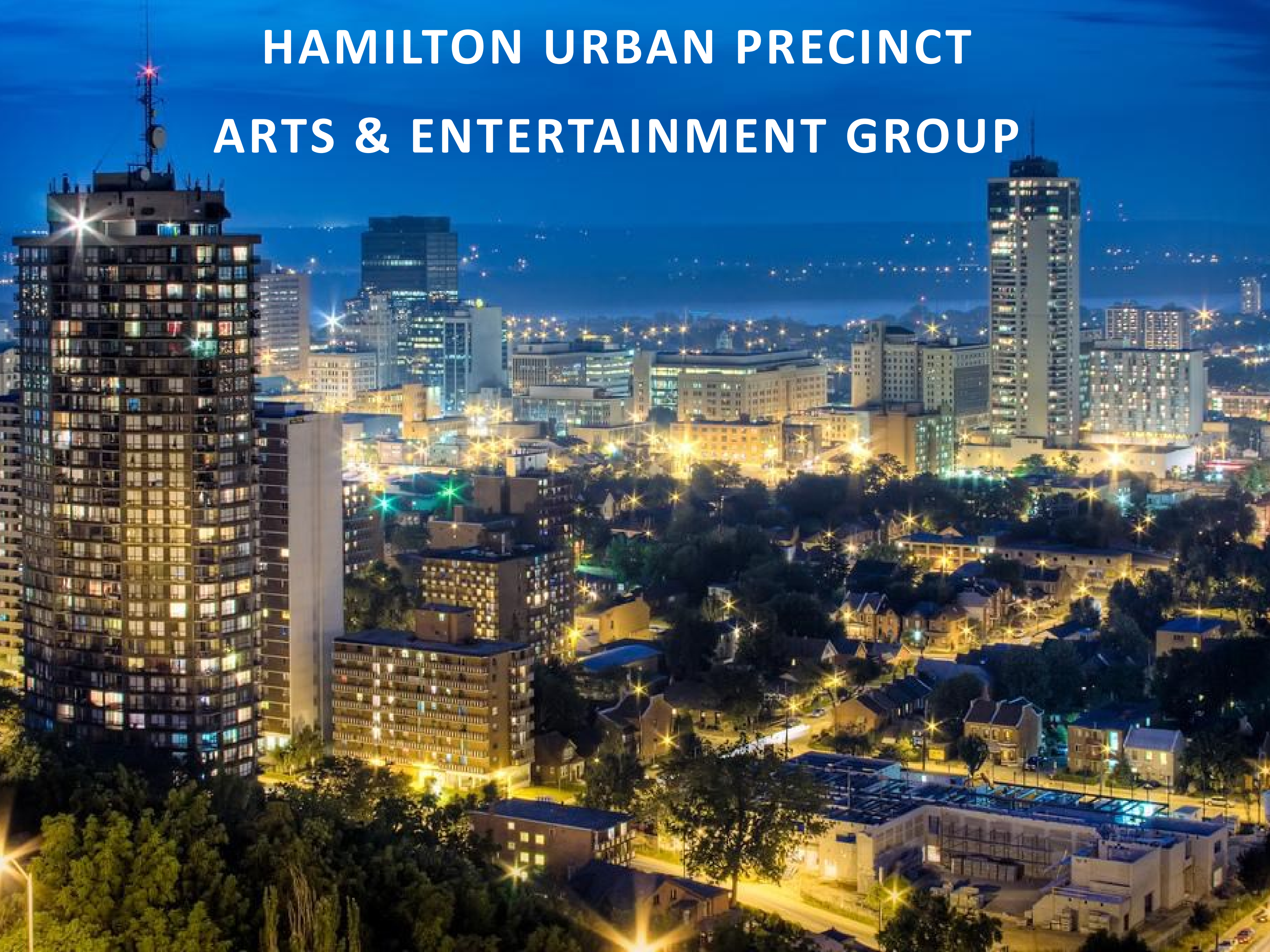


HAMILTON URBAN PRECINCT ARTS & ENTERTAINMENT GROUP



HAMILTON URBAN PRECINCT

ARTS & ENTERTAINMENT GROUP



PALETTA INTERNATIONAL
CORPORATION



HAMILTON URBAN PRECINCT

ARTS & ENTERTAINMENT GROUP

IN8 Developments

 **GOWLING WLG**

**BRISBIN
BROOK
BEYNON** **ARCHITECTS**


architecture
interiors
urban design

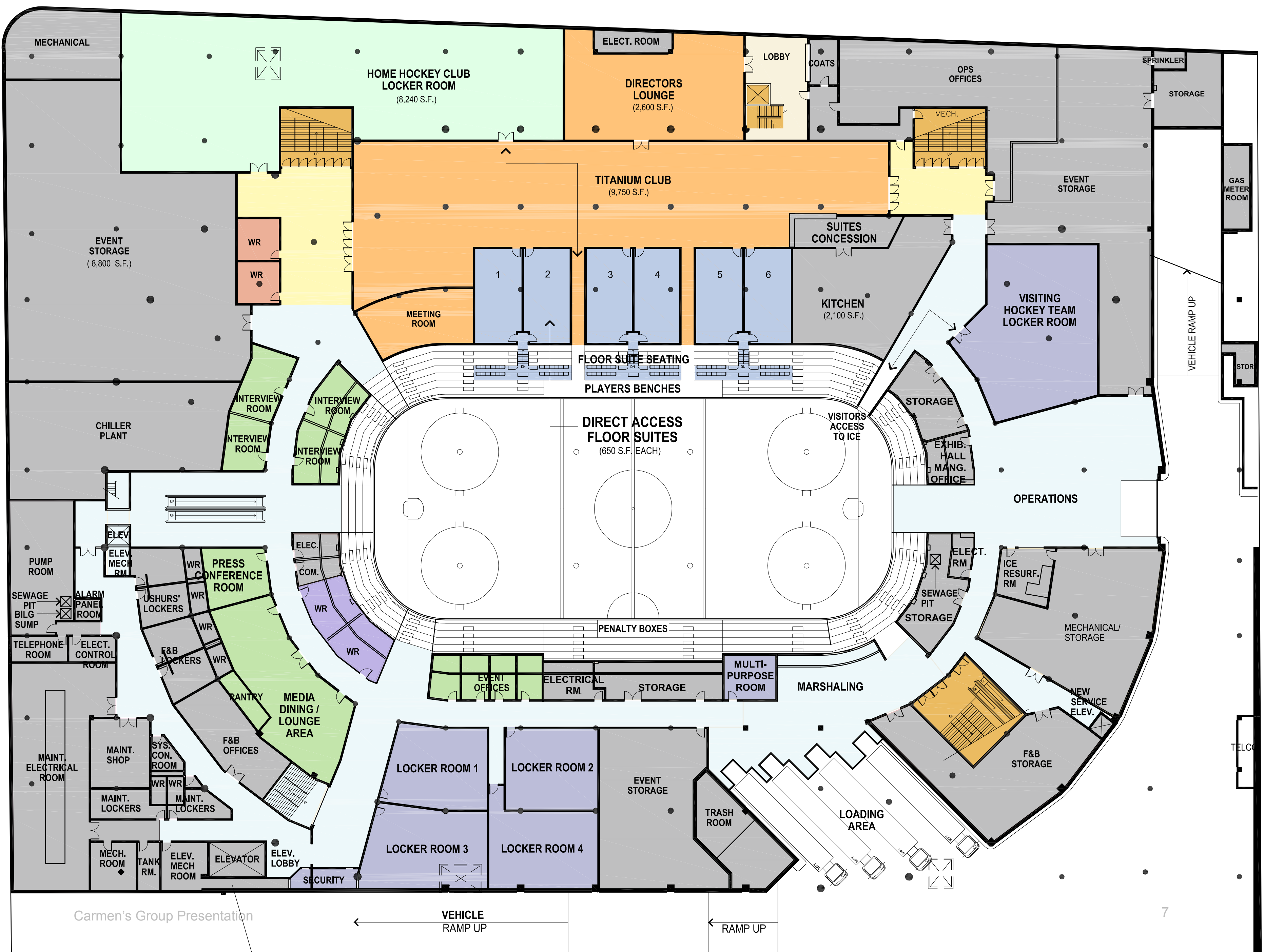
pwc 

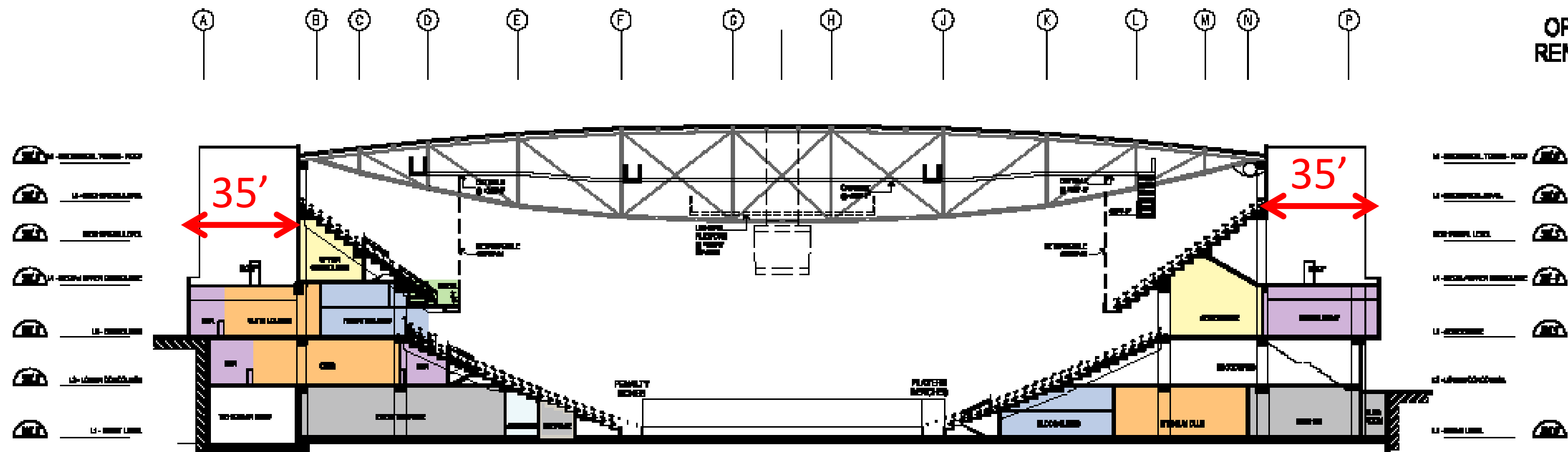
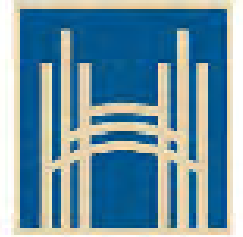

