



Hamilton

COMMITTEE OF ADJUSTMENT

City Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5

Telephone (905) 546-2424, ext. 4221

Fax (905) 546-4202

E-mail: samantha.costa@hamilton.ca or scott.baldry@hamilton.ca

NOTICE OF PUBLIC HEARING **Minor Variance**

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
 - Applicant/agent on file, or
 - Person likely to be interested in this application
-

APPLICATION NO.: GL/A-19:105

APPLICANTS: Rocco & Tanya Pugliese, Owners

SUBJECT PROPERTY: Municipal address **8 Grassypain Dr., (Glanbrook) City of Hamilton**

ZONING BY-LAW: Zoning By-law 464, as Amended

ZONING: "R3-158" (Residential "R3") Zone

PROPOSAL: To permit the construction of a 5.5m by 4.6m (25 square metre) roofed over patio in the rear yard notwithstanding that:

1. A minimum rear yard of 3.0 metres shall be permitted instead of the minimum 7.5 metre rear yard required.
2. A minimum distance of 1.5 metres shall be provided from the boundary of a transmission pipeline right-of-way instead of the minimum required 10 metres from the boundary of a transmission pipeline right-of-way.

This application will be heard by the Committee as shown below:

DATE: Thursday, July 9th, 2020

TIME: 1:20 p.m.

PLACE: Via video link or call in (see attached sheet for details)

To be streamed at www.hamilton.ca/committeeofadjustment
for viewing purposes only

PUBLIC INPUT

Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

Orally: If you would like to speak to this item at the hearing you may do so via video link or by calling in. Please see attached page for complete instructions, including deadlines for registering to participate.

MORE INFORMATION

For more information on this matter, including access to drawings illustrating this request:

- Visit www.hamilton.ca/committeeofadjustment
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935
- Email Committee of Adjustment staff at cofa@hamilton.ca

DATED: June 23rd, 2020.

Original Signed

Jamila Sheffield,
Secretary-Treasurer
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public.

PART 3, PLAN 62R-638

PIN 16901-0001 (LT)

N18°14'20"E 20.24 (P1 & SET)

FENCE
0.09 SOUTH
0.25 EAST

7.55

REGISTERED

L O T 15 9 2

PLAN

DOUBLE BOARD FENCE

10.1

FENCE
0.09 SOUTH

62M-93

DWELLING
UNDER CONSTRUCTION
PIN 16901-0441 (LT)

GARAGE

BOARD FENCE

5.92

5.76

6.577

3.301

0.939

6.910

2.109

2.819

4.014

1.119

3.353

0.738

0.814

0.433

4.495

12.802

1.24

1.25

N17°17'20"E 29.56 (P1 & SET)

L
PIN

FENCE
0.58 NORTH
0.60 EAST

7.61

FENCE

0.20 SOUTH
0.54 EAST

BLOCK 115
(0.3 RESERVE)
PIN 16901-0484 (LT)

GRASSY PLAIN

DEDICATED BY REGISTERED PLAN 62M-9339
DRIVE
PIN 16901-0465 (LT)

N56°04'15"W 25.79 (P1 & SET)

7.67

7.78

R=73.00
C=8.36
A=8.37
N59°21'15"W

47°13'40"E
37 (MEAS)

10.295 (MEAS)
(P1 & SET)

