building, Part IV)

Permit Number: HP2025-022

Owner: Infrastructure Ontario

Applicant/Agent: Ruchir Mehrotra, Project Manager, Colliers Project Leaders

Description of proposed alterations:

- Installation of two single-swing gates at the west marble stairs in the main lobby for security purposes, including:
 - Drilling three 1/2" holes for anchoring the vertical support and one 2" hole for power input for each gate; and,
 - The top gate is to be located at the first tread at the top of the stairs and the bottom gate is to be located at the edge of the stair landing.
 - Salvage, collection and storage of materials for repairs to the marble stairs if the gates are removed in the future, including:
 - Collection of marble dust and fragments produced when drilling the 1/2" holes; and,
 - Collection of marble plugs when drilling the 2" holes.
-

Reasons for proposed alterations:

- The single-swing gates are required to restrict public access up these stairs from the Lobby while allowing exiting down through the stairs in the case of an emergency.
 - These penetrations are required in order to provide the necessary security required by the Ministry of the Attorney General (MAG) for the courthouse.
-

Documentation submitted with application:

- Heritage Permit application form
- Heritage Impact Assessment, prepared by a+LINK architecture inc., dated April 16, 2025 (See **Appendix "A"**)

HERITAGE PERMIT REVIEW SUBCOMMITTEE
Meeting Date: July 15, 2025

Draft Conditions for Consideration:

- ☐ That confirmation of the salvaged marble materials and their storage location be provided to the City, to the satisfaction and approval of the Director of Planning and Chief Planner;
- ☐ That any minor changes to the plans and elevations following approval shall be submitted, to the satisfaction and approval of the Director of Planning and Chief Planner, prior to submission as part of any application for a Building Permit and / or the commencement of any alterations; and
- ☐ That implementation / installation of the alteration(s), in accordance with this approval, shall be completed no later than July 31, 2027. If the alteration(s) are not completed by July 31, 2027, then this approval expires as of that date and no alterations shall be undertaken without a new approval issued by the City of Hamilton.

Excerpt from Reasons for Designation (By-law No. 87-250)

Limestone ashlar was used in the construction, following local building tradition, and the structure was given a prominent site, set back from the street and raised on a grassy bank, with a formal central stairway providing the approach.

Designed in the neo-classical style of architecture, 55 Main Street West displays a forceful composition of classical features, an imposing monumentality and a formal symmetry that are hallmarks of major public buildings of the period. The design displays a stripped or stylized version of classical detailing.

Important to the preservation of the three stone facades are the building's original features, including but not limited to the two-story pilasters, massive corner piers, the entablature with dentilated cornices the projecting front entranceway, the large recessed multiple windows, the decorative stone mouldings and panels, the exterior stairways and doors, the two flanking free-standing stone walls and the parapet wall.

The Carnegie Corporation's stipulation that the space inside the building be kept unobstructed was successfully followed in the Hamilton library. The open, well-lit interior is articulated by rows of free-standing columns that support a gridwork of dentilated ceiling beams. A central two-story atrium with marble balustrade, double staircase and skylight unifies the interior and provides a spacious and elegant entrance lobby that is a valuable architectural resource of the city.

Important to the preservation of the interior are the original architectural features, including but not limited to the open atrium, the marble double staircase, dado and balustrade, the skylight, the composite columns, wall pilasters and piers, the multiple windows with transoms of lavender-coloured glass, and the dentilated ceiling beams.

HERITAGE PERMIT REVIEW SUBCOMMITTEE
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Photographs

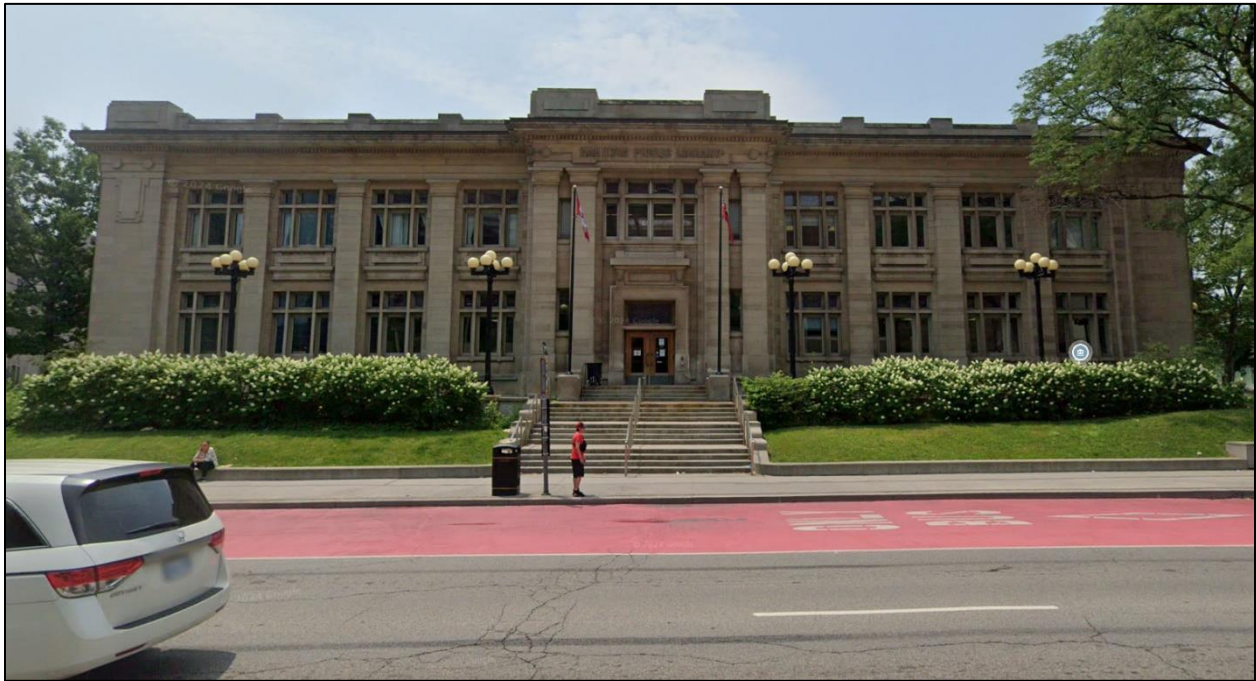


Figure 1: Front view of the Hamilton Carnegie Building at 55 Main Street West from Google Street View (June 2024).

HERITAGE PERMIT REVIEW SUBCOMMITTEE
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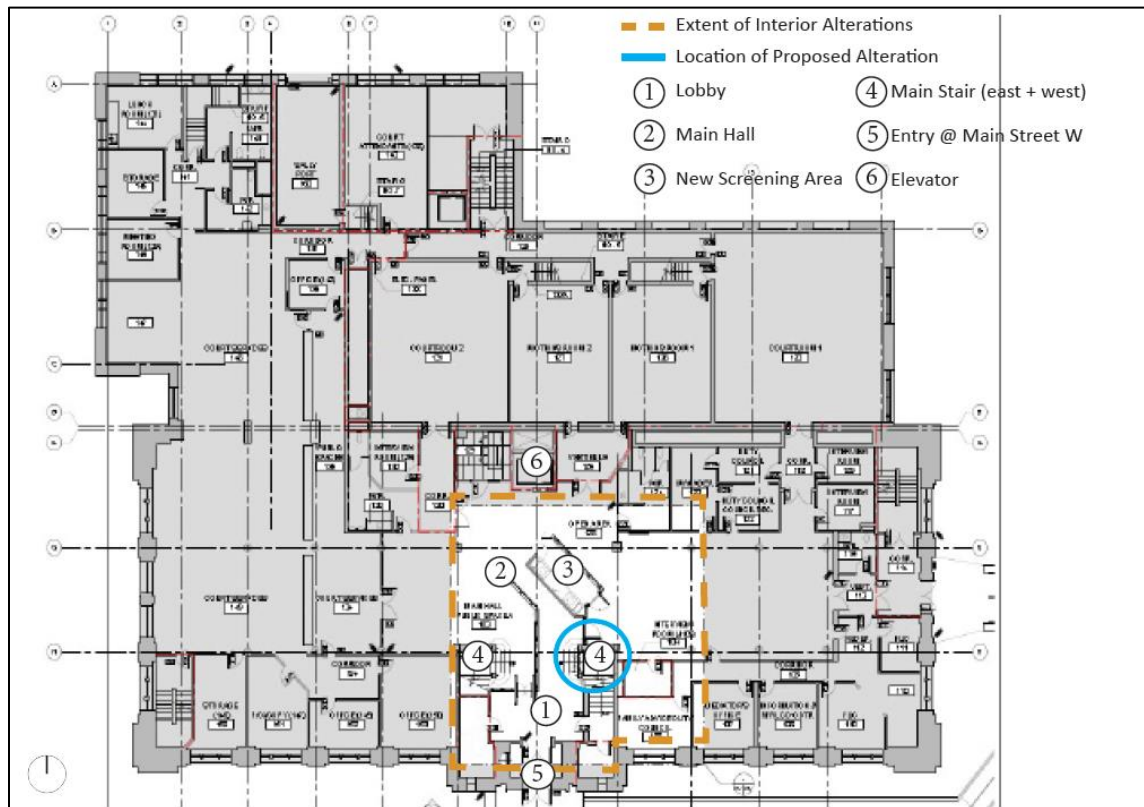


Figure 2: Main Floor Plan showing the location of the proposed alterations to the interior west marble stairs.

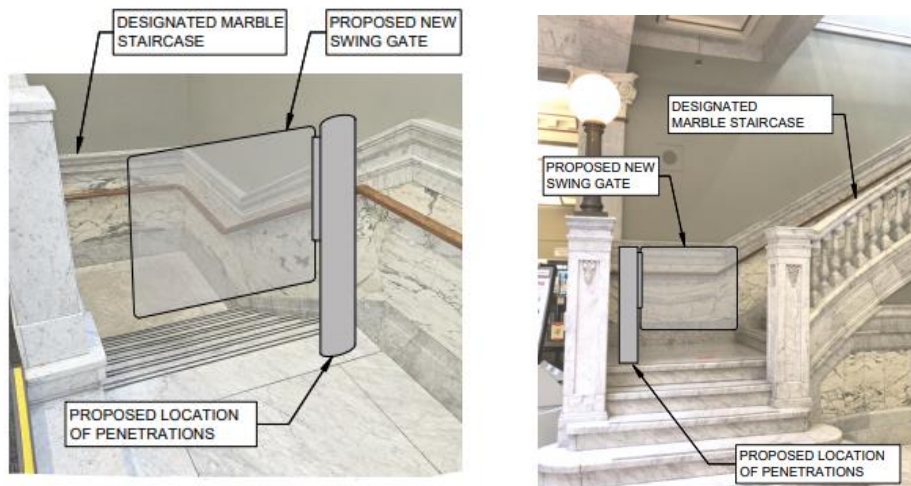


Figure 3: Mock-ups showing proposed locations of the top and bottom swing gates.

HERITAGE PERMIT REVIEW SUBCOMMITTEE
Meeting Date: July 15, 2025

Supporting Documents

Please see the Heritage Impact Assessment attached as **Appendix “A”** to this Note Sheet

HERITAGE IMPACT ASSESSMENT

Proposed Security Upgrades at UFC Courthouse N05805

55 Main Street W
Hamilton, ON

Prepared for:
Colliers Project Leaders
485 Pinebush Road, Suite 202
Cambridge, ON

a+LiNK Architecture Inc.
362 Dufferin Avenue
London, ON N6B 1Z4
(519) 649 0220
www.alinkarch.ca

Colliers Project# 1102792-274103
a+LiNK Project #: 2341
Final Report (R03): 2025-04-16

a+LiNK
architecture inc.
preserve + create + sustain

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APPENDICES

APPENDIX A - *References/Bibliography*

APPENDIX B - *Project Personnel* a+LiNK Architecture CVs

APPENDIX C - *Property Designation - By-Law No. 87-250* The Corporation of the City of Hamilton September 1, 1987.

APPENDIX D - *Drawings - Unified Family Courthouse Security Upgrades* by a+LiNK Architecture Inc. February 13, 2025.

APPENDIX E - *Data Sheet - Cylinder Speed Gate MT310-S* by MAIRS

1. INTRODUCTION

Overview

The proposed interior renovations to the Main Hall public space at the Unified Family Courthouse (No.N05805), formerly The Carnegie Building, are required by the Ministry of the Attorney General (MAG) for the purposes of providing the increased security infrastructure currently required for the courthouse. These alterations will impact the existing heritage marble west stair in the in the Main Hall of the existing Designated building. Due to the heritage status of the building, a+LiNK has prepared a Heritage Impact Assessment (HIA) for the Unified Family Courthouse building in regards to the proposed interior renovations at the Heritage Lobby to review the potential impact of the proposed renovations on the Designated built heritage resource. This report has been prepared by Ed van der Maarel, Partner, Principal Architect and Heritage Consultant (OAA, CAHP) and Alicia Lesniak, Heritage Consultant/Architect (OAA). The report is being submitted as required by Infrastructure Ontario.

The property is owned by the province of Ontario and is identified as a Provincial Heritage Property (PHP). It is subject to Part III.1 of the Ontario Heritage Act and its management and conservation must comply with the Standards & Guidelines for the Conservation of Provincial Heritage Properties. This HIA was prepared in accordance with MTCS' Information Bulletin 3 - Heritage Impact Assessment for Provincial Heritage Properties to meet the requirements of the Standards and Guidelines.

The purpose of the HIA is to analyze the impact of the proposed interior renovations on the heritage value of the property. As the property at 55 Main Street W is municipally designated under Section 29 of the Ontario Heritage Act (By-Law 87-250) and identified by the Ministry of Infrastructure to be of Local Heritage Significance, an evaluation of the potential impact of the proposed security upgrades on the property's interior heritage attributes is necessary in order to comply with the Provincial Standards and Guidelines. The interior renovations proposed in the form of secure access systems in the Heritage Lobby will directly impact the existing Designated built heritage features, as outlined in the designation By-law 87-250, by requiring alterations to the existing marble stairs. This report will both provide background and baseline information on the existing property and built heritage at 55 Main Street W.

Context

The Unified Family Courthouse, located at 55 Main Street West, at the corner of Main Street W and McNab Street S, is at the heart of downtown Hamilton. The building is a Municipally Designated under Section 29 of the Ontario Heritage Act. Owned by the Province and managed by the Ministry of Infrastructure (MOI), the property is identified as Provincial Heritage Property (PHP). It is subject to Part III.1 of the Ontario Heritage Act and its management and conservation must comply with the Standards & Guidelines for the Conservation of Provincial Heritage Properties.

Formerly known as the The Carnegie (Hamilton Public Library) Building, it was built in 1909-1913 in the 'Neo-Classical' architectural style by philanthropist Andrew Carnegie. It operated as Hamilton's Main Public Library for 67 years (1913-1980) and after remaining vacant for several years, it had been converted into the province's Unified Family Courthouse in 1986 (opening in 1989). The existing heritage building displays a forceful composition of classical features, an imposing monumentality and a formal symmetry that are hallmarks of major public buildings of the period. As a result, it is an important landmark of the city's cultural heritage and is particularly significant as being one of the few historic civic buildings still standing in Hamilton.

1. INTRODUCTION

Proposed Activity

The proposed interior renovations are located in the Main Hall off of the existing main entry at Main Street W. The purpose of the security modifications to the Unified Family Courthouse is to provide a secured Single Point of Entry for the entire building, this includes all public and staff. In order to achieve this, a series of security screens are to be installed to restrict access through the space as well as a screening area. In order for the partitions and walls to be secured to the floor, several posts are required to be anchored to the existing marble tile floor. The 12" x 12" Italian Carrera marble tile set in a grid pattern at the Main Hall floor is not original to the building and therefore the assessment of the impacts of the proposed alterations is not required for this area. It is important to note that although the existing marble stairs are identified in the designation by-law, the floors in the Lobby space are not.

As part of the required security measures, single-swing motorized gates are proposed to be located at the top and bottom of the west stair, located off of the Main Hall and near the Main Entry. The swing gates at the stair are to control access, prohibiting people from bypassing the security checkpoint and gaining access to the building. The west stair, as well as the east stair, is considered to be of heritage value as it demonstrates the use of rich materials and quality of craftsmanship both at the wainscoting, stairs and balustrades. The new gates that are to be installed will have the most impact on the existing marble stair treads at the top and bottom of this stair. Being that the double marble staircase is identified in the designation by-law as an important feature at the interior, the impact of these proposed alterations are to be reviewed to ensure the preservation of this heritage resource.

Mitigation Measures

The potential heritage impact of the proposed interior renovations on the Designated built heritage resource has been assessed and the mitigating approaches reviewed. It has been determined that ultimately, the proposed alterations will have some effect on the existing marble stairs. However, these modifications would have only a minor impact relative to the overall character of the heritage lobby. Suggestions for possible mitigation strategies related to potential impacts of the proposed interior renovations are further outlined in Section 8 of this report.

Disclaimer:

The area of focus for this report includes the history and value of the property located at 55 Main Street W (the location of the proposed interior renovation). At the time of the report, the information that was available on the specific history of this property has been included. A brief summary of the history of the area and some information on the history of the property has also been included in Section 3.0: Assessment of Existing Conditions of this report. This information has been provided to serve as background for the HIA, but also as a baseline from which to evaluate the cultural heritage value of the property at a high level, and assess the potential impact of the proposed development on this property.

2. STATEMENT OF CULTURAL HERITAGE VALUE OR INTEREST

2.1 STATEMENT OF CULTURAL VALUE (SCVH)

As one of more than a hundred libraries built in Ontario by philanthropist Andrew Carnegie during the early 20th Century, the Hamilton building is considered to be one of the finest in the province. Having served as the main public library for 67 years, the building is an important landmark of the city's cultural heritage; it is particularly significant as one of the few historic civic buildings still standing in Hamilton.

Designed in the neo-classical style of architecture, 55 Main Street West displays a forceful composition of classical features, an imposing monumentality and a formal symmetry that are hallmarks of major public buildings of the period. The design displays a stripped or stylized version of classical detailing.

The reasons for designation are defined in the City of Hamilton's Heritage By-law #87-250 referencing the architectural significance of the Heritage Building itself as well as the designated features of the building's interiors. The By-Law's Reasons for Designation specific to the interiors of the heritage building are as follows:

The Carnegie Corporation's stipulation that the space inside the building be kept unobstructed was successfully followed in the Hamilton library. The open, well-lit interior is articulated by rows of free-standing columns that support a gridwork of dentilated ceiling beams. A central two-story atrium with marble balustrade, double staircase and skylight unifies the interior and provides a spacious and elegant entrance lobby that is a valuable architectural resource of the city.

Important to the preservation of the interior are the original architectural features, including but not limited to the open atrium, the marble double staircase, dado and balustrade, the skylight, the composite columns, wall pilasters and piers, the multiple windows with transoms of lavender-coloured glass, and the dentilated ceiling beams.

Only the interior heritage attributes identified as designated heritage attributes that will be impacted by the proposed alterations (ie. the marble stair, central atrium) have been evaluated in this HIA. Refer to **Appendix C - Statement of Cultural Heritage Value** for further information regarding the designation by-law.

3. ASSESSMENT OF EXISTING CONDITIONS

3.1 PROPERTY CONTEXT

The Unified Family Courthouse is located in the downtown core of the City of Hamilton, at the corner of Main Street W and MacNab Street S. This property lies on the boarder of the Beasley Established Historic neighborhood, part of the King Street East Cultural Heritage Landscape, which was one of the first neighborhoods in Hamilton. The neighborhood is predominantly mid to high-rise commercial and institutional uses, with some residential uses towards the north. As part of the Downtown commercial core, this area functions as a cultural and economic focal point for the City of Hamilton. Due to the historic nature of this neighborhood, many of the buildings in this area are either designated or registered (See Map 1). Some of the more notable amenities adjacent to this property are City Hall to the west and FirstOntario Concert Hall to the north. The subject property is bounded by a major arterial road to the north (Main Street W) and a minor arterial road to the south (Jackson St W) and east (MacNab Street S).

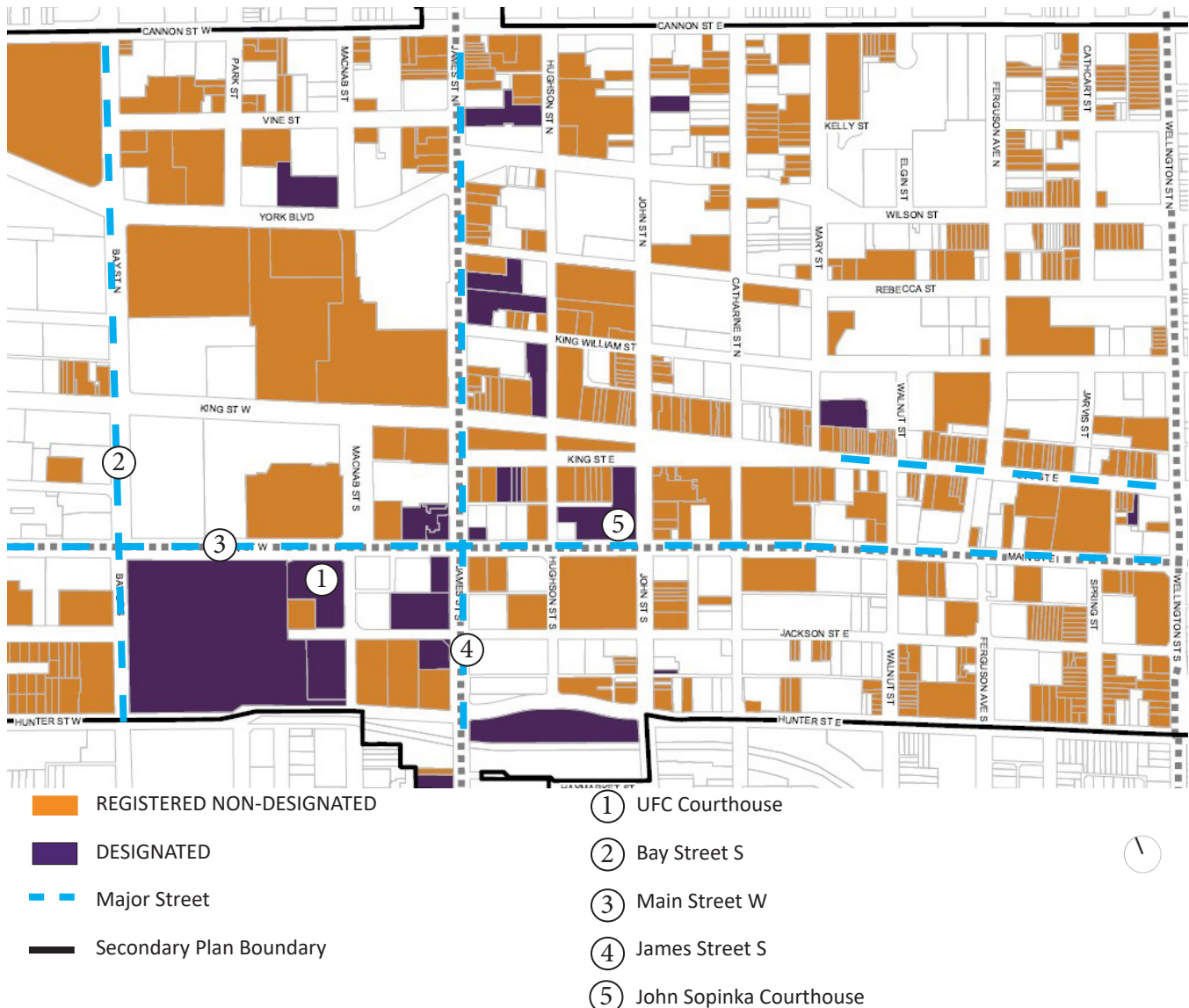


Image 5.1: Downtown Hamilton Secondary Plan- Cultural Heritage Resources-Appendix B, Aug. 2019.

3. ASSESSMENT OF EXISTING CONDITIONS

3.2 PROPERTY DESCRIPTION

The property at 55 Main Street W is municipally designated under Part IV of the Ontario Heritage Act. Formerly known as the Hamilton Public Library Building, it was built in 1913 in the 'Neoclassical' architectural style with funding from American philanthropist Andrew Carnegie. It is one of the oldest public libraries in Ontario.

The 2-storey building is currently used as the province's Unified Family Courts since 1986. Its north facade plays an integral part of Main Street W streetscape. The UFC Courthouse building sits prominently on the corner of the block and is one of the more dominant facades along the streetscape.



Image 3.2: 55 Main Street W, Hamilton, 3D Map, Google Images, March 2022.

The UFC Courthouse's 2-storey gray limestone facade creates a strong and imposing presence along Main Street W and MacNab Street S. The smooth ashlar facade runs up the two storeys where it terminates with a strong horizontal band. This prominent 'base' becomes more pronounced with the middle grand entrance off of Main Street W centered between the tall window bays along the street-facing facade. The deep recessed windows are set in between vertically fluted limestone pilasters. The building massing is of a monumental public scale, reinforcing the urban streetscape of Hamilton's downtown core.



Image 3.3: Image of Main Street W entrance. Source: Google Street View.

3. ASSESSMENT OF EXISTING CONDITIONS

3.3 PROPERTY HISTORY

UFC Courthouse (Hamilton Public Library Building)

In 1913, the Carnegie Hamilton Public Library (1913-1980) was constructed with a grant of \$100,000 from American philanthropist Andrew Carnegie. Although there were hundreds of libraries built by Andrew Carnegie across Ontario in the early 20th century, the Hamilton building is considered to be of the finest in the province. The Carnegie Building is a significant component in Hamilton's redeveloped Civic Square block, providing an imposing historically significant architectural presence to the complex. It served as the main public library for 67 years, closing in 1980, and it is one of the few historic civic buildings still standing in Hamilton, thus, contributing to the city's cultural heritage. The building was recognized for its heritage value (City of Hamilton by-law 87-250) and received Heritage Designation under Part IV of the Ontario Heritage Act in 1987.

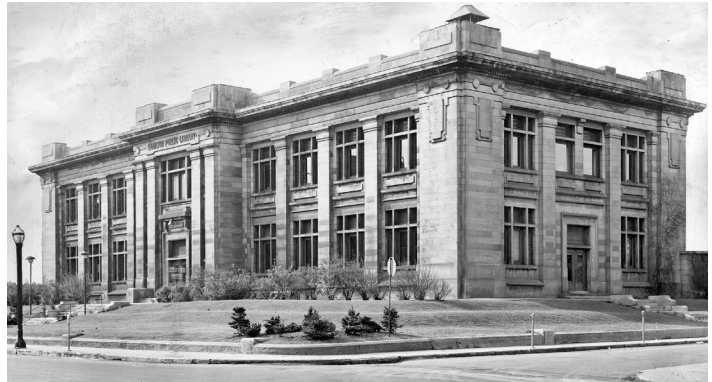


Image 3.4: Historical image of the Hamilton Public Library Building. Source: Digital Archive Ontario, Toronto Public Library.

It was designed in the neoclassical style by local architect A. W. Peene after winning an international competition for the new library, and it is considered to be his best work in the city. The building was constructed with local building tradition, using limestone ashlar. It was given a prominent site, set back from the street and raised on a green hill, with a main entrance stairway in the center to enter the building. The imposing monumentality and formal symmetry were common in major public buildings of the period.

Its remarkable architectural features at the exterior include two-storey pilasters, massive corner piers, the entablature with a dentilled cornice on the projecting front entrance, and a prominent stairway. Other notable features are the large recessed multiple windows, decorative stone mouldings and panels, the two flanking free-standing stone walls and the parapet wall. The interior features a central two-storey atrium with marble balustrade, double staircase and skylight, providing a spacious and elegant entrance lobby.

The open, well-lit interior is articulated by rows of free-standing columns that support a gridwork of dentilled ceiling beams. A central two-story atrium with marble balustrade, double staircase and skylight unifies the interior and provides a spacious and elegant entrance lobby that is a valuable architectural resource of the city.

Important to the preservation of the interior are the original architectural features, including but not limited to the open atrium, the marble double staircase, dado and balustrade, the skylight, the composite columns, wall pilasters and piers, the multiple windows with transoms of lavender-coloured glass, and the dentilled ceiling beams.

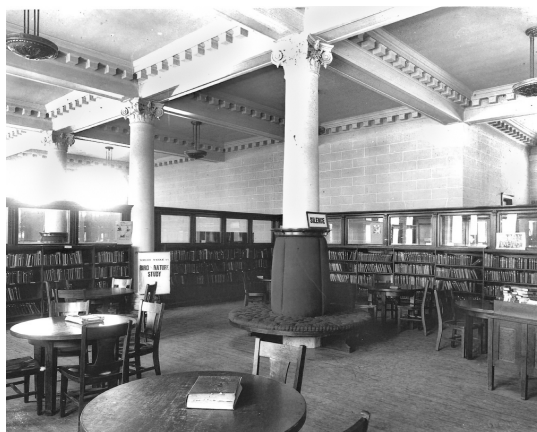


Image 3.5: Historical image of the Hamilton Public Library Building Interior. Source: Digital Archive Ontario, Toronto Public Library.



Image 3.6: Historical image of the Hamilton Public Library Building Interior. Source: Digital Archive Ontario, Toronto Public Library.

3. ASSESSMENT OF EXISTING CONDITIONS

3.4 HERITAGE INTERIORS

The proposed security upgrades involve alterations to the interior of this designated heritage building therefore the focus of this HIA will be on the Main Hall space, specifically with the east stair.

The interior of the Heritage Lobby is a striking example of neo-classical principles applied to interior design, with careful massing and proportion, simple stylized decorative detailing and elegant materials. Accessed off of the main entry at Main Street W, this grand space is richly finished with marble at the columns, pilasters, double stairs and floors, and high coffered ceilings with dentilated ceiling beams.

Based on the reasons for designation listed in By-law 87-250, the interior architectural heritage features of the Main Hall and Lobby that are to be preserved are:

- The open atrium and skylight.
- Rows of floor to ceiling columns and polished marble clad pilasters, complete with highly articulated capitals.
- Gridwork of dentilated ceiling beams.
- Double marble staircase, dado, balustrade framing a large central skylight above the spacious Main Hall.
- Multiple windows with transoms of lavender-colour glass.

The floors at the Main Hall and Lobby are finished in a carrara marble tile which has a white body with grey veining. This flooring appears not to be original to the building and was more likely a part of a previous renovation, the marble selected to match the existing marble stairs, columns and pilasters. Historical images of the Main Hall appear to show a mosaic tile floor (refer to images #3.5 & 3.6 in Section 3.3).



Image 3.9: Archive photo of Main Hall interior at east stair showing original floor which appears to be mosaic.



Image 3.7: Interior view of the Main Hall space with east stair and upper atrium with skylight.

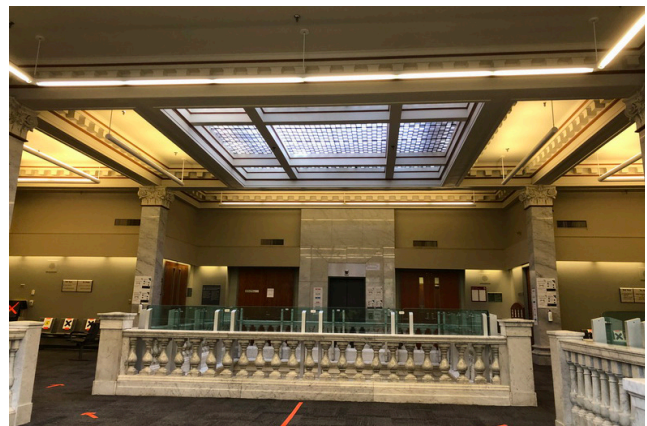


Image 3.8: Interior view of the heritage skylight above the central open space in the Main Hall.



Image 3.10: Current view of east Heritage Stair in the Main Hall with existing 12"x12" marble tile flooring.

3. ASSESSMENT OF EXISTING CONDITIONS

The double staircase and balustrades are the original carrara marble and the original architectural detailing has been retained. The inset marble panels at the wainscoting along the stair appears to be a different type of marble, with more dramatic veining that is black in colour rather than the grey. There is a carved marble detail in a floral/leaf motif at the front and side faces of the marble-clad newel posts at each stair.

3.5 ASSESSMENT OF EXISTING CONDITIONS

Although the interiors spaces of this designated heritage building have undergone various renovations when it transformed from its original use as a library to the current function of a courthouse, much of the quality of the original interior space in the Main Hall and Lobby has survived through the years. The needs of the courthouse required enclosing a majority of the space into offices and courtrooms, yet the Lobby and Main Hall spaces have been left open, maintaining the grand scale of the original design. Currently, this space is well used as it accommodates all of the public traffic that enters into the building from the main entry at Main Street W.. This entry area currently has a security desk and screening gates for all who enter into the building. From here, one can move north towards the courtrooms or elevators going up to the other courtrooms on the upper floor. Otherwise, to the west is the enclosed court services area and to the east is the more open waiting area.

The neoclassical architectural style is characterized by grandeur of scale, simplicity of geometric forms, a dramatic use of columns and a preference in blank walls. This style is well reflected in the Lobby and Main Hall of the courthouse building. The original architectural elements that remain in the Lobby and Main Hall are the tall marble clad pilasters with highly articulated capitals, marble clad beams, marble wainscoting and the marble double stairs and balustrades, with original light fixtures at the newel posts. The marble tile floors throughout the Main Hall and cladding at the elevator walls are not original to the building.

Perhaps the most striking elements in this grand space are the two marble staircases which are located at the Lobby space and open to the Main Hall. These stairs provide access to the upper floor to a large atrium space open to below and skylight above, with courtrooms and offices beyond. The marble used for the treads, square newel posts, balusters and balustrades, base and trim banding at the wainscoting is a carrara marble with the inset marble panels of the wainscoting being of a calacatta marble, which has a more white base with dark grey/black veining. Some minor alterations have been made to the double staircases over the years, including the addition of anti-slip tape at the stair nosings and a hand sanitizer unit mounted on the east stair wall.



Image 3.11: Interior view of marble floors in the Main Hall



Image 3.12: Interior view of Heritage Stair (east).



Image 3.13: Interior view of Heritage Stair (west).

4. DESCRIPTION & PURPOSE OF PROPOSED ACTIVITY

4.1 DESCRIPTION AND PURPOSE OF PROPOSED DEVELOPMENT

The proposed interior renovations to the existing designated building's lobby space and stairs are required by the Ministry of the Attorney General (MAG) for the purposes of providing the security infrastructure necessary for the secure function of the courthouse. The proposed alterations are located in the main Lobby and Main Hall off of the existing main entry at Main Street W. This entry at Main Street W is used as the primary public entry into the courthouse, and is used by staff, attorneys and the general public. There is no alternate Courthouse entry that would allow the implementation of the security infrastructure as set out by MAG and therefore the proposed interior alterations are required.

The interior alterations that are proposed in the Main Hall and Lobby Area involve the installation of security screens, gates and screening equipment for the new screening area. The installation of a swing gate at the top and bottom of the west marble stairs is also required to provide the additional security at this area. Due to the necessary renovations to provide the secure entrance for the Courthouse functions, the area to be focused on for this heritage assessment is at the Lobby interior, specifically the original set of marble stairs. Although the proposed renovations involve the addition of a new screening area in the Lobby space, the marble floor tiles in this area are not original to the building and therefore are not included in the heritage assessment. The proposed alterations will have the most direct impact on the west set of marble stairs in this heritage space.

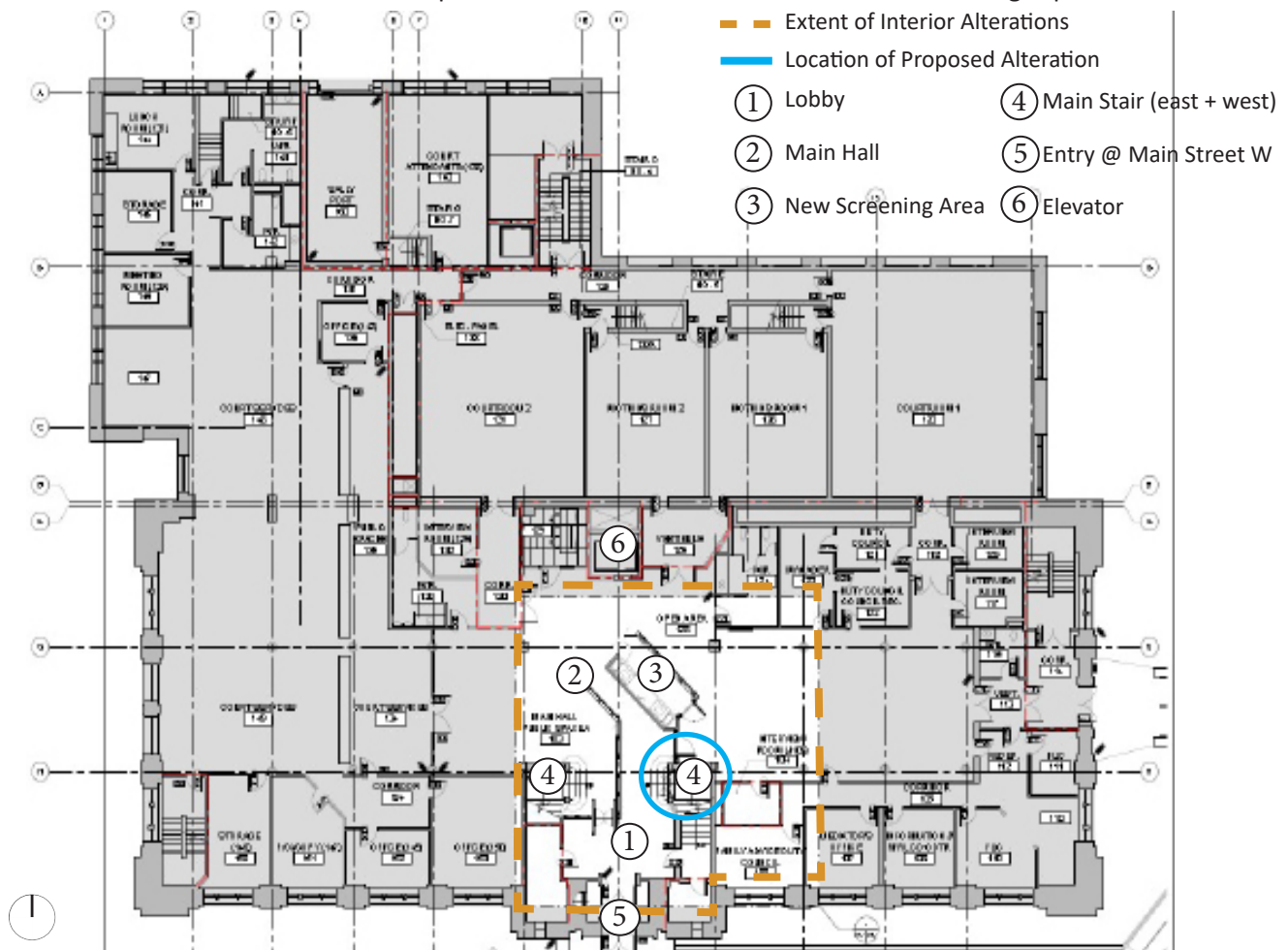


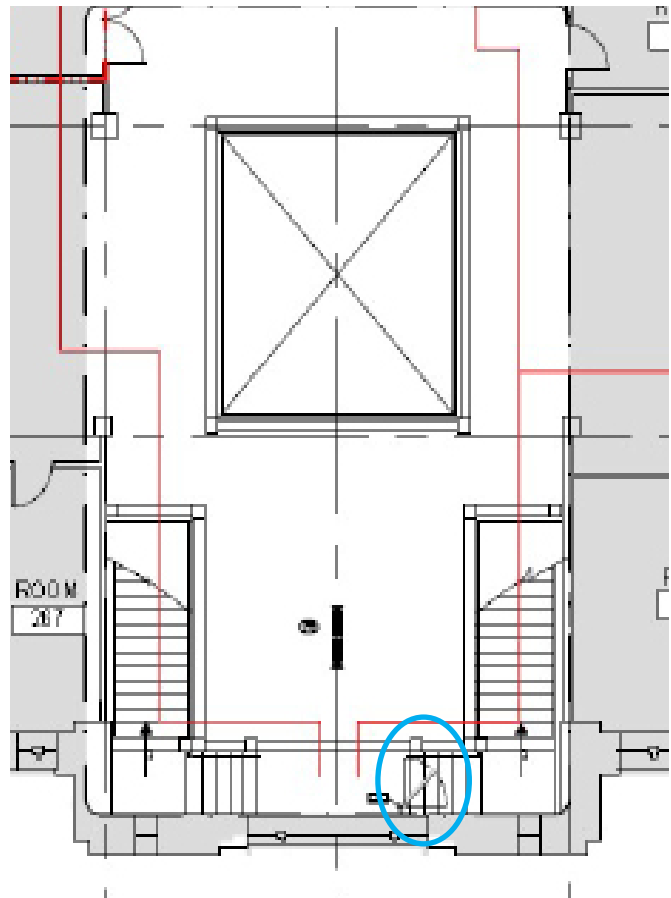
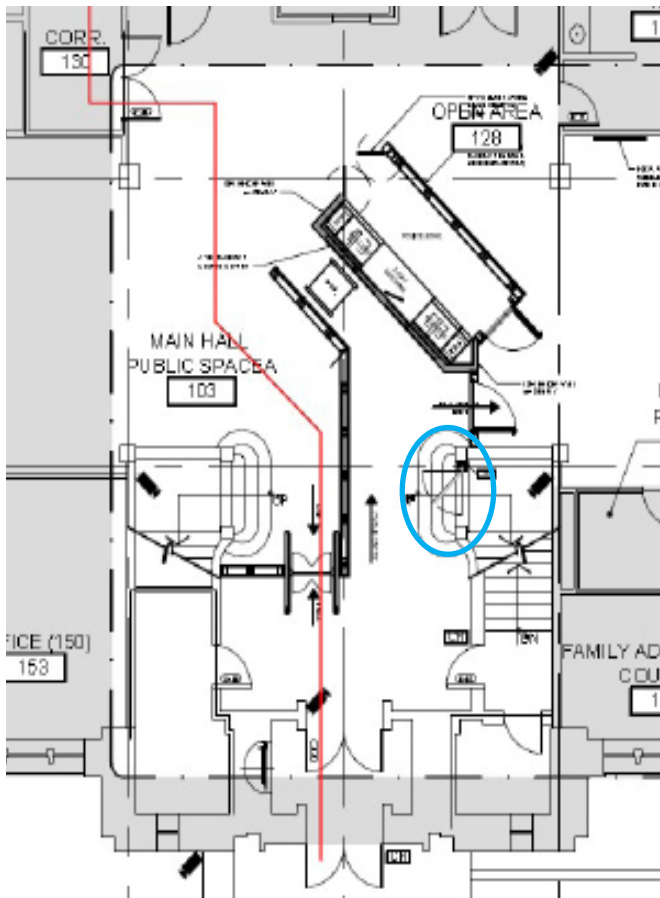
Image4.1: Main Floor Plan- layout by a+LiNK Architecture. Refer to Enlarged Plan in Appendices.