Art Gallery of Hamilton







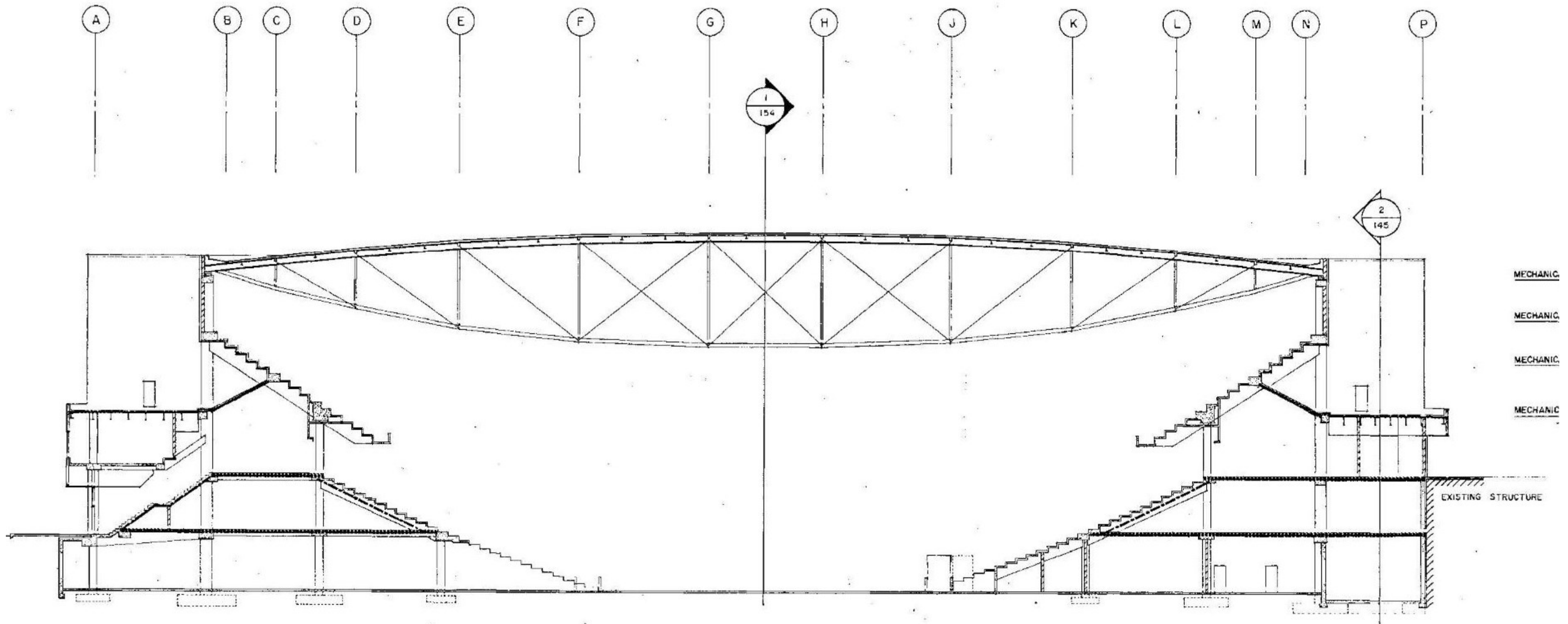




SECTION



JULY 26, 2016



END STAGE - 250,000 LBS RIGGING CAPACITY

END STAGE - 250,000 LBS RIGGING CAPACITY

SCOREBOARD - 70,000 LBS

CENTRE STAGE - 250,000 LBS RIGGING CAPACITY WITH SCORE BOARD AS SHOWN

ROOF OVER STAIR AND ELEVATOR

1. TOP OF CONCRETE SLAB IS AT ELEV. 201.5
2. LIVE LOAD IS 50 PSF
3. CONCRETE STRENGTH IS 30 MPa
4. TEMP. REIN. FOR 0' SLAB IS 10M10@12"
5. SEE ALSO TYPICAL DETAILS AND GENERAL NOTES ON ENDS, 255 & 256.

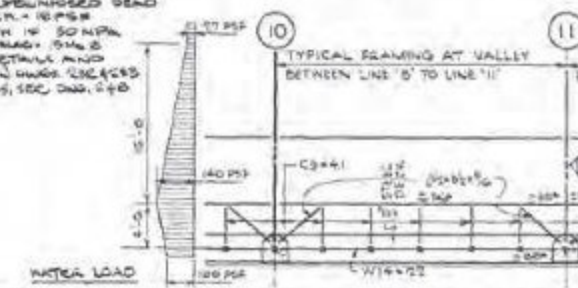
NOTE: - TOP AND BOTTOM CHORDS OF TRUSSES T1, T2 AND T3 NEED TO BE REINFORCED AS PER ATTACHED DETAILS.

MAIN ROOF FRAMING PLAN

SCALE: 1/16" = 1'-0"

1. FOR ELEVATION OF TOP OF STEEL DECK SEE MAIN ROOF TRUSSES AND SECTIONS.
2. TOP OF ROOF SUPPORT STEEL IS 5' BELOW TOP OF STEEL DECK.
3. TOP OF CONCRETE SLAB AND BEAMS TO BE AT EL. 200'-0" HIGH POINT, SLOPE TO DRAIN.
4. LOADING:
 - FOR STEEL ROOF BEAMING: LIVE LOAD - 57 PSF (DEADLOAD - 20 PSF)
 - FOR STEEL ROOF BEAMING: LIVE LOAD - 50 PSF, UNIFORM DEAD LOAD - 20 PSF, WIND - 10 PSF
 - 5. CONCRETE STRENGTH IS 30 MPa
 - 6. TEMP. REIN. FOR 12" SLAB IS 10M10@12"
 - 7. SEE ALSO TYPICAL DETAILS AND GENERAL NOTES ON ENDS, 255 & 256
 - 8. FOR TRUSS DETAIL, SEE ENDS, 255 & 256

TO PREVENT SWELLING OF TRUSSES, THEY SHOULD BE ERECTED IN TANDEM BEACED BY CABLES AND TEMPORARY STRUTS. CONTRACTOR SHALL SUBMIT PLAN SECTION FOR REVIEW.



