



Hamilton

COMMITTEE OF ADJUSTMENT

City Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5

Telephone (905) 546-2424, ext. 4221 Fax (905) 546-4202

E-mail: cofa@hamilton.ca

NOTICE OF PUBLIC HEARING

Application for Consent/Land Severance

APPLICATION NUMBER: HM/B-20:13

SUBJECT PROPERTY: 360 Mohawk Rd. W., Hamilton

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
 - Applicant/agent on file, or
 - Person likely to be interested in this application
-

APPLICANT(S): Owner: Tuscany Hills Homes c/o Dominic Chiaravalle
Agent: IBI Group c/o Angela Buonamici

PURPOSE OF APPLICATION: To permit the conveyance of a parcel of land for a proposed semi-detached dwelling and to retain a parcel of land for a proposed semi-detached dwelling.

To be heard in conjunction with HM/B-20:14 and HM/B-20:15.

Severed lands (Parts 1 and 2):
13.4m[±] x 34m[±] and an area of 729m^{2±}

Retained lands (Parts 3 and 4):
14.9m[±] x 28m[±] and an area of 575m^{2±}

The Committee of Adjustment will hear this application on:

DATE: Thursday, June 25th , 2020

TIME: 2:15 p.m.

PLACE: Via video link or call in (see attached sheet for details)

To be streamed at

www.hamilton.ca/committeeofadjustment

for viewing purposes only

PUBLIC INPUT

Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

Orally: If you would like to speak to this item at the hearing you may do so via video link or by calling in. Please see attached page for complete instructions, including deadlines for registering to participate.

Important note: If a person or public body that files an appeal of a decision of the Committee

.../2

of Adjustment in respect of the proposed consent does not make written or oral submission to the Committee of Adjustment before it gives or refuses to give a provisional consent, the Local Planning Appeal Tribunal (LPAT) may dismiss the appeal.

MORE INFORMATION

For more information on this application, including access to drawings illustrating this request:

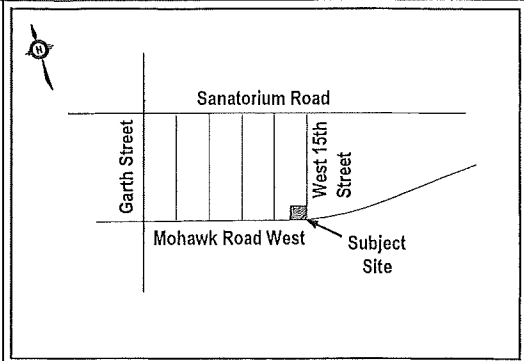
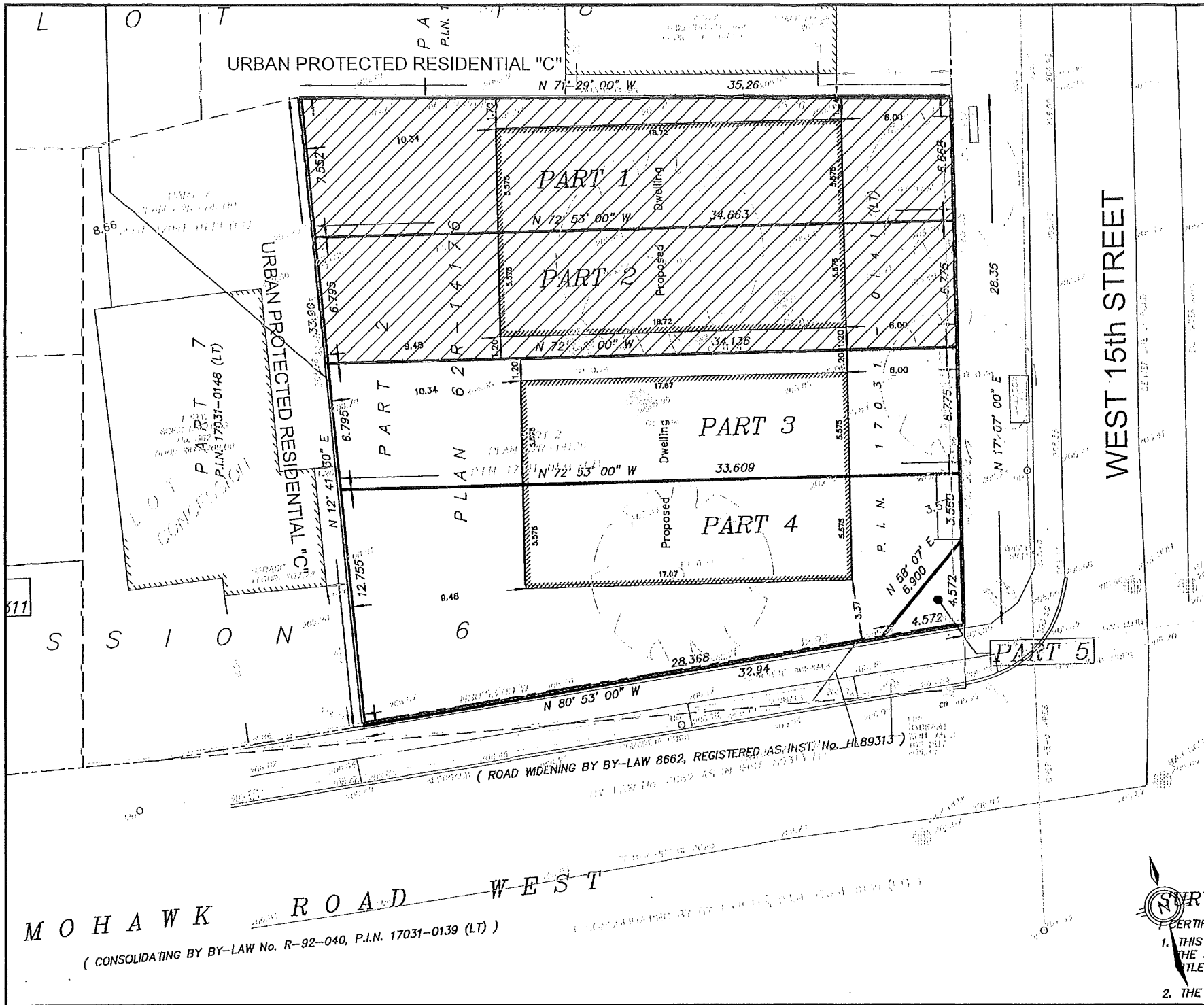
- Visit www.hamilton.ca/committeeofadjustment
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935
- Email Committee of Adjustment staff at cofa@hamilton.ca

