



Hamilton

COMMITTEE OF ADJUSTMENT

City Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5

Telephone (905) 546-2424, ext. 4221

Fax (905) 546-4202

E-mail: cofa@hamilton.ca

NOTICE OF PUBLIC HEARING **Minor Variance**

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
 - Applicant/agent on file, or
 - Person likely to be interested in this application
-

APPLICATION NO.: HM/A-19:349

APPLICANTS: Dan Huynh, owner

SUBJECT PROPERTY: Municipal address **66 Radford St., City of Hamilton**

ZONING BY-LAW: Zoning By-law 6593, as Amended by By-laws 95-02 & 95-33

ZONING: "C/S-1335 and S-1335a" (Urban Protected Residential) district

PROPOSAL: To permit the conversion of the existing single-family dwelling to contain a total of two (2) dwelling units notwithstanding that;

1. Two (2) parking spaces shall be permitted to be located within the required front yard whereas the zoning By-law permits only one of the required parking spaces to be located within the required front yard.
2. No onsite maneuvering shall be provided for the two (2) required parking spaces instead of the requirement that a maneuvering space shall be provided and maintained abutting and accessory to each required parking space on the lot and whereas the zoning By-law only permits off-site maneuvering for only one parking space.
3. A parking space size having a minimum width of 2.6m shall be permitted for both parking spaces instead of the minimum 2.7m wide parking space size width required.

This application will be heard by the Committee as shown below:

DATE: Thursday, June 25th, 2020

TIME: 3:20 p.m.

PLACE: Via video link or call in (see attached sheet for details)

To be streamed at www.hamilton.ca/committeeofadjustment
for viewing purposes only

PUBLIC INPUT

Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.


Orally: If you would like to speak to this item at the hearing you may do so via video link or by calling in. Please see attached page for complete instructions, including deadlines for registering to participate.

MORE INFORMATION

For more information on this matter, including access to drawings illustrating this request:

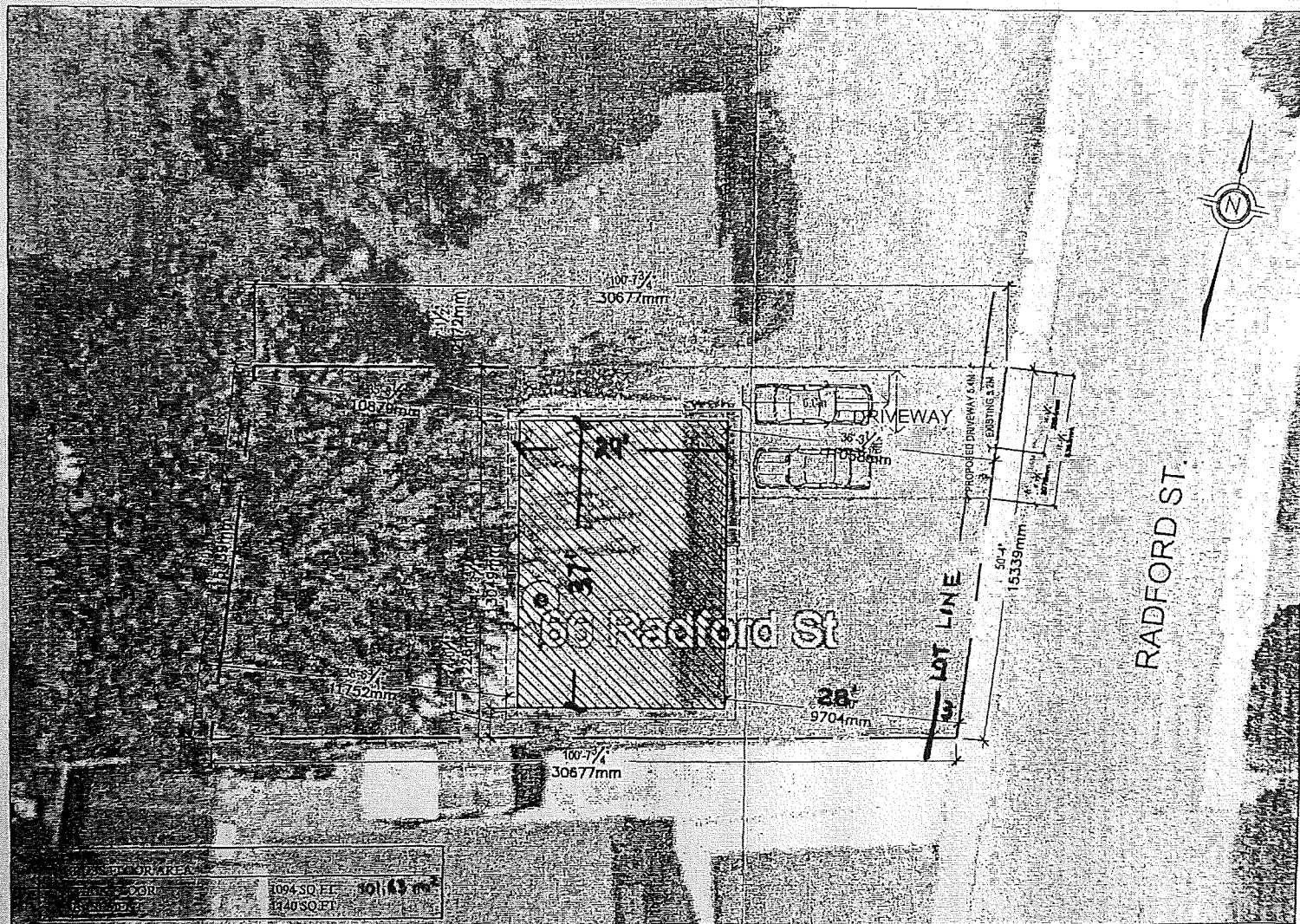
- Visit www.hamilton.ca/committeeofadjustment
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935
- Email Committee of Adjustment staff at cofa@hamilton.ca