4. DESCRIPTION & PURPOSE OF PROPOSED ACTIVITY

4.2 THE PROPOSED LAYOUT

The partial main floor plan identified below (Image 4.2) is the current proposed design that is based on the security requirements of MAG (Enlarged Plan can be found within the Appendices). This layout provides direct access from the existing entry off of Main Street W. through to the screening area from the Lobby area the the Main Hall. The police zone is located in close proximity to the entry to allow for direct sightlines which are required for security to access incoming patrons. The proposed new security screening area has been located centrally in the Main Hall to maximize the visibility though the space, providing the optimal security requirements for MAG. The screening area is protected from the remainder of the space by glass partitions that are connected to anodized posts that are anchored to the floor. These posts require four (4) anchor bolts in order to securely and structurally anchor them to the floors. If required, these posts may be removed in the future with minimal disruption to the existing space. Being that the existing marble tiles at the Lobby area not identified heritage attributes, the direct physical impacts by the proposed alterations to the floors in this area are not included in this report.

Aside from the physical impacts, the proposed alterations could potentially alter the sightlines through the Main Hall space, with the new screens that are to be installed possibly resulting in a less open space in this large open area. In order to minimize any impacts on the sightlines though the Main Hall space the security screens are nine foot high glass partitions. The intention is to avoid closing off the Main Hall and to maintain the grand feel of the large double height space.



Images 4.2 & 4.3: Partial Main Floor and partial Second Floor plans indicating locations of proposed new swing gates - layouts by a+LiNK Architecture, February 2025



4. DESCRIPTION & PURPOSE OF PROPOSED ACTIVITY

The most prominent heritage elements in the Main Hall and Lobby that could potentially be most impacted by the new screening area renovations would be the east and west marble stairs. The new security gate posts located adjacent to the east stair and the new security door frame adjacent to the west stair are secured to the floor via anchor bolts in order to avoid attachments directly anchored into the marble walls of the stairs.

Additional security is provided via a turnstile swing gate that is located at the top and bottom of the west stair. The lower gate is to be located at the edge of the stair landing while the top gate is to be at the first tread at the top of the stair. These single-swing gates are required to restrict public access up these stairs from the Lobby while allowing exiting down through the stair in the case of an emergency. Due to the concern for possible damage to the existing marble staircase, several options were explored in order to minimize the number of penetrations through the marble. These are described in Section 5 of this report.

Immediately it was recognized that mounting to the vertical face of the marble newel posts was to be avoided as this alteration would be the most impactful to the heritage resource. The initial design involved a double swing gate requiring two posts which would have resulted in a total of 8 (eight) floor penetrations per gate. The type of gate that has been selected was carefully chosen in order to minimize the number of penetrations required. The proposed unit has a single swing gate that allows for only one stainless steel mounting post which is attached to the floor via three 12.5mm diameter fasteners. A fourth hole (50mm diameter) is required to bring in power to the unit for the control mechanism. This layout results in a total of approximately 4 (four) penetrations for the gate's vertical support post required for the proposed security access.



Image 4.4a: Proposed location of the new swing gate at the bottom of the west stair.

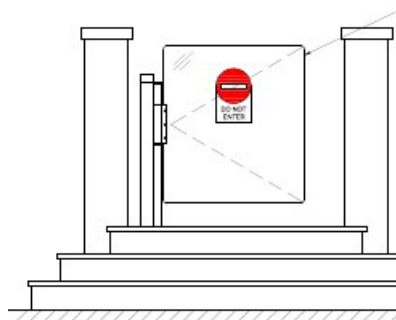


Image 4.4b: Drawing of new swing gate at the bottom of the west stair.

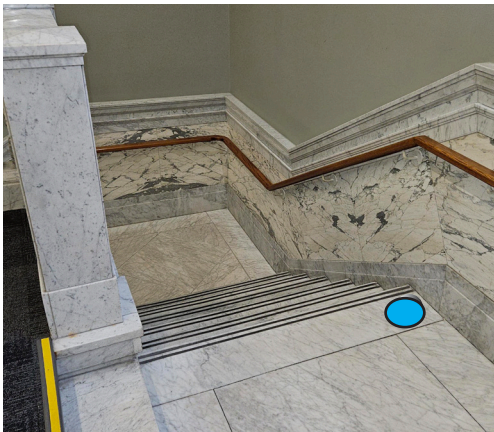


Image 4.5a: Proposed location of the new swing gate at the top of the west stair.

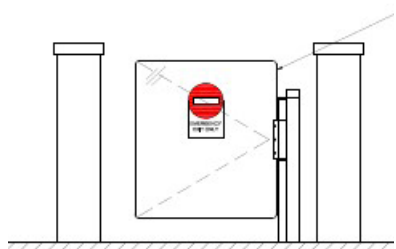


Image 4.5b: Drawing of the new swing gate at the top of the west stair.

The 168mm diameter gate post would be mounted on the marble step with a small vertical gap which would provide enough clearance from the face of the newel post to protect the marble finish and carved detail. The single gate panel is of a thick acrylic material, fastened to the cylindrical stainless steel post. It is the intention of this selection that the materiality of the post and the translucency of the gate panel result in minimal visual impact at the marble heritage stair.

There would be a total of two gates required: one at the bottom and one at the top of the east stair.

5. IMPACT ASSESSMENT

5.1 SUMMARY OF THE IMPACTS OF PROPOSED DEVELOPMENT

The interior renovations proposed in the form of security access systems in the heritage space of the Main Hall and Lobby have been reviewed in relation to their potential direct and indirect impacts. Although the new screening area centrally located within the Main Hall will make a visual impact on the space, with the addition of the security screens, the most direct impact will be to the existing marble stair in the form of the installation of a single swing gate at the top and bottom of the east stair. A total of four penetrations are required for both anchoring the vertical support for the gate as well as a penetration for power at each gate. These penetrations are unavoidable in order to provide the necessary security required by the Ministry of the Attorney General (MAG) for the courthouse.

Ultimately, any renovations to the interior of this space will have some affect on the existing cultural heritage resource. However, the proposed layout aims for these modifications to have only a minor impact relative to the overall character of the heritage features in the entry Lobby and Main Hall as well as being able to be removed in the future if required. The impact of the proposed activity to the cultural heritage resource is intended to be reversible so that it can be brought back to as close to its original condition as possible if the proposed alterations are removed at some point.

5.2 IMPACTS OF PROPOSED DEVELOPMENT

An impact assessment of the proposed development on the existing cultural heritage resource has been made following the principles laid out in the Standards & Guidelines for Conservation of Provincial Heritage Properties - Information Bulletin 3: Heritage Impact Assessments for Provincial Heritage Properties. The purpose of the assessment is to determine any impacts, positive, negative, direct or indirect, that the proposed activity may have on the property's cultural heritage value or interest. An impact is defined in Bulletin #3 as being *a change in an identified cultural heritage resource resulting from a particular activity*.

A direct adverse impact would have a permanent and irreversible negative affect on the cultural heritage value or interest of a property or result in the loss of a heritage attribute on all or part of the provincial heritage property. Examples of direct adverse impacts on a provincial heritage property may include, but are not limited to:

IMPACT: DIRECT ADVERSE		DESCRIPTION
REMOVAL/ DEMOLITION	Removal or demolition of all or part of any heritage attribute.	Not applicable - no heritage attributes are to be removed for the required alterations.
REMOVAL/ DEMOLITION	Removal or demolition of any building or structure on the provincial heritage property whether or not it contributes to the cultural heritage value or interest of the property (i.e. non-contributing buildings)	Not applicable - no heritage attributes are to be removed for the required alterations.

5. IMPACT ASSESSMENT

IMPACT: DIRECT ADVERSE		DESCRIPTION
LAND DISTURBANCE	Any land disturbance, such as a change in grade and/or drainage patterns that may adversely affect a provincial heritage property, including archaeological resources;	Not applicable - interior renovation.
ALTERATIONS	Alterations to the property in a manner that is not sympathetic, or is incompatible, with cultural heritage value or interest of the property. This may include necessary alterations, such as new systems or materials to address health and safety requirements, energy-saving upgrades, building performance upgrades, security upgrades or servicing needs;	The proposed alterations require a total of four penetrations through the marble steps of the top and bottom of the east stair. Three of these penetrations are 1/2" diameter in size for the pole mounting and one is 2" diameter in size for the power input. These holes may be repaired by professional restorers if the alterations are removed in the future.
ALTERATIONS - ACCESS	Alterations for access requirements or limitations to address such factors as accessibility, emergency egress, public access, security;	The proposed alterations are necessary to provide security for access required by the courthouse. The alterations involve the installation of glass security screens at the Main Hall and a security swing gate at the top and bottom of the east stair.
NEW CONSTRUCTION	Introduction of new elements that diminish the integrity of the property, such as a new building, structure or addition, parking expansion or addition, access or circulation roads, landscape features;	Not applicable - interior renovation.
NATURAL FEATURES	Changing the character of the property through removal or planting of trees or other natural features, such as a garden, or that may result in the obstruction of significant views or vistas within, from, or of built and natural features;	Not applicable - interior renovation. No significant views or vistas from within will be affected.
CHANGE IN USE	Change in use for the provincial heritage property that could result in permanent, irreversible damage or negates the property's cultural heritage value or interest;	Not applicable - the interior renovation supports the existing use.
INTENSIFICATION	Continuation or intensification of a use of the provincial heritage property without conservation of heritage attributes;	Continuation of existing use: the proposed interior renovation aims to conserve the heritage attributes of the property with minimal impact and proposed mitigation strategies.

5. IMPACT ASSESSMENT

An indirect adverse impact would be the result of an activity on or near the property that may adversely affect its cultural heritage value or interest and/or heritage attributes. Examples of indirect adverse impacts include, but are not limited to:

IMPACT: INDIRECT ADVERSE		DESCRIPTION
SHADOWS	Shadows that alter the appearance of a heritage attribute or change the visibility of an associated natural feature or plantings, such as a tree row, hedge or garden;	Not applicable - interior renovation.
ISOLATION	Isolation of a heritage attribute from its surrounding environment, context or a significant relationship;	No direct change to the context or any significant relationships of the heritage attribute with its surroundings.
VIBRATION	Vibration damage to a structure due to construction or activities on or adjacent to the property;	Not applicable - minimal intervention required to the interior space.
VIEWS	Alteration or obstruction of a significant view of or from the provincial heritage property from a key vantage point.;	Not applicable - the proposed interior alterations do not obstruct any significant views.

Positive impacts are those that may positively affect a property by conserving or enhancing its cultural heritage value or interest and/or heritage attributes. Examples of positive impacts may include, but are not limited to:

IMPACT: POSITIVE		DESCRIPTION
CONSERVATION	Changes or alterations that are consistent with accepted conservation principles, such as those articulated in MTCS's Eight Guiding Principles in the Conservation of Historic Properties, Heritage Conservation Principles for Land Use Planning, Parks Canada's Standards and Guidelines for the Conservation of Historic Places in Canada;	The proposed alterations to the existing cultural heritage resource involve minimal intervention to maintain the historical content of the resource. The future mitigation strategies for the proposed alterations are consistent with accepted conservation principles.
ADAPTIVE RE-USE	Adaptive re-use of a property – alteration of a provincial heritage property to fit new uses or circumstances of the of property in a manner that retains its cultural heritage value of interest;	The addition of modern security systems , including new swing gates at the east stair, would allow for continued use of the Courthouse in a safe and secure manner that is required by this use.
COMMEMORATION	Public interpretation or commemoration of the provincial heritage property.;	Not applicable.

6. CONSIDERED ALTERNATIVES & MITIGATION MEASURES

6.1 OPTIONS FOR MITIGATION - ALTERNATE LAYOUTS

The proposed design for upgraded security access at the heritage Lobby and Main Hall involves the addition of a screening area and secure access off of the building's main entry. Due to the fact that the east stair is accessed off of the Lobby area outside of the secured screening area, a new swing gate is required to be installed at the stair to control access, prohibiting people from bypassing the security checkpoint and gaining access to the building. The new screening area will require a number of penetrations to anchor the vertical supports and service penetrations through the floor. The marble tile floor in this area is not identified in the designation and therefore the impact of the new installation in the Main Hall would mainly be visual within the space. The intention is for the use of glass panel security screens to avoid impeding views through the grand space. As the majority of the heritage features in this space are at higher levels, the new screens should not hamper the enjoyment of the heritage features of the Main Hall, such as the column capitols, coffered ceilings, etc.,. The cultural heritage resource that will be directly impacted is the west marble stair with the proposed installation of a single swing gate at the top and bottom of the stair. This will require a total of four holes, three (3) 12.5mm in diameter and one (1) 50.0mm in diameter, that will penetrate the third marble stair tread, below the landing as well as the top marble tread. The selection of the single-post swing gate was based on minimizing the impact to the heritage marble stair, avoiding penetrations to the marble newel post. Refer to the appendices for more information about selected gate manufacturer/model.

Alternate design options have been reviewed extensively for their viability both from a heritage impact point of view and the security feasibility perspective. The challenge was to provide the required level of security necessary for the proposed activity while reducing the impact to the cultural heritage resource. Any alternative to be considered needed to avoid compromising the viability of the secure access requirements specified by the Ministry of the Attorney General (MAG) for the courthouse.

Alternate Option 1: The Proposed Layout with Gate at Bottom Tread Only

The floor plans show the current proposed design with the addition of a single swing gate at the bottom and top tread of the existing heritage stair. This option would eliminate the gate at the top of the stair, leaving just the one at the bottom of the stair. This alternate design reduces the overall number of penetrations by approximately 50% by reducing the number of gates. Although this option would have a lesser impact on the marble stair, there remains a risk of a breach in security.

Total penetrations: 4 for one gate/bottom tread

Alternate Option 2: Freestanding Barrier

An alternate option would be to place moveable (unattached) stanchions with retractable bands at the top and bottom of the stair to limit access. Although this would not require any penetrations to the marble treads, this would also pose a major risk to public safety, with potential threats to security, staff and courtroom spaces on the upper floor by not providing a more secure method of restricted access. An added risk would be the possibility of the moveable stanchion being used as a weapon which could result in potential bodily harm to the public or staff.

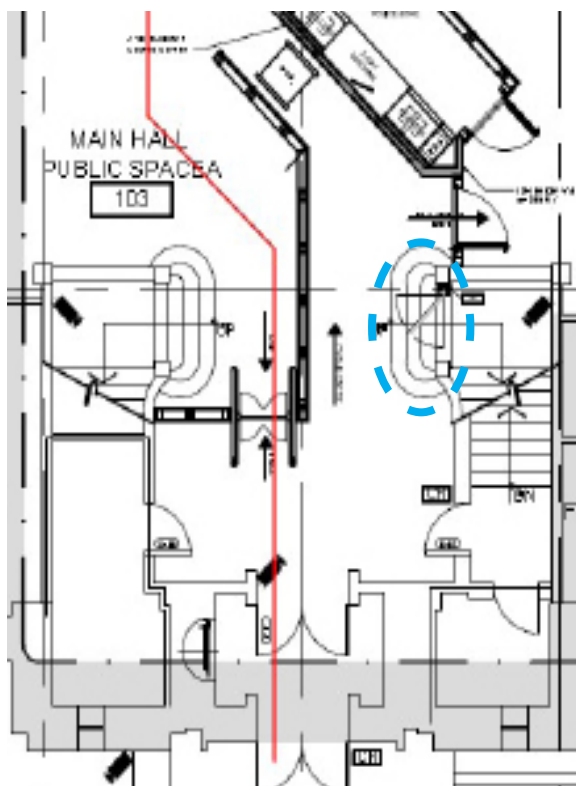


Image 8.1: Partial Ground Floor plan showing Alternate Option 1 layout, by a+LiNK Architecture.

6. CONSIDERED ALTERNATIVES & MITIGATION MEASURES

Alternate Option 3: Removal of Marble Stair Treads

A second option would be to remove the existing stair tread where the attachments are required and replace with a similar marble tread. The removed treads would then be stored until such time as the alterations would be removed and the space returned to its original condition. This option is not recommended as it is highly unlikely that the marble treads would not be damaged or broken during the process of removal. Even if the treads were removed in one piece, the other issue would be with long-term storage of the treads. There is a risk that these treads may be damaged or lost while in storage. Ultimately, the best conservation is with minimal intervention which would include avoiding the dismantling of the historic fabric.

Alternate Option 4: Do nothing

The last option would be to do nothing, leaving the heritage stair as it currently is, without any further intervention. Without the required security measures, there would be a higher risk of a breach in security, with unrestricted access both at the top and bottom of the stair. This would result in unrestricted access through the two floors and would pose a risk to public safety, with potential threats to security to the courtroom spaces on the upper floor. It may be possible to place guards at either the top or bottom of the stair to monitor access, however, this may be a less feasible option with the lack of available manpower to provide the necessary security. It was discussed at subsequent meeting to have Police / Security monitor the stair, however Police advised that this would not be possible. In the event that Police are called to an event within the building while still maintaining supervision over the incoming patrons it would not be possible to monitor access at the stair.

6.2 SUMMARY OF ALTERNATIVES

The interior renovations required by MAG in the form of security access systems in the Lobby will directly impact the existing cultural heritage resource by requiring alterations to the existing marble stair to the west of the main entry. As the proposed layout will require a total of 8 penetrations at the marble treads of the heritage stair, alternate options were studied in order to minimize or eliminate penetrations through the marble. Since this original carrara marble stair is considered to be of heritage value as it demonstrates the extensive use of costly materials and quality of craftsmanship, it is important to preserve this cultural heritage resource and minimize any damage, if possible. The proposed screening area located in the Main Hall will have minimal visual impact to the heritage resource as most of the heritage features are located above the height of the panels, which are glass to allow for views through the space.

The potential heritage impact of the proposed interior renovations on the designated built heritage resource has been assessed and alternate options have been reviewed. The aim of the alternate options was to provide the required security access while reducing the number or eliminating the need for penetrations through the marble stair treads. In most options, several penetrations are still required for both anchoring the vertical supports for the gates as well as some penetrations for services. Option 1 provided the required security but still required a number of penetrations. Option 2 involved the removal and storage of the affected marble floor treads, which was not a viable option as it was highly unlikely that the treads would be removed cleanly or the risk of the treads being damaged or lost during storage. Finally, Option 3 'Do Nothing', would leave the existing marble stair untouched but would result in a possible risk of a breach in security by not restricting access through the stair. This option is not feasible in order for the courthouse to operate securely.

Ultimately, any required security renovations to the heritage stair will have some affect on the existing marble treads. The key to having the least impact on the existing cultural heritage resource is to follow comprehensive mitigation strategies for the repair of the marble treads in the future when the proposed alterations are no longer required and can be removed.

6. CONSIDERED ALTERNATIVES & MITIGATION MEASURES

6.3 MITIGATION MEASURES

As shown in the previous section, both the proposed and alternate design option 1 involve penetrations to the existing marble treads at the heritage stair. The potential damage to the marble floors by the proposed penetrations may potentially be less adverse to the full removal of the marble tiles. That being said, a plan for the tread repairs is required for when the gates are removed in the future. This would involve a relatively minor restoration of the marble, including patching and polishing of the two treads that required the penetrations. The approach taken for marble repairs would be done by certified restoration specialists with experience in heritage marble restoration. A heritage marble preservation specialist would monitor the security installation and document each hole, preserving the marble dust, to ensure that future repairs can be made utilizing exact marble colouring resulting in the proper restoration of the cultural heritage resource. A mock up of test patches would be required for review and approval before proceeding with the work. Due to the relatively minor scope of the alterations, an accredited Conservator would not be required for the repair work.

MARBLE REPAIR STRATEGIES

Methods for Small Hole Repairs:

a) **Marble Dust Aggregate:** this repair uses the existing marble fragment materials and mixed with a non-yellowing epoxy matrix to create a patching mortar to repair smaller holes, less than 1" in diameter, in the future (Refer to image 8.2). The process would involve the following:

1. Salvaging and collecting the marble dust and fragments produced when drilling holes into the existing marble treads.
2. Each hole to be bagged, labelled, and stored in a secure location, preferably on site for future use. Documentation of what is stored is to be kept on site; to be coordinated with the BGIS Facility Manager.
3. A floorplan identifying the location of each bag is to be provided to the owner and a copy is to be stored with the bagged contents.

In the future, when the holes need to be repaired the contents of each bag is to be mixed with a non-yellowing epoxy and inserted into the prepared holes in the floor. Once dry the repair patch is to be ground and polished smooth to suit the surrounding marble. The complete stripping and refinishing of the entire tread would be required to ensure a uniform appearance once repaired. This is common form of floor maintenance and does not have a negative impact on the marble.

Methods for Larger Hole (1-3") Repairs:

a) **Marble Plugs:** core the 2" hole using a diamond hole saw, gather the chips and dust along with the 2" marble core (plug). This would be labeled accordingly for future repair should that be necessary. The repair would be similar to the small holes, the marble core would be set in non-yellowing epoxy resin with the chips and dust mixed to fill the void between the plug and the surrounding stair tread.

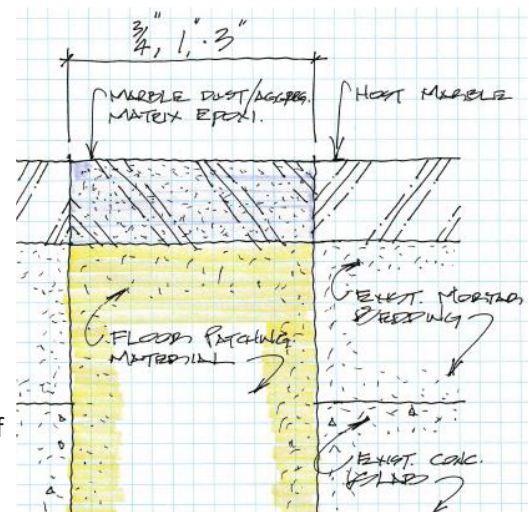


Image 8.2: Marble Dust Aggregate detail

Note:

The original marble treads (circa 1913) appear to be White Bianco Carrara marble from Italy. White Bianco Carrara marble has been quarried in Italy for over 2000 years. However, the colour of the stone currently obtained is not the same today as it was in the past history. This phenomenon is inherent with all naturally sourced materials and is to be expected. While the colour and pattern of this marble today are similar to the original, there would be a slight colour and pattern differential that would be observable upon close inspection. However, the general overall appearance would be cohesive and uniform through the entire stair.

6. CONSIDERED ALTERNATIVES & MITIGATION MEASURES

6.4 SUMMARY OF MITIGATION

The proposed interior renovations to the Heritage Lobby space at the Unified Family Courthouse, a Provincial Heritage Property, are required by the Ministry of the Attorney General (MAG) for the purposes of providing the security infrastructure required for the courthouse. These renovations will have the most impact on the existing historical marble treads at the east stair.

The anchoring of the new 168mm diameter stainless steel posts required for the single swing gates will require three 1/2" and one 2" diameter holes to be drilled through the existing marble treads at the top and bottom of the east stair. Each cylindrical post will be mounted to the floor with three embedded anchor bolts at the circular steel base plate. An additional hole will be required to provide power and data that will be run through the floor via a conduit. The designs presented in Section 6.1 show different options that were explored for reducing the number of penetrations, all with their own set of advantages and disadvantages. Upon review, it was concluded that there is no viable option where penetrations through the marble treads can be avoided in order to provide the security levels required by MAG for the courthouse operations.

The main concern regarding the proposed renovations is the potential long term effect on the heritage marble treads. If in the future the alterations were not required and removed from the space, the remaining holes made in the marble would need to be patched. Epoxy patch repairs are a common method of repairing holes with a maximum diameter of 1" in marble. In the case of the heritage stair, the colour and consistency of the marble, believed to be White Bianca Carrara, would allow the marble dust aggregate repair to hide the patches well.

It is noted that any variation in the marble repairs should not be perceived as a problem when viewing the heritage stairs and the lobby in its overall grandeur and wonder. The repairs noted above would be minor in scale and would not detract from the overall experience of the heritage marble stairs and the grand lobby in which they are located.

7. RECOMMENDATIONS

7.1 RECOMMENDATIONS

The purpose of this report is to assess the impact of the proposed development on the built heritage resource and recommend mitigative measures to conserve the heritage attributes of that resource. The proposed design for the required security and surveillance upgrades that are necessary for the safe operation of the Unified Family Courthouse has been reviewed and the extent of the potential damage due to penetrations at the existing marble stair treads has been identified. Alternate designs to mitigate the extent of adverse impact to the floors have been studied and evaluated to see if they were viable options for the intended use. Ultimately, there is no viable option that does not involve penetrations through the marble stair treads. Based on which design most fulfills the requirements of the required security upgrades, the original design outlined in Section 6 of this report should be pursued subject to the mitigation measures recommended below. This approach presents the best option to mitigating impacts to the built heritage resource while maintaining project viability.

Moving forward, the following recommendations for conservation/mitigation measures focus on ensuring that the holes in the marble treads of the heritage stair are executed in the least invasive methods possible with the possibility of reversibility of the proposed alterations in the future:

Execution of Proposed Alterations

In order to minimize the adverse impact of the proposed development, a marble specialist with demonstrated experience on heritage buildings, shall:

- Review the plan for hole locations prior to drilling, perform the drilling and document & store the marble dust according to a site map of the hole locations.
- During the alterations, the surrounding marble treads and floors are to be protected in order to avoid any remedial damage.
- Care is to be taken that the proper equipment is used in order to ensure that the holes are cut in a clean and concise manner without damaging the surrounding marble stair.
- Ensure that the holes that are made through the marble are no larger than the size required for the required purpose and adequate space from a tread edge is maintained to avoid chipping.

Remediation + Restoration

In the event that the alterations to the heritage marble stair are to be removed in the future, the marble floors will require patching and repair. For this work the following steps should be taken:

- A restoration specialist or Conservator with experience in heritage marble restoration retained.
- Mock-ups of the proposed repairs to be completed on a marble similar in colour.
- Test patching to be completed on an inconspicuous area of the floor for final review and approval before proceeding with the restoration work.
- Once an approved method has been signed off the heritage marble restoration specialist will then carry out the repairs with all penetrations.
- It is recommended that all of the stair treads to be polished and re-sealed to provide the best overall finish.

7. RECOMMENDATIONS

Heritage Impact Assessment + Conservation Plan

Prior to any restoration work being done, a Heritage Impact Assessment (HIA) may be required to review mitigation options. A Marble Conservation and Restoration Plan would be conducted at that time to provide current restoration methods and material available. If the proposed alterations are planned to be in place for ten years or more, there may be improvements in the restoration process.

The Marble Conservation and Restoration Plan would outline would be completed if the security measures are removed in the future and marble restoration is undertaken. At that time the plan would also review what new technologies may be available and best suited for the repair of the heritage marble stairs.

APPENDICES

APPENDIX A: References

REFERENCES

Province of Ontario Documents

1. Ministry of Heritage, Sport, Tourism and Culture Industries. *Standards and Guidelines for Conservation of Provincial Heritage Properties*. April 2010.
2. Ministry of Tourism, Culture and Sports. *Standards and Guidelines for Conservation of Provincial Heritage Properties- Information Bulletin #3-Heritage Impact Assessment for Provincial Heritage Properties*. 2017.
3. Her Majesty the Queen in Right of Canada. *Standards and Guidelines for the Conservation of Historic Places in Canada*. Second Edition. 2010.
4. Ministry of Municipal Affairs and Housing. *Ontario Provincial Policy Statement, Under the Planning Act*. 2014, 2020.
5. Ontario Ministry of Culture. *Heritage Resources in the Land Use Planning Process, Cultural Heritage and Archaeology Policies of the Ontario Provincial Policy Statement*. 'Info Sheet #5, Heritage Impact Assessments and Conservation Plans.' 2005.
6. Ontario Ministry of Culture. *Ontario Heritage Toolkit: Heritage Property Evaluation*. 2006.
7. The Planning Act and Provincial Policy Statement (PPS) 2024
8. The Ontario Heritage Act (OHA)

Municipal Documents

1. City of Hamilton. *City of Hamilton Register of Property of Cultural Heritage Value or Interest*. June 2017.
2. City of Hamilton. *By-Law No. 87-250 - Designation of property at 55 Main Street West, September 1987*.
3. City of Hamilton. *Urban Hamilton Official Plan, Volume 2*. January 2022.
4. City of Hamilton. *The Downtown Hamilton Secondary Plan, August 14, 2019*.
5. City of Hamilton. *Hamilton's Heritage Volume 5, June 2005*.

Other

1. Unified Family Courthouse Security Upgrades: *drawing set by a+LiNK architects*. February 2025.
2. Map Images: *Hamilton, Ontario*. Google Maps. November/March 2022.
3. Historical renderings and photographs, *Digital Archive Ontario*
4. Interior photographs, *a+LiNK architecture*, October 2021.
5. Marble restoration: *Marble Restoration Services Ltd., Ottawa*. www.marblerestoration.ca

APPENDIX B : Project Personnel



ED VAN DER MAAREL

PRINCIPAL ARCHITECT + PARTNER + HERITAGE CONSULTANT

Dip. Arch., Dip. Arch.Tech., OAA, CAHP

Ed is Partner, CEO and Principal Architect of a+LiNK Architecture and is responsible for the design of heritage restoration, preservation and adaptive reuse projects. Ed has led a variety of complex renovation, addition, and adaptive reuse projects over the last 35 years. Ed is the firm's heritage specialist and strongly supports adaptive reuse, restoration and preservation projects in order to provide our communities with a sense of place. He began his studies by completing an Architectural Technology Diploma at Fanshawe College of Applied Arts and Technology in London. Ed furthered his studies by graduating from The Royal Architectural Institute of Canada Syllabus Program in Vancouver (RAIC). Ed is widely known in the heritage community for the restoration of the Canada Southern Railway Station in St. Thomas, which became an award-winning restoration project.

EDUCATION

- Graduate of the Royal Architectural Institute of Canada (RAIC) Syllabus Program, Vancouver, B.C.
- Diploma Architectural Technology, Fanshawe College of Applied Arts and Technology, CAD Programming
- OAA Professional Development, Ongoing

PROFESSIONAL ASSOCIATIONS

- Registered Architect, Ontario Association of Architects
- Heritage Consultant, Canadian Association of Heritage Professionals
- Member, Community Heritage Ontario
- Member, Architectural Conservancy of Ontario
- Member, Heritage Canada Foundation

PUBLIC ACTIVITIES

- Board Member, On Track St. Thomas (St. Thomas Elevated Park)
- Past Director, North America Railway Hall of Fame
- Committee Member, St. Thomas RAILS (promoting St. Thomas as the Railway Capital of Canada)
- Ontario Visual Heritage Committee, Elgin County
- Speaker, Architectural Conservancy of Ontario for Heritage
- Past Chairman, St. Thomas Local Architectural Conservation Advisory Committee

Responsibilities: Coordinate communication of project team and client team, manage and oversee project team throughout design + construction documentation, and oversee contract administration.

SELECTED EXPERIENCE

HERITAGE

- Canada Southern Railway Station Adaptive Reuse + Restoration, St. Thomas, ON
- Eldon House Restoration, London, ON
- RBJ Schlegel Park Heritage House Adaptive Reuse, Kitchener, ON
- City of St. Thomas Heritage Conservation District, St. Thomas, ON
- City of Kincardine Heritage Conservation District, Kincardine, ON
- St. Thomas Elevated Park (STEP), St. Thomas, ON
- Banting House Museum, London, ON
- Grosvenor Lodge Restoration, London, ON
- Colborne Building Roof Stabilization + Adaptive Reuse, London, ON
- City of London Heritage Conservation District, London, ON
- John Sopinka Courthouse Restoration, Hamilton, ON
- Unified Family Courthouse Security Upgrades, Hamilton, ON
- Elgin County Railway Museum, St. Thomas, ON
- Red Antiquities Building, London, ON
- City of London Heritage Condition Assessment, 13 Heritage Buildings
- Victoria Park Cenotaph Restoration, London, ON
- City of London T-Block Restoration, London, ON
- Petrolia Post Office Renovations and Restoration, Petrolia, ON
- Brantford Gaol Restoration, Brantford, ON
- Elsie Perrin Williams Estate Restoration, London, ON
- Cayuga Courthouse Restoration, Cayuga, ON
- Pinafore Park Dance Pavilion, St. Thomas, ON
- Stratford Gaol Restoration, Stratford, ON
- City of London Park Farm Restoration, London, ON
- Flint Cottage, London, ON



ALICIA LESNIAK

ARCHITECT

B. Arch., B. E.S.

Alicia is an experienced Architect with the Ontario Association of Architects with a passion for architecture with experience ranging from small-scale commercial and residential to large-scale commercial and institutional buildings. With experience in British Columbia, Yukon, and Ontario including Toronto and London, Alicia brings a breadth of experience in designing, coordinating, developing and managing projects as Design Lead through all design and construction stages. By balancing the design intent and the reality of site conditions, with budgetary and functional needs, Alicia provides her expertise in project management in order to satisfy client and project goals. Alicia also specializes in providing Heritage Impact Assessments for various project types as per municipal requirements.

EDUCATION

- Bachelor of Architecture, University of Waterloo, 1993
- Bachelor of Environmental Studies, University of Waterloo, 1991
- OAA Professional Development, Ongoing

PROFESSIONAL ASSOCIATIONS

- Registered Architect, Ontario Association of Architects

PUBLIC ACTIVITIES

- Committee Member, London Society of Architects

Responsibilities: Assist with design and planning, attend client design meetings, lead + coordinate sub-consultants throughout design, construction documentation + contract administration.

SELECTED EXPERIENCE (**Prior to joining a+LiNK*)

HERITAGE

- 344-360 Talbot Street Heritage Impact Assessment, St. Thomas, ON
- 788 + 792 Dundas Street East Heritage Impact Assessment, London, ON
- 672 Hamilton Road Heritage Impact Assessment, London, ON
- 34 The Ridgeway Heritage Impact Assessment, London, ON
- 1 Cathcart Street (HIA), London
- 920-930 Dundas Street (HIA), London

COMMUNITY + INSTITUTIONAL

- Tillsonburg Community Centre Addition + Renovation, Tillsonburg, ON
- Tillsonburg Splash Pad, Tillsonburg, ON
- Lennoxville Curling Club, Sherbrooke, QC
- Thames Valley District School Board, Various Schools, London, ON*
- New Learning Commons Yukon College, Whitehorse, YT*
- School Replacement I&II, FH Collins Secondary School, Whitehorse, YT*
- New Classroom Modularity, Ecole Emilie Tremblay, Whitehorse, YT*
- The Clubhouse at Bowen Island Golf Course, Bowen Island, BC*
- Art + Margaret Fry Recreational Facility (BCA), Whitehorse, YT*

RESIDENTIAL

- 34 The Ridgeway Multi-Residential Infill Development, London, ON
- 300-306 Princess Ave. Multi-Residential Infill Development, London, ON
- 551-111 Waterloo Street Multi-Residential Infill Development, London, ON
- Maitland Ave. Multi-Residential Infill Development, London, ON
- Elias St. Multi-Residential Infill Development, London, ON
- Whetter Avenue Non-Profit Housing, London, ON*
- Vipond Residence, Collingwood, ON*
- Central Park Low Impact Residential Development, Whitehorse, YT*
- Nelson Landing Lakefront Mixed Use Development, Nelson, BC*

APPENDIX C : Property Designation

The Corporation of the City of Hamilton

BY-LAW NO. 87- 250

To Designate:

THE PROPERTY LOCATED AT MUNICIPAL NO. 55 MAIN STREET WEST

As Property of:

HISTORIC AND ARCHITECTURAL VALUE AND INTEREST

WHEREAS the Council of the City of Hamilton did give notice of its intention to designate the property mentioned in section 1 of this by-law in accordance with subsection 29(3) of The Ontario Heritage Act, R.S.O. 1980, Chapter 337;

AND WHEREAS no notice of objection was served on the City Clerk as required by subsection 29(5) of the said Act;

AND WHEREAS it is desired to designate the property mentioned in section 1 of this by-law in accordance with clause 29(1)(a) of the said Act.

NOW THEREFORE the Council of The Corporation of the City of Hamilton enacts as follows:

1. The property located at Municipal No. 55 Main Street West and more particularly described in schedule "A" hereto annexed, is hereby designated as property of historic and architectural value and interest.

2. The City Solicitor is hereby authorized and directed to cause a copy of this by-law, together with reasons for the designation set out in schedule "B", to be registered against the property affected in the proper registry office.

3. The City Clerk is hereby authorized and directed,

(i) to cause a copy of this by-law, together with reasons for the designation to be served on the owner and The Ontario Heritage Foundation by personal service or by registered mail;

(ii) to publish a notice of this by-law in a newspaper having general circulation in the Municipality of the City of Hamilton, for three consecutive weeks.

PASSED this 1st day of September, A.D. 1987.


City Clerk


Mayor



SCHEDULE "A"

To

By-law No. 87- 250

55 Main Street West,

Hamilton, Ontario

ALL AND SINGULAR that certain parcel or tract of land and premises situate, lying and being in the City of Hamilton, in the Regional Municipality of Hamilton-Wentworth and being composed of all of Lot 69 and part of Lots 50, 51, 52, 67 and 68, P.H. Hamilton Survey, Unregistered Plan, in the block bounded by Main Street, MacNab Street, Jackson Street, and Charles Street, (now closed by City of Hamilton By-law No. 9246, registered as Instrument No. 152827 H.L.), shown as Parts 1, 2 and 3 on Plan 62R-5764.

SCHEDULE "B"

To

By-law No. 87-250

REASONS FOR DESIGNATION

55 Main Street West,

Hamilton, Ontario

The Carnegie Building at 55 Main Street West was built in 1913 as Hamilton's main public library and is currently, in 1986, in the process of being converted into the province's Unified Family Courts.

Located directly east of City Hall, the Carnegie Building is a significant component in Hamilton's redeveloped Civic Square block, providing an imposing architectural presence as well as a valued historic dimension to the complex.

As one of more than a hundred libraries built in Ontario by philanthropist Andrew Carnegie during the early 20th Century, the Hamilton building is considered to be one of the finest in the province. Having served as the main public library for 67 years, the building is an important landmark of the city's cultural heritage; it is particularly significant as one of the few historic civic buildings still standing in Hamilton.

Local architect A. W. Peene won the international competition for the new library which is considered to be his best work in the city.

Limestone ashlar was used in the construction, following local building tradition, and the structure was given a prominent site, set back from the street and raised on a grassy bank, with a formal central stairway providing the approach.

Designed in the neo-classical style of architecture, 55 Main Street West displays a forceful composition of classical features, an imposing monumentality and a formal symmetry that are hallmarks of major public buildings of the period. The design displays a stripped or stylized version of classical detailing.

Important to the preservation of the three stone facades are the building's original features, including but not limited to the two-story pilasters, massive corner piers, the entablature with dentilated cornice, the projecting front entranceway, the large recessed multiple windows, the decorative stone mouldings and panels, the exterior stairways and doors, the two flanking free-standing stone walls and the parapet wall.

The Carnegie Corporation's stipulation that the space inside the building be kept unobstructed was successfully followed in the Hamilton library. The open, well-lit interior is articulated by rows of free-standing columns

that support a gridwork of dentilated ceiling beams. A central two-story atrium with marble balustrade, double staircase and skylight unifies the interior and provides a spacious and elegant entrance lobby that is a valuable architectural resource of the city.

Important to the preservation of the interior are the original architectural features, including but not limited to the open atrium, the marble double staircase, dado and balustrade, the skylight, the composite columns, wall pilasters and piers, the multiple windows with transoms of lavender-coloured glass, and the dentilated ceiling beams.

<div>FOR OFFICE USE ONLY</div> <div>429246 C.D.</div> <div>NUMBER CERTIFICATE OF REGISTRATION</div> <div>1987 SEP 25 P 3:38</div> <div>WENTWORTH NO. 62 HAMILTON</div> <div>LAND REGISTRAR</div> <div>Wentworth</div> <div>New Property Identifiers</div> <div>Additional: See Schedule</div> <div>Executions</div> <div>Additional: See Schedule</div>	(1) Registry <input checked="" type="checkbox"/> Land Titles <input type="checkbox"/>		(2) Page 1 of 5 pages	
	(3) Property Identifier(s)		Block	Property
	(4) Nature of Document Designating By-law			
	(5) Consideration Nil Dollars \$ --			
	(6) Description All of Lot 69 and Part of Lots 50, 51, 52, 67, 68, P.H. Hamilton Survey, Unregistered Plan Parts 1, 2 and 3 on Plan 62R-5764 City of Hamilton The Regional Municipality of Hamilton-Wentworth As described in 355356 C.D. (see Schedule "A" of By-law 87-250)			
	(7) This Document Contains:		(b) Schedule for:	
	(a) Redescription New Easement Plan/Sketch <input type="checkbox"/>		Description <input checked="" type="checkbox"/> Additional Parties <input type="checkbox"/> Other <input type="checkbox"/>	

(8) This Document provides as follows:

By-law No. 87-250, attached.

Continued on Schedule ☐

(9) This Document relates to instrument number(s) 355356 C.D.