R=73.00
C=11.15

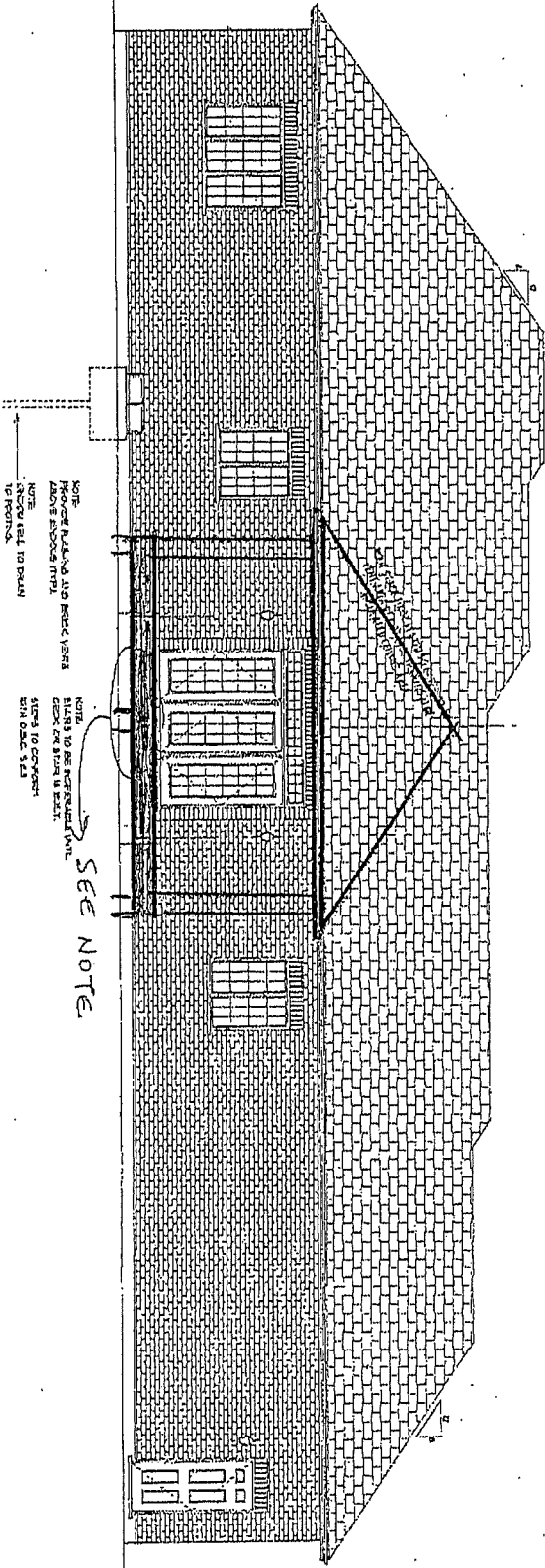
Amended
6/11/19/105
SKETCH (1)

An architectural line drawing of a three-story building. The building features a gabled roof with a decorative ridge. The facade is composed of brickwork. On the left side, there are two large, multi-paned windows on the upper floors. The central entrance is marked by a small porch with a pediment. To the right of the entrance, there are several smaller windows, some with decorative elements. The building is surrounded by trees and a fence. The drawing is oriented vertically on the page.

FOR THE PUBLIC AND FOR THE
ARTS AND CRAFTS

STEPS, GUARDS, RAILS 15
PER OBC 9.8

ALL CORRELATIONS ARE CORRECTLY
WITH THE OILFIELD GENERAL
EAST



APRICE UNITE 6 FOR ROOF, CEILING AND 1 STOREY	
UNITE SIZE	SUPPLIED LENGTH
5'4" X 8"	3'-0"
3'7" X 20"	7'-5"
2'4" X 0"	8'-5"
APRICE UNITE 6 FOR ROOF, CEILING AND 2 STOREY	
UNITE SIZE	SUPPLIED LENGTH
3'5" X 8"	8'-0"
2'5" X 0"	6'-4"
1'4" X 0"	7'-4"
DORMER UNITE	
PLAIN DORM	ROOF DORM
3'4"	1'4" X 1'0" X 1'4"
0'10"	1'4" X 1'0" X 1'4"
4'0"	1'4" X 1'0" X 1'4"
4'4"	1'4" X 1'0" X 1'4"
4'8"	1'4" X 1'0" X 1'4"
5'0"	1'4" X 1'0" X 1'4"
5'4"	1'4" X 1'0" X 1'4"
5'8"	1'4" X 1'0" X 1'4"



Hamilton

Planning and Economic Development Department
Planning Division

Committee of Adjustment
City Hall
5th floor 71 Main Street West
Hamilton, Ontario L8P 4Y5

Phone (905) 546-2424 ext.4221
Fax (905) 546-4202

PLEASE FILL OUT THE FOLLOWING PAGES AND
RETURN TO THE CITY OF HAMILTON PLANNING
DEPARTMENT.

