



CITY OF HAMILTON - ST. MARKS COMMUNITY CENTRE PHASE 2 - ADAPTIVE RE-USE AND RESTORATION

115 HUNTER STREET WEST, HAMILTON, ON

PROJECT NO. 15 - 1091

LANDSCAPE
OMC
270 SHERMAN AVENUE NORTH
SUITE 315-MILL, HAMILTON, ON L8L 6N4
T 905-681-7604
F 905-681-2944

CIVIL, STRUCTURAL, MECHANICAL & ELECTRICAL
MANTECON PARTNERS
15 FOUNDRY STREET
DUNDAS, ONTARIO L9H 2V6
T 905-648-0373
F 905 648 6847

ARCHITECTURAL
ATA ARCHITECTS INC.
211 LAKSHORE ROAD EAST 360 DUFFERIN STREET, SUITE 103
OAKVILLE ONTARIO L6J 1H7 TORONTO ONTARIO M6K 1Z8
T 905-849-6986
F 905-849-4369

DRAWING LIST				
#	SHEET NAME	ISSUED FOR SPA	ISSUED FOR PERMIT	ISSUED FOR TENDER
ARCHITECTURAL DRAWINGS				
A000	COVERSHEET & DRAWING LIST	X		
A001	O&C MATRICES, NOTES + LEGEND	X [OPTIONAL]		
A002	SCHEDULES			
A003	SCHEDULES			
A100	SITE PLAN & KEYPLAN	X		
A200	OVERALL BASEMENT PLAN	X		
A210	GROUND FLOOR PLAN	X		
A211	ORIGINAL CHURCH - FLOOR PLAN			
A212	PHASE 2 ADDITION - FLOOR PLAN			
A215A	GROUND FLOOR FINISH PLAN - OPTION A			
A215B	GROUND FLOOR FINISH PLAN - OPTION B			
A220	ROOF PLAN			
A300	NEW ADDITION- NORTH & SOUTH ELEVATIONS	X		
A301	NEW ADDITION- EAST AND WEST ELEVATIONS	X		
A310	PRELIMINARY RENDERINGS	X		
A400	BUILDING SECTIONS			
A401	BUILDING SECTIONS			
A402	WALL SECTIONS			
A403	WALL SECTIONS			
A404	WALL SECTIONS			
A405	WALL SECTIONS			
A600	PLAN SECTION DETAILS			
A601	SECTION DETAILS			
A602	SECTION DETAILS			
A603	SECTION DETAILS			

SURVEY DRAWING				
16-M-10	CITY OF HAMILTON SURVEY - PUBLIC WORKS DIVISION (2016)	X		
62R-1327	CITY OF HAMILTON SURVEY - PART OF LOTS 2 & 3 REGISTERED PLAN 66			

CIVIL DRAWINGS				
C0.0	GENERAL NOTES	X		
C1.0	SITE SERVICING PLAN	X		
C2.0	SITE GRADING & SEDIMENT AND EROSION CONTROL PLAN	X		

STRUCTURAL DRAWINGS				
NA				

MECHANICAL DRAWINGS				
NA				

ELECTRICAL DRAWINGS				
NA				

LANDSCAPE DRAWINGS				
NA				

	SECTION HEAD	CJ	CONTROL JOINT
	CALLOUT HEAD	AL	ALUMINUM
	DOOR TAG	HM	HOLLOW METAL
	ENTRY ARROW	AN	ANODIZE
	FLOOR TAG	PT	PAINT
	GRID BUBBLE	FIN	FINISH
	LEVEL TAG	F.R.	FIRE RATING
	MATERIAL TAG	GWG	GEORGIAN WIRED GLASS
	ROOF TAG	TEMP	TEMPERED
	ROOM NAME TAG	WM	POSSIBLE WATER METER LOCATION
	WALL TAG	RWL	RAIN WATER LEADER
	WINDOW TAG		
	ELEVATION MARKER		

	ANNOTATION LEGEND
1 : 50	

GENERAL NOTES
1. ALL CONSTRUCTION TO MEET THE 2012 ONTARIO BUILDING CODE AND ALL APPLICABLE CODES.
2. INSPECT SITE CONDITIONS PRIOR TO QUOTING ON NEW WORK AND REPORT ANY DISCREPANCIES.
3. ENSURE THAT ALL CONSTRUCTION MATERIALS, METHODS OF INSTALLATION AND TEMPORARY BRACING, COMPLY WITH REQUIREMENTS OF ALL AUTHORITIES HAVING JURISDICTION.
4. SITE VERIFY ALL DIMENSIONS AND MAKE MODIFICATIONS TO SUIT EXISTING SITE CONDITIONS.
5. MAKE GOOD ALL AREAS DISTURBED OR DAMAGED DURING CONSTRUCTION WHETHER SHOWN ON DRAWINGS OR NOT.
6. THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ANY AND ALL STRUCTURAL, MECHANICAL, ELECTRICAL, SITE SERVICING AND LANDSCAPE DRAWINGS. REFER TO THESE DRAWINGS FOR EXACT LOCATION OF FINISHED FITTINGS COORDINATE STRUCTURAL, MECHANICAL ELECTRICAL & LANDSCAPE WORK TO ENSURE THAT THE PARTS OF THE WORK COME TOGETHER PROPERLY.
7. REPORT ALL CONTEMPLATED DEVIATIONS FROM THE DRAWINGS PRIOR TO MAKING CHANGES.
8. PROVIDE CUTTING, PATCHING AND REMEDIAL WORK IN ORDER TO ENSURE PARTS OF THE WORK COME TOGETHER PROPERLY.
9. ARRANGE FOR INSPECTIONS REQUIRED BY LOCAL BUILDING, PLUMBING, HYDRO, GAS, ETC., AUTHORITIES DURING CONSTRUCTION AND FOR OCCUPANCY.
10. PROVIDE STRAPPING FOR WALLS AND BLOCKING AS REQUIRED & AS DETAILLED.
11. DRAWINGS ARE NOT TO BE USED FOR CONSTRUCTION UNLESS LABELLED, "FOR CONSTRUCTION."

REVISION		
NUMBE	DAT	REMARK
02	2018 12 13	ISSUED FOR CoA TO CITY OF HAMILTON
01	2018 08 30	ISSUED FOR SITE PLAN APPROVAL

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SEAL



PROJECT
CITY OF HAMILTON
ST.MARK'S CHURCH
PHASE 2 RENOVATION
115 HUNTER STREET WEST,
HAMILTON, ON

DRAWING
COVERSHEET & DRAWING LIST

DRAWN
FN

SCALE
1 : 50

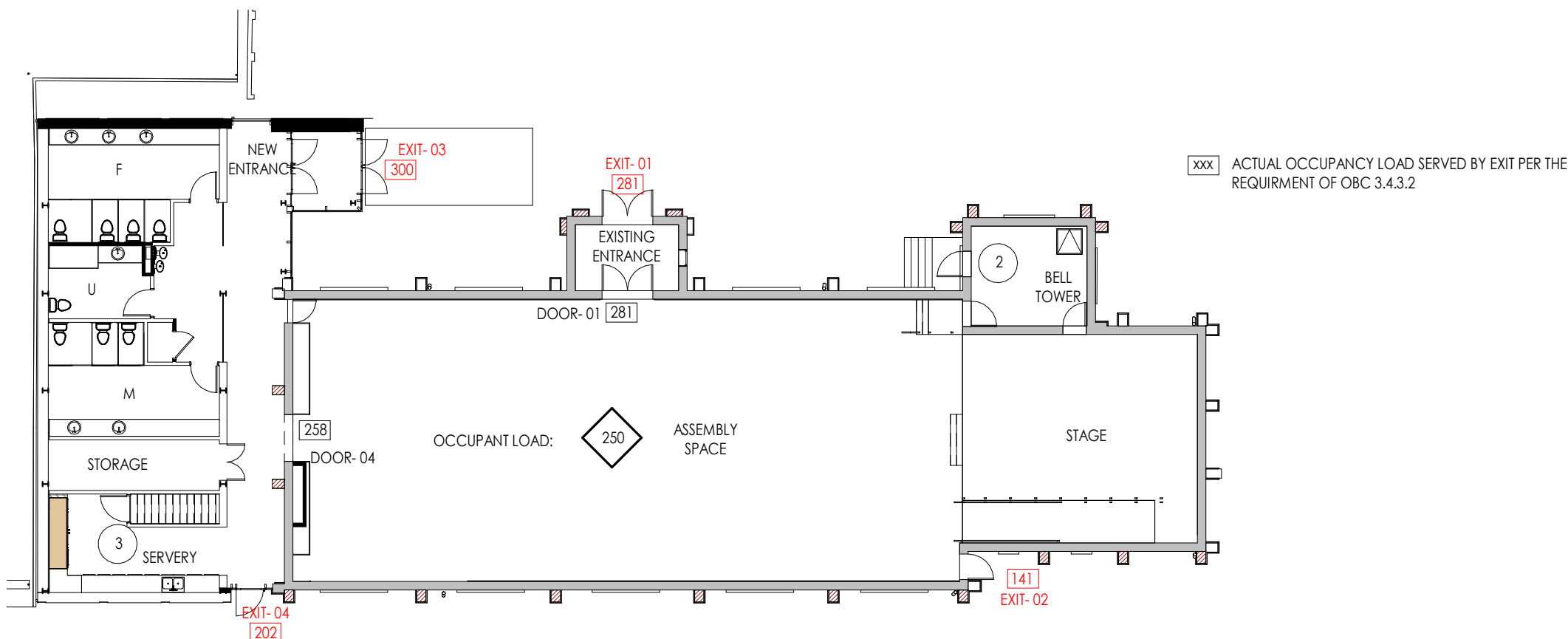
DAT
2017 03 06

CHECKED
MWB

PROJECT
15 - 1091

DRAWING

A000



2 OBC- RATIONAL FOR EXIT OCCUPANCY LOAD PER 3.4.3.2
A001 1 : 200

Item	Column 1 Number of Persons of Each Sex	Column 2 Minimum Number of Water Closets for Males	Column 3 Minimum Number of Water Closets for Females
1.	1 - 25	1	1
2.	26 - 50	1	2
3.	51 - 75	2	3
4.	76 - 100	2	4
6.	126 - 150	3	6
7.	151 - 175	4	7
8.	176 - 200	4	8
9.	201 - 250	5	9
10.	251 - 300	5	10
11.	301 - 350	6	11
12.	351 - 400	6	12
13.	Over 400	7 plus 1 for each additional increment of 200 males in excess of 400	13 plus 1 for each additional increment of 100 females in excess of 400

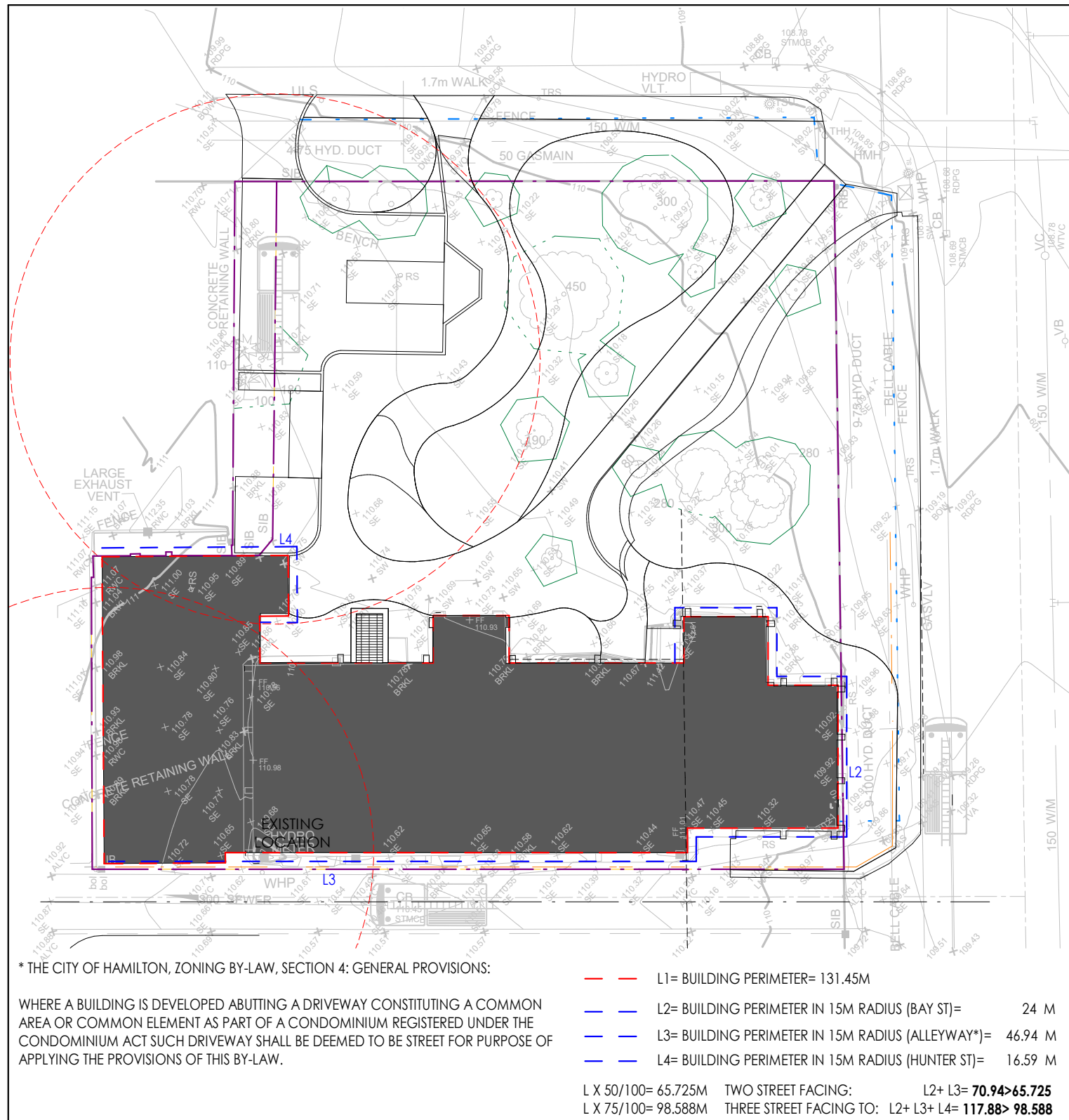
WASHROOM FACILITIES CALCULATION PER O.B.C. TABLE 3.7.4.3.A.

OCCUPANCY	TOTAL NO. OF OCCUPANTS	NO. OF FEMALE OCCUPANT	NO. OF WASHROOM FIXTURE REQUIRED FOR FEMALE	NO. OF MALE OCCUPANT	NO. OF WASHROOM FIXTURE REQUIRED FOR MALE
POSTED SIGN AT FRONT ENTRANCE TO RESTRICT MAX. OCCUPANCY AT 250	250	125	5 (4 WC + UNIVERSAL)	125	3 (3 WC)

AREAS NOT INCLUDED IN OCCUPANCY CALCULATION:
(NOT INCLUDING WASHROOMS, HORIZONTAL & VERTICAL CIRCULATION SPACES, M/E + SERVICES, STORAGE, and TOWER(L2+L3))

SYMBOL	DESCRIPTION
xxx m2	ROOM AREA PER SQUARE METRES
230	POSTED SIGN AT FRONT ENTRANCE TO RESTRICT MAX. OCCUPANCY AT 250
3	KITCHEN (SERV) ROOM OCCUPANT LOAD AT 9.30 m2 PER PERSON = 25/ 9.30 = 3
2	OFFICE (BELL TOWER) ROOM OCCUPANT LOAD AT 9.30 m2 PER PERSON = 19/ 9.30 = 2
443	SPACES WITH NON-FIXED SEATING ROOM OCCUPANT LOAD AT 0.75 m2 PER PERSON = 3325M / 0.75 = 443 NOT APPLICABLE
349	SPACES WITH NON-FIXED SEATS AND TABLES ROOM OCCUPANT LOAD AT 0.95 m2 PER PERSON = 332/ 0.95 = 349 NOT APPLICABLE
630	SPACES WITH STANDING ROOM OCCUPANT LOAD AT 0.40 m2 PER PERSON = 332/ 0.40 = 830 NOT APPLICABLE

2 GROUND LEVEL - OCCUPANT LOAD, WASHROOM FACILITIES CALCULATION AND RATIONAL FOR EXITING
A0.2 1 : 200



1 OBC- RATIONALE FOR FACING STREET PER 3.2.2.10 (4)
A001 1 : 300



3 UPO- EAST ELEVATION
A001 1 : 250

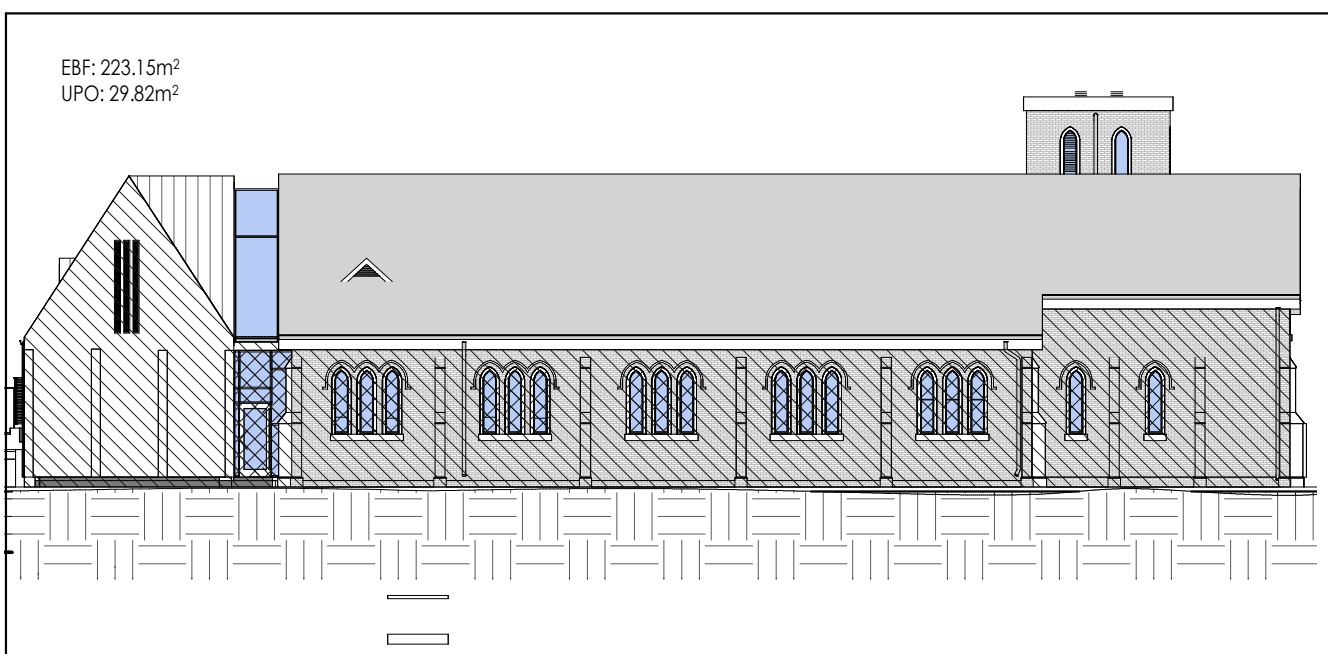


4 UPO- NORTH ELEVATION- PART 01
A001 1 : 250

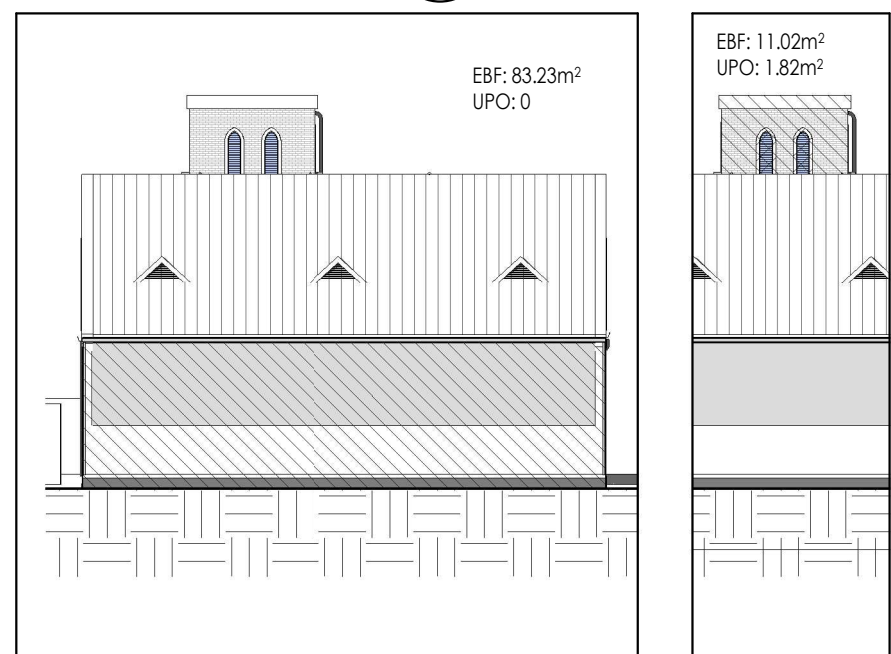


7 UPO- NORTH ELEVATION- PART 02
A001 1 : 250

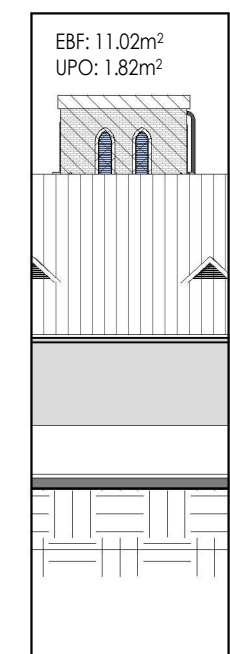
8 UPO- NORTH ELEVATION- PART 03
A001 1 : 250



5 UPO- SOUTH ELEVATION
A001 1 : 250



6 UPO- WEST ELEVATION- PART 01
A001 1 : 250



9 UPO- WEST ELEVATION- PART 02
A001 1 : 250

PROJECT SUMMARY:
THIS BUILDING PERMIT APPLICATION IS FOR THE **PHASE 1 RENOVATION** OF THE EXISTING **ST. MARK'S CHURCH** (1 STOREY + BASEMENT) DESIGNATED HERITAGE PROPERTY.
THE GOAL AT THE END OF THE PHASE 1 RENOVATION IS TO ENSURE: (a) ALL REQUIRED STRUCTURAL REPAIRS ARE COMPLETE, (b) ALL BASIC SERVICES (including: WATER SUPPLY, SANITARY, SWM, GAS, ELECTRICAL/HYDRO) ARE CONNECTED, (c) THE BUILDING HAS MINIMAL/SUFFICIENT HEATING & LIGHTING, and (D) THE MAJORITY (IF NOT ALL) OF THE RESTORATION WORK TO THE EXISTING BRICK (SOLID WALLS), WINDOWS AND DOORS ARE COMPLETED.
AT THE END OF PHASE 1 THERE WILL BE NO (PUBLIC) OCCUPANCY OF THE BUILDING - THE PROJECT WILL THEN MOVE FORWARD TO PHASE 2 FOLLOWED BY PHASE 3. PERMIT APPLICATION (AS WELL AS ANY MUNICIPAL REQUIREMENTS) WILL BE MADE FOR THESE FUTURE PHASES.

CONSULTANT:	ATA ARCHITECTS INC. 211 LAKESHORE ROAD OAKVILLE, ONTARIO L6J 1H7	340 DUFFERIN STREET, SUITE 103 TORONTO, ONTARIO M6K 1Z8
NAME OF PROJECT:	ST. MARK'S CHURCH - RENOVATION PHASE 1	
LOCATION:	115 HUNTER STREET WEST, HAMILTON, ONTARIO	
ITEM	ONTARIO'S 2012 BUILDING CODE DATA MATRIX - PART 11 - RENOVATION OF EXISTING BUILDING	OBC REFERENCE
11.1	EXISTING BUILDING CLASSIFICATION DESCRIBE EXISTING USE: <u>ASSEMBLY OCCUPANCY GROUP 2, DIVISION 2</u> CONSTRUCTION INDEX: <u>N/A</u> HAZARD INDEX: <u>N/A</u> <input checked="" type="checkbox"/> NOT APPLICABLE (NO CHANGE OF MAJOR OCCUPANCY)	11.2.1 11.2.1.1A 11.2.1.1B TO N
11.2	ALTERATION TO EXISTING BUILDING IS: BASIC RENOVATION <input checked="" type="checkbox"/> EXTENSIVE RENOVATION <input type="checkbox"/>	11.3.3.1 11.3.3.2
11.3	REDUCTION IN PERFORMANCE LEVEL STRUCTURAL BY INCREASE IN OCCUPANCY <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES BY CHANGE OF MAJOR OCCUPANCY <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES PLUMBING <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES SEWAGE SYSTEM <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES	11.4.2.1 11.4.2.2 11.4.2.3 11.4.2.4 11.4.2.5
11.4	COMPENSATING CONSTRUCTION: STRUCTURAL <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES (EXPLAIN) INCREASE IN OCCUPANT LOAD <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES (EXPLAIN) CHANGE OF MAJOR OCCUPANCY <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES (EXPLAIN) PLUMBING <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES (EXPLAIN) SEWAGE SYSTEM <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES (EXPLAIN)	11.4.3.2 11.4.3.3 11.4.3.4 11.4.3.5 11.4.3.6
11.5	COMPLIANCE ALTERNATIVES PROPOSED: <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES (EXPLAIN)	11.5.1
11.6	ALTERNATIVE MEASURES PROPOSED: <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES (EXPLAIN)	11.5.2

PROJECT SUMMARY:
THIS BUILDING PERMIT APPLICATION IS FOR THE **PHASE 2 RENOVATION** OF THE EXISTING **ST. MARK'S CHURCH** (1 STOREY + BASEMENT) DESIGNATED HERITAGE PROPERTY, WHICH IS AN ADDITION TO EXISTING BUILDING.

CONSULTANT:	ATA ARCHITECTS INC. 211 LAKESHORE ROAD OAKVILLE, ONTARIO L6J 1H7	
NAME OF PROJECT:	ST. MARK'S CHURCH - RENOVATION PHASE 2	
LOCATION:	115 HUNTER STREET WEST, HAMILTON, ONTARIO	
ITEM	ONTARIO'S 2012 BUILDING CODE DATA MATRIX PART 3 OR 9	OBC REFERENCE REFERENCES ARE TO DIVISION B UNLESS NOTED (A) FOR DIVISION A OR (C) FOR DIVISION C.
1	PROJECT DESCRIPTION: <input type="checkbox"/> CHANGE OF USE <input type="checkbox"/> NEW <input checked="" type="checkbox"/> ADDITION <input type="checkbox"/> ALTERATION	<input checked="" type="checkbox"/> PART 11 <input checked="" type="checkbox"/> PART 3 <input type="checkbox"/> PART 9 11.1 to 11.4 1.1.2[A] & 9.10.1.3
2	MAJOR OCCUPANCY(S)	3.1.2.1.(1) 9.10.2
3	BUILDING AREA (m2) TOTAL BUILDING 1 EXISTING 367.5 m2 NEW 162.6 m2 TOTAL 530.1 m2	1.4.1.2[A] 1.4.1.2[A]
4	GROSS AREA (m2) EXISTING L1: 334.9 m2 NEW L1: 0 m2 TOTAL 334.9 m2 EXISTING BELOW GRADE: 35.2 m2 NEW BELOW GRADE: 0 m2 TOTAL 35.2 m2	1.4.1.2[A] 1.4.1.2[A]
5	NUMBER OF STOREYS ABOVE GRADE: 1 BELOW GRADE: 1	1.4.2.1[A] & 3.2.1.1
6	NUMBER OF STREETS/FIRE FIGHTER ACCESS 3	3.2.2.10 & 3.2.5
7	BUILDING CLASSIFICATION GROUP A, DIVISION 2, 1 STOREY/ GROUP A, DIVISION 2, UP TO 2 STOREY	3.2.2.28 3.2.2.25
8	SPRINKLER SYSTEM PROPOSED <input type="checkbox"/> ENTIRE BUILDING <input type="checkbox"/> SELECTED COMPARTMENT <input type="checkbox"/> SELECTED FLOOR AREAS <input type="checkbox"/> BASEMENT <input type="checkbox"/> IN LIEU OF ROOF RATING <input checked="" type="checkbox"/> NOT REQUIRED	3.2.2.20-.83 3.2.1.5 3.2.2.17 INDEX
9	STANDPIPE - REQUIRED <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	3.2.9.1
10	FIRE ALARM REQUIRED <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	3.2.4 9.10.18
11	WATER SUPPLY IS ADEQUATE <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO	3.2.5.7 N/A
12	HIGH BUILDING <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	3.2.6 N/A
13	CONSTRUCTION RESTRICTIONS <input type="checkbox"/> COMBUSTIBLE PERMITTED <input type="checkbox"/> COMBUSTIBLE <input type="checkbox"/> NON-COMBUSTIBLE REQUIRED <input type="checkbox"/> NON-COMBUSTIBLE <input checked="" type="checkbox"/> BOTH	3.2.2.20-.83 9.10.6
15	OCCUPANT LOAD BASED ON DESIGN OF BUILDING (REFER TO 2 / A0.2)	3.1.1.7.1 9.9.1.3
16	BARRIER-FREE DESIGN <input checked="" type="checkbox"/> YES <input checked="" type="checkbox"/> NO (EXPLAIN) (AT END OF PHASE 3) (AT END OF PHASE 1)	3.8 3.3.1.2 & 3.3.1.19
17	HAZARDOUS SUBSTANCES <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	9.10.1.3[4]
18	REQUIRED FIRE RESISTANCE RATING HORIZONTAL ASSEMBLIES FRR (HOURS) FLOOR <u>0</u> HOUR - ROOF <u>0</u> HOUR - MEZZANINE <u>N/A</u> HOUR - FRR OF SUPPORTING MEMBERS FLOOR <u>0</u> HOUR - ROOF <u>0</u> HOUR - MEZZANINE <u>N/A</u> HOUR - LISTED DESIGN NO. OR DESCRIPTION (SG-2) LISTED DESIGN NO. OR DESCRIPTION (SG-2)	3.2.2.20-.83 8.3.2.1.4 9.10.8 9.10.9
19	SPATIAL SEPARATION TYPICAL UNIT WALL (SEE PLAN) AREA OF EBF (M2) LD (M) U.P.O. (M2) PROPOSED % U.P.O. OBC TABLE 3.2.3.1.C. FRR (HOURS)	3.2.3. 9.10.14.
NORTH WALL- PART 01		189.87 32.6 27.09 EXISTING N/A N/A
NORTH WALL- PART 02		20.75 6.2 11.12 2.5 100 -
NORTH WALL- PART 03		50.56 0 0 0 -
SOUTH WALL		223.15 2.5 67.82 13.8 N/A N/A
EAST WALL		149.20 10.41 29.88 16.3 N/A N/A
WEST WALL- PART 01		83.23 0.5 0 0 N/A N/A
WEST WALL- PART 02		11.02 33 1.82 EXISTING N/A N/A

NOTE:
EXCAVATING OF THE EXISTING FOUNDATION WALL NEEDS TO BE PERFORM IN SHORT, DISCRETE SECTIONS, TYPICALLY FOR STONE AND RUBBLE FOUNDATION WALLS POSSIBLY 3' LENGTHS. THE WHOLE PROCESS NEEDS TO BE DONE IN A SAFE AND CONTROLLED MANNER WITHOUT CAUSING ANY SIGNIFICANT SHIFTING OR SETTLEMENT OF THE ORIGINAL BUILDING STRUCTURE.

