

**CITY OF HAMILTON**

**PLANNING AND ECONOMIC DEVELOPMENT DEPARTMENT**  
*Planning Division*

<b>TO:</b> Chair and Members Planning Committee	<b>WARD(S) AFFECTED:</b> WARD 12
<b>COMMITTEE DATE:</b> May 15, 2012	
<b>SUBJECT/REPORT NO:</b> Ancaster Wilson Street Secondary Plan and Official Plan Amendments (PED12078) (Ward 12)	
<b>SUBMITTED BY:</b> Tim McCabe General Manager Planning and Economic Development Department	<b>PREPARED BY:</b> Ric Martins (905) 546-2424, Ext. 1252
<b>SIGNATURE:</b>	

**RECOMMENDATION:**

- (a) That approval be given to Official Plan Amendment No. [REDACTED], to the former Town of Ancaster Official Plan, to adopt the Ancaster Wilson Street Secondary Plan, attached as Appendix “B” to Report PED12078, to add a new Secondary Plan and associated mapping, for lands along Wilson Street between Montgomery Drive and Hamilton Drive.
- (b) That approval be given to Official Plan Amendment No. [REDACTED], to the Urban Hamilton Official Plan, to adopt the Ancaster Wilson Street Secondary Plan, attached as Appendix “C” to Report PED12078, to add a new Secondary Plan and associated mapping, for lands located along Wilson Street between Montgomery Drive and Hamilton Drive, to be held in abeyance until the final decision has been made regarding the Urban Official Plan.
- (c) That the Ancaster Wilson Street Secondary Plan Urban Design Guidelines, attached as Appendix “D” to Report PED12078, be adopted.

**EXECUTIVE SUMMARY**

This Report presents the completed Ancaster Wilson Street Secondary Plan, and recommends adoption by Council. The Ancaster Wilson Street Secondary Plan has been prepared for the lands located along Wilson Street, between Montgomery Drive to Hamilton Drive/Meadowbrook Drive, as illustrated on Appendix “A”.

The purpose of the Ancaster Wilson Street Secondary Plan is to establish land uses, heritage and character conservation policies, urban design and associated guidelines, infrastructure requirements, and development standards to guide the development and/or redevelopment of lands located in the Ancaster Wilson Street Secondary Plan area for the next 20 years. At the same time, the Secondary Plan provides protection to the residential areas within and surrounding the Wilson Street area.

Once the Official Plan Amendment is adopted by City Council, the policies of the Secondary Plan will become part of the former Town of Ancaster Official Plan. The Secondary Plan will also be amended into the Urban Hamilton Official Plan once the plan is in effect, following resolution of the appeals currently before the Ontario Municipal Board.

Preparation of the Secondary Plan has involved extensive consultation with the public as the City engaged key stakeholders, including the Ancaster Community Council and the Business Improvement Area and broader community, in a variety of consultation events and strategies. City staff was also involved throughout the study process providing valuable input and expertise. The ultimate result was a preferred land use strategy for the area, which became the basis for the Ancaster Wilson Street Secondary Plan.

Accompanying the Secondary Plan is a set of Urban Design Guidelines, which are to be adopted by Council and will assist in conserving and promoting the unique character and design of the Ancaster Wilson Street area. Supported by the policies of the Secondary Plan, the objectives of the Ancaster Wilson Street Secondary Plan Urban Design Guidelines are to identify key opportunities and specific elements which contribute to the typical style of development along Wilson Street. The Guidelines aim to promote and encourage the development of an attractive, compact, safe, and pedestrian-oriented urban environment for the Ancaster Wilson Street area.

The Urban Design Guidelines will not form part of the Official Plan, but will be adopted by Council to guide the urban form and design of development within the Secondary Plan area. Development applications will be required to demonstrate how the proposed community design meets the intent of the Urban Design Guidelines.

**SUBJECT: Ancaster Wilson Street Secondary Plan and Official Plan Amendments  
(PED12078) (Ward 12) - Page 3 of 25**

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The Ancaster Wilson Street Secondary Plan is consistent with the City-Wide framework for planning policy. The Plan contains policies for new residential development at a range of densities, mixed-use development, parks, and open space areas. The Secondary Plan will allow for development of the area, which is sensitive to land uses in the surrounding area, including cultural heritage resources, the natural open space area, and existing low density residential development. Policies and the accompanying urban design guidelines direct that new development should be integrated with existing built-up areas to ensure compatibility.

The location of the Ancaster Wilson Street Secondary Plan area is constrained by infrastructure and transportation. The policies reflect this constraint with respect to the amount of redevelopment that can be achieved. The overall priorities and themes for the Secondary Plan were established early in the process and included conservation of heritage, enhancing the viability of the Secondary Plan area, improving pedestrian connectivity, and ensuring development is consistent with the character of Ancaster, while still allowing opportunity for development. Direction for the policies was also based on the Urban Hamilton Official Plan, which identified part of the Secondary Plan area as a “Community Node”, as well as general overall direction for land use, design, heritage, transportation, and parks and open space. A summary of the process undertaken to develop the Ancaster Wilson Street Secondary Plan is described in the attached summary report, titled “Ancaster Wilson Street Secondary Plan: Development of the Secondary Plan, Summary Report”, attached as Appendix “E”. Please note that the Executive Summary of the Summary Report has been attached to Report PED12078.

*Alternatives for Consideration - See Page 23.*

<b>FINANCIAL / STAFFING / LEGAL IMPLICATIONS</b> (for Recommendation(s) only)
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**Financial:** N/A.

**Staffing:** There are no staffing implications.

**Legal:** As required by the Planning Act, Council shall hold at least one (1) formal Public Meeting to consider an Official Plan Amendment.

**HISTORICAL BACKGROUND** (Chronology of events)

The Wilson Street area of Ancaster has long been the focus for community life and development for the former Town of Ancaster. The area known as the Village Core, located between Rousseaux Street and just west of Halson Street, functions as the traditional downtown for the Ancaster area. A large number of heritage and historic buildings are also located in and near the Village Core area and along Wilson Street.

In the past, there have been reviews of the area, including heritage guidelines completed in the late 1970's, as well as policy provisions in the existing Ancaster Official Plan for focusing commercial and community uses to the Village Core fronting on Wilson Street. The older parts of Ancaster, such as the Wilson Street area, have grown in stages in over two hundred years of Ancaster history. Despite the long tradition as the focus area for community life in Ancaster, a specific Secondary Plan for the downtown and Wilson Street area has never been adopted.

The Wilson Street area has grown and developed with only higher level policies over the years, without a comprehensive land use plan to ensure there is compatibility between different land uses. Individual developments have the potential to change the character of the Wilson Street area without the direction and guidance provided by a Secondary Plan.

**Urban Hamilton Official Plan**

In June 2009, the City of Hamilton adopted the Urban Hamilton Official Plan (currently under appeal at the Ontario Municipal Board). The Urban Official Plan is the first comprehensive Official Plan for the amalgamated City of Hamilton. The Official Plan is based on an urban structure of the City, which includes components such as Neighbourhoods, Employment Areas, Major Activity Centres, and Open Space areas. The City urban structure also consists of a collection of nodes connected by corridors. This “nodes and corridors” structure was the preferred form of development identified during the Growth Related Integrated Development Strategy (GRIDS), completed in June, 2006. During the development of the Urban Hamilton Official Plan, the Urban Structure of the City proposed through the GRIDS Report was refined, and ultimately became the basis for the basic development pattern for the Official Plan.

The Official Plan Urban Structure details a hierarchy of nodes. The highest order nodes in the City include the Downtown Urban Growth Centre, along with two “Sub Regional Nodes” at Eastgate and Limeridge Malls. Together, these three nodes are where the highest scale of development and intensification is to be directed, with a full range of community services, retail, and public institutional uses. The Official Plan Urban Structure also identifies several “Community Node” areas with similar function as the higher order nodes, but at a more local community focused scale. Many of the identified Community Nodes are the downtowns of the former municipalities. The Wilson Street area in Ancaster was one of the identified Community Nodes in the



**SUBJECT: Ancaster Wilson Street Secondary Plan and Official Plan Amendments  
(PED12078) (Ward 12) - Page 5 of 25**

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Official Plan's Urban Structure. The Ancaster Community Node is the area where there is a focus of community services, retail, and mixed-use development.

The Urban Hamilton Official Plan states that several Community Nodes would be subject to a more detailed review of land use through the development of a Secondary Plan. The Ancaster Community Node and surrounding area is the first of the identified Community Nodes to undergo a Secondary Plan process. Community Nodes are intended to be vibrant, mixed-use areas, which promote new development that respects the existing built form, provides linkages between core and surrounding areas, and encourages active transportation. The Secondary Plan for the Ancaster Community Node and surrounding area was developed to assist in maintaining a vibrant and attractive healthy community, meeting not only the urban structure policies but also the larger objectives of the Urban Hamilton Official Plan.

**Additional Secondary Plan Direction**

In addition to the Urban Hamilton Official Plan direction, the Ancaster Wilson Street Secondary Plan and Community Node area was chosen as the first of the Community Node areas to undergo Secondary Planning based on a 2009 City-Wide review of Secondary Plans, evaluating and prioritizing potential new Secondary Plan areas. The Council-approved Secondary Plan work plan identified that Ancaster ranked as a high priority for Secondary Plan review based on several factors including:

- Ongoing development pressure;
- The ongoing Ancaster Transportation Master Plan;
- Concern for preservation of the unique heritage and character of the Ancaster Village Core area; and,
- Concern for potential infrastructure constraints.

While the Community Node in Ancaster was, in part, the initial rationale for developing a Secondary Plan, the actual node area is limited to select areas along Wilson Street (see Schedule "D" of Appendix "B", and Appendix "E" of Appendix "C"). The Ancaster Community Node is a sub-area of the Secondary Plan, which includes the traditional Village Core and a nearby second large mixed-use commercial area, joined by a segment of Wilson Street, which is also becoming a focus area for a mixture of uses. In order to facilitate a more comprehensive review, a Secondary Plan for the larger area along Wilson Street, including the adjacent residential areas to the Community Node, was initiated in late 2010. The intent of the Secondary Plan was to evaluate the land use and conserve the existing heritage and character features, not only in the Community Node, but also in the greater Secondary Plan area, including the lands located along Wilson Street between Montgomery Drive to Hamilton Drive/Meadowbrook Drive, as illustrated in Appendix "A".

## **Ancaster Transportation Master Plan**

In addition to the land use planning for the Wilson Street area, a Transportation Master Plan was completed for the entire former Town of Ancaster as the Secondary Plan study was initiated. The Ancaster Transportation Master Plan (ATMP) provided an overall review of the transportation needs and challenges for the Ancaster area, including Wilson Street. There has been a high level of interest and concern in Ancaster, especially along Wilson Street, that traffic and transportation, in general, were becoming increasingly difficult to manage, and that there was a negative impact being felt in places such as the Wilson Street and Village Core area.

The ATMP proposed various measures to better manage traffic flow for automobile, active transportation, and transit related traffic. For the Wilson Street area, turning lanes and improved intersections and additional pedestrian crossings were recommended as a means to improve overall traffic for various modes of transportation. While the ATMP provided recommendations to improve the operation and management of traffic to facilitate overall functionality along Wilson Street, it is recommended that land use has a role to play in ensuring that transportation is managed for areas of constraint such as Wilson Street. The ATMP recognized that proper allocation of land use can strike a balance between accommodating various modes of transportation, such as transit and active transportation, while limiting future development of the area to a level where traffic will not overwhelm the existing and available capacity.

## **POLICY IMPLICATIONS**

The major elements of the policy framework affecting the study area for the Ancaster Wilson Street Secondary Plan are outlined below.

### **PROVINCIAL PLANNING FRAMEWORK**

#### **1.0 Provincial Policy Statement (2005)**

The Provincial Policy Statement, 2005 (PPS, 2005) provides policy direction on matters related to land use planning, conservation, and development. In regard to the growth and development of these urban lands, the PPS requires municipalities to focus growth in Settlement Areas and implement policies such as 1.1.1b) “*accommodate an appropriate range and mix of residential, employment, recreational, and open spaces uses to meet long term needs*”. Policies 1.1.3.2 and 1.4.1 speak to the provision of densities that efficiently use land to allow for a mixture of uses and promote intensification and compact urban form. The Secondary Plan promotes some intensification consistent with Policy 1.1.3.3. In addition to efficiently using land, the proposed plan is also consistent with PPS Policy 2.1.1, which requires that natural features/areas shall be protected for the long term.

As such, the proposed Wilson Street Secondary Plan policy direction is consistent with the Provincial Policy Statement.

## **2.0 Places to Grow Growth Plan (2006)**

The Places to Grow: Growth Plan is the Ontario Government's program to manage growth and development in a way that supports economic prosperity, protects the environment, and helps communities achieve a high quality of life across the province. This Plan guides decisions on a wide range of issues, including: economic development, land use planning, urban form, housing, natural heritage and natural resource protection, and provincial infrastructure planning. More specifically, it provides broad-level policies generally applicable throughout the Greater Golden Horseshoe. The Growth Plan is a 25-year plan that aims to:

- Revitalize downtowns to become vibrant and convenient centres;
- Create complete communities that offer more options for living, working, learning, shopping, and playing;
- Provide housing options to meet the needs of people at any age;
- Curb sprawl and protect farmland and green spaces; and,
- Create pedestrian-friendly urban environments.

The Growth Plan provides direction for managing growth including already built-up areas. Growth should be managed by directing a portion of new growth to built-up areas in the community through intensification, reducing the dependency of the automobile through development of mixed-use areas and encouraging the creation of complete communities. The policies of the Ancaster Wilson Street Secondary Plan, especially the Community Node section of the Plan, are consistent with this direction. Intensification and infill development are balanced with the need to ensure compatibility between existing and new development.

The proposed Ancaster Wilson Street Secondary Plan implements the policies of the Growth Plan, as demonstrated in the proposed policies and land use schedule of the Secondary Plan.

### **Niagara Escarpment Plan**

The Niagara Escarpment Commission (NEC) is responsible for protection of the Escarpment and lands within its vicinity. A portion of the proposed Wilson Street Secondary Plan area is designated as Urban Escarpment Natural Area. The Urban designation means that lands may be developed in accordance with specific development criteria. However, development should be compatible with the visual and natural environment of the Escarpment. The proposed Ancaster Wilson Street Secondary Plan achieves compatibility with the natural environment of the escarpment

## **MUNICIPAL PLANNING FRAMEWORK**

### **1.0 Hamilton-Wentworth Official Plan**

In the former Region of Hamilton-Wentworth Official Plan (HWOP), the Wilson Street Secondary Plan area is designated as Urban. The Urban designation provides for:

*“A wide range of urban uses are permitted on lands designated “Urban” if full municipal services are available. The HWOP land use strategy for the Urban Area consists of a compact urban form and a firm urban area boundary. Infrastructure and Services are key components to supporting development.”*

The Regional Official Plan also requires that Area Municipalities undertake Secondary Plans to target density, population/employment ratio, and intensification. The land use designations outlined in the Secondary Plan will result in opportunities for intensification through increased density in the urban area. This intensification, in turn, will make efficient use of existing and proposed services and infrastructure. As such, the proposed plan complies with the land use and infrastructure policies of the former Region of Hamilton-Wentworth Official Plan.

### **2.0 Town of Ancaster Official Plan**

The former Town of Ancaster Official Plan designates the study lands as **Residential, Commercial, Institutional, and Open Space and Conservation**. The policy directions that are most relevant include:

**Residential** - This designation permits dwellings as the primary use. Residential buildings are not to be more than three storeys in height, except for specific areas. A range of housing is permitted, as well as other uses necessary to serve residents such as schools, parks, and Places of Worship.

**Commercial** - This designation permits various commercial uses such as retail, restaurants, and service uses. Provision in the policy also allows some residential uses mixed with commercial uses, as long as the heights are limited to three storeys. Commercial policies also provide direction for the Village Core commercial area.

**Institutional** - The predominant use of institutional designated lands are indented for public and private uses serving religious, charitable, educational, governmental, and the health and welfare needs of the community.

**Open Space and Conservation** - This designation primarily permits open space uses that are for recreation and conservation. These uses include both passive and active recreation. Parks and open spaces may be further delineated through Secondary Plans. Policy 4.3.3 states that Council shall encourage the provision of a playfield facility in the Village Core. The Village Green Park is located adjacent to the Town Hall, and is easily accessible by pedestrian and vehicle traffic, as well as transit, which is located on Wilson Street.

The former Town of Ancaster Official Plan also contains provisions for the transportation network, such as the classification of roads. Policies for the Niagara Escarpment Area are also detailed in the Official Plan, as well as natural open spaces and Niagara Escarpment Lands. Lands within the Niagara Escarpment Plan are subject to Niagara Escarpment Plan policies.

The former Town of Ancaster Official Plan will have to be amended to include the new designations set forth in the Ancaster Wilson Street Secondary Plan. The Secondary Plan policies provide refinement and more specific direction to the broader policies of the Ancaster Official Plan.

### **3.0 Urban Hamilton Official Plan (MMAH Modified, Currently Under Appeal to the Ontario Municipal Board)**

On July 9, 2009, City Council adopted the Urban Hamilton Official Plan. The Plan was approved, with modifications, by the Ministry of Municipal Affairs and Housing in March, 2011. This Plan is currently under appeal to the Ontario Municipal Board.

The Urban Structure of the City is detailed in Section E of Volume 1 of the Plan. The Urban Structure details the key land use components of the City, including Neighbourhood, Employment, and Opens Space areas. The Urban Structure also identifies a series of nodes and corridors. Nodes are areas such as the downtowns of the former area municipalities, which are intended to provide a broad mix of uses and contain higher densities than the surrounding neighbourhoods. Community Nodes are indented to function as vibrant, mixed-use areas, which promote new development that respects the existing

built form, provides linkages between core and surrounding areas, and encourages active transportation. Part of the Wilson Street area is identified as a Community Node. The Ancaster Community Node has a target density of 50 people and jobs per hectare over the next 20 years. The Urban Official Plan policies direct that the density target may be adjusted as part of a Secondary Plan. Through the Wilson Street Secondary Plan study process, it was determined that the current target of 50 people and jobs per hectare is still appropriate, and was thus maintained in the proposed Secondary Plan. The Community Node policies and density target only apply to the Community Node area identified on Schedule “D” of Appendix “B”.

Lands in the Ancaster Wilson Street Secondary Plan are designated or classified as follows:

- Schedule “A” - Provincial Plans: Niagara Escarpment Plan: Urban Area and Natural Area;
- Schedule “B” - Natural Heritage System - Core Areas, Linkage;
- Schedule “E” - Urban Structure - Community Node, Major Open Space; and,
- Schedule “E-1” - Urban Land Use Designations - Neighbourhoods, Mixed-Use - Medium Density, Institutional and Open Space.

The majority of the lands in the Secondary Plan area are residential, which allow a range of residential and related uses. Two areas are designated as Mixed-Use - Medium Density, which allows a range of commercial and accessory residential uses. Institutional uses located in the study area include schools, churches, and museums. Open Space uses are also located in the eastern segment of the study area, and include lands which are part of the Niagara Escarpment area.

In Volume 3 of the Urban Hamilton Official Plan, a portion of the Wilson Street Secondary Plan area is identified as Area Specific Policies UA-1, UA-2, and UA-3. These Areas Specific policies limit the heights of development to three storeys, limit additional commercial uses in the Fiddlers Green Road/Jerseyville Road/ Wilson Street Roads area, and provide policies for the Village Core area, respectively.

An amendment to the new Urban Hamilton Official Plan will be required to include the new designations and policies of the proposed Ancaster Wilson Street Secondary Plan.

## **RELEVANT CONSULTATION**

Public consultation was an important component of the planning process for the Ancaster Wilson Street area. A variety of consultation methods were utilized from Public Meetings, consultation with a Citizen's Liaison Committee, to meetings with key stakeholders and community organizations. Public consultation was a key driver in setting the priorities for the Secondary Plan.

### **Technical Advisory Committee**

The Technical Advisory Committee (TAC) is a task-oriented Committee formed by the Community Planning Section, which is made up of members from various City Departments such as Planning and Economic Development, Public Works, Community Planning, Community Services, HSR, etc. Members of TAC provide input and feedback on Secondary Plans and related planning studies.

TAC members provided comments and direction from their area of expertise for the Ancaster Wilson Street Secondary Plan. Members assisted in identifying issues, developing and reviewing alternative solutions, and providing comments on the Ancaster Wilson Street Area Secondary Plan. The TAC also reviewed drafts and options to ensure an overall comprehensive and appropriate Secondary Plan.

### **Public Information Centres**

Public consultation for the Wilson Street Secondary Plan began in January 2011, and continued through 2012. It was important to engage the residents, landowners, key organizations, and other stakeholders from the beginning of the process. The study team undertook key steps in the public consultation process to ensure that the outcomes of the Ancaster Wilson Street Secondary Plan reflected the interests and concerns of potentially affected people and parties.

The Wilson Street Secondary Plan public consultation involved several public events throughout the study process. To encourage public participation, notices were advertised in the "Ancaster Community News" newspaper, and an invitation notice was mailed to residences and businesses in the study area, along with interested parties. The following is an outline of the Public Information Centres (PIC) that have occurred to date:

- **PIC #1 - January 25, 2011** - A Public Information Centre (PIC) was held to provide an introduction to the study purpose and process for the Secondary Plan for the Wilson Street Area in Ancaster. Background information on the study area was also presented, along with a request for interested residents and business owners to apply to participate on a Citizen's Liaison Committee.

**SUBJECT: Ancaster Wilson Street Secondary Plan and Official Plan Amendments  
(PED12078) (Ward 12) - Page 12 of 25**

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- **PIC #2 - October 14, 2011** - The second Public Information Centre on this study was held to inform the public on the status of work completed to date, to review comments from the previous PIC, and discuss the initial direction for land use. Citizens were also asked to review a variety of land use options, which would form the basis for the draft land use policies and development option. Rather than two or three distinct options, residents were asked to review a variety of slightly different options for identified sub-areas along the study area and choose their preferred options regarding land use, height, scale, design, etc.

A presentation and workshop for the Urban Design Guidelines was also held to inform residents on the purpose and direction of the guidelines, as well as to obtain feedback on what the public priorities were in regard to Urban Design for the study area.

- **PIC #3 - December 7, 2011** - The third and final Public Information Centre was held to present the preferred draft land use option. A presentation was given explaining the various land use designations and their implications for future development in Ancaster. Information was also presented on panels in an “Open House” environment. The final draft land use plan was based on comments received both from the public and CLC, as well as internal staff. Final amendments were made to the plan following the PIC based on comments received. The PIC also gave an overview of the Urban Design Guidelines and their relationship with the policies. Residents were given the opportunity to review and ask questions of staff regarding the draft land use policy and mapping.

A more detailed overview of the extent and contents of the PIC’s is provided in Appendix “E”.

**Citizen’s Liaison Committee**

A Citizen’s Liaison Committee (CLC) was established early in the Secondary Plan process to work with the project team. A group of stakeholders from the community comprised of local residents, property owners, business owners, and key stakeholders, was established to provide input to the City throughout the process. Volunteer members of the CLC included:

- Dr. Peter Banting
- Suzanne Bauman
- Lourdes Jimenez
- Henry Krukowski
- David Wolfe
- James Goodram
- Marty Schure
- Tracy McMurter
- Karen Wilkins
- Margaret Hendricks



**SUBJECT: Ancaster Wilson Street Secondary Plan and Official Plan Amendments  
(PED12078) (Ward 12) - Page 13 of 25**

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The CLC met with the project team at key points during the development of the Secondary Plan to provide preliminary feedback on emerging ideas, directions, and options. The role of the CLC was to provide a community perspective on issues, planning processes, and solutions.

The CLC provided a forum for in-depth discussion of project issues with a representative group of interested stakeholders. The CLC helped to identify priorities and set the direction, as well as assess the possible reaction of the public. The CLC was established following the first PIC. A total of five CLC meetings were held on a variety of topics including:

- Visioning and analysis of strengths, weakness, opportunities, and threats to the Secondary Plan area;
- Discussion on density, intensification, and urban form;
- Evaluation and identification of key landmarks and features, and identification of priority areas in the Secondary Plan area;
- Setting urban design priorities and identifying different character areas; and,
- Review and comment of land use options and draft land use policies and mapping.

Details on the CLC meetings are provided in the Secondary Plan “Summary Report” in Appendix “E”. Overall, the key comments and concerns raised throughout the process by the public through both the CLC and PIC’s were:

- The heritage and character of the Ancaster area should be conserved and enhanced;
- New development should be of a similar scale and character of existing areas, and be of good quality design and pedestrian oriented;
- Traffic on Wilson Street;
- The Village Core area should be maintained as the key focus area for community life and niche retail (village atmosphere) commercial and service uses; and,
- Opportunities should be pursued to enhance pedestrian movement and access.

### **Community Organizations**

In addition to the CLC and PIC's, consultation in the community included communication with two key community associations: the Business Improvement Area (BIA), and the Ancaster Community Council (ACC). Both these groups have interest in the development of the Secondary Plan. Presentations were given to both the ACC and BIA in March and May, 2011, respectively. Feedback from these two groups provided detailed insight into the community and business perspective regarding the land use direction. Follow up meetings were held with these groups in March and April, 2012, prior to finalizing of the proposed Secondary Plan.

### **Agency Consultation**

The following agencies were circulated for comments on the Secondary Plan study:

- Bell Canada
- Cogeco Cable
- CN Rail
- CP Rail
- Enbridge Pipelines
- French Public School Board
- French Catholic School Board
- Grand River Conservation Authority
- Hamilton Conservation Authority
- Hamilton International Airport
- Hamilton-Wentworth Catholic District School Board
- Hamilton-Wentworth District School Board
- Haudenosaunee (Six Nations Traditional Council)
- Horizon Utilities Corporation
- Huron-Wendat First Nation at Wendake
- Hydro One
- Ministry of Natural Resources
- Ministry of the Environment
- Ministry of Transportation
- Mississaugas of the New Credit First Nation Elected Chief and Council
- Municipal Property Assessment Corporation
- Niagara Escarpment Commission
- Six Nations of the Grand River Territory First Nation Elected Chief and Council
- Transport Canada
- Tradport International
- TransCanada PipeLines Limited
- Trans Northern Pipeline
- Union Gas

The following City of Hamilton Departments were circulated for comments through the Technical Advisory Committee on the Secondary Plan Study:

- Culture and Recreation.
- Emergency Services.
- Hamilton Police Services.
- Hamilton Street Railway.
- Open Space and Development.

**SUBJECT: Ancaster Wilson Street Secondary Plan and Official Plan Amendments  
(PED12078) (Ward 12) - Page 15 of 25**

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- Planning and Economic Development:
  - Business Development;
  - Community Planning and Design;
  - Development Planning;
  - Urban Renewal;
  - Municipal Parking; and,
  - Strategic Services/Special Projects.
- Transit.
- Public Health.
- Community Services.
- Public Works.

**Web Page**

As part of the public consultation process, City staff created a site on the City of Hamilton's Web page for the Ancaster Wilson Street Secondary Plan ([www.hamilton.ca/AncasterNode](http://www.hamilton.ca/AncasterNode)). The site provided members of the community, external agencies, and other stakeholders information on the project, the study process, Public Information Centre dates, information that was posted at the PIC's, relevant reports, and other related information. The website was updated when new information was made available. This was a key method used to provide participants with information they needed to participate in a meaningful way.

**ANALYSIS / RATIONALE FOR RECOMMENDATION**

(include Performance Measurement/Benchmarking Data, if applicable)

The Wilson Street area in Ancaster includes some of the oldest and most historic areas of the former Town of Ancaster and the City of Hamilton. Wilson Street has long been the centre of life of Ancaster, with the Village Core being the traditional downtown of the former Town. Over time, development has progressed along Wilson Street, though mainly oriented towards Wilson Street. Other main streets in the study area all intersect Wilson Street including Fiddlers Green, Jerseyville, and Sulphur Springs Road. Given the evolution of the Wilson Street area, the character changes moving along Wilson Street from the traditional Village Core between Rousseaux Street and Halson Street to the more modern commercial areas between Fiddlers Green Road and Todd Street. The mainly residential areas extend from Todd Street to Hamilton Drive, which have largely been built out in the last few decades. The Wilson Street Secondary Plan includes the lands located between Montgomery Drive to the east to Meadowbrook Drive/Hamilton Drive in the West, as shown on Appendix "A".

The intent of the Ancaster Wilson Street Secondary Plan is to establish a detailed land use framework for the study area, and to incorporate these lands into the former Town of Ancaster Official Plan and the new Urban Hamilton Official Plan. The rationale for adopting this amendment is as follows:

**SUBJECT: Ancaster Wilson Street Secondary Plan and Official Plan Amendments  
(PED12078) (Ward 12) - Page 16 of 25**

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- The Secondary Plan is consistent with the Provincial Policy Statement, as it accommodates a range of densities and a mix of uses to meet residents' long-term needs and provides park and open space areas for active and passive use;
- The Secondary Plan implements and conforms with the Places to Grow Plan;
- The proposed policy framework for the proposed Ancaster Wilson Street Secondary Plan is in conformity with the general intent and objectives of the former Region of Hamilton-Wentworth and former Town of Ancaster Official Plans;
- The proposed policy framework for the Wilson Street Secondary Plan is in conformity with the general intent and objectives of the City's new Urban Hamilton Official Plan (By-law No. 09-150, under appeal to the Ontario Municipal Board);
- The proposed Secondary Plan will provide land use and urban design direction for the development and redevelopment of lands within the Secondary Plan area; and,
- The Secondary Plan aids in the long term viability of the Village Core area, as well as conserving the heritage and character of the area.

The proposed Secondary Plan designations are compatible with existing and planned development in the immediate area. The proposed designations refine the Official Plan direction and aim to create a cohesive urban environment for the Wilson Street area in Ancaster.

**Structure of the Ancaster Wilson Street Secondary Plan**

The planning area for the Wilson Street Secondary Plan consists of a corridor of properties fronting and located adjacent to the Wilson Street area. The Ancaster Secondary Plan area is currently a predominantly residential area, with two distinct mixed-use commercial areas. As the Wilson Street area is already largely built out and has evolved over time, there are distinct differences between different areas along Wilson Street. Although there is an overall character in Ancaster consisting of low rise buildings, mainly oriented towards Wilson Street, the character, urban design, and building style along Wilson Street varies, moving from east to west. For example, the traditional Village Core from Rousseaux Street to Halson Street has a higher concentration of older and heritage buildings, while the commercial area from Fiddlers Green Road to Todd Street is more characteristic of a typical modern commercial plaza environment. In order to facilitate and apply appropriate land use and urban design standards, the Wilson Street area was characterized into five distinct "character areas" as follows:

- The Escarpment Area: Located from Montgomery Drive to Rousseaux Street;
- The Village Core Area: Located from Rousseaux Street to Dalley Drive;

**SUBJECT: Ancaster Wilson Street Secondary Plan and Official Plan Amendments  
(PED12078) (Ward 12) - Page 17 of 25**

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- The Transition Area: Located from Dalley Drive to Fiddlers Green Road;
- The Uptown Core: Located from Fiddlers Green Road to west of Todd Street; and,
- The Gateway Residential Area: Located from west of Todd Street to Meadowbrook Drive.

By dividing the Secondary Plan area into these five character areas, land use policies can be tailored to specific areas along Wilson Street, and urban design can be more accurately applied. The Character Areas can either describe the current design and function of a given area, or indicate the intended future function. For example, the Uptown Core area has been identified in policy and in the urban design guidelines as a focus area for development, as well as an area intended to evolve over time into a more pedestrian oriented mixed-use area that supplements the Village Core, providing commercial and service needs for the Ancaster community. Throughout the Secondary Plan, various policies make specific reference to different Character Areas. The Character Areas are highlighted on an appendix map to the Secondary Plan, as shown on Schedule “D” of Appendix “B”.

### **Ancaster Community Node**

A portion of the Wilson Street Secondary Plan has been identified as a Community Node in the Council-adopted Urban Hamilton Official Plan. A Community Node is intended to be an area where growth and redevelopment is anticipated to occur. Community Nodes provide a function similar to a traditional “downtown” area, including a mixture of uses and services, but at a lower community oriented scale. The Ancaster Community Node is the area within the Secondary Plan intended to provide a range of uses that allow access to housing, employment opportunities, and community focused services and recreation. Community Nodes are also intended to function as vibrant, mixed-use areas, which promote new development that respects the existing built form, provides linkages between core and surrounding areas, and encourages active transportation.

The Ancaster Community Node is a sub-area of the Secondary Plan, which includes the traditional Village Core and the Uptown Core, joined by a segment of Wilson Street classified as the Transition Area, which is becoming a focus area for a mixture of uses. Within the Secondary Plan, the Community Node is the focus area for growth and intensification, while the remaining Secondary Plan area will ensure that appropriate growth and compatibility is maintained, and stable residential neighbourhoods are protected. The Community Node area of the Secondary Plan has an overall growth target of 50 people and jobs per hectare. The Community Node area meets the intent of the Urban Hamilton Official Plan, and balances the conservation of the historic character of the area with opportunities for infill and growth. The extent of the Community Node is highlighted on an appendix map to the Secondary Plan shown on Schedule “D” of Appendix “B”.

**Land Use Designations of the Secondary Plan Area**

A map in the Secondary Plan illustrates the land use designations for each land use type (see Schedule “C” of Appendix “B”). The residential areas are summarized as follows:

	<b>Permitted Uses</b>	<b>Density (Units Per Hectare)</b>	<b>Maximum Height</b>
Low Density Residential 1	Singles, semi-detached	1 to 20	2.5-Storeys
Low Density Residential 3	Single-detached, semi-detached, all forms of townhouses and low-rise multi-residential; commercial uses limited to business and professional offices, medical office uses or clinics, day nursery, artist studios, and personal services	20 to 60	3-Storeys
Medium Density Residential 2	Single-detached, semi-detached, townhouse dwellings, low-rise apartments, other forms of multiple dwellings; commercial uses limited to business and professional offices, medical office uses or clinics, day nursery, artist studios, personal services and live-work units	60 to 75	3-Storeys

Low Density Residential - Areas designated as Low Density Residential have been divided into two designations, Low Density Residential 1 and 3. These areas are located predominantly outside of the Wilson Street corridor.

The Low Density Residential 3 designation applies to frontage properties along Wilson Street from Halson Street to Fiddlers Green Road, and along Halson Street and Fiddlers Green Road. This designation is intended to remain predominantly residential, but also permits some commercial uses, serving as a transition area between the Village Core and the Uptown Core areas. While limited commercial uses are permitted, retail, restaurants, and service stations will not be permitted. The intent is to allow additional uses in areas fronting arterial and collector roads, while limiting an over saturation of retail outside the two designated mixed-use commercial areas.

**SUBJECT: Ancaster Wilson Street Secondary Plan and Official Plan Amendments  
(PED12078) (Ward 12) - Page 19 of 25**

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Medium Density Residential 2 - The Medium Density Residential 2 designation is located along Wilson Street, between Durham Drive/Todd Street, to lands just east of Orchard Drive. This designation permits a wide range of dwelling types including single-detached, semi-detached, townhouses, low-rise apartments and other forms of multiple dwellings, limited commercial uses and live-work units. The intent is to allow a range of uses that is predominantly residential, but given its location adjacent to the Uptown Core area, can support the adjoining mixed-use commercial area.

Commercial and Mixed-Use areas are summarized as follows:

	<b>Permitted Uses</b>	<b>Maximum Height</b>
Mixed-Use - Medium Density	Commercial uses such as retail stores, auto and home centres, home improvement centres, offices oriented to serving residents, personal services, financial establishments, live-work units, artist studios, restaurants and gas bars; Institutional uses; Cultural Facilities and recreational uses: Hotels and multiple dwellings.	3-storeys
Mixed-Use - Medium Density: Pedestrian Predominant	Same as above except for; drive-through facilities; gas bars and car washes; vehicle dealerships; and, garden centres and a primary use which are not permitted.	2.5-storeys
Local Commercial	Small scale retail and services uses.	3-storeys

Mixed-Use - Medium Density - There are two mixed-use commercial areas in the Ancaster Wilson Street Secondary Plan: the Village Core and the Uptown Core. The Uptown Core is designated Mixed-Use - Medium Density; while the Village Core is Mixed-Use - Medium Density: Pedestrian Predominant.

The intent of both Mixed-Use - Medium Density designated areas is to permit a full range of retail, service commercial, entertainment, and residential accommodations at a moderate scale. The designation recognizes traditional mixed-use main streets in Ancaster, which serve the surrounding community and neighbourhoods. Both Mixed-Use - Medium Density designated areas are intended to evolve and intensify into mixed-use, pedestrian-oriented areas.

The Mixed-Use - Medium Density: Pedestrian Predominant designation of the Village Core recognizes the traditional village atmosphere and character of the area, containing additional provisions to maintain and enhance the pedestrian focus of the area.

**SUBJECT: Ancaster Wilson Street Secondary Plan and Official Plan Amendments  
(PED12078) (Ward 12) - Page 20 of 25**

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Both Mixed-Use areas form part of the Community Node area for Ancaster with the intent of increasing the number of people who work and live within the area. The Mixed-Use designation will also contribute to the planned function of the area as a place for people.

Local Commercial – “Local Commercial” uses are limited in the Ancaster Secondary Plan area and currently include a local restaurant located at Wilson Street and Cameron Drive. “Local Commercial” designated areas are intended to function as small scale pedestrian-oriented neighbourhood focal points, meeting the day-to-day commercial needs of nearby residents.

The Secondary Plan area is largely built-out and developed. Therefore, no new parks or open spaces were determined through the Secondary Plan process. The Parks and Open Space designations recognize the existing parks and open space uses.

Parkette - An existing small park (Brockhouse Park) is located at the intersection of Wilson Street West and Fiddlers Green Road. The “Parkette” has limited recreational facilities, but provides a small greenspace along the Wilson Street corridor.

Neighbourhood Park - There is one “Neighbourhood Park” within the Ancaster Wilson Street Secondary Plan - Meadowbrook Park. This park serves the recreational needs and interests of residents within the general vicinity of the Secondary Plan area.

Community Park - The Village Green area located adjacent to the Ancaster Town Hall is designated as a “Community Park”. The criteria of the designation include recreational facilities, with good transportation access from roads and transit. Community parks can include facilities such as the existing tennis and multi-purpose courts and other sports fields.

General Open Space - This designation includes lands forming part of the Radial Trail. Uses include trail pathways and other open space uses.

Natural Open Space - The areas designated as “Natural Open Space” are located in the north-eastern part of the Secondary Plan area. These lands are part of the Niagara Escarpment area. Development is intended to be limited on “Natural Open Space” lands, except for existing uses.

Institutional - The “Institutional” designation can include uses and facilities ranging from education, religious, cultural facilities, day care facilities, long-term care facilities, and healthcare facilities. Institutional uses in the Wilson Street Secondary Plan include existing schools, and churches.

Utility - The lands designated “Utility” are for an existing Pumping Station and Transformer Station.



**Additional Secondary Plan Components**

Cultural Heritage - The conservation of heritage is a key component of the Wilson Street Secondary Plan. The intent of the Secondary Plan policies is to conserve the heritage resources in the Wilson Street area, and capitalize on the heritage features to ensure the overall character of Ancaster is protected.

The Urban Hamilton Official Plan contains a Comprehensive Cultural Heritage Policy section. These heritage policies are applied to the Ancaster Wilson Street area, in addition to specific policies for the Wilson Street area. Because an amendment to the Ancaster Official Plan is also required, due to the ongoing appeal of the Urban Hamilton Official Plan, the cultural heritage policies from the Urban Hamilton Official Plan have been inserted into the Ancaster Wilson Street Secondary Plan. These policies are only applicable to the Secondary Plan area, and not the remainder of the Ancaster area.

An Appendix map has also been prepared as part of the Secondary Plan highlighting the existing heritage resources in the Ancaster Wilson Street Secondary Plan, such as the existing listed and designated heritage buildings (see Schedule “D” of Appendix “B”).

Transportation and Connectivity - The implementation of specific transportation related infrastructure will be through the Ancaster Transportation Master Plan. The Secondary Plan contains additional transportation related policies encouraging the continued pedestrian focus of development in the Wilson Street area. The Secondary Plan does not propose altering the rights-of-way or classification of the existing road network.

In order to promote and increase connectivity, the policies of the Secondary Plan add additional direction for more pedestrian connections to and from the Secondary Plan area, as well as provisions for improved street appearance and pedestrian amenity through the policies and urban design guidelines. Appendix “B” to the Secondary Plan, which is Schedule “E” of Appendix “B”, highlights potential additional connections through the use of bicycle lanes, pedestrian paths and hiking trails, and existing transit routes. Connections to major athletic, institutional, and open space facilities in the Ancaster area are also highlighted. All proposed routes are approximate, and subject to more detailed review.

Urban Design - Urban Design Guidelines were prepared in conjunction with the Secondary Plan land use policies to ensure that development will proceed in a manner that maintains the heritage and character of the Ancaster area. The Urban Design Guidelines, attached as Appendix “D”, are intended to be a supporting document to the Secondary Plan, including the Secondary Plan urban design policies. The Guidelines are based on the five character areas identified along Wilson Street. For each character area, one or two building typologies are presented, and examples given of the distinct features applicable to that character area. The Guidelines are intended to illustrate the design intent of the Plan by offering examples of appropriate design

**SUBJECT: Ancaster Wilson Street Secondary Plan and Official Plan Amendments  
(PED12078) (Ward 12) - Page 22 of 25**

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elements, and how the character of the Ancaster Wilson Street area can be maintained by building in a particular style.

The Guidelines are intended to inform future development, and not to be an exact prescription of how buildings must look or be designed. Developments will be deemed in compliance with the Urban Design Guidelines if they address the attributes identified in the Design Guidelines and incorporate some of the key features. The examples shown in the Urban Guidelines can be applicable to larger residential developments, commercial, or mixed-use buildings as prescribed by the land use policies. The Urban Design Guidelines are not applicable to single family residential dwellings.

In addition to the design guidance for the five character areas, the Ancaster Wilson Street Secondary Plan Urban Design Guidelines also provide examples of how the streetscape along Wilson Street could be developed in the future, while remaining consistent with the ATMP direction. Furthermore, for both the Village Core and the Uptown Core, hypothetical development scenarios are presented as an illustration for how these important areas could potentially redevelop over time. Ultimately, the intent of the Urban Design Guidelines is to provide more design context for the Secondary Plan policies. The Guidelines provide a visual representation of how the plan area could evolve over time, while still preserving a high quality in design and maintaining the character and heritage of the area. Development applications will be required to demonstrate how the proposed development meets the intent of the Urban Design Guidelines.

The Secondary Plan policies have been prepared to guide development within each of the above mentioned land use areas. An Official Plan Amendment has been prepared to incorporate the Ancaster Wilson Street Secondary Plan into the former Town of Ancaster Official Plan, in accordance with the provisions of the *Planning Act*. The Amendment consists of the policy text, land use plan, and other maps. Amendments to the former Town of Ancaster Zoning By-law will be required to implement the Secondary Plan. These amendments will be addressed through the development approvals process and Zoning By-law updates. An amendment to the Urban Hamilton Official Plan has also been prepared, and will be implemented once the appeal of the Urban Hamilton Official Plan as been resolved at the Ontario Municipal Board.

**ALTERNATIVES FOR CONSIDERATION:**

(include Financial, Staffing, Legal and Policy Implications and pros and cons for each alternative)

During the development of the preferred land use option, a range of “options” was prepared for consideration. From the options presented to the CLC, the public, and internal staff, the preferred land use was established. A copy of the land use options presented to City staff is included as an appendix to the Summary Report, attached as Appendix “E”. A more detailed and technical table, outlining the range of options, was prepared for City staff, while a simplified version was prepared for the public and CLC. In all versions, the Study area was divided by Character Areas, and within each Character Area sub-areas were identified. A series of questions were asked to gauge response to a variety of land use related issues. The following is a summary of the main issues raised and alternatives reviewed which has influenced the preferred land use concept for the Ancaster Wilson Street Secondary Plan.

**Scale** - Residents and City staff were consulted regarding appropriate scale of development in various parts of the study area. The public and staff were asked to consider building heights and densities ranging from the existing, to additional heights and scale such as four, five, and six storeys. The consensus among the public was that there was a preference for lower building heights. Internally, for most of the study area, it was agreed that the height limit should remain at three storeys, though for some areas such as the Uptown Core, some additional height was considered. Ultimately, for the Wilson Street area as a whole, the height was kept to a limit of three storeys due to traffic and infrastructure constraints, as well as public input. Alternatives to the proposed heights included allowing taller buildings in the Uptown Core area and on lands designated Medium Density Residential.

**Use** - A variety of uses were proposed for different sub-areas of the Secondary Plan study area. For example, to recognize the trend of growing interest for non-residential uses along Wilson Street in the transition area between Halson Street and Fiddlers Green Road, options were provided allowing for a wider range of uses. There was generally the acknowledgement that additional uses on frontage properties may be appropriate given the location along Wilson Street and compatibility with surrounding uses. While it was generally agreed that certain uses, such as small scale office uses or service uses may be appropriate, full retail should not be permitted, both to maintain the vitality of the Village Core and Uptown Core commercial areas, but also to avoid potential negative impacts to the adjacent residential buildings. Alternative uses could include allowing a full range of commercial uses, including retail, within the transition area such as on Wilson Street and Fiddlers Green Road, or maintaining the uses to only permit residential uses. Neither scenario is recommended. Other alternatives to uses would be to either allow a wider range of uses in more areas or to strictly limit new uses. Neither option is recommended.

**Design and Character** - The consensus in Ancaster was that the area contains a unique character, and that any new development should maintain a look and feel that is consistent with the Ancaster area. There was also feedback surrounding on newer buildings that have been developed that are not consistent with the heritage and character of the area. Urban Design Guidelines have been developed for the Wilson Street area to balance new development and the integration with the surrounding community. An alternative is to not implement the Design Guidelines, and to evaluate each development proposal on a site-by-site basis and make a determination at that point if the proposed development is consistent with the surrounding area. This alternative is not recommended, as there will be limited consistency between developments in the Secondary Plan area.

**CORPORATE STRATEGIC PLAN (Linkage to Desired End Results)**

Focus Areas: 1. Skilled, Innovative and Respectful Organization, 2. Financial Sustainability, 3. Intergovernmental Relationships, 4. Growing Our Economy, 5. Social Development, 6. Environmental Stewardship, 7. Healthy Community

**Skilled, Innovative, and Respectful Organization**

- ◆ A skilled, adaptive and diverse workforce, i.e. more flexible staff.

**Financial Sustainability**

- ◆ Effective and sustainable Growth Management.
- ◆ Generate assessment growth/non-tax revenues.

**Intergovernmental Relationships**

- ◆ Maintain effective relationships with other public agencies.

**Growing Our Economy**

- ◆ Newly created or revitalized employment sites.

**Social Development**

- ◆ Everyone has a home they can afford that is well maintained and safe.

**Environmental Stewardship**

- ◆ Natural resources are protected and enhanced.

**Healthy Community**

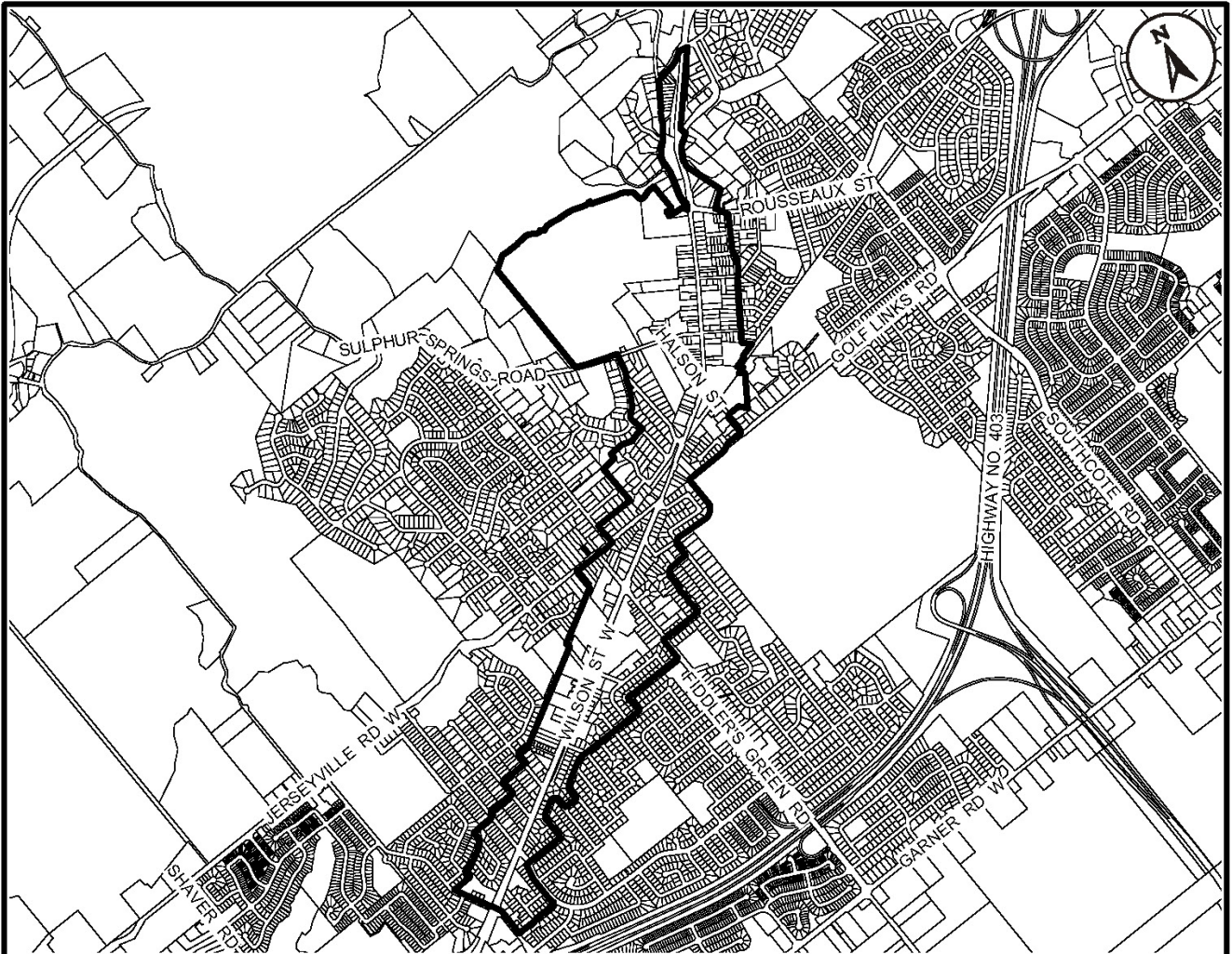
- ◆ Plan and manage the built environment.