CONVENTION CENTRE RENOVATION



CONVENTION CENTRE RENOVATION



CONVENTION CENTRE RENOVATION



CONVENTION CENTRE RENOVATION



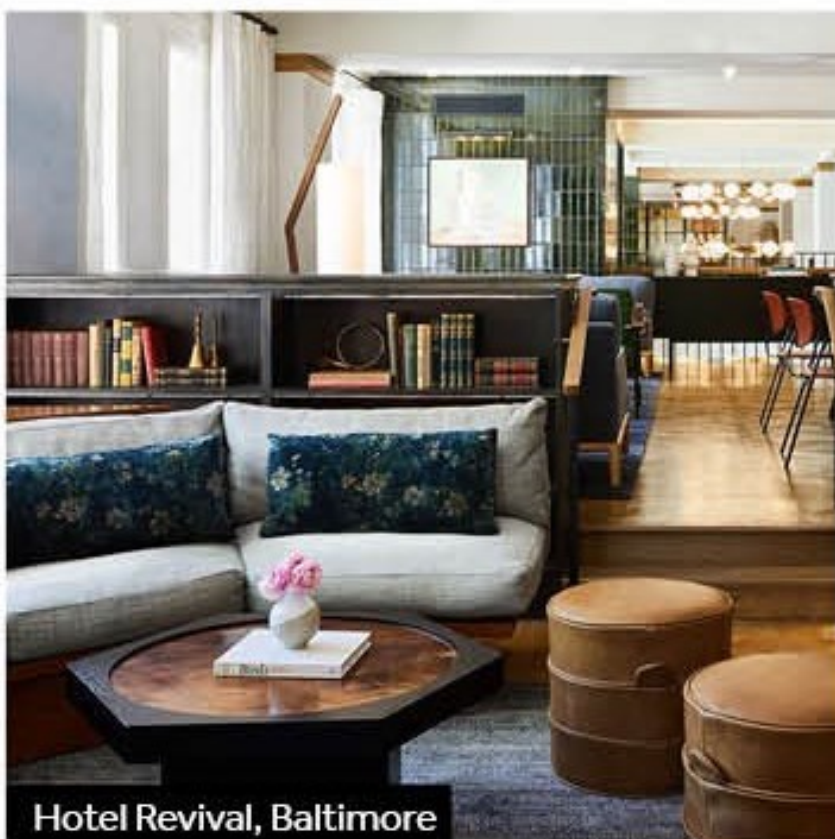
CONVENTION CENTRE RENOVATION

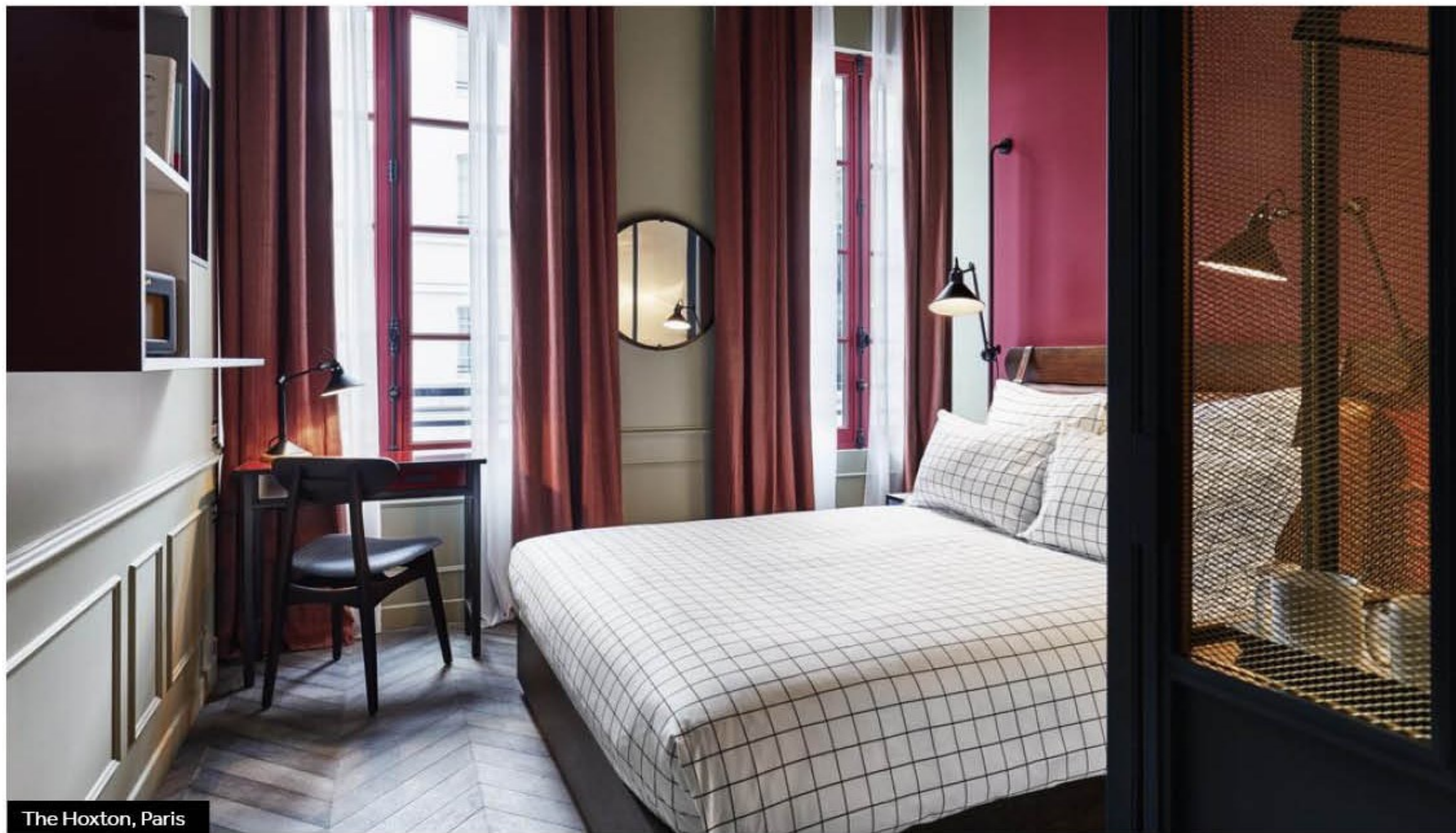


CONCERT HALL



DOWNTOWN RESIDENCE CONCEPT





The Hoxton, Paris



Ramble Hotel, Denver

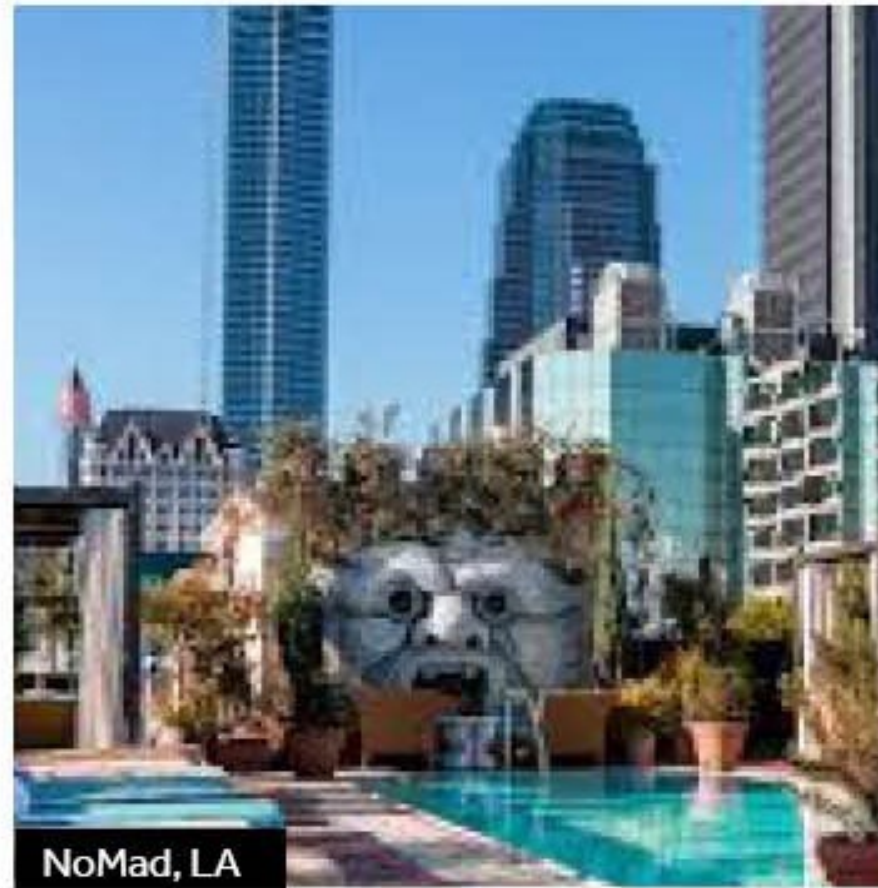


The Siren Hotel, Detroit





Barcelo Torre, Madrid



NoMad, LA



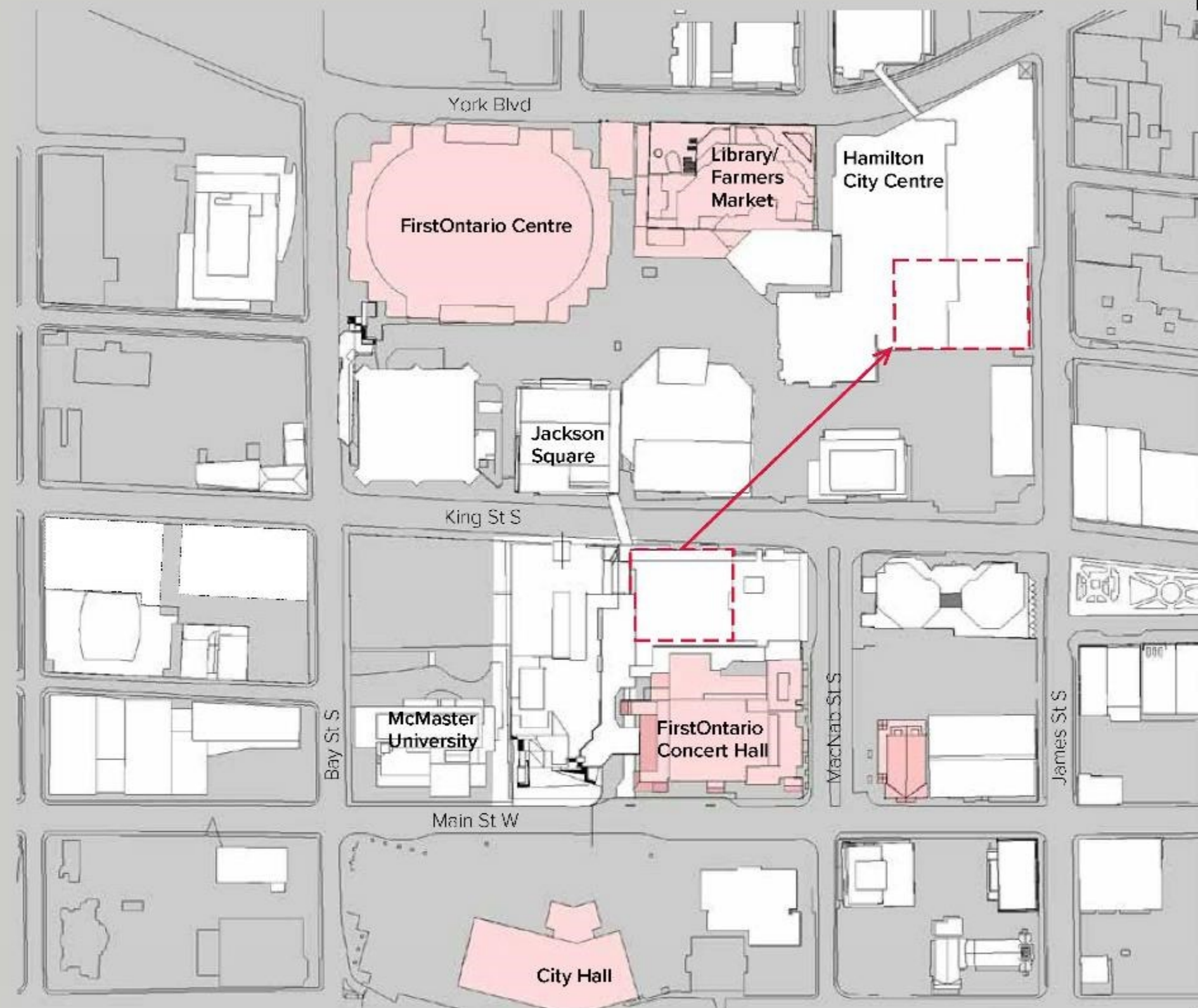
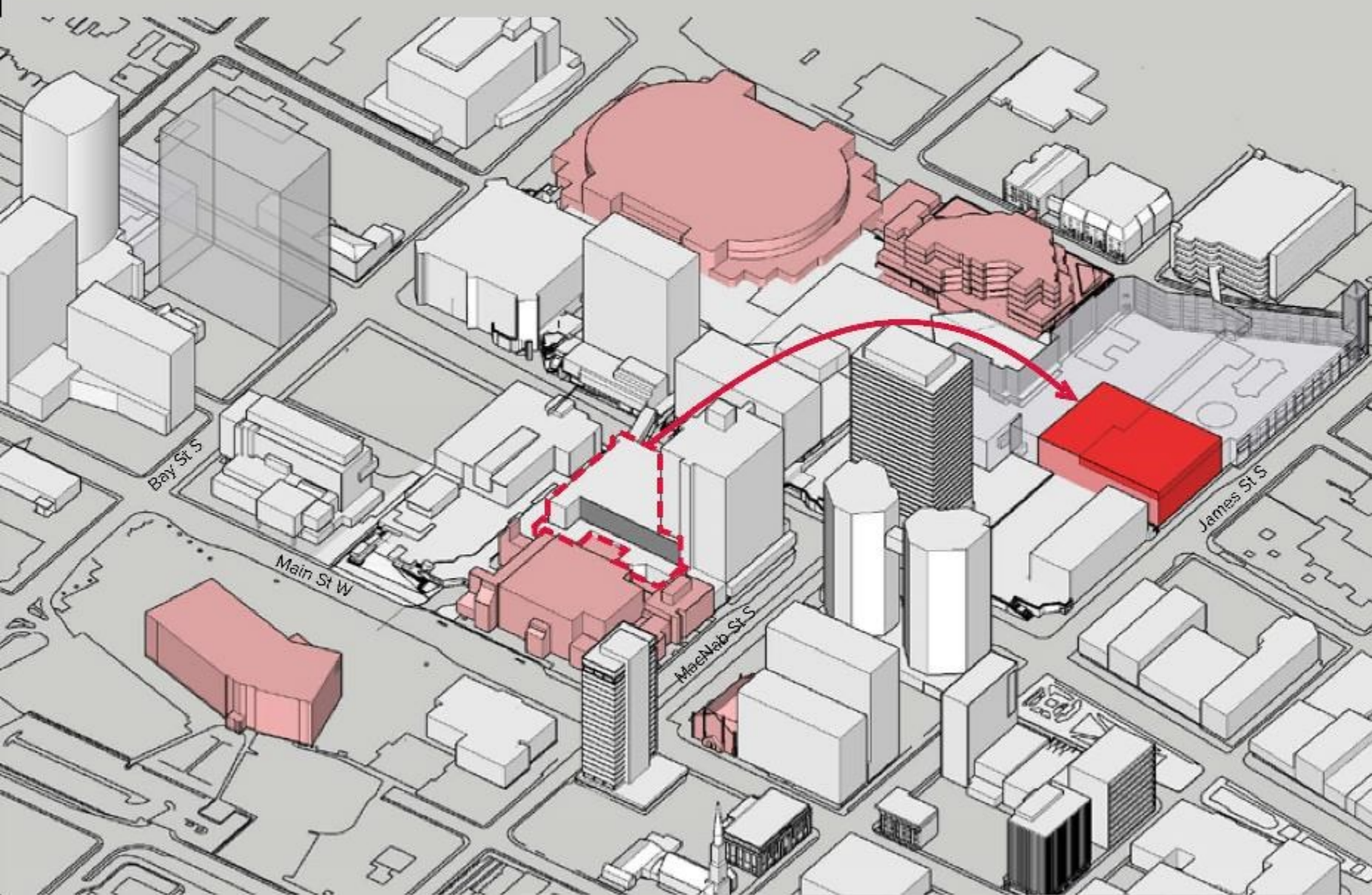
The Joule, Dallas



