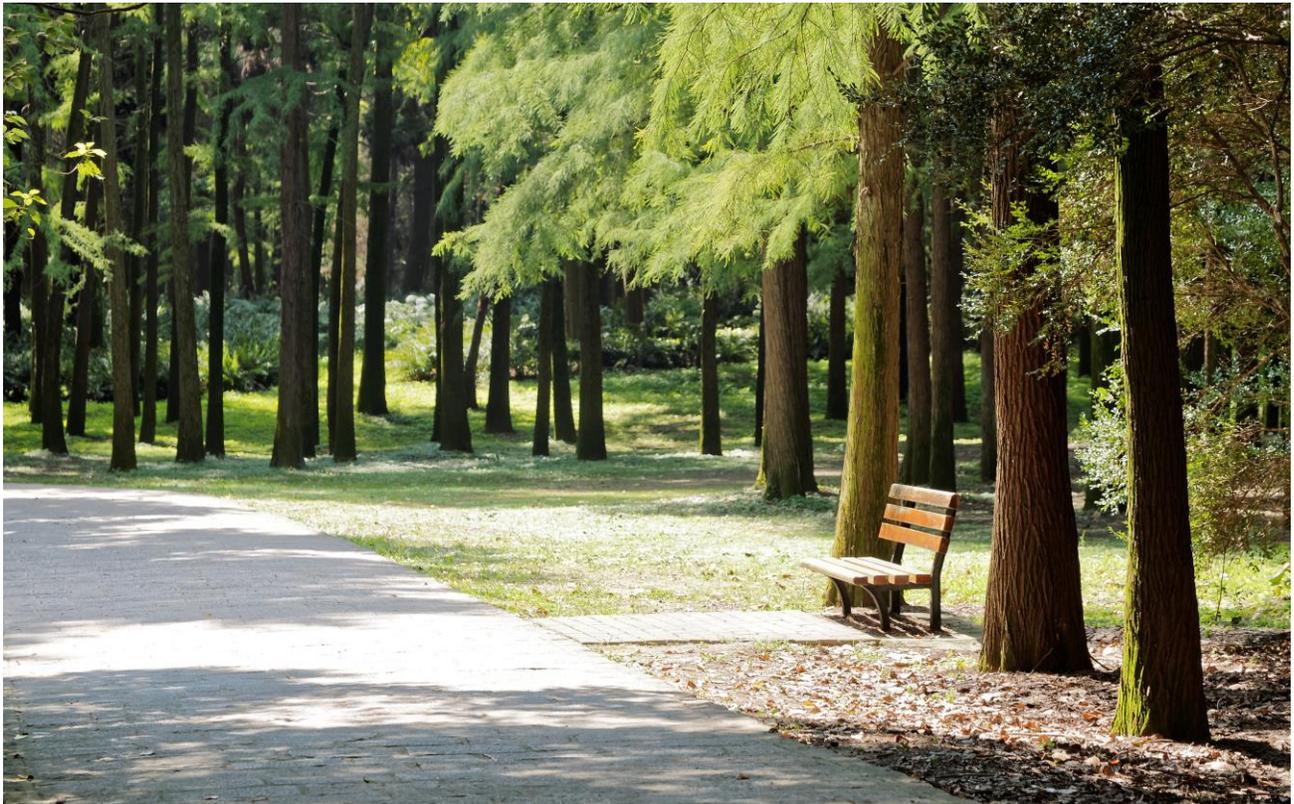


APPENDIX C: TECHNICAL SUPPORTING DOCUMENTS

APPENDIX C-11: CULTURAL HERITAGE EVALUATION REPORT

PART 2/4





METROLINX

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Cultural Heritage Evaluation Report Recommendations 662 King Street East, Hamilton, Ontario

**Prepared by AECOM
for Metrolinx**

March 6, 2017

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Revision History

Revision #	Date	Revised By:	Revision Description
0	02/16/2017	C. Latimer	Draft to Metrolinx
1	03/06/2017	M. Greguol	Revised and finalized based on Metrolinx Heritage Committee comments

Statement of Qualifications and Limitations

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1. Executive Summary

AECOM Canada Ltd. (AECOM) was retained by Metrolinx to complete a Cultural Heritage Evaluation Report (CHER) for the property at 662 King Street East, in the City of Hamilton, Ontario. This work is being completed as part of the Hamilton Light Rail Transit (LRT) Project.

The Hamilton LRT Project B-Line alignment extends from McMaster University at Cootes Drive to the Main Street/Highway 403 Bridge. A proposed LRT-only bridge will allow the alignment to then extend along King Street West until King East Street intersects with Main Street East, where the alignment will continue along Main Street East to the Queenston Road traffic circle. As a part of the project, it is anticipated that building impacts may take place on the property at 662 King Street East.

The project impacts will be assessed following the Transit Project Assessment Process (TPAP), as prescribed in Ontario Regulation (O. Reg.) 231/08, Transit Projects and Metrolinx Undertakings under the Environmental Assessment Act. As part of the TPAP Amendment, an Environmental Project Report (EPR) Amendment will be prepared for public review.

The CHER was prepared according to the Metrolinx Interim Cultural Heritage Management Process and utilizes the criteria in Ontario Regulation 9/06 and Ontario Regulation 10/06, as required by the Ministry of Tourism, Culture, and Sport's (MTCS) *Standards and Guidelines for the Conservation of Provincial Heritage Properties* (2010). In addition, the CHER was prepared according to the Metrolinx Draft Terms of Reference for Consultants: *Cultural Heritage Evaluation Report and Cultural Heritage Evaluation Report Recommendations*. As such the recommendations as they relate to this CHER and the potential cultural heritage value or interest of the property at 662 King Street East are contained in a separate Cultural Heritage Evaluation Report Recommendations (CHERR) document.

As part of the reporting requirements for the Hamilton LRT Project, Archaeological Services Inc. (ASI) undertook a Cultural Heritage Screening Report (CHSR) for the alignment. The CHSR identified the requirement to conduct a CHER for the property located at 662 King Street East to assess the potential cultural heritage value or interest of the property. Where applicable, relevant background information has been utilized from the CHSR for project consistency.

By the beginning of the 20th century, historic topographic mapping indicates that urban development was well underway surrounding the subject property. Hamilton City Directories indicate that the building at 662 King Street E was constructed by 1910 with the first resident listed as George E. Wright. By 1911, the building housed a shoe repair shop and a barber shop with apartments on the second and third floors. No residents for the apartments are listed in the directory. In 1920, East End Shoe Repair is located on the main floor and F.A. Fraser is listed as a resident. The 1930 directory indicates that the Sanitary Barber Shop and Super Service Shoe Rebuilders were operating out of the main floor, while one apartment over top was occupied by G.W. Olliver and the other remained vacant.

By 1940, there are no longer any commercial businesses listed in the city directory. At this time, the building is listed as having one vacant apartment and five residents: Alex French, William Johnson, Joseph Auld, Wilburt Walker, and James Harding. It is unclear as to whether or not any commercial businesses were present during this time. A decade later, commercial businesses return to the building and included R.C. Inkster, Jeweler, and G. Harkins, Barber. S.G. Matthews and William Wallace are listed as residents. In 1961, jeweler R.C. Inkster was still operating out of the building and was also

listed as a resident along with F.L. Lang. Carm and Vilma's Coffee Shop replaced the space where the barber shop once operated. The building at 662 King Street East appears to have remained under mixed use through to the 1970s, housing various residents and businesses.

Most recently, the property at 662 King Street East retains storefront doors. However, the property does not appear to be currently used for commercial purposes, but instead appears to be converted to residential use.

A field review of the privately owned property at 662 King Street East was undertaken on February 3, 2017 by Emily Game of AECOM. An assessment was not completed on the interior of the structures due to the timing constraints for the TPAP Amendment.

The application of O.Reg 9/06 and O.Reg. 10/06 concluded that 662 King Street East did not meet any of the nine O.Reg. 9/06 or O.Reg. 10/06 criteria. Therefore, this CHERR recommends that the property at 662 King Street East is not considered a Provincial Heritage Property (PHP).

As a result, a Statement of Cultural Heritage Value or Interest and Heritage Attributes has not been prepared for this property.

2. Ontario Regulation 9/06 Evaluation

Ontario Regulation 9/06, *Criteria for Determining Cultural Heritage Value or Interest* (O. Reg. 9/06) provides criteria to apply to a potential heritage property to evaluate its heritage value. If a privately-owned property meets one or more of the following criteria it may be designated by a municipality under Section 29 of the *Ontario Heritage Act*. For the purposes of this CHER, O. Reg. 9/06 considers the evaluation of the property as part of the community context. The *Standards and Guidelines for the Conservation of Provincial Heritage Properties* state that a property may be considered a Provincial Heritage Property (PHP) if it meets one or more of the criteria under O. Reg. 9/06. The application of the criteria for 662 King Street East is included in Table 2-1 below.

Table 2-1: O.Reg. 9/06 Evaluation for 662 King Street East

Criterion	Response (Yes/No)	Rationale
1) The property has design or physical value because it:		
i) Is a rare, unique, representative, or early example of a style, type, expression, material, or construction method;	No	The structure located on the property at 662 King Street East is a common example of an early/mid-20th century 3-storey building with commercial space on the ground floor and residential space above. This form is commonly found throughout Hamilton.
ii) Displays a high degree of craftsmanship or artistic merit; or	No	The property is of common design and does not display a high degree of craftsmanship or artistic merit.
iii) Demonstrates a high degree of technical or scientific achievement.	No	The property is a common commercial/residential structure and does not display a high degree of technical or scientific achievement.
2) The property has historic or associative value because it:		
i) Has direct associations with a theme, event, belief, person, activity, organization or institution that is significant to a community;	No	The historic research undertaken for this CHER did not identify any significant people, events, or organizations that are directly related to or associated with the property, and could contribute to the potential cultural heritage

Criterion	Response (Yes/No)	Rationale
		interest or value of the property.
ii) Yields, or has the potential to yield information that contributes to an understanding of a community or culture; or	No	The property does not have potential to yield information that contributes to an understanding of a community or culture.
iii) Demonstrates or reflects the work or ideas of an architect, artist, builder, designer, or theorist who is significant to a community.	No	A specific architect or builder for the property could not be determined.
3) The property has <i>contextual value</i> because it:		
i) Is important in defining, maintaining, or supporting the character of an area;	No	The property at 662 King Street East is a positive contributing component of the streetscape character, shown in its era, scale, materials and function along this portion of King Street East. Nonetheless, the streetscape on the south side of King Street East in this location is not consistent and the ground floor of the subject property in particular is not intact, and does not contribute to the streetscape character. Finer examples of the streetscape can be seen on the north side of the street.
ii) Is physically, functionally, visually, or historically linked to its surroundings; or	No	The building is one of a series of early 20th century buildings located along this portion of King Street East. Although it has been a part of the streetscape since 1910, it does not appear to be physically, functionally, visually, or historical linked to its surroundings.
iii) Is a landmark.	No	The property at 662 King Street East is not considered a landmark.

3. Ontario Regulation 10/06 Evaluation

Ontario Regulation 10/06, *Criteria for Determining Cultural Heritage Value or Interest of Provincial Significance* (O. Reg. 10/06), provides criteria against which to assess a property to determine if the property holds provincial heritage significance. The *Standards and Guidelines for the Conservation of Provincial Heritage Properties* state that Ministries and prescribed public bodies shall apply the criteria in O. Reg. 10/06 to determine whether a property is of provincial significance. Therefore, for the purpose of this CHER O. Reg 10/06 considers the evaluation of the property as a part of the provincial context. If the property meets the criteria, it may be considered a Provincial Heritage Property of Provincial Significance (PHPPS). The application of the criteria for 662 King Street East is in Table 3-1, below.

Table 3-1: O.Reg. 10/06 Evaluation for 662 King Street East

Criterion	Response (Yes/No)	Rationale
1. The property represents or demonstrates a theme or pattern in Ontario's history.	No	662 King Street East does not represent a theme or pattern in Ontario's history. Commercial and residential structures similar to this are found throughout towns and cities in Ontario.
2. The property yields, or had the potential to yield, information that contributes to an understanding of Ontario's history.	No	662 King Street East does not yield, and is not anticipated to yield information that contributes to an understanding of Ontario's history.
3. The property demonstrates an uncommon, rare, or unique aspect of Ontario's cultural heritage.	No	662 King Street East does not demonstrate an uncommon, rare, or unique aspect of Ontario's cultural heritage. The form and massing of the structures are commonly found in Ontario.
4. The property is of aesthetic, visual, or contextual importance to the province.	No	662 King Street East property is not of aesthetic, visual, or contextual importance to the province.
5. The property demonstrates a high degree of excellence or creative, technical, or scientific achievement at a provincial level in a given period.	No	662 King Street East does not demonstrate a high degree of excellence or creative, technical, or scientific achievement at a provincial level.

Criterion	Response (Yes/No)	Rationale
6. The property has a strong or special association with the entire province or with a community that is found in more than one part of the province.	No	662 King Street East does not have a strong or special association with the entire province or with a community that is found in more than one part of the province.
7. The property has a strong or special association with the life or work of a person, group or organization of importance to the province or with an event of importance to the province.	No	662 King Street East does not have strong or special associations with the life or work of a person, group, or organization of importance to the province or with an event of importance to the province.
8. The property is located in an unorganized territory and the Minister determines that there is a provincial interest in the protection of the property.	No	662 King Street East is not located in an unorganized territory.

4. Recommended Outcome of Evaluation

The application of O.Reg 9/06 and O.Reg. 10/06 concluded that 662 King Street East did not meet any of the nine O.Reg. 9/06 or O.Reg. 10/06 criteria. Therefore, this CHERR recommends that the property at 662 King Street East is not considered a Provincial Heritage Property (PHP).

As a result, a Statement of Cultural Heritage Value or Interest and Heritage Attributes has not been prepared for this property.



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Cultural Heritage Evaluation Report 668 King Street East, Hamilton, Ontario

**Prepared by AECOM
for Metrolinx**

February 10, 2017

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Revision History

Revision #	Date	Revised By:	Revision Description
0	02/10/2017	C. Latimer	Draft to Metrolinx

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1. Executive Summary

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The Hamilton LRT Project B-Line alignment extends from McMaster University at Cootes Drive to the Main Street/Highway 403 Bridge. A proposed LRT-only bridge will allow the alignment to then extend along King Street West until King East Street intersects with Main Street East, where the alignment will continue along Main Street East to the Queenston Road traffic circle. As a part of the project, it is anticipated that building impacts may take place on the property at 668 King Street East.

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As part of the reporting requirements for the Hamilton LRT Project, Archaeological Services Inc. (ASI) undertook a Cultural Heritage Screening Report (CHSR) for the alignment. The CHSR identified the requirement to conduct a CHER for the property located at 668 King Street East to assess the potential cultural heritage value or interest of the properties. Where applicable, relevant background information has been utilized from the CHSR for project consistency.

The property located at 668 King Street East consists of an irregularly shaped lot on the southwest corner of the intersection of King Street and Wentworth Street South, in Hamilton, Ontario. The structure on the property is a former bank building that was purpose-built for the Dominion Bank in the 1920s.

Hamilton City Directories indicate that the existing bank building was constructed in 1922 and occupied both of the previous properties (666 and 668 King Street East). The design drawings by architect Ralph K. Shepard are dated 1921.¹ By 1923, the Dominion Bank was listed as occupying the building. The bank occupied the southwest corner of King Street East and Wentworth Street South for the majority of the 20th century, becoming the Toronto Dominion Bank in 1955.

¹ *Toronto Dominion Bank, Premises Dept. S.W. Region, cited by Robert G. Hill, Biographical Dictionary of Architects in Canada, <http://dictionaryofarchitectsincanada.org/node/1933> (accessed 9 February 2017)*

A field review of the privately owned property at 668 King Street East was undertaken on January 12, 2017 and February 3, 2017 by Michael Greguol and Emily Game of AECOM. An assessment was not completed on the interior of the structures due to the timing constraints for the TPAP Amendment.

The bank building located at 668 King Street East consists of a tall single storey bank building, a modest design in the Classical tradition, which was popularly used for commercial and institutional buildings. This specific design derives architectural details from other classicist trends including Art Deco and Beaux Arts which are partially hidden by the stucco finish on the exterior of the building.

2. Introduction

2.1 Historical Summary

2.1.1 Context

The subject property is located within the municipal boundaries of the City of Hamilton, Ontario. Prior to the incorporation of the current municipality, the property was located within the boundaries of Barton Township, in Wentworth County.

2.1.2 Wentworth County

As part of the establishment of Upper Canada, the province was divided into administrative Districts in 1792. As such, Wentworth County was one of several counties that made up the Home District. It was named in honour of Sir John Wentworth, Lieutenant Governor of Nova Scotia from 1792-1808. In 1816, the Home District was divided and reorganized and Wentworth County was included in the Gore District. By 1849, the original district system was abolished and replaced by a county council system and Wentworth County became an independent political entity. Townships that were included in Wentworth County at one time or another included Ancaster, Barton, Beverly, Binbrook, Caistor, Flamborough East and West, Glanford, Onondaga, Saltfleet, and Seneca. Between 1850 and 1854, Wentworth and Halton Counties were joined for government purposes into the United Counties of Wentworth and Halton; however, this change was short-lived. In 1973, Wentworth County was renamed the Regional Municipality of Hamilton-Wentworth and, in 2001, was amalgamated with six constituent municipalities into the City of Hamilton. The City of Hamilton has remained as the administrative seat or county town since the original creation of the Gore District nearly two centuries ago.

2.1.3 Barton Township

Barton Township is described in detail in the *Illustrated Historical Atlas of the County of Wentworth of 1875*. The Township of Barton was surveyed in 1791 by Augustus Jones using the Single-Front survey system used by the colonial government between 1783 and 1818.² The survey was made up of concessions separated by road allowances. The concession was divided into lots of 200 acres and sideroad allowances were surveyed after every fifth lot. The first settlers arrived in Barton Township in 1791, many of whom were United Empire Loyalists or disbanded troops. The settlement of Barton Township began slowly, with only 102 families living in the township by 1815; most of the settlement was concentrated at the foot of the Niagara Escarpment. The township continued to grow and by 1823 it contained one sawmill and three gristmills. By 1841, the population grew to 1,434.³ Barton Township was later amalgamated into the Regional Municipality of Hamilton-Wentworth, which amalgamated with the “old” city as the City of Hamilton in 2001.

² Smith, William H. *Smith's Canadian Gazetteer*. Toronto: H. & W. Roswell. 1846.

³ Boulton, D'Arcy. *Sketch of His Majesty's Province of Upper Canada*. London: C. Rickaby. 1805. pp. 48-49.

2.2 Description of Property

The property located at 668 King Street East consists of an irregularly shaped lot on the southwest corner of the intersection of King Street and Wentworth Street South, in Hamilton, Ontario. The structure on the property is a former bank building that was purpose-built for the Dominion Bank in the 1920s. The bank building continued to function as a bank throughout the 20th century, becoming the Toronto Dominion Bank in 1955, and then occupied by a printing service in the early-21st century (Figure 2).

The scale and massing of the bank building on the property has remained relatively unaltered from its original construction. The building has occupied the corner lot with frontage that extends on both King Street East and Wentworth Street South. The exterior of the building has undergone some alterations in that its facades along both streets have been stuccoed and painted. It is likely that the brick that is visible on the parapet walls of the building was covered in the late-20th or early-21st century by the existing stucco finish on the structure. Until recently, the upper level of the building above the white section of wall was also covered with an exterior panelling that created a metallic waffle-like pattern on the structure. Online street imagery indicates that it was removed in 2016 to expose the brick components of the exterior as well as the concrete cornice that wraps around the building.

2.3 Current Context

The property is situated on the south side of King Street East, on the eastern outskirts of downtown Hamilton. The bank building is one of a series of structures located on the south side of King Street that appear to have been built in the early-20th century. Although the properties appear to have all been developed in the same period, the bank building at 668 King Street East is the only property that has not historically included residential premises as well as commercial purposes. The adjacent properties, both on the north side of King Street as well as the properties to the west, contain structures that have been used for commercial uses on the ground floor and residential space above. Much like the property located on the northwest corner of King Street East and Wentworth Street, the structure located at 668 King Street East makes up a significant component of the streetscape at this intersection. Wentworth Street forms a boundary between the largely late-19th early-20th century character in the block to the west from an open, parking-lot dominated streetscape to the east.

3. Methodology and Sources

3.1 Study Approach

This CHER was prepared in accordance with Metrolinx's *Interim Cultural Heritage Management Process* (Fall 2013) and the MTCS *Standards and Guidelines for the Conservation of Provincial Heritage Properties* (2010). The CHER was also undertaken according to the guidelines presented in the Metrolinx document, *Draft Terms of Reference for Consultants: Cultural Heritage Evaluation Report and Cultural Heritage Evaluation Report Recommendations* (April 2016) and outlined in the following tasks:

- Research and Documentation Gathering – gathered from various sources including existing heritage studies, Metrolinx records, public archives, and published materials;
- Writing – an illustrated report based on gathered background history and site investigation materials, and the application of O.Reg. 9/06 and 10/06; Evaluation, Recommendations, and Statement of Cultural Heritage Value – a summary of the applicable evaluation, and recommendations regarding whether the property meets the criteria for being a provincial heritage property, a provincial heritage property of provincial significance, or neither.

As outlined in the Draft Terms of Reference, the heritage evaluation is separated into two stand-alone components: a CHER and a CHERR. The Cultural Heritage Evaluation Report includes research conducted for the CHER and is intended to address the criteria set out in O.Reg. 9/06 and 10/06. The CHERR includes the results of the applied evaluation, and the recommended outcome of the evaluation.

Michael Greguol, Cultural Heritage Specialist, and Emily Game, Heritage Researcher for AECOM, conducted a site investigation to visually inspect and document the property on January 12, 2017 and February 3, 2017.

3.2 Secondary Sources

A series of secondary sources were reviewed for the purposes of data collection and analysis as part of the CHER. The relevant guidelines and reference documents cited above served as a framework for undertaking the study. The *Hamilton Light Rail Transit Cultural Heritage Screening Report, City of Hamilton, Ontario* (CHSR) prepared by ASI in December 2016, provided a preliminary review of the rail corridor and the potential heritage properties identified along the corridor. Background information and applicable research was gathered from the report for the purposes of the CHER. In addition, a series of published materials including published histories pertaining to the history of Hamilton were consulted. A complete list of the sources reviewed for the report is contained in Section 15 (Bibliography).

3.3 Primary Sources

Where available, primary source material was consulted to provide a historical context for the evaluation of the potential heritage value of the property. Primary source research was undertaken at the Local History and Archives Department of the Hamilton Public Library, the Mills Memorial Library at McMaster

University, and at the Map and Data Centre at the University of Western Ontario. A review of the following primary sources aided in the evaluation of the structures at 668 King Street East:

- Illustrated Historical Atlas of the County of Wentworth, 1875;
- Hamilton City Directories, issues 1920-1970;
- Fire Insurance Plans, 1911, 1927 revised 1933, and 1964; and,
- National Topographic Series, 1909-1938.

3.4 Consultations

As part of the identification of recognized and potential cultural heritage resources for the CHSR, ASI undertook consultation with the City of Hamilton, the Ontario Heritage Trust (OHT) and the MTCS. Consultation during the CHSR process took place between August and October, 2016.

As part of this CHER, AECOM undertook property-specific consultation with the same municipal and provincial staff and agencies in order to identify or confirm any existing heritage recognitions or interest in this subject property.

The following individuals and organizations were consulted:

- Thomas Wicks, Heritage Planner, OHT;
- Chelsey Tyers, Cultural Heritage Planner, City of Hamilton;
- Asyia Patel, Assistant Cultural Heritage Planner, City of Hamilton; and,
- Rosi Zirger, Heritage Planner, MTCS.

The results of the consultation efforts have been summarized in Section 7 (Community Input).

4. Heritage Recognitions

4.1 Municipal

As a review of applicable municipal heritage recognitions for the property or adjacent properties, AECOM reviewed the City of Hamilton's heritage inventories. The following inventories and registers were reviewed:

- *Hamilton's Heritage Volume 1: List of Designated Properties and Heritage Conservation Easements under the Ontario Heritage Act*, and,
- *Hamilton's Heritage Volume 2: Inventory of Buildings of Architectural and/or Historical Interest*.

In addition, consultation efforts were undertaken to confirm levels of municipal heritage recognition, if any. The property was identified in the December 2016 CHSR as not being subject to any heritage recognitions. However, consultation with the City of Hamilton in January and February 2017 confirmed that the property is now listed on the City's *Inventory of Buildings of Architectural and/or Historical Interest*.

4.2 Provincial

As a review of applicable provincial heritage recognitions for the property or adjacent properties AECOM reviewed the OHT's Provincial Plaque Guide, and list of OHT easements. The property at 668 King Street East is neither the subject of a provincial plaque nor a provincial easement. In addition, OHT staff was contacted to review the Ontario Heritage Act Register to confirm that the property is not included on the register and that an OHT easement does not exist for the property.

A response from Thomas Wicks, Heritage Planner for the OHT is pending.

4.3 Federal

As a review of applicable federal heritage recognitions for the property or adjacent properties, AECOM reviewed the online searchable database for the Canadian Register of Historic Places as well as the Directory of Federal Heritage Designations. 668 King Street East and the adjacent properties are not subject to any existing federal heritage recognitions.

5. Adjacent Lands

The properties adjacent to 668 King Street East consist primarily of the three-storey multi-use apartment building located at 662-664 King Street East. Much like the bank building, the commercial and residential building built in 1910 at 662-664 King Street East has been a part of the streetscape of this block since the early-20th century. To the south, the parking lot portion of 668 King Street East separates the bank building from 16 Wentworth Street South, a residential property that contains a pre-1911 two-storey Queen Anne, Bay-and-Gable structure. A row of similar residential buildings extends south on Wentworth Street, briefly interrupted by a muffler shop, almost to Main Street East.

On the north side of the King Street East, the three-storey, brick commercial and residential building at 665-667 King Street East also forms a substantial component of the streetscape character at this intersection. A single-storey fast food restaurant with no potential cultural heritage value is located on the east side of Wentworth Street South.

Consultation with the City of Hamilton indicated that the adjacent property, 662-664 King Street East, is listed on the City's *Inventory of Building of Architectural and/or Historical Interest*.

6. Archaeology

ASI completed a Stage 1 Archaeological Assessment (AA) as part of the Rapid Transit Initiative and found that the property at 668 King Street East did not retain archaeological potential and confirmed that no known archaeological assessments have previously been completed within 50 metres (m) of the property. Consequently, at the time of production of the ASI report, no archaeological sites had been identified within or adjacent to the property; however, the ASI Stage1 AA indicates that there is a small area of land that retains archaeological potential within 50 m of 668 King Street East at the northeast corner of the intersection of King Street East and Wentworth Avenue.

The results of the Stage 1 AA determined that a Stage 2 AA must be conducted for all land identified as retaining archaeological potential that will be impacted by the proposed Rapid Transit Initiative. Based on this assessment, ASI made the following recommendations:

- The King Street East right-of-way (ROW) does not retain archaeological potential due to previous land disturbance. An additional AA is not required within the ROW and those portions of the study corridor can be cleared of further archaeological concern; and,
- A Stage 2 AA should be conducted on lands determined to have archaeological potential if the proposed project is to impact these lands. This work must be done in accordance with the MTCS' *Standards and Guidelines for Consultant Archaeologists* (Ontario Government 2011) in order to identify any archaeological remains that may be present.

It should be noted that ASI's recommendations for Stage 2 archaeological work references the MCL's 2006 draft *Standards and Guidelines for Consultant Archaeologists* (MCL 2006); however, further Stage 2 archaeological work must now be conducted in accordance with current archaeological standards and guidelines (*Standards and Guidelines for Consultant Archaeologists*, Ontario Government 2011) . For complete details regarding the results of the Stage 1 AA, reference should be made to the *Stage 1 Archaeological Assessment, Rapid Transit Initiative, City of Hamilton, Ontario* (February 2009).

7. Community Input

As part of the consultation process for this report, AECOM undertook consultation with the City of Hamilton, the MTCS, and the OHT. The results of the consultation efforts are identified below in Table 7-1.

Table 7-1: Community Input and Consultation Undertaken for 668 King Street East

Contact	Contact Information	Date	Notes
Chelsey Tyers, Heritage Planner City of Hamilton	905-546-2424 ext. 1202 chelsey.tyers@hamilton.ca	February 1, 2017 February 6, 2017 (Response)	The City of Hamilton confirmed that 668 King Street East is listed on the City's <i>City's Inventory of Building of Architectural and/or Historical Interest</i> .
Asiya Patel Assistant Cultural Heritage Planner City of Hamilton	905-546-2424 ext. 7163 asiya.patel@hamilton.ca		
Thomas Wicks Heritage Planner Ontario Heritage Trust	416-314-5972 thomas.wicks@heritagetrust.on.ca	February 1, 2017	Response pending.
Rosi Zirger Heritage Planner Ministry of Tourism, Culture, and Sport	416-314-7159 rosi.zirger@ontario.ca	February 1, 2017	Response pending.

8. Discussion of Historical or Associative Value

8.1 Historic Theme/Cultural Pattern

8.1.1 *Transportation*

The earliest roads in Ontario were typically military roads or colonization roads. These roads often followed aboriginal hunting trails or were dictated by the topography of the land which they crossed. The Dundas Road was opened to connect Toronto with the Thames River, in what is now London, Ontario, and the Kingston Road was designed to provide a military link between Toronto and Kingston. The Kingston Road was one of the earliest and still functioning roads in southern Ontario.

Following the Crown surveys in Ontario, concession and side roads were opened on a grid that was dictated by the survey type that was used. The roads were cleared and made passable by the early land owners who built their dwellings adjacent to the concession roads. Despite being cleared, road conditions were often poor until the late 19th and early 20th centuries.

Railway transportation, both passenger and freight, greatly improved the transportation network in Ontario beginning in the mid-1800s. The opening of the Grand Trunk Railway (GTR) between Montreal and Toronto in 1856 provided a link between the two cities and provinces that was more easily travelled in comparison to mid-19th century roads. The construction of the route from Montreal to Toronto, and then on to Samia by the end of the 1860s resulted in the construction of significant structures such as the Victoria Bridge over the St. Lawrence River, and the St. Clair Tunnel in Samia. The GTR was designed to enhance the St. Lawrence-Great Lakes shipping routes in response to the railroads and shipping networks in the United States. As a result it also strengthened the connection and link between the townships, and municipal and provincial economies in Ontario.

Various railway companies were formed in Ontario to create a vast network of rail lines that spread throughout the province by the early-20th century. Nonetheless, most of the companies were eventually merged with or purchased by the Canadian National Railway (CN) or the Canadian Pacific Railway (CP).

In 1873, the City of Hamilton incorporated the Hamilton Street Railway (HSR); the horse-drawn streetcar service began in May 1874 with six operating cars. The line extended along three miles of track from the GTR's passenger station east along Stuart Street South to James Street. The line travelled south to Gore Park and then east along King Street to Wellington Street. Due to popularity of the service, additional cars were added and the track was extended. New track was laid west along King Street to Locke Street and east to Wentworth Street.

The electrification process of the HSR began in March 1892. A total of 12 miles of track were electrified and 15 horsecars were converted to electric street cars. Operation of the newly-electrified cars began on June 29, 1892.

At the end of the Second World War the HSR sold the lines to Canada Coach for \$1.4 million. Immediately following the sale, Canada Coach announced plans to replace the street car service with buses. By 1951, the last street car was removed from service and replaced by electric trolley buses.

The proposed LRT B-Line follows the old streetcar route from King Street near McMaster University to Sherman Avenue; it turned south onto Sherman Avenue and then continued east on Main Street to Kenilworth Avenue North.

The present-day Hamilton transit company operates under the name of Hamilton Street Railway Company.

8.2 Local History

668 King Street East is located within the City of Hamilton, Ontario. Historically the structure was located on what was Lot 11, Concession II, Barton Township in Wentworth County. The subsections below include historic information related to the settlement and growth of these areas.

8.2.1 Settlement History

As part of the establishment of Upper Canada, the province was divided into administrative Districts in 1792. As such, Wentworth County was one of several counties that made up the Home District. It was named in honour of Sir John Wentworth, Lieutenant Governor of Nova Scotia from 1792-1808. In 1816, the Home District was divided and reorganized and Wentworth County was included in the Gore District. By 1849, the original district system was abolished and replaced by a county council system and Wentworth County became an independent political entity. Townships that were included in Wentworth County at one time or another included Ancaster, Barton, Beverly, Binbrook, Caistor, Flamborough East and West, Glanford, Onondaga, Saltfleet, and Seneca. Between 1850 and 1854, Wentworth and Halton Counties were joined for government purposes into the United Counties of Wentworth and Halton; however, this change was short-lived. In 1973, Wentworth County was renamed the Regional Municipality of Hamilton-Wentworth and, in 2001, was amalgamated with six constituent municipalities into the City of Hamilton. The City of Hamilton has remained as the administrative seat or county town since the original creation of the Gore District nearly two centuries ago.

Barton Township is described in detail in the *Illustrated Historical Atlas of the County of Wentworth of 1875*. The Township of Barton was surveyed in 1791 by Augustus Jones using the Single-Front survey system used by the colonial government between 1783 and 1818. The survey was made up of concessions separated by road allowances. The concession was divided into lots of 200 acres and sideroad allowances were surveyed after every fifth lot. The first settlers arrived in Barton Township in 1791, many of whom were United Empire Loyalists or disbanded troops. The settlement of Barton Township began slowly, with only 102 families living in the township by 1815. Most of the settlement was concentrated at the foot of the Niagara Escarpment. The township continued to grow and by 1823 it contained one sawmill and three gristmills. By 1841, the population had grown to 1,434.

8.2.2 Site History

668 King Street East was historically located in the southeast part of Lot 11, Concession II in Barton Township when the crown survey for the township was undertaken. By 1875, the lot was already subdivided as part of the urbanization of Hamilton. Individual structures were not shown on the mapping material at the time; however it is likely that urban development was beginning to take place within the

area. At the time, the lot on which the subject property is located extended from King Street East to Main Street, and west from Wentworth Street for 185 m (Figure 3), an area of 3.35 ha.

At the start of the 20th century, historic topographic mapping and Fire Insurance Plans indicate that the block on which the existing property is located was already heavily developed. Prior to 1911, two separate buildings were located at this location, likely built in the late-19th or early-20th century. In 1911, the properties are depicted on Fire Insurance Plans as separate two-storey brick buildings, at the time occupied by a fruit grocer, and a pharmaceutical business. The businesses at these locations appeared to change regularly, much like elsewhere in the City. By 1920, the two properties were the location of a fish grocer and a stationery store. Aside from the footprints of the building, historic photographs or drawings of the former buildings on this property could not be located (Figure 4 and Figure 5).

The original drawings in the archives of the Toronto Dominion Bank are dated 1921.⁴ Hamilton City Directories indicate that the existing bank building was constructed in 1922 and occupied both of the previous properties (666 and 668 King Street East). By 1923, the Dominion Bank was listed as occupying the building. Unlike the previous businesses at this address, the bank occupied the southwest corner of King Street East and Wentworth Street South for the majority of the 20th century. Historic photographs related to the bank building could not be located. The Dominion Bank merged with the Toronto Bank in 1954, and launched as the Toronto-Dominion Bank in 1955.

In the late-20th century, the bank became one of a series of banks that were targeted for robberies in Hamilton. In September 1992, *The Spectator* covered a story that identified five bank robberies within a two week period, one of which was at the subject property. A few months later in January, 1993 the bank was targeted again for another robbery. Again in June and August of 1996, the bank was robbed on two separate occasions. Perhaps the most publically covered case was the August 1996 robbery in which a suspect, identified at the "Lunchtime Bandit" was arrested in connection with six separate robberies in Hamilton, all taking place in the middle of the day throughout the month of August. Two of the six robberies were at the 668 King Street bank.⁵

Most recently, the property at 668 King Street East was occupied by Inneract Printing Ltd., a printing company that occupied the building for the majority of the early-21st century. Online imagery indicates that by April 2014 the business no longer occupied the building and the building has remained vacant since then.

8.3 Person/Event/Organization

8.3.1 *Ralph K. Shepard*

Ralph K. Shepard was identified as the architect of the Dominion Bank building. Little biographical information is available related to Shepard; however, it is known that he was active as an architect in Ontario between 1912 and 1933 (his death), where he was part of the firm of Shepard and Calvin. The vast majority of his work took place in Toronto, where he designed buildings for the University of Toronto, the Bank of British North America (2234 Queen St. E., Toronto), the Toronto Conservancy of Music, the Bank of Montreal (2448 Lakeshore Blvd., Mimico), as well as a number of residences and houses. Outside of Toronto, he designed Carnegie libraries, banks, college buildings, and churches in other

⁴ *Toronto Dominion Bank, Premises Dept. S.W. Region, not available for viewing; cited by Robert G. Hill, Biographical Dictionary of Architects in Canada, <http://dictionaryofarchitectsincanada.org/node/1933> (accessed 9 February 2017)*

⁵ *The Hamilton Spectator, 1992-1996.*

Ontario municipalities including Simcoe, Watford, Oakville, Niagara Falls, Kingston, North Bay, and Hamilton. The Dominion Bank at 668 King Street East was his only project within the City of Hamilton. In addition, it appears to be his only commission for the Dominion Bank.⁶

Although he was not a widely known architect, his work provided solid, well-designed examples of their architectural types, and their role in contributing to the street character of the early 20th urban environment.

⁶ "Shepard, Ralph K.," in *Biographical Dictionary of Architects in Canada, 1800-1950*, www.dictrionaryofarchitectsincanada.org accessed February 8, 2017.

9. Discussion of Design or Physical Value

9.1 Style/Type/Tradition

The bank building located at 668 King Street East consists of a tall single storey bank building, designed in a modest Classical style. The form and style was popularly used for commercial and institutional buildings, however, this specific design borrows architectural details from other styles including Art Deco and Beaux Arts styles, which are partially hidden from the parging/stucco finish on the exterior of the building.

The exterior of the building fronts onto both King Street East and Wentworth Street South, as well as a short angled façade that faces the intersection of the two streets. The fenestration on the building is one of the dominant details as the main exterior walls are punctuated with six large arched plate glass windows that extend from ground level to just below the entablature. The original glazing of the structure has been changed; however, it is likely that windows were historically steel frame windows.

Remnants and hints of architectural details on the structure are most evident along the entablature, and the parapet of the building on all of the publically-visible facades. Along both the King Street East façade, and the Wentworth Street South façade, several rows of brick are evident in the parapet walls extending above the entablature. The brick in the parapet is interrupted at corners and periodically along the Wentworth Street South portion of the building with concrete panels that correspond with small decorative panels in the frieze and gaps in the lead flashing. This indicates a classical façade design using pilasters to articulate a formal composition. On the east façade, the three central openings are two large, round-headed windows flanking a doorway of the same shape and size. At either end is a slightly smaller window that would have been framed by pilasters, probably standing on a base course that would have extended around the building. The gaps in the flashing located above the stucco hints at the possibility that when the recent exterior finish was applied, the details of the pilasters were covered or removed. The east façade would thus be symmetrical with a central bay containing the entrance flanked by large windows, and a bay defined by pilasters projecting slightly from the centre bay, at each end of the wall.

The north façade on King Street East was a variation on the end bays, comprising a single, much larger window framed by pilasters. Details of the corner entrance are impossible to discern in the current state of the building.

The most visible remaining architectural details are located within the entablature that extends along each façade. Just below each concrete panel in the parapet is a small rectangular panel that includes a classical motif, a key design component in both the Beaux Arts and Art Deco styles. In addition, the lettering of "THE TORONTO-DOMINION BANK" on the King Street East and Wentworth Street South is a visual reminder of its previous function and prominence on this corner. Lettering of this nature is typically found on large commercial and institutional buildings from the early-20th century. It is also likely that the lettering was later added to the building, or was updated as the Dominion Bank merged with the Bank of Toronto in 1955 to become the Toronto-Dominion Bank.

9.2 Function

The building located at 668 King Street East was designed primarily for commercial purposes. It functioned as a bank from 1922 until the branch closed in either the late-20th or the early-21st century. Since then, it was home to a printing company in the early-21st century, and has remained vacant since 2014.

9.3 Fabric

The structure at 668 King Street East is constructed of a mix of brick and concrete materials. Although barely visible today as a result of exterior modifications, the majority of the exterior was originally constructed of red brick with concrete details including window sills, pilasters, and entablature. The large plate glass windows are replacements of the steel frame windows that would have likely been the originals installed on the structure.

10. Discussion of Contextual Value

10.1 Social Meaning

The property located at 668 King Street East is an example of early-20th century commercial architecture that has borrowed design elements from the Beaux Arts and Art Deco styles of architecture. Although some architectural details are visible at the top of the building, the vast majority of the details have been covered by the extensive application of stucco on the exterior facades of the building. Nonetheless, the form and the details that are visible indicate that the structure is representative of early-20th century commercial and institutional bank buildings.

10.2 Environment

The property located at 668 King Street East is one of a series of older buildings located along this portion of King Street in Hamilton. Specifically, the property forms a corner property and the building plays a role in defining the corner of this block. To the west, a series of buildings ranging in dates from 1910 to the 1930s are present. In addition, the north side of the street is populated with a variety of buildings of differing ages and architectural styles and forms.

10.3 Formal Recognition

The property was identified in the December 2016 CHSR as not being subject to any heritage recognitions. However, consultation with the City of Hamilton in January and February 2017 confirmed that the property is now listed on the City's *Inventory of Building of Architectural and/or Historical Interest*.

11. Data Sheet

Table 11-1: Data Sheet for 668 King Street East

FIELD	PROPERTY DATA
Municipal Address	668 King Street East
Municipality	Hamilton
Approximate Area (square metres)	728
Rail Corridor	Hamilton LRT B-Line
PIN	171800228
Ownership	Private
Aerial photo showing location and boundaries	
Exterior, street-view photo	
Date of construction of built resources (known or estimated and source)	1922 (Hamilton City Directories)

FIELD	PROPERTY DATA
Date of significant alterations to built resources (known or estimated and source)	Unknown
Architect/designer/builder	Ralph K. Shepard, (Architect) Shepard and Calvin
Previous owners or occupants	Toronto-Dominion Bank, Inneract Printing
Current function	Vacant
Previous function(s)	Dominion Bank
Heritage Recognition/Protection (municipal, provincial, federal)	Listed on the City's <i>Inventory of Building of Architectural and/or Historical Interest</i> .
Local Heritage Interest	Listed on the City's <i>Inventory of Building of Architectural and/or Historical Interest</i> .
Adjacent Lands	Immediately to the west, 662 King Street East is listed on the City's <i>Inventory of Building of Architectural and/or Historical Interest</i> .
Latitude or UTM Northing	43.251930°
Longitude or UTM Easting	-79.849229°

12. Photographs



Photograph 1: View looking south showing King Street East facade and angled facade at the intersection (AECOM, 2017)



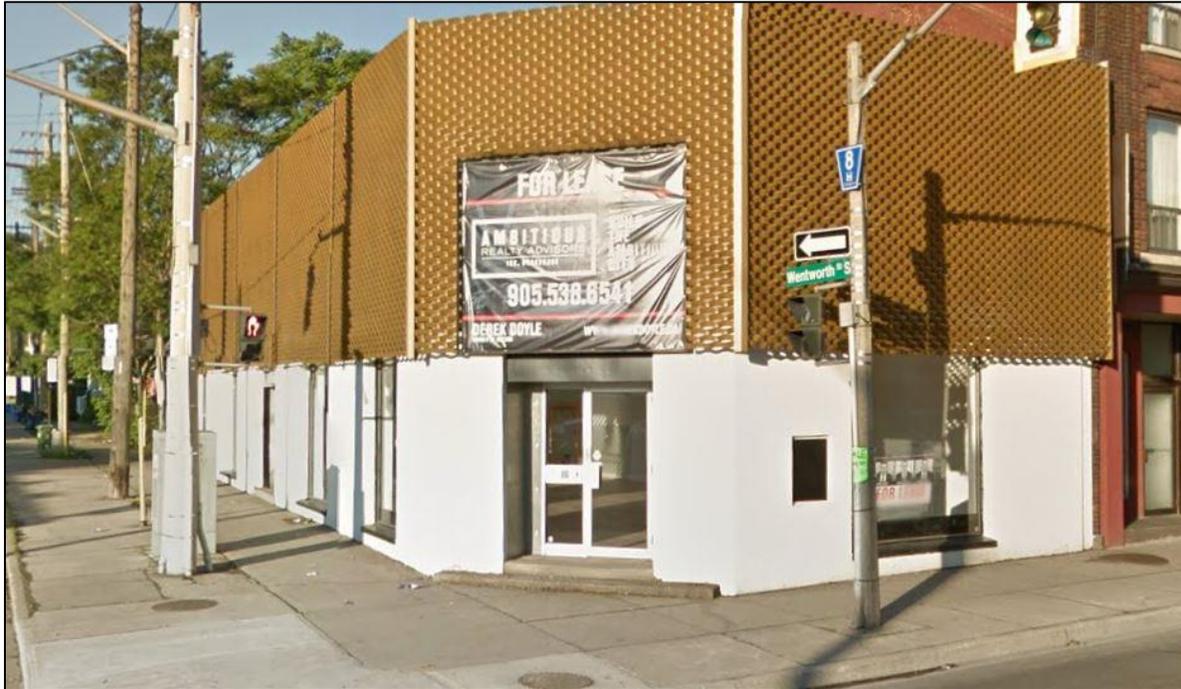
Photograph 2: View showing King Street East facade, arched plate glass windows and lettering within the entablature (AECOM, 2017)



Photograph 3: View showing the east façade on Wentworth Street South including series of arched plate glass windows (AECOM, 2017)



Photograph 4: View showing motifs located below the concrete panels in the parapet wall. It is likely that below these motifs, pilasters divided the façade into bays to articulate a formal composition (AECOM, 2017)



Photograph 5: Online street imagery capture showing previous exterior cladding installed on the exterior of the building. It appears to have been installed as early as 2007 and was only removed in 2016 (Google Street Imagery, 2016)

13. Figures

All figures pertaining to this CHER can be found on the following pages.

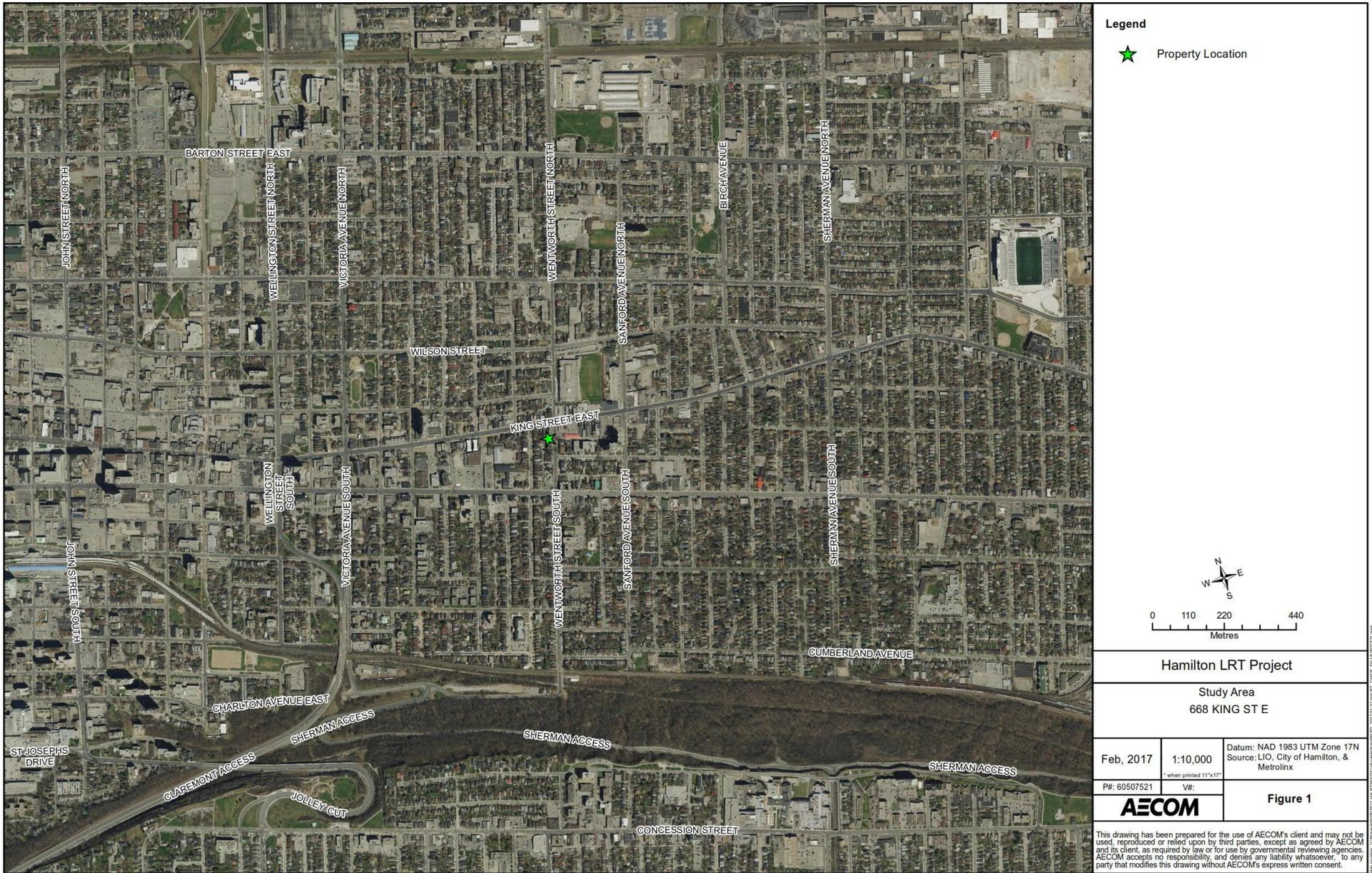


Figure 1: Location of 668 King Street East

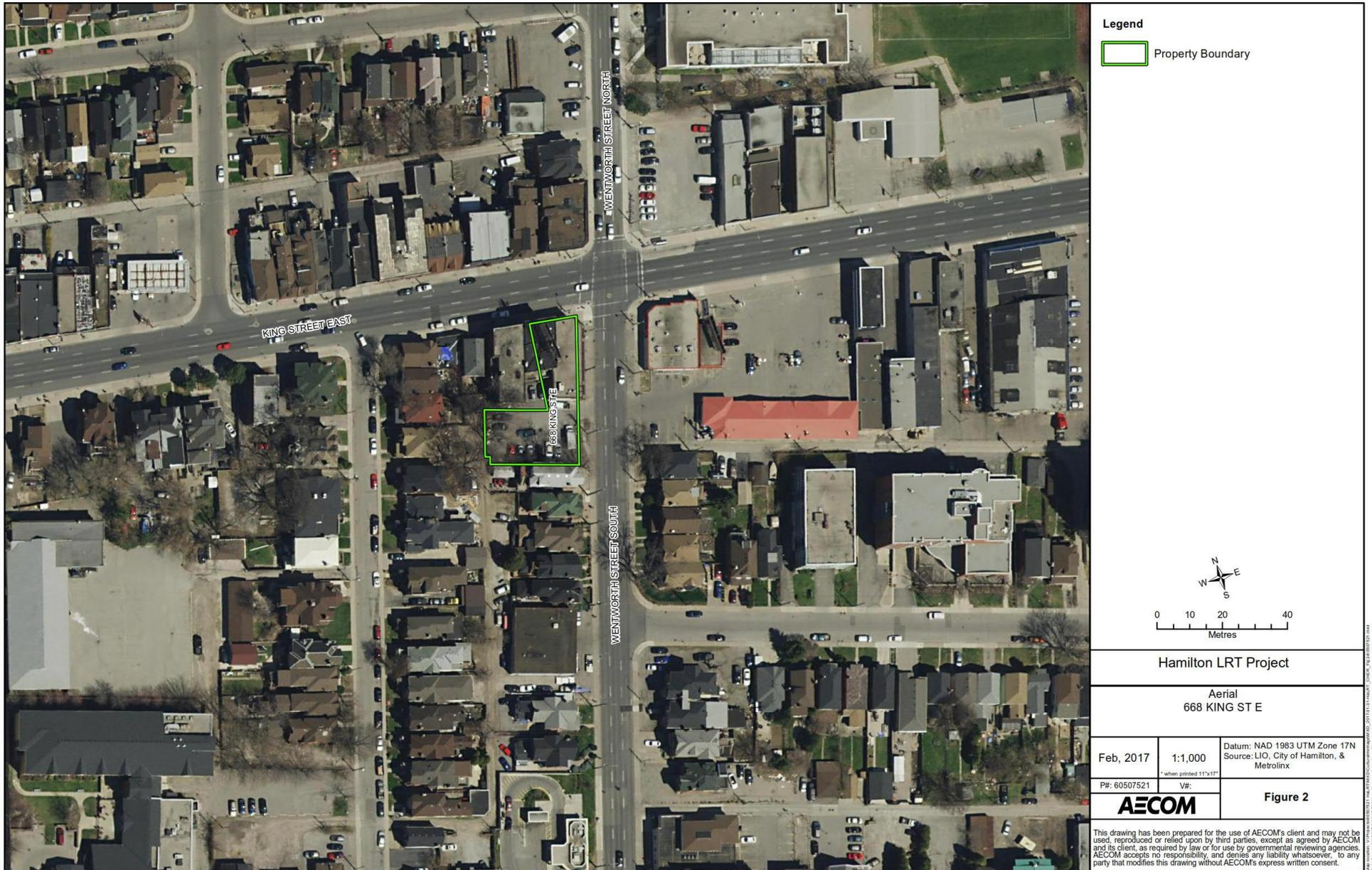


Figure 2: Aerial Photograph showing the area surrounding 668 King Street East

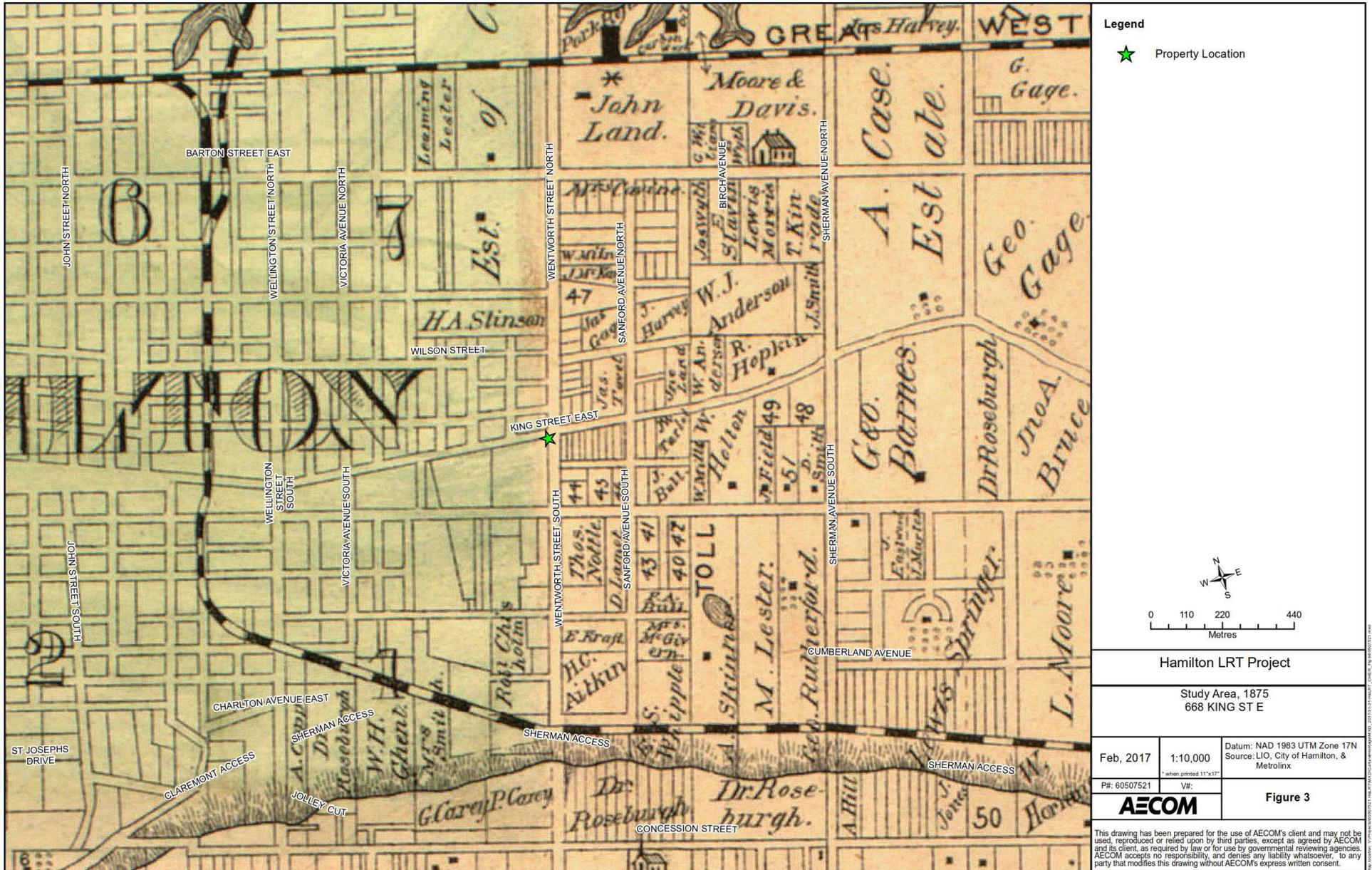


Figure 3: Location of 668 King Street East on the 1875 Historic Atlas Map (Page & Smith, 1875)

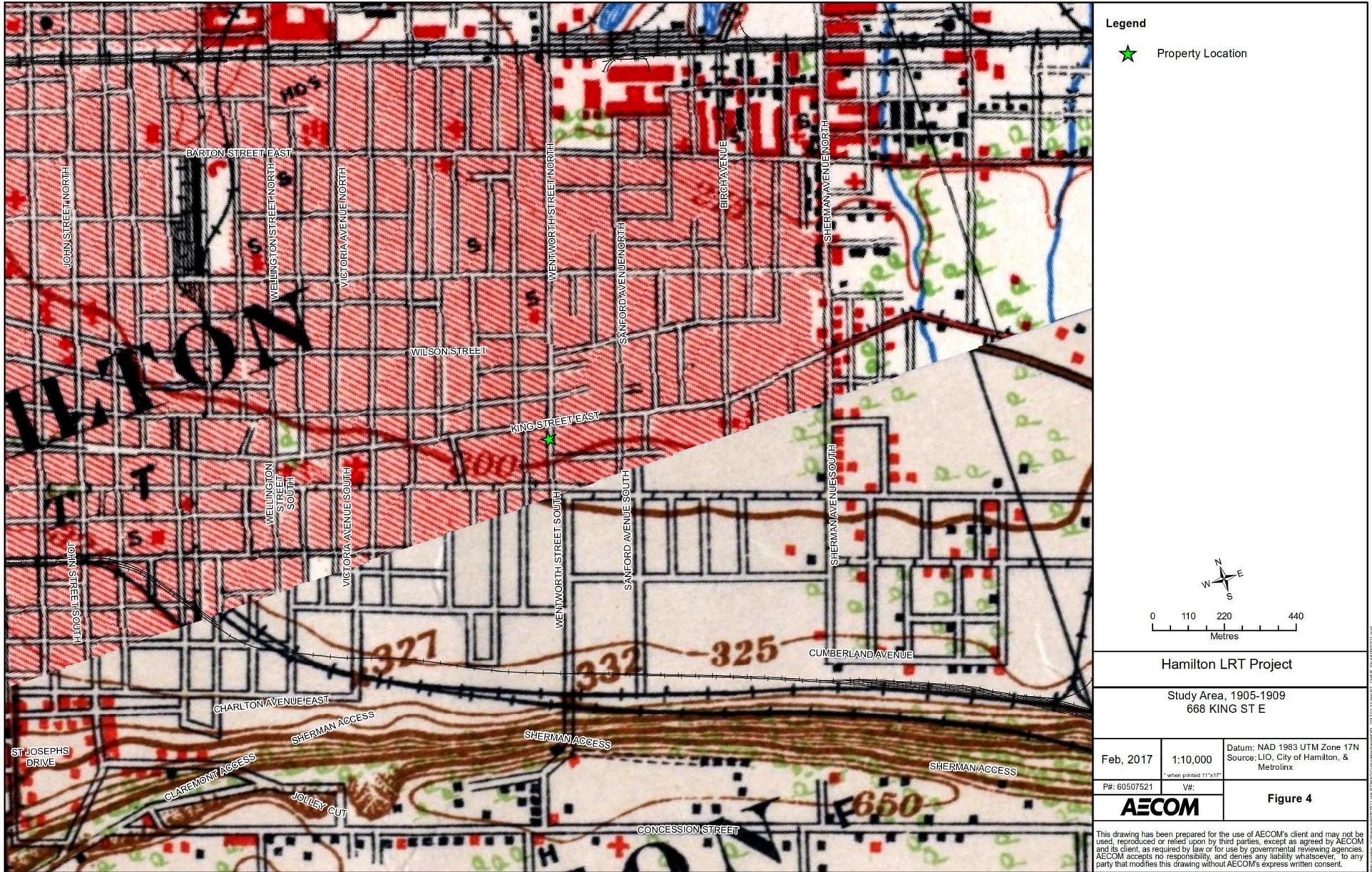


Figure 4: Location of 668 King Street East on the 1905 NTS Map



Figure 5: Location of 668 King Street East on the 1938 NTS Map

14. Chronology

- | | |
|-------|---|
| 1791 | Barton Township was surveyed by Augustus Jones; the first settler arrived in the township. |
| 1792 | Province of Upper Canada divided into administrative districts. |
| 1816 | Home District divided and reorganized. As part of the reorganization, Wentworth was reorganized and included within the Gore District. |
| 1850 | Gore District was divided and Halton and Wentworth Counties were created. |
| 1875 | Lot 11, Concession II is depicted as already subdivided for suburban development. Subject property is shown as on a large block that has since been further subdivided. |
| 1911 | Lots at 666 and 668 King Street East are shown as two separate buildings occupied by a fruit grocer and a pharmaceutical business. |
| 1922 | Hamilton City Directory indicates the presence of a new building at 668 King Street East. A year later is identified in the directories as the Dominion Bank. |
| 1955 | Dominion Bank and Bank of Toronto amalgamate to form the Toronto-Dominion Bank. |
| 1990s | Toronto-Dominion Bank branch at King Street and Wentworth Street is targeted several times as part of a series of bank robberies in Hamilton. |
| 2000s | Former bank building is home to Inneract Printing Ltd. for the first part of the 21 st century. As of 2014 it appears that the building has been vacant. |

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METROLINX

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Une agence du gouvernement de l'Ontario

Cultural Heritage Evaluation Report Recommendations 668 King Street East, Hamilton, Ontario

Prepared by AECOM
for Metrolinx

February 10, 2017

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Revision History

Revision #	Date	Revised By:	Revision Description
0	02/10/2017	C. Latimer	Draft to Metrolinx

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The attached Report (the "Report") has been prepared by AECOM Canada Ltd. ("AECOM") for the benefit of the Client ("Client") in accordance with the agreement between AECOM and Client, including the scope of work detailed therein (the "Agreement").