**APPENDICES / SCHEDULES**

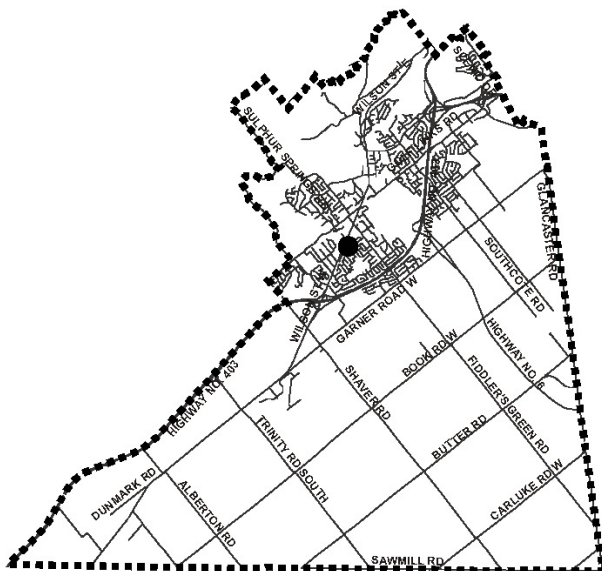
- Appendix "A": Ancaster Wilson Street Secondary Plan Location Map
- Appendix "B": Official Plan Amendment [REDACTED] to the Former Town of Ancaster Official Plan
- Appendix "C": Official Plan Amendment [REDACTED] to the Urban Hamilton Official Plan
- Appendix "D": Ancaster Wilson Street Secondary Plan Urban Design Guidelines
- Appendix "E": Ancaster Wilson Street Secondary Plan: Development of the Secondary Plan Summary Report

:RM


Attachs. (5)



● Site of the Application



Ward 12 Key Map

N.T.S. 

## Location Map



PLANNING AND ECONOMIC DEVELOPMENT DEPARTMENT

File Name/Number:  
Ancaster Secondary Plan

Date:  
April 13, 2012

Appendix "A"

Scale:  
N.T.S.

Planner/Technician:  
RM/AL

### Subject Property

 Ancaster Wilson Street Secondary Plan Area

**Draft Amendment No. [REDACTED]**

**to the**

**Official Plan of the Former Town of Ancaster**

The following text, together with:

- Schedule "A" - Schedule B - Town of Ancaster Land Use - Urban Area;
- Schedule "B" - Schedule F - Special Policy Area;
- Schedule "C" - Map 1 - Ancaster Wilson Street Secondary Plan: Land Use Plan;
- Schedule "D" - Appendix A - Character Areas and Heritage Features; and,
- Schedule "E" - Appendix B - Connections;

attached hereto, constitutes Official Plan Amendment No. [REDACTED] to the Official Plan of the former Town of Ancaster.

**Purpose:**

The purpose of the Amendment is to:

- Create a Secondary Plan for the Wilson Street area which refines land use to create a pedestrian friendly environment which also conserves the heritage and character of the Ancaster Area;
- Incorporate the Ancaster Wilson Street Secondary Plan into the former Town of Ancaster Official Plan, identifying land uses, densities, development forms, cultural heritage features, development, and urban design standards;
- Establish a portion of the Secondary Plan area as a Community Node as a focus area for development and community life; and,
- Amend various policies and schedules of the former Town of Ancaster Official Plan to reflect the principles and policies contained in the Ancaster Wilson Street Secondary Plan.

The effect of the Amendment is to establish a policy framework which shall guide the development and redevelopment of lands within the Ancaster Wilson Street Secondary Plan area.

**Location:**

The lands affected by this Amendment are located in Ancaster, along Wilson Street east and west from Montgomery Drive to Meadowbrook Drive/Hamilton Drive. The areas include frontage properties along Wilson Street, as well as some properties immediately adjacent to the Wilson Street frontage properties, within the former Town of Ancaster, as illustrated on Schedule "C" to this Amendment.

**Basis:**

The intent of this Amendment is to establish a detailed land use framework for the Ancaster Wilson Street Secondary Plan area. The basis for this Amendment is as follows:

- The proposed Secondary Plan offers an opportunity for increased density with a mix of land uses, which is consistent with the intent of the Places to Grow Plan;
- The proposed policy framework for the Ancaster Wilson Street Secondary Plan is in conformity with the general intent and objectives of the Region of Hamilton-Wentworth Official Plan and Town of Ancaster Official Plan;
- The proposed Secondary Plan will provide land use and urban design direction for the development and redevelopment of lands within the Secondary Plan area;
- The Secondary Plan aids in the long term viability of the Village Core area, as well as conserving the heritage and character of the area; and,
- The proposed Secondary Plan designations are compatible with the existing and planned development in the immediate area.

**Actual Changes:**

**Map Changes:**

1. Schedule 'B' - Land Use - Urban Area, is amended by redesignating lands from "Institutional" to "Residential", "Institutional" to "Commercial", "Institutional" to "Open Space", and "Residential" to "Commercial", as shown on the attached Schedule "A" to this Amendment.
2. Schedule 'F' - Specific Policy Area, is amended by deleting Specific Policy Areas 1, 13, 17, 19, 31, 49, 51, 58, 60, and 65, and modifying the SPA boundaries of SPA 4 and 5 for the subject lands, as shown on Schedule "B" to this Amendment.



3. The Town of Ancaster Official Plan is amended by adding a new schedule, "Map 1 - Ancaster Wilson Street Secondary Plan - Land Use Plan", as shown on the attached Schedule "C" to this Amendment.
4. The Town of Ancaster Official Plan is amended by adding a new appendix map, "Appendix A - Character Areas and Heritage Features", as shown on the attached Schedule "D" to this Amendment.
5. The Town of Ancaster Official Plan is amended by adding a new appendix map, "Appendix B - Connections", as shown on the attached Schedule "D" to this Amendment.

Text Changes:

1. Policy 4.5.3 is amended by removing the words "... on Schedule F, and in Sub-section 5.4 of this Plan, which includes all properties fronting on Wilson Street from the Old Mill Restaurant to the west end of Stoneham Plaza, ..." and adding the words "in Section 6.9 of this Plan" so that the policy reads as:  
  
"4.5.3 Areas designated Commercial shall include the Village Core area, as defined **in Section 6.9 of this Plan**, ~~on Schedule F, and in Subsection 5.4 of this Plan, which includes all properties fronting on Wilson Street from the Old Mill Restaurant to the west end of Stoneham Plaza,~~ other areas of established commercial development where controlled expansion of commercial activities is feasible and desirable, and new commercial areas in the vicinity of Duff's Corners and in the Mohawk and Meadowlands Communities."
2. Policy 4.5.4 is amended by removing the words "in Sub-section 5.4 of this Plan", and replacing with the words, "in Section 6.9 of this Plan", so that the policy reads as follows:  
  
"...4.5.4 The Village Core area shall be one of the focal points for Commercial development and activity. In comparison to other areas designated Commercial by this Plan, it will also constitute the main pedestrian-oriented retail shopping area in the Town. Policies specific to the Village Core area are dealt with ~~in Subsection 5.4 of this Plan~~ **in Section 6.9 of this Plan**. In this regard, the Village Core area shall function as the primary centre of business, offices, services, civic and community activities within the Town, and shall have regard for the following:..."
3. Delete Section 5.4 in its entirety.

4. Delete the following Special Policy Area policies:
  - 5.7.10;
  - 5.7.14;
  - 5.7.16;
  - 5.7.28;
  - 5.7.44;
  - 5.7.46;
  - 5.7.50
  - 5.7.51; and,
  - 5.7.57.
  
5. Amend Section Six - Secondary Plans of the Ancaster Official Plan by adding the following new Secondary Plan Policies for the Wilson Street area of Ancaster:

## **6.9 Ancaster Wilson Street Secondary Plan**

### **6.9.1 Purpose of Secondary Plan**

The Ancaster Wilson Street Secondary Plan area is located along Wilson Street between Montgomery Drive and Meadowbrook Drive in Ancaster. The Secondary Plan area consists of a narrow corridor of properties oriented to, or near Wilson Street. The secondary plan area contains existing residential, commercial, institutional, and natural open space features.

The Ancaster Wilson Street Secondary Plan establishes land uses, development standards, and provisions regarding cultural heritage, urban design, and transportation, to guide the development and/or redevelopment of lands located in the Secondary Plan area. Section 6.9 and Maps 1 - Ancaster Wilson Street Secondary Plan - Land Use Plan, Appendix A - Character Areas and Heritage Features, and Appendix B - Connections, constitute the Ancaster Community Node Secondary Plan. Within the Secondary Plan area, portions of Wilson Street have been identified as a Community Node.

Urban Design Guidelines have been prepared to support the Secondary Plan. The Ancaster Wilson Street Secondary Plan Urban Design Guidelines are a collection of recommended design approaches for built form and streetscapes. Development and redevelopment shall be required to demonstrate consistency with the Urban Design Guidelines.

## **6.9.2 Vision**

Ancaster is a picturesque and historic community located near the Niagara Escarpment. As one of the oldest communities in Ontario, Ancaster has a rich history which manifests itself in a wealth of cultural and natural heritage features and a unique character. With a mixture of land uses, the Ancaster Wilson Street Secondary Plan will function as a complete community serving the needs of the Ancaster community. The Ancaster Wilson Street Secondary Plan will provide a variety of housing opportunities for various demographics, as well as mixed-use and commercial areas, which offer employment opportunities and meet the shopping and personal service needs for area residents and visitors. Institutional, open space and park areas will serve the needs of the community by improving quality of life and addressing recreation needs. The complete community of the Ancaster Wilson Street Secondary Plan will continue to respect the history and character that creates a unique sense of place.

## **6.9.3 Development Concept**

The Wilson Street Secondary Plan area consists of lands along Wilson Street from Montgomery Drive to Meadowbrook Drive extending out from Wilson Street to incorporate abutting lands. Since the Secondary Plan area encompasses historic downtown Ancaster, it is important to maintain and enhance the overall character of this area, which includes preserving older buildings, varied street fronts, and a distinct look and feel, while ensuring that future development and redevelopment is in keeping with the direction of current planning policy. The Secondary Plan area is detailed on Map 1 - Land Use Plan Map 1 - Ancaster Wilson Street Secondary Plan: Land Use Plan.

Within the Secondary Plan area, portions of Wilson Street have been identified as a “Community Node”. While growth and infill development shall occur in all areas of the Ancaster Wilson Street Secondary Plan, the majority of growth and development shall be directed towards the Community Node. The predominantly residential neighbourhoods outside of the Community Node are intended to remain as stable low density residential areas.

Along Wilson Street, there are subtle differences in the function and built form. To recognize this diversity, five “Character Areas” have been identified, which are shown on Appendix A - Character Areas and Heritage Features. These Character Areas include:

- The Escarpment Area: Located from Montgomery Drive to Rousseaux Street;
- The Village Core: Located from Rousseaux Street to Dalley Drive;

- The Transition Area: Located from Dalley Drive to Fiddlers Green Road;
- The Uptown Core: Located from Fiddlers Green Road to west of Todd Street; and,
- The Gateway Residential area: Located from west of Todd Street to Meadowbrook Drive.

The type and form of development and redevelopment will vary by the Character Area. The main commercial areas are, and shall remain, the Village Core and the Uptown Core. These areas are intended to provide the retail, personal service and general commercial needs for the Secondary Plan area and Ancaster. These two core areas will also function as focus areas for commercial employment in Ancaster. The Uptown Core shall also be the focus area for intensification and redevelopment. The Transition and Gateway Residential areas are predominantly residential, providing a variety of housing and living choices. Limited commercial uses, such as personal services, may be permitted. Portions of the Uptown Core, Transition Area, and Village Core shall function as the Community Node for the Secondary Plan area. Growth, development, and intensification shall be directed to the Community Node. The Escarpment Area of the Secondary Plan shall serve as a natural gateway into the other areas of the Secondary Plan area, with a focus on the natural environment and landscapes.

- 6.9.3.1 The policies of the Ancaster Official Plan shall apply to the Wilson Street Secondary Plan unless otherwise specified by the policies of this Secondary Plan. Where a discrepancy between the policies and/or designations exists, the policies and designations of the Secondary Plan shall prevail.

#### **6.9.4 Principles**

Development of the Ancaster Wilson Street Secondary Plan shall be based on the following principles:

- a) Enhance and protect heritage and cultural resources;
- b) Efficient use of buildings and infrastructure;
- c) Ensure a high quality of design;
- d) Mixture of uses in appropriate areas;
- e) Maintain strong residential focus;
- f) Protect and enhance parks and connections through trail/bike networks;

- g) Promote active transportation;
- h) Provide for commercial opportunities; and,
- i) Ensure a safe and comfortable environment for people.

### **6.9.5 Objectives**

The following objectives provide the framework for the planning and development of the Ancaster Wilson Street Secondary Plan, and shall be achieved through the policies of this Secondary Plan and the Official Plan. The objectives of the Ancaster Wilson Street Secondary Plan are to:

- a) Allow for access to a variety of housing, employment, services, and recreation options in close proximity to each other;
- b) Allow for transit by providing community scale retail and service options consistent with the function of a Community Node;
- c) Build on the unique character and heritage resources of Ancaster, creating a unique urban/town environment and take advantage of opportunities to enhance these features further;
- d) Promote Ancaster’s natural, cultural, and built heritage through architectural compatibility and continuity of community character through the use of appropriate building materials and architectural styles;
- e) Support stable residential neighbourhoods by encouraging the maintenance of existing homes and sympathetic infill development to reinforce the character of the residential areas;
- f) Encourage mixed-uses in the Uptown Core and along Wilson Street, Todd Street, and Dunham Drive;
- g) Support the destination shopping role of the Ancaster Village Core and Business Improvement Area along Wilson Street, which serves the local community, as well as a wider regional market;
- h) Promote existing parks to enhance the viability and liveability of the Ancaster Wilson Street Secondary Plan area;
- i) Encourage design that promotes pedestrian walkability and physical activity, social interaction, and public gatherings;
- j) Establish gateways at strategic locations to function as entranceways to Ancaster and the Village Core area;

- k) Integrate views and vistas of historic buildings and landscapes, where possible, into the community design;
- l) Encourage adaptive reuse of buildings to maintain the historic and town character of the Secondary Plan area;
- m) Ensure the Ancaster Wilson Street Secondary Plan area remains well connected through various modes of transportation, linkages, and trails;
- n) Support public transit service by locating commercial and additional residential uses along Wilson Street and Fiddlers Green Road;
- o) Ensure that new development encourages a high degree of pedestrian prominence and appropriate access and movement for pedestrians; and,
- p) Encourage a comprehensive transportation network in Ancaster.

#### **6.9.6 Ancaster Community Node**

Portions of Wilson Street and the immediate surrounding area are identified as a “Community Node”, as shown on Appendix A - Character Areas and Heritage Features. As a Community Node, this location is intended to function as a focus area for housing, commercial uses, and employment, while providing a wide variety of services to the Ancaster Community. The historic downtown of Ancaster, known as the Village Core, is the historic, cultural focal point, and one of two commercial centres located in the Ancaster Community Node, the other being the Uptown Core.

In addition to meeting the housing and commercial needs of the Ancaster Community, the Community Node area shall also remain the focus area and the historic heart of Ancaster. The historic Village Core area and the emerging Uptown Core, linked together by the Transition area, which is evolving through the expansion of permitted uses, encompass the Community Node. The western section of the Gateway Residential area is also part of the Node due to the potential for future growth.

##### **6.9.6.1 Ancaster Community Node Policies**

The following policies shall apply to the Ancaster Community Node, shown on Appendix A - Character Areas and Heritage Features:

- a) Within the Ancaster Community Node, a range of uses shall be provided that allow for access to housing, employment, services, and recreation in close proximity to each other, and transit. The Ancaster Community Node shall provide services to residents and surrounding neighbourhoods in a mixed-use environment.

- i) The Ancaster Community Node shall be a focus area for growth, development and intensification within the Ancaster Wilson Street Secondary Plan.
- b) Portions of the Ancaster Community Node shall provide community scale retail stores and services to the residents within the Node and surrounding neighbourhoods. The range of uses permitted and encouraged to locate within the Ancaster Community Node include a variety of housing forms and tenures, employment, institutional, recreational, and commercial uses subject to the land use designation policies of this Secondary Plan. Residential, Commercial and Mixed-Use, Institutional and Parks and Open Space designated areas shall be developed in accordance with the land use designations of this Secondary Plan.
- c) The Ancaster Community Node shall provide an employment function consisting primarily of employment in retail, services, local institutions, and government services.
- d) Commercial and Mixed-Use areas within the Community Node shall provide an important source of employment in the Ancaster Wilson Street Secondary Plan, and shall support the viability of the Ancaster Community Node and meet the daily needs of residents and visitors to Ancaster. Commercial areas shall also serve as the focus for the community creating a sense of place.
- e) The Ancaster Community Node shall function as a vibrant, mixed-use area containing a range of housing opportunities, including affordable housing and housing with supports. The unique characteristics of the Ancaster Community Node lend itself to a range of built forms, though the scale of development shall be consistent with the historic character of the area.
- f) The Ancaster Community Node shall be linked to the City-Wide transit system through connecting conventional transit or by rapid transit, where possible. The City shall direct local routes through the Community Node, where possible.
- g) Intensification and infill development shall be balanced with the heritage and historic character of Ancaster and the Community Node. As such, further guidance for incorporating heritage features, design, and overall character through infill and intensification is provided in the supporting Urban Design Guidelines.
- h) Within the Ancaster Community Node, larger scale development and redevelopment are encouraged to be directed towards the Uptown Core and western portion of the Gateway Residential area, as shown on Appendix A - Character Areas and Heritage Features.

- i) Mixed-Use, Commercial, and Institutional development and redevelopment is encouraged within the Village Core area, though the scale of development shall be consistent with the historic character of the area.
- j) The Ancaster Community Node shall be planned to accommodate generally between 25,000 and 100,000 square metres of retail floor space.
- k) The overall density for the Ancaster Community Node shall be 50 people and jobs per hectare.
- l) The Ancaster Community Node shall be planned to have a strong pedestrian focus.
- m) The Ancaster Community Node shall contain a broad mix of uses. Where possible, this mix of land uses should include developments either as mixed-use buildings or a mix of uses on the same property. Redevelopment of larger sites provides significant opportunities for the Community Node. Therefore, on sites greater than 2.5 hectares, a mix of uses shall be required in major redevelopments.
- n) Streets within the Community Node shall be designed to provide strong pedestrian linkages and active transportation opportunities between the surrounding neighbourhoods and the Community Node.
- o) Automobile access will continue to be important to the Community Node, but it shall be balanced with the need to improve pedestrian and transit access and opportunities for active transportation.
- p) Parking shall be provided through on-street parking, in parking structures, and in surface lots to the rear or sides of commercial buildings.
- q) Reductions in parking requirements shall be considered in order to encourage a broader range of uses and densities to support transit.

#### **6.9.7 Residential Designations**

The Wilson Street Secondary Plan has two residential areas (Transition Area and Gateway Residential Area detailed in Appendix A - Character Areas and Heritage Features) consisting of a range of housing types, densities, and a mix of housing forms. The residential policies shall define the location and scale of each type of residential use, and shall help ensure that a variety of residential types are provided to meet the diverse needs of residents.



6.9.7.1 The residential areas within the Ancaster Wilson Street Secondary Plan are designated Low Density Residential 1, Low Density Residential 3, and Medium Density Residential 2, identified on Map 1- Ancaster Wilson Street Secondary Plan: Land Use Plan, and are subject to the policies of 6.9.7.2 to 6.9.7.4.

#### 6.9.7.2 General Residential Policies

In addition to Section 4.4 Residential of this Plan, the following policies apply to all residential land use designations identified on Map 1 - Ancaster Wilson Street Secondary Plan: Land Use Plan:

- a) Residential development and infill development shall maintain and enhance the character of the residential areas through architectural style that is sympathetic and complementary with the existing adjacent residential areas, heritage buildings, and uses. Further direction, regarding design, shall be provided in the Urban Design policies detailed in Section 6.9.12.
- b) Common element and condominium roads should be connected to the public active transportation network via sidewalks.
- c) Reverse frontage lotting patterns shall not be permitted, except where existing on the date of approval of this Secondary Plan.
- d) Direct access to individual dwelling units from Wilson Street and Fiddlers Green Road shall be discouraged and alternative forms of access, such as use of shared or common access points and rear lane arrangements, shall be encouraged.
- e) Consideration of applications for residential intensification within the residential designations and established neighbourhoods shall be evaluated based on the following criteria:
  - i) Compatibility with adjacent land uses including matters such as shadowing, overlook, noise, lighting, traffic, and other nuisance effects;
  - ii) The relationship of the proposed building(s) with the height, massing, character, and scale of nearby residential buildings;
  - iii) The consideration of transitions in height and density to adjacent residential buildings;
  - iv) The relationship of the proposed lot(s) with the lot pattern and configuration within the neighbourhood;
  - v) The provision of amenity space and the relationship to existing patterns of private and public amenity space;

- vi) The ability to respect and maintain or enhance the streetscape patterns including block lengths, setbacks, and building separations;
  - vii) The ability to complement the existing functions of the neighbourhood;
  - viii) The conservation of cultural heritage resources; and,
  - ix) Infrastructure and transportation capacity and impacts.
- f) Housing with supports, including residential care facilities, shall be permitted in residential designated areas, as shown on Map 1 - Ancaster Wilson Street Secondary Plan: Land Use Plan, and shall be subject to the zoning regulations, where applicable.
- g) Second Dwelling Units shall be permitted within all single and semi-detached dwellings in residential designated areas, as shown on Map 1 - Ancaster Wilson Street Secondary Plan: Land Use Plan, and shall be subject to zoning regulations.

#### 6.9.7.3 Low Density Residential Designations

- a) The following policies shall apply to the lands designated Low Density Residential 1 on Map 1 - Ancaster Wilson Street Secondary Plan: Land Use Plan:
- i) Low Density Residential 1 areas shall only permit single detached dwellings and semi-detached dwellings.
  - ii) The conversion or infill of residential buildings, or construction of new buildings for medical, business, personal service, or professional office uses shall not be permitted in areas designated Low Density Residential 1.
  - iii) Home Occupations shall be permitted.
  - iv) For areas designated Low Density Residential 1, the density range shall be between 1 - 20 net units per hectare.
  - v) The maximum building height shall be 2.5-storeys.
- b) The following policies shall apply to the lands designated Low Density Residential 3 on Map 1 - Ancaster Wilson Street Secondary Plan: Land Use Plan:

- i) Low Density Residential 3 areas shall include Single Detached, Semi-Detached, all forms of Townhouses, and Low-Rise Multi-Residential apartments.
- ii) For areas designated Low Density Residential 3 on Map 1, the residential density range shall be 20 - 60 net units per hectare.
- iii) The maximum building height shall be 3-storeys.
- iv) Limited commercial uses shall be permitted, including business and professional offices, medical office uses or clinics, day nursery, artist studios, funeral homes, and personal services.
- v) Prohibited uses include retail, financial establishments, restaurants, motor vehicle service stations, and gas bars.
- vi) In accordance with Policy 6.9.7.3 b)iv), commercial uses within the Low Density Residential 3 designation shall be subject to the following:
  - 1) Permitted uses shall be located in single or mixed-use buildings;
  - 2) Residential units are encouraged on upper floors as part of any proposed development;
  - 3) For mixed-use buildings, commercial uses shall be located on the first floor only; and,
  - 4) Parking shall be accommodated on site or through shared parking lots, where feasible.
- vii) New development or redevelopment shall ensure the height, massing, scale, and arrangement of the buildings and structures are compatible with the abutting uses.

#### 6.9.7.4 Medium Density Residential 2 Designation

The following policies shall apply to the lands designated Medium Density Residential 2 on Map 1 - Ancaster Wilson Street Secondary Plan: Land Use Plan:

- a) Single detached dwellings, semi-detached dwellings, all form of townhouse dwellings, low-rise multiple dwellings and live-work units shall be permitted.
- b) The density range shall be 60 - 75 net units per hectare.
- c) The maximum building height shall be 3-storeys.

d) Live-Work units shall be permitted in accordance with Policy 6.9.8.4 c) i)-iv).

### **6.9.8 Commercial and Mixed Use Designations**

The commercial designations of the Ancaster Wilson Secondary Plan area are mainly focused on two areas, including the Village Core and the Uptown Core. Along with the limited commercial uses permitted in the residential designations, commercial designated lands are intended to meet the daily and weekly retail needs of the Ancaster community. Residential and institutional uses are also encouraged in Commercial areas. Commercial areas will not only be a place to focus retail needs, but are intended to be a focus of the community where Ancaster residents can meet and engage in community and civic activities. The Village Core area shall be the focus area for smaller scale, niche retail and service uses, while the Uptown Core shall be the focus for larger format retail serving the Ancaster community.

6.9.8.1 In addition to Section 4.5 Commercial of this Plan, Commercial, and Mixed-Use areas are designated Local Commercial, Mixed-Use - Medium Density, and Mixed-Use - Medium Density - Pedestrian Predominant, as shown on Map 1 - Ancaster Wilson Street Secondary Plan: Land Use Plan, subject to Policies 6.9.8.2 to 6.9.8.6.

#### **6.9.8.2 General Commercials Policies**

The following policies shall apply to all Commercial and Mixed-Use designations identified on Map 1 - Ancaster Wilson Street Secondary Plan: Land Use Plan:

- a) Existing commercial areas shall evolve over time into compact, mixed-use people places where people can live, work, and shop.
- b) Vehicular access points along Arterial and Collector roads shall be limited, and regard shall be given to the sharing of access points, adequate internal traffic circulation, accommodation for active transportation, and adequate off-street parking, loading, and manoeuvring facilities.
- c) Landscaping shall form an integral part of all developments and shall provide buffering between commercial, mixed-use areas, and parking areas from adjacent sensitive land uses.
- d) Mixed-Use and Commercial designated properties fronting onto Wilson Street shall accommodate and plan for pedestrian amenities and the public realm.
- e) Design of commercial buildings which discourage or limit pedestrian movement or access should be avoided.

- f) Commercial areas shall be developed in a co-ordinated and comprehensive manner.
- g) Automobile access shall continue to be an important mode of transportation from the surrounding neighbourhoods, but it should be balanced with the need to improve pedestrian access and opportunities for active transportation.
- h) Official Plan Amendment applications for retail or service commercial development exceeding 5,000 square metres of gross floor area shall be required to undertake a Commercial Need and Impact Assessment. The Commercial Need and Impact Assessment shall assess the impact of the proposal on designated retail areas and the potential for negative impacts to the planned function of these areas. Impact on planned function may include store closures, loss of vitality within the Community Node or Secondary Plan area, or may affect the attraction or success of other land uses or diminishment or the role of function of the designation.
- i) Housing with supports, including residential care facilities shall be permitted in commercial and mixed use designated areas, as shown on Map 1 - Ancaster Wilson Street Secondary Plan: Land Use Plan, and shall be subject to the zoning regulations, where applicable.

#### 6.9.8.3 Local Commercial

The following policies shall apply to the lands designated Local Commercial on Map 1 - Ancaster Wilson Street Secondary Plan: Land Use Plan:

- a) Local Commercial designated areas shall function as small scale pedestrian oriented neighbourhood focal points that meet the day-to-day commercial needs of nearby residents and are located within walking distance of residents. They are planned to accommodate small scale retail and service uses.
- b) Local Commercial designated areas are generally located on lands abutting or near Arterial and Collector roads.
- c) The maximum permitted building height shall be 3-storeys.
- d) Limited residential uses shall be permitted in the form of mixed-use buildings. Commercial uses shall be provided on the ground floor of mixed-use buildings.
- e) Local Commercial uses shall be enhanced by the provision of appropriate amenities including, streetscaping measures, and emphasis on design for infill, as appropriate.

- f) Required on-site parking and loading areas are encouraged to locate to the rear of buildings to achieve an attractive streetscape and a pedestrian-friendly built-form environment, where feasible.

#### 6.9.8.4 Mixed-Use - Medium Density Designations

The following policies shall apply to the Mixed-Use - Medium Density and Mixed-Use - Medium Density - Pedestrian Predominant designations identified on Map 1 - Ancaster Wilson Street Secondary Plan: Land Use Plan:

- a) There shall be two primary commercial areas in the Ancaster Wilson Street Secondary Plan which function as community focal points: the Village Core area and the Uptown Core area, as shown on Appendix A - Character Areas and Heritage Features. Retail uses shall be directed to these two primary Mixed-Use areas.
- b) Mixed-Use commercial areas shall function as vibrant people places with increased day and night activity through the introduction of residential development. Residential development enhances the function of these areas as vibrant places.
- c) Live-Work units shall be permitted in Mixed-Use designated areas, subject to the following:
  - i) Live-work units shall include small-scale retail, professional offices, and home business uses;
  - ii) Live-work units are intended to have a commercial use at grade and have entrances accessible directly from an Arterial street, such as Wilson Street or Fiddlers Green Road;
  - iii) Residential access and commercial parking shall be separate, to avoid a conflict of shared uses; and,
  - iv) Residential amenity space can be accommodated through the provision of balconies or decks.
- d) The Uptown Core area shall be the predominant intensification area for the Ancaster Community Node.
- e) The urban design and development concept for the Uptown Core and Village Core areas shall be further described in the accompanying supporting Ancaster Wilson Street Secondary Plan Urban Design Guidelines.

#### 6.9.8.5 Mixed-Use - Medium Density Designation

The following policies shall apply to the lands designated Mixed-Use - Medium Density on Map 1 - Ancaster Wilson Street Secondary Plan: Land Use Plan:

- a) The Uptown Core area, shown on Appendix A - Character Areas and Heritage Features, shall function as the focus area for larger scale commercial retail activities.
- b) The following uses shall be permitted on lands designated Mixed-Use - Medium Density on Map 1 - Ancaster Wilson Street Secondary Plan: Land Use Plan:
  - i) Commercial uses such as retail stores, auto and home centres, home improvement centres, offices oriented to serving residents, personal services, financial establishments, live-work units, artist studios, restaurants, and gas bas;
  - ii) Institutional uses, such as Places of Worship and schools;
  - iii) Public and private cultural facilities, entertainment and recreational uses; and,
  - iv) Hotels, multiple dwellings, and accessory uses.
- c) Lands designated Mixed-Use - Medium Density shall contain a range of buildings densities and shall be a minimum height of 2-storeys, but shall not exceed 3-storeys in height.
- d) All offices within the Mixed-Use - Medium Density designation shall not exceed 10,000 square metres of gross floor area for each free standing building.
- e) Although residential development is permitted and encouraged, it is not the intent of this plan for Mixed-Use - Medium Density designated areas to lose the planned retail and service function set out on this Plan.
- f) Permitted uses shall be located in single or mixed-use buildings.
- g) New development shall be designed and oriented to create a comfortable, vibrant, and stimulating pedestrian oriented street.
- h) The Mixed-Use - Medium Density designated areas are intended to develop in a compact urban form with a streetscape design and buildings arrangement that supports pedestrian use and circulation and creative, vibrant people places.

- i) The design of buildings and lands located in the Uptown Core area, identified on Appendix A - Character Areas and Heritage Features, are further detailed in Policy 6.9.12.1 j) i).
- j) Development applications shall be encouraged to provide a mix of uses on the site.

#### 6.9.8.6 Mixed-Use - Medium Density - Pedestrian Predominant

Pedestrian predominant streets are intended to cater to the pedestrian by creating a comfortable, active, and visually stimulating walking environment. Pedestrian predominant streets shall have wide sidewalks, buildings oriented to the public sidewalk, outdoor cafes, and a high level of streetscape design and activity. These areas include the main street retail areas of the former downtowns, as well as other historic main street areas and future areas designed to have similar pedestrian oriented character. The following policies shall apply to the lands designated Mixed-Use - Medium Density - Pedestrian Predominant on Map 1 - Ancaster Wilson Street Secondary Plan: Land Use Plan.

- a) Lands designated as Mixed-Use - Medium Density-Pedestrian Predominant form part of the Village Core area, as shown on Appendix A - Character Areas and Heritage Features. The Village Core area shall primarily consist of service and retail uses, as well as residential uses. The Village Core area shall serve the daily retail, commercial, and personal service needs for the Ancaster community.
- b) The Mixed-Use - Medium Density - Pedestrian Predominant area, known as the Village Core, shall be a focal point for Commercial development and activity and shall be the main pedestrian-oriented retail shopping area for the Secondary Plan area. The Village Core shall function as the primary centre of business, offices, services, civic, and community activities within the Ancaster community.
- c) Policies 6.9.8.5 b)-h) shall also apply to Mixed-Use - Medium Density Pedestrian Predominant areas.
- d) Notwithstanding Policy 6.9.8.5 c), the maximum height of buildings shall not exceed 2.5-storeys.
- e) A farmers market shall be permitted on lands designated Mixed-Use - Medium Density - Pedestrian Predominant.
- f) Notwithstanding Policy 6.9.8.5 b), the following uses shall be prohibited on land designated Mixed-Use - Medium Density - Pedestrian Predominant on Map 1 - Ancaster Wilson Street Secondary Plan: Land Use Plan:



- i) Drive-through facilities;
  - ii) Gas bars and car washes;
  - iii) Vehicle dealerships; and,
  - iv) Garden centres as a primary use.
- g) Building setbacks may vary along Wilson Street, and parking, driveways, or lanes shall be discouraged from being located between the buildings and the street.
- h) Each building or store front shall face onto the pedestrian predominant street, with the main entrance of each building or store and substantial fenestration facing on to the street.
- i) Residential uses shall not be permitted on the ground floor of a building facing onto a pedestrian predominant street.
- j) On-street parking shall be provided, where feasible and appropriate.
- k) Sidewalks shall be required on both sides of the street and shall be of sufficient width to:
- i) Accommodate anticipated pedestrian volumes;
  - ii) Comfortably and safely accommodate the needs of persons with disabilities and seniors;
  - iii) Ensure sufficient space for coordinated street furnishings, public utilities, and tree plantings; and,
  - iv) Accommodate sidewalk cafés, kiosks, and street vendors, where possible.
- l) Transit shelters and stops shall be provided, where appropriate;
- m) New buildings and spaces shall be designed to reflect a human scale of development, contribute to public safety and security, and create a significantly enhanced pedestrian environment.
- n) New buildings shall be encouraged to have awnings, canopies, arcades, or front porches to provide weather protection, subject to the Ancaster Wilson Street Secondary Plan Urban Design Guidelines.

- o) Hotels shall be encouraged to locate on pedestrian predominant streets with the main façade and entrance facing the pedestrian predominant street. The main automobile arrival areas may be located on a pedestrian predominant street, provided that pedestrian circulation is accommodated.
- p) The design of buildings and lands located in the Village Core area, identified on Appendix A - Character Areas and Heritage Features, are further detailed in Policy 6.9.12.1 j) ii).
- q) New development shall respect and reflect the existing heritage character of the Village Core, and shall be in accordance with Section 6.9.13 of this Secondary Plan.
- r) Private and public parking areas are permitted on lands designated Mixed-Use - Medium Density - Pedestrian Predominant, subject to the following:
  - i) Parking areas should be buffered from the street through the use of building placement or enhanced landscaping;
  - ii) The location of parking areas shall not negatively affect the pedestrian environment or access to buildings; and,
  - iii) Private and public parking areas are encouraged to provide for shared parking for several uses within the Village Core.

### **6.9.9 Parks and Open Space Designations**

The parks designations include a Community Park, Neighbourhood Park, and Parkette. Open space areas include natural areas, linkages, and trails which can be used for passive recreation such as walking or hiking.

#### **6.9.9.1 Parks and Open Space Designations**

In addition to Section 4.3 Open Space and Conservation, and 5.3 Niagara Escarpment Area, the following policies shall apply to the lands designated Community Park, Neighbourhood Park, Parkette, Natural Open Space and, General Open Space, on Map 1 - Ancaster Wilson Street Secondary Plan: Land Use Plan:

- a) All existing Parks and Open Space areas in the Ancaster Wilson Street Secondary Plan area shall be retained for use as parks and open space. These lands shall not be redeveloped for other uses to ensure they are preserved for active and passive recreation uses, and views and vistas are maintained.

- b) The provision of additional Parks and Open Space designated areas shall be encouraged, should opportunities arise in the future.
- c) Portions of the Ancaster Wilson Street Secondary Plan area designated as Natural Open Space form part of the Niagara Escarpment Plan Area. Policies of Section 5.3 of this Plan shall apply to Niagara Escarpment Plan areas.
- d) The Radial Trail, identified as General Open Space on Map 1 - Ancaster Wilson Street Secondary Plan: Land Use Plan, is an important trail connection from the greater Ancaster area to the Wilson Street Secondary Plan area and the Ancaster Community Node. The use of improved wayfinding, where appropriate, is encouraged.
- e) The provision of any additional trails and multi-use pathways through the Parks and Open Space designated areas shall ensure that the integrity of these areas is maintained.
- f) A pedestrian and bicycle trail network shall be established to link all uses within the Community Node area with adjacent neighbourhoods, subject to the following:
  - i) Natural walking trails shall be promoted, as shown on Appendix B - Connections, and in Policies 6.9.14; and,
  - ii) It is intended that the network will use public streets, sidewalks, and public open space lands.

#### **6.9.10 Institutional Designations**

The Institutional designation in the Ancaster Wilson Street Secondary Plan area shall provide for the needs of the Ancaster Community. Institutional uses such as museums, schools, and Places of Worship provide for enhanced quality of life, and further provide for a range of options and land uses consistent with a node area.

##### **6.9.10.1 Institutional Designation Policies**

In addition to the policies of Sections 4.7 - Institutional, the following policies shall apply to lands designated Institutional on Map 1 - Ancaster Wilson Street Secondary Plan: Land Use Plan:

- a) The following uses shall be permitted on land designated Institutional on Map 1 - Ancaster Wilson Street Secondary Plan: Land Use Plan:

- i) Educational facilities, except commercial schools;
  - ii) Religions facilities;
  - iii) Cultural facilities;
  - iv) Health care facilities;
  - v) Long term care facilities;
  - vi) Day care facilities;
  - vii) Accessory uses; and,
  - viii) Ancillary uses.
- b) The maximum height of institution buildings shall not exceed 3-storeys.
- c) Notwithstanding Policy 6.9.10.1 b) the maximum height of buildings within the Village Core as shown on Appendix A: Character Areas and Heritage Features shall not exceed 2.5 storeys.
- d) Administrative offices of educational, religious, cultural, health, welfare, and governmental activities, not accessory to the institutional use on the same property, may be permitted provided the following conditions are met:
- i) The site shall be located on an arterial road.
  - ii) Adequate on-site parking shall be provided.
- e) Should existing institutional uses cease operation or a new use is proposed, lands designated institutional shall be encouraged to proceed on the basis of the following considerations:
- i) Retention of the existing buildings and adaptive reuse, where appropriate, will be encouraged;
  - ii) Land use compatibility with adjacent residential areas will be a primary consideration;
  - iii) In the event of adaptive reuse, preference will be given to residential uses.

- f) When considering development proposals for new institutional uses or expansions to existing institutional uses within existing Institutional designations, the following criteria shall be evaluated:
  - i) Availability of sufficient off-street parking to meet projected demand, to minimize spill-over parking on adjacent local streets;
  - ii) Provision of adequate and appropriate landscaping and buffering to effectively screen parking, loading, and service areas from adjacent residential uses;
  - iii) The scale of the proposed institutional use and its compatibility with the character of established development in the surrounding area;
  - iv) The capability of the site for providing convenient access to public transit with all buildings located within a reasonable walking distance; and,
  - v) Use of underground parking or parking structures.
- g) Housing with supports, including residential care facilities shall be permitted in institutional designated areas, as shown on Map 1 - Ancaster Wilson Street Secondary Plan: Land Use Plan, and shall be subject to the zoning regulations, where applicable.

### **6.9.11 Utility Designation**

#### **6.9.11.1 Utility Policies**

In addition to Section 3.3 Servicing and Utilities, the following policies shall apply to the lands designated Utility on Map 1 - Ancaster Wilson Street Secondary Plan: Land Use Plan:

- a) It is the intent of this Secondary Plan that utilities are developed in an orderly manner consistent with the needs of the City. The planning, design, and development of utility shall complement the intent of policies for other land uses.
- b) The following uses shall be permitted on lands designated Utility on Map 1 - Ancaster Wilson Street Secondary Plan: Land Use Plan:
  - i) Corridors, easements, and right-of-way for utilities and services such as electric power, natural gas and oil pipelines, telecommunications storm water management, and water and wastewater service;
  - ii) Parking lots, in conjunction with adjacent uses; and,

- iii) Open spaces, such as trails and community gardens.
- c) When feasible, utilities and overhead wires should be buried underground as part of future planned road reconstruction or redevelopment.
- d) Consideration shall be given to the location of telecommunication and utility equipment within the public right of way, as well as, on private property. The City encourages innovative methods of containing utility equipment on, or within streetscape features such as a gateway, lamp post, transit shelter, etc. Telecommunication utility equipment should be co-located, whenever possible, to minimize visual impact.
- e) Telecommunications facilities shall be consistent with the City’s telecommunications antenna siting protocol.
- f) Utilities shall integrate with the general character of the surrounding uses through the provision of landscaping, screening and buffering, siting of structures, height control, and any other measures as may be deemed to be appropriate by the City.
- g) The City encourages discussions with utility providers such as hydro electric power, communications/telecommunications, pipelines and natural gas to ensure that sufficient infrastructure is or will be in place to serve the Secondary Plan area.
- h) Utilities will be planned for and installed in a coordinated and integrated basis in order to be more efficient, cost effective, and minimize disruption.

#### **6.9.12 Urban Design Policies**

Urban Design Guidelines have been prepared to implement the design directions of the Ancaster Wilson Street Secondary Plan area. The Guidelines further the vision and design concept for the Secondary Plan area by providing direction for development and redevelopment of buildings and public spaces to maintain consistent community form. Overall, the Ancaster Wilson Street Secondary Plan Urban Design Guidelines and policies of the Secondary Plan shall maintain the character that defines Ancaster by respecting its heritage and maintaining a high quality of design and aesthetic. The high quality of the built form is intended to contribute to the overall vitality and functionality of the Secondary Plan area.

The Ancaster Wilson Street Secondary Plan Design Guidelines are based on five distinct character areas. While each character area varies in function, together, the character areas all contribute to creating a unique sense of place for the Ancaster Wilson Street Secondary Plan Area.

#### 6.9.12.1 Urban Design Policies

The following policies shall apply to lands within the Ancaster Wilson Street Secondary Plan area:

- a) Development and redevelopment shall be consistent with the Ancaster Wilson Street Secondary Plan Urban Design Guidelines and shall be sympathetic to adjacent building styles, features, and materials when adjacent to a designated or listed heritage building.
- b) An Urban Design report may be required for development or redevelopment demonstrating how the proposal meets the policies of this Secondary Plan, and to demonstrate consistency with the Ancaster Wilson Street Secondary Plan Urban Design Guidelines.
- c) For the purposes of maintaining community character and cohesive design, five character areas have been identified, as shown on Appendix A - Character Areas and Heritage Features. The five Character Areas include:
  - i) Escarpment Area, located from Montgomery Drive to Rousseaux Street, which is mainly a low density residential area;
  - ii) Village Core, located from Rousseaux Street to Dalley Drive, which is the traditional downtown of Ancaster consisting of retail, commercial, and mixed residential uses;
  - iii) Transition Area, located from Dalley Drive to Fiddlers Green Road, which is a predominantly residential area with a variety of housing types and some non-retail commercial uses along Wilson Street;
  - iv) Uptown Core, located from Fiddlers Green Road to west of Todd Street, which is the second mixed-use commercial area in the node, consisting of larger format retail uses; and,
  - v) Gateway Residential, located from Todd Street to Meadowbrook Drive, which is a predominately residential area with low and medium density housing.
- d) The Ancaster Wilson Street Secondary Plan Urban Design Guidelines further describe the design objectives, function, and design character of each Character Area.
- e) New development shall complement the distinct character, design, style, building materials, and characteristics which define each Character Area.

- f) Design requirements shall generally only apply to commercial and mixed-use areas, institutional, and multi-residential developments. The guidelines shall not apply to single and semi detached dwellings.
- g) Development shall not negatively affect active transportation within the Ancaster Wilson Street Secondary Plan area.
- h) Development and redevelopment shall foster streets as interactive outdoor spaces for pedestrians.
- i) Mixed-use and commercial development shall provide a buffer, such as landscaped areas to adjacent sensitive land uses.
- j) Two primary commercial mixed-use areas have been identified within the Ancaster Wilson Street Secondary Plan area, and are part of the Ancaster Community Node: the Uptown Core and Village Core, as shown on Appendix A - Character Areas and Heritage Features. The following policies shall apply to the Uptown Core and Village Core:
  - i) The Uptown Core, as shown on Appendix A - Character Areas and Heritage Features, shall be consistent with the following design considerations:
    - 1) Prior to the consideration of any large scale development or redevelopment in the Uptown Core, a detailed concept plan shall be completed. An Urban Design Report shall be submitted, which demonstrates how the proposed development meets the intent of this plan and addresses the Urban Design Guidelines;
    - 2) Development and redevelopment proposals shall incorporate pedestrian amenities, including but not limited to, internal sidewalks, street furniture, and, adequate signage and wayfinding. Should a comprehensive redevelopment of the Uptown Core occur, consideration should be given to a grid system of streets to create a clear circulation system that gives order to the development pattern and encourages walkability;
    - 3) The Uptown Core shall be designed as a 'complete street' network that invites all forms of active transportation, while accommodating automobiles and transit vehicles;
    - 4) Retail spaces and buildings shall be oriented in a 'retail main street' configuration with storefronts located close to the street and principal entrances facing the sidewalk to create a pleasant pedestrian oriented shopping environment;



- 5) Where feasible, all streets should be tree lined or include similar landscaped treatments;
  - 6) Buildings shall be massed parallel to the street edges to provide a continuous street wall and appropriate pedestrian scale at the street level;
  - 7) Parking shall be designed to have minimal frontage onto the street and to be screened from public streets by buildings and/or landscaping;
  - 8) Curb cuts to accommodate vehicles along Wilson Street shall be limited; and,
  - 9) Linear parks can be used to buffer commercial development or redevelopment from existing adjacent sensitive land uses.
- ii) The Village Core area, shown on Appendix A - Character Areas and Heritage Features, shall be consistent with the following design considerations:
- 1) For buildings fronting onto Wilson Street, setbacks may be varied as per the character of the Village Core area;
  - 2) Buildings within the Village Core should incorporate historical building features and styles in order to encourage a village atmosphere and pleasant pedestrian experience, where feasible;
  - 3) Additional considerations to encourage the historic atmosphere of the Village Core, including heritage styled signage, and building façades, as described in the Ancaster Wilson Street Urban Design Guidelines, should be included in any development or redevelopment;
  - 4) The Village Core should express a strong heritage design character that invites pedestrians and encourages interaction; and,
  - 5) The heritage of the Village Core can be strengthened through the use of a public walkway linking buildings and other land uses.

#### 6.9.12.2 Gateways

The following policies shall apply to Gateways in the Ancaster Wilson Street Secondary Plan area:

- a) The Ancaster Wilson Street Secondary Plan Urban Design Guidelines have identified the following gateways, shown on Appendix A - Character Areas and Heritage Features, in the following general areas:
  - i) Meadowbrook Drive and Wilson Street;
  - ii) Reding Road/Halson Street and Wilson Street; and,
  - iii) Rousseaux Street and Wilson Street.
- b) Gateways may take the form of a structure and/or sign or a landscaped area or laneway. Gateway type and design shall vary based on character area and function. Gateway design and features shall be completed, to the satisfaction of the City.

### **6.9.13 Cultural Heritage Policies**

Heritage is a key component in the unique character that identifies the Ancaster Wilson Street Secondary Plan area. Due to its long history as one of the oldest communities in Ontario, Ancaster has a wealth of cultural heritage features which forms the context for new development. The intent of cultural heritage preservation is to ensure compatible style, building materials, and key features which all contribute to the community character and creating a sense of place. The integration of cultural heritage into the public and private realms can help improve walkability by making a more pleasant pedestrian environment, and thus improving the quality of public spaces. While new and modern developments are welcomed in Ancaster, new buildings should reflect the cultural heritage of the surrounding area.

#### **6.9.13.1 Cultural Heritage Policies**

Policies 6.9.13.2 to 6.9.13.44 shall apply to the cultural heritage resources within the Ancaster Wilson Street Secondary Plan area only.

#### **6.9.13.2 The City of Hamilton shall, in partnership with others, where appropriate:**

- a) Protect and conserve the tangible cultural heritage resources of the Ancaster Wilson Street Secondary Plan area, including archaeological resources, built heritage resources, and cultural heritage landscapes for present and future generations;
- b) Identify cultural heritage resources through a continuing process of inventory, survey, and evaluation, as a basis for the wise management of these resources;

- c) Promote awareness and appreciation of the Ancaster Wilson Street Secondary Plan’s cultural heritage and encourage public and private stewardship of and custodial responsibility for the Secondary Plan area’s cultural heritage resources;
- d) Avoid harmful disruption or disturbance of known archaeological sites or areas of archaeological potential;
- e) Encourage the ongoing care of individual cultural heritage resources and the properties on which they are situated together with associated features and structures by property owners, and provide guidance on sound conservation practices;
- f) Support the continuing use, reuse, care, and conservation of cultural heritage resources and properties by encouraging property owners to seek out and apply for funding sources available for conservation and restoration work;
- g) Ensure the conservation and protection of cultural heritage resources in planning and development matters subject to the Planning Act either through appropriate planning and design measures or as conditions of development approvals;
- h) Conserve the character of areas of cultural heritage significance, including designated heritage conservation districts and cultural heritage landscapes, by encouraging those land uses, development and site alteration activities that protect, maintain and enhance these areas within the Ancaster Wilson Street Secondary Plan; and,
- i) Use all relevant provincial legislation, particularly the provisions of the Ontario Heritage Act, the Planning Act, the Environmental Assessment Act, the Municipal Act, the Niagara Escarpment Planning and Development Act, the Cemeteries Act, the Greenbelt Act, the Places to Grow Act, and all related plans and strategies in order to appropriately manage, conserve, and protect Hamilton’s cultural heritage resources.

#### Listing of Properties in the Heritage Register

6.9.13.3 The City shall maintain, pursuant to the Ontario Heritage Act, a Register of Property of Cultural Heritage Value or Interest. In considering additions and removals of non-designated cultural heritage property to or from this Register, the City shall seek and consider advice from its Municipal Heritage Committee.

6.9.13.4 In addition to the provisions of the Ontario Heritage Act respecting demolition of cultural heritage properties contained in the Register, the City shall ensure

that such properties shall be protected from harm in the carrying out of any undertaking subject to the Environmental Assessment Act or the Planning Act.

#### Protection of Non-Designated or Non-Registered Heritage Properties

- 6.9.13.5 The City recognizes there may be cultural heritage properties that are not yet identified or included in the Register of Property of Cultural Heritage Value or Interest, nor designated under the Ontario Heritage Act, but still may be of cultural heritage interest. These may be properties that have yet to be surveyed, or otherwise identified, or their significance and cultural heritage value has not been comprehensively evaluated but are still worthy of conservation.
- 6.9.13.6 The City shall ensure these non-designated and non-registered cultural heritage properties are identified, evaluated, and appropriately conserved through various legislated planning and assessment processes, including the Planning Act, the Environmental Assessment Act, and the Cemeteries Act.
- 6.9.13.7 To ensure consistency in the identification and evaluation of these non-designated and non-registered cultural heritage properties, the City shall use the criteria for determining cultural heritage value or interest established by provincial regulation under the Ontario Heritage Act and set out in Policy 6.9.13.8.