(10) Party(ies) (Set out Status or Interest)	Signature(s)	Date of Signature Y M D
Name(s)		
The Corporation of the City of Hamilton		
(Applicant)		
By its Solicitor,		1987 09 24
P.M. Eker	P. M. Eker	

(11) Address for Service 71 Main St. W., Hamilton, Ontario. L8N 3T4

(12) Party(ies) (Set out Status or Interest)	Signature(s)	Date of Signature Y M D
Name(s)		

(13) Address for Service

(14) Municipal Address of Property 55 Main Street West Hamilton, Ontario L8P 1H4	(15) Document Prepared by: K. A. Rouff City Solicitor The Corporation of the City of Hamilton City Hall, 71 Main St. W. Hamilton, Ontario. L8N 3T4	Fees and Tax
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		ENTRY
		Total

APPENDIX D : Drawings

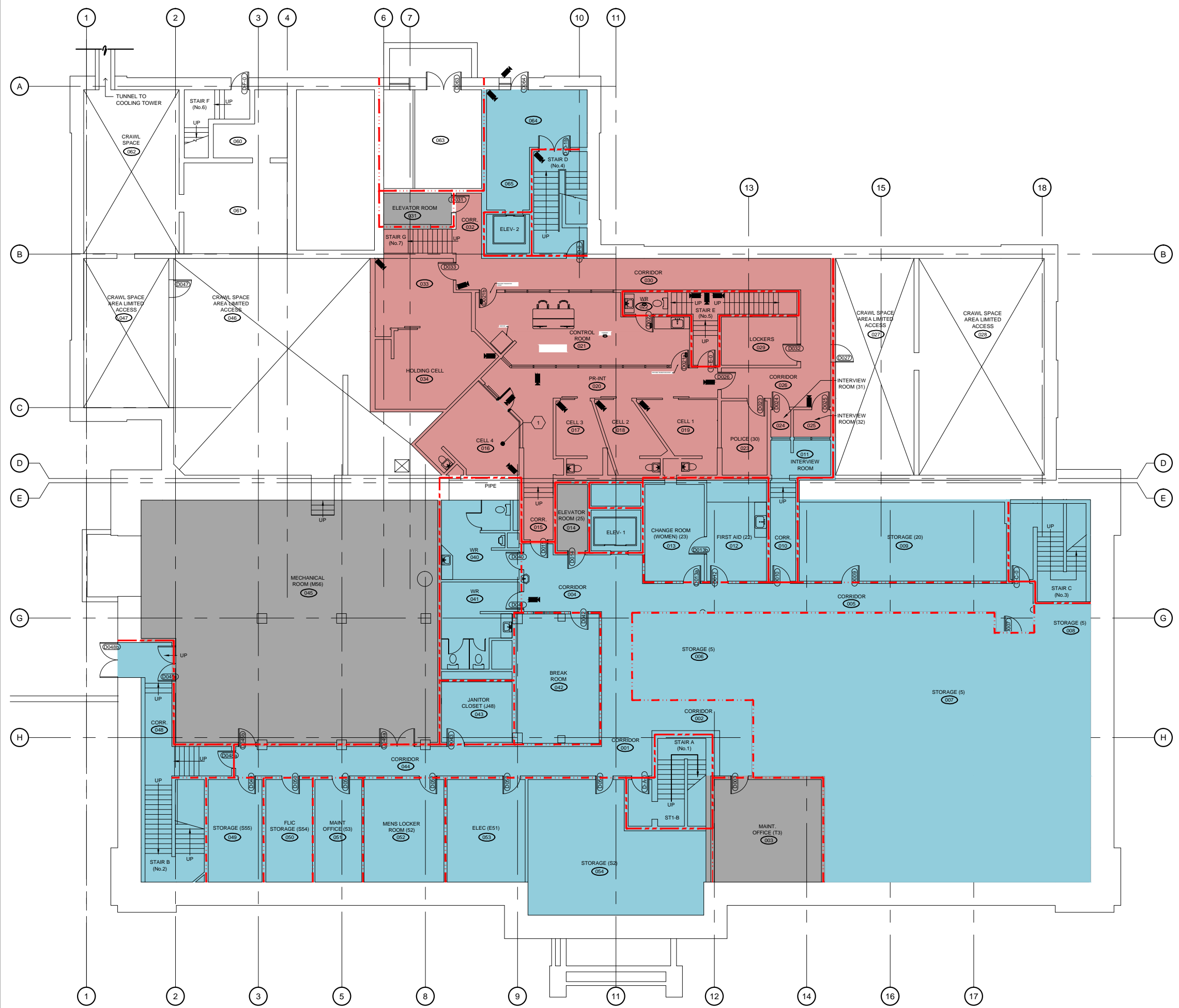
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	PARKING
	MECHANICAL & ELECTRICAL
	HIGH SECURITY
	PRISONER PATH OF TRAVEL



2
SC2.1 SC2.1 SCALE: 1:200
GROUND FLOOR PLAN



3
SC2.1 SC2.1 SCALE: 1:200
SECOND FLOOR PLAN



1
SC2.1 SC2.1 SCALE: 1:200
BASEMENT FLOOR PLAN

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4	ISSUED FOR 99% CLIENT REVIEW	2024.12.09
3	ISSUED FOR 66% REV CLIENT REVIEW	2024.08.16
2	ISSUED FOR 66% CLIENT REVIEW	2024.03.13
1	ISSUED FOR 33% CLIENT REVIEW	2023.11.14
No	Revisions	Date

Orientation

Seal

The Contractor shall check and verify all dimensions and report all errors and omissions to the IO-Owner's/MBS Designee (as applicable) for his/her written direction before proceeding with the Work.

A	A Detail No
B	B Sheet No where detailed



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Project Leaders

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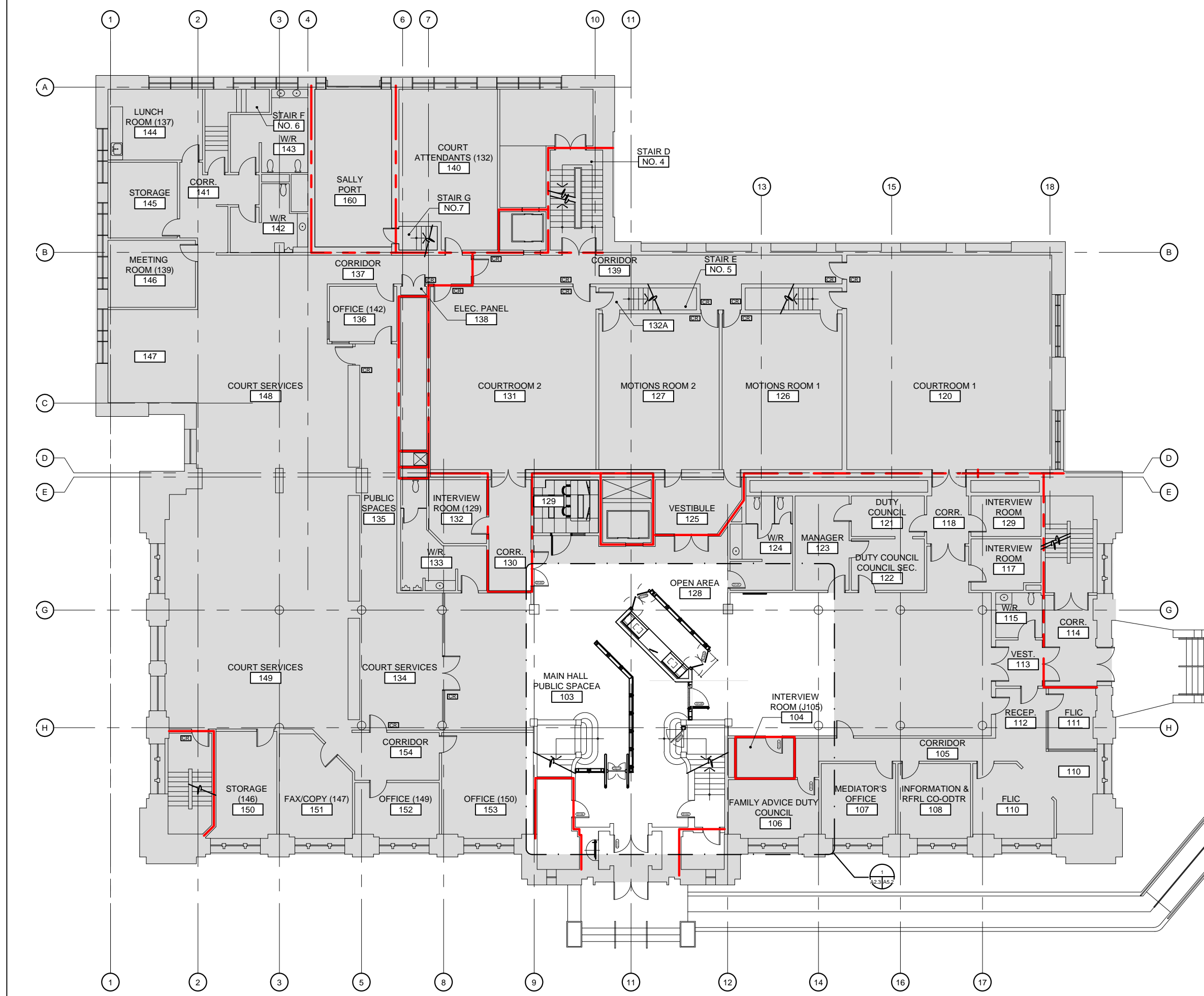
AMIS N B

Project
UNIFIED FAMILY COURTHOUSE
SECURITY UPGRADES

Location
55 MAIN ST. WEST
HAMILTON, ONTARIO
IO Project No. 1102795 Site No. Building No.
Client

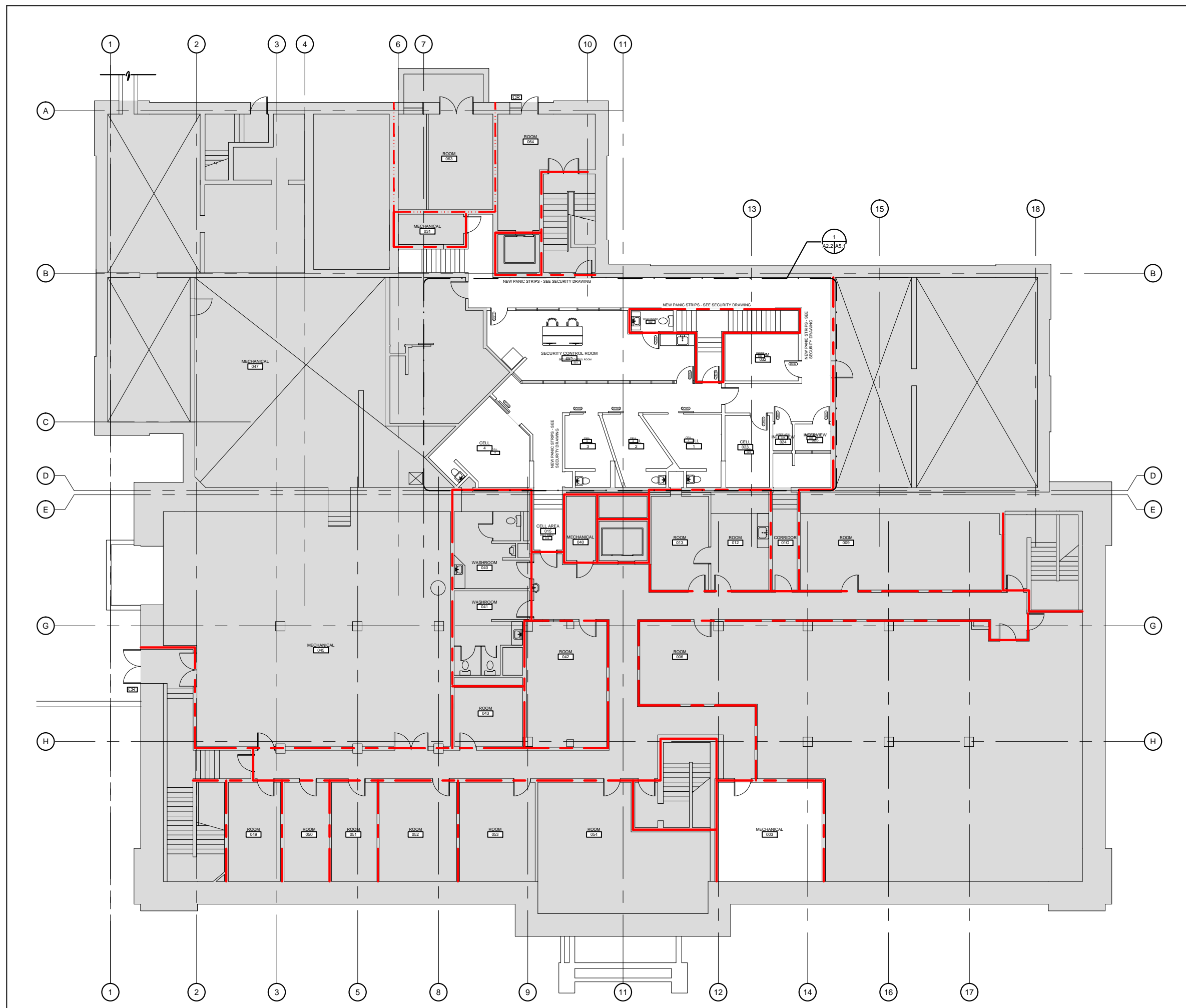
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Approved by —	CADD File NAME



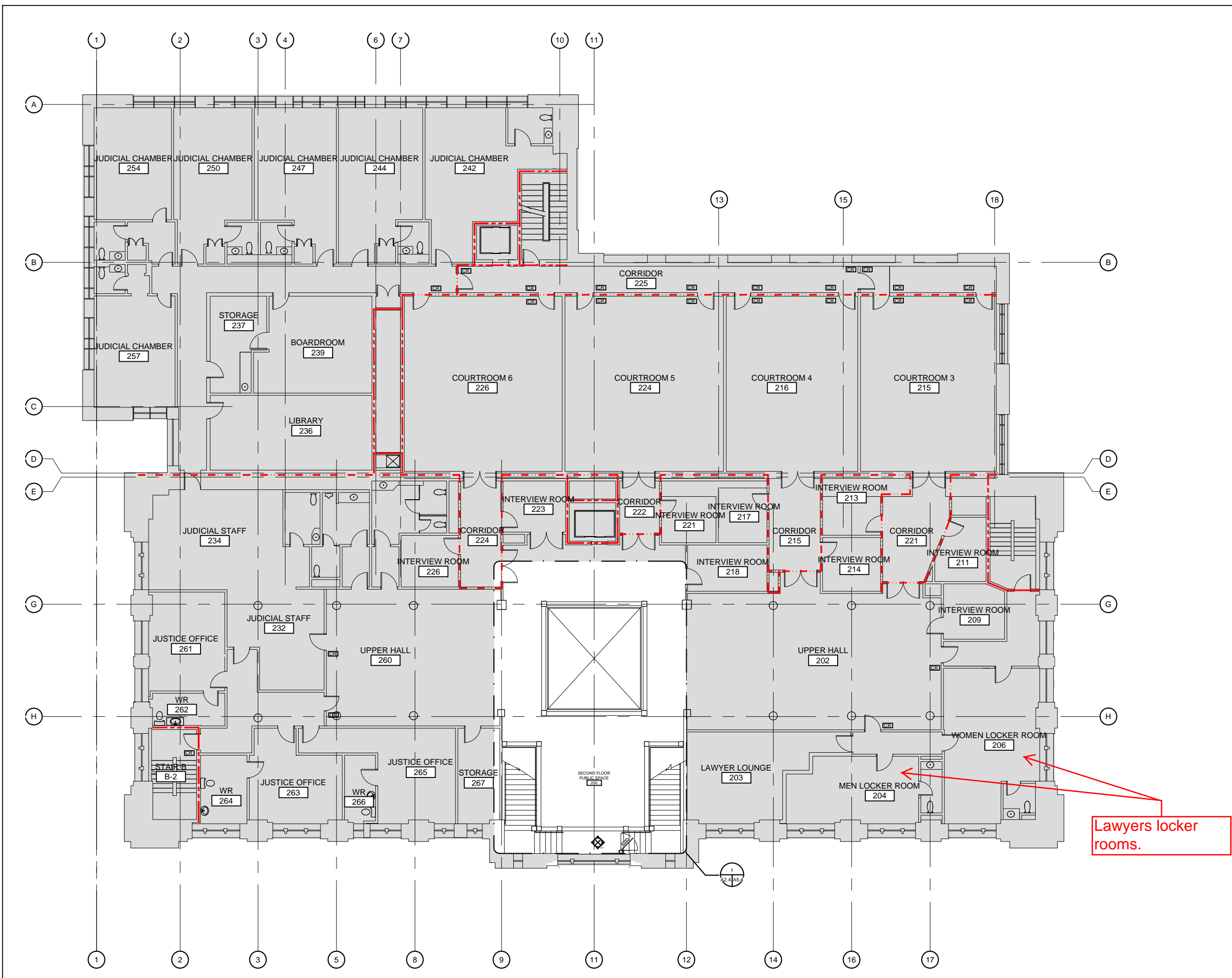
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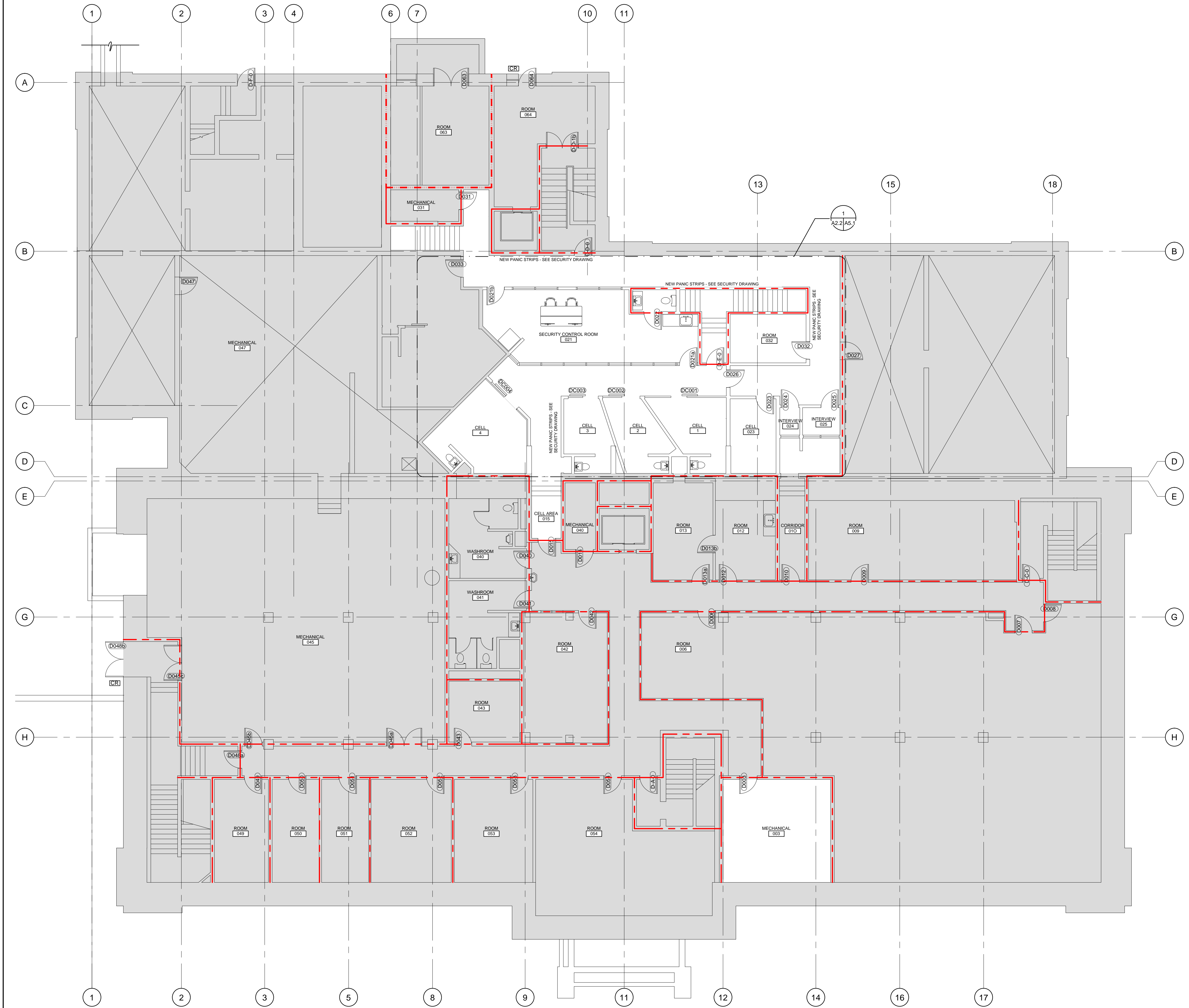
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BASEMENT FLOOR PLAN

SCALE: 1:200





RESERVED

BASEMENT FLOOR PLAN

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1	ISSUED FOR 66% REV CLIENT REVIEW	2024.08.16
No	Revisions	Date

Orientation

Seal

The Contractor shall check and verify all dimensions and report all errors and omissions to the IO-Owner's/MBS Designee (as applicable) for his/her written direction before proceeding with the Work.

A	A Detail No
B	B Sheet No where detailed



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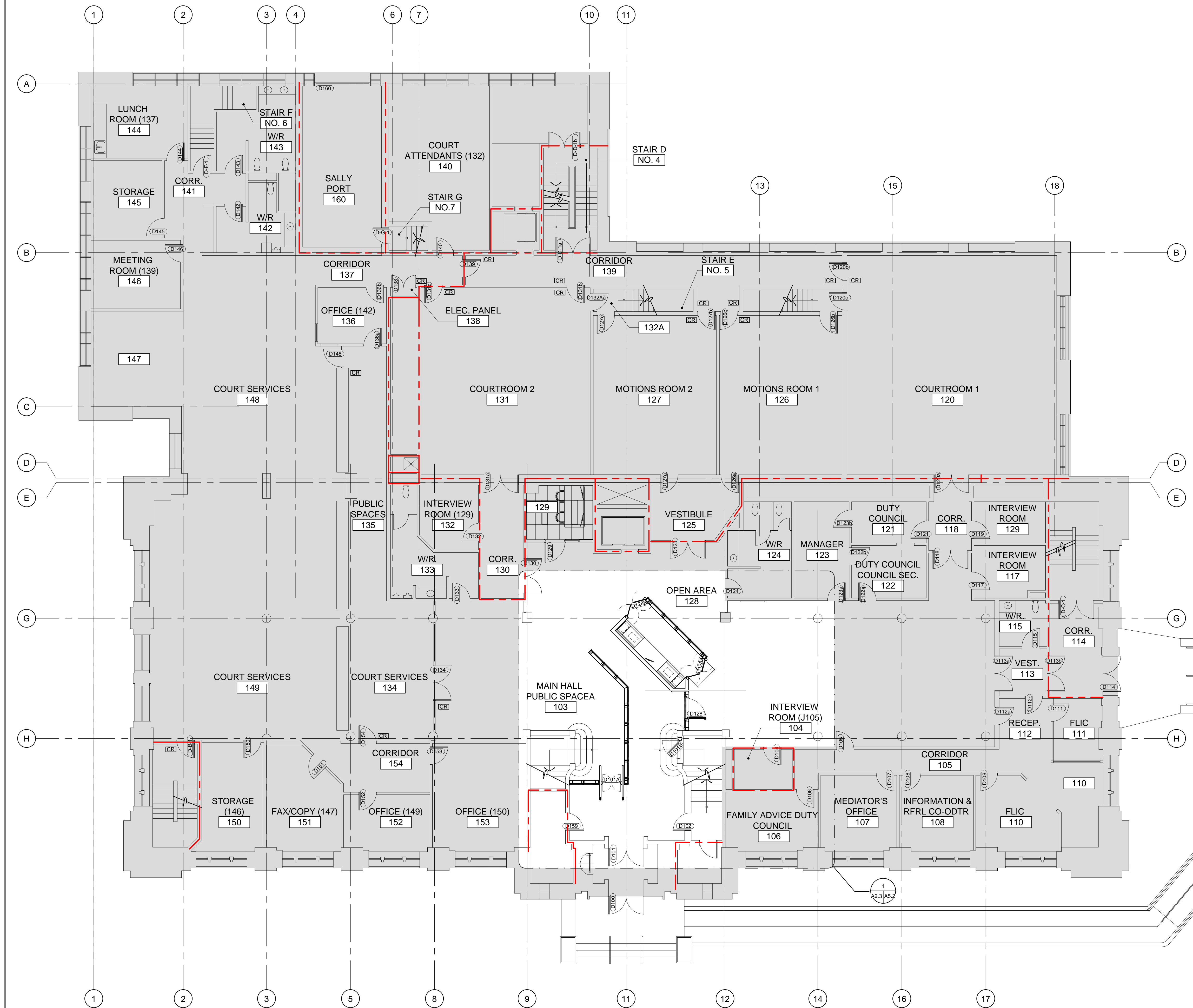
Project
UNIFIED FAMILY COURTHOUSE
SECURITY UPGRADES

Location
55 MAIN ST. WEST
HAMILTON, ONTARIO
IO Project No. Site No. Building No.
1102795

Client
COLLIERS PROJECT LEADERS

Drawing Title
BASEMENT FLOOR PLAN

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Drawn by BA	Substantial Performance Date
Designed by —	Drawing No A2.2 of 16
Approved by	CADD File NAME



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SCALE: 1:100

No	Revisions	Date
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3	ISSUED FOR 66% REV CLIENT REVIEW	2024.08.16
2	ISSUED FOR 66% CLIENT REVIEW	2024.03.13
1	ISSUED FOR 33% CLIENT REVIEW	2023.11.14

Orientation

Seal

a+Link PROJECT NO: 1953A

The Contractor shall check and verify all dimensions and report all errors and omissions to the IO-Owner's/MBS Designee (as applicable) for his/her written direction before proceeding with the Work.

A	A Detail No
B	B Sheet No where detailed



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AMIS N B

Project
UNIFIED FAMILY COURTHOUSE
SECURITY UPGRADES

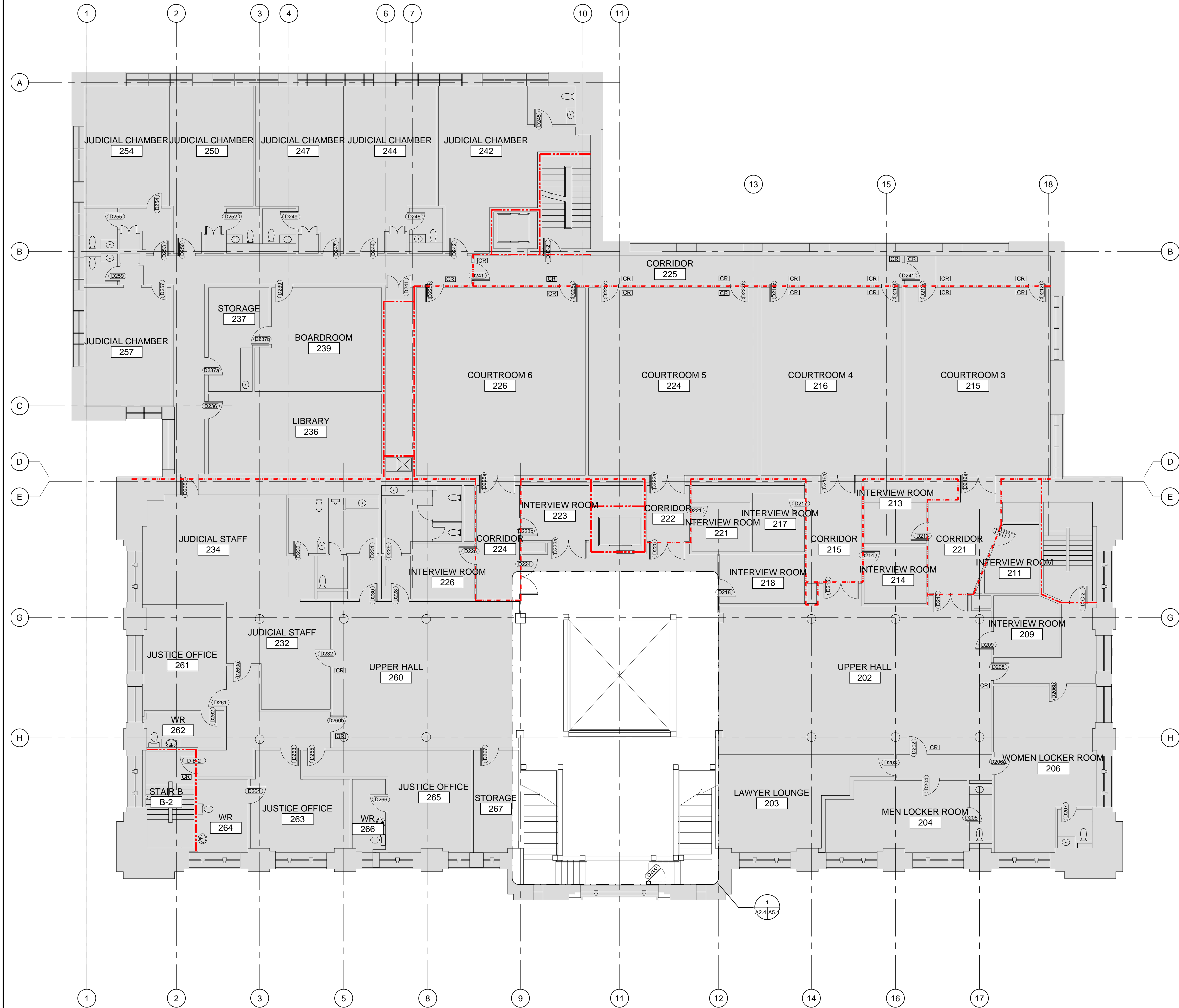
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HAMILTON, ONTARIO

IO Project No. 1102795 Site No. Building No.

Client
COLLIERS PROJECT LEADERS

Drawing Title
GROUND FLOOR PLAN

Scale AS NOTED	Date 2025.02.13
Drawn by BA	Substantial Performance Date
Designed by —	Drawing No A2.3 of 16
Approved by	CADD File NAME



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SECOND FLOOR PLAN
SCALE: 1:100

No	Revisions	Date
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3	ISSUED FOR 66% REV CLIENT REVIEW	2024.08.16
2	ISSUED FOR 66% CLIENT REVIEW	2024.03.13
1	ISSUED FOR 33% CLIENT REVIEW	2023.11.14

Orientation

Seal

a+Link PROJECT NO: 1953A

The Contractor shall check and verify all dimensions and report all errors and omissions to the IO-Owner's/MBS Designee (as applicable) for his/her written direction before proceeding with the Work.

A

B

A Detail No

B Sheet No where detailed



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AMIS N B

Project
**UNIFIED FAMILY COURTHOUSE
SECURITY UPGRADES**

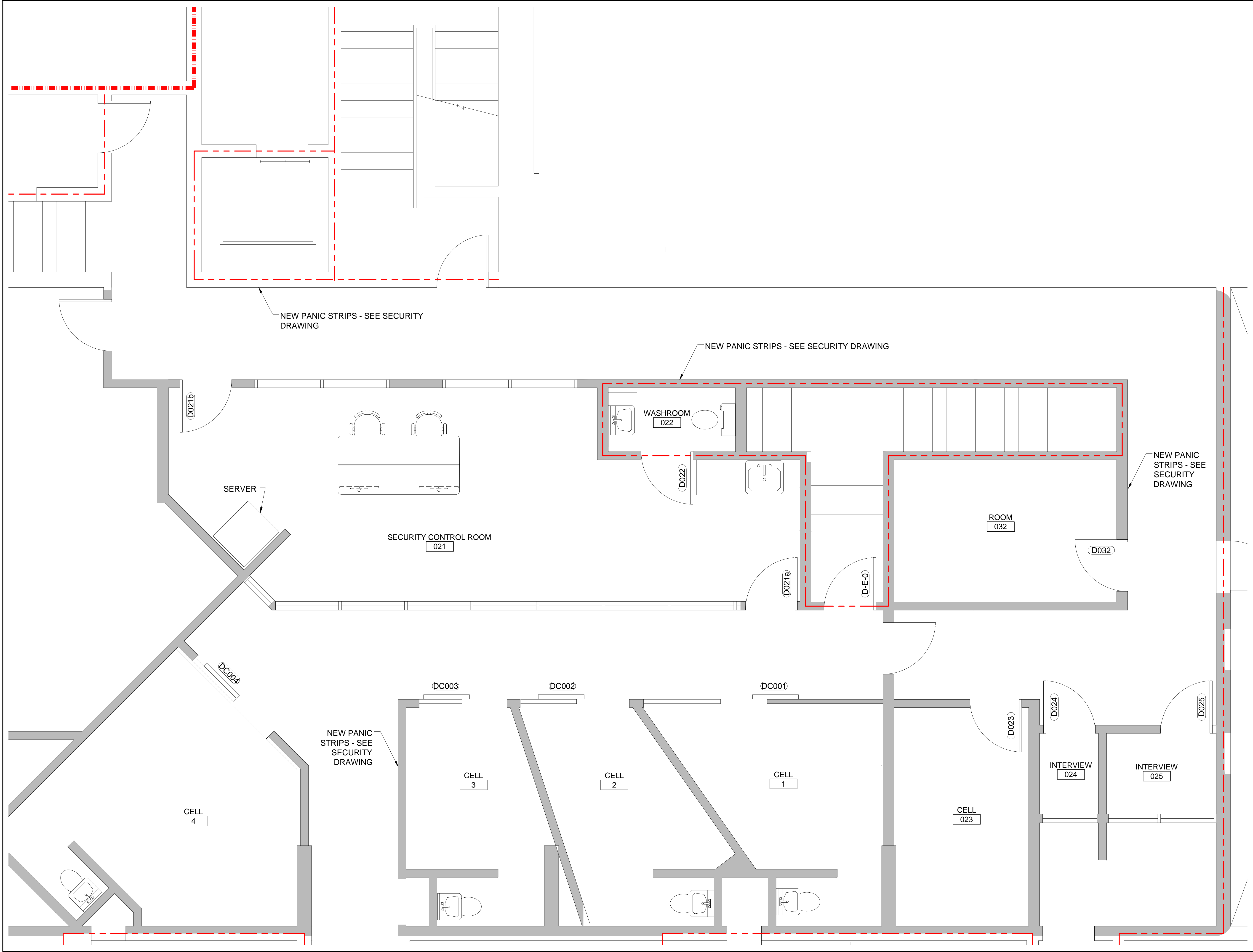
Location
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HAMILTON, ONTARIO

IO Project No. 1102795 Site No. Building No.

Client
COLLIERS PROJECT LEADERS

Drawing Title
SECOND FLOOR PLAN

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Drawn by BA	Substantial Performance Date
Designed by —	Drawing No A2.4 of 16
Approved by	CADD File NAME



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A2.2 | A5.1
SCALE: 1:25
BASEMENT ENLARGED PLAN

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2	ISSUED FOR 66% CLIENT REVIEW	2024.03.13
1	ISSUED FOR 33% CLIENT REVIEW	2023.11.14
No	Revisions	Date

Orientation

Seal

a+Link PROJECT NO: 1953A

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A	A Detail No
B	B Sheet No where detailed

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Project
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SECURITY UPGRADES

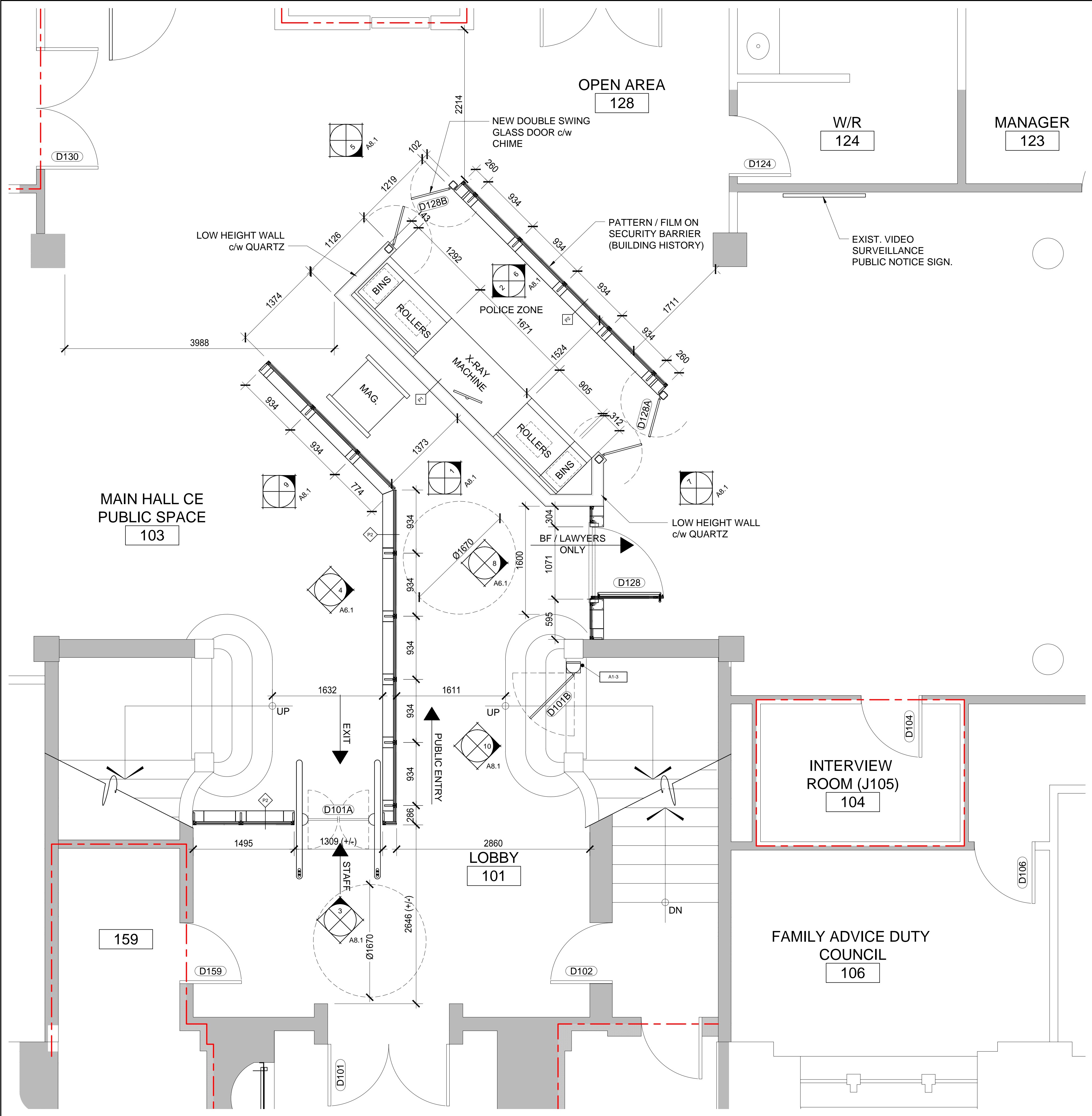
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ID Project No. Site No. Building No.
1102795

Client
COLLIERS PROJECT LEADERS

Drawing Title
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Scale AS NOTED	Date 2025.02.13
Drawn by BA	Substantial Performance Date
Designed by —	Drawing No A5.1 of 16
Approved by	CADD File NAME



PARTITION TYPE LEGEND

SYM.	DESCRIPTION
P1	PARTITION WALL - SOLID SURFACE HALF WALL: - 6mm QUARTZ - 19mm BALTIC BIRCH PLYWOOD - 92mm 20 ga. METAL STUDS @ 400mm o.c. - 19mm BALTIC BIRCH PLYWOOD - 6mm QUARTZ
P2	PARTITION WALL - GLAZED BARRIER - 12mm MONOLITHIC 2745mm HIGH TEMPERED GLASS PANELS ON 2440mm HIGH BRUSHED SS POST SYSTEM (KLARITY PARTITION SYSTEM - KP0STBS)

RESERVED

2
A5.2 | A5.2

SCALE: 1:25

MAIN ENTRANCE SECURITY BARRIER

1
A2.3 | A5.2

SCALE: 1:25

5	ISSUED FOR 99% CLIENT REVIEW	2025.02.13
4	ISSUED FOR 99% CLIENT REVIEW	2024.12.09
3	ISSUED FOR 66% REV. CLIENT REVIEW	2024.08.16
2	ISSUED FOR 66% CLIENT REVIEW	2024.03.13
1	ISSUED FOR 33% CLIENT REVIEW	2023.11.14
No	Revisions	Date

Orientation

Seal

a+Link PROJECT NO: 1953A

The Contractor shall check and verify all dimensions and report all errors and omissions to the IO-Owner's/MBS Designee (as applicable) for his/her written direction before proceeding with the Work.

A	Detail No
B	Sheet No where detailed



Colliers
Project Leaders

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P 519.649.0220 www.aLinkKarch.ca
362 DUFFERIN AVENUE, LONDON ON N6B 1Z4



AMIS N B

Project
UNIFIED FAMILY COURTHOUSE
SECURITY UPGRADES

Location
55 MAIN ST. WEST
HAMILTON, ONTARIO
IO Project No. 1102795 Site No. Building No.

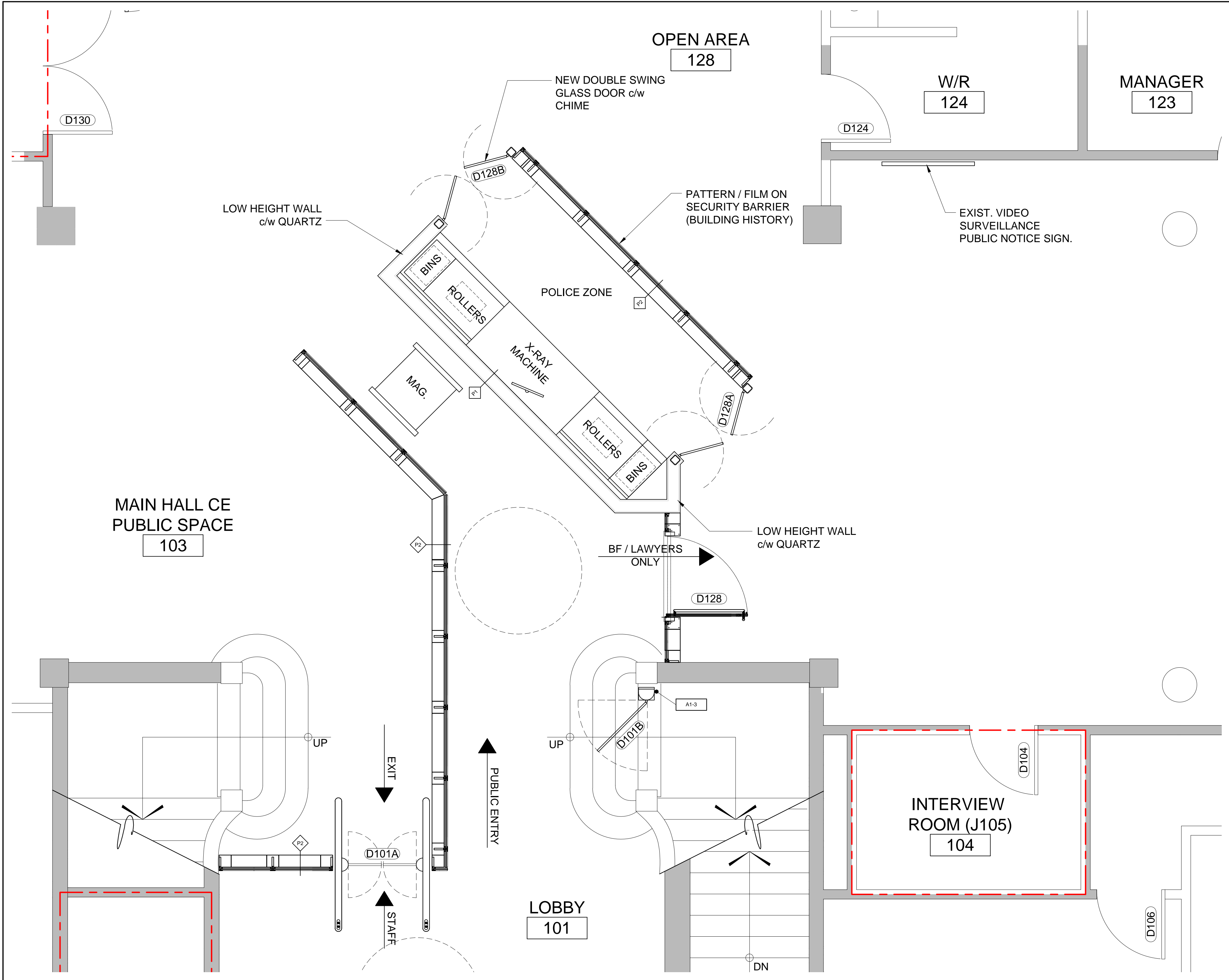
Client
COLLIERS PROJECT LEADERS

Drawing Title
ENLARGED FLOOR PLAN DETAILS &
LEGEND

Scale AS NOTED	Date 2025.02.13
Drawn by BA	Substantial Performance Date
Designed by —	Drawing No A5.2 of 16
Approved by —	CADD File NAME

FLOOR PENETRATION SCHEDULE					
PENETRATION NO.	FLOOR MATERIAL	HOLE DIA.	FASTNER TYPE	DEVICE MOUNTED	
GROUND FLOOR					
A1 - 3	MARBLE	½"	ANCHOR	TURNSTILES	
A4 - 6	MARBLE	½"	ANCHOR	TURNSTILES	

1
A2.1 A5.1
SCALE: 1:25
MAIN ENTRANCE SECURITY BARRIER



1
A2.1 A5.3
SCALE: 1:25
MAIN ENTRANCE SECURITY BARRIER - PENETRATION

5	ISSUED FOR 99% CLIENT REVIEW	2025.02.13
4	ISSUED FOR 99% CLIENT REVIEW	2024.12.09
3	ISSUED FOR 66% REV CLIENT REVIEW	2024.08.16
2	ISSUED FOR 66% CLIENT REVIEW	2024.03.13
1	ISSUED FOR 33% CLIENT REVIEW	2023.11.14
No	Revisions	Date

Orientation

Seal

a+Link PROJECT NO: 1953A

The Contractor shall check and verify all dimensions and report all errors and omissions to the IO-Owner's/MBS Designee (as applicable) for his/her written direction before proceeding with the Work.