FOR OFFICE USE ONLY.	
APPLICATION NO. <u>641A-19: 105</u>	DATE APPLICATION RECEIVED <u>MAR 19 11 19</u>
PAID _____	DATE APPLICATION DEEMED COMPLETE _____
SECRETARY'S SIGNATURE _____	

CITY OF HAMILTON
COMMITTEE OF ADJUSTMENT
HAMILTON, ONTARIO

The Planning Act

Application for Minor Variance or for Permission

The undersigned hereby applies to the Committee of Adjustment for the City of Hamilton under Section 45 of the Planning Act, R.S.O. 1990, Chapter P.13 for relief, as described in this application, from the Zoning By-law.



3. Name of Agent _____ Telephone No. _____
FAX NO. _____ E-mail address. _____
4. Address _____
_____ Postal Code _____

Note: Unless otherwise requested all communications will be sent to the agent, if any.

5. Names and addresses of any mortgagees, holders of charges or other encumbrances:
SCOTIA BANK _____ Postal Code _____

_____ Postal Code _____

6. Nature and extent of relief applied for:

- TO ALLOW FOR THE CONSTRUCTION
OF A COVERED PORCH (18'x20')
IN THE BACKYARD OF
8 GRASSY PLAIN DRIVE

7. Why it is not possible to comply with the provisions of the By-law?

- BUILDING WITHIN THE REAR YARD
SET BACKS IN TERMS OF ZONING
7.50 m.

8. Legal description of subject lands (registered plan number and lot number or other legal description and where applicable, street and street number):

LOT 92 REGISTERED PLAN G2M-932
R/W 16901-0465 (LT)
8 GRASSY PLAIN DRIVE.

9. PREVIOUS USE OF PROPERTY

Residential ☒ Industrial ☐ Commercial ☐

Agricultural ☐ Vacant ☐

Other _____

- 9.1 If Industrial or Commercial, specify use

9.2 Has the grading of the subject land been changed by adding earth or other material, i.e. has filling occurred?

Yes ☐ No ☒ Unknown ☐

- 9.3 Has a gas station been located on the subject land or adjacent lands at any time?

Yes ☐ No ☒ Unknown ☐

- 9.4 Has there been petroleum or other fuel stored on the subject land or adjacent lands?

Yes ☐ No ☒ Unknown ☐

- 9.5 Are there or have there ever been underground storage tanks or buried waste on the subject land or adjacent lands?

Yes ☐ No ☒ Unknown ☐

- 9.6 Have the lands or adjacent lands ever been used as an agricultural operation where cyanide products may have been used as pesticides and/or sewage sludge was applied to the lands?

Yes ☐ No ☒ Unknown ☐

- 9.7 Have the lands or adjacent lands ever been used as a weapon firing range?

Yes ☐ No ☒ Unknown ☐

- 9.8 Is the nearest boundary line of the application within 500 metres (1,640 feet) of the fill area of an operational/non-operational landfill or dump?

Yes ☐ No ☒ Unknown ☐

- 9.9 If there are existing or previously existing buildings, are there any building materials remaining on site which are potentially hazardous to public health (eg. asbestos, PCB's)?

Yes ☐ No ☒ Unknown ☐

9.10 Is there any reason to believe the subject land may have been contaminated by former uses on the site or adjacent sites?

Yes _____ No ☒ Unknown _____

9.11 What information did you use to determine the answers to 9.1 to 9.10 above?

INFORMATION PROVIDED BY DEVELOPER OF
THE SAID BUILDING LOT.

9.12 If previous use of property is industrial or commercial or if YES to any of 9.2 to 9.10, a previous use inventory showing all former uses of the subject land, or if appropriate, the land adjacent to the subject land, is needed.

