



Hamilton

COMMITTEE OF ADJUSTMENT

City Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5

Telephone (905) 546-2424, ext. 4221 Fax (905) 546-4202

E-mail: cofa@hamilton.ca

NOTICE OF PUBLIC HEARING
Minor Variance

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
 - Applicant/agent on file, or
 - Person likely to be interested in this application
-

APPLICATION NO.: HM/A-19:359

APPLICANTS: Owner: Naveen Nagarajan
Agent: Michael Barton

SUBJECT PROPERTY: Municipal address **469 Scenic Dr., Hamilton**

ZONING BY-LAW: Zoning By-law 6593, as Amended

ZONING: B & B1 district (Suburban Agriculture and Residential)

PROPOSAL: To permit the conversion of the second storey of the accessory building into habitable space for the existing single detached dwelling notwithstanding that:

1. The accessory building being converted for habitable space is for residential purposes on a lot in which a residential building has already been erected.

NOTES:

- i. This variance is to allow for the use of both the accessory building and the existing single family dwelling to be used as a single family dwelling only, not to allow for an additional self-contained dwelling unit within this accessory building. Should the owner decide to convert the accessory building into an additional dwelling unit, further variances will be required.
- ii. Please be advised that parking for a single family dwelling is required to be provided at a rate of two (2) parking spaces for the first eight habitable rooms, plus an additional 0.5 spaces for each additional habitable room. It appears that three (3) habitable rooms are intended within the accessory building however, insufficient information has been provided to confirm the number of habitable rooms existing within the single detached dwelling. As such, the total number of required parking spaces cannot be determined at this time. Further variances will be required if the minimum number of required parking spaces cannot be provided on site in accordance with Section 18A of Hamilton Zoning By-law 6593.

This application will be heard by the Committee as shown below:

DATE: Thursday, June 25th, 2020

TIME: 2:00 p.m.

PLACE: Via video link or call in (see attached sheet for details)

To be streamed at www.hamilton.ca/committeeofadjustment
for viewing purposes only

PUBLIC INPUT

Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

Orally: If you would like to speak to this item at the hearing you may do so via video link or by calling in. Please see attached page for complete instructions, including deadlines for registering to participate.

MORE INFORMATION

For more information on this matter, including access to drawings illustrating this request:

- Visit www.hamilton.ca/committeeofadjustment
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935
- Email Committee of Adjustment staff at cofa@hamilton.ca