#### Cultural Heritage Evaluation Criteria

- 6.9.13.8 For consistency in all heritage conservation activity, the City shall use, and require the use by others, of the following criteria to assess and identify cultural heritage resources that may reside below or on real property:
- a) Prehistoric and historical associations with a theme of human history that is representative of cultural processes in the settlement, development, and use of land in the Ancaster Wilson Street Secondary Plan area;
  - b) Prehistoric and historical associations with the life or activities of a person, group, institution, or organization that has made a significant contribution to the City;
  - c) Architectural, engineering, landscape design, physical, craft, or artistic value;

- d) Scenic amenity with associated views and vistas that provide a recognizable sense of position or place;
- e) Contextual value in defining the historical, visual, scenic, physical, and functional character of an area; and,
- f) Landmark value.

6.9.13.9 Any property that fulfills one or more of the foregoing criteria listed in Policy 6.9.13.8 shall be considered to possess cultural heritage value. The City may further refine these criteria and provide guidelines for their use, as appropriate.

#### Cultural Heritage Conservation Plan Statements

6.9.13.10 The City shall prepare cultural heritage conservation plan statements for areas where the concentration or significance of cultural heritage resources requires that detailed guidance be provided for the conservation and enhancement of these resources. The statements will, in part, be prepared to ensure that development, site alteration, and redevelopment proposals demonstrate appropriate consideration for their impact on cultural heritage resources.

#### Cultural Heritage Impact Assessments

6.9.13.11 A Cultural Heritage Impact Assessment shall be required by the City and submitted prior to or at the time of any application submission pursuant to the Planning Act where the proposed development, site alteration, or redevelopment of lands (both public and private) has the potential to adversely affect the following cultural heritage resources through displacement or disruption:

- a) Properties designated under any part of the Ontario Heritage Act or adjacent to properties designated under any part of the Ontario Heritage Act;
- b) Properties that are included in the City's Register of Property of Cultural Heritage Value or Interest or adjacent to properties included in the City's Register of Property of Cultural Heritage Value or Interest;
- c) A registered or known archaeological site or areas *of* archaeological potential;
- d) Any area for which a cultural heritage conservation plan statement has been prepared; or,

- e) Properties that comprise or are contained within cultural heritage landscapes that are included in the Register of Property of Cultural Heritage Value or Interest.

6.9.13.12 Where cultural heritage resources are to be affected, the City may impose conditions of approval on any planning application to ensure their continued protection. In the event that rehabilitation and reuse of the resource is not viable, and this has been demonstrated by the proponent, the City may require that affected resources be thoroughly documented for archival purposes, at the expense of the applicant, prior to demolition.

#### Public Awareness

6.9.13.13 Public awareness and enjoyment of the Ancaster Wilson Street Secondary Plan area's cultural heritage shall be promoted. In order to enhance opportunities for conserving cultural heritage resources, the City may:

- a) Participate in cultural heritage programs, including management, planning, and funding programs, of other levels of government or any other agencies and groups, that are intended to conserve, restore, protect, interpret, or communicate or otherwise assist in the management of cultural heritage resources;
- b) Initiate or support public program or heritage interpretation activities intended to increase community awareness and appreciation of the City's heritage, including its recent history and distant past, in order to represent either popular or under-represented stories, themes, and histories of people or groups;
- c) Participate in public programmes or heritage interpretation activities of other levels of government or other agencies and groups;
- d) Encourage active citizen participation in cultural heritage conservation activities; and,
- e) Name roads, streets, water courses, and other public places and facilities to recognize all persons, groups, themes, activities, landscapes, or landmarks of interest in the Ancaster Wilson Street Secondary Plan that have contributed to the cultural heritage and diversity of Hamilton's history.

6.9.13.14 Within the Ancaster Wilson Street Secondary Plan area the City shall conserve individual cultural heritage properties and areas of heritage value, including streetscape features, traditional circulation patterns, and important views; and ensure that new development respects and reflects the design of surrounding heritage buildings.

6.9.13.15 New development or redevelopment of the Ancaster Wilson Street Secondary Plan area containing heritage buildings or adjacent to heritage building shall:

- a) Encourage a consistent street orientation in any new building forms;
- b) Maintain any established building line of existing building(s) or built form by using similar setbacks from the street;
- c) Support the creation of a continuous street wall through built form on streets distinguished by commercial blocks or terraces;
- d) Encourage building heights in new buildings that reflect existing built form, wherever possible, or encourage forms that are stepped back at upper levels to reflect established cornice lines of adjacent buildings or other horizontal architectural forms or features; and,
- e) Reflect the character, massing, and materials of surrounding buildings.

6.9.13.16 The City shall encourage the use of contemporary architectural styles, built forms, and materials which respect the heritage context.

6.9.13.17 Where alterations are proposed to built heritage resources within the Ancaster Wilson Street Secondary Plan area, the following principles shall be followed:

- a) Maintain the basic relations of the horizontal divisions of the building;
- b) Maintain original façade components and materials, wherever possible;
- c) Replicate the original parts and materials, wherever possible; and,
- d) Remove elements that are not part of or hide the original design.

#### Established Historical Neighbourhoods

6.9.13.18 The City shall protect established historical neighbourhoods, as identified in the cultural heritage landscape inventory, and other City initiatives, by ensuring that new construction and development are sympathetic and complementary to existing cultural heritage attributes of the neighbourhood, including lotting and street patterns, building setbacks and building mass, height, and materials.

6.9.13.19 Intensification through conversion of existing built heritage resources shall be encouraged only where original building fabric and architectural features are retained, and where any new additions, including garages or car ports, are no higher than the existing building and are placed to the rear of the lot or set back substantially from the principal façade. Alterations to principal façades and the paving of front yards shall be avoided.

#### Commercial and Industrial Heritage Properties

6.9.13.20 The City shall encourage the intensification and adaptive reuse of commercial heritage properties. Any permitted redevelopment shall ensure, where possible, that the original building fabric and architectural features are retained, and that any new additions will complement the existing building in accordance with the policies of this Plan.

6.9.13.21 To facilitate the intensification and adaptive reuse of such properties, the City may allow reduced parking or other site and amenity requirements.

#### 6.9.13.22 Archaeology Policies

The City shall require the protection, conservation, or mitigation of sites of archaeological value and areas of archaeological potential, as provided for under the Planning Act, the Environmental Assessment Act, the Ontario Heritage Act, the Municipal Act, the Cemeteries Act, or any other applicable legislation.

6.9.13.23 In areas of archaeological potential, an Archaeological Assessment shall be required and submitted prior to, or at the time of application submission, for the following planning matters under the Planning Act:

- a) Secondary Plan Amendment, unless the development proposed in the application in question or other applications on the same property does not involve any site alteration or soil disturbance;
- b) Zoning By-law Amendments, unless the development proposed in the application in question or other applications on the same property does not involve any site alteration or soil disturbance; and,
- c) Plans of subdivision.



6.9.13.24 In areas of archaeological potential, an Archaeological Assessment:

- a) May be required and submitted, prior to or at the time of application submission, for the following planning matters under the Planning Act when they involve soil disturbance or site alteration:
  - i) Site Plan applications; and,
  - ii) Plans of condominium.
- b) May be required for the following planning matters under the Planning Act when they involve soil disturbance or site alteration:
  - i) Minor variances; and,
  - ii) Consents/severances.

6.9.13.25 Archaeological Assessments shall be prepared in accordance with any applicable guidelines.

6.9.13.26 Prior to site alteration or soil disturbance relating to a Planning Act application, any required Archaeological Assessment must be approved, in writing, by the Province and the City, indicating that there are no further archaeological concerns with the property or concurring with the final resource management strategy to be implemented. The City may also require a higher standard of conservation, care, and protection for archaeological resources based on prevailing conditions and circumstances within the City, and the results of any dialogue with First Nations and their interests.

6.9.13.27 The City considers the following archaeological resources to be of particular interest, value, and merit:

- a) Spatially large, dense lithic scatters (peak levels of more than 99 artifacts per square-metre);
- b) Deeply buried or stratified archaeological sites;
- c) Undisturbed or rare Native archaeological sites;
- d) Sacred archaeological sites;
- e) Archaeological sites comprising human burials;
- f) Paleo-Indian archaeological sites;

- g) Early-Archaic archaeological sites;
- h) Woodland period archaeological habitation sites;
- i) Post-contact archaeological sites predating 1830 AD; and,
- j) Post 1830 archaeological site(s) where background documentation or archaeological features indicate heritage value.

6.9.13.28 To conserve these resources, avoidance, and protection in situ shall be the preferred conservation management strategies. Where it has been demonstrated in an Archaeological Assessment by a licensed Archaeologist that avoidance is not a viable option, alternative mitigation measures shall be agreed upon by the Province and the City, and in accordance with the Archaeology Management Plan.

6.9.13.29 The City may use all relevant provisions of the Planning Act to prohibit the use of land and the placement of buildings and structures in order to protect and conserve sites or areas of significant archaeological resources.

6.9.13.30 Where a marked or unmarked cemetery or burial place is encountered during any Archaeological Assessment or excavation activity, the provisions of the Cemeteries Act and associated regulations, and the policies of this Plan, shall apply.

6.9.13.31 Where a marked or unmarked cemetery or burial place is found, the nearest First Nation shall be notified.

6.9.13.32 An inventory of built heritage resources shall be prepared by the City and, as appropriate, may be included in the Register of Property of Cultural Heritage Value or Interest. Registered properties containing built heritage resources may be considered for designation under the Ontario Heritage Act, and shall be protected in the carrying out of any undertaking subject to the Environmental Assessment Act or the Planning Act.

6.9.13.33 The City shall encourage the retention and conservation of significant built heritage resources in their original locations. In considering planning applications under the Planning Act and Heritage Permit applications under the Ontario Heritage Act, there shall be a presumption in favour of retaining the built heritage resource in its original location.

6.9.13.34 Relocation of built heritage resources shall only be considered where it is demonstrated by a Cultural Heritage Impact Assessment that the following options, in order of priority, have been assessed:

- a) Retention of the building in its original location and its original use; or,
- b) Retention of the building in its original location, but adaptively reused.

6.9.13.35 Where it has been demonstrated that retention of the built heritage resource in its original location is neither appropriate nor viable, the following options, in order of priority, shall be considered:

- a) Relocation of the building within the area of development; or,
- b) Relocation of the building to a sympathetic site.

6.9.13.36 Where a significant built heritage resource is to be unavoidably lost or demolished, the City shall ensure the proponent undertakes one or more of the following mitigation measures, in addition to a thorough inventory and documentation of the features that will be lost:

- a) Preserving and displaying of fragments of the former buildings' features and landscaping;
- b) Marking the traces of former locations, shapes, and circulation lines;
- c) Displaying graphic and textual descriptions of the site's history and former use, buildings, and structures; and,
- d) Generally reflect the former architecture and use in the design of the new development, where appropriate, in accordance with Section 6.9.12.

6.9.13.37 Cultural Heritage Landscapes

6.9.13.37.1 A cultural heritage landscape is a defined geographical area characterized by human settlement activities that have resulted in changes and modifications to the environment, which is now considered to be of heritage value or interest. Cultural heritage landscapes may include distinctive urban streetscapes and commercial main streets, designed landscapes such as parks, cemeteries and gardens, nineteenth and twentieth century urban residential neighbourhoods, as well as commercial areas and industrial complexes.

6.9.13.37.2 An inventory of cultural heritage landscapes shall be prepared by the City and may be included in the Register of Properties of Cultural Heritage Value or Interest. Cultural heritage landscapes may also be considered for designation under the Ontario Heritage Act, and shall be protected in the carrying out of any undertaking, subject to the Environmental Assessment Act or the Planning Act.

6.9.13.37.3 Cultural Heritage Landscapes shall be conserved and protected with the intent of retaining major characteristics. This shall be implemented by the review of planning applications under the Planning Act. The City shall ensure that any proposed change is consistent within the policies of the Secondary Plan. The Village Core, as shown on Appendix A - Character Areas and Heritage Features and in the supporting Urban Design Guidelines, has been identified as a Cultural Heritage Landscape.

#### Heritage Conservation Districts

6.9.13.38 The City, in consultation with its Municipal Heritage Committee, may designate properties, including cultural heritage landscapes, as heritage conservation districts under the Ontario Heritage Act where it has been determined that the district possesses one or more of the following attributes:

- a) A group of buildings, features, and spaces that reflect an aspect of local history, through association with a person, group, or activity;
- b) Buildings and structures that are of architectural or vernacular value or interest; and,
- c) Important physical and aesthetic characteristics that provide an important context for cultural heritage resources or associations within the district, including features such as buildings, structures, landscapes, topography, natural heritage, and archaeological sites.

6.9.13.39 The City shall in accordance with the Ontario Heritage Act:

- a) Define and examine study areas for future Heritage Conservation District designation;
- b) Prepare area studies of prospective Heritage Conservation Districts; and,
- c) Prepare heritage conservation district plans.

6.9.13.40 The City may, in accordance with the Ontario Heritage Act, by By-law, prohibit or set limitations with respect to property alteration, erection, demolition, or removal of buildings or structures, or classes of buildings or structures, within the Heritage Conservation District study area through:

- a) The retention and conservation of historical buildings, structures, or features on their original sites shall be encouraged through:
  - i) Adaptive re-use and preservation of existing buildings before new development is considered;

- ii) Maintaining a listing of historical designated and listed properties of interest. Historic buildings are shown on Appendix A - Character Areas and Heritage Features.
  - iii) Integrating cultural heritage resources into new development proposals in their original use or an appropriate adaptive reuse, where possible.
- b) When development is proposed adjacent to existing designated or listed heritage buildings, as shown on Appendix A - Character Areas and Heritage Features, a Planning Justification Report shall detail how the proposed development is consistent with the character and style of the surrounding heritage buildings.
- c) The tree lined streetscape of portions of the Ancaster Wilson Street Secondary Plan area shall be maintained and protected, where feasible, to enhance and preserve the character of the street and surrounding neighbourhood area.

#### 6.9.13.41 Special Character Roads

The following policies shall apply to the portions of Jerseyville Road East, Wilson Street East, and Sulphur Springs Road, identified as Special Character Roads on Appendix A - Character Areas and Heritage Features:

- a) Special Character Roads are identified on Appendix A - Character Areas and Heritage Features, and include:
  - i) Jerseyville Road East from Lovers Lane to Wilson Street East;
  - ii) Sulphur Springs Road from Mansfield Drive to Wilson Street East; and,
  - iii) Wilson Street East from Rousseaux Street to Halson Street.
- b) The existing road cross-section, including existing mature vegetation fronting along the street, shall be maintained, where feasible. Protection of trees may require unique approaches to grading and to the preservation of trees along the road.
- c) The existing character of these streets identified in 2.8.12.2 a) shall be protected by minimizing changes to the existing road right-of-way and ensuring that development is compatible with, and sympathetic in design to the character of the existing streetscape.

## Cultural Heritage Impact Assessment

6.9.13.42 Where the City requires a proponent to prepare a Cultural Heritage Impact Assessment, it shall be undertaken by a qualified professional with demonstrated expertise in cultural heritage assessment, mitigation, and management, according to the requirements of the City's Cultural Heritage Impact Assessment Guidelines, and shall contain the following:

- a) Identification and evaluation of all potentially affected cultural heritage resource(s), including detailed site(s) history and a cultural heritage resource inventory containing textual and graphic documentation;
- b) A description of the proposed development or site alteration and alternative forms of the development or site alteration;
- c) A description of all cultural heritage resource(s) to be affected by the development and its alternative forms;
- d) A description of the effects on the cultural heritage resource(s) by the proposed development or site alteration and its alternative forms; and,
- e) A description of the measures necessary to mitigate the adverse effects of the development or site alteration and its alternatives upon the cultural heritage resource(s).

6.9.13.43 Where cultural heritage resources are to be affected, the City may impose conditions of approval on any Planning Act applications to ensure their continued protection. In the event that rehabilitation and reuse of the resource is not viable, and this has been demonstrated by the proponent, the City may require that affected resources be thoroughly documented for archival purposes, at the expense of the applicant, prior to demolition.

## Archaeology Assessment

6.9.13.44 Any required Archaeological Assessment must be conducted by an Archaeologist, licensed under the Ontario Heritage Act, and shall be submitted to the City for final approval and to the Province for review and compliance to licensing provisions and Archaeological Assessment standards and guidelines. The Archaeological Assessment:

- a) Shall be prepared following the terms and conditions set out in the provincial guidelines; and,
- b) Shall provide conservation-related recommendations, including, but not restricted to, subsequent processes and procedures for the conservation and management of archaeological resources prior to, during, and post

development and/or site alteration-related activities. This may address further archaeological test-excavation and evaluation prior to the determination of a final resource management strategy and the submission of any further reports required by the Province or City. Such recommended processes and procedures for archaeological management shall be implemented through a variety of measures including, but not limited to, the mitigation, preservation, and/or resource excavation, removal and documentation, of all archaeological resources, to the satisfaction of the City, and approval by the Province.

#### 6.9.14 Transportation and Linkages Policies

The Ancaster Transportation Master Plan (ATMP) forms the basis for the transportation policies and implementation for the Ancaster Wilson Street Secondary Plan area. The following Secondary Plan policies are intended to support the recommendations of the Transportation Master Plan. Transportation within the Secondary Plan area should accommodate all users and modes of transportation.

##### 6.9.14.1 Transportation Policies

In addition to Section 3.2 Transportation, the following transportation policies shall apply to the Ancaster Wilson Street Secondary Plan area:

- a) Roads within the Ancaster Wilson Street Secondary Plan shall be classified as either, Arterial, Collector or Local roads subject to the following:
  - i) Arterial and Collector roads are identified on Schedule E of this Plan; and,
  - ii) Roads, shown on Map 1 Ancaster Wilson Street Secondary Plan - Land Use Plan, which are not classified as Arterial or Collector on Schedule E, shall be considered Local roads.
- b) Roads classified as Arterial, Collector, and Local shall be developed in accordance with Policies 3.2.1 of this Plan.
- c) Notwithstanding Section 3.2.2 of this Plan, the right-of-way for Wilson Street, Halson Street, and Fiddlers Green Road shall be as follows:

Road	From	To	Future Right of way Width (metres)
Fiddlers Green Road	Jerseyville Road	Wilson Street	26.213
	Wilson Street	Douglas Road	32.004
Sulphur Springs	Wilson Street	Lodor Street	20.117

Road			
Wilson Street	Rousseaux Street	Halson Street	20.117
	Halson Street	Meadowbrook Drive	30.480

- d) All intersections should be designed to support safe pedestrian crossing. Major intersections should support pedestrian crossings by providing safe crossing points and connection to public walkways. Boulevard tree planting should be closely spaced in the vicinity of such intersections.
- e) The transportation network in Ancaster shall proceed on the basis of the recommendations of the Ancaster Transportation Master Plan, as amended.
- f) Where warranted, and in accordance with the Ancaster Transportation Master Plan, pedestrian crossings should be implemented to facilitate the movement of pedestrians throughout the Secondary Plan area.
- g) Access to Wilson Street for development shall be via shared laneways or condominium roads, where possible, to contribute to an improved streetscape and urban character, while enhancing road safety by limiting multiple individual accesses onto Wilson Street.
- h) On-street parking shall be encouraged on Wilson Street, where appropriate, to provide additional parking for area residents and businesses, and to serve as a natural traffic calming method and provide a buffer between moving traffic and pedestrians.
- i) Development within the Ancaster Wilson Street Secondary Plan area shall have regard for the Council-adopted Transit Oriented Development Guidelines.

#### 6.9.14.2 Active Transportation Network

The following policies shall apply to the entire Wilson Street Secondary Plan area:

- a) Secondary trails, cycling facilities, and pedestrian pathways are encouraged to promote connections to prominent destinations, such as large open spaces and institutional areas, in accordance with the potential connections identified on Appendix B - Connections.
- b) Where feasible, off-street pedestrian linkages should be expanded to increase the active transportation network. Completion/connection of the proposed trails and cycling routes, shown on Appendix B - Connections,



shall be achieved through land dedications and easements in order to connect existing pathways to future planned routes.

- c) When development occurs, pedestrian amenities shall be required in order to promote a viable streetscape and encourage active transportation and a continuous street presence. Pedestrian amenities include, but are not limited to, street furniture, wayfinding signs, and paved walkways.
- d) An Urban Design Report shall be submitted as part of any development or redevelopment, and shall demonstrate how pedestrian amenities can be accommodated.
- e) In addition to the recommendations of the Ancaster Transportation Master Plan, the Shifting Gears Cycling Master Plan, and the Recreation Trails Master Plan, additional linkages and connections shall be encouraged for the Ancaster Wilson Street Secondary Plan area, as detailed on Appendix B - Connections, and through the following additional recommendations:
  - i) Shared on-road bicycle lanes along Sulphur Springs Road are encouraged;
  - ii) Continuous and wider sidewalks are encouraged for Sulphur Springs Road, Jerseyville Road, and Amberly Boulevard;
  - iii) Connections between the community and the Escarpment should be encouraged through a trailhead connection at Old Dundas Road; and,
  - iv) Pedestrian connections encouraged to directly connect the proposed trailhead at Old Dundas Road to the Village Core.

#### 6.9.14.3 Public Transit Network

The following policies shall apply to the entire Wilson Street Secondary Plan area:

- a) Development shall be directed towards Wilson Street, in accordance with Sections 6.9.6 and 6.9.7, to provide support for the provision of Public Transit.
- b) The City shall explore the feasibility of a transit hub within the Ancaster Wilson Street Secondary Plan area to better connect to the greater transit system of Hamilton, in accordance with the Ancaster Transportation Master Plan.
- c) Public Transit stops should be designed to maximize transit use and access, where feasible.

### **6.9.15 Infrastructure Policies**

Municipal services, such as sewers, water, stormwater systems and public/private utilities, shall be provided, maintained, and upgraded, as necessary, to accommodate the needs of existing and future development in the Ancaster Wilson Street Secondary Plan area.

6.9.15.1 In addition to Section 3.3, Service and Utilities, the following policies shall apply to the entire Wilson Street Secondary Plan area:

- a) Innovative servicing technologies, to improve stormwater management, including but not limited to, green roofs and grey water recycling, in accordance with City By-laws and provincial regulations, shall be encouraged in building design and development and redevelopment, where feasible.
- b) Where possible, stormwater management facilities should be located adjacent to other open space areas.
- c) The City shall continuously monitor the capacity and reassess the need to manage stormwater runoff, as necessary.
- d) Infrastructure related works within the Ancaster Wilson Street Secondary Plan area shall have regard for the heritage and character of the Ancaster Wilson Street Secondary Plan area by maintaining heritage features and landscapes, where feasible.
- e) All new development and redevelopment within the Ancaster Wilson Street Secondary Plan area shall be connected to the City’s Water and wastewater system.
- f) The City shall discourage changes in land use designations and zoning which would result in the underutilization of previously planned and/or constructed water and wastewater systems.
- g) Water and wastewater systems shall be designed and constructed in accordance with the specifications and standards of the City, Provincial guidelines, and other applicable standards and guidelines.
- h) The City shall be satisfied that adequate infrastructure services can be provided, prior to any development or intensification proceeding, and where technically and economically possible, the City shall require such services to be located underground.
- i) Any new development that occurs shall be responsible for submitting a detailed stormwater management plan, prior to development, to properly

address on-site drainage and ensure that new development has no negative impact on off-site drainage.

#### **6.9.16 Site Specific Policies**

The sites within the Ancaster Wilson Street Secondary Plan area, which are identified as Site-Specific Policy Areas and identified on Map 1 - Ancaster Wilson Street Secondary Plan: Land Use Plan, include:

- a) Site-Specific Policy - Area A - 437 Wilson Street East;
- b) Site-Specific Policy - Area B - Part of 449 Wilson Street East and Part of 548 Old Dundas Road;
- c) Site-Specific Policy - Area C -143 and 153 Wilson Street East;
- d) Site-Specific Policy - Area D -129-139 Wilson Street West; and,
- e) Site-Specific Policy - Area E - 357 Wilson Street East.

#### **Site Specific Policy - Area A**

6.9.16.1 For the lands known municipally as 437 Wilson Street East, identified as Site Specific Policy - Area A on Map 1 - Ancaster Wilson Street Secondary Plan: Land Use Plan, and designated as Institutional and Natural Open Space, the following policies shall apply:

- a) Prior to any proposed development or redevelopment of the site, other than institutional uses, the following studies shall be submitted as part of a complete Planning Act application, and shall be completed, to the satisfaction of the City to ensure development or redevelopment occurs in an appropriate and orderly manner:
  - i) Cultural Heritage Impact Assessment;
  - ii) Archaeological Assessment;
  - iii) Detailed Concept Plan;
  - iv) Urban Design Report;
  - v) Functional Servicing Plan;
  - vi) Hydro-Geological Assessment;
  - vii) Planning Justification Report;

- viii) Environmental Impact Statement;
  - ix) Comprehensive Transportation Management and Traffic Impact Plan;
  - x) Tree Preservation Plan; and,
  - xi) Visual Impact Assessment, where required, to the satisfaction of the City, in consultation with the Niagara Escarpment.
- b) Any proposed development shall be consistent with the intended principles and objectives of this Secondary Plan.

### **Site-Specific Policy - Area B**

6.9.16.2 For portions of the lands known municipally as 449 Wilson Street East and 548 Old Dundas Road, identified as Site-Specific Policy - Area B on Map 1 - Ancaster Wilson Street Secondary Plan: Land Use Plan, the following policies shall apply:

- a) Notwithstanding Section 6.9.9 - Parks and Open Space Designations, existing residential and commercial uses shall be permitted, in accordance with the provisions of the Zoning By-law.

### **Site-Specific Policy - Area C**

6.9.16.3 For the lands known municipally as 143 and 153 Wilson Street West, identified as Site-Specific Policy - Area C on Map 1 - Ancaster Wilson Street Secondary Plan: Land Use Plan, the following policies shall apply:

- a) Notwithstanding Policy 6.9.7.4 b) Medium Density Residential 2 Designation, the net minimum residential density shall be 16.95 units per hectare.

### **Site-Specific Policy - Area D**

6.9.16.4 For the lands known municipally as 129-139 Wilson Street West, identified as Site-Specific Policy - Area D on Map B.2.8-1 - Ancaster Wilson Street Secondary Plan: Land Use Plan, the following policies shall apply:

- a) Notwithstanding Policy 6.9.7.4 b) Medium Density Residential 2 Designation, the permitted residential building shall not exceed a height of four storeys above grade.

**Site-Specific Policy - Area E**

6.9.16.5 For the lands known municipally as 357 Wilson Street East, identified as Site-Specific Policy - Area E on Map B.2.8-1 - Ancaster Wilson Street Secondary Plan: Land Use Plan, the following policies shall apply:

- b) In addition to Policy 6.9.10 Institutional Designation, a mixture of uses shall be permitted in accordance with the Mixed-Use - Medium Density Pedestrian Predominant designation in Policy 6.9.8.6 without an amendment to this Plan.

**Implementation:**

A Zoning By-law Amendment and future Planning Act applications will give effect to this Official Plan Amendment.

This is Schedule "1" to By-law No. [REDACTED], passed on the [REDACTED] day of [REDACTED], 2012.

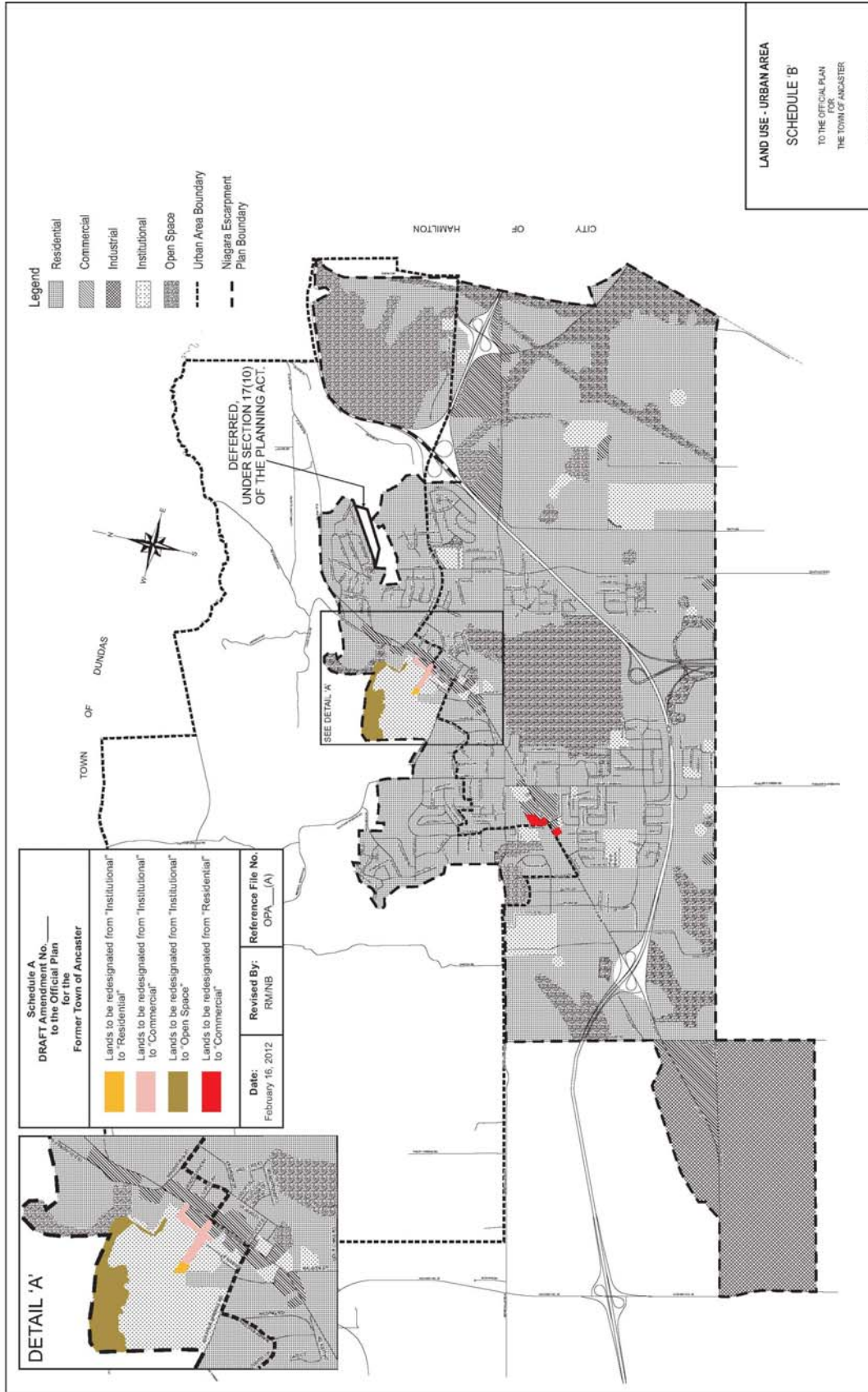
**The  
City of Hamilton**

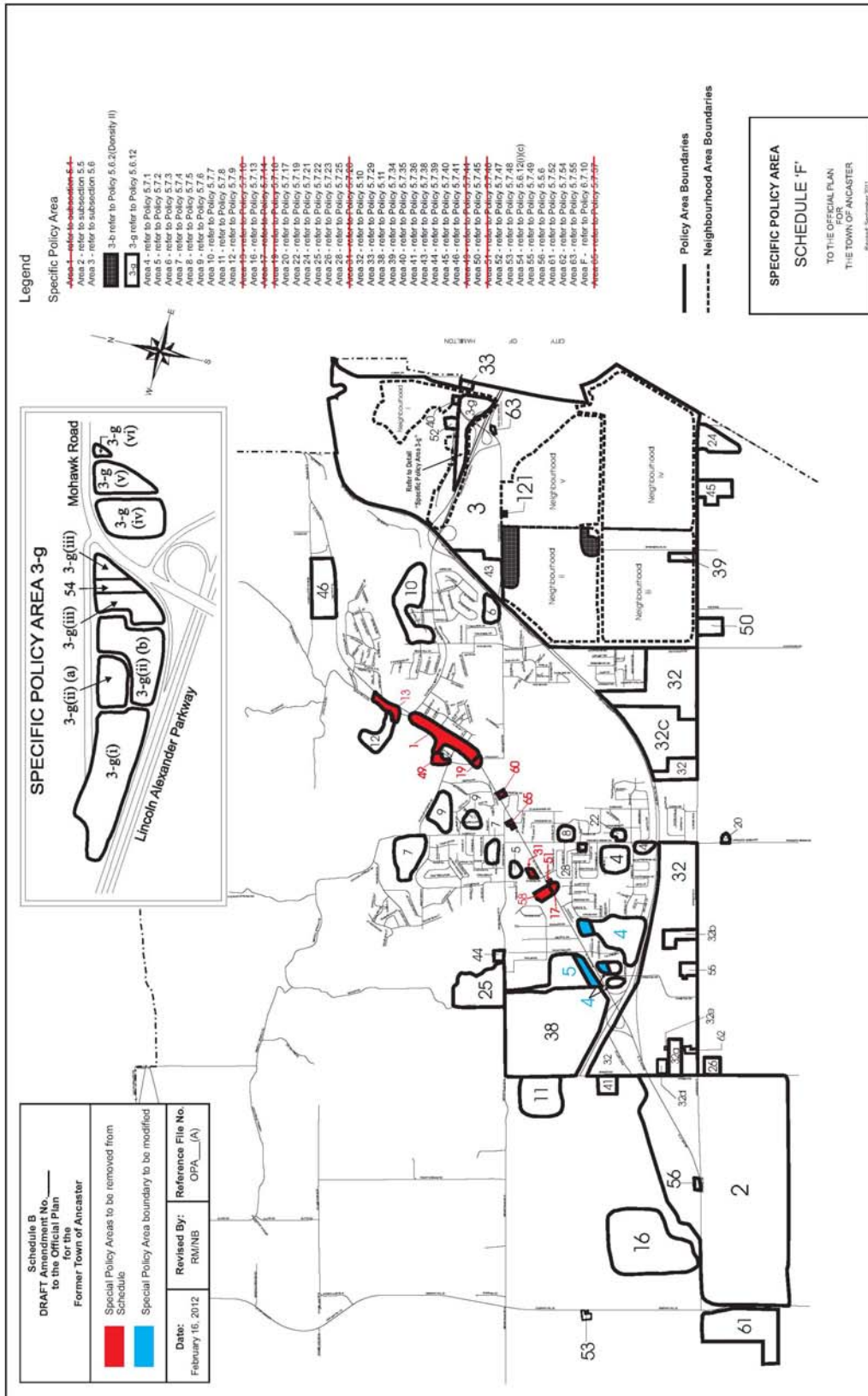
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R. Bratina  
MAYOR

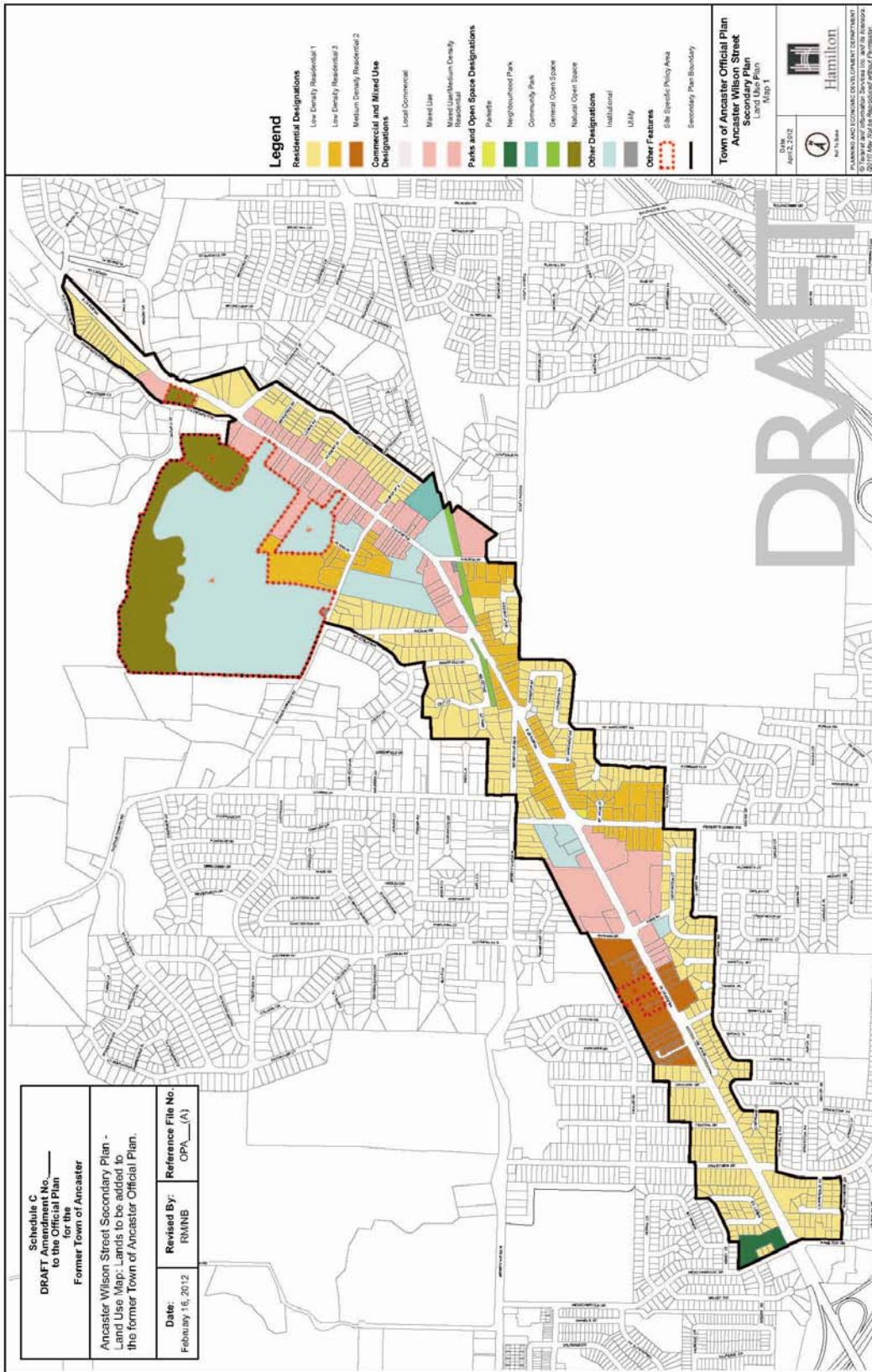
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Rose Caterini  
CLERK

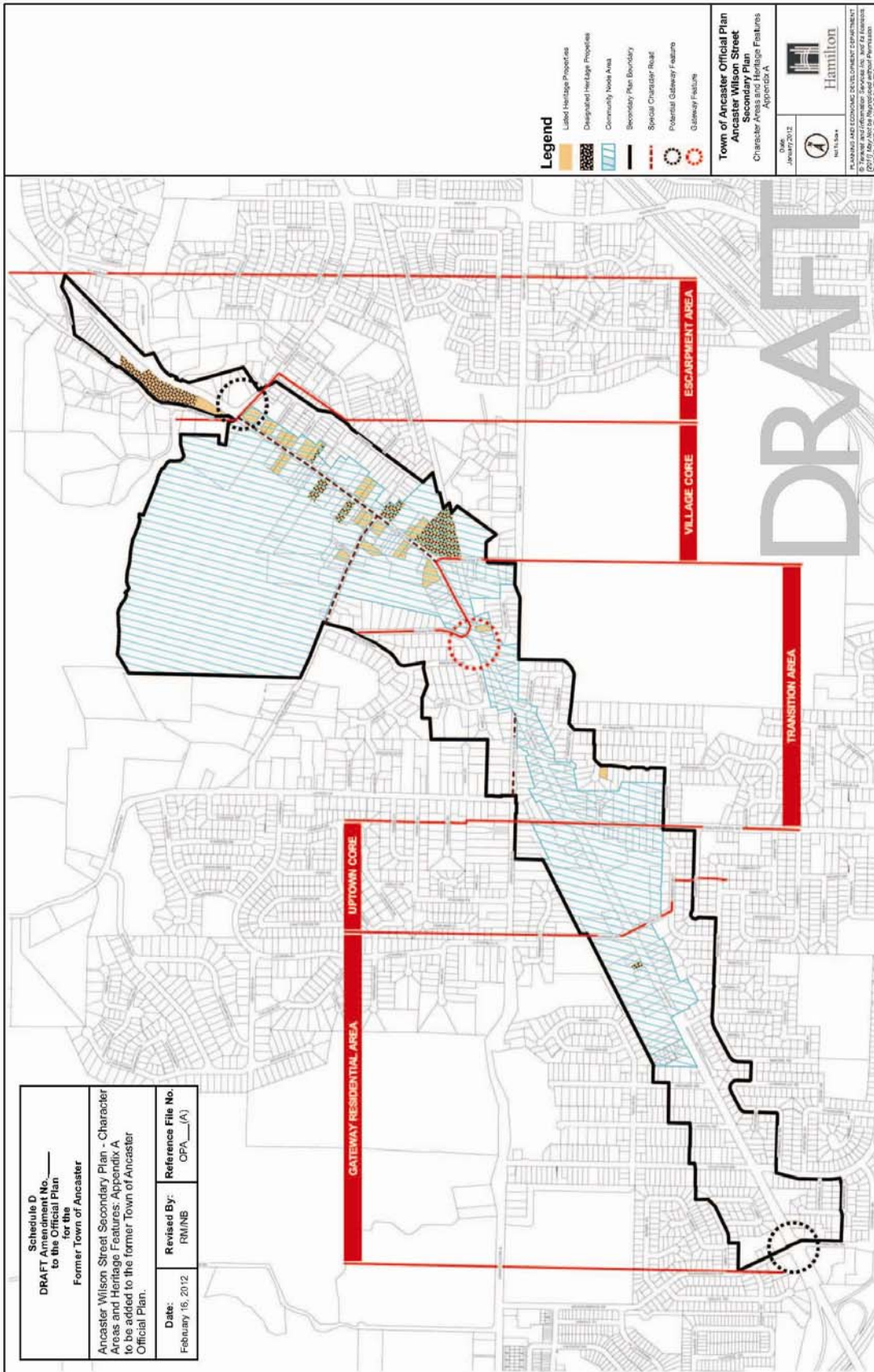


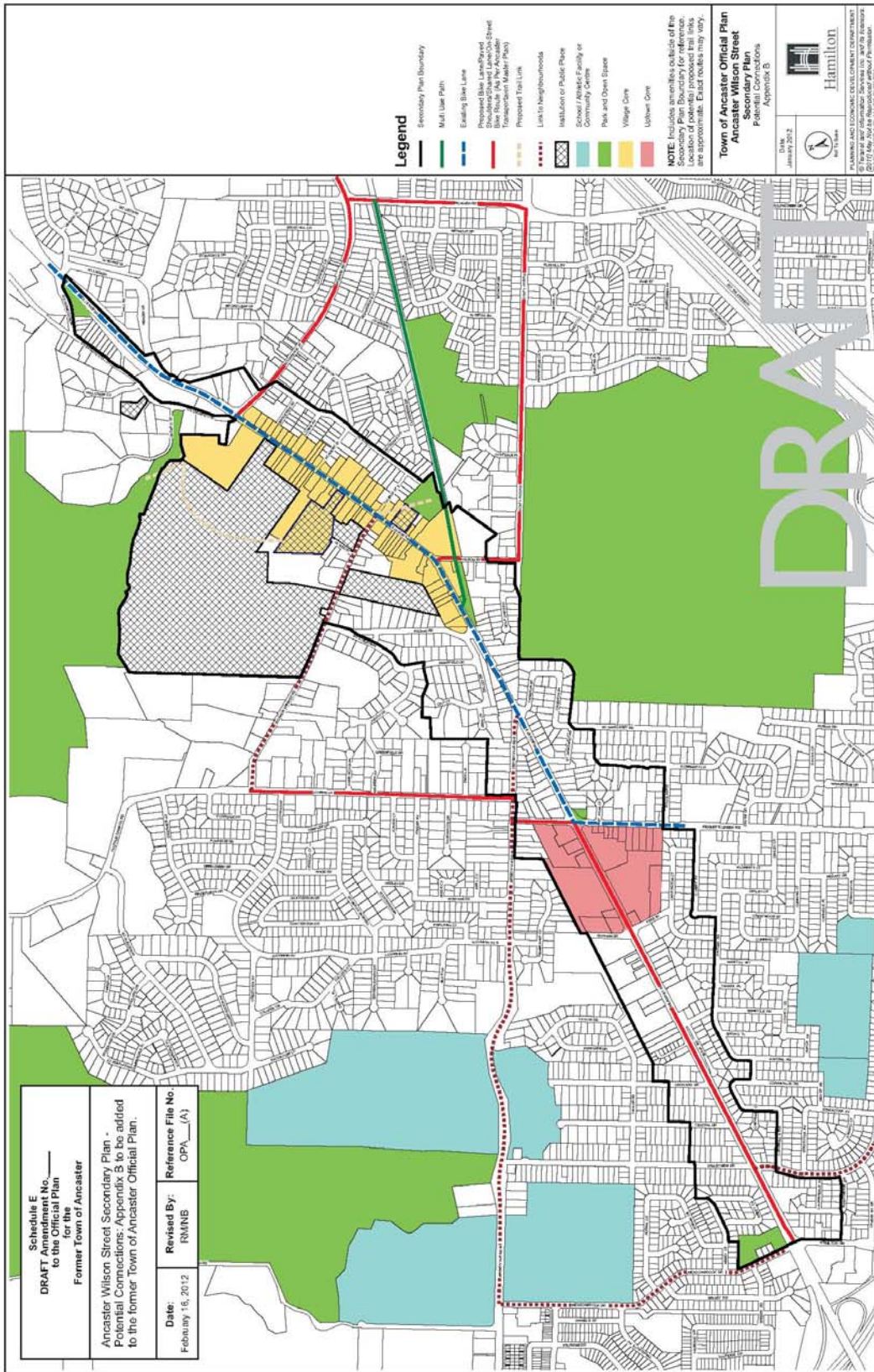












**Amendment No. [REDACTED] to  
the Urban Hamilton Official Plan**

The following text, together with:

1. Appendix "A": (Schedule E - Urban Structure);
2. Appendix "B": (Schedule "E-1" - Urban Land Use Designations);
3. Appendix "C": (Volume 2: Appendix A Secondary Plans Index Map);
4. Appendix "D": (Volume 2: Map B.2.8-1 - Ancaster Wilson Street Secondary Plan-Land Use);
5. Appendix "E": (Volume 2: Appendix A - Character Areas and Heritage Features);
6. Appendix "F": (Appendix B - Connections);
7. Appendix "G": (Volume 3: Map 1 Area Specific Policies Key Map);
8. Appendix "H": (Volume 3: Map A-1: Area Specific Policies); and,
9. Appendix "I": (Volume 3: Map 2: Urban Site Specific Key Map);

attached hereto, constitutes Official Plan Amendment [REDACTED] to the Urban Hamilton Official Plan.

**1.0 Purpose and Effect:**

The purpose and effect of this Amendment is to:

- Incorporate the Ancaster Wilson Street Secondary Plan into the Urban Hamilton Official Plan, identifying land uses, densities, development forms, cultural heritage features, and urban design standards;
- Create a Secondary Plan for the Wilson Street area, which refines land use to create a pedestrian-friendly environment, which also conserves the heritage and character of the Ancaster area;
- Establish a portion of the Secondary Plan area as a Community Node as a focus area for a mix of uses and appropriately scaled residential intensification; and,
- Amend various policies and schedules of the Urban Hamilton Official Plan to reflect the principles and policies contained in the Ancaster Wilson Street Secondary Plan.

The effect of the Amendment is to establish a policy framework, which shall guide the development and redevelopment of lands within the Ancaster Wilson Street Secondary Plan.

## **2.0 Location:**

The lands affected by this Amendment are located in Ancaster, along Wilson Street east and west from Montgomery Drive to Meadowbrook Drive/Hamilton Drive. The areas include frontage properties along Wilson Street, as well as some properties immediately adjacent to the Wilson Street frontage properties, within the former Town of Ancaster, as illustrated on Appendix "D" to this Amendment.

## **3.0 Basis:**

The intent of this Amendment is to establish a detailed land use framework for the Ancaster Wilson Street Secondary Plan. The basis for permitting this Amendment is as follows:

- The proposed Ancaster Wilson Street Secondary Plan offers an opportunity for increased density, including mixed land uses, which is consistent with the intent of the Places to Grow Plan.
- The proposed policies of the Ancaster Wilson Street Secondary Plan are consistent with the general intent and objectives of the Urban Hamilton Official Plan.
- The proposed Ancaster Wilson Street Secondary Plan will provide land use and urban design direction for the development and redevelopment of lands within the Secondary Plan area.
- The proposed Ancaster Wilson Street Secondary Plan aids in the long term viability of the Village Core area, as well as conserving the heritage and character of the area.
- The proposed Ancaster Wilson Street Secondary Plan designations are compatible with the existing and planned development in the immediate area.

## **4.0 Actual Changes:**

### **4.1 Mapping Changes - Volume 1:**

- 4.1.1 Urban Hamilton Official Plan Volume 1, Schedule E - Urban Structure is revised by modifying the extent of the Ancaster Community Node so that the Community Node boundary extends from Montgomery Drive to east of Orchard Drive and Seminole Road, as shown on the attached Appendix "A" to this Amendment.



4.1.2 Urban Hamilton Official Plan Volume 1, Schedule E-1 - Urban Land Use Designations is revised by:

- a) Redesignating a portion of the "Mixed-Use - Medium Density" Designation to the "Neighborhoods" Designation;
- b) Redesignating a portion of the "Institutional" Designation to the "Open Space" Designation; and,
- c) Redesignating a portion of the "Neighborhoods" Designation to the "Mixed-Use - Medium Density" Designation;

as shown on the attached Appendix "B" to this Amendment

#### **4.2 Mapping Changes - Volume 2 - Secondary Plans:**

4.2.1 Urban Hamilton Official Plan Volume 2, Appendix A: Secondary Plan Index Map is revised by adding the Ancaster Wilson Street Secondary Plan, as shown on the attached Appendix "C" to this Amendment

4.2.1 The Urban Hamilton Official Plan is amended by adding a new map "Volume 2: Map B.2.8-1 - Ancaster Wilson Street Secondary Plan - Land Use Plan", as shown on the attached Appendix 'D' to this Amendment.

4.2.2 The Urban Hamilton Official Plan is amended by adding a new map "Volume 2: Appendix A - Character Areas and Heritage Features", as shown on the attached Appendix 'E' of this Amendment.

4.2.2 The Urban Hamilton Official Plan is amended by adding a new map "Volume 2: Appendix B - Connections", as shown on the attached Appendix 'F' to this Amendment.

#### **4.3 Mapping Changes - Volume 3 - Area and Site-Specifics**

4.3.1 Urban Hamilton Official Plan Volume 3, Area Specific Policies Key Map is revised by removing Area Specifics UA-1, UA-2, and UA-3, and the map in its entirety, as shown on the attached Appendix "G" to this Amendment.