Is the previous use inventory attached? Yes _____ No ☒

ACKNOWLEDGEMENT CLAUSE

I acknowledge that the City of Hamilton is not responsible for the identification and remediation of contamination on the property which is the subject of this Application – by reason of its approval to this Application.

MAY 11 / 2014 ☒
Date

[REDACTED]
Signature Property Owner

[REDACTED]
Print Name of Owner

10. Dimensions of lands affected:

Frontage 25.79 m.
Depth 29.56 m EAST SIDE / 20.24 m WEST SIDE
Area _____
Width of street _____

11. Particulars of all buildings and structures on or proposed for the subject lands:
(Specify ground floor area, gross floor area, number of stories, width, length, height, etc.)

Existing: A 200 sq/ft BUNGALOW WITH AN
ATTACHED GARAGE. 9' INTERIOR CEILING.
WIDTH OF 25.640 m.

Proposed: AN 18' X 20' COVERED PORCH IN THE
REAR YARD

12. Location of all buildings and structures on or proposed for the subject lands;
(Specify distance from side, rear and front lot lines)

Existing: SEE SURVEY PLAN ☒
PROVIDED
Proposed: ☒ [REDACTED]

13. Date of acquisition of subject lands:
JUNE 6/2003
14. Date of construction of all buildings and structures on subject lands:
~~JUNE 6/2003~~ OCT 2003 - SEPT 2018
15. Existing uses of the subject property: SINGLE FAMILY DWELLING
16. Existing uses of abutting properties: SINGLE FAMILY DWELLINGS
+ HYDRO CORRIDOR TO THE REAR
17. Length of time the existing uses of the subject property have continued:
- OVER 10 YEARS.
18. Municipal services available: (check the appropriate space or spaces)
Water ✓ Connected ✓
Sanitary Sewer ✓ Connected ✓
Storm Sewers ✓
19. Present Official Plan/Secondary Plan provisions applying to the land:
NEIGHBOURHOODS.
20. Present Restricted Area By-law (Zoning By-law) provisions applying to the land:
R3-158 GCMRBOOK BY-LAW 164
21. Has the owner previously applied for relief in respect of the subject property?
Yes No
If the answer is yes, describe briefly.

22. Is the subject property the subject of a current application for consent under Section 53 of The Planning Act?
Yes No
23. The applicant shall attach to each copy of this application a plan showing the dimensions of the subject lands and of all abutting lands and showing the location, size and type of all buildings and structures on the subject and abutting lands, and where required by the Committee of Adjustment such plan shall be signed by an Ontario Land Surveyor.

NOTE: It is required that two copies of this application be filed with the secretary-treasurer of the Committee of Adjustment together with the maps referred to in Section 5 and be accompanied by the appropriate fee in cash or by cheque made payable to the City of Hamilton.

PART 24 AFFIDAVIT OR SWORN DECLARATION

This declaration to be sworn by a Commissioner of Oaths.

X I, RODO POZZESE/Manager of the _____ of _____ in the _____ of _____

solemnly declare that:

All of the above statements are true and I make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath.

Declared before me at the

at the City of Hamilton

in the Province

of Ontario

this 19 day of March A.D. 2019

M. Mignano
A Commissioner, etc.

X [Redacted]
Applicant
[Redacted]
MARTHA MIGNANO, a
Commissioner, etc., Province of
Ontario, for the City of Hamilton.
Expires October 16, 2021.

PART 25 OWNERS AUTHORIZATION

As of the date of this application, I (NAME) [Redacted] am the registered Owner of the lands described in this application, and I have examined the contents of this application and hereby certify that the information submitted with the application is correct insofar as I have knowledge of these facts, and I hereby authorize:

_____ of _____

to act as my agent in this matter and to provide any of my personal information that will be included in this application or collected during the processing of the application.