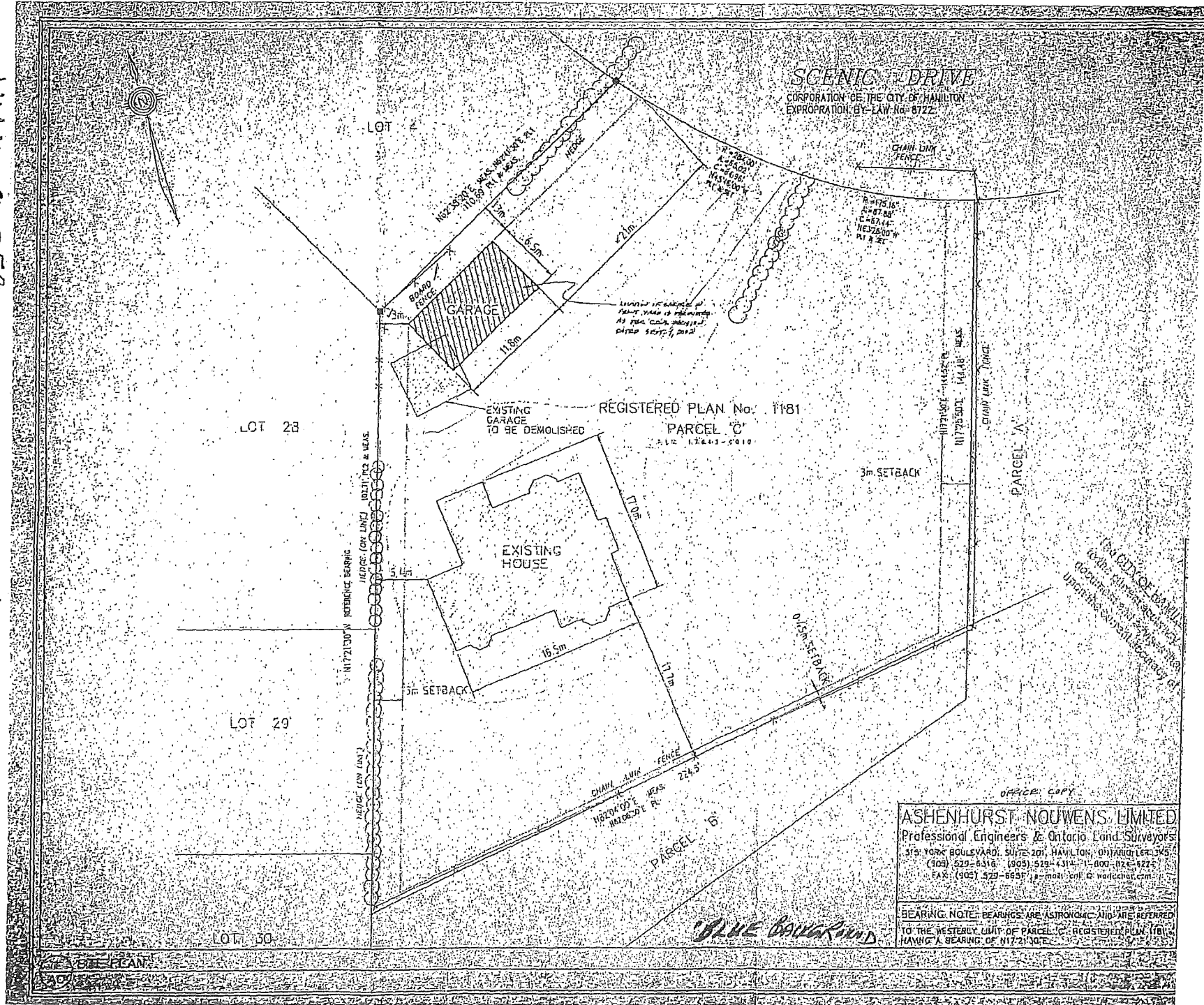
DATED: June 9th, 2020.

Original Signed

Jamila Sheffield,
Secretary-Treasurer
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public.

H/M/A-19:359
Sketch 1



BLUE BACKGROUND

HMVA - 19:359
Sketch 2

LEGEND	GENERAL NOTES	
(A) - 1/2" ROOF TRUSSES	(1) - 1/2" ROOF TRUSSES	1. ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF HAMMILTON BUILDING CODE AND ALL OTHER APPLICABLE LAWS.
(B) - 1/2" ROOF TRUSSES	(2) - 1/2" ROOF TRUSSES	2. THE OWNER/CONTRACTOR SHALL COMPLY WITH THE CITY OF HAMMILTON BUILDING CODE AND ALL OTHER APPLICABLE LAWS.
(C) - 1/2" ROOF TRUSSES	(3) - 1/2" ROOF TRUSSES	3. ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF HAMMILTON BUILDING CODE AND ALL OTHER APPLICABLE LAWS.
(D) - 1/2" ROOF TRUSSES	(4) - 1/2" ROOF TRUSSES	4. ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF HAMMILTON BUILDING CODE AND ALL OTHER APPLICABLE LAWS.
(E) - 1/2" ROOF TRUSSES	(5) - 1/2" ROOF TRUSSES	5. ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF HAMMILTON BUILDING CODE AND ALL OTHER APPLICABLE LAWS.
(F) - 1/2" ROOF TRUSSES	(6) - 1/2" ROOF TRUSSES	6. ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF HAMMILTON BUILDING CODE AND ALL OTHER APPLICABLE LAWS.
(G) - 1/2" ROOF TRUSSES	(7) - 1/2" ROOF TRUSSES	7. ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF HAMMILTON BUILDING CODE AND ALL OTHER APPLICABLE LAWS.
(H) - 1/2" ROOF TRUSSES	(8) - 1/2" ROOF TRUSSES	8. ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF HAMMILTON BUILDING CODE AND ALL OTHER APPLICABLE LAWS.