Pullman Hotel, Berlin

Phase 1

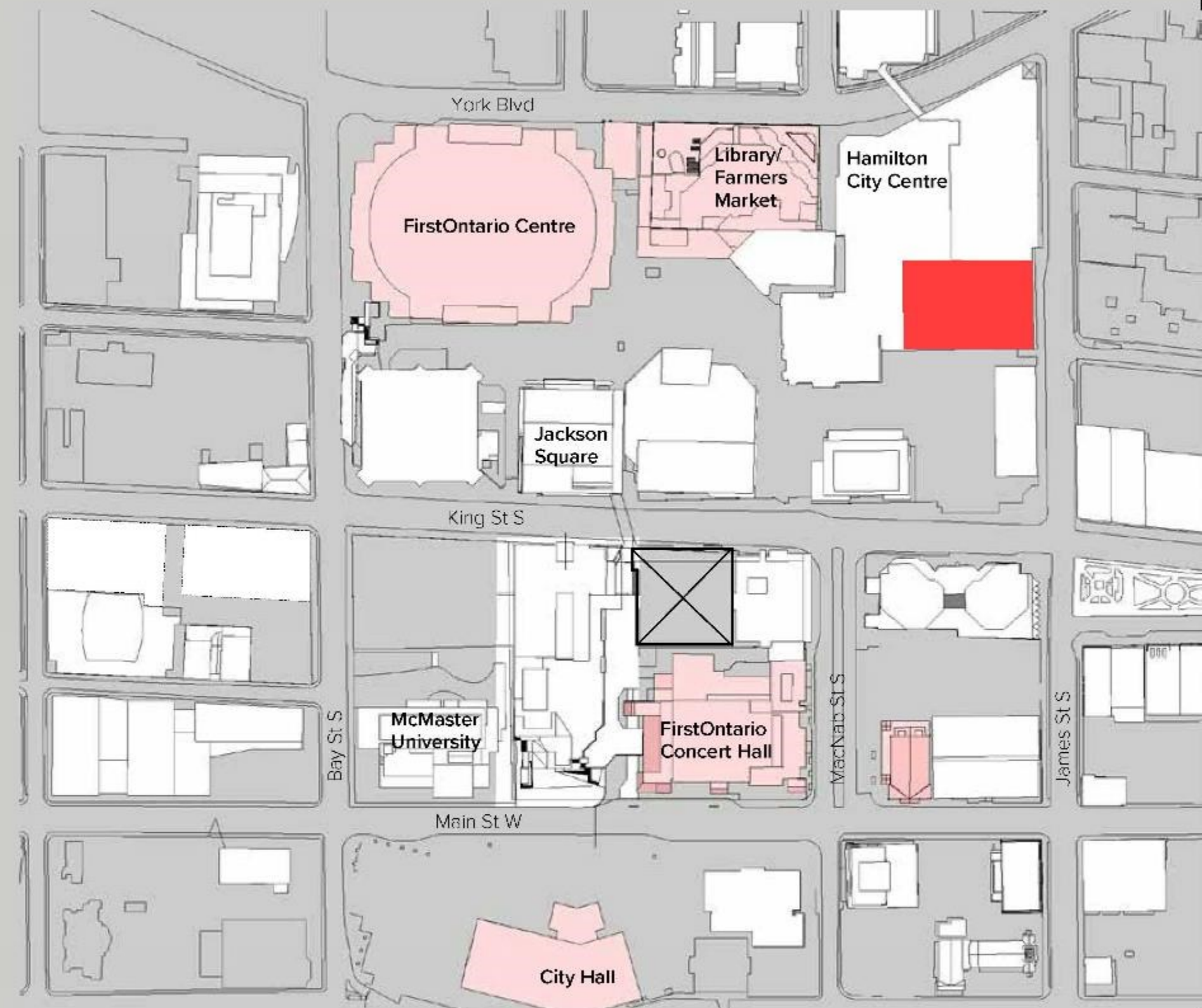
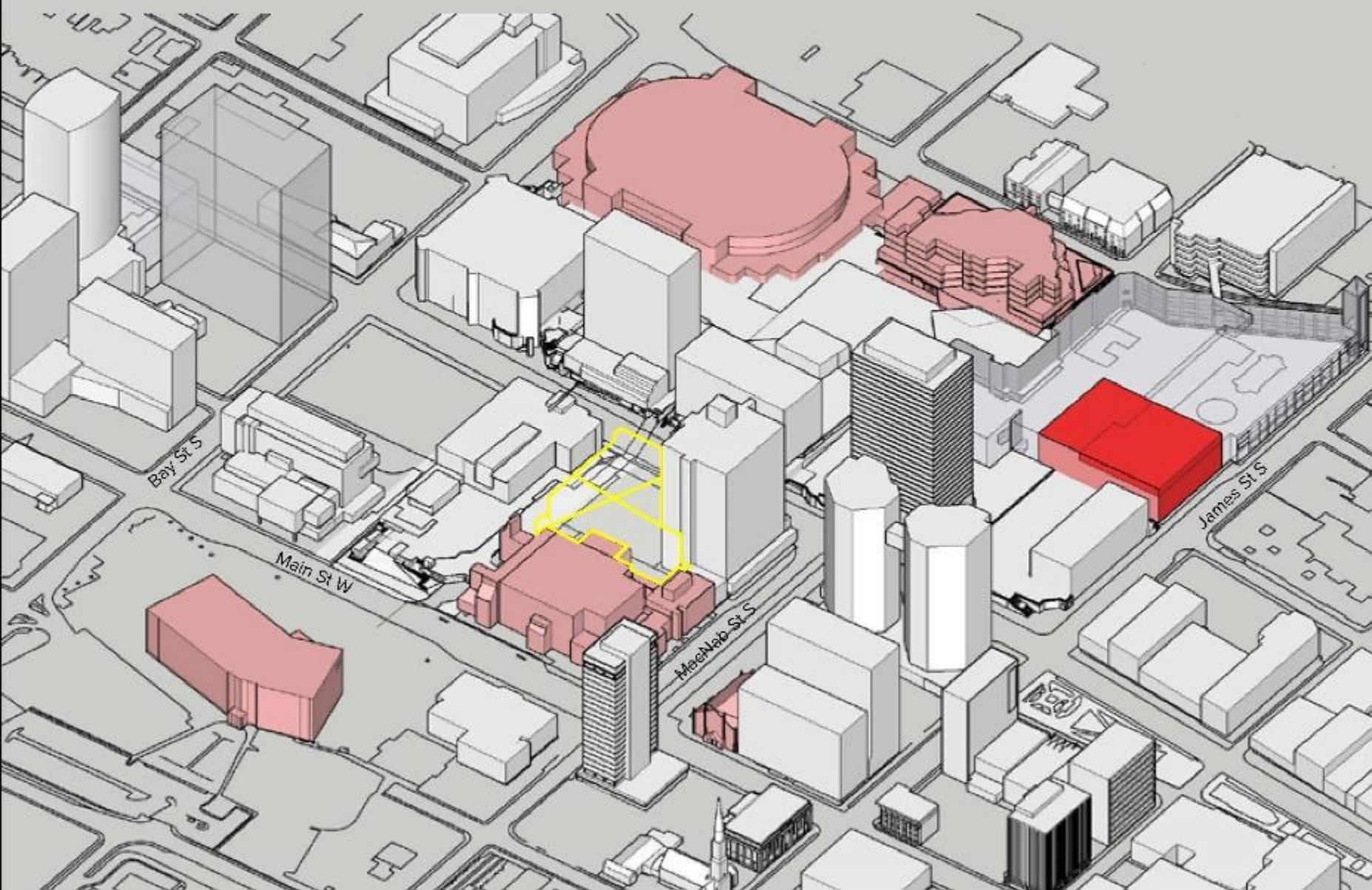
Existing Convention Centre Relocated



DOWNTOWN TRANSFORMATION

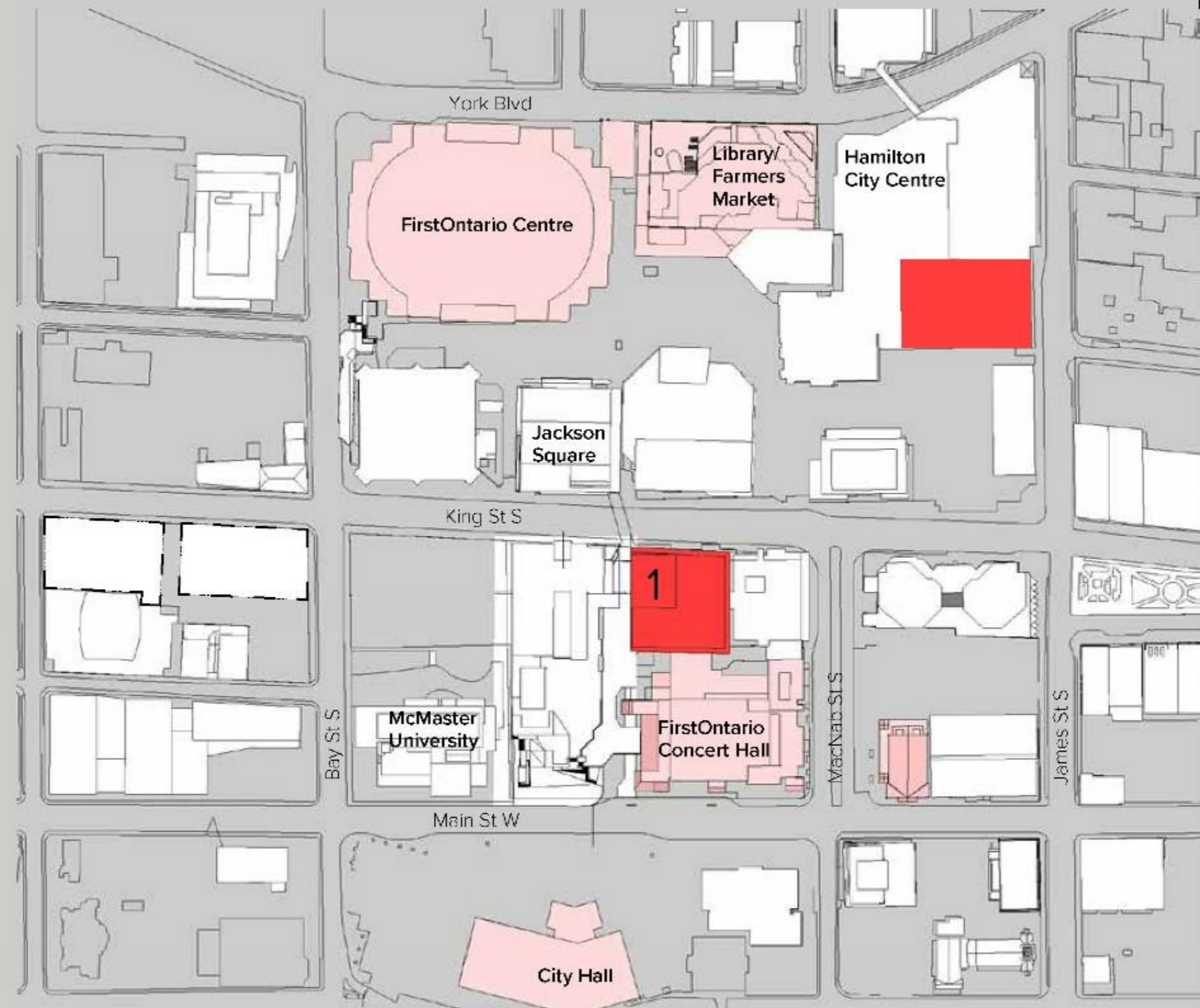
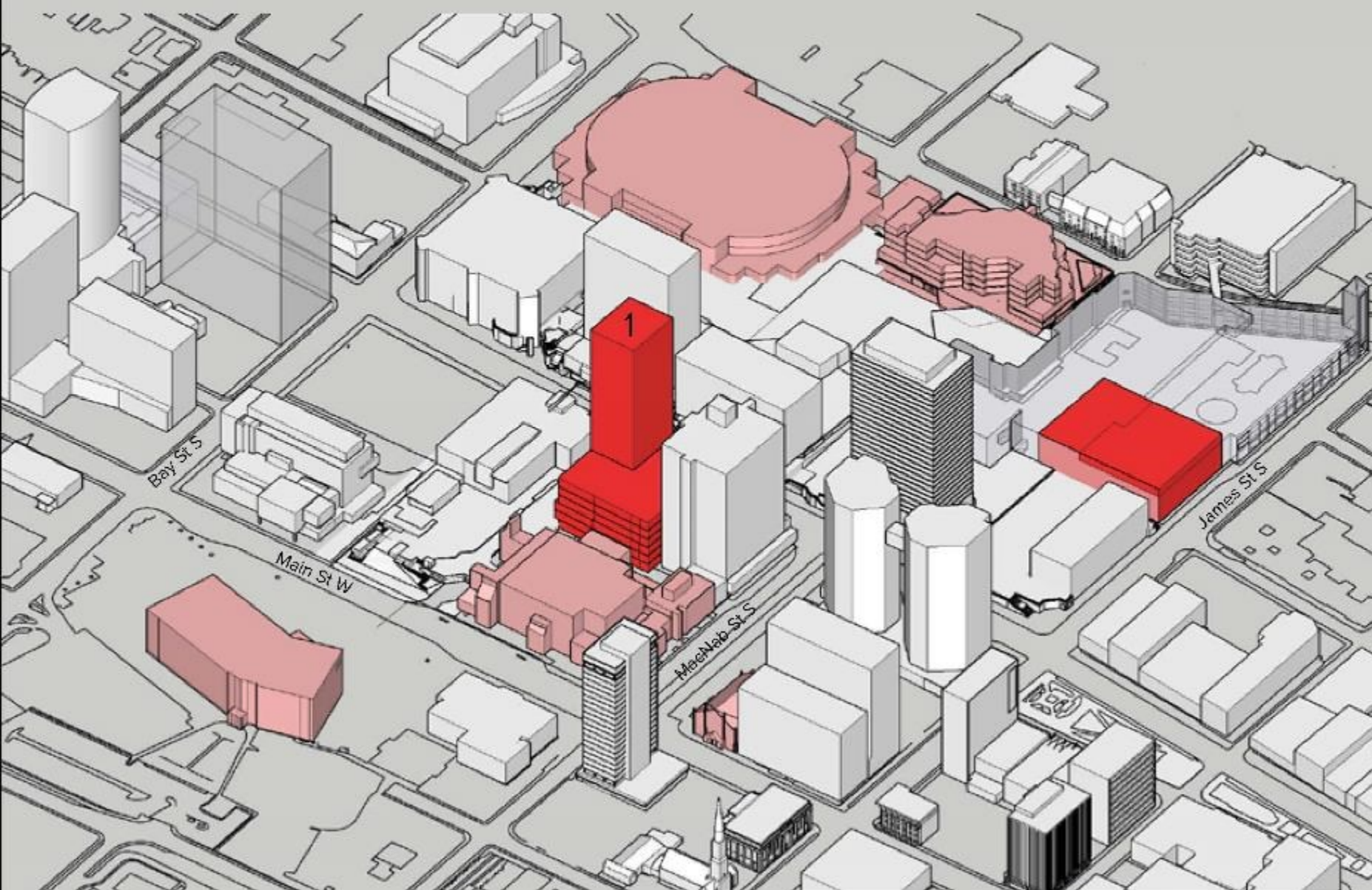
Phase 2