4.3.2 Urban Hamilton Official Plan Volume 3, Map A-1: Area Specific Policies Map is revised by removing Area Specifics UA-1, UA-2, and UA-3 from Map A-1, as shown on the attached Appendix "H" to this Amendment.

4.3.3 Urban Hamilton Official Plan Volume 3, Map 2: Urban Site-Specific Key Map is revised by removing Site-Specific Policy Areas UAN-2, UAC-, and UAC-3, as shown on the attached Appendix "I" to this Amendment.

**4.4 Text Changes to Volume 1**

4.4.1 Policy Table E.4.3.1 Pedestrian Predominant Streets is amended by removing the words “Halsen Street” and replacing them with “Reding Road” so that the table reads as follows:

Street	From	To
Wilson Street	<del>Halsen Street</del> Reding Road	Rousseaux Street

**4.5 Text Changes - Volume 2, Chapter B - Secondary Plans**

4.5.1 Volume 2, Chapter B - Secondary Plans of the Urban Hamilton Official Plan is amended by adding the following policies to the Ancaster Secondary Plans, as follows:

**B.2.8 Ancaster Wilson Street Secondary Plan**

**2.8.1 Purpose of Secondary Plan**

The Ancaster Wilson Street Secondary Plan is located along Wilson Street between Montgomery Drive and Meadowbrook Drive in Ancaster. The Secondary Plan area consists of a narrow corridor of properties oriented to, or near Wilson Street. The Secondary Plan area contains existing residential, commercial, institutional, and natural open space features.

The Ancaster Wilson Street Secondary Plan establishes land uses, development standards and provisions regarding cultural heritage, urban design, and transportation, to guide the development and/or redevelopment of lands located in the Secondary Plan area. Section B.2.8 and Maps B.2.8-1 - Ancaster Wilson Street Secondary Plan: Land Use Plan, Appendix A - Character Areas and Heritage Features and Appendix B - Connections, constitute the Ancaster Wilson Street Secondary Plan. Within the Secondary Plan area, portions of Wilson Street have been identified as a Community Node, consistent with the directions of Section E.2.0 - Urban Structure and Schedule E - Urban Structure of Volume 1 of this Plan.

Urban Design Guidelines have been prepared to support the Secondary Plan. The Ancaster Wilson Street Secondary Plan Urban Design Guidelines are a collection of recommended design approaches for built form and streetscapes. Development and redevelopment shall be required to demonstrate consistency with the Urban Design Guidelines.

## **2.8.2 Vision**

Ancaster is a picturesque and historic community located near the Niagara Escarpment. As one of the oldest communities in Ontario, Ancaster has a rich history, which manifests itself in a wealth of cultural and natural heritage features and a unique character. With a mixture of land uses, the Ancaster Wilson Street Secondary Plan will function as a complete community serving the needs of the Ancaster community. The Ancaster Wilson Street Secondary Plan will provide a variety of housing opportunities for various demographics, as well as mixed-use and commercial areas, which offer employment opportunities and meet the shopping and personal service needs for area residents and visitors. Institutional, open space and parks areas will serve the needs of the community by improving quality of life and addressing recreation needs. The complete community of the Ancaster Wilson Street Secondary Plan will continue to respect the history and character that creates a unique sense of place.

## **2.8.3 Development Concept**

The Ancaster Wilson Street Secondary Plan consists of lands along Wilson Street from Montgomery Drive to Meadowbrook Drive, extending out from Wilson Street to incorporate abutting lands. Since the Secondary Plan area encompasses historic downtown Ancaster, it is important to maintain and enhance the overall character of this area, which includes preserving older buildings, varied street fronts, and a distinct look and feel, while ensuring that future development or redevelopment is in keeping with the direction of current planning policy. The Secondary Plan area is detailed on Map B.2.8-1 - Ancaster Wilson Street Secondary Plan: Land Use Plan.

Within the Secondary Plan area, portions of Wilson Street have been identified as a Community Node. While growth and infill development shall occur in all areas of the Ancaster Wilson Street Secondary Plan, the majority of growth and development shall be directed towards the Community Node. The predominantly residential neighbourhoods outside of the Community Node are intended to remain as stable, low density residential areas.

Along Wilson Street, there are subtle differences in the function and built form. To recognize this diversity, five “Character Areas” have been identified, which are shown on Appendix A - Character Areas and Heritage Features. These Character Areas include:

- The Escarpment Area: Located from Montgomery Drive to Rousseaux Street;
- The Village Core: Located from Rousseaux Street to Dalley Drive;

- The Transition Area: Located from Dalley Drive to Fiddlers Green Road;
- The Uptown Core: Located from Fiddlers Green Road to west of Todd Street; and,
- The Gateway Residential area: Located from west of Todd Street to Meadowbrook Drive.

The type and form of development *or* redevelopment will vary by the Character Area. The main commercial areas are, and shall remain, the Village Core and the Uptown Core. These areas are intended to provide the retail, personal service, and general commercial needs for the Secondary Plan area and Ancaster. These two core areas will also function as focus areas for commercial employment in Ancaster. The Uptown Core shall also be the focus area for intensification and redevelopment. The Transition and Gateway Residential areas are predominantly residential areas providing a variety of housing and living choices. Limited commercial uses, such as personal services, may be permitted. Portions of the Uptown Core, Transition Area, and Village Core shall function as the Community Node for the Secondary Plan area. Growth, development, and intensification shall be directed to the Community Node. The Escarpment Area of the Secondary Plan shall serve as a natural gateway into Ancaster, with a focus on the natural environment and landscapes.

#### **2.8.4 Principles**

Development or redevelopment in the Ancaster Wilson Street Secondary Plan area shall be based on the following principles:

- a) Enhance and protect heritage and cultural resources;
- b) Efficient use of buildings and infrastructure;
- c) Ensure a high quality of design;
- d) Mixture of uses in appropriate areas;
- e) Maintain strong residential focus;
- f) Protect and enhance parks and connections through trail/bike networks;
- g) Promote active transportation;
- h) Provide for commercial opportunities; and,
- i) Ensure a safe and comfortable environment for people.



### 2.8.5 Objectives

The following objectives provide the framework for the planning and development or redevelopment in the Ancaster Wilson Street Secondary Plan, and shall be achieved through the policies of this Secondary Plan and the Official Plan. The objectives of the Ancaster Wilson Street Secondary Plan are to:

- a) Allow for access to a variety of housing, employment, services, and recreation options in close proximity to each other;
- b) Allow for transit by providing community scale retail and service options consistent with the function of a Community Node;
- c) Build on the unique character and heritage resources of Ancaster, creating a unique urban/town environment and take advantage of opportunities to enhance these features further;
- d) Promote Ancaster's natural, cultural, and built heritage through architectural compatibility and continuity of community character through the use of appropriate building materials and architectural styles;
- e) Support stable residential neighbourhoods by encouraging the maintenance of existing homes and sympathetic infill development or redevelopment, to reinforce the character of the residential areas;
- f) Encourage mixed-uses in the Uptown Core and along Wilson Street, Todd Street, and Dunham Drive;
- g) Support the destination shopping role of the Ancaster Village Core and Business Improvement Area along Wilson Street, which serves the local community, as well as a wider regional market;
- h) Promote existing parks to enhance the viability and liveability of the Ancaster Wilson Street Secondary Plan area;
- i) Encourage design that promotes pedestrian walkability and physical activity, social interaction, and public gatherings;
- j) Establish gateways at strategic locations to function as entranceways to Ancaster and the Village Core area;
- k) Integrate views and vistas of historic buildings and landscapes, where possible, into the community design;

- l) Encourage adaptive reuse of buildings to maintain the historic and town character of the Secondary Plan area;
- m) Ensure the Ancaster Wilson Street Secondary Plan area remains well connected through various modes of transportation, linkages, and trails;
- n) Support public transit service by locating commercial and additional residential uses along Wilson Street and Fiddlers Green Road;
- o) Ensure that new development *or* redevelopment encourages a high degree of pedestrian prominence and appropriate access and movement for pedestrians; and,
- p) Encourage a comprehensive transportation network in Ancaster.

### **2.8.6 Ancaster Community Node**

Portions of Wilson Street and the immediate surrounding area are identified as a "Community Node", as per Section E.2.0 and Schedule E- Urban Structure in Volume 1 of this Plan. As a Community Node, this location is intended to function as a focus area for housing, commercial uses, and employment, while providing a wide variety of services to the Ancaster community. The historic downtown of Ancaster, known as the Village Core, is the historic, cultural focal point, and one of two commercial centres located in the Ancaster Community Node, the other being the Uptown Core.

In addition to meeting the housing and commercial needs of the Ancaster community, the Community Node shall also remain the focus area and the historic heart of Ancaster. The historic Village Core area and the emerging Uptown Core, linked together by the Transition Area, which is evolving through the expansion of permitted uses, encompass the Community Node. The western section of the Gateway Residential is also part of the Node due to the potential for future growth.

#### **2.8.6.2 Ancaster Community Node Policies**

In addition to Section E.2.3.3 - Community Node of Volume 1, and the policies of this Secondary Plan, the following policies shall apply to the Ancaster Community Node shown on Appendix A - Character Areas and Heritage Features:

- a) The Ancaster Community Node shall be a focus area for growth, development, and intensification within the Ancaster Wilson Street Secondary Plan.

- b) The Ancaster Community Node shall include a range of housing forms and tenures, and a mix of employment, institutional, recreational, and commercial uses subject to the land use designation policies of this Secondary Plan and Volume 1 of this Plan.
- c) Intensification and infill development shall be balanced with the heritage and historic character of Ancaster. Further guidance for incorporating heritage features, design, and overall character through infill and intensification is provided in the supporting Ancaster Wilson Street Urban Design Guidelines.
- d) Within the Ancaster Community Node, larger scale development and redevelopment are encouraged to be directed towards the Uptown Core and western portion of the Gateway Residential area, as shown on Appendix A - Character Areas and Heritage Features.
- e) Mixed-Use, Commercial, and Institutional development and redevelopment is encouraged within the Village Core area, though the scale of development shall be consistent with the historic character of the area. The scale and design of buildings is detailed in Policy 2.8.12 and the supporting Urban Design Guidelines.
- f) Commercial and Mixed-Use areas within the Community Node shall provide an important source of employment in the Ancaster Wilson Street Secondary Plan, and shall support the viability of the Ancaster Community Node and meet the daily needs of residents and visitors to Ancaster.
- g) The overall density for the Ancaster Community Node shall be 50 people and jobs per hectare.

### **2.8.7 Residential Designations**

The Ancaster Wilson Street Secondary Plan has two residential areas: the Transition Area, and Gateway Residential Area, detailed in Appendix A - Character Areas and Heritage Features, consisting of a range of housing types, densities, and a mix of housing forms. The residential policies shall define the location and scale of each type of residential use, and shall help ensure that a variety of residential types are provided to meet the diverse needs of residents.

- 2.8.7.1 The residential areas are designated Low Density Residential 1, Low Density Residential 3, and Medium Density Residential 2, as identified on Map B.2.8-1 - Ancaster Wilson Street Secondary Plan: Land Use Plan.

### 2.8.7.2 General Residential Policies

In addition to Sections B.3.2 - Housing Policies and E.3.0 - Neighbourhood Designations of Volume 1, the following policies apply to all residential land use designations identified on Map B.2.8-1 - Ancaster Wilson Street Secondary Plan: Land Use Plan:

- a) Residential development or redevelopment and infill development shall maintain and enhance the character of the residential areas through architectural style that is sympathetic and complementary with the existing adjacent residential areas, heritage buildings, and uses. Further direction regarding design shall be provided in the Urban Design policies, detailed in Section 2.8.12.
- b) Common element and condominium roads should be connected to the public active transportation network via sidewalks.
- c) Reverse frontage lotting patterns shall not be permitted, except where existing on the date of approval of this Secondary Plan.
- d) Direct access to individual dwelling units from Wilson Street and Fiddlers Green Road shall be discouraged. Alternative forms of access, such as use of shared or common access points and rear lane arrangements, shall be encouraged.

### 2.8.7.3 Low Density Residential Designations

- a) The following policies shall apply to the lands designated Low Density Residential 1 on Map B.2.8-1 - Ancaster Wilson Street Secondary Plan: Land Use Plan:
  - i) Notwithstanding Policy E.3.4.3 of Volume 1, single detached dwellings and semi-detached dwellings shall be permitted.
  - ii) The conversion of residential buildings, or construction of new buildings for medical, business, personal service, or professional office uses shall not be permitted in areas designated Low Density Residential 1;
  - iii) For areas designated Low Density Residential 1, the net residential density range shall be between 1 - 20 units per hectare.
  - iv) Notwithstanding Policy E.3.4.5 of Volume 1, the maximum building height shall be 2.5-storeys.

- b) The following policies shall apply to the lands designated Low Density Residential 3 on Map B.2.8-1 - Ancaster Wilson Street Secondary Plan: Land Use Plan:
- i) In addition to Policy E.3.4.3, all forms of townhouses and multiple low-rise dwellings shall be permitted.
  - ii) Notwithstanding Policy E.3.4.4 of Volume 1, the net residential density range shall be 20 - 60 units per hectare.
  - iii) In addition to Policy E.3.4.3 of Volume 1, small scale commercial uses shall be permitted, including business and professional offices, medical office uses or clinics, day nursery, artist studios, funeral homes, and personal services.
  - iv) Prohibited uses include retail, financial establishments, restaurants, motor vehicle service stations, and gas bars.
  - v) In accordance with Policy 2.8.7.3 b) iii), commercial uses shall be subject to the following:
    - 1. Permitted uses shall be located in single or mixed-use buildings;
    - 2. Residential units are encouraged on upper floors as part of any proposed development or redevelopment;
    - 3. For mixed-use buildings, commercial uses shall be located on the first floor only; and,
    - 4. Parking shall be accommodated on site or through shared parking lots, where feasible.
  - vi) New development or redevelopment shall ensure the height, massing, scale, and arrangement of the buildings and structures are compatible with the abutting uses.

#### 2.8.7.4 Medium Density Residential 2 Designation

The following policies shall apply to the lands designated Medium Density Residential 2 on Map B.2.8-1 - Ancaster Wilson Street Secondary Plan: Land Use Plan:

- a) Notwithstanding Policy E.3.5.2 - Medium Density Residential of Volume 1, single detached dwellings, semi-detached dwellings, all form of townhouse dwellings, low-rise multiple dwellings, and live-work units shall be permitted.

- b) The net residential density range shall be 60 - 75 units per hectare.
- c) Notwithstanding Policy E.3.5.8 of Volume 1, the maximum building height shall be 3-storeys.
- d) Live-work units shall be permitted in accordance with Policy 2.8.8.4 b)i)-iv).

## **2.8.8 Commercial and Mixed-Use Designations**

The commercial designations of the Ancaster Wilson Street Secondary Plan are mainly focused on two areas, including the Village Core and the Uptown Core. Commercially designated lands are intended to meet the daily and weekly retail needs of the Ancaster community. Residential and Institutional uses are also encouraged. Commercial areas will not only be a place to focus retail needs, but are intended to be a focus of the community where Ancaster residents can meet and engage in community and civic activities. The Village Core area shall be the focus area for smaller scale, niche retail and service uses, while the Uptown Core shall be the focus for larger format retail needs serving the Ancaster community.

2.8.8.1 The Commercial and Mixed-Use areas are designated Local Commercial, Mixed-Use - Medium Density, and Mixed-Use - Medium Density - Pedestrian Predominant, as shown on Map B.2.8-1 - Ancaster Wilson Street Secondary Plan: Land Use Plan.

### **2.8.8.2 General Commercial Policies**

In addition to Sections E.3.8 Local Commercial and E.4.0 - Commercial and Mixed-Use Designation of Volume 1, the following policies shall apply to all Commercial and Mixed-Use designations identified on Map B.2.8-1 - Ancaster Wilson Street Secondary Plan: Land Use Plan:

- a) Commercial areas shall be developed in a co-ordinated and comprehensive manner.
- b) Vehicular access points along Arterial and Collector roads shall be limited, and regard shall be given to the sharing of access points, adequate internal traffic circulation, accommodation for active transportation, and adequate off-street parking, loading, and manoeuvring facilities.
- c) Landscaping shall form an integral part of all development or redevelopment, and shall provide buffering from adjacent sensitive land uses.
- d) Mixed-Use and Commercial uses fronting onto Wilson Street shall accommodate and plan for pedestrian amenities and the public realm.

- e) Design of commercial buildings that discourage or limit pedestrian movement or access should be avoided.

### 2.8.8.3 Local Commercial

Local Commercial designated areas shall be developed in accordance with Section E.3.8 - Local Commercial of Volume 1.

- 2.8.8.3.1 The maximum permitted building height shall be 3-storeys.

### 2.8.8.4 Mixed-Use - Medium Density Designations

In addition to Section E.4.0 - Commercial and Mixed-Use Designation of Volume 1, the following policies shall apply to the Mixed-Use - Medium Density and Mixed-Use Medium Density - Pedestrian Predominant designated areas identified on Map B.2.8-1 - Ancaster Wilson Street Secondary Plan: Land Use Plan:

- a) There shall be two primary commercial areas in the Ancaster Wilson Street Secondary Plan and Community Node which function as community focal points: the Village Core area and the Uptown Core area, as shown on Appendix A - Character Areas and Heritage Features. Retail uses shall be directed to these two primary Mixed-Use areas.
- b) Live-work units shall be permitted in Mixed-Use - Medium Density designated areas, subject to the following:
  - i) Live-work units shall include small-scale retail, professional offices, and home business uses;
  - ii) Live-work units shall have commercial uses at grade, and have entrances accessible directly from an Arterial street such as Wilson Street or Fiddlers Green Road;
  - iii) Residential access and commercial parking areas shall be separate, to avoid a conflict of shared uses; and,
  - iv) Residential amenity space can be accommodated thorough the provision of balconies or decks.
- c) The Uptown Core area shall be the predominant intensification area for the Community Node.
- d) The urban design and development concept for the Uptown Core and Village Core areas shall be further described in the supporting Ancaster Wilson Street Secondary Plan Urban Design Guidelines.

#### 2.8.8.5 Mixed-Use - Medium Density Designation

In addition to the policies of Section E.4.6 - Mixed-Use - Medium Density Designation of Volume 1, the following policies shall apply to the lands designated Mixed-Use - Medium Density on Map B.2.8-1 - Ancaster Wilson Street Secondary Plan: Land Use Plan:

- a) The Uptown Core area, shown on Appendix A - Character Areas and Heritage Features, shall function as the focus area for larger scale commercial retail activities.
- b) Notwithstanding Policies E.4.6.7 and E.4.6.8 of Volume 1, a minimum building height of 2-storeys and a maximum height of 3-storeys shall be permitted.
- c) Permitted uses may be located in single or mixed-use buildings.
- d) The design of buildings and lands located in the Uptown Core area, identified on Appendix A - Character Areas and Heritage Features, are further detailed in Policy 2.8.12.1 j) i).

#### 2.8.8.6 Mixed-Use - Medium Density - Pedestrian Predominant

In addition to the policies of Sections E.4.3 Pedestrian Predominant Streets and E.4.6 - Mixed-Use - Medium Density Designation of Volume 1, the following policies shall apply to the lands identified as Mixed-Use - Medium Density - Pedestrian Predominant on Map B.2.8-1 - Ancaster Wilson Street Secondary Plan: Land Use Plan:

- a) Lands identified as Mixed-Use - Medium Density - Pedestrian Predominant form part of the Village Core area, as shown on Appendix A - Character Areas and Heritage Features. The Village Core area shall primarily consist of service and retail uses, as well as residential uses. The Village Core area shall serve the daily retail, commercial, and personal service needs for the Ancaster Community.
- b) Commercial facilities to be encouraged with the Village Core area may include retail stores, service commercial uses, banks, restaurants with sit-down service, and offices. The lands to be used for commercial purposes shall be those lands that front onto Wilson Street.
- c) New development shall respect and reflect the existing heritage character of the Village Core, and shall be in accordance with Section B.3.4 - Cultural Heritage Policies, in Volume 1 and Sections 2.8.12 and 2.8.13 of this Secondary Plan.



- d) Notwithstanding Sections E.4.6.7 and E.4.6.8 of Volume 1, within Mixed-Use - Medium Density - Pedestrian Predominant areas, building height shall not exceed 2.5-storeys.
- e) In addition to Sections E.4.3 Pedestrian Predominant Streets and E.4.6 - Mixed-Use - Medium Density of Volume 1, a farmers market shall be permitted on land designated Mixed-Use - Medium Density - Pedestrian Predominant.
- f) Notwithstanding Policy E.4.3.4 b) of Volume 1, building setbacks may vary along Wilson Street.
- g) Permitted uses may be located in single or mixed-use buildings.
- h) The design of buildings and lands designated Mixed-Use - Medium Density-Pedestrian Predominant, identified on Appendix A - Character Areas and Heritage Features, are further detailed in Policy 2.8.12.1 j) ii).
- i) Private and public parking areas are permitted on lands designated Mixed-Use - Medium Density - Pedestrian Predominant, subject to the following:
  - i) Parking areas shall be buffered from the street through the use of building placement or enhanced landscaping;
  - ii) The location of parking areas shall not negatively affect the pedestrian environment or access to buildings; and,
  - iii) Private and public parking areas are encouraged to provide for shared parking for several uses within the Village Core.

## **2.8.9 Parks and Open Space Designations**

The parks designations include Community Park, Neighbourhood Park, and Parkette. Open space areas include natural open space areas, linkages, and trails, which can be used for passive recreation, such as walking or hiking.

### **2.8.9.1 Parks and Open Space Designations**

In addition to Sections B.3.5.3 - Parkland Policies, C.1.1 Niagara Escarpment Plan, C.2.0 Natural Heritage System and C.3.3 - Open Space Designations, the following policies shall apply to the lands designated Community Park, Neighbourhood Park, Parkette, General Open Space, and Natural Open Space, on Map B.2.8-1 - Ancaster Wilson Street Secondary Plan: Land Use Plan:

- a) All existing Parks and Open Space areas in the Ancaster Wilson Street Secondary Plan shall be retained for use as parks and open space. These lands shall not be redeveloped for other uses to ensure they are preserved for active and passive recreation uses.
- b) Natural Open Space designated lands, as shown on Map B.2.8-1-Ancaster Wilson Street Secondary Plan: Land Use Plan, form part of the Niagara Escarpment Plan Area. Policies of Section C.1.1 of Volume 1 shall apply to Niagara Escarpment Plan areas.
- c) The Radial Trail, identified as General Open Space on Map B.2.8-1 Ancaster Wilson Street Secondary Plan: Land Use Plan, is an important trail connection from the greater Ancaster area to the Ancaster Wilson Street Secondary Plan and Community Node. The use of improved wayfinding, where appropriate, is encouraged.
- d) The provision of any additional trails and multi-use pathways through the parks and open space areas shall ensure that the integrity of these areas is maintained.
- e) A pedestrian and bicycle trail network shall be established to link all uses within the Secondary Plan area with adjacent neighbourhoods, subject to the following:
  - i) Natural walking trails shall be promoted, as shown on Appendix B - Connections, and in Policy 2.8.14; and,
  - ii) It is intended that the network will consist of public streets, sidewalks, and public open space lands.

### **2.8.10 Institutional Designations**

The Institutional designation in the Ancaster Wilson Street Secondary Plan shall provide for the needs of the Ancaster community. Institutional uses such as museums, schools, and Places of Worship provide for enhanced quality of life.

#### **2.8.10.1 Institutional Designation Policies**

In addition to Sections E.6.0 - Institutional Designation and B.3.5 - Community Facilities/Services Policies of Volume 1, the following policies shall apply to lands designated Institutional on Map B.2.8-1 - Ancaster Wilson Street Secondary Plan: Land Use Plan:

- a) In addition to Policy E.6.2.6 of Volume 1, should existing institutional uses cease operation, or a new use is proposed, lands designated Institutional shall be encouraged to proceed on the basis of the following considerations:
  - i) Retention of the existing buildings and adaptive reuse, where appropriate, will be encouraged; and,
  - ii) Land use compatibility with adjacent residential areas will be a primary consideration.

## **2.8.11 Utility Designation**

### **2.8.11.1 Utility Policies**

In addition to Section C.3.4 - Utility Designation of Volume 1, the following policies shall apply to the lands designated Utility on Map B.2.8-1 - Ancaster Wilson Street Secondary Plan: Land Use:

- a) When feasible, utilities and overhead wires should be buried underground as part of future planned road reconstruction or redevelopment.
- b) Consideration shall be given to the location of telecommunication and utility equipment within the public right-of-way, as well as on private property. The City encourages innovative methods of containing utility equipment on or within streetscape features such as a gateway, lamp post, or transit shelter, etc. Telecommunication utility equipment should be co-located, whenever possible, to minimize visual impact.
- c) The City encourages discussions with utility providers such as hydro electric power, communications/telecommunications, pipelines, and natural gas to ensure that sufficient infrastructure is or will be in place to serve the Secondary Plan area.
- d) Utilities will be planned for and installed in a coordinated and integrated basis in order to be more efficient, cost effective, and minimize disruption.
- e) Notwithstanding Policy C.3.4.2 b) and e)-g) of Volume 1, the following uses shall not be permitted:
  - i) Municipal works yards;
  - ii) Transportation yards;
  - iii) Heavy rail corridors and main lines; and,
  - iv) Waste management facilities.

## 2.8.12 Urban Design Policies

Urban Design Guidelines have been prepared to implement the design directions of the Ancaster Wilson Street Secondary Plan. The Guidelines further the vision and design concept for the Secondary Plan area by providing direction for development and redevelopment of buildings and public spaces to maintain consistent community form. Overall, the Ancaster Wilson Street Secondary Plan Urban Design Guidelines and policies of the Secondary Plan shall maintain the character that defines Ancaster by respecting its heritage and maintaining a high quality of design and aesthetic. The high quality of the built form is intended to contribute to the overall vitality and functionality of the Secondary Plan area.

The Ancaster Wilson Street Secondary Plan Urban Design Guidelines are based on five distinct Character Areas. While each Character Area varies in function, together, the Character Areas all contribute to creating a unique sense of place for the Ancaster Wilson Street Secondary Plan.

### 2.8.12.1 Urban Design Policies

In addition to Section B.3.3 - Urban Design Policies of Volume 1, the following policies shall apply to lands within the Ancaster Wilson Street Secondary Plan and Community Node areas, as identified on Map B.2.8-1 Ancaster Wilson Street Secondary Plan: Land Use and Appendix A - Character Areas and Heritage Features:

- a) Development and redevelopment shall be consistent with the Ancaster Wilson Street Secondary Plan Urban Design Guidelines, and shall be sympathetic to adjacent building styles, features, and materials when adjacent to a designated or listed heritage building.
- b) In accordance with Policy F.1.19.6 of Volume 1, an Urban Design Report may be required for development or redevelopment, demonstrating how the proposal meets the policies of this Secondary Plan and the Ancaster Wilson Street Secondary Plan Urban Design Guidelines.
- c) For the purposes of maintaining community character and cohesive design, five Character Areas have been identified, as shown on Appendix A - Character Areas and Heritage Features. The five Character Areas shall include:
  - i) Escarpment Area, located from Montgomery Drive to Rousseaux Street, which is mainly a low density residential area;

- ii) Village Core, located from Rousseaux Street to Dalley Drive, which is the traditional downtown of Ancaster consisting of retail, commercial, and mixed residential uses;
  - iii) Transition Area, located from Dalley Drive to Fiddlers Green Road, which is a predominantly residential area with a variety of housing types and some non-retail commercial uses along Wilson Street;
  - iv) Uptown Core, located from Fiddlers Green Road to west of Todd Street, which is the second mixed-use commercial area in the Community Node, consisting of larger format retail uses; and,
  - v) Gateway Residential, located from Todd Street to Meadowbrook Drive, which is a predominately residential area with low and medium density housing.
- d) The Ancaster Wilson Street Secondary Plan Urban Design Guidelines further describe the design objectives, function, and design character of each Character Area.
- e) New development or redevelopment shall complement the distinct character, design, style, building materials, and characteristics, which define each Character Area.
- f) Design requirements shall only apply to commercial and mixed-use areas, institutional, and multi-residential developments. The Guidelines shall not apply to single detached and semi-detached dwellings.
- g) Development or redevelopment shall not negatively affect active transportation within the Ancaster Wilson Street Secondary Plan.
- h) Development and redevelopment shall foster streets as interactive outdoor spaces for pedestrians.
- i) Mixed-use and commercial development or redevelopment shall provide a buffer, such as landscaped areas, for adjacent sensitive land uses.
- j) Two primary commercial mixed-use areas have been identified within the Ancaster Wilson Street Secondary Plan and are part of the Community Node: the Uptown Core and Village Core, as shown on Appendix A - Character Areas and Heritage Features. The following policies shall apply to the Uptown Core and Village Core:
- i) The Uptown Core, as shown on Appendix A - Character Areas and Heritage Features, shall be consistent with the following design considerations:

1. Prior to the consideration of any large scale development or redevelopment in the Uptown Core, a detailed concept plan shall be completed. An Urban Design Report shall be submitted, which demonstrates how the proposed development or redevelopment meets the intent of this plan and incorporates the Urban Design Guidelines;
  2. Development and redevelopment proposals shall incorporate pedestrian amenities, including but not limited to, internal sidewalks, street furniture, and, adequate signage and wayfinding. Should a comprehensive redevelopment of the Uptown Core occur, consideration should be given to a grid system of streets to create a clear circulation system that gives order to the development pattern and encourages walkability;
  3. The Uptown Core shall be designed as a 'complete street' network that invites all forms of active transportation, while accommodating automobiles and transit vehicles;
  4. Retail spaces and buildings shall be oriented in a 'retail main street' configuration, with storefronts located close to the street and principal entrances facing the sidewalk to create a pleasant pedestrian oriented shopping environment;
  5. Where feasible, all streets should be tree lined or include similar landscaped treatments;
  6. Buildings shall be massed and located close to the street edges to provide a continuous street wall and appropriate pedestrian scale at the street level;
  7. Parking shall be designed to have minimal frontage onto the street and to be screened from public streets by buildings and/or landscaping;
  8. Curb cuts to accommodate vehicular entrances along Wilson Street shall be limited; and,
  9. Linear parks can be used to buffer commercial development or redevelopment from existing adjacent sensitive land uses.
- ii) The Village Core area, shown on Appendix A - Character Areas and Heritage Features, shall be consistent with the following design considerations:

1. Notwithstanding Policy E.4.3.4 of Volume 1, for buildings fronting onto Wilson Street, setbacks may be varied, as per the character of the Village Core area;
2. Buildings within the Village Core should incorporate historical building features and styles in order to encourage a village atmosphere and pleasant pedestrian experience, where feasible;
3. Additional considerations to encourage the historic characteristics of the Village Core, including heritage styled signage and building façades, as described in the Urban Design Guidelines, should be given for any development or redevelopment;
4. The Village Core area should express a strong heritage design character that invites pedestrians and encourages interaction; and,
5. The heritage characteristic of the Village Core area can be strengthened through the use of a public walkway linking buildings and other land uses.

#### 2.8.12.2 Gateways

In addition to Section B.3.3.4 - Gateways of Volume 1, the following policies shall apply to Gateways in the Ancaster Wilson Street Secondary Plan:

- a) The Ancaster Wilson Street Secondary Plan Urban Design Guidelines have identified the following gateways, shown on Appendix A: Character Areas and Heritage Features, in the following general areas:
  - i) Meadowbrook Drive and Wilson Street;
  - ii) Reding Road/Halson Street and Wilson Street; and,
  - iii) Rousseaux Street and Wilson Street.
- b) Gateways may take the form of a structure and/or sign or a landscaped area or laneway. Gateway type and design shall vary based on Character Area and function. Gateway design and features shall be completed, to the satisfaction of the City.

### 2.8.13 Cultural Heritage Policies

Heritage is a key component in the unique character that identifies the Ancaster Wilson Street Secondary Plan and Community Node. Due to its long history as one of the oldest communities in Ontario, Ancaster has a wealth of cultural heritage features which forms the context for new development or redevelopment. The intent of cultural heritage conservation is to maintain consistent style, building materials, and key features which all contribute to the community character and creating a sense of place. The integration of cultural heritage into the public and private realms can help improve walkability by making a more pleasant pedestrian environment, and thus improving the quality of public spaces. While new and modern development or redevelopments are welcomed in Ancaster, new buildings should reflect the cultural heritage of the surrounding area.

#### 2.8.13.1 Cultural Heritage Policies

The following policies shall apply to the cultural heritage resources within the Ancaster Wilson Street Secondary Plan:

- a) Due to the important heritage and character considerations within the Ancaster Wilson Street Secondary Plan, in addition to Section B.3.4 - Cultural Heritage Resources Policies of Volume 1, the evaluation of new development or redevelopment applications in the Ancaster Wilson Street Secondary Plan shall emphasize the requirements of the Cultural Heritage Resources Policies of Volume 1.
- b) The retention and conservation of historical buildings, structures, or features on their original sites shall be encouraged through:
  - i) Adaptive re-use and preservation of existing buildings before new development or redevelopment is considered;
  - ii) Maintaining a listing of historical designated and listed properties of interest. Historic buildings are shown on Appendix A - Character Areas and Heritage Features; and,
  - iii) Integrating cultural heritage resources into new development or redevelopment proposals in their original use or an appropriate adaptive reuse where possible.
- c) When development or redevelopment is proposed adjacent to existing designated or listed heritage buildings, as shown on Appendix A - Character Areas and Heritage Features, a Planning Justification Report shall detail how the proposed development or redevelopment is consistent with the character and style of the surrounding heritage buildings.



- d) The tree lined streetscape of portions of the Ancaster Wilson Street Secondary Plan shall be maintained and protected, where feasible, to enhance and preserve the character of the street and surrounding neighbourhood area.
- e) Cultural Heritage Landscapes shall be conserved and protected with the intent of retaining major characteristics. This shall be implemented by the review of planning applications under the Planning Act. The City shall ensure that any proposed change is consistent within the policies of the Secondary Plan. The Village Core, as shown on Appendix A - Character Areas and Heritage Features and in the supporting Urban Design Guidelines, has been identified as a Cultural Heritage Landscape.

#### 2.8.13.2 Special Character Roads

In addition to Section C.4.5.3 of Volume 1, the following policies shall apply to the portions of Jerseyville Road East, Wilson Street East, and Sulphur Springs Road, identified as Special Character Roads on Appendix A - Character Areas and Heritage Features:

- a) Special Character Roads are identified on Appendix A - Character Areas and Heritage Features and include:
  - i) Jerseyville Road East from Lovers Lane to Wilson Street East;
  - ii) Sulphur Springs Road from Mansfield Drive to Wilson Street East; and,
  - iii) Wilson Street East from Rousseaux Street to Halson Street.
- b) The existing road cross-section, including existing mature vegetation fronting the street, shall be maintained, where feasible. Protection of trees may require unique approaches to grading and to the preservation of trees along the road.
- c) The existing character of these streets identified in 2.8.13.2 a) shall be protected by minimizing changes to the existing road right-of-way and ensuring that development or redevelopment is compatible with, and sympathetic in design to the character of the existing streetscape.

#### 2.8.14 Transportation and Linkages Policies

The Ancaster Transportation Master Plan (ATMP) forms the basis for the transportation policies and implementation for the Ancaster Wilson Street Secondary Plan. The following Secondary Plan policies are intended to support the recommendations of the Transportation Master Plan. Transportation within

the Ancaster Wilson Street Secondary Plan should accommodate all users and modes of transportation.

#### 2.8.14.1 Transportation Policies

In addition to the policies of Section C.4.0 of Volume 1, the following transportation policies shall apply to the Secondary Plan Area:

- a) The transportation network in Ancaster shall proceed on the basis of the recommendations of the Ancaster Transportation Master Plan, as amended.
- b) All intersections should be designed to support safe pedestrian crossing. Major intersections should support pedestrian crossings by providing safe crossing points and connection to public walkways. Boulevard tree planting should be closely spaced in the vicinity of such intersections.
- c) Where warranted and in accordance with the Ancaster Transportation Master Plan, pedestrian crossings should be implemented to facilitate the movement of pedestrians throughout the Secondary Plan area.
- d) Access to Wilson Street for development or redevelopment shall be via shared laneways or condominium roads, where possible, to contribute to an improved streetscape and urban character, while enhancing road safety by limiting multiple individual accesses onto Wilson Street.
- e) Notwithstanding C.4.5.2 c) vii) of Volume 1, on-street parking shall be encouraged on Wilson Street, where appropriate, to provide additional parking for area residents and businesses and to serve as a natural traffic calming method and provide a buffer between moving traffic and pedestrians.
- f) Development or redevelopment within the Ancaster Wilson Street Secondary Plan shall have regard for the Council-adopted Transit Oriented Development Guidelines.

#### 2.8.14.2 Active Transportation Network

In addition to Section C.4.3 - Active Transportation Network of Volume 1, the following policies shall apply to the entire Secondary Plan area:

- a) Secondary trails, cycling facilities, and pedestrian pathways are encouraged to promote connections to prominent destinations such as large open spaces and institutional areas, in accordance with the potential connections identified on Appendix B: Connections.

- b) Where feasible, off-street pedestrian linkages should be expanded to increase the active transportation network. Completion/connection of the proposed trails and cycling routes, shown on Appendix B: Connections, shall be achieved through land dedications and easements in order to connect existing pathways to future planned routes.
- c) When development or redevelopment occurs, pedestrian amenities shall be required in order to promote a viable streetscape and encourage active transportation and a continuous street presence. Pedestrian amenities include, but are not limited to, street furniture, wayfinding signs, and paved walkways.
- d) An Urban Design Report shall be submitted as part of any development or redevelopment, and shall demonstrate how pedestrian amenities can be accommodated.
- e) In addition to the recommendations of the Ancaster Transportation Master Plan, the Shifting Gears Cycling Master Plan, and the Recreation Trails Master Plan, additional linkages and connections shall be encouraged for the Ancaster Wilson Street Secondary Plan, as detailed on Appendix B: Connections, and through the following additional recommendations:
  - i) Shared on-road bicycle lanes along Sulphur Springs Road are encouraged;
  - ii) Continuous and wider sidewalks are encouraged for Sulphur Springs Road, Jerseyville Road, and Amberly Boulevard;
  - iii) Connections between the community and the Escarpment should be encouraged through a trailhead connection at Old Dundas Road; and,
  - iv) Pedestrian connection is encouraged to directly connect the proposed trailhead at Old Dundas Road to the Village Core area.

#### 2.8.14.3 Public Transit Network

In addition to Section C.4.4 - Public Transit Network of Volume 1, the following policies shall apply to the entire Secondary Plan area:

- a) Development or redevelopment shall be directed toward Wilson Street, in accordance with Sections 2.8.6 and 2.8.7, to provide support for the provision of public transit.

- b) The City shall explore the feasibility of a transit hub within the Community Node to better connect to the greater transit system of Hamilton, in accordance with the Ancaster Transportation Master Plan.
- c) Public Transit stops should be designed to maximize transit use and access, where feasible.

### **2.8.15 Infrastructure Policies**

Municipal services, such as sewers, water, stormwater systems, and public/private utilities, shall be provided, maintained, and upgraded, as necessary, to accommodate the needs of existing and future development or redevelopment in the Ancaster Wilson Street Secondary Plan.

2.8.15.1 In addition to Section C.5.0 - Infrastructure of Volume 1, the following policies shall apply to the entire Secondary Plan area:

- a) Innovative stormwater management technologies, including but not limited to, green roof and grey water recycling, in accordance with City By-laws and provincial regulations, shall be encouraged in building design and development and redevelopment, where feasible.
- b) Where possible, stormwater management facilities should be located adjacent to other open space areas.
- c) The City shall continuously monitor the capacity and re-assess the need to manage stormwater runoff, as necessary.
- d) Infrastructure related works within the Ancaster Wilson Street Secondary Plan shall have regard for the heritage and character of the area by maintaining heritage features and landscapes, where feasible.

### **2.8.16 Sit-Specific Policies**

The sites within the Ancaster Wilson Street Secondary Plan, which are identified as Site-Specific Policy Areas and identified on Map B.2.8-1 - Ancaster Wilson Street Secondary Plan: Land Use Plan, include:

- a) Site-Specific Policy - Area A - 437 Wilson Street East;
- b) Site-Specific Policy - Area B - Part of 449 Wilson Street East and part of 548 Old Dundas Road;
- c) Site-Specific Policy - Area C -143 and 153 Wilson Street West;
- d) Site-Specific Policy - Area D -129-139 Wilson Street West; and,

e) Site-Specific Policy - Area E - 357 Wilson Street East.

**Site-Specific Policy - Area A**

2.8.16.1 For the lands known municipally as 437 Wilson Street East, identified as Site Specific Policy - Area A on Map B.2.8-1 - Ancaster Wilson Street Secondary Plan: Land Use Plan, the following policies shall apply:

- a) Prior to any proposed development or redevelopment of the site other than institutional uses, the following studies shall be submitted as part of a complete Planning Act application, and shall be completed, to the satisfaction of the City to ensure development or redevelopment occurs in an appropriate and orderly manner:
  - i) Cultural Heritage Impact Assessment;
  - ii) Archaeological Assessment;
  - iii) Detailed Concept Plan;
  - iv) Urban Design Report;
  - v) Functional Servicing Plan;
  - vi) Hydro-Geological Assessment;
  - vii) Planning Justification Report;
  - viii) Environmental Impact Statement;
  - ix) Comprehensive Transportation Management and Traffic Impact Plan;
  - x) Tree Preservation Plan; and,
  - xi) Visual Impact Assessment, if required, to the satisfaction of the City, in consultation with Niagara Escarpment Commission.
- b) Any proposed development or redevelopment shall be consistent with the intended principles and objectives of this Secondary Plan.

### **Site-Specific Policy - Area B**

- 2.8.16.2 For portions of the lands known municipally as 449 Wilson Street East and 548 Old Dundas Road, identified as Site-Specific Policy - Area B on Map B.2.8-1 - Ancaster Wilson Street Secondary Plan, the following policies shall apply:
- a) Notwithstanding Section 2.8.9 - Parks and Open Space Designations, existing and new residential and commercial uses shall be permitted in with the provisions of the Zoning By-law.

### **Site-Specific Policy - Area C**

- 2.8.16.3 For the lands known municipally as 143 and 153 Wilson Street West, identified as Site-Specific Policy - Area C on Map B.2.8-1 - Ancaster Wilson Street Secondary Plan: Land Use Plan, the following policies shall apply:
- a) Notwithstanding Policy 2.8.7.4 b) Medium Density Residential 2 Designation, the net minimum residential density shall be 16.95 units per hectare.

### **Site-Specific Policy - Area D**

- 2.8.16.4 For the lands known municipally as 129-139 Wilson Street West, identified as Site-Specific Policy - Area D on Map B.2.8-1 - Ancaster Wilson Street Secondary Plan: Land Use Plan, the following policies shall apply:
- a) Notwithstanding Policy 2.8.7.4 b) Medium Density Residential 2 Designation, the permitted residential building shall not exceed a height of four storeys above grade.

### **Site-Specific Policy - Area E**

- 2.8.16.5 For the lands known municipally as 357 Wilson Street East, identified as Site-Specific Policy - Area E on Map B.2.8-1 - Ancaster Wilson Street Secondary Plan: Land Use Plan, the following policies shall apply:
- a) In addition to Policy 2.8.10 Institutional Designation, a mixture of uses shall be permitted, in accordance with the Mixed-Use - Medium Density Pedestrian Predominant designation in Policy 2.8.8.6, without an amendment to this Plan.

**4.6 Text Changes - Volume 3 - Special Policy Areas/Site-Specifics**

4.6.1 Volume 3, Chapter B - Area Specific Policies is amended by removing Area Specific Policies UA-1, UA-2, and UA-3 in their entirety, and renumbering the remaining Area Specific policies accordingly.

4.6.2 Volume 3, Chapter C - Urban Site-Specific Policies is amended by removing Site-Specific Policies UAN-2, UAC-2, and UAC-3 in their entirety and renumbering the remaining policies accordingly.

**5.0 Implementation:**

An implementing Zoning By-law Amendment and future Planning Act applications will give effect to this Amendment.

This is Schedule [REDACTED] to By-law No. [REDACTED] passed on the [REDACTED] day of [REDACTED].