The information, data, recommendations and conclusions contained in the Report (collectively, the "Information"):

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- represents AECOM's professional judgement in light of the Limitations and industry standards for the preparation of similar reports;
- may be based on information provided to AECOM which has not been independently verified;
- has not been updated since the date of issuance of the Report and its accuracy is limited to the time period and circumstances in which it was collected, processed, made or issued;
- must be read as a whole and sections thereof should not be read out of such context;
- was prepared for the specific purposes described in the Report and the Agreement; and
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This Statement of Qualifications and Limitations is attached to and forms part of the Report and any use of the Report is subject to the terms hereof.

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1. Executive Summary

AECOM Canada Ltd. (AECOM) was retained by Metrolinx to complete a Cultural Heritage Evaluation Report (CHER) for the property at 668 King Street East, in the City of Hamilton, Ontario. This work is being completed as part of the Hamilton Light Rail Transit (LRT) Project.

The Hamilton LRT Project B-Line alignment extends from McMaster University at Cootes Drive to the Main Street/Highway 403 Bridge. A proposed LRT-only bridge will allow the alignment to then extend along King Street West until King East Street intersects with Main Street East, where the alignment will continue along Main Street East to the Queenston Road traffic circle. As a part of the project, it is anticipated that building impacts may take place on the property at 668 King Street East.

The project impacts will be assessed following the Transit Project Assessment Process (TPAP), as prescribed in Ontario Regulation (O. Reg.) 231/08, Transit Projects and Metrolinx Undertakings under the *Environmental Assessment Act*. As part of the TPAP Amendment, an Environmental Project Report (EPR) Amendment will be prepared for public review.

The CHER was prepared according to the Metrolinx Interim Cultural Heritage Management Process and utilizes the criteria in Ontario Regulation 9/06 and Ontario Regulation 10/06, as required by the Ministry of Tourism, Culture, and Sport's (MTCS) *Standards and Guidelines for the Conservation of Provincial Heritage Properties* (2010). In addition, the CHER was prepared according to the Metrolinx Draft Terms of Reference for Consultants: *Cultural Heritage Evaluation Report and Cultural Heritage Evaluation Report Recommendations*. As such the recommendations as they relate to this CHER and the potential cultural heritage value or interest of the property at 668 King Street East are contained in a separate Cultural Heritage Evaluation Report Recommendations (CHERR) document.

As part of the reporting requirements for the Hamilton LRT Project, Archaeological Services Inc. (ASI) undertook a Cultural Heritage Screening Report (CHSR) for the alignment. The CHSR identified the requirement to conduct a CHER for the property located at 668 King Street East to assess the potential cultural heritage value or interest of the property. Where applicable, relevant background information has been utilized from the CHSR for project consistency.

The property located at 668 King Street East consists of an irregularly shaped lot on the southwest corner of the intersection of King Street East and Wentworth Street South, in Hamilton, Ontario. The structure on the property is a former bank building that was built specifically for the Dominion Bank in the 1920s.

Hamilton City Directories indicate that the existing bank building was constructed in 1922 and occupied both of the previous properties (666 and 668 King Street East). By 1923, the Dominion Bank was listed as occupying the building. The bank occupied the southwest corner of King Street East and Wentworth Street South for the majority of the 20th century.

A field review of the privately owned property at 668 King Street East was undertaken on January 12, 2017 and February 3, 2017 by Michael Greguol and Emily Game of AECOM. An assessment was not completed on the interior of the structures due to the timing constraints for the TPAP Amendment.

The bank building located at 668 King Street East consists of a tall single-storey bank building, designed in a modest Classical style. The form and style was popularly used for commercial and institutional buildings; however, this specific design borrows architectural details from other styles including Art Deco and Beaux Arts styles, which are partially hidden from the stucco finish on the exterior of the building.

The application of O.Reg 9/06 and O.Reg. 10/06 concluded that 668 King Street East met two of the nine O.Reg. 9/06 criteria. However, it did not meet the criteria outlined in O.Reg. 10/06. Therefore, this CHERR recommends that the property at 668 King Street East be considered a Provincial Heritage Property (PHP).

2. Ontario Regulation 9/06 Evaluation

Ontario Regulation 9/06, Criteria for Determining Cultural Heritage Value or Interest (O. Reg. 9/06) provides criteria to apply to a potential heritage property to evaluate its heritage value. If a privately-owned property meets one or more of the following criteria it may be designated by a municipality under Section 29 of the *Ontario Heritage Act*. For the purposes of this CHER, O. Reg. 9/06 considers the evaluation of the property as part of the community context. The *Standards and Guidelines for the Conservation of Provincial Heritage Properties* state that a property may be considered a Provincial Heritage Property (PHP) if it meets one or more of the criteria under O. Reg. 9/06. The application of the criteria for 668 King Street East is included in Table 2-1 below.

Table 2-1: O.Reg. 9/06 Evaluation for 668 King Street East

Criterion	Response (Yes/No)	Rationale
1) The property has design or physical value because it:		
i) Is a rare, unique, representative, or early example of a style, type, expression, material, or construction method;	Yes	The property at 668 King Street East, includes a representative example of classical architecture typically used on commercial and institutional buildings in the early-20 th century with modest design elements from the Beaux Arts and Art Deco styles. Although a great deal of the exterior has been covered by more recent stucco, elements including the entablature, the motifs in the frieze as well as remnants of additional covered details such as pilasters on each façade contribute to its design value.
ii) Displays a high degree of craftsmanship or artistic merit; or	No	Although the design details are representative of a particular style they do not represent particular artistic merit or a high degree of craftsmanship due to the modifications.

Criterion	Response (Yes/No)	Rationale
iii) Demonstrates a high degree of technical or scientific achievement.	No	Although the design details are representative of a particular style they do not represent a particularly high degree of technical or scientific achievement.
2) The property has <i>historic or associative value</i> because it:		
i) Has direct associations with a theme, event, belief, person, activity, organization or institution that is significant to a community;	No	The bank building on the property represents the economic growth within the City of Hamilton in the early 20 th century; however, it does not have specific historic value that appears to be significant to a community.
ii) Yields, or has the potential to yield information that contributes to an understanding of a community or culture; or	No	The property does not have potential to yield information that contributes to an understanding of a community or culture.
iii) Demonstrates or reflects the work or ideas of an architect, artist, builder, designer, or theorist who is significant to a community.	No	The building was designed by Ralph K. Shepard, an architect with Calvin and Shepard. The firm was active primarily in Toronto between 1912 and 1933. Shepard designed a series of buildings in Toronto, Simcoe, Watford, Oakville, Niagara Falls, Kingston, North Bay, and Hamilton. Little biographical detail could be located related to Shepard, so there is insufficient evidence with which to assess his standing in the profession or the community
3) The property has <i>contextual value</i> because it:		
i) Is important in defining, maintaining, or supporting the character of an area;	Yes	The bank property has occupied the southwest corner of the intersection of King Street East and Wentworth Street South since 1921. As a result of its frontages on both streets and its distinctive architectural form, it has played a

Criterion	Response (Yes/No)	Rationale
		role in defining the streetscape of this section of King Street East in Hamilton.
ii) Is physically, functionally, visually, or historically linked to its surroundings; or	No	The building is one of a series of commercial buildings located along this portion of King Street East. Although it has been a part of the streetscape since 1921, it does not appear to be physically, functionally, visually, or historical linked to its surroundings.
iii) Is a landmark.	No	The property is not a landmark.

3. Ontario Regulation 10/06 Evaluation

Ontario Regulation 10/06, *Criteria for Determining Cultural Heritage Value or Interest of Provincial Significance* (O. Reg. 10/06), provides criteria against which to assess a property to determine if the property holds provincial heritage significance. The *Standards and Guidelines for the Conservation of Provincial Heritage Properties* state that Ministries and prescribed public bodies shall apply the criteria in O. Reg. 10/06 to determine whether a property is of provincial significance. Therefore, for the purpose of this CHER O. Reg 10/06 considers the evaluation of the property as a part of the provincial context. If the property meets the criteria, it may be considered a Provincial Heritage Property of Provincial Significance (PHPPS). The application of the criteria for 668 King Street East is in Table 3-1, below.

Table 3-1: O.Reg. 10/06 Evaluation for 668 King Street East

Criterion	Response (Yes/No)	Rationale
1. The property represents or demonstrates a theme or pattern in Ontario's history.	No	The property does not represent a theme or pattern in Ontario's history. Commercial and structures similar to this are found throughout towns and cities in Ontario.
2. The property yields, or had the potential to yield, information that contributes to an understanding of Ontario's history.	No	The property does not yield, and is not anticipated to yield information that contributes to an understanding of Ontario's history.
3. The property demonstrates an uncommon, rare, or unique aspect of Ontario's cultural heritage.	No	The property does not demonstrate an uncommon, rare, or unique aspect of Ontario's cultural heritage. The form and massing of the structure represent design elements which are found on banks elsewhere in Ontario.
4. The property is of aesthetic, visual, or contextual importance to the province.	No	The property is not of aesthetic, visual, or contextual importance to the province. Although it contributes to the streetscape character of this portion of Hamilton, it is not of visual, aesthetic, or contextual importance to the province.
5. The property demonstrates a high degree of excellence or	No	Although the design details are representative of a particular style

Criterion	Response (Yes/No)	Rationale
creative, technical, or scientific achievement at a provincial level in a given period.		they do not represent a particularly high degree of technical or scientific achievement.
6. The property has a strong or special association with the entire province or with a community that is found in more than one part of the province.	No	The property does not have a strong or special association with the entire province or with a community that is found in more than one part of the province. Rather, the building has more association with its streetscape and immediate surroundings.
7. The property has a strong or special association with the life or work of a person, group or organization of importance to the province or with an event of importance to the province.	No	The building was designed by Ralph K. Shepard, an architect with Calvin and Shepard. The firm was active primarily in Toronto between 1912 and 1933. Shepard designed a series of buildings in Toronto, Simcoe, Watford, Oakville, Niagara Falls, Kingston, North Bay, and Hamilton. Little biographical detail could be located related to Shepard, so there is insufficient evidence with which to assess his standing in the profession or the community
8. The property is located in an unorganized territory and the Minister determines that there is a provincial interest in the protection of the property.	No	The property is not located in an unorganized territory.

4. Recommended Outcome of Evaluation

The application of O.Reg 9/06 and O.Reg. 10/06 concluded that 668 King Street East met two of the nine O.Reg. 9/06 criteria. However, it did not meet the criteria outlined in O.Reg. 10/06. Therefore, this CHERR recommends that the property at 668 King Street East be considered a Provincial Heritage Property (PHP).

5. Draft Statement of Cultural Heritage Value

5.1 Description of the Property

The property located at 668 King Street East consists of an irregularly shaped lot on the southwest corner of the intersection of King Street East and Wentworth Street South, in Hamilton, Ontario. The structure on the property is a former bank building that was built specifically for the Toronto Dominion Bank in the 1920s. The bank building functioned primarily as a bank throughout the 20th century, and appears to have last been used for a printing service in the early-21st century.

The scale and massing of the bank building on the property has appeared to remain relatively unaltered from its original construction. The building has occupied the corner lot with frontage that extends on both King Street East and Wentworth Street South. The exterior of the building has undergone some alterations in that its facades along both streets have been parged and painted. It is likely that the brick that is visible on the parapet walls of the building was covered in the late-20th or early-21st century by the existing parging finish on the structure. Until recently, the upper level of the building was also covered in with an exterior veneer that created a waffle-like pattern on the structure. Online street imagery indicates that it was removed in 2016 to expose the brick components of the exterior as well as the concrete cornice that wraps around the building.

5.2 Statement of Cultural Heritage Value

The property located at 668 King Street East consists of an irregularly shaped lot on the southwest corner of the intersection of King Street and Wentworth Street South, in Hamilton, Ontario. The structure on the property is a former bank building that was built specifically for the Dominion Bank in the 1920s. The bank building functioned primarily as a bank throughout the 20th century, and appears to have last been used for a printing service in the early-21st century.

Designed by Ralph K. Shepard of the firm Calvin and Shepard, the bank building at 668 King Street East was built in 1922 and opened in 1923 as a branch of the Dominion Bank at the corner of King Street East and Wentworth Street South. The bank occupied the southwest corner of King Street East and Wentworth Street South for the majority of the 20th century. The bank remained the sole occupant of the property until the early-21st century when it was occupied by a printing service.

Architecturally, the property is an example of early-20th century commercial architecture that has borrowed design elements from the Beaux Arts and Art Deco styles of architecture. Although some architectural details are visible at the top of the building, the vast majority of the details have been covered by the extensive application of stucco on the exterior facades of the building. Nonetheless, the form and the details that are visible indicate that the structure is representative of early-20th century commercial and institutional bank buildings.

The exterior of the building fronts onto both King Street East and Wentworth Street South, as well as a short angled façade that faces the intersection of the two streets. The fenestration on the building is one of the dominant details as the main exterior walls are punctuated with six large arched plate glass

windows that extend from ground level to just below the entablature. The original glazing of the structure has been changed and it is likely that the windows were historically steel frame windows.

Remnants and hints of architectural details on the structure are most evident along the entablature, and the parapet of the building on all of the publically-visible facades. Along both the King Street East façade, and the Wentworth Street South façade, several rows of brick are evident in the parapet walls extending above the entablature. The brick in the parapet is interrupted at corners and periodically along the Wentworth Street South portion of the building with concrete panels that correspond with small decorative panels in the frieze and gaps in the lead flashing. This indicates a classical façade design using pilasters to articulate a formal composition. On the east façade, the three central openings are two large, round-headed windows flanking a doorway of the same shape and size. At either end is a slightly smaller window that would have been framed by pilasters, probably standing on a base course that would have extended around the building. The gaps in the flashing located above the stucco hints at the possibility that when the recent exterior finish was applied, the details of the pilasters were covered or removed. The east façade would thus be symmetrical with a central bay containing the entrance flanked by large windows, and a bay defined by pilasters projecting slightly from the centre bay, at each end of the wall.

The north façade on King Street East was a variation on the end bays, comprising a single, much larger window framed by pilasters. Details of the corner entrance are impossible to discern in the current state of the building. The most visible remaining architectural details are located within the entablature that extends along each façade. Just below each concrete panel in the parapet is a small rectangular panel that includes a classical motif, a key design component in both the Beaux Arts and Art Deco styles. In addition, the lettering of "THE TORONTO-DOMINION BANK" on the King Street East and Wentworth Street South is a visual reminder of its previous function and prominence on this corner. Lettering of this nature is typically found on large commercial and institutional buildings from the early-20th century. It is also likely that the lettering was later added to the building, or was updated as the Dominion Bank merged with the Bank of Toronto in 1955 to become the Toronto-Dominion Bank.

5.3 Heritage Attributes

Heritage Attributes as described in the *Standards and Guidelines* are the physical features or elements that contribute to a property's cultural heritage value or interest, and may include the property's built or manufactured elements, as well as natural landforms, vegetation, water features, and its visual setting. The Heritage Attributes for the property at 668 King Street East relate to its design/physical and contextual value. This is demonstrated by the following Heritage Attributes:

- Scale, form, and massing of the former bank building;
- Main frontage along corner of King Street East and Wentworth Street South;
- Fenestration, including tall, arched, windows;
- Remaining brick parapet walls;
- Concrete panels in parapet walls with decorative motifs; and
- Remnants of architectural details including potential pilasters located under modern exterior finishes.



METROLINX

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Une agence du gouvernement de l'Ontario

Cultural Heritage Evaluation Report 832 King Street East, Hamilton, Ontario

**Prepared by AECOM
for Metrolinx**

February 16, 2017

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Revision History

Revision #	Date	Revised By:	Revision Description
0	02/15/2017	C. Latimer	Draft to Metrolinx

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1. Executive Summary

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The Hamilton LRT Project B-Line alignment extends from McMaster University at Cootes Drive to the Main Street/Highway 403 Bridge. A proposed LRT-only bridge will allow the alignment to then extend along King Street West until King East Street intersects with Main Street East, where the alignment will continue along Main Street East to the Queenston Road traffic circle. As a part of the project, it is anticipated that building impacts may take place on the property at 832 King Street East.

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The property is located at 832 King Street East on a rectangular corner lot at the southwest corner of King Street East and Holton Avenue South. The structure on the property consists of a three-storey apartment building that extends approximately 40 metres (m) south on Holton Avenue. The massing, design, and exterior configuration of the apartment appears to remain relatively unchanged from its original construction in the 1930s.

Hamilton City Directories indicate that the building at 832 King Street East was constructed by 1931 and was used for residential purposes, identified as the "Dunena Apartments". The building footprint appears as part of a 1933 revision that was made to the 1927 Fire Insurance Plan and is illustrated as "Apartments".

A field review of the privately owned property at 832 King Street East was undertaken on January 12, 2017 and February 3, 2017 by Michael Greguol and Emily Game of AECOM. An assessment was not completed on the interior of the structures due to the timing constraints for the TPAP Amendment.

The property at 832 King Street East is an example of mid-20th century urban apartment construction. The apartment building includes particular design elements such as the wooden brackets above the door on the King Street East façade, the decorative brick quoins on the corners of the building, and the raised parapet walls along the rooflines, but does not represent a particular style or characteristic. Rather, it is a typical example of apartment construction found in Hamilton.

2. Introduction

2.1 Historical Summary

2.1.1 Context

The subject property is located within the municipal boundaries of the City of Hamilton, Ontario. Prior to the incorporation of the current municipality, the property was located within the boundaries of Barton Township, in Wentworth County.

2.1.2 Wentworth County

As part of the establishment of Upper Canada, the province was divided into administrative Districts in 1792. As such, Wentworth County was one of several counties that made up the Home District. It was named in honour of Sir John Wentworth, Lieutenant Governor of Nova Scotia from 1792-1808. In 1816, the Home District was divided and reorganized and Wentworth County was included in the Gore District. By 1849, the original district system was abolished and replaced by a county council system and Wentworth County became an independent political entity. Townships that were included in Wentworth County at one time or another included Ancaster, Barton, Beverly, Binbrook, Caistor, Flamborough East and West, Glanford, Onondaga, Saltfleet, and Seneca. Between 1850 and 1854, Wentworth and Halton Counties were joined for government purposes into the United Counties of Wentworth and Halton; however, this change was short-lived. In 1973, Wentworth County was renamed the Regional Municipality of Hamilton-Wentworth and, in 2001, was amalgamated with six constituent municipalities into the City of Hamilton. The City of Hamilton has remained as the administrative seat or county town since the original creation of the Gore District nearly two centuries ago.

2.1.3 Barton Township

Barton Township is described in detail in the *Illustrated Historical Atlas of the County of Wentworth of 1875*. The Township of Barton was surveyed in 1791 by Augustus Jones using the Single-Front survey system used by the colonial government between 1783 and 1818.¹ The survey was made up of concessions separated by road allowances. The concession was divided into lots of 200 acres and sideroad allowances were surveyed after every fifth lot. The first settlers arrived in Barton Township in 1791, many of whom were United Empire Loyalists or disbanded troops. The settlement of Barton Township began slowly, with only 102 families living in the township by 1815; most of the settlement was concentrated at the foot of the Niagara Escarpment. The township continued to grow and by 1823 it contained one sawmill and three gristmills. By 1841, the population grew to 1,434.² Barton Township was later amalgamated into the Regional Municipality of Hamilton-Wentworth, which today is known as the City of Hamilton.

¹ William H. Smith, *Smith's Canadian Gazetteer. Toronto: H. & W. Roswell. 1846.*

² D'Arcy Boulton, *Sketch of His Majesty's Province of Upper Canada. London: C. Rickaby. 1805. pp. 48-49.*

2.2 Description of Property

The property is located at 832 King Street East on a rectangular corner lot at the southwest corner of King Street East and Holton Avenue South. The structure on the property consists of a three-storey apartment building that extends approximately 40 m south on Holton Avenue. The massing, design, and exterior configuration of the apartment appears to remain relatively unchanged from its original construction in the 1930s. With the exception of replacement windows, the exterior masonry and window details including the sills and lintels appear to remain unchanged. As a result of its large form and configuration the building retains large portions of frontage along King Street East and along Holton Avenue South with interior access to the building from both rights of way.

2.3 Current Context

The property is situated on the south side of King Street East, on the eastern outskirts of downtown Hamilton. The property forms a large portion of the intersection of King Street East and Holton Avenue South as a result of its orientation on the corner of these roads, but also as a result of the vacant parking lot located immediately west of the apartment building. While the apartment building shares similarities with regards to its form and massing with the buildings on the north side of King Street East; ultimately, it is relatively isolated on the south side of King Street East as a result of the parking lot to the west, the small convenience store property on the east side of Holton Avenue and the single detached residential structures located to the south of the property.

3. Methodology and Sources

3.1 Study Approach

This CHER was prepared in accordance with Metrolinx's Interim Cultural Heritage Management Process (Fall 2013) and the MTCS *Standards and Guidelines for the Conservation of Provincial Heritage Properties* (2010). The CHER was also undertaken according to the guidelines presented in the Metrolinx document, *Draft Terms of Reference for Consultants: Cultural Heritage Evaluation Report and Cultural Heritage Evaluation Report Recommendations* (April 2016) and outlined in the following tasks:

- Research and Documentation Gathering – gathered from various sources including existing heritage studies, Metrolinx records, public archives, and published materials;
- Writing – an illustrated report based on gathered background history and site investigation materials, and the application of O.Reg. 9/06 and 10/06; Evaluation, Recommendations, and Statement of Cultural Heritage Value – a summary of the applicable evaluation, and recommendations regarding whether the property meets the criteria for being a provincial heritage property, a provincial heritage property of provincial significance, or neither.

As outlined in the Draft Terms of Reference, the heritage evaluation is separated into two stand-alone components: a CHER and a CHERR. The Cultural Heritage Evaluation Report includes research conducted for the CHER and is intended to address the criteria set out in O.Reg. 9/06 and 10/06. The CHERR includes the results of the applied evaluation, and the recommended outcome of the evaluation.

Michael Greguol, Cultural Heritage Specialist, and Emily Game, Heritage Researcher for AECOM, conducted a site investigation to visually inspect and document the property on January 12th and February 3, 2017. An assessment was not completed on the interior of the structures due to the timing constraints for the TPAP Amendment.

3.2 Secondary Sources

A series of secondary sources were reviewed for the purposes of data collection and analysis as part of the CHER. The relevant guidelines and reference documents cited above served as a framework for undertaking the study. The *Hamilton Light Rail Transit Cultural Heritage Screening Report, City of Hamilton, Ontario* (CHSR) prepared by ASI in December 2016, provided a preliminary review of the rail corridor and the potential heritage properties identified along the corridor. Background information and applicable research was gathered from the report for the purposes of the CHER. In addition, a series of published materials including published histories pertaining to the history of Hamilton were consulted. A complete list of the sources reviewed for the report is contained in Section 15 (Bibliography).

3.3 Primary Sources

Where available, primary source material was consulted to provide a historical context for the evaluation of the potential heritage value of the property. Primary source research was undertaken at the Local History and Archives Department of the Hamilton Public Library, the Mills Memorial Library at McMaster

University, and at the Map and Data Centre at the University of Western Ontario. A review of the following primary sources aided in the evaluation of the structures at 832 King Street East:

- Illustrated Historical Atlas of the County of Wentworth, 1875;
- Hamilton City Directories, issues 1931-1970;
- Fire Insurance Plans, 1927 (rev. 1933), 1960-1964; and,
- National Topographic Series, 1909-1938.

3.4 Consultations

As part of the identification of recognized and potential cultural heritage resources for the CHSR, ASI undertook consultation with the City of Hamilton, the Ontario Heritage Trust (OHT) and the MTCS. Consultation during the CHSR process took place between August and October, 2016.

As part of this CHER, AECOM undertook property-specific consultation with the same municipal and provincial staff and agencies in order to identify or confirm any existing heritage recognitions or interest in this subject property.

The following individuals and organizations were consulted:

- Thomas Wicks, Heritage Planner, OHT;
- Chelsey Tyers, Cultural Heritage Planner, City of Hamilton;
- Asyia Patel, Assistant Cultural Heritage Planner, City of Hamilton; and,
- Rosi Zirger, Heritage Planner, MTCS.

The results of the consultation efforts have been summarized in Section 7 (Community Input).

4. Heritage Recognitions

4.1 Municipal

As a review of applicable municipal heritage recognitions for the property or adjacent properties, AECOM reviewed the City of Hamilton's heritage inventories. The following inventories and registers were reviewed:

- *Hamilton's Heritage Volume 1: List of Designated Properties and Heritage Conservation Easements under the Ontario Heritage Act; and,*
- *Hamilton's Heritage Volume 2: Inventory of Buildings of Architectural and/or Historical Interest.*

In addition, consultation efforts were undertaken to confirm levels of municipal heritage recognition, if any. The property was identified in the December 2016 CHSR as not being subject to any heritage recognitions. However, consultation with the City of Hamilton in January and February 2017 confirmed that the property is now listed on the City's *Inventory of Building of Architectural and/or Historical Interest*.

4.2 Provincial

As a review of applicable provincial heritage recognitions for the property or adjacent properties, AECOM reviewed the OHT's Provincial Plaque Guide, and list of OHT easements. The property at 832 King Street East is neither the subject of a provincial plaque nor a provincial easement. In addition, OHT staff was contacted to review the *Ontario Heritage Act* Register to confirm that the property is not included on the register and that an OHT easement does not exist for the property.

Thomas Wicks, Heritage Planner for the OHT confirmed on February 9, 2017 that the property is not subject to an OHT conservation easement or on their register.

4.3 Federal

As a review of applicable federal heritage recognitions for the property or adjacent properties, AECOM reviewed the online searchable database for the Canadian Register of Historic Places as well as the Directory of Federal Heritage Designations. 832 King Street East and the adjacent properties are not subject to any existing federal heritage recognitions.

5. Adjacent Lands

The properties adjacent to 832 King Street East consist of commercial and residential properties, all of which are either newer buildings or buildings not built in the same period and style as 832 King Street East. A single storey commercial office space with a large parking lot is located immediately to the west, while immediately to the east, a small single storey convenience store is located on Holton Avenue. A residential structure with design details from the Arts and Crafts style of architecture is located immediately south of the subject property on Holton Avenue. The residential properties on Holt Avenue South were constructed in the early-20th century.

Consultation with the City of Hamilton indicated that the adjacent properties, 818 King Street East, 838 King Street East, and 14 Holton Avenue South are not protected heritage properties.

6. Archaeology

ASI completed a Stage 1 Archaeological Assessment (AA) as part of the Rapid Transit Initiative and found that the property at 832 King Street East did not retain archaeological potential and confirmed that no known archaeological assessments have previously been completed within 50 m of the property. Consequently, at the time of production of the ASI report, no archaeological sites had been identified within or adjacent to the property; however, the ASI Stage 1 AA indicates that there is a small area of land that retains archaeological potential immediately adjacent to 832 King Street East to the west between Holton and Fairleigh Avenue.

The results of the Stage 1 AA determined that a Stage 2 AA must be conducted for all land identified as retaining archaeological potential that will be impacted by the proposed Rapid Transit Initiative. Based on this assessment, ASI made the following recommendations:

- The King Street right-of-way (ROW) does not retain archaeological potential due to previous land disturbance. An additional AA is not required within the ROW and those portions of the study corridor can be cleared of further archaeological concern; and,
- A Stage 2 AA should be conducted on lands determined to have archaeological potential if the proposed project is to impact these lands. This work must be done in accordance with the MTCS' *Standards and Guidelines for Consultant Archaeologists* (Ontario Government 2011) in order to identify any archaeological remains that may be present.

It should be noted that ASI's recommendations for Stage 2 archaeological work references the MCL's 2006 draft *Standards and Guidelines for Consultant Archaeologists* (MCL 2006); however, further Stage 2 archaeological work must now be conducted in accordance with current archaeological standards and guidelines (*Standards and Guidelines for Consultant Archaeologists*, Ontario Government 2011) . For complete details regarding the results of the Stage 1 AA, reference should be made to the *Stage 1 Archaeological Assessment, Rapid Transit Initiative, City of Hamilton, Ontario* (February 2009).

7. Community Input

As part of the consultation process for this report, AECOM undertook consultation with the City of Hamilton, the MTCS, and the OHT. The results of the consultation efforts are identified below in Table 7-1.

Table 7-1: Community Input and Consultation Undertaken for 832 King Street East

Contact	Contact Information	Date	Notes
Chelsey Tyers, Heritage Planner City of Hamilton	905-546-2424 ext. 1202 chelsey.tyers@hamilton.ca	February 1, 2017	The City of Hamilton confirmed that 832 King Street East is listed on the City's <i>Inventory of Building of Architectural and/or Historical Interest</i> .
Asiya Patel Assistant Cultural Heritage Planner City of Hamilton	905-546-2424 ext. 7163 asiya.patel@hamilton.ca	February 6, 2017 (Response)	
Thomas Wicks Heritage Planner Ontario Heritage Trust	416-314-5972 thomas.wicks@heritagetrust.on.ca	February 1, 2017 February 9, 2017 (Response)	The OHT confirmed that the property is not subject to an OHT conservation easement nor is it on their register.
Rosi Zirger Heritage Planner Ministry of Tourism, Culture, and Sport	416-314-7159 rosi.zirger@ontario.ca	February 1, 2017	Response pending.

8. Discussion of Historical or Associative Value

8.1 Historic Theme/Cultural Pattern

8.1.1 *Transportation*

The earliest roads in Ontario were typically military roads or colonization roads. These roads often followed aboriginal hunting trails or were dictated by the topography of the land which they crossed. The Dundas Road was opened to connect Toronto with the Thames River, in what is now London, Ontario, and the Kingston Road was designed to provide a military link between Toronto and Kingston. The Kingston Road was one of the earliest and still functioning roads in southern Ontario.

Following the Crown surveys in Ontario, concession and side roads were opened on a grid that was dictated by the survey type that was used. The roads were cleared and made passable by the early land owners who built their dwellings adjacent to the concession roads. Despite being cleared, road conditions were often poor until the late 19th and early 20th centuries.

Railway transportation, both passenger and freight, greatly improved the transportation network in Ontario beginning in the mid-1800s. The opening of the Grand Trunk Railway (GTR) between Montreal and Toronto in 1856 provided a link between the two cities and provinces that was more easily travelled in comparison to mid-19th century roads. The construction of the route from Montreal to Toronto, and then on to Samia by the end of the 1860s resulted in the construction of significant structures such as the Victoria Bridge over the St. Lawrence River, and the St. Clair Tunnel in Samia. The GTR was designed to enhance the St. Lawrence-Great Lakes shipping routes in response to the railroads and shipping networks in the United States. As a result it also strengthened the connection and link between the townships, and municipal and provincial economies in Ontario.

Various railway companies were formed in Ontario to create a vast network of rail lines that spread throughout the province by the early-20th century. Nonetheless, most of the companies were eventually merged with or purchased by the Canadian National Railway (CN) or the Canadian Pacific Railway (CP) in 1997.

8.1.2 *Hamilton Street Railway*

In 1873, the City of Hamilton incorporated the Hamilton Street Railway; the horse-drawn streetcar service began in May 1874 with six operating cars. The line extended along three miles of track from the GTR's passenger station east along Stuart Street South to James Street. The line travelled south to Gore Park and then east along King Street to Wellington Street. Due to popularity of the service, additional cars were added and the track was extended. New track was laid west along King Street to Locke Street and east to Wentworth Street.

The electrification process of the Hamilton Street Railway began in March 1892. A total of 12 miles of track were electrified and 15 horsecars were converted to electric street cars. Operation of the newly-electrified cars began on June 29, 1892.

At the end of the Second World War, Hamilton Street Railway sold the lines to Canada Coach for \$1.4 million. Immediately following the sale, Canada Coach announced plans to replace the street car service with busses. By 1951, the last street car was removed from service and replaced by electric trolley busses.³

The proposed B-Line follows the old streetcar route from King Street near McMaster University to Sherman Avenue; the old streetcar route then turned south along Sherman Avenue and then continued east on Main Street to Kenilworth Avenue North.

The present-day Hamilton transit company operates under the name of Hamilton Street Railway Company.

8.2 Local History

832 King Street East is located within the City of Hamilton, Ontario. Historically the structures were located within Lot 9, Concession II, Barton Township in Wentworth County. The subsections below include historic information related to the settlement and growth of these areas.

8.2.1 Settlement History

As part of the establishment of Upper Canada, the province was divided into administrative Districts in 1792. As such, Wentworth County was one of several counties that made up the Home District. It was named in honour of Sir John Wentworth, Lieutenant Governor of Nova Scotia from 1792-1808. In 1816, the Home District was divided and reorganized and Wentworth County was included in the Gore District. By 1849, the original district system was abolished and replaced by a county council system and Wentworth County became an independent political entity. Townships that were included in Wentworth County at one time or another included Ancaster, Barton, Beverly, Binbrook, Caistor, Flamborough East and West, Glanford, Onondaga, Saltfleet, and Seneca. Between 1850 and 1854, Wentworth and Halton Counties were joined for government purposes into the United Counties of Wentworth and Halton; however, this change was short-lived. In 1973, Wentworth County was renamed the Regional Municipality of Hamilton-Wentworth and, in 2001, was amalgamated with six constituent municipalities into the City of Hamilton. The City of Hamilton has remained as the administrative seat or county town since the original creation of the Gore District nearly two centuries ago.

Barton Township is described in detail in the *Illustrated Historical Atlas of the County of Wentworth of 1875*. The Township of Barton was surveyed in 1791 by Augustus Jones using the Single-Front survey system used by the colonial government between 1783 and 1818. The survey was made up of concessions separated by road allowances. The concession was divided into lots of 200 acres and sideroad allowances were surveyed after every fifth lot. The first settlers arrived in Barton Township in 1791, many of whom were United Empire Loyalists or disbanded troops. The Settlement of Barton Township began slowly, with only 102 families living in the township by 1815. Most of the settlement was

³Transit Toronto. <http://transit.toronto.on.ca/streetcar/4751.shtml>, consulted February 9, 2017.

concentrated at the foot of the Niagara Escarpment. The township continued to grow and by 1823 it contained one sawmill and three gristmills. By 1841, the population had grown to 1,434.

8.2.2 Site History

832 King Street East was historically located in the southern part of Lot 9, Concession II in Barton Township when the crown survey for the township was undertaken. By 1875, the lot was subdivided amongst a number of landowners with 832 King Street East falling on the portion of the lot owned by W. Holton. At this time, urban development along this section of King Street East to the east of Wentworth Street South was not as extensive as the land to the west. A structure is illustrated on the southern portion of W. Holton's property fronting along what would become Main Street East. The remainder of the property was not yet developed. Early urban roads around the subject property that were constructed around 1875 include King Street East, Main Street East, Sherman Avenue South, Wentworth Street South, and Sanford Avenue South (Figure 3).

By the beginning of the 20th century, historic topographic mapping indicates that urban development was well underway surrounding the subject property and that urban expansion was spreading east of Wentworth Avenue South (Figure 4). Hamilton City Directories indicate that the building at 832 King Street East was constructed by 1931 and was used for residential purposes, identified as the "Dunena Apartments". The building footprint appears as part of a 1933 revision that was made to the 1927 Fire Insurance Plan and is illustrated as "Apartments".

It should be noted that this building fronts onto Holton Avenue and, as such, the address of the southern portion of the Dunena Apartments at the time are listed as 2-10 Holton Avenue South. Apartments 1 through 6 are listed at 832 King Street East with apartments 7 through 21 at 2, 6, and 10 Holton Avenue South. All six apartments at 832 King Street were occupied and continued to be occupied by private residents through to the 1970s. Today, the property at 832 King Street East is still occupied by tenants and is currently in use for residential purposes. The existing footprint and an exterior evaluation of the property show no major alterations to the property.

8.3 Person/Event/Organization

The historic research undertaken for this CHER did not identify any significant people, events, or organizations that are directly related to or associated with the properties, and could contribute to the potential cultural heritage interest or value of the properties.

9. Discussion of Design or Physical Value

9.1 Style/Type/Tradition

The building located on the property at 832 King Street East consists of a three-storey brick apartment building that was built in the 1930s. The building is substantial in size and spans the majority of the large property at the corner of King Street East and Holton Avenue South. The building is utilitarian in design, typical of mid-20th century urban apartment construction with minimal design characteristics.

Architecturally, the building consists of two main facades fronting onto each street. The King Street East façade consists of three bays which includes a symmetrical arrangement of windows and doors. A ground floor door is located in the centre bay, covered by a small hipped roof supported on wooden decorative brackets, one of the few design elements incorporated into the apartment building. Two large windows are located above the centre door. The two flanking bays consist of groupings of three stories of matching windows. A symmetrical pair of basement windows is also located on this façade; however, the west window has been filled.

Along the east side of the property, the façade that fronts onto Holton Avenue South consists of a long series of bays and entrances along this side of the property. Conceptually, this façade can be understood in three sections which all include a central door, flanked by bays of apartment windows, and balconies. Each of the central doors include a built out brick porch with decorative concrete quoins. Two of the three entranceways also include a decorative gable that rises above the doorway. Immediately on each side of the doorway are two sets of two brick pillars that form the structural components of the walk-outs and balconies from the apartments. This pattern is repeated at each entrance along the Holton Avenue façade.

The west side of the apartment building functions primarily as the rear portion of the building. This façade is much more modest in architectural detail and consists mostly of apartment windows and rear balconies with wooden non-decorative balustrades. This façade is most visible from the parking lot associated with the property at 818 King Street East.

Additional design details on the building are located on each corner of the structure and along the rooflines. At each corner, the exterior brick has been configured in a manner representative of quoins, or structural stone units that were historically laid in the corners of buildings. The use of brick quoin details on this structure is purely decorative. In addition, a projecting cornice constructed of modern soffit and roofing materials wraps around both the King Street East and Holton Avenue South facades, located immediately above the third storey windows. Lastly, a short parapet wall extends above the roofline on the apartment building and includes a central raised parapet with a decorative concrete panel on each façade.

9.2 Function

The building located at 832 King Street East was designed for residential apartment use. Since its construction in 1931 it has functioned as an apartment building with various tenants.

9.3 Fabric

The structure at 832 King Street East is constructed of brick with concrete detailing. The majority of the exterior consists of brick facades along King Street and Holton Avenue. Brick has been used as a structural component of the structure but has also been used for decorative details including the brick quoins on the corners of the building. Lastly, rusticated concrete has been used for the decorative panels in the peaks of the raised parapet walls, as well as parts of the sills and lintels above and below each window. There is little wood incorporated into the design of the apartment with the exception of the minor wood details around the doors.

10. Discussion of Contextual Value

10.1 Social Meaning

The property at 832 King Street East is an example of mid-20th century urban apartment construction. The apartment building includes particular design elements such as the wooden brackets above the door on the King Street East façade, the decorative brick quoins on the corners of the building, and the raised parapet walls along the rooflines, but does not represent a particular style or characteristic. Rather, it is a typical example of apartment construction found in Hamilton.

10.2 Environment

The property located at 832 King Street is rather isolated in terms of its characteristic on this block of King Street East. While the apartment building shares similarities with regards to its form and massing with the buildings on the north side of King Street East, ultimately it is relatively isolated on the south side of King Street East as a result of the parking lot to its west and the small convenience store property on the east side of Holton Avenue.

10.3 Formal Recognition

The property was identified in the December 2016 CHSR as not being subject to any heritage recognitions. However, consultation with the City of Hamilton in January and February 2017 confirmed that the property is now listed on the City's *Inventory of Building of Architectural and/or Historical Interest*.

11. Data Sheet

Table 11-1: Data Sheet for 832 King Street East

FIELD	PROPERTY DATA
Municipal Address	832 King Street East
Municipality	Hamilton
Approximate Area (square metres)	650
Rail Corridor	Hamilton LRT B-Line
PIN	172020105
Ownership	Private
Aerial photo showing location and boundaries	
Exterior, street-view photo	
Date of construction of built resources (known or estimated and source)	ca. 1931 (Hamilton City Directories)
Date of significant alterations to built resources (known or estimated and source)	Unknown

Architect/designer/builder	Unknown
Previous owners or occupants	Various residential tenants (1931-present)
Current function	Residential
Previous function(s)	Residential
Heritage Recognition/Protection (municipal, provincial, federal)	Listed on City's <i>Inventory of Building of Architectural and/or Historical Interest</i> .
Local Heritage Interest	Listed on City's <i>Inventory of Building of Architectural and/or Historical Interest</i> .
Adjacent Lands	No protected heritage properties
Latitude or UTM Northing	43.251282°
Longitude or UTM Easting	-79.841733°

12. Photographs



Photograph 1: View looking south showing frontage onto King Street East (AECOM, 2017)



Photograph 2: View looking east, showing the west façade adjacent to the parking lot associated with 181 King Street East (AECOM, 2017)



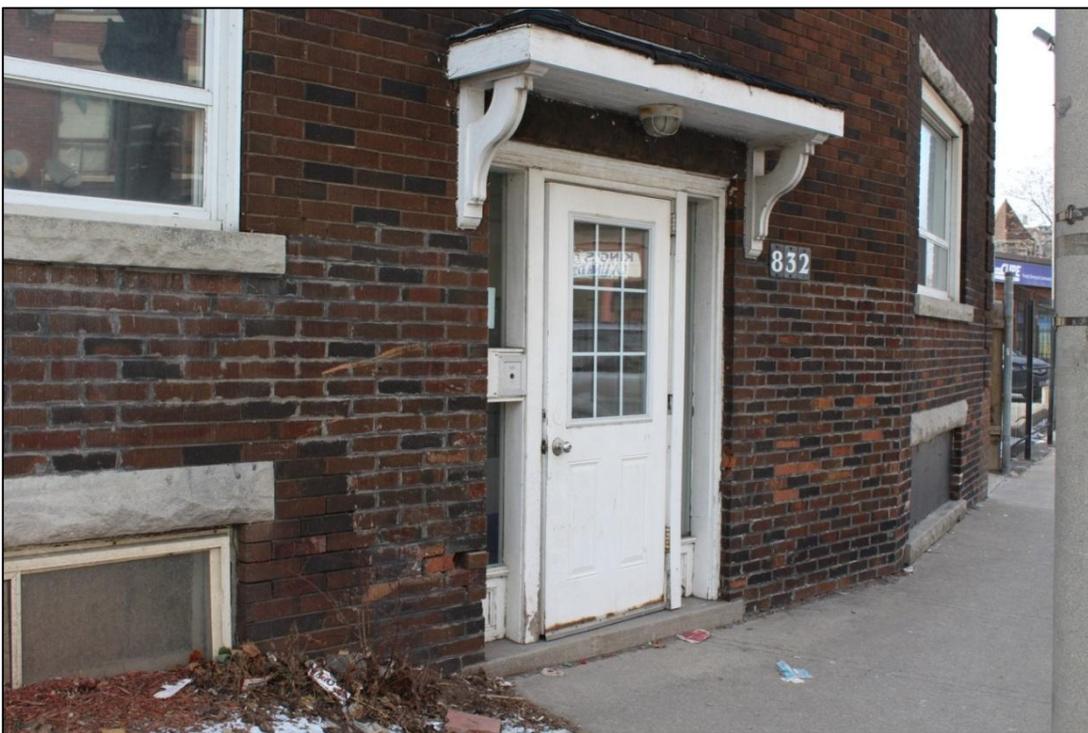
Photograph 3: View looking south showing northwest corner of the property and balconies on the west façade (AECOM, 2017)



Photograph 4: View looking west, showing one of the conceptual portions on the east façade which includes a central doorway, brick pillars as part of the balconies, and the apartment windows (AECOM, 2017)



Photograph 5: View looking west, showing one of the conceptual portions on the east façade which includes a central doorway, brick pillars as part of the balconies, and the apartment windows (AECOM, 2017)



Photograph 6: Detail showing door in King Street East façade with decorative wood brackets supporting a small porch roof.

13. Figures

All figures pertaining to this CHER can be found on the following pages:

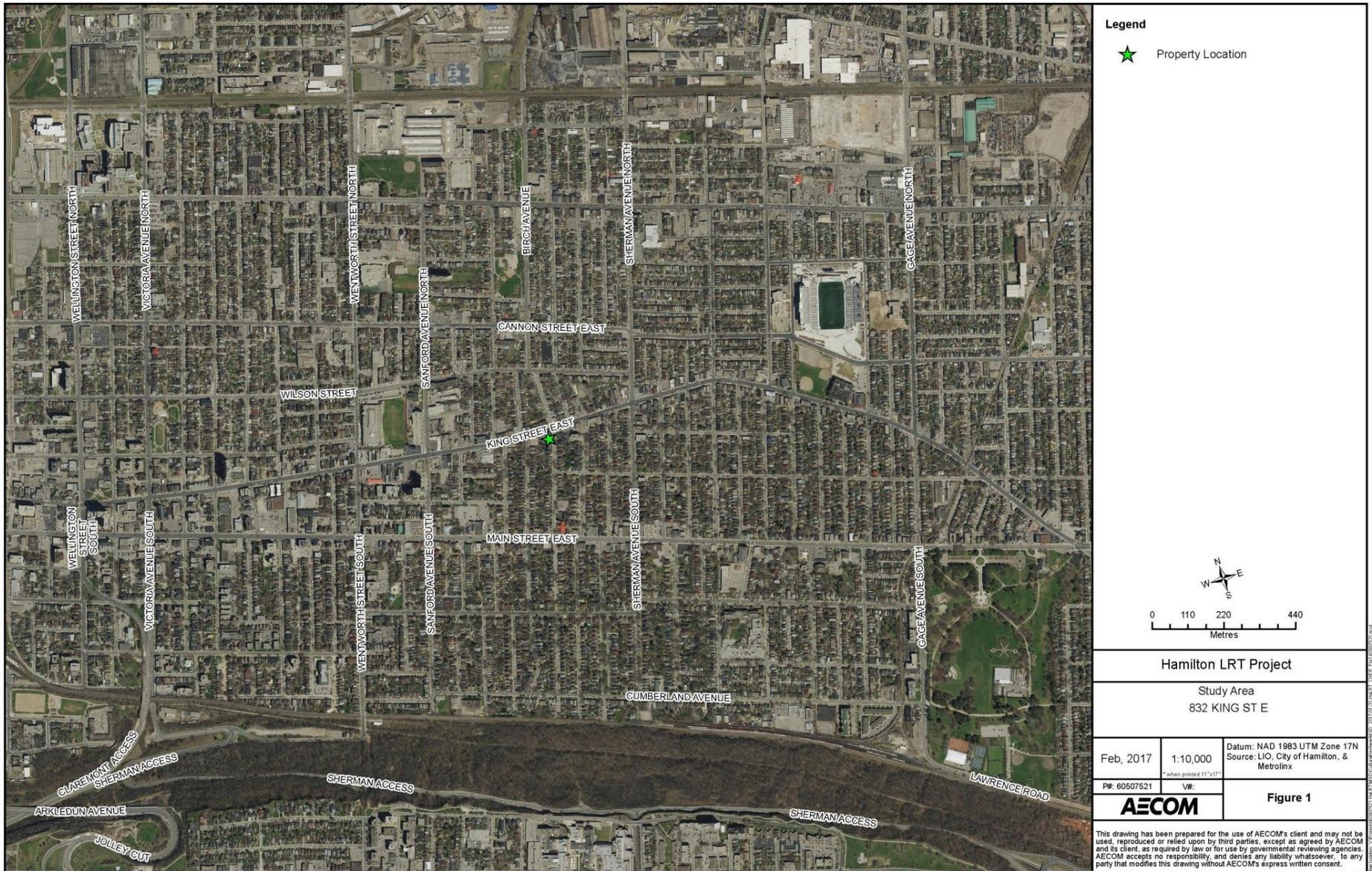


Figure 1: Location of 832 King Street East



Figure 2: Aerial Photograph showing the area surrounding 832 King Street East

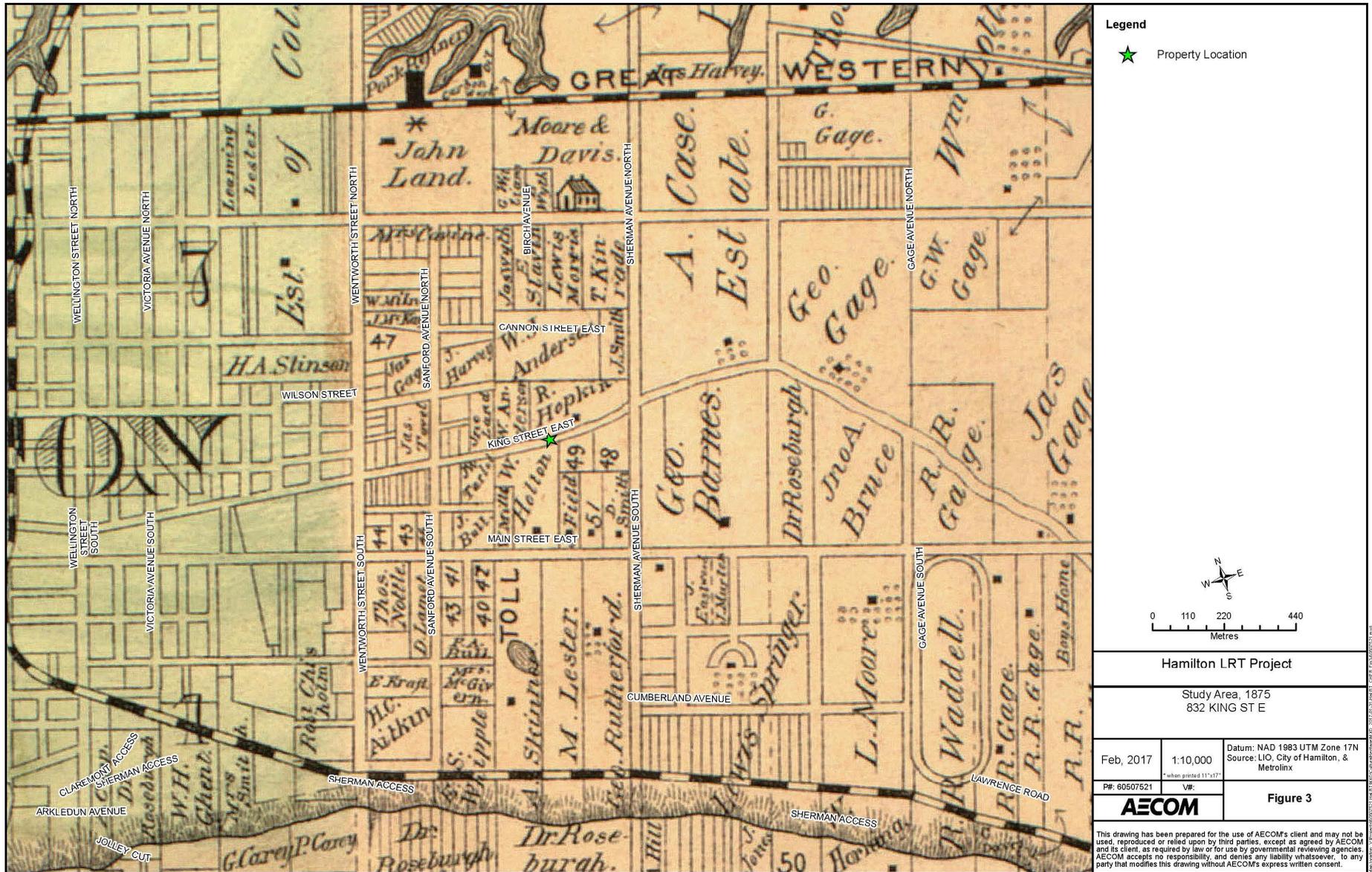
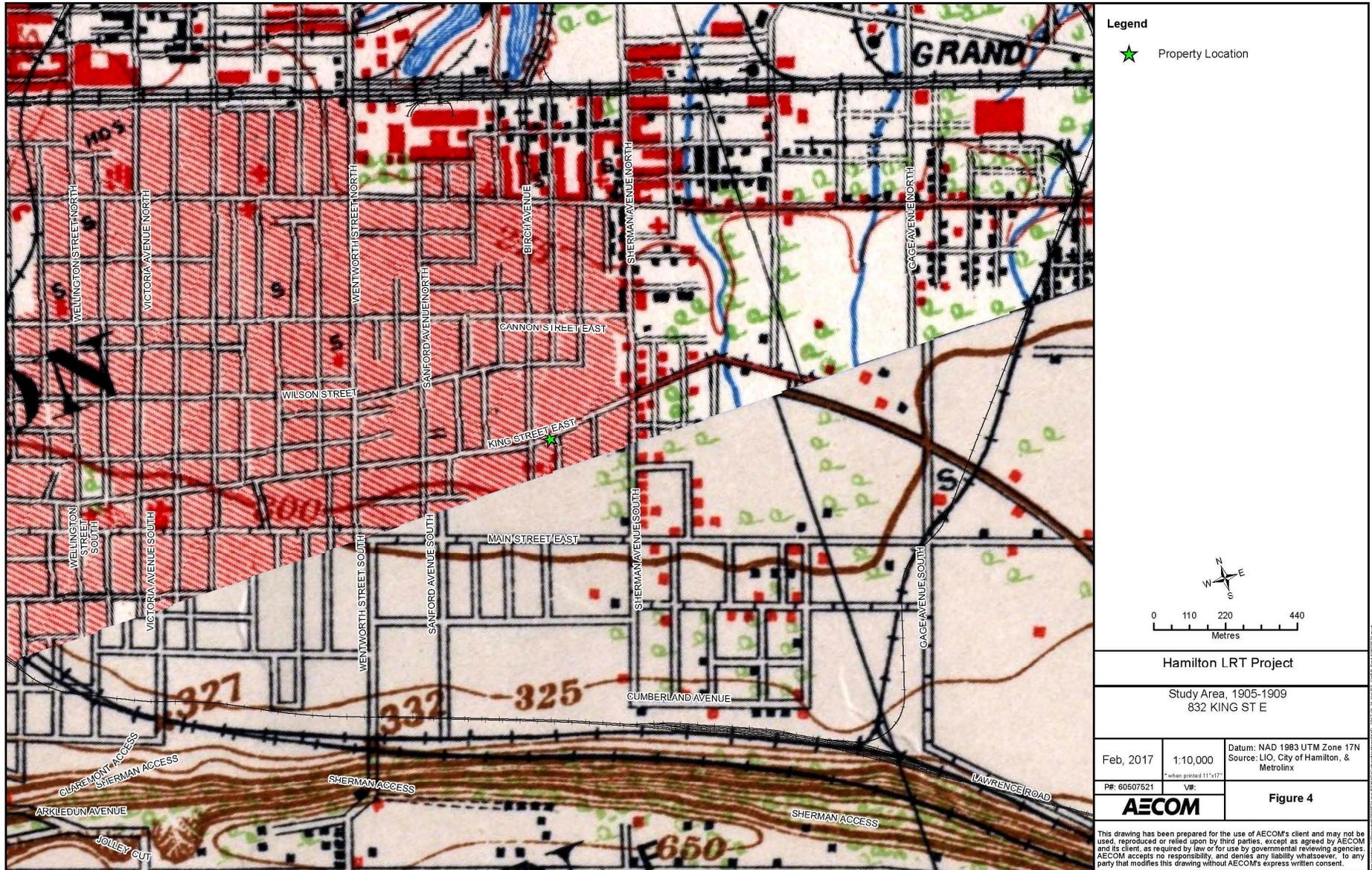


Figure 3: Location of 832 King Street East on the 1875 Historic Atlas Map (Page & Smith, 1875)



Legend

- ★ Property Location

0 110 220 440
Metres

Hamilton LRT Project

Study Area, 1905-1909
832 KING ST E

Feb, 2017	1:10,000	Datum: NAD 1983 UTM Zone 17N Source: LIO, City of Hamilton, & Metrolinx
PR: 60507521	VP:	

AECOM **Figure 4**

This drawing has been prepared for the use of AECOM's client and may not be used, reproduced or relied upon by third parties, except as agreed by AECOM and its client, as required by law or for use by governmental reviewing agencies. AECOM accepts no responsibility, and denies any liability whatsoever, to any party that modifies this drawing without AECOM's express written consent.