Existing Convention Centre Demolished



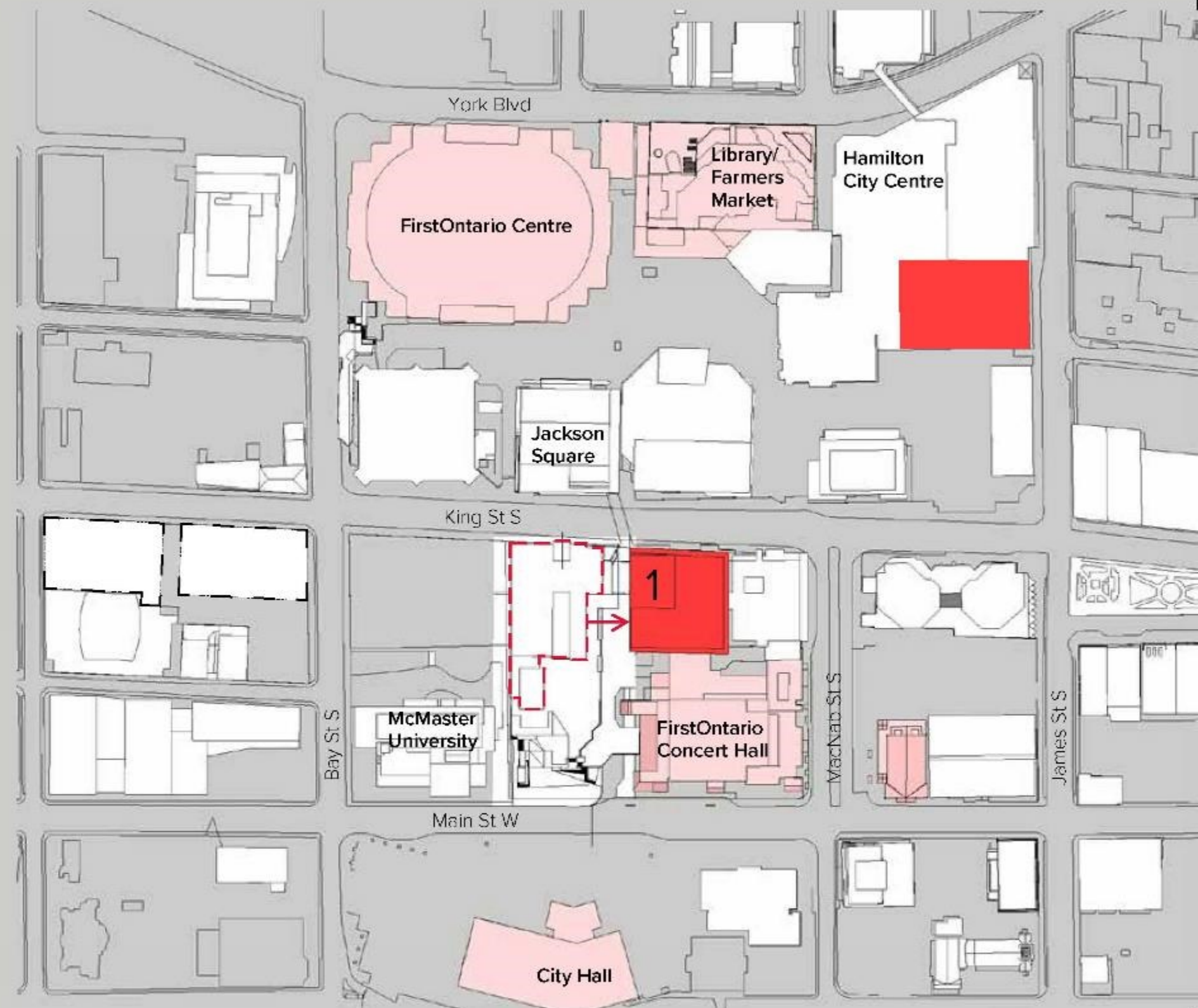
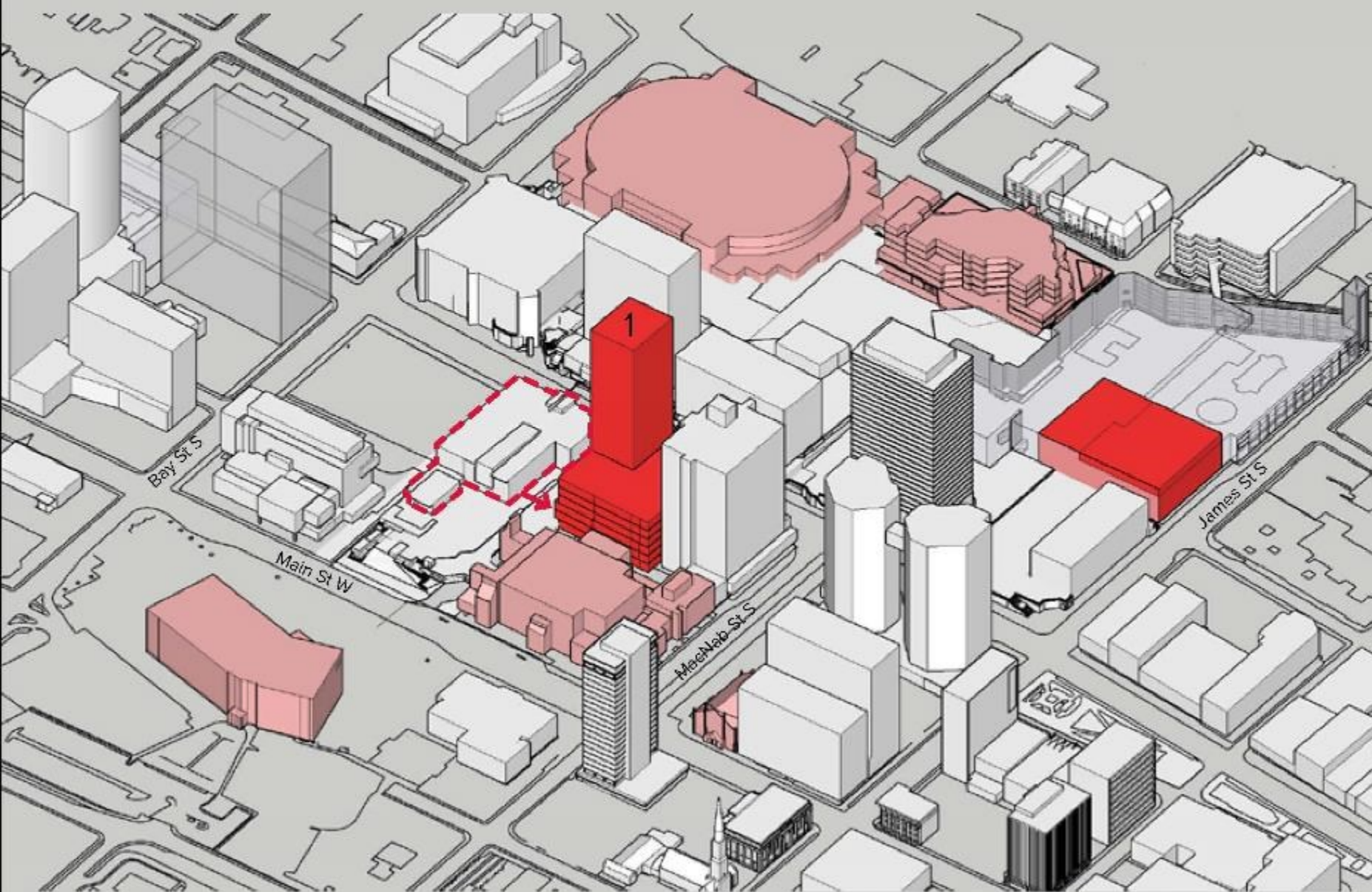
Phase 3