1. FRONT ELEVATION
SCALE: 1/4" = 1'-0"

2. LEFT SIDE ELEVATION
SCALE: 1/4" = 1'-0"

3. REAR ELEVATION
SCALE: 1/4" = 1'-0"

4. RIGHT SIDE ELEVATION
SCALE: 1/4" = 1'-0"

CITY OF HAMMILTON
Record & Planning Division
The Owner/Contractor shall comply with the City of Hamilton Building Code and all other applicable laws.
Date: 11/20/2019
11/20/2019

FLOORS and WALLS:

All floors in residential occupancies to be finished and or water resistant as per Articles 9.30.1.1 and 9.30.1.2, and all wall tile finish to comply to Subsection 9.29.10.

All gypsum wall board and installation to comply with Subsection 9.29.5. Gypsum Board Finish (Taped Joints).

Interior walls and ceiling finishes to comply with Subsection 9.29.

STUD WALL REINFORCEMENT:

Provide stud wall reinforcement in main bathroom conforming to Article 9.5.2.3 for the installation of grab bars.

STAIRS (INTERIOR/EXTERIOR):

At least 1 stair between each floor level within a dwelling unit, and exterior stairs serving a single dwelling unit except required exit stairs, shall have a width of not less than 860mm (2ft.10in.). See Sentence 9.8.2.1.(2).

Minimum height over stairs and landings within dwelling units shall be 1.95m (6ft.5in.). See Sentences 9.8.2.2.(1) & 9.8.6.4.(1).

All stairs serving a single dwelling unit must meet uniform loading design requirements of 1.9 kPa.

Interior/Exterior stairs in single dwelling units

	Max.(mm)	Min.(mm)
Rise	200 (7-7/8 in)	125 (4-7/8 in)
Run	355 (14 in.)	210 (8-1/4 in)
Tread Depth	355 (14 in.)	235 (9-1/4 in.)

SMOKE ALARMS AND CARBON MONOXIDE ALARMS:

Smoke Alarms conforming to CAN/ULC -5531, "Smoke Alarms" shall be installed in each dwelling unit and in each sleeping room. Smoke alarms shall be installed as per 9.10.19. The locations shall comply with 9.10.19.3. Smoke alarms are to be connected to an electrical circuit and interconnected so that the activation of one alarm will cause all alarms within the dwelling unit to sound as per 9.10.19.5. Carbon monoxide detection conforming to subsection 6.2.12, and/or subsection 9.33.4, shall be installed.

ELECTRICAL:

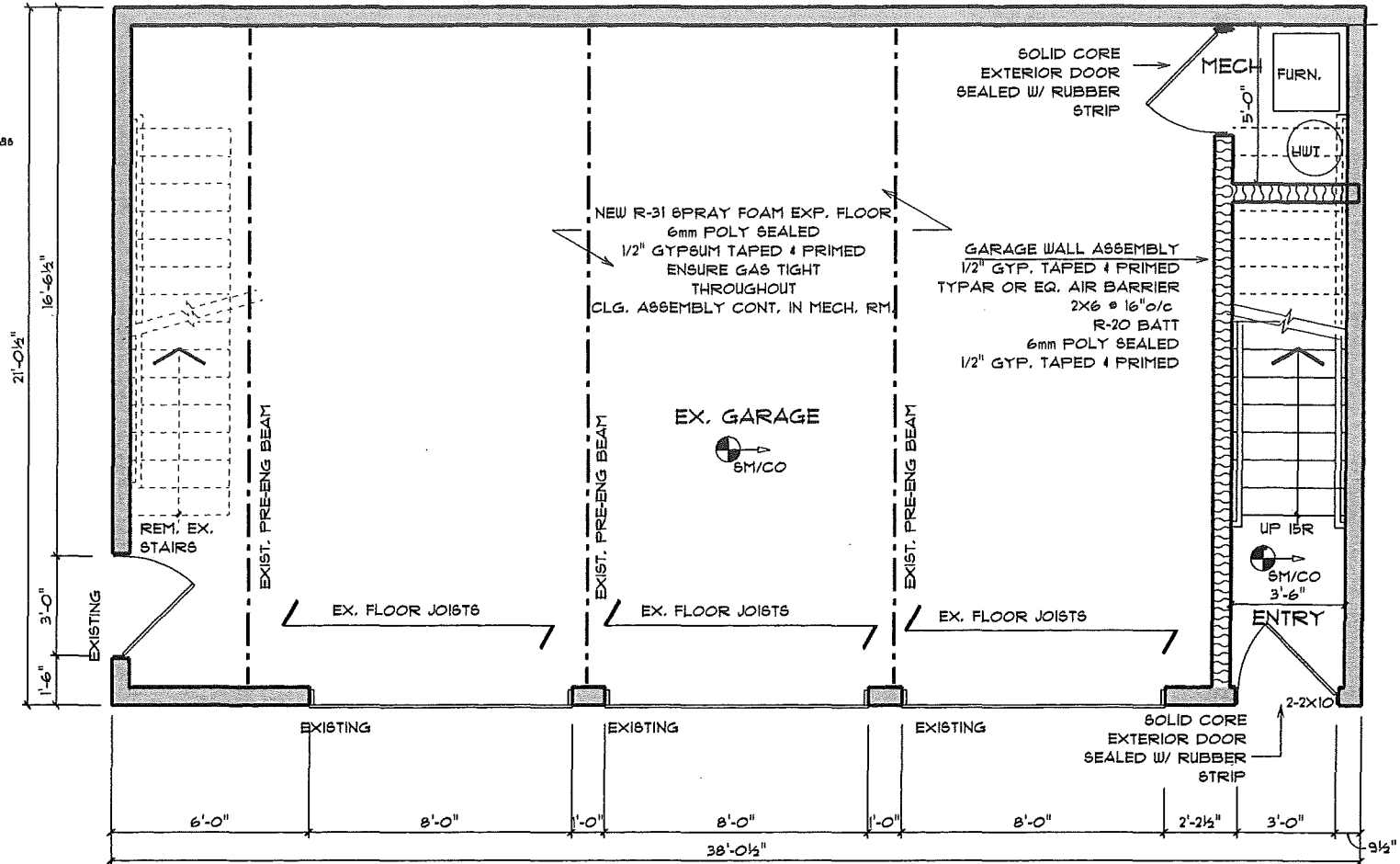
Electrical facilities shall conform to Section 9.34.