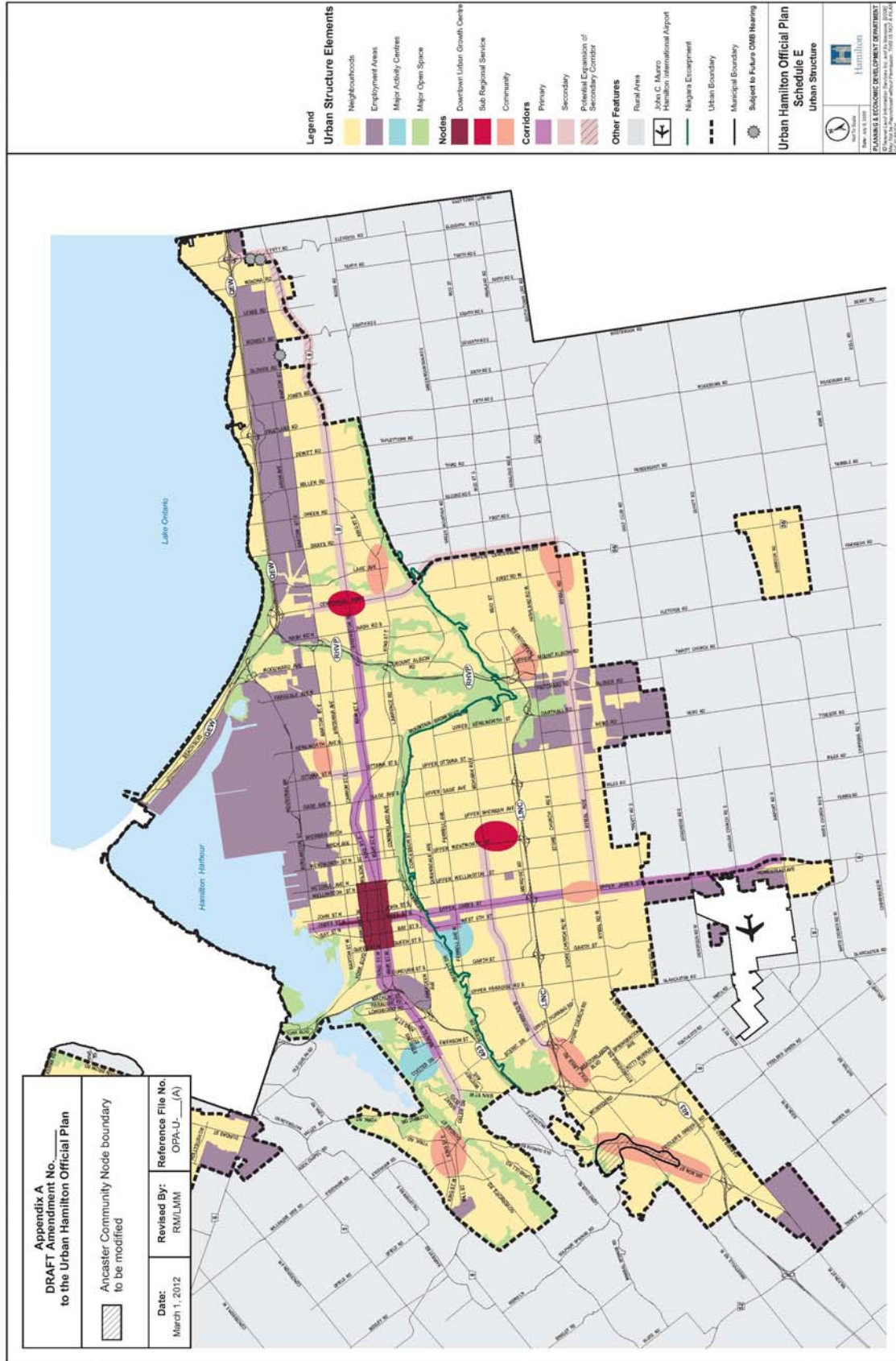
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City of Hamilton**

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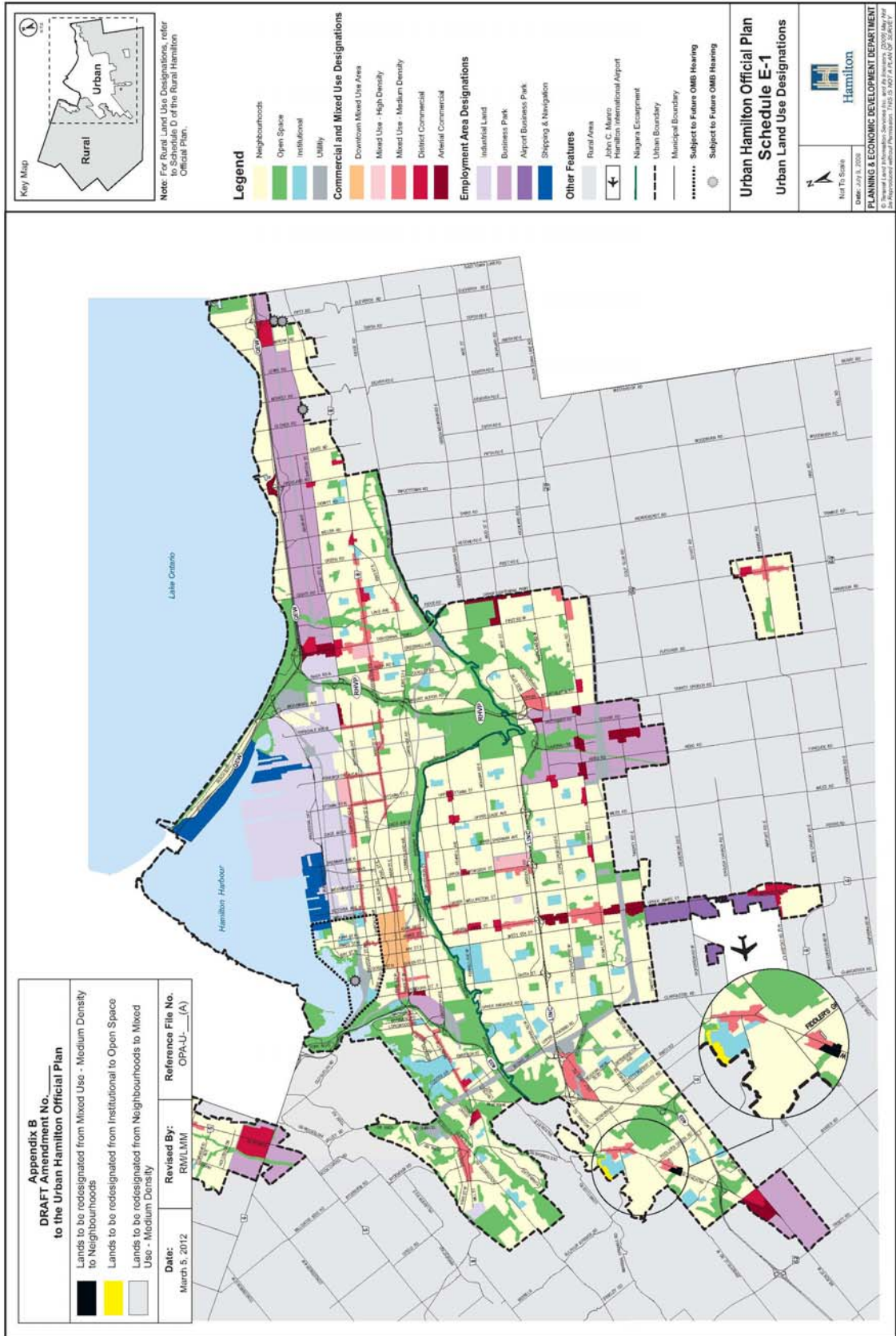
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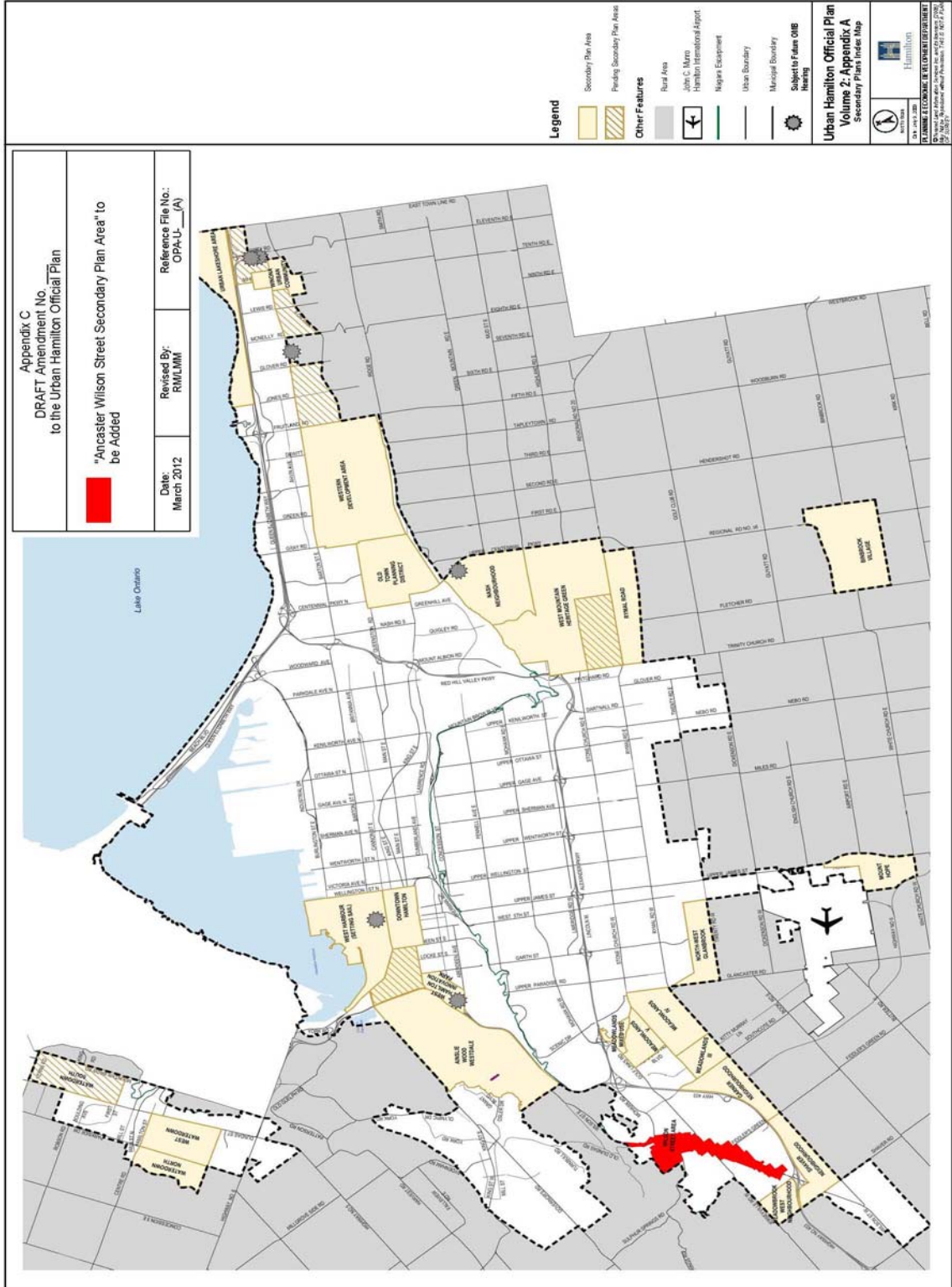
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Rose Caterini  
CLERK

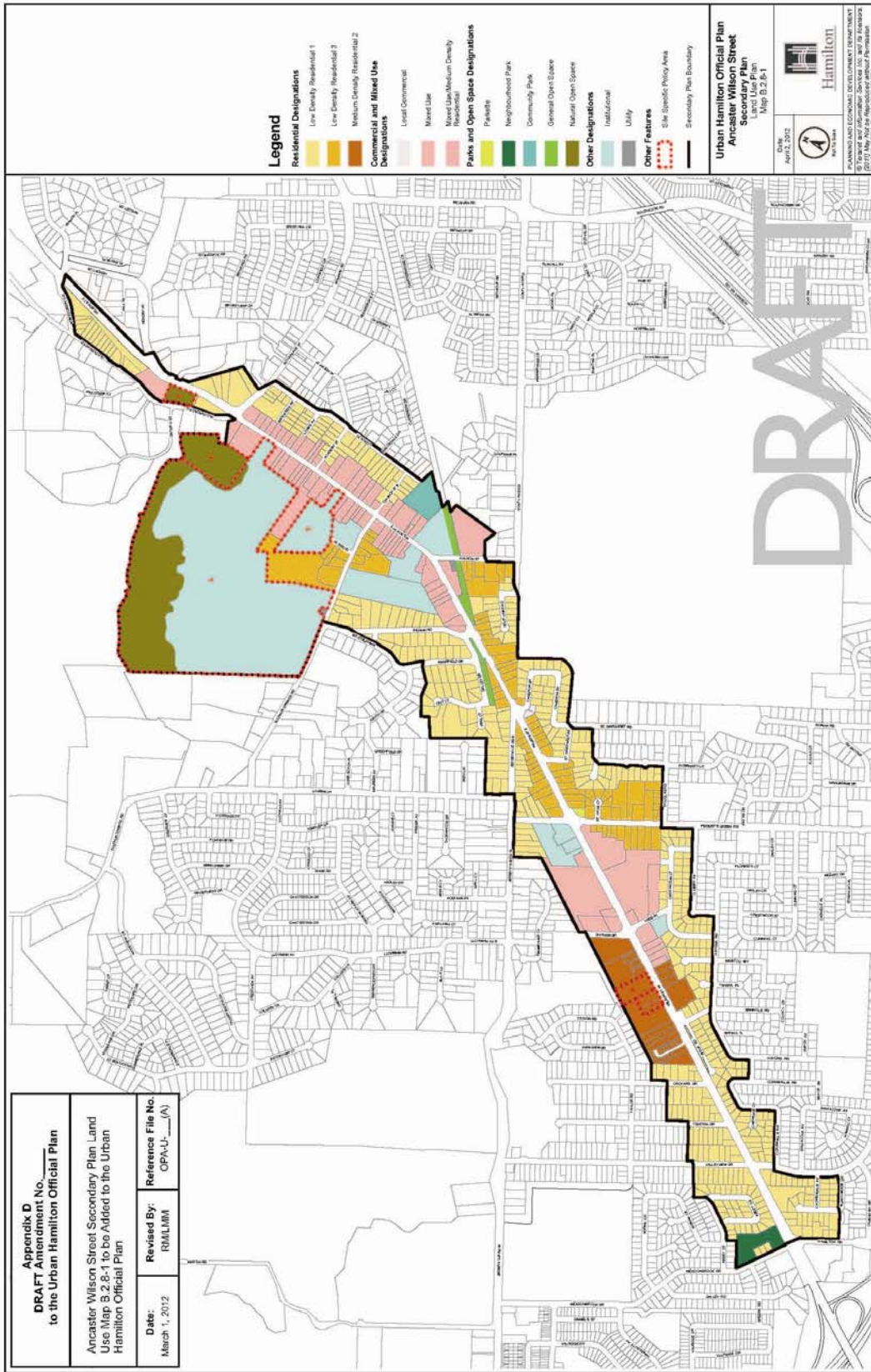


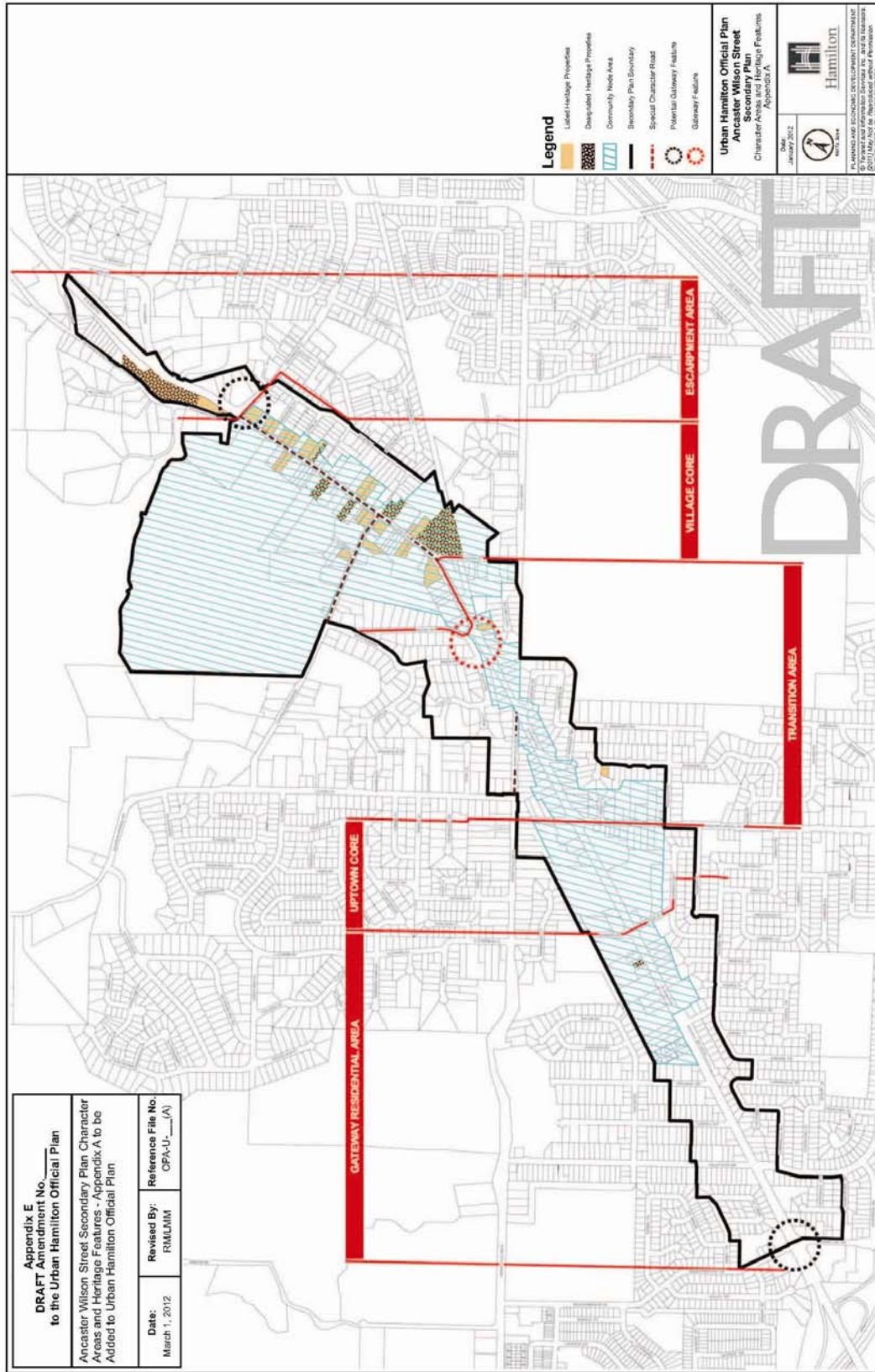




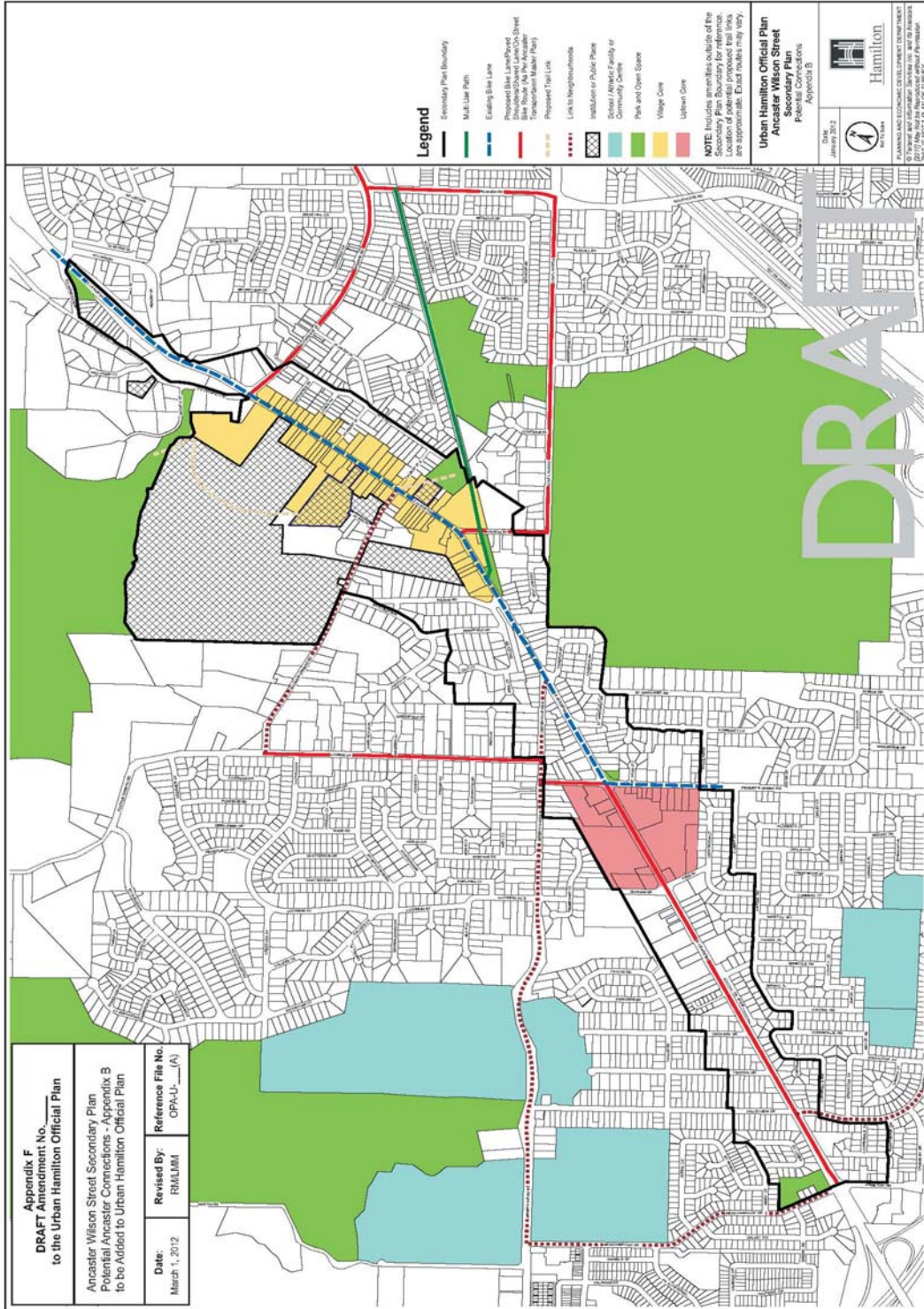


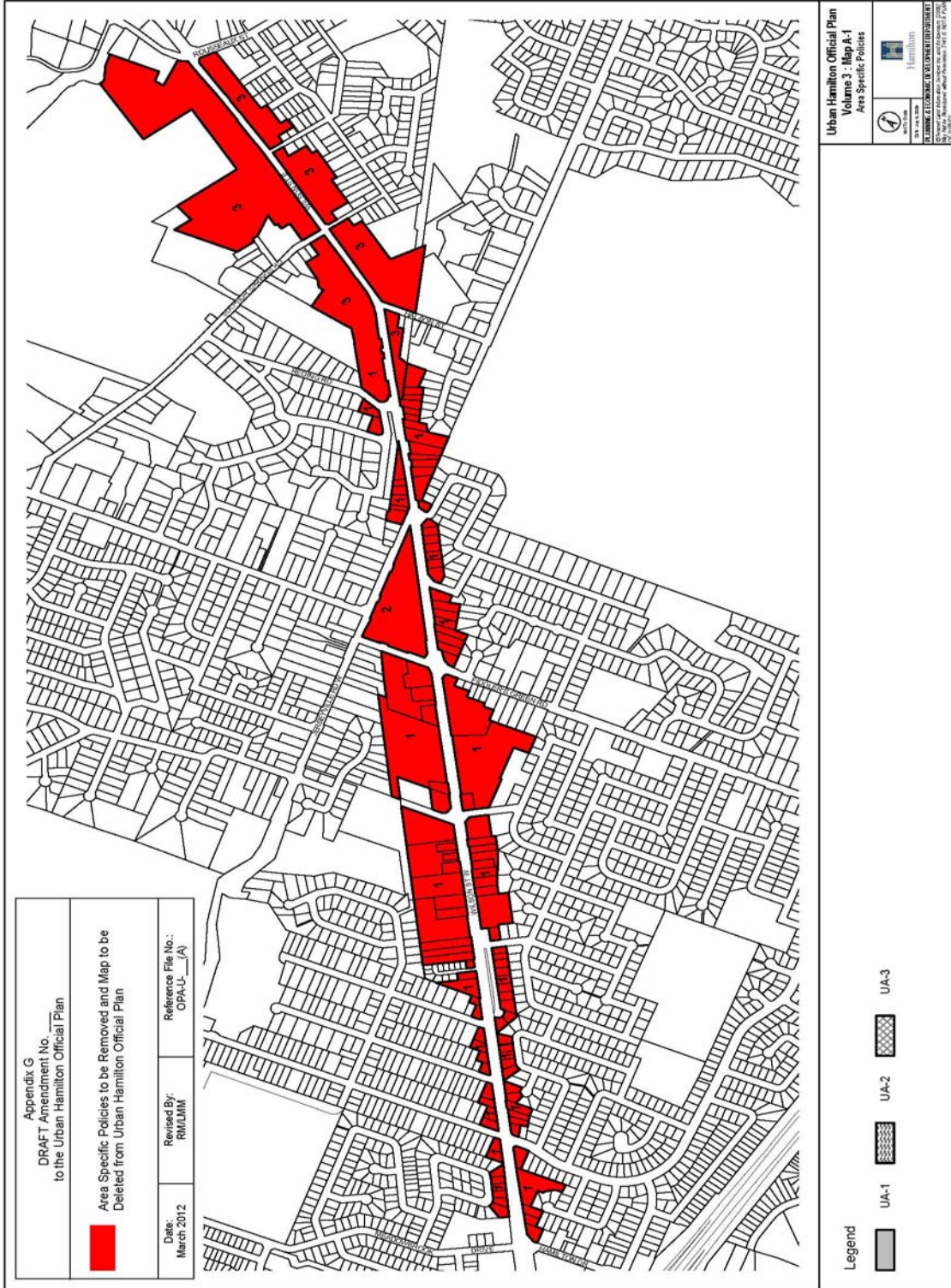




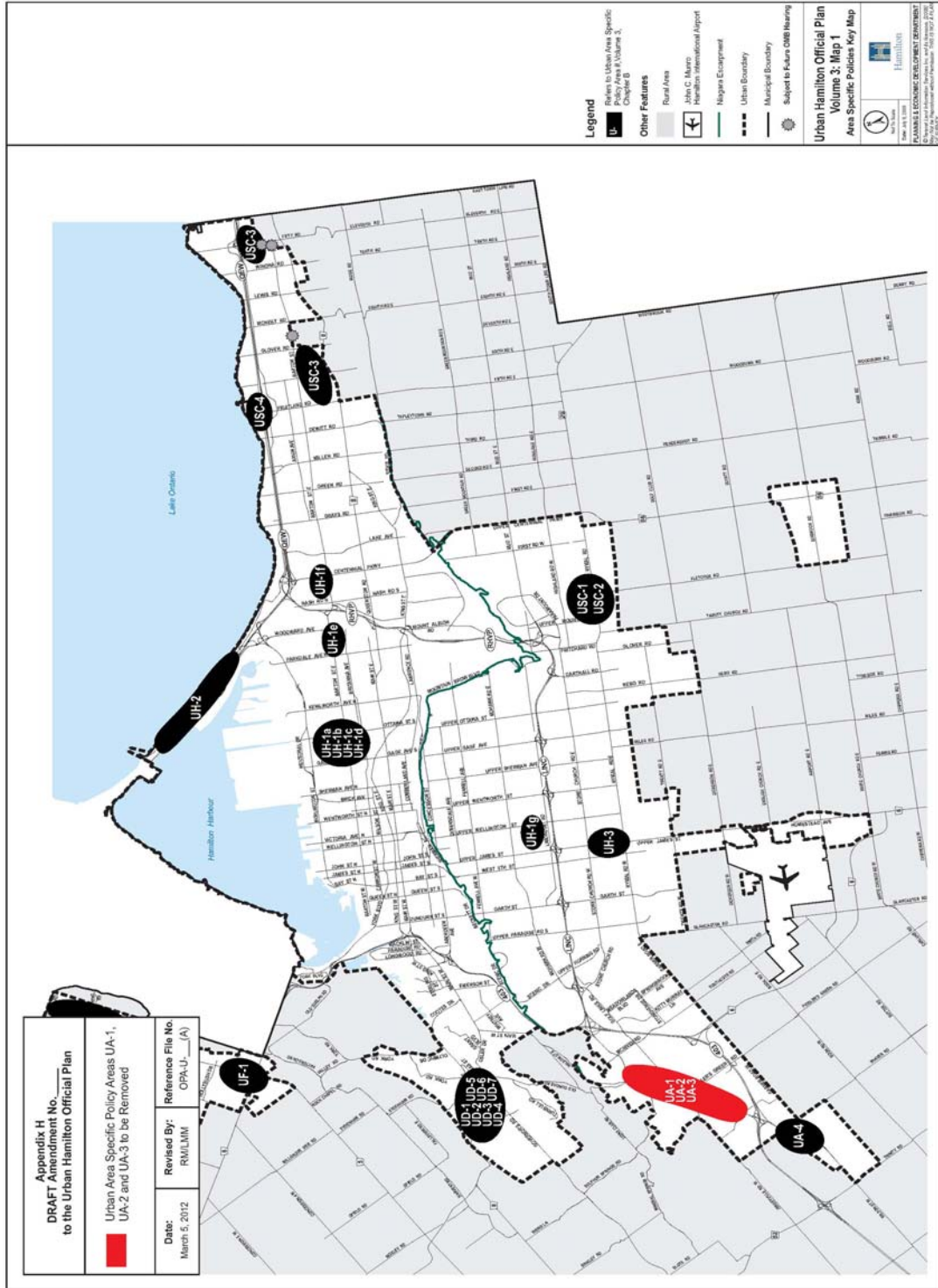


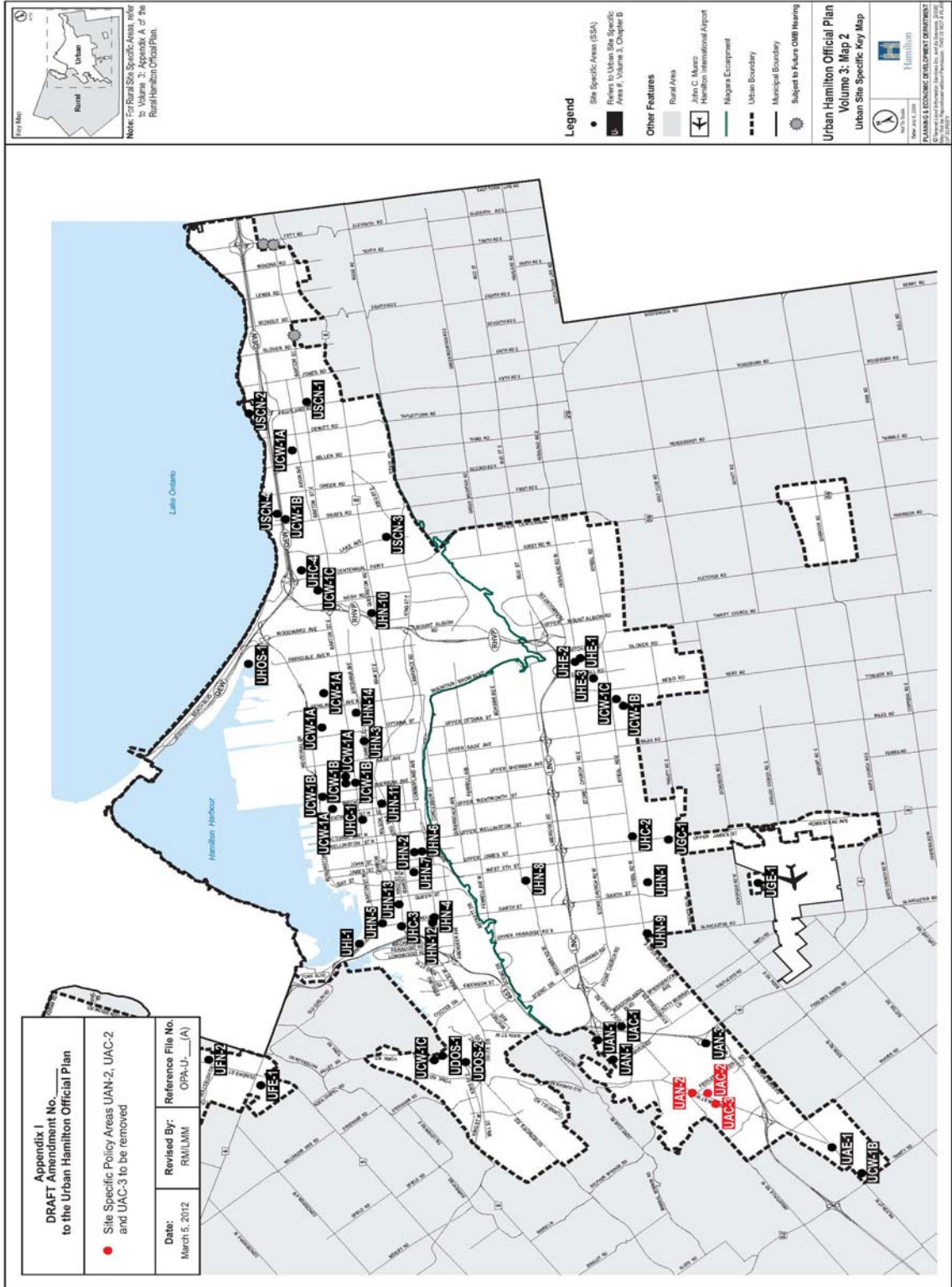
















# Ancaster: Wilson Street Secondary Plan Area Urban Design Guidelines

City of Hamilton, Ontario



Hamilton

February 2012



**DESIGN**<sup>based</sup>  
**PLANNING**  
peter.j.smith & company, inc.

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United States Buffalo, New York • Canada Fort Erie, Ontario



# Urban Design Guidelines

## Ancaster: Wilson Street Secondary Plan Area

City of Hamilton, Ontario

Prepared By: peter j. smith & company, inc.

February 2012

### Contents

<b>1. Introduction</b>	<b>1</b>
1.1 Purpose of the Urban Design Guidelines...	2
1.2 Structure of the Urban Design Guidelines...	3
1.3 Goals & Objectives .....	4
<b>2. Urban Form</b>	<b>6</b>
2.1 Character Areas.....	8
2.2 Design Concept.....	10
<b>3. Design Guidelines</b>	<b>19</b>
3.1 Design Guidelines by District.....	20
<b>Appendices</b>	<b>79</b>
A.1 Definitions.....	80
A.2 Planning Context.....	81
A.3 Character Area Matrices.....	82



Hamilton

Planning & Economic  
Development Department

**DESIGN**<sup>based</sup>**PLANNING**  
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Founded in 1793, Ancaster is one of Ontario's oldest communities. Perched atop the Niagara Escarpment, the community boasts tremendous heritage and cultural resources. These resources define Ancaster's character and identity as a picturesque community and a desirable place to live.

The City of Hamilton's Urban Official Plan identifies parts of Wilson Street in Ancaster as a Community Node, which initiated a Secondary Plan process. The Secondary Plan strives to manage growth and viability of the area. Components of the plan will assist in maintaining a vibrant, attractive and healthy community by promoting compatible mixed use development, conserving cultural and heritage resources, encouraging walkability and pedestrian friendly streets, and supporting a viable retail/commercial core area. These Urban Design Guidelines are a key component of the Secondary Plan. The Guidelines assist in reaching the goals of the Secondary Plan by providing a design strategy for the Wilson Street corridor.

# 1. Introduction

# 1.1 Purpose of the Urban Design Guidelines

The Ancaster Urban Design Guidelines direct how the Wilson Street corridor, from Meadowbrook Drive to Montgomery Drive, is developed in the future.

The guidelines focus on the character and quality of the *public realm* along the corridor and address design elements related to buildings and sites, streetscape, and public features.

The Urban Design Guidelines are an important tool in ensuring the creation of an attractive community that is viable, vibrant and pedestrian friendly. Drawing

from the unique traits that define the community, the Ancaster Urban Design Guidelines endorse a built form and *public realm* that is compatible with the existing scale, character and quality of the community. The guidelines will be used by designers, planners, land owners, developers, city staff, and others involved in the community improvement process.

## Regional Context



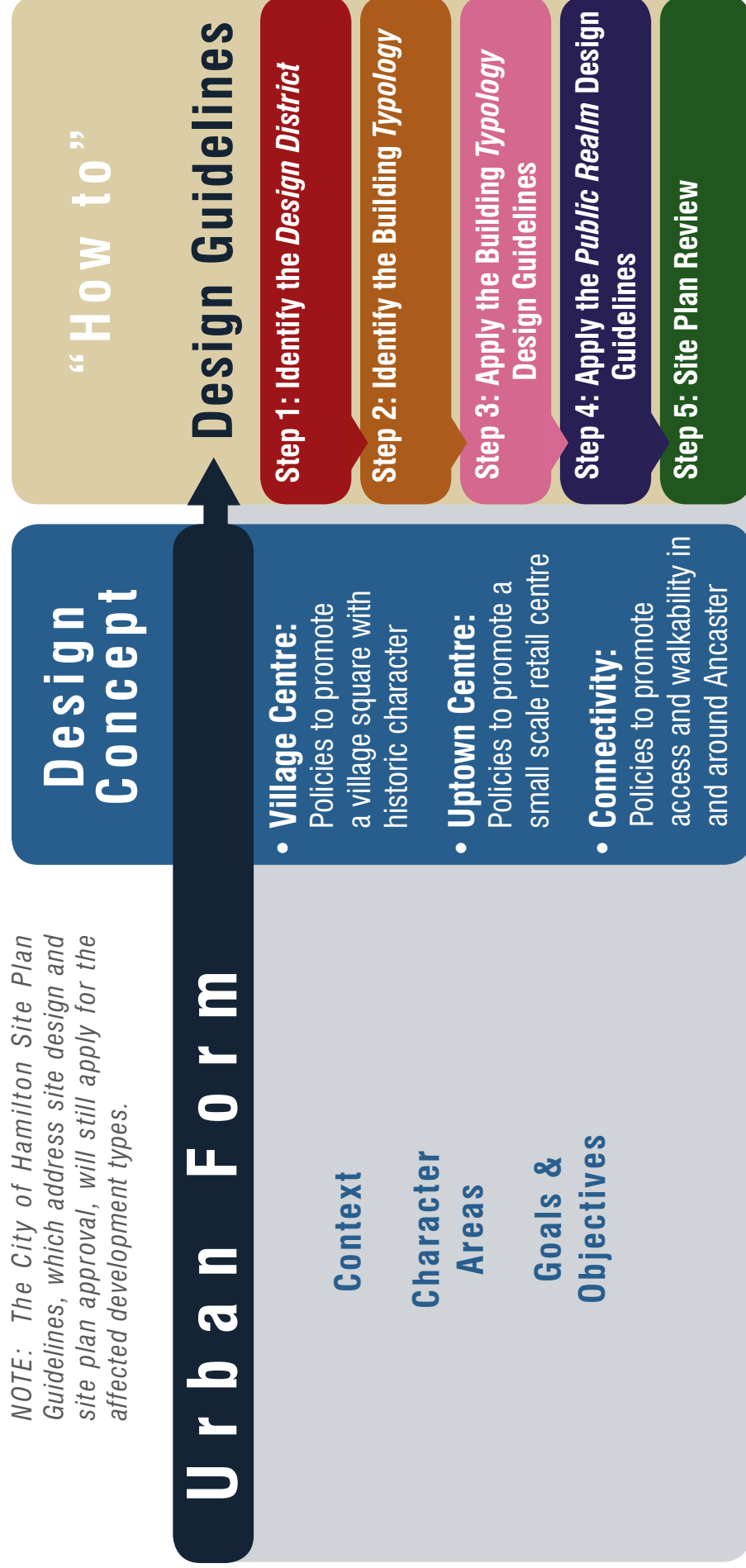
## Study Area

The study area for the Ancaster Urban Design Guidelines focuses on the main corridor within the Wilson Street Secondary Plan Area. The guidelines address the urban form of Wilson Street from Meadowbrook Drive to Montgomery Drive and provides design guidelines for properties within this boundary that front onto Wilson Street.

## 1.2 Structure of the Urban Design Guidelines

The guidelines direct the future design of the Secondary Plan Area by identifying the design concept and outlining a vision for the development of properties within the study area. The following diagram identifies the process established by the Urban Design Guidelines and highlights the steps that will guide development. Based on the existing conditions and the desired future for the Wilson Street Secondary Plan Area, the design concept identifies how to retain and enhance the characteristics of Ancaster that make it a livable community. This analysis and design development establishes the foundation for the Urban Design Guidelines.

*NOTE: The City of Hamilton Site Plan Guidelines, which address site design and site plan approval, will still apply for the affected development types.*





## 1.3 Goals & Objectives

The goals and objectives are community based directives that influence the future growth and form of Ancaster. They have been derived from meetings with residents, municipal planners and from the “Principles and Vision” contained in the Secondary Plan for the Wilson Street area. The overriding strategy is to preserve the unique identity of Ancaster through the application of “local” character-based design guidelines that ensure a compatible built form, an enhanced *public realm* and promote sustainability.

### ***Goal: Promote Local Heritage***

**Ancaster’s identity is expressed in the historic buildings, residences and landscapes that make up the community and should be capitalized on to enhance identity.**

#### ***Heritage Objectives***

- To conserve and protect historic landscapes, buildings and character
- To promote interpretation and understanding of the history and culture
- To maintain the existing pedestrian scale and character of Ancaster
- To ensure Ancaster remains a vibrant, pedestrian oriented place that encourages a diversity of desirable activities
- To develop an attractive, inviting, safe, and comfortable *public realm*

## Goal: Strengthen Community Focus

Commercial areas, both historic and suburban, are important to the quality of life of residents and should be strengthened to improve the organization and character of the community.

### *Community Focus Objectives*

- To create a community centre with both heritage and economic components
- To enhance the organization, function and comprehension of the community
- To promote economic stability
- To instill urban vitality and encourage street activity
- To encourage investment and economic development
- To support successful retailing and business activity
- To encourage social interaction and public gathering

## Goal: Improve Connectivity

The ability to visually perceive and circulate throughout the community will assist in understanding the organization of the community and become a more comfortable place to live and visit.

### *Connectivity Objectives*

- To improve how people move through the community
- To support active transportation by encouraging walking and cycling
- To ensure vehicular circulation and parking needs are met without negatively impacting the experience of Ancaster
- To strengthen connections throughout the community
- To design and develop “green” streets and buildings
- To incorporate wayfinding systems, including signage and Urban Braille

The character of Ancaster is unique and easily identifiable. It is defined by a pedestrian-scale village centre that consists of a diverse collection of heritage buildings constructed primarily of local limestone. The Niagara Escarpment is ever present and reinforces the strong bond between natural landscape and built form. The urban design concepts developed for Ancaster are grounded in this relationship and strive to preserve and enhance the character of the community as a means to secure a sustainable and viable future.

## 2. Urban Form



# A Local Way of Building

One of the key factors that makes Ancaster a unique community is its historic buildings. As documented in the City's heritage building inventory, building styles include: Classic Revival, Gothic Revival, Italianate and Neoclassical. While each style is defined by characteristic architectural elements and building forms, a closer look reveals that Ancaster's "fine grain" character is rooted in many local building traditions and practices of the past.

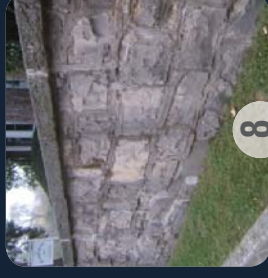
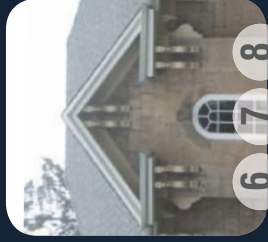
Ancaster's historic buildings, most common in the Village Core area, are typically simple block forms of one to two storeys, which feature balanced/symmetrical facades and a variety of architectural details. Roof lines include gables or gable and hip combinations. Locally quarried limestone is the predominant construction material. With these details repeatedly featured, the community has developed with a local vernacular that helps to make Ancaster a distinct place.

*The images on this page illustrate Ancaster's local way of building, seen mostly in the Village Core area. This architectural vernacular provides a foundation for design guidelines that reflect the historic character of Ancaster in a modern light.*

## **Sample Historic Architectural Features of Ancaster:**

### **Windows & Doors**

1. Windows enhanced with an ornamental sill and lintel
2. Windows double hung with "6 over 6" panes
3. A vertical stone soldier course above windows and doors



### **Masonry**

4. Local buff coloured limestone laid in a random pattern of rectangular stones with sand coloured joints
5. Stone quoins at building corners

### **Roofline**

6. Enhancements at the gables with cornice, corbels or barge board
7. End and centre gables
8. Gable and hip rooflines

### **Landscape**

9. Garden wall constructed of rectangular stone with a cap

# 2.1 Character Areas

To a large degree, the Wilson Street Secondary Plan Area conveys a positive atmosphere and possesses a desirable character that provides the foundation for developing character-based design guidelines (the *character areas* are used to define the *design districts* for which the design guidelines are developed). An analysis of the Secondary Plan Area along the Wilson Street corridor reveals that there are five identifiable *character areas*, each with an assortment of recognizable, and sometimes shared, physical traits.

The five *character areas* within the study area are identified as: Gateway Residential, Uptown Core, Transition, Village Core and Escarpment. Each *character area* was assessed for typical building and street characteristics (see Appendix 3). Analysis of this character assessment identifies elements of the corridor that should be redeveloped as well as elements that should be preserved, in order to promote an overall community character that is consistent with the goals and objectives of the Urban Design Guidelines.

## Gateway Residential

Featuring residential buildings on large lots that generally date from 1970-2000, this *character area* welcomes people to Ancaster along a wide landscaped and treed boulevard.

**Analysis:** The Gateway Residential *Character Area*'s low density form of residential development is the primary character that should be preserved.

## Uptown Core

Featuring 1970s “strip plaza” buildings and 1993-2000 “big box” buildings, this *character area* invokes a typical automobile-oriented suburban commercial corridor.

**Analysis:** The Uptown *Character Area* provides a significant retail service to the community, but its built form does not support the goals and objectives for the Secondary Plan Area.

## Transition

With office and residential buildings from a variety of periods, this *character area* is becoming an emergent commercial area, as residential buildings are converted for commercial/office uses.

**Analysis:** The Transition *Character Area*, provides a critical link between two different community hubs: the Uptown Core and the Village Core.

## Village Core

With a concentration of one to two storey limestone buildings, this *character area* features the architectural heritage of Ancaster and establishes Ancaster's identity.

**Analysis:** The heritage characteristics of the Village Core *Character Area*, which form the foundation of the design guidelines herein, should be preserved and enhanced.

## Escarpment

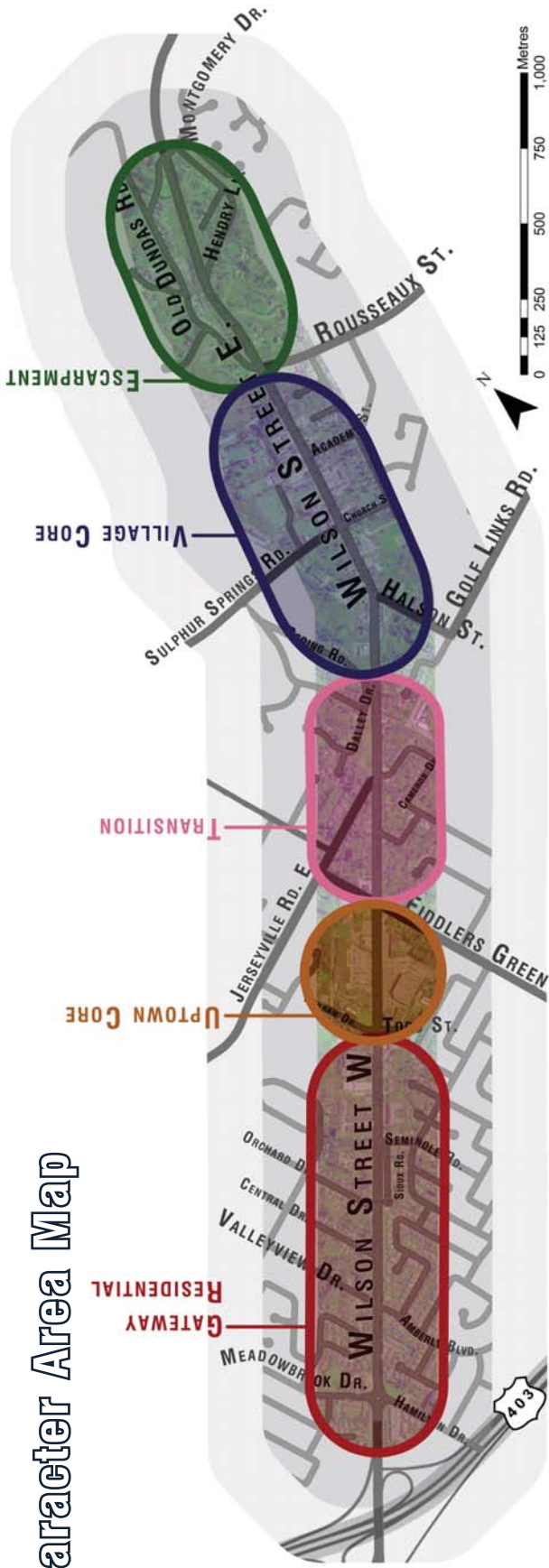
With heritage properties on the east side of Wilson Street East and views of the Escarpment to the west, this *character area* defines the natural heritage of Ancaster.

**Analysis:** The Escarpment *Character Area* is critical to the natural history of the community and should maintain views to this environmental feature.





# Character Area Map



Characteristic Gateway Residential Building



Characteristic Uptown Core Building



Characteristic Transition Building



Characteristic Village Core Building



Characteristic Escarpment Building



Gateway Residential Streetscape Section



Uptown Core Streetscape Section



Transition Streetscape Section



Village Core Streetscape Section



Escarpment Streetscape Section

Community Concept

- 
- 
- 
- 
-

## 2.2 Design Concept

The Design Concept defines the future urban form of the study area. It is based on key design principles that articulate the highest priorities and direct how future development should occur.

*Several features of the Design Concept are essential to the development of the community and are expanded on in the following pages. These features include the Village Centre, the Uptown Centre and the connections necessary for a cohesive community.*

The Design Concept demonstrates how the Wilson Street corridor can be spatially organized to enhance its function and identity as the centre of Ancaster. The foundation for the concept is the creation of two unique centres, envisioned to be the primary cultural and retail destinations in the community (Village Centre and Uptown Centre). Uniting these centres and extending a linear circulation system along the corridor

promotes walkability and integrates pedestrian/cyclist access with vehicular circulation in a more balanced approach. In conjunction, a series of gateways are proposed, physical features that announce one's arrival to the corridor.

The following chart identifies the key design principles and how they are accomplished through the Design Concept.

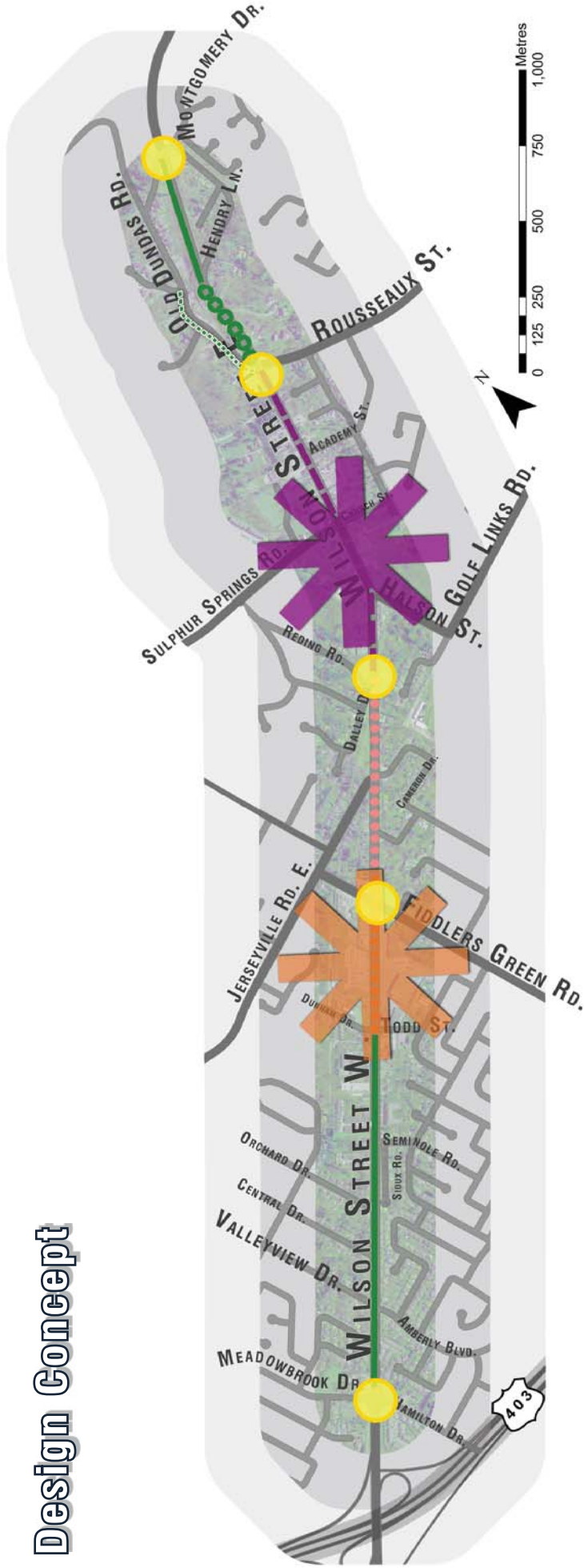
### Design Principles

### The Design Concept...





# Design Concept



## Greenway

As a continuous promenade, the West Greenway enhances arrival to Ancaster from Highway 403 and promotes the “green” landscape character of Gateway Residential Design District.

## Uptown Centre

As a unified retail district encompassing the Uptown Core Design District, the Uptown Centre has a strong, compact urban character that complements the Village Centre and meet the future needs of the community as it grows.

## Corridor Connection

Linking the Village Centre and the Uptown Centre, the Corridor Connection through the Transition Design District accommodates improved vehicular circulation and provides strong pedestrian and bicycle links on both sides of the roadway.

## Village Centre

A campus of heritage-styled buildings clustered to define a public square within the Village Core Design District, the Village Centre celebrates the unique character of Ancaster, provides an active cultural destination, and strengthens the identity of the community.

## Parkway

The Parkway enhances the approach to Ancaster from the east and features a continuous promenade through the Escarpment Design District, with cantilevered overlooks and viewing platforms for pedestrians, and an enhanced “parkway” experience for motorists.



Gateways

Located at principal points of entry, the gateways are physical features that announce arrival to the Wilson Street corridor at Meadowbrook Drive, Fiddlers Green Road, Rousseau Street and Montgomery Drive. The gateway at Dalley Drive announces arrival to the Village Core.

Community Concept



## Village Centre

The Village Centre concept provides a long term vision to create a unique destination within the Secondary Plan Area that supports the goals and objectives of the community. The Village Centre is the focal point of the Village Core. The concept builds upon the rich cultural and architectural heritage of Ancaster and celebrates its identity as a unique and recognizable place.

Located around the Wilson Street West and Sulphur Springs Road intersection within the Village Core *Character Area*, the Village Centre conserves and enhances the existing concentration of historic buildings and cultural resources.



## Village Centre Design Principles

Two key design principles guide the development of the Village Centre:

- Create a centralized public space and destination in the core of the community.
- Unify the historic and cultural community assets and integrate them into the Ancaster experience.