New Art Gallery and Tower 1 Constructed



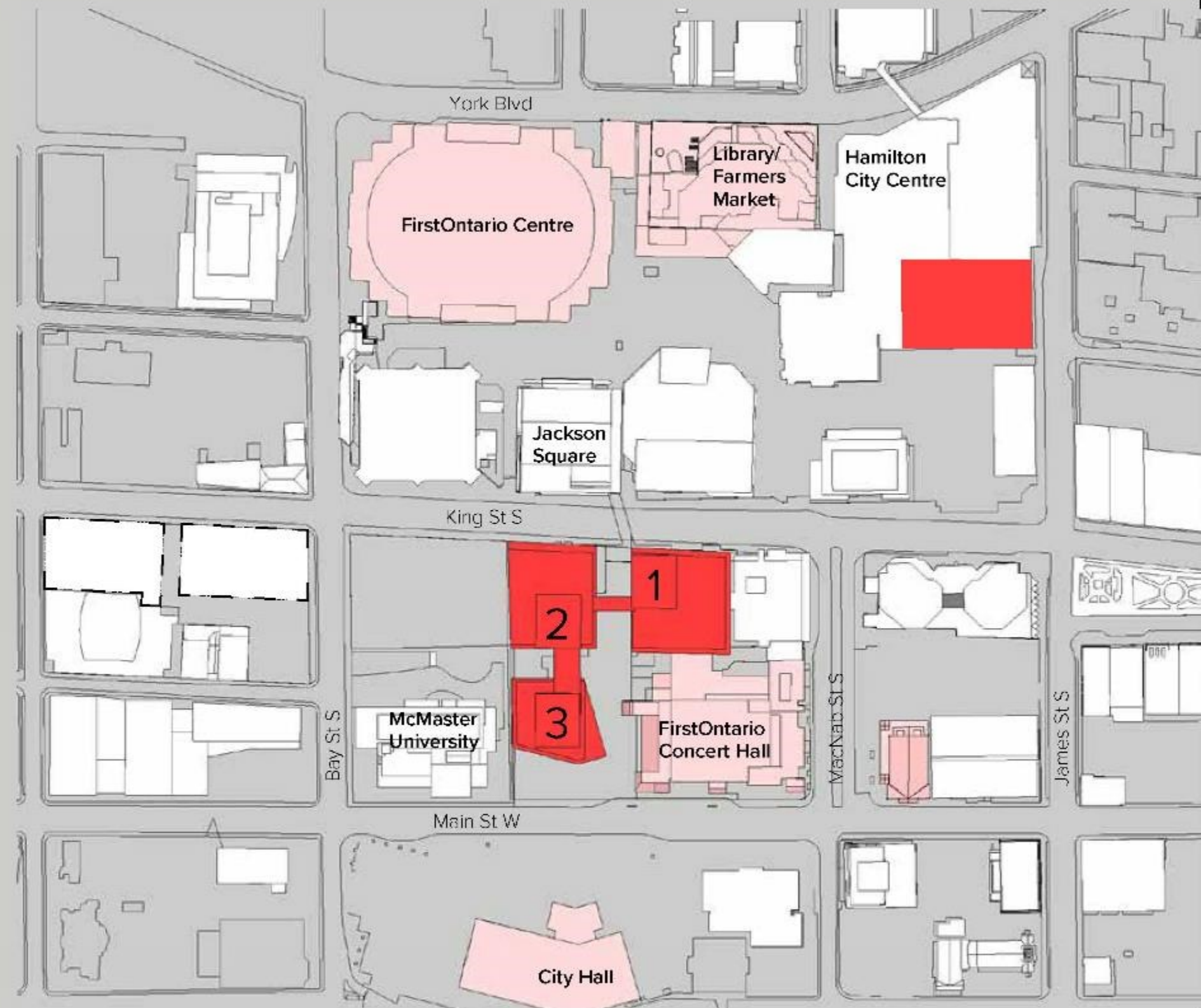
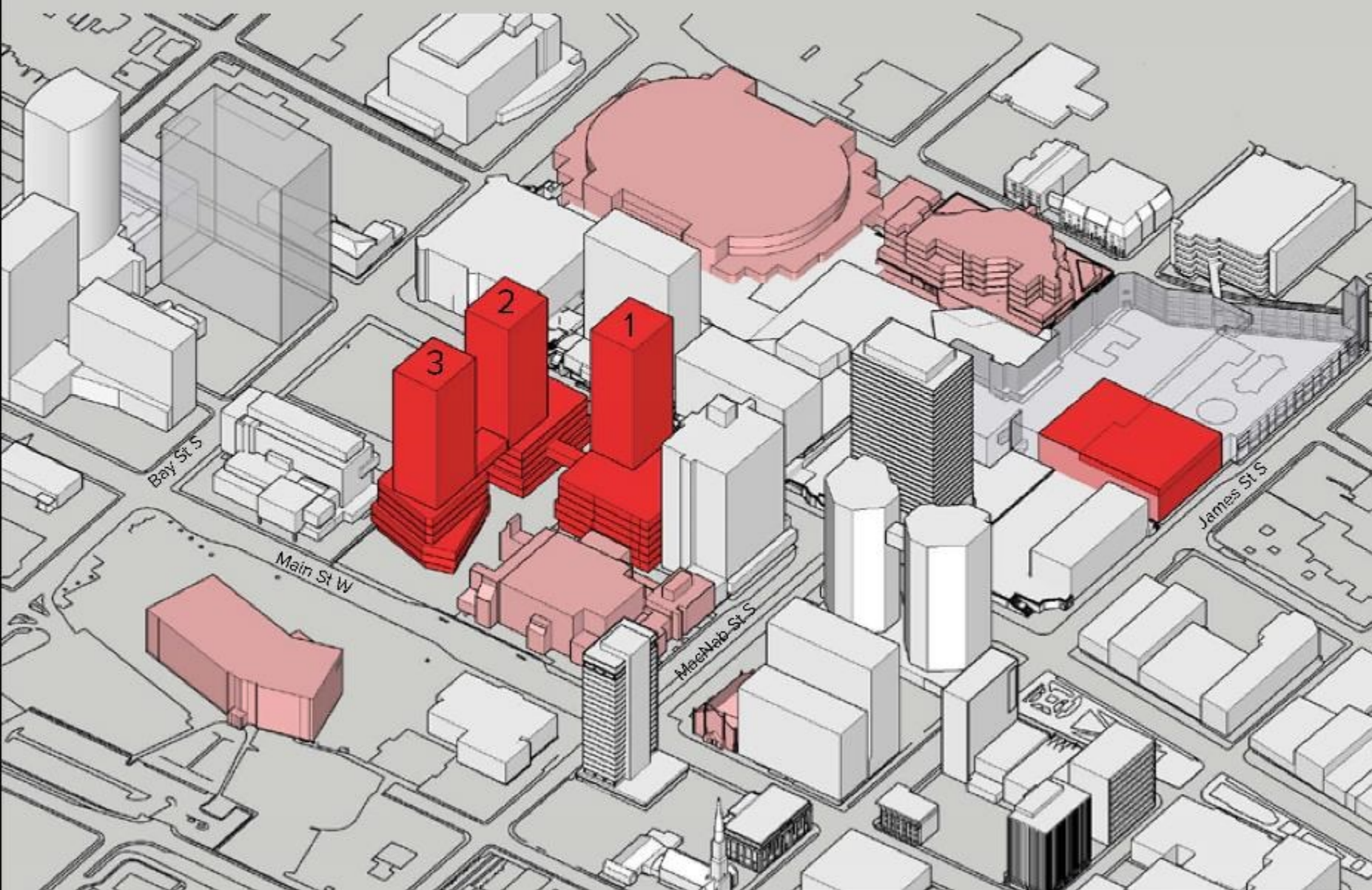
Phase 4

Art Gallery Relocated to New Building



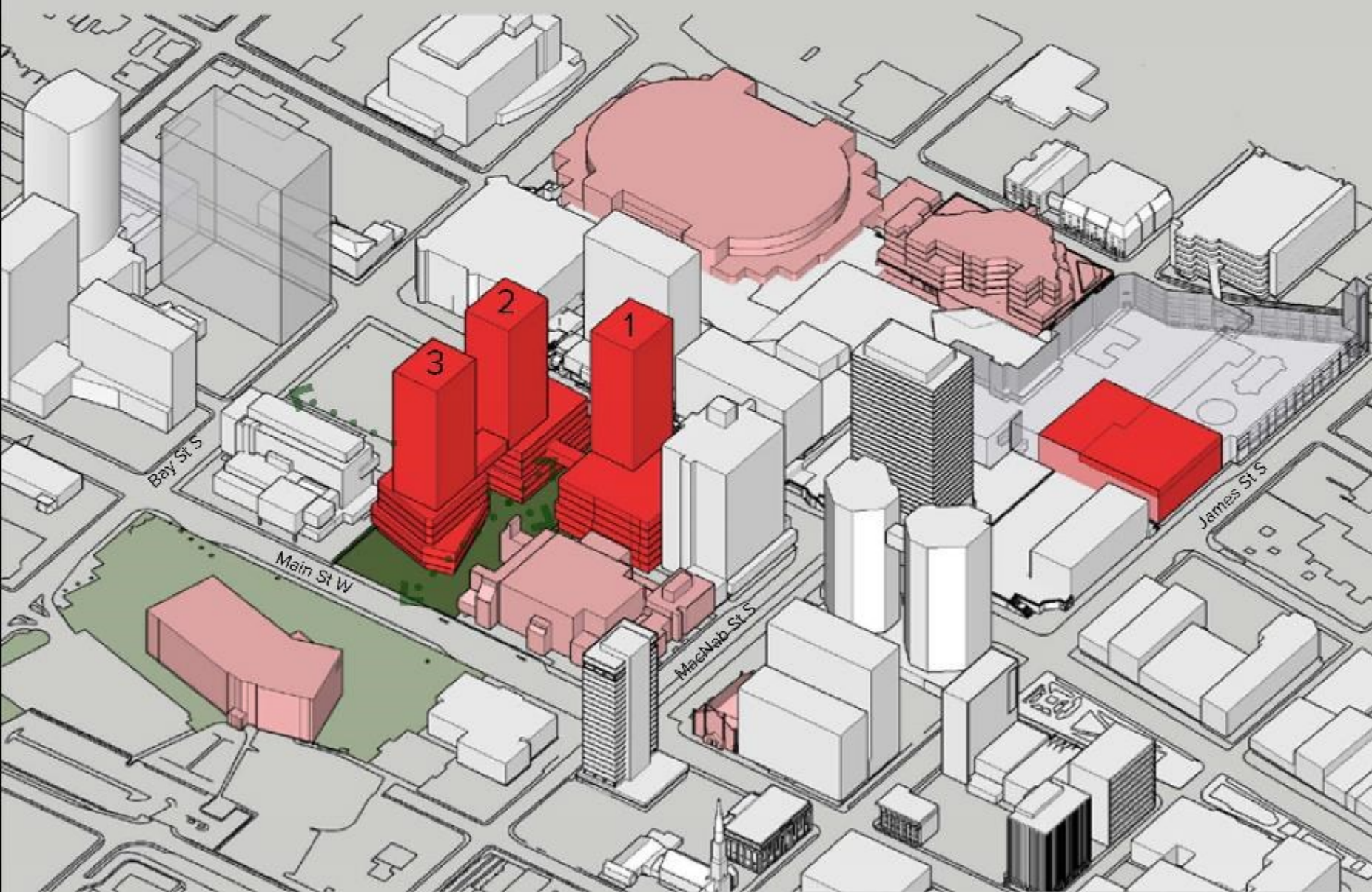
Phase 5

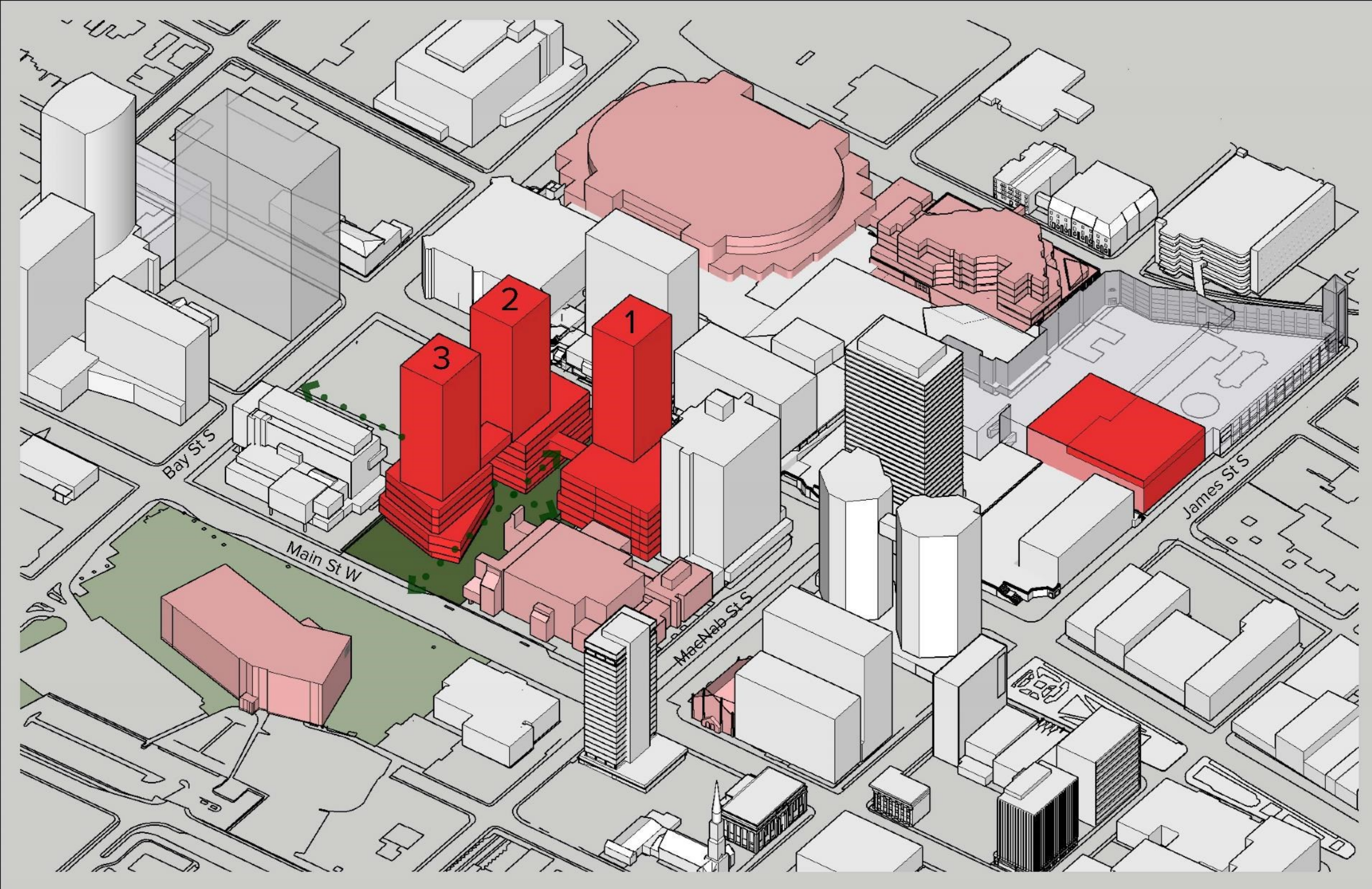
Second and Third Podium/ Towers Constructed