REVISION

NUMBE	DAT	REMARK
02	2018 12 13	ISSUED FOR CoA TO CITY OF HAMILTON
01	2018 08 30	ISSUED FOR SITE PLAN APPROVAL

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SEPLS



PROJECT

CITY OF HAMILTON
ST. MARK'S CHURCH
PHASE 2 RENOVATION
115 HUNTER STREET WEST,
HAMILTON, ON

DRAWING

OBC MATRICES, NOTES + LEGEND

DRAWN

FN

SCALE

As indicated

DAT

2017 03 06

CHECKED

MWB

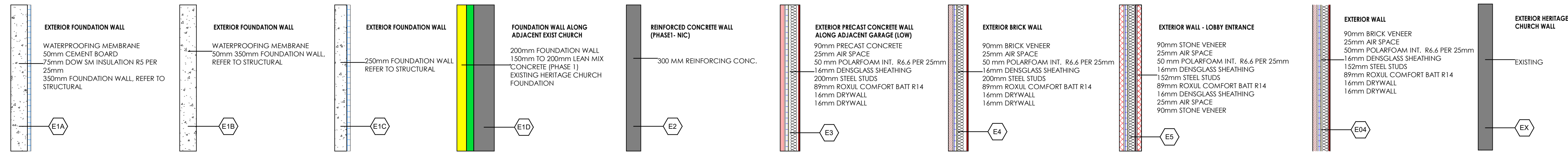
PROJECT

15 - 1091

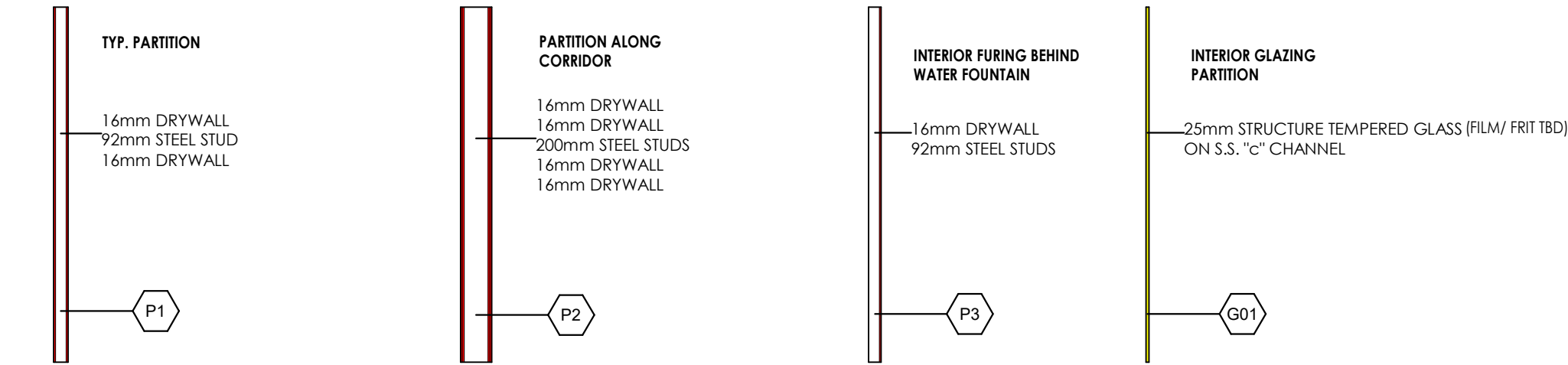
DRAWING

A001

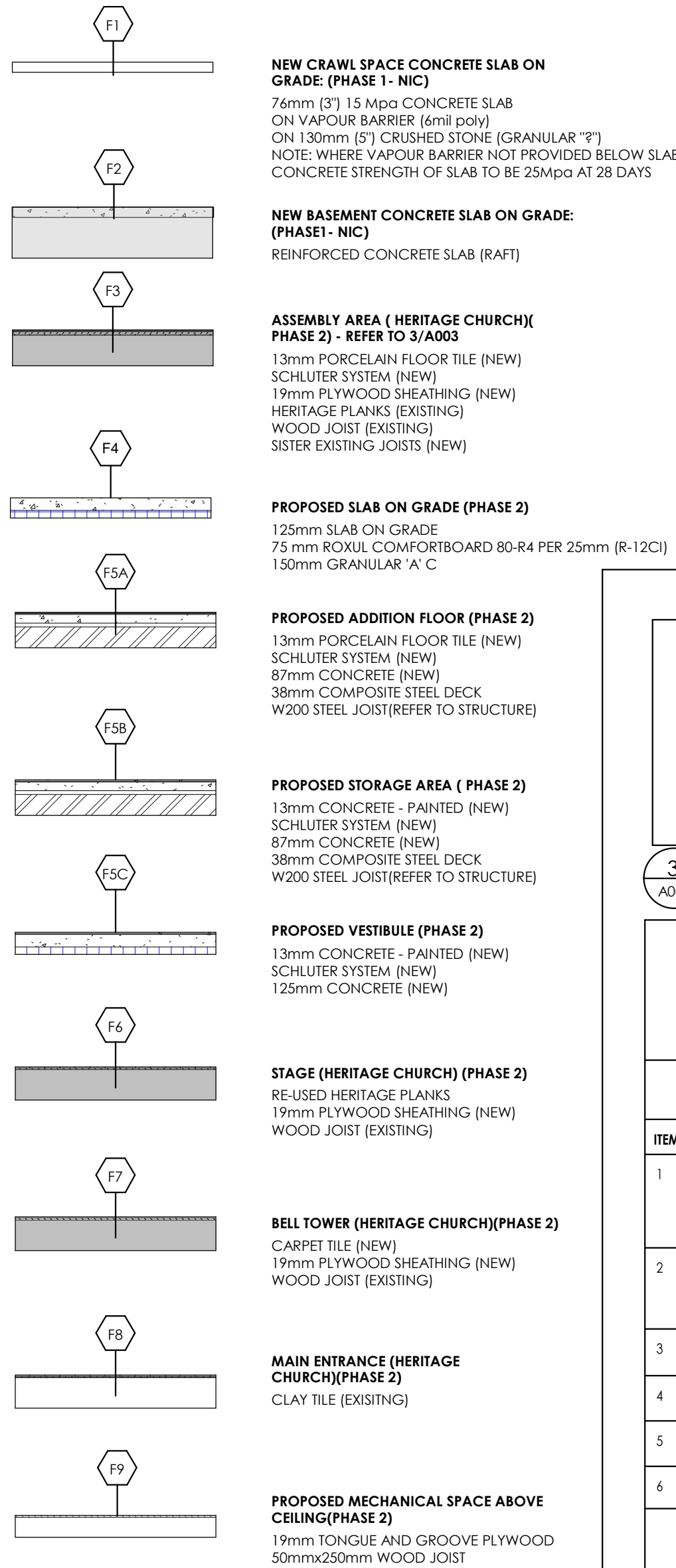
EXTERIOR WALL ASSEMBLIES



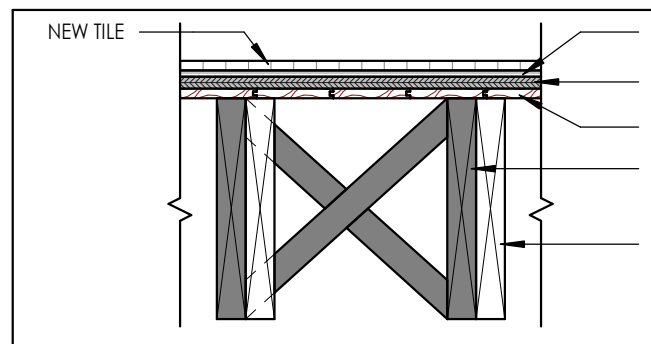
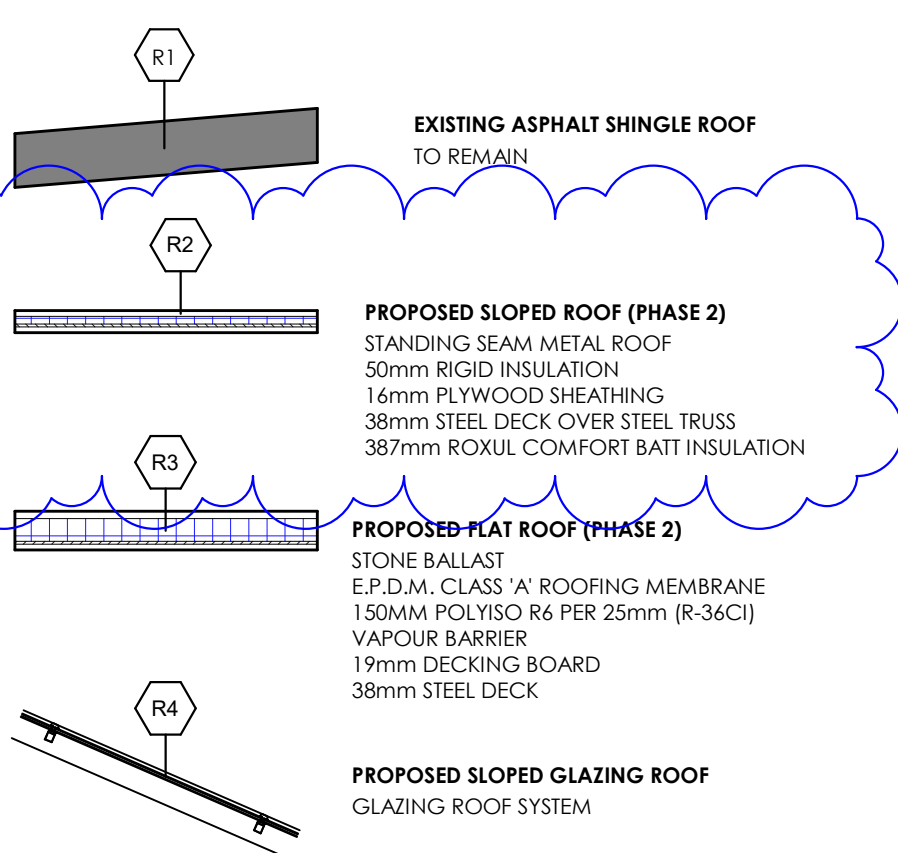
INTERIOR WALL PARTITIONS



FLOOR ASSEMBLIES:



ROOF ASSEMBLIES:

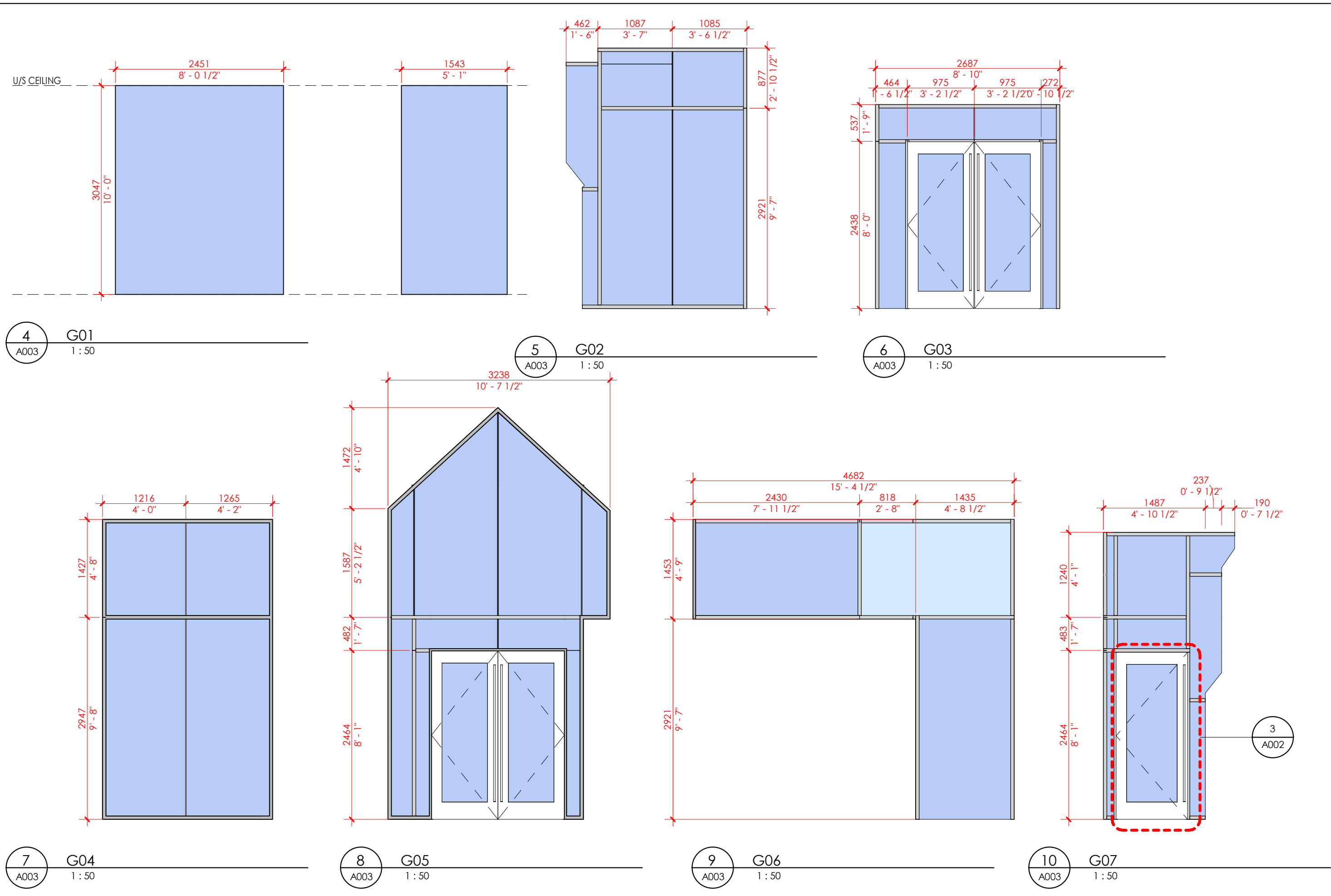


3 A003 1 : 10 F3: FLOORING IN ASSEMBLY AREA

CONSULTANT:		ATA ARCHITECTS INC. 211 LAKESHORE ROAD EAST OAKVILLE, ONTARIO L6J 1H7				
NAME OF PROJECT:		ST. MARKS CHURCH - RENOVATION PHASE 2				
LOCATION:		115 HUNTER STREET WEST, HAMILTON, ONTARIO				
ONTARIO'S 2012 BUILDING CODE SB-10 - TABLE SB5.5-5 - CLIMATE ZONE 5						
ITEM	BUILDING ENVELOPE ELEMENT		REQUIRED BY SB-10		PROPOSED	
1	ROOF	INSULATION ENTIRELY ABOVE DECK	R-35.0 ci		230 mm TOPROCK DD R3.8 PER 25mm (THEREFORE R= 35 ci)	
		ATTIC AND OTHER	R-40		184mm + 203mm COMFORTBATT R28+R32 (THEREFORE R= 40)	
2	WALLS ABOVE GRADE	STEEL FRAMED	R-13 + R-12 ci		89 mm ROXUL COMFORT BATT R14 FOR STEEL STUDS (THEREFORE R-14) + 50 mm POLARFOAM INT. R6.6 PER 25mm (THEREFORE R-13.2 ci)	
3	WALLS BELOW GRADE	BELOW GRADE WALL	R-15 ci		75 mm DOW SM INSULATION R5 PER 25mm (THEREFORE R-15 ci)	
4	FLOOR	MASS	R-16.4 ci		100 mm DOW SM INSULATION R5 PER 25mm (THEREFORE R-20 ci)	
5	SLAB-ON-GRADE	HEATED	R-10 FULL SLAB		75 mm ROXUL COMFORTBOARD 80 R4 PER 25mm (THEREFORE R-12)	
6	OPAQUE DOORS	SWINGING	U-0.45		U-0.45	
FENESTRATION		ASSEMBLY	REQUIRED BY SB-10		PROPOSED	
		MAX. U-VALUE	MAX. SHGC	MIN. VT/SHGC	SHGC	VT/SHGC
6	VERT. FENESTRATION- 0%- 40% OF WALL	METAL FRAMING: FIXED	0.40	1.10	0.40	1.10
		METAL FRAMING: OPERABLE	0.40	1.10	0.40	1.10
		METAL FRAMING: ENTRANCE	0.40	1.10	0.40	1.10
7	SKYLIGHT- 0%- 3% OF ROOF	ALL TYPES	0.40	NR	N/A	N/A
NOTE: ALL ASSEMBLY DESIGNS MUST MEET SB-10						
TOTAL E.B.F.: m ² TOTAL GLAZED AREA: m ² GLAZING: %						

OBC - SB-10 1 : 10

1 A003 1 : 50 WALL ASSEMBLIES - PHASE 2



7 A003 1 : 50 G04

8 A003 1 : 50 G05

9 A003 1 : 50 G06

10 A003 1 : 50 G07

2 A003 1 : 50 FLOOR AND ROOF ASSEMBLIES - PHASE 2

PRELIMINARY

REVISIONS

NUMBER	DATE	REMARKS
02	2018 12 13	ISSUED FOR COIA TO CITY OF HAMILTON
01	2018 08 30	ISSUED FOR SITE PLAN APPROVAL

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SEALS

PROJECT TITLE

CITY OF HAMILTON
ST. MARK'S CHURCH
PHASE 2 RENOVATION
115 HUNTER STREET WEST,
HAMILTON, ON

DRAWING TITLE

SCHEDULES

DRAWN BY

Author

SCALE

As indicated

DATE

2017 03 06

CHECKED BY

Checker

PROJECT NUMBER

15 - 1091

DRAWING NUMBER

A003

FILE NO. SPA-18-169

UNDERTAKING
RE: 115 HUNTER ST W (FORMERLY 130 BAY ST S)

I, (WE) _____ THE OWNER(S) OF THE LAND,
HEREBY UNDERTAKE AND AGREE WITHOUT RESERVATION,
(A) TO COMPLY WITH ALL THE CONTENT OF THIS PLAN AND DRAWING AND NOT TO VARY THEREFROM;
(B) TO PERFORM THE FACILITIES, WORKS OR MATTERS MENTIONED IN SECTION 41(7)(A) OF THE PLANNING ACT SHOWN ON THIS PLAN AND DRAWING(S) IN ACCORDANCE WITH THE CONDITIONS OF APPROVAL AS SET OUT IN THE LETTER OF APPROVAL DATED _____;
(C) TO MAINTAIN TO THE SATISFACTION OF THE CITY AND AT MY (OUR) SOLE RISK AND EXPENSE, ALL OF THE FACILITIES, WORKS OR MATTERS MENTIONED IN SECTION 41(7)(B) OF THE SAID ACT, SHOWN IN THIS PLAN AND DRAWING, INCLUDING REMOVAL OF SNOW FROM ACCESS RAMPS AND DRIVEWAYS, PARKING AND LOADING AREAS AND WALKWAYS; AND,
(D) IN THE EVENT THAT THE OWNER DOES NOT COMPLY WITH THE PLAN DATED _____, THE OWNER AGREES THAT THE CITY MAY ENTER THE LAND AND DO THE REQUIRED WORKS, AND FURTHER THE OWNER AUTHORIZES THE CITY TO USE THE SECURITY FILED TO OBTAIN COMPLIANCE WITH THIS SITE PLAN.
(E) CAUTION: NOTWITHSTANDING CURRENT SURFACE CONDITIONS, THE PROPERTY HAS BEEN DETERMINED TO BE AN AREA OF ARCHAEOLOGICAL POTENTIAL, ALTHOUGH AN ARCHAEOLOGICAL ASSESSMENT IS NOT REQUIRED BY THE CITY OF HAMILTON. THE PROPONENT IS CAUTIONED THAT DURING DEVELOPMENT ACTIVITIES, SHOULD DEEPLY BURIED ARCHAEOLOGICAL MATERIALS BE FOUND ON THE PROPERTY THE ONTARIO MINISTRY OF TOURISM, CULTURE AND SPORT (MTCOS) SHOULD BE NOTIFIED IMMEDIATELY (416.314.7143). IN THE EVENT THAT HUMAN REMAINS ARE ENCOUNTERED DURING CONSTRUCTION, THE PROPONENT SHOULD IMMEDIATELY CONTACT BOTH MTCOS AND REGISTRAR OR DEPUTY REGISTRAR OF THE CEMETERIES REGULATION UNIT OF THE MINISTRY OF SMALL BUSINESS AND CONSUMER SERVICES (416.326.8392).
(F) THAT THE OWNER AGREES TO AFFIX THE PHYSICAL MUNICIPAL NUMBER (115) TO THE BUILDING IN A MANNER THAT IS VISIBLE FROM THE STREET, OR A SIGN NEAR THE FRONT ENTRANCE WITH EITHER THE MUNICIPAL NUMBER (115) OR FULL ADDRESS (115 HUNTER STREET WEST).

DATED THIS _____ DAY OF _____ 20____

WITNESS (SIGNATURE) _____ OWNER(S) SIGNATURE _____
WITNESS (SIGNATURE) _____ OWNER(S) SIGNATURE _____
ADDRESS OF WITNESS _____

CART DIMENSIONS - PER CITY OF HAMILTON - WASTE COLLECTION DESIGN REQUIREMENTS FOR NEW DEVELOPMENT AND REDEVELOPMENTS - APPENDIX 2 - FINAL DESIGN FOR SHED STILL TO BE DETERMINED

BUILDING "B" - STORAGE SHED

FRONT SETBACK: 11.9m (39'1")
EAST SETBACK: 31.07m (101.55')
WEST SETBACK: 0.41m (1.45')
REAR SETBACK: 21.92m (72.23')

BICYCLE STORAGE (6 TOTAL)

RIVER ROCK

OUTLINE OF PROPOSED ADDITION

EXISTING TREE

REMOVE AND SALVAGE OF PORTION OF EXISTING FENCE

NEW CURB

CONCRETE SURFACE

LINE OF EXISTING PRECAST WALL

BOXWOOD HEDGE

SITE WORK STORAGE

ADDITION ENTRANCE

BUILDING "A" PROPOSED PHASE 2 ADDITION 1 LEVEL

EXISTING DESIGNATED HERITAGE CHURCH 1 LEVEL

DOWN SPOUT

EXISTING HYDRO METER

RE-LOCATION OF PORTION OF FENCE AS PROPOSED

DIST. FROM STREET CENTRE LINE

RE-INSTATE ADDITIONAL WROUGHT IRON FENCE FROM HUNTER ST.

WORKING DRAWINGS IN PROGRESS

2 Site
A100 1:125

NOTES

- ALL WORK INVOLVED IN THE CONSTRUCTION, RELOCATION, REPAIR OF MUNICIPAL SERVICES FOR THE PROJECT SHALL BE TO THE SATISFACTION OF THE DIRECTOR OF PLANNING AND CHIEF PLANNER, PLANNING AND ECONOMIC DEVELOPMENT DEPARTMENT.
- FIRE ROUTE SIGNS AND 3-WAY FIRE HYDRANTS SHALL BE ESTABLISHED TO THE SATISFACTION OF THE CITY FIRE DEPARTMENT AND AT THE EXPENSE OF THE OWNER. MAIN DRIVEWAY DIMENSIONS AT THE PROPERTY LINE BOUNDARIES ARE PLUS OR MINUS 7.5 M UNLESS OTHERWISE STATED.
- ALL DRIVEWAYS FROM PROPERTY LINES FOR THE FIRST 7.5 M SHALL BE WITHIN 5% MAXIMUM GRADE. THEREAFTER, ALL DRIVEWAYS SHALL BE WITHIN 10% MAXIMUM GRADES.
- THE APPROVAL OF THIS PLAN DOES NOT EXEMPT THE OWNER'S BONDED CONTRACTOR FROM THE REQUIREMENTS TO OBTAIN THE VARIOUS PERMITS/APPROVALS NORMALLY REQUIRED TO COMPLETE A CONSTRUCTION PROJECT, SUCH AS, BUT NOT LIMITED TO THE FOLLOWING:
 - BUILDING PERMIT
 - SEWER AND WATER PERMITS
 - ROAD CUT PERMITS
 - RELOCATION OF SERVICES
 - APPROACH APPROVAL PERMITS
 - ENCROACHMENT AGREEMENTS (IF REQUIRED)
 - COMMITMENTS OF ADJUSTMENT
- ABANDONED ACCESSES MUST BE REMOVED AND THE CURB AND BOULEVARD RESTORED WITH SOD AT THE OWNER'S EXPENSE TO THE SATISFACTION OF THE TRAFFIC ENGINEERING SECTION, PUBLIC WORKS DEPARTMENT.
- FOR VISIBILITY TRIANGLES AT THE VEHICULAR ACCESS POINTS, THE FOLLOWING NOTE TO BE PROVIDED:
"5.0 METRE BY 5.0 METRE VISIBILITY TRIANGLES IN WHICH THE MAXIMUM HEIGHT OF ANY OBJECTS OR MATURE VEGETATION IS NOT TO EXCEED A HEIGHT OF 0.70 METRES ABOVE THE CORRESPONDING PERPENDICULAR CENTRELINE ELEVATION OF THE ADJACENT STREET."
- ALL SIGNS MUST COMPLY WITH SIGN BY-LAW NO. 10-119.
- ALL FENCES MUST COMPLY WITH FENCE BY-LAW NO. 10-142.
- A MINIMUM OF 12 M SEPARATION MUST BE PROVIDED WITHIN THE CITY'S ROAD ALLOWANCE AREA BETWEEN DRIVEWAYS, A FENCE AND ANY POLE, UTILITY, FIRE HYDRANT, TREE, SIGN, ETC. ANY COSTS FOR TRAFFIC SIGN OR UTILITY RELOCATION ARE THE SOLE RESPONSIBILITY OF THE APPLICANT/OWNER.
- THIS DEVELOPMENT IS ELIGIBLE FOR MUNICIPAL WASTE COLLECTION SERVICE SUBJECT TO MEETING THE CITY'S REQUIREMENTS.
- UNION GAS
- UNION GAS HAS SERVICE LINES RUNNING WITHIN THE AREA WHICH MAY NOT BE AFFECTED BY DEVELOPMENT. SHOULD THE SITE PLAN IMPACT THE SERVICES IT MAY BE NECESSARY TO RELOCATE THE LINES. ANY SERVICE RELOCATION WOULD BE AT THE COST OF THE PROPERTY OWNER.

L1= BUILDING PERIMETER= 131.45M
L X 50/100= 65.725M
L X 75/100= 98.588M

L2= BUILDING PERIMETER IN 15M RADIUS (BAY ST)= 24 M
L3= BUILDING PERIMETER IN 15M RADIUS (ALLEYWAY)= 46.94 M
L4= BUILDING PERIMETER IN 15M RADIUS (HUNTER ST)= 16.59 M

TWO STREET FACING: L2+ L3= 70.90+65.725
THREE STREET FACING TO: L2+ L3+ L4= 117.88+ 98.588

* THE CITY OF HAMILTON, ZONING BY-LAW, SECTION 4: GENERAL PROVISIONS:

WHERE A BUILDING IS DEVELOPED ADJUTING A DRIVEWAY CONSTITUTING A COMMON AREA A COMMON ELEVANT AS PART OF A CONDOMINIUM REGISTERED UNDER THE CONDOMINIUM ACT SUCH DRIVEWAY SHALL BE DEEMED TO BE STREET FOR PURPOSE OF APPLYING THE PROVISIONS OF THIS BY-LAW.

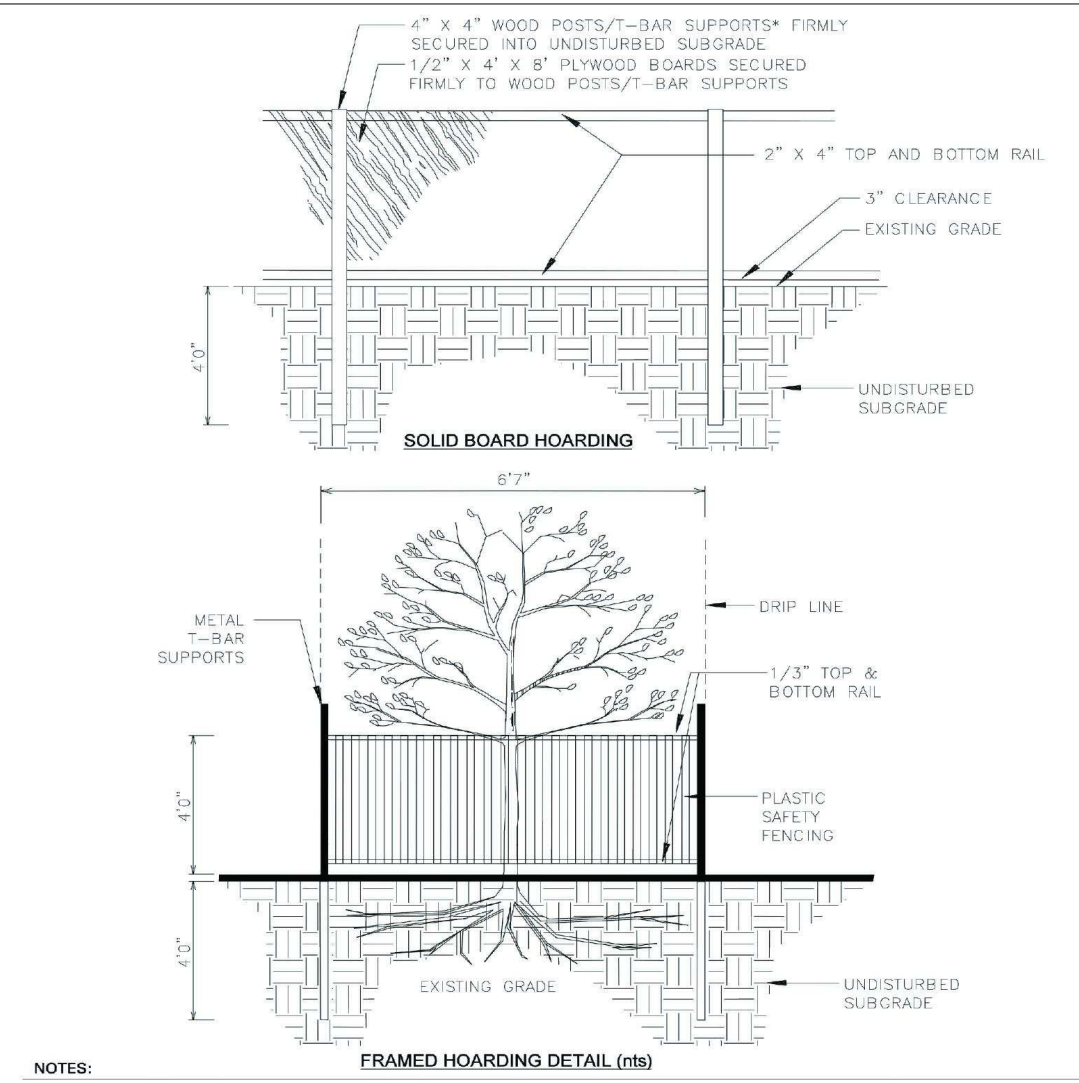
OBC- RATIONAL FOR STREET FACING PER 3.2.2.10

TREE PROTECTION RECOMMENDATIONS:

- INSTALL HOARDING FOR SUBSEQUENT MUNICIPAL REVIEW/APPROVAL.
- HOARDING MAY BE MOVED TEMPORARILY TO PROVIDE ACCESS FROM PROTECTED AREAS TO AVOID PULLING AND BREAKING OF ROOTS OF TREES TO REMAIN.
- PRUNING, IF REQUIRED, SHOULD BE DONE PRIOR TO CONSTRUCTION AND IN ACCORDANCE WITH CURRENT ARBORICULTURAL PRACTICES.
- STORAGE OF ANY MATERIALS, FILL, VEHICLES/EQUIPMENT, AND DISPOSAL OF LIQUIDS IS NOT PERMITTED WITHIN 1M OF PROTECTED AREAS.
- EXCAVATION IN CLOSE PROXIMITY TO PROTECTED AREAS ARE TO BE UNDERTAKEN WITH A CERTIFIED ARBORIST PRESENT.
- ROOTS ENCOUNTERED DUE TO EXCAVATION ARE TO BE CUT WITH A CLEAN SHARP BLADE.
- TEARING AND BIPPING OF ROOTS IS NOT PERMITTED.
- HYDROVACUING IS RECOMMENDED AS THE PREFERRED METHOD FOR EXCAVATION WITHIN 1M OF PROTECTED AREAS.
- EXPOSED ROOTS ARE TO BE COVERED IMMEDIATELY WITH MULCH OR TOPSOIL AND WATERED THOROUGHLY. A LIGHT COLOURED TARPULIN MAY ALSO BE USED TO PREVENT FOOT DESICCATION.
- DEEP ROOT FERTILIZE (3-11) FOLLOWING BACKFILLING.
- TREES SHOULD BE RE-ASSESSED PERIODICALLY IN ORDER TO MAINTAIN AN UP TO DATE UNDERSTANDING OF HEALTH AND STRUCTURE.

3 TREE PROTECTION NOTES

A100 1:10



NOTES:

- HOARDING DETAILS TO BE DETERMINED FOLLOWING INITIAL SITE INSPECTION.
- HOARDING TO BE APPROVED BY DEVELOPMENT AND DESIGN.
- HOARDING MUST BE SUPPLIED, INSTALLED AND MAINTAINED BY THE APPLICANT THROUGHOUT ALL PHASES OF CONSTRUCTION, UNTIL APPROVAL TO REMOVE HOARDING IS OBTAINED FROM DEVELOPMENT AND DESIGN.
- DO NOT ALLOW WATER TO COLLECT AND FLOOD EXPOSURE OF WITHIN HOARDING.
- T-BAR SUPPORTS FOR SOLID HOARDING WILL ONLY BE ALLOWED WITH PRE-APPROVAL FROM DEVELOPMENT AND DESIGN.

1 TREE PROTECTION DETAIL

A100 1:125

SITE STATISTICS

SITE LOCATION	115 Hunter St W, Hamilton, ON L8P 3H5 (Formerly, 130 Bay St S)
LOCATION OF APPLICATION	HAMILTON, ON
DESCRIPTION	ST. MARK'S CHURCH PHASE 2 RENOVATION ADAPTIVE RE-USE + RESTORATION TO COMMUNITY CENTRE
WARD	2
PROPOSED LAND USE	COMMUNITY CENTRE
ZONING CLASSIFICATION	THE CURRENT ZONING: A/S1443 (PARK ZONE & PLACE OF WORSHIP/OFFICE) DOWNTOWN COMMERCIAL ZONE/NEIGHBOURHOOD PARK ZONE D4/P1

PROPERTY
NOTE: BUILDING "A" REFERS TO THE DESIGNATED HERITAGE CHURCH + PROPOSED PH2 ADDITION
BUILDING "B" REFERS TO STORAGE SHED

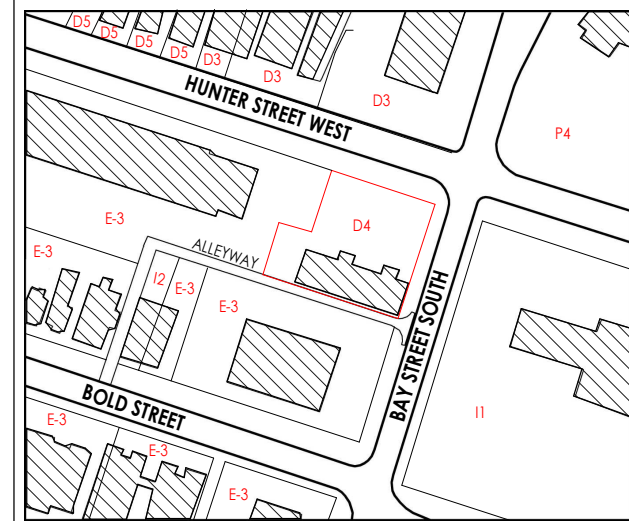
DETAILS OF DEVELOPMENT	REQUIRED/ PERMITTED	PROVIDED
TOTAL LOT		
LOT AREA	N/A	1475.6 sqm (15883 sqft)
LOT FRONTAGE MAX.	N/A	HUNTER ST W 33.8 m (110.9 ft)
FRONT YARD MAX. DEPTH	2.0 M FOR FIRST STOREY	FROM HUNTER ST W BUILDING "A"- EXISTING 24.052 m (78.9 ft) BUILDING "A"- PH2 ADDITION 21.15 m (69.4 ft) BUILDING "B" 11.90 m (39.0 ft)
SIDE YARD DEPTH	N/A	EAST SIDE FROM BAY ST S BUILDING "A"- EXISTING -0.18 m (-0.6 ft) BUILDING "A" + PH2 ADDITION -0.18 m (-0.6 ft) BUILDING "B" 31.07 m (101.95 ft) 4.5m WEST SIDE FROM WEST SIDE BUILDING "A"- EXISTING 8.65 m (28.45 ft) BUILDING "A" + PH2 ADDITION 0.14 m (0.5 ft) BUILDING "B" 0.41 m (1.45 ft)
REAR YARD DEPTH	10.5m	FROM ALLEYWAY BUILDING "A"- EXISTING 0.364 m (1.19 ft) BUILDING "A" + PH2 ADDITION 0.313 m (1.03 ft) BUILDING "B" 21.92 m (71.9 ft)
HARD LANDSCAPE (SIDEWALKS, CURBS, ASPHALT)	N/A	365.6 sqm (3935.3 sqft) 24.8%
SOFT LANDSCAPE (GREEN)	N/A	566.7 sqm (6100sqft) 38.4 %
BUILDING		
BUILDING AREA (FOOTPRINT)	N/A	BUILDING "A" 530.5 sqm (5710 sqft)- 35.9% BUILDING "B" 12.8 sqm (137.8 sqft)- 0.9% TOTAL 543.3 sqm (5848.0 SQFT)- 36.8%
GROSS FLOOR AREA	N/A	L1- BUILDING "A"- EXISTING 334.9 sqm (3605 sqft) L1- BUILDING "A"+PH2 ADDITION 35.2 sqm (379 sqft) L1- TOTAL 370.1 sqm (3984 sqft) L1- BUILDING "B" 0 L0- BUILDING "A"- EXISTING 0 sqm (0 sqft) L0- BUILDING "A"+PH2 ADDITION 0 sqm (0 sqft) L0- TOTAL 0 sqm (0 sqft) L0- BUILDING "B" 0 sqm (0 sqft)
FLOOR AREA	N/A	L1- BUILDING "A"- EXISTING 367.5 sqm (3956 sqft) L1- BUILDING "A" + PH2 ADDITION 163.0 sqm (1754.5 sqft) L1- TOTAL 530.5 sqm (5706.0 sqft) L1- BUILDING "B" 12.8 sqm (137.8 sqft) L0- BUILDING "A"- EXISTING(FULL) 168 sqm (1808 sqft) 186.3 L0- BUILDING "A"- EXISTING(CRAWL) sqm (2005 sqft) L0- BUILDING "A" + PH2 ADDITION(FULL) 96.4 sqm (1038 sqft) L0- BUILDING "A" + PH2 ADDITION(CRAWL) 61.7 sqm (664 sqft) L0- TOTAL 264.4 sqm (2846 sqft) 0 L0- BUILDING "B" 0
LOT COVERAGE MAX.	N/A	36.8%
BUILDING HEIGHT MIN.	7.5 M ALONG STREET LINE	BUILDING "A" 10.0 m (32.8 ft) T/O EXISTING TOWER 12.45m (40.8ft) BUILDING "B" STORAGE SHED WILL NOT EXCEED 4.0m IN HEIGHT AS PER SECTION 18(4) (ii) OF HAMILTON ZONING BY-LAW 6593
NO. OF STOREYS	N/A	1 ABOVE GRADE
PARKING	N/A	2 NEW TEMPORARY PARKING SPACES (1 BARRIER FREE + 1 REGULAR) + NEW DRIVEWAY
BICYCLE	N/A	6 BICYCLE STORAGE SPACES

GENERAL NOTE:

LANDSCAPE SHOWN IS PRELIMINARY.
LANDSCAPE PLAN WILL BE SUBMITTED AT LATER DATE

ALECTRA UTILITIES

- RELOCATION, MODIFICATION, OR REMOVAL OF ANY EXISTING HYDRO FACILITIES, SHALL BE AT THE OWNERS EXPENSE.
- DO NOT EXCAVATE WITHIN 2 M OF HYDRO POLE OR ANCHORS.
- EXCAVATION WITHIN 1 M OF UNDERGROUND HYDRO PLANT IS NOT PERMITTED UNLESS APPROVAL IS GRANTED BY AN ALECTRA UTILITIES REPRESENTATIVE AND IS PRESENT TO PROVIDE DIRECT SUPERVISION. COST ASSOCIATED WITH THIS TASK SHALL BE AT THE OWNER'S EXPENSE.
- ALECTRA UTILITIES MUST BE CONTACTED IF REMOVAL, ISOLATION OR RELOCATION OF EXISTING PLANT IS REQUIRED, ALL COST ASSOCIATED WITH THIS WORK WILL BE AT THE OWNERS EXPENSE.



SITE PLAN - KEY PLAN

1:1



REVISION

NUMBE	DAT	REMARK
02	2018 12 13	ISSUED FOR COA TO CITY OF HAMILTON
01	2018 08 30	ISSUED FOR SITE PLAN APPROVAL

CONTRACTOR IS TO CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON THE PROJECT AND REPORT ANY DISCREPANCIES TO THE ARCHITECT BEFORE PROCEEDING WITH THE WORK. DRAWINGS ARE NOT TO BE SCALED.