## Village Centre Recommendations

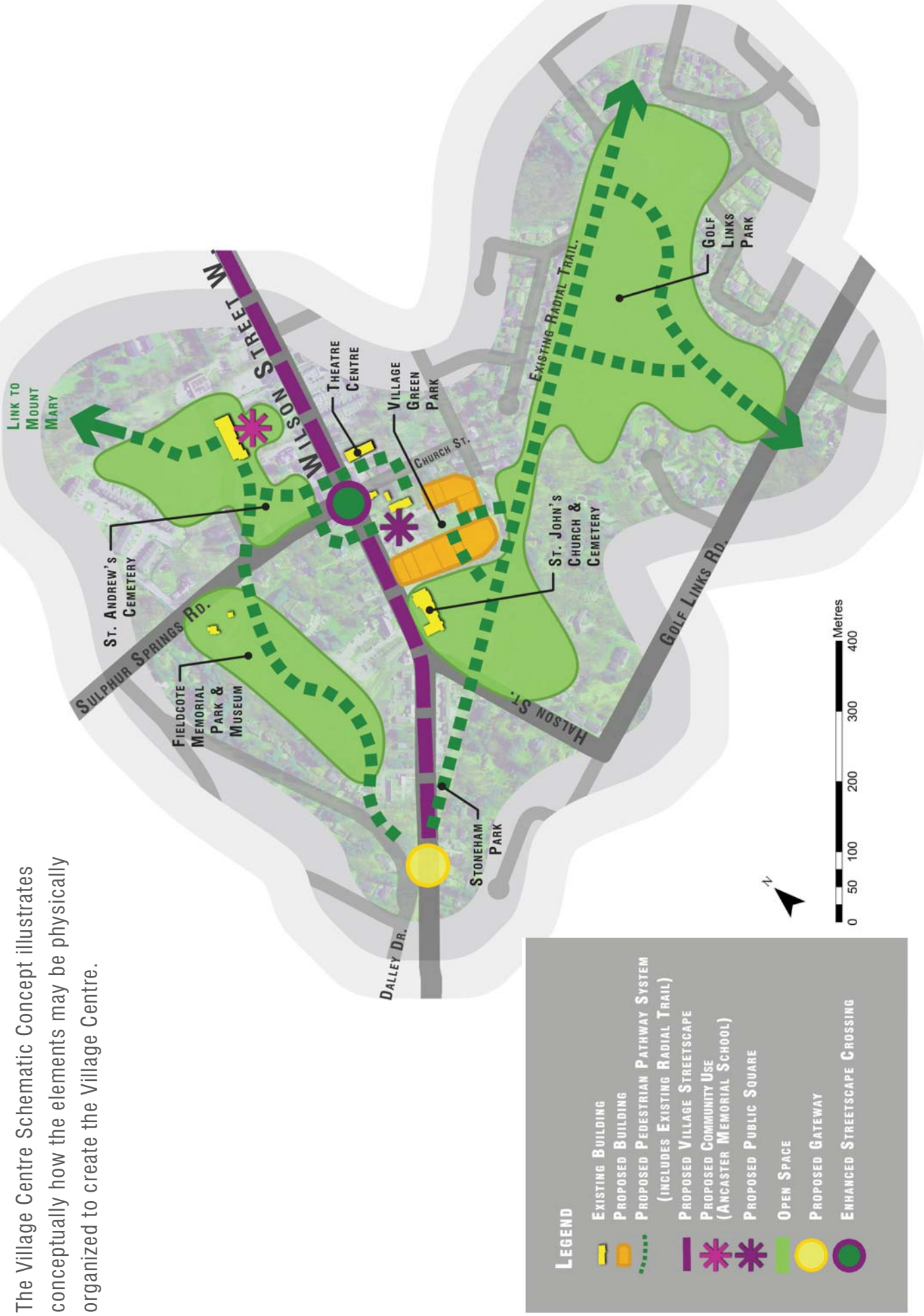
**The following recommendations identify actions to develop the Village Centre:**

- The Village Centre is encouraged to develop as a public square.
- The public square should be defined by a collection of heritage-styled buildings organized around the space.
- The public square should integrate the Old Town Hall and adjacent heritage buildings.
- The public square should be an active meeting place providing a diversity of retail, culture, entertainment and event activities.
- The public square should express a strong heritage design character that invites pedestrians and encourages interaction.
- The Ancaster Memorial School is encouraged to be developed for community focused uses.
- The Village Centre should be unified by an outdoor museum that features Ancaster's heritage.
- The outdoor museum should be connected by a pedestrian pathway system that integrates a diversity of elements/places that tell the story of Ancaster.
- The outdoor museum should include features to create a museum experience, such as themed exhibits, displays, artifacts and panels.
- The outdoor museum should extend outward from the public square to other green spaces and resources including St. John's Cemetery, St. Andrews Cemetery, Fieldcote Memorial Park and Museum, Firehall Theatre, Stoneham Park and Village Green Park.



# Potential Village Centre Schematic Concept

The Village Centre Schematic Concept illustrates conceptually how the elements may be physically organized to create the Village Centre.



## Uptown Centre

The Uptown Centre concept is derived from the need to introduce new retail and commercial development and create, in keeping with the design concept, more compact and efficient development formats. The concept envisions a more compact and unified form of development from the existing suburban style commercial character of the area, which combines 1970's strip mall development with more recent 1990's big box retail development.

Located between Todd Street and Fiddler's Green Road within the Uptown Core *Character Area*, the Uptown Centre Concept transforms the area into a pedestrian-friendly commercial centre with a compact urban form.



## Uptown Centre Principles

Two key design principles guide the development of the Uptown Centre:

- Create a compact scale commercial centre that is accessible to pedestrians, bicyclists and vehicles.
- Situate buildings up to the street to create a more pedestrian friendly scale; parking is contained internally within the block.

## Uptown Centre Recommendations

*The following recommendations identify actions to develop the Uptown Centre:*

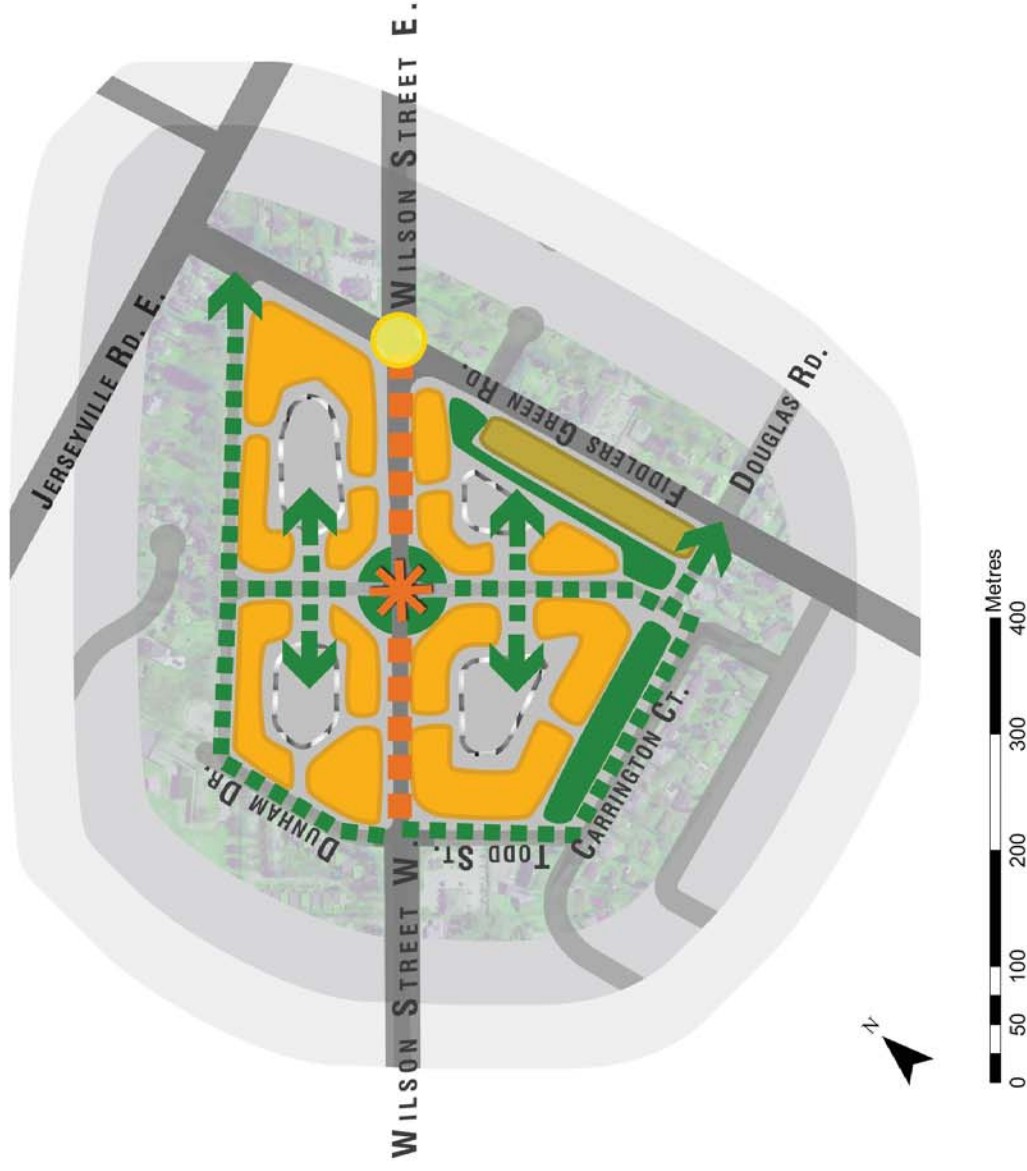
- The Uptown Centre is recommended to be organized by a grid system of streets that gives order and legibility to the development pattern.
- Streets in the Uptown Centre should be “complete” streets that invite pedestrian and bicycle circulation while accommodating cars and public transit vehicles.
- The streets in the Uptown Centre should organize the area into accessible blocks.
- There should be a public park/plaza space that unifies the blocks and provides an outdoor focal point.
- The loop roadway system surrounding the Uptown Centre should provide a boundary and assist in making the transition to adjacent properties.
- All streets should prioritize pedestrian circulation and safely accommodate bicycle circulation.
- All pedestrian areas should be tree-lined.
- All buildings should be massed parallel to street edges to provide enclosure and an appropriate pedestrian scale at street level.
- All parking areas should be contained within the interior of the block behind buildings, with minimal frontage onto the street (see the centre lot parking areas highlighted in the Uptown Centre Concept).
- Access to parking should be provided along the central Uptown Centre street, eliminating curb cuts from Wilson Street.
- Transitional buffers within the Uptown Centre should provide green space between retail/commercial development and existing adjacent residential properties.
- Transitional buffers should provide opportunities for enhanced landscaping and improved pedestrian connections through the area.



# Potential Uptown Centre Schematic

## Concept

The Uptown Centre Schematic Concept illustrates how conceptually key elements may be physically organized to create the Uptown Centre.



- LEGEND**
- PROPOSED BUILDING ORIENTATION
  - LOW DENSITY RESIDENTIAL 3
  - PROPOSED CENTRE LOT PARKING
  - NEW STREET CONNECTION
  - PROPOSED UPTOWN STREETScape
  - PROPOSED PUBLIC PLAZA
  - PROPOSED TRANSITIONAL BUFFER
  - PROPOSED GATEWAY

## Community Connections

The Connectivity Concept identifies opportunities to better connect the surrounding neighbourhoods of Ancaster to the Wilson Street corridor. This Concept supports the goals of the Urban Design Guidelines by improving connections and making the community more pedestrian and bicycle friendly. The Concept also builds upon the goals, principles and recommendations of the Ancaster Transportation Master Plan, Hamilton Transportation Master Plan, and Hamilton Cycling Master Plan – “Shifting Gears”. Proposed improvements from these studies are shown in the Connectivity Concept, along with existing pathways and bike lanes.

The Connectivity Concept addresses the connections in and around the study area, improving accessibility to neighbourhoods, schools, recreation centres, parks and other public spaces for a more active and vibrant community.

## Connectivity Principles

Two key design principles guide the development of the Community Connections:

- Create a series of circulation “loops” that integrate surrounding neighbourhoods with the corridor and provide a comprehensive community wide pedestrian and bicycle network.
- Improve connections to existing public destinations including schools, recreation centres, parks and other public spaces.

## Connectivity Recommendations

*These proposed recommendations identify potential actions to enhance community connectivity:*

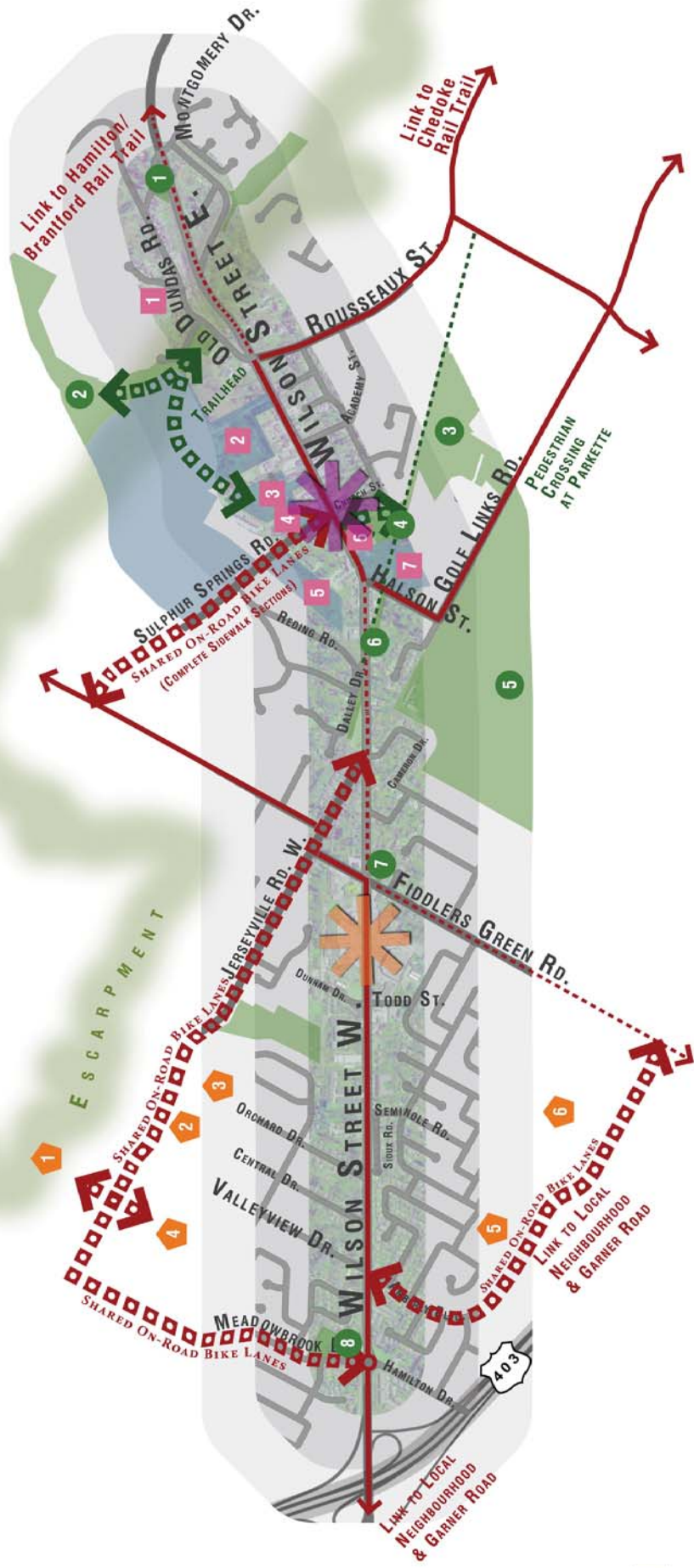
- Complete missing sections of sidewalks along Sulphur Springs Road to provide safe, continuous pedestrian passage.
- Provide a shared on-road bicycle lane along Sulphur Springs Road.
- Replace the existing sidewalk that runs along the west side of Jerseyville Road East and West with a multi-use path for bicyclists and pedestrians; where right of way restrictions and/or topographic conditions do not allow for a multi-use path, provide a shared on-road bicycle lane and widened sidewalk.
- Provide bicycle lane(s) on Meadowbrook Drive to link the neighbourhood to the Wilson Street corridor.
- Widen the sidewalk along Amberly Boulevard to improve pedestrian circulation.
- Provide on-road bicycle lanes along Amberly Boulevard.
- Develop a significant trailhead at Old Dundas Road to strengthen the connection to the Dundas Valley Conservation Area.
- Provide a direct link down the Escarpment slope from Wilson Street East to the Ancaster Old Mill.
- Provide access across the Mount Mary property (acquire easement subject to landowner approval) to directly connect the proposed trailhead at Old Dundas Road to the proposed Arts and Cultural Centre at the existing Ancaster Memorial School.

# Potential Connectivity Concept

Note: Connectivity concept shown contains potential scenarios. Actual development of on and off road connections may not proceed as shown.

LEGEND	PARK / OPEN SPACE	KEY INSTITUTION / PUBLIC PLACE	SCHOOL / ATHLETIC FACILITY
	<b>1</b> ANCASTER MILLENNIUM PEACE PARK	<b>1</b> ANCASTER OLD MILL	<b>1</b> ANCASTER COMMUNITY CENTRE FIRESTONE ARENA
	<b>2</b> DUNDAS VALLEY CONSERVATION AREA	<b>2</b> MOUNT MARY IMMACULATE RETREAT	<b>2</b> LITTLE LEAGUE PARK
	<b>3</b> GOLF LINKS PARK	<b>3</b> ANCASTER MEMORIAL SCHOOL	<b>3</b> SPRING VALLEY ARENA
	<b>4</b> VILLAGE GREEN PARK	<b>4</b> ST. ANDREWS CEMETERY	<b>4</b> ANCASTER HIGH SCHOOL
	<b>5</b> HAMILTON GOLF & COUNTRY CLUB	<b>5</b> FIELDGOTE MEMORIAL PARK & MUSEUM	<b>5</b> ANCASTER SENIOR PUBLIC SCHOOL
	<b>6</b> STONEHAM PARK	<b>6</b> TOWN HALL & LIBRARY	<b>6</b> ST. JOACHIM SCHOOL
	<b>7</b> BROCKHOUSE PARK	<b>7</b> ST. JOHN'S CHURCH & CEMETERY	
	<b>8</b> MEADOWBROOK PARK		

0 125 250 500 750 1,000 Metres



**The Urban Design Guidelines are a vital component of successfully implementing the Vision for the Wilson Street Secondary Plan Area and achieving the goals of the Secondary Plan. The guidelines are exclusive to Ancaster and have evolved from an analysis of the unique design characteristics specific to the community that establish it's identity as a distinct place.**

# 3. Design Guidelines



## 3.1 Design Guidelines by District

The design guidelines for Ancaster reflect the unique character of the Wilson Street corridor. Organized by *design districts*, the guidelines preserve the

*Over time, property boundaries may change, but the design guideline boundary will remain as all properties fronting onto Wilson Street between Meadowbrook Drive and Montgomery Drive.*

character of the community and promote quality design in the Secondary Plan Area. The *design districts* are specifically created to enhance the existing character of the community. Based on and corresponding to the *character areas*, the *design districts* focus on the positive design qualities and attributes of each *character area* and support the overall Design Concept.

Four of the five *character areas* are currently consistent with the goals and objectives of the community; only the Uptown Core *Character Area* is incompatible. This latter *character area* is transformed through the Design Concept and the Urban Design Guidelines into the Uptown Core *Design District*.

### Each design district includes the following components:

**Design Intent:** The overall design intent for each *design district* is described. The description focusses on the key design features or elements of the design guidelines that create the desired character for the district.

**Design District Map:** The *Design District* Map identifies the properties located within the district and which *typologies* (representative examples of building types) can be used on the various properties. While typically the user will be able to choose which *typology* to apply within each district, the Escarpment District only allows for one *typology*. Application of the Design Guidelines is not required for single family residential homes.

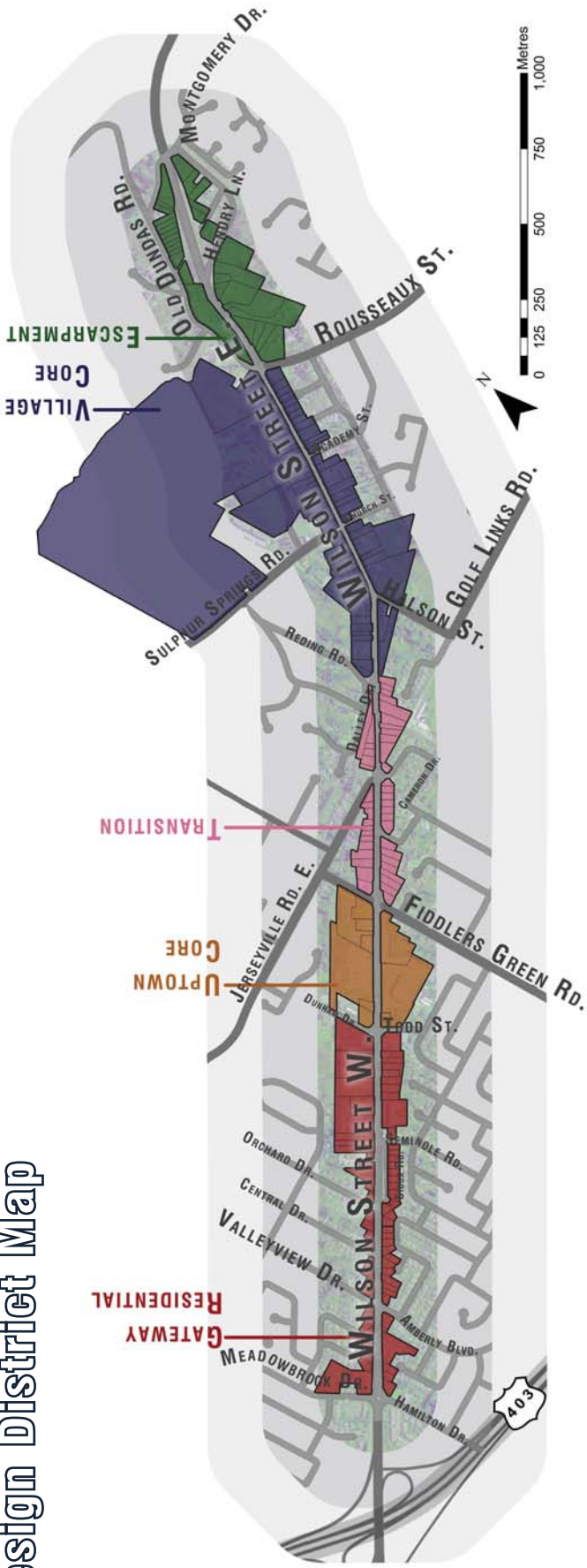
**Typology Design Guidelines:** *Typologies* are identified for each *design district*. For each *typology*, Building Design Guidelines and Site Design Guidelines are outlined. The *typologies* are representative examples of the ideal built form, from which new development should take design cues. The built form may ultimately look different than what is shown in the design guideline illustrations, as long as the buildings are consistent with the design guidelines.

**Public Realm Design Guidelines:** For each *design district*, *Public Realm* Design Guidelines are identified that direct street design, public art, *gateways* and other amenities.

Design Guidelines



# Design District Map



## Design Guideline Index

The Urban Design Guidelines are developed for each *design district*. They apply to all properties fronting onto Wilson Street between Meadowbrook Drive and Montgomery Drive except single family residential homes. The following index identifies where various design guideline elements are located in the document.

### Gateway Residential

Design Intent and District Map.....	23
Typology A.....	24
Typology B.....	28
Public Realm.....	32

### Uptown Core

Design Intent and District Map.....	35
Typology A.....	36
Typology B.....	40
Public Realm.....	44

### Transition

Design Intent and District Map.....	47
Typology A.....	48
Typology B.....	52
Public Realm.....	56

### Village Core

Design Intent and District Map.....	59
Typology A.....	60
Typology B.....	64
Public Realm.....	68

### Escarpment

Design Intent and District Map.....	71
Typology A.....	72
Public Realm.....	76

## 3.1.1

# Residential Gateway Design Guidelines

The Residential Gateway *Design District* defines arrival to Ancaster from the west. The area is characterized by single family homes setback from the street and located on large lots. In some locations, fenced rear yards front Wilson Street West. There is a strong green quality to the corridor that is created by large street trees and well landscaped residential properties. The corridor is surrounded by residential neighborhoods to the north and south. A recently developed traffic circle at Meadowbrook Drive creates a sense of arrival to Ancaster.



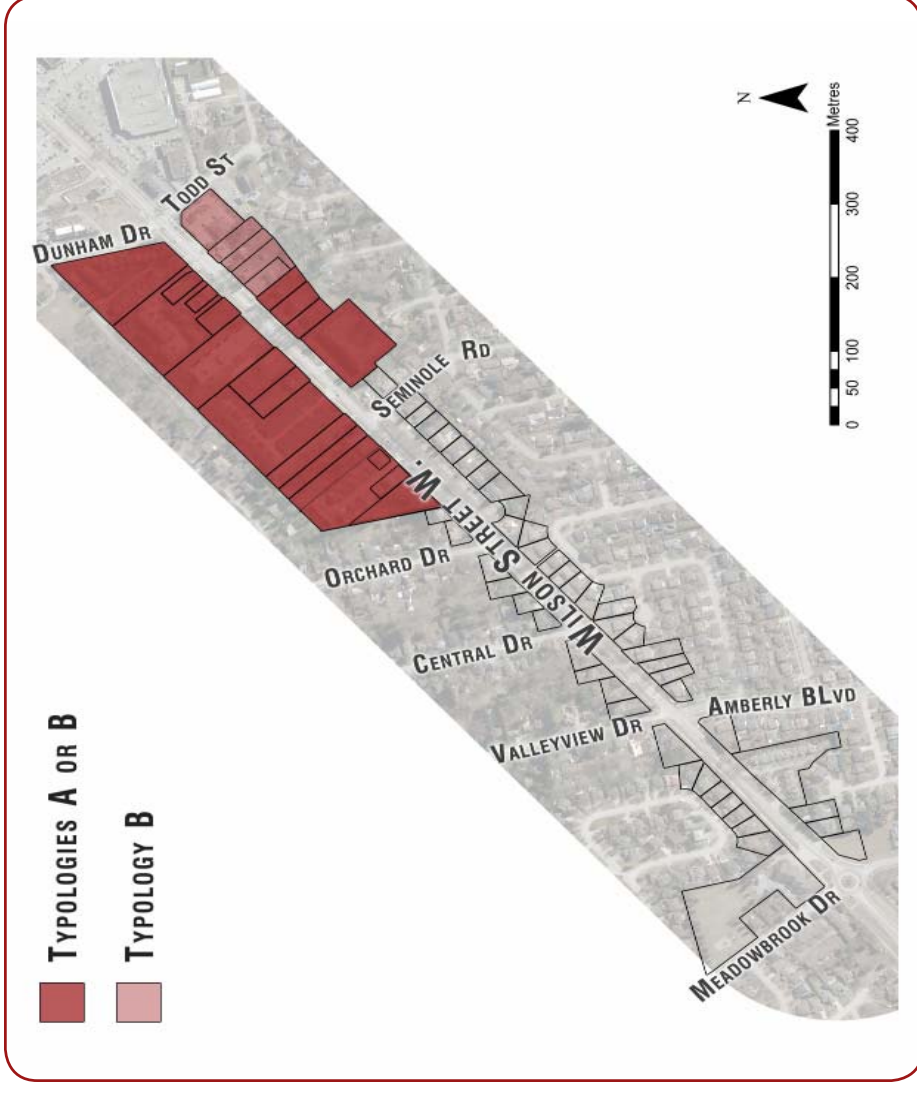
## DESIGN INTENT

The intent of these design guidelines is to preserve the residential scale and “green” character of Wilson Street West, while enhancing the “gateway” function the corridor currently fulfills. Primary elements of the guidelines that achieve this include:

- Building design is flexible and accommodates/promotes individual expression
- Building heights are limited to 3 storeys with pitched rooflines
- Building masses are setback from the street with front yard landscaping
- A strong linear parkway for pedestrian and bicycle circulation enhances connections and the green quality of the street

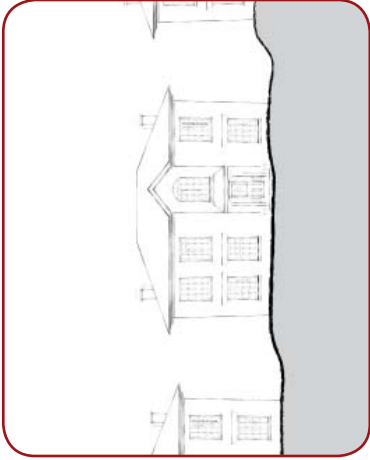
## DISTRICT MAP

The Residential Gateway *Design District* extends on Wilson Street West from Meadowbrook Drive to Todd Street. The map identifies where the building *typologies* of this area are proposed to be located. There are two building *typologies* in the Residential Gateway *Design District* – A and B. The *typologies* are representative examples of the ideal built form, based on application of the design guidelines.



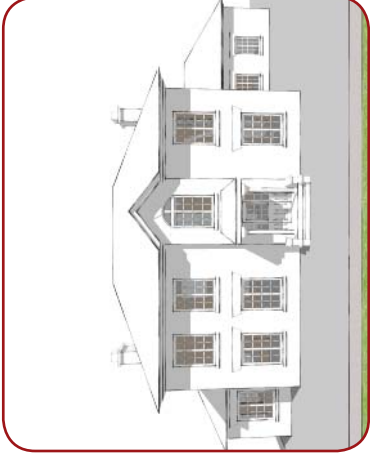


# 3.1.1.1 Gateway Residential: Building Typology A



## CONTEXT

1. Finished floor level should be the average of the adjacent buildings



## HEIGHT & ROOFLINE

1. Buildings should be maximum 3 storeys
2. Buildings should have a pitched roof
3. Roofs should have a minimum overhang of 0.3 metre
4. Roofs could include dormers
5. Chimneys, if present, should be equal to primary wall material



## WALL MATERIALS

1. Buildings should be stone, brick or wood
2. Stucco shall not be the primary material used on façade surfaces
3. A maximum of 3 materials should be used



## DOORS

1. Primary building entrance should be highlighted with architectural enhancements
2. Doors should include glazing and/or sidelights





## WINDOWS

1. Windows should express each floor
2. Windows should be provided on all façades
3. Windows should be recessed
4. Windows should be enhanced with architectural surround details
5. Windows could include shutters; shutters should be suited to the style and size of the windows



## APPURTENANCES

1. Materials for patios and porches in the front yard should be equal to the building



## SIGNAGE

1. An *identification sign* could be provided on the building
2. *Identification sign* should be on the front façade of the building, no higher than the first storey
3. *Identification signs* should compliment the architectural design of the building

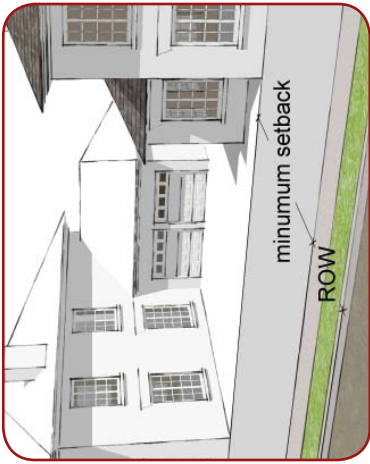
*Note: Signage shall be subject to the City of Hamilton Sign By-law. In the case of a conflict, the Sign By-law shall prevail*



## LIGHTING

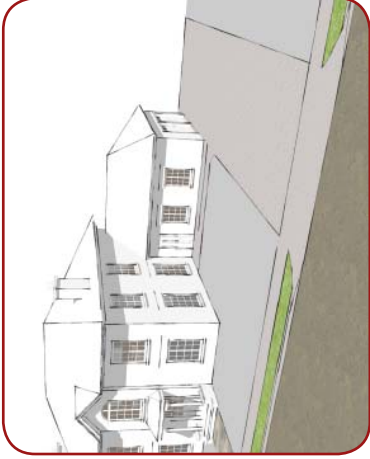
1. Entrances should be lit
2. Wall mounted lights should be used on the building
3. Lighting should incorporate a full cutoff to cast downwards and minimize light spill onto neighbouring properties

# Gateway Residential: Building Typology A



## SETBACK & ORIENTATION

1. *Primary* façade of building should face the street
2. Garage should be setback from façade



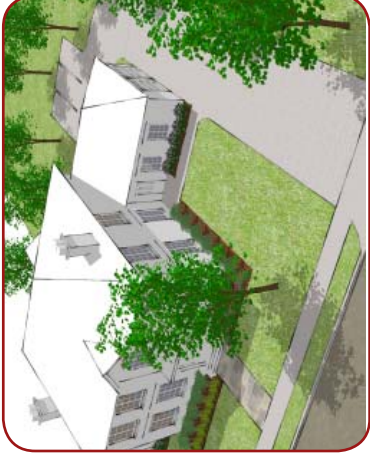
## ACCESS

1. Should be maximum of 1 curb cut
2. Primary entrance should be directly connected to the sidewalk
3. For corner properties, access to parking from the side street is encouraged
4. Width of driveway/access lane should be a maximum of 6.5 metres



## LANDSCAPE

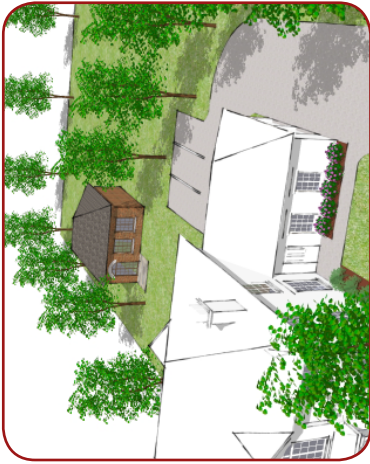
1. The majority of the front yard shall be landscaped
2. Permeable paving materials are encouraged for walks, patios and other hard surfaces
3. Trees should provide shade over parking area
4. Trees should be of a native species
5. Stormwater should be *detained* on site (eg. rain gardens, vegetated swales, etc.)



## PARKING

1. Should be provided in rear yard only
2. Should be hard surfaced with permeable paving





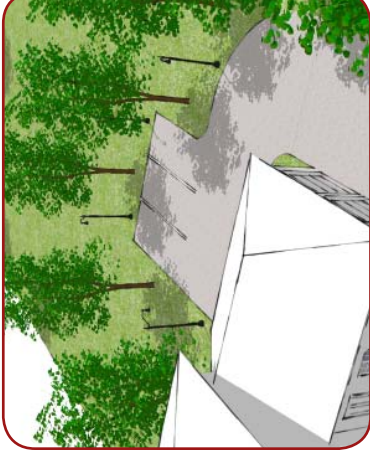
## ACCESSORY STRUCTURES

1. Should be in the rear yard
2. Should be a maximum of 1 structure
3. Should be no higher than 1-1/2 storeys
4. Should match the materials and form of the primary building



## SIGNAGE

1. Site *identification sign* is not recommended



## LIGHTING

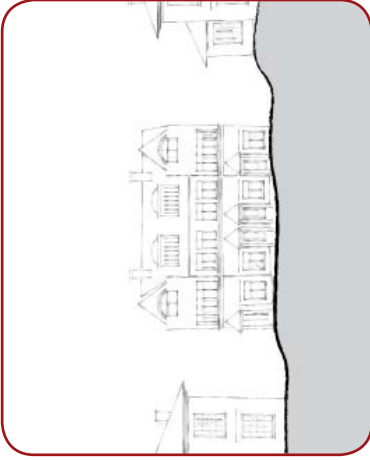
1. Lighting should incorporate a full cutoff to cast downwards and minimize light spill onto neighbouring properties
2. Light standards should be a maximum height of 4 metres



## FENCES & WALLS

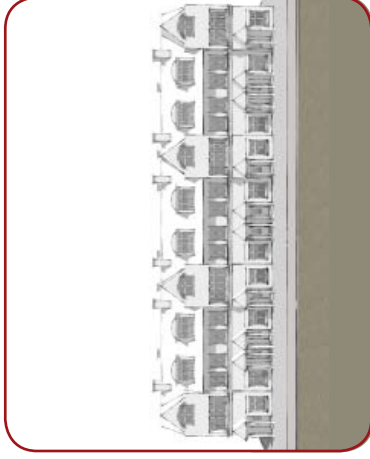
1. Walls located in the front yard should be a maximum of 0.8 metres high
2. Wall materials should match the building

## 3.1.1.2 Gateway Residential: Building Typology B



### CONTEXT

1. Finished floor level should be the average of the adjacent buildings



### HEIGHT & ROOFLINE

1. Should be maximum 3 storeys
2. Should have pitched rooflines
3. Roofs should have a minimum overhang of 0.3 metre
4. Roofs could include dormers
5. Chimneys, if present, should be equal to primary wall material



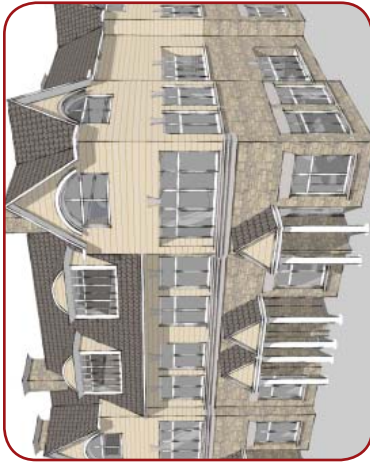
### WALL MATERIALS

1. Buildings should be stone, brick, wood or stucco
2. The building should incorporate the concept of *base, middle and cap*; base material should be a durable masonry
3. Stucco shall not be the primary material used on façade surfaces
4. A maximum of 3 materials should be used



### DOORS

1. Building entrances should be highlighted with architectural enhancements
2. Doors should include glazing and/or sidelights



## WINDOWS

1. Windows should be rectangular and oriented vertically
2. All façades should have windows
3. Windows should be clear glass
4. Windows should be recessed
5. Windows should be enhanced with architectural surround details



## APPURTENANCES

1. Materials for patios, porches and balconies should be equal to the building



## SIGNAGE

1. *Identification signs* could be provided on the building
2. *Identification signs* should be flush mounted proximate to the entrance door and no higher than the first storey
3. Location, materials and colours of *identification signs* should be consistent from unit to unit
4. *Identification signs* should compliment the architectural design of the building

*Note: Signage shall be subject to the City of Hamilton Sign By-law. In the case of a conflict, the Sign By-law shall prevail*

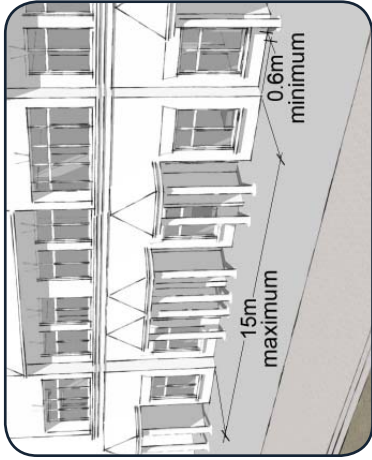


## LIGHTING

1. Entrances should be lit
2. Wall mounted lights should be used on the building
3. Lighting should incorporate a full cutoff to cast downwards and minimize light spill onto neighbouring properties

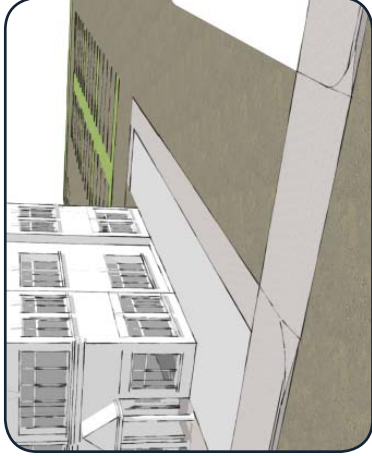


# Gateway Residential: Building Typology B



## SETBACK & ORIENTATION

1. Building should be parallel to the street
2. Continuous façades should step back minimum 0.6 metres every 15 metres maximum



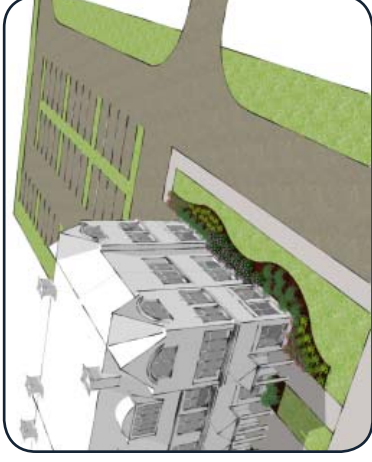
## ACCESS

1. Should be maximum of 2 curb cuts
2. Should provide direct pedestrian connections from parking area to the building entrance and street
3. Shared access to rear yard parking between adjacent properties is encouraged
4. For corner properties, access to parking from the side street is encouraged



## LANDSCAPE

1. The majority of the front yard shall be landscaped
2. Permeable paving materials are encouraged for walkways, patios and other hard surfaces
3. Trees should provide shade over parking area
4. Trees should be of a native species
5. Stormwater should be *detained* on site (eg. rain gardens, vegetated swales, etc.)



## PARKING

1. Should be provided in side yard or rear yard only
2. Should be hard surfaced with permeable paving





## ACCESSORY STRUCTURES

1. Should be in the rear yard
2. Should be no higher than 1-1/2 storeys
3. Should be equal in material and form to primary building



## SIGNAGE

1. Site *identification signs* could be provided
2. *Identification signs* should have a horizontal orientation
3. *Identification signs* should be a maximum height of 1.8 metres
4. *Identification signs* should be installed on a base that matches the building materials

*Note: Signage shall be subject to the City of Hamilton Sign By-law. In the case of a conflict, the Sign By-law shall prevail*



## LIGHTING

1. Light standards should be a maximum height of 6 metres
2. Lighting should incorporate a full cutoff to cast downwards and minimize light spill onto neighbouring properties



## FENCES & WALLS

1. Walls in the front yard should be a maximum of 0.8 metres high
2. Wall materials should match the building

# 3.1.1.3 Gateway Residential: Public Realm

## PEDESTRIAN SPACE

1. Sidewalks should be provided on the west side of the street where feasible
2. A multi-use path is proposed to be developed on the east side of the street
3. Sidewalks and the multi-use path should continue across driveways and vehicle entrances
4. Sidewalks and the multi-use path should be hard surfaced
5. Seating areas should orientate to and link directly with the sidewalk and multi-use path
6. Seating areas should be designed to provide sun and shade seating opportunities

## BICYCLE & VEHICULAR SPACE

1. Bicycle circulation should be accommodated on the multi-use path
2. Bicycle racks should be located proximate to Seminole Road and Amberly Boulevard along the multi-use path
3. Bicycle racks should be *heritage style* and be coordinated with other street furniture
4. Traffic control devices should be provided at all pedestrian crossings

## LANDSCAPE & AMENITIES

1. Street trees should be located on both sides of the sidewalk and shared multi-use path
2. Street trees should be of a native species
3. Landscape boulevards should be turf
4. Light standards should be *heritage style*, a maximum height of 6 metres, and cast light downwards
5. Service utilities should be underground
6. All amenities should be *heritage style* and express a coordinated appearance
7. Wayfinding signage should be provided
8. Benches should be positioned to encourage comfortable use
9. Trash and recycling receptacles should be located proximate to seating areas and bus shelters and be accessible by maintenance vehicles
10. Street signs should be *heritage style*

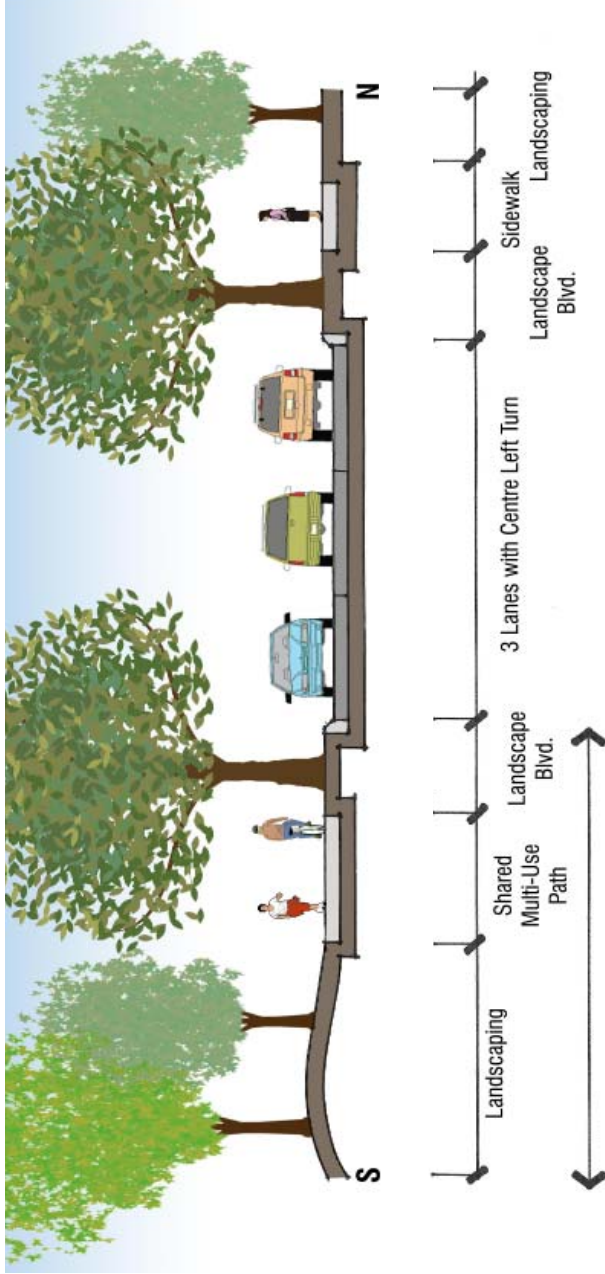
## GATEWAYS & PUBLIC ART

1. The existing traffic circle at Meadowbrook Drive should be developed as a *gateway* and announce arrival to Ancaster
2. The *gateway* should be predominantly horizontal in form and mass and preserve views down Wilson Street
3. The *gateway* should incorporate buff-grey limestone walls
4. Public art, fountain could be integrated into the *gateway*
5. Public art integrated into traffic circle should be 3 metres high minimum and maintain sightlines
6. The *gateway* should be landscaped with native plant materials
7. Public art should be integrated into the *public realm*



# GATEWAY RESIDENTIAL: STREET CROSS-SECTION

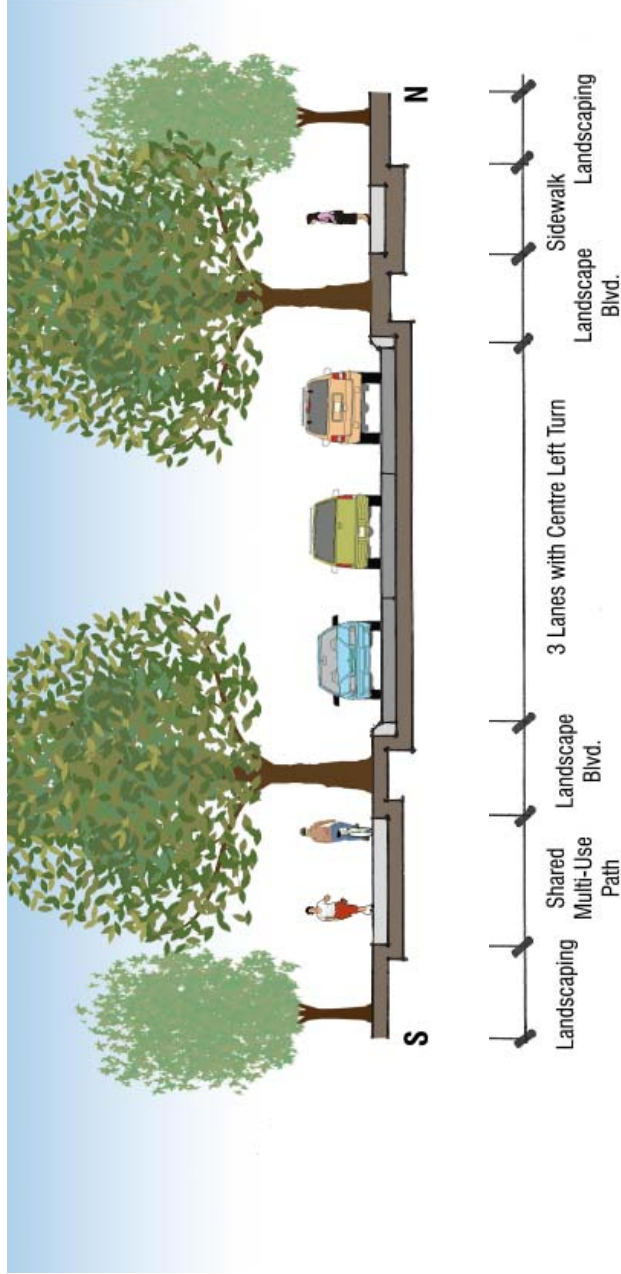
## ROW per Official Plan:



The graphic at left depicts the typical cross-section of Wilson Street in the Gateway Residential Design District when key Public Realm Design Guidelines are applied (assumes a right-of-way (ROW) width of 30.48 metres, as specified in the Official Plan).

*NOTE: Streetscape features shown represent the “ideal” streetscape as outlined in the Public Realm Design Guidelines. All streetscape features are subject to future detailed design and may not be exactly as shown.*

## 26 metres Narrow ROW:



The graphic at left depicts the cross-section of Wilson Street in the Gateway Residential Design District when key Public Realm Design Guidelines are applied (assumes a ROW width of 26 metres is available, which is less than the ROW specified in the Official Plan, but is the existing ROW in some areas of the Gateway Residential Design District).



## 3.1.2

# Uptown Core Design Guidelines

The Uptown Core *Design District* is intended to transform the existing suburban-commercial character of the area into a more appropriate and compatible form of development that helps to meet Ancaster's future commercial/retail needs. The automobile-dominated condition of the area does not currently align with the pedestrian oriented principles and priorities of the Secondary Plan. However, as development occurs over time, the design guidelines will promote a fundamental change in the character of the area to support the vision for the community.



## DESIGN INTENT

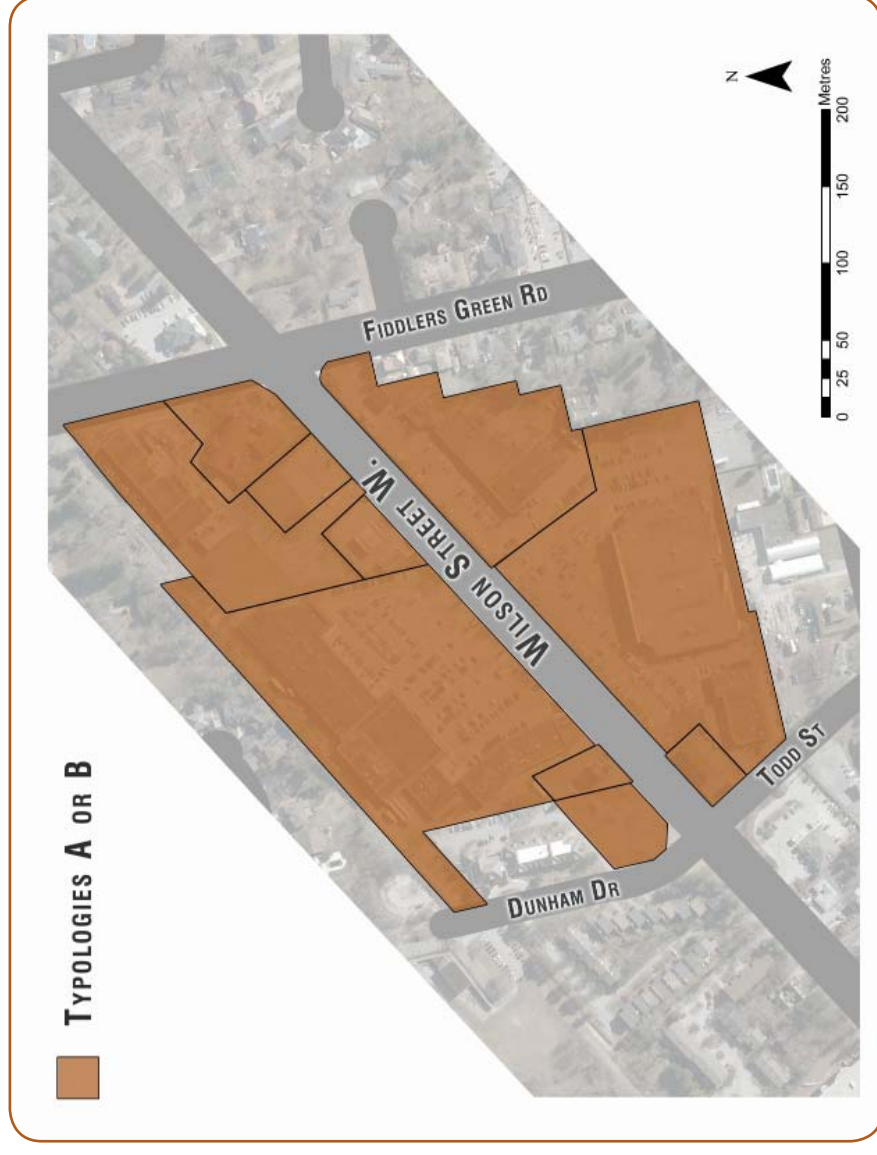
The intent of the design guidelines is to create a new “uptown core” that compliments and supports the Village Core *Design District* as a retail/commercial destination. As reflected in the Design Concept for the area, a strong urban form is suggested with well designed buildings that relate to the street, tree lined streets that balance vehicular circulation with pedestrian/cyclist needs and comfort, and internalized parking.

