



Hamilton

COMMITTEE OF ADJUSTMENT

City Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5

Telephone (905) 546-2424, ext. 4221 Fax (905) 546-4202

E-mail: cofa@hamilton.ca

NOTICE OF PUBLIC HEARING
Minor Variance

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
 - Applicant/agent on file, or
 - Person likely to be interested in this application
-

APPLICATION NO.: HM/A-19:290

APPLICANTS: Owner: Kevin Daley
Agent: Michael P. Sabelli

SUBJECT PROPERTY: Municipal address **315B Aberdeen Ave., Hamilton**

ZONING BY-LAW: Zoning By-law 6993, as Amended

ZONING: C and D district (Urban Protected Residential)

PROPOSAL: To establish lot frontage on Aberdeen Avenue and to facilitate the construction of a two-storey single family dwelling on an irregular shaped lot notwithstanding that::

1. A lot width of at least 3.6 metres shall be permitted instead of the required lot width of at least 12.0 metres.
2. The gross area of the front yard shall be permitted to contain no landscaped area instead of the required minimum 50.0% of the gross area of the front yard to be provided as a landscaped area.
3. A dwelling constructed with an attached garage shall be permitted to have the finished level of the garage floor at grade (0.0m) instead of the required minimum of 0.3m above grade for a finished level of the garage floor.

NOTES:

1. Parking has been reviewed for a single family dwelling with eight (8) habitable rooms or less. Additional variances may be required if the proposed single family dwelling exceeds eight (8) habitable rooms.
2. Variances are based on the owner acquiring and permanently closing the portions of alleyway located directly to the east of 315 & 293 Aberdeen Avenue, as well as the portion of alleyway directly to the north of 293 Aberdeen Avenue (abutting 315B Aberdeen Avenue).
3. Variances are based on the owner merging all portions of acquired and closed alleyway portions on title, with the lands known as 293 Aberdeen Avenue and 315B Aberdeen Avenue.

This application will be heard by the Committee as shown below:

DATE: Thursday, June 25th, 2020
TIME: 3:10 p.m.
PLACE: Via video link or call in (see attached sheet for details)
To be streamed at www.hamilton.ca/committeeofadjustment
for viewing purposes only

PUBLIC INPUT

Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

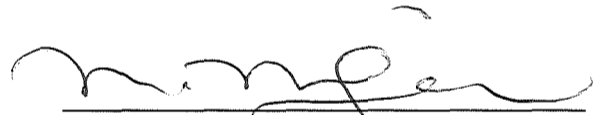
Orally: If you would like to speak to this item at the hearing you may do so via video link or by calling in. Please see attached page for complete instructions, including deadlines for registering to participate.

MORE INFORMATION

For more information on this matter, including access to drawings illustrating this request:

- Visit www.hamilton.ca/committeeofadjustment
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935
- Email Committee of Adjustment staff at cofa@hamilton.ca