DATED: June 9th, 2020

Original Signed



Jamila Sheffield,
Secretary-Treasurer
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public.



Location Map

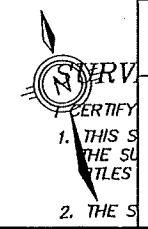
Legend:

-  LANDS TO BE SEVERED
-  LANDS TO BE RETAINED

PRELIMINARY SEVERANCE SKETCH 1

360 Mohawk Rd W Hamilton, ON	SCALE 1:200 DATE FEB 2020 PROJECT No. 117119
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IBI GROUP
Suite 200, East Wing - 360 James St N
Hamilton ON L8L 1H5 Canada
tel 905 546 1010
ibigroup.com

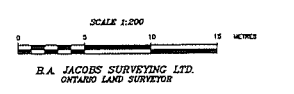


MOHAWK ROAD WEST
(CONSOLIDATING BY BY-LAW No. R-92-040, P.I.N. 17031-0139 (LT))

HMIB-2013; 20:14; 20:15
Sketch

I REQUIRE THIS PLAN TO BE DEPOSITED UNDER THE LAND TITLES ACT.		PLAN 62R-		
DATE: _____		RECEIVED AND DEPOSITED		
DATE: _____		DATE: _____		
BY: BRYAN JACOBS ONTARIO LAND SURVEYOR		REPRESENTATIVE FOR LAND REGISTRATION FOR THE LAND TITLES DIVISION OF MINISTRY (No. 412)		
SCHEDULE				
PART	LOT	CONCESSION #	P.L.N.	AREA (sq.m.)
1	PART OF LOT 18	CONCESSION #	PART OF P.L.N. 17031-0141 (L1)	248.07
2	PART OF LOT 18	CONCESSION #	PART OF P.L.N. 17031-0141 (L1)	233.06
3	PART OF LOT 18	CONCESSION #	PART OF P.L.N. 17031-0141 (L1)	229.46
4	PART OF LOT 18	CONCESSION #	PART OF P.L.N. 17031-0141 (L1)	332.89
5	PART OF LOT 18	CONCESSION #	PART OF P.L.N. 17031-0141 (L1)	16.21
PARTS 1, 2, 3, 4 & 5 COMPRISE ALL OF P.L.N. 17031-0141 (L1)				

PLAN OF SURVEY OF
PART OF LOT 18
CONCESSION 6
(GEOGRAPHIC TOWNSHIP OF BARTON)
CITY OF HAMILTON



LEGEND AND NOTES:

- # DENOTES SURVEY MONUMENT FOUND
- DENOTES SURVEY MONUMENT PLANTED
- SD DENOTES STANDARD IRON BAR
- SSSD DENOTES SHORT STANDARD IRON BAR
- IB DENOTES IRON BAR
- IBW DENOTES ROUND IRON BAR
- OC DENOTES CUT CROSS
- (O) DENOTES DRIVEN UNKNOWN
- MC DENOTES WOODEN