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PROJECT

CITY OF HAMILTON
ST. MARK'S CHURCH
PHASE 2 RENOVATION
115 HUNTER STREET WEST,
HAMILTON, ON

SPA-18-169

DRAWING

SITE PLAN & KEY PLAN
FN

DRAWN

SCALE

As indicated

DAT

2017 03 06

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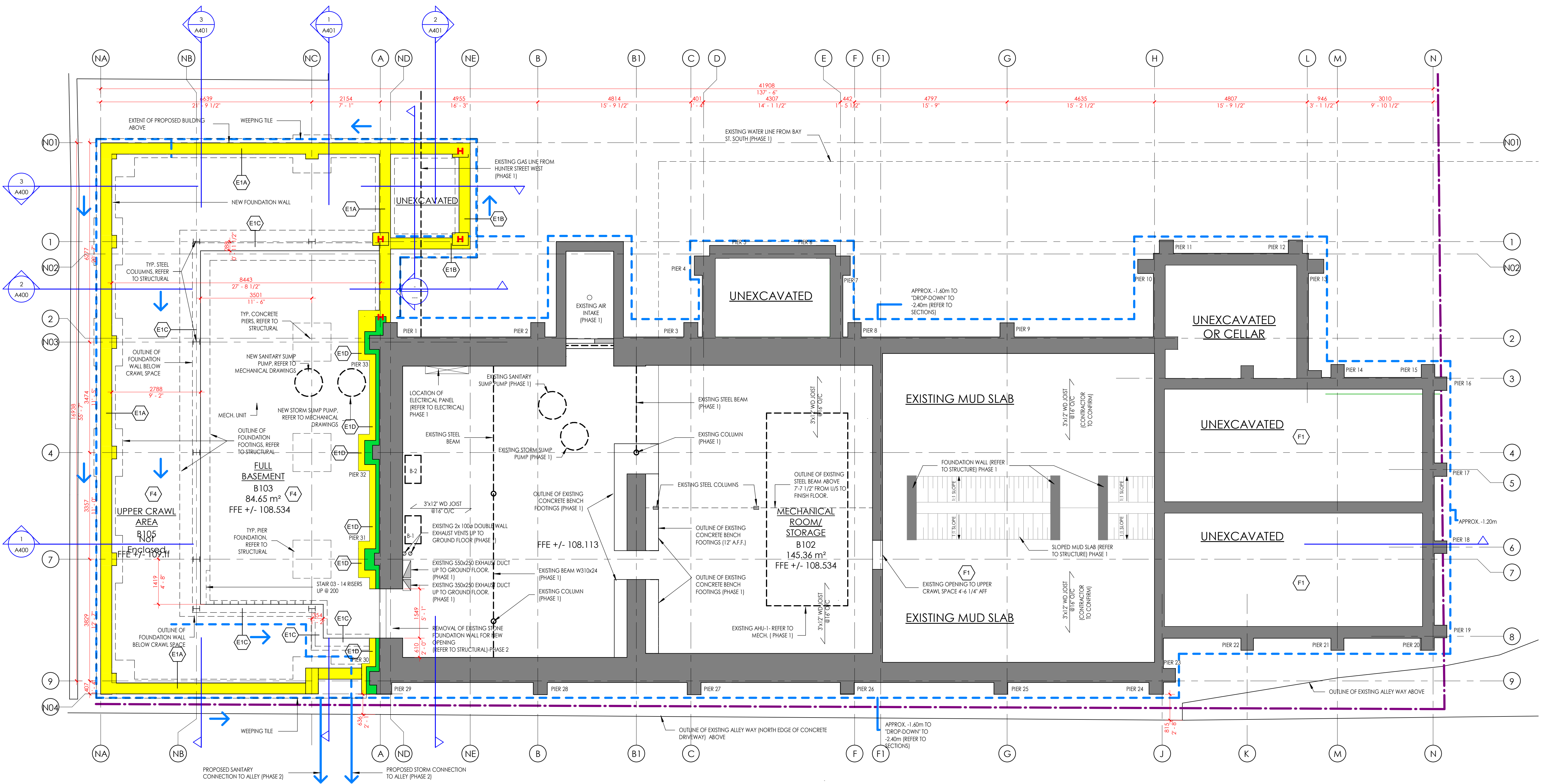
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15 - 1091

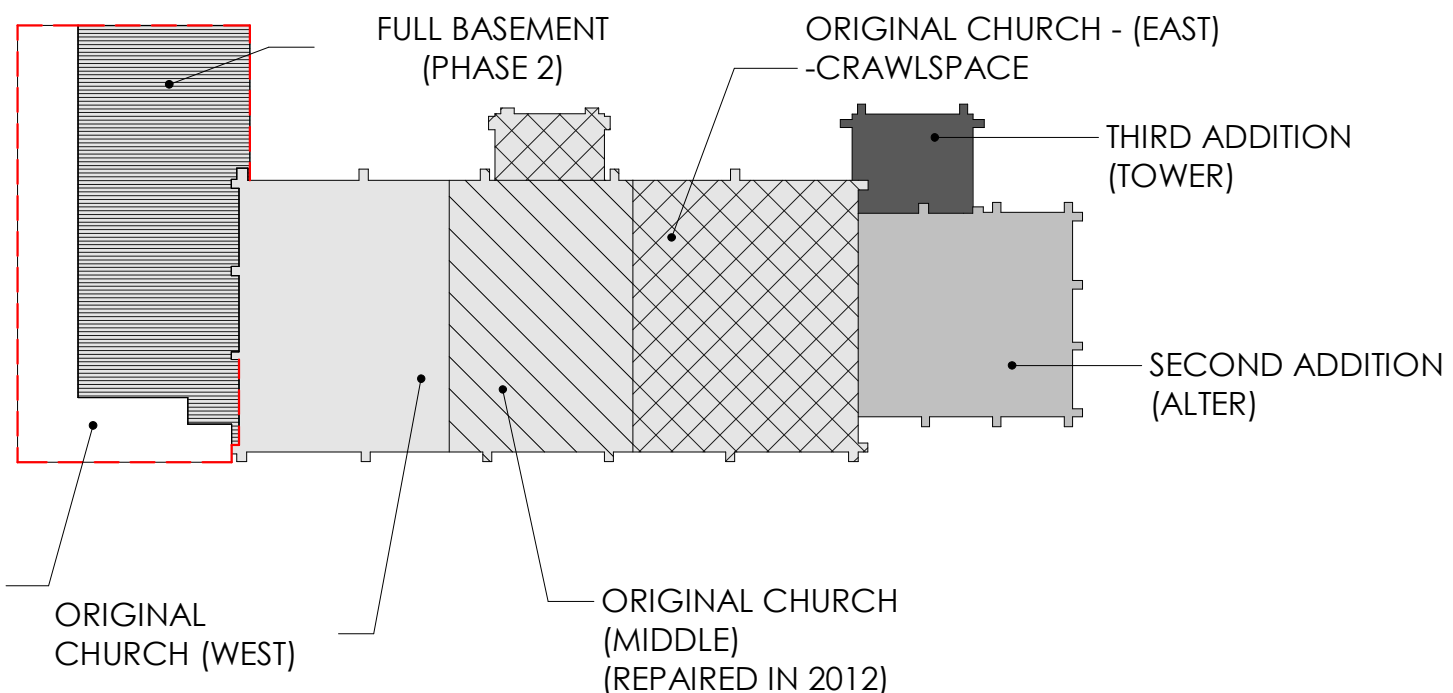
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A100



- NEW FOUNDATION WALLS (PHASE 2)
REFER TO STRUCTURAL
- EXISTING FOUNDATION WALLS
- REINFORCING OF EXISTING FOUNDATION (PHASE 1)
(REFER TO STRUCTURAL)
- NEW WEEPING TILE
2% POSITIVE DRAINAGE SLOPE TO STORMWATER MAIN
(REFER TO CIVIL)

WORKING DRAWINGS IN
PROGRESS



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PROJECT
CITY OF HAMILTON
ST. MARK'S CHURCH
PHASE 2 RENOVATION
115 HUNTER STREET WEST,
HAMILTON, ON

DRAWING
OVERALL BASEMENT PLAN

DRAWN
FN

SCALE
As indicated

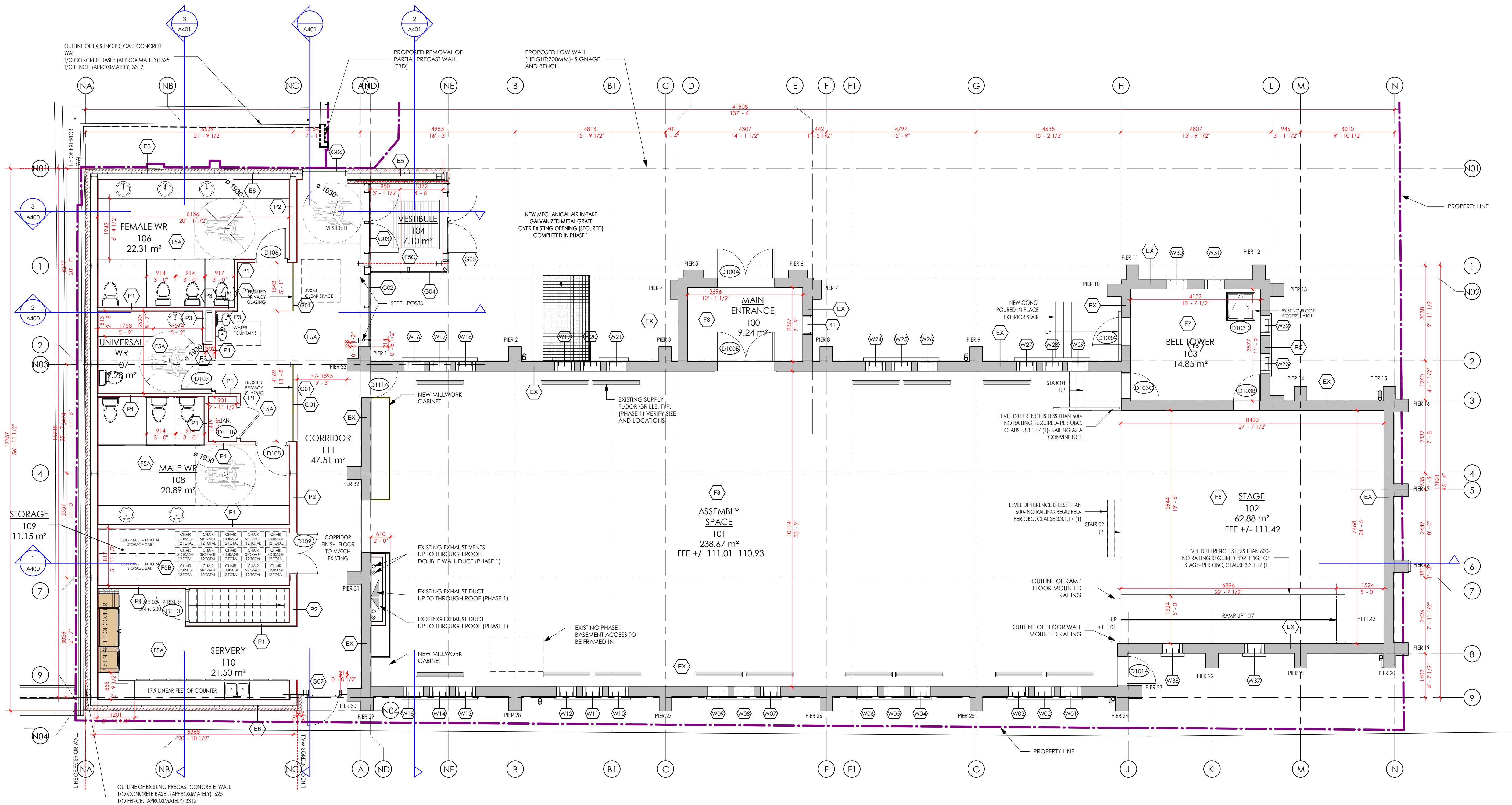
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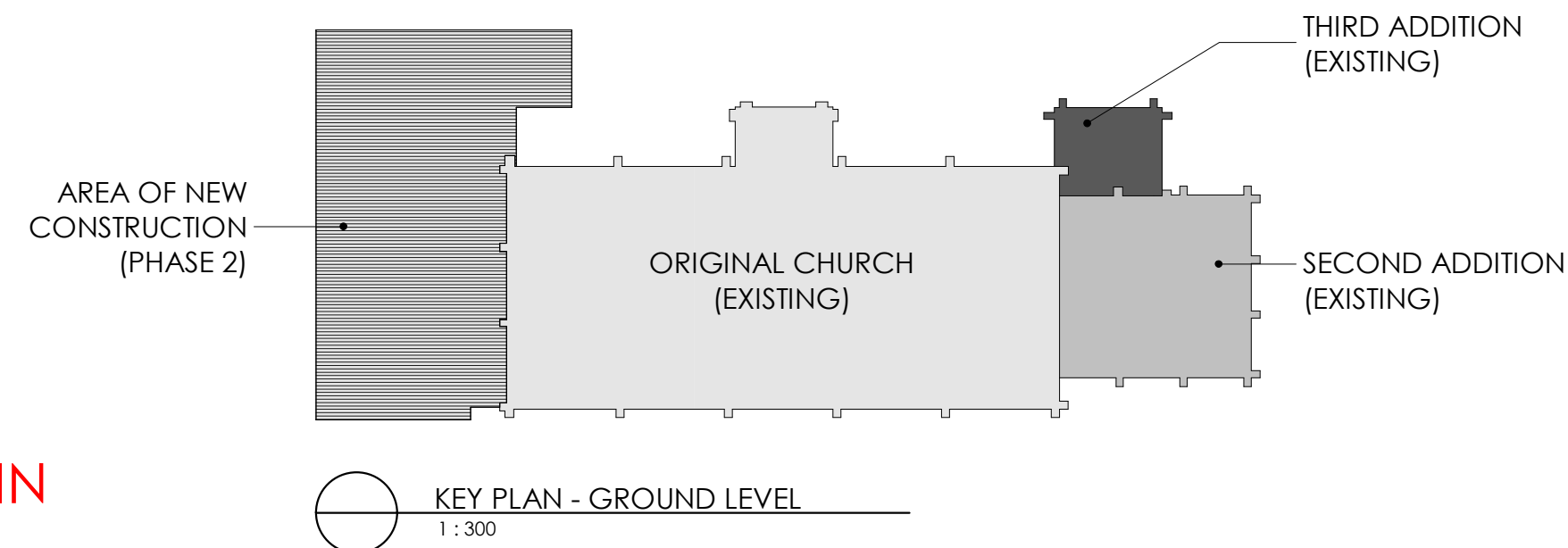
A200



- NEW CONSTRUCTION (PHASE 2)
- EXISTING WALLS
- DEMOLITION
- OUTLINE OF PROPOSED FULL BASEMENT BELOW LEVEL 0 (PHASE 2)

1 GROUND LEVEL
A210 1:65

WORKING DRAWINGS IN
PROGRESS



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PROJECT
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ST. MARK'S CHURCH
PHASE 2 RENOVATION
115 HUNTER STREET WEST,
HAMILTON, ON

DRAWING
GROUND FLOOR PLAN

DRAWN
FN

SCALE
As indicated

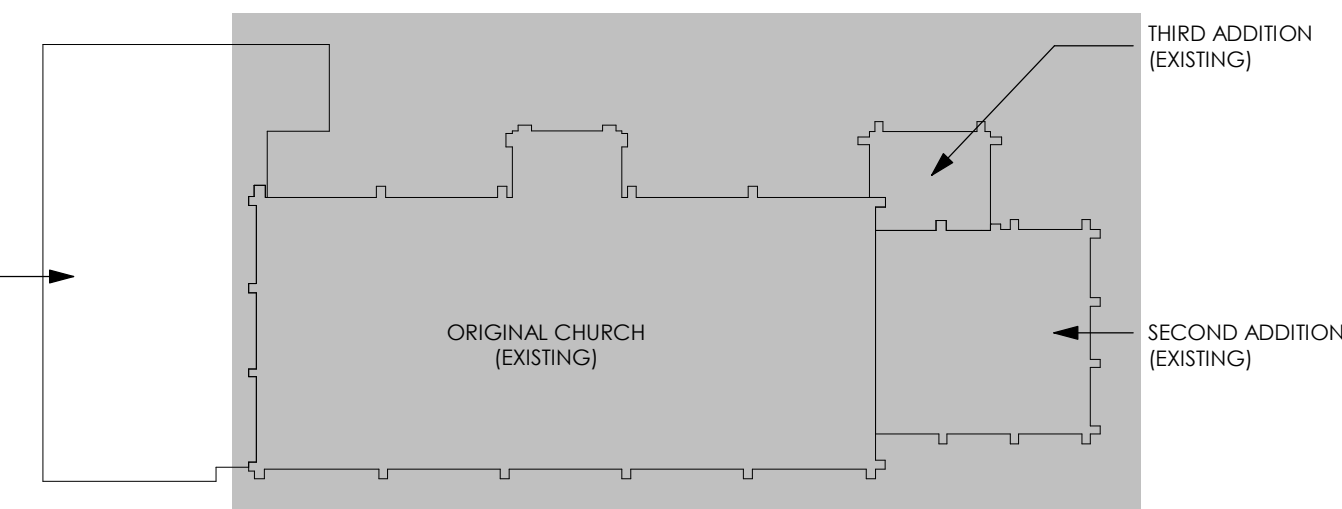
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DRAWING

A210



1 ORIGINAL CHURCH - FLOOR PLAN
A211 1:50



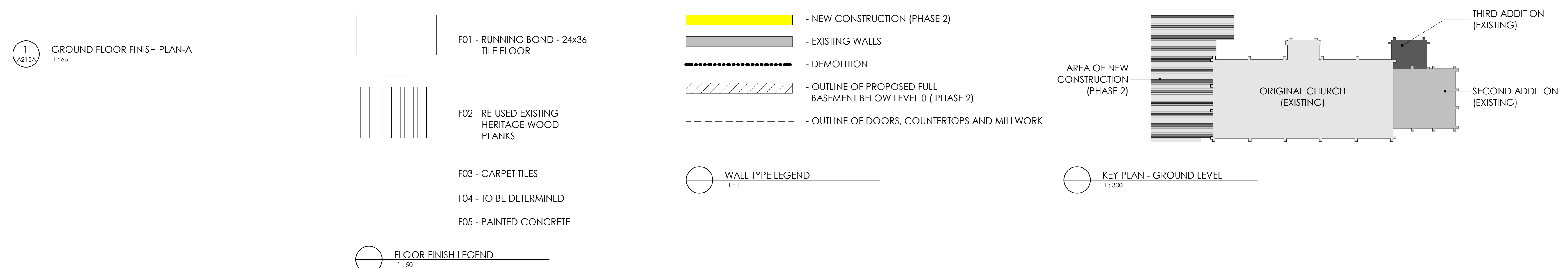
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OF ARCHITECTS
ALEXANDER L. TEMPORAL
LICENCE
2587

A211



	15-1091
DRAWING	

A212



CONCLUSIONS

A215A

MATERIAL SUMMARY	
CODE	DESCRIPTION
M01	RUNNING BOND - IRON SPOT AT FIELD
M02	STACKED BOND - IRON SPOT AT PIER LOCATIONS
M03	CURTAIN WALL FRAMING (BLACK) WITH CLEAR GLASS
M04	METAL ROOFING
M05	ALUMINUM FASCIA EAVES, DOWNSPOUTS (TO MATCH ROOF COLOUR)
M06	MECH. LOUVER - COLOR TBD

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115 HUNTER STREET WEST,
HAMILTON, ON

DRAWING

ROOF PLAN

DRAWN

Author

SCALE

1 : 65

DAT

2017 03 06

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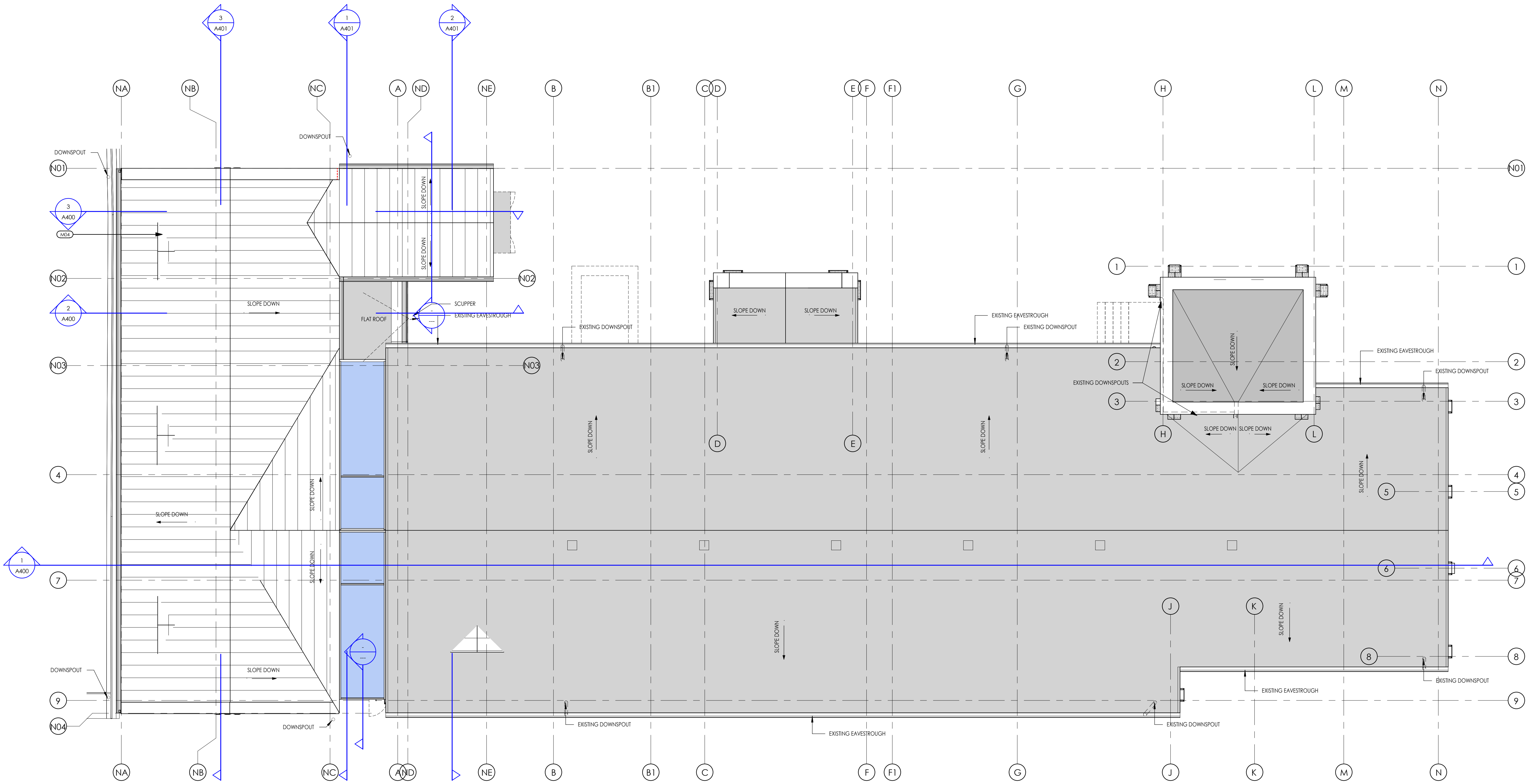
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PROJECT

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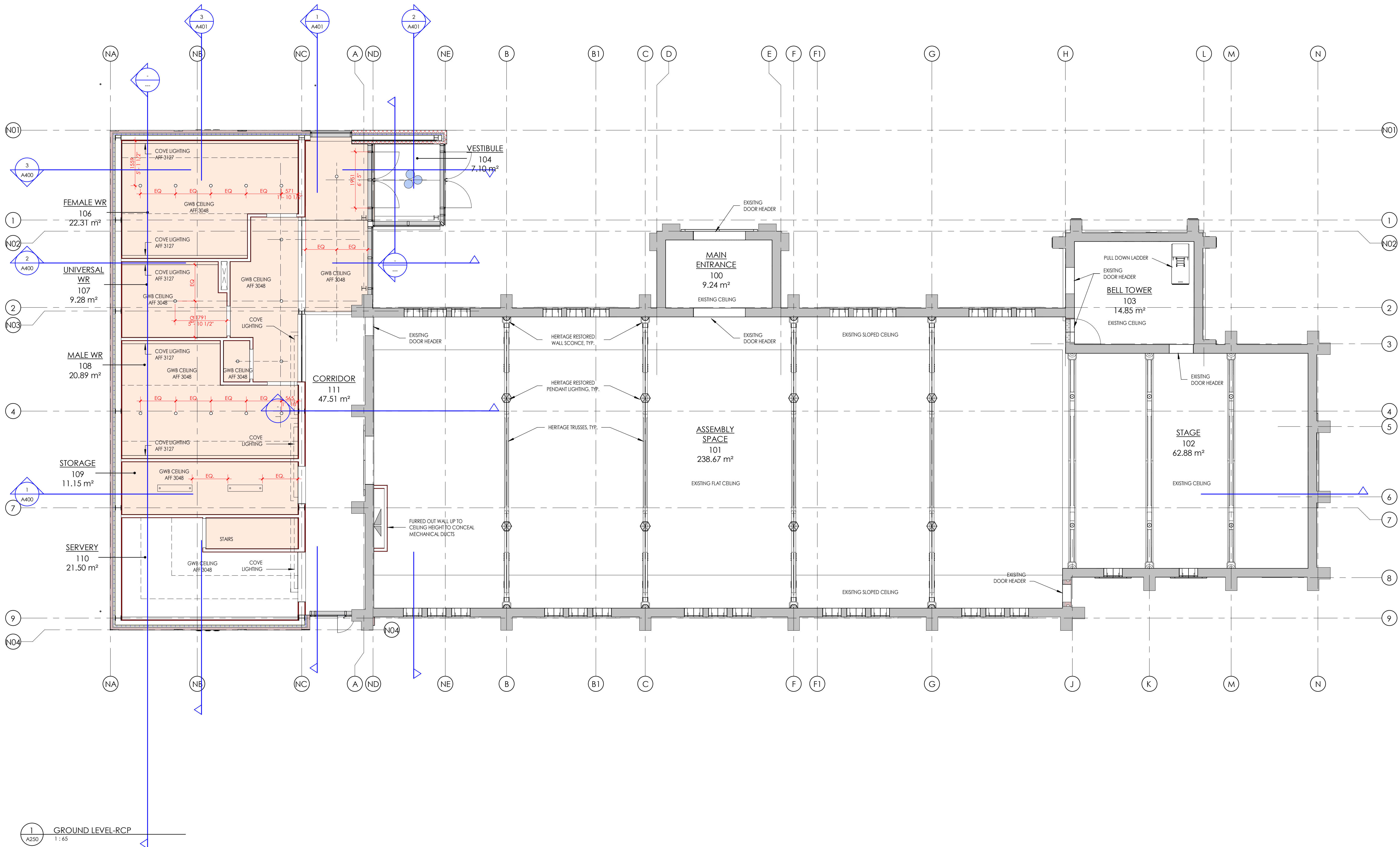
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A220



1 ROOF PLAN
1 : 65

WORKING DRAWINGS IN
PROGRESS



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HAMILTON, ON

DRAWING

GROUND FLOOR- RCP

DRAWN

F.N.

SCALE

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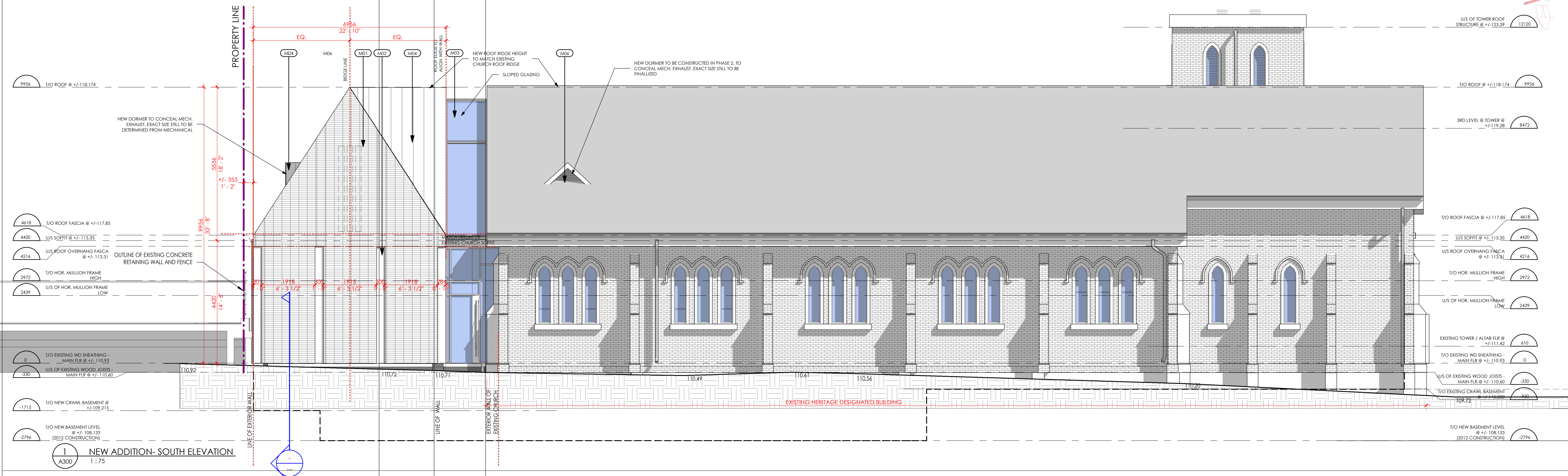
PROJECT

15 - 1091

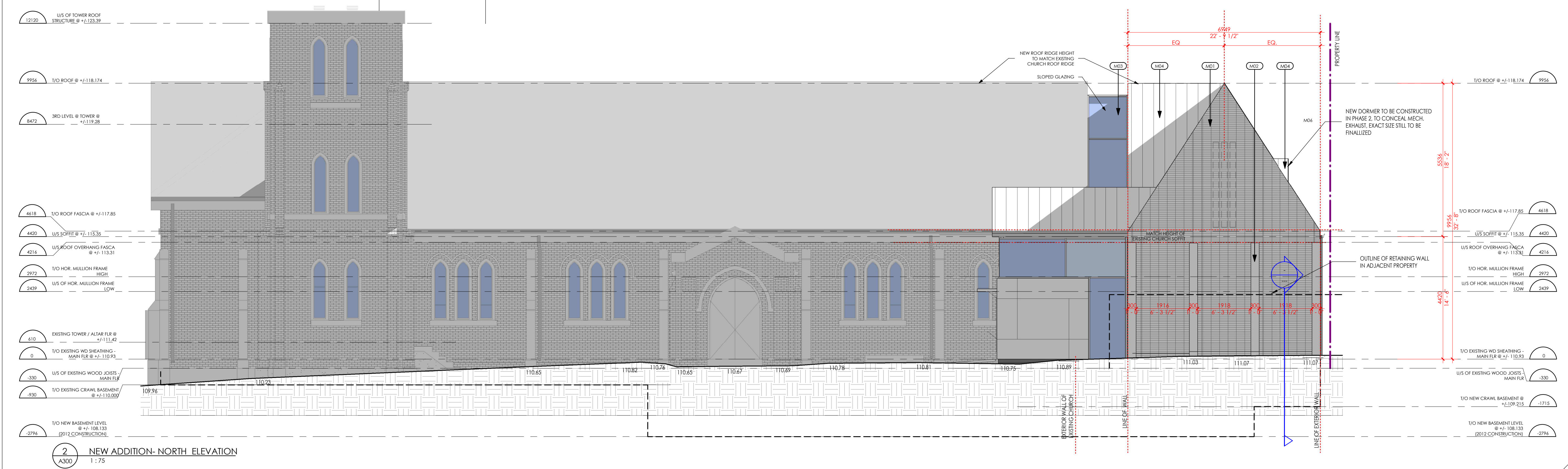
DRAWING

A250

WHP
SL
+100' BOW
+109.5' RDPG



WORKING DRAWINGS IN PROGRESS



MATERIAL SUMMARY	
CODE	DESCRIPTION
M01	RUNNING BOND - IRON SPOT AT FIELD
M02	STACKED BOND - IRON SPOT AT PIER LOCATIONS RECESSED
M03	CURTAIN WALL FRAMING (BLACK) WITH CLEAR GLASS
M04	METAL ROOFING
M05	ALUMINUM FASCIA EAVES, DOWNSPOUTS (TO MATCH ROOF COLOUR)
M06	MECH. LOUVER - COLOR TBD

REVISION		
NUMBE	DAT	REMARK
02	2018 12 13	ISSUED FOR CoA TO CITY OF HAMILTON
01	2018 08 30	ISSUED FOR SITE PLAN APPROVAL

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PROJECT
CITY OF HAMILTON
ST. MARK'S CHURCH
PHASE 2 RENOVATION
115 HUNTER STREET WEST,
HAMILTON, ON