Electrical outlets in dwelling units to conform to Article 9.34.2.2.

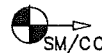
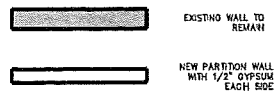
MISCELLANEOUS:

All glass shower & bath enclosures to meet requirements of Article 9.6.1.

Stud wall reinforcing required in all Bathrooms as per 9.5.2.3.



MAIN FLOOR PLAN



SMOKE AND CO ALARMS TO BE INTERCONNECTED COMPLETE W/ VISUAL SIGNALLING DEVICE

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION REQUIRED UNLESS THE DESIGN IS EXEMPT UNDER DIVISION C -3.2.5.1, OF THE 2006 ONTARIO BUILDING CODE.

JOHN BARNHART *JOHN BARNHART* 41773

REGISTRATION INFORMATION REQUIRED UNLESS THE DESIGN IS EXEMPT UNDER DIVISION C -3.2.4.1, OF THE 2006 ONTARIO BUILDING CODE.

THE BUILDING PERMIT GUY 103362
FIRM NAME BCIN

SCALE: 1/4" = 1'-0"

Hm/A 19:359
Sketch 3

INTERIOR ALTERATION

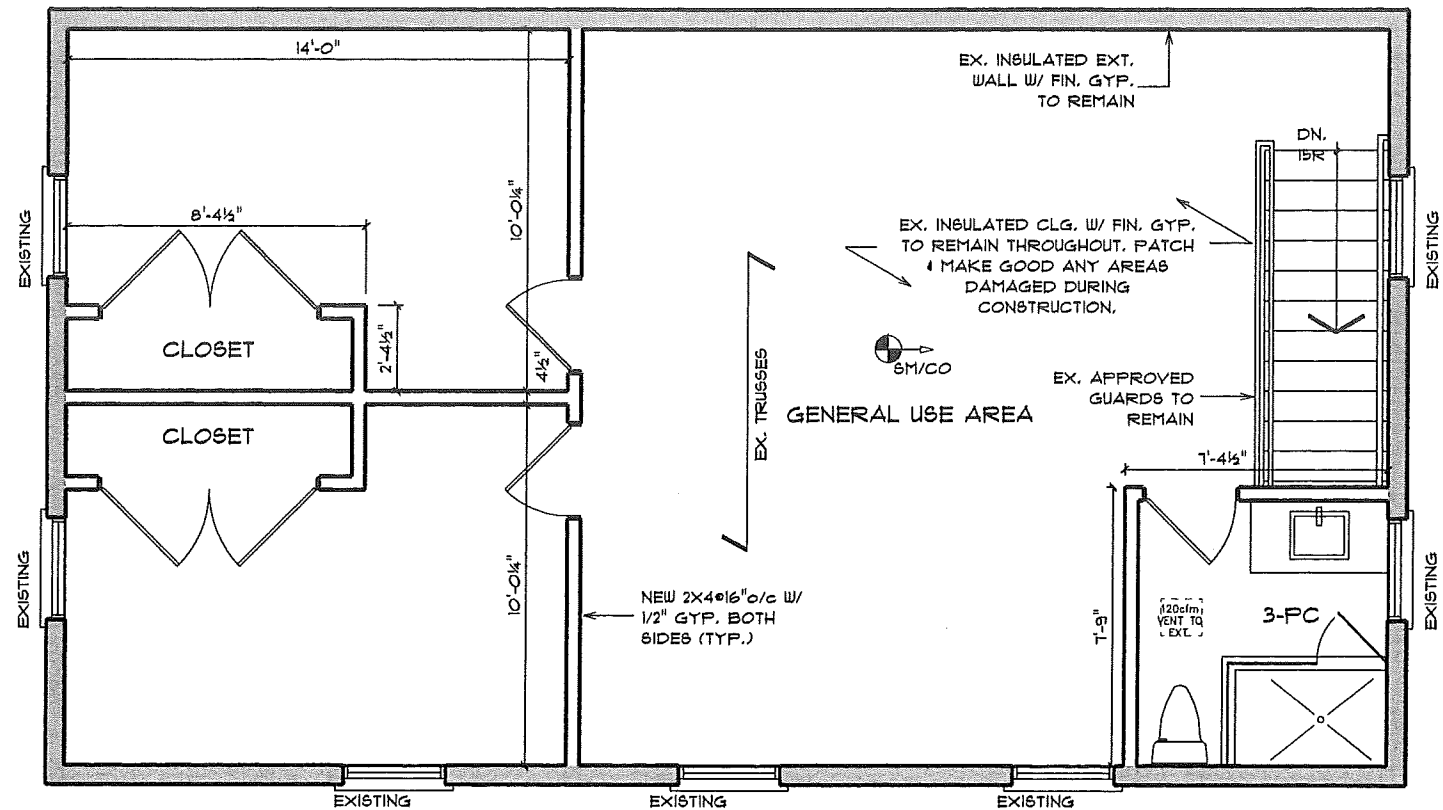
469 SCENIC DRIVE HAMILTON, ONT.

A-1



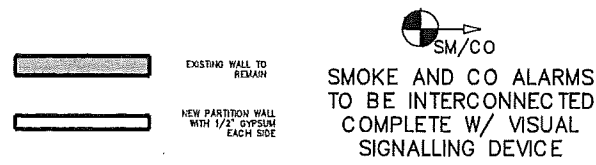
GENERAL NOTES

CONT...
 No proposed changes to existing structure unless noted.
 Contractor to verify all information onsite and report any discrepancies to the designer prior to continuing with work.
 It is the responsibility of the owner or their contractor to ensure all work has been inspected and approved by the Building Div.
 Owner to provide satisfactory ESA inspection report at occupancy inspection.
 See previous permit #02-190030-00 for existing garage details.
 Garage to remain as an accessory use to existing Single Family Dwelling.



Am/A 19:355
 Skalen 4

SECOND FLOOR PLAN



THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.
 QUALIFICATION INFORMATION REQUIRED UNLESS THE DESIGN IS EXEMPT UNDER DIVISION C -3.2.5.1. OF THE 2006 ONTARIO BUILDING CODE.
 JOHN BARNHART *JOHN BARNHART* 41773
 REGISTRATION INFORMATION REQUIRED UNLESS THE DESIGN IS EXEMPT UNDER DIVISION C -3.2.4.1. OF THE 2006 ONTARIO BUILDING CODE.
 THE BUILDING PERMIT GUY 103362
 FIRM NAME BCIN

INTERIOR ALTERATION
 469 SCENIC DRIVE HAMILTON, ONT.

SCALE: 1/4" = 1'-0"

A-2