Primary elements of the guidelines that achieve this include:

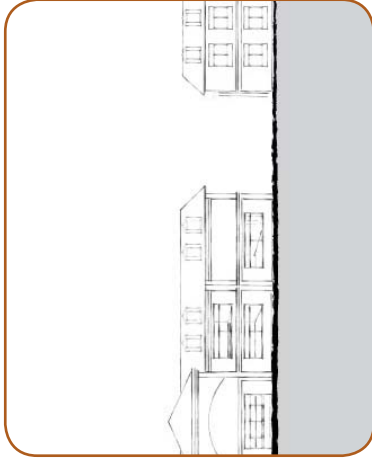
- Building masses are oriented to define the street edge and create a pedestrian scale
- Building heights are limited to 3 storeys with pitched rooflines
- Continuous building masses are staggered and articulated
- Pedestrian and bicycle circulation is prioritized on the street and in parking lots
- Adjacent residential lands are buffered with transition treatments
- Vehicle parking is contained within building masses off the street

## DISTRICT MAP

The Uptown Core *Design District* extends on Wilson Street from Todd Street to Fiddlers Green Road. There are two building *typologies* in the Uptown Core *Design District* – A and B. The *typologies* are representative examples of the ideal built form, based on application of the design guidelines.

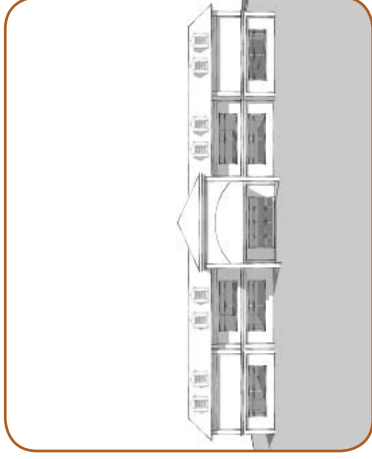


## 3.1.2.1 Uptown Core: Building Typology A



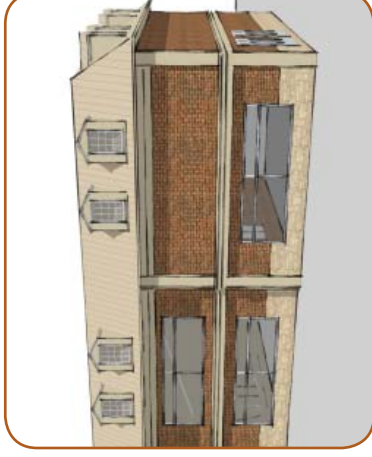
### CONTEXT

1. Buildings should compliment façade patterning and horizontal lines of adjacent buildings



### HEIGHT & ROOFLINE

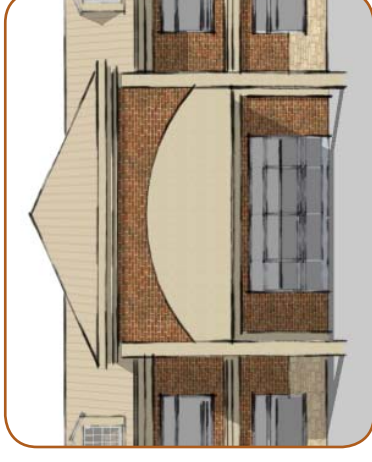
1. Should be minimum 2 storeys to maximum 3 storeys
2. Should have appearance of pitched roof
3. Roofs should have a minimum overhang of 0.3 metre
4. Roofs could include dormers; dormers must terminate into the pitched roofline



### WALL MATERIALS

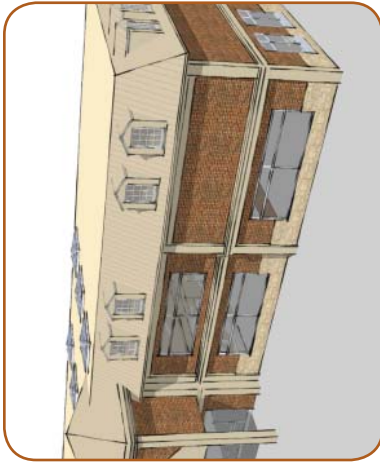
1. Buildings should be of a similar colour to surrounding buildings
2. The building should incorporate the concept of *base, middle and cap*; base material should be a durable massing
3. Base of building should be predominant to emphasize the first floor
4. Stucco shall not be the primary material used on façade surfaces
5. A maximum of 2 materials should be used
6. Each storey should be articulated on all sides

### DOORS



1. Primary building entrance should be highlighted with façade projection and architectural enhancements
2. Majority of doors should be transparent

### WINDOWS



1. First floor windows should cover a majority of the length of each street façade
2. Windows should be included on the second floor
3. Every façade should have some window coverage
4. Windows should be clear glass

## APPURTENANCES



1. Street façades should have an arcade a minimum 5 metre width from the façade
2. Arcade materials should complement the building materials

## SIGNAGE



1. Identification signs could be provided on the building
2. Identification signs should be wall mounted on the façade at the entrance
3. Identification signs should not encompass the majority of one continuous façade
4. Lighting should be incorporated into the sign

*Note: Signage shall be subject to the City of Hamilton Sign By-law. In the case of a conflict, the Sign By-law shall prevail*

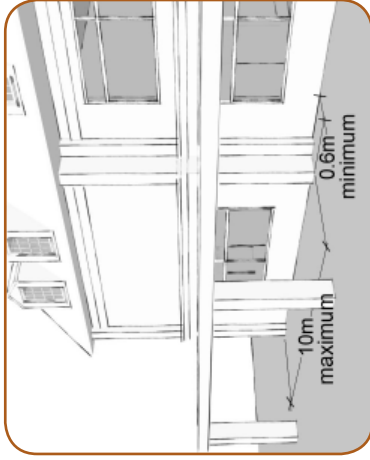
## LIGHTING



1. Entrances should be lit
2. Lighting should be provided in the arcade
3. Lighting should incorporate a full cutoff to cast downwards and minimize light spill onto neighbouring properties

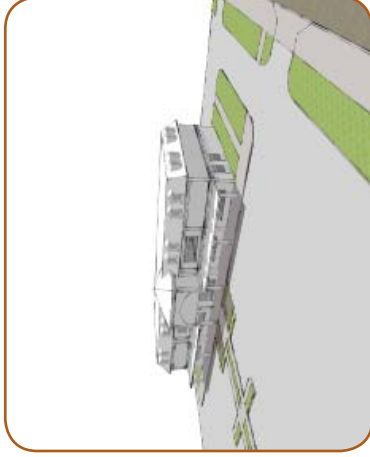


# Uptown Core: Building Typology A



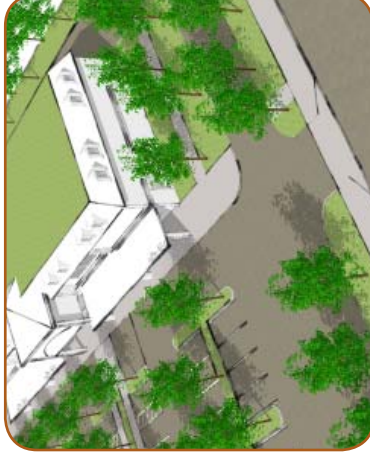
## SETBACK & ORIENTATION

1. Building should be parallel to the street
2. Continuous street façades should be staggered a minimum 0.6 metres every 10 metres maximum
3. Service and loading areas should be located in the side or rear yard



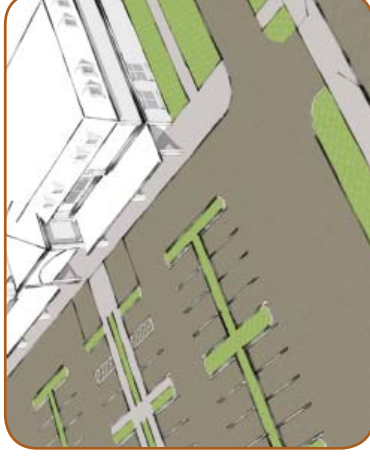
## ACCESS

1. Building sidewalk should connect to the street sidewalk and be raised through the parking area
2. Building arcade should directly connect to the adjacent street sidewalk
3. Sidewalks should be provided around all building façades and linked to surrounding streets
4. Shared access to parking between adjacent properties is encouraged
5. Curb cuts should be provided on side streets only
6. Parking lot layout should be organized around a centralized sidewalk with landscape area
7. Parking lot sidewalk should be raised at vehicular crossing



## LANDSCAPE

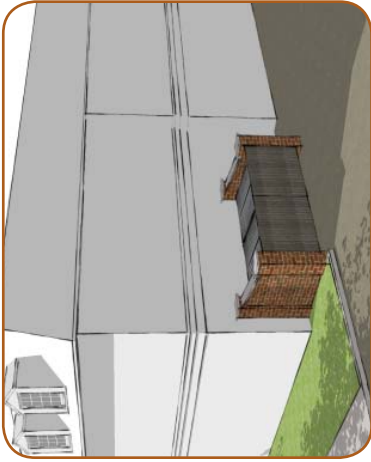
1. Parking lot sidewalk should be landscaped with trees
2. A landscaped area of a minimum width of 2 metres should be provided between sidewalk and sides of building
3. Service façades that face residential properties should include landscape/treed buffer adjacent to the building of a minimum width of 3 metres
4. Permeable paving materials are encouraged for walks, patios and other hard surfaces
5. Trees should provide shade over parking area
6. Trees should be of a native species
7. Stormwater should be *detained* on site (eg. rain gardens, vegetated swales, etc.)
8. Roofs could be planted with a green roof



## PARKING

1. Should be oriented to direct pedestrians to the centralized sidewalk
2. Should be hard surfaced with permeable paving
3. Parking should not abut building, but should be separated from building by landscaped area and sidewalk





## ACCESSORY STRUCTURES

1. Should be in the rear yard
2. Should be no higher than 1/2 storey
3. Could be attached to the rear building façade
4. Should be equal in material to the building



## SIGNAGE

1. Site identification signs could be provided
2. Identification signs should have a horizontal orientation
3. Identification signs should be a maximum height of 2.2 metres
4. Identification signs should be installed on a base that matches the building materials

*Note: Signage shall be subject to the City of Hamilton Sign By-law. In the case of a conflict, the Sign By-law shall prevail*



## LIGHTING

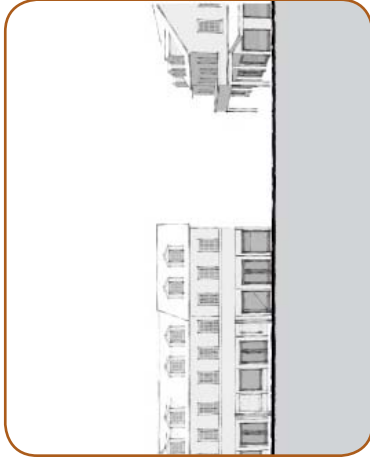
1. Light standards should be a maximum height of 6 metres
2. Lighting should incorporate a full cutoff to cast downwards and minimize light spill onto neighbouring properties
3. Parking lot sidewalk should be lit with light standards maximum height of 1 storey



## FENCES & WALLS

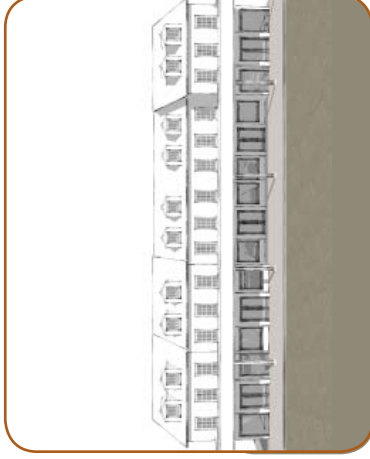
1. Walls and fence should not be provided on the street
2. Walls should be a maximum height of 2.0 metres
3. Walls should match the building
4. Walls could integrate fencing which should decorative metal and reflect façade window pattern

## 3.1.2.2 Uptown Core: Building Typology B



### CONTEXT

1. Buildings should compliment façade patterning and horizontal lines of adjacent buildings



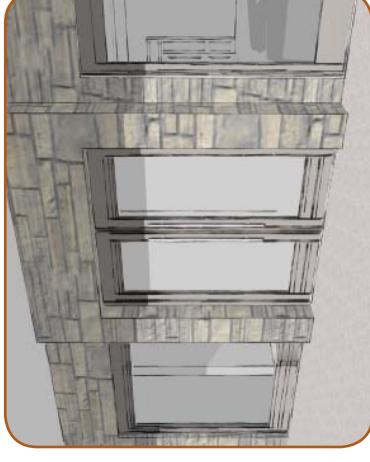
### HEIGHT & ROOFLINE

1. Should be minimum 2-½ to maximum 3 storeys
2. Should have pitched roofs on street façades
3. Roofs should have a minimum overhang of 0.3 metre
4. Roofs could include dormers; dormers must terminate into the pitched roofline



### WALL MATERIALS

1. Buildings should be a similar colour to surrounding buildings
2. The building should incorporate the concept of *base, middle and cap*; base material should be a durable massing
3. Stucco shall not be the primary material used on façade surfaces
4. A maximum of 2 materials should be used



### DOORS

1. Doors should be centrally located within each unit
2. Doors should be highlighted on the façade and/or arcade with architectural enhancements and/or facade projection
3. Doors at building entrances could include transom or sidelights
4. Majority of doors should be transparent

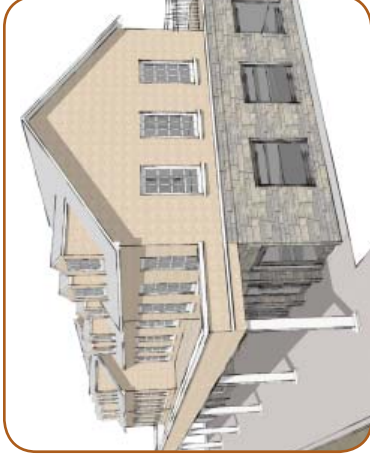






## WINDOWS

1. Windows should be located on each side of the door.
2. Could be a sequence of 3 equally spaced windows, or could be a single window to the floor of equal width
3. All façades should have windows
4. Windows should be clear glass
5. Windows should be recessed



## APPURTENANCES

1. Street façades should have an arcade a minimum 2.5 metre width from the façade
2. Arcade materials should be equal to the building
3. The arcade should accommodate continuous second story pedestrian circulation
4. Minimum of 1 balcony should be provided for each above-grade unit



## SIGNAGE

1. An identification sign could be provided on the building at each entrance
2. Lighting should be incorporated into the sign

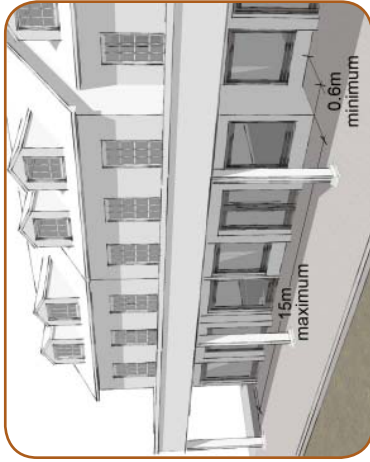
*Note: Signage shall be subject to the City of Hamilton Sign By-law. In the case of a conflict, the Sign By-law shall prevail*



## LIGHTING

1. Entrances should be lit
2. Lighting should be provided in the arcade
3. Lighting should incorporate a full cutoff to cast downwards and minimize light spill onto neighbouring properties

# Uptown Core: Building Typology B



## Setback & Orientation

1. Buildings should be parallel to the street
2. Buildings should be proximate to the street
3. Continuous façades should step back a minimum 0.6 metres every 15 metres maximum



## ACCESS

1. Building arcade should directly connect to the adjacent street sidewalk; sidewalk beneath the building arcade should be a minimum width of 5 metres
2. Should provide at-grade pedestrian connections from building to the street
3. Sidewalks should be provided around all façades and linked to surrounding streets
4. Shared access to parking between adjacent properties is encouraged
5. Curb cuts should be provided on side streets only
6. Parking lot layout should be organized around a centralized sidewalk with landscape area
7. Parking lot sidewalk should be raised at vehicular crossing



## LANDSCAPE

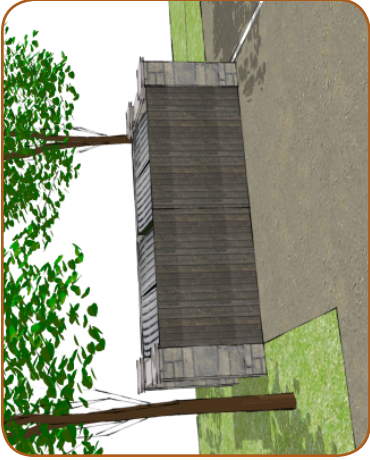
1. Parking lot sidewalk should be landscaped with trees
2. Permeable paving materials are encouraged for walks, patios and other hard surfaces
3. Trees and shrubs should be used to soften walls and façades
4. Trees should provide shade over parking area
5. Trees should be of a native species
6. Stormwater should be *detained* on site (eg. rain gardens, vegetated swales, etc.)



## PARKING

1. Should be oriented to direct pedestrians to the centralized sidewalk
2. Should be hard surfaced with permeable paving
3. Parking should not abut building, but should be separated from building by landscaped area and sidewalk





## ACCESSORY STRUCTURES

1. Should be in the rear yard
2. Should be no higher than 1 storey
3. Should be equal in material to primary building



## SIGNAGE

1. Site *identification signs* could be provided
2. *Identification signs* should have a horizontal orientation
3. *Identification signs* should be a maximum height of 1.8 metres
4. *Identification signs* should be installed on a base that matches the building materials

*Note: Signage shall be subject to the City of Hamilton Sign By-law. In the case of a conflict, the Sign By-law shall prevail*



## LIGHTING

1. Light standards should be a maximum height of 6 metres
2. Lighting should incorporate a full cutoff to cast downwards and minimize light spill onto neighbouring properties
3. Parking lot sidewalk should be lit with light standards maximum height of 1 storey



## FENCES & WALLS

1. Walls should be no higher than 0.5 metre
2. Wall materials should match the building
3. Fencing should not be provided facing the street
4. Fencing should be decorative metal and integrated with walls to a maximum height of 1.5 metres
5. Majority of fencing should be transparent



## 3.1.2.3 Uptown Core: Public Realm

### PEDESTRIAN SPACE

1. Sidewalks should have wide clear travel paths
2. Sidewalks should be hard surfaced with dry laid pavers
3. Sidewalks should continue across driveways and vehicle entrances
4. Sidewalk paving materials should continue across all pedestrian crossings
5. Seating areas should be oriented to and link directly with the sidewalk
6. Seating areas should accommodate a variety of seating choices
7. Seating areas should be designed to provide sun and shade seating opportunities
8. Seating areas should be lit with fixtures that cast light downwards

### BICYCLE & VEHICULAR SPACE

1. Bicycle lanes should be provided on both sides of the street
2. Bicycle lanes should be delineated from vehicular travel lanes
3. Bicycle racks should be located a minimum of one per block, both sides of the street
4. Bicycle racks should be coordinated with other street furniture
5. Traffic control devices should be provided at all pedestrian crossings

### LANDSCAPE & AMENITIES

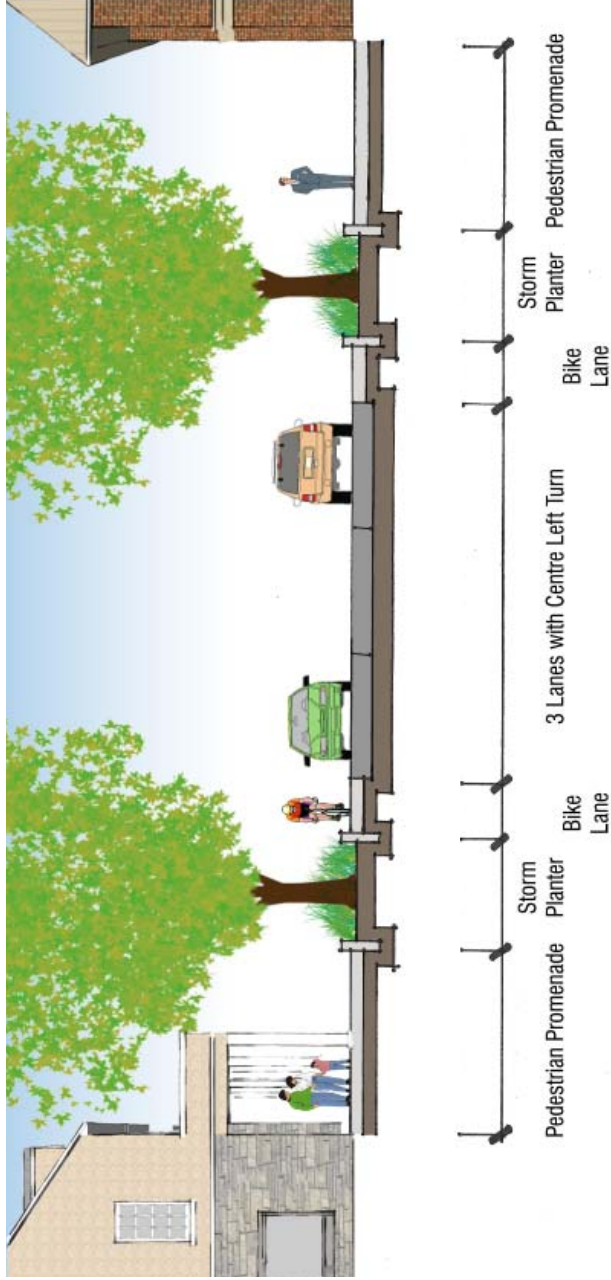
1. Landscaping on the street should be designed to shade the street, assist in managing storm water runoff and be installed in contained, infiltration or flow through storm water planters
2. Street trees should be grouped a minimum of three and be installed in continuous planting soil trenches with other plants
3. Street trees should be of a native species
4. Light standards should be a maximum height of 6.0 metres and cast light downwards
5. Service utilities should be underground
6. All amenities should express a coordinated appearance
7. Wayfinding signage should be provided
8. A District map/directory should be provided on both sides of the street
9. Benches should be positioned to encourage comfortable use and observation of street activities
10. Trash and recycling receptacles should be grouped proximate to seating areas and bus shelters

### GATEWAYS & PUBLIC ART

1. Gateways are not applicable to this District
2. Public art should be integrated into the *public realm* and could include fountains



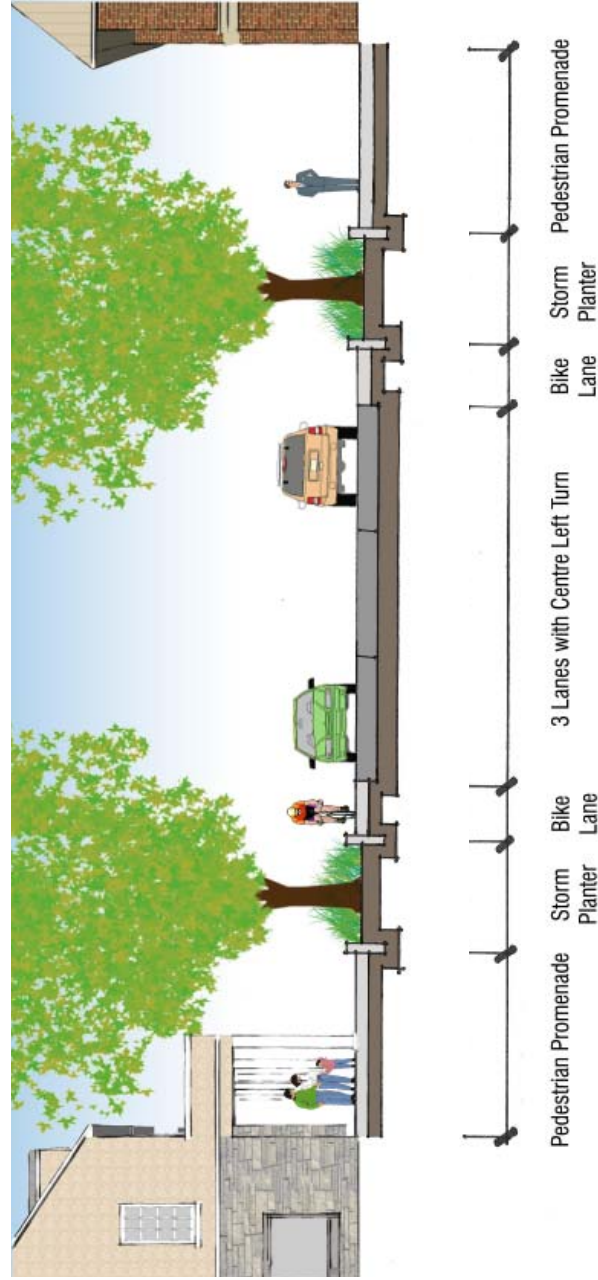
# UPTOWN CORE: STREET CROSS-SECTION



## ROW per Official Plan:

The graphic at left depicts the typical cross-section of Wilson Street in the Uptown Core Design District when key *Public Realm Design Guidelines* are applied (assumes a right-of-way (ROW) width of 30.48 metres, as specified in the Official Plan).

*NOTE: Streetscape features shown represent the "ideal" streetscape as outlined in the Public Realm Design Guidelines. All streetscape features are subject to future detailed design and may not be exactly as shown.*



## 26 metres Narrow ROW:

The graphic at left depicts the cross-section of Wilson Street in the Uptown Core Design District when key *Public Realm Design Guidelines* are applied (assumes a ROW width of 26 metres is available, which is less than the ROW specified in the Official Plan, but is the existing ROW in some areas of the Uptown Core Design District).

## 3.1.3

# Transition Design Guidelines

The Transition *Design District* features diverse, existing building types from a variety of different time periods. Predominantly residential in character and use, the area is undergoing a shift and is emerging more as a mixed use area with many re-use, infill and redevelopment projects. This section of Wilson Street links the two commercial/retail areas of Ancaster – the Village Core *Design District* and the Uptown Core *Design District*. The corridor possesses a strong green quality and provides access to many of Ancaster’s established residential neighbourhoods.





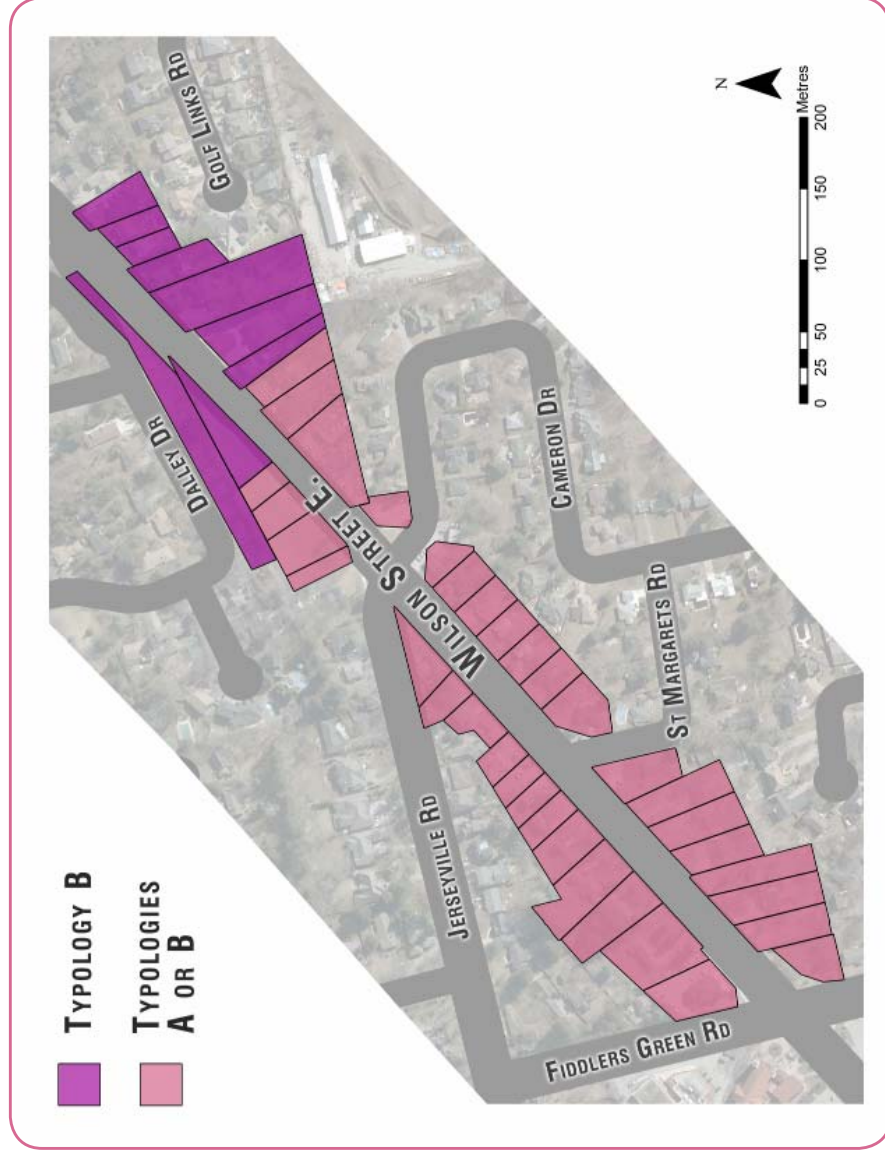
## DESIGN INTENT

The design guidelines for the Transition *Design District* recognize and anticipate the evolution of the area from residential to mixed use. The intent of the design guidelines is to promote a compatible built form that compliments the character of the community and encourages high quality development. Pedestrian circulation and bicycle access is prioritized with the green quality of the corridor preserved and enhanced. Primary elements of the guidelines that achieve this include:

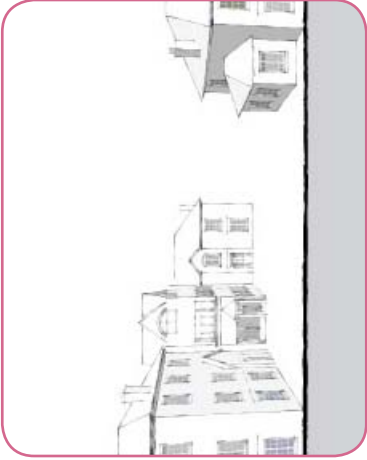
- Flexibility in building design and use is encouraged to support the emerging mixed use function of the area
- Building masses are parallel to the street with strong pedestrian connections
- Building heights are limited to 3 storeys with pitched rooflines
- Pedestrian and bicycle circulation is integrated into the street

## DISTRICT MAP

The Transition *Design District* extends on Wilson Street East from Fiddlers Green Road to the westerly edge of Stoneham Park. The map identifies the proposed locations of the building *typologies* for this district. There are two building *typologies* in the Transition *Design District* – A and B. The *typologies* are representative examples of the ideal built form, based on application of the design guidelines.



## 3.1.3.1 Transition: Building Typology A



### CONTEXT

1. Finished floor level should be the average of the adjacent buildings
2. Buildings should compliment façade patterning and horizontal lines of adjacent buildings



### HEIGHT & ROOFLINE

1. Buildings should be maximum 3 storeys
2. Buildings could have combined hip and gabled roof
3. Roofs should have a minimum overhang of 0.3 metre
4. Roofs could include dormers
5. Chimneys, if present, should be equal to primary wall material



### WALL MATERIALS

1. Buildings should be a similar colour to surrounding buildings
2. The building should incorporate the concept of *base, middle and cap*; base material should be a durable massing
3. Stucco shall not be the primary material used on façade surfaces
4. A maximum of 3 materials should be used



### DOORS

1. Primary building entrance should be highlighted with architectural enhancements
2. Doors at primary building entrance could include transom or sidelights
3. Doors should include glazing, up to a majority coverage, and/or sidelights
4. Awnings should highlight main entrance and provide shelter for inclement weather



# Building



## WINDOWS

1. Windows should be rectangular and oriented vertically
2. All façades should have windows
3. Windows should be clear glass
4. Windows could be enhanced with architectural surround details
5. Awnings should be on the ground floor only



## APPURTENANCES

1. Patios in the front yard should be setback from the street and landscaped
2. Balconies should be integrated with the building and project no more than 1 metre from the front façade



## SIGNAGE

1. *Identification signs* could be provided on the building
2. *Identification signs* should be flush mounted proximate to the entrance door and no higher than the first storey
3. *Identification signs* should be *heritage style*
4. *Identification signs* could be lit with projecting *heritage style* luminaires
5. Buildings are encouraged to have a date of construction marker located at a building corner on the *primary façade*

*Note: Signage shall be subject to the City of Hamilton Sign By-law. In the case of a conflict, the Sign By-law shall prevail*

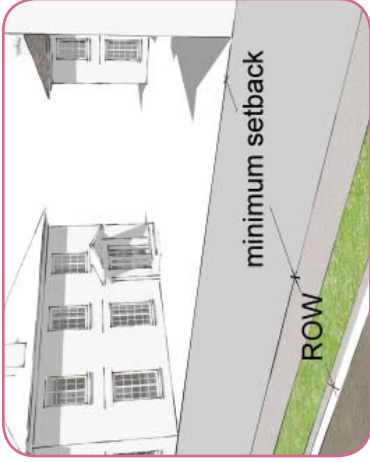


## LIGHTING

1. Entrances should be lit
2. Wall mounted lights should be *heritage style*
3. Lighting should incorporate a full cutoff to cast downwards and minimize light spill onto neighbouring properties



# Transition: Building Typology A



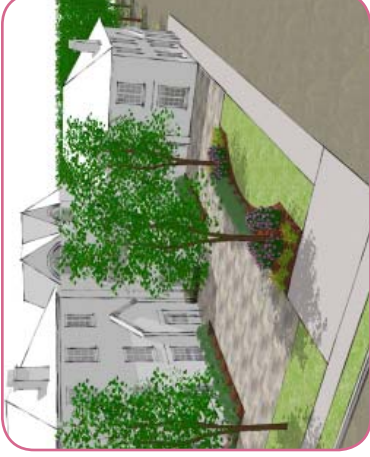
## SETBACK & ORIENTATION

1. Building should be parallel to the street
2. Front yard setback shall be no less than adjacent buildings
3. Continuous façades should step back a minimum 0.3 metres every 15 metres maximum



## ACCESS

1. Should provide direct pedestrian connections from parking area to the building entrance and street
2. Shared access to parking between adjacent properties is encouraged
3. For corner properties, access to rear yard parking from the side street is encouraged



## LANDSCAPE

1. Front and side yards should be landscaped
2. Lawn area could encompass a maximum of half the front yard landscape
3. Permeable paving materials are encouraged for walks, patios and other hard surfaces
4. Trees and shrubs should be used to soften walls and façades
5. Trees should provide shade over parking area
6. Trees should be of a native species
7. Stormwater should be *detained* on site (eg. rain gardens, vegetated swales, etc.)



## PARKING

1. Should be provided in side or rear yard
2. Outdoor parking areas should be hard surfaced with permeable paving





## ACCESSORY STRUCTURES

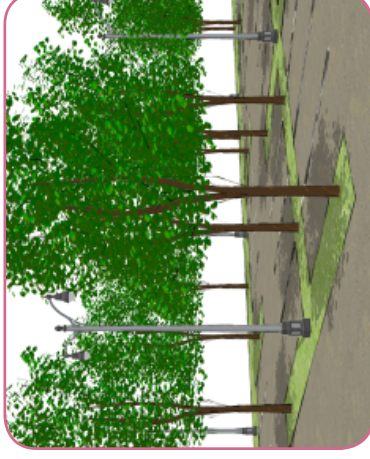
1. Should be in the rear yard
2. Should be a maximum of 1 structure
3. Should be no higher than 2 storeys
4. Should be equal in materials and form to primary building



## SIGNAGE

1. Site *identification signs* could be provided
2. *Identification signs* should have a horizontal orientation
3. *Identification signs* should be a maximum height of 1.8 metres
4. *Identification signs* should be installed on a base that matches the building materials

*Note: Signage shall be subject to the City of Hamilton Sign By-law. In the case of a conflict, the Sign By-law shall prevail*



## LIGHTING

1. Parking areas and access lanes should be lit with light standards no higher than 6 metres
2. Light standards should be *heritage style*
3. Lighting should incorporate a full cutoff to cast downwards and minimize light spill onto neighbouring properties

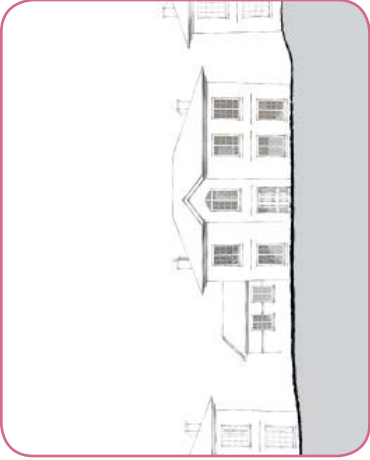


## FENCES & WALLS

1. Walls located in the front yard should be a maximum of 0.6 metres high
2. Wall materials should match the building



## 3.1.3.2 Transition: Building Typology B



### CONTEXT

1. Finished floor level should be the average of the adjacent buildings
2. Buildings should compliment façade patterning and horizontal lines of adjacent buildings



### HEIGHT & ROOFLINE

1. Buildings should be a maximum 3 storeys
2. Buildings could have combined hip and gabled roof
3. Roofs should have a minimum overhang of 0.3 metre
4. Roofs could include dormers
5. Chimneys, if present, should be equal to primary wall material



### WALL MATERIALS

1. Buildings should be similar colour to surrounding buildings
2. Stucco shall not be the primary material used on façade surfaces
3. Front and side wall material should be equal
4. A maximum of two materials should be used



### DOORS

1. Primary building entrance should be highlighted with façade projection and architectural enhancements
2. Doors at primary building entrance could be double width and include transom and/or sidelights
3. Doors should be recessed
4. Doors should include glazing, and/or sidelights





# Building



## WINDOWS

1. Windows should be rectangular and oriented vertically
2. Windows should express each floor
3. Windows should be provided on all façades
4. Windows should be clear glass
5. Windows should be recessed
6. Awnings could be provided on first and second floors
7. Windows should be enhanced with architectural surround details
8. Windows could include shutters; shutters should be suited to the style and size of the windows



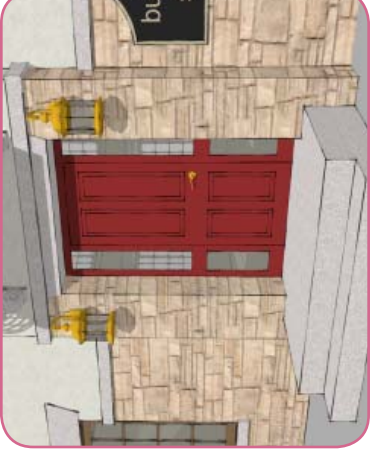
## APPURTENANCES

1. Materials for front yard porches should be equal to the building
2. Balconies could be provided on the second floor



## SIGNAGE

1. An *identification sign* could be provided on the building
2. *Identification sign* should be flush mounted and no higher than first storey.
3. *Identification sign* should be *heritage style*
4. *Identification sign* could be lit with projecting *heritage style* luminaires.
5. Buildings are encouraged to have a date of construction marker located at a building corner on the *primary façade*.



## LIGHTING

1. Entrances should be lit
2. Wall mounted lights should be *heritage style*
3. Lighting should incorporate a full cutoff to cast downwards and minimize light spill onto neighbouring properties



# Transition: Building Typology B



## SETBACK & ORIENTATION

1. Building should be parallel to street
2. Front yard setback shall be no less than adjacent buildings



## ACCESS

1. Should provide direct pedestrian connections from parking area to the building entrance and street
2. Should be a maximum of 1 curb cut
3. Shared access to parking between adjacent properties is encouraged
4. For corner properties, access to parking from the side street is encouraged
5. Width of driveway/access lane should be a maximum of 6.5 metres



## LANDSCAPE

1. Majority of front yard should be landscaped
2. Lawn area may encompass a majority of front yard
3. Screening should be provided for parking areas located in the side yard
4. Permeable paving materials are encouraged for walks, patios and other hard surfaces
5. Trees should provide shade over parking area
6. Trees should be of a native species
7. Stormwater should be *detained* on site (eg. rain gardens, vegetated swales, etc.)



## PARKING

1. Should be provided behind the front façade
2. Should be hard surfaced with permeable paving





## ACCESSORY STRUCTURES

1. Should be in the rear yard
2. Should be a maximum of 1 structure
3. Should be no higher than 2 storeys
4. Should be equal in materials and form to primary building



## SIGNAGE

1. Site identification sign could be provided
2. Identification sign should be heritage style
3. Identification sign should be maximum height of 1.5 metres

*Note: Signage shall be subject to the City of Hamilton Sign By-law. In the case of a conflict, the Sign By-law shall prevail*



## LIGHTING

1. Parking areas and access lanes could be lit with light standards no higher than 4 metres
2. Light standards should be *heritage style*
3. Lighting should incorporate a full cutoff to cast downwards and minimize light spill onto neighbouring properties



## FENCES & WALLS

1. Walls located in the front yard should be a maximum of 0.6 metres high
2. Wall materials should match the building



## 3.1.3.3 Transition: Public Realm

### PEDESTRIAN SPACE

1. Sidewalks should have a wide clear travel path
2. Sidewalks should be hard surfaced
3. Sidewalks should continue across driveways and vehicle entrances
4. Sidewalk paving materials should continue across all pedestrian crossings
5. Seating areas should orientate to and link directly with the sidewalk
6. Seating areas should be designed to provide sun and shade seating opportunities

### BICYCLE & VEHICULAR SPACE

1. Bicycle lanes should be provided on both sides of the street
2. Bicycle lanes should be delineated from vehicular travel lanes
3. Bicycle racks should be located a minimum of one per block, both sides of the street
4. Bicycle racks should be *heritage style* and be coordinated with other street furniture
5. Traffic control devices should be provided at all pedestrian crossings
6. Off street parking areas should be hard surfaced with permeable paving
7. Off street parking areas should provide one access only from Wilson Street East

### LANDSCAPE & AMENITIES

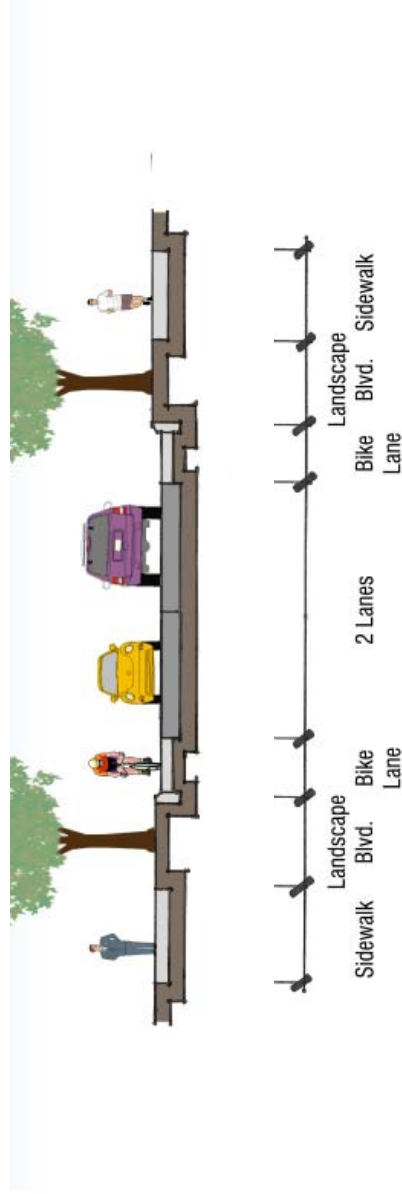
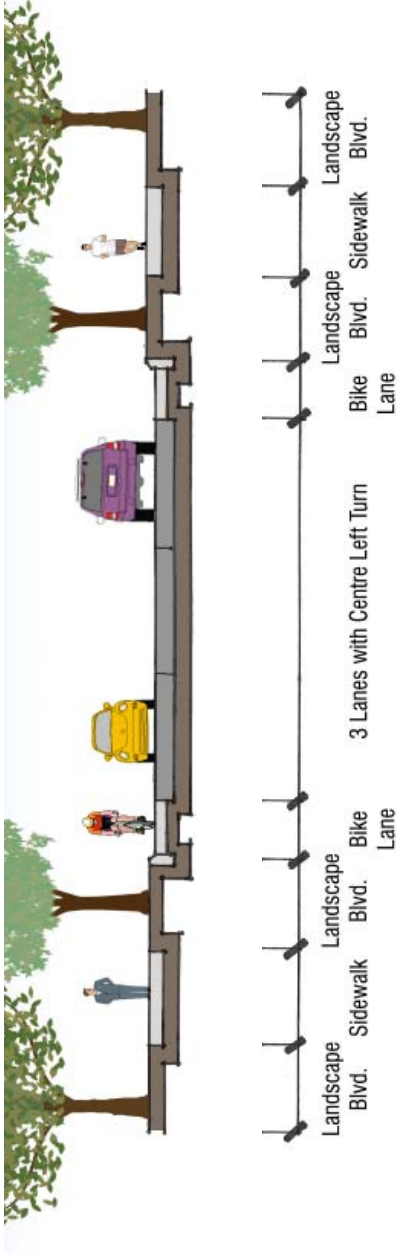
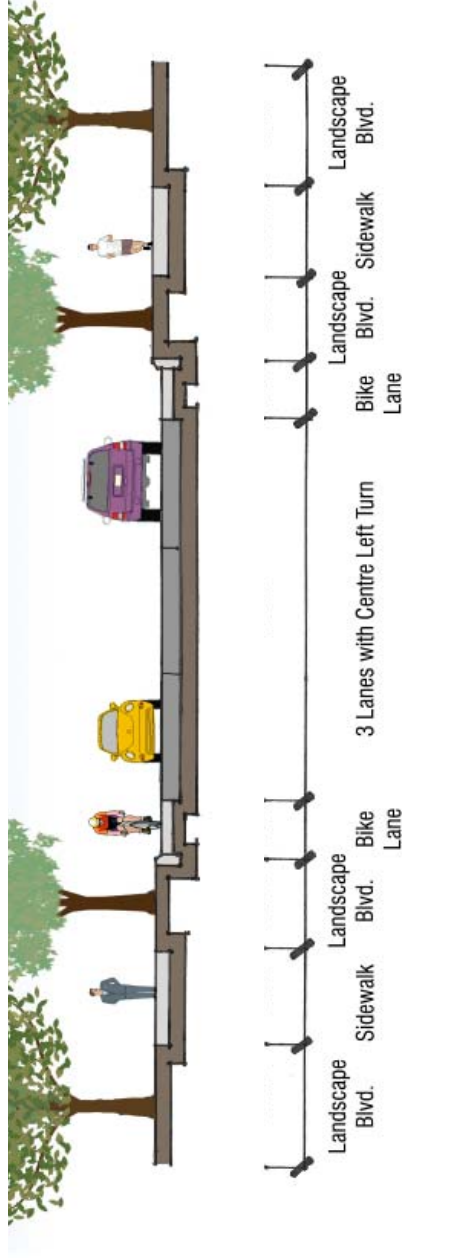
1. Street trees should be located on both sides of the sidewalk and shade the street
2. Street trees should be of a native species
3. Landscape boulevards should be turf
4. Light standards should be *heritage style*, be a maximum height of 6 metres, and cast light downwards
5. Service utilities should be underground
6. All amenities should be *heritage style* and express a coordinated appearance
7. Wayfinding signage should be provided
8. Benches should be situated to encourage comfortable use and located outside of the sidewalk
9. Trash and recycling receptacles should be located proximate to seating areas and bus shelters and be accessible by maintenance vehicles
10. Street signs should be *heritage style*

### GATEWAYS & PUBLIC ART

1. A *gateway* should be developed at the intersection of Wilson Street and Fiddlers Green Road to announce arrival to Ancaster
2. The *gateway* should incorporate buff-coloured limestone walls
3. The *gateway* should be linked to the sidewalk and could incorporate pedestrian amenities including seating areas, interpretive panels, public art and fountains
4. *Gateways* should be landscaped with native plant materials
5. Public art should be integrated into the *public realm*



# TRANSITION: STREET CROSS-SECTION



## ROW per Official Plan:

The graphic at left depicts the typical cross-section of Wilson Street East in the Transition Design District when key *Public Realm Design Guidelines* are applied (assumes a right-of-way (ROW) width of 30.48 m, as specified in the Official Plan).

*NOTE: Streetscape features shown represent the “ideal” as outlined in the Public Realm Design Guidelines. All streetscape features are subject to future detailed design and may not be exactly as shown.*

## 26 metres Narrow ROW:

At left is a typical cross-section of Wilson Street East in the Transition *Design District* when key *Public Realm Design Guidelines* are applied (assumes a ROW width of 26m is available, which is less than the ROW specified in the Official Plan, but is the existing ROW in some areas of the *Design District*).

## 20 metres Narrow ROW:

At left is a typical cross-section of Wilson Street East in the Transition *Design District* when key *Public Realm Design Guidelines* are applied (assumes a ROW width of 20m is available, which is less than the ROW specified in the Official Plan, but is the existing ROW in some areas of the *Design District*).

## 3.1.4

# Village Core Design Guidelines

The Village Core *Design District* exemplifies the unique character that defines Ancaster and establishes its identity as a distinct and recognizable historic community. This section of Wilson Street serves as Ancaster’s “main street” providing a variety of retail, commercial and entertainment uses. A number of institutional buildings anchor the area contributing to its character and serving as primary destinations and attractions. Public open spaces woven through the built form enhance the green quality of the corridor and contribute to its role as a “meeting place” .