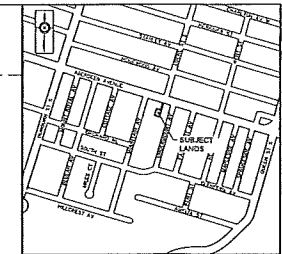
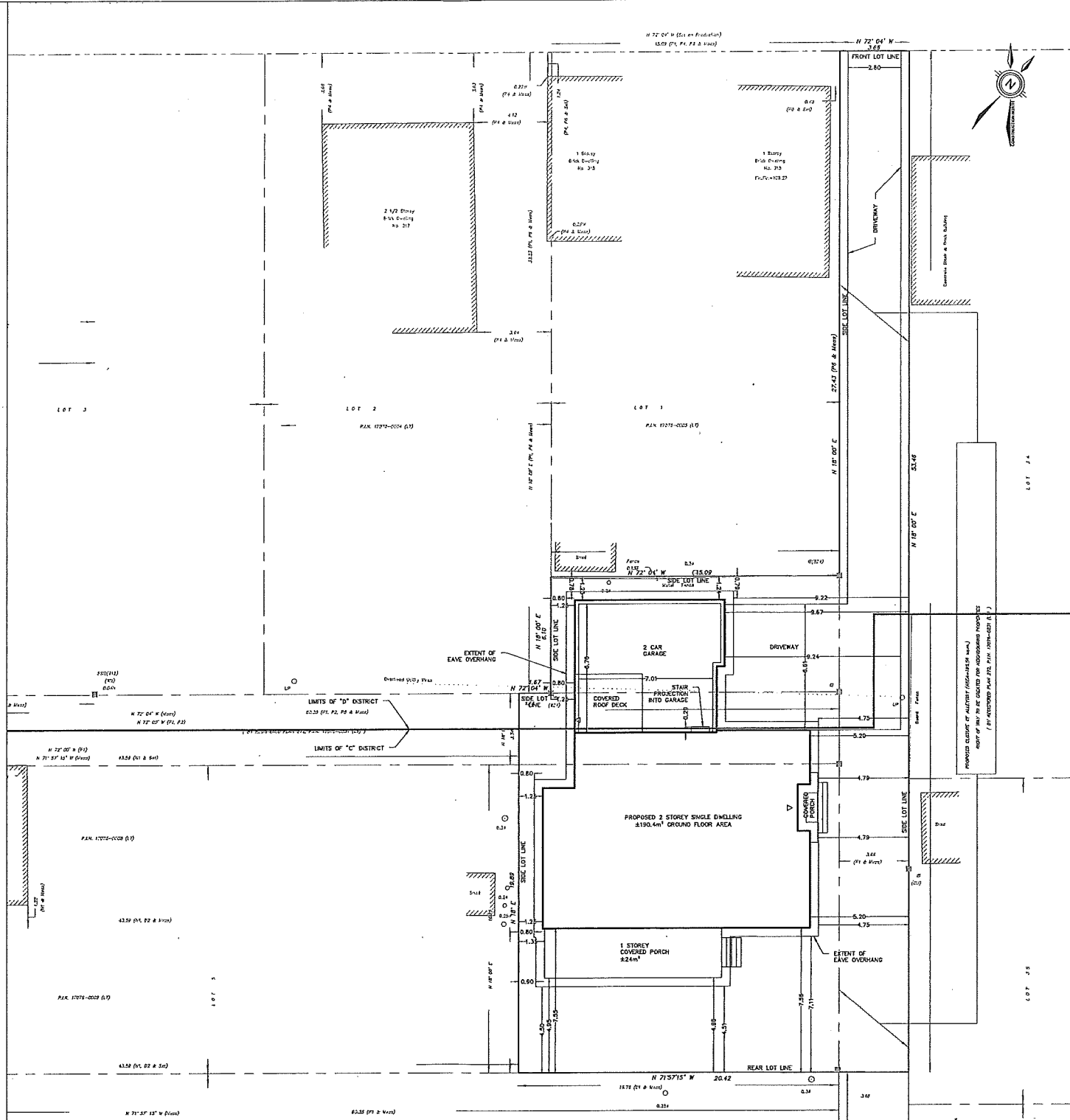
DATED: June 9th, 2020.



Jamila Sheffield,
Secretary-Treasurer
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public.