DRAWING
NEW ADDITION- NORTH & SOUTH ELEVATIONS

DRAWN
FN

SCALE
1:75

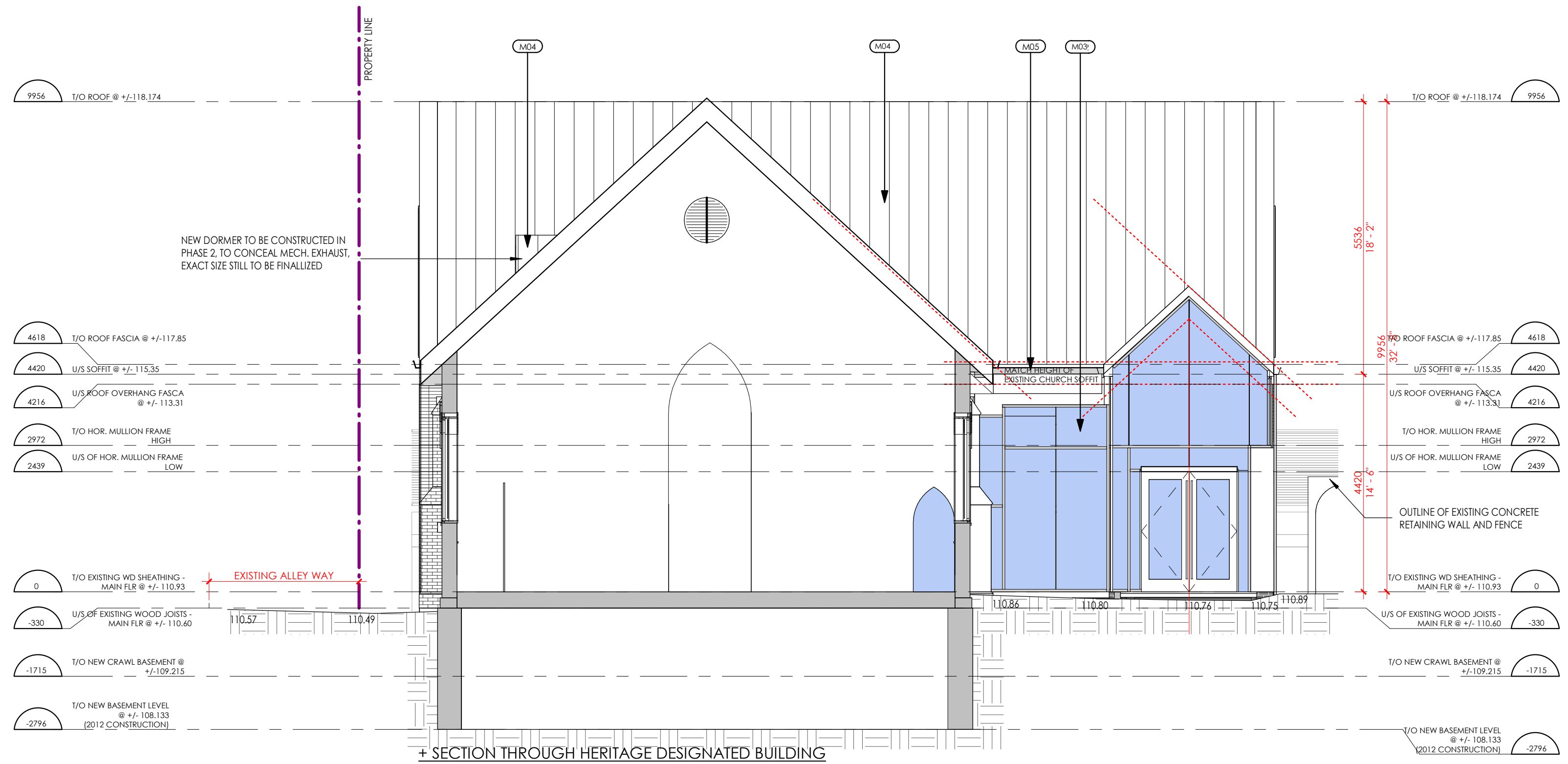
DAT
2017 03 06

CHECKED
MWB

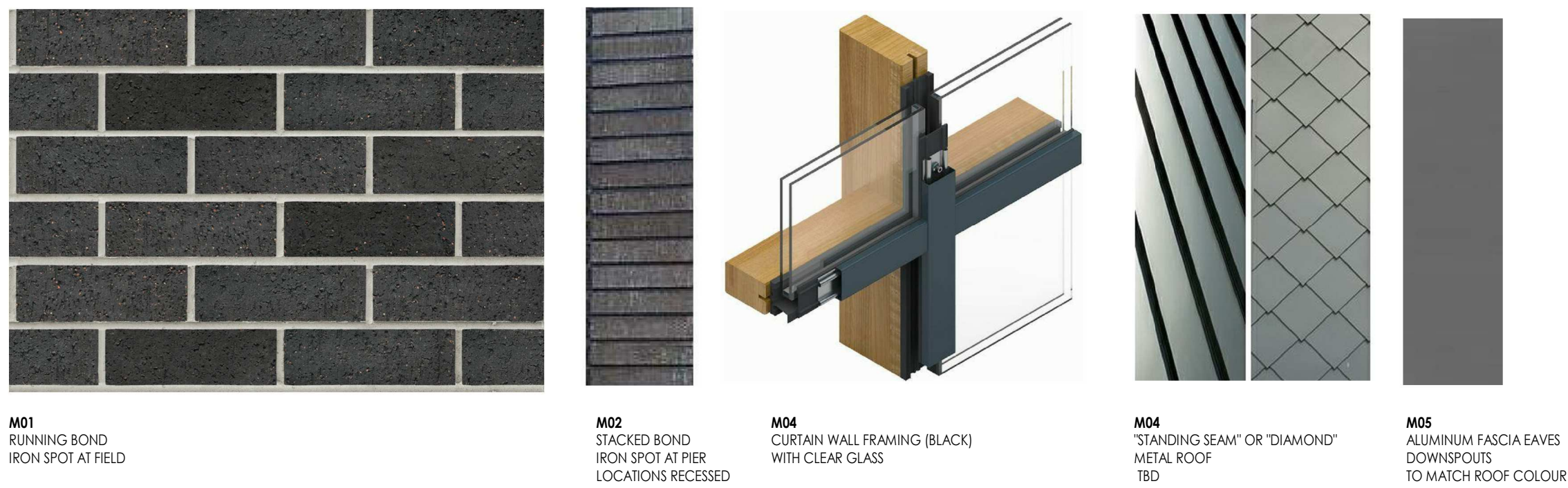
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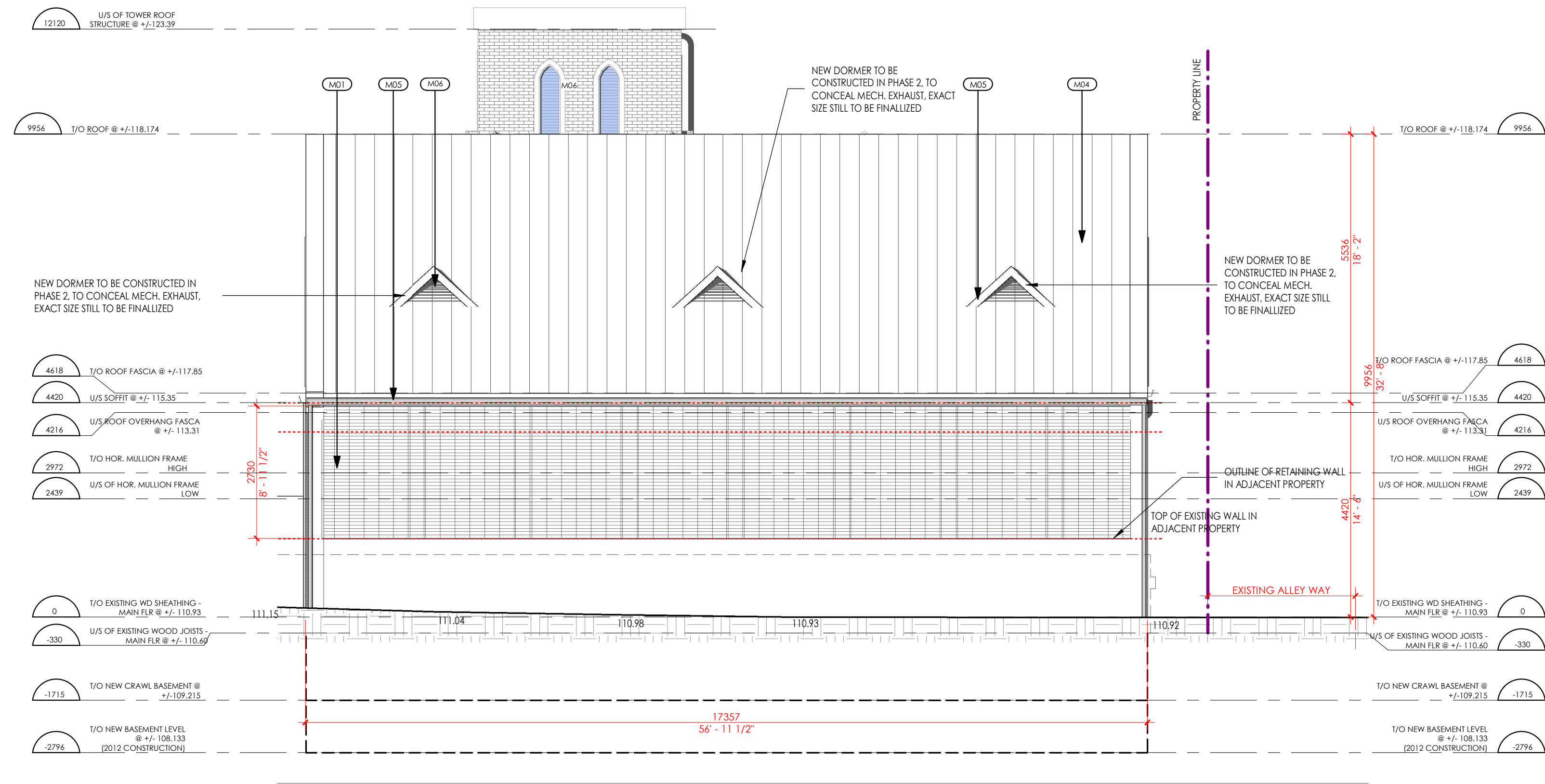
A300



1
A301 NEW ADDITION- EAST ELEVATION
1 : 75



WORKING DRAWINGS IN
PROGRESS



2
A301 NEW ADDITION- WEST ELEVATION
1 : 75

MATERIAL SUMMARY	
CODE	DESCRIPTION
M01	RUNNING BOND - IRON SPOT AT FIELD
M02	STACKED BOND - IRON SPOT AT PIER LOCATIONS RECESSED
M03	CURTAIN WALL FRAMING (BLACK) WITH CLEAR GLASS
M04	METAL ROOFING
M05	ALUMINUM FASCIA EAVES, DOWNSPOUTS (TO MATCH ROOF COLOUR)
M06	MECH. LOUVER - COLOR TBD

REVISION		
NUMBE	DAT	REMARK
02	2018 12 13	ISSUED FOR CcA TO CITY OF HAMILTON
01	2018 08 30	ISSUED FOR SITE PLAN APPROVAL

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PROJECT
CITY OF HAMILTON
ST. MARK'S CHURCH
PHASE 2 RENOVATION
115 HUNTER STREET WEST,
HAMILTON, ON

DRAWING
NEW ADDITION- EAST AND WEST ELEVATIONS

DRAWN
FN

SCALE
1 : 75

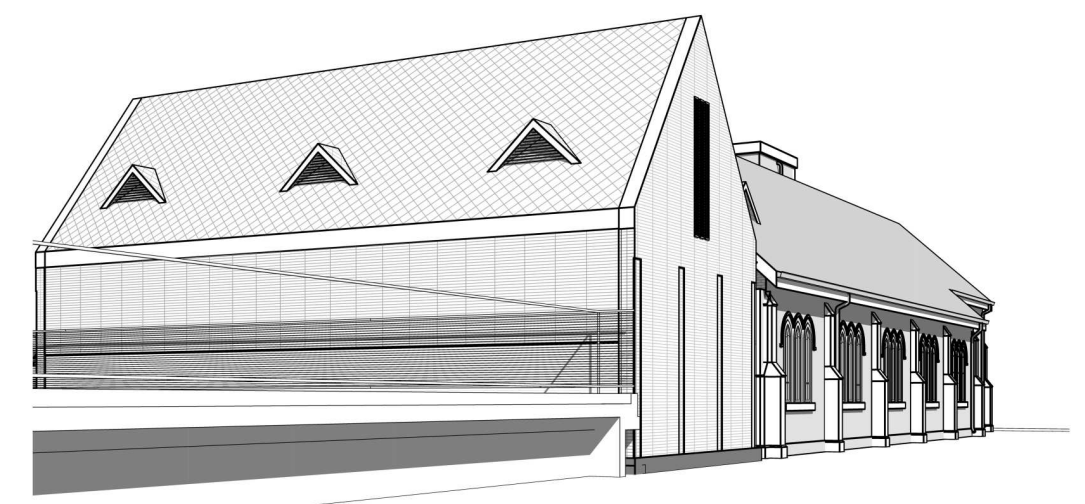
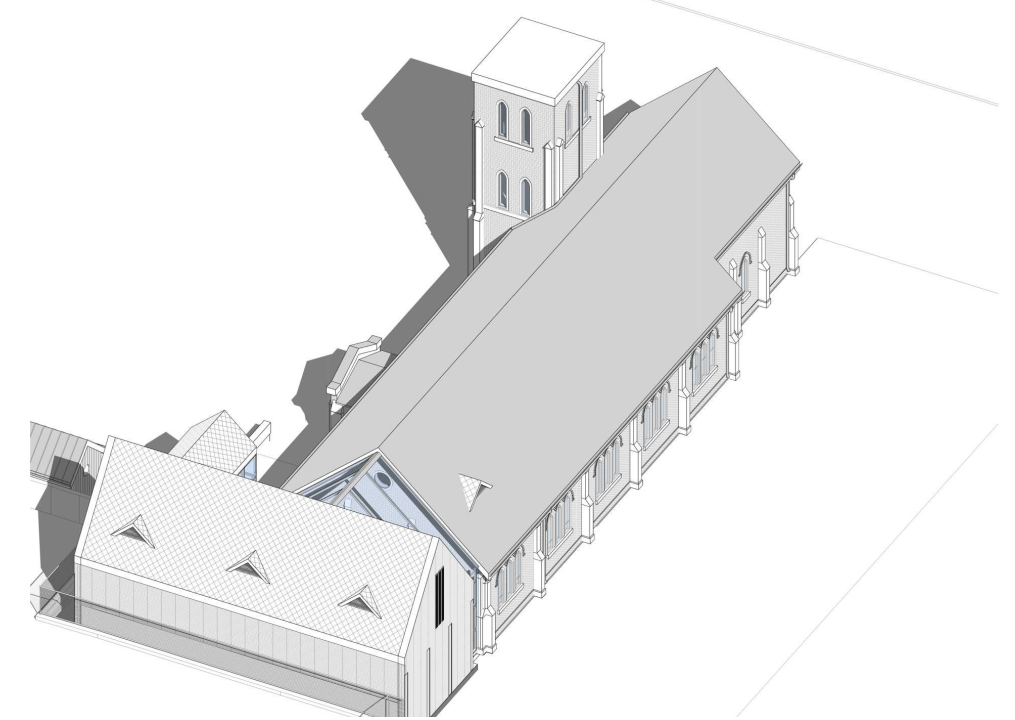
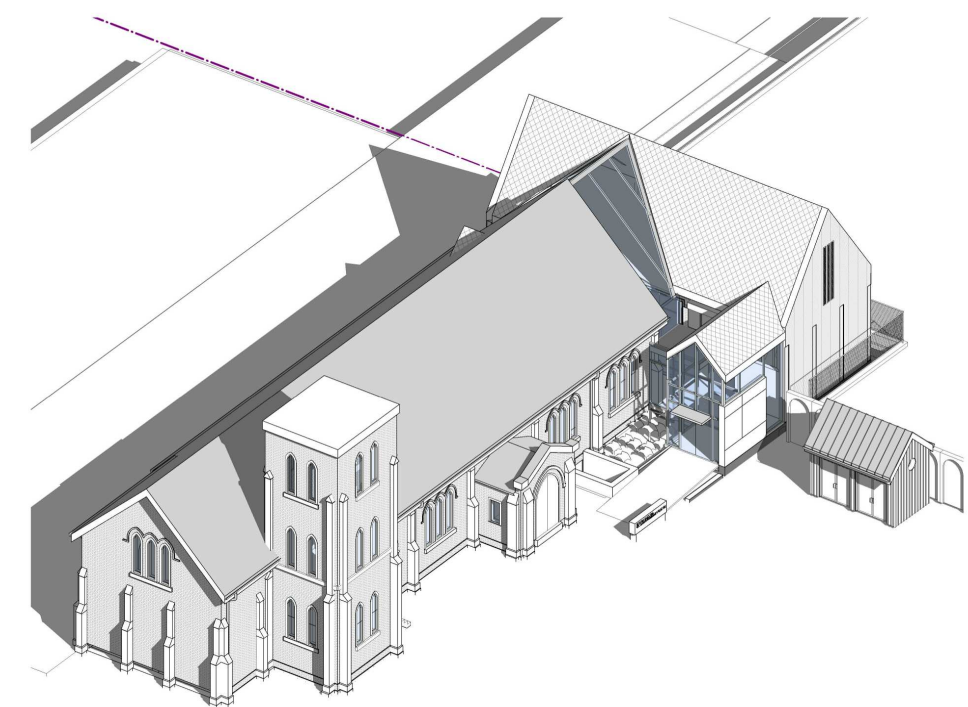
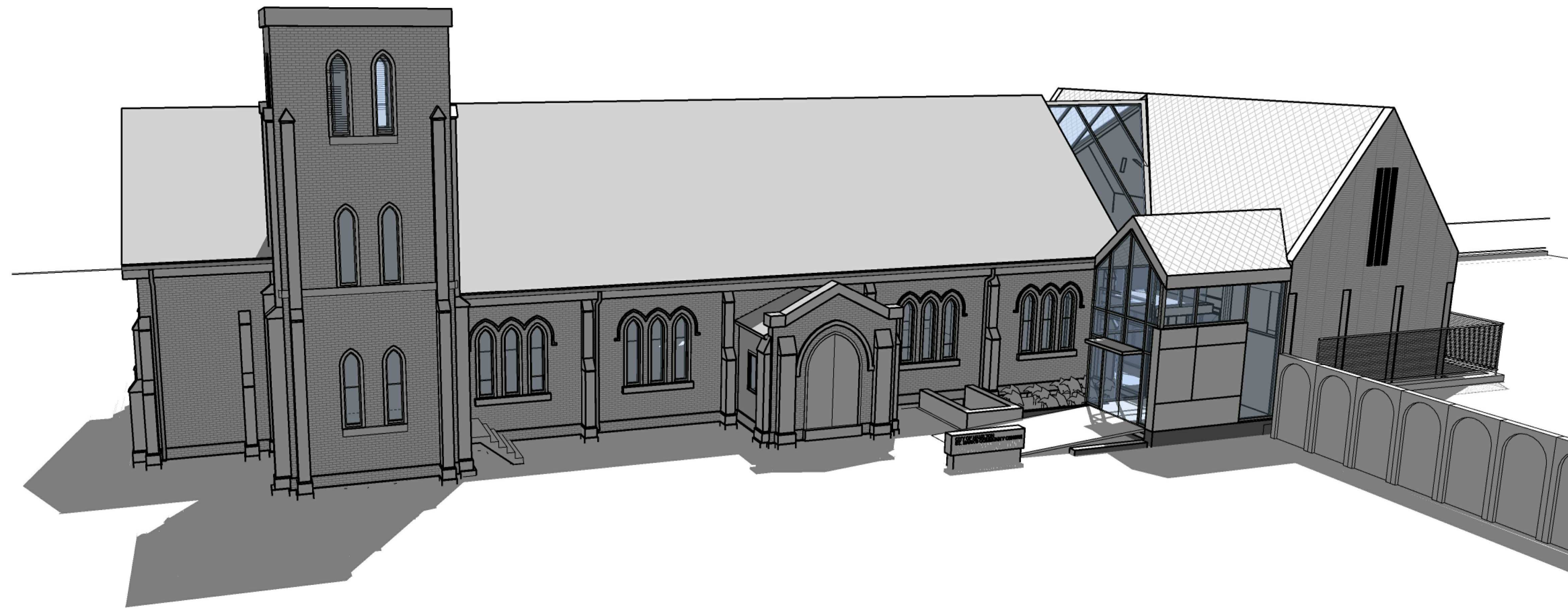
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2017 03 06

CHECKED
MWB

PROJECT
15 - 1091

DRAWING

A301



REVISION		
NUMBE	DAT	REMARK
02	2018 12 13	ISSUED FOR CoA TO CITY OF HAMILTON
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PROJECT
CITY OF HAMILTON
ST.MARK'S CHURCH
PHASE 2 RENOVATION
115 HUNTER STREET WEST,
HAMILTON, ON

DRAWING
PRELIMINARY RENDERINGS

DRAWN
JO

SCALE

DAT
2017 03 06

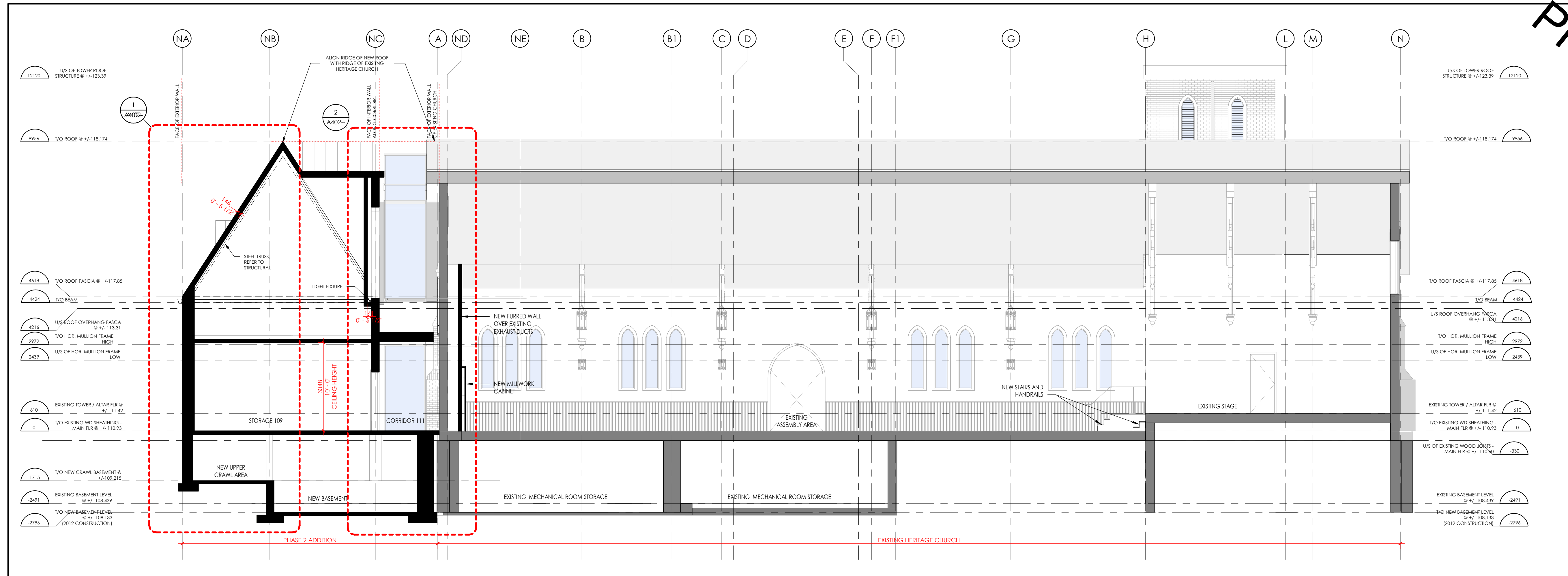
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PROJECT
15 - 1091

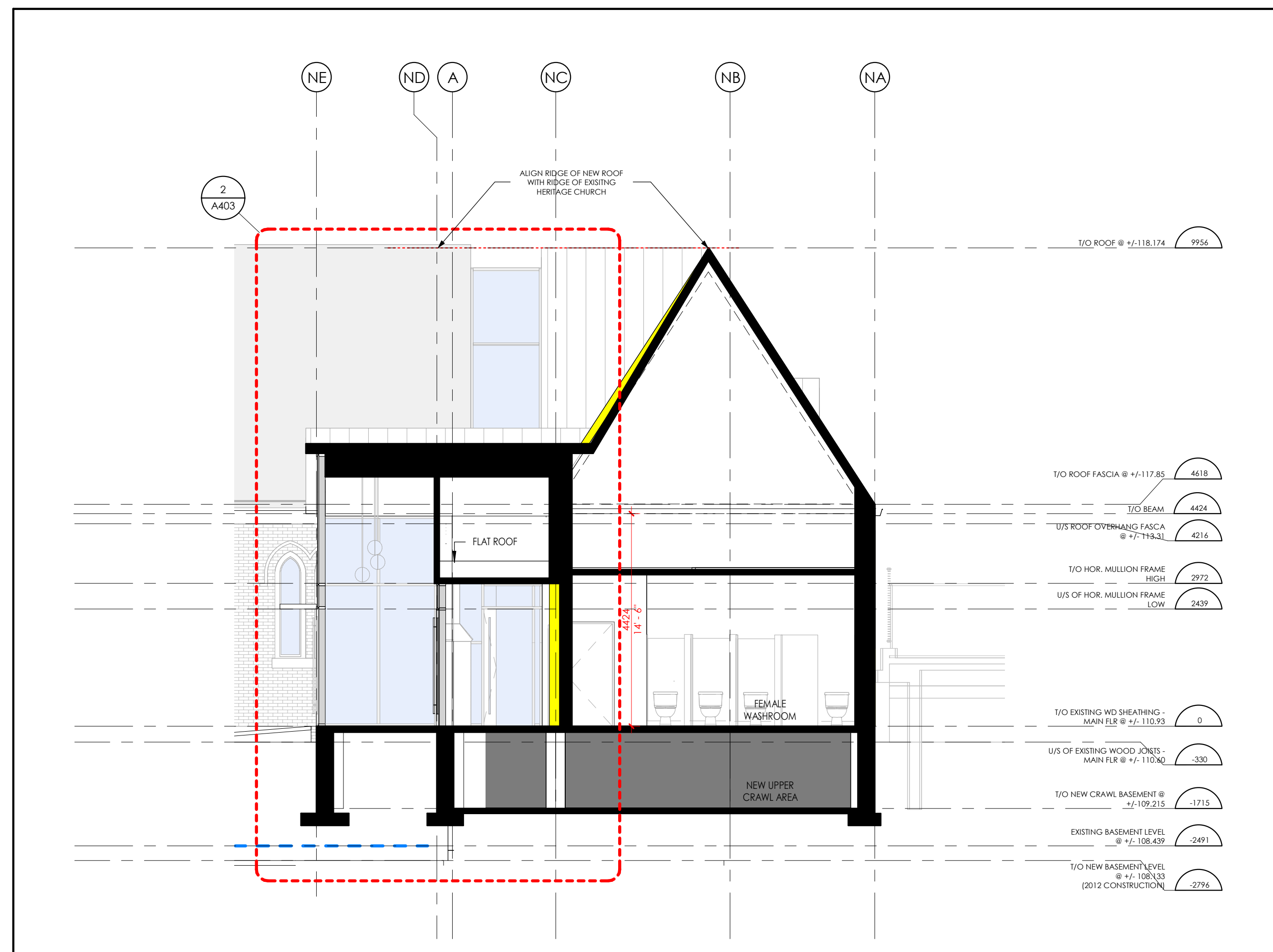
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A310

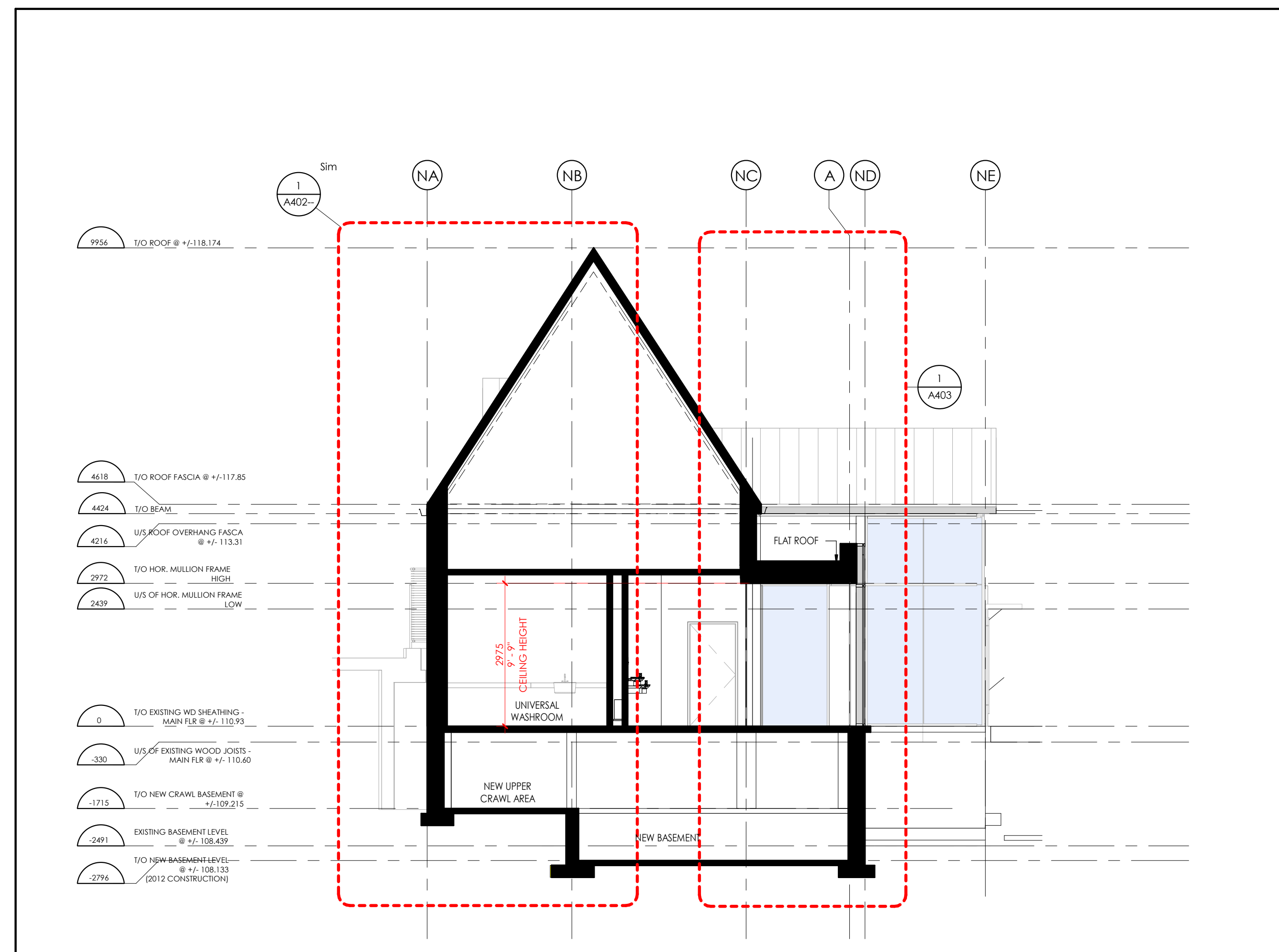
PRELIMINARY



1 BUILDING SECTION - 1
A400 1:75



3 BUILDING SECTION - 3
A400 1:75



2 BUILDING SECTION - 2
A400 1 : 75

[illegible]

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PROJECT

CITY OF HAMILTON
ST. MARK'S CHURCH
PHASE 2 RENOVATION
115 HUNTER STREET WEST,
HAMILTON, ON

DRAWING BUILDING SECTIONS

DRAWN Author

SCALE 1 : 75

DAT	1:75
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CHECKED 2017 03 06

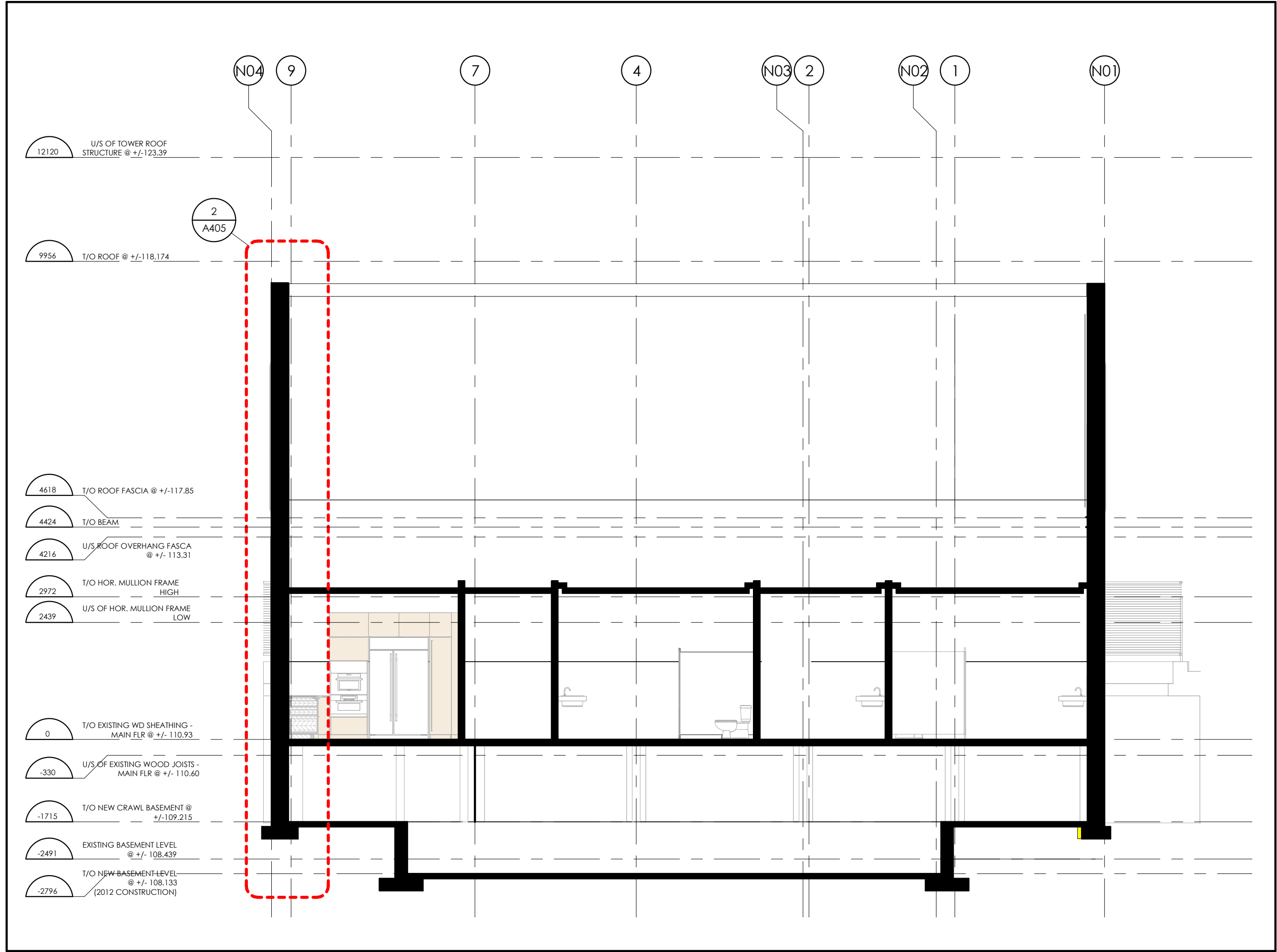
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15 - 1091

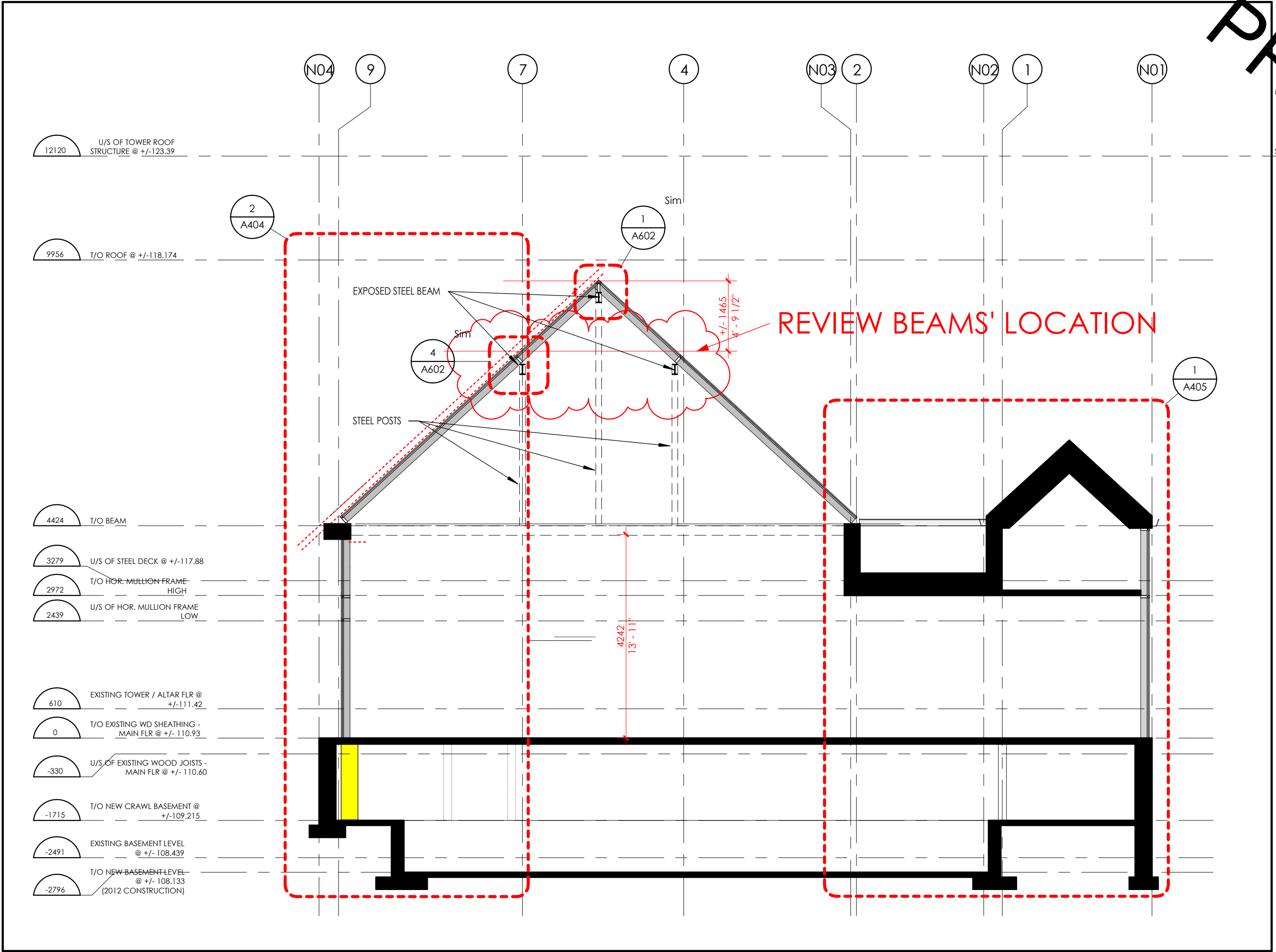
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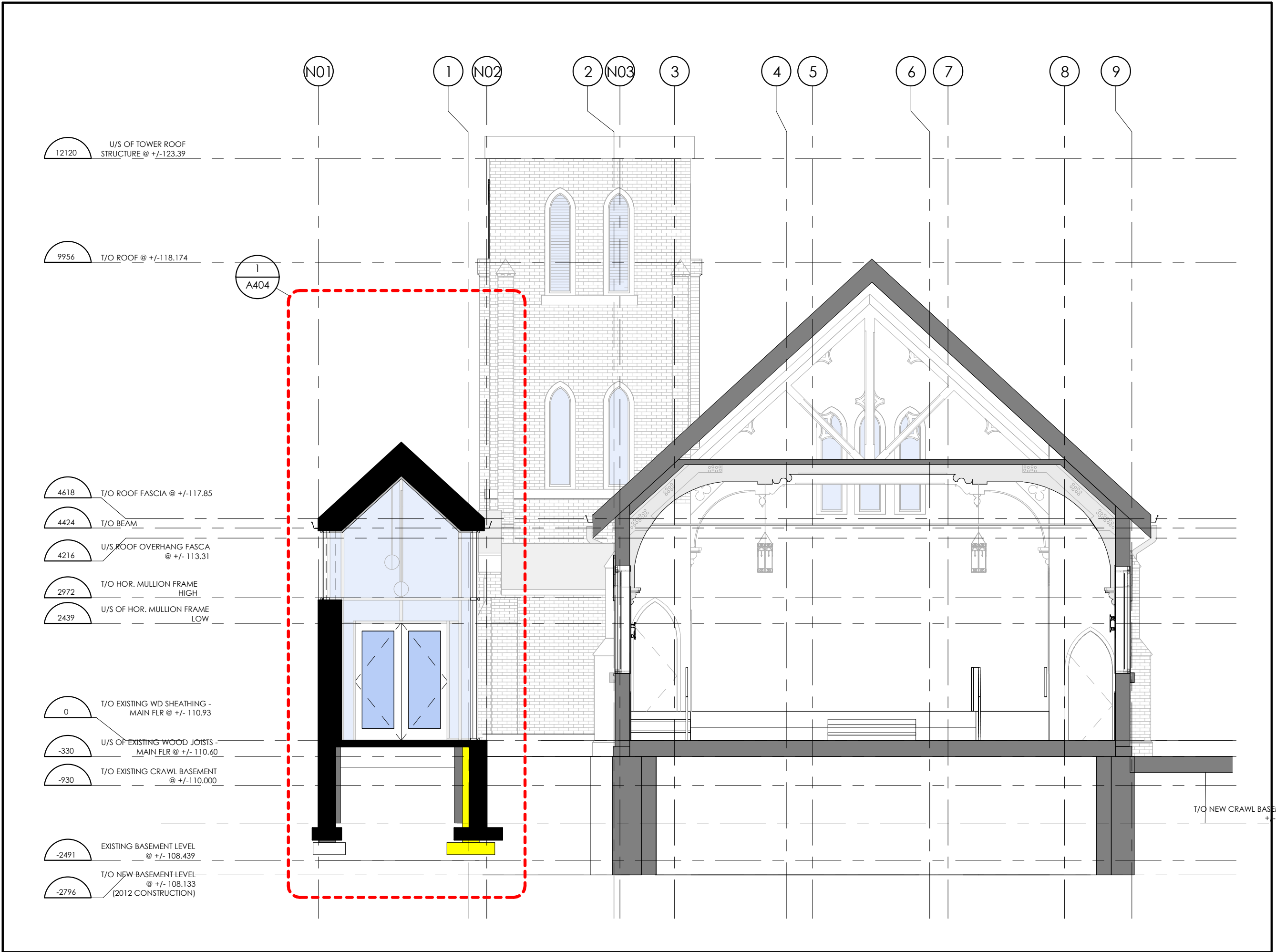
PRELIMINARY