A

B

A Detail No

B Sheet No where detailed



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362 DUFFERIN AVENUE, LONDON ON N6B 1Z4



AMIS N B

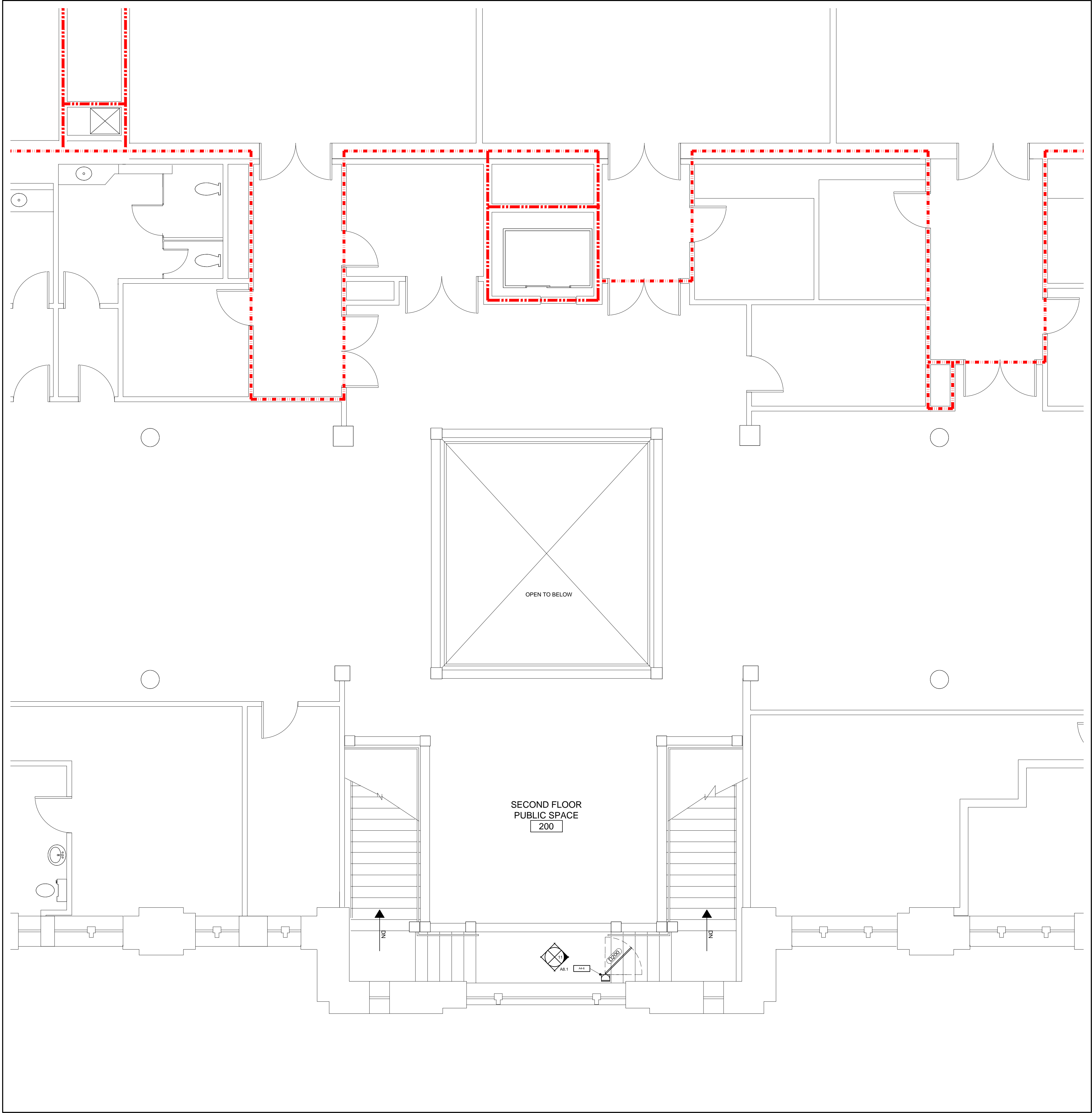
Project
UNIFIED FAMILY COURTHOUSE
SECURITY UPGRADES

Location
55 MAIN ST. WEST
HAMILTON, ONTARIO
IO Project No. Site No. Building No.
1102795

Client
COLLIERS PROJECT LEADERS

Drawing Title
PENETRATION PLAN, SCHEDULE &
LEGEND

Scale AS NOTED	Date 2025.02.13
Drawn by BA	Substantial Performance Date
Designed by —	Drawing No A5.3 of 16
Approved by	CADD File NAME



1
A2.4 | A5.4
SCALE: 1:25
SECOND FLOOR

5	ISSUED FOR 99% CLIENT REVIEW	2025.02.13
4	ISSUED FOR 99% CLIENT REVIEW	2024.12.09
3	ISSUED FOR 66% REV CLIENT REVIEW	2024.08.16
2	ISSUED FOR 66% CLIENT REVIEW	2024.03.13
1	ISSUED FOR 33% CLIENT REVIEW	2023.11.14
No	Revisions	Date

Orientation

Seal

a+Link PROJECT NO: 1953A

The Contractor shall check and verify all dimensions and report all errors and omissions to the IO-Owner's/MBS Designee (as applicable) for his/her written direction before proceeding with the Work.

A	Detail No
B	Sheet No where detailed



Colliers
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362 DUFFERIN AVENUE, LONDON ON N6B 1Z4



AMIS N B

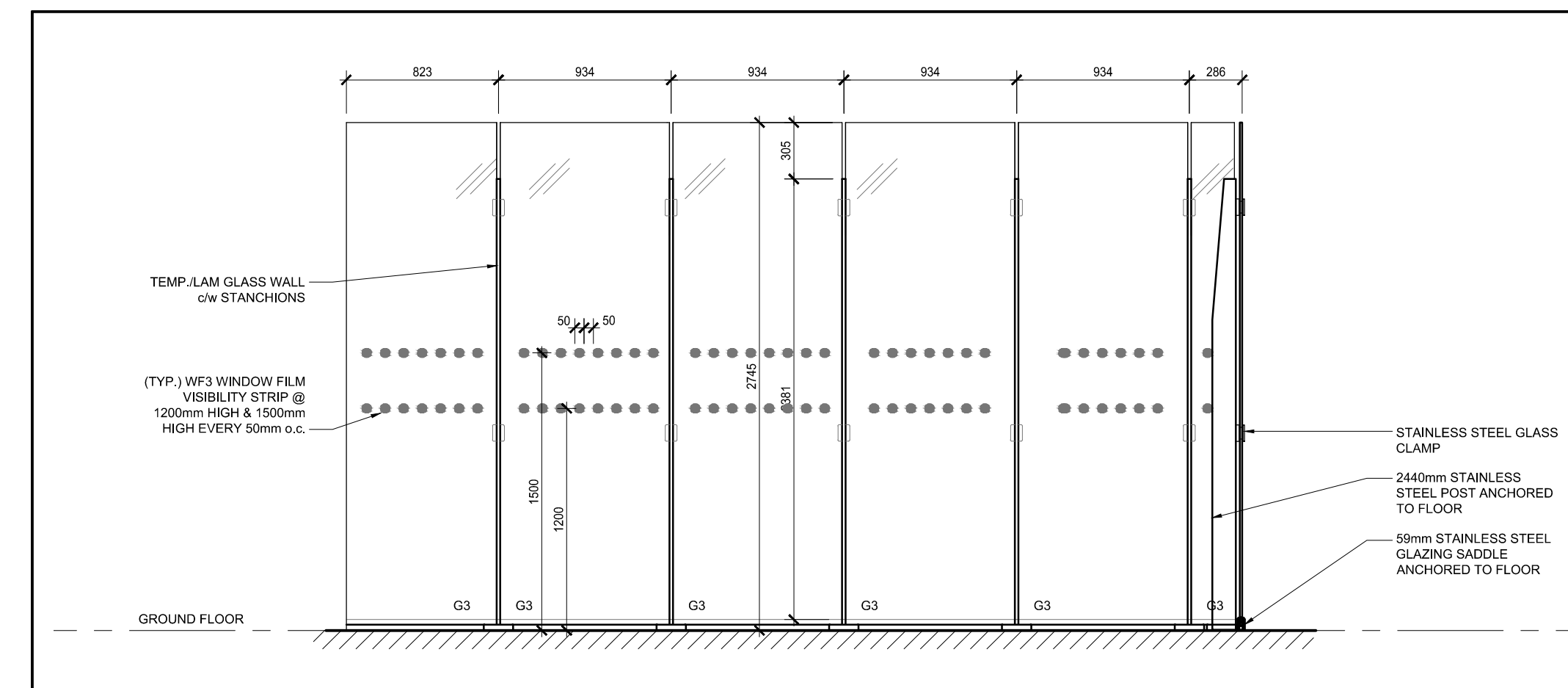
Project
UNIFIED FAMILY COURTHOUSE
SECURITY UPGRADES

Location
55 MAIN ST. WEST
HAMILTON, ONTARIO
IO Project No. Site No. Building No.
1102795

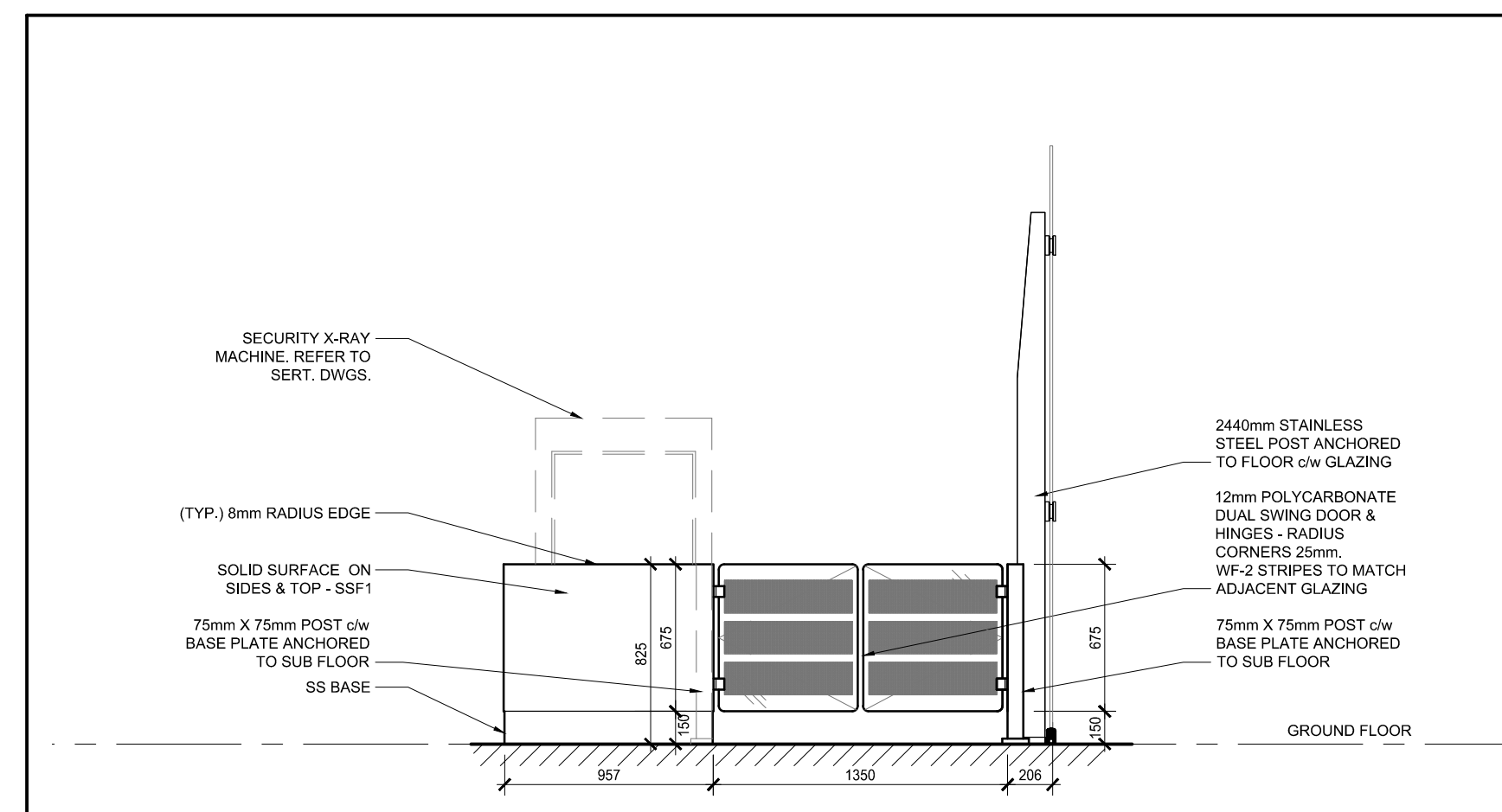
Client
COLLIERS PROJECT LEADERS

Drawing Title
ENLARGED FLOOR PLAN DETAILS &
LEGEND

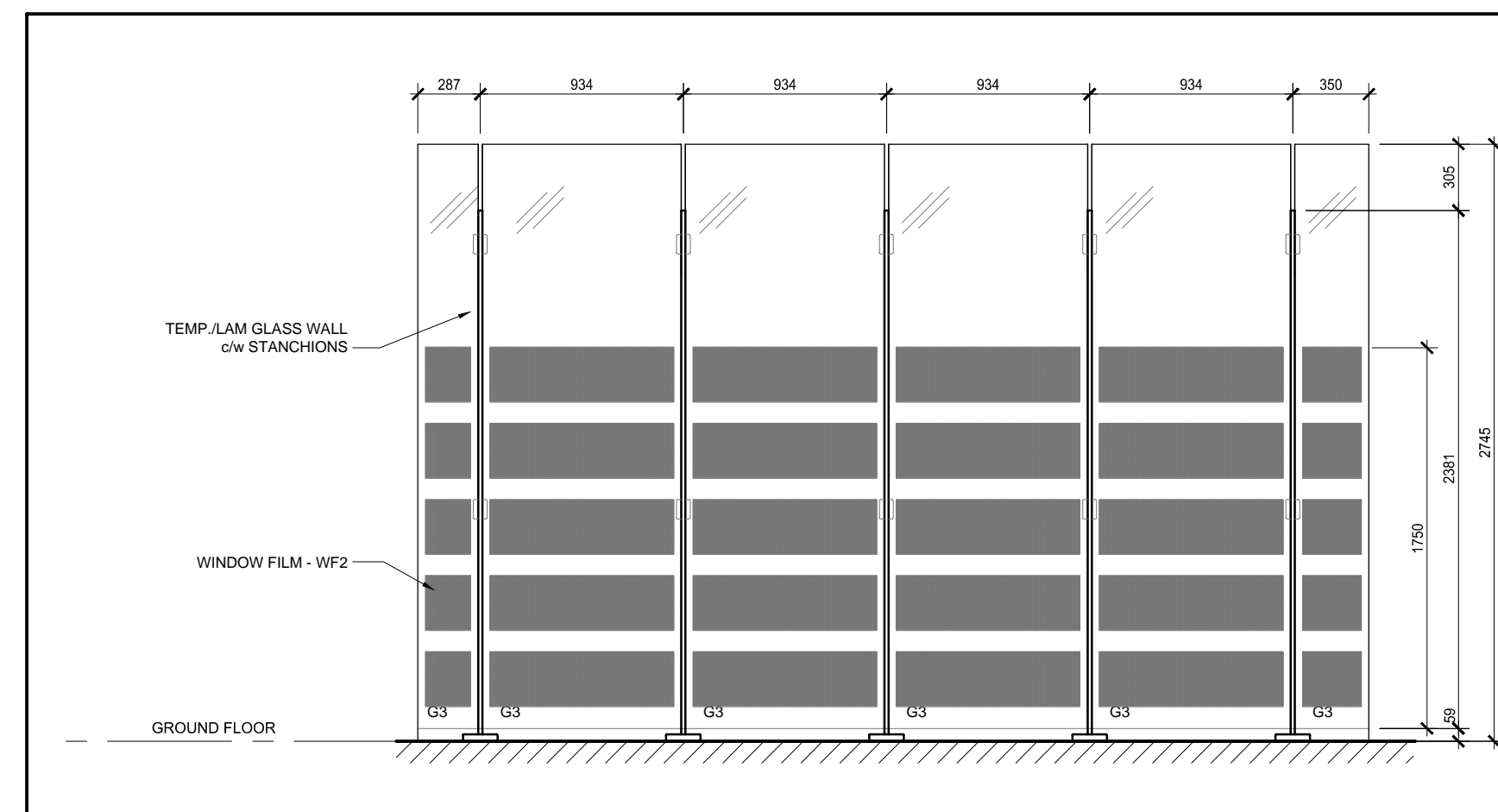
Scale AS NOTED	Date 2025.02.13
Drawn by BA	Substantial Performance Date
Designed by —	Drawing No A5.4 of 16
Approved by	CADD File NAME



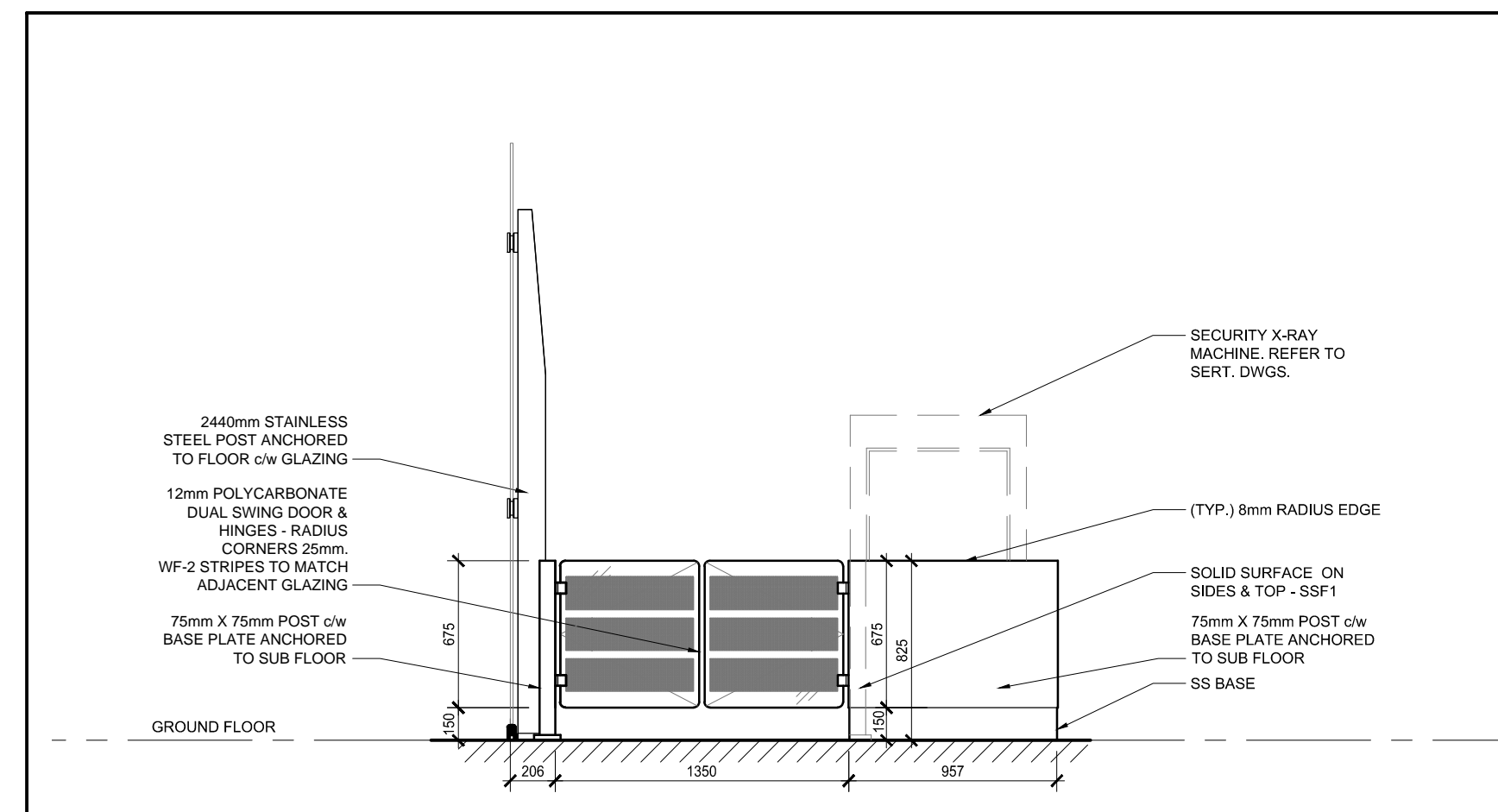
SERT. GLAZING AT PUBLIC ENTRY - ELEVATION



 DOOR AT POLICE ZONE - ELEVATION
SCALE: 1:25



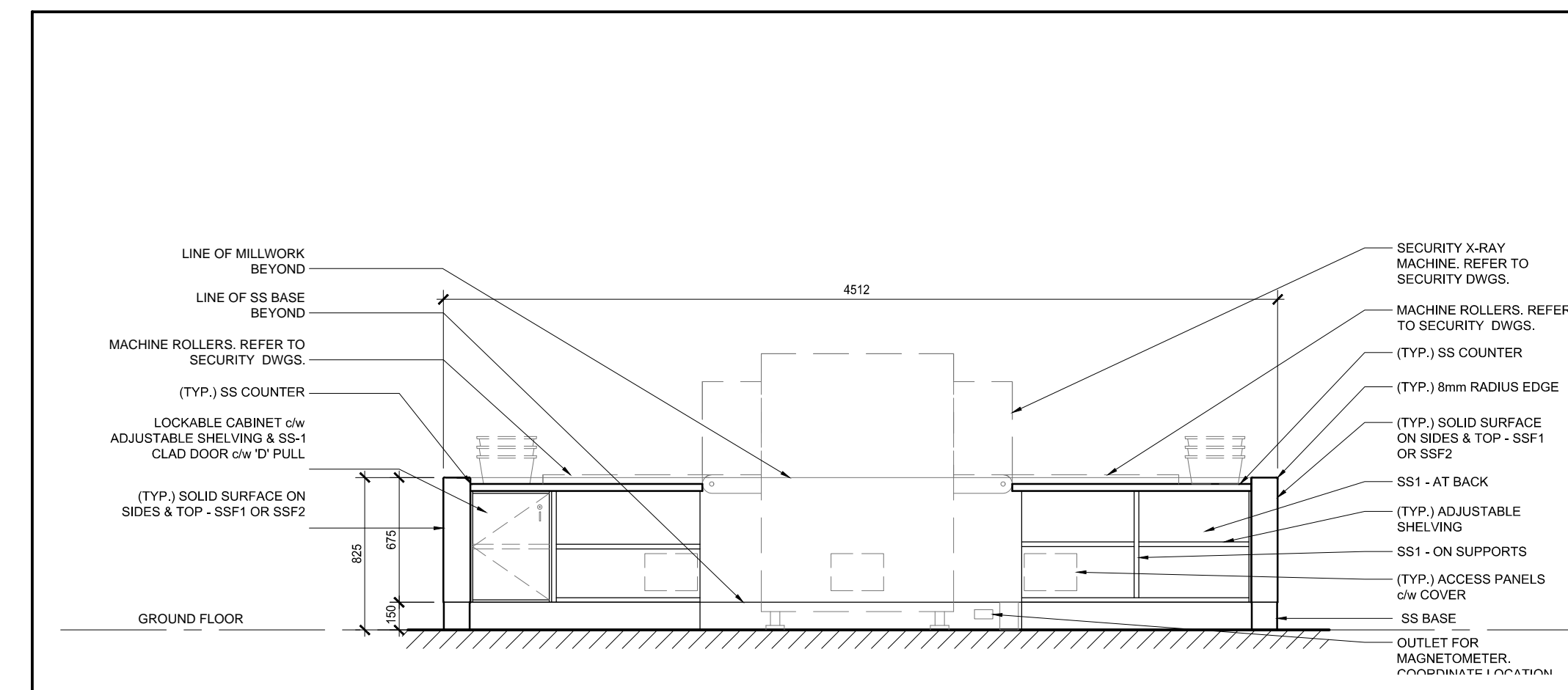
6 SERT. BARRIER BEHIND POLICE ON - ELEVATION
A5.2 A8.1 SCALE: 1:25



5
A5.2 A8.1

SCALE: 1:25

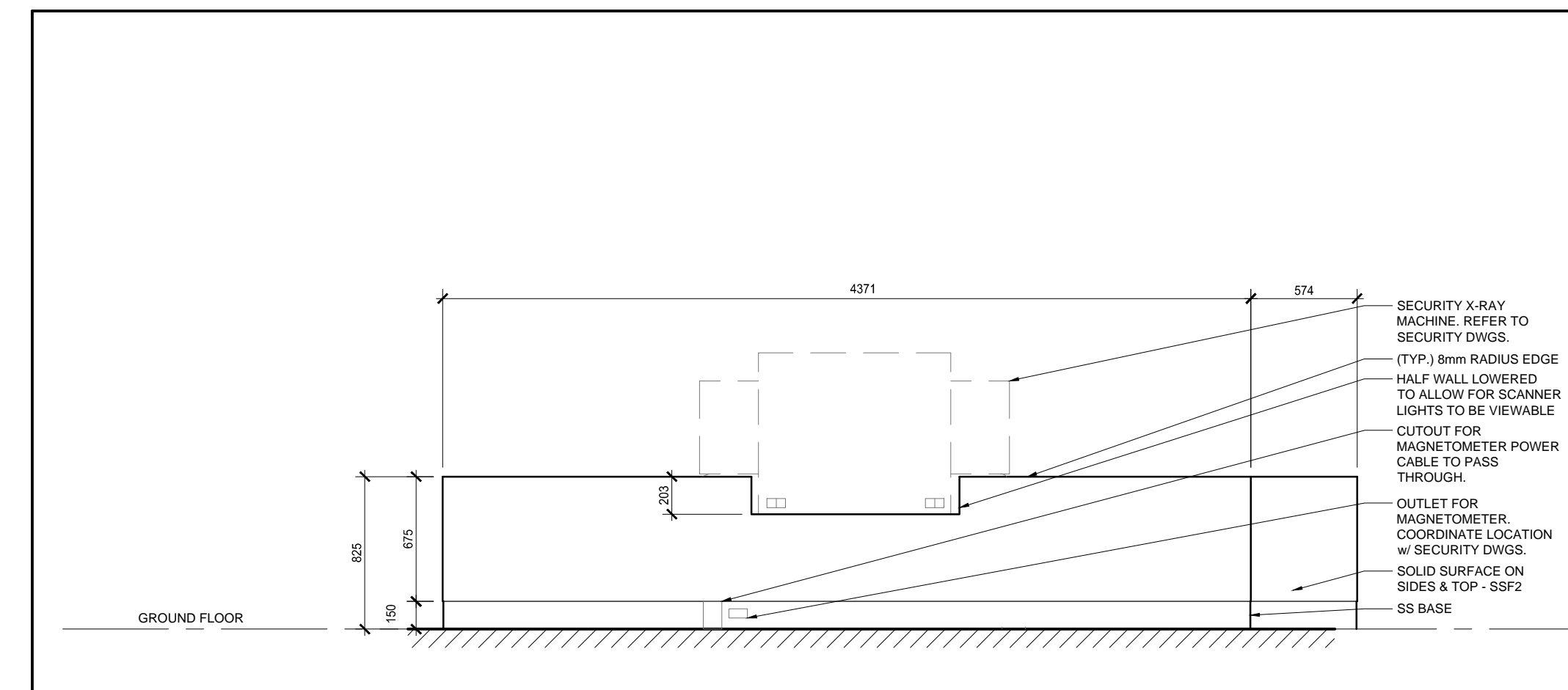
HALF DOORS & WALL SERT. EQUIP. - ELEVATION



2
A5.2 A8.1

SCALE: 1:25

HALF WALL AROUND SERT. EQUIP. - ELEVATION



 SERT. HALF WALL - ELEVATION
SCALE: 1:25

Orientation	Seal
	<p>α+Link PROJECT NO: 1953A</p>

A Detail No
B Sheet No where detailed



**Infrastructure
Ontario**

Location
55 MAIN ST. WEST
HAMILTON, ONTARIO
10 Project No. 1102795
Site No. Building No.

Client

Drawing Title
INTERIOR ELEVATION

Scale AS NOTED	Date 2025.02.13
Drawn by BA	Substantial Performance Date
Designed by —	Drawing No A8.1 of 16
Approved by —	CADD File NAME

APPENDIX E: Product Data



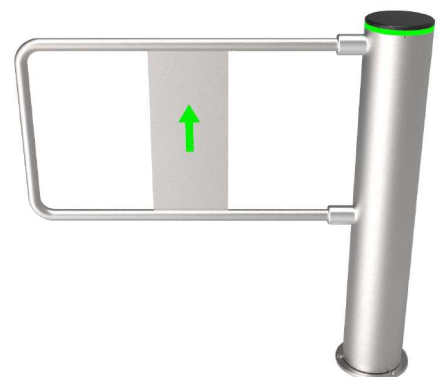
CYLINDER SPEED GATE MT310-S

The **MT310-S speed gate** has a slender, cylindrical body with a horizontal arm or barrier that rotates in a vertical plane. It can work as a single(1pcs) or a pair(2pcs).

The MT310-S mechanism uses cutting edge technology to min the size but ensure the high performance. They are also equipped with famous brand servo motor,which is fast speed and wide lane.The lane width of a single can be set to 600-1000mm. The lane width of a pair can be set to 600-2000mm, which can be used for wheelchair, luggage or bicycle access.

MT310-S can be set to allow access in a bi-direction or single-directional based on client's requirement.

Cylinder pedestrian swing gates are space-efficient and suitable for locations with limited space as they don't require much room for installation. These turnstiles are deployed in a wide range of environments, from public transit stations and airports to corporate offices, stadiums, and high-security facilities. They help regulate pedestrian flow and enhance security.



40-50

PASSING SPEED



PASSAGE FOR DISABLE



BI-DIRECTION



110V-220V
POWER SUPPLY



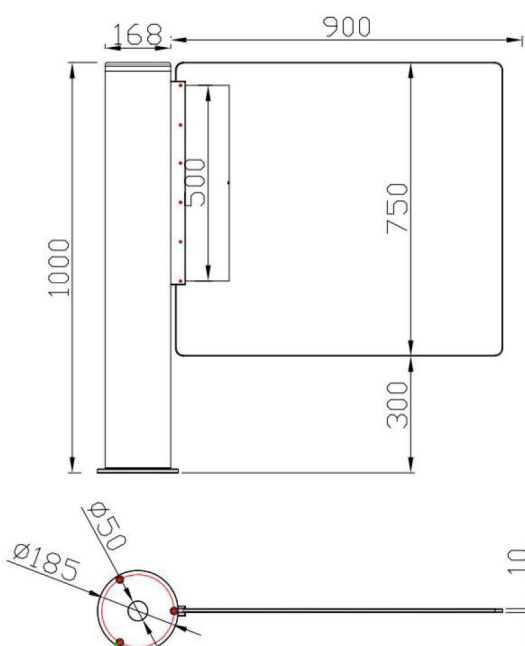
ANTI-TAILGATING



IP₄₁
PROTECTIVE LEVEL

Technical Specifications

Dimension	φ168*1000mm (0.55*3.28*ft) (standard)
Material	SUS 304
Swing arm Material	Acrylic/Stainless steel
Passage Width (Single pcs)	600mm (1.97ft) -1000mm(3.28ft)
Passage Width of stainless steel arm (A pair)	600mm (1.97ft) -2000mm (6.56ft)
Passage Width of acrylic arm (A pair)	600mm (1.97ft) -1800mm (5.91ft)
Passage direction	Unidirectional/Bi-directional
Mechanism	Servo Motor 200W
Pass rate	40-50 persons/minute
Operating time	0.2 seconds
Power Supply	100V-240V 50/60Hz
Radar for automatic open	Unidirectional/Bi-directional
Open Signal	Passive Relay (Dry Contact)
Communication	RS485
MCBF	3,000,000 Cycles
Working Temperature	-35°C ~ 60°C
Working Environment	Indoor
Relative Humidity	95% Maximum



If you need a dimension drawing according to the site, please contact us.

Feature

- EMERGENCY EXIT**
 The function allows free passage in the event of an emergency or power outage, automatic reset when power is restored.
- WORKING DIRECTION**
 Single directional or Bi-directional is optional.
- WORKING MODE**
 Single pcs or a pair.
- AUTOMATIC RESET**
 The swing arms will lock automatically within 5s (adjustable) if a person delay to access.
- SELF-CHECK**
 With zero self-check function, convenient for user maintenance and use.
- FAST UNLOCK**
 When there is a valid signal ,the gate will unlock within 0.2s (adjustable).
- ANTI-PASS BACK**
 The gate will alarm if someone wants to entry in the reverse direction.
- ANTI-INTRUSION**
 The gate is locked automatically until a invalid open signal is sent.
- ARM LED LIGHT**
 LED on arms are optional function.
- LANE STATUS**
 LED if the access is granted, the LED will be in green.In standby, the LED is blue. If denied access, the LED flash red.
- HIGH PERFORMRANCE**
 The whole system runs smoothly with low noise.

Customization

- Dimension: Can be made according to the client's site.
- Optional use as a single (1pcs) or pair (2pcs).
- Material: 304 stainless steel to 316 stainless steel, or iron with powder coated (color can be customized).
- Swing arm material available in stainless steel or acrylic.
- Mounting base (for above floor wiring) and removable base (for temporary events) can be added.
- Cutouts can be customized to fit any reader. The cutouts can also be canceled.
- LOGO can be customized.
- Customized 3D drawings are available based on the site photos.
- OEM& ODM service is available.

Access control system

Our gates come with relay signals and RS485/RS232 interfaces. You can use your own access control system, or we can provide a complete access control system to you.



Remote control



RFID card



QR code/ barcode



Counter



Face recognition



Fingerprint recognition



Coin/Card collection



Button

We also offer customization services.



Other frame colors available, RAL or RGB required.



Black



Gray



Green

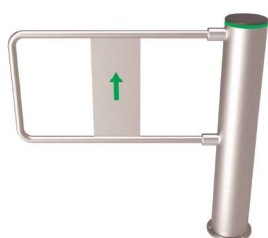


Blue



Red

Cutouts can be customized to fit any reader. LOGO can be customized.



Various swing arms available



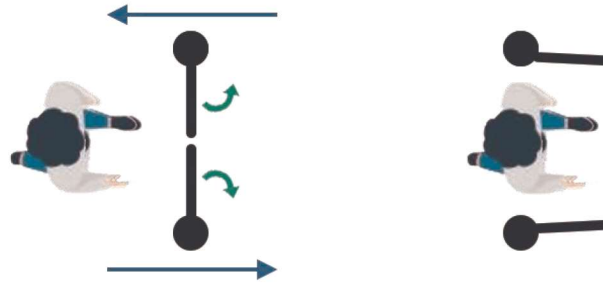
With mounting base

MAIRS

Emergency mode



Powered of equipment
with Super Capacitor Backup



In case of a power outage, swing arms are unlocked
and open automatically.

Lane combination



One lane (Single one)



One lane (A pair)



Two lanes (Supports various combinations)



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HERITAGE PERMIT REVIEW SUBCOMMITTEE
Meeting Date: July 15, 2025

City of Hamilton - Heritage Permit Application Note Sheet

Address: 122 McNab Street South, Hamilton (MacNab-Charles Heritage Conservation District, Part V)

Permit Number: HP2025-023

Owner: Gordon Robertson

Applicant/Agent: Same as above

Description of proposed alterations:

- Restoration of the brick parapet on the south-west corner of the rear wing of the building, including:
 - Repointing with a 1-1-6 course cream line mortar with pigment to match; and,
 - Installing true pressed clay bricks (lbstock) to replace missing or damaged bricks, to match the existing bricks.

Reasons for proposed alterations:

- Parapet is in poor condition, with brick that needs to be re-mortared or replaced.
- Work is required for the property to comply with an order issued under the City's Property Standards By-law.

Documentation submitted with application:

- Heritage Permit application form
- Property Standards Order

Draft Conditions for Consideration:

- ☐ That the proposed masonry repairs be conducted in accordance with the City's Masonry Restoration Guidelines and that the mortar repointing specifications be submitted, to the satisfaction and approval of the Director of Planning and Chief Planner, prior to commencement of any alterations;
- ☐ That any minor changes to the plans and elevations following approval shall be submitted, to the satisfaction and approval of the Director of Planning and Chief Planner;

HERITAGE PERMIT REVIEW SUBCOMMITTEE

Meeting Date: July 15, 2025

Planner, prior to submission as part of any application for a Building Permit and / or the commencement of any alterations; and

- ☐ That implementation / installation of the alteration(s), in accordance with this approval, shall be completed no later than December 31, 2025. If the alteration(s) are not completed by December 31, 2025, then this approval expires as of that date and no alterations shall be undertaken without a new approval issued by the City of Hamilton.

Relevant MacNab-Charles HCD Policies (By-law No. 90-144)

2.2.2 Architectural Guidelines for Restoration

Policies for the restoration of buildings, located within the Heritage Conservation District, apply to buildings in Category A and B.

The following policies have been selected for their relevance to the restoration of the MacNab-Charles Block (based on the Secretary of the Interior's "Standards for Rehabilitation").

I. Masonry: brick, stone, stucco and mortar

Recommended

- Retaining original masonry and mortar, whenever possible, without the application of any surface treatment.
- Repointing only those mortar joints where there is evidence of moisture problems, or when sufficient mortar is missing to allow water to stand in the mortar joint.
- Duplicating old mortar in strength, composition, colour, and texture.
- Duplicating old mortar in joint size, method of application, and joint profile.
- Cleaning masonry only when necessary, to halt deterioration or to remove graffiti and stains, and always with the gentlest method possible, such as low pressure water, and soft, natural, bristle brushes.
- Repairing or replacing, where necessary, deteriorated material with new material that duplicates the old as closely as possible.
- Replacing missing significant architectural features, such as cornices, brackets, - etc.
- Retaining the original or early colour and texture of masonry surfaces. Brick or stone surfaces may have been painted or whitewashed for practical and aesthetic reasons.
- Repairing stucco with a stucco mixture that duplicated the original as closely as possible, in appearance and texture.

Not Recommended

- Applying waterproof or water repellant coatings, or surface consolidation treatments, unless required to solve a specific technical problem that has been studied and identified. Coatings are frequently unnecessary, expensive and can accelerate deterioration of the masonry.
- Repointing mortar joints that do not need repointing. Using electric saws and hammers to remove mortar can seriously damage the adjacent brick.

HERITAGE PERMIT REVIEW SUBCOMMITTEE

Meeting Date: July 15, 2025

- Repointing with mortar of high Portland cement content can often create a bond that is stronger than the building material. This can cause deterioration as a result of the differing co-efficient of expansion, and the differing porosity of the material and the mortar.
- Repointing with mortar joints of a differing size or joint profile, texture or colour.
- Sandblasting, including dry and wet grit and other abrasives, brick or stone surfaces; this method of cleaning erodes the surface of the material and accelerates deterioration. Using chemical cleaning products that would have an adverse chemical reaction with the masonry materials, i.e., acid on limestone or marble.
- Applying new material which is inappropriate, or was unavailable when the building was constructed, such as artificial brick siding; artificial cast stone, or brick veneer.
- Removing architectural features such as cornices; brackets; railings; shutters; window architraves; and doorway pediments.
- Removing paint from masonry surfaces indiscriminately. This may subject the building to damage and change its appearance.

Description of Heritage Attributes (Heritage Conservation Easement Agreement)

The Heritage Attributes at 122 MacNab Street South, City of Hamilton, protected by this heritage conservation easement agreement include, but are not restricted to, the following:

Key elements that express the design/physical value of 122 MacNab Street South, including:

- Elements related to the construction of the two-storey stone terrace as a representative example of the vernacular-Classical Revival architectural style, including:
 - The east and north elevations of the house, including the construction-coursed ashlar limestone in the front (east) facade, and the rubblestone in the side (north) facade;
 - The roofline, including:
 - The projecting eaves and parapets;
 - The window and door openings, including any remaining historic wood windows on the east and north elevations, and the stone voussoirs and sills;
 - The front door and transom; and,
 - The stone foundation.