Figure 4: Location of 832 King Street East on the 1905-1909 NTS Map



Figure 5: Location of 832 King Street East on the 1938 NTS Map

14. Chronology

- 1791 Barton Township was surveyed by Augustus Jones; the first settler arrived in the township.
- 1792 Province of Upper Canada divided into administrative districts.
- 1816 Home District divided and reorganized. As part of the reorganization, Wentworth was reorganized and included within the Gore District.
- 1850 Gore District was divided and Halton and Wentworth Counties were created.
- 1873 Incorporation of the Hamilton Street Railway.
- 1875 A single structure is illustrated on the southern portion of the undeveloped property fronted on Main Street East. The property is owned by W. Holton.
- 1931 The property at 832 King Street East has been constructed and is in use as a residential apartment building under “Dunena Apartments” with six residents listed in the City Directory.
- 1970 The property remains under use as “Dunena Apartments”.

15. Bibliography

15.1 Telephone and Email Conversations

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Une agence du gouvernement de l'Ontario

Cultural Heritage Evaluation Report Recommendations 832 King Street East, Hamilton, Ontario

Prepared by AECOM
for Metrolinx

February 16, 2017

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Revision History

Revision #	Date	Revised By:	Revision Description
0	02/16/2017	C. Latimer	Draft to Metrolinx

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1. Executive Summary

AECOM Canada Ltd. (AECOM) was retained by Metrolinx to complete a Cultural Heritage Evaluation Report (CHER) for the property at 832 King Street East, in the City of Hamilton, Ontario. This work is being completed as part of the Hamilton Light Rail Transit (LRT) Project.

The Hamilton LRT Project B-Line alignment extends from McMaster University at Cootes Drive to the Main Street/Highway 403 Bridge. A proposed LRT-only bridge will allow the alignment to then extend along King Street West until King East Street intersects with Main Street East, where the alignment will continue along Main Street East to the Queenston Road traffic circle. As a part of the project, it is anticipated that building impacts may take place on the property at 832 King Street East.

The project impacts will be assessed following the Transit Project Assessment Process (TPAP), as prescribed in Ontario Regulation (O. Reg.) 231/08, Transit Projects and Metrolinx Undertakings under the Environmental Assessment Act. As part of the TPAP Amendment, an Environmental Project Report (EPR) Amendment will be prepared for public review.

The CHER was prepared according to the Metrolinx Interim Cultural Heritage Management Process and utilizes the criteria in Ontario Regulation 9/06 and Ontario Regulation 10/06, as required by the Ministry of Tourism, Culture, and Sport's (MTCS) *Standards and Guidelines for the Conservation of Provincial Heritage Properties* (2010). In addition, the CHER was prepared according to the Metrolinx Draft Terms of Reference for Consultants: *Cultural Heritage Evaluation Report and Cultural Heritage Evaluation Report Recommendations*. As such the recommendations as they relate to this CHER and the potential cultural heritage value or interest of the property at 832 King Street East are contained in a separate Cultural Heritage Evaluation Report Recommendations (CHERR) document.

As part of the reporting requirements for the Hamilton LRT Project, Archaeological Services Inc. (ASI) undertook a Cultural Heritage Screening Report (CHSR) for the alignment. The CHSR identified the requirement to conduct a CHER for the property located at 832 King Street East to assess the potential cultural heritage value or interest of the property. Where applicable, relevant background information has been utilized from the CHSR for project consistency.

The property located at 832 King Street East on a rectangular corner lot at the southwest corner of King Street East and Holton Avenue South. The structure on the property consists of a three-storey apartment building that extends approximately 40 metres (m) south on Holton Avenue. The massing, design, and exterior configuration of the apartment appears to remain relatively unchanged from its original construction in the 1930s.

Hamilton City Directories indicate that the building at 832 King Street East was constructed by 1931 and was used for residential purposes, identified as the "Dunena Apartments". The building footprint appears as part of a 1933 revision that was made to the 1927 Fire Insurance Plan and is illustrated as "Apartments".

A field review of the privately owned property at 832 King Street East was undertaken on January 12, 2017 and February 3, 2017 by Michael Greguol and Emily Game of AECOM. An assessment was not completed on the interior of the structures due to the timing constraints for the TPAP Amendment.

The property at 832 King Street East is an example of mid-20th century urban apartment construction. The apartment building includes particular design elements such as the wooden brackets above the door on the King Street East façade, the decorative brick quoins on the corners of the building, and the raised parapet walls along the rooflines, but does not represent a particular style or character. Rather, it is a typical example of apartment construction found in Hamilton.

The application of O.Reg 9/06 and O.Reg. 10/06 concluded that 832 King Street East does not meet O.Reg. 9/06 or O.Reg. 10/06, as it did not satisfy any of the criteria. Therefore, this CHERR recommends that the property at 832 King Street East, Hamilton is not considered a Provincial Heritage Property (PHP).

2. Ontario Regulation 9/06 Evaluation

Ontario Regulation 9/06, *Criteria for Determining Cultural Heritage Value or Interest* (O. Reg. 9/06) provides criteria to apply to a potential heritage property to evaluate its heritage value. If a privately-owned property meets one or more of the following criteria it may be designated by a municipality under Section 29 of the *Ontario Heritage Act*. For the purposes of this CHER, O. Reg. 9/06 considers the evaluation of the property as part of the community context. The *Standards and Guidelines for the Conservation of Provincial Heritage Properties* state that a property may be considered a Provincial Heritage Property (PHP) if it meets one or more of the criteria under O. Reg. 9/06. The application of the criteria for 832 King Street East is included in Table 2-1 below.

Table 2-1: O.Reg. 9/06 Evaluation for 832 King Street East

Criterion	Response (Yes/No)	Rationale
1) The property has design or physical value because it:		
i) Is a rare, unique, representative, or early example of a style, type, expression, material, or construction method;	No	The property includes a building that is a typical example of mid-20 th century apartment construction in Hamilton.
ii) Displays a high degree of craftsmanship or artistic merit; or	No	The property is of common design and does not display a high degree of craftsmanship or artistic merit.
iii) Demonstrates a high degree of technical or scientific achievement.	No	The property is a common residential apartment structure and does not display a high degree of technical or scientific achievement.
2) The property has historic or associative value because it:		
i) Has direct associations with a theme, event, belief, person, activity, organization or institution that is significant to a community;	No	No theme, event, belief, person, activity, organization or institution that is significant to a community was found to be directly associated with this building.
ii) Yields, or has the potential to yield information that contributes to an understanding of a community or culture; or	No	The property does not have potential to yield information that contributes to an understanding of a community or culture.

Criterion	Response (Yes/No)	Rationale
iii) Demonstrates or reflects the work or ideas of an architect, artist, builder, designer, or theorist who is significant to a community.	No	A specific architect, designer, or builder could not be determined for this property.
3) The property has <i>contextual value</i> because it:		
i) Is important in defining, maintaining, or supporting the character of an area;	No	The property forms a large portion of the south side of King Street East between Holton Avenue and Farleigh Avenue; however, it is of relatively common design and does not appear to be an important property in defining, maintaining, or supporting the character of the area.
ii) Is physically, functionally, visually, or historically linked to its surroundings; or	No	The property has remained relatively unchanged from its original construction on the south side of King Street East since 1931; however, its surrounding environment has changed over time. While connected to its historic location just outside of downtown Hamilton, the property does not appear to be physically, functionally, visually, or historically linked to its surroundings.
iii) Is a landmark.	No	The property at 832 King Street East is not considered a landmark.

3. Ontario Regulation 10/06 Evaluation

Ontario Regulation 10/06, *Criteria for Determining Cultural Heritage Value or Interest of Provincial Significance* (O. Reg. 10/06), provides criteria against which to assess a property to determine if the property holds provincial heritage significance. The *Standards and Guidelines for the Conservation of Provincial Heritage Properties* state that Ministries and prescribed public bodies shall apply the criteria in O. Reg. 10/06 to determine whether a property is of provincial significance. Therefore, for the purpose of this CHER O. Reg 10/06 considers the evaluation of the property as a part of the provincial context. If the property meets the criteria, it may be considered a Provincial Heritage Property of Provincial Significance (PHPPS). The application of the criteria for 832 King Street East is in Table 3-1, below.

Table 3-1: O.Reg. 10/06 Evaluation for 832 King Street East

Criterion	Response (Yes/No)	Rationale
1. The property represents or demonstrates a theme or pattern in Ontario's history.	No	832 King Street East does not represent a theme or pattern in Ontario's history. Residential apartment structures similar to this are found throughout towns and cities in Ontario.
2. The property yields, or had the potential to yield, information that contributes to an understanding of Ontario's history.	No	832 King Street East does not yield, and is not anticipated to yield information that contributes to an understanding of Ontario's history.
3. The property demonstrates an uncommon, rare, or unique aspect of Ontario's cultural heritage.	No	832 King Street East does not demonstrate an uncommon, rare, or unique aspect of Ontario's cultural heritage. The form and massing of the structures are commonly found in Ontario.
4. The property is of aesthetic, visual, or contextual importance to the province.	No	832 King Street East property is not of aesthetic, visual, or contextual importance to the province.
5. The property demonstrates a high degree of excellence or creative, technical, or scientific achievement at a provincial level in a given period.	No	832 King Street East is a common residential apartment structure and does not demonstrate a high degree of excellence or creative, technical, or scientific achievement at a provincial level.

Criterion	Response (Yes/No)	Rationale
6. The property has a strong or special association with the entire province or with a community that is found in more than one part of the province.	No	832 King Street East does not have a strong or special association with the entire province or with a community that is found in more than one part of the province. No provincial connections could be determined for this property.
7. The property has a strong or special association with the life or work of a person, group or organization of importance to the province or with an event of importance to the province.	No	832 King Street East does not have strong or special associations with the life or work of a person, group, or organization of importance to the province or with an event of importance to the province.
8. The property is located in an unorganized territory and the Minister determines that there is a provincial interest in the protection of the property.	No	832 King Street East is not located in an unorganized territory.

4. Recommended Outcome of Evaluation

The application of O.Reg 9/06 and O.Reg. 10/06 concluded that 832 King Street East does not meet O.Reg. 9/06 or O.Reg. 10/06, as it did not satisfy any of the criteria. Therefore, this CHERR recommends that the property at 832 King Street East, Hamilton is not considered a Provincial Heritage Property (PHP). As a result, a Statement of Cultural Heritage Value or Interest and Heritage Attributes have not been prepared for this property.



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Cultural Heritage Evaluation Report 902 King Street East, Hamilton, Ontario

**Prepared by AECOM
for Metrolinx**

February 28, 2017

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Revision History

Revision #	Date	Revised By:	Revision Description
0	02/28/2017	C. Latimer	Draft to Metrolinx

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The attached Report (the "Report") has been prepared by AECOM Canada Ltd. ("AECOM") for the benefit of the Client ("Client") in accordance with the agreement between AECOM and Client, including the scope of work detailed therein (the "Agreement").

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- must be read as a whole and sections thereof should not be read out of such context;
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1. Executive Summary

AECOM Canada Ltd. (AECOM) was retained by Metrolinx to complete a Cultural Heritage Evaluation Report (CHER) for the property at 902 King Street East, in the City of Hamilton, Ontario. This work is being completed as part of the Hamilton Light Rail Transit (LRT) Project.

The Hamilton LRT Project B-Line alignment extends from McMaster University at Cootes Drive to the Main Street/Highway 403 Bridge. A proposed LRT-only bridge will allow the alignment to then extend along King Street West until King East Street intersects with Main Street East, where the alignment will continue along Main Street East to the Queenston Road traffic circle. As a part of the project, it is anticipated that building impacts may take place on the property at 902 King Street East.

The project impacts will be assessed following the Transit Project Assessment Process (TPAP), as prescribed in Ontario Regulation (O. Reg.) 231/08, Transit Projects and Metrolinx Undertakings under the Environmental Assessment Act. As part of the TPAP Amendment, an Environmental Project Report (EPR) Amendment will be prepared for public review.

The CHER was prepared according to the Metrolinx Interim Cultural Heritage Management Process and utilizes the criteria in Ontario Regulation 9/06 and Ontario Regulation 10/06, as required by the Ministry of Tourism, Culture, and Sport's (MTCS) *Standards and Guidelines for the Conservation of Provincial Heritage Properties* (2010). In addition, the CHER was prepared according to the Metrolinx Draft Terms of Reference for Consultants: *Cultural Heritage Evaluation Report and Cultural Heritage Evaluation Report Recommendations*. Consequently the recommendations as they relate to this CHER and the potential cultural heritage value or interest of the property at 902 King Street East are contained in a separate Cultural Heritage Evaluation Report Recommendations (CHERR) document.

As part of the reporting requirements for the Hamilton LRT Project, Archaeological Services Inc. (ASI) undertook a Cultural Heritage Screening Report (CHSR) for the alignment. The CHSR identified the requirement to conduct a CHER for the property located at 902 King Street East to assess the potential cultural heritage value or interest of the property. Where applicable, relevant background information has been utilized from the CHSR for project consistency.

The property located at 902 King Street East is a quadrangular lot on the southwest corner of King Street East and St. Clair Avenue. The structure on the property consists of a two-and-a-half storey residential structure, with a small one storey brick addition. The property was first developed in the 1920s, and the addition was added between 1940 and 1945.

Historical Fire Insurance Plans and Hamilton City Directories indicate that by the 1920s the residential structures located south of the subject property on St. Clair Avenue were constructed within the first decade of the 20th century; however, the subject property remained vacant until a decade later. It was not until the mid-1920s that the house was built. In the early-1940s, the one storey brick addition that now occupies most of the frontage along King Street East was constructed. The 1962 Fire Insurance Plan indicates that the addition was used for offices, likely medical in nature given the residents listed at the addresses throughout the 20th century.

A field review of the privately-owned property at 902 King Street East was undertaken on January 12, 2017 and February 3, 2017, by Michael Greguol and Emily Game of AECOM. An assessment was not completed on the interior of the structures due to the timing constraints for the TPAP Amendment.

The property located at 902 King Street East is an example of domestic revival architecture between the First and Second World Wars that has drawn on classical design vocabulary. Although the house was built in the mid-1920s and is stylistically different from the adjacent houses on St. Clair Avenue, it includes a number of design elements such as the Classical details and Palladian windows that connect it to its suburban neighbourhood south of the property.

2. Introduction

2.1 Historical Summary

2.1.1 Context

The subject property is located within the municipal boundaries of the City of Hamilton, Ontario. Prior to the incorporation of the current municipality, the property was located within the boundaries of Barton Township, in Wentworth County.

2.1.2 Wentworth County

As part of the establishment of Upper Canada, the province was divided into administrative Districts in 1792. As such, Wentworth County was one of several counties that made up the Home District. It was named in honour of Sir John Wentworth, Lieutenant Governor of Nova Scotia from 1792-1808. In 1816, the Home District was divided and reorganized and Wentworth County was included in the Gore District. By 1849, the original district system was abolished and replaced by a county council system and Wentworth County became an independent political entity. Townships that were included in Wentworth County at one time or another included Ancaster, Barton, Beverly, Binbrook, Caistor, Flamborough East and West, Glanford, Onondaga, Saltfleet, and Seneca. Between 1850 and 1854, Wentworth and Halton Counties were joined for government purposes into the United Counties of Wentworth and Halton; however, this change was short-lived. In 1973, Wentworth County was renamed the Regional Municipality of Hamilton-Wentworth and, in 2001, was amalgamated with six constituent municipalities into the City of Hamilton. The City of Hamilton has remained as the administrative seat or county town since the original creation of the Gore District nearly two centuries ago.

2.1.3 Barton Township

Barton Township is described in detail in the *Illustrated Historical Atlas of the County of Wentworth of 1875*. The Township of Barton was surveyed in 1791 by Augustus Jones using the Single-Front survey system used by the colonial government between 1783 and 1818.¹ The survey was made up of concessions separated by road allowances. The concession was divided into lots of 200 acres and sideroad allowances were surveyed after every fifth lot. The first settlers arrived in Barton Township in 1791, many of whom were United Empire Loyalists or disbanded troops. The settlement of Barton Township began slowly, with only 102 families living in the township by 1815; most of the settlement was concentrated at the foot of the Niagara Escarpment. The township continued to grow and by 1823 it contained one sawmill and three gristmills. By 1841, the population grew to 1,434.² Barton Township was later amalgamated into the Regional Municipality of Hamilton-Wentworth, which today is known as the City of Hamilton.

¹ Smith, William H. *Smith's Canadian Gazetteer. Toronto: H. & W. Roswell. 1846.*

² Boulton, D'Arcy. *Sketch of His Majesty's Province of Upper Canada. London: C. Rickaby. 1805. pp. 48-49.*

2.2 Description of Property

The property located at 902 King Street East is a quadrangular lot on the southwest corner of King Street East and St. Clair Avenue. The structure on the property consists of a two-and-a-half storey residence, with a small one storey brick addition on the north side facing King Street. The property was first developed in the 1920s, and the addition was added between 1940 and 1945. Although the property was historically known as 902 King Street, as the business address, the majority of the frontage and the main façade for this property fronts onto St. Clair Avenue. The building is representative of a period of revivalism between the World Wars, partly in response to Modernism; however, it does include an eclectic collection of vernacular design elements built into the 1920s portion of the house.

2.3 Current Context

The property is situated on the southwest corner of King Street East and St. Clair Avenue, on the eastern outskirts of downtown Hamilton. As a corner property, it has frontage along both streets, the majority of it fronting onto St. Clair Avenue. Although a part of the suburban residential properties south of the subject property on St. Clair Avenue, the property at 902 King Street East was built much later and is visually different from its surroundings. Nonetheless, the design incorporates classical details that connect it to the Edwardian foursquare houses that dominate the neighbourhood to the south of it. In scale, setback, and massing, it is harmonious with the overall character and contributes to the streetscape.

3. Methodology and Sources

3.1 Study Approach

This CHER was prepared in accordance with Metrolinx's *Interim Cultural Heritage Management Process* (Fall 2013) and the MTCS *Standards and Guidelines for the Conservation of Provincial Heritage Properties* (2010). The CHER was also undertaken according to the guidelines presented in the Metrolinx document, *Draft Terms of Reference for Consultants: Cultural Heritage Evaluation Report and Cultural Heritage Evaluation Report Recommendations* (April 2016) and outlined in the following tasks:

- Research and Documentation Gathering – gathered from various sources including existing heritage studies, Metrolinx records, public archives, and published materials;
- Writing – an illustrated report based on gathered background history and site investigation materials, and the application of O.Reg. 9/06 and 10/06; Evaluation, Recommendations, and Statement of Cultural Heritage Value – a summary of the applicable evaluation, and recommendations regarding whether the property meets the criteria for being a provincial heritage property, a provincial heritage property of provincial significance, or neither.

As outlined in the Draft Terms of Reference, the heritage evaluation is separated into two stand-alone components: a CHER and a CHERR. The Cultural Heritage Evaluation Report includes research conducted for the CHER and is intended to address the criteria set out in O.Reg. 9/06 and 10/06. The CHERR includes the results of the applied evaluation, and the recommended outcome of the evaluation.

Michael Greguol, Cultural Heritage Specialist, and Emily Game, Heritage Researcher for AECOM, conducted a site investigation to visually inspect and document the property on January 12th and February 3, 2017.

3.2 Secondary Sources

A series of secondary sources were reviewed for the purposes of data collection and analysis as part of the CHER. The relevant guidelines and reference documents cited above served as a framework for undertaking the study. The *Hamilton Light Rail Transit Cultural Heritage Screening Report, City of Hamilton, Ontario* (CHSR) prepared by ASI in December 2016, provided a preliminary review of the rail corridor and the potential heritage properties identified along the corridor. Background information and applicable research was gathered from the report for the purposes of the CHER. In addition, a series of published materials including published histories pertaining to the history of Hamilton were consulted. A complete list of the sources reviewed for the report is contained in Section 15 (Bibliography).

3.3 Primary Sources

Where available, primary source material was consulted to provide a historical context for the evaluation of the potential heritage value of the property. Primary source research was undertaken at the Local History and Archives Department of the Hamilton Public Library, the Mills Memorial Library at McMaster University, and at the Map and Data Centre at the University of Western Ontario. A review of the

following primary sources aided in the evaluation of the structures at 902 King Street East:

- Illustrated Historical Atlas of the County of Wentworth, 1875;
- Hamilton City Directories, issues 1931-1970;
- Fire Insurance Plans, 1927 (rev. 1933) – 1964; and,
- National Topographic Series, 1905-1938.

3.4 Consultations

As part of the identification of recognized and potential cultural heritage resources for the CHSR, ASI undertook consultation with the City of Hamilton, the Ontario Heritage Trust (OHT) and the MTCS. Consultation during the CHSR process took place between August and October, 2016.

As part of this CHER, AECOM undertook property-specific consultation with the same municipal and provincial staff and agencies in order to identify or confirm any existing heritage recognitions or interest in the subject property.

The following individuals and organizations were consulted:

- Thomas Wicks, Heritage Planner, OHT;
- Chelsey Tyers, Cultural Heritage Planner, City of Hamilton;
- Asyia Patel, Assistant Cultural Heritage Planner, City of Hamilton; and,
- Rosi Zirger, Heritage Planner, MTCS.

The results of the consultation efforts have been summarized in Section 7 (Community Input).

4. Heritage Recognitions

4.1 Municipal

As a review of applicable municipal heritage recognitions for the property or adjacent properties, AECOM reviewed the City of Hamilton's heritage inventories. The following inventories and registers were reviewed:

- *Hamilton's Heritage Volume 1: List of Designated Properties and Heritage Conservation Easements under the Ontario Heritage Act;* and,
- *Hamilton's Heritage Volume 2: Inventory of Buildings of Architectural and/or Historical Interest.*

In addition, consultation efforts were undertaken to confirm levels of municipal heritage recognition, if any. The property was identified in the December 2016 CHSR as not being subject to any heritage recognitions. However, consultation with the City of Hamilton in January and February 2017 confirmed that the property is now listed on the City's *Inventory of Building of Architectural and/or Historical Interest*.

4.2 Provincial

As a review of applicable provincial heritage recognitions for the property or adjacent properties AECOM reviewed the OHT's Provincial Plaque Guide, and list of OHT easements. The property at 902 King Street East is neither the subject of a provincial plaque nor a provincial easement. In addition, an OHT staff person was contacted to review the *Ontario Heritage Act* Register to confirm that the property is not included on the register and that an OHT easement does not exist for the property.

Thomas Wicks, Heritage Planner for the OHT confirmed on February 9, 2017 that the property is not subject to an OHT conservation easement or on their register.

4.3 Federal

As a review of applicable federal heritage recognitions for the property or adjacent properties, AECOM reviewed the online searchable database for the Canadian Register of Historic Places as well as the Directory of Federal Heritage Designations. 902 King Street East and the adjacent properties are not subject to any existing federal heritage recognitions.

5. Adjacent Lands

The properties adjacent to 902 King Street East consist primarily of residential on St. Clair Avenue and commercial properties on d King Street East. Located immediately to the west on King Street are a series of two storey commercial buildings, including a dental office immediately adjacent to the subject property. South of the subject property is a series of early 20th century two-and-a-half storey residential structures that were built in the Edwardian style of architecture. While the details all vary on the structures, the majority of the properties all share a common form and design.

Consultation with the City of Hamilton indicated that the adjacent properties, 900 King Street East, and 14 St. Clair Avenue are not protected heritage properties.

6. Archaeology

ASI completed a Stage 1 Archaeological Assessment (AA) as part of the Rapid Transit Initiative and found that the property at 902 King Street East did not retain archaeological potential and confirmed that no known archaeological assessments have previously been completed within 50 metres (m) of the property. As such, at the time of production of the ASI report, no archaeological sites had been identified within or adjacent to the property. Additionally, the ASI Stage1 AA indicates that there is no land that retains archaeological potential within 50 m of 902 King Street East.

The results of the Stage 1 AA determined that a Stage 2 AA must be conducted for all land identified as retaining archaeological potential that will be impacted by the proposed Rapid Transit Initiative. Based on this assessment, ASI made the following recommendations:

- The King Street right-of-way (ROW) does not retain archaeological potential due to previous land disturbance. An additional AA is not required within the ROW and those portions of the study corridor can be cleared of further archaeological concern; and,
- A Stage 2 AA should be conducted on lands determined to have archaeological potential if the proposed project is to impact these lands. This work must be done in accordance with the MTCS' *Standards and Guidelines for Consultant Archaeologists* (Ontario Government 2011) in order to identify any archaeological remains that may be present.

It should be noted that ASI's recommendations for Stage 2 archaeological work references the MCL's 2006 draft *Standards and Guidelines for Consultant Archaeologists* (MCL 2006); however, further Stage 2 archaeological work must now be conducted in accordance with current archaeological standards and guidelines (*Standards and Guidelines for Consultant Archaeologists*, Ontario Government 2011) . For complete details regarding the results of the Stage 1 AA, reference should be made to the *Stage 1 Archaeological Assessment, Rapid Transit Initiative, City of Hamilton, Ontario* (February 2009).

7. Community Input

As part of the consultation process for this report, AECOM undertook consultation with the City of Hamilton, the MTCS, and the OHT. The results of the consultation efforts are identified below in Table 7-1.

Table 7-1: Community Input and Consultation Undertaken for 902 King Street East

Contact	Contact Information	Date	Notes
Chelsey Tyers, Heritage Planner City of Hamilton	905-546-2424 ext. 1202 chelsey.tyers@hamilton.ca	February 1, 2017	The City of Hamilton confirmed that 902 King Street East is listed on the City's <i>Inventory of Building of Architectural and/or Historical Interest</i> .
Asiya Patel Assistant Cultural Heritage Planner City of Hamilton	905-546-2424 ext. 7163 asiya.patel@hamilton.ca		
Thomas Wicks Heritage Planner Ontario Heritage Trust	416-314-5972 thomas.wicks@heritagetrust.on.ca	February 1, 2017	The OHT confirmed that the property is not subject to an OHT conservation easement nor is it on their register.
Rosi Zirger Heritage Planner Ministry of Tourism, Culture, and Sport	416-314-7159 rosi.zirger@ontario.ca	February 1, 2017	Response pending.

8. Discussion of Historical or Associative Value

8.1 Historic Theme/Cultural Pattern

8.1.1 *Transportation*

The earliest roads in Ontario were typically military roads or colonization roads. These roads often followed aboriginal hunting trails or were dictated by the topography of the land which they crossed. The Dundas Road was opened to connect Toronto with the Thames River, in what is now London, Ontario, and the Kingston Road was designed to provide a military link between Toronto and Kingston. The Kingston Road was one of the earliest and still functioning roads in southern Ontario.

Following the Crown surveys in Ontario, concession and side roads were opened on a grid that was dictated by the survey type that was used. The roads were cleared and made passable by the early land owners who built their dwellings adjacent to the concession roads. Despite being cleared, road conditions were often poor until the late 19th and early 20th centuries.

Railway transportation, both passenger and freight, greatly improved the transportation network in Ontario beginning in the mid-1800s. The opening of the Grand Trunk Railway (GTR) between Montreal and Toronto in 1856 provided a link between the two cities and provinces that was more easily travelled in comparison to mid-19th century roads. The construction of the route from Montreal to Toronto, and then on to Samia by the end of the 1860s resulted in the construction of significant structures such as the Victoria Bridge over the St. Lawrence River, and the St. Clair Tunnel in Samia. The GTR was designed to enhance the St. Lawrence-Great Lakes shipping routes in response to the railroads and shipping networks in the United States. As a result it also strengthened the connection and link between the townships, and municipal and provincial economies in Ontario.

Various railway companies were formed in Ontario to create a vast network of rail lines that spread throughout the province by the early-20th century. Nonetheless, most of the companies were eventually merged with or purchased by the Canadian National Railway (CN) or the Canadian Pacific Railway (CP).

8.1.2 *Hamilton Street Railway*

In 1873, the City of Hamilton incorporated the Hamilton Street Railway; the horse-drawn streetcar service began in May 1874 with six operating cars. The line extended along three miles of track from the GTR's passenger station east along Stuart Street South to James Street. The line travelled south to Gore Park and then east along King Street to Wellington Street. Due to popularity of the service, additional cars were added and the track was extended. New track was laid west along King Street to Locke Street and east to Wentworth Street.

The electrification process of the Hamilton Street Railway began in March 1892. A total of 12 miles of track were electrified and 15 horsecars were converted to electric street cars. Operation of the newly-electrified cars began on June 29, 1892.

At the end of the Second World War, Hamilton Street Railway sold the lines to Canada Coach for \$1.4 million. Immediately following the sale, Canada Coach announced plans to replace the street car service with busses. By 1951, the last street car was removed from service and replaced by electric trolley busses.³

The proposed B-Line follows the old streetcar route from King Street near McMaster University to Sherman Avenue; where the old streetcar route then turned south along Sherman Avenue and then continued east on Main Street to Kenilworth Avenue North. The new B-Line will carry on past Sherman until it reconnects to Main Street at the Delta, and continue east to the Queenston Road traffic circle.

The present-day Hamilton transit company operates under the name of Hamilton Street Railway Company.

8.2 Local History

902 King Street East is located within the City of Hamilton, Ontario. Historically the structure was located within Lot 9, Concession II, Barton Township in Wentworth County. The subsections below include historic information related to the settlement and growth of these areas.

8.2.1 Settlement History

As part of the establishment of Upper Canada, the province was divided into administrative Districts in 1792. As such, Wentworth County was one of several counties that made up the Home District. It was named in honour of Sir John Wentworth, Lieutenant Governor of Nova Scotia from 1792-1808. In 1816, the Home District was divided and reorganized and Wentworth County was included in the Gore District. By 1849, the original district system was abolished and replaced by a county council system and Wentworth County became an independent political entity. Townships that were included in Wentworth County at one time or another included Ancaster, Barton, Beverly, Binbrook, Caistor, Flamborough East and West, Glanford, Onondaga, Saltfleet, and Seneca. Between 1850 and 1854, Wentworth and Halton Counties were joined for government purposes into the United Counties of Wentworth and Halton; however, this change was short-lived. In 1973, Wentworth County was renamed the Regional Municipality of Hamilton-Wentworth and, in 2001, was amalgamated with six constituent municipalities into the City of Hamilton. The City of Hamilton has remained as the administrative seat or county town since the original creation of the Gore District nearly two centuries ago.

Barton Township is described in detail in the *Illustrated Historical Atlas of the County of Wentworth of 1875*. The Township of Barton was surveyed in 1791 by Augustus Jones using the Single-Front survey system used by the colonial government between 1783 and 1818. The survey was made up of concessions separated by road allowances. The concession was divided into lots of 200 acres and sideroad allowances were surveyed after every fifth lot. The first settlers arrived in Barton Township in 1791, many of whom were United Empire Loyalists or disbanded troops. The Settlement of Barton Township began slowly, with only 102 families living in the township by 1815. Most of the settlement was concentrated at the foot of the Niagara Escarpment. The township continued to grow and by 1823 it contained one sawmill and three gristmills. By 1841, the population had grown to 1,434.

³Transit Toronto. <http://transit.toronto.on.ca/streetcar/4751.shtml>, consulted February 9, 2017.

8.2.2 Site History

902 King Street East was historically located in the southern part of Lot 9, Concession II in Barton Township when the crown survey for the township was undertaken. By 1875, the lot was subdivided amongst a number of landowners with 902 King Street East falling on a portion of the subdivided lot that is not listed to a landowner, but labelled as “48”. No structures are illustrated on the south side of King Street where 902 King Street East is located. At this time, urban development along this section of King Street East to the east of Wentworth Street South was not as extensive as the land to the west. Early urban roads around the subject property that were constructed by 1875 include: King Street East, Main Street East, Sherman Avenue South, Wentworth Street South, and Sanford Avenue South (Figure 3).

By the beginning of the 20th century, historic topographic mapping indicates that urban development was well underway surrounding the subject property and that urban expansion was spreading east of Wentworth Avenue South (Figure 4). Historic Fire Insurance Plans and Hamilton City Directories indicate that the residential structures located south of the subject property on St. Clair Avenue were constructed within the first decade of the 20th century; however, the subject property remained vacant until much later. It was not until the mid-1920s that the footprint of the main block of the house appeared on the plans. At the time however, it is only identified as 902 King Street East, regardless of its main frontage on St. Clair Avenue. In 1931, it was home to physician G.W. Houston. Houston remained in the house until the early 1940s when the ownership changed to Phillip and Laura Martin. Like G.W. Houston, Laura Martin was identified in the Hamilton City Directories as a physician, specifically identified later as a dermatologist. Also in the early-1940s, the one storey brick addition that now forms the King Street façade was built. The 1962 Fire Insurance Plan indicates that the addition was used for offices, likely medical in nature given the residents listed at the addresses throughout the 20th century.

Shortly after the addition was added to the main building, the addresses became listed both as 902 King Street East and 2 St. Clair Avenue. Both addresses were shown throughout the 20th century as being occupied by medical professionals. Based on the review of the directories, it appears that Laura Martin and Phillip Martin owned the property and likely lived in the house, while Laura’s medical profession operated out of the brick addition onto King Street East. Her medical practice continued to be listed at the property well into the 1970s, and is listed alongside other medical professionals including P Yanover, and J.M. Woolner, both physicians listed at the address in the 1960s.

The property was purchased in 2015 by a group of neighbours who reside on St. Clair Avenue. Prior to their purchase, the house was converted into apartments and eventually fell into disrepair. The purchase of the property in 2015 was intended to restore the property. Since then, various heritage conservation professionals and contractors have been hired to rehabilitate the dwelling. A comparison of the exterior of the dwelling between 2015 and February 2017 shows extensive improvement and heritage conservation efforts on the property.⁴

8.3 Person/Event/Organization

The historic research undertaken for this CHER did not identify any significant people, events, or organizations that are directly related to or associated with the properties, and could contribute to the potential cultural heritage interest or value of the properties.

⁴ Hamilton Spectator, “MAHONEY: Hamilton neighbours don’t like rundown building, so they buy it,” July 27, 2015, <http://www.thespec.com/news-story/5751945-mahoney-hamilton-neighbours-don-t-like-rundown-building-so-they-buy-it/> (accessed February 2017).

9. Discussion of Design or Physical Value

9.1 Style/Type/Tradition

The property at 902 King Street East consists of a two-and-a-half storey brick and stucco residential building, designed during a late period of revivalism between the First and Second World Wars, in part a rejection of the new modernism in architecture. The house was built in the 1920s as a late addition to the residential neighbourhood on St. Clair Avenue. As a result, it is visually distinct from many of the Edwardian foursquare dwellings on the street, in spite of the fact that they all share certain classical motifs.

Architecturally, the house is rectangular in plan with a medium-pitched side-gable roof. The finish is brick on a concrete foundation on the ground floor and rough stucco on the exterior of the second floor. The structure itself is most likely frame. The main façade is three bays, symmetrical disposed with a central entrance. The centre bay is distinguished by the large entrance with sidelights, above which is a large Palladian⁵ window, crowned by a classically proportioned gable at the roofline. The side bays have six-over-six double hung sash windows arranged in groups of three on the ground floor, and in pairs on the second. Two new dormers installed in the roof during the recent renovations are properly aligned with the windows below, maintaining the balance and symmetry of the design.

The proportions, balance and symmetry of the form establish its roots in the Classical tradition, which is further developed in the restrained use of features of the Tuscan order. The shallow porch comprises a pair of Tuscan columns supporting the simple entablature that defines the first storey and supports the second. During a previous series of renovations, the entablature was altered so that it no longer carries over the span of the porch itself. The simplicity of the fascia and cornice at the roofline are also in keeping with the Tuscan order. A subtle but revealing feature is that the window sills on the brick ground floor are rough-dressed stone, both materials suitable for the robust base and support for the lighter, more slender details of the second storey.

The north and south façades differ from one another, although each has a small Palladian window in the gable peak. The fenestration on the north side is not regular or symmetrical, but it is simple and could not be described as “eclectic” as often applies to Edwardian window design. The addition of the ground floor exterior building in the 1940s had no regard for the overall character of the building.

On the south façade, a small wing houses a solarium on the upper floor, and an enclosed porch on the ground floor. The wing is centred in the gable end wall, and matches the main block of the house in its principal details of finish and materials.

Extensive restoration efforts within the last year have altered some elements of the exterior including exterior stucco colouring and window rehabilitations; however, the restoration of the property has been in good keeping with heritage conservation efforts to preserve and enhance the architectural character and detail of the dwelling.

⁵ An archway or window with three openings, the central one arched and wider than the others, usually associated with Palladio, also known as Serliana or Venetian window or arch. Nicholas Pevsner, et al.

The brick addition on the north side of the dwelling consists of a simple one-storey quadrangular brick building with a flat roof and no specific architectural design details. Former entrances to the addition appear to have been on the north side of the building. This addition was likely the portion of the building that housed the medical profession throughout the mid-20th century, and as a result it does not stylistically relate to the rest of the house.

9.2 Function

The building located on the property at 902 King Street East was designed originally for residential purposes. Originally it appears that the house was designed as a single family residence in a rather stately manner; however, the property, including both addition and the house, appear to have been used for medical professional purposes, and most recently for apartment use. The planned future of the house is unclear; however, the rehabilitation efforts on the property appear to be supporting future residential apartment use.

9.3 Fabric

The structure at 902 King Street East is constructed primarily of brick; however, various materials are evident in the execution and style of the historic building fabric. The ground floor exterior is visibly brick, while the second floor has been covered with rough cast exterior stucco. Built in the 1920s, the load-bearing structure could be frame, and the exterior materials would be veneer. In addition, the decorative design elements of the dwelling, including the front entrance, door surround, entablature, and cornice all consist of recently restored woodwork. Lastly, the windows in the dwelling also appear to be recently restored or replaced wood sash windows.

10. Discussion of Contextual Value

10.1 Social Meaning

The property located at 902 King Street East is an example of early/mid-20th century domestic architecture that has utilized a series of classical design elements. Although the house was built in the mid-1920s and is stylistically different from the adjacent houses on St. Clair Avenue, it includes a series of design elements such as the classical details and renditions of Palladian windows that connect it to its suburban neighbourhood south of the property. In its return to Classical ideals of balance, order, symmetry and proportion, the house reflects a late Revival trend that arose between the First and Second World Wars in part to counter Modernism.

10.2 Environment

The property located at 902 King Street East is relatively unique in its surroundings, in that it is a separation from the styles of residential dwellings located further south on St. Clair Avenue. The early suburban street is defined mostly by its two and a half storey brick foursquares built in the Edwardian style with an eclectic mix of design elements on each house. The properties are much narrower and the houses are built together and in similar forms. Unlike its neighbours, the property at 902 King Street East is a much larger example, and utilizes a series of classical design details. Although its Palladian window can be seen elsewhere on the street, in this context the motif is used within the appropriate vocabulary of classical forms and principals. As a corner property it is relatively different from its neighbours; however, there is a sense of cohesiveness that connects the property to its surroundings on St. Clair Avenue.

10.3 Formal Recognition

The property was identified in the December 2016 CHSR as not being subject to any heritage recognitions. However, consultation with the City of Hamilton in January and February 2017 confirmed that the property is now listed on the City's *Inventory of Building of Architectural and/or Historical Interest*.

11. Data Sheet

Table 11-1: Data Sheet for 902 King Street East

FIELD	PROPERTY DATA
Municipal Address	902 King Street East
Municipality	Hamilton
Approximate Area (square metres)	445
Rail Corridor	Hamilton LRT B-Line
PIN	172020193
Ownership	Private
Aerial photo showing location and boundaries	
Exterior, street-view photo	
Date of construction of built resources (known or estimated and source)	1920s (Hamilton Fire Insurance Plans and Hamilton City Directories)

FIELD	PROPERTY DATA
Date of significant alterations to built resources (known or estimated and source)	Brick addition was added to the north side of the building between 1940-1945 (Hamilton City Directories)
Architect/designer/builder	Unknown
Previous owners or occupants	G.W. Houston, and Laura Martin, both physicians were identified as living in the house from between the 1930s to the 1970s. The added also appears to have functioned as a medical practice during the mid-20 th century
Current function	Residential and later Medical/Professional
Previous function(s)	Residential
Heritage Recognition/Protection (municipal, provincial, federal)	Listed on City's <i>Inventory of Building of Architectural and/or Historical Interest</i> .
Local Heritage Interest	Listed on City's <i>Inventory of Building of Architectural and/or Historical Interest</i> .
Adjacent Lands	No protected heritage properties
Latitude or UTM Northing	43.251238°
Longitude or UTM Easting	-79.839561°

12. Photographs



Photograph 1: Online street imagery showing 902 King Street East prior to purchase and restoration in 2015 (Google, 2015)



Photograph 2: View looking east showing main façade of the residential dwelling and brick addition at right (AECOM, 2017)



Photograph 3: View looking southeast showing corner of King Street East and St. Clair Avenue (AECOM, 2017)



Photograph 4: View showing detail of three-bay facade and entablature and cornice wrapping around dwelling (AECOM, 2017)



Photograph 5: View showing detail of centre bay with front door surround and Palladian window above (AECOM, 2017)



Photograph 6: View looking north, showing south side of the building and recent restoration work being undertaken on the property (AECOM, 2017)



Photograph 7: View looking south showing brick addition fronting onto King Street East (AECOM, 2017)



Photograph 8: View showing detail of windows on north facade of the dwelling, including small Palladian window (AECOM, 2017)



Photograph 9: View showing window and façade details on brick addition along King Street East (AECOM, 2017)

13. Figures

All figures pertaining to this CHER can be found on the following pages.

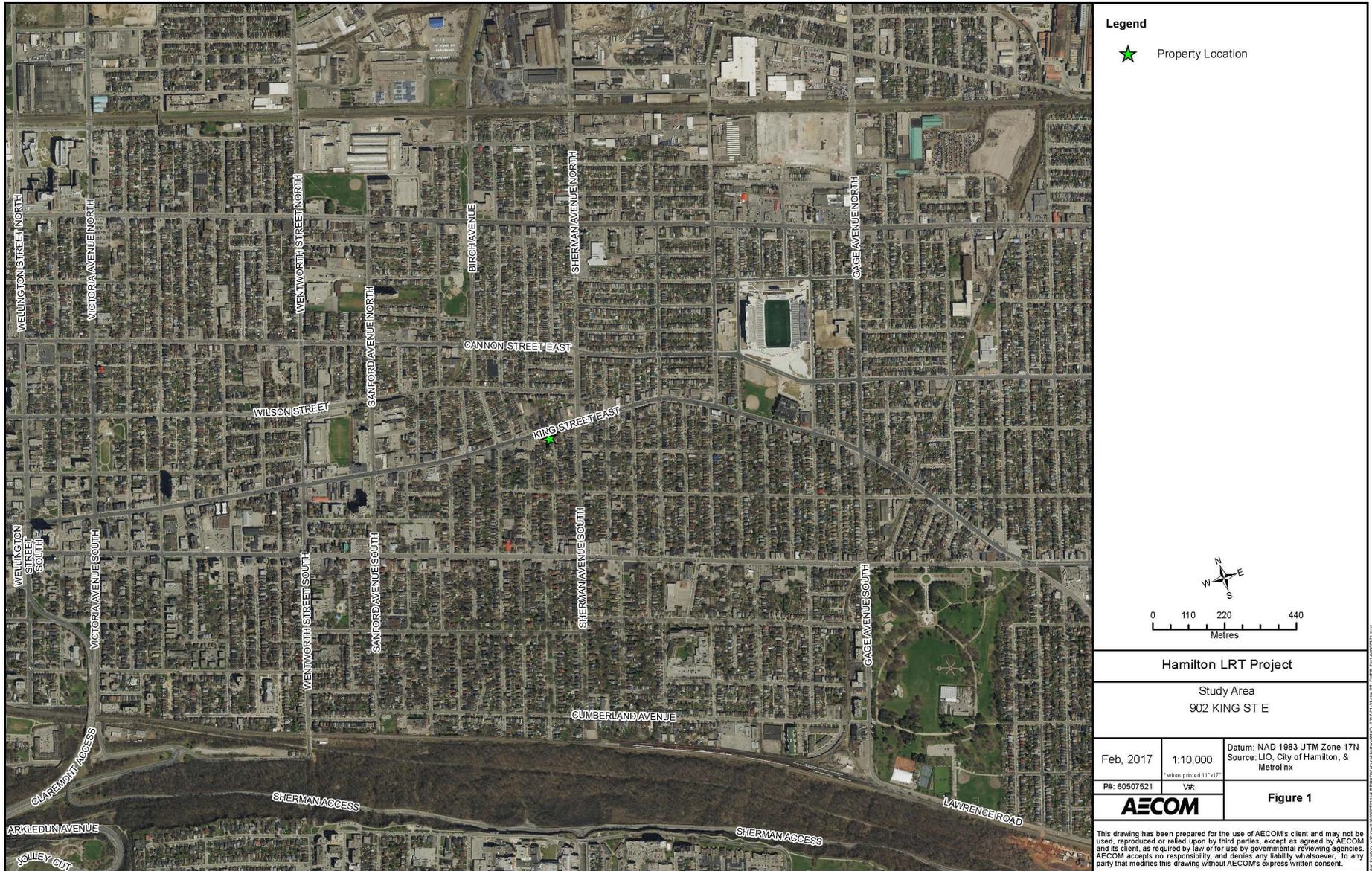


Figure 1: Location of 902 King Street East



Figure 2: Aerial Photograph showing the area surrounding 902 King Street East

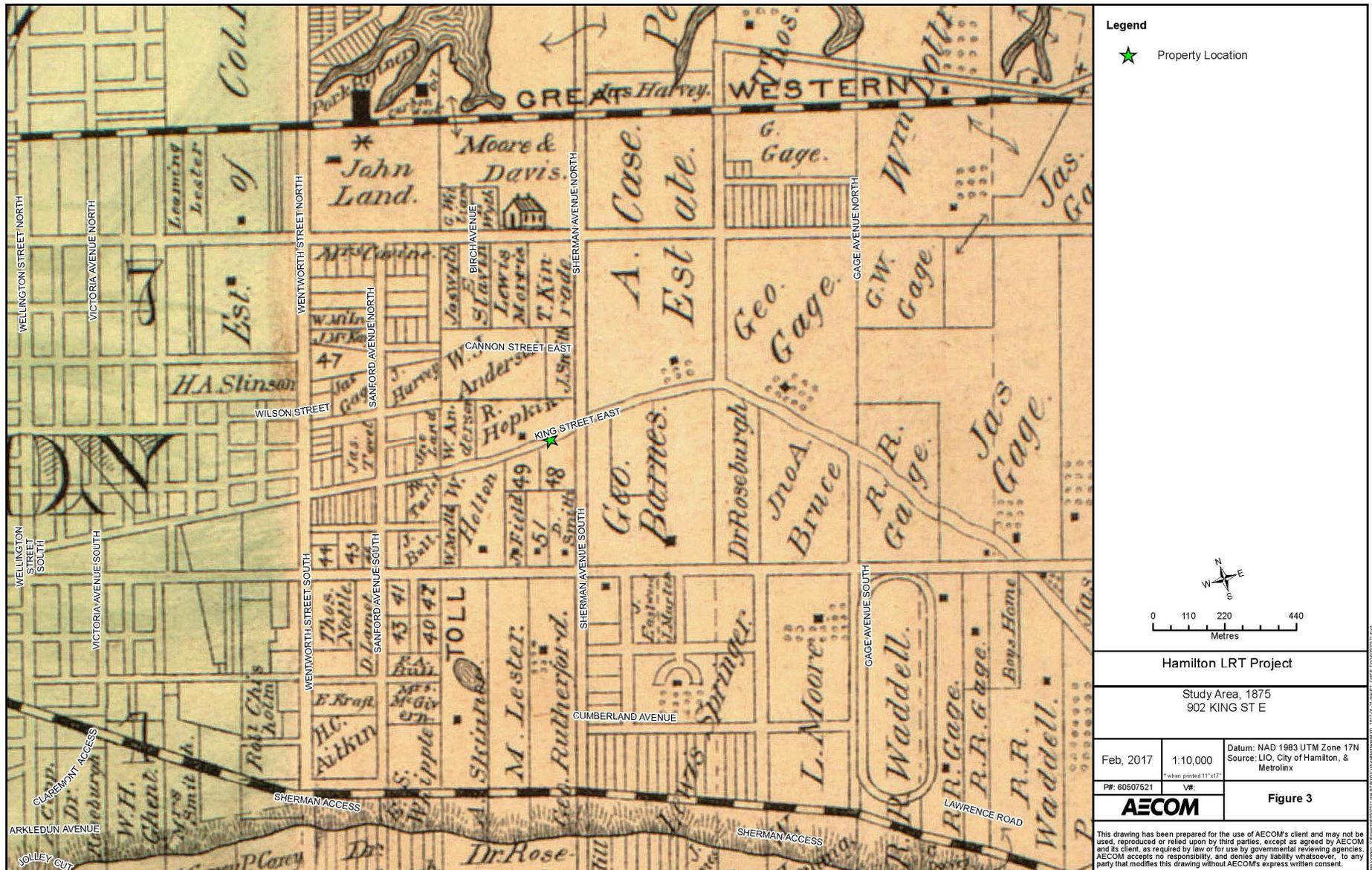


Figure 3: Location of 902 King Street East on the 1875 Historic Atlas Map (Page & Smith, 1875)

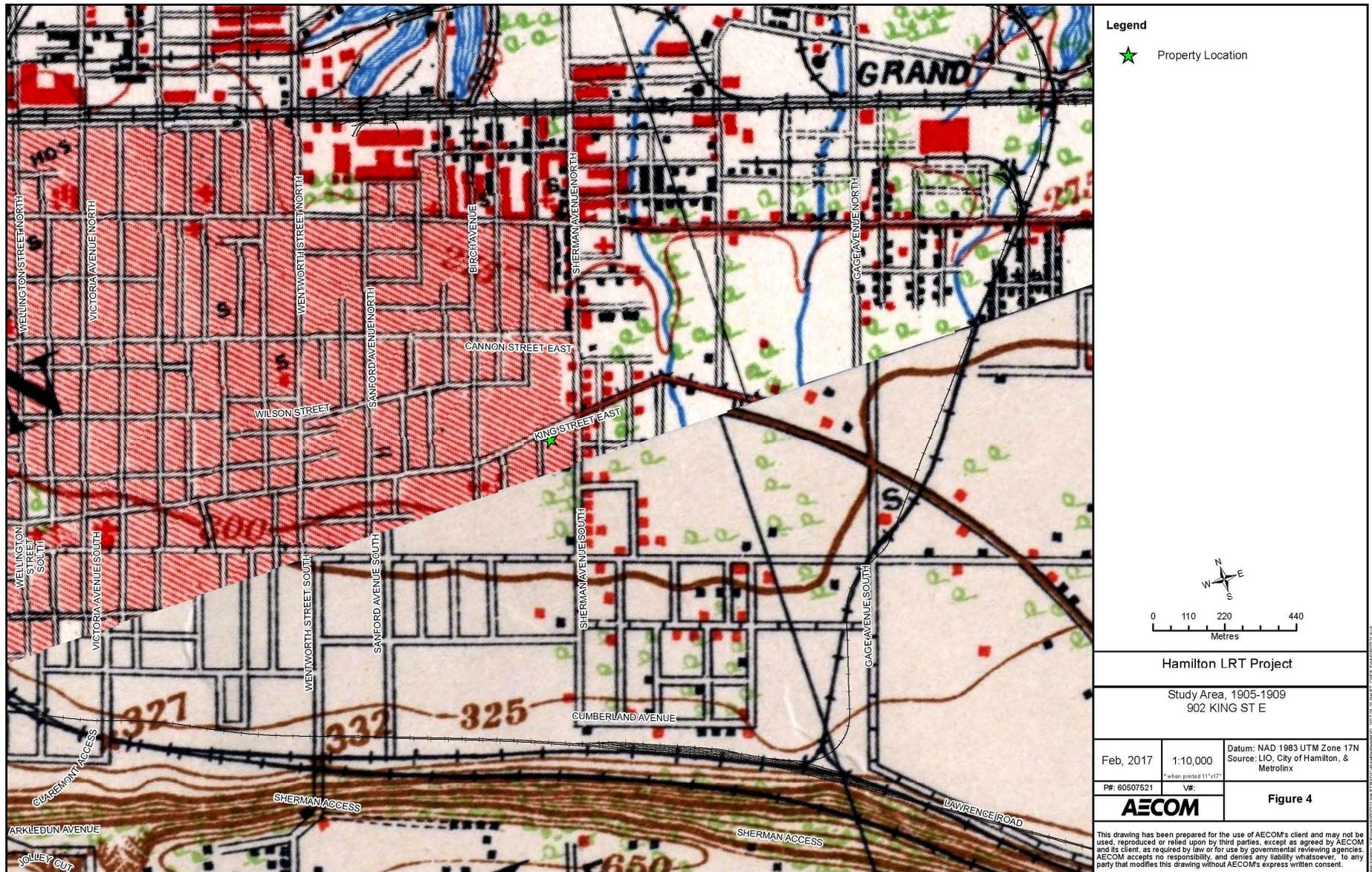


Figure 4: Location of 902 King Street East on the 1905-1909 NTS Map



Figure 5: Location of 902 King Street East on the 1938 NTS Map

14. Chronology

- 1791 Barton Township was surveyed by Augustus Jones; the first settler arrived in the township.
- 1792 Province of Upper Canada divided into administrative districts.
- 1816 Home District divided and reorganized. As part of the reorganization, Wentworth was reorganized and included within the Gore District.
- 1850 Gore District was divided and Halton and Wentworth Counties were created.
- 1873 Incorporation of the Hamilton Street Railway.
- 1875 Property is depicted on the *Illustrated Historical Atlas* map as being subdivided as part of urban expansion; however, no structures are shown on the property at the time.
- 1920s Residential building built on the property.
- 1931 Property is identified as belonging to G.W. Houston, a physician.
- 1940s Brick addition is built onto the north side of the property along King Street East.
- 1940s Laura Martin, physician, and Phillip Martin are listed and owning the property.
- 1940s-1970s Numerous medical practices, including Martin's dermatology practice are listed as functioning on the property.
- 2015 Property is purchased by a group of neighbours on St. Clair Avenue with intent to restore the building.

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Cultural Heritage Evaluation Report Recommendations 902 King Street East, Hamilton, Ontario

Prepared by AECOM
for Metrolinx

February 28, 2017

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Revision History

Revision #	Date	Revised By:	Revision Description
0	02/28/2017	C. Latimer	Draft to Metrolinx

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1. Executive Summary

AECOM Canada Ltd. (AECOM) was retained by Metrolinx to complete a Cultural Heritage Evaluation Report (CHER) for the property at 902 King Street East, in the City of Hamilton, Ontario. This work is being completed as part of the Hamilton Light Rail Transit (LRT) Project.

The Hamilton LRT Project B-Line alignment extends from McMaster University at Cootes Drive to the Main Street/Highway 403 Bridge. A proposed LRT-only bridge will allow the alignment to then extend along King Street West until King East Street intersects with Main Street East, where the alignment will continue along Main Street East to the Queenston Road traffic circle. As a part of the project, it is anticipated that building impacts may take place on the property at 902 King Street East.

The project impacts will be assessed following the Transit Project Assessment Process (TPAP), as prescribed in Ontario Regulation (O. Reg.) 231/08, Transit Projects and Metrolinx Undertakings under the Environmental Assessment Act. As part of the TPAP Amendment, an Environmental Project Report (EPR) Amendment will be prepared for public review.