3 BUILDING SECTION - 6
A401 1 : 75



1 BUILDING SECTION - 5
A401 1 : 75



2 BUILDING SECTION - 4
A401 1 : 75

REVISION		
NUMBE	DAT	REMARK
02	2018 12 13	ISSUED FOR CoA TO CITY OF HAMILTON
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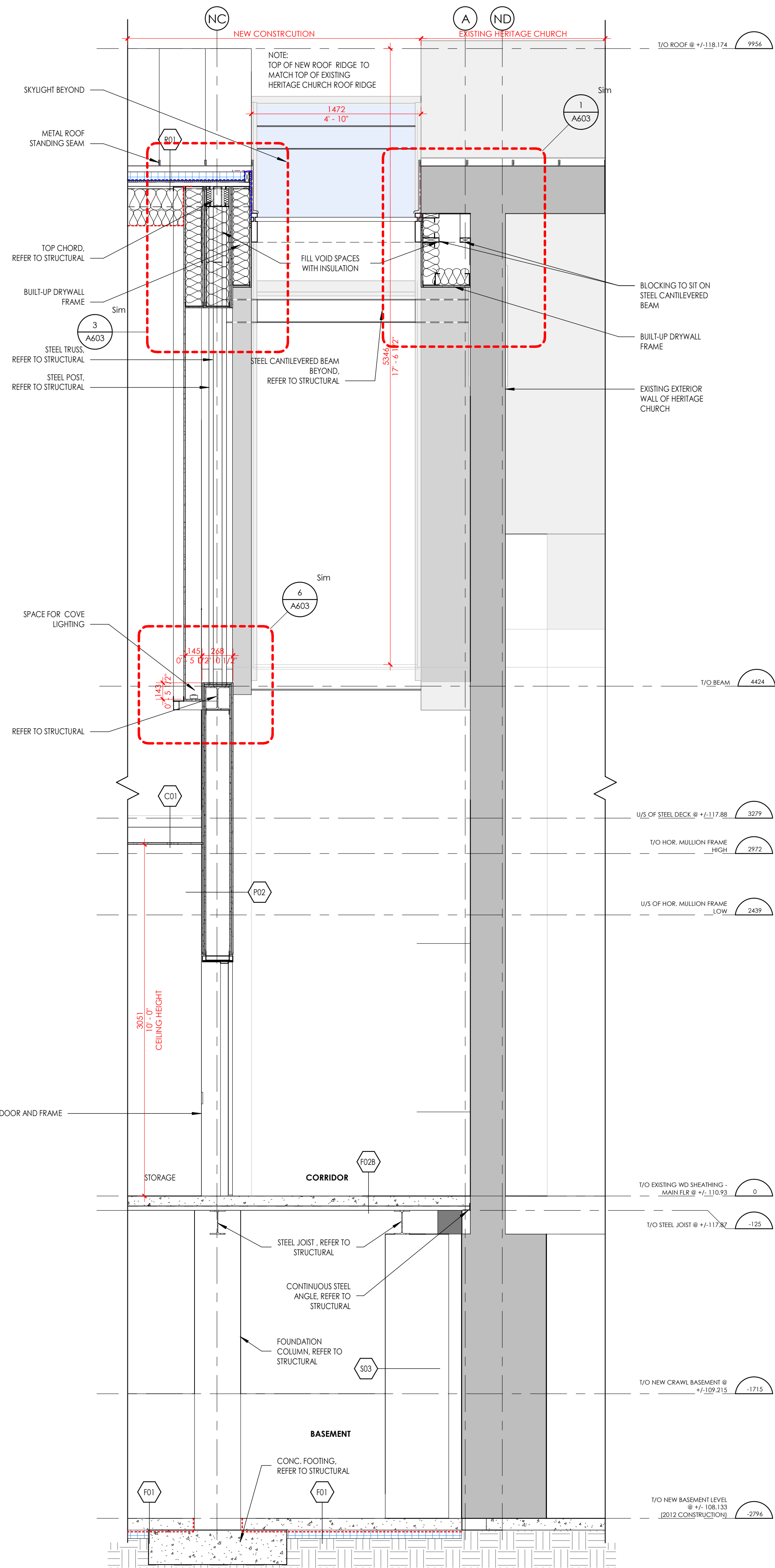
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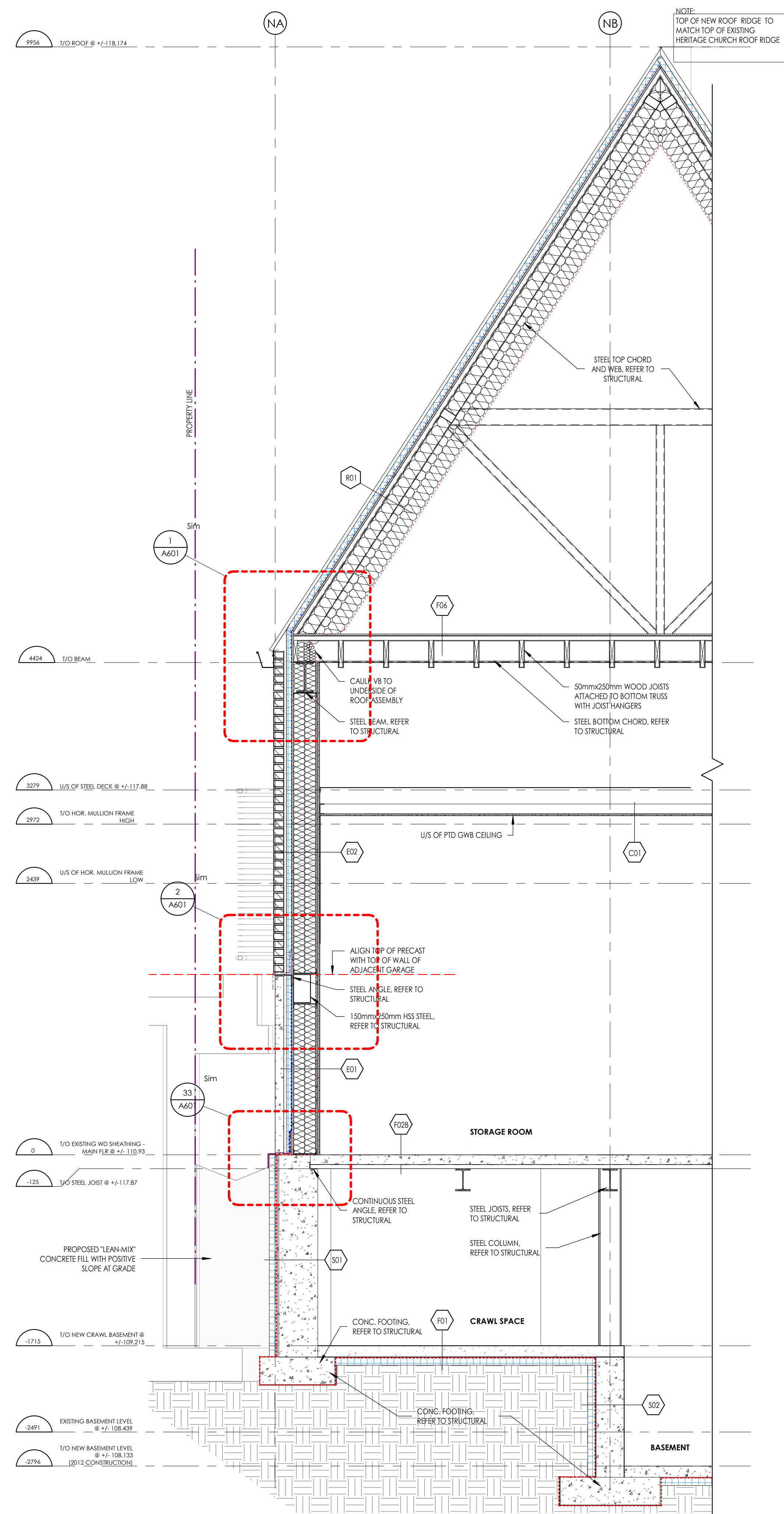
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SEP 15

PROJECT	
CITY OF HAMILTON ST.MARK'S CHURCH PHASE 2 RENOVATION 115 HUNTER STREET WEST, HAMILTON, ON	
DRAWING	
BUILDING SECTIONS	
DRAWN	
Author	
SCALE	
1 : 75	
DAT	
2017 03 06	
CHECKED	
Checker	
PROJECT	
15 - 1091	
DRAWING	

A401



2
A402 WALL SECTION - 2
1 : 25



1
A402 WALL SECTION - 1
1 : 25

REVISION		
NUMBE	DAT	REMARK
02	2018 12 13	ISSUED FOR CoA TO CITY OF HAMILTON
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PROJECT
CITY OF HAMILTON
ST. MARK'S CHURCH
PHASE 2 RENOVATION
115 HUNTER STREET WEST,
HAMILTON, ON

DRAWING
WALL SECTIONS

DRAWN
Author

SCALE
1 : 25

DAT
2017 03 06

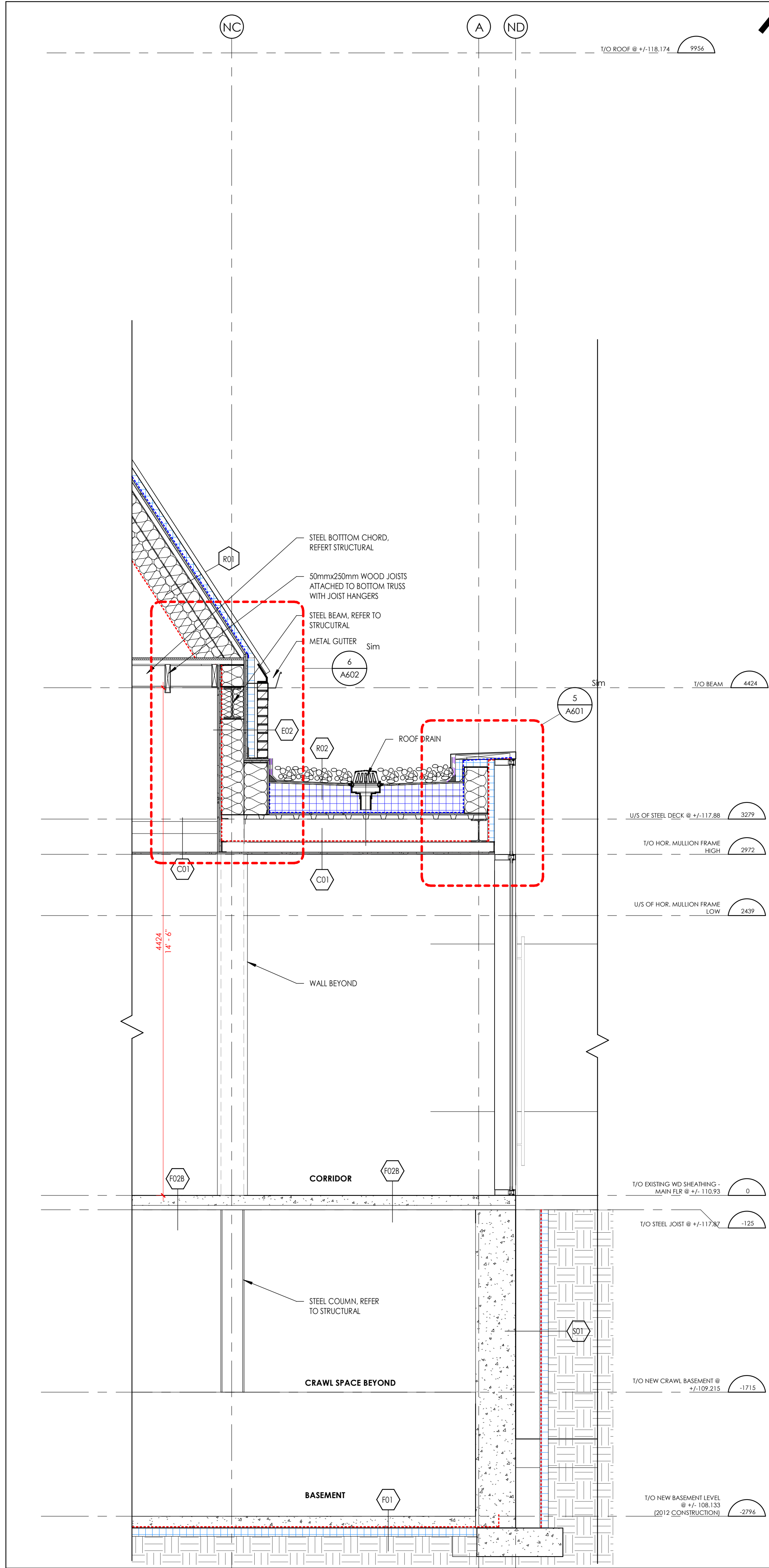
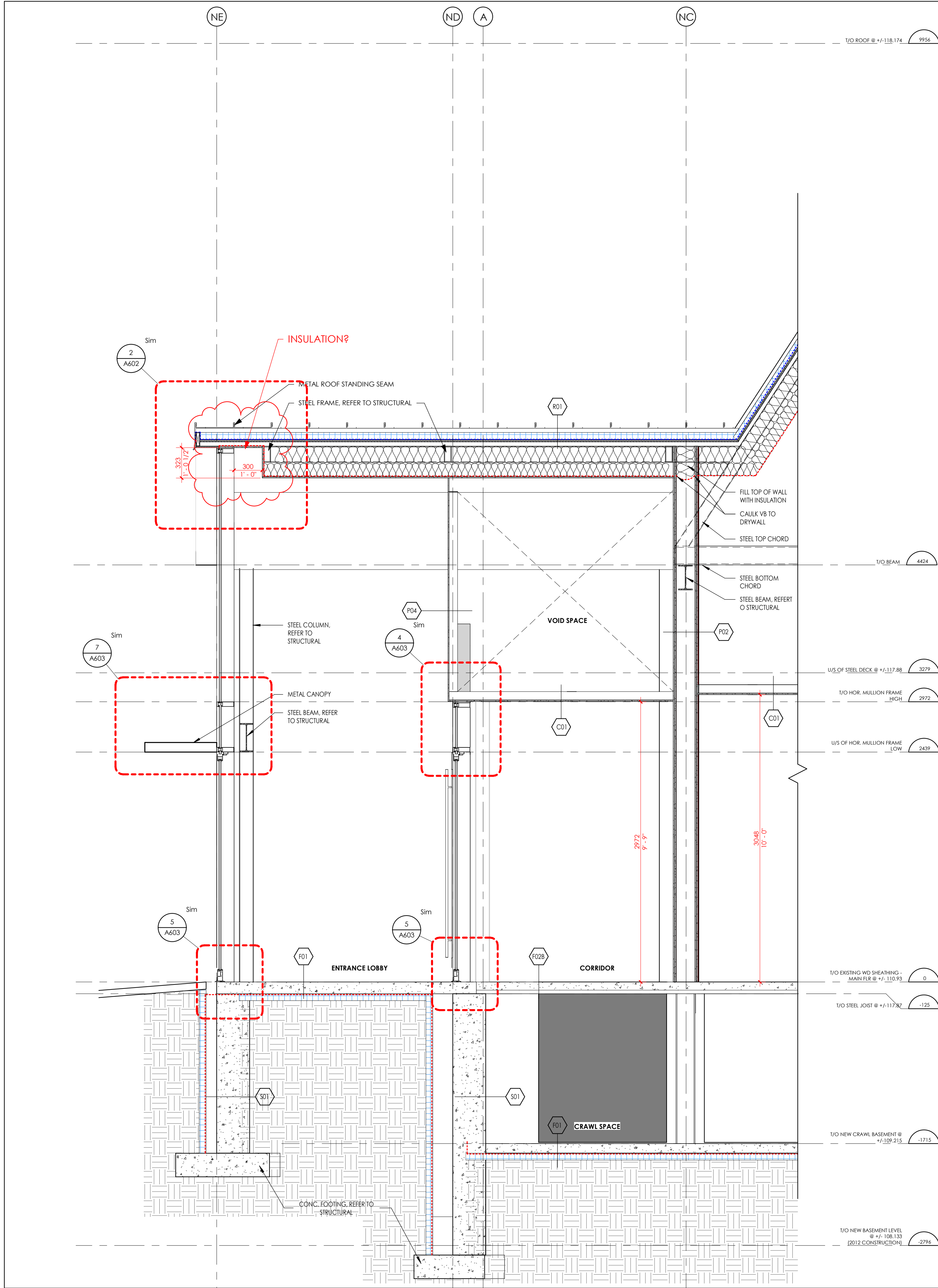
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PROJECT
15 - 1091

DRAWING

A402

PRELIMINARY



REVISION		
NUMBE	DAT	REMARK
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01	2018 08 30	ISSUED FOR SITE PLAN APPROVAL

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ST. MARK'S CHURCH
PHASE 2 RENOVATION
115 HUNTER STREET WEST,
HAMILTON, ON

DRAWING
WALL SECTIONS

DRAWN
Author

SCALE
1 : 25

DAT
2017 03 06

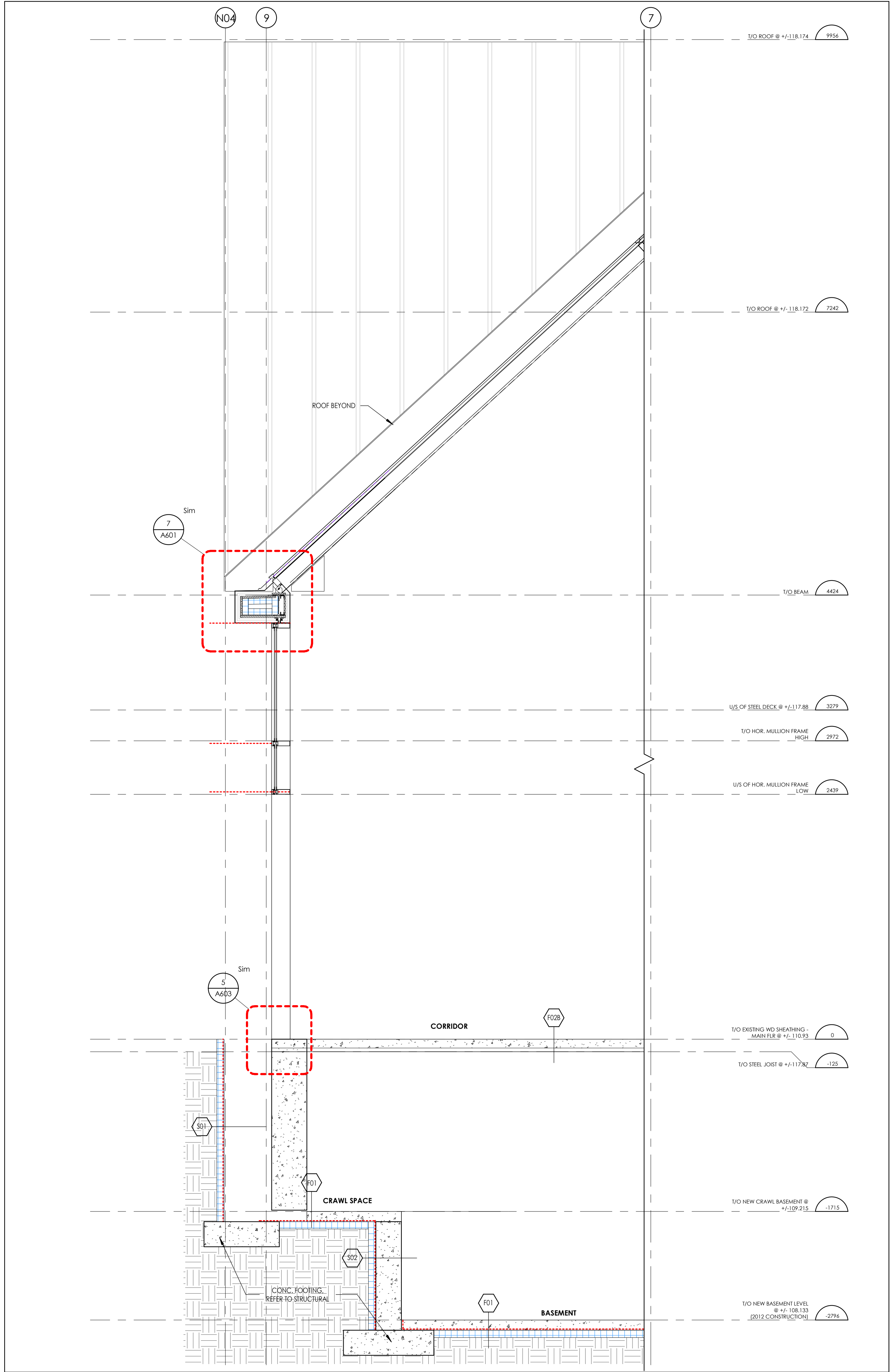
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PROJECT
15 - 1091

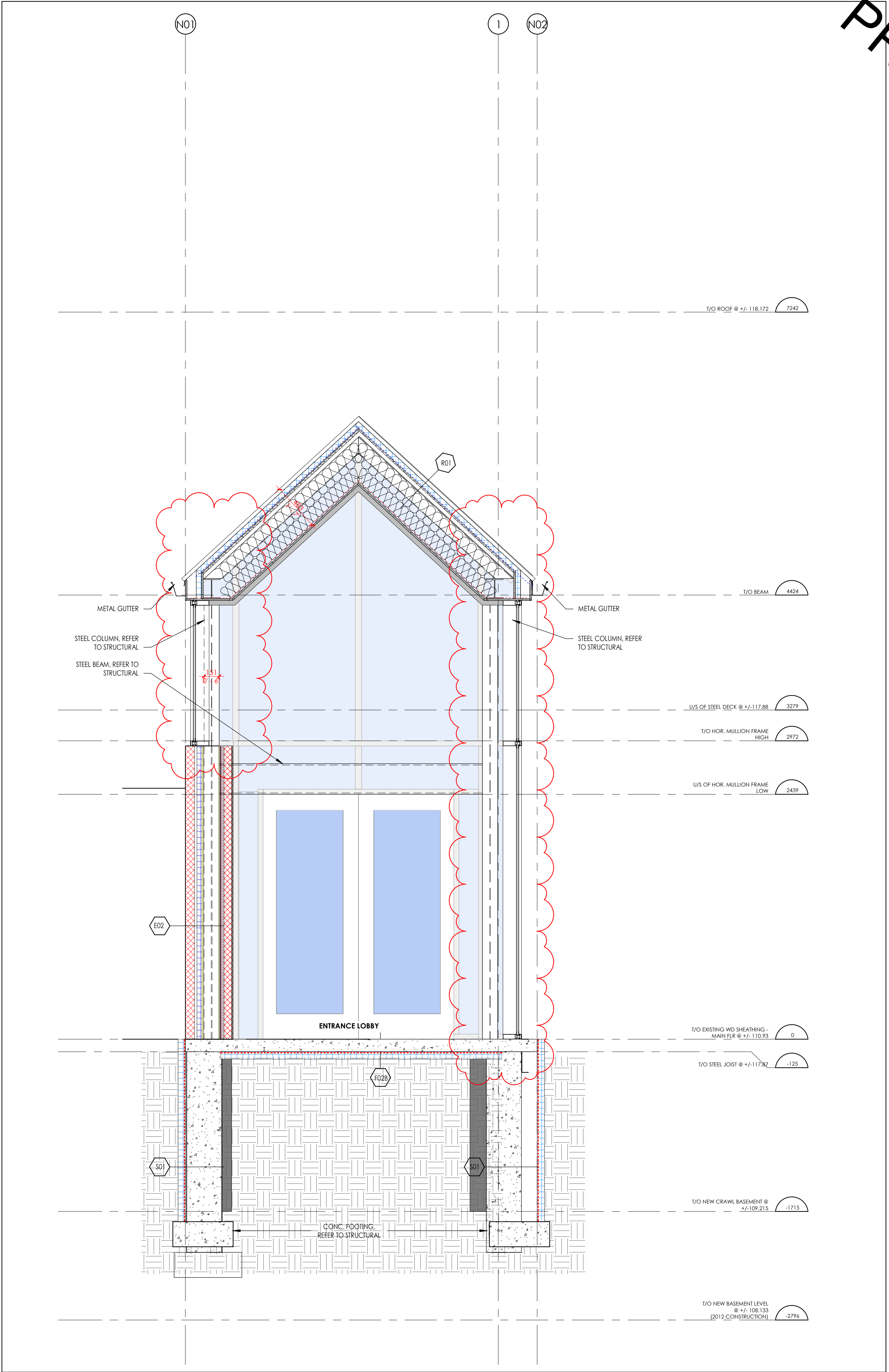
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A403

PRELIMINARY



2 WALL SECTION - 6
A404 1:25



1 WALL SECTION - 5
A404 1:25

REVISION		
NUMBE	DAT	REMARK
02	2018 12 13	ISSUED FOR CcIA TO CITY OF HAMILTON
01	2018 08 30	ISSUED FOR SITE PLAN APPROVAL

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SEP 15

PROJECT

CITY OF HAMILTON
ST.MARK'S CHURCH
PHASE 2 RENOVATION
115 HUNTER STREET WEST,
HAMILTON, ON

DRAWING

WALL SECTIONS

DRAWN

Author

SCALE

1 : 25

DAT

2017 03 06

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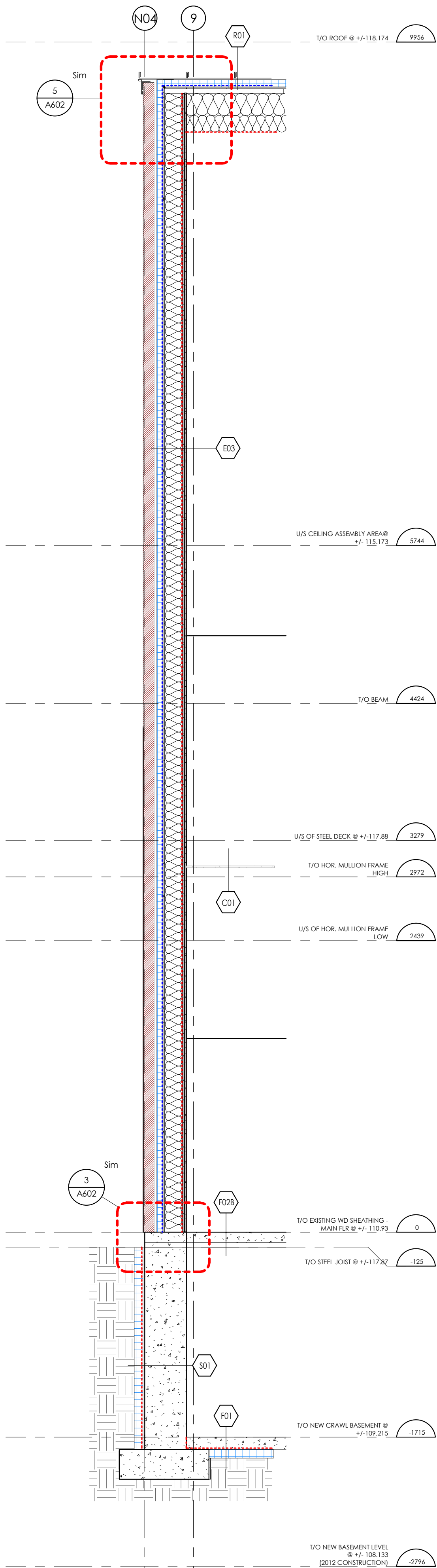
PROJECT

15 - 1091

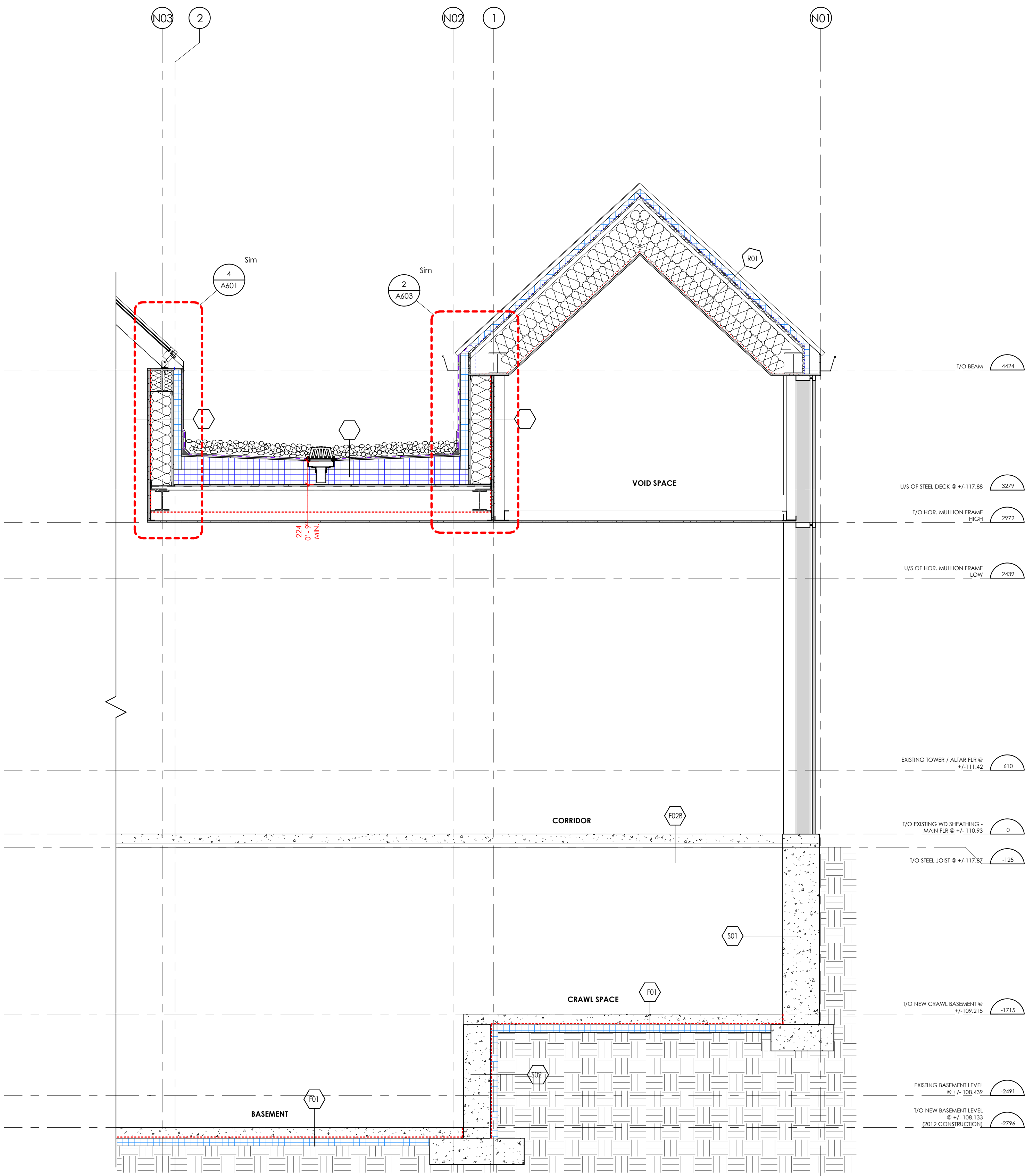
DRAWING

A404

PRELIMINARY



2 WALL SECTION - 8
A405 1 : 25



1 WALL SECTION - 7
A405 1 : 25

REVISION		
NUMBE	DAT	REMARK
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PROJECT
CITY OF HAMILTON
ST. MARK'S CHURCH
PHASE 2 RENOVATION
115 HUNTER STREET WEST,
HAMILTON, ON

DRAWING
WALL SECTIONS

DRAWN
Author

SCALE
1 : 25

DAT
2017 03 06

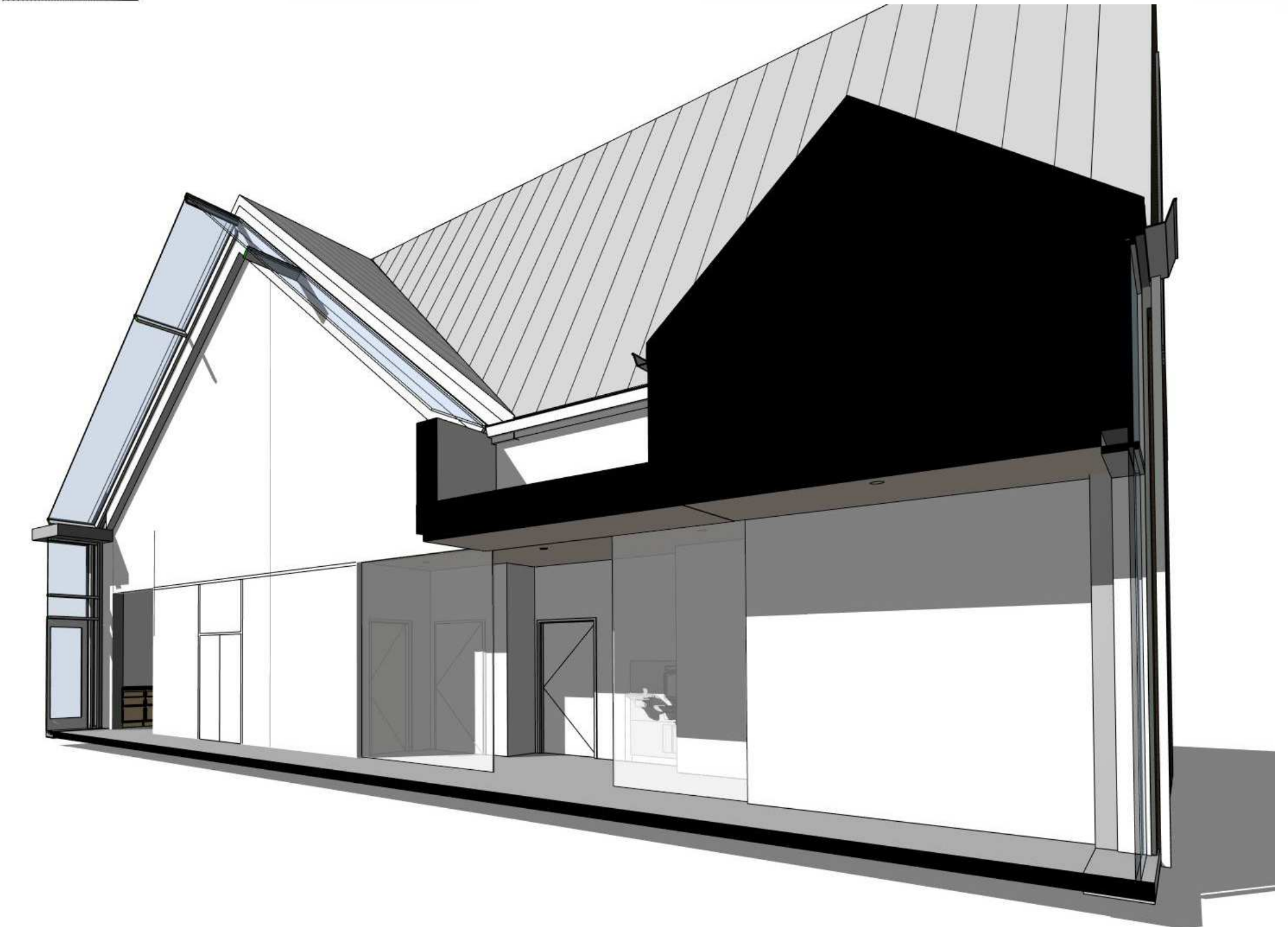
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PROJECT
15 - 1091