HERITAGE PERMIT REVIEW SUBCOMMITTEE
Meeting Date: July 15, 2025

Photographs

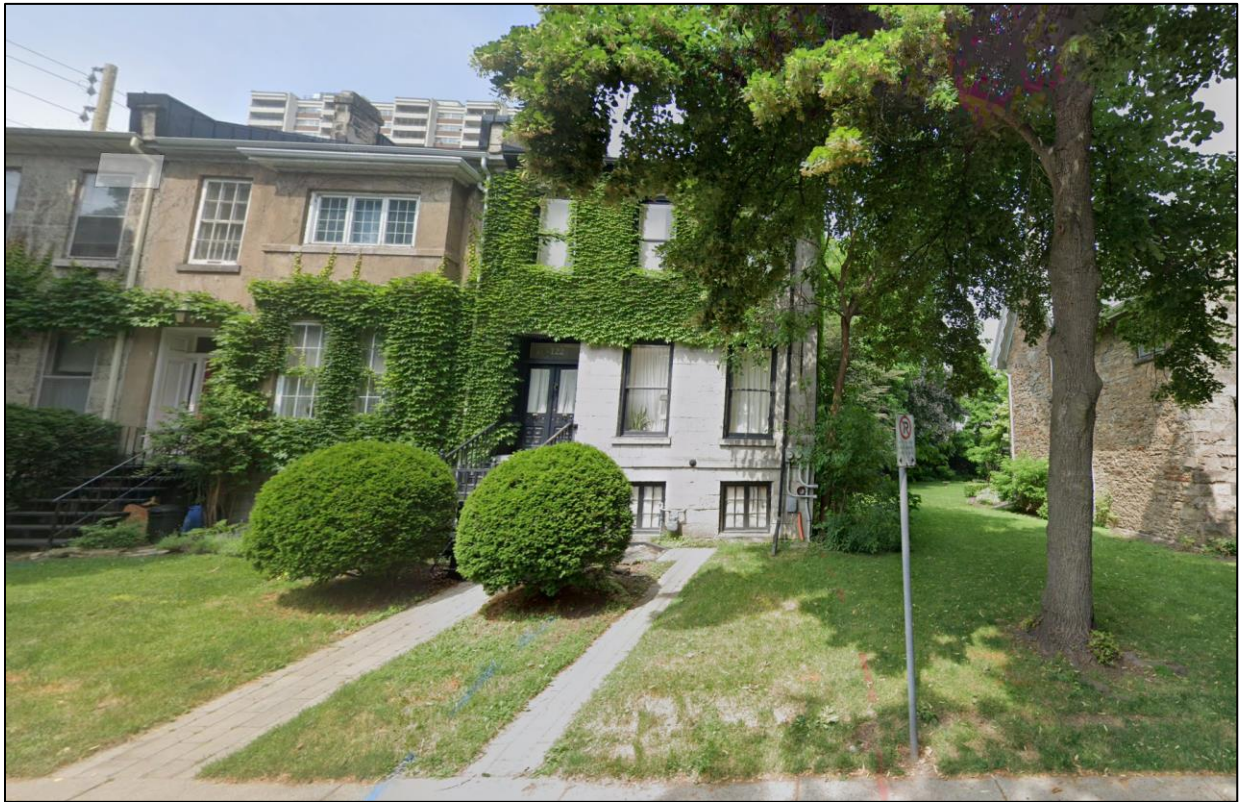


Figure 1: Front view of 122 McNab Street South from Google Map Street View (June 2024).

HERITAGE PERMIT REVIEW SUBCOMMITTEE
Meeting Date: July 15, 2025

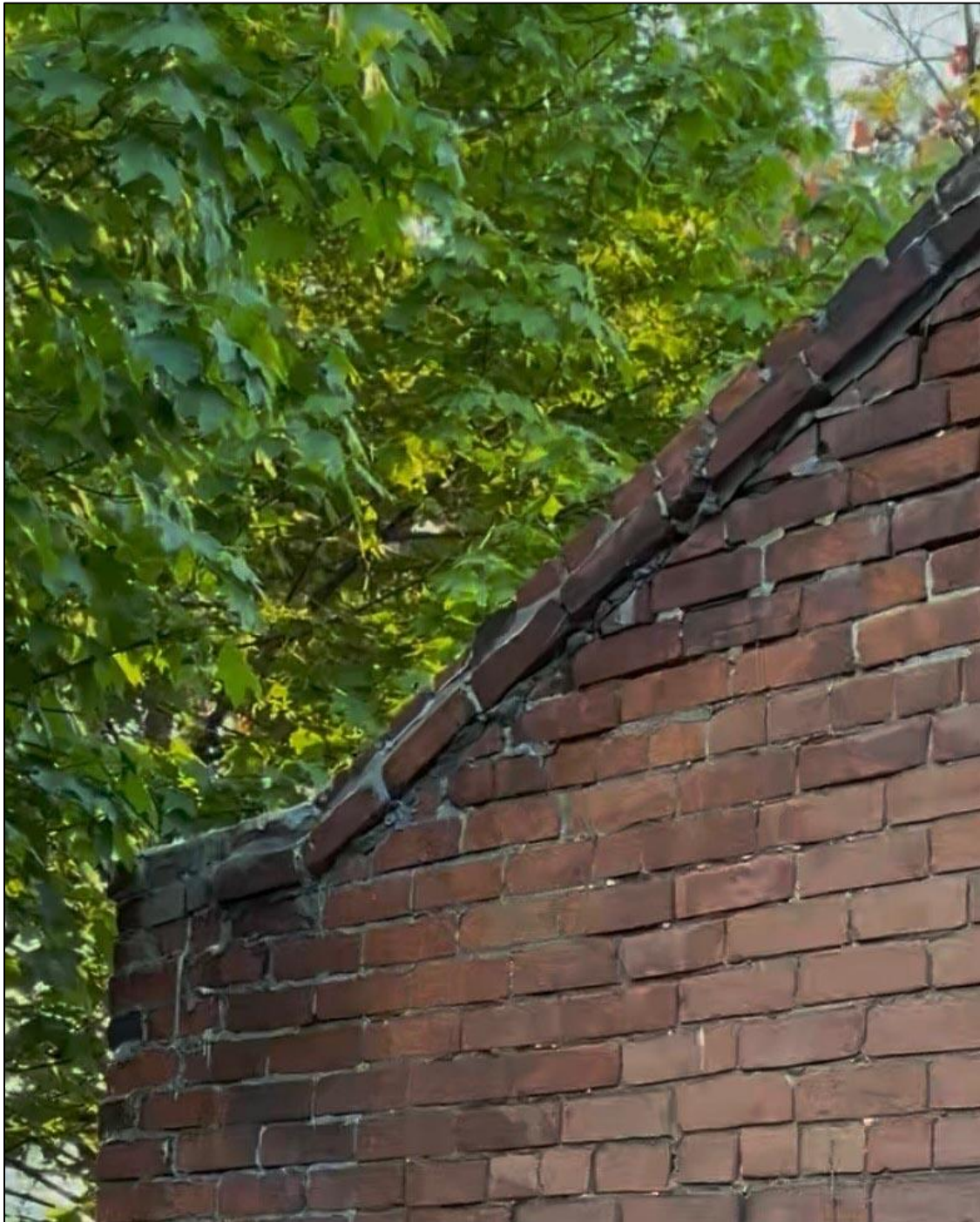


Figure 2: Photo of rear southwest parapet requiring repair

HERITAGE PERMIT REVIEW SUBCOMMITTEE
Meeting Date: July 15, 2025

City of Hamilton - Heritage Permit Application Note Sheet

Address: 47 James Street South, Hamilton (Landed Banking and Loan Company Building, Part IV)

Permit Number: HP2025-025

Owner: Michelle Blanchard, Wilson Blanchard

Applicant/Agent: Sarah Francisca, John G. Cooke & Associates Ltd.

Description of proposed alterations:

- Structural repairs of the existing brick parapet walls supporting the terra cotta parapet and balustrade at the roof level, including:
 - Repointing of brick at interior face of parapet, below architectural terra cotta;
 - Rebuilding of brick and replacement with compatible new brick, as required; and,
 - Removal and reinstatement of two architectural terra cotta units at interior face of parapet.
-

Reasons for proposed alterations:

- Existing brick parapet walls are deteriorating and in poor condition.
 - Removal and replacement of the two architectural terra cotta units is required for investigation of underlying conditions.
-

Documentation submitted with application:

- Heritage Permit application form
- Drawings and Specifications from John G. Cooke & Associates Ltd., Consulting Engineers (Attached as **Appendix "A"**)

HERITAGE PERMIT REVIEW SUBCOMMITTEE
Meeting Date: July 15, 2025

Draft Conditions for Consideration:

- ☐ That the proposed masonry repairs be conducted in accordance with the City's Masonry Restoration Guidelines, to the satisfaction and approval of the Director of Planning and Chief Planner, prior to commencement of any alterations;
- ☐ That any minor changes to the plans and elevations following approval shall be submitted, to the satisfaction and approval of the Director of Planning and Chief Planner, prior to submission as part of any application for a Building Permit and / or the commencement of any alterations; and
- ☐ That implementation / installation of the alteration(s), in accordance with this approval, shall be completed no later than July 31, 2027. If the alteration(s) are not completed by July 31, 2027, then this approval expires as of that date and no alterations shall be undertaken without a new approval issued by the City of Hamilton.

HERITAGE PERMIT REVIEW SUBCOMMITTEE
Meeting Date: July 15, 2025

Excerpt from Reasons for Designation (By-law No. 86-271)

Of importance to the preservation of 47 James Street South is the retention of the original features on the west and south facades, including but not limited to the Indiana limestone columns and pilasters, the wall panels, fenestration, doorways, entablature and balustrade.

HERITAGE PERMIT REVIEW SUBCOMMITTEE
Meeting Date: July 15, 2025

Photographs



Figure 1: Front view of Landed Banking and Loan Company Building off James Street South from Google Maps (June 2024).

HERITAGE PERMIT REVIEW SUBCOMMITTEE
Meeting Date: July 15, 2025

Drawings

Please see drawings attached as **Appendix “A”** to this Note Sheet.

A. GENERAL NOTES

1. GENERAL INFORMATION

- 1.1. THE INFORMATION PRESENTED ON THESE DRAWINGS HAVE BEEN DESIGNED IN ACCORDANCE WITH THE ONTARIO BUILDING CODE 2024. CONSTRUCTION IS TO BE PERFORMED IN ACCORDANCE WITH THIS AND ALL OTHER APPLICABLE CODES AND STANDARDS NOTED HERIN. REFER TO SPECIFICATIONS FOR ALL OTHER APPLICABLE STANDARDS.
- 1.2. THE MATERIALS LISTED HEREIN APPLY TO THIS PROJECT, UNLESS NOTED OTHERWISE OR ON SPECIFICATIONS.
- 1.3. THESE DRAWINGS ARE FOR THE USE OF THE CLIENT ONLY. THE CONSULTANT DOES NOT GUARANTEE THAT THE DRAWINGS ARE ERROR-FREE, COMPLETE, OR FIT FOR ANY OTHER PURPOSE. THE INFORMATION SHOWN ON THE DRAWINGS STRICTLY APPLY TO THIS PROJECT ONLY. DECISIONS OR ACTIONS MADE BY THIRD PARTIES BASED ON THESE DRAWINGS IS THE SOLE RESPONSIBILITY OF SUCH PARTIES.
- 1.4. THESE DRAWINGS SHOW THE COMPLETED STRUCTURE. THE CONTRACTOR SHALL HAVE THE SOLE RESPONSIBILITY FOR THE DESIGN, ERECTION, OPERATION, MAINTENANCE, AND REMOVAL OF TEMPORARY SUPPORTS, STRUCTURES, AND FACILITIES, AND THE DESIGN AND EXECUTION OF CONSTRUCTION METHODS REQUIRED IN THEIR USE.
- 1.5. THE USE OF THESE DRAWINGS SHALL BE STRICTLY LIMITED TO THE INSTRUCTIONS IN THE REVISION BLOCK. BUILDING FROM THESE DRAWINGS SHALL PROCEED ONLY WHEN "ISSUED FOR CONSTRUCTION".
- 1.6. CONSTRUCTION TO BE IN CONFORMANCE WITH DETAILS IDENTIFIED AS BEING "TYPICAL", UNLESS NOTED OTHERWISE.

2. SITE CONDITIONS

- 2.1. THE SCOPE OF THE WORK DEPENDS ON THE SITE CONDITIONS. NOTIFY THE CONSULTANT WHERE ON-SITE CONDITIONS MAY REQUIRE MODIFICATIONS TO THE CONTRACT DOCUMENTS.
- 2.2. PROTECT ALL ADJACENT BUILDING MATERIALS INCLUDING WINDOWS, DOORS, FIXTURES, SIGNAGE, PLAQUES, LANDSCAPING AND SODDING IN AND ADJACENT TO THE WORK FOR THE DURATION OF THE WORK. MAKE GOOD AND RESTORE ALL DAMAGED AREAS TO MATCH EXISTING.
- 2.3. NOTIFY CONSULTANT AND OWNER OF ANY EXISTING CONDITIONS OR MATERIALS THAT MAY BECOME DAMAGED OR DISTURBED AS A RESULT OF THE WORK.
- 2.4. ALL FINAL COLOURS TO BE CONFIRMED BY OWNER PRIOR TO ORDERING MATERIAL.

3. DIMENSIONS

- 3.1. DO NOT SCALE DRAWINGS. CHECK ALL DIMENSIONS ON THE DRAWINGS WITH THE SITE CONDITIONS. REPORT ANY INCONSISTENCIES BEFORE PROCEEDING WITH THE WORK.
- 3.2. ALL DIMENSIONS ARE IN MILLIMETERS, UNLESS OTHERWISE NOTED.
- 3.3. BEFORE SUBMITTING BID FOR THE WORK, THE CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS, ELEVATIONS AND LOCATION OF EXISTING STRUCTURES.

4. FIELD REVIEW

- 4.1. THE CONSULTANT WILL CONDUCT PERIODIC INSPECTIONS AND PROVIDE CONSTRUCTION REVIEW REPORTS (CRR), OUTLINING PROGRESS OF WORK, AND STATING WHETHER OR NOT WORK CONFORMS TO THE CONTRACT DOCUMENTS.
- 4.2. CRR'S, WILL OUTLINE ANY DEFICIENCIES FOUND.
- 4.3. MATERIALS AND WORKMANSHIP NOT CONFORMING TO THE SPECIFICATIONS SHALL BE REJECTED.
- 4.4. NOTIFY CONSULTANT FOR REVIEW OF ALL RAKED OUT OR BACKPOINTED MORTAR JOINTS PRIOR TO PLACEMENT OF NEW MORTAR. CONSULTANT WILL REVIEW AND APPROVE FOR PLACEMENT OF MORTAR. PLACEMENT OF MORTAR PRIOR TO RECEIPT OF CONSULTANT ACCEPTANCE WILL BE CAUSE FOR REJECTION OF THE AFFECTED PART OF THE WORK.

5. MASONRY

- 5.1. DO NOT USE MASONRY CEMENT. USE PORTLAND CEMENT AND LIME ONLY.
- 5.2. INCLUDE FOR THE REMOVAL OF CAULKING, METAL NAILS OR PINS THAT MAY BE PRESENT IN THE JOINTS TO BE RAKED OUT.
- 5.3. COMPLETE A MIN. 300mm x 300mm MOCK-UP EACH OF:
- 5.3.1. RAKING OUT AND JOINT PREPARATION
- 5.3.2. BACKPOINTING
- 5.3.3. FINISHPOINTING, INCLUDING MORTAR COLOUR
- 5.3.4. BRICK REPLACEMENT / REBUILD
- 5.4. MORTAR COLOUR TO BE APPROVED BY CONSULTANT AND OWNER PRIOR TO PLACEMENT BEYOND MOCK-UP AREA.
- 5.5. ALL MORTAR JOINTS TO BE INSPECTED AND APPROVED BY CONSULTANT PRIOR TO POINTING. ANY MORTAR PLACED INTO JOINTS PRIOR TO RECEIPT OF CONSULTANT APPROVAL IS TO BE REMOVED AND REINSTALLED AT THE CONTRACTOR'S OWN EXPENSE.
- 5.6. REFER TO TYPICAL DETAILS FOR RAKING OUT AND REPOINTING OF MORTAR JOINTS.

6. ANCHORAGE

- 6.1. INSTALLATION OF ALL POST-INSTALLED ANCHORS TO BE IN CONFORMANCE WITH MANUFACTURER'S DIRECTIONS, INCLUDING BUT NOT LIMITED TO: DRILL BIT SIZE AND TYPE, HOLE CLEANING, TEMPERATURE, CURING, AND TORQUE.

B. MATERIAL AND DESIGN DATA

UNLESS NOTED OTHERWISE ON DRAWINGS OR ON SPECIFICATIONS, THE MATERIALS LISTED BELOW APPLY TO THIS PROJECT AND THE DESIGN AND CONSTRUCTION SHALL COMPLY WITH THE FOLLOWING CODES AND STANDARDS. ALL STANDARDS TO LATEST EDITION, UNLESS NOTED.

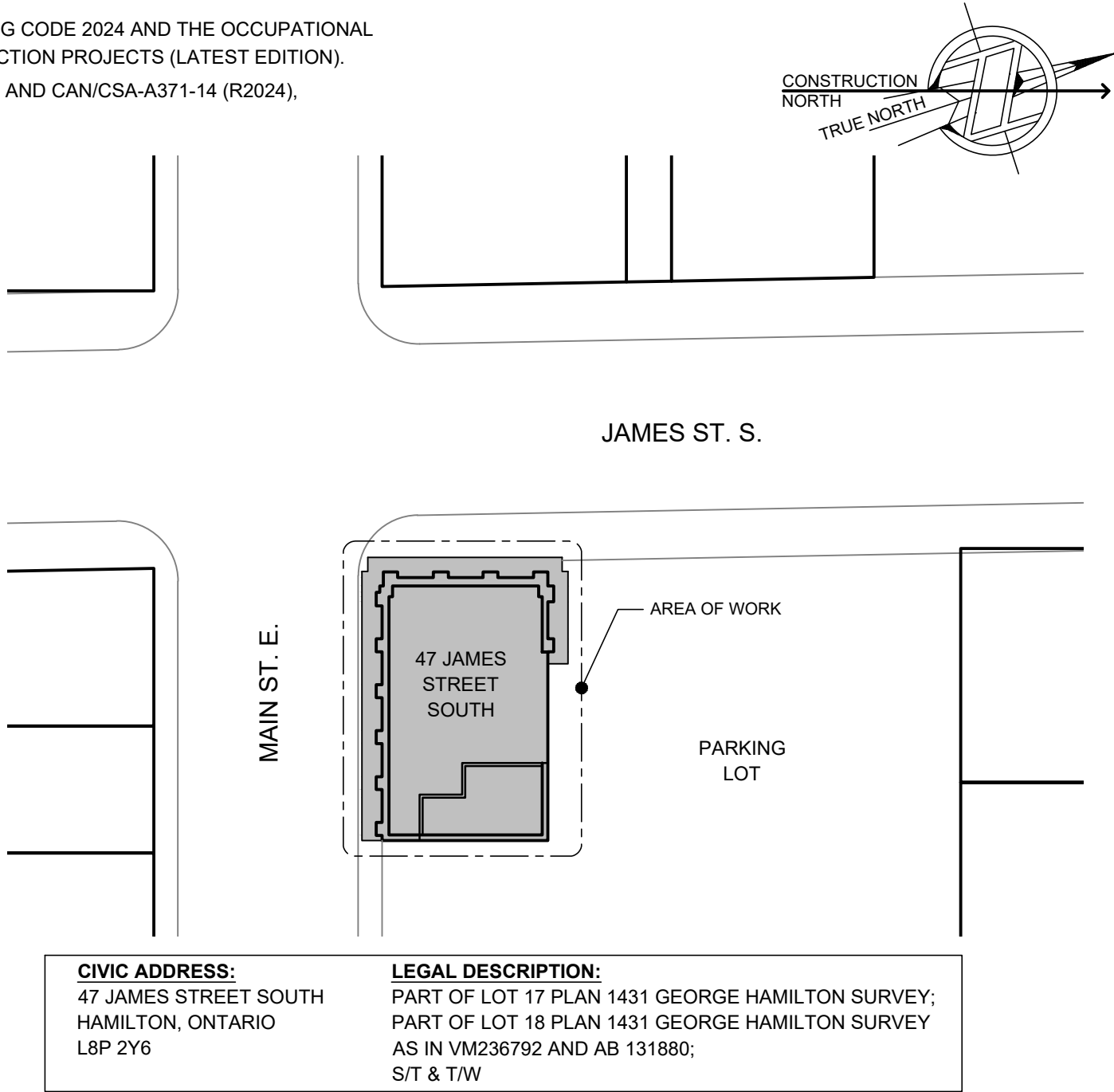
REFER TO SPECIFICATIONS FOR ALL OTHER APPLICABLE STANDARDS.

1. MASONRY DESIGN AND CONSTRUCTION: CSA S304-14 (R2019) & CAN/CSA-A371-14 (R2024)

MASONRY ELEMENT TYPE	DESIGN DATA	STANDARD
A REPLACEMENT BRICK:	'SOFT' BRICK, COLOUR TO MATCH EXISTING COMPRESSIVE STRENGTH: 20 TO 35MPa 24-HOUR COLD WATER ABSORPTION: 12-18% ACCEPTABLE PRODUCT: IBSTOCK BRICK, WIENERBERGER BRICK, OR WATSONTOWN BRICK. PROVIDE SAMPLE TO CONFIRM COLOUR PRIOR TO ORDERING. -ALTERNATES ARE ACCEPTABLE TO THE APPROVAL OF CONSULTANT.	CSA-A82:14 (R2023)
B MORTAR:	TYPE O ACCEPTABLE PRODUCT: KING MASONCARE 300 OR KING MASONMIX ALTERNATES ARE ACCEPTABLE TO THE APPROVAL OF CONSULTANT AND OWNER.	CAN/CSA-A179-14 (R2024)
C CONNECTORS FOR MASONRY:	STAINLESS STEEL (TYPE 304 OR 316)	CSA A370:14 (R2023)

C. CODES AND STANDARDS

1. CONFORM TO THE REQUIREMENTS OF THE ONTARIO BUILDING CODE 2024 AND THE OCCUPATIONAL HEALTH AND SAFETY ACT AND REGULATIONS FOR CONSTRUCTION PROJECTS (LATEST EDITION).
2. MASONRY DESIGN AND CONSTRUCTION: CSA S304-14 (R2019) AND CAN/CSA-A371-14 (R2024), RESPECTIVELY.



DRAWING LIST

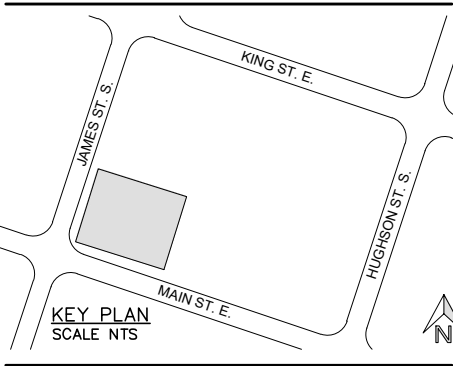
- S0.01 GENERAL NOTES AND SITE PLAN
- S1.01 EXISTING ROOF PLAN
- S2.01 PARAPET WALL ELEVATIONS
- S3.01 TYPICAL DETAILS

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SEAL:



issued or revised

no.	description	date
02	ISSUED FOR BUILDING PERMIT	2025-06-23
01	ISSUED FOR PRICING	2025-06-23

PROJECT:

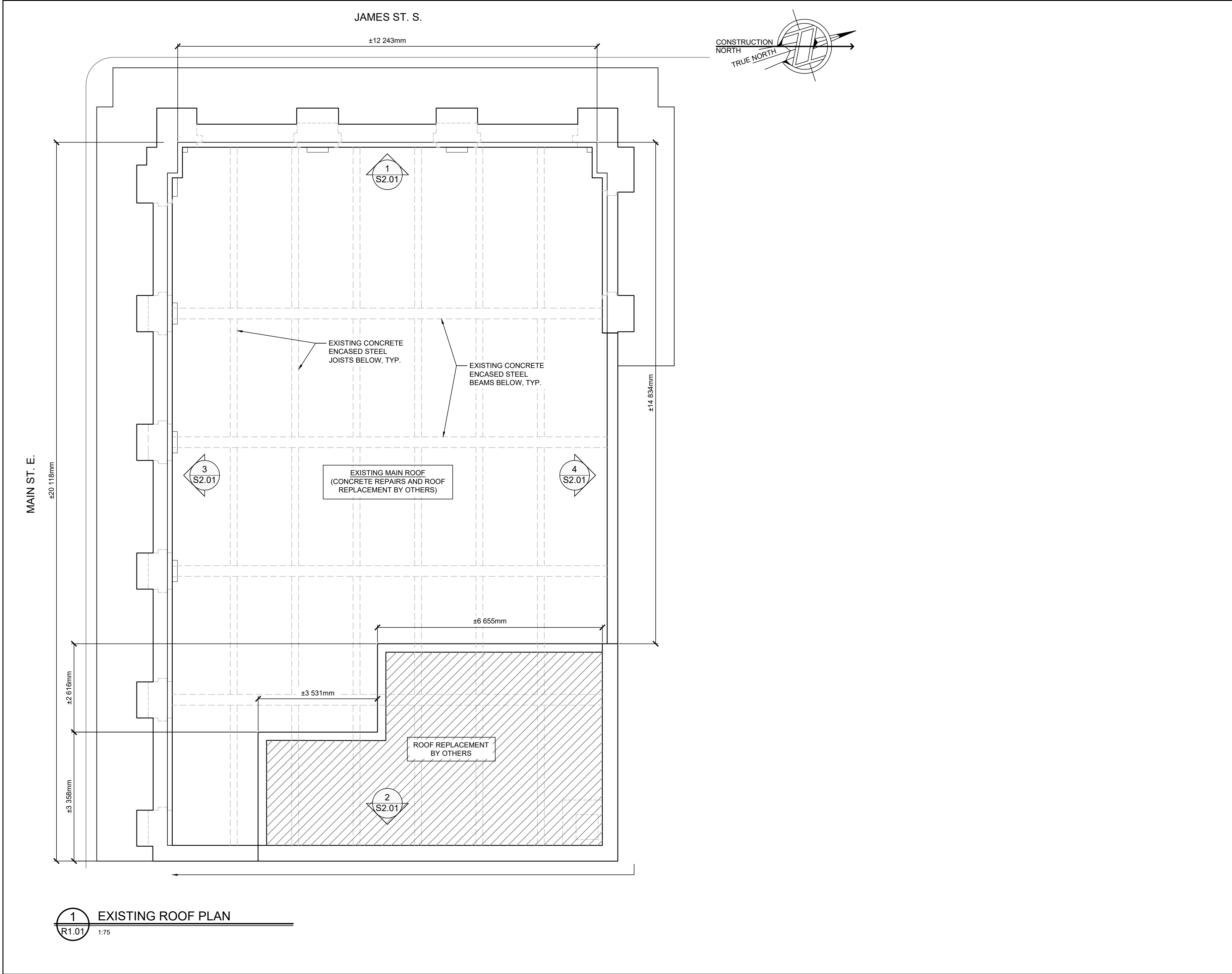
BRICK
PARAPET REPAIRS
47 JAMES STREET S,
HAMILTON, ONTARIO

DRAWING:

GENERAL NOTES
AND SITE PLAN

DESIGNED BY:	SF / JD
DRAWN BY:	CP
SCALE:	DATE:
AS SHOWN	2025-05-08
PROJECT No.	25115
DRAWING No.	

R0.01



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L8N 2A1
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KEY PLAN
SCALE NTS

SEAL:

LICENSED PROFESSIONAL ENGINEER
J. K. DEE
100162005
JUN-23-2025
PROVINCE OF ONTARIO

issued or revised

02	ISSUED FOR BUILDING PERMIT	2025-06-23
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no.	description	date

PROJECT:

BRICK
PARAPET REPAIRS
47 JAMES STREET S,
HAMILTON, ONTARIO

DRAWING:

EXISTING ROOF PLAN

DESIGNED BY: _____ SF / JD

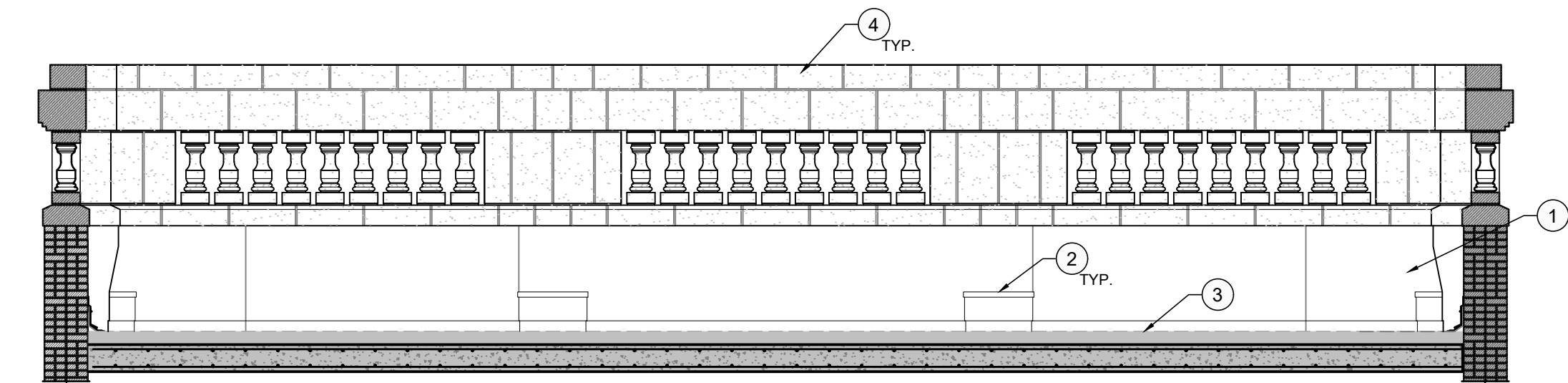
DRAWN BY: _____ CP

SCALE: _____ DATE: _____
AS SHOWN 2025-05-08

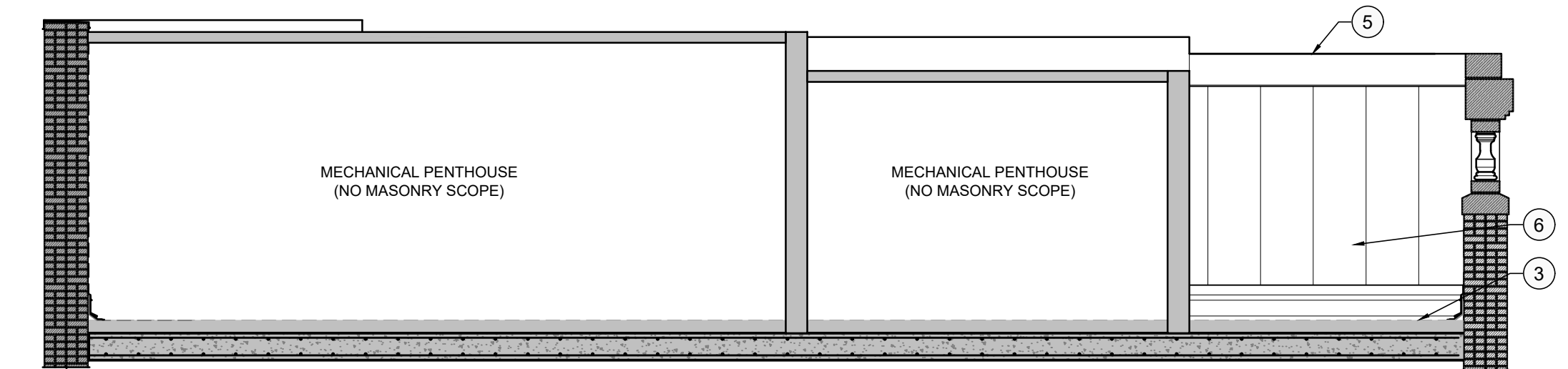
PROJECT No. 25115

DRAWING No. _____

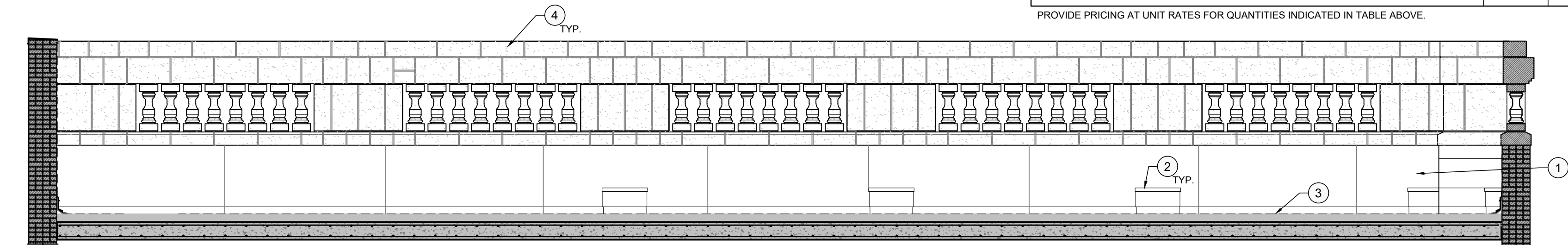
R1.01



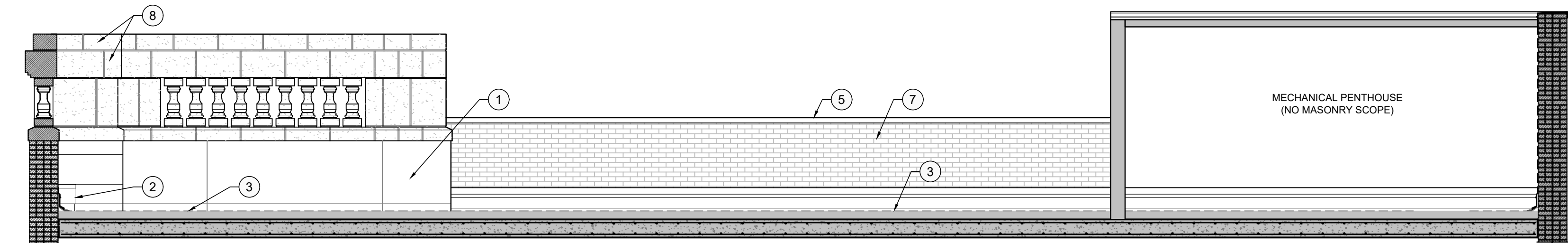
1 INTERIOR ELEVATION OF WEST PARAPET
R2.01 1:50



2 INTERIOR ELEVATION OF EAST PARAPET
R2.01 1:50



3 INTERIOR ELEVATIONS OF SOUTH PARAPET
R2.01 1:50



4 INTERIOR ELEVATIONS OF NORTH PARAPET
R2.01 1:50

DRAWING NOTES:

- FOR FULL EXTENT OF INTERIOR FACE OF PARAPET WALL BELOW TERRA COTTA UNITS:
 - REMOVE EXISTING METAL FLASHING.
 - REMOVE EXISTING ROOFING MEMBRANE FLASHING.
 - REMOVE EXISTING PARGING TO EXPOSE BRICK MASONRY.
 - REPOINT 100% OF EXPOSED MORTAR JOINTS IN BRICK MASONRY, FROM T/O SLAB TO U/S OF TERRA COTTA.
 - REBUILD BRICK MASONRY AT UNIT RATES, AT UNIT RATES AND IN ACCORDANCE WITH QUANTITY TABLE BELOW, AS DIRECTED ON SITE BY CONSULTANT.
 - REPLACE FAILED EXISTING BRICK WITH NEW BRICK, AT UNIT RATES AND IN ACCORDANCE WITH QUANTITY TABLE BELOW, AS DIRECTED ON SITE BY CONSULTANT.
 - COORDINATE/SEQUENCE WORK WITH ROOFING WORK (BY OTHERS).
- EX. PIER EXTENSIONS CLAD WITH METAL CAP AND COUNTER FLASHING. REMOVE FLASHING AND ROOFING, AND REPAIR UNDERLYING BRICK MASONRY (ASSUMED) AS FOR ITEM 1.
- EX. ROOFING AND FLASHING TO BE REPLACED WITH NEW ROOF ASSEMBLY (BY OTHERS).
- EX. TERRA COTTA PARAPET UNITS (AS SHADED) TO REMAIN.
- EX. METAL FLASHING TO REMAIN.
- REMOVE BULGING SECTION OF EX. METAL SIDING. ALLOW CONSULTANT TO INSPECT EXPOSED UNDERLYING BRICK MASONRY. REINSTATE SIDING INTO S-LOCK JOINTS ALONG ADJACENT PANELS. FASTEN USING STAINLESS STEEL FASTENERS WITH NEOPRENE WASHERS, IF REQ.
- EXISTING EXPOSED BRICK IN FAIR CONDITION AT INSIDE FACE OF PARAPET WALL, TO REMAIN. CONSULTANT TO REVIEW CONDITION OF BRICK MASONRY EXPOSED UPON REMOVAL OF EXISTING FLASHING AND ROOFING MEMBRANE DURING ROOFING WORK (BY OTHERS).
- PROVIDE OPTIONAL PRICE TO COMPLETE INVESTIGATORY REMOVALS, AS FOLLOWS:
 - CAREFULLY REMOVE AND SALVAGE EXISTING TERRA COTTA UNITS INDICATED.
 - ALLOW FOR CONSULTANT TO REVIEW EXPOSED CONDITIONS.
 - REINSTATE SALVAGED TERRA COTTA UNIT, USING SAME MORTAR AS INDICATED FOR BRICK, ELSEWHERE.
 - FOR PRICING ASSUME THAT REINSTATING UNITS WILL REQUIRE PLACEMENT OF 4 NEW BENT 304 STAINLESS STEEL (SS) ANCHORS (3 mm TK. PLATE, 75 WD., UP TO 300 LG.) C/W 10 SS THREADED ROD DOWELS AND SS ANCHORAGE TO BACKUP MASONRY. CONSULTANT WILL PROVIDE DIRECTION UPON REMOVALS.

MASONRY REPAIR QUANTITIES:

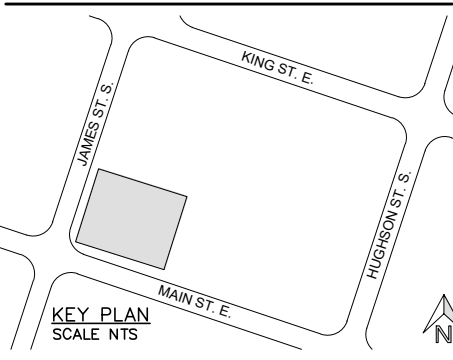
REPAIR TYPE	UNIT	QUANTITY
DISMANTLE AND REBUILD BRICK MASONRY: REMOVE, SALVAGE AND RESET EXISTING BRICK AS DIRECTED BY CONSULTANT AND IN ACCORDANCE WITH TYPICAL DETAILS. KEY REBUILD AREA TO BACKUP WITH NEW HEADER BRICKS, TO MATCH EXISTING BOND PATTERN. ASSUME HELICAL ANCHORS TO BE INSTALLED AT 400 O.C. EACH WAY. QUANTITIES SHALL BE RECORDED ON A PER WYTHE BASIS WHERE REBUILDING OF BACKUP WYTHES IS REQUIRED. (E.G. IF 1.0m² OF OUTER AND 0.5m² OF INNER WYTHE REBUILDING IS REQUIRED. THIS WOULD BE RECORDED AS 1.5m²)	m²	25
REPLACE WITH NEW BRICK: SUPPLY NEW BRICK TO REPLACE BRICKS REMOVED DURING REBUILDING WHICH HAVE BEEN DEEMED UNSUITABLE FOR REUSE BY CONSULTANT. COST TO INCLUDE MATERIAL SUPPLY ONLY, CREDITING UNNECESSARY SALVAGING WORK. INSTALLATION COSTS ARE INCLUDED IN 'RB' TYPE REPAIR.	m²	20

PROVIDE PRICING AT UNIT RATES FOR QUANTITIES INDICATED IN TABLE ABOVE.

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no.	description	date
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01	ISSUED FOR PRICING	2025-06-23

PROJECT:

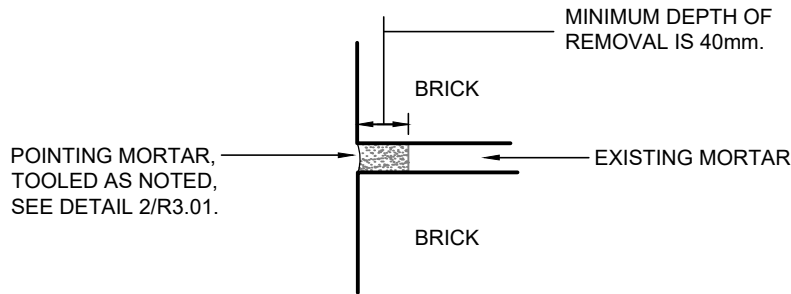
BRICK
PARAPET REPAIRS
47 JAMES STREET S.
HAMILTON, ONTARIO

DRAWING:

PARAPET WALL
ELEVATIONS

DESIGNED BY: SF / JD
DRAWN BY: CP
SCALE: AS SHOWN DATE: 2025-05-08
PROJECT No. 25115
DRAWING No.

R2.01



RAKING OUT PROCEDURE:

1. RAKE OUT EXISTING MORTAR SQUARE TO BRICK.
2. REMOVE ALL OVERPOINTING FROM BRICK FACE.
3. CLEAN OUT JOINT USING COMPRESSED AIR, OR WASH OUT JOINTS USING PRESSURIZED WATER, PRIOR TO REPOINTING.
4. REMOVE ALL RESIDUE FROM BRICK FACE TO ALLOW NEW MORTAR TO BOND TO BRICK.