The CHER was prepared according to the Metrolinx Interim Cultural Heritage Management Process and utilizes the criteria in Ontario Regulation 9/06 and Ontario Regulation 10/06, as required by the Ministry of Tourism, Culture, and Sport's (MTCS) *Standards and Guidelines for the Conservation of Provincial Heritage Properties* (2010). In addition, the CHER was prepared according to the Metrolinx Draft Terms of Reference for Consultants: *Cultural Heritage Evaluation Report and Cultural Heritage Evaluation Report Recommendations*. Consequently the recommendations as they relate to this CHER and the potential cultural heritage value or interest of the property at 902 King Street East are contained in a separate Cultural Heritage Evaluation Report Recommendations (CHERR) document.

As part of the reporting requirements for the Hamilton LRT Project, Archaeological Services Inc. (ASI) undertook a Cultural Heritage Screening Report (CHSR) for the alignment. The CHSR identified the requirement to conduct a CHER for the property located at 902 King Street East to assess the potential cultural heritage value or interest of the property. Where applicable, relevant background information has been utilized from the CHSR for project consistency.

The property located at 902 King Street East is a quadrangular lot on the southwest corner of King Street East and St. Clair Avenue. The structure on the property consists of a two-and-a-half storey residential structure, with a small one storey brick addition. The property was first developed in the 1920s, and the addition was added between 1940 and 1945.

Historical Fire Insurance Plans and Hamilton City Directories indicate that by the 1920s, the residential structures located south of the subject property on St. Clair Avenue were constructed within the first decade of the 20th century; however, the subject property remained vacant until a decade later. It was not until the mid-1920s that the house was built. In the early-1940s, the one storey brick addition that now occupies most of the frontage along King Street East was constructed. The 1962 Fire Insurance Plan indicates that the addition was used for offices, likely medical in nature given the residents listed at the addresses throughout the 20th century.

A field review of the privately-owned property at 902 King Street East was undertaken on January 12, 2017 and February 3, 2017 by Michael Greguol and Emily Game of AECOM. An assessment was not completed on the interior of the structures due to the timing constraints for the TPAP Amendment.

The property located at 902 King Street East is an example of domestic revival architecture between the First and Second World Wars that has drawn on classical design vocabulary. Although the house was built in the mid-1920s and is stylistically different from the adjacent houses on St. Clair Avenue, it includes a number of design elements such as the Classical details and Palladian windows that connect it to its suburban neighbourhood south of the property.

The application of O. Reg. 9/06 and O.Reg. 10/06 concluded that 902 King Street East met two of the nine O.Reg. 9/06 criteria. However, it did not meet the criteria outlined in O.Reg 10/06. Therefore, this CHERR recommends that the property at 902 King Street East is considered a Provincial Heritage Property (PHP).

2. Ontario Regulation 9/06 Evaluation

Ontario Regulation 9/06, *Criteria for Determining Cultural Heritage Value or Interest* (O. Reg. 9/06) provides criteria to apply to a potential heritage property to evaluate its heritage value. If a privately-owned property meets one or more of the following criteria it may be designated by a municipality under Section 29 of the *Ontario Heritage Act*. For the purposes of this CHER, O. Reg. 9/06 considers the evaluation of the property as part of the community context. The *Standards and Guidelines for the Conservation of Provincial Heritage Properties* state that a property may be considered a Provincial Heritage Property (PHP) if it meets one or more of the criteria under O. Reg. 9/06. The application of the criteria for 902 King Street East is included in Table 2-1 below.

Table 2-1: O.Reg. 9/06 Evaluation for 902 King Street East

Criterion	Response (Yes/No)	Rationale
1) The property has design or physical value because it:		
i) Is a rare, unique, representative, or early example of a style, type, expression, material, or construction method;	Yes	The proportions, balance and symmetry of the form establish its roots in the Classical tradition, which is further developed in the restrained use of features of the Tuscan order. In its return to Classical ideals of balance, order, symmetry and proportion, the house reflects a late Revival trend that arose between the wars in part to counter the new Modernism.
ii) Displays a high degree of craftsmanship or artistic merit; or	No	Although the building is well built and currently undergoing a high quality of extensive heritage conservation efforts, the property does not represent a high degree of craftsmanship or artistic merit.
iii) Demonstrates a high degree of technical or scientific achievement.	No	The property is a residential structure with little technical or scientific achievement. Therefore it does not display a high degree of technical or scientific achievement.

Criterion	Response (Yes/No)	Rationale
2) The property has <i>historic or associative value</i> because it:		
i) Has direct associations with a theme, event, belief, person, activity, organization or institution that is significant to a community;	No	The property was occupied and used throughout most of the 20 th century by medical professionals. Although medical practices seemed to be associated with the property, no significant direct associations with a theme, event, belief, person, activity, organization, or institution could be associated with the property.
ii) Yields, or has the potential to yield information that contributes to an understanding of a community or culture; or	No	The property does not have potential to yield information that contributes to an understanding of a community or culture.
iii) Demonstrates or reflects the work or ideas of an architect, artist, builder, designer, or theorist who is significant to a community.	No	A specific architect, artist, builder, designer, or theorist could be not be determined for the property.
3) The property has <i>contextual value</i> because it:		
i) Is important in defining, maintaining, or supporting the character of an area;	Yes	The property plays a role in maintaining and supporting the character of its surrounding neighbourhood. Although the building on the property is visually distinct from the other properties on St. Clair Avenue, the overall design is sympathetic to the other properties on the street. As a larger corner property, it plays a role in defining the streetscape of the residential street. However, the brick addition fronting onto King Street East is vernacular in nature and does not contribute to the streetscape of King Street.
ii) Is physically, functionally, visually, or historically linked to its surroundings; or	No	The property forms a part of the corner of King Street East and St. Clair Avenue, and was built following completion of the historic neighbourhood to the south of the

Criterion	Response (Yes/No)	Rationale
		property. However, the property is not significantly linked to its surroundings.
iii) Is a landmark.	No	The property at 902 King Street East is not considered a landmark.

3. Ontario Regulation 10/06 Evaluation

Ontario Regulation 10/06, *Criteria for Determining Cultural Heritage Value or Interest of Provincial Significance* (O. Reg. 10/06), provides criteria against which to assess a property to determine if the property holds provincial heritage significance. The *Standards and Guidelines for the Conservation of Provincial Heritage Properties* state that Ministries and prescribed public bodies shall apply the criteria in O. Reg. 10/06 to determine whether a property is of provincial significance. Therefore, for the purpose of this CHER O. Reg 10/06 considers the evaluation of the property as a part of the provincial context. If the property meets the criteria, it may be considered a Provincial Heritage Property of Provincial Significance (PHPPS). The application of the criteria for 902 King Street East is in Table 3-1, below.

Table 3-1: O.Reg. 10/06 Evaluation for 902 King Street East

Criterion	Response (Yes/No)	Rationale
1. The property represents or demonstrates a theme or pattern in Ontario's history.	No	902 King Street East does not represent a theme or pattern in Ontario's history. Residential structures of this nature are found elsewhere in Ontario.
2. The property yields, or had the potential to yield, information that contributes to an understanding of Ontario's history.	No	902 King Street East does not yield, and is not anticipated to yield information that contributes to an understanding of Ontario's history.
3. The property demonstrates an uncommon, rare, or unique aspect of Ontario's cultural heritage.	No	902 King Street East does not demonstrate an uncommon, rare, or unique aspect of Ontario's cultural heritage. The form and massing of the structure along with its details can be found elsewhere in Ontario.
4. The property is of aesthetic, visual, or contextual importance to the province.	No	902 King Street East property is not of aesthetic, visual, or contextual importance to the province. Although architecturally, the dwelling represents particular design details from various architectural styles, they are not of aesthetic, visual, or contextual importance to Ontario.
5. The property demonstrates a high degree of excellence or	No	902 King Street East does not demonstrate a high degree of

Criterion	Response (Yes/No)	Rationale
creative, technical, or scientific achievement at a provincial level in a given period.		excellence or creative, technical, or scientific achievement at a provincial level.
6. The property has a strong or special association with the entire province or with a community that is found in more than one part of the province.	No	902 King Street East does not have a strong or special association with the entire province or with a community that is found in more than one part of the province. Although the building is well built and currently undergoing a high quality of extensive heritage conservation efforts, the property does not represent a high degree or craftsmanship or artistic merit.
7. The property has a strong or special association with the life or work of a person, group or organization of importance to the province or with an event of importance to the province.	No	902 King Street East does not have strong or special associations with the life or work of a person, group, or organization of importance to the province or with an event of importance to the province. The property was occupied and used throughout most of the 20 th century by medical professionals. Although medical practices seemed to be associated with the property, no associations with the life of a person, group, or organization that is of importance to the province could be determined.
8. The property is located in an unorganized territory and the Minister determines that there is a provincial interest in the protection of the property.	No	902 King Street East is not located in an unorganized territory.

4. Recommended Outcome of Evaluation

The application of O. Reg. 9/06 and O.Reg. 10/06 concluded that 902 King Street East met two of the nine O.Reg. 9/06 criteria. However, it did not meet the criteria outlined in O.Reg 10/06. Therefore, this CHERR recommends that the property at 902 King Street East is considered a Provincial Heritage Property (PHP).

5. Draft Statement of Cultural Heritage Value

5.1 Description of the Property

The property located at 902 King Street East is a rectangular shaped lot on the southwest corner of King Street East and St. Clair Avenue. The structure on the property consists of a two and a half storey residential structure, with a small one storey brick addition. The property was first developed in the 1920s, and the addition was added between 1940 and 1945. Although the property was historically known as 902 King Street, the majority of the frontage and the main façade for this property fronts onto St. Clair Avenue. The building is not representative of a particular style or period of architecture; however, it does include an eclectic collection of vernacular design elements built into the 1920s portion of the house.

5.2 Statement of Cultural Heritage Value

The property at 902 King Street East consists of a two-and-a-half storey brick and stucco residential building, designed during a late period of revivalism between the wars, in part a rejection of the new modernism in architecture. The house was built in the 1920s as a late addition to the residential neighbourhood on St. Clair Avenue. As a result, it is visually distinct from many of the Edwardian foursquare dwellings on the street In spite of the fact that they all share certain classical motifs.

Architecturally, the house is rectangular in plan with a medium-pitched side-gable roof. The finish is brick on a concrete foundation on the ground floor, rough stucco on the exterior of the second floor. The structure itself is most likely frame. The main façade is three bays, symmetrical disposed with a central entrance. The centre bay is distinguished by the large entrance with sidelights, above which is a large Palladian¹ window, crowned by a classically proportioned gable at the roofline. The side bays have six-over-six double hung sash windows arranged in groups of three on the ground floor, and in pairs on the second. Two new dormers installed in the roof during the recent renovations are properly aligned with the windows below, maintaining the balance and symmetry of the design.

The proportions, balance and symmetry of the form establish its roots in the Classical tradition, which is further developed in the restrained use of features of the Tuscan order. The shallow porch comprises a pair of Tuscan columns supporting the simple entablature that defines the first storey and supports the second. During a previous series of renovations, the entablature was altered so that it no longer carries over the span of the porch itself. The simplicity of the fascia and cornice at the roofline are also in keeping with the Tuscan order. A subtle but revealing feature is that the window sills on the brick ground floor are rough-dressed stone, both materials suitable for the robust base and support for the lighter, more slender details of the second storey.

The north and south façades differ from one another, although each has a small Palladian window in the gable peak. The fenestration on the north side is not regular or symmetrical, but it is simple and could

¹ An archway or window with three openings, the central one arched and wider than the others, usually associated with Palladio, also known as Serliana or Venetian window or arch. Nicholas Pevsner, et al.

not be described as “eclectic” as often applies to Edwardian window design. The addition of the ground floor exterior building in the 1940s had no regard for the overall character of the building.

On the south façade, a small wing houses a solarium on the upper floor, and an enclosed porch on the ground floor. The wing is centred in the gable end wall, and matches the main block of the house in its principal details of finish and materials.

5.3 Heritage Attributes

Heritage Attributes as described in the *Standards and Guidelines* are the physical features or elements that contribute to a property’s cultural heritage value or interest, and may include the property’s built or manufactured elements, as well as natural landforms, vegetation, water features, and its visual setting. The Heritage Attributes for the property at 902 King Street East relate to its design and contextual value. This is demonstrated by the following Heritage Attributes:

- Two and a half storey scale, form and massing with frontage onto St. Clair Avenue;
- Three bay symmetrical façade;
- Double-hung wood sash windows in groupings of two and three on the ground floor and second storey;
- Ground floor brick, and second storey rough cast stucco exterior finishes;
- Palladian windows on the south, east, and north facades;
- Front entrance door surrounds including columns, dentils, and entablature;
- Cornice extending around the facades; and
- Cornice returns in end gables.



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Cultural Heritage Evaluation Report 949 King Street East, Hamilton, Ontario

**Prepared by AECOM
for Metrolinx**

February 17, 2017

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1. Executive Summary

AECOM Canada Ltd. (AECOM) was retained by Metrolinx to complete a Cultural Heritage Evaluation Report (CHER) for the property at 949 King Street East, in the City of Hamilton, Ontario. This work is being completed as part of the Hamilton Light Rail Transit (LRT) Project.

The Hamilton LRT Project B-Line alignment extends from McMaster University at Cootes Drive to the Main Street/Highway 403 Bridge. A proposed LRT-only bridge will allow the alignment to then extend along King Street West until King East Street intersects with Main Street East, where the alignment will continue along Main Street East to the Queenston Road traffic circle. As a part of the project, it is anticipated that building impacts may take place on the property at 949 King Street East (Figure 1).

The project impacts will be assessed following the Transit Project Assessment Process (TPAP), as prescribed in Ontario Regulation (O. Reg.) 231/08, Transit Projects and Metrolinx Undertakings under the Environmental Assessment Act. As part of the TPAP Amendment, an Environmental Project Report (EPR) Amendment will be prepared for public review.

The CHER was prepared according to the Metrolinx Interim Cultural Heritage Management Process and utilizes the criteria in Ontario Regulation 9/06 and Ontario Regulation 10/06, as required by the Ministry of Tourism, Culture, and Sport's (MTCS) *Standards and Guidelines for the Conservation of Provincial Heritage Properties* (2010). In addition, the CHER was prepared according to the Metrolinx Draft Terms of Reference for Consultants: *Cultural Heritage Evaluation Report and Cultural Heritage Evaluation Report Recommendations*. Consequently, the recommendations as they relate to this CHER and the potential cultural heritage value or interest of the property at 949 King Street East are contained in a separate Cultural Heritage Evaluation Report Recommendations (CHERR) document.

As part of the reporting requirements for the Hamilton LRT Project, Archaeological Services Inc. (ASI) undertook a Cultural Heritage Screening Report (CHSR) for the alignment. The CHSR identified the requirement to conduct a CHER for the property located at 949 King Street East to assess the potential cultural heritage value or interest of the property. Where applicable, relevant background information has been utilized from the CHSR for project consistency.

At the beginning of the 20th century, historic topographic mapping shows minimal development east of Sherman Avenue South where the subject property is presently located (Figure 4). Significant urban expansion eastward beyond Sherman Avenue South (Figure 5) is not present in historic topographic mapping until 1938. .

Hamilton City Directories indicate that the building at 949 King Street East was constructed by 1928. The building footprint appears as part of a 1933 revision that was made to the 1927 Fire Insurance Plan. The 1928 City directory indicates that 949 King Street East was a multi-use building for both commercial and residential purposes. A plumber, P.R. Moore, is listed at 949 King Street East and "Brock Apartments" are listed at 949½ King Street East. The Brock Apartments featured four apartments, all of which were occupied by private tenants in 1928.

In the late-1930s, Moore Plumbing and the four occupied Brock Apartments are still present in the building along with a new business, Cash and Carry Cleaners. The Brock Apartments continued to be occupied by various private tenants throughout the 20th century; however, it is not until 1950, that Moore

Plumbing and Cash and Carry Cleaners have been replaced by Baby Beef Market. This business was subsequently replaced by John Fullarton's barber shop in the 1960s and was still in operation in 1970.

Most recently, the property at 949 King Street East appears to be strictly in use for residential purposes. The ground floor of the building appears to have undergone recent alterations to convert the commercial space to a residential space. The apartments on the second and third floor appear to be in continuous use as residential units.

A field review of the property at 949 King Street East was undertaken on February 3, 2017 by Emily Game of AECOM. An assessment was not completed on the interior of the structures due to the timing constraints for the TPAP Amendment.

2. Introduction

2.1 Historical Summary

2.1.1 Context

The subject property is located within the municipal boundaries of the City of Hamilton, Ontario. Prior to the incorporation of the current municipality, the property was located within the boundaries of Barton Township, in Wentworth County.

2.1.2 Wentworth County

As part of the establishment of Upper Canada, the province was divided into administrative Districts in 1792. As such, Wentworth County was one of several counties that made up the Home District. It was named in honour of Sir John Wentworth, Lieutenant Governor of Nova Scotia from 1792-1808. In 1816, the Home District was divided and reorganized and Wentworth County was included in the Gore District. By 1849, the original district system was abolished and replaced by a county council system and Wentworth County became an independent political entity. Townships that were included in Wentworth County at one time or another included Ancaster, Barton, Beverly, Binbrook, Caistor, Flamborough East and West, Glanford, Onondaga, Saltfleet, and Seneca. Between 1850 and 1854, Wentworth and Halton Counties were joined for government purposes into the United Counties of Wentworth and Halton; however, this change was short-lived. In 1973, Wentworth County was renamed the Regional Municipality of Hamilton-Wentworth and, in 2001, was amalgamated with six constituent municipalities into the City of Hamilton. The City of Hamilton has remained as the administrative seat or county town since the original creation of the Gore District nearly two centuries ago.

2.1.3 Barton Township

Barton Township is described in detail in the *Illustrated Historical Atlas of the County of Wentworth of 1875*. The Township of Barton was surveyed in 1791 by Augustus Jones using the Single-Front survey system used by the colonial government between 1783 and 1818.¹ The survey was made up of concessions separated by road allowances. The concession was divided into lots of 200 acres and sideroad allowances were surveyed after every fifth lot. The first settlers arrived in Barton Township in 1791, many of whom were United Empire Loyalists or disbanded troops. The settlement of Barton Township began slowly, with only 102 families living in the township by 1815; most of the settlement was concentrated at the foot of the Niagara Escarpment. The township continued to grow and by 1823 it contained one sawmill and three gristmills. By 1841, the population grew to 1,434.² Barton Township was later amalgamated into the Regional Municipality of Hamilton-Wentworth, which today is known as the City of Hamilton.

¹ William H Smith, . Smith's Canadian Gazetteer. Toronto: H. & W. Roswell. 1846.

² D'Arcy Boulton, . Sketch of His Majesty's Province of Upper Canada. London: C. Rickaby. 1805. pp. 48-49.

2.2 Description of Property

The property located at 949 King Street East consists of a rectangular shaped lot on the north side of King Street East, between Garfield Avenue North and Fairhold Road North (Figure 2). The structure on the property consists of a three-storey apartment building with commercial space on the ground floor. In recent years the former commercial space on the ground floor has been converted to a residential space. The overall scale and massing of the building appears to be relatively unaltered from its original construction c. 1928. The exterior on the ground floor has undergone alterations in the early 21st century; wood paneling has been added to the lower section of the façade and a stucco veneer has been applied. The exterior on the second and third storeys has remained relatively unaltered with the exception of window replacements. The configuration of the windows and the brick detailing are retained on the second and third storeys of the building.

2.3 Current Context

The property is situated on the north side of King Street East between Garfield Avenue North and Fairholt Road North. The property is one of a series of three combined commercial and residential properties that occupy the eastern half of this block. The adjacent properties on the north and south side of King Street East are made up of a variety of residential and commercial uses, while the streets north of the subject property, including Garfield Avenue North and Fairholt Road North consist of predominantly single-detached homes that appear to have been developed in the early and mid-20th century. The property has been a part of the expanding urban environment of Hamilton since the early 20th century.

3. Methodology and Sources

3.1 Study Approach

This CHER was prepared in accordance with Metrolinx's *Interim Cultural Heritage Management Process* (Fall 2013) and the MTCS *Standards and Guidelines for the Conservation of Provincial Heritage Properties* (2010). The CHER was also undertaken according to the guidelines presented in the Metrolinx document, *Draft Terms of Reference for Consultants: Cultural Heritage Evaluation Report and Cultural Heritage Evaluation Report Recommendations* (April 2016) and outlined in the following tasks:

- Research and Documentation Gathering – gathered from various sources including existing heritage studies, Metrolinx records, public archives, and published materials;
- Writing – an illustrated report based on gathered background history and site investigation materials, and the application of O.Reg. 9/06 and 10/06; Evaluation, Recommendations, and Statement of Cultural Heritage Value – a summary of the applicable evaluation, and recommendations regarding whether the property meets the criteria for being a provincial heritage property, a provincial heritage property of provincial significance, or neither.

As outlined in the Draft Terms of Reference, the heritage evaluation is separated into two stand-alone components: a CHER and a CHERR. The Cultural Heritage Evaluation Report includes research conducted for the CHER and is intended to address the criteria set out in O.Reg. 9/06 and 10/06. The CHERR includes the results of the applied evaluation, and the recommended outcome of the evaluation.

Emily Game, Heritage Researcher for AECOM, conducted a site investigation to visually inspect and document the property on February 3rd, 2017. An assessment was not completed on the interior of the structures due to the timing constraints for the TPAP Amendment.

3.2 Secondary Sources

A series of secondary sources were reviewed for the purposes of data collection and analysis as part of the CHER. The relevant guidelines and reference documents cited above served as a framework for undertaking the study. The *Hamilton Light Rail Transit Cultural Heritage Screening Report, City of Hamilton, Ontario* (CHSR) prepared by ASI in December 2016, provided a preliminary review of the rail corridor and the potential heritage properties identified along the corridor. Background information and applicable research was gathered from the report for the purposes of the CHER. In addition, a series of published materials including published histories pertaining to the history of Hamilton were consulted. A complete list of the sources reviewed for the report is contained in Section 15 (Bibliography).

3.3 Primary Sources

Where available, primary source material was consulted to provide a historical context for the evaluation of the potential heritage value of the property. Primary source research was undertaken at the Local History and Archives Department of the Hamilton Public Library, the Mills Memorial Library at McMaster

University, and at the Map and Data Centre at the University of Western Ontario. A review of the following primary sources aided in the evaluation of the structures at 949 King Street East:

- Illustrated Historical Atlas of the County of Wentworth, 1875;
- Hamilton City Directories, issues 1928-1970;
- Fire Insurance Plans, 1911-1964; and,
- National Topographic Series, 1909-1909, 1938.

3.4 Consultations

As part of the identification of recognized and potential cultural heritage resources for the CHSR, ASI undertook consultation with the City of Hamilton, the Ontario Heritage Trust (OHT) and the MTCS. Consultation during the CHSR process took place between August and October, 2016.

As part of this CHER, AECOM undertook property-specific consultation with the same municipal and provincial staff and agencies in order to identify or confirm any existing heritage recognitions or interest in this subject property.

The following individuals and organizations were consulted:

- Thomas Wicks, Heritage Planner, OHT;
- Chelsey Tyers, Cultural Heritage Planner, City of Hamilton;
- Asyia Patel, Assistant Cultural Heritage Planner, City of Hamilton; and,
- Rosi Zirger, Heritage Planner, MTCS.

The results of the consultation efforts have been summarized in Section 7 (Community Input).

4. Heritage Recognitions

4.1 Municipal

As a review of applicable municipal heritage recognitions for the property or adjacent properties, AECOM reviewed the City of Hamilton's heritage inventories. The following inventories and registers were reviewed:

- *Hamilton's Heritage Volume 1: List of Designated Properties and Heritage Conservation Easements under the Ontario Heritage Act; and,*
- *Hamilton's Heritage Volume 2: Inventory of Buildings of Architectural and/or Historical Interest.*

In addition, consultation efforts were undertaken to confirm levels of municipal heritage recognition, if any. The property was identified in the December 2016 CHSR as not being subject to any heritage recognitions. However, consultation with the City of Hamilton in January and February 2017 confirmed that the property is now listed on the City's *Inventory of Buildings of Architectural and/or Historical Interest*.

4.2 Provincial

As a review of applicable provincial heritage recognitions for the property or adjacent properties AECOM reviewed the OHT's Provincial Plaque Guide, and list of OHT easements. The property at 949 King Street East is neither the subject of a provincial plaque nor a provincial easement. In addition, OHT staff was contacted to review the Ontario Heritage Act Register to confirm that the property is not included on the register and that an OHT easement does not exist for the property.

A response from Thomas Wicks, Heritage Planner for the OHT confirmed that the Trust does not hold a conservation easement for the property at 949 King Street East.

4.3 Federal

As a review of applicable federal heritage recognitions for the property or adjacent properties, AECOM reviewed the online searchable database for the Canadian Register of Historic Places as well as the Directory of Federal Heritage Designations. 949 King Street East and the adjacent properties are not subject to any existing federal heritage recognitions.

5. Adjacent Lands

The properties adjacent to 949 King Street East consist mainly of a mix of commercial and residential buildings. Immediately adjacent to the east is 951-953 King Street East, a two storey commercial and residential property which is similar in mass and scale to the subject property. Immediately to the west is a two-storey commercial building. Residential properties make up the neighbouring area to the north and south of the subject property.

Consultation with the City of Hamilton indicated that the adjacent property at 951-953 King Street East is listed on the City's *Inventory of Buildings of Architectural and/or Historical Interest*.

6. Archaeology

ASI completed a Stage 1 Archaeological Assessment (AA) as part of the Rapid Transit Initiative and found that the property at 949 King Street East did not retain archaeological potential and confirmed that no known archaeological assessments have previously been completed within 50 metres (m) of the property. As such, at the time of production of the ASI report, no archaeological sites had been identified within or adjacent to the property. Additionally, the ASI Stage1 AA indicates that there is no land that retains archaeological potential within 50 m of 949 King Street East.

The results of the Stage 1 AA determined that a Stage 2 AA must be conducted for all land identified as retaining archaeological potential that will be impacted by the proposed Rapid Transit Initiative. Based on this assessment, ASI made the following recommendations:

- The King Street right-of-way (ROW) does not retain archaeological potential due to previous land disturbance. An additional AA is not required within the ROW and those portions of the study corridor can be cleared of further archaeological concern; and,
- A Stage 2 AA should be conducted on lands determined to have archaeological potential if the proposed project is to impact these lands. This work must be done in accordance with the MTCS' *Standards and Guidelines for Consultant Archaeologists* (Ontario Government 2011) in order to identify any archaeological remains that may be present.

It should be noted that ASI's recommendations for Stage 2 archaeological work references the MCL's 2006 draft *Standards and Guidelines for Consultant Archaeologists* (MCL 2006); however, further Stage 2 archaeological work must now be conducted in accordance with current archaeological standards and guidelines (*Standards and Guidelines for Consultant Archaeologists*, Ontario Government 2011) . For complete details regarding the results of the Stage 1 AA, reference should be made to the *Stage 1 Archaeological Assessment, Rapid Transit Initiative, City of Hamilton, Ontario* (February 2009).

7. Community Input

As part of the consultation process for this report, AECOM undertook consultation with the City of Hamilton, the MTCS, and the OHT. The results of the consultation efforts are identified below in Table 7-1.

Table 7-1: Community Input and Consultation Undertaken for 949 King Street East

Contact	Contact Information	Date	Notes
Chelsey Tyers, Heritage Planner City of Hamilton	905-546-2424 ext. 1202 chelsey.tyers@hamilton.ca	February 1, 2017 February 6, 2017 (Response)	The City of Hamilton confirmed that 949 King Street East is listed on the City's <i>Inventory of Buildings of Architectural and/or Historical Interest</i> .
Asiya Patel Assistant Cultural Heritage Planner City of Hamilton	905-546-2424 ext. 7163 asiya.patel@hamilton.ca		
Thomas Wicks Heritage Planner Ontario Heritage Trust	416-314-5972 thomas.wicks@heritagetrust.on.ca	February 1, 2017 February 9, 2017 (Response)	OHT does not hold a conservation easement for the property at 949 King Street East.
Rosi Zirger Heritage Planner Ministry of Tourism, Culture, and Sport	416-314-7159 rosi.zirger@ontario.ca	February 1, 2017	Response pending.

8. Discussion of Historical or Associative Value

8.1 Historic Theme/Cultural Pattern

8.1.1 *Transportation*

The earliest roads in Ontario were typically military roads or colonization roads. These roads often followed aboriginal hunting trails or were dictated by the topography of the land which they crossed. The Dundas Road was opened to connect Toronto with the Thames River, in what is now London, Ontario, and the Kingston Road was designed to provide a military link between Toronto and Kingston. The Kingston Road was one of the earliest and still functioning roads in southern Ontario.

Following the Crown surveys in Ontario, concession and side roads were opened on a grid that was dictated by the survey type that was used. The roads were cleared and made passable by the early land owners who built their dwellings adjacent to the concession roads. Despite being cleared, road conditions were often poor until the late 19th and early 20th centuries.

Railway transportation, both passenger and freight, greatly improved the transportation network in Ontario beginning in the mid-1800s. The opening of the Grand Trunk Railway (GTR) between Montreal and Toronto in 1856 provided a link between the two cities and provinces that was more easily travelled in comparison to mid-19th century roads. The construction of the route from Montreal to Toronto, and then on to Samia by the end of the 1860s resulted in the construction of significant structures such as the Victoria Bridge over the St. Lawrence River, and the St. Clair Tunnel in Samia. The GTR was designed to enhance the St. Lawrence-Great Lakes shipping routes in response to the railroads and shipping networks in the United States. As a result it also strengthened the connection and link between the townships, and municipal and provincial economies in Ontario.

Various railway companies were formed in Ontario to create a vast network of rail lines that spread throughout the province by the early-20th century. Nonetheless, most of the companies were eventually merged with or purchased by the Canadian National Railway (CN) or the Canadian Pacific Railway (CP).

8.1.2 *Hamilton Street Railway*

In 1873, the City of Hamilton incorporated the Hamilton Street Railway; the horse-drawn streetcar service began in May 1874 with six operating cars. The line extended along three miles of track from the GTR's passenger station east along Stuart Street South to James Street. The line travelled south to Gore Park and then east along King Street to Wellington Street. Due to popularity of the service, additional cars were added and the track was extended. New track was laid west along King Street to Locke Street and east to Wentworth Street.

The electrification process of the Hamilton Street Railway began in March 1892. A total of 12 miles of track were electrified and 15 horsecars were converted to electric street cars. Operation of the newly-electrified cars began on June 29, 1892.

At the end of the Second World War, Hamilton Street Railway sold the lines to Canada Coach for \$1.4 million. Immediately following the sale, Canada Coach announced plans to replace the street car service with busses. By 1951, the last street car was removed from service and replaced by electric trolley busses.³

The proposed B-Line follows the old streetcar route from King Street near McMaster University to Sherman Avenue; the old streetcar route then turned south along Sherman Avenue and then continued east on Main Street to Kenilworth Avenue North. The B-Line will reconnect with the old street car route at the Delta, and follow Main Street East to the Queenston Road traffic circle.

The present-day Hamilton transit company operates under the name of Hamilton Street Railway Company.

8.2 Local History

949 King Street East is located within the City of Hamilton, Ontario. Historically the structures were located within Lot 8, Concession II, Barton Township in Wentworth County. The subsections below include historic information related to the settlement and growth of these areas.

8.2.1 Settlement History

As part of the establishment of Upper Canada, the province was divided into administrative Districts in 1792. As such, Wentworth County was one of several counties that made up the Home District. It was named in honour of Sir John Wentworth, Lieutenant Governor of Nova Scotia from 1792-1808. In 1816, the Home District was divided and reorganized and Wentworth County was included in the Gore District. By 1849, the original district system was abolished and replaced by a county council system and Wentworth County became an independent political entity. Townships that were included in Wentworth County at one time or another included Ancaster, Barton, Beverly, Binbrook, Caistor, Flamborough East and West, Glanford, Onondaga, Saltfleet, and Seneca. Between 1850 and 1854, Wentworth and Halton Counties were joined for government purposes into the United Counties of Wentworth and Halton; however, this change was short-lived. In 1973, Wentworth County was renamed the Regional Municipality of Hamilton-Wentworth and, in 2001, was amalgamated with six constituent municipalities into the City of Hamilton. The City of Hamilton has remained as the administrative seat or county town since the original creation of the Gore District nearly two centuries ago.

Barton Township is described in detail in the *Illustrated Historical Atlas of the County of Wentworth of 1875*. The Township of Barton was surveyed in 1791 by Augustus Jones using the Single-Front survey system used by the colonial government between 1783 and 1818. The survey was made up of concessions separated by road allowances. The concession was divided into lots of 200 acres and sideroad allowances were surveyed after every fifth lot. The first settlers arrived in Barton Township in 1791, many of whom were United Empire Loyalists or disbanded troops. The Settlement of Barton Township began slowly, with only 102 families living in the township by 1815. Most of the settlement was concentrated at the foot of the Niagara Escarpment. The township continued to grow and by 1823 it contained one sawmill and three gristmills. By 1841, the population had grown to 1,434.

³Transit Toronto. <http://transit.toronto.on.ca/streetcar/4751.shtml>, consulted February 9, 2017.

8.2.2 Site History

949 King Street East was historically located in the southern part of Lot 8, Concession II in Barton Township when the crown survey for the township was undertaken. In 1875, the lot was bisected by King Street East with the north half listed to the A. Case Estate and the south to George Barnes. At this time, significant urban development had not yet reached this part of Barton Township and Lot 8, Concession II appears to be under agriculture. A farmstead is illustrated on the north portion of the lot fronted along King Street East on the A. Case Estate land. A structure is also noted on the south portion of the lot owned by George Barnes and is fronted along Main Street East (Figure 3).

By the beginning of the 20th century, historic topographic mapping indicates that although urban development in Hamilton was expanding eastward, development was still minimal east of Sherman Avenue South where the subject property is now located (Figure 4). It is not until 1938, that historic topographic mapping shows this area of Hamilton as having undergone significant urban expansion eastward, well beyond Sherman Avenue South (Figure 5).

Hamilton City Directories indicate that the building at 949 King Street East was constructed by 1928 and the building footprint appears as part of a 1933 revision that was made to the 1927 Fire Insurance Plan. The 1928 directory indicates that this was a multi-use building used for both commercial and residential purposes. A plumber, P.R. Moore, is listed at 949 King Street East and "Brock Apartments" are listed at 949½ King Street East. The Brock Apartments featured four apartments, all of which were occupied by private tenants in 1928.

In the late-1930s, Moore Plumbing and the four occupied Brock Apartments were still present in the building along with a new business called Cash and Carry Cleaners. The Brock Apartments continued to be occupied by various private tenants throughout the 20th century; however, by 1950, Moore Plumbing and Cash and Carry Cleaners were replaced by Baby Beef Market. This business was subsequently replaced by John Fullarton's barber shop in the 1960s, which was still in operation in 1970.

Most recently, the property at 949 King Street East appears to be strictly residential in function. The ground floor of the building appears to have undergone recent alterations to convert the former commercial space to residential. The apartments above appear to be in continuous use as residential properties.

8.3 Person/Event/Organization

The historical research undertaken for this CHER did not identify any significant people, events, or organizations that are directly related to or associated with the property, and could contribute to the potential cultural heritage interest or value of the property.

9. Discussion of Design or Physical Value

9.1 Style/Type/Tradition

The building located at 949 King Street East consists of the east half of a three-storey residential structure that forms part of a residential and commercial block on the north side of King Street East between Garfield Avenue North and Fairholt Road North (Photograph 1).

The ground floor of the building consists of two entranceways with a window in the centre of the building. The residential entrance in the eastern bay of the building is distinguished from the commercial entrance with a transom and sidelights surrounding the door. The residential entrance is further defined with red brick quoins with black brick accents on either side of the door. The brick quoins on each corner of the building continue up to the parapet and are topped with concrete coping stones (Photograph 3).

The second and third storeys of the building each have two bays; the windows in the western bay are considerably larger than those in the eastern bay. The upper storey windows are accentuated by black brick with white concrete details. Below each window in the eastern bay is a fielded panel that mimics the design of the second and third storey windows (Photograph 4).

The property forms a component of the larger continuous row of buildings on this portion of the north side of King Street East. It does not represent a specific style, type, or tradition of architectural style or design. Rather, the building is an example of a vernacular commercial/residential architectural type that was utilized throughout the 19th and 20th centuries. The materials, detailing and finishes that survive were in common use during the 1920s and 1930s. This form of urban design can be found throughout small towns as well as large cities across Ontario.

9.2 Function

The building on the property was designed and built as combined commercial and residential premises c. 1928. The ground floor of the building appears to have undergone recent alterations to function as a residential space while the apartments above appear to be in continuous use as residential properties. This is a common form of housing with business on the ground floor that is a ubiquitous feature of 19th and early 20th century urban areas.

9.3 Fabric

According to mid-20th century Fire Insurance Maps, the building at 949 King Street East was constructed of concrete block, much of which is visible on the sides of the second and third floors of the building today. The south façade is veneered with brick that is extant above the extensive modifications to the exterior of the ground floor.

The ground floor is much altered and most of the original building fabric materials have been covered or removed. The exterior on the ground floor of the building has been covered in wood panelling as well as stucco veneer.

The original brick masonry has survived on the second and third storey of the building. The second and third floors each have two window openings which are surrounded by a brown brick; the concrete sills are contemporary with the construction of the building. The structure has a flat roof in keeping with the adjacent 951-953 King Street East and is characterized by the parapet wall in the centre of the building. Rectangular contrasting brick detailing is located below the raised parapet with a rectangular-shaped concrete block, inscribed with "BROCK BLD'G" (Photograph 4). The windows on the second and third floors have been replaced with modern sash.

10. Discussion of Contextual Value

10.1 Social Meaning

The structure at 949 King Street East is one of many low-rise apartment buildings with commercial ground floors that were constructed in cities across Ontario. Built in the early-20th century, the property represents a common type of residential building within the City of Hamilton. The main floor façade has been much altered but the second and third floors of the building retain many of their original architectural features.

10.2 Environment

The property is situated on the north side of King Street East between Garfield Avenue North and Fairholt Road North. The property is one of a series of three combined commercial and residential properties that occupy the eastern half of this block. The adjacent properties on the north and south side of King Street East are made up of a variety of residential and commercial uses, while the streets north of the subject property, including Garfield Avenue North and Fairholt Road North, consist of predominantly single-detached homes that appear to have been developed in the early and mid-20th century. The property has been a part of the expanding urban environment of Hamilton since the early-20th century.

10.3 Formal Recognition

The property was identified in the December 2016 CHSR as not being subject to any heritage recognitions. However, consultation with the City of Hamilton in January and February 2017 confirmed that the property is now listed on the City's *Inventory of Buildings of Architectural and/or Historical Interest*.

11. Data Sheet

Table 11-1: Data Sheet for 949 King Street East

FIELD	PROPERTY DATA
Municipal Address	949 King Street East
Municipality	Hamilton
Approximate Area (square metres)	283
Rail Corridor	Hamilton LRT B-Line
PIN	172130229
Ownership	Private
Aerial photo showing location and boundaries	
Exterior, street-view photo	

FIELD	PROPERTY DATA
Date of construction of built resources (known or estimated and source)	ca. 1928 (Hamilton City Directories)
Date of significant alterations to built resources (known or estimated and source)	Unknown
Architect/designer/builder	Unknown
Previous owners or occupants	Moore Plumbing (1928-1940s), Cash and Carry Cleaners (1936-1940s), Baby Beef Market (1950s), John Fullarton Barber Shop (1960s-) Various residential tenants (1928-)
Current function	Residential
Previous function(s)	Mixed use: residential and commercial
Heritage Recognition/Protection (municipal, provincial, federal)	Listed on the City's <i>Inventory of Buildings of Architectural and/or Historical Interest</i> .
Local Heritage Interest	Listed on the City's <i>Inventory of Buildings of Architectural and/or Historical Interest</i> .
Adjacent Lands	951-953 King Street East is listed on the City's <i>Inventory of Buildings of Architectural and/or Historical Interest</i> .
Latitude or UTM Northing	43.251369°
Longitude or UTM Easting	-79.836600°

12. Photographs



Photograph 1: 949 King Street East in relation to 951-953 King Street East (AECOM, 2017)



Photograph 2: View to north of 949 King Street East – the Brock Building (AECOM, 2017)



Photograph 3: Main floor façade of 949 King Street East (AECOM, 2017)



Photograph 4: Second and third storeys of 949 King Street East (AECOM, 2017)

13. Figures

All figures pertaining to this CHER can be found on the following pages.

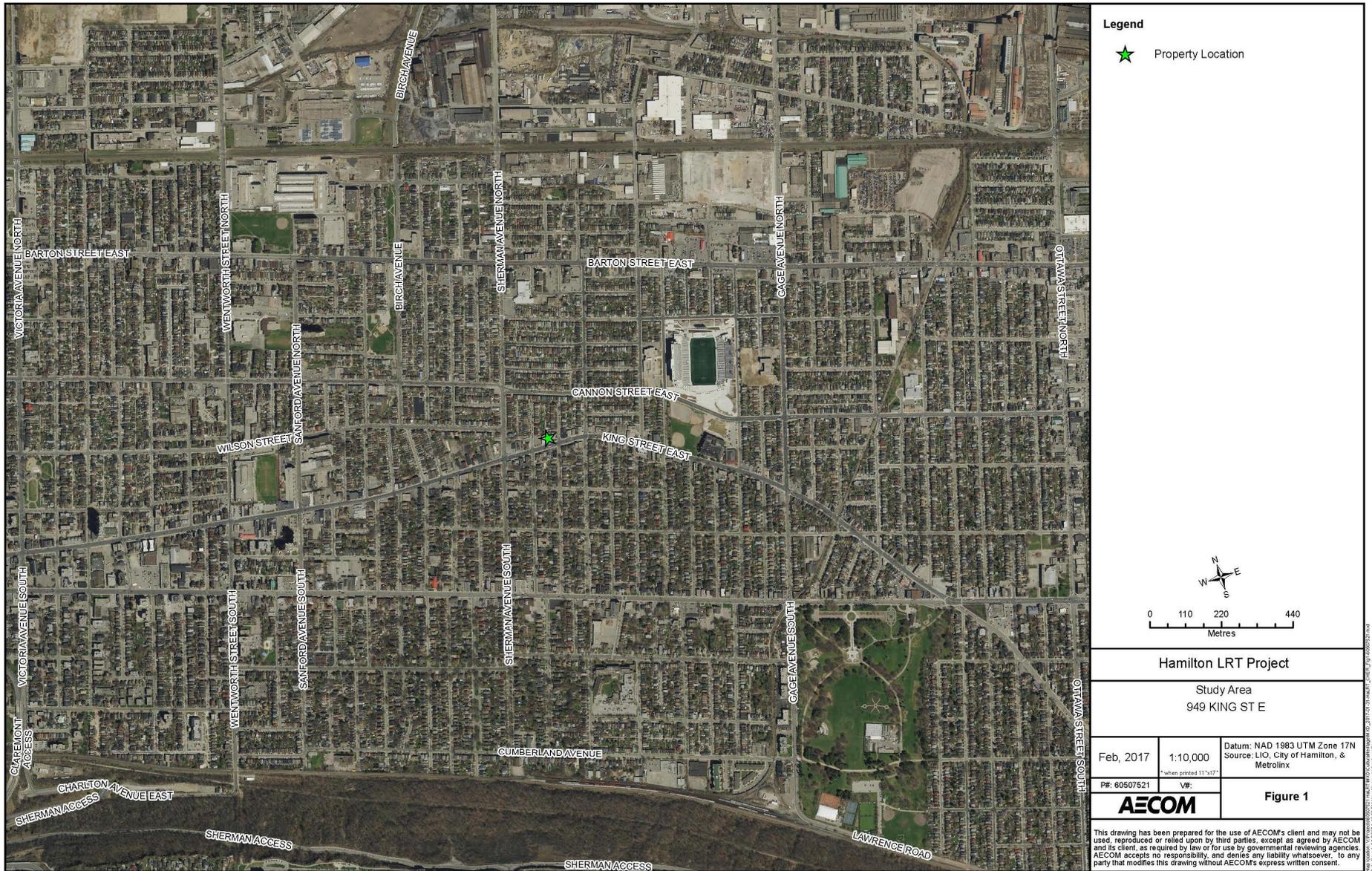


Figure 1: Location of 949 King Street East

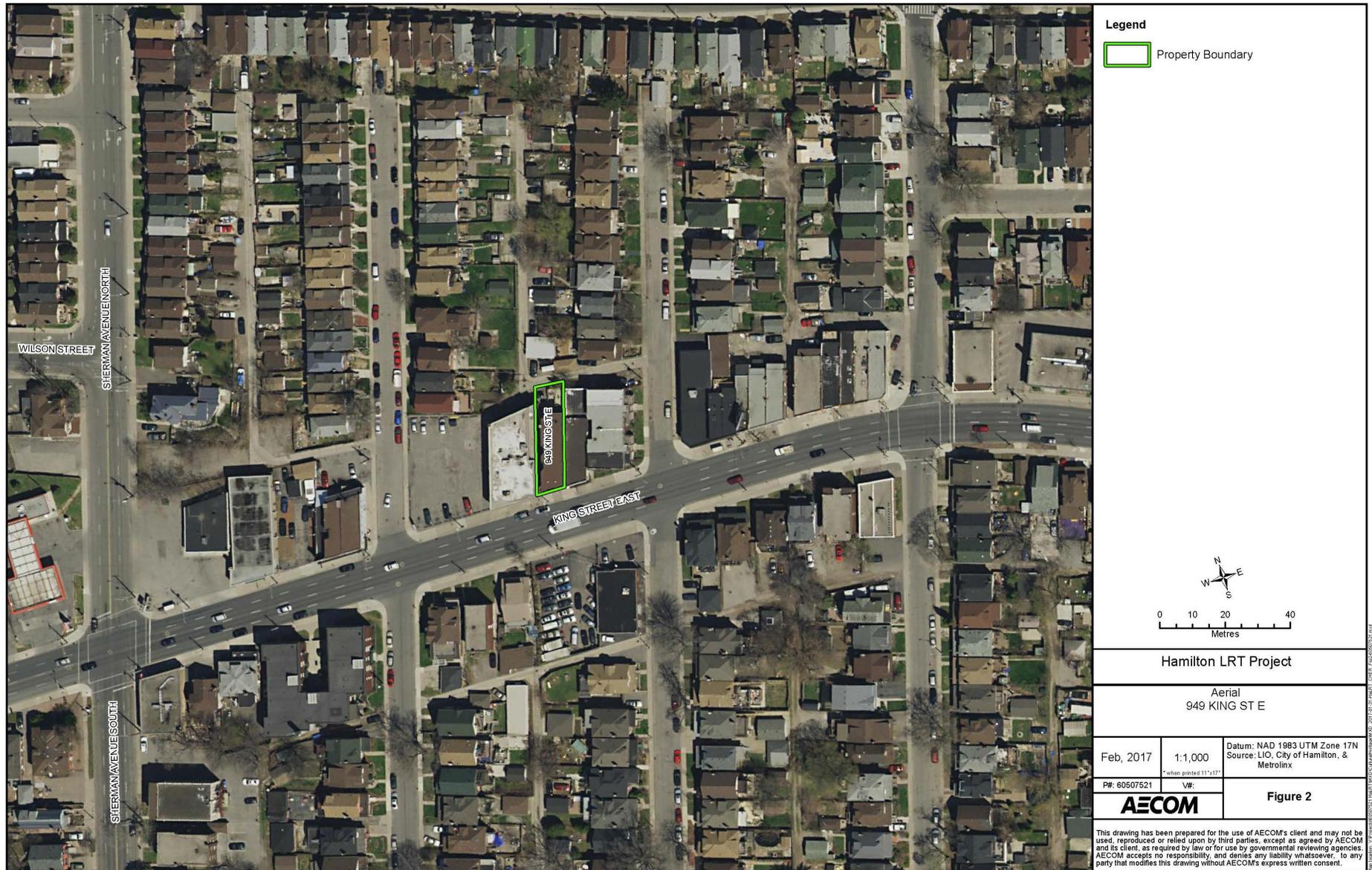


Figure 2: Aerial Photograph showing the area surrounding 949 King Street East



Figure 3: Location of 949 King Street East on the 1875 Historical Atlas Map (Page & Smith, 1875)

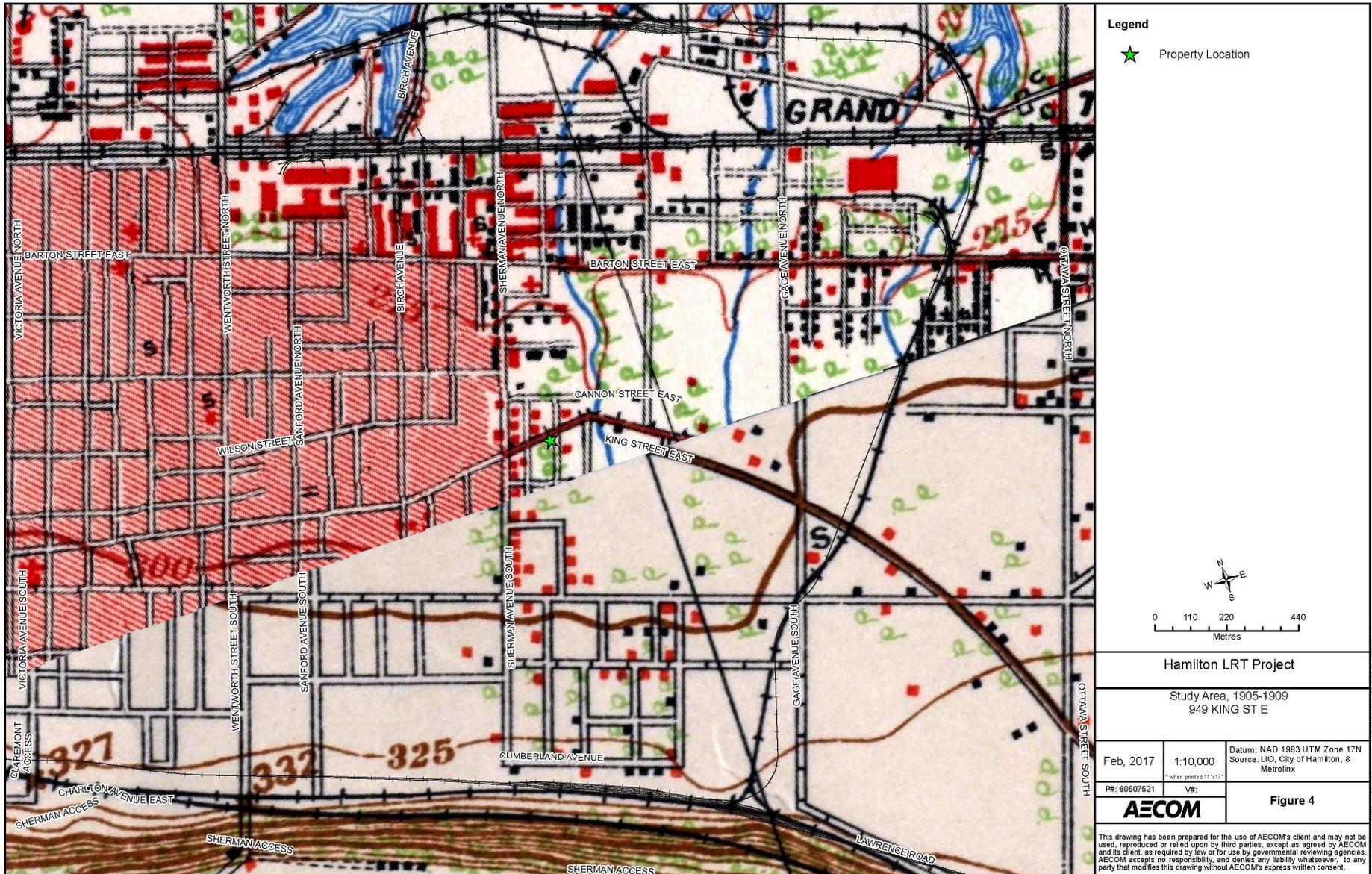


Figure 4: Location of 949 King Street East on the 1905-1909 NTS Map

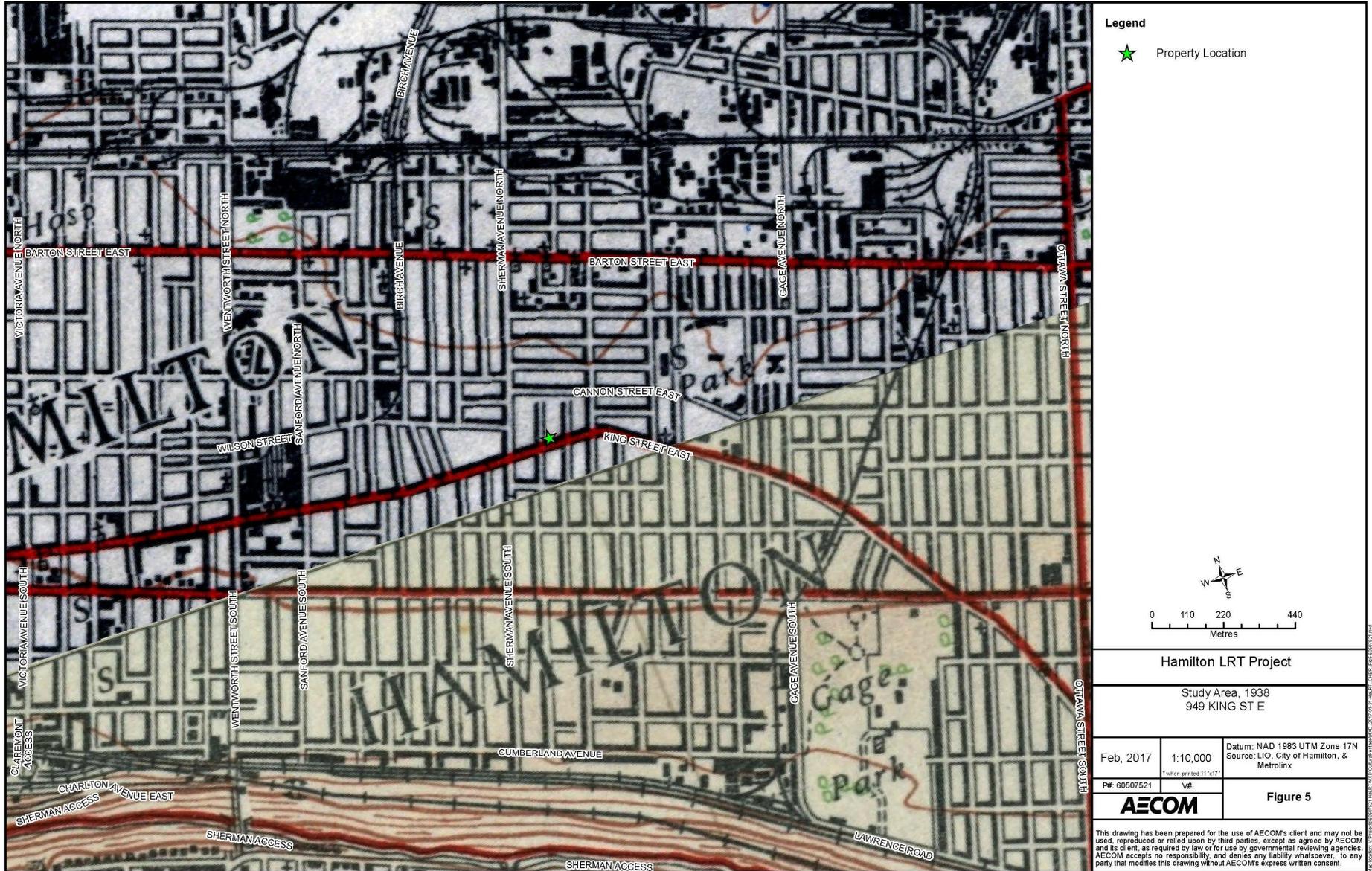


Figure 5: Location of 949 King Street East on the 1938 NTS Map

14. Chronology

- 1791 Barton Township was surveyed by Augustus Jones; the first settler arrived in the township.
- 1792 Province of Upper Canada divided into administrative districts.
- 1816 Home District divided and reorganized. As part of the reorganization, Wentworth was reorganized and included within the Gore District.
- 1850 Gore District was divided and Halton and Wentworth Counties were created.
- 1873 The Hamilton Street Railway was incorporated.
- 1875 The subject property remains undeveloped and under agriculture. A farmstead is illustrated on the north side of King Street East.
- 1892 Twelve miles of the Hamilton Street Railway were electrified and streetcars were updated.
- 1928 The building at 949 King Street East has been constructed and houses four residential tenants at the Brock Apartments as well as P.R. Moore's plumbing business.
- 1936 Cash and Carry Cleaners and Moore Plumbing operate out of 949 King Street East in addition to the residential apartments.
- c. 1945 The Hamilton Street Railway was sold to Canada Coach.
- 1950 Brock Apartments are still in use. Baby Beef Market replaces Cash and Carry Cleaners and Moore Plumbing.
- 1951 Streetcars were removed from service and replaced with electric trolley buses.
- 1961 The commercial portion of the property is in use as John Fullarton's barber shop. Apartment tenants are still present.

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METROLINX

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Cultural Heritage Evaluation Report Recommendations 949 King Street East, Hamilton, Ontario

Prepared by AECOM
for Metrolinx

February 17, 2017

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Revision History

Revision #	Date	Revised By:	Revision Description
0	02/17/2017	C. Latimer	Draft to Metrolinx

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1. Executive Summary

AECOM Canada Ltd. (AECOM) was retained by Metrolinx to complete a Cultural Heritage Evaluation Report (CHER) for the property at 949 King Street East, in the City of Hamilton, Ontario. This work is being completed as part of the Hamilton Light Rail Transit (LRT) Project.

The Hamilton LRT Project B-Line alignment extends from McMaster University at Cootes Drive to the Main Street/Highway 403 Bridge. A proposed LRT-only bridge will allow the alignment to then extend along King Street West until King East Street intersects with Main Street East, where the alignment will continue along Main Street East to the Queenston Road traffic circle. As a part of the project, it is anticipated that building impacts may take place on the property at 949 King Street East.