DATED: June 9th, 2020.



Jamila Sheffield,
Secretary-Treasurer
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public.



LANDSCAPED AND OPEN SPACE

FRONT YARD	1400 SQ. FT.	130.06 SQ.M.
ASPHALT DRIVEWAY	513.59 SQ. FT.	47.71 SQ.M.
TOTAL SODDED AREA	886.41 SQ. FT.	83.35 SQ.M.

TOTAL PROPOSED FRONT YARD SOFT LANDSCAPING 886.41 SQ. FT. 83.35 SQ.M.
OR 63.26% OF FRONT YARD LANDSCAPE

Hm 1A
19:349
Sketch 1

NO.	REVISION	DATE

GENERAL INFORMATION	
PROJECT NAME	DATE
PROJECT NO.	DATE
DESIGNATION INFORMATION	
DESIGNER'S NAME	DATE
DESIGNER'S NO.	DATE

PROJECT NAME	DATE
PROJECT NO.	DATE
Drawing Title	
SP1.01 SITE PLAN	
SCALE: 1/8"=1'-0"	

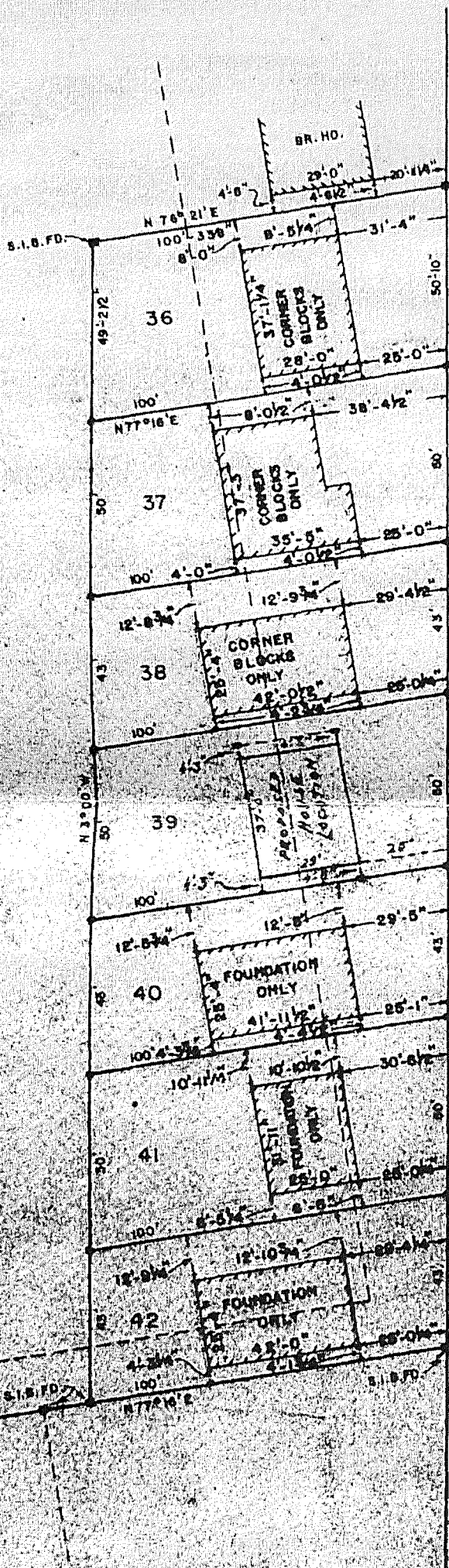
Project
66 RADFORD ST HAMILTON, ONTARIO



DESIGNED BY	DATE
CHECKED BY	DATE
FILE NO.	DATE
DRAWING NO.	DATE
SP1.01	DATE

TOWNSHIP OF ANCASTER

LOT 55, CON. 1



PLAN

OF
LOTS 36 TO 42 INCLUSIVE
OF FIELD GARDENS ANNEX
REG. PLAN No. 1100
IN THE
CITY OF HAMILTON
SCALE 1 IN. = 30 FT.