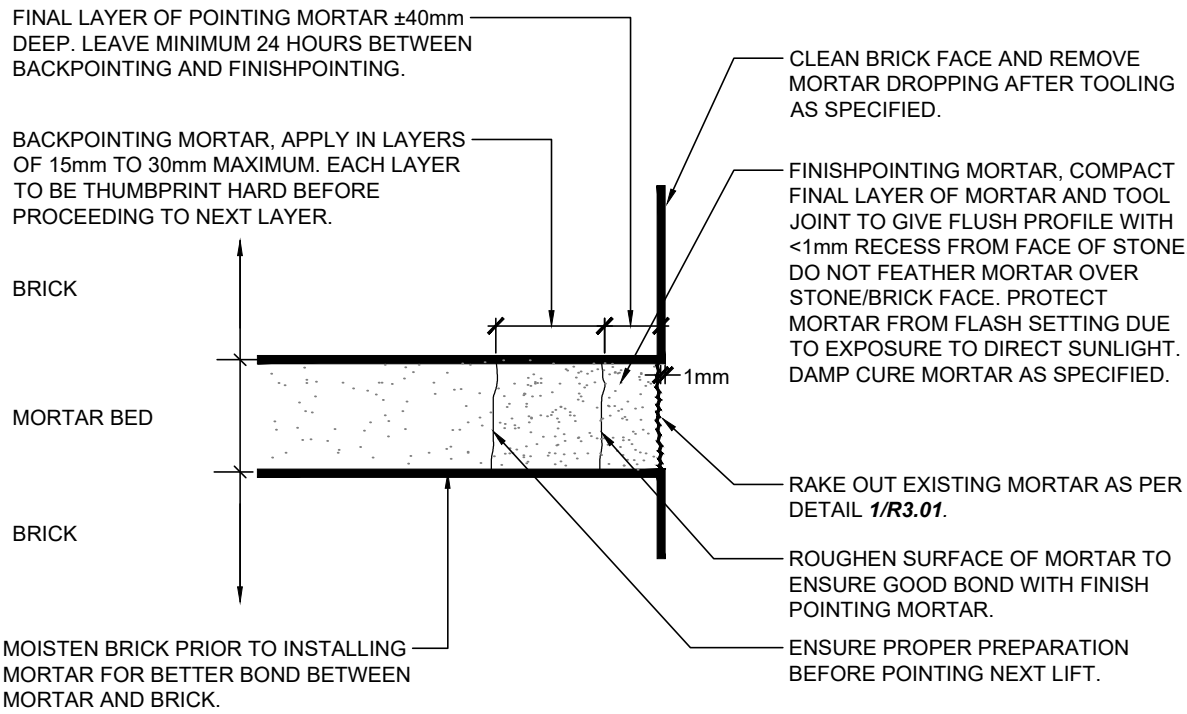
NOTES:

- DO NOT CHIP OR OTHERWISE DAMAGE EDGE OF BRICK DURING REMOVALS.
- GRINDERS OR SAW BLADES MUST NOT TOUCH BRICK FACE. CUT CENTRE OF JOINT CAREFULLY, WITHOUT MARKING BRICK. REMOVE REMAINDER OF MORTAR USING HAND TOOLS. MECHANICAL TOOLS ONLY TO BE USED WHEN APPROVED TO MAKE RELIEF CUTS IN THE CENTRE OF JOINTS.
- ALL CRACKED MORTAR, MORTAR DEBONDED FROM BRICK, OR DETERIORATED MORTAR, MUST BE REMOVED FROM JOINT PRIOR TO REPOINTING.
- INTENT IS TO REMOVE ALL PORTLAND CEMENT BASED MORTARS FROM JOINTS.
- REFER TO SCOPE OF WORK, DEFINED ELSEWHERE, FOR PROJECT REQUIREMENTS.
- REMOVE ALL CAULKING, WHERE PRESENT IN JOINTS.
- NOTIFY CONSULTANT WHERE BRICK BECOMES LOOSE.
- WHERE FULL DEPTH REMOVALS IN HORIZONTAL JOINTS ARE NECESSARY, EXERCISE CAUTION SO AS NOT TO DESTABILIZE THE WALL. IN THIS CASE, REMOVE MORTAR IN ONLY SMALL PORTIONS OF THE WALL AND REPOINT EXCEPT FOR FINAL LAYER BEFORE PROCEEDING WITH RAKING OUT.

FOR PRICING, ASSUME THE FOLLOWING:

1. AVERAGE DEPTH OF BRICK: 100mm.
2. CEMENTITIOUS PARGING MUST BE REMOVED FROM THE FACE OF THE WALL PRIOR TO REPOINTING. 50% OF THIS PARGING IS DELAMINATED FROM THE BRICK.
3. 60% OF REMOVALS FOR VERTICAL JOINTS ARE IN THE ORDER OF 30 TO 40mm DEEP AND THE REMAINDER ARE FULL DEPTH REMOVALS.
4. 40% OF REMOVALS FOR HORIZONTAL JOINTS ARE IN THE ORDER OF 30 TO 40mm DEEP AND THE REMAINDER ARE FULL DEPTH REMOVALS.

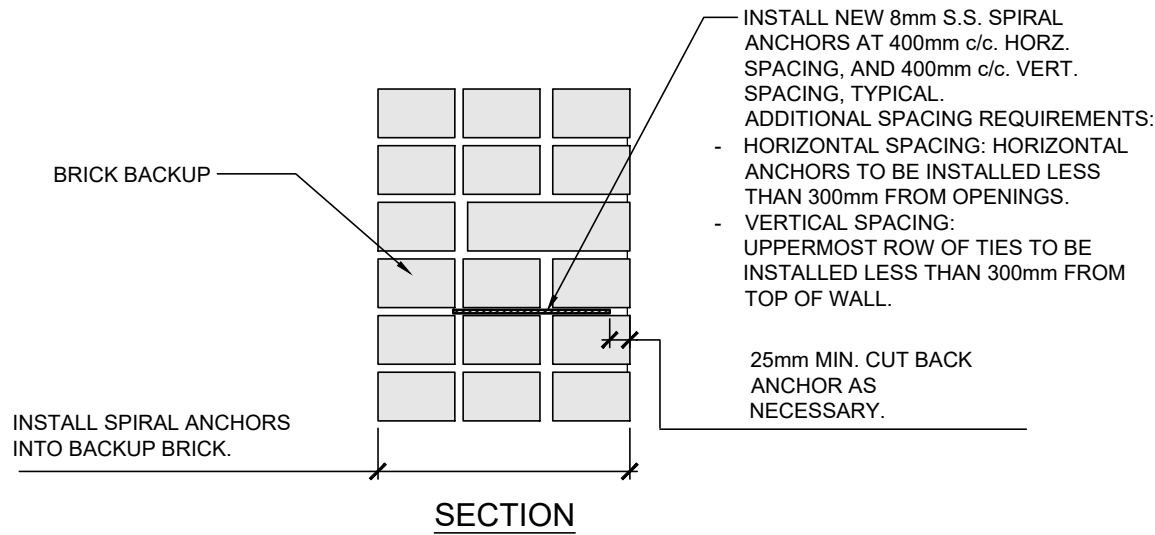
1 TYPICAL RAKING OUT DETAIL
R3.01 NTS



NOTES:

- BACKPOINTING: REQUEST INSPECTION TO REVIEW PRIOR TO BACKPOINTING. REQUEST INSPECTION FOR REVIEW OF COMPLETED BACKPOINTING BEFORE PROCEEDING TO MASONRY REPAIRS AND FINISHPOINTING.

2 TYPICAL REPOINTING DETAIL
R3.01 NTS



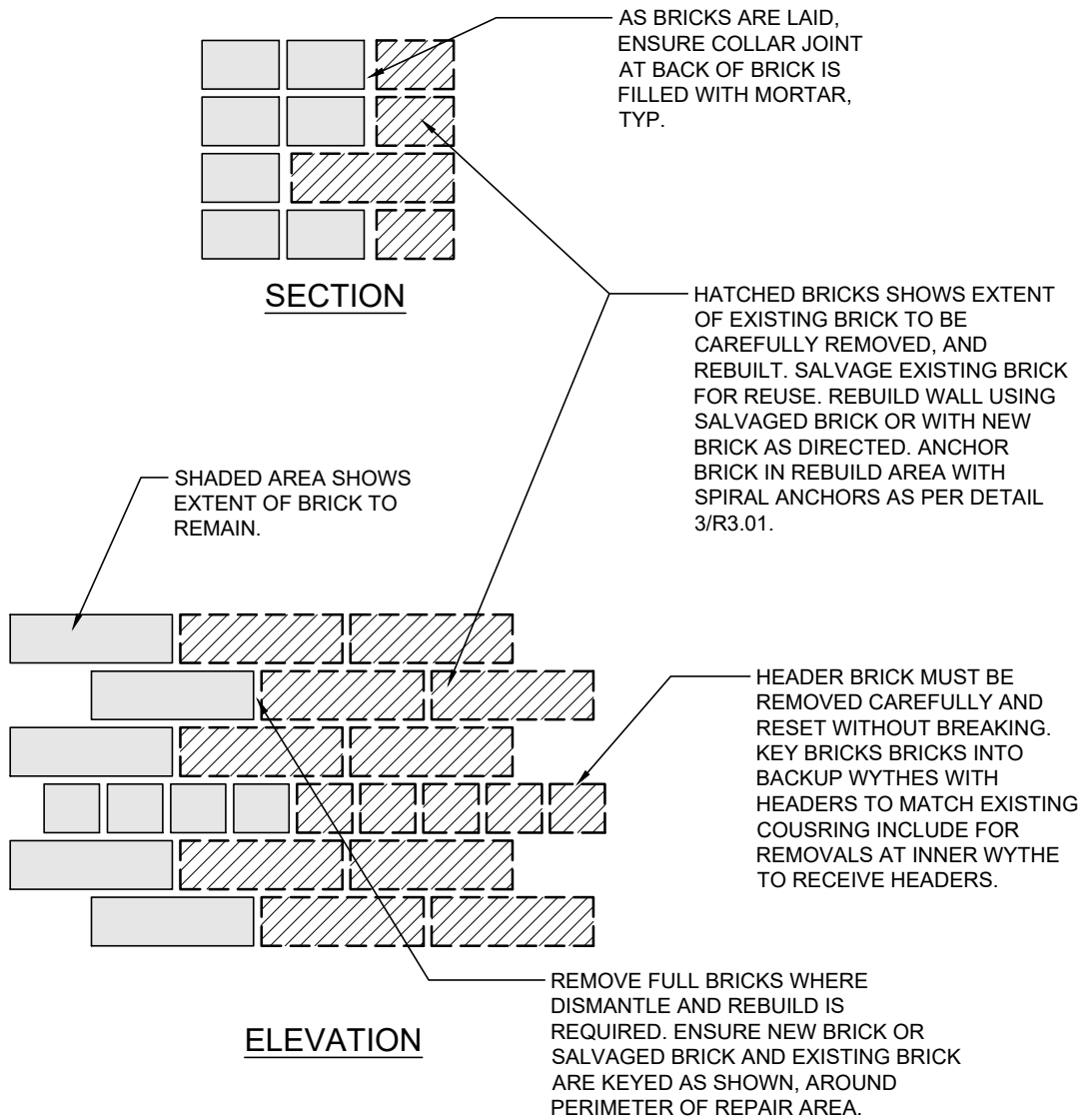
MATERIALS:

1. RETROFIT ANCHOR TYPE: STAINLESS STEEL HELICAL WALL TIE.
2. ANCHOR DIAMETER: 8mmØ
3. ANCHOR LENGTH: 195mm
4. RECOMMENDED PRODUCT IS SPIRAL-LOK BY BLOK-LOK. SUBMIT DATA SHEETS FOR REVIEW. DRILL TYPE: BECAUSE THE BACK-UP MATERIAL IS BRICK, A SPECIALIZED DRILL IS REQUIRED, WHICH HAS A REDUCED POWER HAMMER SETTING.
- 5.1. APPROVED DRILLS:
 - HILTI TE 2-S DRILL, WITH A 30% HAMMER ACTION SETTING
 - HIGH SPEED ROTARY PERCUSSION DRILL, 3-JAW CHUCK TYPE.

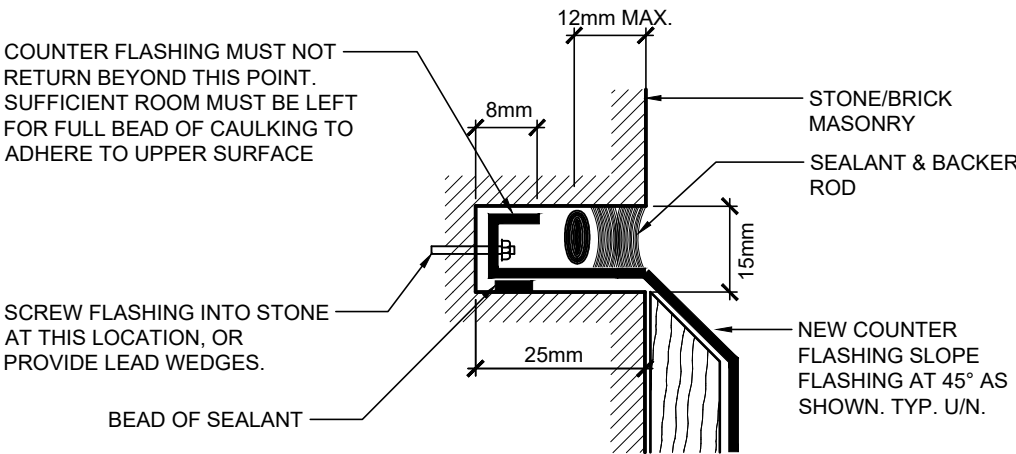
INSTALLATION INSTRUCTIONS:

1. FOLLOW MANUFACTURER'S INSTRUCTIONS, AND NOTE THE FOLLOWING.
2. INSTALLATION TYPE: BRICK TO BRICK (ENTRY THROUGH MORTAR JOINT)
 - 2.1. DRILL 5mm PILOT HOLE INTO MORTAR JOINT IN BRICK BACK-UP, MIN. 75mm EMBEDMENT.
 - 2.2. DRILL TYPE FOR PILOT HOLE TO BE AS PER NOTE 5.1
 - 2.3. HOLE LOCATION SHALL BE IN BED JOINT, AVOIDING AS BEST AS POSSIBLE THE CORES OF THE BRICK, AND NOT IN THE 'T' JOINT.
 - 2.4. INSTALL 8mm SPIRA-LOK ANCHOR, DRIVEN INTO POSITION USING THE BLOK-LOK DRY SET INSTALLATION TOOL, MOUNTED ON AN ELECTRIC SDS HAMMER DRILL. ANCHOR TO BE INSET INTO MORTAR JOINT BY 10mm.
- 2.5. EMBED ANCHORS INTO BED JOINTS OF NEW BRICK TO BE REBUILT.

3 TYPICAL RETROFIT ANCHOR DETAIL
R3.01 NTS



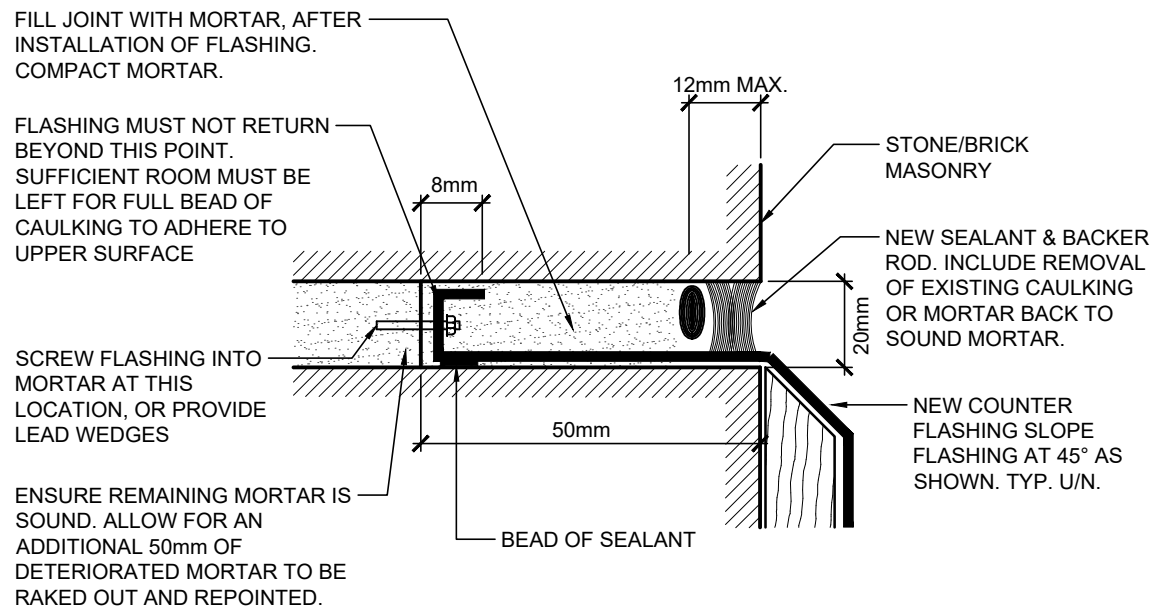
4 TYPICAL BRICK DISMANTLE AND REBUILD
R3.01 NTS



NOTES:

1. ALLOW FOR REPOINTING BEHIND ALL EXISTING FLASHING, ONCE EXISTING FLASHING IS REMOVED. ASSUMED RAKE OUR AND REPOINTING DEPTH IS 100mm. SEE DETAILS 1 AND 2 ON R3.01.
2. SEE ROOF REPLACEMENT DRAWINGS (BY OTHERS) FOR BALANCE OF ROOFING AND FLASHING WORK.

5 TYPICAL REGLET DETAIL CUT INTO STONE MASONRY
R3.01 NTS



NOTES:

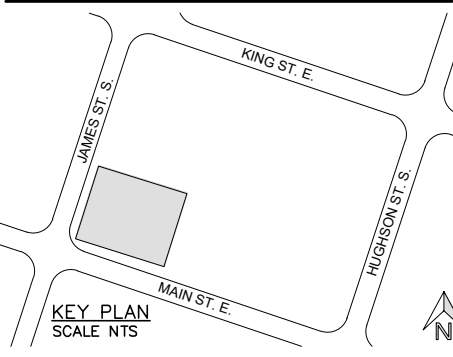
1. ALLOW FOR REPOINTING BEHIND ALL EXISTING FLASHING, ONCE EXISTING FLASHING IS REMOVED. ASSUMED RAKE OUR AND REPOINTING DEPTH IS 100mm. SEE DETAILS 1 AND 2 ON R3.01.
2. SEE ROOF REPLACEMENT DRAWINGS (BY OTHERS) FOR BALANCE OF ROOFING AND FLASHING WORK.

6 TYPICAL REGLET DETAIL CUT INTO MORTAR JOINT
R3.01 NTS

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01	ISSUED FOR PRICING	2025-06-23
no.	description	date

PROJECT:

**BRICK
PARAPET REPAIRS**

47 JAMES STREET S,
HAMILTON, ONTARIO

DRAWING:

TYPICAL DETAILS

DESIGNED BY: _____ SF / JD

DRAWN BY: _____ CP

SCALE: _____ DATE: _____

AS SHOWN 2025-05-08

PROJECT No. 25115

DRAWING No. _____

R3.01

HERITAGE PERMIT REVIEW SUBCOMMITTEE
Meeting Date: July 15, 2025

City of Hamilton - Heritage Permit Application Note Sheet

Address: 1007 Beach Boulevard, Hamilton (Hamilton Beach HCD, Part V)

Permit Number: HP2025-026

Owner: Sandra Clark

Applicant/Agent: Megan Hobson, Hobson Built Heritage

Description of proposed alterations:

- Demolition of the existing two-storey single-detached dwelling; and,
 - Construction of two new two-storey dwellings, each with;
 - A front gable roof;
 - Front setbacks similar to the adjacent dwellings;
 - A one-storey projecting front garage and porch;
 - Painted wood board-and-batten-style cladding; and,
 - Traditional window shapes, window placement, and wall-to-window ratios.
-

Reasons for proposed alterations:

- The subject property is in very poor condition and is currently vacant and boarded up.
 - The proposed new dwellings have garages integrated into the front façade instead of located at the rear due to the proposed lots not being wide enough to accommodate a side driveway.
-

Documentation submitted with application:

- Heritage Permit application form
- Heritage Impact Assessment prepared by Hobson Built Heritage, dated July 8, 2025 (Attached as **Appendix “A”**)

HERITAGE PERMIT REVIEW SUBCOMMITTEE
Meeting Date: July 15, 2025

Draft Conditions for Consideration:

- ☐ That the **final architectural drawings** and **material choices** for the new dwellings be submitted, to the satisfaction and approval of the Director of Planning and Chief Planner, prior to submission as part of any application for a Building Permit and / or the commencement of any alterations;
- ☐ That a **Landscape Plan**, including new landscaping and street trees in the front yard, be submitted, to the satisfaction and approval of the Director of Planning and Chief Planner, prior to submission as part of any application for a Consent to Sever, Building Permit and / or the commencement of any alterations;
- ☐ That any **minor changes** to the plans and elevations following approval shall be submitted, to the satisfaction and approval of the Director of Planning and Chief Planner, prior to submission as part of any application for a Building Permit and / or the commencement of any alterations; and
- ☐ That implementation / installation of the alteration(s), in accordance with this approval, shall be completed no later than **August 31, 2027**. If the alteration(s) are not completed by **August 31, 2027**, then this approval expires as of that date and no alterations shall be undertaken without a new approval issued by the City of Hamilton.

Relevant HCD Policies (By-law No. 00-135)

5.4 Design considerations in new construction

General factors governing visual relationships between an infill building, its neighbours and the streetscape should be reviewed carefully and used as the basis for new construction including consideration of: building height, width, setbacks, roof shape, number of bays, and materials. Specific guidance is described below:

Height: The majority of buildings within the Beach District are two storeys or less. Accordingly to maintain this profile new buildings should be no higher than two storeys, particularly if there are high basement and foundation walls. Required living space should be provided in a building mass that extends rearwards in depth on the lot rather than upwards in height.

Width: New dwellings should be designed in a manner that provide living space in a building mass that extends rearwards in depth on the lot rather than in horizontal width across the lot. Cross-gable or "L" plans may be used where appropriate.

Setback: Residences on the west side (or harbour side) of Beach Boulevard tend generally to be set back further than their eastern counterparts. Those constructed pre-1900 appear closer to the Boulevard. Accordingly, new construction should be set back from the road in keeping with the post-1900 construction.

On the east (or lake side) any new construction should ensure traditional facade frontage is oriented towards Beach Boulevard with building setbacks that are the same as adjoining lots. Where adjacent buildings are staggered from one another the new intervening building facade should be:

- located so that it does not extend beyond the front facade of the forward most building, or
- located so that it does not sit behind the front facade of the rearward building.

Proportion and massing: New infill should be developed with horizontal to square facades with three bays comprising an entranceway and two window bays. Facades with a vertical emphasis should be avoided.

Roofs: Roof types encouraged in new construction are front gable, cross- or centre gable and hipped or truncated hip. Side gable, mansard, gambrel and flat roofs are not typical of the Beach District and should be avoided. Asphalt or wood shingles are appropriate for new construction. Concrete, clay tile, slate, metal or composite materials are discouraged. Roof vents, skylights, satellite dishes, solar panels, chimneys, flues, other venting devices and roof features are best located to the rear of new buildings. Cross or centre gables with windows may be appropriate in front elevations on Beach Boulevard provided that they do not overpower the facade. Dormers should only be encouraged at the rear or side elevations.

HERITAGE PERMIT REVIEW SUBCOMMITTEE

Meeting Date: July 15, 2025

Materials: The majority of buildings in the Hamilton Beach Heritage Conservation District are of frame construction with a variety of cladding materials. Cladding materials include stucco, rough cast and pebble-dash, clapboard, board-and-batten and wood shingles. Synthetic materials such as metal or vinyl siding have also been used, either in whole or in part, to patch or cover former historical cladding. Brick and stone are used sparingly. Wall materials for use in new construction are encouraged to be wood cladding, either as board or shingles, stucco and pebble-dash or rough cast. Very limited use or very small areas of synthetic cladding may be permitted, particularly when used with traditional materials. Use of brick, concrete or other masonry blocks should be avoided.

Windows: A range of window and entrance types are evident in the existing late nineteenth and twentieth century architectural styles represented in the Hamilton Beach Heritage Conservation District. The overall appearance of building facades is more wall surface (solids) than windows (voids). Generally window openings are vertical and rectangular. There are also examples of semi-circular, segmental and round headed openings. The windows are arranged in a variety of ways, either individually, pairs, groups or composing a bay. New window designs that generally reflect vertical and rectangular dimensions are encouraged. On facades that face the street, windows should maintain proportions of neighbouring properties. Large, full-length, multi-storey or picture windows are best avoided.

Entrances: Entrances are usually an important element of the principal elevation, frequently highlighted with architectural detailing such as door surrounds and porches and recessed or projected from the wall face for emphasis. Accordingly, full size double doors and large amounts of glazing in entranceways should be avoided.

Garages and ancillary structures: Garages and ancillary structures are best located away from the main facade and should be located in traditional areas for these functions, usually towards the rear of the lot. Garages, in particular, should not form part of the front facade of the main building.

Photographs



Figure 1: Front view of existing dwelling from Beach Boulevard from Google Streetview (May 2025)



Figure 2: Rendering of proposed development.

HERITAGE PERMIT REVIEW SUBCOMMITTEE
Meeting Date: July 15, 2025

Plans / Drawings

Please see the Heritage Impact Assessment attached as **Appendix “A”** to this Note Sheet.



HERITAGE IMPACT ASSESSMENT

1007 Beach Boulevard, Hamilton, ON

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APPENDIX B: HISTORIC DOCUMENTATION		
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APPENDIX D: REVISED SITE PLAN, ARCHITECTURAL DRAWINGS & RENDERING		
UPDATED		

EXECUTIVE SUMMARY

Hobson Built Heritage was retained by the owner of 1007 Beach Boulevard to prepare a *Heritage Impact Assessment* (HIA) as a requirement of a planning application because the property is located in the *Hamilton Beach Heritage Conservation District*. The owner is making an application to:

- subdivide the property to create two lots
- demolish the existing 2-storey dwelling
- construct two new 2-storey dwellings

The existing dwelling is in very poor condition and has been heavily altered. [\(See updated Appendix A with additional photo documentation and comments to clarify the condition\)](#). It does not contribute to heritage character of the District. There are no heritage concerns with demolition of this building and no potential salvage items were identified during site investigation. Documentation is provided in this report, no further mitigation is required prior.

The *Hamilton Beach Heritage Conservation District Plan* states that "where new lots are to be created within the Hamilton Beach Conservation District they should be of similar width and depth as adjacent occupied Lots." The proposed lot division is partially consistent with the *District Plan* because:

- a similar depth is maintained but the width is approximately half of the width of adjacent lots.

The *Hamilton Beach Heritage Conservation District Plan* states that "construction on newly created lots or vacant lots will be required to be compatible with the character of adjoining properties and the streetscape of Beach Boulevard."

The design of the proposed dwellings is consistent with the *District Plan* with respect to:

- 2-storey height and front gable roof
- orientation towards Beach Boulevard
- front setback that matches the adjacent dwelling to the north
- wood cladding for the exterior
- architectural style that is complementary to architectural styles in the District including:
 - front porch
 - traditional window shapes, window placement, and wall-to-window ratios

The design is not consistent with the *District Plan* with respect to:

- the garage is integrated into the front façade instead of located at the rear
- the front yard is entirely paved and does not include any landscaping

The proposed lots are not wide enough to accommodate a side driveway, so locating the garage beside or behind the house is not feasible. However, the impact of the garage on the streetscape

could be minimized by setting it further back and by introducing landscape elements in the front yard.

If a severance is granted, it is recommended that the following design revisions be requested prior to the issue of building permits:

- set the garage back from the front wall of the house
- reduce the amount of paving in front of the houses and introduce new landscaping

It is recommended that the applicant be required to provide the following information to heritage staff for final approval as a condition of the heritage permit:

1. Final architectural drawings and material choices for the new dwellings
2. *Landscape Plan* for new landscaping and street trees in the front yard
3. *Archaeological Clearance Letter*

JULY 8TH UPDATE

Revised Drawings

The preliminary concept was presented to the Heritage Permit Review Subcommittee on April 15th to get their input. Based on the comments provided by heritage staff and committee members, the applicant has revised the proposal and provided a rendering as a visual aid. A major site re-organization was not possible due to the small size of the lots. Suggestions to locate the garages at the rear could not be accommodated. In response to other suggestions provided by the committee, significant refinements were made to reduce the visual impact of the garage from the street, reduce and balance the overall massing, and strengthen the balance and symmetry of the front elevation. The result is a more balanced and refined composition that fits well with the historic character of the District.

In addition, a rendering has been provided to show the landscape enhancements and permeable pavers that are intended and will be outlined in a forthcoming Landscape Plan that will be commissioned if the severance application is approved.

The revised drawings and renderings are attached as Appendix D of this report and the *Heritage Impact Assessment* has been updated with new information and comments added in blue text.

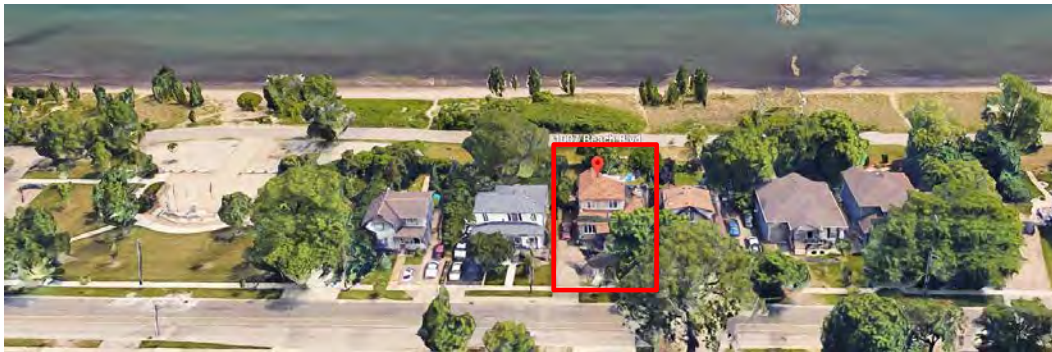
Final Recommendations

There are no changes to the previous recommendations. The design revisions are consistent with the District guidelines to the extent that is possible on the proposed lots. The existing dwelling is in very poor condition and is currently having a negative impact on the District. Removal of this building and replacement with two small dwellings that maintain the small scale and historic character of the District will have positive impacts. It is therefore recommended that heritage support be provided for the severance application and that a Heritage Permit be granted, subject to the three conditions outlined above.

1.0 INTRODUCTION

Preparation of this report included historical research, site investigation, review of applicable heritage legislation, and review of relevant heritage policies and guidelines. The HIA and preliminary drawings were shared with the Heritage Permit Review Sub-Committee at the April meeting. Based on their input the drawings have been revised and the HIA has been updated with updates added in blue text. The photo documentation in Appendix A was updated with additional photos and comments to clarify the poor condition of the subject building.

2.0 LOCATION & SITE DESCRIPTION



AERIAL VIEW – 1007 Beach Boulevard

The subject property is located in the *Hamilton Beach Heritage Conservation District*. It is on the east (Lake) side of Beach Boulevard between Manor Avenue (originally 1st Avenue) and Pandora Avenue (originally 2nd Avenue). It is just south of Dieppe Veterans Memorial Park and backs onto the Waterfront Trail, a public trail managed by the Hamilton Conservation Authority.

The subject property contains a 2-storey frame dwelling that is in very poor condition and is currently vacant and boarded up. The dwelling has a square plan with a hipped roof. During site investigation damp conditions and damages to interior finishes were noted, including a hole in the ceiling in the 1st floor bathroom. The second floor was inaccessible. There is an unfinished basement level, and the foundation is concrete block in some sections and rubblestone in other sections. The exterior is predominantly stucco with some vinyl siding in areas. There is a sunroom and a wooden deck at the back. The interior has modern finishes throughout.



STREETSCAPE VIEWS: view to the front elevation from Beach Boulevard (left) – view to the rear elevation from the Waterfront Trail (right)

There is a gravel driveway on the north side of the house and a narrow side yard on the south side. The house is situated approximately in the middle of the lot with landscaping in the front and rear yards. The rear yard is enclosed by a fence and backs onto the Waterfront Trail, and it has views to Lake Ontario.

3.0 HERITAGE PLANNING CONTEXT

The subject property is in the *Beach Boulevard Heritage Conservation District* (BBHCD) and Designated under Part V of the *Ontario Heritage Act*. The BBHCD is situated in the *Beach Boulevard Cultural Landscape* that is Listed on the Municipal Heritage Register. Change within the BBHCD is guided by the *Beach Boulevard District Plan* (ASI 2000).

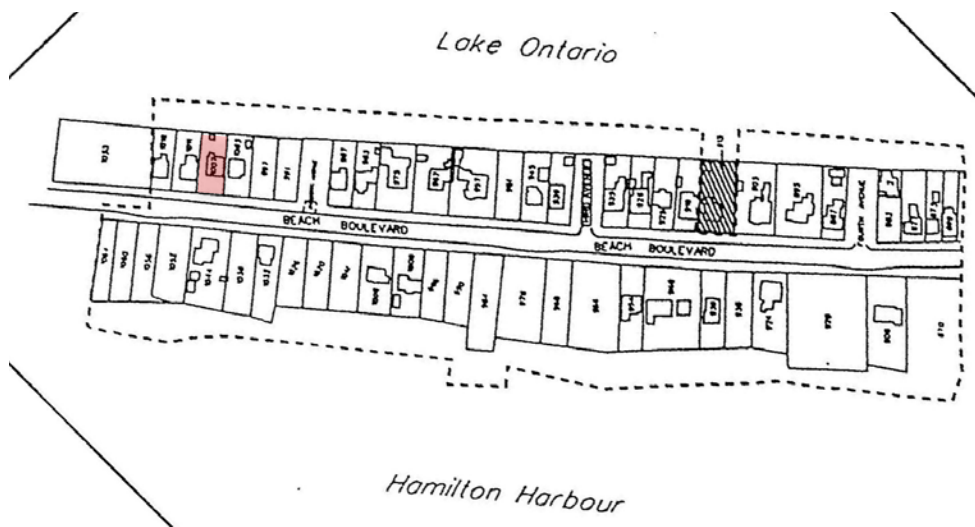
Hamilton Beach Heritage Conservation District

The heritage character of the District is defined by:

- the Lake Ontario shoreline and sandy beach
- Beach Boulevard, a long established travel route that forms the spine of the district
- properties and buildings that are of historical and architectural interest
- supporting and contextual landscape features

The Hamilton Beach Heritage Conservation District Plan provides guidelines for managing changes within the District. The guidelines support:

- preservation of and compatible alterations to buildings that contribute to the district character
- new construction on newly created lots in the form of single-detached dwellings up to 2 storeys in height
- compatible landscaping and streetscape improvements that support the District character

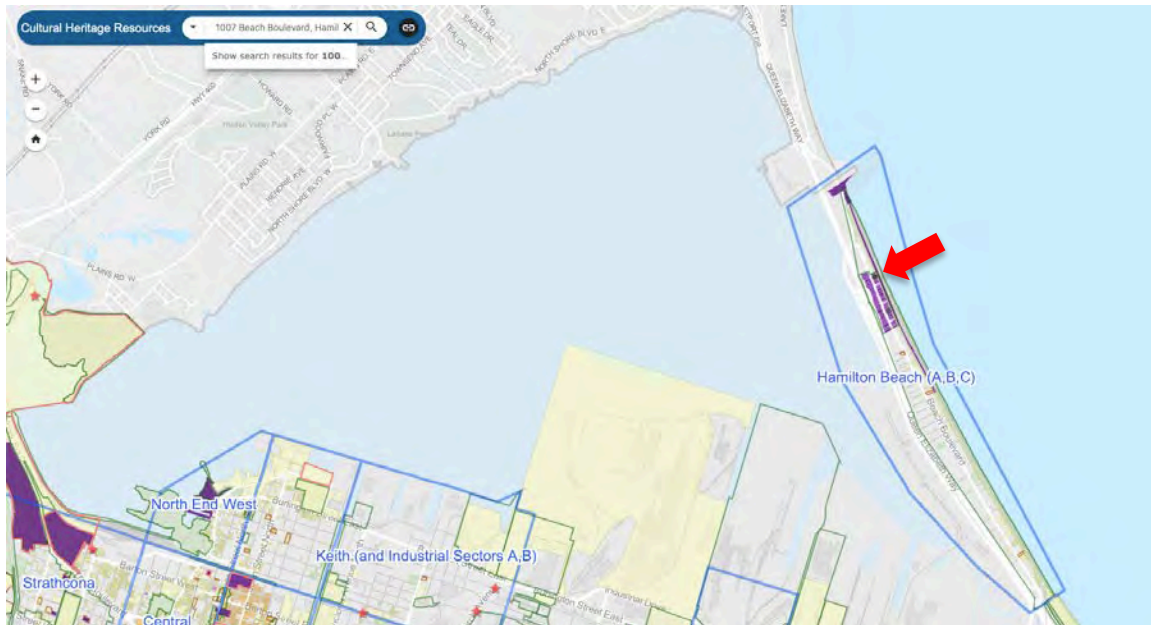


HAMILTON BEACH HCD – the subject property is located near the north boundary of the District

<N

Beach Boulevard Cultural Landscape

The Beach Strip is an evolving cultural landscape that continues to be shaped by natural forces and human activity as a transport route, shipping canal, hydro corridor, and residential community on a narrow strip of land between Lake Ontario and Burlington Bay. In the 20th century, the construction of the Burlington Skyway severed connections to the west side (Harbour side) of the Beach Strip.



CITY OF HAMILTON HERITAGE MAPPING - the subject property is located in the Hamilton Beach HCD (purple). The Beach Strip is an Inventoried Cultural Heritage Landscape.



c. 1960 AERIAL PHOTO – in the 20th century the Beach Strip was impacted by construction of the hydro corridor (1911) and Burlington Skway (1958)

4.0 HISTORIC CONTEXT

Historically, Hamilton Beach has historical and cultural significance as a natural landform that separates Burlington Bay from Lake Ontario, as an indigenous route around Lake Ontario, as an important transportation corridor during the settlement period, and as a place for waterfront leisure in the 19th century, and as a residential community in the 20th century.

In the late 19th-century it was developed as a summer resort and streets and lots were laid out for private cottages. The subject property is Lot 7 on the east side of Beach Boulevard south of the Canal. An **1895 article in the *Spectator*** includes a list of residents of Hamilton Beach that lists 3 cottages, one vacant lot, and a tennis court on the east side of the Beach Boulevard between 1st & 2nd Avenue. The subject property was not built at this time.



HAMILTON BEACH COTTAGES - well preserved 19th century cottages at the south end of Beach Boulevard

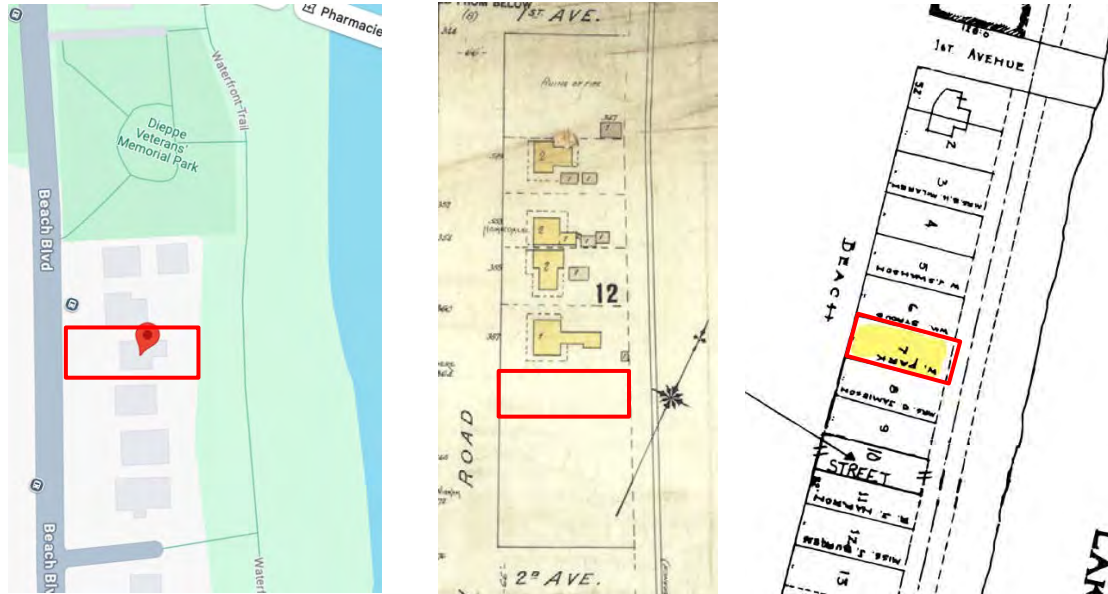
Lot 7, Plan 452 (1911)

The legal description of the subject property is Lot 7. Lot 7 was part of the original layout of streets and cottage lots created by the Hamilton Beach Commission in 1878.

The **1900 Fire Insurance Plan** shows four frame cottages on the east side of Beach Boulevard, located on Lots 3, 4, 5 & 6. Lots 1 & 2 (now the location of Dieppe Veterans Memorial Park) are vacant with ruins of a cottage destroyed by fire. **Lots 7 (the subject property), 8 & 9 remain unbuilt.**

In 1910, **Plan 452** indicates that Lot 7 had been sold to 'W. Parke'. Land records confirm that the Hamilton Beach Commission sold Lot 7 to **Walder & Lella V. Parke** in 1909. The Parke's purchased all of Lot 7 (52' frontage) for \$500.

Walder Parke was a successful Hamilton druggist. He founded his first store in 1876 with partner Charles McGregor. In 1904 they moved to larger premises at MacNab & Market Square. In 1917, the business was incorporated as **Parke & Parke**, eventually opening a chain of stores and becoming the largest pharmaceutical manufacturer and supplier in all of Canada. In the **1911 Census** Parke is 54 years old and his residence is listed as **252 Aberdeen Avenue** in Hamilton.



Left: 2024 GOOGLE MAPS - location of the subject property

Centre: 1900 FIRE INSURANCE PLAN – there are no structures on the property in 1900

Right: 1910 PLAN 452 – the property was purchased by “W. Parke” in 1909 and a rental cottage was built on it in 1922

The property that Parke bought on Hamilton Beach may have been purchased for a summer residence or as an investment property. In a **1922 Land transaction**, the value of the lot has increased significantly to \$5,800, indicating that a cottage had been built by that time. Following that entry, the property appears to have been rented out to a succession of different tenants.



Heavily altered early 20th century cottages at the north end of Beach Boulevard. The subject property (center) and adjacent properties.

Between 1922 and 1941 there were four different tenants listed on the title, each staying for a short duration. In 1942, the property was purchased by George & Frances Smith. In 2007, Marie & Daniel Smith, presumably relatives, sold the property to Veeru Kantor. In 2023 Veeru Kantor, now called Veeru Khanna, sold the property to the current owner.