The project impacts will be assessed following the Transit Project Assessment Process (TPAP), as prescribed in Ontario Regulation (O. Reg.) 231/08, Transit Projects and Metrolinx Undertakings under the Environmental Assessment Act. As part of the TPAP Amendment, an Environmental Project Report (EPR) Amendment will be prepared for public review.

The CHER was prepared according to the Metrolinx Interim Cultural Heritage Management Process and utilizes the criteria in Ontario Regulation 9/06 and Ontario Regulation 10/06, as required by the Ministry of Tourism, Culture, and Sport's (MTCS) *Standards and Guidelines for the Conservation of Provincial Heritage Properties* (2010). In addition, the CHER was prepared according to the Metrolinx Draft Terms of Reference for Consultants: *Cultural Heritage Evaluation Report and Cultural Heritage Evaluation Report Recommendations*. Consequently the recommendations as they relate to this CHER and the potential cultural heritage value or interest of the property at 949 King Street East are contained in a separate Cultural Heritage Evaluation Report Recommendations (CHERR) document.

As part of the reporting requirements for the Hamilton LRT Project, Archaeological Services Inc. (ASI) undertook a Cultural Heritage Screening Report (CHSR) for the alignment. The CHSR identified the requirement to conduct a CHER for the property located at 949 King Street East to assess the potential cultural heritage value or interest of the properties. Where applicable, relevant background information has been utilized from the CHSR for project consistency.

At the beginning of the 20th century, historic topographic mapping shows minimal development east of Sherman Avenue South where the subject property is located. Significant urban expansion eastward beyond Sherman Avenue South (Figure 5) is not present in historic topographic mapping until 1938.

Hamilton City Directories indicate that the building at 949 King Street East was constructed by 1928. The building footprint appears as part of a 1933 revision that was made to the 1927 Fire Insurance Plan. The 1928 City directory indicates that 949 King Street East was a multi-use building for both commercial and residential purposes. A plumber, P.R. Moore, is listed at 949 King Street East and "Brock Apartments" are listed at 949 ½ King Street East. The Brock Apartments featured four apartments, all of which were occupied by private tenants in 1928.

In the late-1930s, Moore Plumbing and the four occupied Brock Apartments are still present in the building along with a new business, Cash and Carry Cleaners. The Brock Apartments continued to be occupied by various private tenants throughout the 20th century; however, it was not until 1950, that Moore Plumbing and Cash and Carry Cleaners have been replaced by Baby Beef Market. This business

was subsequently replaced by John Fullarton's barber shop in the 1960s, and was still in operation in 1970.

Most recently, the property at 949 King Street East appears to be strictly in use for residential purposes. The ground floor of the building appears to have undergone recent alterations to convert the commercial space to a residential space. The apartments on the second and third floor appear to be in continuous use as residential units.

A field review of the property at 949 King Street East was undertaken on February 3, 2017 by Emily Game of AECOM. An assessment was not completed on the interior of the structures due to the timing constraints for the TPAP Amendment.

The application of O.Reg 9/06 and O.Reg. 10/06 concluded that 949 King Street East does not meet O.Reg. 9/06 or O.Reg. 10/06, as it did not satisfy any of the nine criteria. Therefore, this CHERR recommends that the property at 949 King Street East is not considered a Provincial Heritage Property (PHP). As a result, a Statement of Cultural Heritage Value or Interest and Heritage Attributes have not been prepared for this property.

2. Ontario Regulation 9/06 Evaluation

Ontario Regulation 9/06, Criteria for Determining Cultural Heritage Value or Interest (O. Reg. 9/06) provides criteria to apply to a potential heritage property to evaluate its heritage value. If a privately-owned property meets one or more of the following criteria it may be designated by a municipality under Section 29 of the *Ontario Heritage Act*. For the purposes of this CHER, O. Reg. 9/06 considers the evaluation of the property as part of the community context. The *Standards and Guidelines for the Conservation of Provincial Heritage Properties* state that a property may be considered a Provincial Heritage Property (PHP) if it meets one or more of the criteria under O. Reg. 9/06. The application of the criteria for 949 King Street East is included in Table 2-1 below.

Table 2-1: O.Reg. 9/06 Evaluation for 949 King Street East

Criterion	Response (Yes/No)	Rationale
1) The property has design or physical value because it:		
i) Is a rare, unique, representative, or early example of a style, type, expression, material, or construction method;	No	The structure located on the property at 949 King Street East is a common example of an early/mid-20 th century 3-storey commercial building with a residential space above. This form is commonly found throughout Hamilton.
ii) Displays a high degree of craftsmanship or artistic merit; or	No	The property is of common design and does not display a high degree of craftsmanship or artistic merit.
iii) Demonstrates a high degree of technical or scientific achievement.	No	The property is a common commercial/residential structure and does not display a high degree of technical or scientific achievement.
2) The property has historic or associative value because it:		
i) Has direct associations with a theme, event, belief, person, activity, organization or institution that is significant to a community;	No	The property does not have potential to yield information that contributes to an understanding of a community or culture.

Criterion	Response (Yes/No)	Rationale
ii) Yields, or has the potential to yield information that contributes to an understanding of a community or culture; or	No	The property does not have potential to yield information that contributes to an understanding of a community or culture.
iii) Demonstrates or reflects the work or ideas of an architect, artist, builder, designer, or theorist who is significant to a community.	No	A specific architect or builder for the property could not be determined for 949 King Street East.
3) The property has <i>contextual value</i> because it:		
i) Is important in defining, maintaining, or supporting the character of an area;	No	The property at 949 King Street East forms a component of the larger commercial/residential block on the north side of King Street East. However, it is not important in defining, maintaining, or supporting the character of an area.
ii) Is physically, functionally, visually, or historically linked to its surroundings; or	No	The property at 949 King Street East forms a component of the larger commercial/residential block on the north side of King Street East. However, it is not physically, functionally, visually, or historically linked to its surroundings.
iii) Is a landmark.	No	The property at 949 King Street East is not considered a landmark.

3. Ontario Regulation 10/06 Evaluation

Ontario Regulation 10/06, Criteria for Determining Cultural Heritage Value or Interest of Provincial Significance (O. Reg. 10/06), provides criteria against which to assess a property to determine if the property holds provincial heritage significance. The *Standards and Guidelines for the Conservation of Provincial Heritage Properties* state that Ministries and prescribed public bodies shall apply the criteria in O. Reg. 10/06 to determine whether a property is of provincial significance. Therefore, for the purpose of this CHER O. Reg 10/06 considers the evaluation of the property as a part of the provincial context. If the property meets the criteria, it may be considered a Provincial Heritage Property of Provincial Significance (PHPPS). The application of the criteria for 949 King Street East is in Table 3-1, below.

Table 3-1: O.Reg. 10/06 Evaluation for 949 King Street East

Criterion	Response (Yes/No)	Rationale
1. The property represents or demonstrates a theme or pattern in Ontario's history.	No	949 King Street East does not represent a theme or pattern in Ontario's history. Commercial and residential structures similar to this are found throughout towns and cities in Ontario.
2. The property yields, or had the potential to yield, information that contributes to an understanding of Ontario's history.	No	949 King Street East does not yield, and is not anticipated to yield information that contributes to an understanding of Ontario's history.
3. The property demonstrates an uncommon, rare, or unique aspect of Ontario's cultural heritage.	No	949 King Street East does not demonstrate an uncommon, rare, or unique aspect of Ontario's cultural heritage. The form and massing of the structures are commonly found in Ontario.
4. The property is of aesthetic, visual, or contextual importance to the province.	No	949 King Street East property is not of aesthetic, visual, or contextual importance to the province.
5. The property demonstrates a high degree of excellence or creative, technical, or scientific achievement at a provincial level in a given period.	No	949 King Street East does not demonstrate a high degree of excellence or creative, technical, or scientific achievement at a provincial level.
6. The property has a strong or special association with the entire	No	949 King Street East does not have a strong or special

Criterion	Response (Yes/No)	Rationale
province or with a community that is found in more than one part of the province.		association with the entire province or with a community that is found in more than one part of the province.
7. The property has a strong or special association with the life or work of a person, group or organization of importance to the province or with an event of importance to the province.	No	949 King Street East does not have strong or special associations with the life or work of a person, group, or organization of importance to the province or with an event of importance to the province.
8. The property is located in an unorganized territory and the Minister determines that there is a provincial interest in the protection of the property.	No	949 King Street East is not located in an unorganized territory.

4. Recommended Outcome of Evaluation

The application of O.Reg. 9/06 and O.Reg. 10/06 concluded that 949 King Street East does not meet O.Reg. 9/06 or O.Reg. 10/06, as it did not satisfy any of the nine criteria. Therefore, this CHERR recommends that the property at 949 King Street East is not considered a Provincial Heritage Property (PHP). As a result, a Statement of Cultural Heritage Value or Interest and Heritage Attributes have not been prepared for this property.



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Cultural Heritage Evaluation Report 951-953 King Street East, Hamilton, Ontario

Prepared by AECOM
for Metrolinx

February 22, 2017

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Revision History

Revision #	Date	Revised By:	Revision Description
0	02/22/2017	C.Latimer	Draft to Metrolinx

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1. Executive Summary

AECOM Canada Ltd. (AECOM) was retained by Metrolinx to complete a Cultural Heritage Evaluation Report (CHER) for the property at 951-953 King Street East, in the City of Hamilton, Ontario. This work is being completed as part of the Hamilton Light Rail Transit (LRT) Project.

The Hamilton LRT Project B-Line alignment extends from McMaster University at Cootes Drive to the Main Street/Highway 403 Bridge. A proposed LRT-only bridge will allow the alignment to then extend along King Street West until King East Street intersects with Main Street East, where the alignment will continue along Main Street East to the Queenston Road traffic circle. As a part of the project, it is anticipated that building impacts may take place on the property at 951-953 King Street East (Figure 1).

The project impacts will be assessed following the Transit Project Assessment Process (TPAP), as prescribed in Ontario Regulation (O. Reg.) 231/08, Transit Projects and Metrolinx Undertakings under the *Environmental Assessment Act*. As part of the TPAP Amendment, an Environmental Project Report (EPR) Amendment will be prepared for public review.

The CHER was prepared according to the Metrolinx Interim Cultural Heritage Management Process and utilizes the criteria in Ontario Regulation 9/06 and Ontario Regulation 10/06, as required by the Ministry of Tourism, Culture, and Sport's (MTCS) *Standards and Guidelines for the Conservation of Provincial Heritage Properties* (2010). In addition, the CHER was prepared according to the Metrolinx Draft Terms of Reference for Consultants: *Cultural Heritage Evaluation Report and Cultural Heritage Evaluation Report Recommendations*. Consequently the recommendations as they relate to this CHER and the potential cultural heritage value or interest of the property at 951-953 King Street East is contained in a separate Cultural Heritage Evaluation Report Recommendations (CHERR) document.

As part of the reporting requirements for the Hamilton LRT Project, Archaeological Services Inc. (ASI) undertook a Cultural Heritage Screening Report (CHSR) for the alignment. The CHSR identified the requirement to conduct a CHER for the property located at 951-953 King Street East to assess the potential cultural heritage value or interest of the properties. Where applicable, relevant background information has been utilized from the CHSR for project consistency.

At the beginning of the 20th century, historic topographic mapping shows minimal development east of Sherman Avenue South where the subject property is located (Figure 4). Significant urban expansion eastward, beyond Sherman Avenue South (Figure 5) is not present in historic topographic mapping until 1938.

Hamilton City Directories indicate that the building at 951-953 King Street East was constructed by 1924. The building footprint appears in the 1927 Fire Insurance Plan as part of a revision made in 1933. Although the building would have been present on the original 1927 Fire Insurance Plan, a revision was made in order to add the adjacent building at 949 King Street East, which was constructed in 1928.

The first occupants of 951-953 King Street East in 1925 included Davidson Bros., a commercial business at 951 King Street East a residential tenant, Mrs. A McLaren, at 951½ King Street East, and Edwin Mordue's tobacco shop at 953 King Street East and residential tenant George Nash at 953½ King Street East. One year later, Davidson Bros. was listed as a vacant store and the tobacco shop became a fish dealer run by J. Sheppard.

By the 1930s, there are two new residential tenants, and one commercial business, A&P Tea Company grocery store, that appears to use both ground floor units. The A&P Tea Company opened in 1936 and by 1940, one unit became vacant and the second unit was listed as M.A. Szabo's garage. The second floor of the building was under use for residential purposes. A decade later, the building continued as mixed residential and commercial, with the Gay Grill and Triangle Cleaners occupying the commercial portion of the building.

Throughout the 1960s and the 1970s, the residential portion of the building continued to be occupied by various tenants; however, commercial businesses continued to change hands with the Fair-King Laundromat replacing the Gay Grill, and Eddy Signs replacing Triangle Cleaners in 1961. By 1970, B&B Variety occupied what was the Fair-King Laundromat and Eddy Signs is listed as a vacant space.

Most recently, the property at 951-953 King Street East appears vacant. The ground floor of the building has undergone recent alterations to cover the storefront windows and central doorways, and the upper apartment windows have been boarded. It could not be confirmed whether any part of the building is still in use for residential purposes.

A field review of the privately owned property at 951-953 King Street East was undertaken on February 3, 2017 by Emily Game of AECOM. An assessment was not completed on the interior of the structures due to the timing constraints for the TPAP Amendment.

2. Introduction

2.1 Historical Summary

2.1.1 Context

The subject property is located within the municipal boundaries of the City of Hamilton, Ontario. Prior to the incorporation of the current municipality, the property was located within the boundaries of Barton Township, in Wentworth County.

2.1.2 Wentworth County

As part of the establishment of Upper Canada, the province was divided into administrative Districts in 1792. As such, Wentworth County was one of several counties that made up the Home District. It was named in honour of Sir John Wentworth, Lieutenant Governor of Nova Scotia from 1792-1808. In 1816, the Home District was divided and reorganized and Wentworth County was included in the Gore District. By 1849, the original district system was abolished and replaced by a county council system and Wentworth County became an independent political entity. Townships that were included in Wentworth County at one time or another included Ancaster, Barton, Beverly, Binbrook, Caistor, Flamborough East and West, Glanford, Onondaga, Saltfleet, and Seneca. Between 1850 and 1854, Wentworth and Halton Counties were joined for government purposes into the United Counties of Wentworth and Halton; however, this change was short-lived. In 1973, Wentworth County was renamed the Regional Municipality of Hamilton-Wentworth and, in 2001, was amalgamated with six constituent municipalities into the City of Hamilton. The City of Hamilton has remained as the administrative seat or county town since the original creation of the Gore District nearly two centuries ago.

2.1.3 Barton Township

Barton Township is described in detail in the *Illustrated Historical Atlas of the County of Wentworth of 1875*. The Township of Barton was surveyed in 1791 by Augustus Jones using the Single-Front survey system used by the colonial government between 1783 and 1818.¹ The survey was made up of concessions separated by road allowances. The concession was divided into lots of 200 acres and sideroad allowances were surveyed after every fifth lot. The first settlers arrived in Barton Township in 1791, many of whom were United Empire Loyalists or disbanded troops. The settlement of Barton Township began slowly, with only 102 families living in the township by 1815; most of the settlement was concentrated at the foot of the Niagara Escarpment. The township continued to grow and by 1823 it contained one sawmill and three gristmills. By 1841, the population grew to 1,434.² Barton Township was later amalgamated into the Regional Municipality of Hamilton-Wentworth, which today is known as the City of Hamilton.

¹ William H Smith. *Smith's Canadian Gazetteer*. Toronto: H. & W. Roswell. 1846.

² D'Arcy Boulton,. *Sketch of His Majesty's Province of Upper Canada*. London: C. Rickaby. 1805. pp. 48-49.

2.2 Description of Property

The property located at 951-953 King Street East consists of a rectangular shaped lot on the north side of King Street East, between Garfield Avenue North and Fairhold Road North (Figure 2). The structure on the property consists of a two-storey apartment building, with commercial space on the ground floor. The overall scale and massing of the building appears to be relatively unaltered from its original construction c. 1924. The exterior of the ground floor has undergone alterations in the early-21st century, metal paneling has been added to the exterior and the window and door openings have been painted white. The exterior on the second storey has remained relatively unaltered; the original configuration of the windows and the brick detailing have been retained.

2.3 Current Context

The property is situated on the north side of King Street East between Garfield Avenue North and Fairholt Road North. The property is one of a series of three combined commercial and residential properties that occupy the eastern half of this block. The adjacent properties on the north and south side of King Street East are made up of a variety of residential and commercial uses, while the streets north of the subject property – including Garfield Avenue North and Fairholt Road North consist of predominantly single-detached homes that appear to have been developed in the early and mid-20th century. The property has been a part of the expanding urban environment of Hamilton since the early-20th century.

3. Methodology and Sources

3.1 Study Approach

This CHER was prepared in accordance with Metrolinx's *Interim Cultural Heritage Management Process* (Fall 2013) and the MTCS *Standards and Guidelines for the Conservation of Provincial Heritage Properties* (2010). The CHER was also undertaken according to the guidelines presented in the Metrolinx document, *Draft Terms of Reference for Consultants: Cultural Heritage Evaluation Report and Cultural Heritage Evaluation Report Recommendations* (April 2016) and outlined in the following tasks:

- Research and Documentation Gathering – gathered from various sources including existing heritage studies, Metrolinx records, public archives, and published materials;
- Writing – an illustrated report based on gathered background history and site investigation materials, and the application of O.Reg. 9/06 and 10/06; Evaluation, Recommendations, and Statement of Cultural Heritage Value – a summary of the applicable evaluation, and recommendations regarding whether the property meets the criteria for being a provincial heritage property, a provincial heritage property of provincial significance, or neither.

As outlined in the Draft Terms of Reference, the heritage evaluation is separated into two stand-alone components: a CHER and a CHERR. The Cultural Heritage Evaluation Report includes research conducted for the CHER and is intended to address the criteria set out in O.Reg. 9/06 and 10/06. The CHERR includes the results of the applied evaluation, and the recommended outcome of the evaluation.

Emily Game, Heritage Researcher for AECOM, conducted a site investigation to visually inspect and document the property on February 3, 2017. An assessment was not completed on the interior of the structures due to the timing constraints for the TPAP Amendment.

3.2 Secondary Sources

A series of secondary sources were reviewed for the purposes of data collection and analysis as part of the CHER. The relevant guidelines and reference documents cited above served as a framework for undertaking the study. The *Hamilton Light Rail Transit Cultural Heritage Screening Report, City of Hamilton, Ontario* (CHSR) prepared by ASI in December 2016, provided a preliminary review of the rail corridor and the potential heritage properties identified along the corridor. Background information and applicable research was gathered from the report for the purposes of the CHER. In addition, a series of published materials including published histories pertaining to the history of Hamilton were consulted. A complete list of the sources reviewed for the report is contained in Section 15 (Bibliography).

3.3 Primary Sources

Where available, primary source material was consulted to provide a historical context for the evaluation of the potential heritage value of the property. Primary source research was undertaken at the Local History and Archives Department of the Hamilton Public Library, the Mills Memorial Library at McMaster

University, and at the Map and Data Centre at the University of Western Ontario. A review of the following primary sources aided in the evaluation of the structure at 951-953 King Street East:

- Illustrated Historical Atlas of the County of Wentworth, 1875;
- Hamilton City Directories, issues 1920-1970;
- Fire Insurance Plans, 1927 (rev. 1933) - 1964; and,
- National Topographic Series, 1905-1938.

3.4 Consultations

As part of the identification of recognized and potential cultural heritage resources for the CHSR, ASI undertook consultation with the City of Hamilton, the Ontario Heritage Trust (OHT) and the MTCS. Consultation during the CHSR process took place between August and October, 2016.

As part of this CHER, AECOM undertook property-specific consultation with the same municipal and provincial staff and agencies in order to identify or confirm any existing heritage recognitions or interest in this subject property.

The following individuals and organizations were consulted:

- Thomas Wicks, Heritage Planner, OHT;
- Chelsey Tyers, Cultural Heritage Planner, City of Hamilton;
- Asyia Patel, Assistant Cultural Heritage Planner, City of Hamilton; and,
- Rosi Zirger, Heritage Planner, MTCS.

The results of the consultation efforts have been summarized in Section 7 (Community Input).

4. Heritage Recognitions

4.1 Municipal

As a review of applicable municipal heritage recognitions for the property or adjacent properties, AECOM reviewed the City of Hamilton's heritage inventories. The following inventories and registers were reviewed:

- *Hamilton's Heritage Volume 1: List of Designated Properties and Heritage Conservation Easements under the Ontario Heritage Act; and,*
- *Hamilton's Heritage Volume 2: Inventory of Buildings of Architectural and/or Historical Interest.*

In addition, consultation efforts were undertaken to confirm levels of municipal heritage recognition, if any. The property was identified in the December 2016 CHSR as not being subject to any heritage recognitions. However, consultation with the City of Hamilton in January and February 2017 confirmed that the property is now listed on the City's *Inventory of Buildings of Architectural and/or Historical Interest*.

4.2 Provincial

As a review of applicable provincial heritage recognitions for the property or adjacent properties AECOM reviewed the OHT's Provincial Plaque Guide, and list of OHT easements. The property at 951-953 King Street East is neither the subject of a provincial plaque nor a provincial easement. In addition, OHT staff was contacted to review the *Ontario Heritage Act* Register to confirm that the property is not included on the register and that an OHT easement does not exist for the property.

A response from Thomas Wicks, Heritage Planner for the OHT confirmed that the Trust does not hold a conservation easement for the property at 951-953 King Street East.

4.3 Federal

As a review of applicable federal heritage recognitions for the property or adjacent properties, AECOM reviewed the online searchable database for the Canadian Register of Historic Places as well as the Directory of Federal Heritage Designations. 951-953 King Street East and the adjacent properties are not subject to any existing federal heritage recognitions.

5. Adjacent Lands

The properties adjacent to 951-953 King Street East consist mainly of a mix of commercial and residential purposes. To the west is 949 King Street East, a three storey residential property which is similar in mass and scale to the subject property. Immediately to the east is a three-storey residential building. Residential properties make up the neighbouring area to the north and south of the subject property.

Consultation with the City of Hamilton indicated that the adjacent property at 949 King Street East is listed on the City's *Inventory of Buildings of Architectural and/or Historical Interest*.

6. Archaeology

ASI completed a Stage 1 Archaeological Assessment (AA) as part of the Rapid Transit Initiative and found that the property at 951-953 King Street East did not retain archaeological potential and confirmed that no known archaeological assessments have previously been completed within 50 metres (m) of the property. Consequently, at the time of production of the ASI report, no archaeological sites had been identified within or adjacent to the property. Additionally, the ASI Stage1 AA indicates that there is no land that retains archaeological potential within 50 m of 951-953 King Street East.

The results of the Stage 1 AA determined that a Stage 2 AA must be conducted for all land identified as retaining archaeological potential that will be impacted by the proposed Rapid Transit Initiative. Based on this assessment, ASI made the following recommendations:

- The King Street right-of-way (ROW) does not retain archaeological potential due to previous land disturbance. An additional AA is not required within the ROW and those portions of the study corridor can be cleared of further archaeological concern; and,
- A Stage 2 AA should be conducted on lands determined to have archaeological potential if the proposed project is to impact these lands. This work must be done in accordance with the MTCS' *Standards and Guidelines for Consultant Archaeologists* (Ontario Government 2011) in order to identify any archaeological remains that may be present.

It should be noted that ASI's recommendations for Stage 2 archaeological work references the MCL's 2006 draft *Standards and Guidelines for Consultant Archaeologists* (MCL 2006); however, further Stage 2 AA work must now be conducted in accordance with current archaeological standards and guidelines (*Standards and Guidelines for Consultant Archaeologists*, Ontario Government 2011) . For complete details regarding the results of the Stage 1 AA, reference should be made to the *Stage 1 Archaeological Assessment, Rapid Transit Initiative, City of Hamilton, Ontario* (February 2009).

7. Community Input

As part of the consultation process for this report, AECOM undertook consultation with the City of Hamilton, the MTCS, and the OHT. The results of the consultation efforts are identified below in Table 7-1.

Table 7-1: Community Input and Consultation Undertaken for 951-953 King Street East

Contact	Contact Information	Date	Notes
Chelsey Tyers, Heritage Planner City of Hamilton	905-546-2424 ext. 1202 chelsey.tyers@hamilton.ca	February 1, 2017 February 6, 2017 (Response)	The City of Hamilton confirmed that 951-953 King Street East is listed on the City's <i>Inventory of Buildings of Architectural and/or Historical Interest</i> .
Asiya Patel Assistant Cultural Heritage Planner City of Hamilton	905-546-2424 ext. 7163 asiya.patel@hamilton.ca		
Thomas Wicks Heritage Planner Ontario Heritage Trust	416-314-5972 thomas.wicks@heritagetrust.on.ca	February 1, 2017 February 9, 2017 (Response)	The OHT confirmed that the property is not subject to an OHT conservation easement nor is it on their register.
Rosi Zirger Heritage Planner Ministry of Tourism, Culture, and Sport	416-314-7159 rosi.zirger@ontario.ca	February 1, 2017	Response pending.

8. Discussion of Historical or Associative Value

8.1 Historic Theme/Cultural Pattern

8.1.1 *Transportation*

The earliest roads in Ontario were typically military roads or colonization roads. These roads often followed aboriginal hunting trails or were dictated by the topography of the land which they crossed. The Dundas Road was opened to connect Toronto with the Thames River, in what is now London, Ontario, and the Kingston Road was designed to provide a military link between Toronto and Kingston. The Kingston Road was one of the earliest and still functioning roads in southern Ontario.

Following the Crown surveys in Ontario, concession and side roads were opened on a grid that was dictated by the survey type that was used. The roads were cleared and made passable by the early land owners who built their dwellings adjacent to the concession roads. Despite being cleared, road conditions were often poor until the late 19th and early 20th centuries.

Railway transportation, both passenger and freight, greatly improved the transportation network in Ontario beginning in the mid-1800s. The opening of the Grand Trunk Railway (GTR) between Montreal and Toronto in 1856 provided a link between the two cities and provinces that was more easily travelled in comparison to mid-19th century roads. The construction of the route from Montreal to Toronto, and then on to Samia by the end of the 1860s resulted in the construction of significant structures such as the Victoria Bridge over the St. Lawrence River, and the St. Clair Tunnel in Samia. The GTR was designed to enhance the St. Lawrence-Great Lakes shipping routes in response to the railroads and shipping networks in the United States. As a result it also strengthened the connection and link between the townships, and municipal and provincial economies in Ontario.

Various railway companies were formed in Ontario to create a vast network of rail lines that spread throughout the province by the early-20th century. Nonetheless, most of the companies were eventually merged with or purchased by the Canadian National Railway (CN) or the Canadian Pacific Railway (CP).

8.1.2 *Hamilton Street Railway*

In 1873, the City of Hamilton incorporated the Hamilton Street Railway; the horse-drawn streetcar service began in May 1874 with six operating cars. The line extended along three miles of track from the GTR's passenger station east along Stuart Street South to James Street. The line travelled south to Gore Park and then east along King Street to Wellington Street. Due to popularity of the service, additional cars were added and the track was extended. New track was laid west along King Street to Locke Street and east to Wentworth Street.

The electrification process of the Hamilton Street Railway began in March 1892. A total of 12 miles of track were electrified and 15 horsecars were converted to electric street cars. Operation of the newly-electrified cars began on June 29, 1892.

At the end of the Second World War, Hamilton Street Railway sold the lines to Canada Coach for \$1.4 million. Immediately following the sale, Canada Coach announced plans to replace the street car service with busses. By 1951, the last street car was removed from service and replaced by electric trolley busses.³

The proposed B-Line follows the old streetcar route from King Street near McMaster University to Sherman Avenue. There the old streetcar route turned south along Sherman Avenue and then continued east on Main Street to Kenilworth Avenue North. The B-Line will continue past Sherman Avenue along King Street to the Delta, where it will re-connect with the old streetcar route.

The present-day Hamilton transit company operates under the name of Hamilton Street Railway Company.

8.2 Local History

951-953 King Street East is located within the City of Hamilton, Ontario. Historically the structures were located within Lot 8, Concession II, Barton Township in Wentworth County. The subsections below include historic information related to the settlement and growth of these areas.

8.2.1 Settlement History

As part of the establishment of Upper Canada, the province was divided into administrative Districts in 1792. As such, Wentworth County was one of several counties that made up the Home District. It was named in honour of Sir John Wentworth, Lieutenant Governor of Nova Scotia from 1792-1808. In 1816, the Home District was divided and reorganized and Wentworth County was included in the Gore District. By 1849, the original district system was abolished and replaced by a county council system and Wentworth County became an independent political entity. Townships that were included in Wentworth County at one time or another included Ancaster, Barton, Beverly, Binbrook, Caistor, Flamborough East and West, Glanford, Onondaga, Saltfleet, and Seneca. Between 1850 and 1854, Wentworth and Halton Counties were joined for government purposes into the United Counties of Wentworth and Halton; however, this change was short-lived. In 1973, Wentworth County was renamed the Regional Municipality of Hamilton-Wentworth and, in 2001, was amalgamated with six constituent municipalities into the City of Hamilton. The City of Hamilton has remained as the administrative seat or county town since the original creation of the Gore District nearly two centuries ago.

Barton Township is described in detail in the *Illustrated Historical Atlas of the County of Wentworth of 1875*. The Township of Barton was surveyed in 1791 by Augustus Jones using the Single-Front survey system used by the colonial government between 1783 and 1818. The survey was made up of concessions separated by road allowances. The concession was divided into lots of 200 acres and sideroad allowances were surveyed after every fifth lot. The first settlers arrived in Barton Township in 1791, many of whom were United Empire Loyalists or disbanded troops. The Settlement of Barton Township began slowly, with only 102 families living in the township by 1815. Most of the settlement was concentrated at the foot of the Niagara Escarpment. The township continued to grow and by 1823 it contained one sawmill and three gristmills. By 1841, the population had grown to 1,434.

³Transit Toronto. <http://transit.toronto.on.ca/streetcar/4751.shtml>, consulted February 9, 2017.

8.2.2 Site History

951-953 King Street East was historically located in the southern part of Lot 8, Concession II in Barton Township when the crown survey for the township was undertaken. In 1875, the lot was bisected by King Street East with the north half listed to the A. Case Estate and the south to George Barnes. At this time, significant urban development had not yet reached this part of Barton Township and Lot 8, Concession II appears to be under agriculture. A farmstead is illustrated on the north portion of the lot fronted along King Street East on the A. Case Estate land. A structure is also noted on the south portion of the lot owned by George Barnes and fronted on Main Street East (Figure 3).

By the beginning of the 20th century, historic topographic mapping indicates that minimal development east of Sherman Avenue South where the subject property is located (Figure 4). Significant urban expansion eastward, beyond Sherman Avenue South is not present in historic topographic mapping until 1938 (Figure 5).

Hamilton City Directories indicate that the building at 951-953 King Street East was constructed by 1924. The building footprint appears in the 1927 Fire Insurance Plan as part of a 1933 revision. Although the building would have been present on the original 1927 Fire Insurance Plan, a revision was made to add the adjacent building at 949 King Street East, which was constructed in 1928.

The first occupants of 951-953 King Street East in 1925 included Davidson Bros., a commercial business at 951 King Street East a residential tenant, Mrs. A McLaren, at 951½ King Street East, Edwin Mordue's tobacco shop at 953 King Street East and residential tenant George Nash at 953½ King Street East. One year later, Davidson Bros. was listed as a vacant store and the tobacco shop became a fish dealer run by J. Sheppard.

By the 1930s, there are two new residential tenants and one commercial business named the A&P Tea Company grocery store that appears to take up the entire ground floor. The A&P Tea Company opened in 1936, and by 1940, one ground floor unit was listed as vacant and the other ground floor unit was listed as M.A. Szabo's garage. The second floor of the building was still under use for residential purposes. A decade later, the building continued as mixed residential and commercial with the Gay Grill and Triangle Cleaners occupying the commercial portion of the building.

Throughout the 1960s and the 1970s, the residential portion of the building continued to be occupied by various tenants, commercial businesses also came and went, with the Fair-King Laundromat replacing the Gay Grill and Eddy Signs replacing Triangle Cleaners in 1961. By 1970, B&B Variety occupied what was the Fair-King Laundromat and Eddy Signs is listed as a vacant store.

Most recently, the property at 951-953 King Street East appears vacant. The ground floor of the building has undergone recent alterations to cover the storefront windows and central doorways and the upper apartment windows have been boarded. It could not be confirmed whether any part of the building is still in use for residential purposes

8.3 Person/Event/Organization

The historic research undertaken for this CHER did not identify any significant people, events, or organizations that are directly related to or associated with the property, and could contribute to the potential cultural heritage interest or value of the property.

9. Discussion of Design or Physical Value

9.1 Style/Type/Tradition

The building located at 951-953 King Street East consists of a two-storey residential structure that forms part of a residential and commercial block on the north side of King Street East between Garfield Avenue North and Fairholt Road North (Photograph 1).

The ground floor of the building consists of a central entranceway into the commercial space with plate glass windows on either side of the doors (Photograph 3). Despite the change in cladding and the removal of details, the storefront retains the characteristic recessed entrance beside the large display windows typical of the late 19th and early 20th centuries.

The second storey of the building has two bays, each with one window. The large windows are topped with concrete lintels which are contemporary with the construction of the building. Three rectangular contrasting brick detailing are located below the raised parapet, each with a diamond-shaped concrete block.

The property forms a component of the larger continuous row of buildings on this portion of the north side of King Street East. It does not represent a specific style, type, or tradition of architectural style or design. Rather, the building is an example of a vernacular commercial/residential architectural type that was utilized throughout the 19th and 20th centuries. The materials, detailing and finishes that survive were in common use during the 1920s and 1930s. This form of urban design can be found throughout small towns as well as large cities across Ontario.

9.2 Function

The building on the property was designed and built as combined commercial and residential premises c. 1924. This common form of housing with businesses on the ground floor is a ubiquitous feature of 19th- and early 20th century urban areas. Most recently, the property at 951-953 King Street East does not appear to be in use for commercial or residential purposes, but rather appears vacant. The ground floor of the building appears to have undergone recent alterations to cover the storefront windows and central doorways and the upper apartment windows have been boarded. It could not be confirmed whether any part of the building is still in use for residential purposes or if it is completely vacant.

9.3 Fabric

According to mid-20th century Fire Insurance Maps, the building at 951-953 King Street East was constructed of concrete block, much of which is visible on the sides of the first and second floors of the building today. The south façade is veneered with brick that is extant above the extensive modifications to the exterior of the ground floor.

The ground floor has been altered and most of the original building fabric materials have been covered or removed. The exterior on the ground floor of the building has been covered in metal panelling and the plate glass window and commercial entrance has been painted white.

The original brick masonry has survived on the second storey of the building. The second floor has two window openings with the original concrete lintels. The structure has a flat roof in keeping with the adjacent 949 King Street East and is characterized by the parapet wall in the centre of the building. Three rectangles in contrasting brick detailing are located below the raised parapet, each with a diamond-shaped concrete block (Photograph 4). The window sashes on the second floor have been removed, the openings have been boarded up and a metal fire escape has been added to the second floor of the building.

10. Discussion of Contextual Value

10.1 Social Meaning

The structure at 951-953 King Street East is one many low-rise apartment buildings that were constructed in cities across Ontario. Built in the early-20th century, the property represents a common type of residential building within the City of Hamilton. The main floor façade has been altered but the second floor of the building retains many of its original architectural features. The property is one of many of commercial/residential structures that was built fronting onto King Street East in Hamilton as it expanded eastwards.

10.2 Environment

The property is situated on the north side of King Street East between Garfield Avenue North and Fairholt Road North. The property is one of a series of three combined commercial and residential properties that occupy the eastern half of this block. The adjacent properties on the north and south side of King Street East are made up of a variety of residential and commercial uses, while the streets north of the subject property – including Garfield Avenue North and Fairholt Road North consist of predominantly single-detached homes that appear to have been developed in the early and mid-20th century. The property has been a part of the expanding urban environment of Hamilton since the early-20th century.

10.3 Formal Recognition

The property was identified in the December 2016 CHSR as not being subject to any heritage recognitions. However, consultation with the City of Hamilton in January and February 2017 confirmed that the property is now listed on the City's *Inventory of Buildings of Architectural and/or Historical Interest*.

11. Data Sheet

Table 11-1: Data Sheet for 951-953 King Street East

FIELD	PROPERTY DATA
Municipal Address	951-953 King Street East
Municipality	Hamilton
Approximate Area (square metres)	243
Rail Corridor	Hamilton LRT B-Line
PIN	172130228
Ownership	Private
Aerial photo showing location and boundaries	
Exterior, street-view photo	
Date of construction of built resources (known or estimated and source)	ca. 1924 (Hamilton City Directories)
Date of significant alterations to built resources (known or estimated and source)	Unknown

FIELD	PROPERTY DATA
Architect/designer/builder	Unknown
Previous owners or occupants	Various residential tenants (1924-1970s), Davidson Bros. (1924-1930s), Tobacco shop (1924-1930s), A&P Tea Company grocery (1936-1940), Szabo Garage (1940s), Gay Grill (1950s), Triangle Cleaners (1950s), Fair-King Laundromat (1960s), Eddy's Signs (1960s), B&B Variety (1970s)
Current function	Residential/Vacant
Previous function(s)	Mixed use: commercial and residential
Heritage Recognition/Protection (municipal, provincial, federal)	Listed on City's <i>Inventory of Buildings of Architectural and/or Historical Interest</i> .
Local Heritage Interest	Listed on City's <i>Inventory of Buildings of Architectural and/or Historical Interest</i> .
Adjacent Lands	No protected heritage properties
Latitude or UTM Northing	43.251365°
Longitude or UTM Easting	-79.836509°

12. Photographs



Photograph 1: View looking south showing streetscape of King Street East with 951-953 King Street East second from the left (AECOM, 2017)



Photograph 2: View looking north showing streetscape of King Street East with 951-953 King Street East second from the left (AECOM, 2017)



Photograph 3: Main floor of 951-953 King Street East (AECOM, 2017)



Photograph 4: Second floor of 951-953 King Street East (AECOM, 2017)

13. Figures

All figures pertaining to this CHER can be found on the following pages

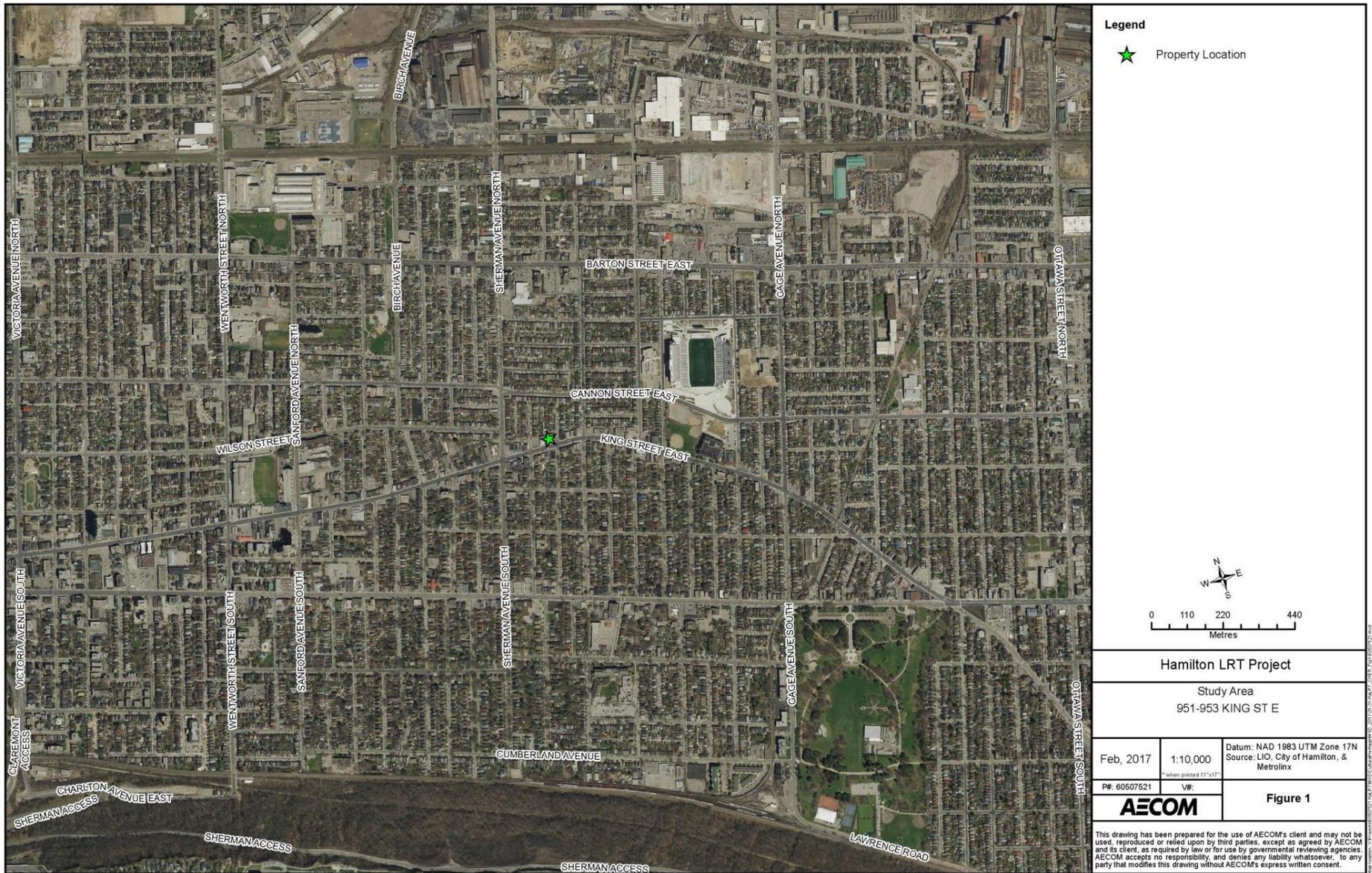


Figure 1: Location of 951-953 King Street East

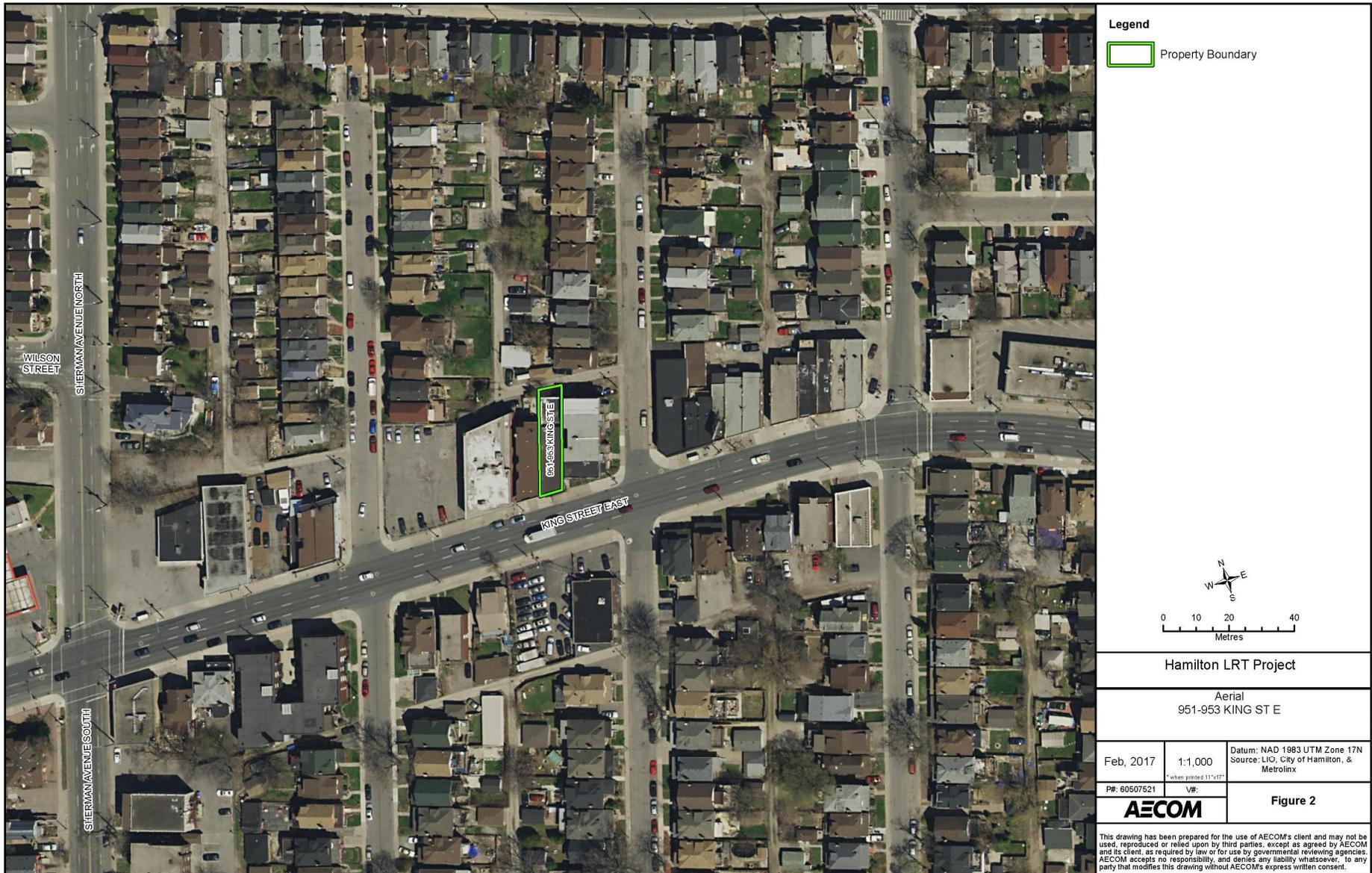


Figure 2: Aerial Photograph showing the area surrounding 951-953 King Street East



Figure 3: Location of 951-953 King Street East on the 1875 Historical Atlas Map (Page & Smith, 1875)

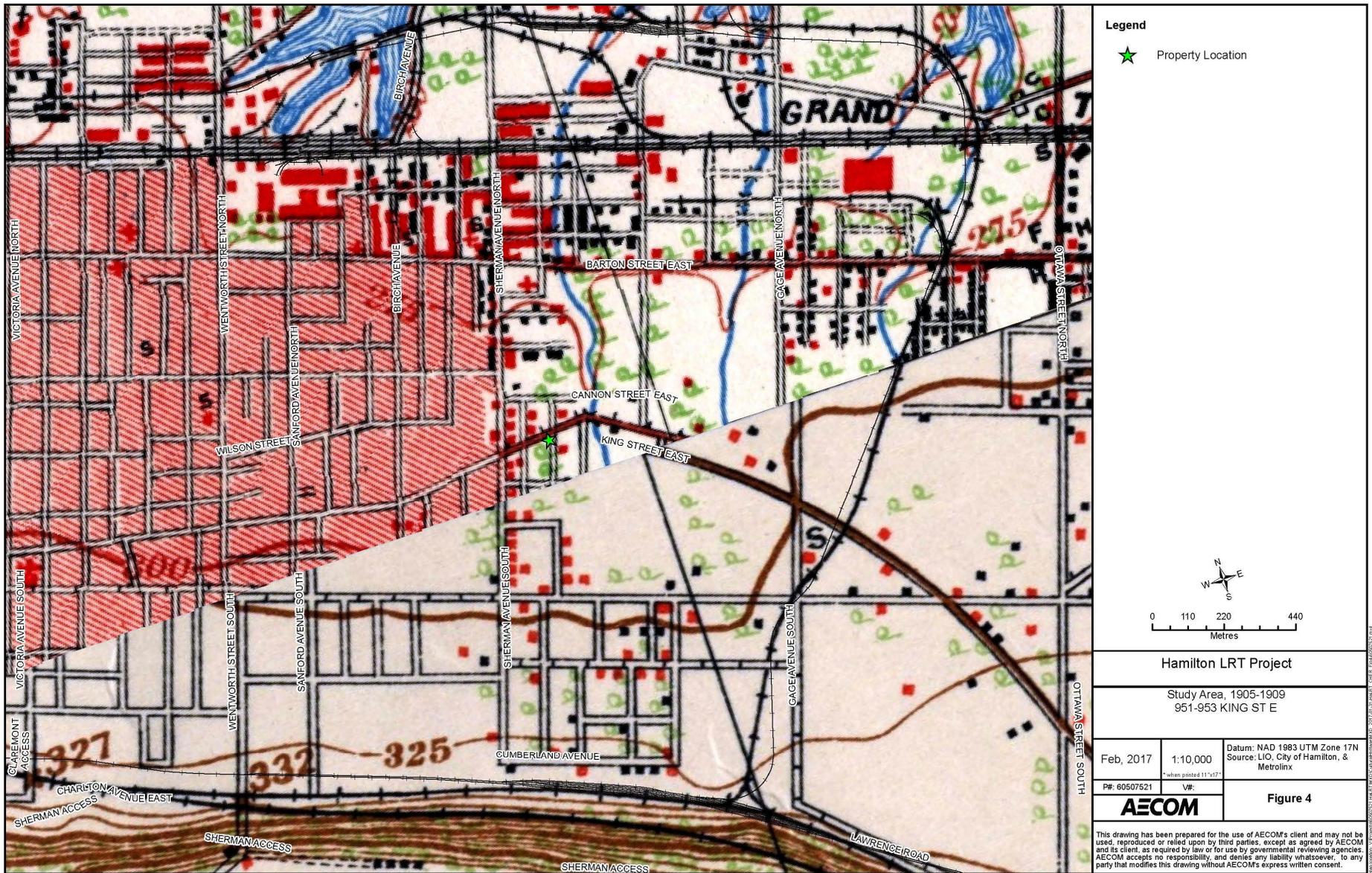


Figure 4: Location of 951-953 King Street East on the 1905-1909 NTS Map



Figure 5: Location of 951-953 King Street East on the 1938 NTS Map

14. Chronology

- 1791 Barton Township was surveyed by Augustus Jones; the first settler arrived in the township.
- 1792 Province of Upper Canada divided into administrative districts.
- 1816 Home District divided and reorganized. As part of the reorganization, Wentworth was reorganized and included within the Gore District.
- 1873 The Hamilton Street Railway was incorporated.
- 1850 Gore District was divided and Halton and Wentworth Counties were created.
- 1892 Twelve miles of the Hamilton Street Railway was electrified and cars were updated.
- 1924 The building at 951-953 King Street East was constructed with the first tenants including Davidson Bros, Edwin Mordue's tobacco shop and two residential tenants.
- 1925 Residential tenants remain and Davidson Bros. and Edwin Mordue's tobacco shop have been replaced by a vacant store and a fish dealer, J. Sheppard.
- 1936 A&P Tea Company grocery store opens on the main floor. Residential apartments on second floor are still occupied.
- 1940 A&P Tea Company grocery store is replaced by a vacant store and M.A. Szabo's garage. Apartments continue to be occupied.
- c. 1945 The Hamilton Street Railway was sold to Canada Coach.
- 1950 Commercial businesses now include the Gay Grill and Triangle Cleaners.
- 1951 Streetcars were removed from service and replaced with electric bus trolleys.
- 1961 Fair-King Laundromat and Eddy Signs replace Gay Grill and Triangle Cleaners, with residential occupants remaining on the upper floor.
- 1970 Residential apartments are still in use and commercial business includes the B&B Variety store. The adjacent commercial space is vacant.

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Cultural Heritage Evaluation Report Recommendations 951-953 King Street East, Hamilton, Ontario

**Prepared by AECOM
for Metrolinx**

February 22, 2017

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Revision History

Revision #	Date	Revised By:	Revision Description
0	02/22/2017	C. Latimer	Draft to Metrolinx

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1. Executive Summary

AECOM Canada Ltd. (AECOM) was retained by Metrolinx to complete a Cultural Heritage Evaluation Report (CHER) for the property at 951-953 King Street East, in the City of Hamilton, Ontario. This work is being completed as part of the Hamilton Light Rail Transit (LRT) Project.

The Hamilton LRT Project B-Line alignment extends from McMaster University at Cootes Drive to the Main Street/Highway 403 Bridge. A proposed LRT-only bridge will allow the alignment to then extend along King Street West until King East Street intersects with Main Street East, where the alignment will continue along Main Street East to the Queenston Road traffic circle. As a part of the project, it is anticipated that building impacts may take place on the property at 951-953 King Street East.

The project impacts will be assessed following the Transit Project Assessment Process (TPAP), as prescribed in Ontario Regulation (O. Reg.) 231/08, Transit Projects and Metrolinx Undertakings under the Environmental Assessment Act. As part of the TPAP Amendment, an Environmental Project Report (EPR) Amendment will be prepared for public review.

The CHER was prepared according to the Metrolinx Interim Cultural Heritage Management Process and utilizes the criteria in Ontario Regulation 9/06 and Ontario Regulation 10/06, as required by the Ministry of Tourism, Culture, and Sport's (MTCS) *Standards and Guidelines for the Conservation of Provincial Heritage Properties* (2010). In addition, the CHER was prepared according to the Metrolinx Draft Terms of Reference for Consultants: *Cultural Heritage Evaluation Report and Cultural Heritage Evaluation Report Recommendations*. Consequently the recommendations as they relate to this CHER and the potential cultural heritage value or interest of the property at 951-953 King Street East are contained in a separate Cultural Heritage Evaluation Report Recommendations (CHERR) document.

As part of the reporting requirements for the Hamilton LRT Project, Archaeological Services Inc. (ASI) undertook a Cultural Heritage Screening Report (CHSR) for the alignment. The CHSR identified the requirement to conduct a CHER for the property located at 951-953 King Street East to assess the potential cultural heritage value or interest of the properties. Where applicable, relevant background information has been utilized from the CHSR for project consistency.

At the beginning of the 20th century, historic topographic mapping shows minimal development east of Sherman Avenue South where the subject property is located. Significant urban expansion eastward, beyond Sherman Avenue South is not present in historic topographic mapping until 1938.

Hamilton City Directories indicate that the building at 951-953 King Street East was constructed by 1924. The building footprint appears in the 1927 Fire Insurance Plan as part of a revision made in 1933. Although the building would have been present on the original 1927 Fire Insurance Plan, a revision was made in order to add the adjacent building at 949 King Street East, which was constructed in 1928.

The first occupants of 951-953 King Street East in 1925 included Davidson Bros., a commercial business, at 951 King Street East, a residential tenant, Mrs. A McLaren, 951½ King Street East, Edwin Mordue's tobacco shop at 953 King Street East and residential tenant George Nash at 953½ King Street East. One year later, Davidson Bros. was listed as a vacant store and the tobacco shop became a fish dealer run by J. Sheppard.

By the 1930s, there are two new residential tenants and one commercial business, A&P Tea Company grocery store, that to use both ground floor units. The A&P Tea Company opened in 1936 and by 1940, one unit became vacant and the second unit was listed as M.A. Szabo's garage. The second floor of the building was still under use for residential purposes. A decade later, the building continued as mixed residential and commercial, with the Gay Grill and Triangle Cleaners occupying the commercial portion of the building.

Throughout the 1960s and the 1970s, the residential portion of the building continued to be occupied by various tenants. Commercial businesses came and went, with the Fair-King Laundromat replacing the Gay Grill and Eddy Signs replacing Triangle Cleaners in 1961. By 1970, B&B Variety occupied what was the Fair-King Laundromat, and Eddy Signs is listed as a vacant space.

Most recently, the property at 951-953 King Street appears vacant. The ground floor has undergone recent alterations to cover the storefront windows and central doorways and the upper apartment windows have been boarded. It could not be confirmed whether any part of the building is still in use for residential purposes.

A field review of the privately owned property at 951-953 King Street East was undertaken on February 3, 2017 by Emily Game of AECOM. An assessment was not completed on the interior of the structures due to the timing constraints for the TPAP Amendment.

The application of O.Reg. 9/06 and O.Reg. 10/06 concluded that 951-953 King Street East does not meet O.Reg. 9/06 or O.Reg. 10/06, as it did not satisfy any of the nine criteria. Therefore, this CHERR recommends that the property at 951-953 King Street East is not considered a Provincial Heritage Property (PHP).

2. Ontario Regulation 9/06 Evaluation

Ontario Regulation 9/06, Criteria for Determining Cultural Heritage Value or Interest (O. Reg. 9/06) provides criteria to apply to a potential heritage property to evaluate its heritage value. If a privately-owned property meets one or more of the following criteria it may be designated by a municipality under Section 29 of the *Ontario Heritage Act*. For the purposes of this CHER, O. Reg. 9/06 considers the evaluation of the property as part of the community context. The *Standards and Guidelines for the Conservation of Provincial Heritage Properties* state that a property may be considered a Provincial Heritage Property (PHP) if it meets one or more of the criteria under O. Reg. 9/06. The application of the criteria for 951-953 King Street East is included in Table 2-1 below.

Table 2-1: O.Reg. 9/06 Evaluation for 951-953 King Street East

Criterion	Response (Yes/No)	Rationale
1) The property has design or physical value because it:		
i) Is a rare, unique, representative, or early example of a style, type, expression, material, or construction method;	No	The structure located on the property at 951-953 King Street East is a common example of an early/mid-20th century 2-storey commercial building with a residential space above. This form is commonly found throughout Hamilton.
ii) Displays a high degree of craftsmanship or artistic merit; or	No	The property is of common design and does not display a high degree of craftsmanship or artistic merit.
iii) Demonstrates a high degree of technical or scientific achievement.	No	The property is a common commercial/residential structure and does not display a high degree of technical or scientific achievement.
2) The property has historic or associative value because it:		
i) Has direct associations with a theme, event, belief, person, activity, organization or institution that is significant to a community;	No	The property is not directly associated with a theme, event, belief, person, activity, organization or institution that is significant to a community..