DRAWING

A405

PRELIMINARY



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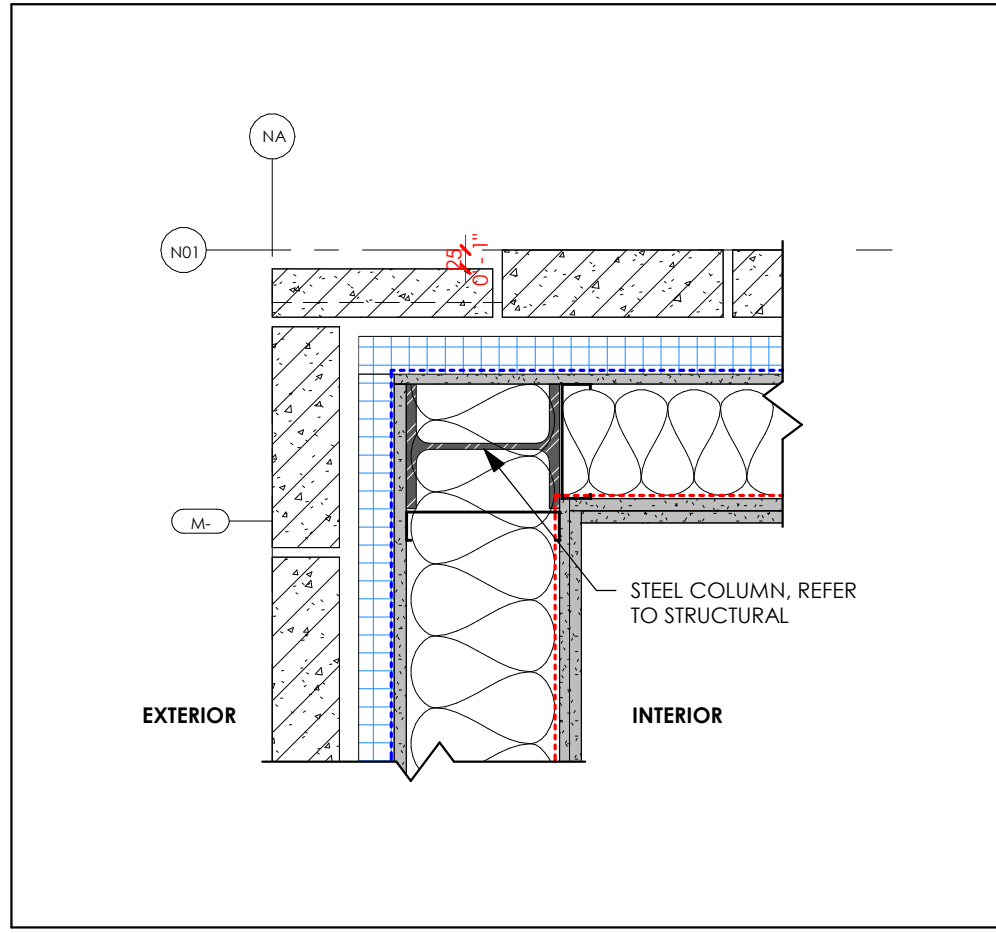
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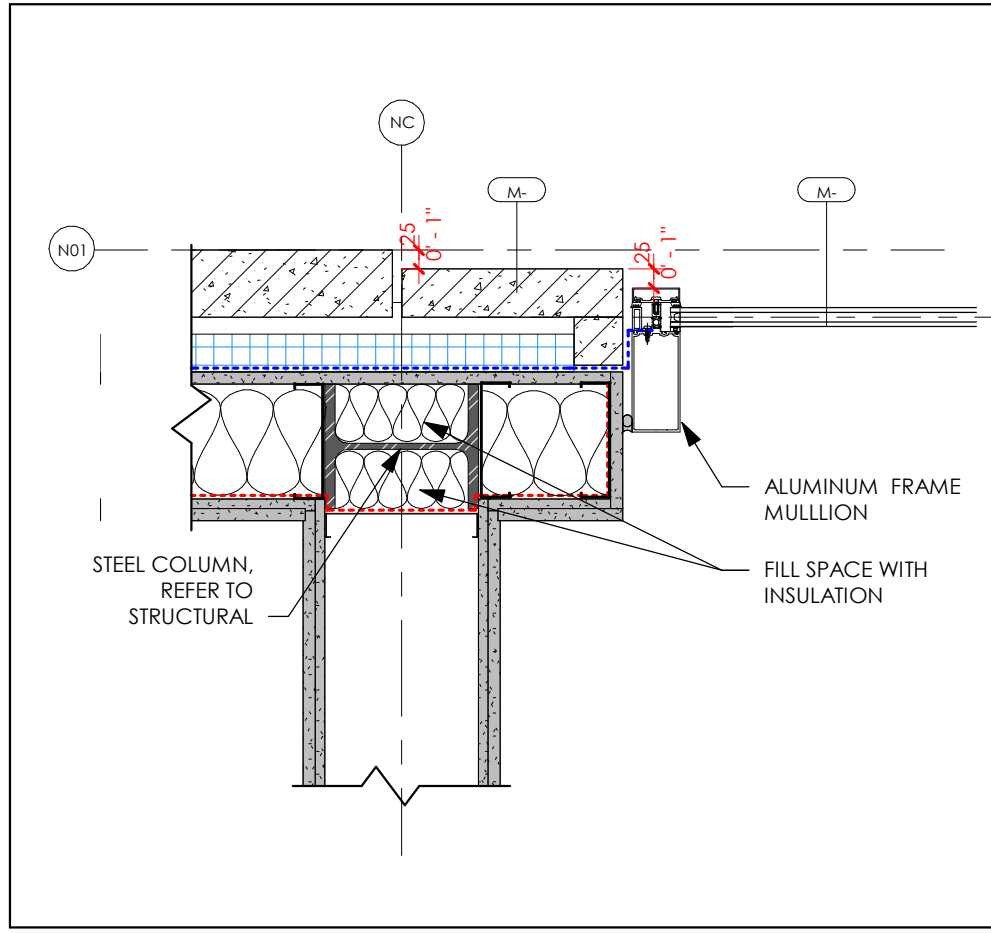
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PROJECT	
CITY OF HAMILTON ST.MARK'S CHURCH PHASE 2 RENOVATION 115 HUNTER STREET WEST, HAMILTON, ON	
DRAWING	
INTERIOR RENDERINGS	
DRAWN	
AA	
SCALE	
DAT	
2017 03 06	
CHECKED	
MWB	
PROJECT	
15 - 1091	
DRAWING	

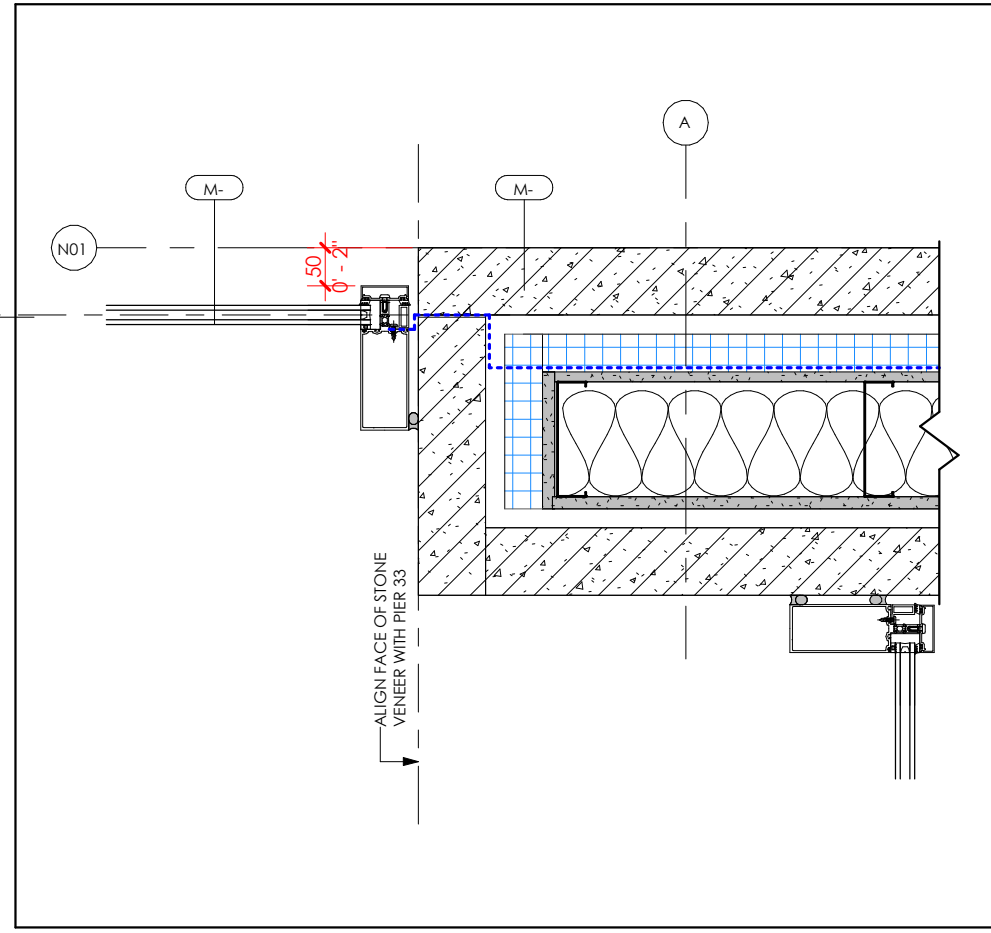
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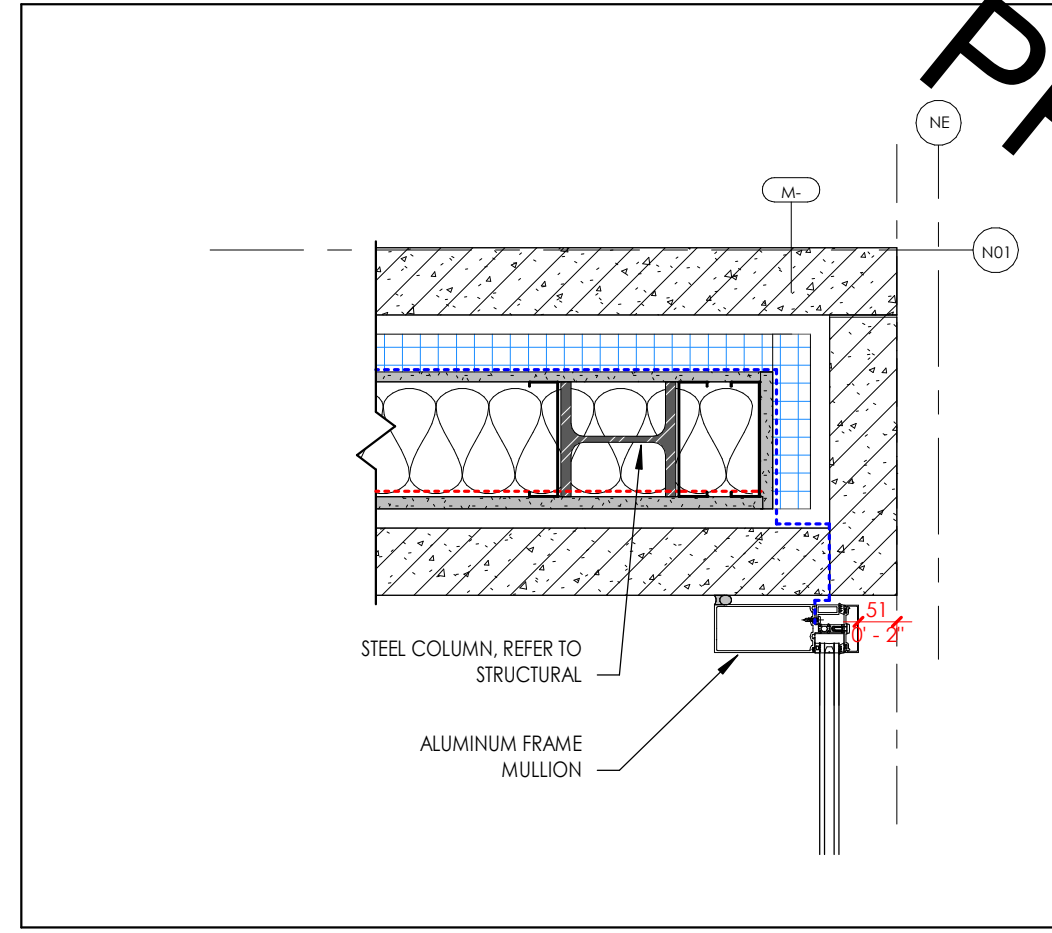
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A600 1:10



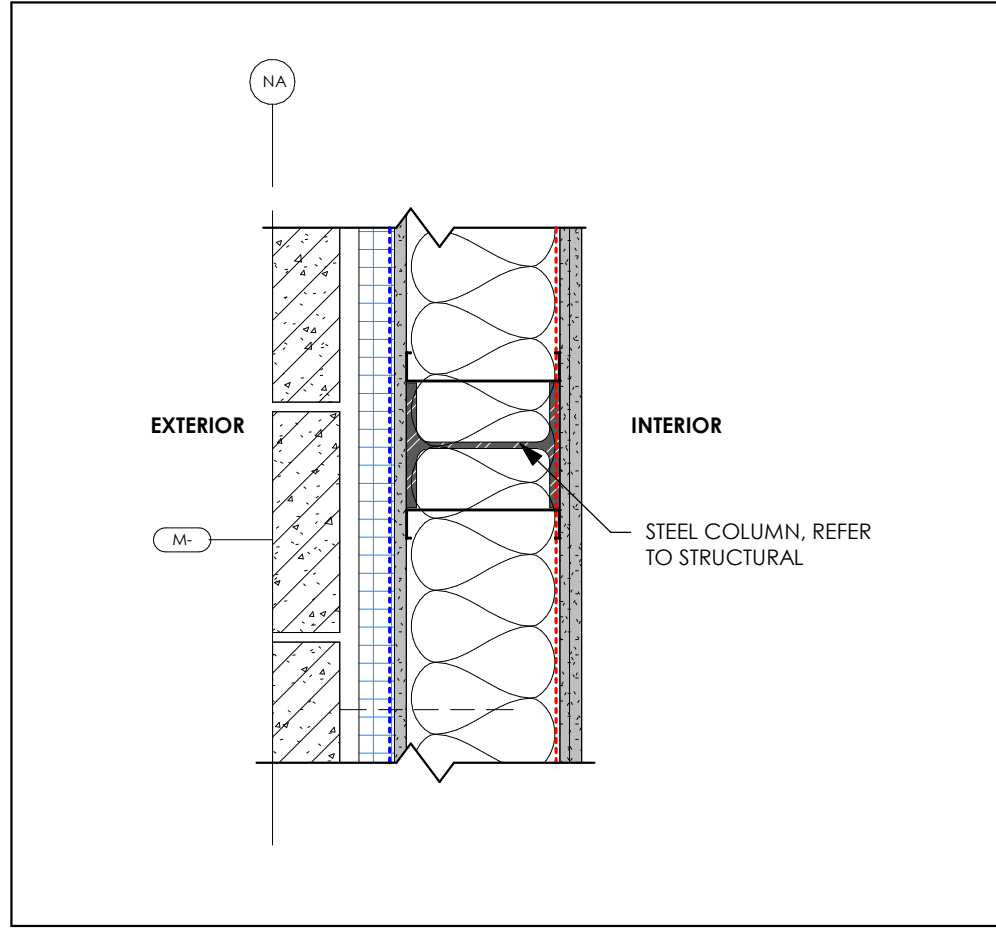
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A600 1:10



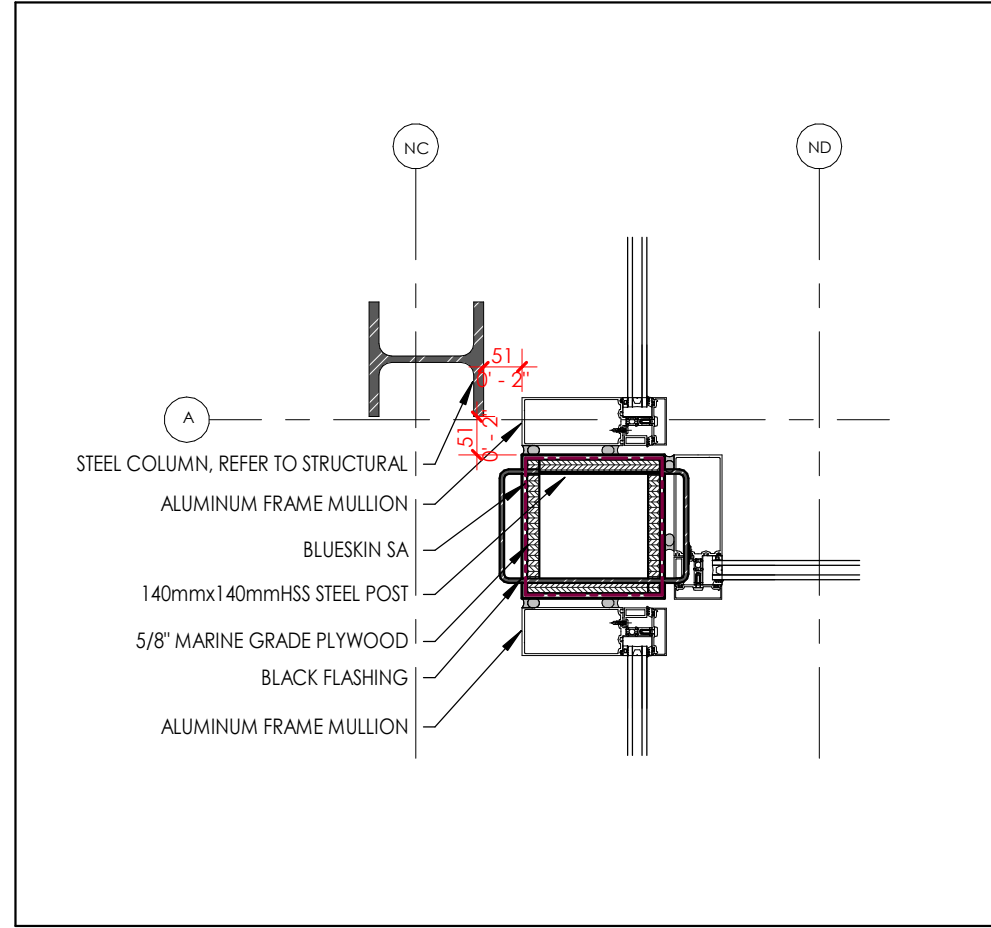
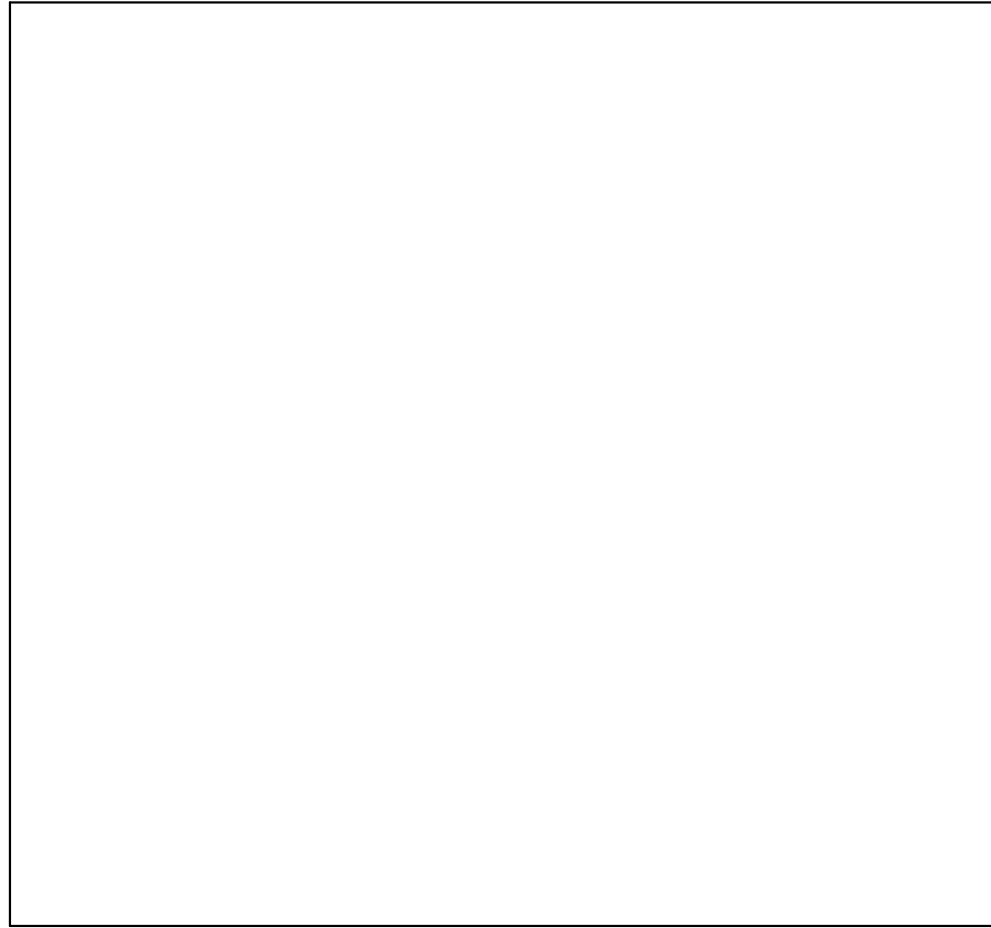
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A600 1:10



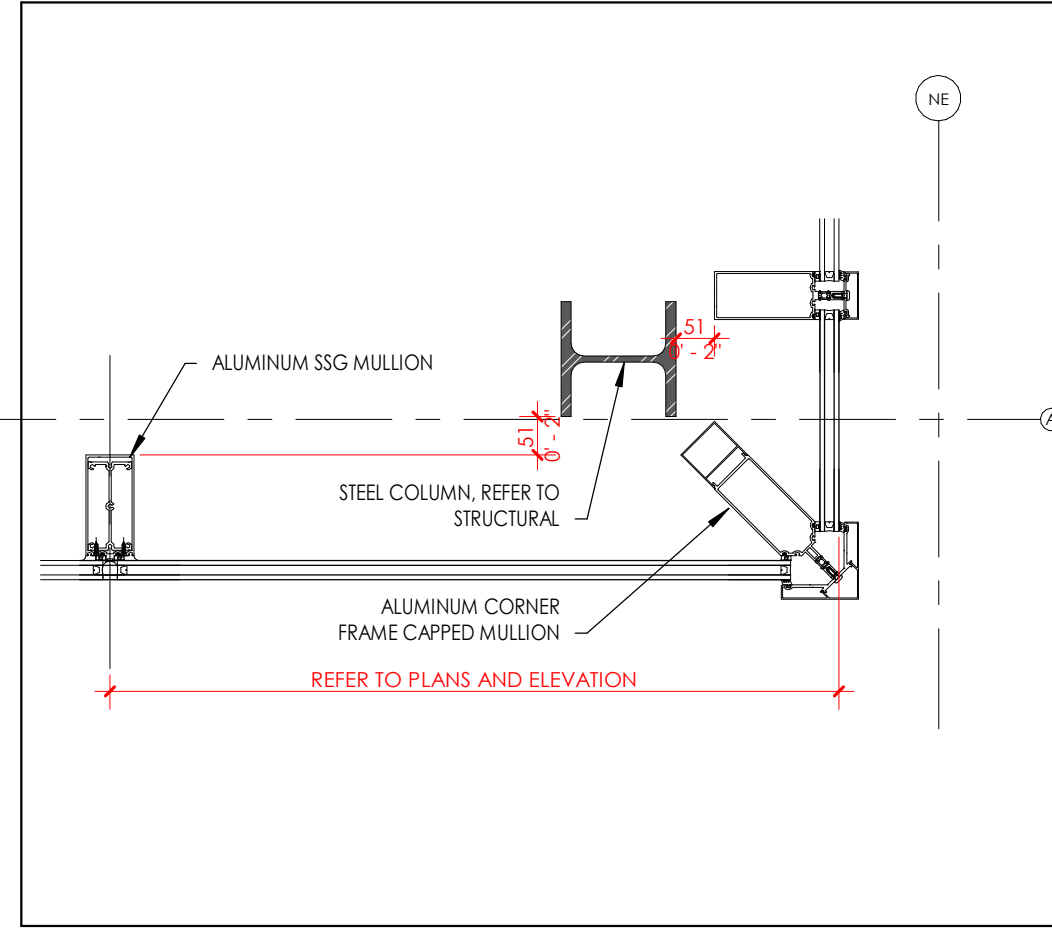
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A600 1:10



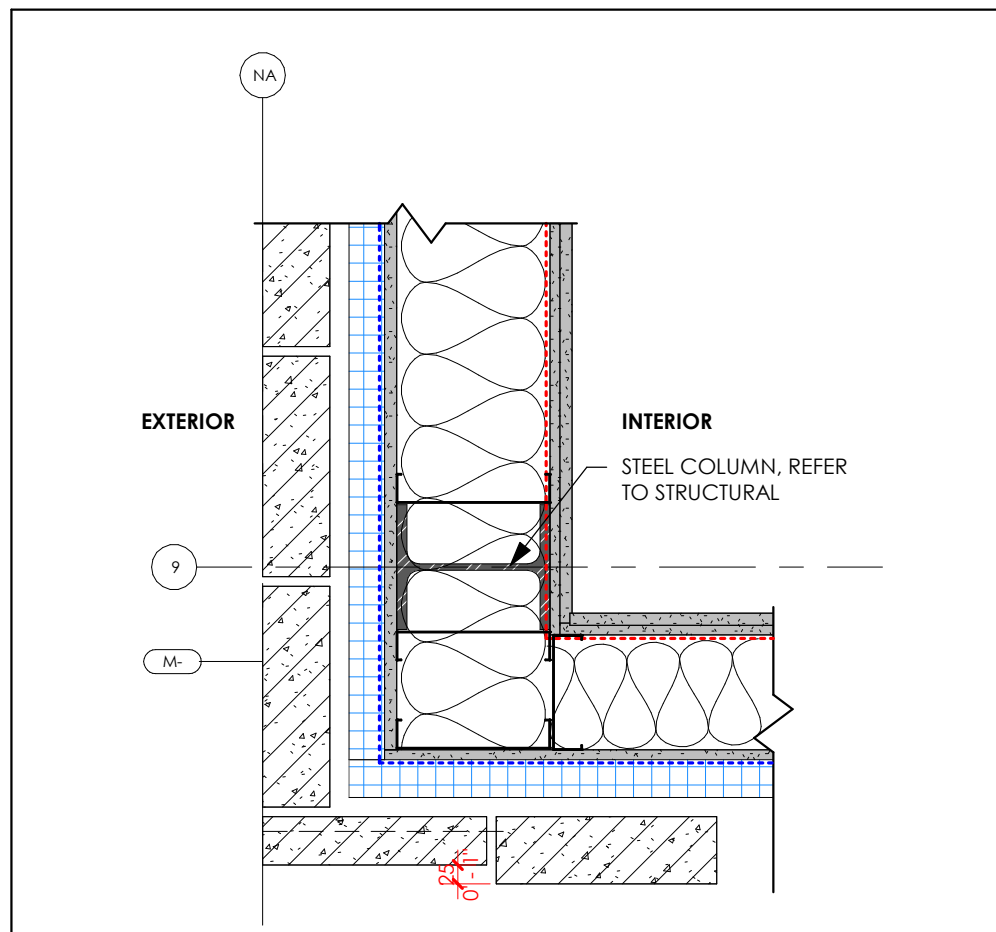
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A600 1:10



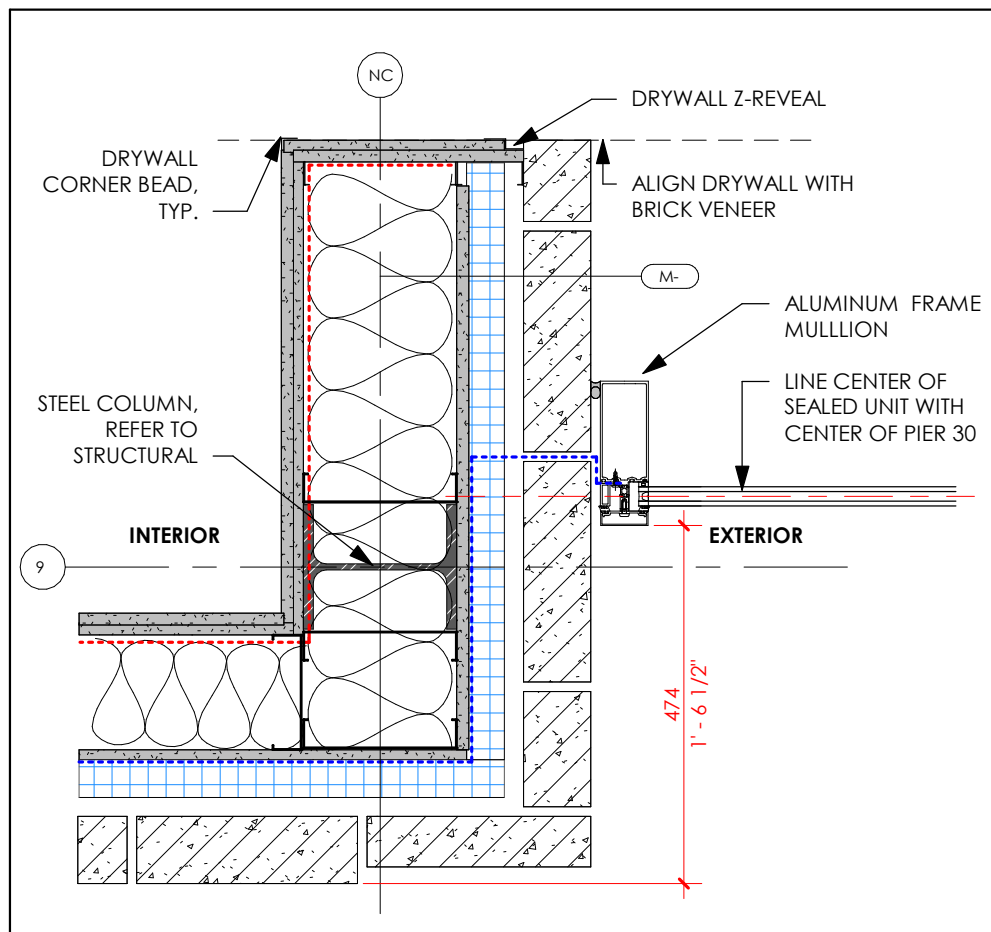
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A600 1:10



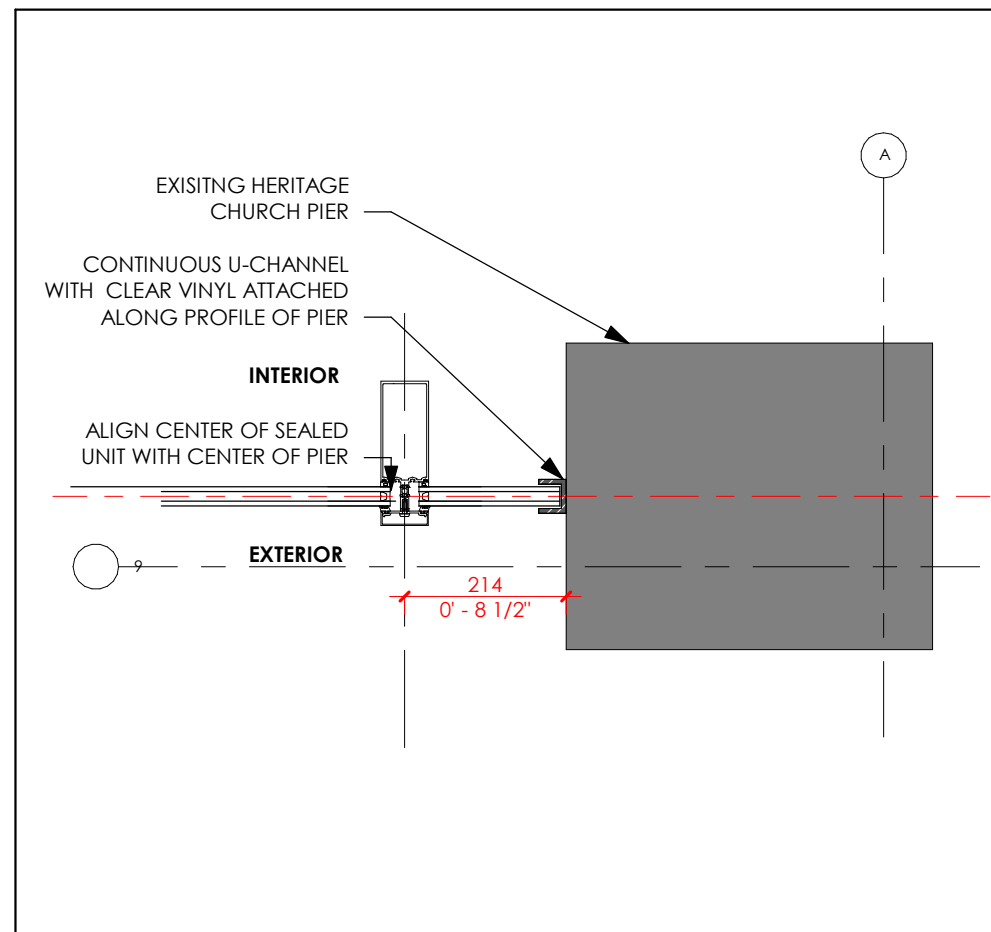
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A600 1:10



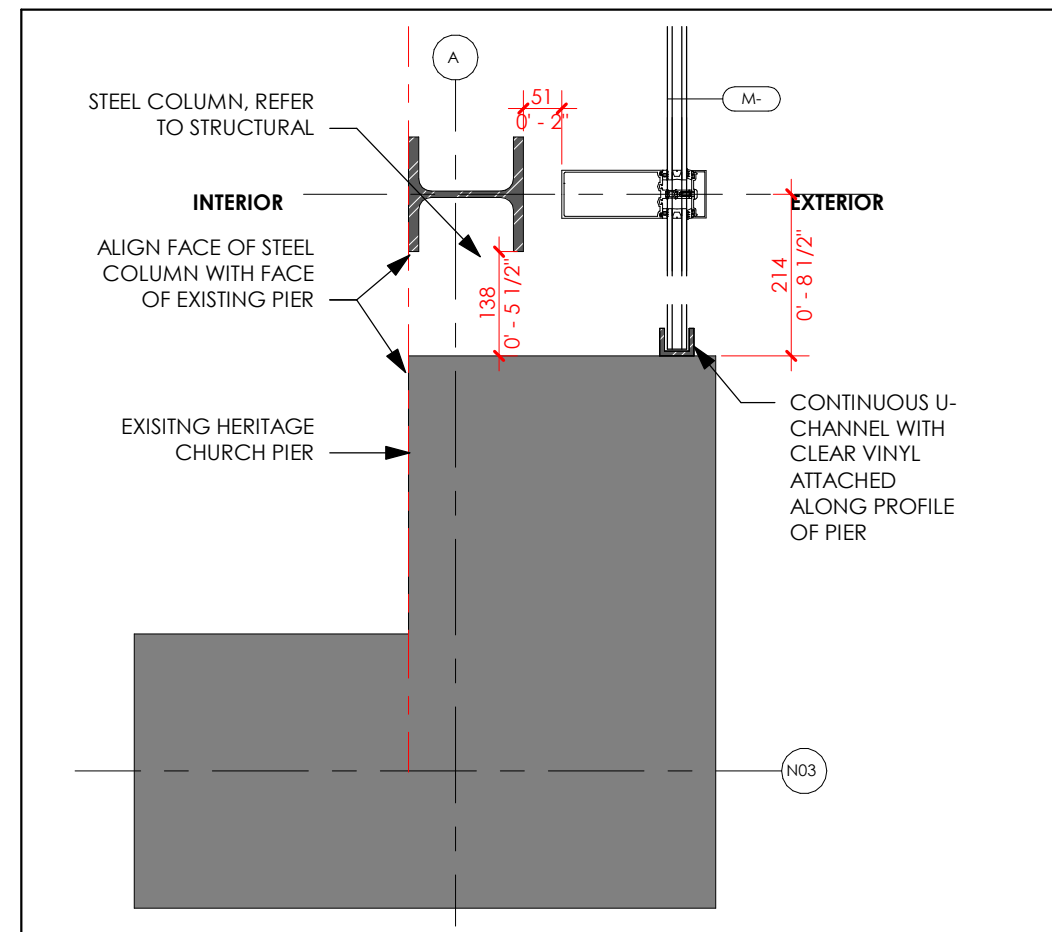
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A600 1:10