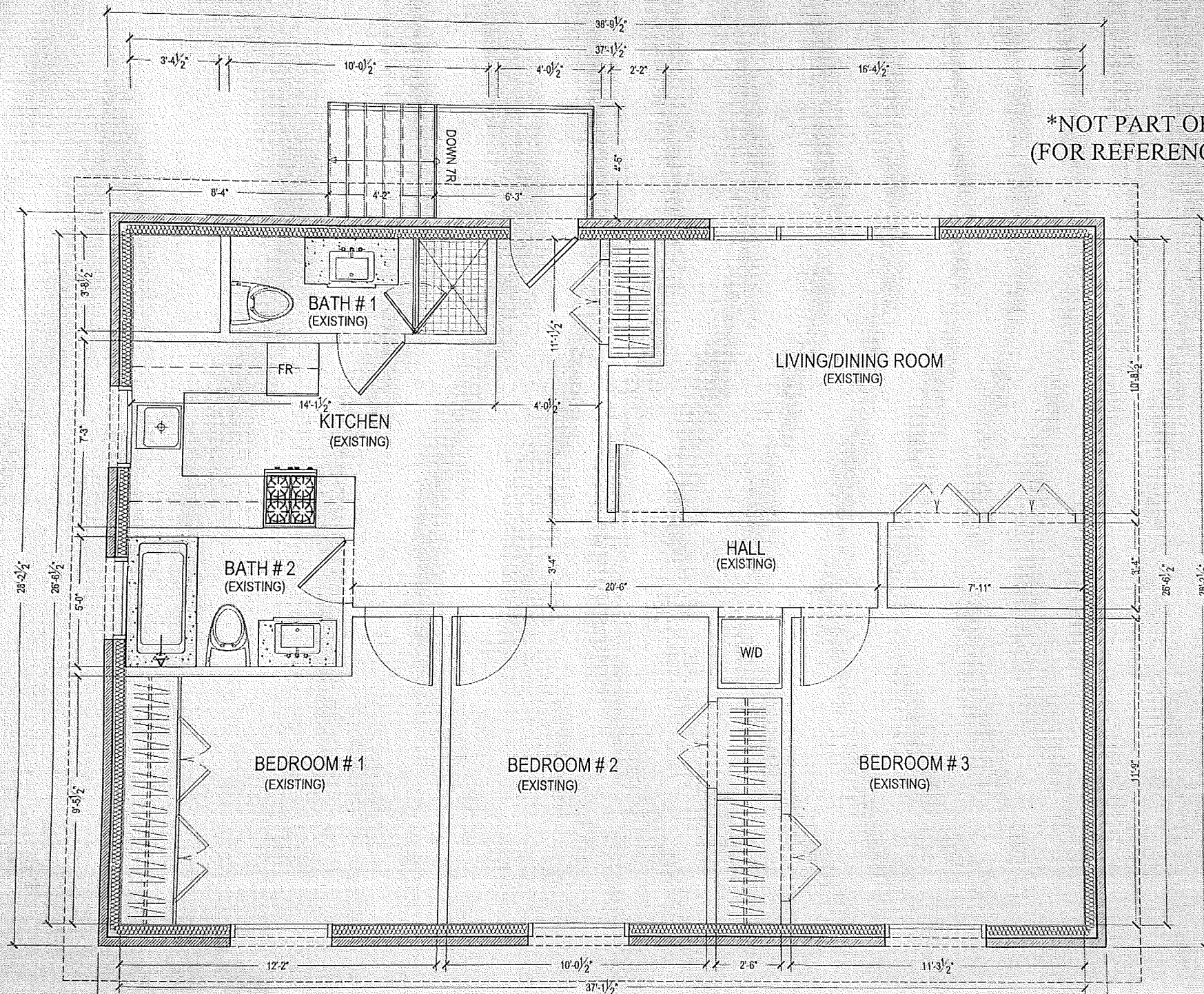


NOTE:

SIGN THIS & DENOTES A WOODEN STAKE
SWELLINGS ADDED TO LOTS 36, 37, 38, 40, 41 & 42 OCT. 18.

J. J. P.
ONTARIO LAND SURVEYOR
HAMILTON, ONTARIO
JULY 24, 1914

Hm/A 19:349
Sketch 2



*NOT PART OF SCOPE
(FOR REFERENCE ONLY)

The Designer is not responsible for the
completeness of survey, information, conditions,
statements, etc., engineering information shown
on the drawings. Refer to the appropriate
notwithstanding drawings before proceeding with work.

Contractor shall check all documents on the
work and report any discrepancies to the
Designer before proceeding. Construction
must conform to all applicable Code,
Regulations and By-laws of Authority
having jurisdiction.

This drawing is not to be used as
a reference without signed by the Designer.

Issued for Contractor:

Signature: _____

Date: _____

[illegible][illegible]

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1	BOB PERDUE	May 13
No.	James Fry	Dine

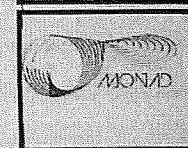
Drawing Title

A04 MAIN FLOOR PLAN
EXISTING

SCALE - 1/4"=1'-0"

Project

66 RADFORD ST
HAMILTON, ONTARIO



Am1A 19:349
Sketch 3