A summary of the property ownership is provided below:

- 1909 Walden Parke, Pharmacist - All of Lot 7, 52' (15.85 m) front – owner for 13 years
 - 1922 George & Grace Davis – tenants for 5 years
 - 1927 William & Frances Heyslop – tenants for 12 years
 - 1939 Charles & Elizabeth Lennie - tenants for 2 years
 - 1941 John & Mary Hasaal – tenants for 1 year

- 1942 George & Frances Smith / Marie & Daniel William Smith – owners for 65 years
- 2007 Veeru Kantor / Khanna – owner for 16 years
- 2023 current owner

5.0 CULTURAL HERITAGE VALUE

The dwelling on the subject property does not have significant cultural heritage value.

Walden Parke is the only person associated with the property that may have local historical interest because he was the owner of a successful pharmacy business in Hamilton in the late 19th and early 20th century. However, his association with the subject property is limited because he appears to have bought it as an investment rental property. Therefore, the subject property does not have significant historic associations.

The scale and massing of the building are generally consistent with a **date of construction c.1910-20** and there are portions of a rubblestone foundation visible in the basement that suggest that the subject building is the cottage built between 1909 and 1922 when Walder Parke owned Lot 7. However, the building has been heavily altered. Original wood doors and windows have been replaced with vinyl windows and the window openings have been modified. What appears to have been a front porch has been enclosed. New finishes have been installed throughout the interior including drywall and laminate flooring. The exterior and interior have been so extensively modified that the original architectural character is no longer legible. Therefore, the property does not have architectural or design value.

The subject dwelling is a modest structure that is in very poor condition and has been vacant and boarded up for some time. It was originally constructed sometime between 1909 and 1922 for Walden Parke but has limited cultural heritage value due to the loss of character defining features and extensive modifications. As such, it does not make a significant contribution to the character of the area.

Evaluation According to Ontario Regulation 9/06

According to Subsection 1 (2) of *Ontario Regulation 9/06, Criteria for Determining Cultural Heritage Value or Interest*, a property may be designated under section 29 of the Ontario Heritage Act if it meets two or more of the following criteria:

Table 1.0 Evaluation According to Ontario Regulation 9/06

CRITERIA	ASSESSMENT (YES/NO)	RATIONALE
1. Design of physical value:		
i) Is a rare, unique, representative or early example of a style, type, expression, material or construction method	NO	It has been heavily altered and character defining elements have been removed.
ii) Displays a high degree of craftsmanship or artistic merit	NO	It is in very poor condition and has been heavily altered.
iii) Demonstrates a high degree of technical or scientific achievement	NO	It is a 2-storey frame and stucco dwelling.
2. Historical or associative value		
i) Has direct associations with a theme, event, believe, person, activity, organization or institution that is significant to a community	NO	It does not have associations with a significant event or person.
ii) Yields, or has the potential to yield, information that contributes to an understanding of a community or culture	NO	It does not contribute to an understanding of a community or culture.
iii) Demonstrates or reflects the work or ideas of an architect, artist, builder, designer or theorist who is significant to the community	NO	It is not associated with a significant designer or builder.
3. Contextual Value		
i) Is important in defining, maintaining, or supporting the character of an area	NO	It has been heavily modified and is in very poor condition.
ii) Is physically, functionally, visually, or historically linked to its surroundings	NO	It is historically linked to a second phase of building on Hamilton Beach in the early 20 th century that consisted of more modest structures. It has been heavily altered and therefore has limited ability to convey its historic links. Therefore, it does not meet this criterion.
iii) Is a landmark	NO	It is not a landmark.

Evaluation summary: the property does not meet any criteria

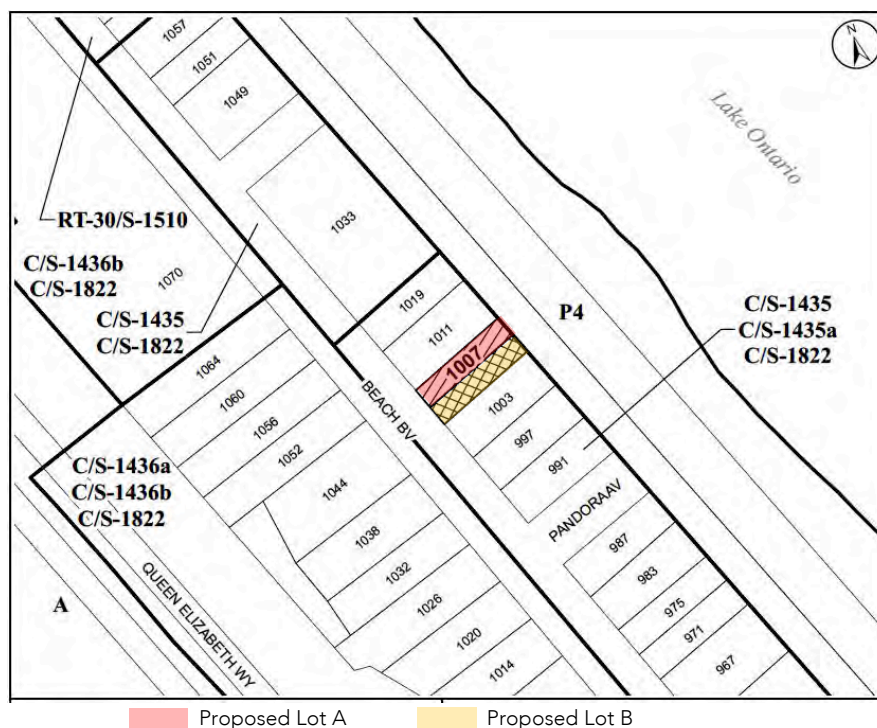
6.0 PROPOSED DEVELOPMENT

The applicant proposes to demolish the existing 2-storey dwelling on the property and subdivide the lot to create two smaller residential lots fronting on Beach Boulevard. The site statistics, preliminary site plan and architectural drawings provided by the applicant are included in the appendix of this report.

The zoning by-law allows for a minimum lot area of 360 square meters with a minimum lot frontage of 12.0 m. The proposed lots will be 356 square meters with a lot frontage of 8.73 m. Therefore, minor variances will be required for the lot size and the frontage. Minor variances will also be required for the proposed 1.2 m side yards that are slightly below the 1.7 m minimum permitted and the 10.3 m height which is slightly above the 9.0 maximum height permitted. The minor variances required are shown in the table below:

Table 2.0 Minor Variances Required for the Proposed Development:

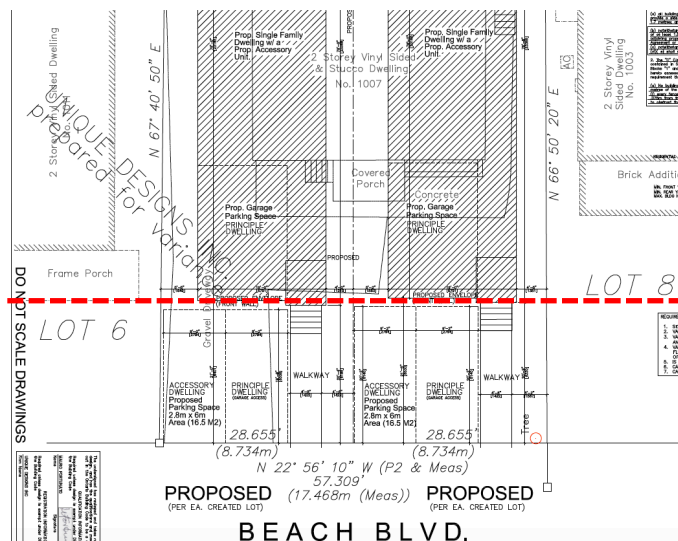
	PERMITTED	PROPOSED Lot A	PROPOSED Lot B	AMOUNT OF VARIANCE
MAX HEIGHT	9.0 m 2-storeys	10.3 m 2-storeys	10.3 m 2-storeys	+ 1.3 m
MIN SIDE YARD	1.7 m	1.2 m	1.2 m	- 0.5m
MIN LOT FRONTAGE	12.0 m	8.73 m	8.73 m	- 3.27 sq. m
MIN LOT AREA	360 sq. m	356 sq. m	356 sq. m	- 4.0 sq. m



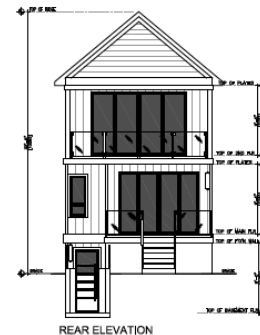
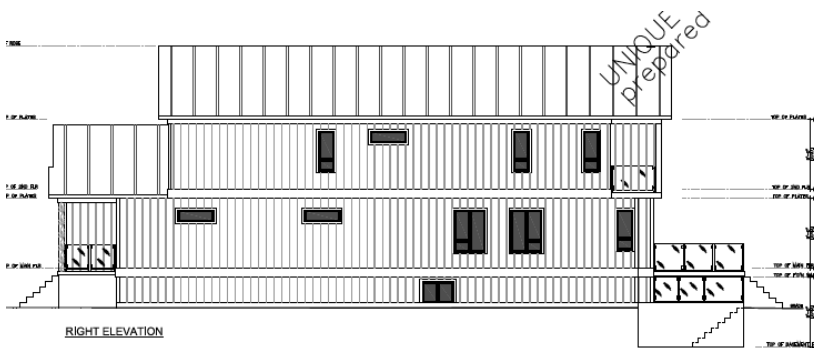
The proposed dwellings are designed to complement the character of the area. Two identical house plans are proposed. The proposed dwellings have a 2-storey, 2-bay form with a 1-storey projection at the front that contains the garage and front entranceway. The roof form is a front facing gable and the exterior is clad with wood siding. There is a covered portico at the front entrance. The front yards contain a paved walkway to the front entrance, a paved driveway and a paved parking space beside the driveway.



Beach Boulevard Google Streetview – the applicant proposes to demolish the existing 2-storey dwelling and replace it with two new 2-storey dwellings.



Left: FRONT SETBACK: the front setback matches the setback of the adjacent dwelling to the north
 Right: FRONT ELEVATION: two identical 2-storey dwellings are proposed that are 10.3 m in height



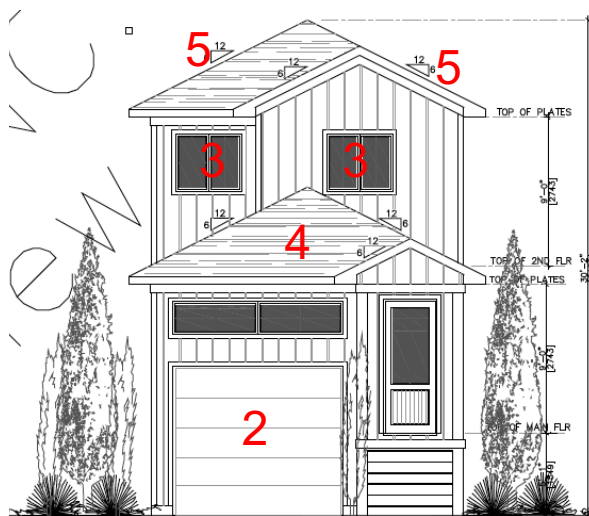
SIDE & REAR ELEVATION [Unique Designs]

*PRELIMINARY CONCEPT

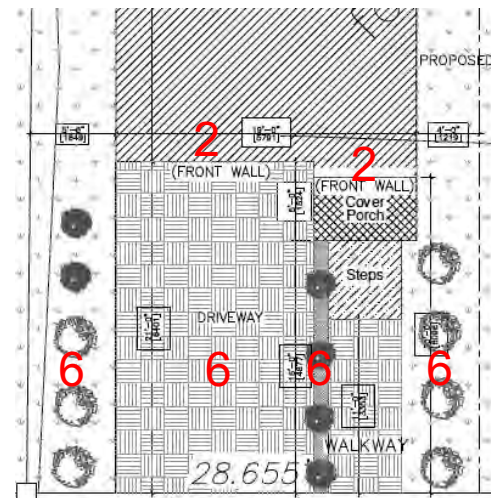
REVISED DRAWINGS

The following revisions have been made:

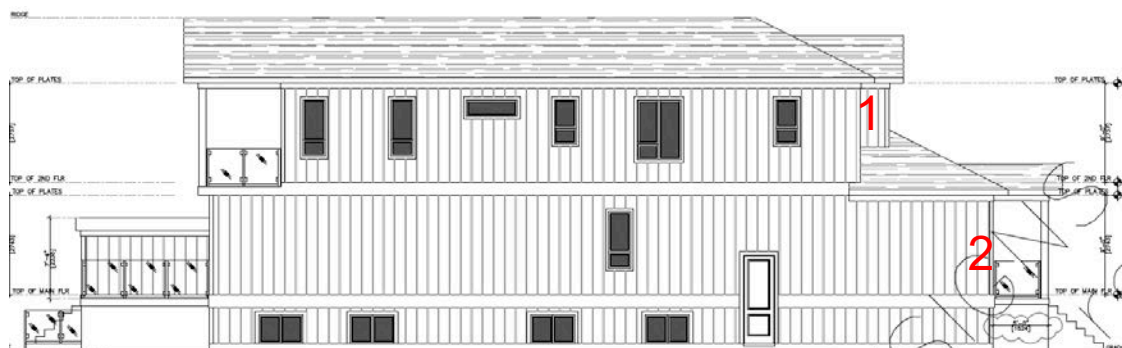
1. the 2nd floor has been pushed forward to better integrate the garage into the overall massing and reduce its visual impact on the street
2. the garage wall has been set back from the front wall of the house and covered porch projects forward to address the street
3. the windows on the front elevation have been adjusted so that they are more balanced and symmetrical
4. the height of the garage roof has been lowered to reduce the visual impact of the garage from the street and a hipped roof has been introduced for the garage to give it a more compact massing
5. the roof slopes of the main roof have been reduced so that the 2nd floor can have a more balanced appearance
6. landscape components have been introduced to enhance the streetscape including permeable pavers on the driveway, and plantings in the front and side yards (The intent is illustrated in the updated rendering. Details will be provided in a forthcoming Landscape Plan if the severance application is approved by the Committee of Adjustment).



REVISED FRONT ELEVATION



REVISED SITE PLAN



SIDE ELEVATION

[Unique Designs Inc.]



UPDATED RENDERING – the applicant proposes to build two identical houses with painted wood board & batten style cladding – the rendering shows the applicants intent regarding the landscaping that will be detailed in a detailed Landscape Plan if the severance is approved. The final cladding materials, garage door and landscape plan will be provide to heritage staff for final approval.

7.0 HERITAGE IMPACT ASSESSMENT

The *Hamilton Beach Heritage Conservation District Plan* states that “where new lots are to be created within the Hamilton Beach Conservation District they should be of similar width and depth as adjacent occupied Lots.”

The proposed lot division is partially consistent with the *District Plan* because:

- a similar depth will be maintained but the width is approximately half of the width of adjacent lots.

The *Hamilton Beach Heritage Conservation District Plan* states that “construction on newly created lots or vacant lots will be required to be compatible with the character of adjoining properties and the streetscape of Beach Boulevard.”

The design of the proposed dwellings is consistent with the *District Plan* with respect to:

- 2-storey height and front gable roof
- orientation towards Beach Boulevard
- front setback that matches the adjacent dwelling to the north
- wood cladding for the exterior
- architectural style that is complementary to architectural styles in the District including:
 - front porch
 - traditional window shapes, window placement, and wall-to-window ratios

The design is not compatible with the *District Plan* with respect to:

- the garage is integrated into the front façade instead of located at the rear
- the front yard is entirely paved and does not include any landscaping

An analysis of compliance with guidelines in the *District Plan* is provided in the table below:

Table 3.0 Compliance with the District Plan

HCD GUIDELINES		COMPLIANCE REVIEW
General Guidance	Only single-detached residences are permitted on newly created lots	COMPLIES The proposed dwellings are single-detached.
	New residences should not exceed two storeys in height	COMPLIES The proposed dwellings are 2-storeys in height. *A variance is required for a 1.3 m increase in height. This is a minor increase that will not have a negative impact on the District.
	Garages should be located to the rear	DOES NOT COMPLY The proposed lots are not wide enough to accommodate a side driveway, so it is not possible to locate the garages at the rear. There are several houses in this area that have garages that are not located at the rear. Mitigation is required in the form of minor design revisions to increase the setback of the garages behind the front wall of the house. Mitigation in the form of design revisions has been successfully undertaken.
	Front gable and hip roofs are encouraged	COMPLIES

		The proposed dwellings have front gable roofs.
	Traditional features such as porches and verandahs are encouraged	COMPLIES The proposed dwellings have a traditional style portico at the front entrance.
5.1 Introduction	Demolition of existing buildings is discouraged but is not prohibited	COMPLIES The proposed demolition of a heavily altered c.1992 dwelling that is in very poor condition for compatible residential infill will have a positive impact on the District.
5.2 New Lot Size	New lots should be of similar width and depth as adjacent occupied lots	PARTIAL COMPLIANCE No change is proposed to the lot depth. The proposed lot width is approximately half the width of adjacent lots. *A variance is required to permit a frontage of 8.73 m instead of the required 12.0 m
5.3 New Construction	New construction on newly created lots is required to be compatible with the character of adjoining properties and the streetscape of Beach Boulevard.	COMPLIES The proposed 2-storey single-detached dwellings are compatible with the existing character of the area.
Style	New construction should not copy historic details or pretend to be historic.	COMPLIES The proposed dwelling reference traditional materials and design elements in a contemporary manner.
Height	New buildings should be no higher than 2-storeys	COMPLIES The proposed dwellings are 2-storey in height. *A variance is required for a 1.3 m increase in the permitted height. This is minor increase that will not have a negative impact on the District character.
Width	The building mass should extend rearwards in depth on the lot rather than in horizontal width across the lot.	COMPLIES The massing of the proposed dwellings extends rearwards in depth.
Setback	On the east (or Lake side) new construction should be oriented	COMPLIANCE

	towards Beach Boulevard with building setbacks that are the same as adjoining lots. Where adjacent buildings are staggered from one another the new intervening building façade should be located so that it does not extend beyond the front façade of the forwardmost building.	<p>The proposed dwellings are oriented towards Beach Boulevard.</p> <p>The proposed setback matches the setback of the adjacent property to the north.</p>
Roofs	Roof types encouraged in new construction are front gable, cross- or centre gable and hipped or truncated hip. Asphalt or wood shingle are encouraged.	<p>COMPLIES</p> <p>The proposed dwellings have a front gable roof form. Asphalt shingle is proposed.</p>

Summary: the proposal is generally consistent with the District Plan that encourages 2-storey single-detached dwellings on newly created lots.

Ontario Heritage Toolkit

The Ministry of Culture provides guidance and information regarding cultural heritage and archaeological resource conservation in land use planning in the *Ontario Heritage Toolkit* (2006). Negative impacts to a cultural heritage resource that may occur due to a proposed development or site alteration are identified in the Ontario Heritage Toolkit.

Table 4.0 Impact Assessment

NEGATIVE IMPACTS <i>Ontario Heritage Toolkit</i> (2006)	IMPACT ASSESSMENT	RECOMMENDATION
Destruction of any part, or part of any, significant heritage attributes or features;	NO NEGATIVE IMPACT The dwelling proposed for demolition does not have cultural heritage value.	NO MITIGATION REQUIRED
Alteration that is not sympathetic, or is incompatible, with the historic fabric and appearance;	NOT APPLICABLE No alteration is proposed.	NO MITIGATION REQUIRED
Shadows created that alter the appearance of a heritage	NO NEGATIVE IMPACT Shadowing is not a concern.	NO MITIGATION REQUIRED

attribute or change the viability of a natural feature, or plantings, such as a garden;		
Isolation of a heritage attribute from its surrounding environment, context or significant relationship;	NO NEGATIVE IMPACT Isolation is not a concern.	NO MITIGATION REQUIRED
Direct or indirect obstruction of significant views or vistas within, from, or of built and natural features;	NO NEGATIVE IMPACT Obstruction of views is not a concern.	NO MITIGATION REQUIRED
A change in land use such as rezoning a battlefield from open space to residential use, allowing new development or site alteration to fill in the formerly open spaces;	NOT APPLICABLE No change in land use is proposed.	NO MITIGATION REQUIRED
Land disturbances such as a change in grade that alters soils, and drainage patterns that adversely affect an archaeological resource.	IMPACTS MAY OCCUR The subject property is a waterfront property in an area that has archaeological potential.	MITIGATION REQUIRED Archaeological clearance from the Ministry is required prior to any land disturbances.

8.0 CONCLUSIONS & RECOMMENDATIONS

The owner is making an application to:

- subdivide the property to create two lots
- demolish the existing 2-storey dwelling
- construct two new 2-storey dwellings

The existing dwelling is in very poor condition and has been heavily altered. It does not contribute to character of the area. There are no heritage concerns with demolition of this building and not potential salvage items were identified during site investigation. Documentation is provided in this report, no further mitigation is required prior.

The *Hamilton Beach Heritage Conservation District Plan* states that "where new lots are to be created within the Hamilton Beach Conservation District they should be of similar width and depth as adjacent occupied Lots."

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The proposed lots are not wide enough to accommodate a side driveway, so locating the garage beside or behind the house is not feasible. However, the impact of the garage on the streetscape could be minimized by setting it further back and by introducing landscape elements in the front yard.

If a severance is granted, it is recommended that the following design revisions be requested prior to the issue of building permits:

- set the garage back from the front wall of the house
- reduce the amount of paving in front of the houses and introduce new landscaping

It is recommended that the applicant be required to provide the following information to heritage staff for final approval as a condition of the heritage permit:

- Final architectural drawings and material choices for the new dwellings
- *Landscape Plan* for new landscaping and street trees in the front yard
- *Archaeological Assessment*

JULY 8TH UPDATE

Revised Drawings

The preliminary concept was presented to the Heritage Permit Review Subcommittee on April 15th to get their input. Based on the comments provided by heritage staff and committee members, the applicant has revised the proposal and provided a rendering as a visual aid. A major site re-organization was not possible due to the small size of the lots. Suggestions to locate the garages at the rear could not be accommodated. In response to other suggestions provided by the committee, significant refinements were made to reduce the visual impact of the garage from the street, reduce and balance the overall massing, and strengthen the balance and symmetry of the front elevation. The result is a more balanced and refined composition that fits well with the historic character of the District.

In addition, a rendering has been provided to show the landscape enhancements and permeable pavers that are intended and will be outlined in a forthcoming Landscape Plan that will be commissioned if the severance application is approved.

The revised drawings and renderings are attached as Appendix D of this report and the *Heritage Impact Assessment* has been updated with new information and comments added in blue text.

Final Recommendations

There are no changes to the previous recommendations. The design revisions are consistent with the District guidelines to the extent that is possible on the proposed lots. The existing dwelling is in very poor condition and is currently having a negative impact on the District. Removal of this building and replacement with two small dwellings that maintain the small scale and historic character of the District will have positive impacts. It is therefore recommended that heritage support be provided for the severance application and that a Heritage Permit be granted, subject to the three conditions outlined above.

9.0 SOURCES

ASI (Archaeological Services Inc.), *Hamilton Beach Heritage Conservation District: Guidelines for Conservation and Change* (2000)

City of Hamilton, *Urban Hamilton Official Plan* (2013)

Ministry of Tourism, Culture & Sport (MTCS), *Ontario Heritage Toolkit* (2006)

Parks Canada, *Standards & Guidelines for the Conservation of Historic Places in Canada* (2010)

10.0 QUALIFICATIONS OF THE AUTHOR

The author of this report is a professional member of the *Canadian Association of Heritage Professionals*. Formal education includes a *Master of Arts in Architectural History* from the University of Toronto and a *Diploma in Heritage Conservation* from the Willowbank School of Restoration Arts. Professional experience includes an internship at the Ontario Heritage Trust, three years as Architectural Historian & Conservation Specialist at Taylor Hazell Architects in Toronto, and 12 years in private practice in Ontario as a heritage consultant. Other relevant experience includes teaching art history at the University of Toronto and McMaster University and teaching Research Methods and Conservation Planning at the Willowbank School for Restoration Arts in Queenston. In addition to numerous heritage reports, the author has published work in academic journals such as the *Journal of the Society for the Study of Architecture in Canada* and the *Canadian Historical Review*.

APPENDIX A: PHOTO DOCUMENTATION



Front elevation – roof and replacement windows in very poor condition



Front entrance – cracks visible in the parged foundation – original openings boarded up – mis-matched replacement windows



Boarded up openings – vinyl replacement doors and windows – locations and sizes of windows have been changed



Poorly installed vinyl replacement windows – modern cement parging with patching and gaps around window openings



Rear elevation – replacement vinyl doors and windows – vinyl cladding on 2nd floor – poorly constructed enclosed porch and decks – poorly installed replacement vinyl windows



Rear and north side elevation – mish-mash of materials – poorly installed replacement vinyl windows



REAR ADDITION – concrete block foundation – cement parging above



REAR ELEVATION – roof is in very poor condition – shingles lifting and tarp on chimney – rotted soffit & fascia boards – poorly fitted replacement windows – patched siding



South side yard – poorly constructed deck and exit stair



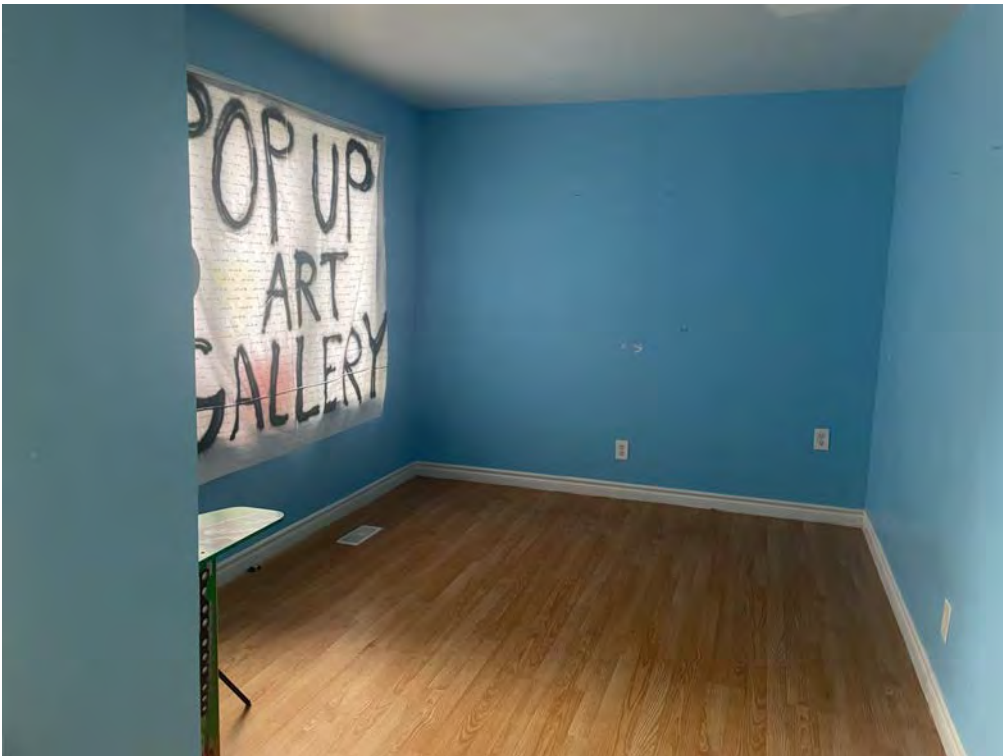
SIDE ELEVATION - parge foundation with cement stucco above – wood fire escape attached to stucco



INTERIOR – modern skylight in entrance hall is leaking – modern finishes – no historic features or finishes



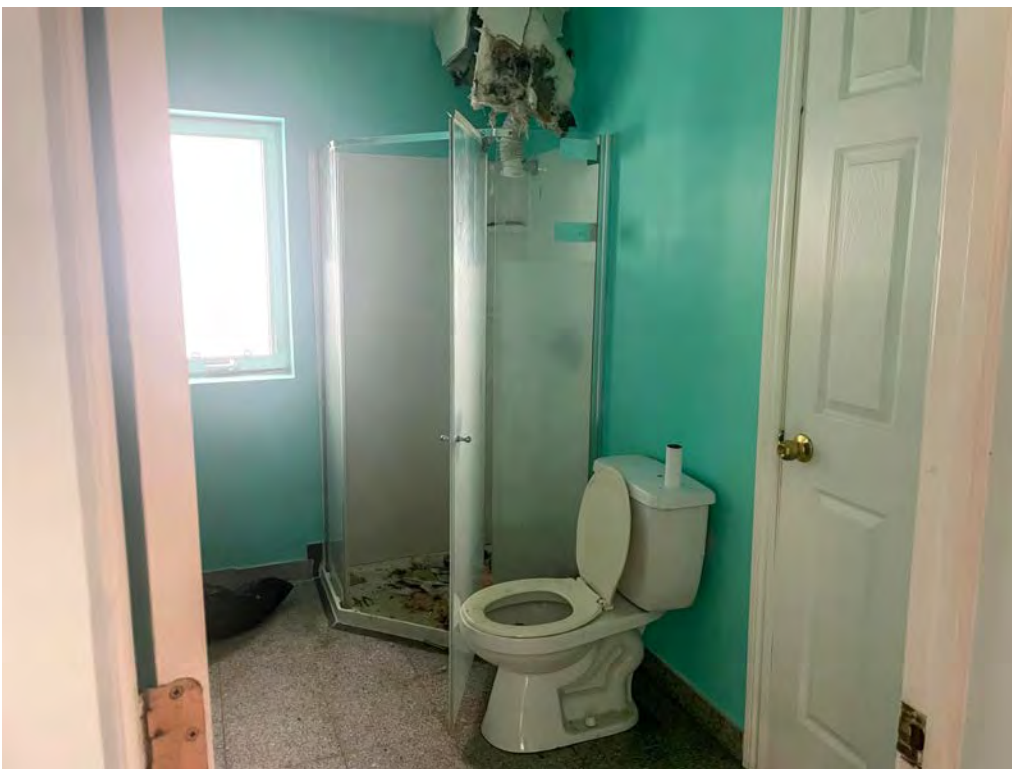
1st floor room – modern finishes – no historic features or finishes



Interior – 1st floor room - modern finishes – no historic features or finishes



Interior – 1st floor room - modern finishes – no historic features or finishes



Interior – 1st floor bathroom – a portion of the ceiling has collapsed - modern finishes – no historic features or finishes



Interior – 1st floor bathroom – water damage



Interior – 1st floor bathroom – wet insulation and drywall debris where a portion of the ceiling has collapses



Interior – 1st floor kitchen - modern finishes – no historic features or finishes



Interior – 1st floor kitchen dining area - modern finishes – no historic features or finishes



Interior – 1st floor laundry room - modern finishes – no historic features or finishes



Interior – 1st floor laundry room - modern finishes – no historic features or finishes



Basement – rubblestone – remnants of a late-19th or early 20th century foundation



Basement – rubblestone – remnants of a late-19th or early 20th century foundation



Basement – waterproof membrane installed in some areas of the basement to address damp issues



Basement – modern ducting installed through older foundation and wood joists – insulation debris and damp conditions



CONTEXT – typical small dwellings in the area – likely early 20th century construction, but heavily modified
– small lots - no garages



CONTEXT – adjacent dwelling – may be early-20th century construction but has been reclad and heavily modified with new doors and windows – well maintained



CONTEXT – adjacent dwelling – may be late-19th or early-20th century construction but has been reclad and heavily modified with new doors and windows - new pavers installed in the front yard for a parking pad – well maintained



CONTEXT – ranch style house nearby with attached 2-car garage facing the street



CONTEXT – new townhouses nearby with attached garages facing the street



CONTEXT – new townhouses nearby with attached garages facing the street



CONTEXT – new development nearby in a Neo-Modernist style with flat roofs - attached garage facing the street



VETERANS PARK – public park located close to the subject property

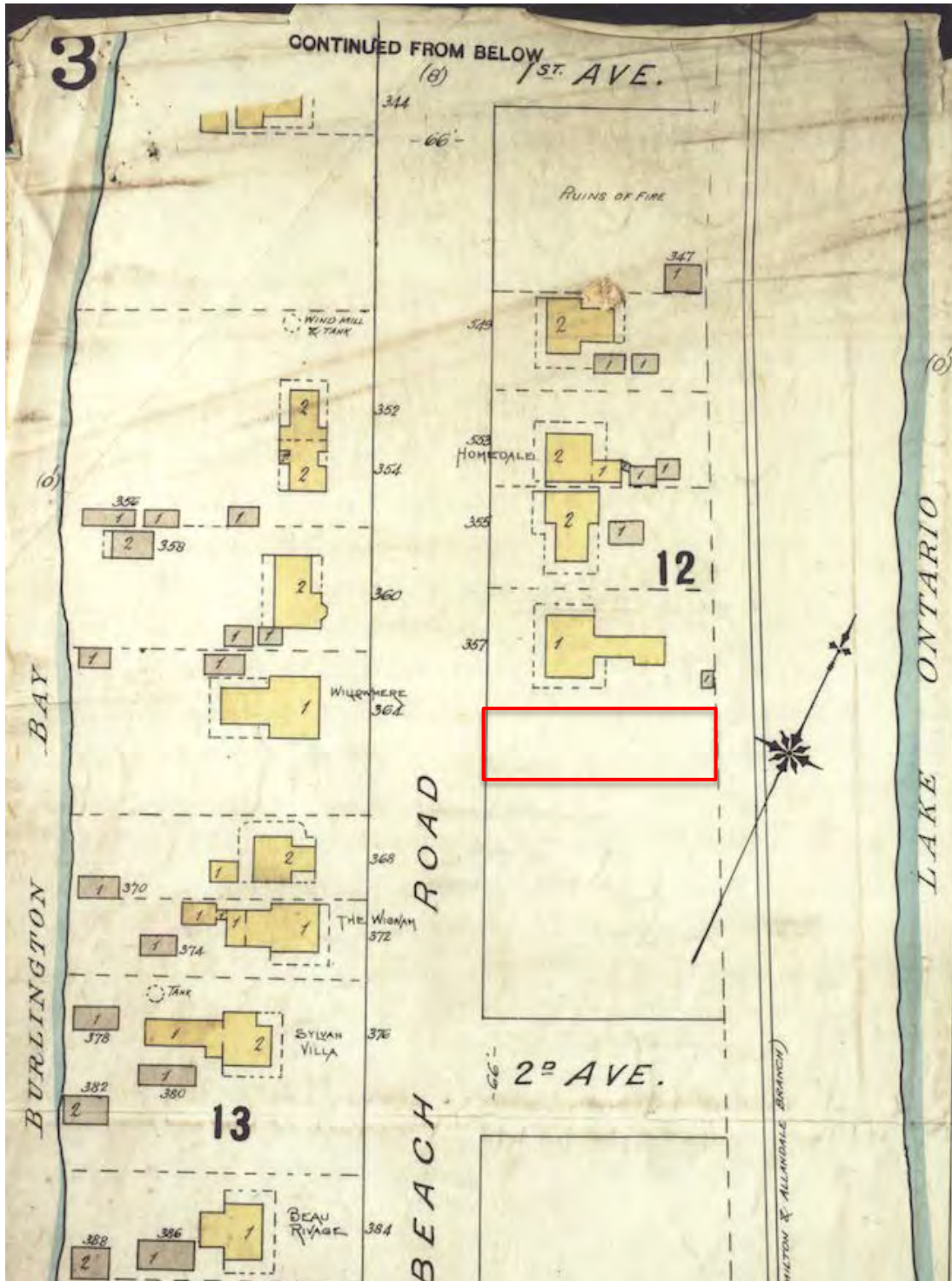


WATERFRONT TRAIL – public trail behind the subject property

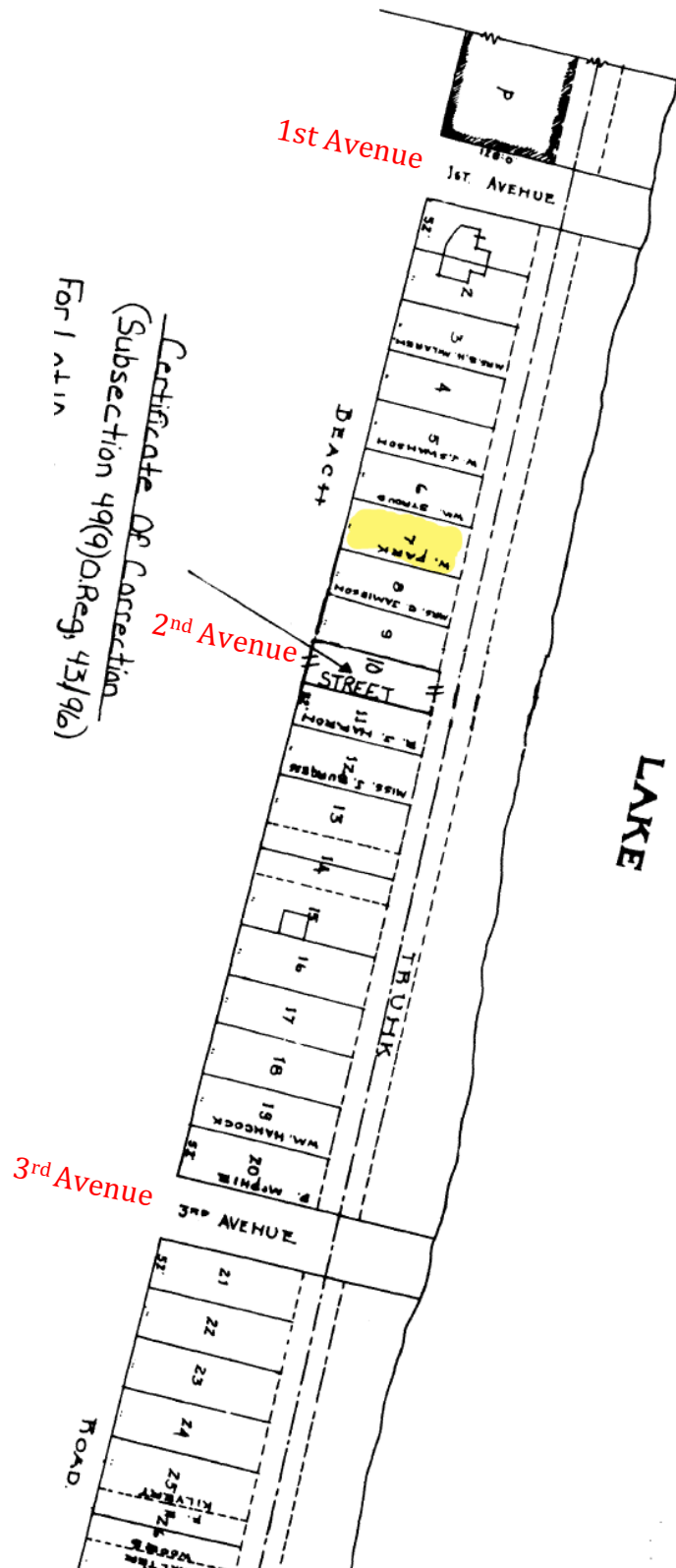


WATERFRONT TRAIL – view to the subject property from the public trail – currently an eyesore due to its poor condition and shoddy construction

APPENDIX B: HISTORIC DOCUMENTATION



1900 FIRE INSURANCE PLAN – Burlington Beach, Sheet 3 – no structures on the subject property

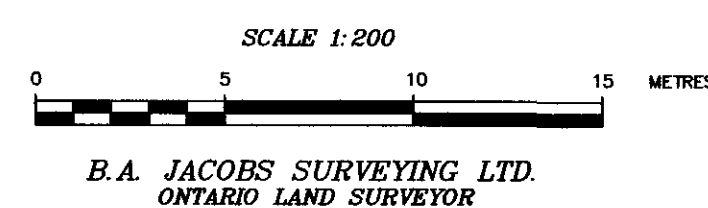


REGISTERED PLAN 452 (1910) – the subject property is Lot 7

SURVEYOR'S REAL PROPERTY REPORT - PART 1
PLAN OF

LOT 7
REGISTERED PLAN 452

CITY OF HAMILTON



METRIC NOTE:
DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE
CONVERTED TO FEET BY DIVIDING BY 0.3048.

BEARING NOTE:
BEARINGS HEREON ARE GRID BEARINGS AND ARE DERIVED FROM
THE EASTERLY LIMIT OF BEACH BOULEVARD AS SHOWN ON
PLAN 62R-14924 BEING N 22°42'40" W AND ARE BASED ON
THE NAD83, UTM COORDINATE SYSTEM, ZONE 17, CENTRAL
MERIDIAN 81° WEST LONGITUDE.

ELEVATION NOTE:
ELEVATIONS SHOWN ON THIS PLAN ARE REFERRED TO CONTROL
MONUMENT No. 07720100031.
LOCATION: RIB WITH BRASS CAP LOCATED ON THE NORTHEAST
END OF DIEPPE VETERANS MEMORIAL PARK, 64 m. EAST OF
THE CENTRELINE OF BEACH BLVD. AND 11.5 m. WEST OF THE
CENTRELINE OF THE HYDRO LINE, 40 m. FROM EDGE OF WATER.
ELEVATION = 77.667 m. (CGVD28:78)

LEGEND:

- DENOTES SURVEY MONUMENT FOUND
- DENOTES SURVEY MONUMENT PLANTED
- SIB DENOTES STANDARD IRON BAR
- IB DENOTES IRON BAR
- CC DENOTES CUT CROSS
- WT DENOTES WITNESS
- (N) DENOTES NO IDENTIFICATION
- P1 DENOTES REGISTERED PLAN 452
- P2 DENOTES PLAN 62R-14924
- P3 DENOTES PLAN 62R-15480
- P4 DENOTES PLAN BY A.J. CLARKE O.L.S. (FILE: E-5142)
- (S55) DENOTES J.T. PETERS O.L.S.
- (RHV) DENOTES REGION OF HAMILTON-WENTWORTH
- C.B. DENOTES CATCH BASIN
- M.H. DENOTES MANHOLE
- T.S. DENOTES TRAFFIC SIGN
- U.P. DENOTES UTILITY POLE
- 0.3φ DENOTES DIAMETER OF TREE

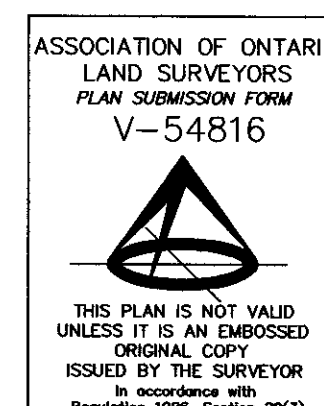
SURVEYOR'S REAL PROPERTY REPORT
PART 2 - REPORT SUMMARY

DESCRIPTION OF LAND
BEING ALL OF LOT 7, REGISTERED PLAN 452, KNOWN AS
MUNICIPAL No. 1007 BEACH BOULEVARD, CITY OF HAMILTON

REGISTERED EASEMENTS AND/OR RIGHTS OF WAY
NO EASEMENTS LISTED ON THE PARCEL REGISTER FOUND IN THE
LAND REGISTRY OFFICE.