DATE MARCH 1/2019

SIGNED [Redacted] X

PART 26 CONSENT OF THE OWNER

Complete the consent of the owner concerning personal information set out below.

Consent of Owner to the Disclosure of Application Information and Supporting Documentation

Application information is collected under the authority of the *Planning Act*, R.S.O. 1990, c. P.13. In accordance with that Act, it is the policy of the City of Hamilton to provide public access to all *Planning Act* applications and supporting documentation submitted to the City.

X I, [Redacted] the Owner, hereby agree and acknowledge
(Print name of Owner)

that the information contained in this application and any documentation, including reports, studies and drawings, provided in support of the application, by myself, my agents, consultants and solicitors, constitutes public information and will become part of the public record. As such, and in accordance with the provisions of the *Municipal Freedom of Information and Protection of Privacy Act*, R.S.O. 1990, c. M.56, I hereby consent to the City of Hamilton making this application and its supporting documentation available to the general public, including copying and disclosing the application and its supporting documentation to any third party upon their request.

Date

Signature of Owner

PART 27 PERMISSION TO ENTER

X Date: March 1/19

Secretary/Treasurer
Committee of Adjustment
City of Hamilton,
City Hall

Dear Secretary/Treasurer;

Re: Application to Committee of Adjustment

Location of Land: 8 GRASSY PLAIN DRIVE
(Municipal address)

I hereby authorize the members of the Committee of Adjustment and members of the staff of the City of Hamilton to enter on to the above-noted property for the limited purposes of evaluating the merits of this application.


Signature of Owner or Authorized agent


Please print name

Note: The Committee of Adjustment requires that all properties be identified with the municipal address clearly visible from the street. Where there is no municipal address or the property is vacant then the property shall be identified in accordance with the Committee's policy included on the back of the Application Form. Failure to properly identify the subject property may result in the deferral of the application.

PART 28 COLLECTION OF INFORMATION

The personal information contained on this form is collected under the authority of the *Planning Act*, R.S.O. 1990, c. P.13, and will be used for the purpose of processing the application. This information will become part of the public record and will be made available to the general public. Questions about the collection of this information should be directed to the Coordinator of Business Facilitation, Planning and Economic Development Department, City of Hamilton, 1st floor, 71 Main Street West, City Hall, Hamilton, Ontario, Telephone: 905-546-2424, ext.1324.

PART 3, PLAN 62R-638
PIN 16901-0001 (LT)
N18°14'20"E 20.24 (P1 & SET)