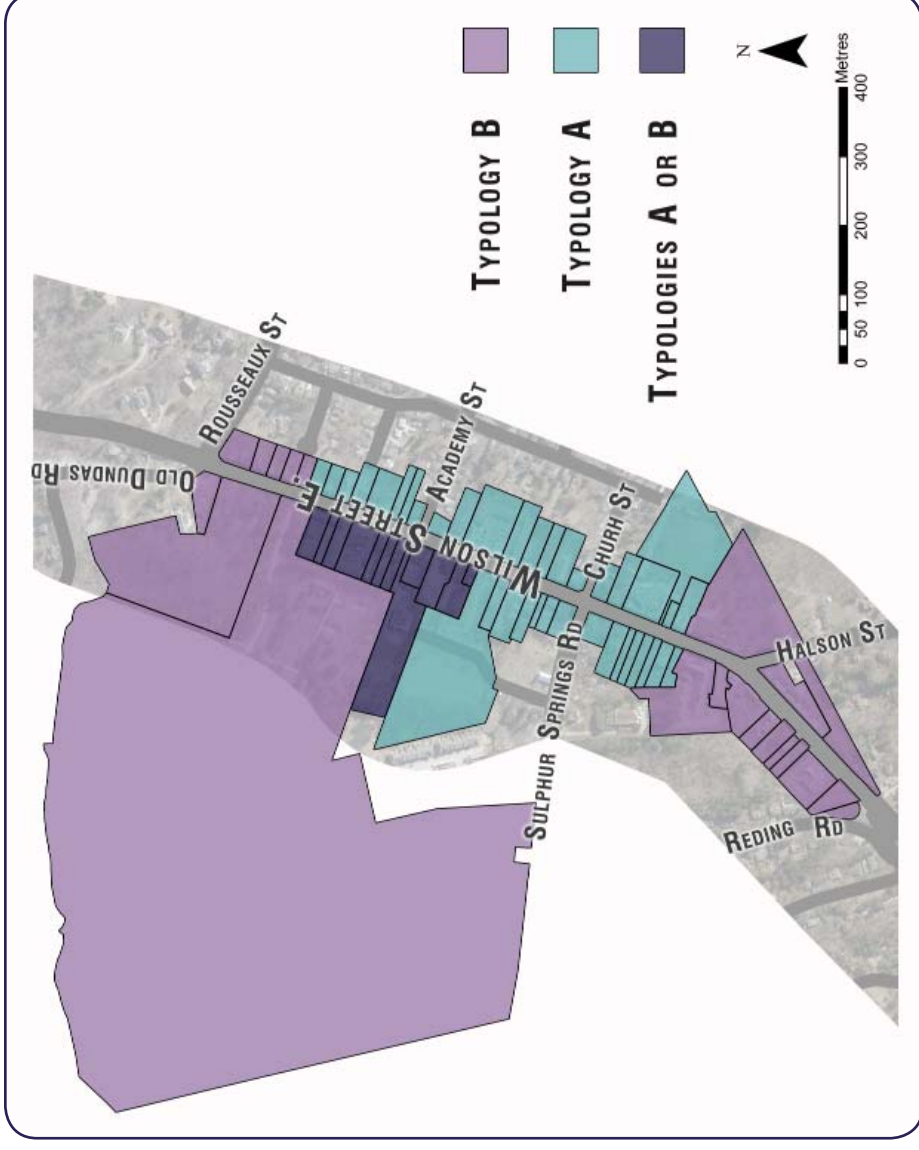
## DESIGN INTENT

The intent of the design guidelines for the Village Core *Design District* is to enhance and promote its existing character to preserve the identity of the community and maintain the pedestrian scale of the corridor. Primary elements of the guidelines that achieve this include:

- Building masses are compact and sited on individual lots with defined front and side yards
- Building heights are limited to 2-½ storeys with pitched rooflines
- Building materials and details are simplified
- Walkability, pedestrian access and comfort is prioritized
- Vehicle parking is located in connected rear lots

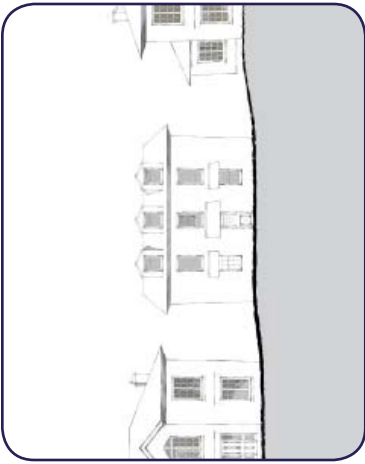
## DISTRICT MAP

The Village Core *Design District* extends on Wilson Street East from the westerly edge of Stoneham Park to Rousseaux Street. The map identifies where the building *typologies* of this area are proposed to be located. There are two building *typologies* in the Village Core *Design District* – A and B. The *typologies* are representative examples of the ideal built form, based on application of the design guidelines.



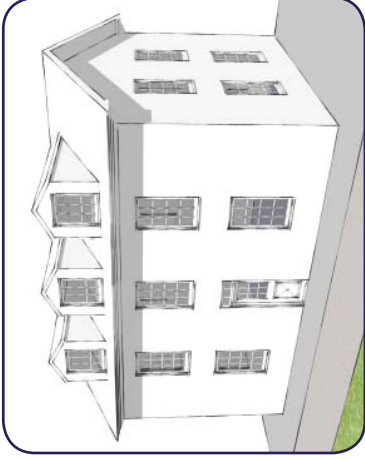


# 3.1.4.1 Village Core: Building Typology A



## CONTEXT

1. Finished floor level should be the average of the adjacent buildings
2. Buildings should compliment façade patterning and horizontal lines of adjacent buildings



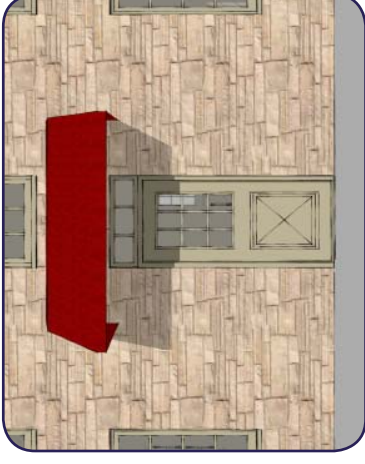
## HEIGHT & ROOFLINE

1. Buildings should be a maximum of 2-1/2 storeys
2. Buildings should have a gabled roof with an approximate 8/12 pitch
3. Roofs should have an overhang
4. Roofs should be pitched to reflect historic buildings in district
5. Roofs could include dormers and/or skylights
6. Chimneys, if present, should be equal to primary wall material



## WALL MATERIALS

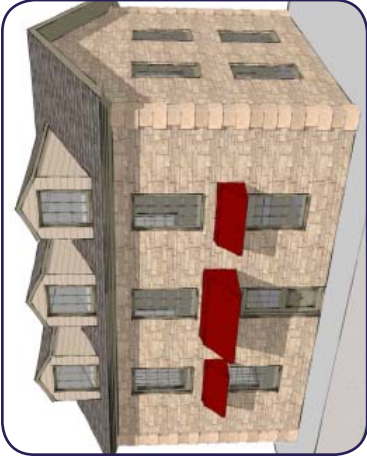
1. Buildings should be grey-buff coloured stone, red brick or wood cladding
2. Stucco may be used as an accent material to façade surfaces
3. A maximum of 2 materials should be used
4. Additions to existing buildings should compliment the character of the existing building



## DOORS

1. Doors should be single width opening and provided on the front façade
2. Doors should be recessed
3. Doors should include glazing
4. Awnings should project out no more than 50% the height of the door





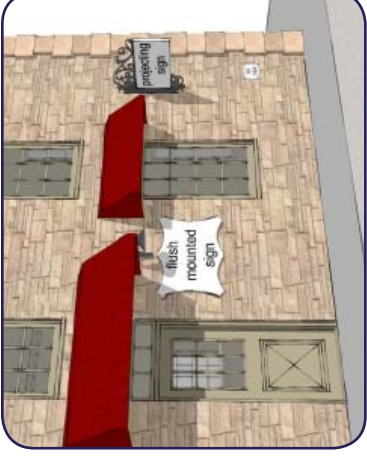
## WINDOWS

1. Windows should be vertical with an approximate height to width ratio of 2:1
2. Windows should express each floor, be equal in size and aligned
3. Windows should be provided on all façades
4. Windows should be clear glass
5. Windows could have muntins
6. Windows should be recessed
7. Awnings should be on the ground floor only
8. Windows should be enhanced with architectural surround details
9. Storefront windows could be incorporated on the first storey



## APPURTENANCES

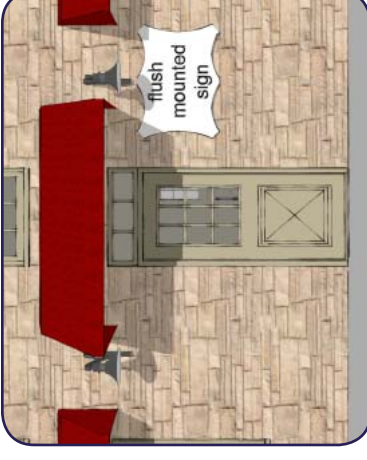
1. Patios in the rear yard could be raised
2. Balconies could be provided in the rear yard
3. Patios in the front yard should be level with the street



## SIGNAGE

1. *Identification signs* could be provided on the building
2. *Identification signs* should be projecting or flush and no higher than the first storey
3. *Identification signs* should be *heritage style*
4. *Identification signs* could be lit with projecting *heritage style* luminaires
5. Buildings are encouraged to have a date of construction marker located at a building corner on the *primary façade*

*Note: Signage shall be subject to the City of Hamilton Sign By-law. In the case of a conflict, the Sign By-law shall prevail*

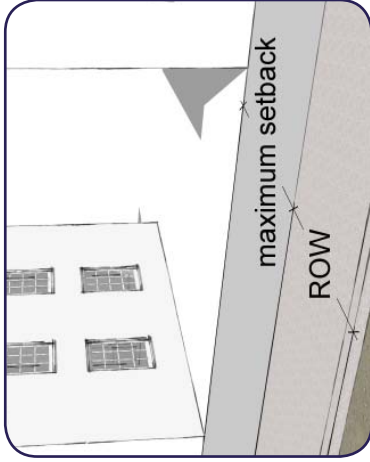


## LIGHTING

1. Entrances should be lit
2. Wall mounted lights should be *heritage style*
3. Lighting should incorporate a full cutoff to cast downwards and minimize light spill onto neighbouring properties

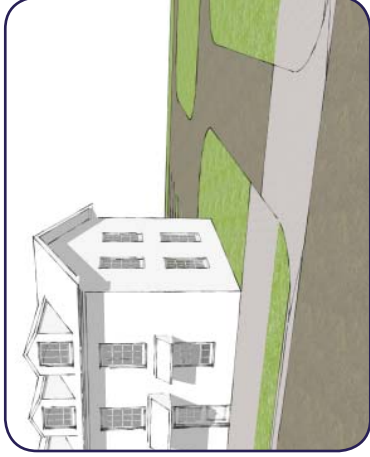


# Village Core: Building Typology A



## SETBACK & ORIENTATION

1. Building should be parallel to street
2. Front yard setback shall be no more than adjacent buildings
3. Should be a side yard on both sides of the building



## ACCESS

1. Should provide direct pedestrian connections from parking area to the building entrance and street
2. Should be a maximum of 1 curb cut
3. Shared access to rear yard parking between adjacent properties is encouraged
4. For corner properties, access to rear yard parking from the side street is encouraged
5. Properties should have pedestrian links abutting dead end streets
6. Dead end streets should have direct pedestrian links to Wilson Street East



## LANDSCAPE

1. Front yard should be landscaped
2. Side yards should be landscaped
3. Permeable paving materials are encouraged for walks, patios and other hard surfaces
4. Trees should provide shade over parking area
5. Parking areas could be landscaped to the edge of parking surface
6. Trees should be of a native species
7. Stormwater should be *detained* on site (eg. rain gardens, vegetated swales, etc.)



## PARKING

1. Should be provided in the rear yard only
2. Adjacent rear yard parking areas should be linked
3. Should be hard surfaced with permeable paving





## ACCESSORY STRUCTURES

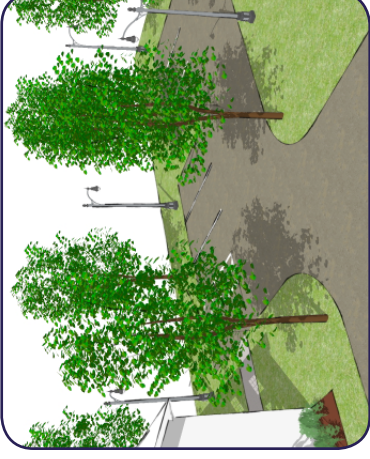
1. Should be in the rear yard
2. Should be a maximum of 1 structure
3. Should be no higher than the primary building
4. Should match the materials and form of the primary building



## SIGNAGE

1. Site identification signs should not be provided

*Note: Signage shall be subject to the City of Hamilton Sign By-law. In the case of a conflict, the Sign By-law shall prevail*



## LIGHTING

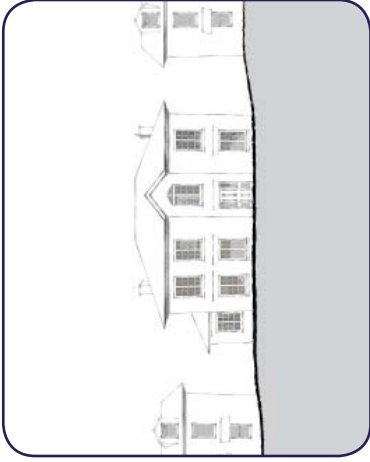
1. Parking areas and access lanes should be lit with light standards no higher than 6 metres
2. Light standards should be *heritage style*
3. Lighting should incorporate a full cutoff to cast downwards and minimize light spill onto neighbouring properties



## FENCES & WALLS

1. Walls could be located in the front yard and should be a maximum of 0.8 metres high
2. Wall materials should match the building

## 3.1.4.2 Village Core: Building Typology B



### CONTEXT

1. Finished floor level should be the average of the adjacent buildings
2. Buildings should compliment façade patterning and horizontal lines of adjacent buildings



### HEIGHT & ROOFLINE

1. Buildings should be 2-½ storeys
2. Buildings should have a hip roof with an approximate 5/12 pitch
3. Roofs should have a minimum overhang of 0.3 metre
4. Chimneys, if present, should be equal to primary wall material



### WALL MATERIALS

1. Buildings should be stone or red brick
2. Stucco may be used as an accent material to façade surfaces
3. Front and side wall material should be equal
4. A maximum of 2 materials should be used
5. Additions to existing buildings should compliment the character of the existing building



### DOORS

1. Primary building entrance should be highlighted with façade projection and architectural enhancements
2. Doors at primary building entrance could be double width and include transom and/or sidelights
3. Doors should be recessed
4. Doors should include glazing





## WINDOWS

1. Windows should be rectangular with an approximate height to width ratio of 1.5:1
2. Windows should express each floor
3. Windows should be provided on all façades
4. Windows should be clear glass
5. Windows should have muntins
6. Windows should be recessed
7. Awnings could be provided on first and second floors
8. Windows should be enhanced with architectural surround details
9. Windows could include shutters; shutters should be suited to the style and size of the windows
10. Storefront windows could be incorporated in the first storey



## APPURTENANCES

1. Front yard patios and porches should be raised
2. Front yard patios and porches should be setback from the street
3. Materials for patios and porches in the front yard should be equal to the building
4. Balconies could be provided on the second floor in rear yard only



## SIGNAGE

1. *Identification signs* could be provided on the building
2. *Identification signs* should be projecting and no higher than the first storey
3. *Identification signs* should be *heritage style*
4. *Identification signs* could be lit with projecting *heritage style* luminaires
5. Buildings are encouraged to have a date of construction marker located at a building corner on the *primary façade*

*Note: Signage shall be subject to the City of Hamilton Sign By-law. In the case of a conflict, the Sign By-law shall prevail*



## LIGHTING

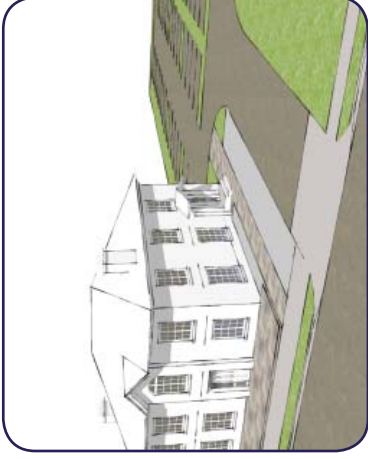
1. Entrances should be lit
2. Wall mounted lights should be *heritage style*
3. Lighting should incorporate a full cutoff to cast downwards and minimize light spill onto neighbouring properties

# Village Core: Building Typology B



## SETBACK & ORIENTATION

1. Building should be parallel to street
2. Front yard setback shall be no less than adjacent buildings
3. Should be a side yard on both sides of the building



## ACCESS

1. Should provide direct pedestrian connections from parking area to the building entrance and street
2. Should be a maximum of 1 curb cut
3. Shared access to rear yard parking between adjacent properties is encouraged
4. For corner properties, access to rear yard parking from the side street is encouraged
5. Properties should have pedestrian links abutting dead end streets
6. Dead end streets should have direct pedestrian links to Wilson Street East



## LANDSCAPE

1. Front yard should be landscaped
2. Side and rear yards should be landscaped
3. Permeable paving materials are encouraged for walks, patios and other hard surfaces
4. Trees should provide shade over parking area
5. Parking areas could be landscaped to edge of parking surface
6. Trees should be of a native species
7. Stormwater should be *detained* on site (eg. rain gardens, vegetated swales, etc.)



## PARKING

1. Should be provided in the rear yard only
2. Adjacent rear yard parking areas should be linked
3. Should be hard surfaced with permeable paving





## ACCESSORY STRUCTURES

1. Should be in the rear yard
2. Should be a maximum of 1 structure
3. Should be no higher than the primary building
4. Should be equal in materials and form to primary building



## SIGNAGE

1. Site identification signs could be provided
2. Identification signs should be heritage style
3. Identification signs should be maximum height of 1.5 metres

*Note: Signage shall be subject to the City of Hamilton Sign By-law. In the case of a conflict, the Sign By-law shall prevail*



## LIGHTING

1. Parking areas and access lanes should be lit with light standards no higher than 6 metres
2. Light standards should be *heritage style*
3. Lighting should incorporate a full cutoff to cast downwards and minimize light spill onto neighbouring properties



## FENCES & WALLS

1. Walls located in the front yard should be a maximum of 0.8 metres high
2. Wall materials should match the building



# 3.1.4.3 Village Core: Public Realm

## PEDESTRIAN SPACE

1. Sidewalks should have a wide clear travel path
2. Sidewalks should be hard surfaced with rectangular dry laid pavers giving an appearance of natural limestone
3. Sidewalks should continue across driveways and vehicle entrances
4. Sidewalk paving materials should continue across all pedestrian crossings
5. Seating areas should be oriented to and link directly with the sidewalk
6. Seating areas should accommodate a variety of seating choices

7. Seating areas should be designed to provide sun and shade seating opportunities
8. Seating areas should be lit with fixtures that cast light downwards

## BICYCLE & VEHICULAR SPACE

1. Bicycle lanes should be provided on both sides of the street
2. Bicycle lanes should be delineated from vehicular travel lanes
3. Bicycle racks should be provided at key destinations/attractions along the street
4. Bicycle racks should be *heritage style* and be coordinated with other street furniture
5. Traffic control devices should be provided at all pedestrian crossings
6. On-street parking should be contained within curb extensions/ bump-outs
7. On-street parking should be delineated from vehicular travel lanes with pavement banding, pattern or material changes
8. On-street parking should contain no more than eight spots per bay
9. Parking bays should alternate on both sides of the street

## LANDSCAPE & AMENITIES

1. Street trees should be located in the landscape boulevard and shade the street
2. Street trees should be grouped a minimum of three and be installed in continuous planting soil trenches
3. Street trees should be of a native species
4. Landscape boulevard should be primarily turf and could include small groupings of ground cover or low growing plant material
5. Light standards should be *heritage style*, be a maximum height of 6 metres, and cast light downwards
6. Service utilities should be underground
7. All amenities should be *heritage style*, express a coordinated appearance, and reflect the historic character of the village
8. Wayfinding signage should be provided

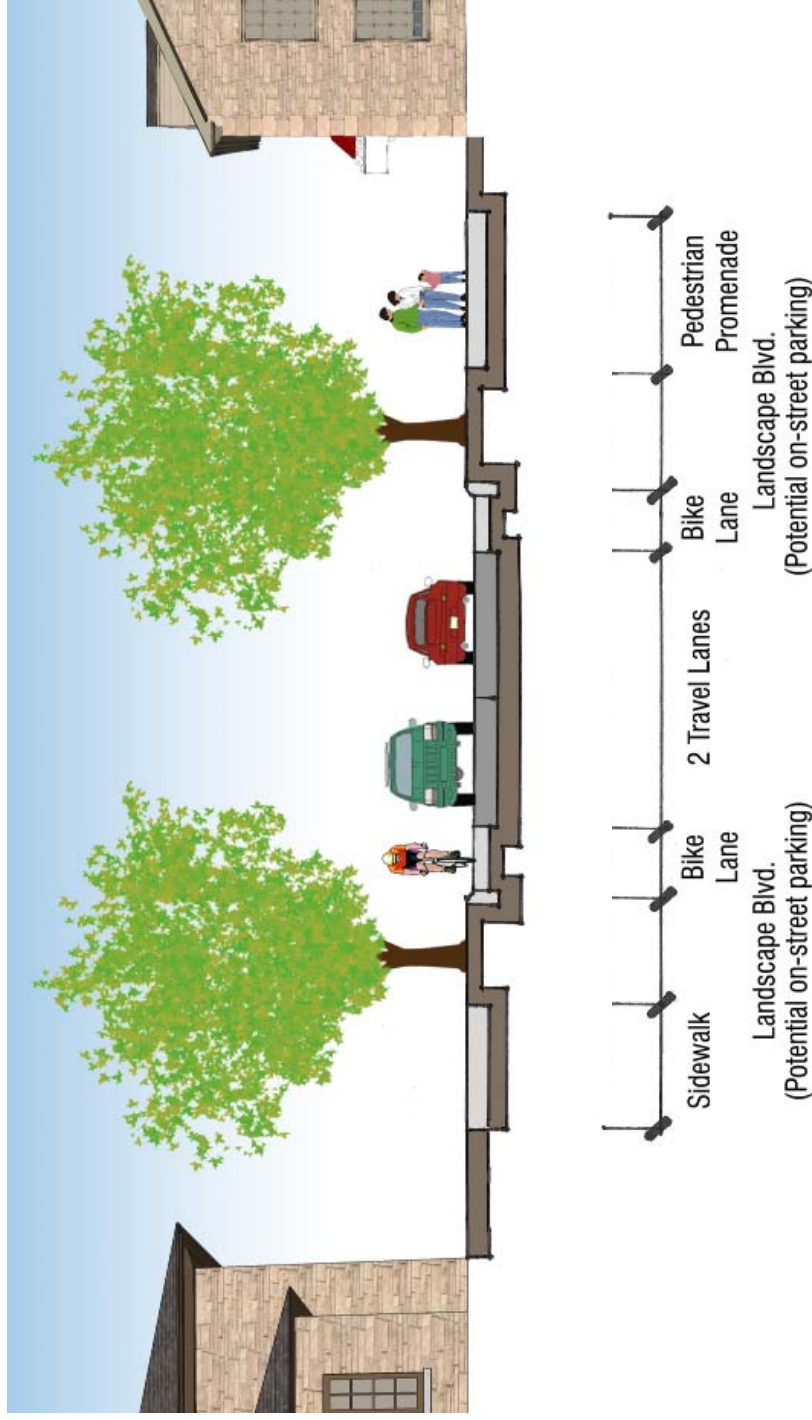
9. Interpretive panels should be provided to enhance understanding of the heritage of Ancaster
10. A District map/directory should be provided on both sides of the street
11. Benches should be positioned to encourage comfortable use and observation of street activities
12. Trash and recycling receptacles should be located near seating areas and bus shelters, and be accessible by maintenance vehicles
13. Trash and recycling receptacles should be grouped and contained within a decorative surround
14. Newspaper boxes should be sited on adjacent side streets only
15. Street signs should be *heritage style*



## GATEWAYS & PUBLIC ART

1. Gateways should be developed at the District boundaries and announce arrival to “Historic Village of Ancaster”
2. Gateways should be predominantly horizontal in form and mass and incorporate buff coloured limestone walls
3. Gateways should preserve views and sightlines into the District
4. Gateways should be linked to the sidewalk and could incorporate pedestrian amenities including seating areas, interpretive panels, public art
5. Gateways should be landscaped in an informal style and use traditional plant materials, perennials and ground covers
6. Public art should be integrated into the *public realm* and could include fountains
7. Public art should enhance understanding and appreciation of the heritage and culture of Ancaster

## VILLAGE CORE STREET CROSS-SECTION



**NOTE:** Streetscape features shown represent the “ideal” streetscape as outlined in the *Public Realm Design Guidelines*. All streetscape features are subject to future detailed design and may not be exactly as shown.

### **ROW per Official Plan:**

The graphic at left depicts the typical cross-section of Wilson Street East in the Village Core *Design District* when key *Public Realm Design Guidelines* are applied (assumes a right-of-way (ROW) width of 20.1 metres, as specified in the Official Plan).

## 3.1.5

# Escarpment Design Guidelines

The Escarpment *Design District* defines arrival to Ancaster from the east. Wilson Street East climbs the Escarpment on approach to the Rousseaux Street and offers insight into the character of the surrounding landscape. Views of the Dundas Valley and distant ridgeline of the Escarpment are available. There are two heritage residential properties on the east side of Wilson Street East; topography generally limits further development.



## DESIGN INTENT

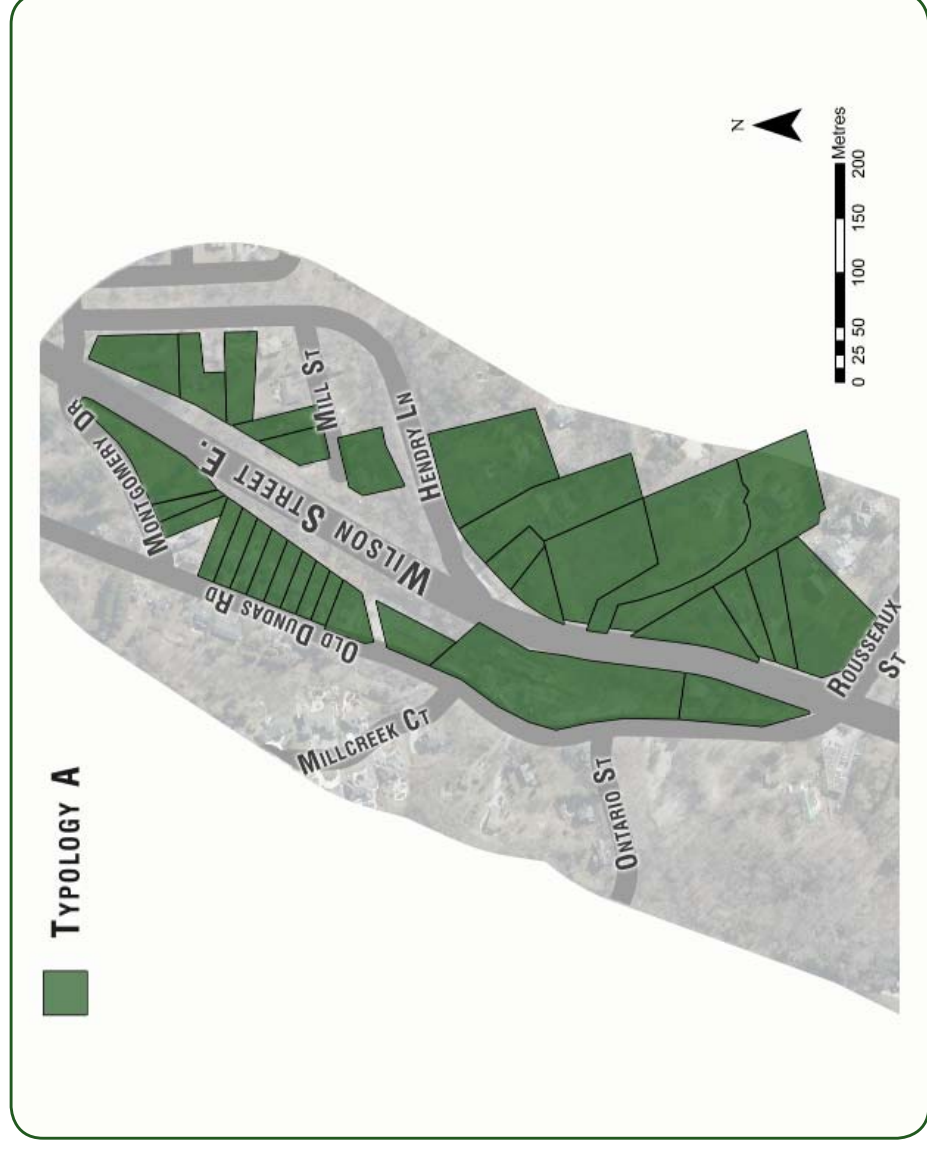
The intent of the design guidelines is to preserve the landscape character of this area and enhance the experience of arriving in Ancaster. As reflected in the Design Concept, an Escarpment Parkway is envisioned that elevates the aesthetic quality of the corridor, greatly improves pedestrian connections to the Old Mill and the gateway at Montgomery Road, and provides opportunities to observe the natural landscape.

Primary elements of the guidelines that achieve this include:

- Building heights are limited to 2-½ storeys with pitched rooflines
- Building materials and details are simplified
- Buildings are set into the natural landscape to minimize visual/environmental impact
- Landscape naturalization is encouraged
- Wilson Street East is envisioned as a parkway (rather than an arterial road) to enhance the experience of arriving in Ancaster
- A strong pedestrian promenade provides access for pedestrian and cyclists

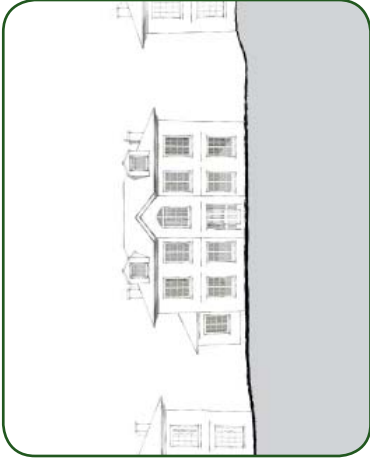
## DISTRICT MAP

The Escarpment *Design District* extends on Wilson Street from Rousseaux Street to Montgomery Drive. The map identifies where the building *typologies* of this area are proposed to be located. There is one building *typology* in the Escarpment *Design District* – A. The *typologies* are representative examples of the ideal built form, based on application of the design guidelines.





## 3.1.5.1 Escarpment: Building Typology A



### CONTEXT

1. Finished floor level should be the average of the adjacent buildings
2. Buildings should compliment façade patterning and horizontal lines of adjacent buildings



### HEIGHT & ROOFLINE

1. Buildings should be 2-1/2 storeys
2. Buildings could have combined hip and gabled roof
3. Roofs should have a minimum overhang of 0.3 metre
4. Roofs could include dormers
5. Chimneys, if present, should be equal to primary wall material



### WALL MATERIALS

1. Buildings should be of a similar colour to surrounding buildings
2. Stucco or wood may be used for façade surfaces above base level; base should be a durable massing
3. Front and side wall material should be equal
4. A maximum of 2 materials should be used



### DOORS

1. Primary building entrance should be highlighted with façade projection and architectural enhancements
2. Doors at primary building entrance could be double width and include transom and/or sidelights
3. Doors should be recessed
4. Doors should include glazing and/or sidelights





## WINDOWS

1. Windows should be rectangular and oriented vertically
2. Windows should express each floor
3. Windows should be provided on all façades
4. Windows should be clear glass
5. Windows should be recessed
6. Windows should be enhanced with architectural surround details
7. Windows could include shutters; shutters should be suited to the style and size of the windows



## APPURTENANCES

1. Front yard porches should be raised
2. Front yard porches should be setback from the street
3. Materials for front yard porches should be equal to the building
4. Balconies could be provided on the second floor



## SIGNAGE

1. An *identification sign* could be provided on the building
2. *Identification sign* should be flush mounted and no higher than first storey
3. *Identification sign* should be *heritage style*
4. *Identification sign* could be lit with projecting *heritage style* luminaires
5. Buildings are encouraged to have a date of construction marker located at a building corner on the *primary façade*

*Note: Signage shall be subject to the City of Hamilton Sign By-law. In the case of a conflict, the Sign By-law shall prevail*



## LIGHTING

1. Entrances should be lit
2. Wall mounted lights should be *heritage style*
3. Lighting should incorporate a full cutoff to cast downwards and minimize light spill onto neighbouring properties

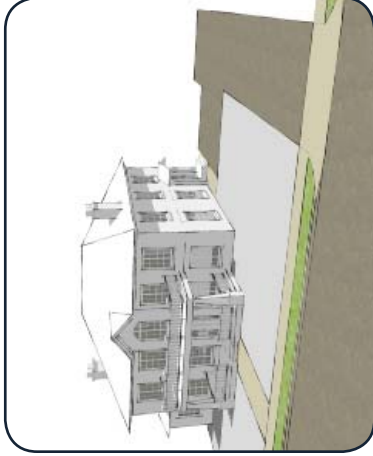


# Escarpment: Building Typology A



## SETBACK & ORIENTATION

1. Front yard setback shall be no less than adjacent buildings



## ACCESS

1. Should provide direct pedestrian connections from parking area to the building entrance and street
2. Should be a maximum of 1 curb cut
3. For corner properties, access to parking from the side street is encouraged
4. Width of driveway/access lane should be a maximum of 6.5 metres



## LANDSCAPE

1. Front yard should be landscaped
2. Lawn area could encompass a majority of front yard landscape
3. Side and rear yards should be landscaped
4. Screening should be provided for parking areas located in the side yard
5. Trees should provide shade over parking area
6. Trees should be of a native species
7. Stormwater should be *detained* on site (eg. rain gardens, vegetated swales, etc.)



## PARKING

1. Should be provided behind the front façade
2. Should be hard surfaced with permeable paving



## ACCESSORY STRUCTURES

1. Should be in the rear yard
2. Should be a maximum of 1 structure
3. Should be no higher than 2 storeys
4. Should be equal in materials and form to primary building



## SIGNAGE

1. Site *identification sign* could be provided
2. *Identification sign* should be *heritage style*
3. *Identification signage* should be maximum height of 1.5 metres

*Note: Signage shall be subject to the City of Hamilton Sign By-law. In the case of a conflict, the Sign By-law shall prevail*



## LIGHTING

1. Parking areas and access lanes could be lit with light standards no higher than 4 metres
2. Light standards should be *heritage style*
3. Lighting should incorporate a full cutoff to cast downwards and minimize light spill onto neighbouring properties



## FENCES & WALLS

1. Walls located in the front yard should be a maximum of 0.6 metres high
2. Wall materials should match the building

# 3.1.5.2 Escarpment: Public Realm

## PEDESTRIAN SPACE

1. A potential multi-use path could be developed on the west side of Wilson Street
2. A potential multi-use path should be hard surfaced and continue across driveways and vehicle entrances
3. Seating areas should link directly to the multi-use path and be oriented to views of the Escarpment to the west
4. Seating areas should be hard surfaced with rectangular dry laid pavers giving an appearance of natural limestone
5. Seating areas should integrate natural buff coloured limestone walls
6. A direct pedestrian link should be provided from the multi-use path to the Ancaster Mill

## BICYCLE & VEHICULAR SPACE

1. Bicycle circulation should be accommodated on the multi-use path
2. Bicycle racks should be provided at seating areas
3. Bicycle racks should be *heritage style* and be coordinated with other street furniture
4. Traffic control devices should be provided at all pedestrian crossings
5. Wilson Street should be designed as a parkway with a landscaped centre median and boulevards
6. Limestone walls should be integrated into the parkway

## LANDSCAPE & AMENITIES

1. Trees should be planted to delineate the multi-use path and provide separation from the roadway
2. Seating areas should be integrated into the landscape and naturalized with plant materials
3. Plant materials should be native
4. Light standards should be *heritage style*, be a maximum height of 6 metres, and cast light downwards
5. Service utilities should be underground
6. All amenities should be *heritage style* with a coordinated appearance
7. Wayfinding signage should be provided
8. Interpretive panels should be provided at seating areas to enhance understanding of Ancaster's natural landscape
9. Benches should be oriented to views of the Escarpment
10. Trash and recycling receptacles should be integrated into seating areas
11. Street signs should be *heritage style*

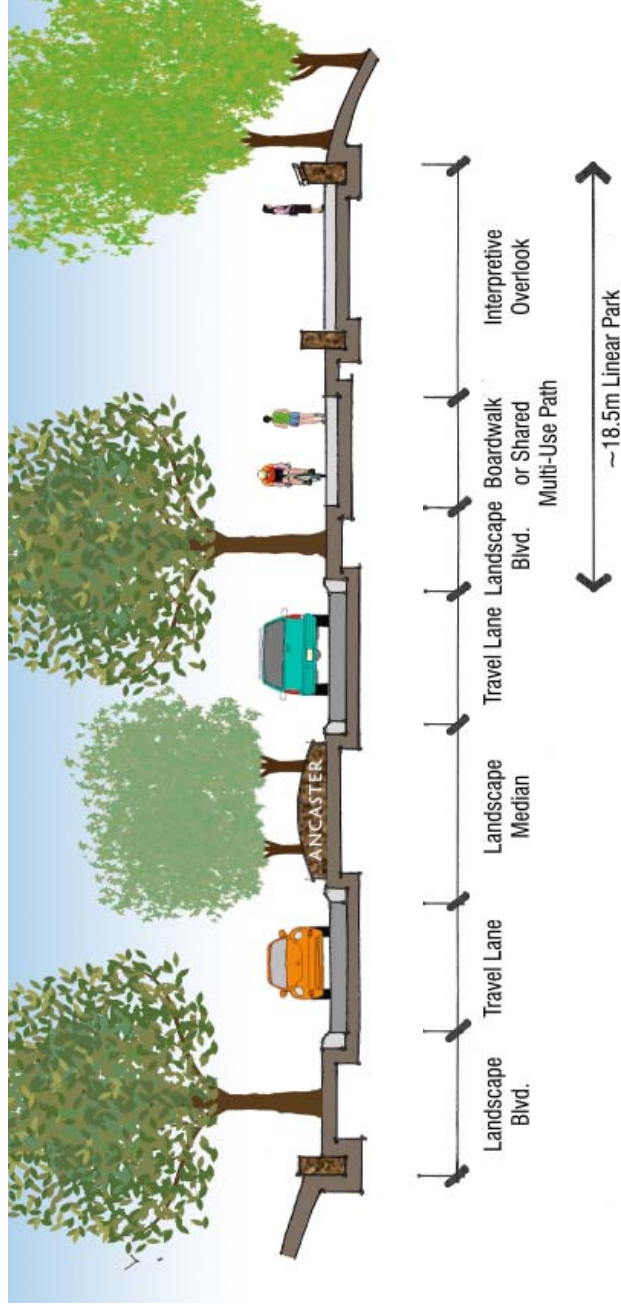
## GATEWAYS & PUBLIC ART

1. A *gateway* should be developed at the intersection Wilson Street and Montgomery Drive to announce arrival to "Historic Village of Ancaster"
2. The *gateway* should incorporate limestone walls
3. The *gateways* should be linked to the multi-use path and could incorporate pedestrian amenities including seating areas, interpretive panels, public art
4. The *gateways* should be integrated into the landscape and naturalized with native plant materials
5. Public art should be integrated into the *public realm*





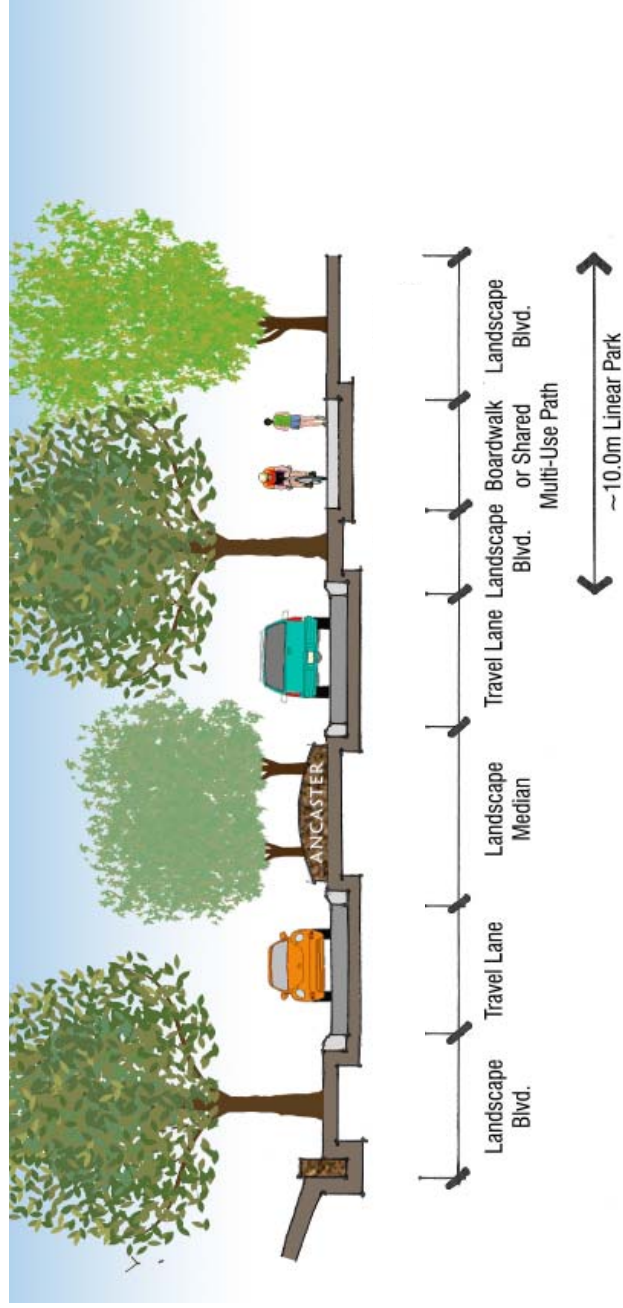
# ESCARPMENT: STREET CROSS-SECTION



## ROW per Official Plan:

The graphic at left depicts the typical cross-section of Wilson Street in the Escarpment Design District when key *Public Realm Design Guidelines* are applied (assumes a right-of-way (ROW) width of 36.0 metres, as specified in the Official Plan).

*NOTE: Streetscape features shown represent the “ideal” streetscape as outlined in the Public Realm Design Guidelines. All streetscape features are subject to future detailed design and may not be exactly as shown.*



## 26 metres Narrow ROW:

The graphic at left depicts the cross-section of Wilson Street in the Escarpment Design District when key *Public Realm Design Guidelines* are applied (assumes a ROW width of 26 metres, which is less than the ROW specified in the Official Plan, but is the existing ROW in some areas of the Escarpment Design District).

# Appendices





# A.1 Definitions

*The following definitions clarify terms used in the Urban Design Guidelines.*

**Base, middle and cap** – a traditional architectural arrangement of a building that serves to visually reduce the height, mass and scale of a structure to one that relates better to a pedestrian-oriented environment; the base is the lowest part of the structure, the cap is the top element of a structure; the middle connects the base and cap

**Detained (Stormwater Detention) - Stormwater** detention systems are designed to slow the rate of stormwater runoff from a site. They can be as simple as a vegetated swale or rain garden, or more specialized like an engineered stormwater detention basin. The purpose is to slow down the release of stormwater from the site to prevent downstream flooding or overburdening of the community's stormwater collection system, and to reduce downstream bank erosion. They also provide a measure of pollution control through settling of suspended solids and associated nutrients. Unlike a retention pond, a detention system is not designed to hold water for an extended period of time.

**Character Area** – a general area with common and readily identifiable landscape, built form and natural traits and characteristics

**Design District** – a specific area with defined boundaries where design guidelines apply

**Gateway** – a feature in the public realm that defines entry to a specific area; may include structures, public art, landscaping

**Heritage Style** – a contextually-relevant and recognizable design form or character from an earlier era or time period

**Identification Sign** – a sign that announces a business or commercial development

**Primary Façade** – the exterior face of a building that is most prominent in the public realm and includes the main building entrance

**Public Realm** – all outdoor spaces that are common and where the public has visual and/or physical access

**Typology** – representative examples of the ideal built form, from which new development should take design cues



## A.2 Planning Context

*The Urban Design Guidelines have been developed in consideration of several other planning initiatives and studies, including:*

- Urban Hamilton Official Plan (2011)
- Ancaster Transportation Master Plan (2011)
- Hamilton Transportation Master Plan (2007)
- Hamilton Cycling Master Plan “Shifting Gears” (2009)
- Urban Braille Design and Implementation Manual
- City of Hamilton Site Plan Guidelines (2003).
- Other documents were reviewed to assess their relative influence on the preparation of the guidelines. These include:
- Hamilton Transit Oriented Development Guidelines (2010)
- City of Hamilton Barrier Free Design Guidelines (2006)
- Design Guidelines for Bikeways (1999)
- City of Hamilton Public Art Master Plan (2008)
- Through the preparation of the Secondary Plan, the guidelines endorse and align with several provincial or upper tier policy documents including:
  - Places to Grow – Growth Plan for the Greater Golden Horseshoe (2006)
  - Ontario’s Greenbelt (2006)
  - Provincial Policy Statement (2005)
  - Ontario Planning Act Bill 51 (2007)
  - Niagara Escarpment Plan (2011)



# A.3 Character Area Matrices

## Character Area Building Characteristics:



Building Characteristics	Gateway Residential	Uptown Core	Transition	Village Core	Escarpment
<b>Stories</b>	1-2	1-2	1-2	1-2	
<b>Setback</b>	Large, Some Rear Yard Frontages	Large Front Yard		Varies Along Street	
<b>Material</b>	Variety of Styles (Residential)	Brick, Some Cladding or Stucco	Variety of Styles (Predominantly Residential)	Limestone - Random Pattern	Overlooks New Residential Development (W Side)
<b>Roof</b>		Flat		Pitched - Gable Ends - Dormers	
<b>Windows</b>		Large, Transparent		Vertical - Symmetrical Double Hung	
<b>Doors</b>		Flush, Name Boards		Near Flush - Single - Lintel	
<b>Façade</b>		No Details		Simple Details - Stone Lintels/Sills	
<b>Site</b>	Landscaped	Minimal Landscaping/Landscaped	Landscaped	Landscape Courts	
<b>Parking</b>	Front	Front/Side	Front/Rear/Side	Side/Rear	

The Character Area matrices summarize key design elements formatted under the different Character Areas identified during the study and relates to the specific categories by which the Urban Design Guidelines are organized.

## Character Area Streetscape Characteristics:



The information has been organized into four categories: Gateway Residential, Uptown Core, Transition, and Village Core.

Street Characteristics		Gateway Residential	Uptown Core	Transition	Village Core	Escarpment
<b>Lanes</b>	2 Travel, No Curbs, Asphalt Shoulders	2 Travel, Centre LHT, Curbed	2 Travel - L Turn @ Main Intersection, Asphalt Shoulder, No Curb	2 Travel - Curbed	2 Travel, No Curb, Asphalt Shoulder (E Side), Guide Rail (W Side)	
<b>Cycling</b>	Mix On/Off Road Cycle Lanes	Cycle Lane	Cycle Lane	No Cycling	No Cycling	
<b>Parking</b>	None	None	None	None	None	
<b>Sidewalks</b>	Concrete	Concrete	Concrete	Concrete	Concrete (E Side)	
<b>Boulevard</b>	Wide, Grassed, Some Street Trees	Wide/Grass, Regular Street Trees	Some Grass, Some Street Trees	Grassed, Some Street Trees	Sloped, Treed	
<b>Lights</b>	Wood Poles, Cobra Heads	Wood Poles, Cobra Heads	Concrete Poles, Cobra Heads	Decorative - Concrete Poles, Black Heritage Luminaries - Underground Service	Concrete Poles, Cobra Heads	
<b>Furniture</b>	None	Some Benches, Bus Shelter	None	Black Metal Work	None	
<b>Utilities</b>	Overhead (W Side)	Overhead (W Side)	Overhead (W side)	Buried	Overhead	

## Executive Summary

A Secondary Plan has been prepared for lands along Wilson Street in Ancaster, from Montgomery Drive to Hamilton Drive, including the adjacent neighbourhood areas. The intent of the Secondary Plan was to evaluate the land uses in the area, and to conserve the existing heritage and character features. Furthermore, the Ancaster Wilson Street Secondary Plan was developed to assist in maintaining a vibrant and attractive, healthy community, by meeting not only the policies of the Urban Hamilton Official Plan, but also the wider Ancaster community objectives.

An important component of the Secondary Plan area is the Ancaster Community Node, which is a defined area that includes the traditional Village Core, and a second large mixed-use commercial area (known as the Uptown Core), joined together by Wilson Street. This segment of Wilson Street is a focus area for a mixture of residential and service commercial uses and growth and intensification. The remaining Secondary Plan area will ensure that appropriate growth and compatibility is maintained, and stable residential neighbourhoods are protected.

The purpose and intent of this Summary Report is to provide context and a rationale for the development of the Ancaster Wilson Street Secondary Plan. As outlined in this report, the Secondary Plan was developed through a process that included a collection of background information, establishment of a Citizen's Liaison Committee (CLC) made up of citizen volunteers, setting of priorities and values, and preparation of Urban Design Guidelines. Throughout the process, the public and key stakeholders were involved and consulted to provide input. A City staff advisory Committee called the Technical Advisory Committee (TAC) further provided direction, technical advice, and comments. Information and direction was also based on a thorough review of the land uses in the study area and through an employment survey and heritage assessment carried out in the Summer of 2011.

Through consultation with the public at Public Information Centres (PIC), and with the CLC, community priorities and concerns were established early in the study process, which provided direction for the land use analysis and ultimately the development of the Secondary Plan. The most common community priorities/concerns included:

- Traffic (perceptions of negative effects);
- Conservation of community heritage and character;
- Pedestrian movement and amenities; and,
- Concern regarding overall good urban design and scale of development.

Following the information collection, land use assessment, and setting of priorities, a set of land use options was developed for review and comment by City staff through the TAC, the CLC, and the public. The land use options would form the basis of the draft policies and land use mapping. The land use options developed for the study area were based on the fact that Ancaster is an already largely built-up and developed area and focused more on refining the existing land uses, as well as properly managing limited growth and development/redevelopment opportunities.



The land use options posed a series of questions regarding potential land use development scenarios, uses, and scale. The table of land use options was prepared for comment as a more technical version for City staff through TAC and a more generalized version for the for the public/CLC.

Based on feedback and circulation of the land use options table to TAC, the CLC and the public, and on-going assessment of land uses throughout the plan process, draft land use policies were developed in the Fall of 2011. The policies focused on ensuring the continued viability of the overall Secondary Plan area and preserving the character of Ancaster. The Secondary Plan policies addressed the issues identified early in the study process by offering a balance between preservation of established areas, and allowing some redevelopment in appropriate locations of an appropriate scale.

An additional key component of the Secondary Plan process was the development of Urban Design Guidelines. The role of the Guidelines was to address many of the concerns raised at the onset of the Secondary Plan process including, community character and heritage attributes, as well as ensuring compatibility between new development and the existing built fabric.

Throughout the consultation process, minor changes were made to the proposed policies and land use map based on comments received and the ongoing assessment of land use data. Some of the comments, and how they were addressed, are highlighted in this summary report.

The preferred land use option includes a balance between preservation of key features, which contributes towards the character of Ancaster, as well as allowing for development opportunities. The Secondary Plan will provide direction and land use for the Wilson Street area, as well as providing additional direction for good development through urban design.