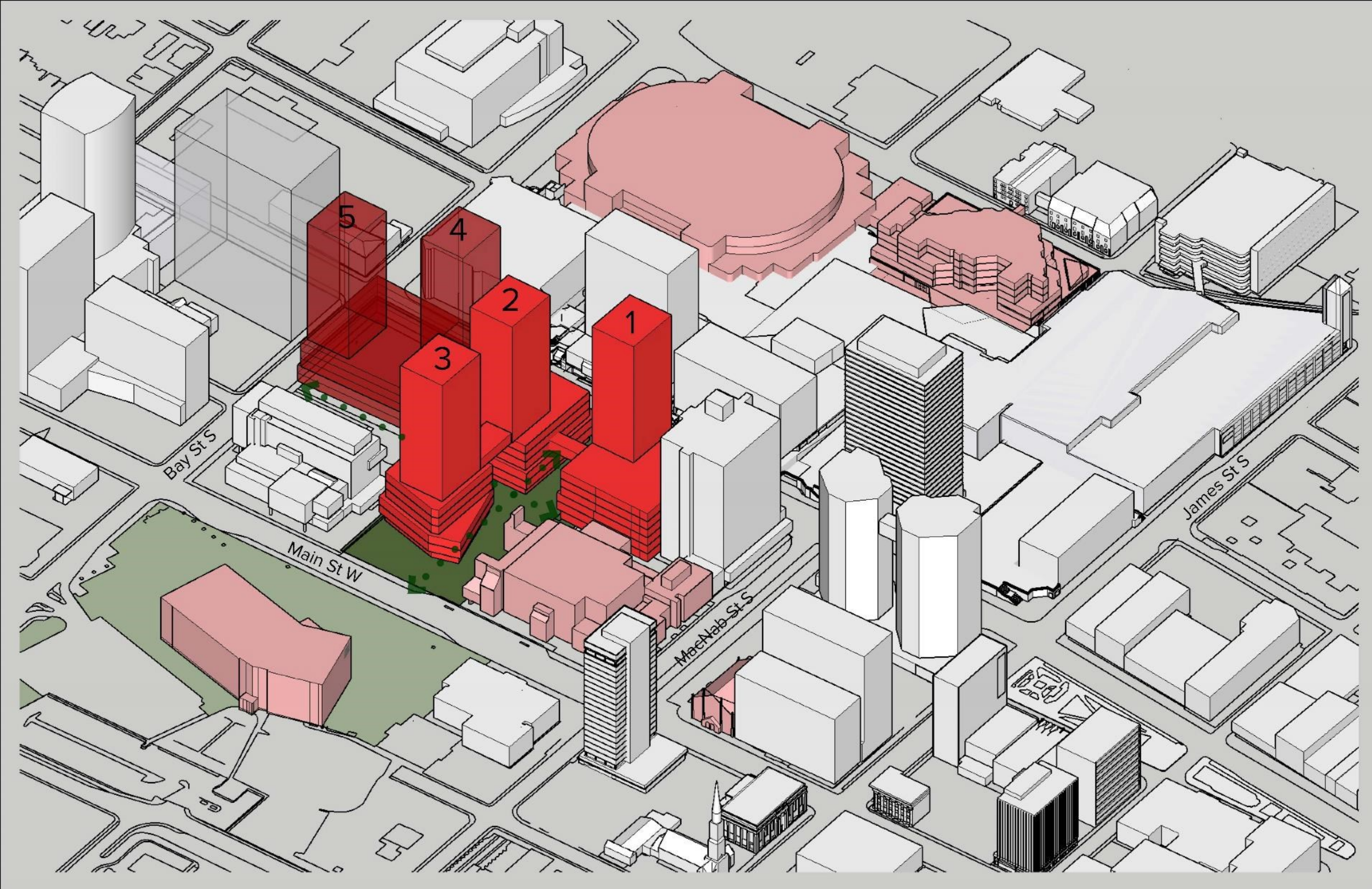


Phase 6

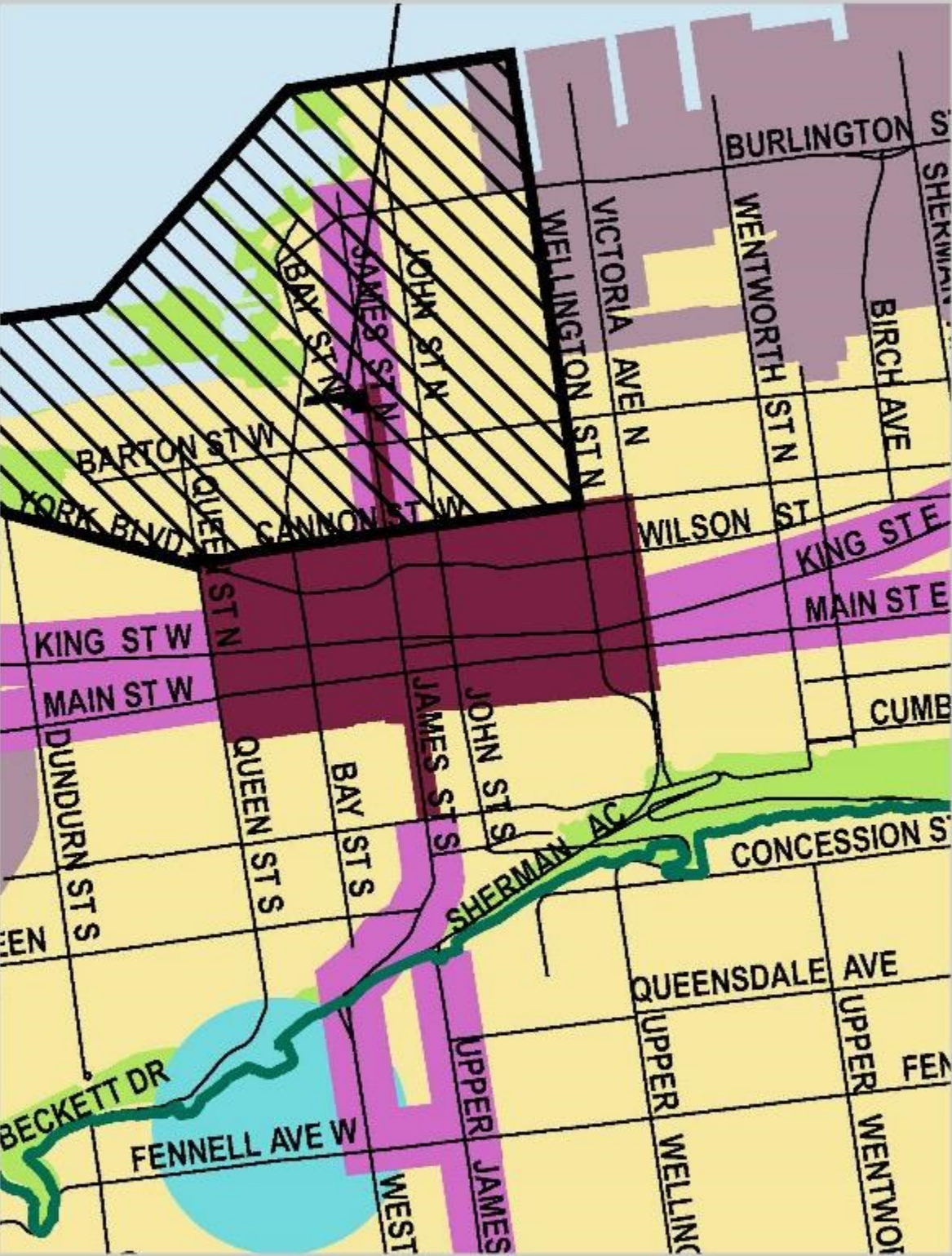
Landscaping Pedestrian Thoroughfare







Urban Hamilton Official Plan



Schedule E. Urban Structure

Urban Structure Elements

- Neighbourhoods
 - Employment Areas
 - Major Activity Centres
 - Major Open Space
- Nodes**
- Downtown Urban Growth Centre
 - Sub Regional Service
 - Community
- Corridors**
- Primary



Schedule E-1 Urban Land-use Designations

- Downtown Mixed Use Area
- Mixed Use - High Density
- Mixed Use - Medium Density
- District Commercial
- Arterial Commercial



The Downtown Secondary Plan

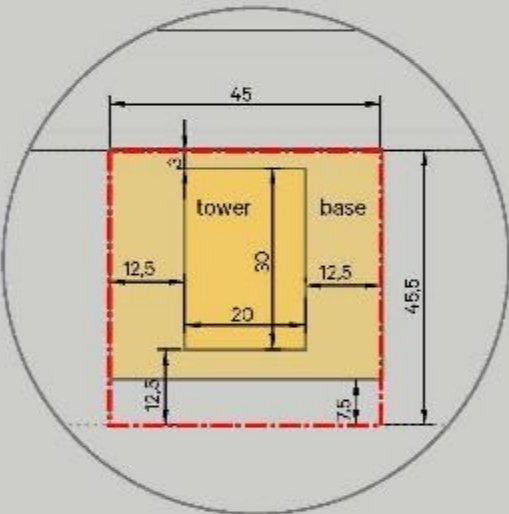
The downtown hamilton of the future shall be a vibrant focus of attraction where all ages, abilities, and incomes can live, work, learn, shop, and play. The future downtown shall be a healthy, safe, comfortable, accessible, and prosperous community that promotes a high quality of life. It will combine the best of our heritage with new concepts and designs while seamlessly linking together the downtown, surrounding neighbourhoods, the waterfront, and the escarpment.”



Downtown Hamilton Tall Buildings Guidelines

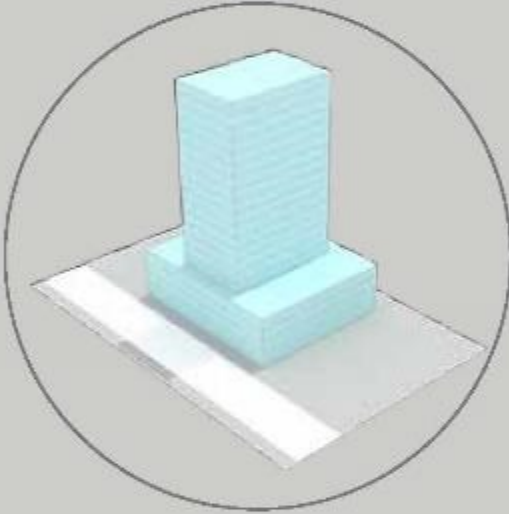
Tall Buildings Study

**SITE
ASSESSMENT**



Identify Lot Dimensions:
Width, Depth, Height Limit,
R.O.W.