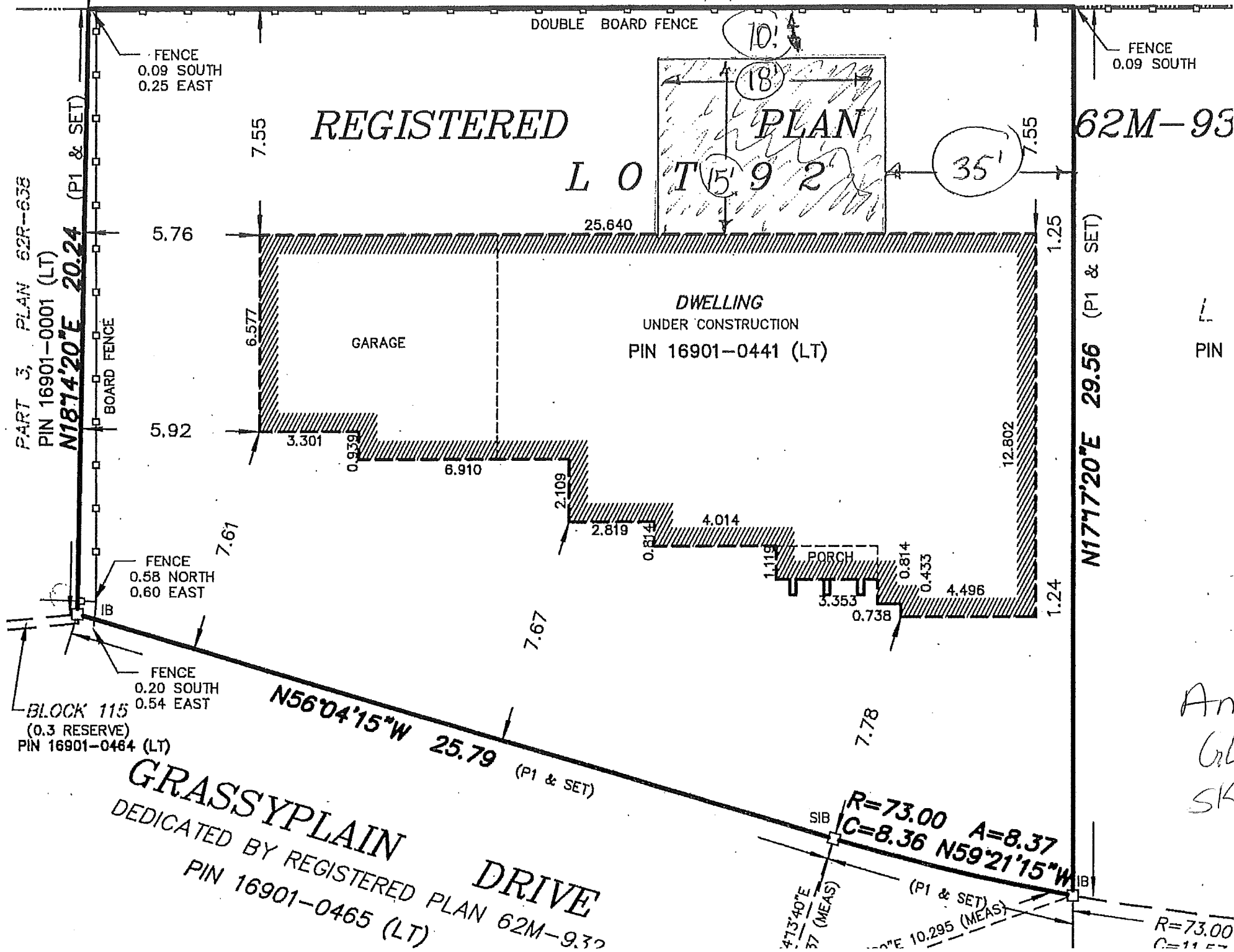
FENCE
0.09 SOUTH
0.25 EAST

FENCE
0.58 NORTH
0.60 EAST

FENCE
0.20 SOUTH
0.54 EAST

BLOCK 115
(0.3 RESERVE)
PIN 16901-0464 (LT)

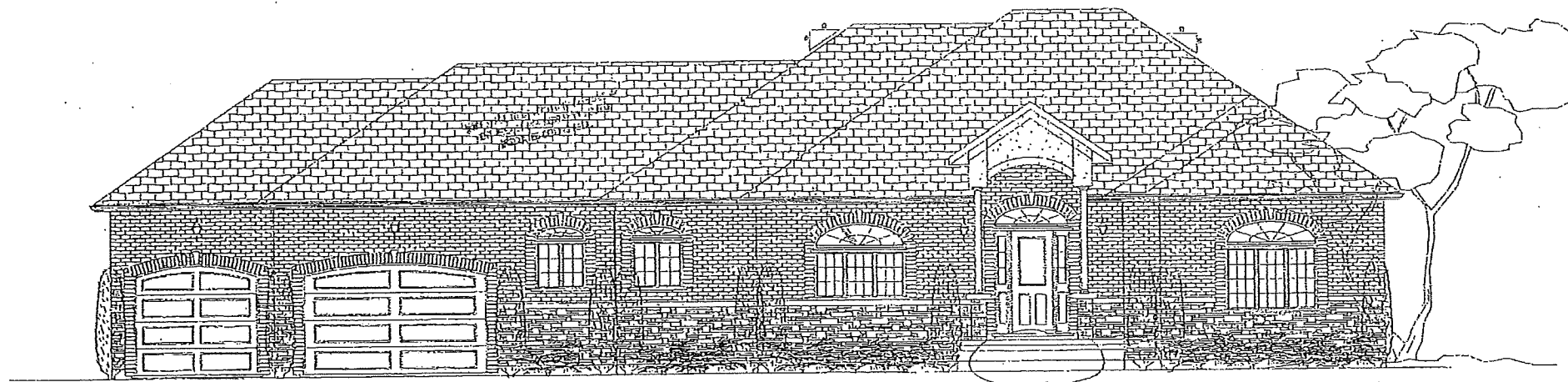
GRASSYPLAIN DRIVE
DEDICATED BY REGISTERED PLAN 62M-9.32
PIN 16901-0465 (LT)