Criterion	Response (Yes/No)	Rationale
ii) Yields, or has the potential to yield information that contributes to an understanding of a community or culture; or	No	The property does not have potential to yield information that contributes to an understanding of a community or culture.
iii) Demonstrates or reflects the work or ideas of an architect, artist, builder, designer, or theorist who is significant to a community.	No	A specific architect or builder for the property could not be determined for 951-953 King Street East.
3) The property has <i>contextual value</i> because it:		
i) Is important in defining, maintaining, or supporting the character of an area;	No	The property at 951-953 King Street East forms a component of the larger commercial/residential block on the north side of King Street East. However, it is not important in defining, maintaining, or supporting the character of an area.
ii) Is physically, functionally, visually, or historically linked to its surroundings; or	No	The property at 951-953 King Street East forms a component of the larger commercial/residential block on the north side of King Street East. However, it is not physically, functionally, visually, or historically linked to its surroundings.
iii) Is a landmark.	No	The property at 951-953 King Street East is not considered a landmark.

3. Ontario Regulation 10/06 Evaluation

Ontario Regulation 10/06, Criteria for Determining Cultural Heritage Value or Interest of Provincial Significance (O. Reg. 10/06), provides criteria against which to assess a property to determine if the property holds provincial heritage significance. The *Standards and Guidelines for the Conservation of Provincial Heritage Properties* state that Ministries and prescribed public bodies shall apply the criteria in O. Reg. 10/06 to determine whether a property is of provincial significance. Therefore, for the purpose of this CHER, O. Reg 10/06 considers the evaluation of the property as a part of the provincial context. If the property meets the criteria, it may be considered a Provincial Heritage Property of Provincial Significance (PHPPS). The application of the criteria for 951-953 King Street East is in Table 3-1, below.

Table 3-1: O.Reg. 10/06 Evaluation for 951-953 King Street East

Criterion	Response (Yes/No)	Rationale
1. The property represents or demonstrates a theme or pattern in Ontario's history.	No	951-953 King Street East does not represent a theme or pattern in Ontario's history. Commercial and residential structures similar to this are found throughout towns and cities in Ontario.
2. The property yields, or had the potential to yield, information that contributes to an understanding of Ontario's history.	No	951-953 King Street East does not yield, and is not anticipated to yield information that contributes to an understanding of Ontario's history.
3. The property demonstrates an uncommon, rare, or unique aspect of Ontario's cultural heritage.	No	951-953 King Street East does not demonstrate an uncommon, rare, or unique aspect of Ontario's cultural heritage. The form and massing of the structures are commonly found in Ontario.
4. The property is of aesthetic, visual, or contextual importance to the province.	No	951-953 King Street East property is not of aesthetic, visual, or contextual importance to the province.
5. The property demonstrates a high degree of excellence or creative, technical, or scientific achievement at a provincial level in a given period.	No	951-953 King Street East does not demonstrate a high degree of excellence or creative, technical, or scientific achievement at a provincial level.

Criterion	Response (Yes/No)	Rationale
6. The property has a strong or special association with the entire province or with a community that is found in more than one part of the province.	No	951-953 King Street East does not have a strong or special association with the entire province or with a community that is found in more than one part of the province.
7. The property has a strong or special association with the life or work of a person, group or organization of importance to the province or with an event of importance to the province.	No	951-953 King Street East does not have strong or special associations with the life or work of a person, group, or organization of importance to the province or with an event of importance to the province.
8. The property is located in an unorganized territory and the Minister determines that there is a provincial interest in the protection of the property.	No	951-953 King Street East is not located in an unorganized territory.

4. Recommended Outcome of Evaluation

The application of O.Reg. 9/06 and O.Reg. 10/06 concluded that 951-953 King Street East does not meet O.Reg. 9/06 or O.Reg. 10/06, as it did not satisfy any of the nine criteria. Therefore, this CHERR recommends that the property at 951-953 King Street East is not considered a Provincial Heritage Property (PHP). As a result, a Statement of Cultural Heritage Value or Interest and Heritage Attributes have not been prepared.



Cultural Heritage Evaluation Report 1125-1127 King Street East, Hamilton, Ontario

**Prepared by AECOM
for Metrolinx**

February 24, 2017

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Revision History

Revision #	Date	Revised By:	Revision Description
0	02/24/2017	C. Latimer	Draft to Metrolinx

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1. Executive Summary

AECOM Canada Ltd. (AECOM) was retained by Metrolinx to complete a Cultural Heritage Evaluation Report (CHER) for the property at 1125-1127 King Street East, in the City of Hamilton, Ontario. This work is being completed as part of the Hamilton Light Rail Transit (LRT) Project.

The Hamilton LRT Project B-Line alignment extends from McMaster University at Cootes Drive to the Main Street/Highway 403 Bridge. A proposed LRT-only bridge will allow the alignment to then extend along King Street West until King East Street intersects with Main Street East, where the alignment will continue along Main Street East to the Queenston Road traffic circle. As a part of the project, it is anticipated that building impacts may take place on the property at 1125-1127 King Street East (Figure 1).

The project impacts will be assessed following the Transit Project Assessment Process (TPAP), as prescribed in Ontario Regulation (O. Reg.) 231/08, Transit Projects and Metrolinx Undertakings under the *Environmental Assessment Act*. As part of the TPAP Amendment, an Environmental Project Report (EPR) Amendment will be prepared for public review.

The CHER was prepared according to the Metrolinx Interim Cultural Heritage Management Process and utilizes the criteria in Ontario Regulation 9/06 and Ontario Regulation 10/06, as required by the Ministry of Tourism, Culture, and Sport's (MTCS) *Standards and Guidelines for the Conservation of Provincial Heritage Properties* (2010). In addition, the CHER was prepared according to the Metrolinx Draft Terms of Reference for Consultants: *Cultural Heritage Evaluation Report and Cultural Heritage Evaluation Report Recommendations*. Consequently the recommendations as they relate to this CHER and the potential cultural heritage value or interest of the property at 1125-1127 King Street East, are contained in a separate Cultural Heritage Evaluation Report Recommendations (CHERR) document.

As part of the reporting requirements for the Hamilton LRT Project, Archaeological Services Inc. (ASI) undertook a Cultural Heritage Screening Report (CHSR) for the alignment. The CHSR identified the requirement to conduct a CHER for the property located at 1125-1127 King Street East to assess the potential cultural heritage value or interest of the property. Where applicable, relevant background information has been utilized from the CHSR for project consistency.

At the beginning of the 20th century, historic topographic mapping indicates that although urban development in Hamilton was expanding eastward, development was still minimal east of Sherman Avenue South, where the subject property is located (Figure 4). Significant urban expansion eastward in Hamilton, well beyond Sherman Avenue South (Figure 5) was not shown in historic topographic mapping until 1938.

The building located at 1125-1127 King Street East consists of a two-storey commercial and residential structure on the northwest corner of King Street East and Connaught Avenue North. The building begins to appear in the Hamilton City Directories in 1927 and the building footprint is also illustrated in the 1927 (rev. 1933) Fire Insurance Plan, indicating a date of construction ca. 1927. At this time, the first resident at 1125 King Street East is listed as Robert B. Lee and a confectionary shop run by A. Ramsperger occupied 1127 King Street East. The Fire Insurance Plan also indicates that a cobbler was operating a business in the back of the premises at 1127 King Street East. Ten years later, in 1930, the building at 1125-1127 King Street East was still under mixed residential and commercial use with half of 1125 King

Street East listed as vacant and the other half to resident Nelson Hardman. The confectionary shop was still in operation at 1127 King Street East, but was operated by T.A. Bertrim.

By 1940, an unnamed restaurant occupied 1125 King Street East, with a private resident occupying 1125½ King Street East. The confectionary shop was still in operation at 1127 King Street East under E. Buckingham. In 1950, 1125 King Street East remained under use as a restaurant named Connaught Fish and Chips, and private residence and the confectionary shop also remained at 1127 King Street East. In fact, Connaught Fish and Chips and the confectionary shop (Dan's Confectionary and Coffee shop), remained in operation into the 1970s. A number of private tenants also occupied the residence at 1125 King Street East from 1927 onward.

Today, 1125-1127 King Street East remains under mixed residential and commercial use. Any Styles Ink, Tattoo Shop now occupies the main floor at 1125 King Street East while the Donairs @ Gage restaurant occupies the main floor at 1127 King Street East. The upper floors remain in use as private residences.

A field review of the privately owned property at 1125-1127 King Street East, was undertaken on February 3, 2017 by Emily Game of AECOM. An assessment was not completed on the interior of the structures due to the timing constraints for the TPAP Amendment.

2. Introduction

2.1 Historical Summary

2.1.1 Context

The subject property is located within the municipal boundaries of the City of Hamilton, Ontario. Prior to the incorporation of the current municipality, the property was located within the boundaries of Barton Township, in Wentworth County.

2.1.2 Wentworth County

As part of the establishment of Upper Canada, the province was divided into administrative Districts in 1792. Consequently, Wentworth County was one of several counties that made up the Home District. It was named in honour of Sir John Wentworth, Lieutenant Governor of Nova Scotia from 1792-1808. In 1816, the Home District was divided and reorganized and Wentworth County was included in the Gore District. By 1849, the original district system was abolished and replaced by a county council system and Wentworth County became an independent political entity. Townships that were included in Wentworth County at one time or another included Ancaster, Barton, Beverly, Binbrook, Caistor, Flamborough East and West, Glanford, Onondaga, Saltfleet, and Seneca. Between 1850 and 1854, Wentworth and Halton Counties were joined for government purposes into the United Counties of Wentworth and Halton; however, this change was short-lived. In 1973, Wentworth County was renamed the Regional Municipality of Hamilton-Wentworth and, in 2001, was amalgamated with six constituent municipalities into the City of Hamilton. The City of Hamilton has remained as the administrative seat or county town since the original creation of the Gore District nearly two centuries ago.

2.1.3 Barton Township

Barton Township is described in detail in the *Illustrated Historical Atlas of the County of Wentworth of 1875*. The Township of Barton was surveyed in 1791 by Augustus Jones using the Single-Front survey system used by the colonial government between 1783 and 1818.¹ The survey was made up of concessions separated by road allowances. The concession was divided into lots of 200 acres and sideroad allowances were surveyed after every fifth lot. The first settlers arrived in Barton Township in 1791, many of whom were United Empire Loyalists or disbanded troops. The settlement of Barton Township began slowly, with only 102 families living in the township by 1815; most of the settlement was concentrated at the foot of the Niagara Escarpment. The township continued to grow and by 1823 it contained one sawmill and three gristmills. By 1841, the population grew to 1,434.² Barton Township was later amalgamated into the Regional Municipality of Hamilton-Wentworth, which today is known as the City of Hamilton.

¹ William H. Smith, *Smith's Canadian Gazetteer*. Toronto: H. & W. Roswell. 1846.

² D'Arcy Boulton. *Sketch of His Majesty's Province of Upper Canada*. London: C. Rickaby. 1805. pp. 48-49.

2.2 Description of Property

The property located at 1125-1127 King Street East consists of a quadrangular corner lot on the southeast corner of King Street East and Connaught Avenue North. The structure on the property consists of a two-storey commercial and residential building that extends approximately 20 m north on Connaught Avenue North. The exterior of the building has been much altered and none of the original building materials or architectural details is visible.

2.3 Current Context

The property is situated on the north side of King Street East between Connaught Avenue North and Balsam Avenue North and consists of a two-storey commercial and residential building. The adjacent properties on the north and south side of King Street East are made up of a variety of residential and commercial uses, while the streets north of the subject property, including King Street East between Connaught Avenue North, consist of predominantly single-detached homes that appear to have been developed in the early and mid-20th century.

3. Methodology and Sources

3.1 Study Approach

This CHER was prepared in accordance with Metrolinx's *Interim Cultural Heritage Management Process* (Fall 2013) and the MTCS *Standards and Guidelines for the Conservation of Provincial Heritage Properties* (2010). The CHER was also undertaken according to the guidelines presented in the Metrolinx document, *Draft Terms of Reference for Consultants: Cultural Heritage Evaluation Report and Cultural Heritage Evaluation Report Recommendations* (April 2016) and outlined in the following tasks:

- Research and Documentation Gathering – gathered from various sources including existing heritage studies, Metrolinx records, public archives, and published materials;
- Writing – an illustrated report based on gathered background history and site investigation materials, and the application of O.Reg. 9/06 and 10/06; Evaluation, Recommendations, and Statement of Cultural Heritage Value – a summary of the applicable evaluation, and recommendations regarding whether the property meets the criteria for being a provincial heritage property, a provincial heritage property of provincial significance, or neither.

As outlined in the Draft Terms of Reference, the heritage evaluation is separated into two stand-alone components: a CHER and a CHERR. The Cultural Heritage Evaluation Report includes research conducted for the CHER and is intended to address the criteria set out in O.Reg. 9/06 and 10/06. The CHERR includes the results of the applied evaluation, and the recommended outcome of the evaluation.

Emily Game, Heritage Researcher for AECOM, conducted a site investigation to visually inspect and document the property on February 3rd, 2017. An assessment was not completed on the interior of the structures due to the timing constraints for the TPAP Amendment.

3.2 Secondary Sources

A series of secondary sources were reviewed for the purposes of data collection and analysis as part of the CHER. The relevant guidelines and reference documents cited above served as a framework for undertaking the study. The *Hamilton Light Rail Transit Cultural Heritage Screening Report, City of Hamilton, Ontario* (CHSR) prepared by ASI in December 2016, provided a preliminary review of the rail corridor and the potential heritage properties identified along the corridor. Background information and applicable research was gathered from the report for the purposes of the CHER. In addition, a series of published materials including published histories pertaining to the history of Hamilton were consulted. A complete list of the sources reviewed for the report is contained in Section 15 (Bibliography).

3.3 Primary Sources

Where available, primary source material was consulted to provide a historical context for the evaluation of the potential heritage value of the property. Primary source research was undertaken at the Local History and Archives Department of the Hamilton Public Library, the Mills Memorial Library at McMaster

University, and at the Map and Data Centre at the University of Western Ontario. A review of the following primary sources aided in the evaluation of the structures at 1125-1127 King Street East:

- Illustrated Historical Atlas of the County of Wentworth, 1875;
- Hamilton City Directories, issues 1920-1970;
- Fire Insurance Plans, 1927 (Rev. 1933)-1962; and,
- National Topographic Series, 1905-1938.

3.4 Consultations

As part of the identification of recognized and potential cultural heritage resources for the CHSR, ASI undertook consultation with the City of Hamilton, the Ontario Heritage Trust (OHT) and the MTCS. Consultation during the CHSR process took place between August and October, 2016.

As part of this CHER, AECOM undertook property-specific consultation with the same municipal and provincial staff and agencies in order to identify or confirm any existing heritage recognitions or interest in this subject property.

The following individuals and organizations were consulted:

- Thomas Wicks, Heritage Planner, OHT;
- Chelsey Tyers, Cultural Heritage Planner, City of Hamilton;
- Asyia Patel, Assistant Cultural Heritage Planner, City of Hamilton; and,
- Rosi Zirger, Heritage Planner, MTCS.

The results of the consultation efforts have been summarized in Section 7 (Community Input).

4. Heritage Recognitions

4.1 Municipal

As a review of applicable municipal heritage recognitions of 1125-1127 King Street East adjacent properties, AECOM reviewed the City of Hamilton's heritage inventories. The following inventories and registers were reviewed:

- *Hamilton's Heritage Volume 1: List of Designated Properties and Heritage Conservation Easements under the Ontario Heritage Act, and,*
- *Hamilton's Heritage Volume 2: Inventory of Buildings of Architectural and/or Historical Interest.*

In addition, consultation efforts were undertaken to confirm levels of municipal heritage recognition, if any. The property was identified in the December 2016 CHSR as not being subject to any heritage recognitions. However, consultation with the City of Hamilton in January and February 2017 confirmed that the property is now listed on the *City's Inventory of Buildings of Architectural and/or Historical Interest*.

4.2 Provincial

As a review of applicable provincial heritage recognitions for the property or adjacent properties AECOM reviewed the OHT's Provincial Plaque Guide, and list of OHT easements. The subject property is neither the subject of a provincial plaque nor a provincial easement. In addition, OHT staff was contacted to review the *Ontario Heritage Act* Register to confirm that the property is not included on the register and that an OHT easement does not exist for the property.

A response from Thomas Wicks, Heritage Planner for the OHT confirmed that the Trust does not hold a conservation easement for 1125-1127 King Street East.

4.3 Federal

As a review of applicable federal heritage recognitions for the property or adjacent properties, AECOM reviewed the online searchable database for the Canadian Register of Historic Places as well as the Directory of Federal Heritage Designations. 1125-1127 King Street East and the adjacent properties are not subject to any existing federal heritage recognitions.

5. Adjacent Lands

The properties adjacent to 1125-1127 King Street East consist mainly of a mix of commercial and residential uses. Immediately adjacent to the west is a one-storey commercial property which is clad in corrugated metal. The residential properties make up the neighbouring area to the north of the subject property.

Properties adjacent to 1125-1127 King Street East are not subject to heritage recognitions at the municipal, provincial, or federal levels, or designations under the *Ontario Heritage Act*, municipal heritage listings, heritage easements and/or commemorations.

6. Archaeology

ASI completed a Stage 1 Archaeological Assessment (AA) as part of the Rapid Transit Initiative and found that the property at 1125-1127 King Street East did not retain archaeological potential and confirmed that no known archaeological assessments have previously been completed within 50 metres (m) of the property. Consequently, at the time of production of the ASI report, no archaeological sites had been identified within or adjacent to the property. Additionally, the ASI Stage1 AA indicates that there is no land that retains archaeological potential within 50 m of 1125-1127 King Street East.

The results of the Stage 1 AA determined that a Stage 2 AA must be conducted for all land identified as retaining archaeological potential that will be impacted by the proposed Rapid Transit Initiative. Based on this assessment, ASI made the following recommendations:

- The King Street right-of-way (ROW) does not retain archaeological potential due to previous land disturbance. An additional AA is not required within the ROW and those portions of the study corridor can be cleared of further archaeological concern; and,
- A Stage 2 AA should be conducted on lands determined to have archaeological potential if the proposed project is to impact these lands. This work must be done in accordance with the MTCS' *Standards and Guidelines for Consultant Archaeologists* (Ontario Government 2011) in order to identify any archaeological remains that may be present.

It should be noted that ASI's recommendations for Stage 2 archaeological work references the MCL's 2006 draft *Standards and Guidelines for Consultant Archaeologists* (MCL 2006); however, further Stage 2 archaeological work must now be conducted in accordance with current archaeological standards and guidelines (*Standards and Guidelines for Consultant Archaeologists*, Ontario Government 2011). For complete details regarding the results of the Stage 1 AA, reference should be made to the *Stage 1 Archaeological Assessment, Rapid Transit Initiative, City of Hamilton, Ontario* (February 2009).

7. Community Input

As part of the consultation process for this report, AECOM undertook consultation with the City of Hamilton, the MTCS, and the OHT. The results of the consultation efforts are identified below in Table 7-1.

Table 7-1: Community Input and Consultation Undertaken for 1125-1127 King Street East

Contact	Contact Information	Date	Notes
Chelsey Tyers, Heritage Planner City of Hamilton	905-546-2424 ext. 1202 chelsey.tyers@hamilton.ca	February 1, 2017 February 6, 2017 (Response)	The City of Hamilton confirmed that 1125-1127 King Street East is listed on the City's <i>Inventory of Buildings of Architectural and/or Historical Interest</i> .
Asiya Patel Assistant Cultural Heritage Planner City of Hamilton	905-546-2424 ext. 7163 asiya.patel@hamilton.ca		
Thomas Wicks Heritage Planner Ontario Heritage Trust	416-314-5972 thomas.wicks@heritagetrust.on.ca	February 1, 2017 February 9, 2017 (Response)	The OHT confirmed that the property is not subject to an OHT conservation easement nor is it on their register.
Rosi Zirger Heritage Planner Ministry of Tourism, Culture, and Sport	416-314-7159 rosi.zirger@ontario.ca	February 1, 2017	Response pending.

8. Discussion of Historical or Associative Value

8.1 Historic Theme/Cultural Pattern

8.1.1 *Transportation*

The earliest roads in Ontario were typically military roads or colonization roads. These roads often followed aboriginal hunting trails or were dictated by the topography of the land which they crossed. The Dundas Road was opened to connect Toronto with the Thames River, in what is now London, Ontario, and the Kingston Road was designed to provide a military link between Toronto and Kingston. The Kingston Road was one of the earliest and still functioning roads in southern Ontario.

Following the Crown surveys in Ontario, concession and side roads were opened on a grid that was dictated by the survey type that was used. The roads were cleared and made passable by the early land owners who built their dwellings adjacent to the concession roads. Despite being cleared, road conditions were often poor until the late 19th and early 20th centuries.

Railway transportation, both passenger and freight, greatly improved the transportation network in Ontario beginning in the mid-1800s. The opening of the Grand Trunk Railway (GTR) between Montreal and Toronto in 1856 provided a link between the two cities and provinces that was more easily travelled in comparison to mid-19th century roads. The construction of the route from Montreal to Toronto, and then on to Samia by the end of the 1860s resulted in the construction of significant structures such as the Victoria Bridge over the St. Lawrence River, and the St. Clair Tunnel in Samia. The GTR was designed to enhance the St. Lawrence-Great Lakes shipping routes in response to the railroads and shipping networks in the United States. As a result it also strengthened the connection and link between the townships, and municipal and provincial economies in Ontario.

Various railway companies were formed in Ontario to create a vast network of rail lines that spread throughout the province by the early-20th century. Nonetheless, most of the companies were eventually merged with or purchased by the Canadian National Railway (CN) or the Canadian Pacific Railway (CP).

8.1.2 *Hamilton Street Railway*

In 1873, the City of Hamilton incorporated the Hamilton Street Railway; the horse-drawn streetcar service began in May 1874 with six operating cars. The line extended along three miles of track from the GTR's passenger station east along Stuart Street South to James Street. The line travelled south to Gore Park and then east along King Street to Wellington Street. Due to popularity of the service, additional cars were added and the track was extended. New track was laid west along King Street to Locke Street and east to Wentworth Street.

The electrification process of the Hamilton Street Railway began in March 1892. A total of 12 miles of track were electrified and 15 horsecars were converted to electric street cars. Operation of the newly-electrified cars began on June 29, 1892.

At the end of the Second World War, Hamilton Street Railway sold the lines to Canada Coach for \$1.4 million. Immediately following the sale, Canada Coach announced plans to replace the street car service with busses. By 1951, the last street car was removed from service and replaced by electric trolley busses.³

The proposed B-Line follows the old streetcar route from King Street near McMaster University to Sherman Avenue. The original streetcar route turned south along Sherman Avenue and then continued east on Main Street to Kenilworth Avenue North. The B-Line will continue along King Street East to the Delta where it will reconnect with the old alignment and continue to the Queenston Road traffic circle.

The present-day Hamilton transit company operates under the name of Hamilton Street Railway Company.

8.2 Local History

1125-1127 King Street East is located within the City of Hamilton, Ontario. Historically the structures were located within Lot 7, Concession II, Barton Township in Wentworth County. The subsections below include historic information related to the settlement and growth of these areas.

8.2.1 Settlement History

As part of the establishment of Upper Canada, the province was divided into administrative Districts in 1792. As such, Wentworth County was one of several counties that made up the Home District. It was named in honour of Sir John Wentworth, Lieutenant Governor of Nova Scotia from 1792-1808. In 1816, the Home District was divided and reorganized and Wentworth County was included in the Gore District. By 1849, the original district system was abolished and replaced by a county council system and Wentworth County became an independent political entity. Townships that were included in Wentworth County at one time or another included Ancaster, Barton, Beverly, Binbrook, Caistor, Flamborough East and West, Glanford, Onondaga, Saltfleet, and Seneca. Between 1850 and 1854, Wentworth and Halton Counties were joined for government purposes into the United Counties of Wentworth and Halton; however, this change was short-lived. In 1973, Wentworth County was renamed the Regional Municipality of Hamilton-Wentworth and, in 2001, was amalgamated with six constituent municipalities into the City of Hamilton. The City of Hamilton has remained as the administrative seat or county town since the original creation of the Gore District nearly two centuries ago.

Barton Township is described in detail in the *Illustrated Historical Atlas of the County of Wentworth of 1875*. The Township of Barton was surveyed in 1791 by Augustus Jones using the Single-Front survey system used by the colonial government between 1783 and 1818. The survey was made up of concessions separated by road allowances. The concession was divided into lots of 200 acres and sideroad allowances were surveyed after every fifth lot. The first settlers arrived in Barton Township in 1791, many of whom were United Empire Loyalists or disbanded troops. The Settlement of Barton Township began slowly, with only 102 families living in the township by 1815. Most of the settlement was concentrated at the foot of the Niagara Escarpment. The township continued to grow and by 1823 it contained one sawmill and three gristmills. By 1841, the population had grown to 1,434.

³Transit Toronto. <http://transit.toronto.on.ca/streetcar/4751.shtml>, consulted February 9, 2017.

8.2.2 Site History

1125-1127 King Street East was historically located in the southern part of Lot 7, Concession II in Barton Township when the crown survey for the township was undertaken. By 1875, the lot had been bisected by King Street East with the north half listed to George Gage and the south to Jno A. Bruce and Dr. Roseburgh. At this time, significant urban development had not yet reached this part of Barton Township and Lot 7, Concession II was likely still under use for agricultural purposes. A large farmstead is illustrated on George Gage's portion of the lot and is fronted on the north side of King Street East. No structures are illustrated on the southern properties where the subject property is located (Figure 3).

By the beginning of the 20th century, historic topographic mapping indicates that although urban development in Hamilton was expanding eastward, development was still minimal east of Sherman Avenue South where the subject property is located (Figure 4). Significant urban expansion eastward, well beyond Sherman Avenue South in Hamilton was not shown in historic topographic mapping until 1938 (Figure 5).

The building at 1125-1127 King Street East begins to appear in the Hamilton City Directories in 1927 and the building footprint is also illustrated in the 1927 (rev. 1933) Fire Insurance Plan, indicating a date of construction ca. 1927. At this time, the first resident at 1125 King Street East is listed as Robert B. Lee and a confectionary shop run by A. Ramsperger occupied 1127 King Street East. The Fire Insurance Plan indicates that a cobbler was operating his business in the back of the premises at 1127 King Street East. Ten years later, in 1930, the building at 1125-1127 King Street East was still under mixed residential and commercial use with half of 1125 King Street East listed as vacant and the other to Nelson Hardman. The confectionary shop was still in operation at 1127 King Street East, but was operated by T.A. Bertrim.

By 1940, an unnamed restaurant occupied 1125 King Street East, with a private resident occupying 1125½ King Street East. The confectionary shop was still in operation at 1127 King Street East under E. Buckingham. In 1950, 1125 King Street East remained under use as a restaurant and private residence, Connaught Fish and Chips, and the confectionary shop also remained at 1127 King Street East. In fact, Connaught Fish and Chips and the confectionary shop (Dan's Confectionary and Coffee shop), remained in operation into the 1970s. A number of private tenants also occupied the residence at 1125 King Street East from 1927 onward.

Today, 1125-1127 King Street East appears to remain under mixed residential and commercial use. Any Styles Ink, Tattoo Shop now occupies the main floor at 1125 King Street East while the Donairs @ Gage restaurant occupies the main floor at 1127 King Street East. The upper floors appear remain under use as private residences.

8.3 Person/Event/Organization

In 1875, the block on which 1125-1127 King Street East was owned by George Gage. The Gage family was a prominent family in Hamilton in the mid-19th century; however, there is no connection between the Gage family and the existing structure.

9. Discussion of Design or Physical Value

9.1 Style/Type/Tradition

The building located at 1125-1127 King Street East consists of a two-storey commercial and residential structure on the northwest corner of King Street East and Connaught Avenue North (Photograph 1). The commercial entrance to 1125-1127 King Street East is on the corner of King Street East and Connaught Avenue North with commercial storefronts on either side of the entrance (Photograph 2).

Despite the change in cladding and the removal of fine detail, the storefront retains its characteristic recessed entrance beside the large display windows typical of the late 19th and early 20th centuries. The windows are all of the right scale and location to reflect the earlier fenestration, with its segmental arches. Likewise the new metal windows are simple one-over-one glazing, as the original wooden sashes are likely to have been. The transoms over the shop doors have been retained. The new cornices and sills are simplified but not inappropriate. The renovations have been done with respect for the original character and form of the building.

The building at 1125-1127 King Street East does not represent a specific style, type, or tradition of architectural style or design. Rather, the building is a typical example of a vernacular commercial/residential architectural form that was utilized throughout the 19th and early 20th centuries. This form of urban design can be found throughout small towns as well as large cities across Ontario.

9.2 Function

The building at 1125-1127 King Street East was designed and built as combined commercial and residential spaces; it continues to be used for these purposes. According to mid-20th century Fire Insurance Maps, the building is constructed of structural brick.

9.3 Fabric

1125-1127 King Street East is much altered cosmetically and does not reflect of any of the original building fabric. The entire exterior of the building has been covered in stucco veneer and the windows replaced with modern sash (Photographs 3 and 4).

10. Discussion of Contextual Value

10.1 Social Meaning

The structure located at 1125-1127 King Street East is one of many commercial storefront structures that also include residential spaces on the second floor found in towns and cities across Ontario. Built in the early-20th century the property is one of many of these structures that was built fronting onto King Street East in Hamilton as it expanded eastwards.

10.2 Environment

The property is situated on the north side of King Street East between Connaught Avenue North and Balsam Avenue North. Between the subject property and Balsam Avenue North, there is a one-storey building adjacent to 1125 King of approximately the same frontage; however, the rest of the north side of the block has a broad setback paved with asphalt, used for parking and storage. The south side of the block is a group of similar, low-rise apartment buildings of a type and style common during the 1940s. The south side is also well provided with trees that soften the streetscape.

The streets north of the subject property, including Connaught Avenue North and Balsam Avenue North, consist of predominantly single-detached homes that appear to have been developed in the early and mid-20th century. The property has been a part of the expanding urban environment of Hamilton since the early 20th century.

10.3 Formal Recognition

The property was identified in the December 2016 CHSR as not being subject to any heritage recognitions. However, consultation with the City of Hamilton in January and February 2017 confirmed that the property is now listed on the City's *Inventory of Buildings of Architectural and/or Historical Interest*.

11. Data Sheet

Table 11-1: Data Sheet for 1125-1127 King Street East

FIELD	PROPERTY DATA
Municipal Address	1125-1127 King Street East
Municipality	Hamilton
Approximate Area (square metres)	325
Rail Corridor	Hamilton LRT B-Line
PIN	172120034
Ownership	Private
Aerial photo showing location and boundaries	
Exterior, street-view photo	
Date of construction of built resources (known or estimated and source)	ca. 1927 (Hamilton City Directories)
Date of significant alterations to built resources (known or estimated and source)	Unknown
Architect/designer/builder	Unknown

FIELD	PROPERTY DATA
Previous owners or occupants	Various commercial and residential tenants throughout 20 th century (See Section 8)
Current function	Mixed use: residential and commercial
Previous function(s)	Mixed use: commercial and residential
Heritage Recognition/Protection (municipal, provincial, federal)	Listed on City's <i>Inventory of Buildings of Architectural and/or Historical Interest</i> .
Local Heritage Interest	Listed on City's <i>Inventory of Buildings of Architectural and/or Historical Interest</i> .
Adjacent Lands	No protected heritage properties
Latitude or UTM Northing	43.248721°
Longitude or UTM Easting	-79.829468°

12. Photographs



Photograph 1: View to northwest of 1125-1127 King Street West (AECOM)



Photograph 2: South façade of 1125-1127 King Street East (AECOM)



Photograph 3: Main floor of 1125-1127 King Street East (AECOM)



Photograph 4: Second floor of 1125-1127 King Street East (AECOM)

13. Figures

All figures pertaining to this CHER can be found on the following pages.

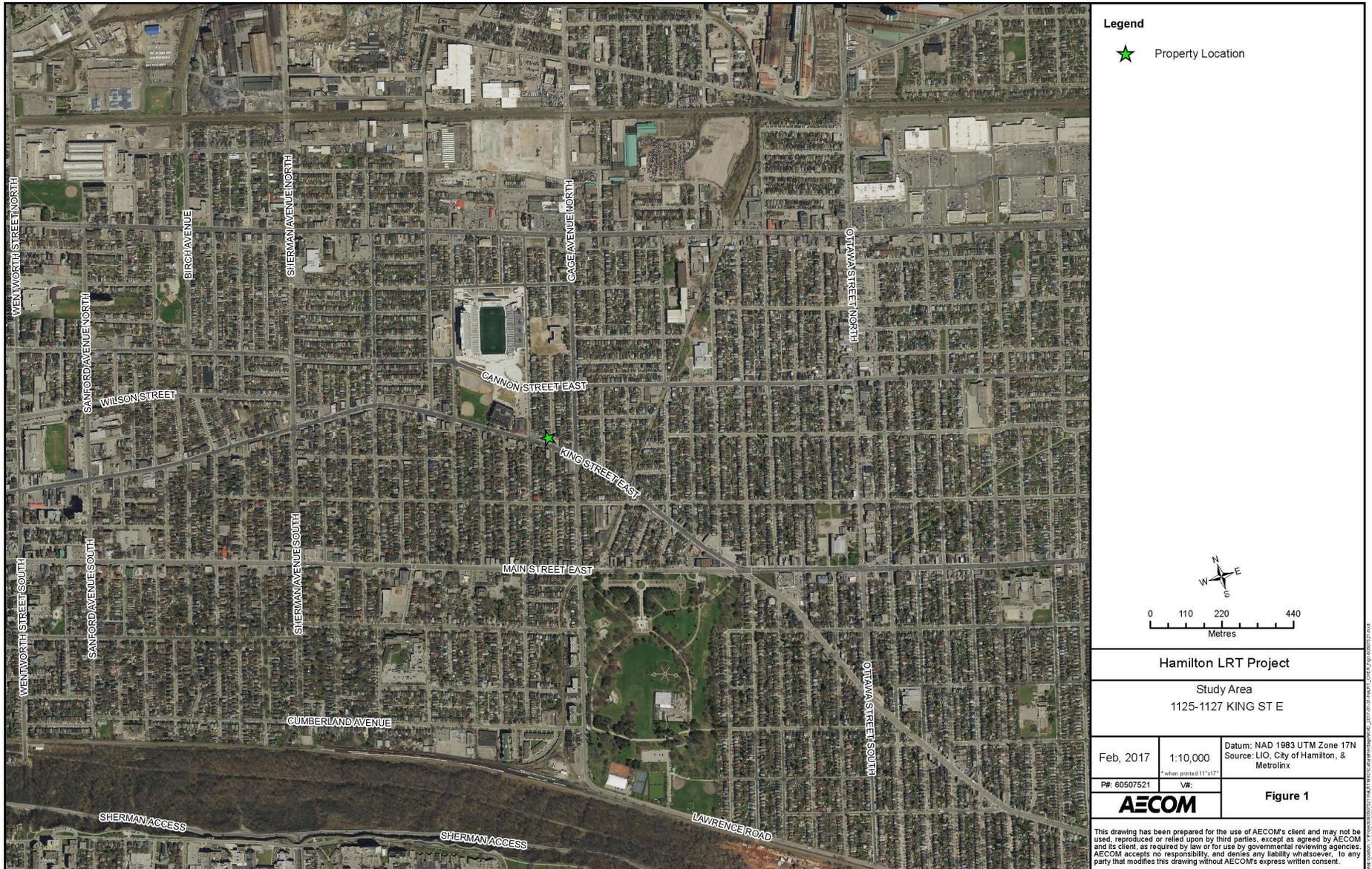


Figure 1: Location of 1125-1127 King Street East



Figure 2: Aerial Photograph showing the area surrounding 1125-1127 King Street East

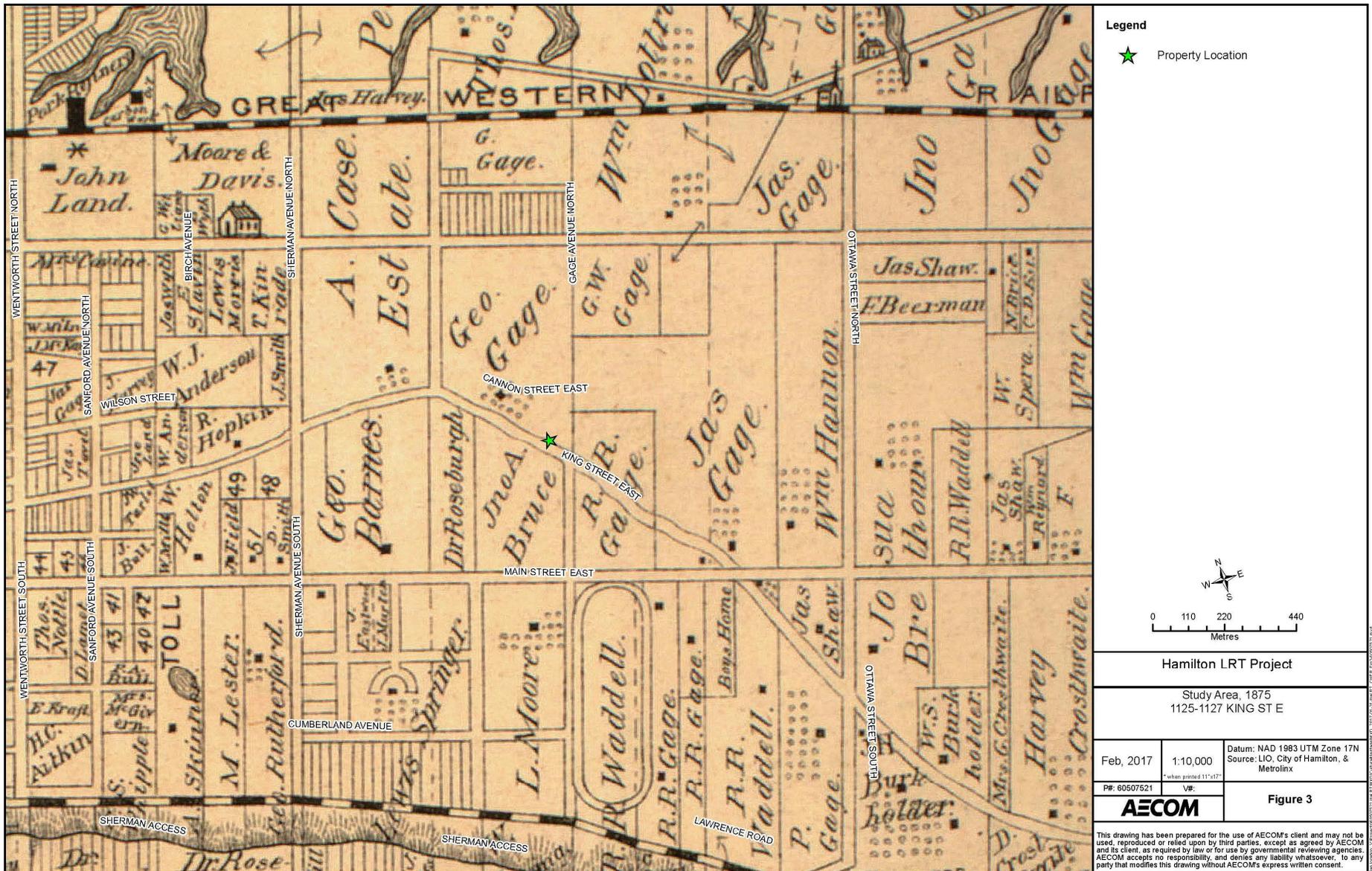


Figure 3: Location of 1125-1127 King Street East on the 1875 Historical Atlas Map (Page & Smith, 1875)

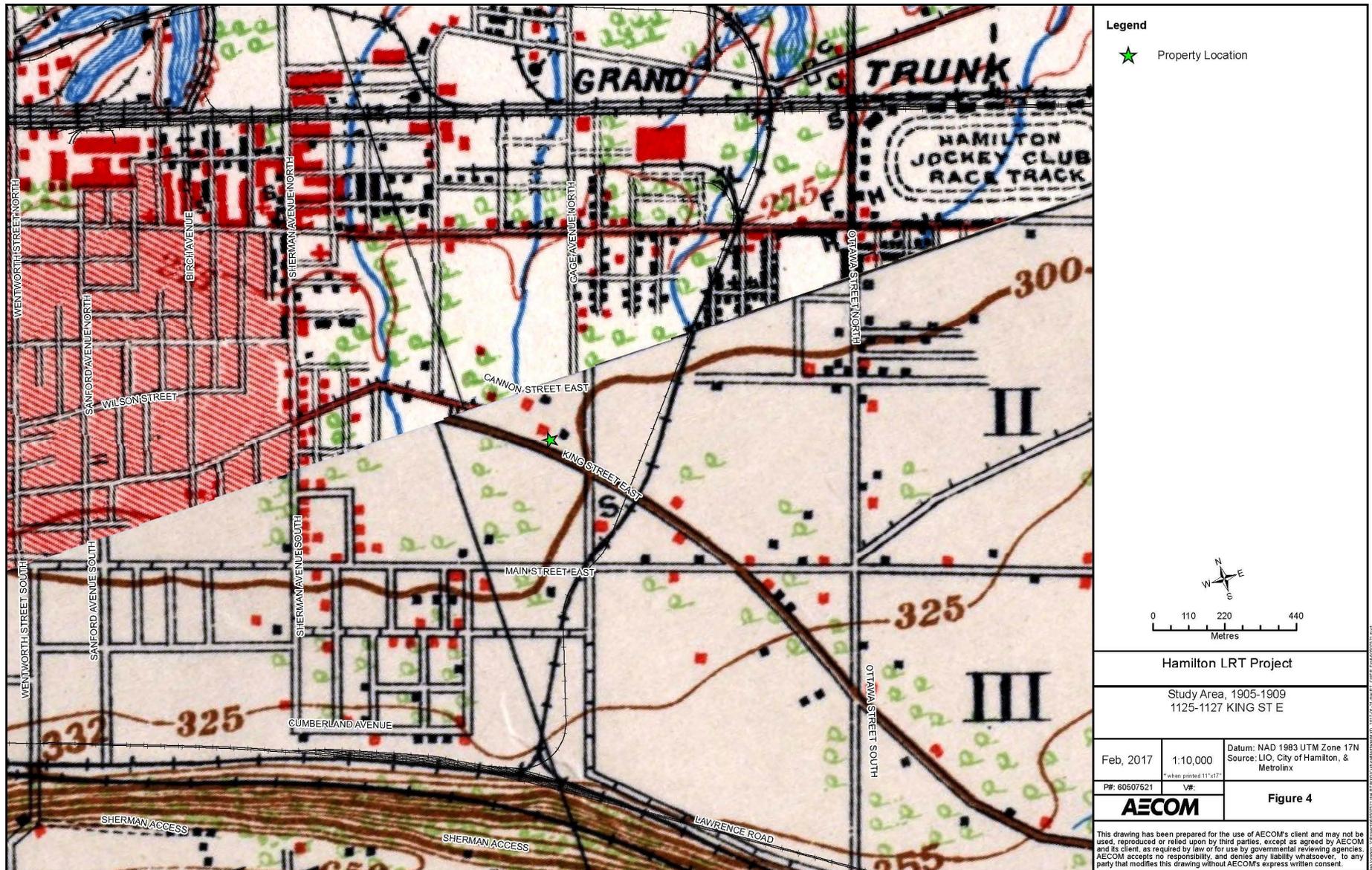


Figure 4: Location of 1125-1127 King Street East on the 1905-1909 NTS Map

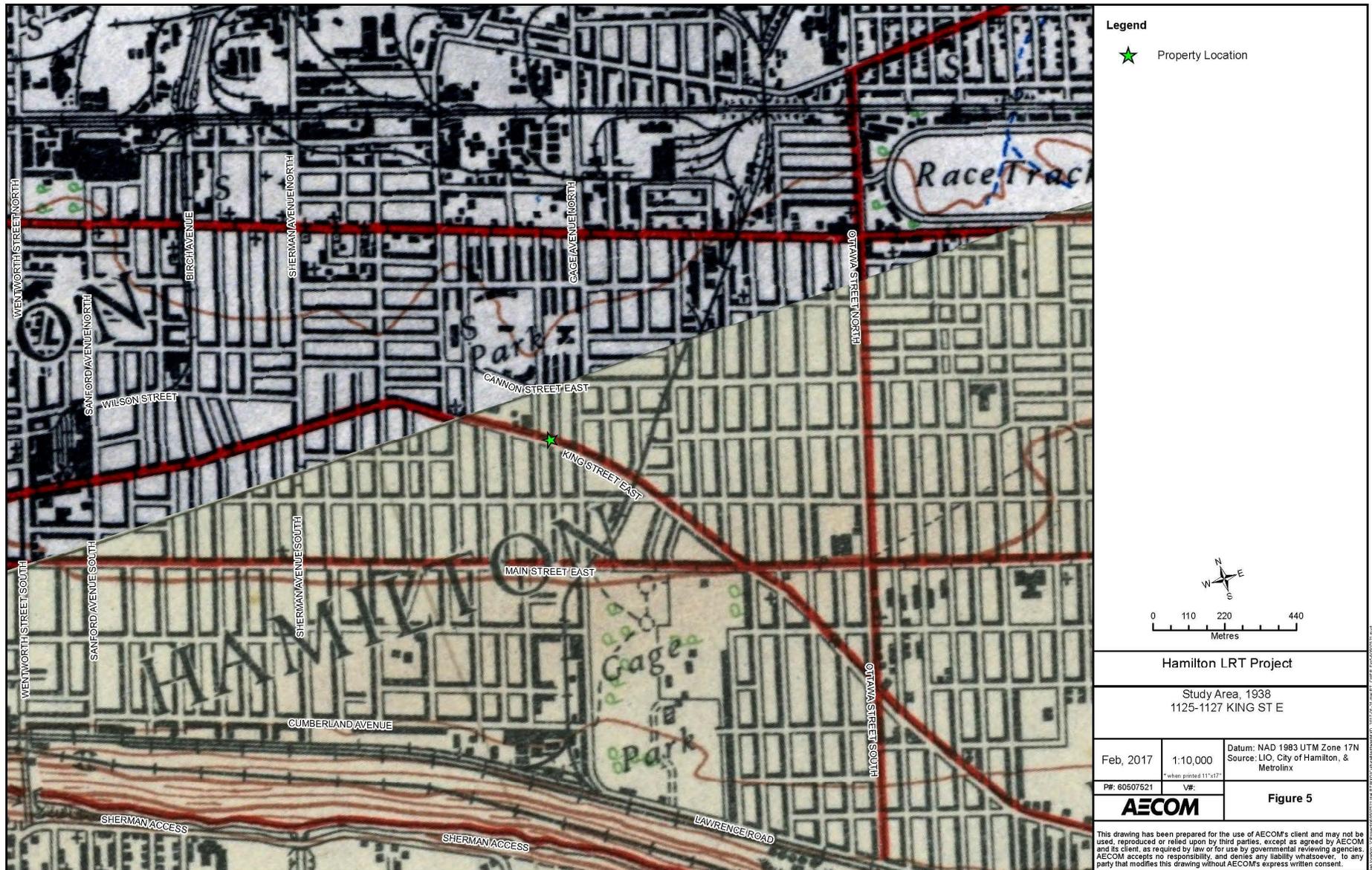


Figure 5: Location of 1125-1127 King Street East on the 1938 NTS Map

14. Chronology

- 1791 Barton Township was surveyed by Augustus Jones; the first settler arrived in the township.
- 1792 Province of Upper Canada divided into administrative districts.
- 1816 Home District divided and reorganized. As part of the reorganization, Wentworth was reorganized and included within the Gore District.
- 1850 Gore District was divided and Halton and Wentworth Counties were created.
- 1873 The Hamilton Street Railway was incorporated; horse-drawn streetcar service began on the HSR.
- 1875 Urban development had not yet reached Lot 7, Concession II and the land was still under use for agricultural purposes.
- 1892 Twelve miles of the Hamilton Street Railway was electrified and cars were updated.
- 1905-1909 Urban development had expanded eastward but remained minimal east of Sherman Avenue.
- 1927 The building at 1125-1127 King Street East is constructed with the first residents including Robert B. Lee (1125) and A. Ramsperger's confectionary shop (1127).
- 1930 Half of 1125 King Street East was vacant while the other half was occupied by a private resident. The confectionary shop remained in operation at 1127 King Street East.
- 1940 The use of space remained the same at 1125 King Street East. An unnamed restaurant opened at 1127 King Street East.
- c. 1945 The Hamilton Street Railway was sold to Canada Coach.
- 1951 Streetcars were removed from service and replaced with electric bus trolleys.
- 1950-1970 The confectionary shop and Connaught Fish and Chips remained in operation at 1125-1127 King Street East, with various private residents occupying the residential space.

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Cultural Heritage Evaluation Report Recommendations 1125-1127 King Street East, Hamilton, Ontario

Prepared by AECOM
for Metrolinx

February 24, 2017

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Revision History

Revision #	Date	Revised By:	Revision Description
0	02/24/2017	C. Latimer	Draft to Metrolinx

Statement of Qualifications and Limitations

The attached Report (the "Report") has been prepared by AECOM Canada Ltd. ("AECOM") for the benefit of the Client ("Client") in accordance with the agreement between AECOM and Client, including the scope of work detailed therein (the "Agreement").

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AECOM agrees that the Report represents its professional judgement as described above and that the Information has been prepared for the specific purpose and use described in the Report and the Agreement, but AECOM makes no other representations, or any guarantees or warranties whatsoever, whether express or implied, with respect to the Report, the Information or any part thereof.

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1. Executive Summary

AECOM Canada Ltd. (AECOM) was retained by Metrolinx to complete a Cultural Heritage Evaluation Report (CHER) for the property at 1125-1127 King Street East, in the City of Hamilton, Ontario. This work is being completed as part of the Hamilton Light Rail Transit (LRT) Project.

The Hamilton LRT Project B-Line alignment extends from McMaster University at Cootes Drive to the Main Street/Highway 403 Bridge. A proposed LRT-only bridge will allow the alignment to then extend along King Street West until King East Street intersects with Main Street East, where the alignment will continue along Main Street East to the Queenston Road traffic circle. As a part of the project, it is anticipated that building impacts may take place on the property at 1125-1127 King Street East.

The project impacts will be assessed following the Transit Project Assessment Process (TPAP), as prescribed in Ontario Regulation (O. Reg.) 231/08, Transit Projects and Metrolinx Undertakings under the Environmental Assessment Act. As part of the TPAP Amendment, an Environmental Project Report (EPR) Amendment will be prepared for public review.

The CHER was prepared according to the Metrolinx Interim Cultural Heritage Management Process and utilizes the criteria in Ontario Regulation 9/06 and Ontario Regulation 10/06, as required by the Ministry of Tourism, Culture, and Sport's (MTCS) *Standards and Guidelines for the Conservation of Provincial Heritage Properties* (2010). In addition, the CHER was prepared according to the Metrolinx Draft Terms of Reference for Consultants: *Cultural Heritage Evaluation Report and Cultural Heritage Evaluation Report Recommendations*. Consequently the recommendations as they relate to this CHER and the potential cultural heritage value or interest of the property at 1125-1127 King Street East are contained in a separate Cultural Heritage Evaluation Report Recommendations (CHERR) document.

As part of the reporting requirements for the Hamilton LRT Project, Archaeological Services Inc. (ASI) undertook a Cultural Heritage Screening Report (CHSR) for the alignment. The CHSR identified the requirement to conduct a CHER for the property located at 1125-1127 King Street East to assess the potential cultural heritage value or interest of the properties. Where applicable, relevant background information has been utilized from the CHSR for project consistency.

At the beginning of the 20th century, historic topographic mapping indicates that although urban development in Hamilton was expanding eastward, development was still minimal east of Sherman Avenue South, where the subject property is located. Significant urban expansion eastward in Hamilton, well beyond Sherman Avenue South was not shown in historic topographic mapping until 1938.

The building located at 1125-1127 King Street East consists of a two-storey commercial and residential structure on the northwest corner of King Street East and Connaught Avenue North. The building begins to appear in the Hamilton City Directories in 1927 and the building footprint is also illustrated in the 1927 (rev. 1933) Fire Insurance Plan, indicating a date of construction ca. 1927. At this time, the first resident at 1125 King Street East is listed as Robert B. Lee and a confectionary shop run by A. Ramsperger occupied 1127 King Street East. Ten years later, in 1930, the building at 1125-1127 King Street East was still under mixed residential and commercial use with half of 1125 listed as vacant and the other to Nelson Hardman. The confectionary shop was still in operation at 1127 King Street East, but was operated by T.A. Bertrim.

By 1940, an unnamed restaurant occupied 1125 King Street East, with a private resident occupying 1125½ King Street East. The confectionary shop was still in operation at 1127 King Street East under E. Buckingham. In 1950, 1125 King Street East remained under use as a restaurant Connaught Fish and Chips, and private residence, and the confectionary shop also remained at 1127 King Street East. In fact, Connaught Fish and Chips and the confectionary shop (Dan's Confectionary and Coffee shop), remained in operation into the 1970s. A number of private tenants also occupied the residence at 1125 King Street East from 1927 onward.

Today, 1125-1127 King Street East appears to remain under mixed residential and commercial use. The Any Styles Ink, Tattoo Shop now occupies the main floor at 1125 King Street East while the Donairs @ Gage restaurant occupies the main floor at 1127 King Street East. The upper floors appear remain under use as private residences.

A field review of the privately owned property at 1125-1127 King Street East was undertaken on February 3, 2017 by Emily Game of AECOM. An assessment was not completed on the interior of the structures due to the timing constraints for the TPAP Amendment.

The application of O.Reg 9/06 and O.Reg. 10/06 concluded that 1125-1127 King Street East does not meet O.Reg. 9/06 or O.Reg. 10/06, as it did not satisfy any of the nine criteria. Therefore, this CHERR recommends that the property at 1125-1127 King Street East is not considered a Provincial Heritage Property (PHP).

2. Ontario Regulation 9/06 Evaluation

Ontario Regulation 9/06, Criteria for Determining Cultural Heritage Value or Interest (O. Reg. 9/06) provides criteria to apply to a potential heritage property to evaluate its heritage value. If a privately-owned property meets one or more of the following criteria it may be designated by a municipality under Section 29 of the *Ontario Heritage Act*. For the purposes of this CHER, O. Reg. 9/06 considers the evaluation of the property as part of the community context. The *Standards and Guidelines for the Conservation of Provincial Heritage Properties* state that a property may be considered a Provincial Heritage Property (PHP) if it meets one or more of the criteria under O. Reg. 9/06. The application of the criteria for 1125-1127 King Street East is included in Table 2-1 below.

Table 2-1: O.Reg. 9/06 Evaluation for 1125-1127 King Street East

Criterion	Response (Yes/No)	Rationale
1) The property has design or physical value because it:		
i) Is a rare, unique, representative, or early example of a style, type, expression, material, or construction method;	No	The structure located on the property at 1125-1127 King Street East is a common example of an early/mid-20 th century 2-storey commercial building with a residential space above. This form is commonly found throughout Hamilton.
ii) Displays a high degree of craftsmanship or artistic merit; or	No	The property is of common design and does not display a high degree of craftsmanship or artistic merit.
iii) Demonstrates a high degree of technical or scientific achievement.	No	The property is a common commercial/residential structure and does not display a high degree of technical or scientific achievement.
2) The property has historic or associative value because it:		
i) Has direct associations with a theme, event, belief, person, activity, organization or institution that is significant to a community;	No	Although the much larger agricultural lot on which 1125-1127 King Street East was built once belonged to a member of the prominent Gage family, no significant connection between the property and the Gage's could be drawn. As a result the property

Criterion	Response (Yes/No)	Rationale
		is not directly associated with a theme, event, belief, person, activity, organization or institution that is significant to a community.
ii) Yields, or has the potential to yield information that contributes to an understanding of a community or culture; or	No	The property does not have potential to yield information that contributes to an understanding of a community or culture.
iii) Demonstrates or reflects the work or ideas of an architect, artist, builder, designer, or theorist who is significant to a community.	No	A specific architect or builder for the property could not be determined.
3) The property has <i>contextual value</i> because it:		
i) Is important in defining, maintaining, or supporting the character of an area;	No	The property at 1125-1127 King Street East forms a component of the larger commercial/residential block on the north side of King Street East. However, it is not important in defining, maintaining, or supporting the character of an area.
ii) Is physically, functionally, visually, or historically linked to its surroundings; or	No	The property at 1125-1127 King Street East forms a component of the larger commercial/residential block on the north side of King Street East. However, it is not physically, functionally, visually, or historically linked to its surroundings.
iii) Is a landmark.	No	The property at 1125-1127 King Street East is not considered a landmark.

3. Ontario Regulation 10/06 Evaluation

Ontario Regulation 10/06, Criteria for Determining Cultural Heritage Value or Interest of Provincial Significance (O. Reg. 10/06), provides criteria against which to assess a property to determine if the property holds provincial heritage significance. The *Standards and Guidelines for the Conservation of Provincial Heritage Properties* state that Ministries and prescribed public bodies shall apply the criteria in O. Reg. 10/06 to determine whether a property is of provincial significance. Therefore, for the purpose of this CHER O. Reg 10/06 considers the evaluation of the property as a part of the provincial context. If the property meets the criteria, it may be considered a Provincial Heritage Property of Provincial Significance (PHPPS). The application of the criteria for 1125-1127 King Street East is in Table 3-1, below.

Table 3-1: O.Reg. 10/06 Evaluation for 1125-1127 King Street East

Criterion	Response (Yes/No)	Rationale
1. The property represents or demonstrates a theme or pattern in Ontario's history.	No	1125-1127 King Street East does not represent a theme or pattern in Ontario's history. Commercial and residential structures similar to this are found throughout towns and cities in Ontario.
2. The property yields, or had the potential to yield, information that contributes to an understanding of Ontario's history.	No	1125-1127 King Street East does not yield, and is not anticipated to yield information that contributes to an understanding of Ontario's history.
3. The property demonstrates an uncommon, rare, or unique aspect of Ontario's cultural heritage.	No	1125-1127 King Street East does not demonstrate an uncommon, rare, or unique aspect of Ontario's cultural heritage. The form and massing of the structures are commonly found in Ontario.
4. The property is of aesthetic, visual, or contextual importance to the province.	No	1125-1127 King Street East property is not of aesthetic, visual, or contextual importance to the province.
5. The property demonstrates a high degree of excellence or creative, technical, or scientific achievement at a provincial level in a given period.	No	1125-1127 King Street East does not demonstrate a high degree of excellence or creative, technical, or scientific achievement at a provincial level.