DEVELOPMENT DETAILS				
URBAN PROTECTED RESIDENTIAL "C" DISTRICT				
	REQUIRED	PROPOSED	AMENDMENT NEEDED	
10(2)	MAXIMUM BUILDING HEIGHT	11.0 m	7.83 m	
10(3)	MINIMUM FRONT YARD SETBACK	1.0 m	N/A	
10(3)(1)	MINIMUM SIDE YARD SETBACK	1.20 m	1.24 m	
10(3)(2)	MINIMUM REAR YARD SETBACK	7.5 m	7.55 m	
10(4)	MINIMUM LOT WIDTH	12.0 m	3.88 m	X
10(4)	MINIMUM LOT AREA	360.0m ²	821.4m ²	
URBAN PROTECTED RESIDENTIAL "D" DISTRICT				
10(2)	MAXIMUM BUILDING HEIGHT	14.0 m	7.83 m	
10(3)	MINIMUM FRONT YARD SETBACK	6.0 m	N/A	
10(3)(1)	MINIMUM SIDE YARD SETBACK	1.20 m	1.24 m	
10(3)(2)	MINIMUM REAR YARD SETBACK	7.5 m	N/A	
10(4)	MINIMUM LOT WIDTH	12.0 m	3.88 m	X
10(4)	MINIMUM LOT AREA	360.0m ²	821.4m ²	
SUPPLEMENTARY REQUIREMENTS AND MODIFICATIONS				
10(3)(4)(1)	EAVE/OUTLET ENCHANGEMENT	1.5 m	N/A	
	(1) FRONT YARD	1.5 m	0.45 m	
	(2) REAR YARD	1.0 m OR HALF WIDTH-0.83 m	0.55 m	
	(3) SIDE YARD			
10(3)(4)(2)	UNENCLOSED PORCH ENCHANGEMENT	3.0 m	N/A	
	FRONT YARD	3.0 m	3.0 m	
	REAR YARD	NOT PERMITTED		
	SIDE YARD	NOT PERMITTED		
PARKING AND LOADING REQUIREMENTS				
18(1)(1)	MINIMUM MANOEUVRING SPACE	8.0 m	8.24 m	
18(1)(2)	MINIMUM PARKING SPACE SIZE	2.7m x 8.6m	3.3m x 7.0m	
18(1)(3)	MAX. STAIR PROJECTION INTO DRIVEWAY	0.75 m	0.28 m	
18(1)(4)	MIN. FINISHED GARAGE ELEVATION ABOVE DRIVEWAY	0.30 m	0.0 m	X
18(1)(4.1)	FLOORING LOCATION	NOT PERMITTED IN FRONT YARD	NONE PROVIDED	
18(1)(4.2)	MINIMUM FRONT YARD LANDSCAPED AREA	5% OF REQUIRED YARD	0%	X
18(1)(4.3)	MIN. DRIVEWAY WIDTH	2.8 m	2.83 m	
18(1)(4.4)	MIN. REQUIRED PARKING	2 SPACES	2 SPACES	



LEGEND

NOT FOR CONSTRUCTION

SOURCE:
TOPOGRAPHICAL SURVEY INFORMATION OBTAINED FROM B.A. JACOBS SURVEYS LTD., DIV. NO. 1183-91.
BUILDING LAYOUT INFORMATION OBTAINED FROM LINDEE DESIGNS INC., DIV. NO. 0995.

BENCHMARKS
ELEVATIONS SHOWN ON THIS PLAN ARE REFERRED TO CITY OF HAMILTON BENCHMARK INDEXED AS No. 2-31.
LOCATION: No. 351 CAROLINE STREET SOUTH AT THE SOUTHWEST CORNER OF HERVAGER STREET ON WEST WALL, 2.4m FROM NORTHWEST CORNER OF BUILDING No. 125.
ELEVATION = 115.855m

SCALE
1:100 (1:1)

DESIGN BY: J. MARCUS CHECKED BY: J. JENSEN
DRAWN BY: J. MARCUS DATE: 2018-11-04

PROPOSED LOT 1-2-3-4
DATE: BY: DESCRIPTION:

DRAWING ISSUE RECORD

APPROVALS

IBI GROUP
200 East Wing-360 James Street North
Hamilton ON L8L 1H5 Canada
tel: 905 546 1010 fax: 905 546 1011
ibigroup.com

CITY OF HAMILTON
315B ABERDEEN AVENUE

MINOR VARIANCE SKETCH
HMA-19-290

FILE NUMBER: 123384 SHEET NUMBER: MV1

HM/A-19-290
Sketch 1



LEFT SIDE ELEVATION



REAR ELEVATION

THESE DRAWINGS ARE FOR PLANNING APPLICATION AND APPROVAL. (November :

HM/A-19:290
Sketch 2



LEFT SIDE ELEVATION



FRONT ELEVATION



REAR ELEVATION



RIGHT SIDE ELEVATION

THESE DRAWINGS ARE FOR PLANNING APPLICATION AND APPROVAL. (November 2019)

UNIQUE DESIGNS INC		DALEY RESIDENCE	09065	A1
PROPOSED ELEVATIONS	CUSTOM HOME		Job Number 102516	
		315B ABERDEEN AVE. HAMILTON, ONTARIO	M.F. Drawn By	1/4"=1'-0" Scale

HM/A-19-290
Sketch 3