Amended
GLA-19/105
SKETCH (1)

R=73.00 A=8.37
C=8.36 N59°21'15"W
(P1 & SET)

R=73.00
C=11.57



FRONT ELEVATION

NOTE:
ALL STUDS IN EXCESS OF 16" SHALL BE
12" X 16" S.F. O.C.

NOTE:
ALL DOORS AND DOGS SHALL BE
RESISTANT TO FORCED ENTRY.

NOTE:
PROVIDE FLASHING AND BRICK VENTS
AS PER UBC 9.8.1.1.1.1.

STEPS, GUARDS, RAILS AS
PER OBC 9.8

NOTE: ALL DOORS + WINDOWS TO BE
RESISTANT TO FORCED ENTRY!

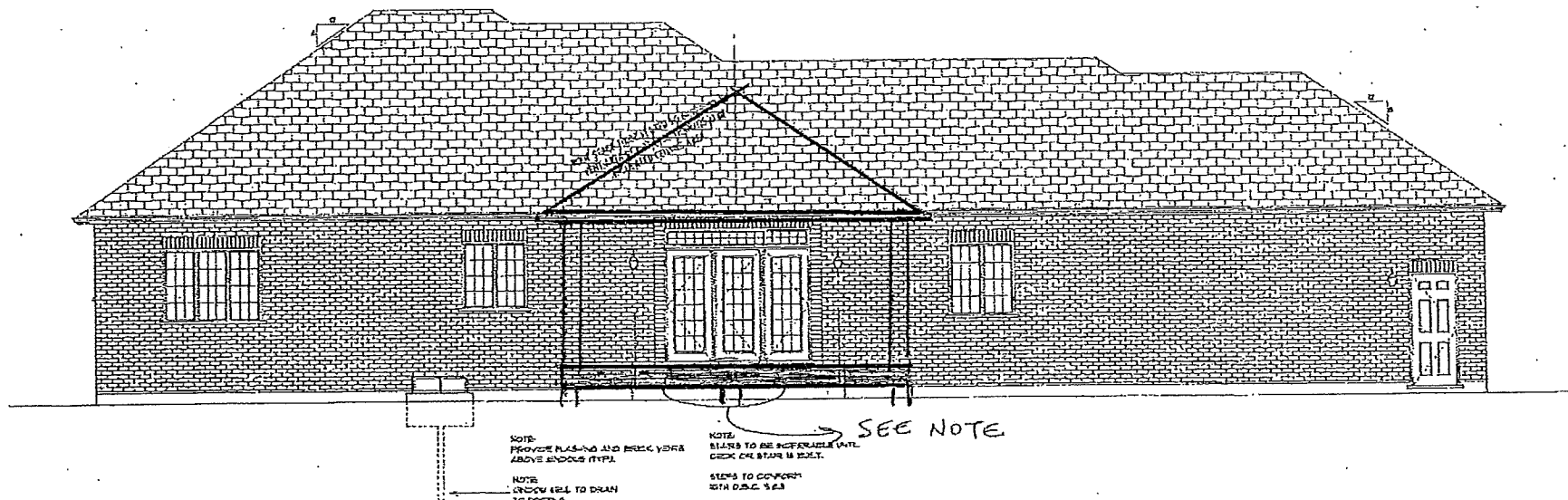
NOTES FOR THE CONTRACTOR:

- USE HOOKED REINFORCING IN PREFERENCE TO BARS OR CHAINS.
- VERIFY AND CHECK ALL DIMENSIONS PRIOR TO AND DURING ALL PHASES OF CONSTRUCTION.
- NO VARIATION OR MODIFICATION OF DRAWINGS SHALL BE IMPLEMENTED WITHOUT THE DESIGNER'S PRIOR WRITTEN APPROVAL.
- ALL PLANS, SPECIFICATIONS AND DETAILS ARE SUBJECT TO APPROVAL BY DEPARTMENT OF LANDON FIRE DEPARTMENT AND MUST CONFORM TO ALL ASPECTS OF THE CURRENT BUILDING CODE CURRENTLY IN EFFECT.
- ALL PREVIOUS EDITIONS OF THIS DRAWING ARE HEREBY SUPERSEDED.
- ANY CHANGES, OMISSIONS OR ADDITIONS SHALL BE REPORTED TO AND BY THE DESIGNER BEFORE PROCEEDING.

NOTES FOR DRAUGHTS:

- ALL DETAILS TO BE PLACED IN ALL BATHROOMS AND KITCHENS AS NOTED.
- DOUBLE JOISTS UNDER ALL PARALLEL PARTITIONS.
- ALL CONSTRUCTION BETWEEN DUELLING UNIT MUST PROVIDE AN EFFECTIVE BARRIER TO GAS AND FUMES.
- ALL GLAZED DOORS SHALL BE TIGHT FITTING AND WEATHER STRIPPED TO PROVIDE AN EFFECTIVE BARRIER AGAINST GAS AND FUMES.
- STAIRS TO HAVE A FLOOR RISE OF NOT MORE THAN 7" AND A TREAD RUN OF NOT LESS THAN 11".

ALL CONSTRUCTION MUST COMPLY
WITH THE OHTASO BUILDING
CODE



REAR ELEVATION

NOTE:
PROVIDE FLASHING AND BRICK VENTS
AS PER UBC 9.8.1.1.1.1.1.

NOTE:
STAIRS SHALL BE RESISTANT TO
FORCED ENTRY.

NOTE:
STAIRS TO BE RESISTANT TO
FORCED ENTRY.

SEE NOTE

CITY OF HANSTON
BUILDING & PLANNING DIVISION
These drawings were prepared by
the owner and/or contractor, and the City of Hanston
does not warrant the accuracy or completeness of the
information contained herein.

SPRUCE LINTEL FOR ROOF, CEILING AND 1 STOREY		
LINTEL SIZE	SUPPORTED LENGTH	
2" x 4"	5'-0"	
2" x 6"	7'-0"	
2" x 8"	8'-0"	
SPRUCE LINTEL FOR ROOF, CEILING AND 2 STOREY		
LINTEL SIZE	SUPPORTED LENGTH	
2" x 4"	5'-0"	
2" x 6"	7'-0"	
2" x 8"	8'-0"	
EXTERIOR ANGLES		
CLEAR SPAN	FOR BRICK	FOR STONE
5'-0" or less	1-3/4" x 12" x 12"	1-3/4" x 12" x 12"
6'-0"	1-3/4" x 12" x 12"	1-3/4" x 12" x 12"
7'-0"	1-3/4" x 12" x 12"	1-3/4" x 12" x 12"
8'-0"	1-3/4" x 12" x 12"	1-3/4" x 12" x 12"
9'-0"	1-3/4" x 12" x 12"	1-3/4" x 12" x 12"
10'-0"	1-3/4" x 12" x 12"	1-3/4" x 12" x 12"
11'-0"	1-3/4" x 12" x 12"	1-3/4" x 12" x 12"
12'-0"	1-3/4" x 12" x 12"	1-3/4" x 12" x 12"

Amended
GL/A-19: 105
SKETCH (2)