Criterion	Response (Yes/No)	Rationale
6. The property has a strong or special association with the entire province or with a community that is found in more than one part of the province.	No	1125-1127 King Street East does not have a strong or special association with the entire province or with a community that is found in more than one part of the province.
7. The property has a strong or special association with the life or work of a person, group or organization of importance to the province or with an event of importance to the province.	No	1125-1127 King Street East does not have strong or special associations with the life or work of a person, group, or organization of importance to the province or with an event of importance to the province.
8. The property is located in an unorganized territory and the Minister determines that there is a provincial interest in the protection of the property.	No	1125-1127 King Street East is not located in an unorganized territory.

4. Recommended Outcome of Evaluation

The application of O.Reg 9/06 and O.Reg. 10/06 concluded that 1125-1127 King Street East does not meet O.Reg. 9/06 or O.Reg. 10/06, as it did not satisfy any of the nine criteria. Therefore, this CHERR recommends that the property at 1125-1127 King Street East is not considered a Provincial Heritage Property (PHP). As a result, a Statement of Cultural Heritage Value or Interest and Heritage Attributes have not been prepared for this property.



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Cultural Heritage Evaluation Report 1173 King Street East, Hamilton, Ontario

**Prepared by AECOM
for Metrolinx**

March 6, 2017

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Revision History

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0	03/06/2017	C. Latimer	Draft to Metrolinx

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1. Executive Summary

AECOM Canada Ltd. (AECOM) was retained by Metrolinx to complete a Cultural Heritage Evaluation Report (CHER) for the property at 1173 King Street East, in the City of Hamilton, Ontario. This work is being completed as part of the Hamilton Light Rail Transit (LRT) Project.

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The property located at 1173 King Street East is a quadrangular lot on the northeast corner of King Street East and Fairview Avenue. The structure on the property consists of a two-and-a-half storey dwelling, with a two storey addition on the front of the house for previous commercial uses. The property was first developed in 1913, and the addition was built in 1940.

Historical Fire Insurance Plans Hamilton City Directories indicate that by 1913, a two-and-a-half storey brick dwelling was located on the property. The property's first resident in that year was Albert Gibbons. The property continued to be used for residential purposes throughout the early 20th century with a number of different residents living in the dwelling between 1913 and 1940. In addition, the property was listed as home to a business identified as "Will's Confectionary". The addition on the front of the building was used for a confectionary from its construction c.1940 until well into the late 20th century, while the rear of the structure appears to have remained in use for residential purposes.

A field review of the privately-owned property at 1173 King Street East was undertaken on February 22, 2017 by Michael Greguol and Emily Game of AECOM. An assessment was not completed on the interior of the structure due to the timing constraints for the TPAP Amendment.

The property at 1173 King Street East is a typical example of early/mid-20th century vernacular residential architecture that has been extensively modified in order to accommodate a commercial use. The property was originally built in 1913 in what was a vernacular Edwardian style; however, the two-storey addition on the front of the dwelling significantly changed the streetscape presence of the property and has resulted in a much more commercial appearance. The commercial addition has been converted to residential use. As a result, the present appearance bears little resemblance to the earlier phases of the property.

2. Introduction

2.1 Historical Summary

2.1.1 Context

The subject property is located within the municipal boundaries of the City of Hamilton, Ontario. Prior to the incorporation of the current municipality, the property was located within the boundaries of Barton Township, in Wentworth County.

2.1.2 Wentworth County

As part of the establishment of Upper Canada, the province was divided into administrative Districts in 1792. Wentworth County was one of several counties that made up the Home District. It was named in honour of Sir John Wentworth, Lieutenant Governor of Nova Scotia from 1792-1808. In 1816, the Home District was divided and reorganized and Wentworth County was included in the Gore District. By 1849, the original district system was abolished and replaced by a county council system and Wentworth County became an independent political entity. Townships that were included in Wentworth County at one time or another included Ancaster, Barton, Beverly, Binbrook, Caistor, Flamborough East and West, Glanford, Onondaga, Saltfleet, and Seneca. Between 1850 and 1854, Wentworth and Halton Counties were joined for government purposes into the United Counties of Wentworth and Halton; however, this change was short-lived. In 1973, Wentworth County was renamed the Regional Municipality of Hamilton-Wentworth and, in 2001, was amalgamated with six constituent municipalities into the City of Hamilton. The City of Hamilton has remained as the administrative seat or county town since the original creation of the Gore District nearly two centuries ago.

2.1.3 Barton Township

Barton Township is described in detail in the *Illustrated Historical Atlas of the County of Wentworth of 1875*. The Township of Barton was surveyed in 1791 by Augustus Jones using the Single-Front survey system used by the colonial government between 1783 and 1818.¹ The survey was made up of concessions separated by road allowances. The concession was divided into lots of 200 acres and sideroad allowances were surveyed after every fifth lot. The first settlers arrived in Barton Township in 1791, many of whom were United Empire Loyalists or disbanded troops. The settlement of Barton Township began slowly, with only 102 families living in the township by 1815; most of the settlement was concentrated at the foot of the Niagara Escarpment. The township continued to grow and by 1823 it contained one sawmill and three gristmills. By 1841, the population grew to 1,434.² Barton Township was later amalgamated into the Regional Municipality of Hamilton-Wentworth, which today is known as the City of Hamilton.

¹ William H Smith. *Smith's Canadian Gazetteer*. Toronto: H. & W. Roswell. 1846.

² D'Arcy Boulton. *Sketch of His Majesty's Province of Upper Canada*. London: C. Rickaby. 1805. pp. 48-49.

2.2 Description of Property

The property located at 1173 King Street East is a quadrangular lot on the northeast corner of King Street East and Fairview Avenue. The structure on the property consists of a two-and-a-half storey dwelling, with a two storey addition on the front of the house, evidently for previous commercial uses. The property was first developed in 1913 and the addition was added in 1940. The original structure on the property appears to have been similar in appearance to the property at 1175 King St East. The peak of the gable and a gable window are barely visible at the top of the building. The two storey addition on the front of the building extensively altered the front of the dwelling and resulted in a much more commercial façade, typically found further west on King Street East. The recent removal of the commercial façade (display windows, commercial entrance) has left the addition architecturally expressionless.

2.3 Current Context

The property is situated on the northeast corner of King Street and Fairview Avenue, on the eastern outskirts of downtown Hamilton. As a corner property, it retains frontage along both streets; however, the main front entrance to the structure is along King Street East. The original structure on the property appears to have been built roughly in the same period as the residential dwellings located along Fairview Avenue. The existing King Street façade retains a commercial appearance unlike the rest of the properties on this block of King Street East. Rather, the structure is more consistent with the properties located on King Street East at the intersection with Gage Avenue North.

3. Methodology and Sources

3.1 Study Approach

This CHER was prepared in accordance with Metrolinx's Interim Cultural Heritage Management Process (Fall 2013) and the MTCS Standards and Guidelines for the Conservation of Provincial Heritage Properties (2010). The CHER was also undertaken according to the guidelines presented in the Metrolinx document, Draft Terms of Reference for Consultants: Cultural Heritage Evaluation Report and Cultural Heritage Evaluation Report Recommendations (April 2016) and outlined in the following tasks:

- Research and Documentation Gathering – gathered from various sources including existing heritage studies, Metrolinx records, public archives, and published materials;
- Writing – an illustrated report based on gathered background history and site investigation materials, and the application of O.Reg. 9/06 and 10/06; Evaluation, Recommendations, and Statement of Cultural Heritage Value – a summary of the applicable evaluation, and recommendations regarding whether the property meets the criteria for being a provincial heritage property, a provincial heritage property of provincial significance, or neither.

As outlined in the Draft Terms of Reference, the heritage evaluation is separated into two stand-alone components: a CHER and a CHERR. The Cultural Heritage Evaluation Report includes research conducted for the CHER and is intended to address the criteria set out in O.Reg. 9/06 and 10/06. The CHERR includes the results of the applied evaluation, and the recommended outcome of the evaluation.

Michael Greguol, Cultural Heritage Specialist, and Emily Game, Heritage Researcher for AECOM, conducted a site investigation to visually inspect and document the property on February 22, 2017. An assessment was not completed on the interior of the structure due to the timing constraints for the TPAP Amendment.

3.2 Secondary Sources

A series of secondary sources were reviewed for the purposes of data collection and analysis as part of the CHER. The relevant guidelines and reference documents cited above served as a framework for undertaking the study. The *Hamilton Light Rail Transit Cultural Heritage Screening Report, City of Hamilton, Ontario* (CHSR) prepared by ASI in December 2016, provided a preliminary review of the rail corridor and the potential heritage properties identified along the corridor. Background information and applicable research was gathered from the report for the purposes of the CHER. In addition, a series of published materials including published histories pertaining to the history of Hamilton were consulted. A complete list of the sources reviewed for the report is contained in Section 15 (Bibliography).

3.3 Primary Sources

Where available, primary source material was consulted to provide a historical context for the evaluation of the potential heritage value of the property. Primary source research was undertaken at the Local History and Archives Department of the Hamilton Public Library, the Mills Memorial Library at McMaster

University, and at the Map and Data Centre at the University of Western Ontario. A review of the following primary sources aided in the evaluation of the structures at 1173 King Street East:

- Illustrated Historical Atlas of the County of Wentworth, 1875;
- Hamilton City Directories, issues 1913-1970;
- Fire Insurance Plans, 1911-1960; and,
- National Topographic Series, 1909-1938.

3.4 Consultations

As part of the identification of recognized and potential cultural heritage resources for the CHSR, ASI undertook consultation with the City of Hamilton, the Ontario Heritage Trust (OHT) and the MTCS. Consultation during the CHSR process took place between August and October, 2016.

As part of this CHER, AECOM undertook property-specific consultation with the same municipal and provincial staff and agencies in order to identify or confirm any existing heritage recognitions or interest in this subject property.

The following individuals and organizations were consulted:

- Thomas Wicks, Heritage Planner, OHT;
- Chelsey Tyers, Cultural Heritage Planner, City of Hamilton;
- Asyia Patel, Assistant Cultural Heritage Planner, City of Hamilton; and,
- Rosi Zirger, Heritage Planner, MTCS.

The results of the consultation efforts have been summarized in Section 7 (Community Input).

4. Heritage Recognitions

4.1 Municipal

As a review of applicable municipal heritage recognitions for the property or adjacent properties, AECOM reviewed the City of Hamilton's heritage inventories. The following inventories and registers were reviewed:

- Hamilton's Heritage Volume 1: List of Designated Properties and Heritage Conservation Easements under the *Ontario Heritage Act*, and,
- Hamilton's Heritage Volume 2: Inventory of Buildings of Architectural and/or Historical Interest.

Hamilton's Heritage Volume 1 consists of a listing of properties that have been designated by municipal by-law. The volume includes properties that have been designated under Parts IV or V of the *Ontario Heritage Act*. The volume also identifies properties for which the City of Hamilton holds a Heritage Easement for the property.

Hamilton's Heritage Volume 2 is a compilation of the inventories of heritage structures and places of the six former municipalities that now make up the City of Hamilton. This volume contains approximately 7,000 properties that are of potential heritage interest, or value, but are not formally protected under the *Ontario Heritage Act*. The Inventory is publically available; however, it is one that evolves over time and properties are added on a case-by-case basis, determined by staff at the City.

Consultation efforts were undertaken to confirm levels of municipal heritage recognition, if any. The property was identified in the December 2016 CHSR as not being subject to any heritage recognitions. However, consultation with the City of Hamilton in January and February 2017 confirmed that the property is now listed in the City's *Inventory of Building of Architectural and/or Historical Interest*.

4.2 Provincial

As a review of applicable provincial heritage recognitions for the property or adjacent properties AECOM reviewed the OHT's Provincial Plaque Guide, and list of OHT easements. The property at 1173 King Street East is neither the subject of a provincial plaque nor a provincial easement. In addition, OHT staff was contacted to review the Ontario Heritage Act Register to confirm that the property is not included on the register and that an OHT easement does not exist for the property.

Thomas Wicks, Heritage Planner for the OHT confirmed that the property is not subject to an OHT conservation easement or on their register.

4.3 Federal

As a review of applicable federal heritage recognitions for the property or adjacent properties, AECOM reviewed the online searchable database for the Canadian Register of Historic Places as well as the Directory of Federal Heritage Designations. 1173 King Street East and the adjacent properties are not subject to any existing federal heritage recognitions.

5. Adjacent Lands

The properties adjacent to 1173 King Street East consist primarily of residential properties on the block of King Street East between Fairview Avenue and East Bend Avenue North. The area was built up during and immediately after the First World War as small frame wartime housing units. In many cases the lots were redeveloped with larger homes, or the wartime houses were renovated extensively. This has resulted in a neighbourhood with a wide range of types and materials.

Located immediately to the east of the subject property, 1175 King Street East is a two-and-a-half storey vernacular Edwardian residential structure that was built in a similar style to the original structure at 1173 King Street East. Similar residential structures are located along Fairview Avenue, as well as on the south side of King Street East. While the details and exterior finishes on these properties vary, the majority of the properties share a common form and design.

Consultation with the City of Hamilton indicated that 1175 King Street East is included in the City's *Inventory of Buildings of Architectural and/or Historical Interest*.

6. Archaeology

ASI completed a Stage 1 Archaeological Assessment (AA) as part of the Rapid Transit Initiative and found that the property at 1173 King Street East did not retain archaeological potential and confirmed that no known archaeological assessments have previously been completed within 50 metres (m) of the property. As such, at the time of production of the ASI report, no archaeological sites had been identified within or adjacent to the property. Additionally, the ASI Stage1 AA indicates that there is no land that retains archaeological potential within 50 m of 1173 King Street East.

The results of the Stage 1 AA determined that a Stage 2 AA must be conducted for all land identified as retaining archaeological potential that will be impacted by the proposed Rapid Transit Initiative. Based on this assessment, ASI made the following recommendations:

- The King Street right-of-way (ROW) does not retain archaeological potential due to previous land disturbance. An additional AA is not required within the ROW and those portions of the study corridor can be cleared of further archaeological concern; and,
- A Stage 2 AA should be conducted on lands determined to have archaeological potential if the proposed project is to impact these lands. This work must be done in accordance with the MTCS' *Standards and Guidelines for Consultant Archaeologists* (Ontario Government 2011) in order to identify any archaeological remains that may be present.

It should be noted that ASI's recommendations for Stage 2 archaeological work references the MCL's 2006 draft *Standards and Guidelines for Consultant Archaeologists* (MCL 2006); however, further Stage 2 archaeological work must now be conducted in accordance with current archaeological standards and guidelines (*Standards and Guidelines for Consultant Archaeologists*, Ontario Government 2011) . For complete details regarding the results of the Stage 1 AA, reference should be made to the *Stage 1 Archaeological Assessment, Rapid Transit Initiative, City of Hamilton, Ontario* (February 2009).

7. Community Input

As part of the consultation process for this report, AECOM undertook consultation with the City of Hamilton, the MTCS, and the OHT. The results of the consultation efforts are identified below in Table 7-1.

Table 7-1: Community Input and Consultation Undertaken for 1173 King Street East

Contact	Contact Information	Date	Notes
Chelsey Tyers, Heritage Planner City of Hamilton	905-546-2424 ext. 1202 chelsey.tyers@hamilton.ca	February 28, 2017	The City of Hamilton confirmed that 1173 King Street East is listed on the City's <i>Inventory of Building of Architectural and/or Historical Interest</i> .
Asiya Patel Assistant Cultural Heritage Planner City of Hamilton	905-546-2424 ext. 7163 asiya.patel@hamilton.ca		
Thomas Wicks Heritage Planner Ontario Heritage Trust	416-314-5972 thomas.wicks@heritagetrust.on.ca	February 1, 2017; confirmed February 9, 2017	The OHT confirmed that the property is not subject to an OHT conservation easement nor is it on their register.
Rosi Zirger Heritage Planner Ministry of Tourism, Culture, and Sport	416-314-7159 rosi.zirger@ontario.ca	February 1, 2017	Response pending.

8. Discussion of Historical or Associative Value

8.1 Historic Theme/Cultural Pattern

8.1.1 *Transportation*

The earliest roads in Ontario were typically military roads or colonization roads. These roads often followed aboriginal hunting trails or were dictated by the topography of the land which they crossed. The Dundas Road was opened to connect Toronto with the Thames River, in what is now London, Ontario, and the Kingston Road was designed to provide a military link between Toronto and Kingston. The Kingston Road was one of the earliest and still functioning roads in southern Ontario.

Following the Crown surveys in Ontario, concession and side roads were opened on a grid that was dictated by the survey type that was used. The roads were cleared and made passable by the early land owners who built their dwellings adjacent to the concession roads. Despite being cleared, road conditions were often poor until the late 19th and early 20th centuries. The crown surveys, and later surveys of town and city plots were laid out on a grid, which has left a visible imprint on rural and urban street grids today. Much of the pattern of these surveys can be seen in the grids of cities and townships in Ontario. Within Hamilton, this is visible in the parallel city streets and grid layout of the downtown core and outlying areas. King Street was a pre-existing road and has a visible curve in its orientation, swinging north just east of Wellington Street before swinging south again around Barnesdale Avenue. This curvature in the road is visible on historic maps of the township and can be attributed to its history as an indigenous trail that pre-dates European settlement in the Hamilton area. The historic trail has left a visible footprint on the European grid of the City.

Railway transportation, both passenger and freight, greatly improved the transportation network in Ontario beginning in the mid-1800s. The opening of the Grand Trunk Railway (GTR) between Montreal and Toronto in 1856 provided a link between the two cities and provinces that was more easily travelled in comparison to mid-19th century roads. The construction of the route from Montreal to Toronto, and then on to Sarnia by the end of the 1860s resulted in the construction of significant structures such as the Victoria Bridge over the St. Lawrence River, and the St. Clair Tunnel in Sarnia. The GTR was designed to enhance the St. Lawrence-Great Lakes shipping routes in response to the railroads and shipping networks in the United States. As a result it also strengthened the connection and link between the townships, and municipal and provincial economies in Ontario.

Various railway companies were formed in Ontario to create a vast network of rail lines that spread throughout the province by the early-20th century. Nonetheless, most of the companies were eventually merged with or purchased by the Canadian National Railway (CN) or the Canadian Pacific Railway (CP).

8.1.2 *Railways*

A spur line of the former Toronto, Hamilton, and Buffalo Railway (TH&B) is carried over King Street East at grade, approximately 75m east of the subject property. The TH&B was first conceived in March 1884

as a rail line to connect Toronto to Fort Erie and Buffalo, New York through the City of Hamilton. However, as with many of the early railways in North America, funding became an issue from the beginning. In 1891, the management of the TH&B secured an amalgamation with the already constructed Brantford, Waterloo & Lake Erie Railway (BW&LER) which operated a line between Brantford and Fort Erie. By 1892, the companies were combined and became official known as the TH&B.

A year later the railway was purchased by a series of major railway companies, most of which was based on American interest, and by 1895 a link between Hamilton and Brantford was opened. The first few decades of the 20th century resulted in a series of spurs and belt lines being constructed by the railway, as well as amalgamations with smaller railway companies, characteristic of 19th and 20th century railway business.

Within the City of Hamilton, the TH&B and City Council wrestled with the issue of grade separation, which ultimately resulted in the an agreement in 1930 for the two parties to construction a grade separation in order to prevent long trains from block city streets. The project was completed in 1933, including the construction of a new station and corporate offices. Between the 1930s and 1970s, the TH&B eventually came under the control of the Michigan Central Railway, the New York Central Railway, the Penn Central Railway, and eventually Conrail. However, as of 1977, Conrail's interest in the TH&B was sold to the Canadian Pacific Railway (CPR), and by 1987 the TH&B was fully integrated into the CPR system.

8.1.3 Hamilton Street Railway

In 1873, the City of Hamilton incorporated the Hamilton Street Railway; the horse-drawn streetcar service began in May 1874 with six operating cars. The line extended along three miles of track from the GTR's passenger station east along Stuart Street South to James Street. The line travelled south to Gore Park and then east along King Street to Wellington Street. Due to popularity of the service, additional cars were added and the track was extended. New track was laid west along King Street to Locke Street and east to Wentworth Street.

The electrification process of the Hamilton Street Railway began in March 1892. A total of 12 miles of track were electrified and 15 horsecars were converted to electric street cars. Operation of the newly-electrified cars began on June 29, 1892.

At the end of the Second World War, Hamilton Street Railway sold the lines to Canada Coach for \$1.4 million. Immediately following the sale, Canada Coach announced plans to replace the street car service with busses. By 1951, the last street car was removed from service and replaced by electric trolley busses.³

The proposed B-Line follows the old streetcar route from King Street near McMaster University to Sherman Avenue; the old streetcar route then turned south along Sherman Avenue and continued east on Main Street to Kenilworth Avenue North.

The present-day Hamilton transit company operates under the name of Hamilton Street Railway Company.

³Transit Toronto. <http://transit.toronto.on.ca/streetcar/4751.shtml>, consulted February 9, 2017.

8.2 Local History

1173 King Street East is located within the City of Hamilton, Ontario. Historically the structures were located within Lot 6, Concession II, Barton Township in Wentworth County. The subsections below include historic information related to the settlement and growth of these areas.

8.2.1 Settlement History

As part of the establishment of Upper Canada, the province was divided into administrative Districts in 1792. As such, Wentworth County was one of several counties that made up the Home District. It was named in honour of Sir John Wentworth, Lieutenant Governor of Nova Scotia from 1792-1808. In 1816, the Home District was divided and reorganized and Wentworth County was included in the Gore District. By 1849, the original district system was abolished and replaced by a county council system and Wentworth County became an independent political entity. Townships that were included in Wentworth County at one time or another included Ancaster, Barton, Beverly, Binbrook, Caistor, Flamborough East and West, Glanford, Onondaga, Saltfleet, and Seneca. Between 1850 and 1854, Wentworth and Halton Counties were joined for government purposes into the United Counties of Wentworth and Halton; however, this change was short-lived. In 1973, Wentworth County was renamed the Regional Municipality of Hamilton-Wentworth and in 2001 was amalgamated with six constituent municipalities into the City of Hamilton. The City of Hamilton has remained as the administrative seat or county town since the original creation of the Gore District nearly two centuries ago.

Barton Township is described in detail in the *Illustrated Historical Atlas of the County of Wentworth of 1875*. The Township of Barton was surveyed in 1791 by Augustus Jones using the Single-Front survey system used by the colonial government between 1783 and 1818. The survey was made up of concessions separated by road allowances. The concession was divided into lots of 200 acres and sideroad allowances were surveyed after every fifth lot. The first settlers arrived in Barton Township in 1791, many of whom were United Empire Loyalists or disbanded troops. The Settlement of Barton Township began slowly, with only 102 families living in the township by 1815. Most of the settlement was concentrated at the foot of the Niagara Escarpment. The township continued to grow and by 1823 it contained one sawmill and three gristmills. By 1841, the population had grown to 1,434.

8.2.2 Site History

1173 King Street East was historically located on the west side of Lot 6, Concession II in Barton Township, when the crown survey for the township was undertaken. By 1875, the lot had been subdivided, with the current location of the 1173 King Street East property located within a portion belonging to an R.R. Gage. No structures were shown on the lot at the time, and the surrounding properties east and west of the lot were owned by members of the Gage family, with isolated structures shown amongst various orchards (Figure 3).

By the beginning of the 20th century, historic topographic mapping indicates that urban development was underway and the area surrounding the 1173 King Street East property had become considerably more populated with brick and wooden structures along King Street East and the surrounding side streets (Figure 4). Historic Fire Insurance Plans Hamilton City Directories indicate that by 1913, a two-and-a-half storey brick dwelling was located on the property. The property's first resident in that year was Albert Gibbons. The property continued to be used for residential purposes throughout the early-20th century with a number of different residents living in the dwelling between 1913 and 1940. In 1940, a J. Murray is listed as residing on the property; however, shortly after it appears to have changed hands and a two storey commercial addition was added to the front of the dwelling. In 1950, a W. Bochenek, no doubt the "W.B"

in the date stone (Photograph 6) is identified as the owner of the property. In addition, the property is listed as home to a business identified as “Will’s Confectionary”. The addition on the front of the building was used for a confectionary from its construction c.1940 until well into the late-20th century, while the rear of the structure appears to have remained in use for residential purposes. By 1961, the name of the business changed to “Eve’s Confectionary”, and a Joseph Grochet is identified as the resident. In 1970, again “Eve’s Confectionary” is listed at the address, and an Elgin Riebel is listed as the resident.

Most recently, the ground floor of the addition appears to have been rebuilt as the brick is visibly different on each floor., This was likely to brick in display windows that would have been incorporated into the confectionary’s storefront. The brick on the front portion of the dwelling indicates a change in use from commercial to residential on the interior of the addition. Consequently, neither the original appearance of the residential building ca.1915, nor the commercial storefront of the 1940s Confectionary has survived with any legibility.

8.3 Person/Event/Organization

The historic research undertaken for this CHER did not identify any significant people, events, or organizations that are directly related to or associated with the properties, and could contribute to the potential cultural heritage interest or value of the properties.

9. Discussion of Design or Physical Value

9.1 Style/Type/Tradition

The structure on the property at 1173 King Street East consists of a two-and-a-half storey brick residential building, designed in what was originally a vernacular Edwardian design. However, a later two-storey addition to the front of the structure has extensively modified the street façade of the dwelling. The connection of the two portions of the building can be easily read on the exterior of the dwelling.

Architecturally, the façade on King Street East was likely a typical mid-20th century commercial storefront generally found in urban centres, such as Hamilton. The ground floor would have contained a series of display windows, similar to the properties located west of Gage Avenue to the west of the subject property. Recent brickwork on the ground floor suggests that the property has recently converted from commercial back to residential uses.

Architecturally, few design elements on the King Street East façade remain on the building. The exception is the segmental arch lintel above the second storey windows, the central raised parapet wall, and the decorative stone or concrete panel in the centre of the parapet “W.B 1940”. The initials are those of W. Bocheneck who is listed as the resident of the property and quite likely the owner of the original “Will’s Confectionary” that was present in the building during the mid-20th century. The peak of the original gable roof and a central gable window are barely visible above the roofline of the addition on King Street East.

The character of the original brick dwelling is most visible from Fairview Avenue. The west façade and the series of additions on the both the back and front of the dwelling are clear from the street. The original dwelling on this façade consists of a parged concrete foundation, and a series of ground and second storey windows. An extensive amount of repointing and brick infilling has resulted in various mortar colours on the exterior. At the rear of the structure, a one storey brick addition has been made consisting of a rusticated concrete block foundation, brick exterior, basement and ground floor windows. The addition has a rear entrance with a small gable porch roof supported on simple wooden brackets. Historical Fire Insurance Plans indicate that the one storey addition had been built by 1960. At the front of the property, the different brick colours as well as the connection with the original dwelling can be seen. There is also a three bay brick garage located at the rear of the property.

9.2 Function

Historically, the property at 1173 King Street East was designed for residential purposes. The two-storey addition was added to the front of the building to support a commercial use from the mid-to-late 20th century. However, it appears to be in use mainly for residential purposes.

9.3 Fabric

The structure at 1173 King Street East is constructed primarily of brick. The late-20th century brick infill on the King Street East façade has resulted in a relatively consistent use of brick throughout both the King Street East and Fairview Avenue sides of the structure. With the exception of the few windows still

remaining on the structure, the concrete foundation and decorative elements, the vast majority of the exterior consists of a variety of red brick.

10. Discussion of Contextual Value

10.1 Social Meaning

The property at 1173 King Street East is a typical example of early/mid-20th century vernacular residential architecture that has been extensively modified in order to accommodate a commercial use. The property was originally built in 1913 in what was a vernacular Edwardian style; however, the two-storey addition on the front of the dwelling has drastically changed the streetscape presence of the property and has resulted in a much more commercial appearance. This commercial addition has been renovated to convert the building back to residential use and the present appearance bears little resemblance to either of the earlier phases of the property.

10.2 Environment

The property located at 1173 King Street East is relatively unique in its surroundings, in that it is the only structure on the north side of King Street East between Fairview Avenue and East Bend Avenue North that has a commercial-style appearance. The remaining six properties on this block are all residential structures of varying ages, styles, materials, and configurations. As a result of the addition, the front of the structure has been built out to the sidewalk and has a much more projected presence than the neighbouring properties. The majority of buildings along the south side of King Street East at this location, and along Fairview Avenue consist of one-and-a-half- or two-storey residential structures. In this sense, the property is relatively consistent in terms of its scale.

10.3 Formal Recognition

The property was identified in the December 2016 CHSR as not being subject to any heritage recognitions. However, consultation with the City of Hamilton in February 2017 confirmed that the property is now located on the City's *Inventory of Building of Architectural and/or Historical Interest*.

11. Data Sheet

Table 11-1: Data Sheet for 1173 King Street East

FIELD	PROPERTY DATA
Municipal Address	1173 King Street East
Municipality	Hamilton
Approximate Area (square metres)	283
Rail Corridor	Hamilton LRT B-Line
PIN	172260118
Ownership	Private
Aerial photo showing location and boundaries	
Exterior, street-view photo	
Date of construction of built resources (known or estimated and source)	1913 (Hamilton City Directories, Fire Insurance Plans)
Date of significant alterations to built resources (known or estimated and source)	c. 1940 (Hamilton City Directories, Date stone in peak of

FIELD	PROPERTY DATA
	building)
Architect/designer/builder	Unknown
Previous owners or occupants	Albert Gibbons (1913), Willam Bochenck & Will's Confectionary (mid-20 th century)
Current function	Residential
Previous function(s)	Residential/Commercial
Heritage Recognition/Protection (municipal, provincial, federal)	Listed on City's <i>Inventory of Building of Architectural and/or Historical Interest</i> .
Local Heritage Interest	Listed on City's <i>Inventory of Building of Architectural and/or Historical Interest</i> .
Adjacent Lands	1175 King Street East is Listed on City's <i>Inventory of Building of Architectural and/or Historical Interest</i> .
Latitude or UTM Northing	43.247450°
Longitude or UTM Easting	-79.827649°

12. Photographs



Photograph 1: View looking north across King Street East showing 1173 King Street East (AECOM, 2017)



Photograph 2: View showing 1137 King Street East in relation to neighbouring residential properties (AECOM, 2017)



Photograph 3: View showing block on the north side of King Street East, with 1137 King Street East on the far left (AECOM, 2017)



Photograph 4: View showing detail of the corner of 1137 King Street East. The addition can be seen joining the original structure at right where the foundation changes (AECOM, 2017)



Photograph 5: View looking east across Fairview Avenue, showing east facade of 1173 King Street East (AECOM, 2017)



Photograph 6: View showing detail of raised parapet and concrete/stone panel with "W.B 1940" above second storey window (AECOM, 2017)



Photograph 7: View looking across Fairview Avenue showing garage structure at rear of subject property (AECOM, 2017)

13. Figures

All figures pertaining to this CHER can be found on the following pages.

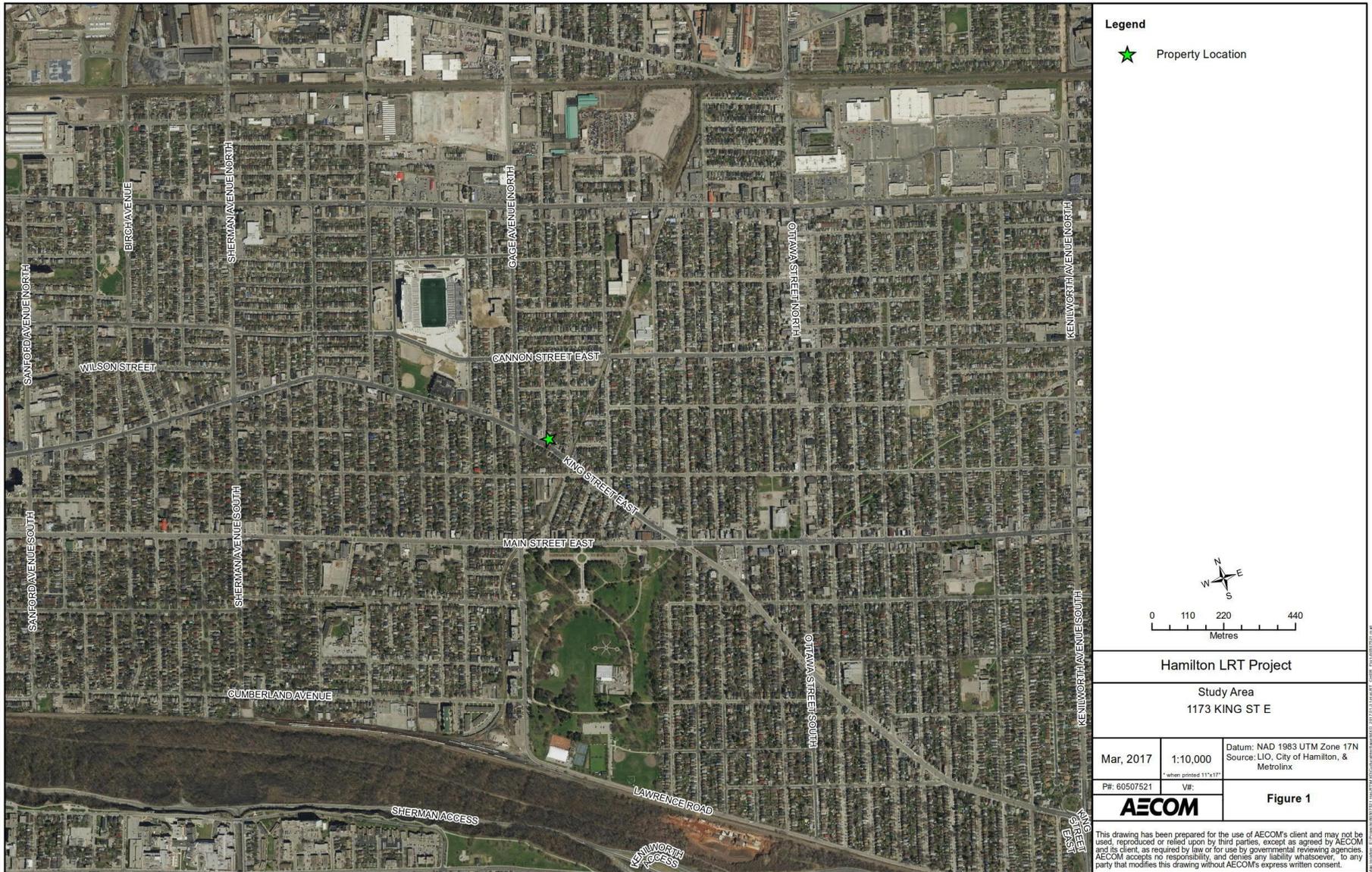


Figure 1: Location of 1173 King Street East



Figure 2: Aerial Photograph showing the area surrounding 1173 King Street East

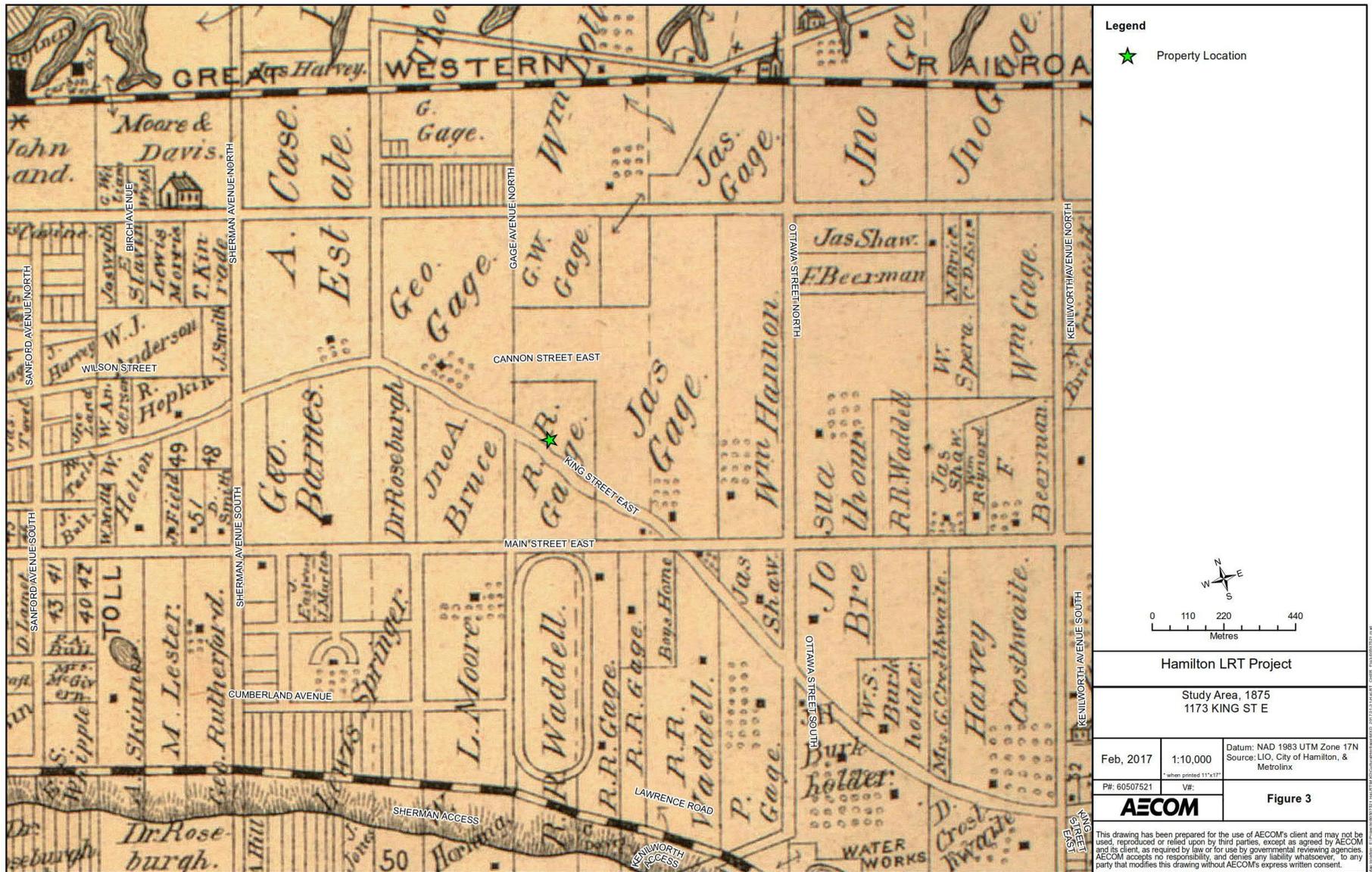


Figure 3: Location of 1173 King Street East on the 1875 Historic Atlas Map (Page & Smith, 1875)

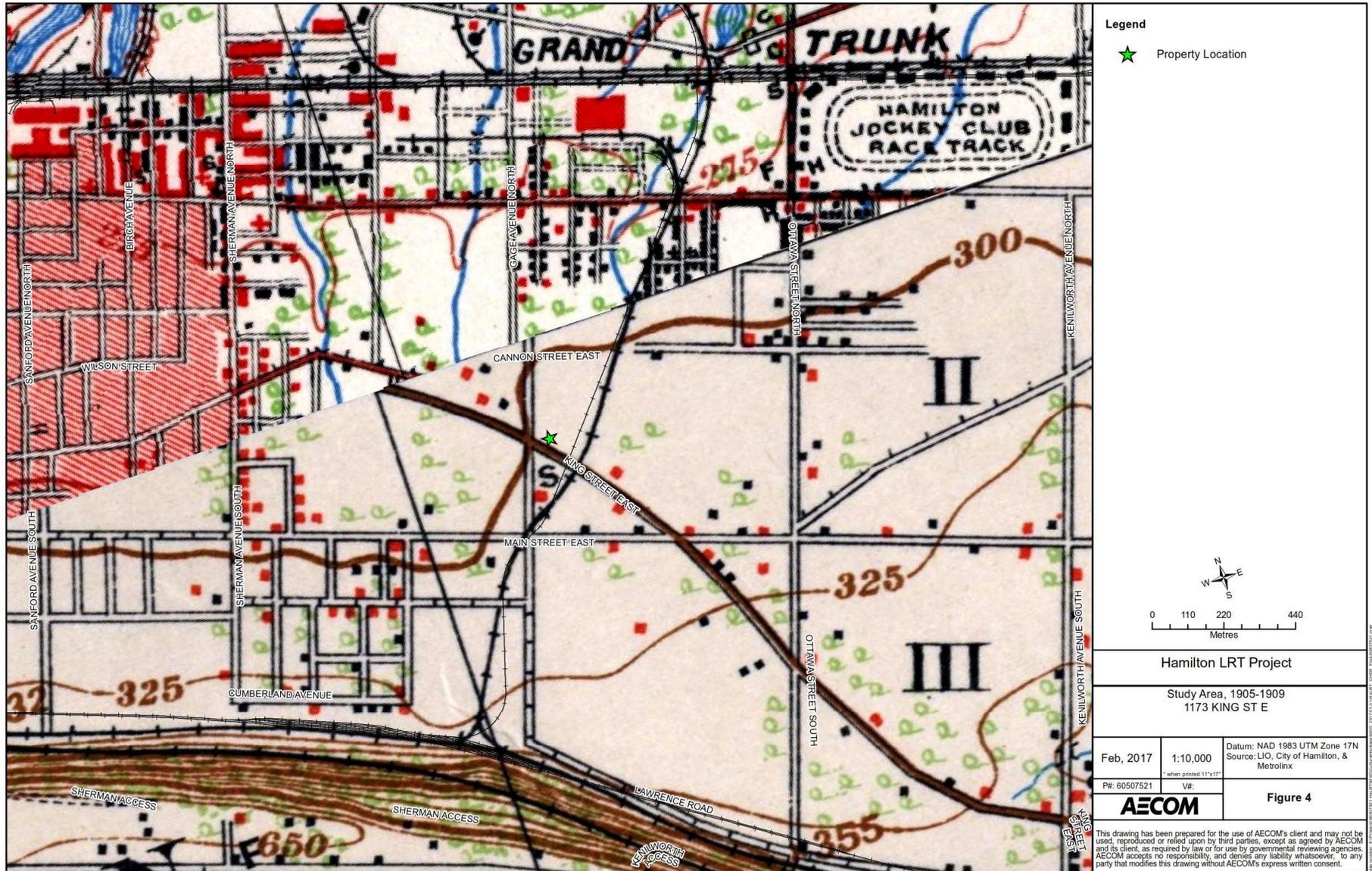


Figure 4: Location of 1173 King Street East on the 1905-1909 NTS Map

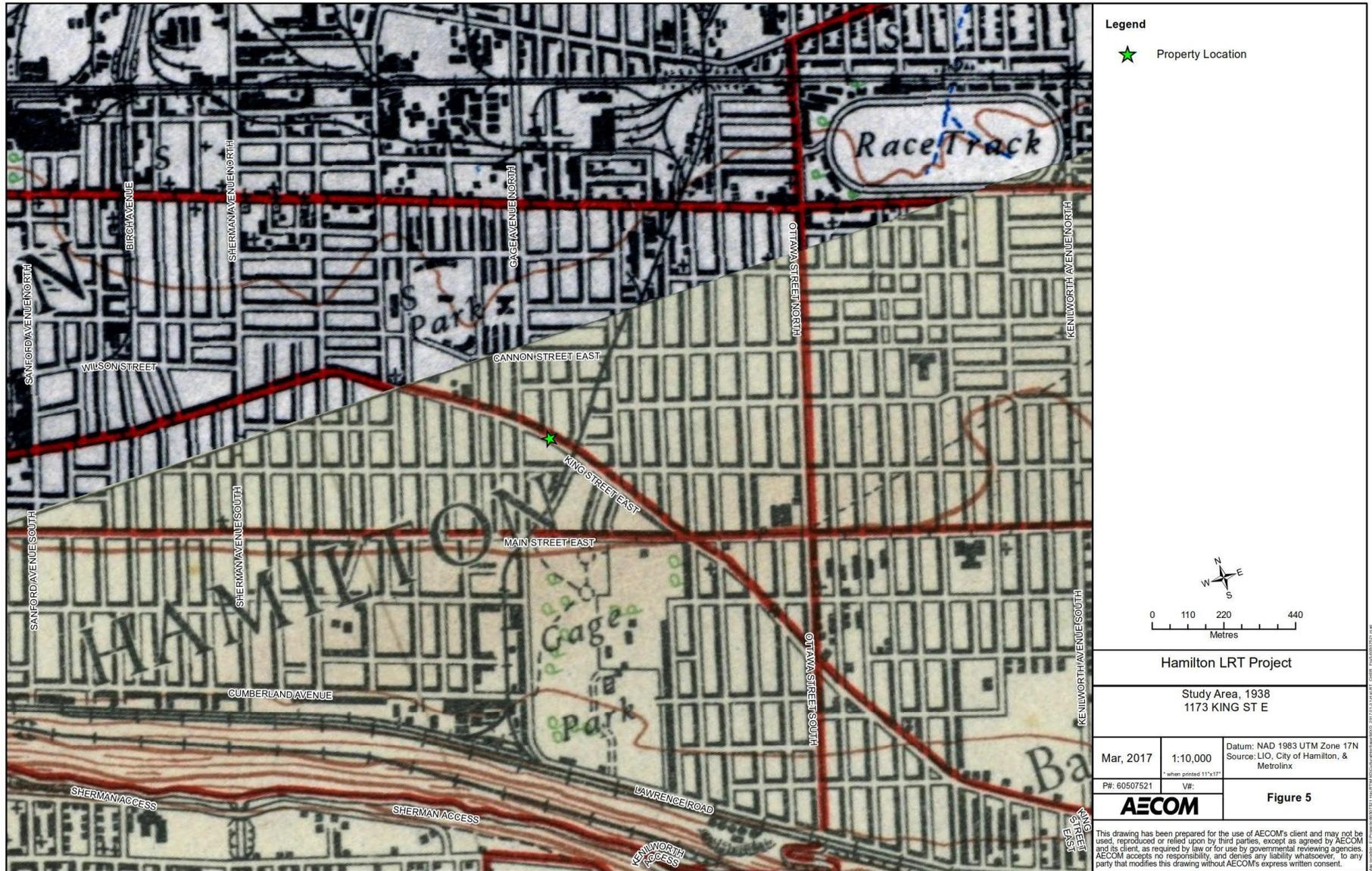


Figure 5: Location of 1173 King Street East on the 1938 NTS Map

14. Chronology

- 1791 Barton Township was surveyed by Augustus Jones; the first settler arrived in the township.
- 1792 Province of Upper Canada divided into administrative districts.
- 1816 Home District divided and reorganized. As part of the reorganization, Wentworth was reorganized and included within the Gore District.
- 1850 Gore District was divided and Halton and Wentworth Counties were created.
- 1873 Incorporation of the Hamilton Street Railway.
- 1875 Property is depicted on the *Illustrated Historical Atlas* as part of subdivided lot.
- 1913 Residential structure first built on the property at 1173 King Street East.
- 1940 Two storey brick addition added to the front of the dwelling.
- 1960 One storey brick addition added to the rear of the dwelling.

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Une agence du gouvernement de l'Ontario

Cultural Heritage Evaluation Report Recommendations 1173 King Street East, Hamilton, Ontario

Prepared by AECOM
for Metrolinx

March 6, 2017

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Revision History

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Except (1) as agreed to in writing by AECOM and Client; (2) as required by-law; or (3) to the extent used by governmental reviewing agencies for the purpose of obtaining permits or approvals, the Report and the Information may be used and relied upon only by Client.

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1. Executive Summary

AECOM Canada Ltd. (AECOM) was retained by Metrolinx to complete a Cultural Heritage Evaluation Report (CHER) for the property at 1173 King Street East, in the City of Hamilton, Ontario. This work is being completed as part of the Hamilton Light Rail Transit (LRT) Project.

The Hamilton LRT Project B-Line alignment extends from McMaster University at Cootes Drive to the Main Street/Highway 403 Bridge. A proposed LRT-only bridge will allow the alignment to then extend along King Street West until King East Street intersects with Main Street East, where the alignment will continue along Main Street East to the Queenston Road traffic circle. As a part of the project, it is anticipated that building impacts may take place on the property at 1173 King Street East.

The project impacts will be assessed following the Transit Project Assessment Process (TPAP), as prescribed in Ontario Regulation (O. Reg.) 231/08, Transit Projects and Metrolinx Undertakings under the Environmental Assessment Act. As part of the TPAP Amendment, an Environmental Project Report (EPR) Amendment will be prepared for public review.

The CHER was prepared according to the Metrolinx Interim Cultural Heritage Management Process and utilizes the criteria in Ontario Regulation 9/06 and Ontario Regulation 10/06, as required by the Ministry of Tourism, Culture, and Sport's (MTCS) *Standards and Guidelines for the Conservation of Provincial Heritage Properties* (2010). In addition, the CHER was prepared according to the Metrolinx Draft Terms of Reference for Consultants: *Cultural Heritage Evaluation Report and Cultural Heritage Evaluation Report Recommendations*. Consequently the recommendations as they relate to this CHER and the potential cultural heritage value or interest of the property at 1173 King Street East are contained in a separate Cultural Heritage Evaluation Report Recommendations (CHERR) document.

As part of the reporting requirements for the Hamilton LRT Project, Archaeological Services Inc. (ASI) undertook a Cultural Heritage Screening Report (CHSR) for the alignment. The CHSR identified the requirement to conduct a CHER for the property located at 1173 King Street East to assess the potential cultural heritage value or interest of the property. Where applicable, relevant background information has been utilized from the CHSR for project consistency.

The property located at 1173 King Street East is a quadrangular lot on the northeast corner of King Street East and Fairview Avenue. The structure on the property consists of a two-and-a-half storey dwelling, with a two storey addition on the front of the house, for previous commercial uses. The property was first developed in 1913, and the addition was added in 1940.

Historic Fire Insurance Plans Hamilton City Directories indicate that by 1913, a two-and-a-half storey brick dwelling was located on the property. The property's first resident in that year was Albert Gibbons. The property continued to be used for residential purposes throughout the early 20th century with a number of different residents living in the dwelling between 1913 and 1940. In addition, the property was listed as home to a business identified as "Will's Confectionary". The addition on the front of the building was used for a confectionary from its construction c.1940 until well into the late-20th century, while the rear of the structure appears to have remained in use for residential purposes.

A field review of the privately-owned property at 1173 King Street East was undertaken on February 22, 2017 by Michael Greguol and Emily Game of AECOM. An assessment was not completed on the interior of the structure due to the timing constraints for the TPAP Amendment.

The property at 1173 King Street East is a typical example of early/mid-20th century vernacular residential architecture that has been extensively modified in order to accommodate a commercial use. The property was originally built in 1913 in what was a vernacular Edwardian style; however, the two-storey addition on the front of the dwelling has significantly changed the streetscape presence of the property and has resulted in a much more modified and commercial appearance. The commercial addition has been converted to residential use and as a result the present appearance bears little resemblance to the earlier phases of the property.

The application of O.Reg 9/06 and O.Reg. 10/06 concluded that 1173 King Street East does not meet O.Reg. 9/06 or O.Reg. 10/06, as it did not satisfy any of the nine criteria. Therefore, this CHERR recommends that the property at 1173 King Street East is not considered a Provincial Heritage Property (PHP).

2. Ontario Regulation 9/06 Evaluation

Ontario Regulation 9/06, *Criteria for Determining Cultural Heritage Value or Interest* (O. Reg. 9/06) provides criteria to apply to a potential heritage property to evaluate its heritage value. If a privately-owned property meets one or more of the following criteria it may be designated by a municipality under Section 29 of the *Ontario Heritage Act*. For the purposes of this CHER, O. Reg. 9/06 considers the evaluation of the property as part of the community context. The *Standards and Guidelines for the Conservation of Provincial Heritage Properties* state that a property may be considered a Provincial Heritage Property (PHP) if it meets one or more of the criteria under O. Reg. 9/06. The application of the criteria for 1173 King Street East is included in Table 2-1 below.

Table 2-1: O.Reg. 9/06 Evaluation for 1173 King Street East

Criterion	Response (Yes/No)	Rationale
1) The property has design or physical value because it:		
i) Is a rare, unique, representative, or early example of a style, type, expression, material, or construction method;	No	The property includes a two-and-half residential structure with a two-storey brick addition built onto the front and therefore it is not representative of a rare, unique, representative, or early example of a style, type, expression material, or construction method.
ii) Displays a high degree of craftsmanship or artistic merit; or	No	The property is of common design and does not display a high degree of craftsmanship or artistic merit.
iii) Demonstrates a high degree of technical or scientific achievement.	No	The property is a common commercial and residential structure and does not display a high degree of technical or scientific achievement.
2) The property has historic or associative value because it:		
i) Has direct associations with a theme, event, belief, person, activity, organization or institution that is significant to a community;	No	The property appears to have housed a series of confectionaries in the middle of the 20 th century; however, no significant association with a theme, event, belief, person, activity, organization, or institution could

Criterion	Response (Yes/No)	Rationale
		be determined.
ii) Yields, or has the potential to yield information that contributes to an understanding of a community or culture; or	No	The property does not have potential to yield information that contributes to an understanding of a community or culture.
iii) Demonstrates or reflects the work or ideas of an architect, artist, builder, designer, or theorist who is significant to a community.	No	No particular architect, artist, builder, design, or theorist could be determined for this property.
3) The property has <i>contextual value</i> because it:		
i) Is important in defining, maintaining, or supporting the character of an area;	No	The property forms one of the various properties located along the north side of King Street East between Fairview Avenue and East Bend Avenue North. The majority of these are various residential structures of various forms, styles, and materials. As a result the subject property is not important in defining, maintaining, or supporting the character of the area.
ii) Is physically, functionally, visually, or historically linked to its surroundings; or	No	The property was originally built in 1913 and was part of the eventual urban growth of the area. However, the property does not appear to be significantly physically, functionally, visually, or historically linked to its surroundings.
iii) Is a landmark.	No	The property at 1173 King Street East is not considered a landmark.

3. Ontario Regulation 10/06 Evaluation

Ontario Regulation 10/06, *Criteria for Determining Cultural Heritage Value or Interest of Provincial Significance* (O. Reg. 10/06), provides criteria against which to assess a property to determine if the property holds provincial heritage significance. The *Standards and Guidelines for the Conservation of Provincial Heritage Properties* state that Ministries and prescribed public bodies shall apply the criteria in O. Reg. 10/06 to determine whether a property is of provincial significance. Therefore, for the purpose of this CHER O. Reg 10/06 considers the evaluation of the property as a part of the provincial context. If the property meets the criteria, it may be considered a Provincial Heritage Property of Provincial Significance (PHPPS). The application of the criteria for 1173 King Street East is in Table 3-1, below.

Table 3-1: O.Reg. 10/06 Evaluation for 1173 King Street East

Criterion	Response (Yes/No)	Rationale
1. The property represents or demonstrates a theme or pattern in Ontario's history.	No	1173 King Street East does not represent a theme or pattern in Ontario's history. Commercial and residential structures similar to this are found throughout towns and cities in Ontario. Although the residential structure is not quite evident on the property at 1173 King Street East, similar structures can be found further west at Gage Avenue.
2. The property yields, or had the potential to yield, information that contributes to an understanding of Ontario's history.	No	1173 King Street East does not yield, and is not anticipated to yield information that contributes to an understanding of Ontario's history.
3. The property demonstrates an uncommon, rare, or unique aspect of Ontario's cultural heritage.	No	1173 King Street East does not demonstrate an uncommon, rare, or unique aspect of Ontario's cultural heritage. The form and massing of the structures are commonly found in cities and towns in Ontario.
4. The property is of aesthetic, visual, or contextual importance to the province.	No	1173 King Street East property is not of aesthetic, visual, or contextual importance to the province. The property is similar in style and form to properties found elsewhere in Hamilton and other

Criterion	Response (Yes/No)	Rationale
		cities and towns in Ontario.
5. The property demonstrates a high degree of excellence or creative, technical, or scientific achievement at a provincial level in a given period.	No	1173 King Street East does not demonstrate a high degree of excellence or creative, technical, or scientific achievement at a provincial level. The property is vernacular in design and execution.
6. The property has a strong or special association with the entire province or with a community that is found in more than one part of the province.	No	1173 King Street East does not have a strong or special association with the entire province or with a community that is found in more than one part of the province. No particular association would be drawn for this property.
7. The property has a strong or special association with the life or work of a person, group or organization of importance to the province or with an event of importance to the province.	No	1173 King Street East does not have strong or special associations with the life or work of a person, group, or organization of importance to the province or with an event of importance to the province. No particular association at the provincial level could be drawn for this property.
8. The property is located in an unorganized territory and the Minister determines that there is a provincial interest in the protection of the property.	No	1173 King Street East is not located in an unorganized territory.

4. Recommended Outcome of Evaluation

The application of O.Reg 9/06 and O.Reg. 10/06 concluded that 1173 King Street East does not meet O.Reg. 9/06 or O.Reg. 10/06, as it did not satisfy any of the nine criteria. Therefore, this CHERR recommends that the property at 1173 King Street East is not considered a Provincial Heritage Property (PHP).

As a result, a Statement of Cultural Heritage Value or Interest and Heritage Attributes have not been prepared for this property.



METROLINX

An agency of the Government of Ontario
Une agence du gouvernement de l'Ontario

Cultural Heritage Evaluation Report 1177 King Street East, Hamilton, Ontario

**Prepared by AECOM
for Metrolinx**

March 7, 2017

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1. Executive Summary

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The project impacts will be assessed following the Transit Project Assessment Process (TPAP), as prescribed in Ontario Regulation (O. Reg.) 231/08, Transit Projects and Metrolinx Undertakings under the Environmental Assessment Act. As part of the TPAP Amendment, an Environmental Project Report (EPR) Amendment will be prepared for public review.

The CHER was prepared according to the Metrolinx Interim Cultural Heritage Management Process and utilizes the criteria in Ontario Regulation 9/06 and Ontario Regulation 10/06, as required by the Ministry of Tourism, Culture, and Sport's (MTCS) *Standards and Guidelines for the Conservation of Provincial Heritage Properties* (2010). In addition, the CHER was prepared according to the Metrolinx Draft Terms of Reference for Consultants: *Cultural Heritage Evaluation Report and Cultural Heritage Evaluation Report Recommendations*. Consequently the recommendations as they relate to this CHER and the potential cultural heritage value or interest of the property at 1177 King Street East are contained in a separate Cultural Heritage Evaluation Report Recommendations (CHERR) document.