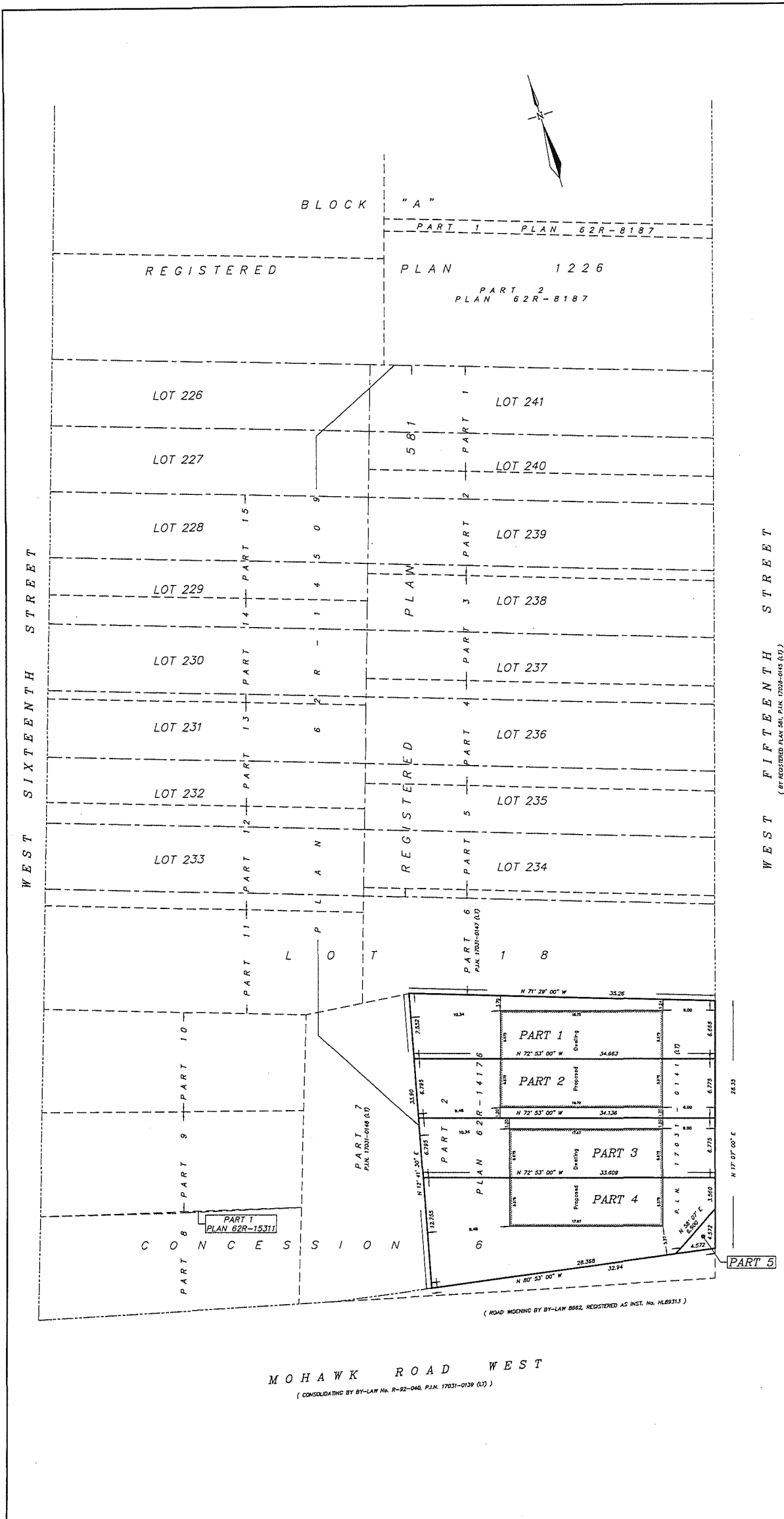
DISTANCES AND COORDINATES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

BEARINGS ARE UTM GRID, DERIVED FROM SPECIFIED CONTROL POINTS AND UTM ZONE 17, NAD83 (ORIGINAL).

DISTANCES ARE GROUND AND CAN BE CONVERTED TO GRID BY MULTIPLYING BY THE COMBINED SCALE FACTOR OF

SPECIFIED CONTROL POINTS (SCPP): UTM ZONE 17, NAD83 (ORIGINAL), COORDINATES TO URBAN ACCURACY PER SEC. 14 (2) OF O.R.E.G. 216/10.		
POINT ID	NORTHING	EASTING

COORDINATES CANNOT, IN THEMSELVES, BE USED TO RE-ESTABLISH CORNERS OR BOUNDARIES SHOWN ON THIS PLAN



MOHAWK ROAD WEST
(CONSOLIDATING BY BY-LAW No. R-92-040, P.L.N. 17031-0139 (L1))

SURVEYOR'S CERTIFICATE

I CERTIFY THAT:

- THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT AND THE LAND TITLES ACT AND THE REGULATIONS MADE UNDER THEM.
- THE SURVEY WAS COMPLETED ON

DRAFT

DATE: _____

BRYAN JACOBS
ONTARIO LAND SURVEYOR

B.A. JACOBS SURVEYING LTD.
152 JACKSON STREET EAST, SUITE 102
HAMILTON, ONTARIO (L4M 1L2)
PHONE: 905-521-1525 FAX: 905-521-1525

HM/13-20:13; 20:14; 20:15
Sketch 2