**BUILDING
TYPES**



Establish Potential Building
Types: Lowrise, Midrise, Point
Tower Or Hybrid

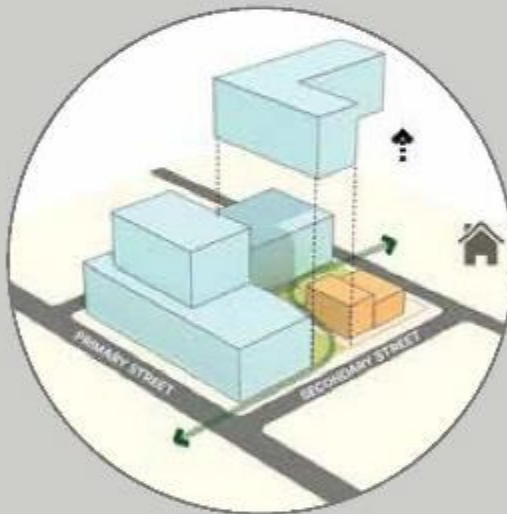
Tall Buildings Guidelines

**SITE CHARACTER &
LOCAL CONTEXT**



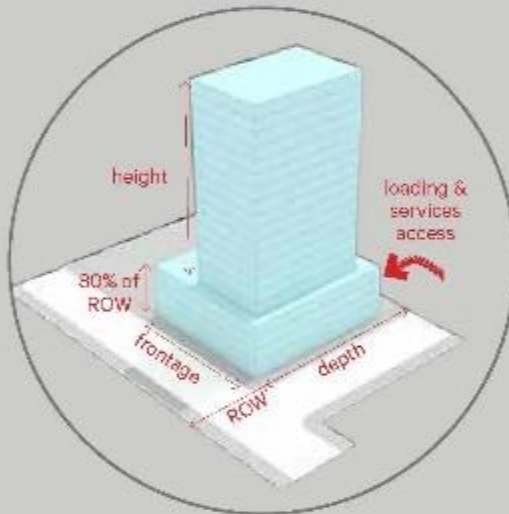
Locate Your Property And
Identify The Site Character
Area

**CONTEXTUAL
CONSIDERATIONS**



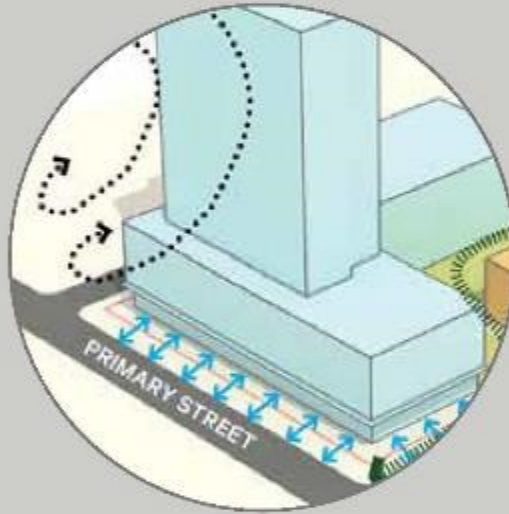
Establish Relationship To
Local Context: Heritage,
Parks, Transit

**BUILDING
ARTICULATION**



Articulate Building Design:
Façade, Tower Placement &
Separations

**PUBLIC REALM
INTERFACE**



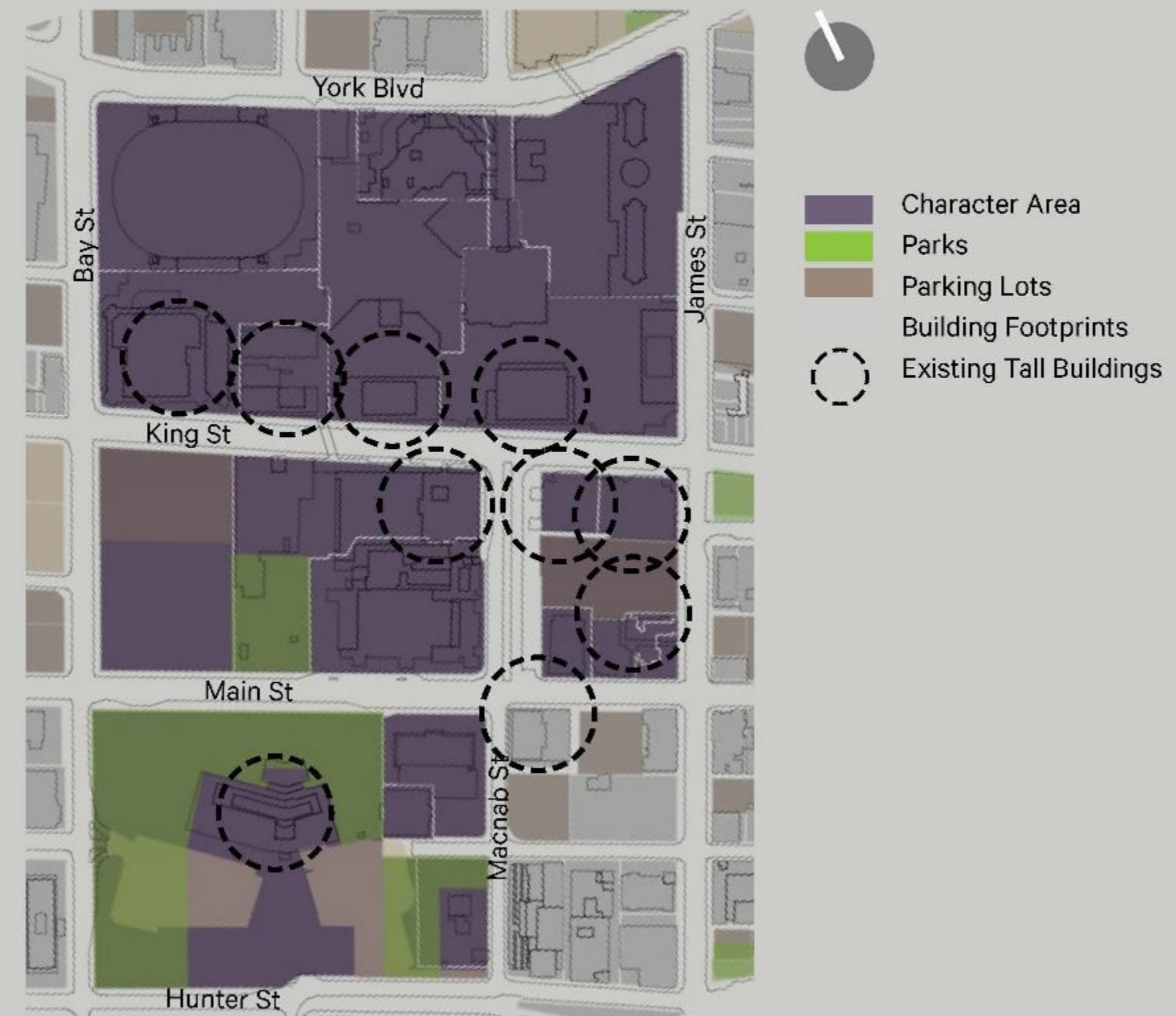
Articulate Streetscape
Design, Weather Protection
And Public Art

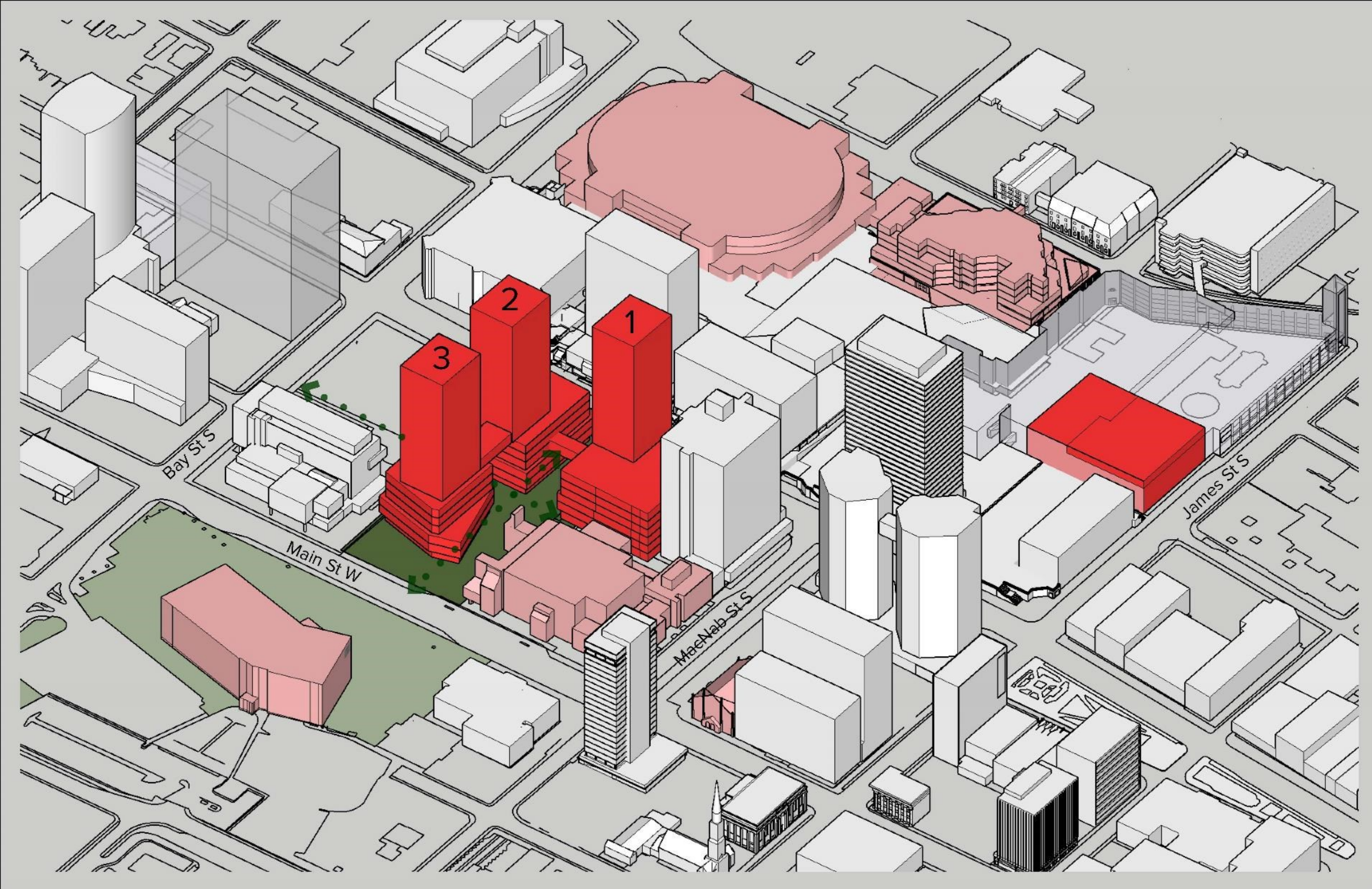


Downtown Hamilton Tall Buildings Guidelines

2.3 Downtown Core (Civic Precinct)

The vision for the Downtown Core is to activate the pedestrian realm through the intensification of the area, which shall allow for improvements and expansion of the open space network.







A MADE IN HAMILTON SOLUTION

- Our Goals Are Aligned
 - Create a Win-Win-Win for the City of Hamilton, Private Sector Partners and Taxpayers of Hamilton.
 - Maximize the Development Capability of the Existing Sites – Creating a Future Tax Base & Density
 - Transform the City
-