As part of the reporting requirements for the Hamilton LRT Project, Archaeological Services Inc. (ASI) undertook a Cultural Heritage Screening Report (CHSR) for the alignment. The CHSR identified the requirement to conduct a CHER for the property located at 1177 King Street East to assess the potential cultural heritage value or interest of the properties. Where applicable, relevant background information has been utilized from the CHSR for project consistency.

The property at 1177 King Street East consists of a quadrangular lot on the north side of King Street East between Fairview Avenue and East Bend Avenue. The structure consists of a 1½ -storey bungalow with a two bay façade that is used for residential purposes. The main floor of the structure is constructed of brick on a rusticated concrete block foundation, while the upper storey is wood frame clad in vinyl siding. The house has a low side-gable roof which covers the deep front verandah that extends across the main floor façade. The roof features large central gable dormers on the north and south sides of the house.

1177 King Street East was historically located in the southern part of Lot 6, Concession II in Barton Township when the crown survey for the township was undertaken. By 1875, the lot had been transected in the southwest corner by King Street East. 1177 King Street East now falls on the portion of the lot that was listed to R.R. Gage in 1875. At that time, significant urban development had not yet reached this part of Barton Township and Lot 6, Concession II was likely still under use for agricultural purposes. No structures are illustrated on the portion of the lot on which the subject property now stands (Figure 3).

By the beginning of the 20th century, historical topographic mapping indicates that although urban development in Hamilton was expanding eastward, development was minimal east of Sherman Avenue South where the subject property is located. Only a few small structures are illustrated on Lot 6, Concession II (Figure 4).

The bungalow at 1177 King Street East was constructed ca. 1925 and the original building footprint is illustrated in the 1927 (rev. 1933) Fire Insurance Plan. In 1925, 1177 King Street East was occupied by T.C. Hennesey. Five years later, in 1930, Perry Neff is listed as the tenant of 1177 King Street East. By 1938, historical topographic mapping indicates that this area of Hamilton had undergone significant urban expansion eastward, well beyond Sherman Avenue South (Figure 5). By 1940, William R. Dey and T.C. Hennesey are listed as the tenants of the bungalow, followed by Hennesey and Thomas Craig in 1950. In 1960, Anne Hennesey is listed as the tenant, and by 1970 Mrs. R. Wright occupied the bungalow.

A field review of the privately owned property at 1177 King Street East was undertaken on January 12, 2017 and February 3, 2017 by Michael Greguol and Emily Game of AECOM. An assessment was not completed on the interior of the structure due to the timing constraints for the TPAP Amendment.

2. Introduction

2.1 Historical Summary

2.1.1 Context

The subject property is located within the municipal boundaries of the City of Hamilton, Ontario. Prior to the incorporation of the current municipality, the property was located within the boundaries of Barton Township, in Wentworth County.

2.1.2 Wentworth County

As part of the establishment of Upper Canada, the province was divided into administrative Districts in 1792. Wentworth County was one of several counties that made up the Home District. It was named in honour of Sir John Wentworth, Lieutenant Governor of Nova Scotia from 1792-1808. In 1816, the Home District was divided and reorganized and Wentworth County was included in the Gore District. By 1849, the original district system was abolished and replaced by a county council system and Wentworth County became an independent political entity. Townships that were included in Wentworth County at one time or another included Ancaster, Barton, Beverly, Binbrook, Caistor, Flamborough East and West, Glanford, Onondaga, Saltfleet, and Seneca. Between 1850 and 1854, Wentworth and Halton Counties were joined for government purposes into the United Counties of Wentworth and Halton; however, this change was short-lived. In 1973, Wentworth County was renamed the Regional Municipality of Hamilton-Wentworth and, in 2001, was amalgamated with six constituent municipalities into the City of Hamilton. The City of Hamilton has remained as the administrative seat or county town since the original creation of the Gore District nearly two centuries ago.

2.1.3 Barton Township

Barton Township is described in detail in the *Illustrated Historical Atlas of the County of Wentworth of 1875*. The Township of Barton was surveyed in 1791 by Augustus Jones using the Single-Front survey system used by the colonial government between 1783 and 1818.¹ The survey was made up of concessions separated by road allowances. The concession was divided into lots of 200 acres and sideroad allowances were surveyed after every fifth lot. The first settlers arrived in Barton Township in 1791, many of whom were United Empire Loyalists or disbanded troops. The settlement of Barton Township began slowly, with only 102 families living in the township by 1815; most of the settlement was concentrated at the foot of the Niagara Escarpment. The township continued to grow and by 1823 it contained one sawmill and three gristmills. By 1841, the population grew to 1,434.² Barton Township was later amalgamated into the Regional Municipality of Hamilton-Wentworth, which today is known as the City of Hamilton.

¹ William H. Smith, *Smith's Canadian Gazetteer*. Toronto: H. & W. Roswell. 1846.

² D'Arcy Boulton. *Sketch of His Majesty's Province of Upper Canada*. London: C. Rickaby. 1805. pp. 48-49.

2.2 Description of Property

The property at 1177 King Street East consists of a quadrangular lot on the north side of King Street East between Fairview Avenue and East Bend Avenue (Photograph 1). The residential structure consists of a 1½ -storey bungalow with a two bay façade. The main floor of the structure is constructed of brick while the upper storey is wood frame clad in vinyl siding (Photograph 2). The house has a low side-gable roof which covers the deep verandah that extends across the main floor façade. The roof features large, centred gable dormers on the north and south sides of the house.

2.3 Current Context

The property is situated on the north side of King Street East between Fairview Avenue and East Bend Avenue. The bungalow is one of a series of six early 20th century houses that extend across this block. The adjacent properties consist of 2 storey and 2½ story houses, all of varying designs and primarily of brick construction, similar to the row of houses on the south side of King Street on this block. The adjacent properties are predominantly single-detached homes that appear to have been developed in the early and mid-20th century.

3. Methodology and Sources

3.1 Study Approach

This CHER was prepared in accordance with Metrolinx's *Interim Cultural Heritage Management Process* (Fall 2013) and the MTCS *Standards and Guidelines for the Conservation of Provincial Heritage Properties* (2010). The CHER was also undertaken according to the guidelines presented in the Metrolinx document, *Draft Terms of Reference for Consultants: Cultural Heritage Evaluation Report and Cultural Heritage Evaluation Report Recommendations* (April 2016) and outlined in the following tasks:

- Research and Documentation Gathering – gathered from various sources including existing heritage studies, Metrolinx records, public archives, and published materials;
- Writing – an illustrated report based on gathered background history and site investigation materials, and the application of O.Reg. 9/06 and 10/06; Evaluation, Recommendations, and Statement of Cultural Heritage Value – a summary of the applicable evaluation, and recommendations regarding whether the property meets the criteria for being a provincial heritage property, a provincial heritage property of provincial significance, or neither.

As outlined in the Draft Terms of Reference, the heritage evaluation is separated into two stand-alone components: a CHER and a CHERR. The Cultural Heritage Evaluation Report includes research conducted for the CHER and is intended to address the criteria set out in O.Reg. 9/06 and 10/06. The CHERR includes the results of the applied evaluation, and the recommended outcome of the evaluation.

Michael Greguol, Cultural Heritage Specialist, and Emily Game, Heritage Researcher for AECOM, conducted a site investigation to visually inspect and document the property on January 12th and February 3, 2017. An assessment was not completed on the interior of the structures due to the timing constraints for the TPAP Amendment.

3.2 Secondary Sources

A series of secondary sources were reviewed for the purposes of data collection and analysis as part of the CHER. The relevant guidelines and reference documents cited above served as a framework for undertaking the study. The *Hamilton Light Rail Transit Cultural Heritage Screening Report, City of Hamilton, Ontario* (CHSR) prepared by ASI in December 2016, provided a preliminary review of the rail corridor and the potential heritage properties identified along the corridor. Background information and applicable research was gathered from the report for the purposes of the CHER. In addition, a series of published materials including published histories pertaining to the history of Hamilton were consulted. A complete list of the sources reviewed for the report is contained in Section 15 (Bibliography).

3.3 Primary Sources

Where available, primary source material was consulted to provide a historical context for the evaluation of the potential heritage value of the property. Primary source research was undertaken at the Local

History and Archives Department of the Hamilton Public Library, the Mills Memorial Library at McMaster University, and at the Map and Data Centre at the University of Western Ontario. A review of the following primary sources aided in the evaluation of the structures at 1177 King Street East:

- Illustrated Historical Atlas of the County of Wentworth, 1875;
- Hamilton City Directories, issues 1925-1970;
- Fire Insurance Plans, 1927 (rev. 1933) -1960; and,
- National Topographic Series, 1909-1938.

3.4 Consultations

As part of the identification of recognized and potential cultural heritage resources for the CHSR, ASI undertook consultation with the City of Hamilton, the Ontario Heritage Trust (OHT) and the MTCS. Consultation during the CHSR process took place between August and October, 2016.

As part of this CHER, AECOM undertook property-specific consultation with the same municipal and provincial staff and agencies in order to identify or confirm any existing heritage recognitions or interest in the subject property.

The following individuals and organizations were consulted:

- Thomas Wicks, Heritage Planner, OHT;
- Chelsey Tyers, Cultural Heritage Planner, City of Hamilton;
- Asyia Patel, Assistant Cultural Heritage Planner, City of Hamilton; and,
- Rosi Zirger, Heritage Planner, MTCS.

The results of the consultation efforts have been summarized in Section 7 (Community Input).

4. Heritage Recognitions

4.1 Municipal

As a review of applicable municipal heritage recognitions of 1177 King Street East adjacent properties, AECOM reviewed the City of Hamilton's heritage inventories. The following inventories and registers were reviewed:

- *Hamilton's Heritage Volume 1: List of Designated Properties and Heritage Conservation Easements under the Ontario Heritage Act*, and,
- *Hamilton's Heritage Volume 2: Inventory of Buildings of Architectural and/or Historical Interest*.

Hamilton's Heritage Volume 1 consists of a listing of properties that have been designated by municipal by-law. The volume includes properties that have been designated under Parts IV or V of the Ontario Heritage Act. In addition, the volume also identifies properties for which the City of Hamilton holds a Heritage Easement for the property.

Hamilton's Heritage Volume 2 is a compilation of the inventories of heritage structures and places of the six former municipalities that now make up the City of Hamilton. This volume contains approximately 7,000 properties that are of potential heritage interest, or value, but that are not formally protected under the Ontario Heritage Act. The Inventory is publically available, however, it is one that evolves over time and properties are added on a case-by-case basis, determined by staff at the City.

Consultation efforts were undertaken to confirm levels of municipal heritage recognition, if any. The property was identified in the December 2016 CHSR as not being subject to any heritage recognitions. However, consultation with the City of Hamilton in January and February 2017 confirmed that the property is now listed on the City's Inventory of Building of Architectural and/or Historical Interest.

4.2 Provincial

As a review of applicable provincial heritage recognitions for the property or adjacent properties AECOM reviewed the OHT's Provincial Plaque Guide, and list of OHT easements. The property at 1177 King Street East is neither the subject of a provincial plaque nor a provincial easement. In addition, OHT staff was contacted to review the *Ontario Heritage Act* Register to confirm that the property is not included on the register and that an OHT easement does not exist for the property.

A response from Thomas Wicks, Heritage Planner for the OHT confirmed that the Trust does not hold a conservation easement for 1177 King Street East.

4.3 Federal

As a review of applicable federal heritage recognitions for the property or adjacent properties, AECOM reviewed the online searchable database for the Canadian Register of Historic Places as well as the

Directory of Federal Heritage Designations. 1177 King Street East and the adjacent properties are not subject to any existing federal heritage recognitions.

5. Adjacent Lands

The properties adjacent to 1177 King Street East consist of predominantly single-detached homes that appear to have been developed in the early and mid-20th century.

Consultation with the City of Hamilton indicated that 1179 – 1181 King Street East and 1175 King Street East are listed on the City's *Inventory of Buildings of Architectural and/or Historical Interest*.

6. Archaeology

ASI completed a Stage 1 Archaeological Assessment (AA) as part of the Rapid Transit Initiative and found that the property at 1177 King Street East did not retain archaeological potential and confirmed that no known archaeological assessments have previously been completed within 50 metres (m) of the property. Consequently, at the time of production of the ASI report, no archaeological sites had been identified within or adjacent to the property. Additionally, the ASI Stage1 AA indicates that there is no land that retains archaeological potential within 50 m of 1177 King Street East.

The results of the Stage 1 AA determined that a Stage 2 AA must be conducted for all land identified as retaining archaeological potential that will be impacted by the proposed Rapid Transit Initiative. Based on this assessment, ASI made the following recommendations:

- The King Street right-of-way (ROW) does not retain archaeological potential due to previous land disturbance. An additional AA is not required within the ROW and those portions of the study corridor can be cleared of further archaeological concern; and,
- A Stage 2 AA should be conducted on lands determined to have archaeological potential if the proposed project is to impact these lands. This work must be done in accordance with the MTCS' *Standards and Guidelines for Consultant Archaeologists* (Ontario Government 2011) in order to identify any archaeological remains that may be present.

It should be noted that ASI's recommendations for Stage 2 archaeological work references the MCL's 2006 draft *Standards and Guidelines for Consultant Archaeologists* (MCL 2006); however, further Stage 2 archaeological work must now be conducted in accordance with current archaeological standards and guidelines (*Standards and Guidelines for Consultant Archaeologists*, Ontario Government 2011) . For complete details regarding the results of the Stage 1 AA, reference should be made to the *Stage 1 Archaeological Assessment, Rapid Transit Initiative, City of Hamilton, Ontario* (February 2009).

7. Community Input

As part of the consultation process for this report, AECOM undertook consultation with the City of Hamilton, the MTCS, and the OHT. The results of the consultation efforts are identified below in Table 7-1.

Table 7-1: Community Input and Consultation Undertaken for 1177 King Street East

Contact	Contact Information	Date	Notes
Chelsey Tyers, Heritage Planner City of Hamilton	905-546-2424 ext. 1202 chelsey.tyers@hamilton.ca	February 1, 2017 February 6, 2017 (Response)	The City of Hamilton confirmed that 1177 King Street East is listed on the City's <i>Inventory of Buildings of Architectural and/or Historical Interest</i> .
Asiya Patel Assistant Cultural Heritage Planner City of Hamilton	905-546-2424 ext. 7163 asiya.patel@hamilton.ca		
Thomas Wicks Heritage Planner Ontario Heritage Trust	416-314-5972 thomas.wicks@heritagetrust.on.ca	February 1, 2017 February 9, 2017 (Response)	The OHT confirmed that the properties are not subject to an OHT conservation easement nor is it on their register.
Rosi Zirger Heritage Planner Ministry of Tourism, Culture, and Sport	416-314-7159 rosi.zirger@ontario.ca	February 1, 2017	Response pending.

8. Discussion of Historical or Associative Value

8.1 Historic Theme/Cultural Pattern

8.1.1 *Transportation*

The earliest roads in Ontario were typically military roads or colonization roads. These roads often followed aboriginal hunting trails or were dictated by the topography of the land which they crossed. The Dundas Road was opened to connect Toronto with the Thames River, in what is now London, Ontario, and the Kingston Road was designed to provide a military link between Toronto and Kingston. The Kingston Road was one of the earliest and still functioning roads in southern Ontario.

Following the Crown surveys in Ontario, concession and side roads were opened on a grid that was dictated by the survey type that was used. The roads were cleared and made passable by the early land owners who built their dwellings adjacent to the concession roads. Despite being cleared, road conditions were often poor until the late 19th and early 20th centuries. The crown surveys, and later surveys of town and city plots were laid out in grid-like manners, which has left a visible imprint on rural and urban street grids today. Much of the pattern of these surveys can be seen in the grids of cities and townships in Ontario. Within Hamilton, this is visible in the parallel city streets and grid layout of the downtown core and outlying areas. Nonetheless, King Street has a visible curve in its orientation, swinging north just east of Wellington Street before swinging south again around Barnedale Avenue. This curvature in the road is visible on historic maps of the township and can be attributed to its history as an indigenous trail that pre-dates European settlement in the Hamilton area. The historic trail has left a visible footprint on the European grid of the City.

Railway transportation, both passenger and freight, greatly improved the transportation network in Ontario beginning in the mid-1800s. The opening of the Grand Trunk Railway (GTR) between Montreal and Toronto in 1856 provided a link between the two cities and provinces that was more easily travelled in comparison to mid-19th century roads. The construction of the route from Montreal to Toronto, and then on to Sarnia by the end of the 1860s resulted in the construction of significant structures such as the Victoria Bridge over the St. Lawrence River, and the St. Clair Tunnel in Sarnia. The GTR was designed to enhance the St. Lawrence-Great Lakes shipping routes in response to the railroads and shipping networks in the United States. As a result it also strengthened the connection and link between the townships, and municipal and provincial economies in Ontario.

Various railway companies were formed in Ontario to create a vast network of rail lines that spread throughout the province by the early 20th century. Nonetheless, most of the companies were eventually merged with or purchased by the Canadian National Railway (CN) or the Canadian Pacific Railway (CP).

8.1.2 *Railways*

The former Toronto, Hamilton, and Buffalo Railway (TH&B) passes under King Street West approximately 60 m east of the subject property. The TH&B was first conceived in March 1884 as a rail

line to connect Toronto to Fort Erie and Buffalo, New York through the City of Hamilton. However, as with many of the early railways in North America, funding became an issue from the beginning. In 1891, the management of the TH&B secured an amalgamation with the already constructed Brantford, Waterloo & Lake Erie Railway (BW&LER) which operated a line between Brantford and Fort Erie. By 1892, the companies were combined and became official known as the TH&B.

A year later the railway was purchased by a series of major railway companies, most of which was based on American interest, and by 1895 a link between Hamilton and Brantford was opened. The first few decades of the 20th century resulted in a series of spurs and belt lines being constructed by the railway, as well as amalgamations with smaller railway companies, characteristic of 19th and 20th century railway business.

Within the City of Hamilton, the TH&B and City Council wrestled with the issues of grade separation, which ultimately resulted in an agreement in 1930 for the two parties to construction a grade separation in order to prevent long trains from blocking city streets. The project was completed in 1933, including the construction of a new station and corporate offices. Between the 1930s and 1970s, the TH&B eventually came under the control of the Michigan Central Railway, the New York Central Railway, the Penn Central Railway, and eventually Conrail. However, as of 1977, Conrail's interest in the TH&B was sold to the Canadian Pacific Railway (CPR), and by 1987 the TH&B was fully integrated into the CPR system.

8.1.3 Hamilton Street Railway

In 1873, the City of Hamilton incorporated the Hamilton Street Railway; the horse-drawn streetcar service began in May 1874 with six operating cars. The line extended along three miles of track from the GTR's passenger station east along Stuart Street South to James Street. The line travelled south to Gore Park and then east along King Street to Wellington Street. Due to popularity of the service, additional cars were added and the track was extended. New track was laid west along King Street to Locke Street and east to Wentworth Street.

The electrification process of the Hamilton Street Railway began in March 1892. A total of 12 miles of track were electrified and 15 horsecars were converted to electric street cars. Operation of the newly-electrified cars began on June 29, 1892.

At the end of the Second World War, Hamilton Street Railway sold the lines to Canada Coach for \$1.4 million. Immediately following the sale, Canada Coach announced plans to replace the street car service with busses. By 1951, the last street car was removed from service and replaced by electric trolley busses.³

The proposed B-Line follows the old streetcar route from King Street near McMaster University to Sherman Avenue. The original line turned south along Sherman Avenue and then continued east on Main Street to Kenilworth Avenue North. The B-Line will carry on King east of Sherman Avenue until it reconnects with Main Street at the Delta and proceeds to the Queenston Road traffic circle.

The present-day Hamilton transit company operates under the name of Hamilton Street Railway Company.

³Transit Toronto. <http://transit.toronto.on.ca/streetcar/4751.shtml>, consulted February 9, 2017.

8.2 Local History

1177 King Street East is located within the City of Hamilton, Ontario. Historically the structure was located within Lot 6, Concession II, Barton Township in Wentworth County. The subsections below include historic information related to the settlement and growth of these areas.

8.2.1 Settlement History

As part of the establishment of Upper Canada, the province was divided into administrative Districts in 1792. As such, Wentworth County was one of several counties that made up the Home District. It was named in honour of Sir John Wentworth, Lieutenant Governor of Nova Scotia from 1792-1808. In 1816, the Home District was divided and reorganized and Wentworth County was included in the Gore District. By 1849, the original district system was abolished and replaced by a county council system and Wentworth County became an independent political entity. Townships that were included in Wentworth County at one time or another included Ancaster, Barton, Beverly, Binbrook, Caistor, Flamborough East and West, Glanford, Onondaga, Saltfleet, and Seneca. Between 1850 and 1854, Wentworth and Halton Counties were joined for government purposes into the United Counties of Wentworth and Halton; however, this change was short-lived. In 1973, Wentworth County was renamed the Regional Municipality of Hamilton-Wentworth and, in 2001, was amalgamated with six constituent municipalities into the City of Hamilton. The City of Hamilton has remained as the administrative seat or county town since the original creation of the Gore District nearly two centuries ago.

Barton Township is described in detail in the *Illustrated Historical Atlas of the County of Wentworth of 1875*. The Township of Barton was surveyed in 1791 by Augustus Jones using the Single-Front survey system used by the colonial government between 1783 and 1818. The survey was made up of concessions separated by road allowances. The concession was divided into lots of 200 acres and sideroad allowances were surveyed after every fifth lot. The first settlers arrived in Barton Township in 1791, many of whom were United Empire Loyalists or disbanded troops. The Settlement of Barton Township began slowly, with only 102 families living in the township by 1815. Most of the settlement was concentrated at the foot of the Niagara Escarpment. The township continued to grow and by 1823 it contained one sawmill and three gristmills. By 1841, the population had grown to 1,434.

8.2.2 Site History

1177 King Street East was historically located in the southern part of Lot 6, Concession II in Barton Township when the crown survey for the township was undertaken. By 1875, the lot had been transected in the southwest corner by King Street East. 1177 King Street East now stands on the part of the lot that was owned by R.R. Gage in 1875. At that time, significant urban development had not yet reached this part of Barton Township and Lot 6, Concession II was likely still used for agricultural purposes. No structures are illustrated on the part of the lot on which the subject property now stands (Figure 3).

By the beginning of the 20th century, historical topographic mapping indicates that although urban development in Hamilton was expanding eastward, development was still minimal east of Sherman Avenue South where the subject property is located. Only a few small structures are illustrated on Lot 6, Concession II (Figure 4).

The bungalow at 1177 King Street East was constructed ca. 1925 and the original building footprint is illustrated in the 1927 (rev. 1933) Fire Insurance Plan. In 1925, 1177 King Street East was occupied by T.C. Hennesey. Five years later, in 1930, Perry Neff is listed as the tenant of 1177 King Street East. By 1938, historic topographic mapping indicates that this area of Hamilton had undergone significant urban

expansion eastward, well beyond Sherman Avenue South. By 1940, William R. Dey and T.C. Hennessey are listed as the tenants of the bungalow. Hennessey and Thomas Craig occupy the structure in 1950. In 1960, Anne Hennessey is listed as the tenant and by 1970 Mrs. R. Wright occupied the bungalow. Today, 1177 King Street East appears to be under residential use.

8.3 Person/Event/Organization

The historic research undertaken for this CHER did not identify any significant people, events, or organizations that are directly related to or associated with the property, and could contribute to the potential cultural heritage interest or value of the property.

9. Discussion of Design or Physical Value

9.1 Style/Type/Tradition

The house located at 1177 King Street East consists of a 1½ storey bungalow with a two bay façade standing on a textured concrete block foundation. This was an increasingly common form for housing during the first decade of the 20th century leading up to and after the First World War. The main floor of the structure is constructed of brick while the upper storey is wood frame clad in vinyl siding (Photograph 2). The house has a low gable roof which covers the deep verandah that extends across the main floor façade. The roof features large gable dormers on the north and south sides of the house.

9.2 Function

The bungalow at 1177 King Street East has functioned as a private residence since its construction c. 1925. Prior to the construction of the structure, this section of Lot 6, Concession II appears to have been vacant.

9.3 Fabric

According to the 1927 (rev. 1933) Fire Insurance Maps, the first floor of the bungalow at 1177 King Street East was brick while the upper storey was constructed of a wooden frame building with a shingle on board roof. The present shingles on the structure are of modern manufacture. The original brick is visible on the first floor of the house and the gables and dormer have been clad in metal siding. The window sashes on the main and upper storeys have been replaced with aluminum sash. The structure sits on a concrete textured concrete block foundation.

10. Discussion of Contextual Value

10.1 Social Meaning

The structure located at 1177 King Street East is one of many bungalows that were constructed in cities across Ontario. Built in the early 20th century, the property represents a common type of residential house within the City of Hamilton. The exterior of 1177 Street East does not retain many of its original finishes, but its simplicity, form and massing are consistent with its type.

10.2 Environment

The property at 1177 King Street East consists of quadrangular lot on the north side of King Street East between Fairview Avenue and East Bend Avenue. The residential structure consists of a 1½ storey bungalow with a two bay façade. The main floor of the structure is constructed of brick while the upper storey is wood frame clad in vinyl siding, replacing or covering the original material. The house has a low side-gable roof that covers the deep verandah that extends across the main floor façade. The roof features large gable dormers on the north and south sides of the house. The adjacent properties on the north and south side of King Street East are made up of a variety of residential and commercial uses, and include other examples of this housing type. The streets north of the subject property, including Fairview Avenue and East Bend Avenue, consist of predominantly single-detached homes that were built as whole streets of the wartime housing.

10.3 Formal Recognition

The property was identified in the December 2016 CHSR as not being subject to any heritage recognitions. However, consultation with the City of Hamilton in January and February 2017 confirmed that the property is now listed on the City's *Inventory of Buildings of Architectural and/or Historical Interest*.

11. Data Sheet

Table 11-1: Data Sheet for 1177 King Street East

FIELD	PROPERTY DATA
Municipal Address	1177 King Street East
Municipality	Hamilton
Approximate Area (square metres)	242
Rail Corridor	Hamilton LRT B-Line
PIN	172260291
Ownership	Private
Aerial photo showing location and boundaries	
Exterior, street-view photo	
Date of construction of built resources (known or estimated and source)	c. 1925

FIELD	PROPERTY DATA
Date of significant alterations to built resources (known or estimated and source)	Unknown
Architect/designer/builder	Unknown
Previous owners or occupants	Various residential tenants throughout 20th century (See Section 8)
Current function	Residential
Previous function(s)	Residential
Heritage Recognition/Protection (municipal, provincial, federal)	Listed on City's <i>Inventory of Buildings of Architectural and/or Historical Interest</i> .
Local Heritage Interest	Listed on City's <i>Inventory of Buildings of Architectural and/or Historical Interest</i> .
Adjacent Lands	No protected heritage properties
Latitude or UTM Northing	43.247347°
Longitude or UTM Easting	-79.827504°

12. Photographs



Photograph 1: View to the north along King Street East of the subject property (centre) (AECOM, 2017)



Photograph 2: Façade of 1177 King Street East (AECOM, 2017)

13. Figures

All figures pertaining to this CHER can be found on the following pages.

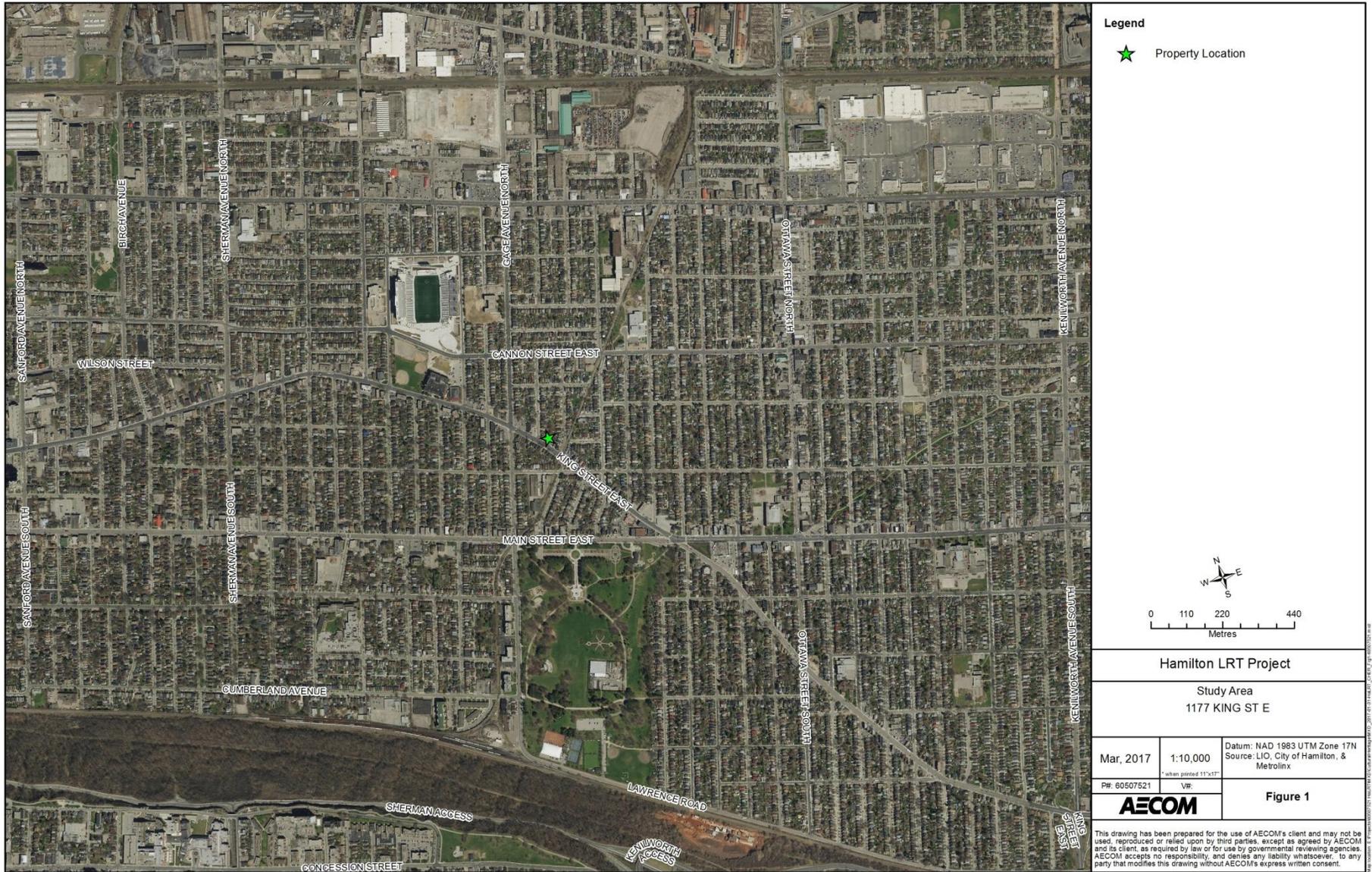


Figure 1: Location of 1177 King Street East

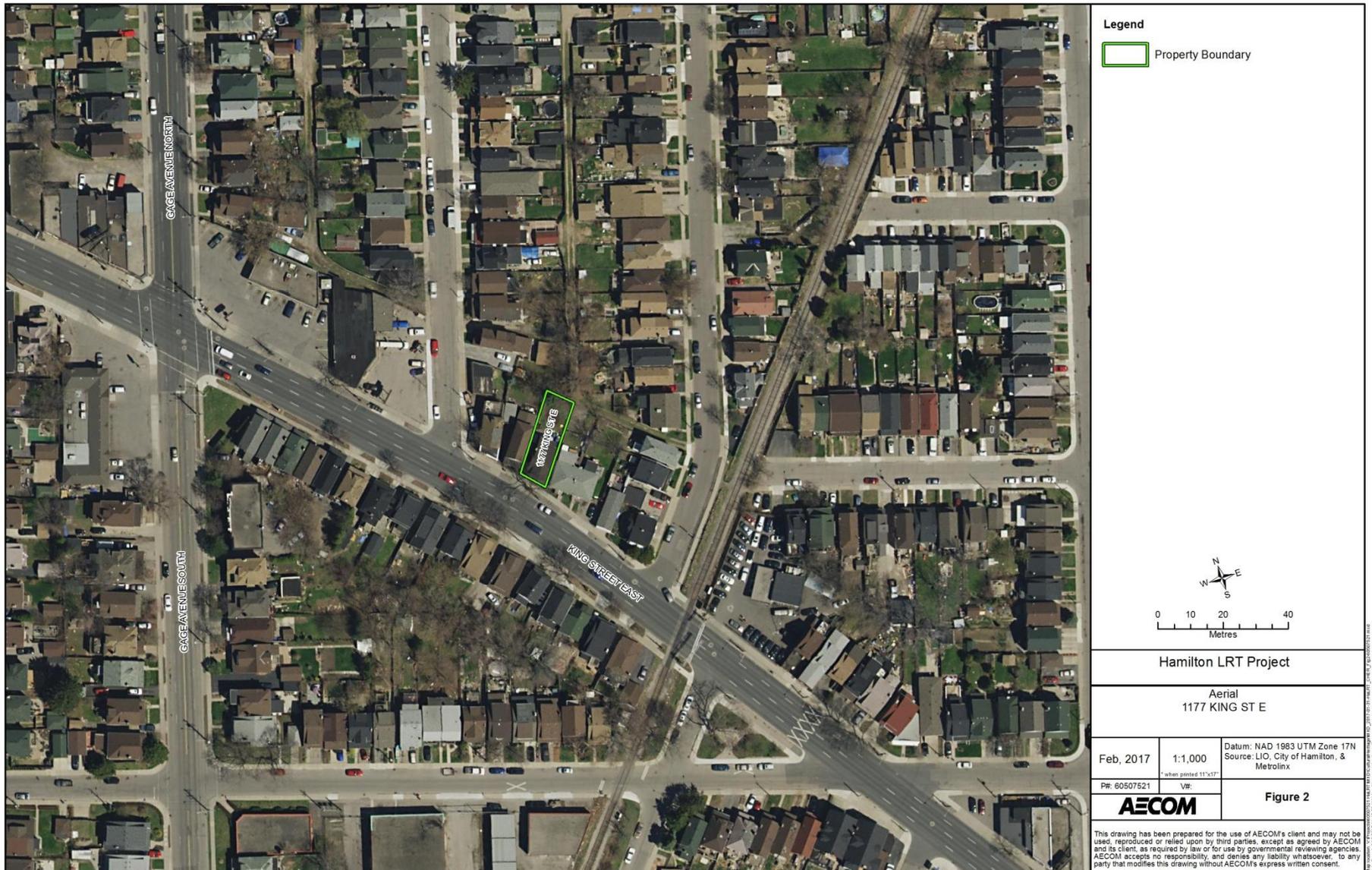


Figure 2: Aerial Photograph showing the area surrounding 1177 King Street East

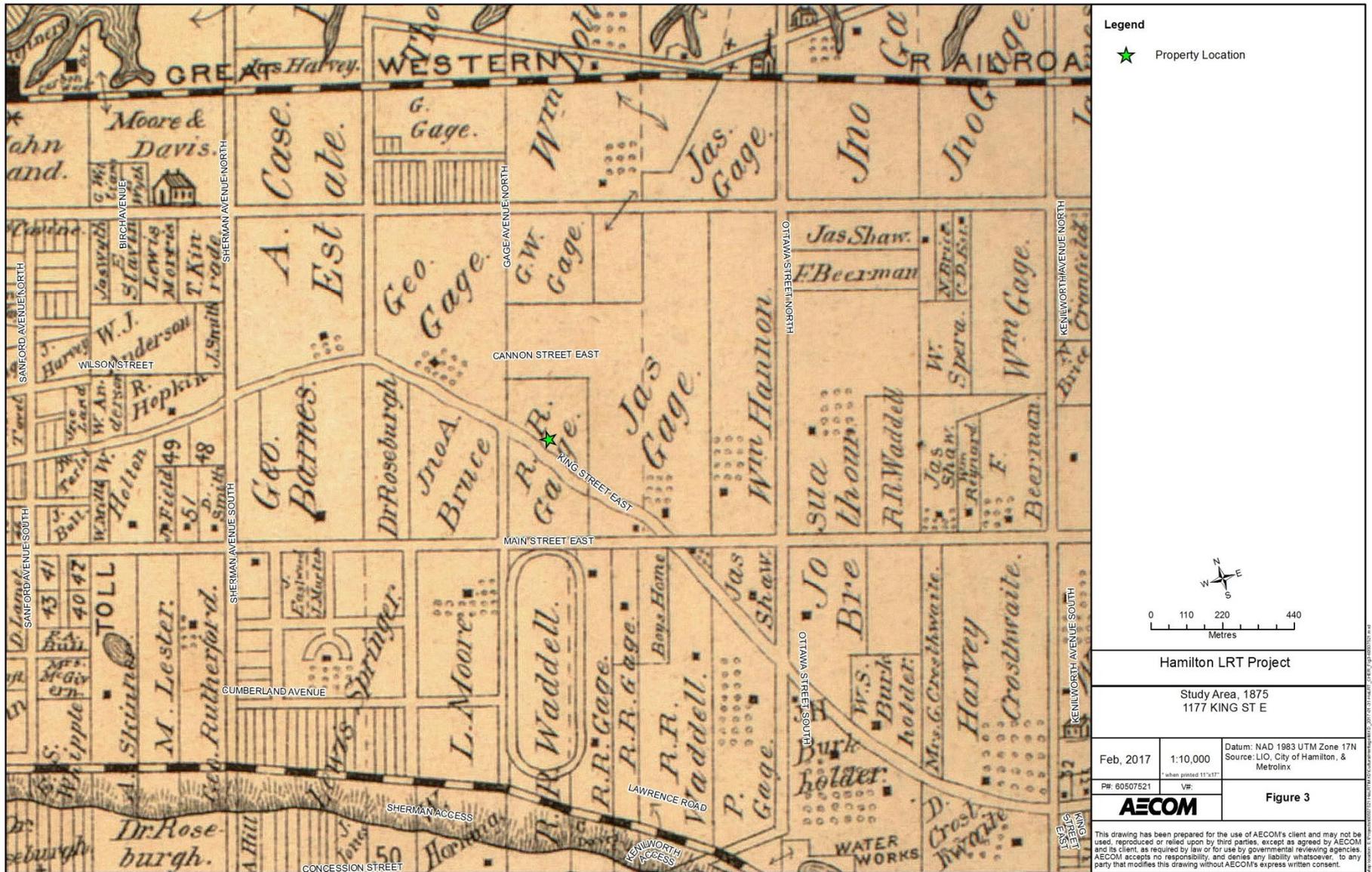


Figure 3: Location of 1177 King Street East on the 1875 Historical Atlas Map (Page & Smith, 1875)

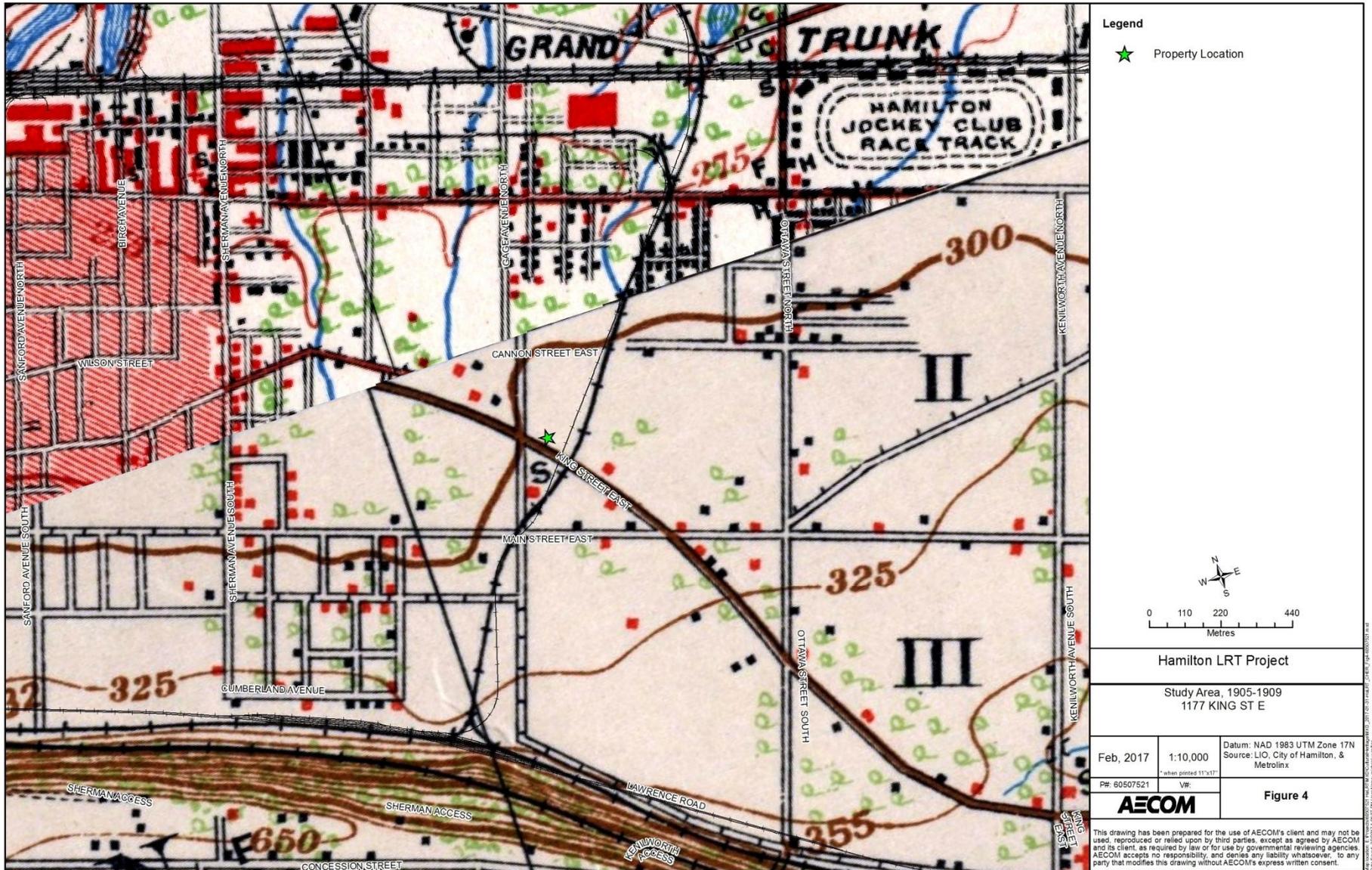


Figure 4: Location of 1177 King Street East on the 1905 NTS Map

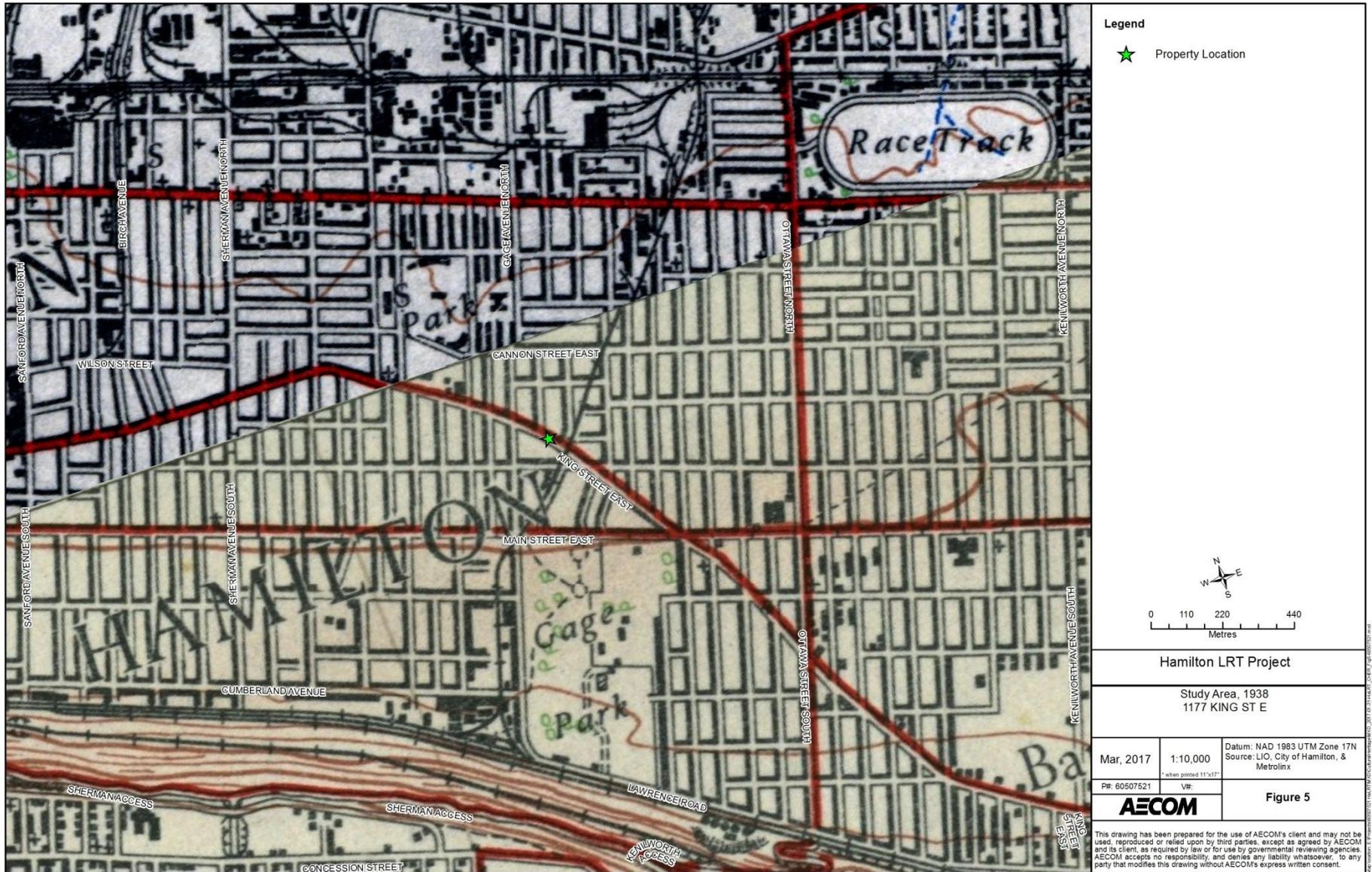


Figure 5: Location of 1177 King Street East on the 1938 NTS Map

14. Chronology

- 1791 Barton Township was surveyed by Augustus Jones; the first settler arrived in the township.
- 1792 Province of Upper Canada was divided into administrative districts.
- 1816 Home District divided and reorganized. As part of the reorganization, Wentworth was reorganized and included within the Gore District.
- 1850 Gore District was divided and Halton and Wentworth Counties were created.
- 1873 The Hamilton Street Railway was incorporated.
- 1875 Lot 6, Concession II on which 1177 King Street East sits has undergone significant urban development.
- 1884 The TH&B was first conceived as a rail line to connect Toronto to Fort Erie and Buffalo, New York through the City of Hamilton.
- 1891 The management of the TH&B secured an amalgamation with the already constructed Brantford, Waterloo & Lake Erie Railway (BW&LER) which operated a line between Brantford and Fort Erie. A year later the companies were combined and officially known as the TH&B.
- 1892 Twelve miles of the Hamilton Street Railway was electrified and cars were updated.
- 1895 The TH&B opened a link between Hamilton and Brantford.
- 1925 The structure at 1177 King Street East was constructed; the first resident is listed as T.C. Hennessey.
- 1930 The Hamilton City Directory lists Perry Neff as the tenant of 1177 King Street East.
- 1933 The TH& B completed a grade separation project, including the construction of a new station and corporate offices.
- 1930-1970 TH&B came under the control of the Michigan Central Railway, the New York Central Railway, the Penn Central Railway, and eventually Conrail.
- 1940 William R. Dey and T.C. Hennessey are listed as occupying 1177 King Street East.
- c. 1945 The Hamilton Street Railway was sold to Canada Coach.
- 1950 T.C. Hennessey and Thomas Craig are listed as occupying the bungalow.
- 1951 Streetcars were removed from service and replaced with electric bus trolleys.

- 1961 The Hamilton City Directory lists Anne Hennessey as the tenant of 1177 King Street East.
- 1970 Mrs. R. Wright is listed as the tenant of 1177 King Street East.
- 1977 Conrail's interest in the TH&B was sold to the Canadian Pacific Railway (CPR).
- 1987 TH&B was fully integrated into the CPR system.

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15.1 Telephone and Email Conversations

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Wicks, Thomas. Heritage Planner, City of Hamilton. February 1 and 9, 2017.

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Une agence du gouvernement de l'Ontario

Cultural Heritage Evaluation Report Recommendations 1177 King Street East, Hamilton, Ontario

Prepared by AECOM
for Metrolinx

March 7, 2017

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Revision History

Revision #	Date	Revised By:	Revision Description
0	03/07/2017	C. Latimer	Draft to Metrolinx

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1. Executive Summary

AECOM Canada Ltd. (AECOM) was retained by Metrolinx to complete a Cultural Heritage Evaluation Report (CHER) for the property at 1177 King Street East, in the City of Hamilton, Ontario. This work is being completed as part of the Hamilton Light Rail Transit (LRT) Project.

The Hamilton LRT Project B-Line alignment extends from McMaster University at Cootes Drive to the Main Street/Highway 403 Bridge. A proposed LRT-only bridge will allow the alignment to then extend along King Street East until King East Street intersects with Main Street East, where the alignment will continue along Main Street East to the Queenston Road traffic circle. As a part of the project, it is anticipated that building impacts may take place on the property at 1177 King Street East.

The project impacts will be assessed following the Transit Project Assessment Process (TPAP), as prescribed in Ontario Regulation (O. Reg.) 231/08, Transit Projects and Metrolinx Undertakings under the Environmental Assessment Act. As part of the TPAP Amendment, an Environmental Project Report (EPR) Amendment will be prepared for public review.

The CHER was prepared according to the Metrolinx Interim Cultural Heritage Management Process and utilizes the criteria in Ontario Regulation 9/06 and Ontario Regulation 10/06, as required by the Ministry of Tourism, Culture, and Sport's (MTCS) *Standards and Guidelines for the Conservation of Provincial Heritage Properties* (2010). In addition, the CHER was prepared according to the Metrolinx Draft Terms of Reference for Consultants: *Cultural Heritage Evaluation Report and Cultural Heritage Evaluation Report Recommendations*. Consequently the recommendations as they relate to this CHER and the potential cultural heritage value or interest of the property at 1177 King Street East are contained in a separate Cultural Heritage Evaluation Report Recommendations (CHERR) document.

As part of the reporting requirements for the Hamilton LRT Project, Archaeological Services Inc. (ASI) undertook a Cultural Heritage Screening Report (CHSR) for the alignment. The CHSR identified the requirement to conduct a CHER for the property located at 1177 King Street East to assess the potential cultural heritage value or interest of the property. Where applicable, relevant background information has been utilized from the CHSR for project consistency.

The property at 1177 King Street East consists of a quadrangular shaped lot on the north side of King Street East between Fairview Avenue and East Bend Avenue. The structure consists of a 1 ½ -storey bungalow with a two bay façade that is used for residential purposes. The main floor of the structure is constructed of brick while the upper storey is wood frame clad in vinyl siding. The house has a low side-gable roof which covers the deep verandah that extends across the main floor façade. The roof features large gable dormers on the north and south sides of the house.

1177 King Street East was historically located in the southern part of Lot 6, Concession II in Barton Township when the crown survey for the township was undertaken. By 1875, the lot had been transected in the southwest corner by King Street East. 1177 King Street East now falls on the portion of the lot that was listed to R.R. Gage in 1875. At that time, significant urban development had not yet reached this part of Barton Township and Lot 6, Concession II was likely still under use for agricultural purposes. No structures are illustrated on the portion of the lot on which the subject property now stands.

By the beginning of the 20th century, historical topographic mapping indicates that although urban development in Hamilton was expanding eastward, development was minimal east of Sherman Avenue South where the subject property is located. Only a few small structures are illustrated on Lot 6, Concession II.

A field review of the privately owned property at 1177 King Street East was undertaken on January 12, 2017 and February 3, 2017 by Michael Greguol and Emily Game of AECOM. An assessment was not completed on the interior of the structure due to the timing constraints for the TPAP Amendment.

The application of O.Reg. 9/06 and O.Reg. 10/06 concluded that 1177 King Street East does not meet O.Reg. 9/06 or O.Reg. 10/06, as it did not satisfy any of the nine criteria. Therefore, this CHERR recommends that the property at 1177 King Street East is not considered a Provincial Heritage Property (PHP).

2. Ontario Regulation 9/06 Evaluation

Ontario Regulation 9/06, Criteria for Determining Cultural Heritage Value or Interest (O. Reg. 9/06) provides criteria to apply to a potential heritage property to evaluate its heritage value. If a privately-owned property meets one or more of the following criteria it may be designated by a municipality under Section 29 of the *Ontario Heritage Act*. For the purposes of this CHER, O. Reg. 9/06 considers the evaluation of the property as part of the community context. The *Standards and Guidelines for the Conservation of Provincial Heritage Properties* state that a property may be considered a Provincial Heritage Property (PHP) if it meets one or more of the criteria under O. Reg. 9/06. The application of the criteria for 1177 King Street East is included in Table 2-1 below.

Table 2-1: O.Reg. 9/06 Evaluation for 1177 King Street East

Criterion	Response (Yes/No)	Rationale
1) The property has design or physical value because it:		
i) Is a rare, unique, representative, or early example of a style, type, expression, material, or construction method;	No	The structure located on the property at 1177 King Street East is a common example of an early/mid-20th century 1½-storey residential bungalow. This form is commonly found throughout Hamilton.
ii) Displays a high degree of craftsmanship or artistic merit; or	No	The property is of common design and does not display a high degree of craftsmanship or artistic merit.
iii) Demonstrates a high degree of technical or scientific achievement.	No	The property is a common residential structure and does not display a high degree of technical or scientific achievement.
2) The property has historic or associative value because it:		
i) Has direct associations with a theme, event, belief, person, activity, organization or institution that is significant to a community;	No	The historic research undertaken for this CHER did not identify any significant people, events, or organizations that are directly related to or associated with the property, and could contribute to the potential cultural heritage.
ii) Yields, or has the potential to yield information that contributes	No	The property does not have potential to yield information that

Criterion	Response (Yes/No)	Rationale
to an understanding of a community or culture; or		contributes to an understanding of a community or culture.
iii) Demonstrates or reflects the work or ideas of an architect, artist, builder, designer, or theorist who is significant to a community.	No	A specific architect or builder for the property could not be determined.
3) The property has <i>contextual value</i> because it:		
i) Is important in defining, maintaining, or supporting the character of an area;	No	The property at 1177 King Street East forms a component of the larger residential block on the north side of King Street East. However, it is not important in defining, maintaining, or supporting the character of an area.
ii) Is physically, functionally, visually, or historically linked to its surroundings; or	No	The building is one of a series of early 20th century buildings located along this portion of King Street East. Although it has been a part of the streetscape since 1925, it does not appear to be physically, functionally, visually, or historical linked to its surroundings.
iii) Is a landmark.	No	The property at 1177 King Street East is not considered a landmark.

3. Ontario Regulation 10/06 Evaluation

Ontario Regulation 10/06, *Criteria for Determining Cultural Heritage Value or Interest of Provincial Significance* (O. Reg. 10/06), provides criteria against which to assess a property to determine if the property holds provincial heritage significance. The *Standards and Guidelines for the Conservation of Provincial Heritage Properties* state that Ministries and prescribed public bodies shall apply the criteria in O. Reg. 10/06 to determine whether a property is of provincial significance. Therefore, for the purpose of this CHER O. Reg 10/06 considers the evaluation of the property as a part of the provincial context. If the property meets the criteria, it may be considered a Provincial Heritage Property of Provincial Significance (PHPPS). The application of the criteria for 1177 King Street East is in Table 3-1, below.

Table 3-1: O.Reg. 10/06 Evaluation for 1177 King Street East

Criterion	Response (Yes/No)	Rationale
1. The property represents or demonstrates a theme or pattern in Ontario's history.	No	1177 King Street East does not represent a theme or pattern in Ontario's history. Residential structures similar to this are found throughout towns and cities in Ontario.
2. The property yields, or had the potential to yield, information that contributes to an understanding of Ontario's history.	No	1177 King Street East does not yield, and is not anticipated to yield information that contributes to an understanding of Ontario's history.
3. The property demonstrates an uncommon, rare, or unique aspect of Ontario's cultural heritage.	No	1177 King Street East does not demonstrate an uncommon, rare, or unique aspect of Ontario's cultural heritage. The form and massing of the structures are commonly found in Ontario.
4. The property is of aesthetic, visual, or contextual importance to the province.	No	1177 King Street East property is not of aesthetic, visual, or contextual importance to the province.
5. The property demonstrates a high degree of excellence or creative, technical, or scientific achievement at a provincial level in a given period.	No	1177 King Street East does not demonstrate a high degree of excellence or creative, technical, or scientific achievement at a provincial level.

Criterion	Response (Yes/No)	Rationale
6. The property has a strong or special association with the entire province or with a community that is found in more than one part of the province.	No	1177 King Street East does not have a strong or special association with the entire province or with a community that is found in more than one part of the province.
7. The property has a strong or special association with the life or work of a person, group or organization of importance to the province or with an event of importance to the province.	No	1177 King Street East does not have strong or special associations with the life or work of a person, group, or organization of importance to the province or with an event of importance to the province.
8. The property is located in an unorganized territory and the Minister determines that there is a provincial interest in the protection of the property.	No	1177 King Street East is not located in an unorganized territory.

4. Recommended Outcome of Evaluation

The application of O.Reg 9/06 and O.Reg. 10/06 concluded that 1177 King Street East does not meet O.Reg. 9/06 or O.Reg. 10/06, as it did not satisfy any of the nine criteria. Therefore, this CHERR recommends that the property at 1177 King Street East is not considered a Provincial Heritage Property (PHP).

As a result, a Statement of Cultural Heritage Value or Interest and Heritage Attributes have not been prepared for this property.