BOUNDARY FEATURES
NOTE LOCATION OF THE FENCES AS THEY RELATE TO THE
BOUNDARIES OF THE SUBJECT PROPERTY.

COMPLIANCE WITH MUNICIPAL ZONING BY-LAWS
NOT CERTIFIED BY THIS REPORT



THIS REPORT WAS PREPARED FOR SANDRA CLARK

SURVEYOR'S CERTIFICATE

I CERTIFY THAT:
1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE
WITH THE SURVEYS ACT, THE SURVEYORS ACT AND THE
REGULATIONS MADE UNDER THEM.
2. THE SURVEY WAS COMPLETED ON JULY 23, 2024.

AUGUST 16, 2024.
DATE

BRYAN JACOBS
ONTARIO LAND SURVEYOR



B.A. JACOBS SURVEYING LTD.
152 JACKSON STREET EAST, SUITE 102
HAMILTON, ONTARIO (L8N 1J3)
PHONE 905-521-1535 bjacobs@rogers.com

© - COPYRIGHT

JOB No. 23058-T

BEACH BOULEVARD

(ESTABLISHED BY BURLINGTON BEACH COMMISSION BY-LAW No. 188, REGISTERED AS 1248 BY-LAW DATED JULY 7, 1949)
(TRANSFERRED BY ORDER IN COUNCIL 02-2180/04 EFFECTIVE JULY 9, 1994, INST. No. 1469 MISC. (P-2113-24))
(DEPOSITED PLAN No. 1469 MISC. (P-2113-24), P.I.N. 17568-0210 (L7))



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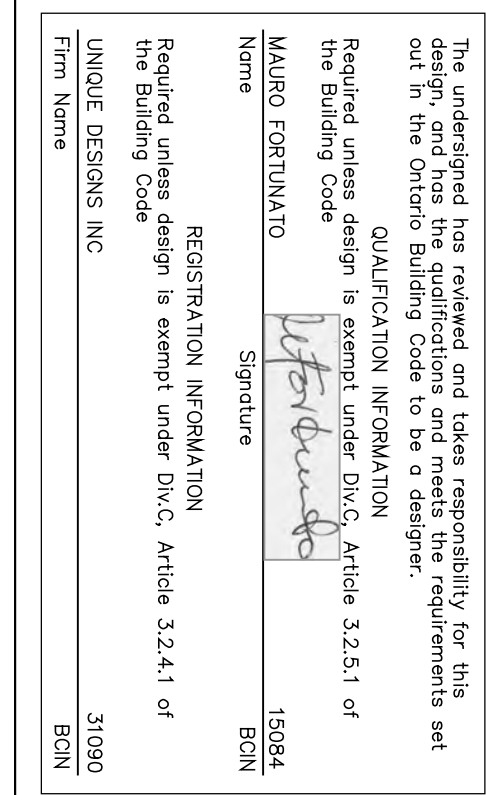
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A C H B L V D.
PLOT PLAN



UNIQUE DESIGNS
DRAFTING DESIGN INC.

UNIQUE DESIGNS INC.

PLOT PLAN

The Corporation of the City of Hamilton
BY-LAW NO. 99-169
To Amend:
Zoning By-law No. 6593

1. The "C" (Urban Protected Residential, etc.) District, the "O" (Neighbourhood Shopping Centre, etc.) District, and the "H" (Community Shopping and Community, etc.) District, as shown on Schedule "A"-1 and "A"-2, respectively, of Zoning By-law No. 6593, applicable to the lands east (lake side) of Beach Boulevard, the extent and boundaries of which are shown on plans hereto annexed as Schedules "A"-1 and "A"-2, are amended to the extent only of the special requirement that:

(a) all buildings and structures, including accessory buildings, shall provide a side yard along each side lot line, of a width of at least 1.7 metres; and

(b) notwithstanding clause (a), side yard may be reduced to a width of at least 1.5 metres, and may share a common wall between the adjoining properties has been approved under a Lot Grading Agreement or approved under a Side Yard Control Agreement; and

(c) notwithstanding clauses (a) and (b), Sections 18(3)(iv), (vico), and (vi) of the Act shall not apply to side yards.

2. The "C" (Urban Protected Residential, etc.) District provisions, as contained in Section 9 of the By-law No. 6593, applicable to the lands comprised in Blocks "1" and "2", the extent and boundaries of each Block are shown on a plan hereto annexed as Schedule "A"-3, are amended to the extent only of the special requirement that:

(a) no building or structure, except fences shall be located within 4.5 metres of the rear lot line;

(b) every fence, excluding the supporting posts must be at least 100mm from the ground to the top of the fence, so as not to obstruct the natural flow of water.

SITE STATISTICS

MUNICIPAL ADDRESS
10007 BEACH BLVD
HAMILTON, ONT.

BUILDING CLASSIFICATION

ZONING
C = URBAN PROTECTED RESIDENTIAL ETC

REQUIREMENTS FOR DETACHED

MIN. SIDE YARDS	1.2 M (3.94')
	6.0 M (19.69')
	7.5 M (24.61')
	11.0 M (36.09')

INTENSITY OF USE = LOT AREA
MIN LOT AREA 1200 SQ.M (30,375.13 SQ.FT.)
MIN REQ'D LOT AREA = 360.00 SQ.M. (3875.13 SQ.FT.)

OTHER BY-LAW REQUIREMENTS:

BY-LAW 00-136
MAX. HT. 9.0M (29.52')
FRONT YARD SETBACK 12.0M (39.37')
GARAGE WALL TO BE 1.5M (4.92') FROM FRONT WALL
OF DWELLING AND HAVE A FRONT YARD OF 7.5M (24.60')

BY-LAW 22-195 - 2 FAMILY PERMITTED.
MAX. HT. 9.0M (29.52')
FRONT YARD SETBACK 12.0M (39.37')
GARAGE WALL TO BE 1.5M (4.92') FROM FRONT WALL
OF DWELLING AND HAVE A FRONT YARD OF 7.5M (24.60')

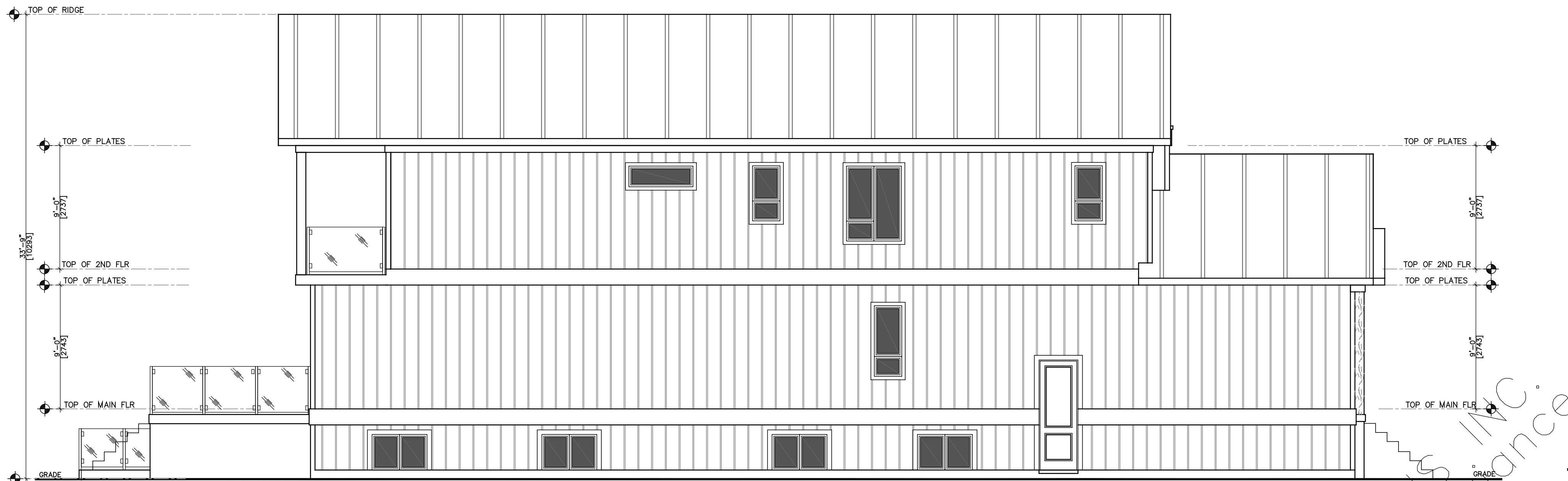
BY-LAW 99-168
MIN SIDE YARD 1.7M (5.57')
MIN SIDE YARD 1.5M PERMITTED WITH A GRADING PLAN
SHOWING COMMON SWALES BETWEEN DWELLINGS
UNDER AN APPROVED LOT GRADING AGREEMENT.
NO DRIVING OF MOTOR VEHICLES FROM A DRIVEWAY
TO BE WITHIN 4.5M OF REQUIRED REAR YARD.

REQUIRED/ QUESTIONS:

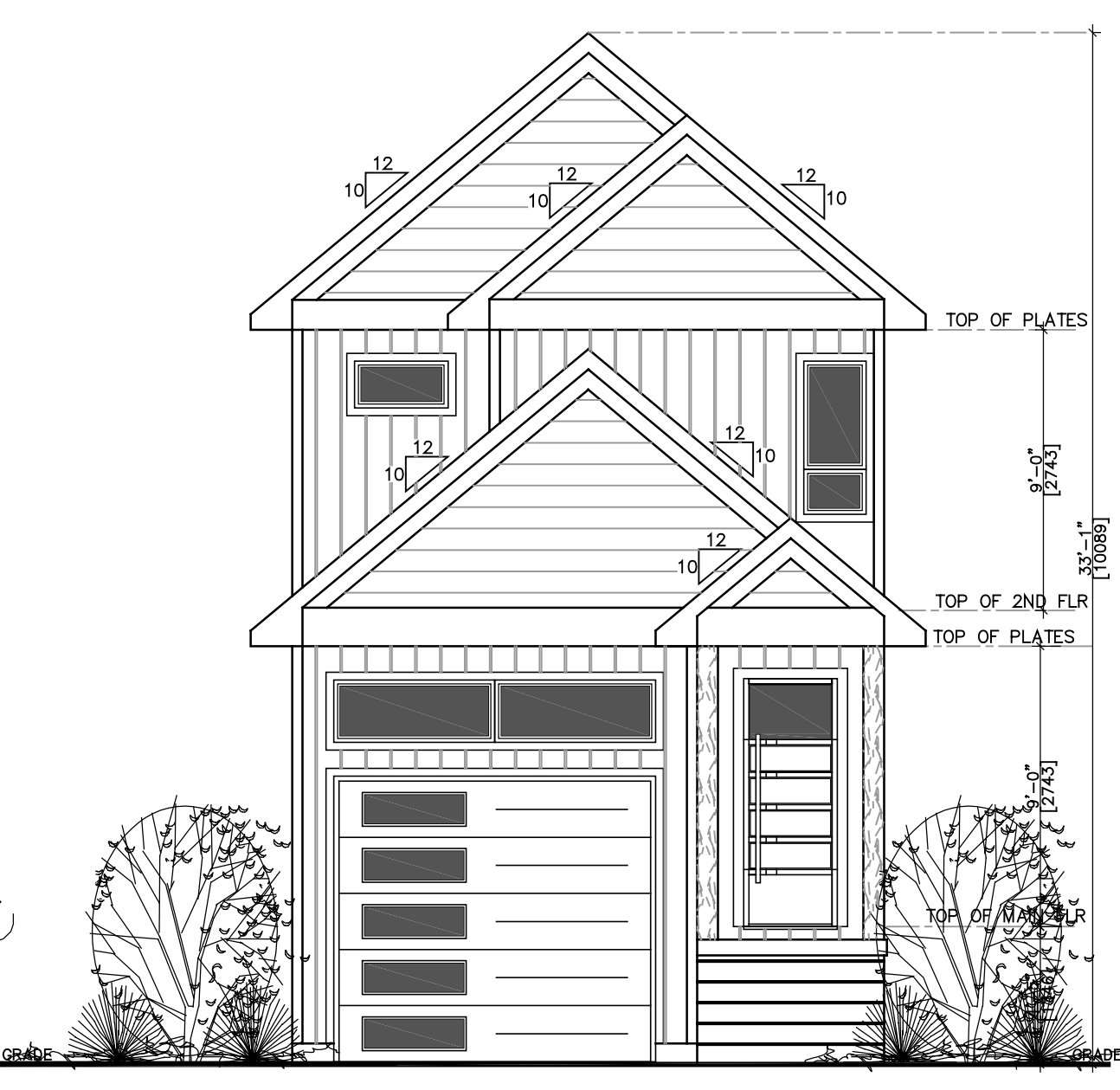
1. SEVERANCE OF PROPERTY INTO TWO PARCELS.
2. VARIANCE FOR LOT WIDTH - VIA SEVERANCE??
3. VARIANCE FOR SETBACKS SIDE YARDS ONLY 4'-0" ONE SIDE AND 5'-0" OTHER...UNDER GRADING PLAN AND APPROVAL?
4. VARIANCE FOR SETBACK OF GARAGE TO BE FLUSH OR CLOSE TO FLUSH WITH HAVING TO BE 1.5M BEHIND FRONT WALL AS ALLOT ONE NEW HOMES ON THIS SIDE ARE?
5. IS STREET PARKING PERMITTED?
6. CAN PARKING BE 1 CAR IN GARAGE AND STREET PARKING
7. CAN 3 UNITS BE A POSSIBILITY OR JUST TWO PER BUILDING?



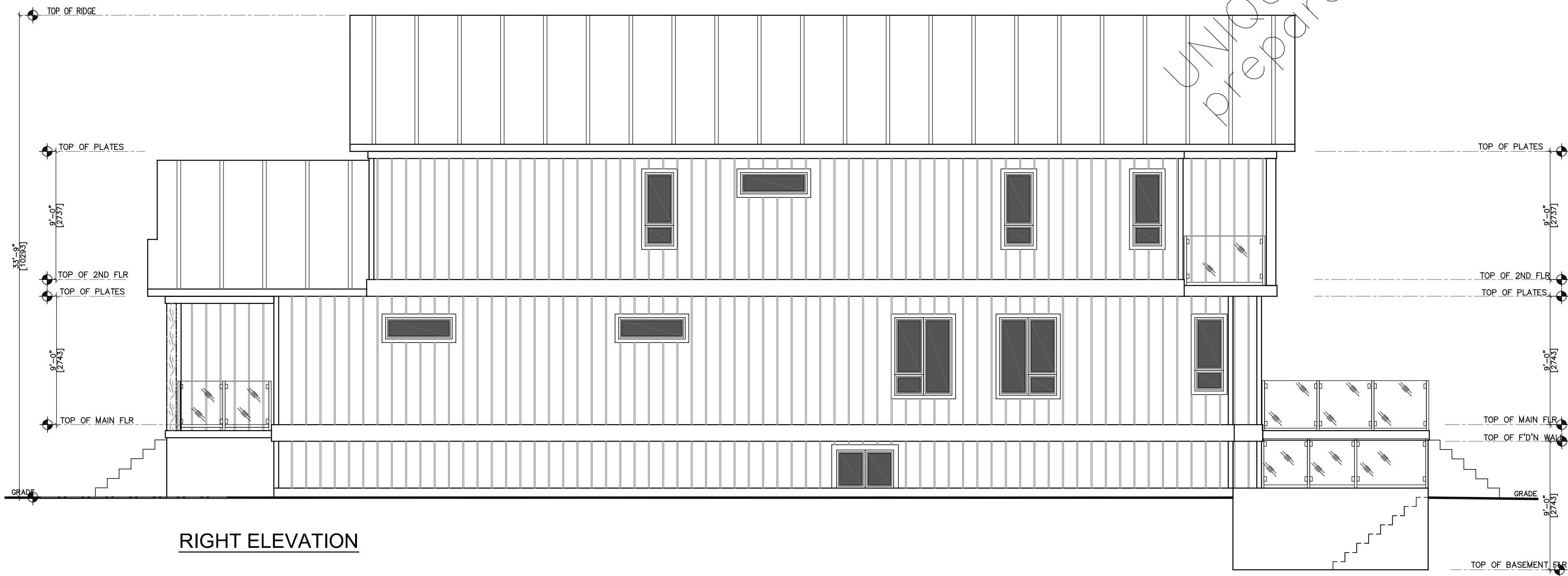
No.	DATE	DESCRIPTION
1.	07.26.23	ISSUED FOR REVIEW
2.	08.09.23	RE-ISSUED FOR REVIEW
3.	01.02.24	RE-ISSUED FOR SEVERANCE/ VARIANCES
4.	05.06.24	RE-ISSUED FOR SEVERANCE/ VARIANCES
5.	08.27.24	RE-ISSUED FOR SEVERANCE/ VARIANCES
6.		
7.		
8.		
		THESE DRAWINGS ARE NOT TO BE SCALED. CONTRACTOR MUST CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON THE PROJECT; AND MUST REPORT ANY DISCREPANCIES TO THE DESIGNER BEFORE PROCEEDING WITH THE WORK.
		THE USE OF THIS DRAWING OR PART THEREOF IS FORBIDDEN WITHOUT THE WRITTEN APPROVAL OF THE DESIGNER.



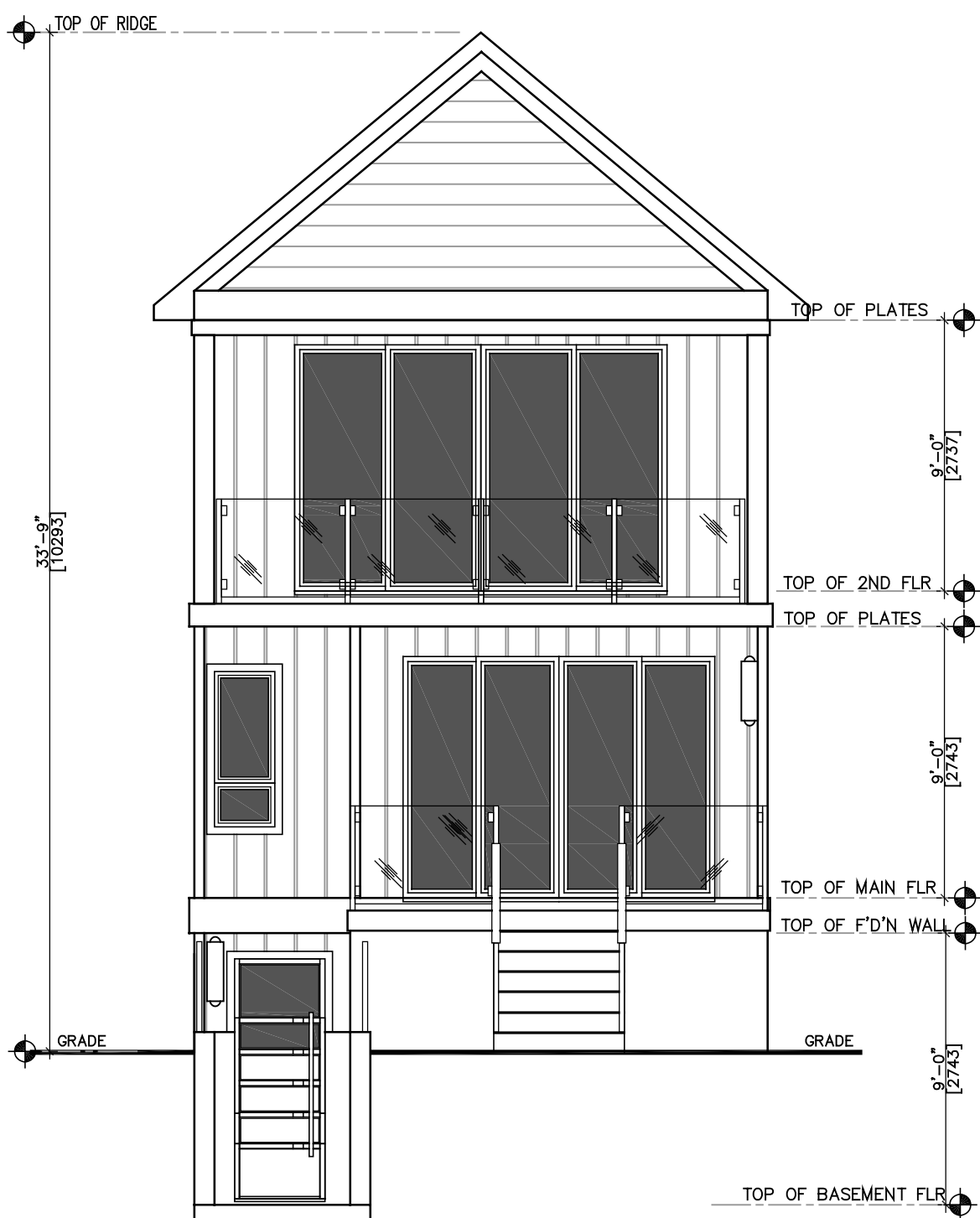
LEFT ELEVATION



OPTIONAL - FRONT ELEVATION - 'A'




RIGHT ELEVATION



REAR ELEVATION

A. ISSUED FOR PROPOSED LAND SEVERANCE AND REQUIRED MINOR VARIANCES



UNIQUE DESIGNS
INC.

CLARK
RESIDENCE

1007 BEACH BLVD.,
HAMILTON, ONT.

No.	DATE	DESCRIPTION
1.	07.26.23	ISSUED FOR REVIEW
2.	08.09.23	RE-ISSUED FOR REVIEW
3.	10.27.23	LOT SEVERANCE APPLICATION
4.	01.02.24	RE-ISSUED FOR SEVERANCE / VARIANCES
5.	05.06.24	RE-ISSUED FOR SEVERANCE / VARIANCES
6.	08.13.24	REVISED ELEVATION PER HERITAGE
7.	08.27.24	REVISED ELEVATION PER HERITAGE
8.		

THESE DRAWINGS ARE NOT TO BE
SCALED. CONTRACTOR MUST CHECK
ALL DIMENSIONS AND
CONSTRUCTION NOTES
AND REPORT ANY DISCREPANCIES
TO THE DESIGNER BEFORE PROCEEDING
WITH THE WORK.

THE USE OF THIS DRAWING OR PART
THEREOF IS FORBIDDEN WITHOUT THE
WRITTEN APPROVAL OF THE DESIGNER.

UNIQUE DESIGNS
INC.

PROPOSED ELEVATIONS
FOR BOTH SIDES

UNIQUE DESIGNS
INC.

LOT SEVERANCE
MINOR VARIANCE
APPLICATION

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION

Required unless design is exempt under Div.C, Article 3.2.5.1 of the Building Code

MAURO FORTUNATO
Name Signature 15084 BCIN

REGISTRATION INFORMATION

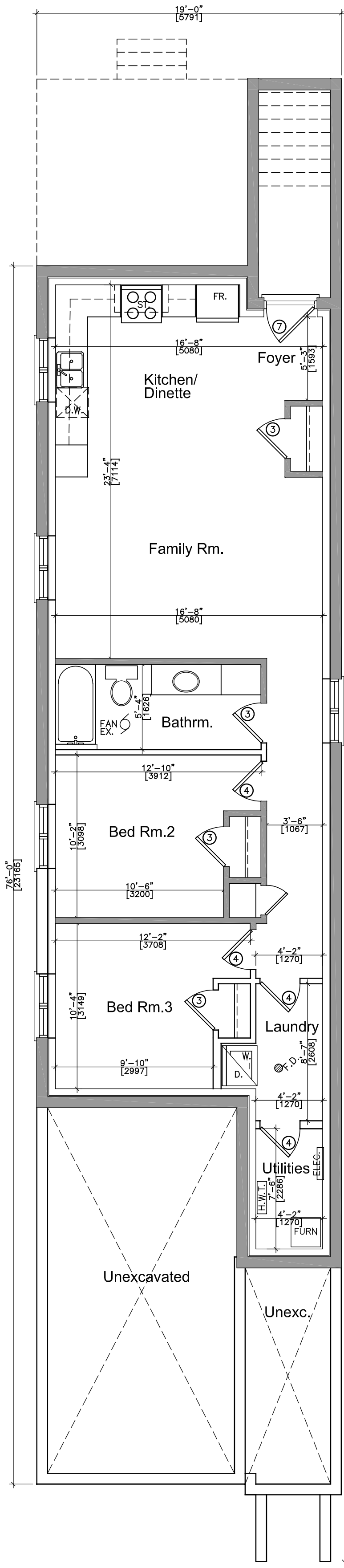
Required unless design is exempt under Div.C, Article 3.2.4.1 of the Building Code

UNIQUE DESIGNS INC 31090 BCIN
Firm Name

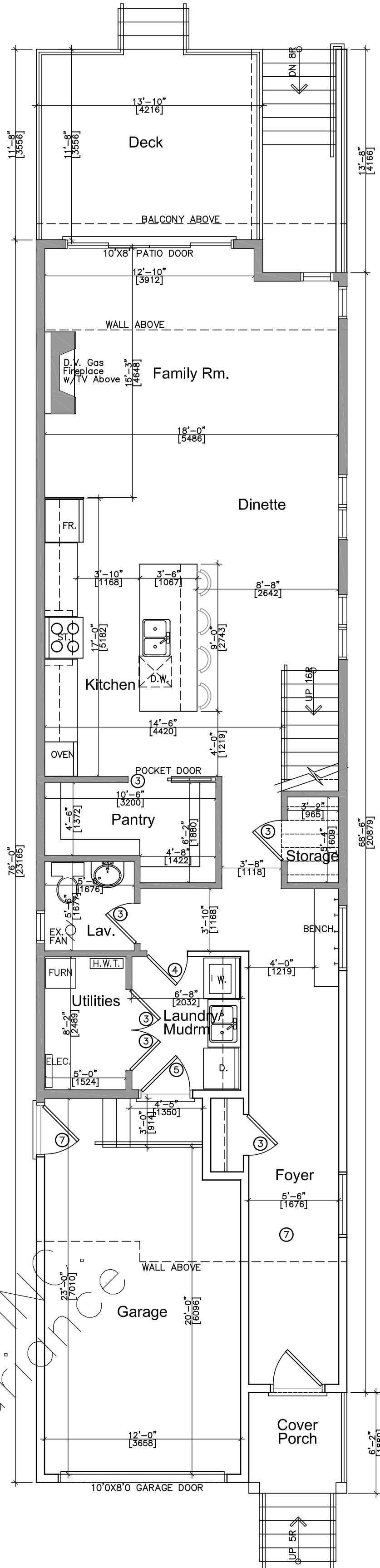
Drawn By	Scale
Date:	3/16"=1'-0"
10.27.23	
Job Number	
072423	

A1

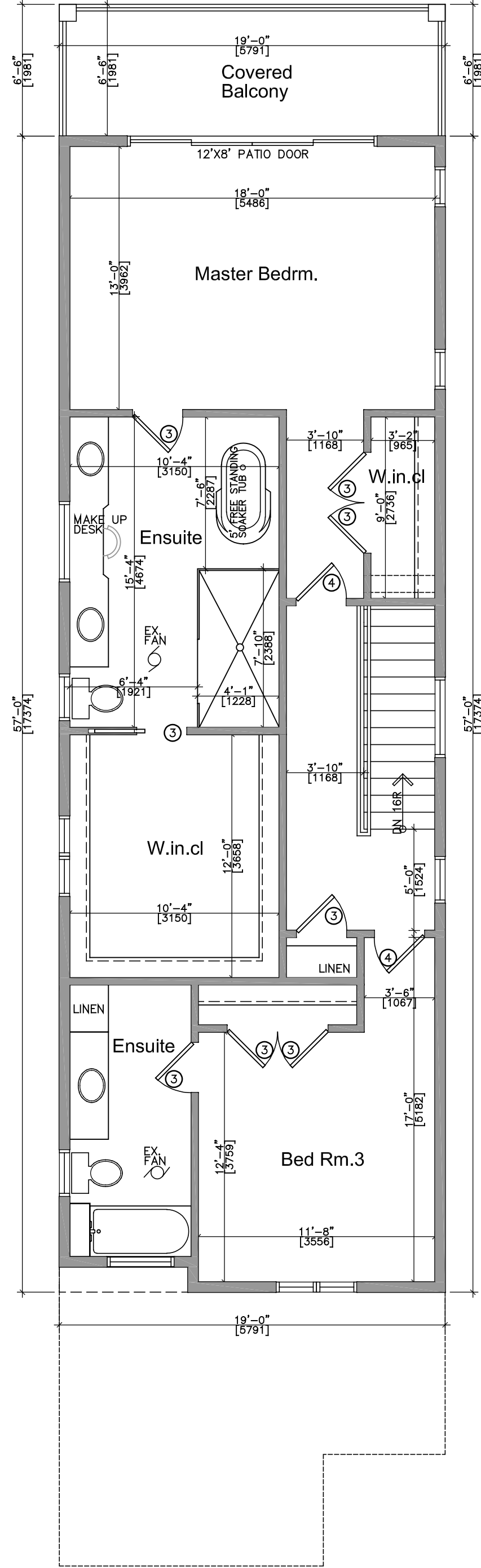
DO NOT SCALE DRAWINGS



FOUNDATION PLAN
PROPOSED ADU
LOWER LEVEL UNIT
794 SQ. FT.



FIRST FLOOR PLAN
1076 SQ. FT.
TOTAL: 2092 SQ. FT.



SECOND FLOOR PLAN - 'B'
1017 SQ. FT. ----- FOR ELEVATIONS 'A', 'B', 'C'.

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under Div.C, Article 3.2.5.1 of the Building Code
MAURO FORTUNATO
Name Signature 15084 BCIN

REGISTRATION INFORMATION
Required unless design is exempt under Div.C, Article 3.2.4.1 of the Building Code
UNIQUE DESIGNS INC. 31090 BCIN
Firm Name

UNIQUE DESIGNS INC.



LOT SEVERANCE
MINOR VARIANCE
APPLICATION

CLARK
RESIDENCE

1007 BEACH BLVD.,
HAMILTON, ONT.

Drawn By
Date: 10.27.23
Job Number
072423

Scale
3/16"=1'-0"

A2

A. ISSUED FOR PROPOSED LAND SEVERANCE AND REQUIRED MINOR VARIANCES

No.	DATE	DESCRIPTION
1.	07.26.23	ISSUED FOR REVIEW
2.	08.09.23	RE-ISSUED FOR REVIEW
3.	10.27.23	RE-ISSUED FOR REVIEW
4.	01.02.24	RE-ISSUED FOR SEVERANCE / VARIANCES
5.	05.06.24	RE-ISSUED FOR SEVERANCE / VARIANCES
6.	08.27.24	RE-ISSUED FOR SEVERANCE / VARIANCES
7.		
8.		

THESE DRAWINGS ARE NOT TO BE SCALED. CONTRACTOR MUST CHECK ALL DIMENSIONS AND DISCREPANCIES. THE USE OF THIS DRAWING OR PART THEREOF IS FORBIDDEN WITHOUT THE WRITTEN APPROVAL OF THE DESIGNER.

DO NOT SCALE DRAWINGS



DO NOT SCALE DRAWINGS

PROPOSED *N 22° 56' 10" W (P2 & Meas)*
(FOR EA. CREATED LOT) *57.309'*
(17.468m (Meas))

BEACH BLVD.

PLOT PLAN

1007 BEACH BLVD.,
HAMILTON, ONT.



UNIQUE DESIGNS
DRAFTING DESIGN INC.

UNIQUE DESIGNS INC.

SECONDARY DWELLING
UNIT - DETACHED

PLOT PLAN

No.	DATE	DESCRIPTION
1.	07.26.23	ISSUED FOR REVIEW
2.	08.09.23	RE-ISSUED FOR REVIEW
3.	01.02.24	RE-ISSUED FOR SEVERANCE/ VARIANCES
4.	05.06.24	RE-ISSUED FOR SEVERANCE/ VARIANCES
5.	08.27.24	RE-ISSUED FOR SEVERANCE/ VARIANCES
6.	01.17.25	RE-ISSUED FOR SEVERANCE/ VARIANCES
7.	05.14.25	RE-ISSUED FOR HERITAGE REVIEW
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THESE DRAWINGS ARE NOT TO BE SCALED. CONTRACTOR MUST CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON THE PROJECT; AND MUST REPORT ANY DISCREPANCIES TO THE DESIGNER BEFORE PROCEEDING WITH THE WORK.

THE USE OF THIS DRAWING OR PART THEREOF IS FORBIDDEN WITHOUT THE WRITTEN APPROVAL OF THE DESIGNER.



<p>The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.</p> <p>QUALIFICATION INFORMATION</p> <p>Required unless design is exempt under D.V.C., Article 3.2.5.1 of the Building Code</p>		
MAURO FORTUATO	Signature	15094 B/CN
<p>REGISTRATION INFORMATION</p> <p>Required unless design is exempt under D.V.C., Article 3.2.4.1 of the Building Code</p>		
UNIQUE DESIGNS INC		31090 B/CN

	3/16"=1'-0"
Date: 07.27.23	AO
Job Number 072423	



A. ISSUED FOR PROPOSED LAND SEVERANCE AND REQUIRED MINOR VARIANCES

No.	DATE	DESCRIPTION
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2.	08.09.23	RE-ISSUED FOR REVIEW
3.	10.27.23	LOT SEVERANCE APPLICATION
4.	01.02.24	RE-ISSUED FOR SEVERANCE / VARIANCES
5.	05.06.24	RE-ISSUED FOR SEVERANCE / VARIANCES
6.	08.13.24	REVISED ELEVATION PER HERITAGE TO THE DESIGNER BEFORE PROCEEDING WITH THE WORK.
7.	08.27.24	REVISED ELEVATION PER HERITAGE TO THE DESIGNER BEFORE PROCEEDING WITH THE WORK.
8.	01.17.25	RE-ISSUED FOR SEVERANCE / VARIANCES
9.	05.01.25	RE-ISSUED FOR HERITAGE REVIEW
10.	05.14.25	RE-ISSUED FOR HERITAGE REVIEW

No.	DATE	DESCRIPTION
1.	07.26.23	ISSUED FOR REVIEW
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5.	05.06.24	RE-ISSUED FOR SEVERANCE / VARIANCES
6.	08.13.24	REVISED ELEVATION PER HERITAGE TO THE DESIGNER BEFORE PROCEEDING WITH THE WORK.
7.	08.27.24	REVISED ELEVATION PER HERITAGE TO THE DESIGNER BEFORE PROCEEDING WITH THE WORK.
8.	01.17.25	RE-ISSUED FOR SEVERANCE / VARIANCES
9.	05.01.25	RE-ISSUED FOR HERITAGE REVIEW
10.	05.14.25	RE-ISSUED FOR HERITAGE REVIEW

UNIQUE DESIGNS INC.



PROPOSED ELEVATIONS
FOR BOTH SIDES

LOT SEVERANCE
MINOR VARIANCE
APPLICATION

CLARK
RESIDENCE

1007 BEACH BLVD.,
HAMILTON, ONT.

Drawn By

Scale

3/16"=1'-0"

Date:

10.27.23

Job Number

072423

A1

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION

Required unless design is exempt under Div.C, Article 3.2.5.1 of the Building Code

MAURO FORTUNATO 15084
Name Signature BCIN

REGISTRATION INFORMATION

Required unless design is exempt under Div.C, Article 3.2.4.1 of the Building Code

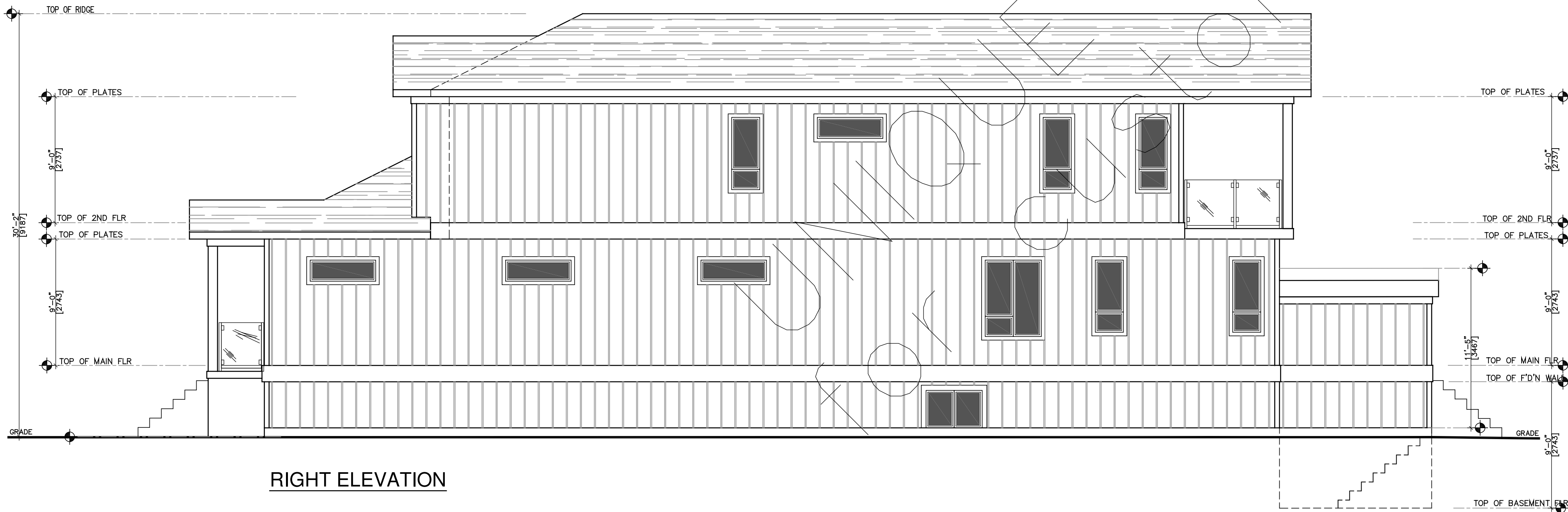
UNIQUE DESIGNS INC 31090
Firm Name BCIN

DO NOT SCALE DRAWINGS

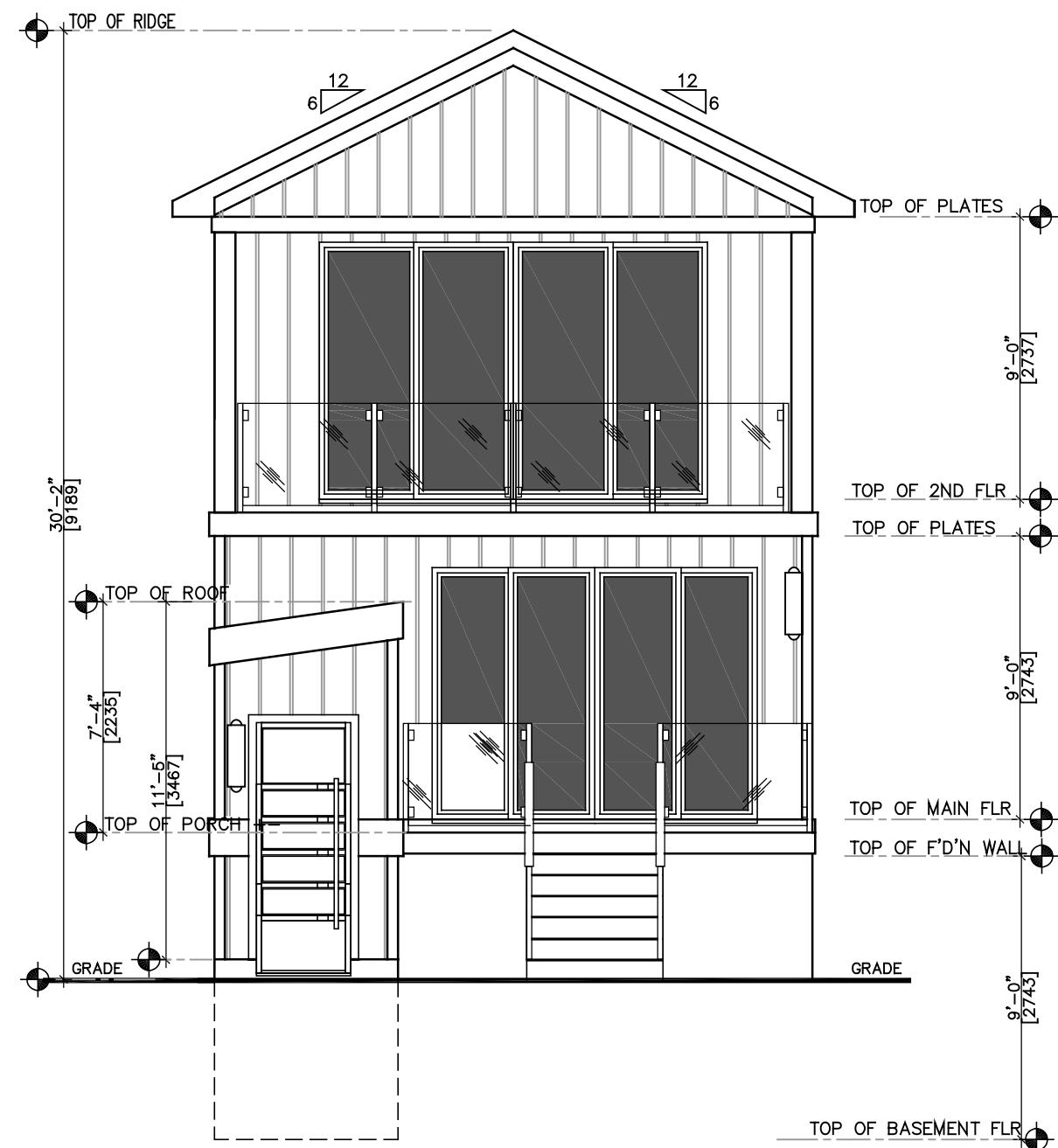


LEFT ELEVATION

FRONT ELEVATION



RIGHT ELEVATION



REAR ELEVATION



THESE DRAWINGS ARE NOT TO BE
 SCALED. CONTRACTOR MUST CHECK
 AND VERIFY ALL DIMENSIONS AND
 CONDITIONS ON THE PROJECT; AND
 MUST REPORT ANY DISCREPANCIES
 TO THE DESIGNER BEFORE PROCEEDING
 WITH THE WORK.

THE USE OF THIS DRAWING OR PART
 THEREOF IS FORBIDDEN WITHOUT THE
 WRITTEN APPROVAL OF THE DESIGNER.



UNIQUE DESIGNS
DRAFTING DESIGN INC.

UNIQUE DESIGNS INC.

PROPOSED FLOOR PLANS

LOT SEVERANCE
MINOR VARIANCE
APPLICATION

CLARK RESIDENCE

1007 BEACH BLVD.,
HAMILTON, ONT.

Drawn By	Scale
Date:	3/16" = 1'-0"
10.27.23	A2
Job Number 072423	