11 PLAN SECTION - COLUMN @ GRID 9,NC
A600 1:10



10 PLAN SECTION - COLUMN @ GRID 9,A
A600 1:10



9 PLAN SECTION - COLUMN @ GRID N03,A
A600 1:10

PRELIMINARY

REVISION		
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SEAL

PROJECT

CITY OF HAMILTON
ST.MARK'S CHURCH
PHASE 2 RENOVATION
115 HUNTER STREET WEST,
HAMILTON, ON

DRAWING

PLAN SECTION DETAILS

DRAWN

AA

SCALE

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DAT

2017 03 06

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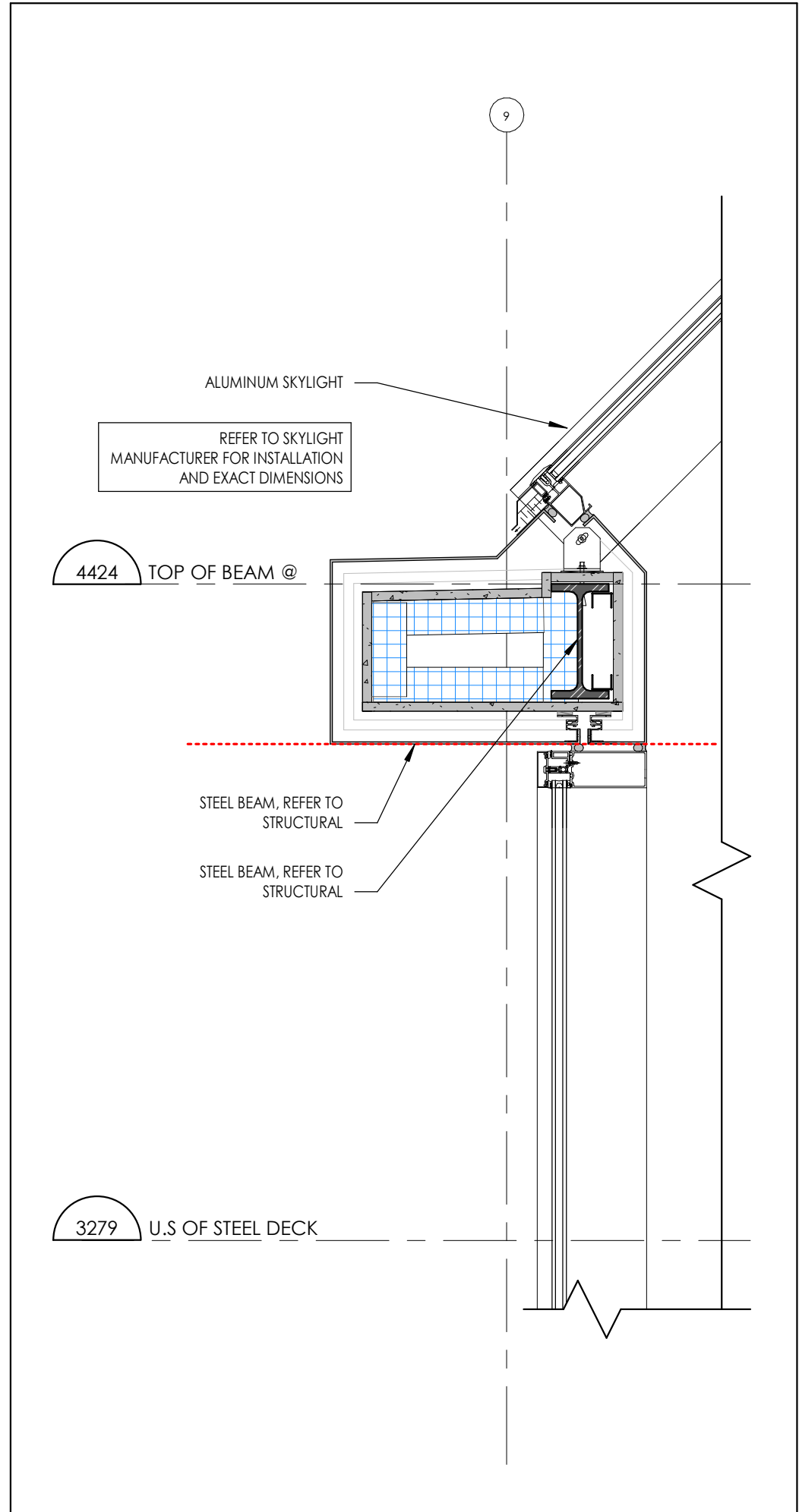
PROJECT

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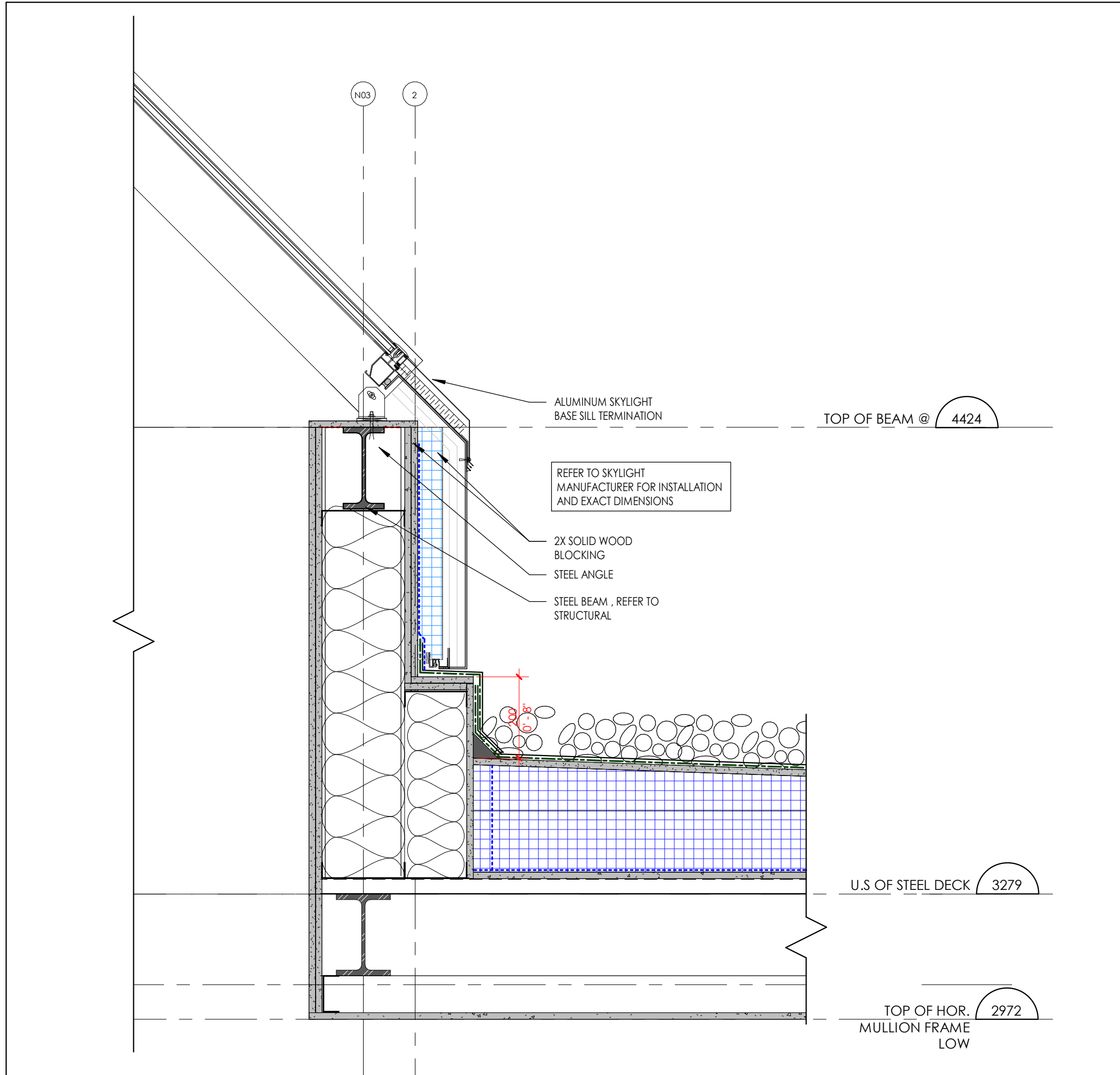
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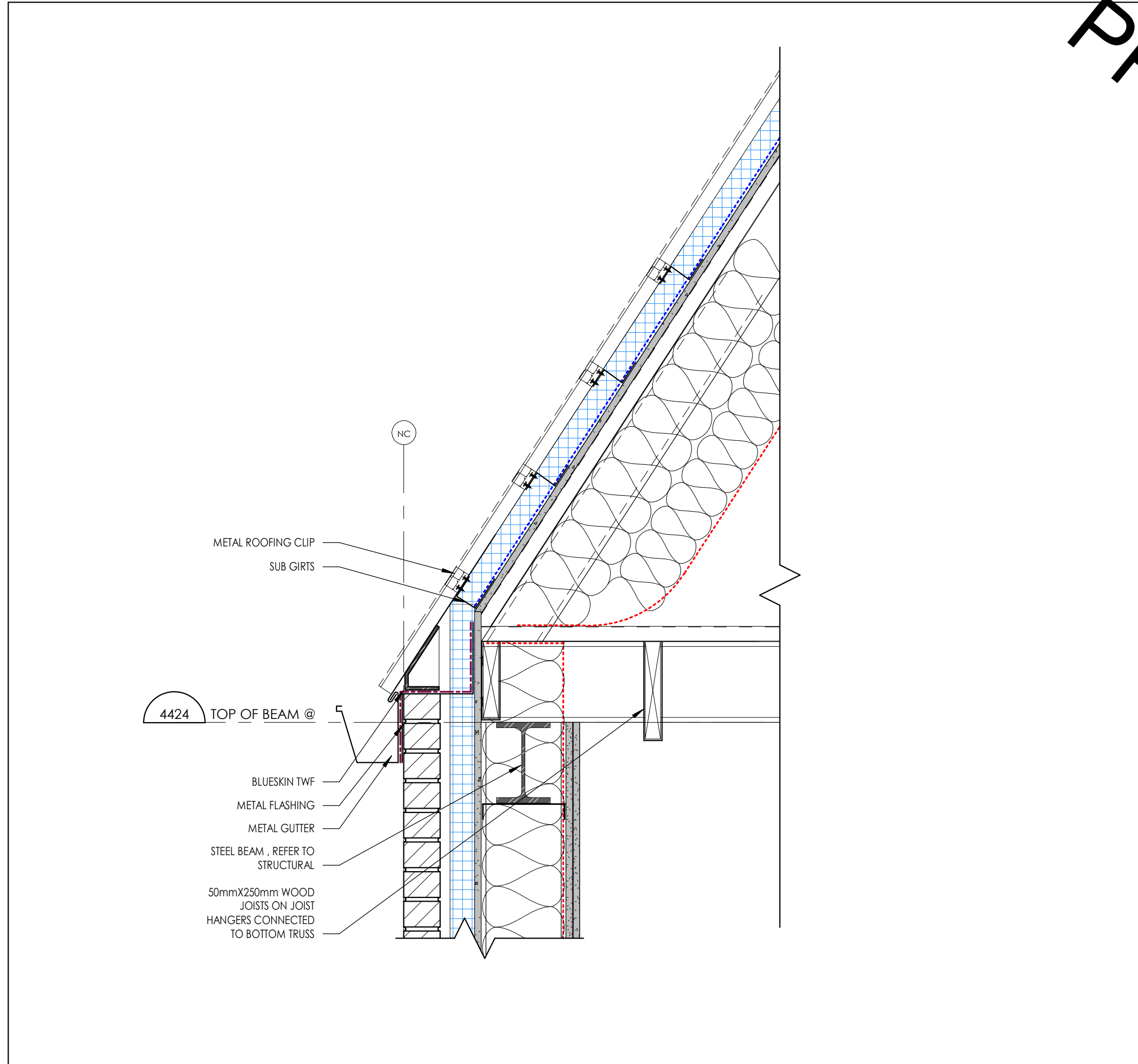
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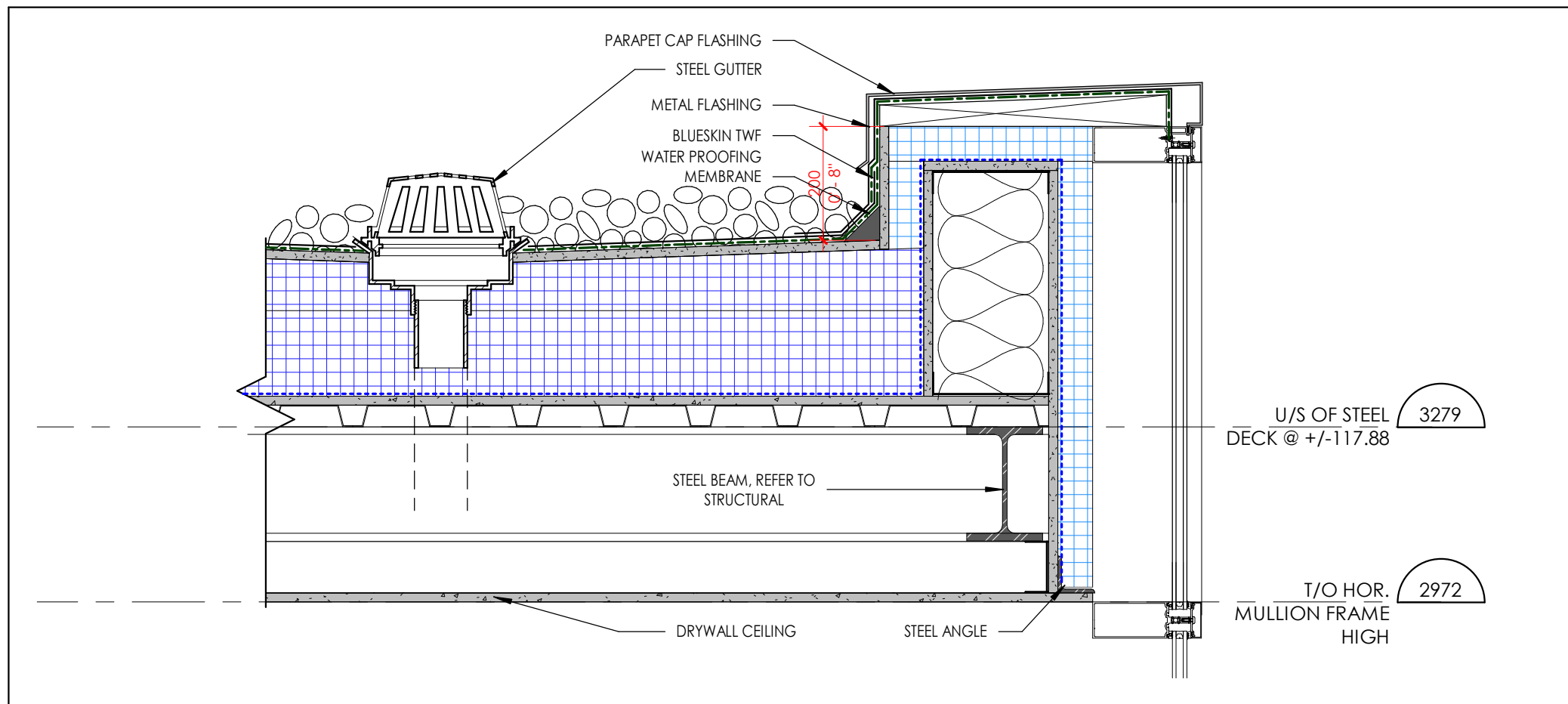
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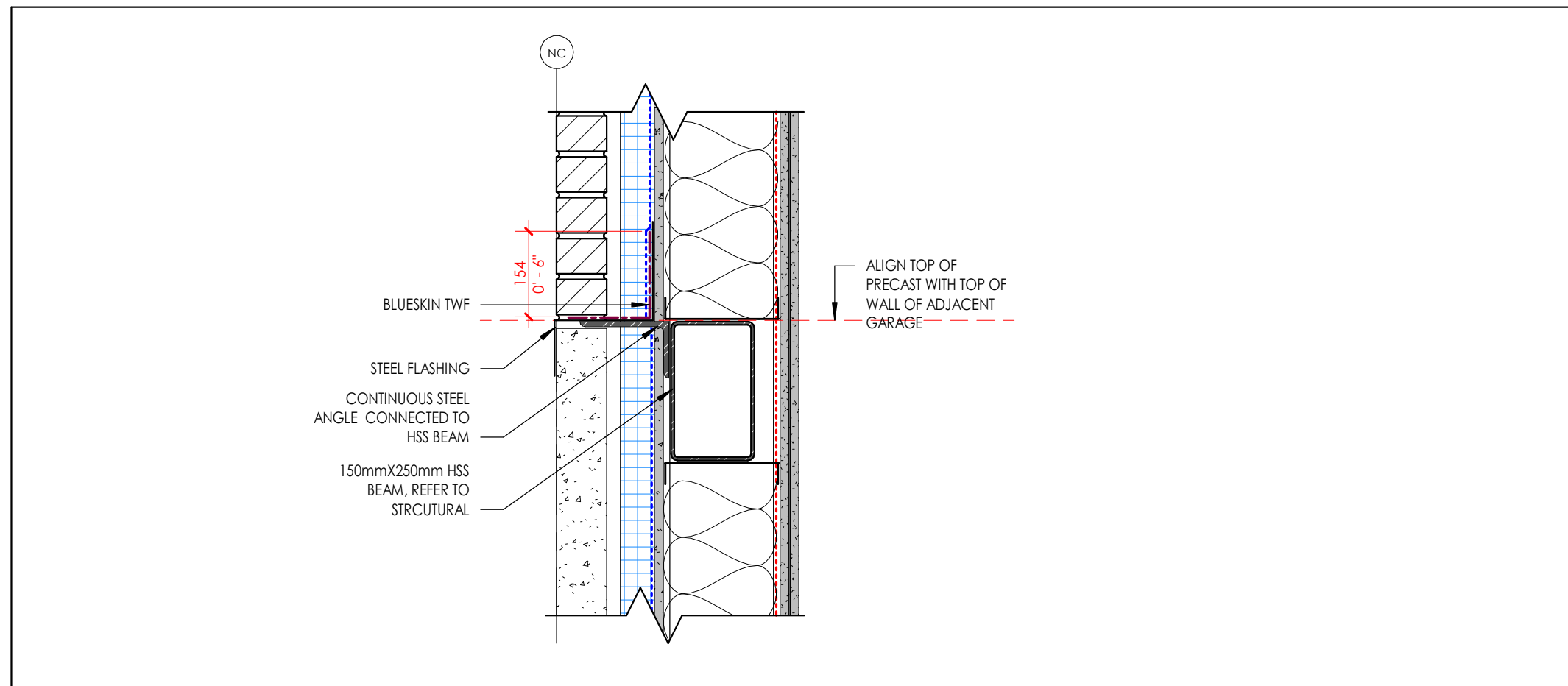
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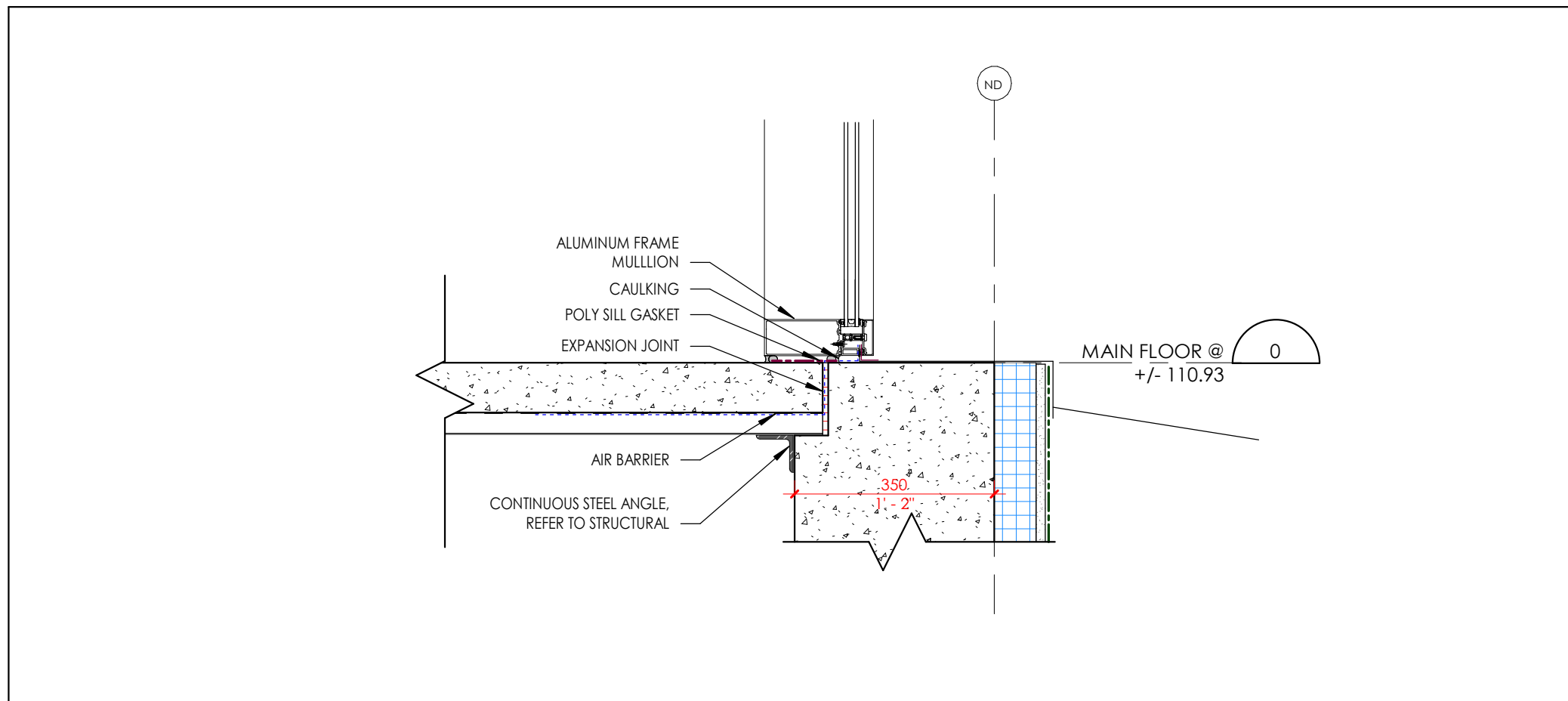
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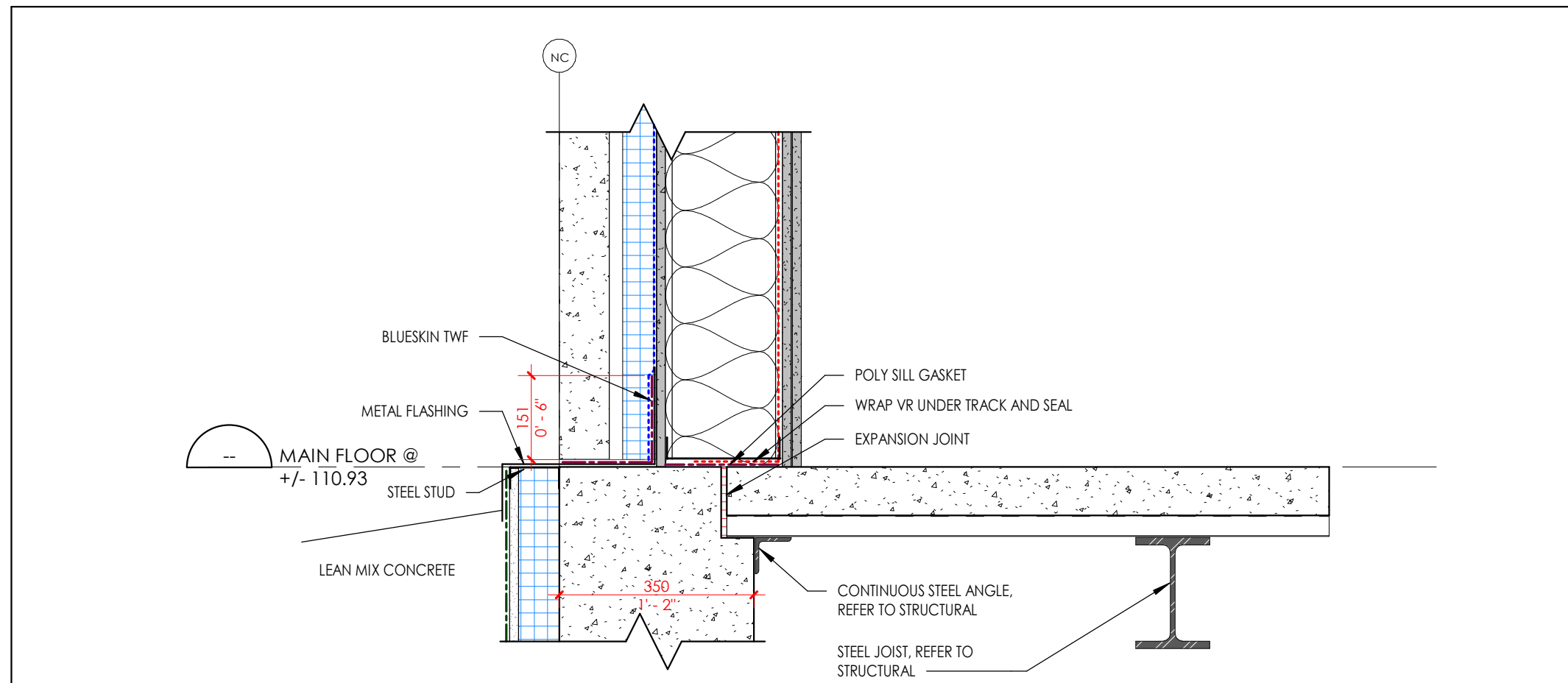
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6 SECTION DETAIL 7
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REVISION		
NUMBE	DAT	REMARK
01	2018 08 30	ISSUED FOR SITE PLAN APPROVAL

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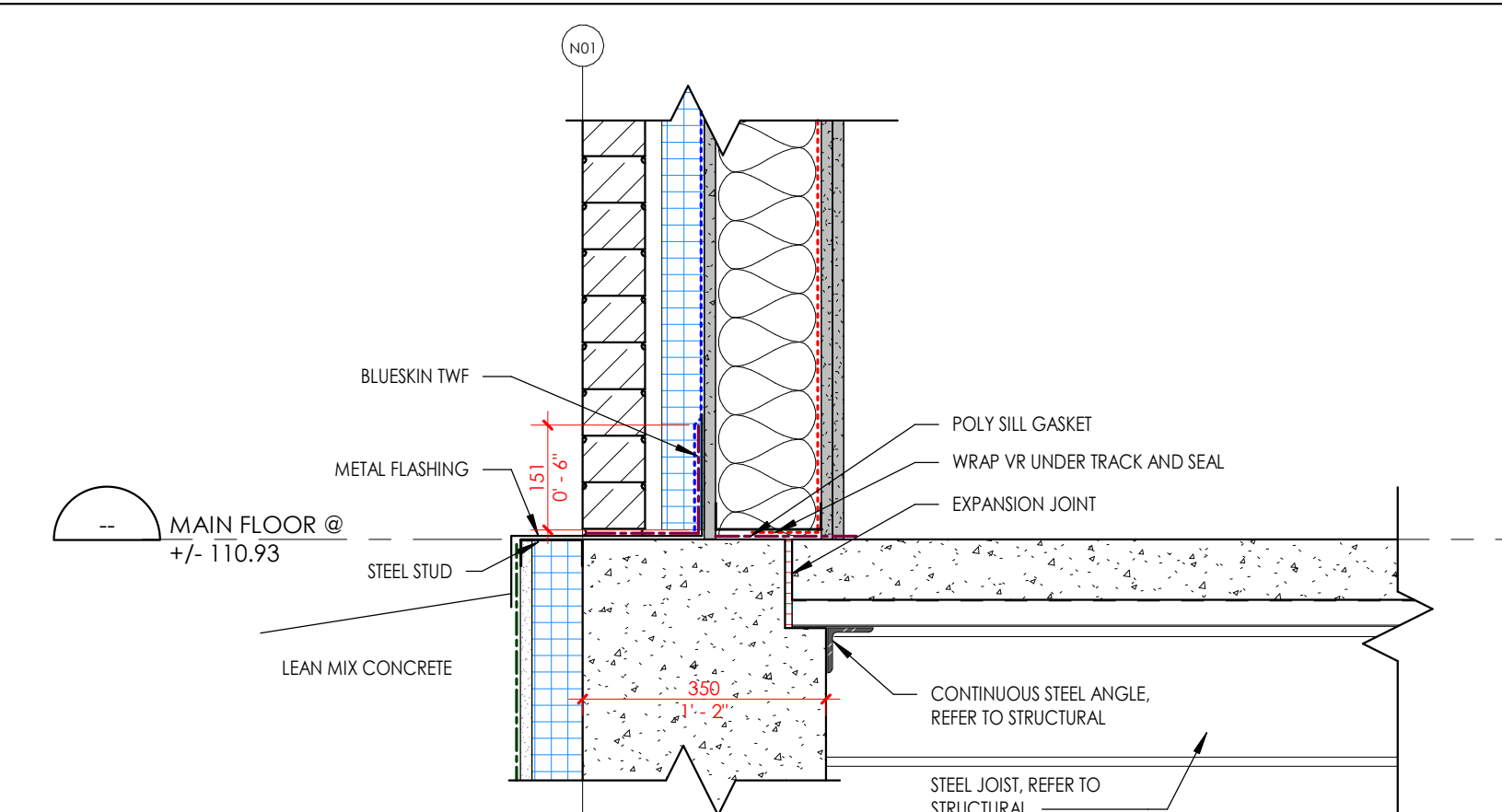
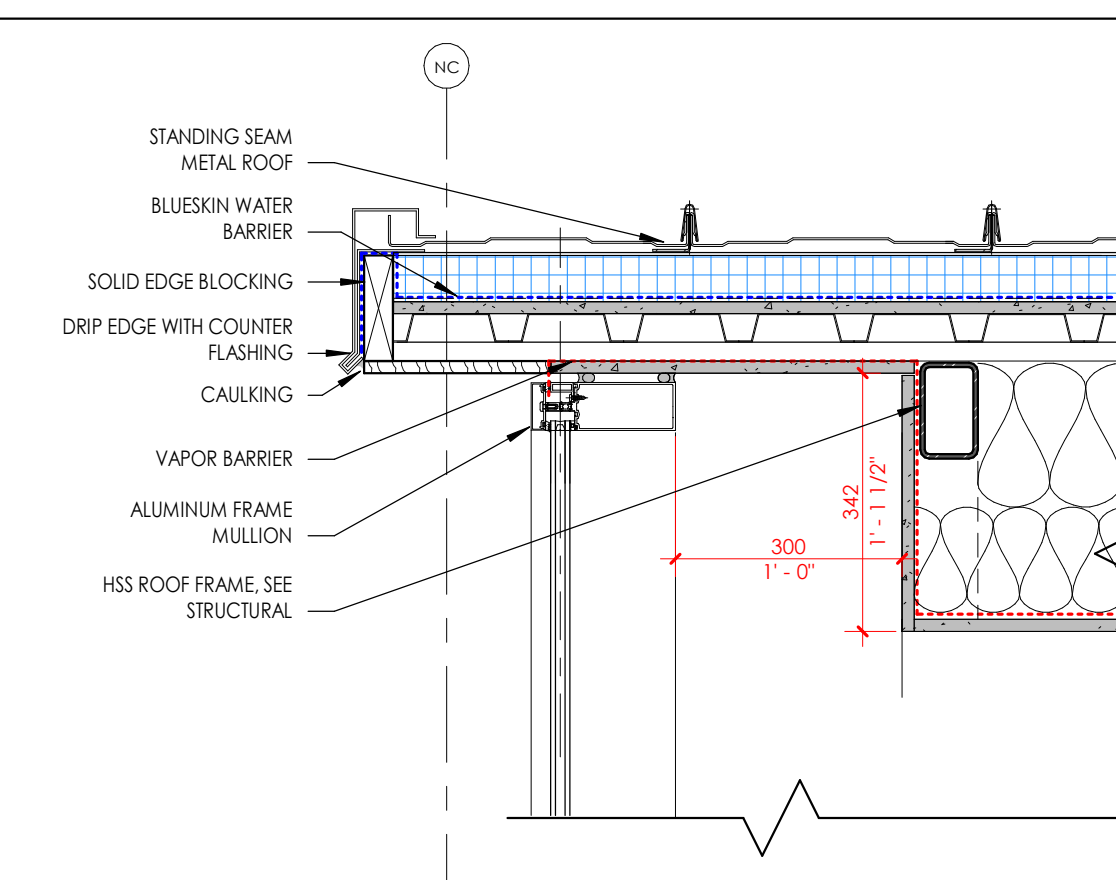
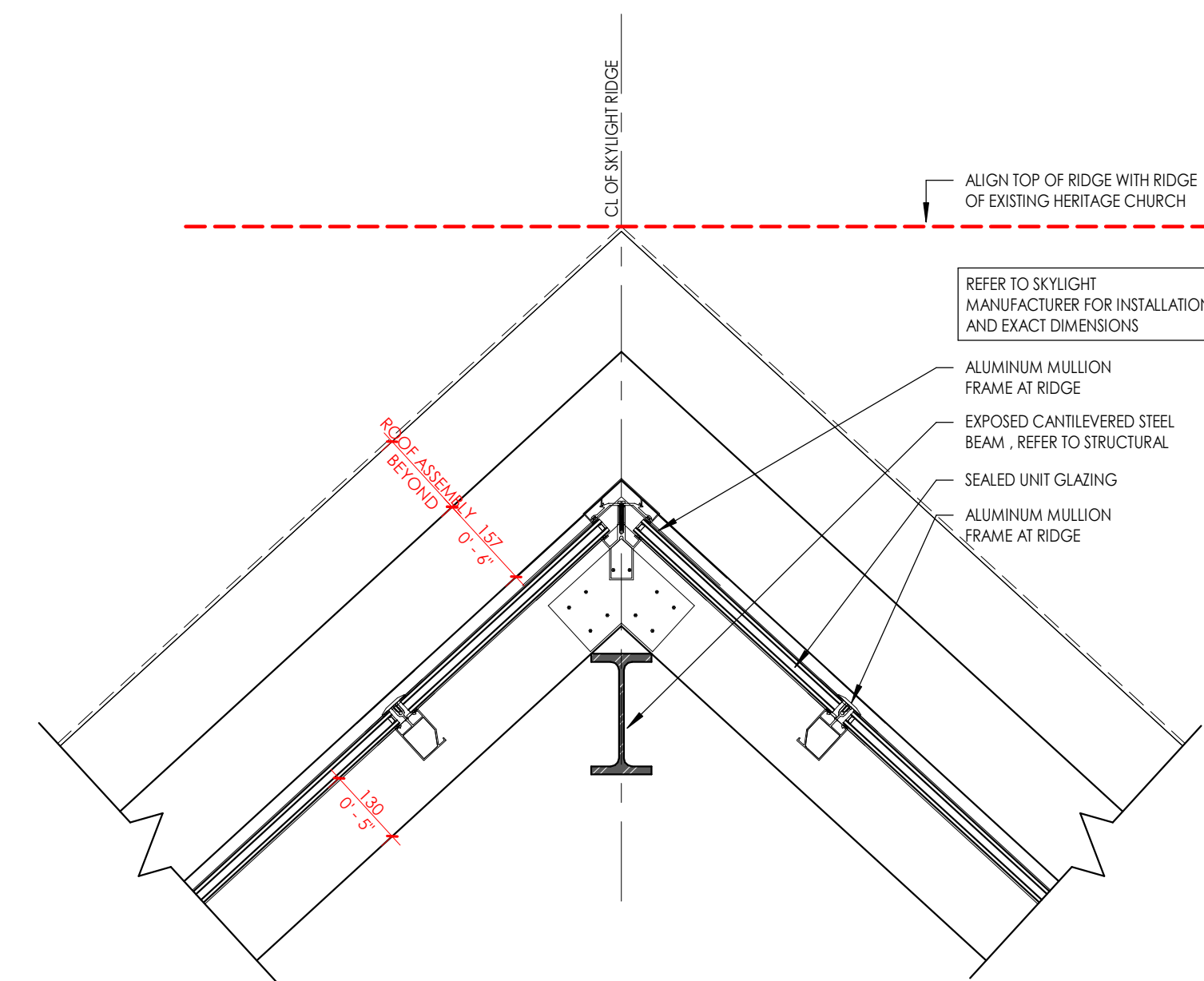
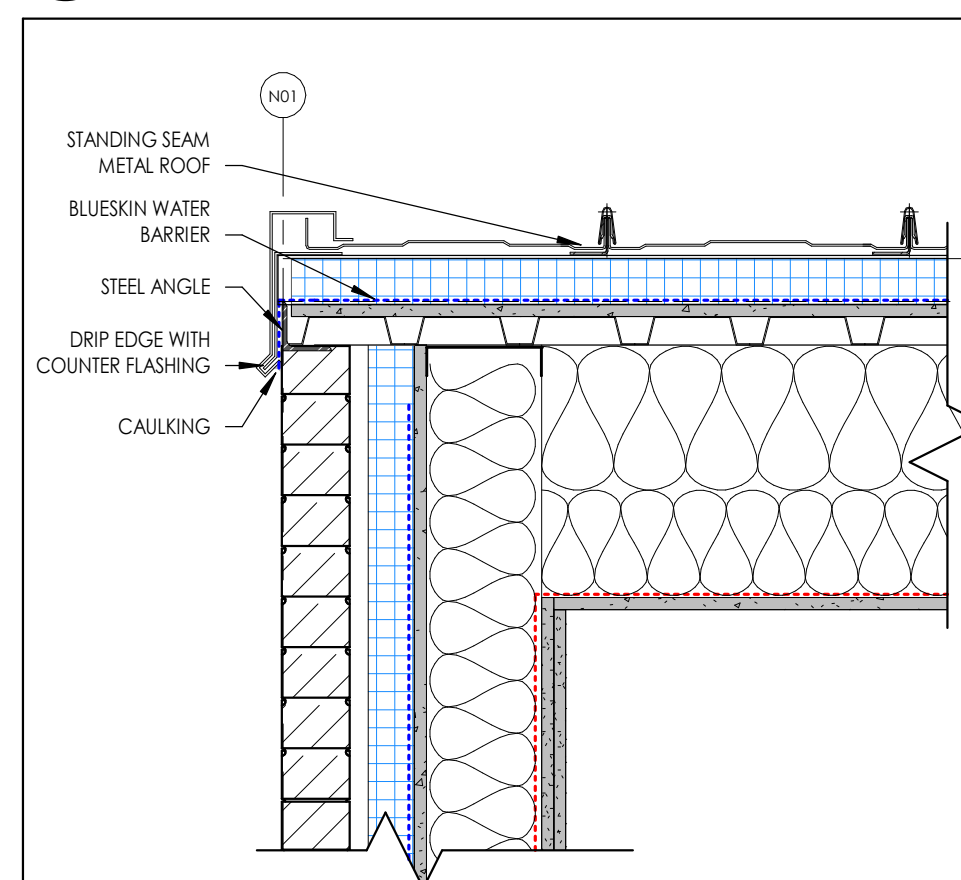
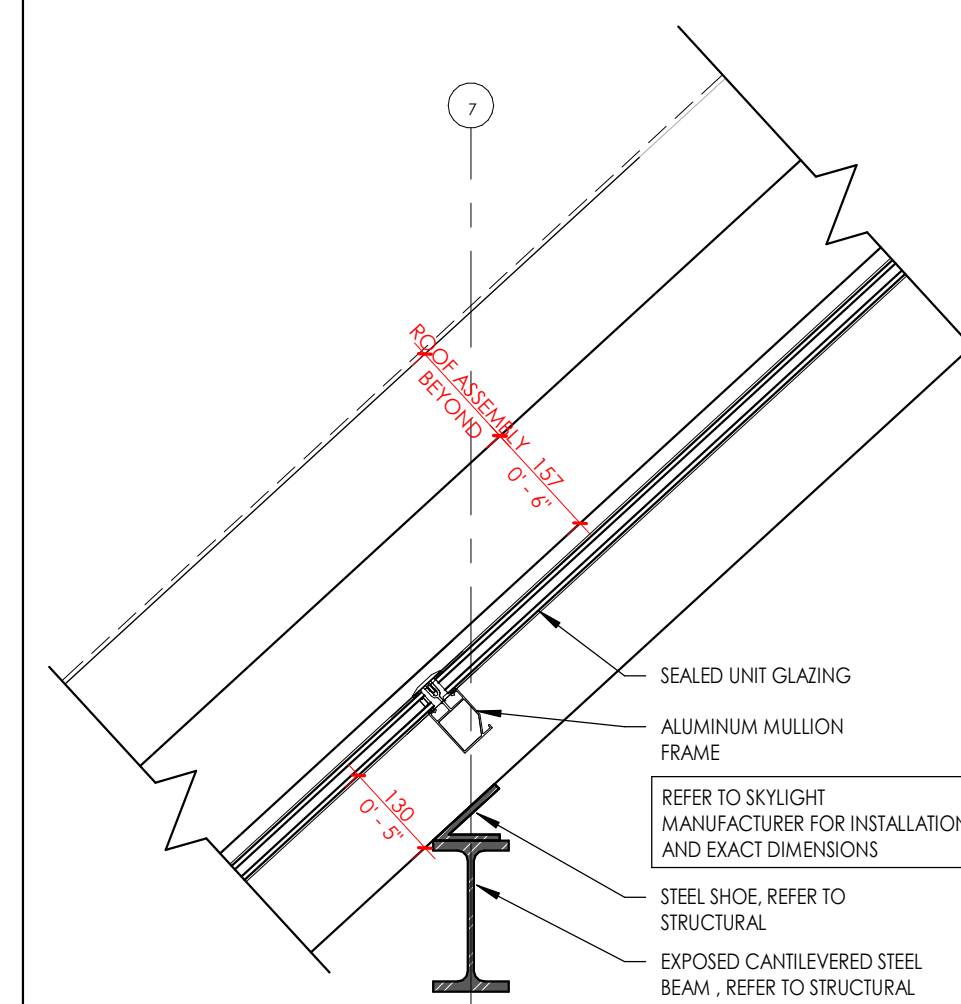
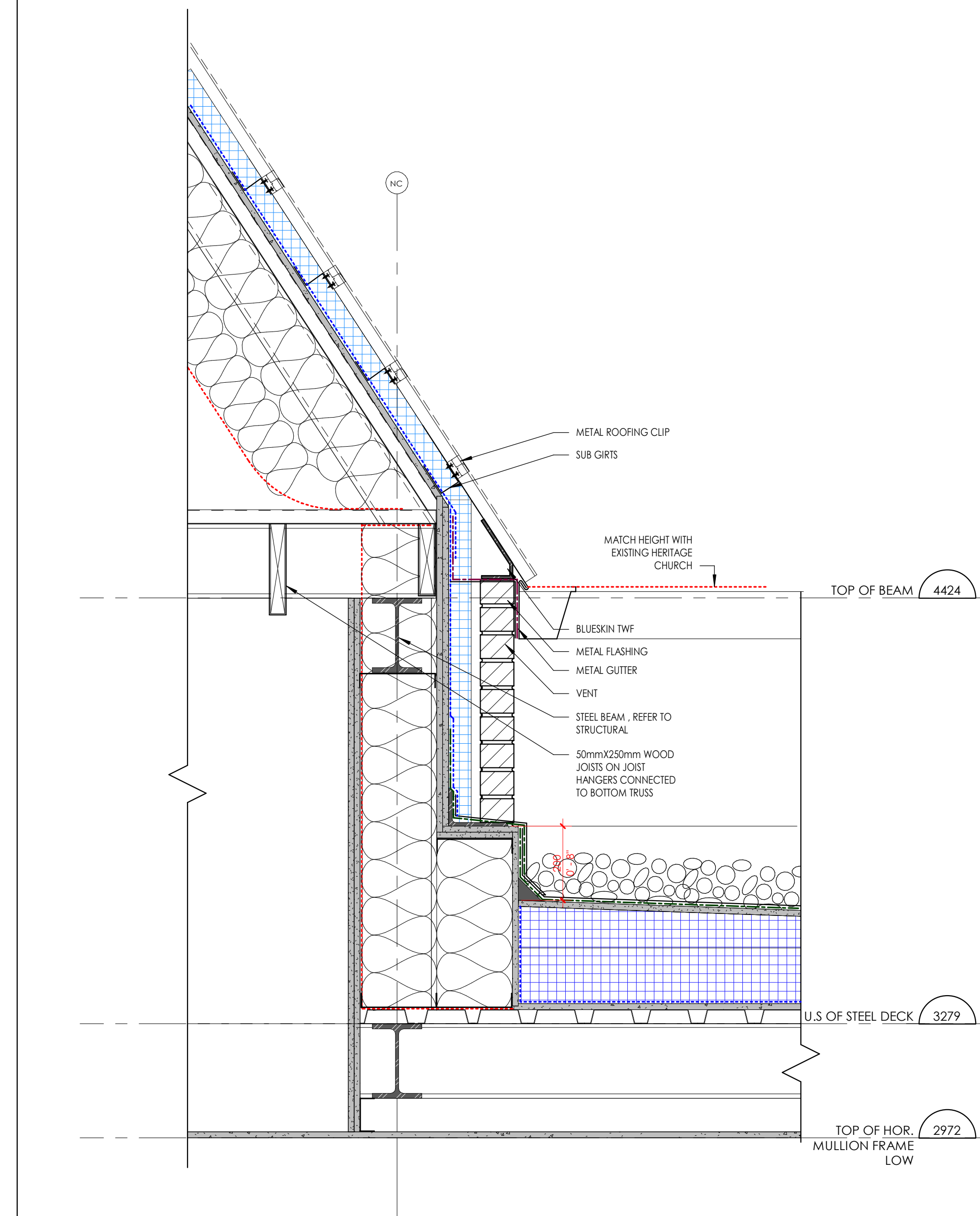
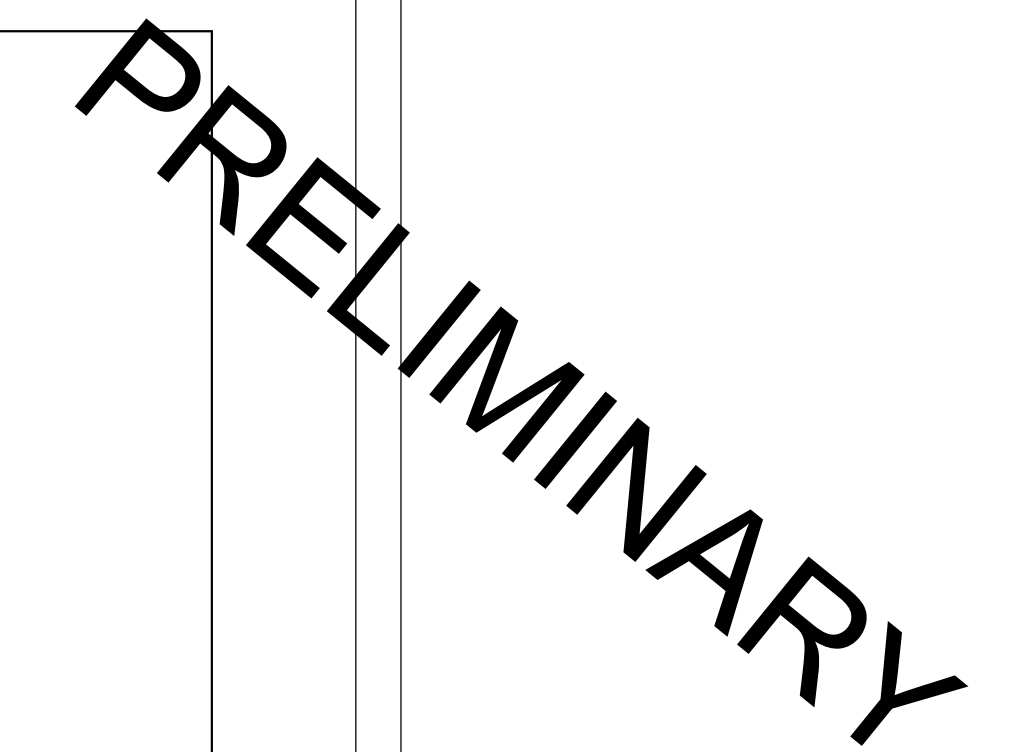
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PROJECT

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SECTION DETAILS

DRAWN

Author

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2017 03 06

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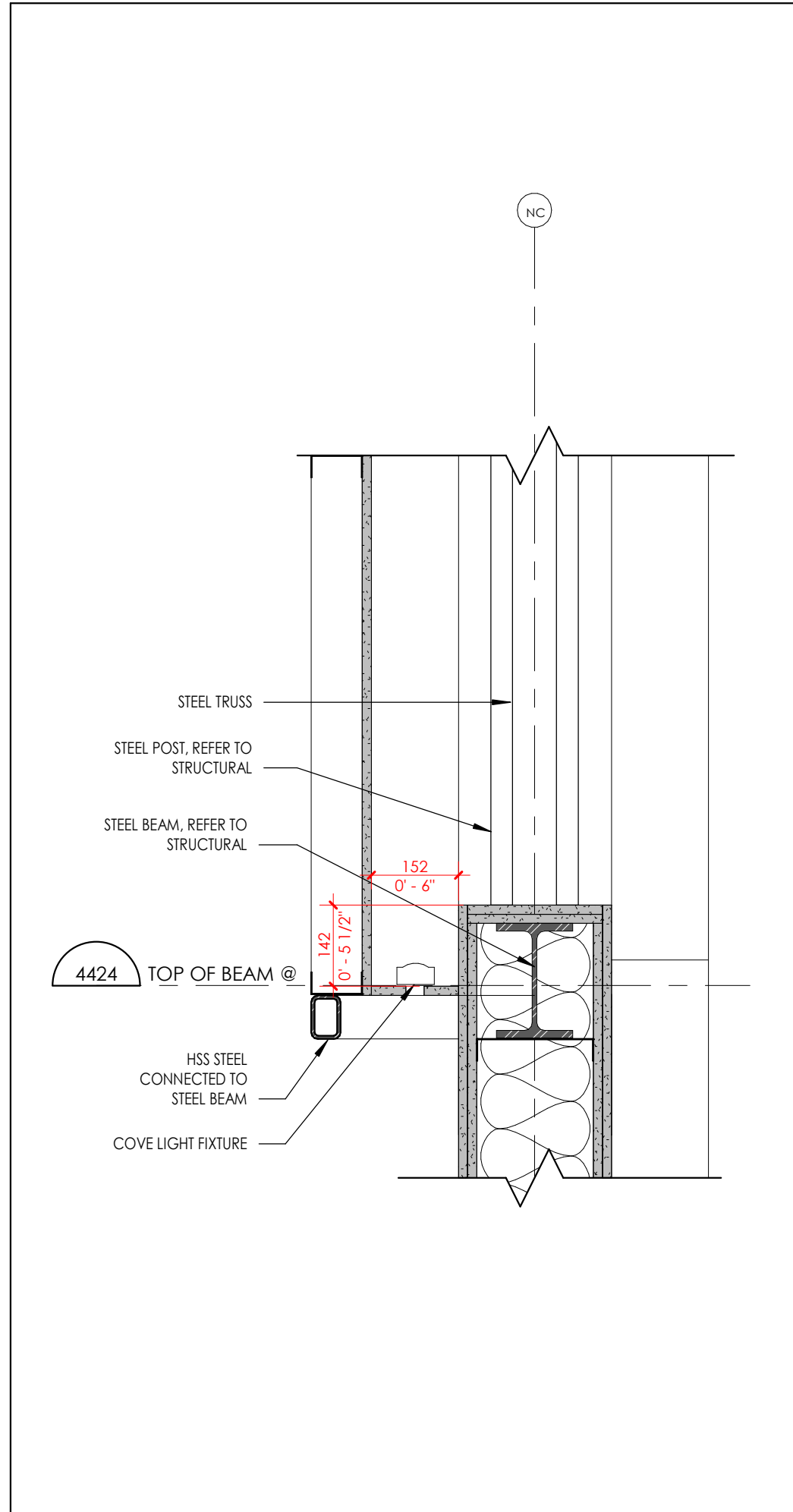
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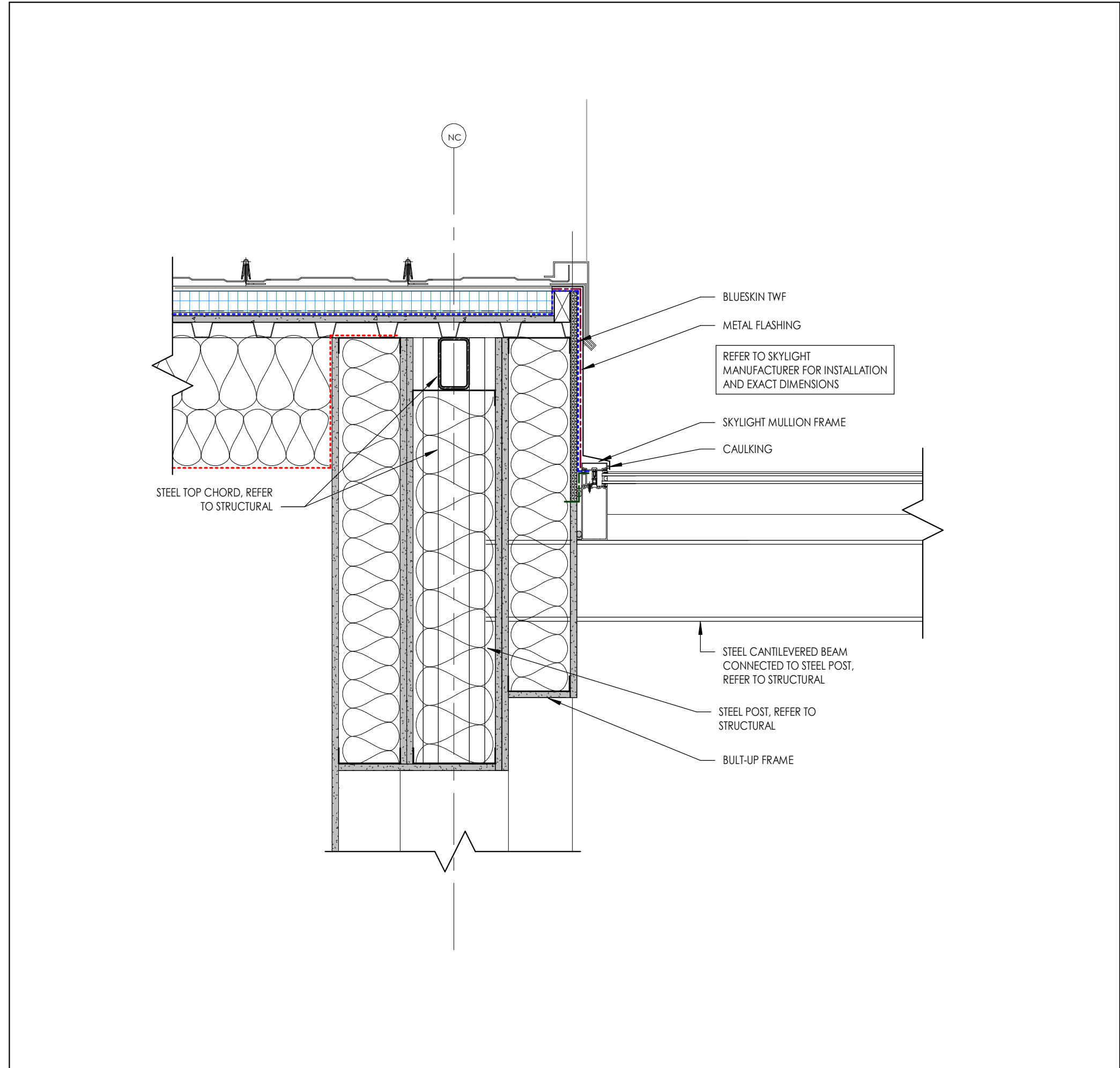
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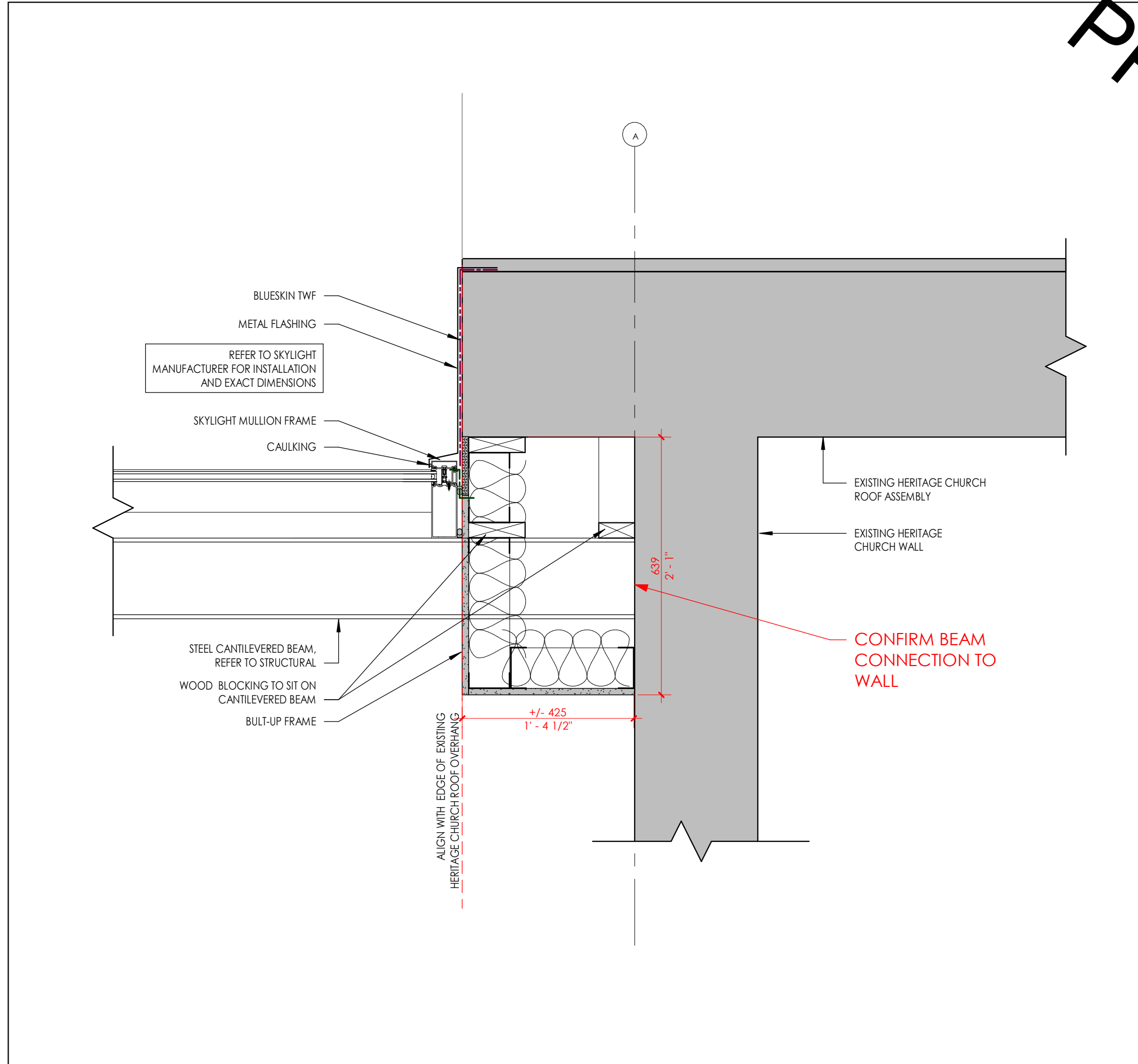
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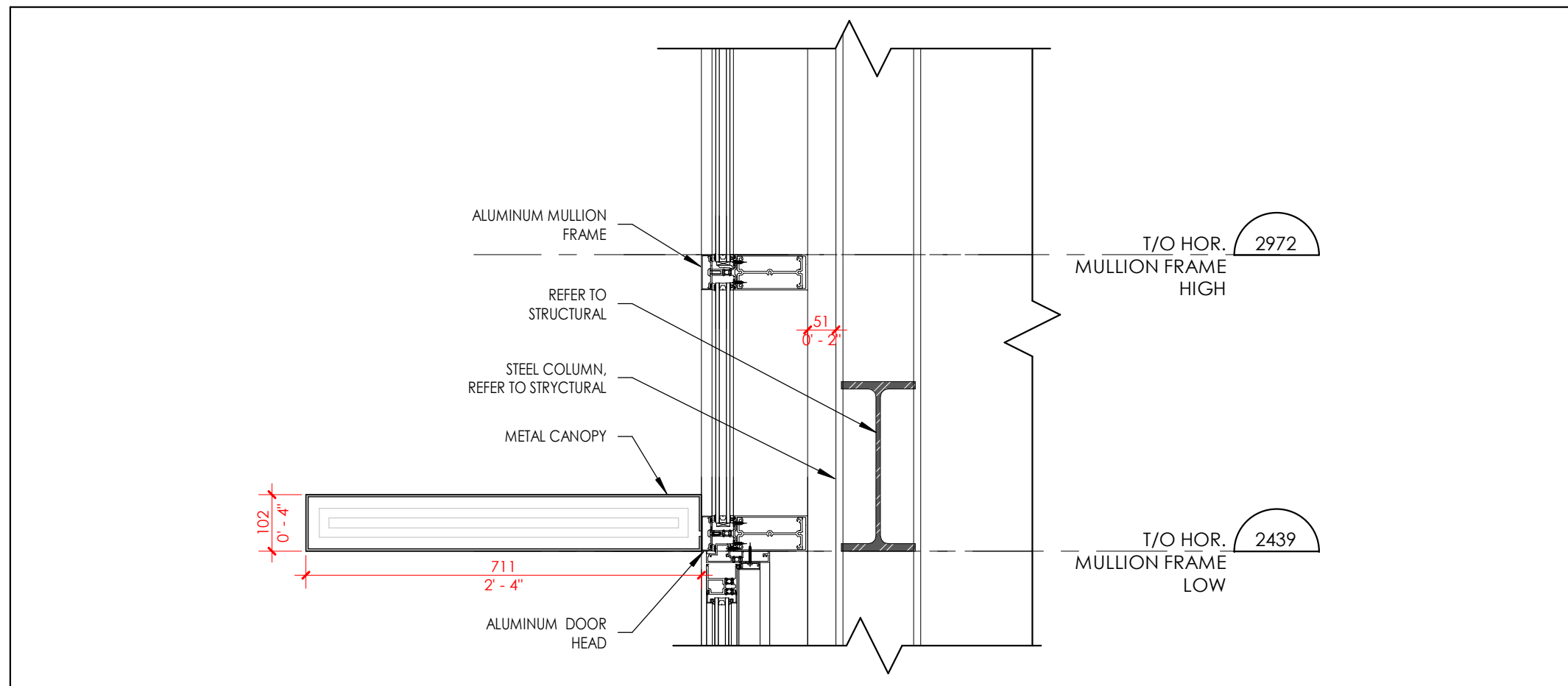
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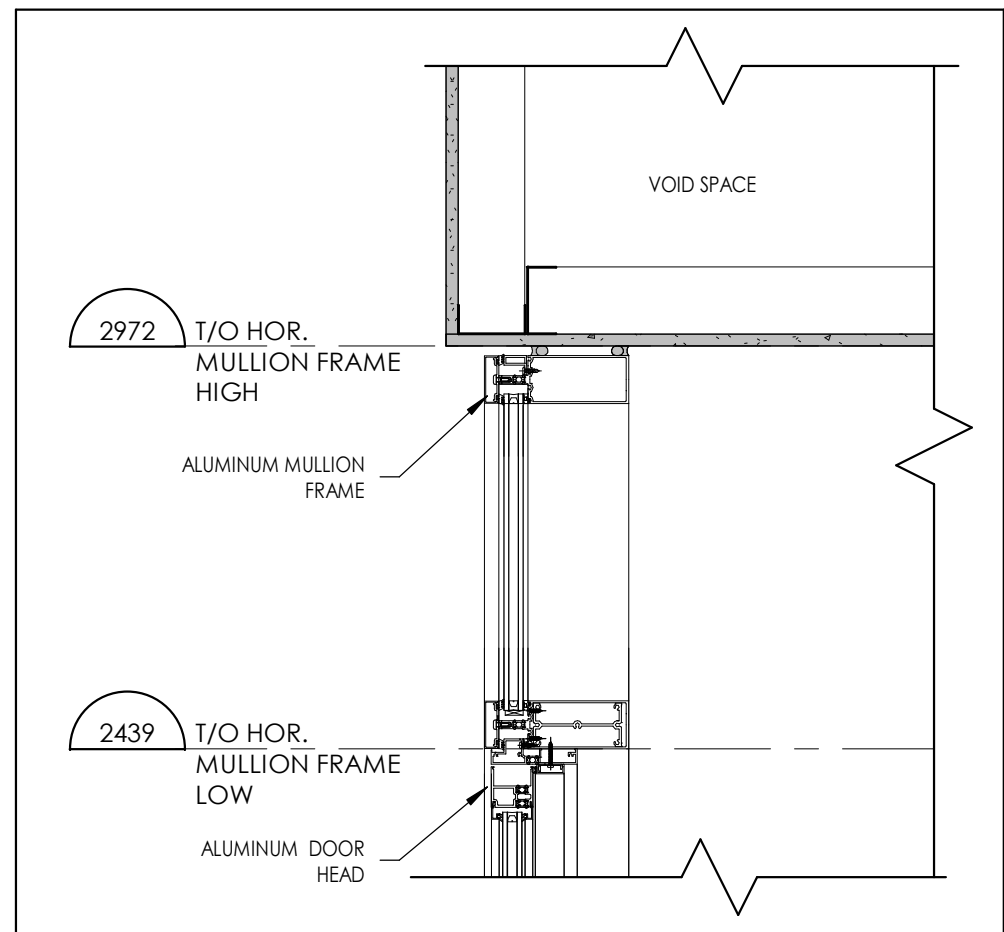
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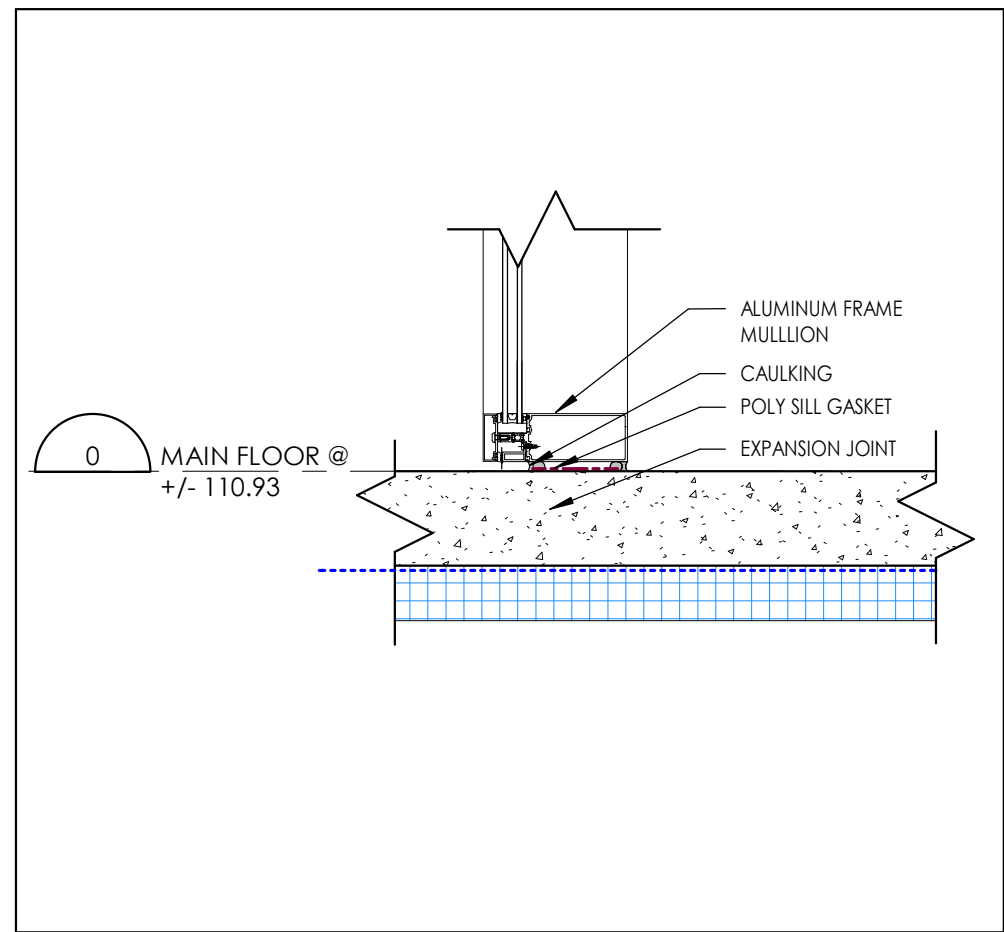
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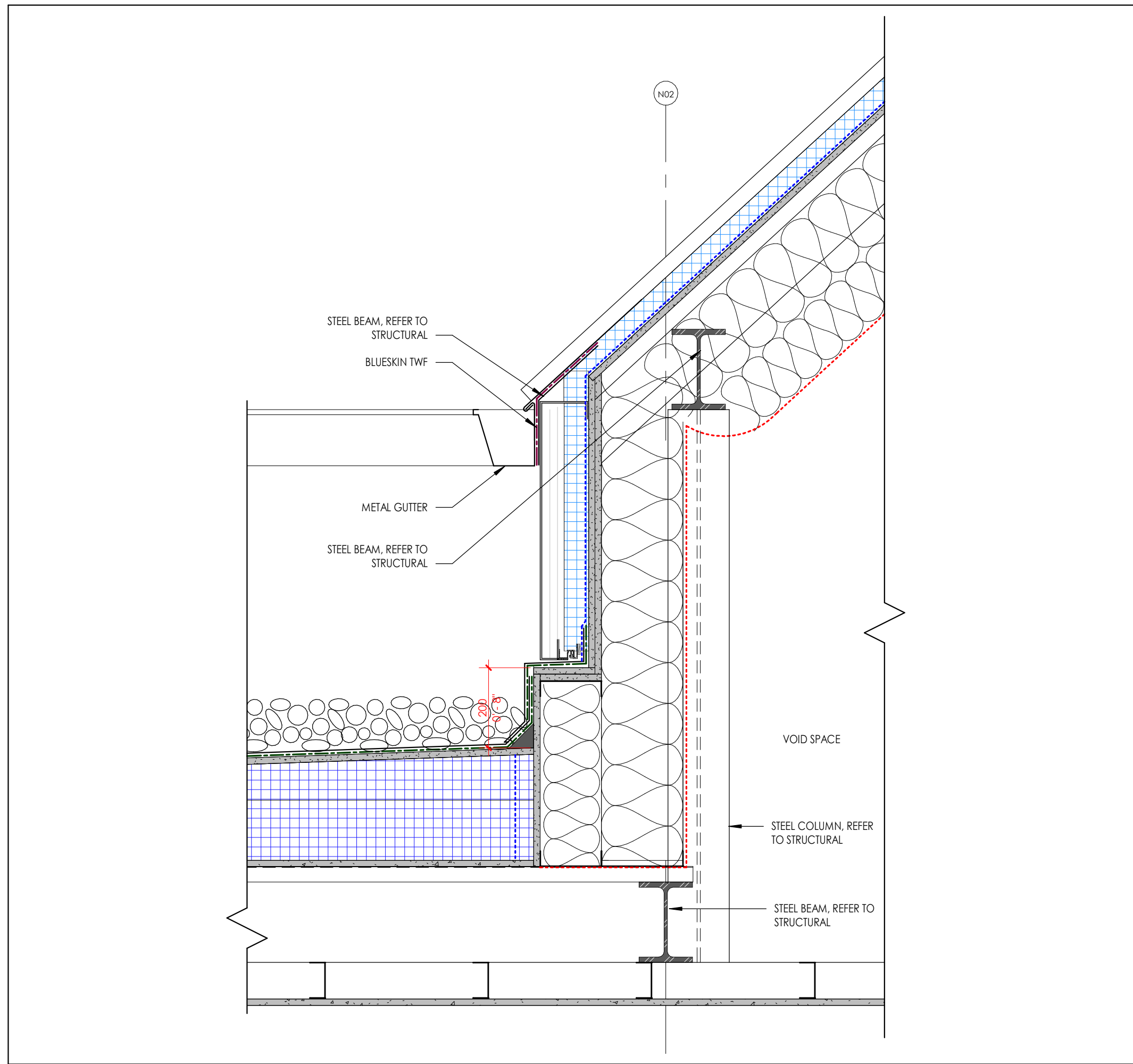
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4 SECTION DETAIL 18
A603 1 : 10



5 SECTION DETAIL 20
A603 1 : 10



2 SECTION DETAIL 17
A603 1 : 10

REVISION		
NUMBE	DAT	REMARK
02	2018 12 13	ISSUED FOR CoA TO CITY OF HAMILTON
01	2018 08 30	ISSUED FOR SITE PLAN APPROVAL

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