



Hamilton

**COMMITTEE OF ADJUSTMENT**

City Hall, 5<sup>th</sup> floor, 71 Main Street West, Hamilton, ON L8P 4Y5

Telephone (905) 546-2424, ext. 4221

Fax (905) 546-4202

E-mail: [morgan.evans@hamilton.ca](mailto:morgan.evans@hamilton.ca)

**NOTICE OF PUBLIC HEARING**  
**Minor Variance**

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**You are receiving this notice because you are either:**

- Assessed owner of a property located within 60 metres of the subject property
  - Applicant/agent on file, or
  - Person likely to be interested in this application
- 

**APPLICATION NO.:** GL/A-20:66

**APPLICANTS:** Kalos Engineering Inc., on behalf of the owner Martin Raposa

**SUBJECT PROPERTY:** Municipal address **3659 Upper James St., (Glanbrook) City of Hamilton**

**ZONING BY-LAW:** Zoning By-law 05-200, as Amended

**ZONING:** "A2" (Rural) Zone

**PROPOSAL:** To permit the construction of a storage building (accessory building) which is accessory to the existing single detached dwelling, notwithstanding,

1. A maximum lot coverage of 8.5% for all accessory buildings shall be permitted instead of the maximum permitted lot coverage of 5% of the total lot area;
2. A maximum gross floor area of 302 square metres for all accessory buildings shall be permitted instead of the maximum permitted gross floor area of 200 square metres for all accessory buildings; and
3. A maximum height of 9.0 metres shall be permitted instead of the maximum permitted height of 6.0 metres for an accessory building.

**NOTES:**

1. The requested variances have been written for the use of an accessory building which is accessory to the existing single detached dwelling only. Accessory, as defined in the Zoning By-law, shall mean, when used to describe a use of land, building or structure, shall mean a use which is commonly incidental, subordinate and exclusively devoted to the main use or main building situated on the same lot. Please be advised, should the intent be to utilize the proposed building for a use other than a building accessory to the existing single detached dwelling further approval will be required.
2. It does not appear the height of the proposed building has been provided in accordance with the definition of Building Height and Grade as defined in the Zoning By-law. The applicant shall ensure the requested variance is sufficient to satisfy the maximum height requirement in accordance with Building Height and Grade as defined in the Zoning By-law.
3. A further variance will be required if the eave and gutter of the proposed accessory building exceeds greater than 0.6 metres into the required 1.0 metre setback.
4. The lot area of 3804 square metres obtained from GISNet has been used to determine the proposed lot coverage.

This application will be heard by the Committee as shown below:

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**DATE:** Thursday, July 9th, 2020  
**TIME:** 2:35 p.m.  
**PLACE:** Via video link or call in (see attached sheet for details)  
**To be streamed at** [www.hamilton.ca/committeeofadjustment](http://www.hamilton.ca/committeeofadjustment)  
**for viewing purposes only**

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## **PUBLIC INPUT**

**Written:** If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

**Orally:** If you would like to speak to this item at the hearing you may do so via video link or by calling in. Please see attached page for complete instructions, including deadlines for registering to participate.

## **MORE INFORMATION**

For more information on this matter, including access to drawings illustrating this request:

- Visit [www.hamilton.ca/committeeofadjustment](http://www.hamilton.ca/committeeofadjustment)
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935
- Email Committee of Adjustment staff at [cofa@hamilton.ca](mailto:cofa@hamilton.ca)

DATED: June 23rd, 2020.

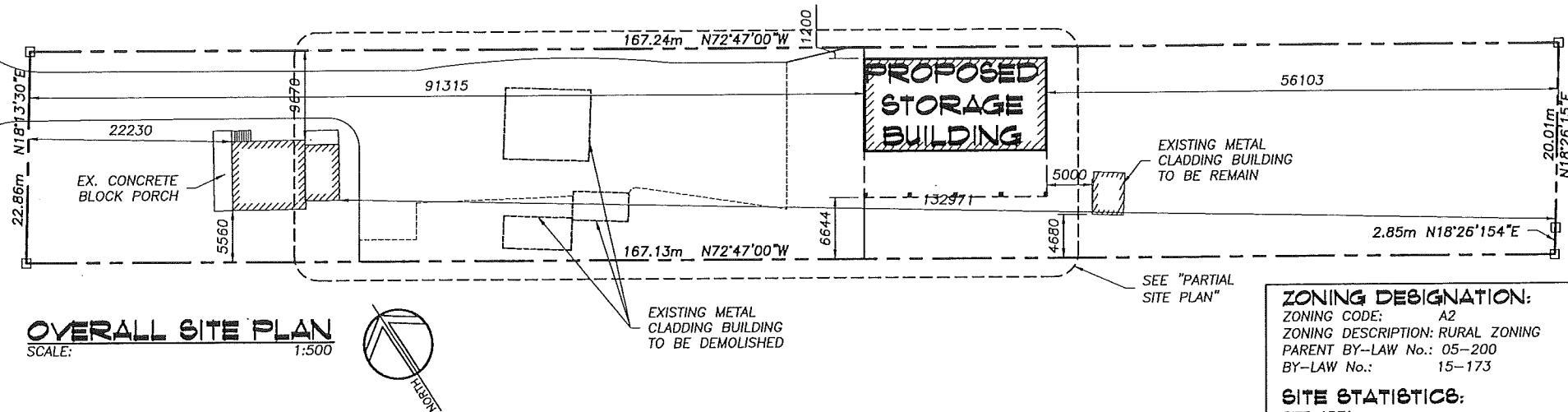
*Original Signed*

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Jamila Sheffield,  
Secretary-Treasurer  
Committee of Adjustment

***Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public.***

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OVERALL SITE PLAN  
SCALE: 1:500

ZONING DESIGNATION:  
ZONING CODE: A2  
ZONING DESCRIPTION: RURAL ZONING  
PARENT BY-LAW No.: 05-200  
BY-LAW No.: 15-173

SITE STATISTICS:  
SITE AREA: 3821.00 m<sup>2</sup> 0.944 acre  
EXISTING DWELLING AREA: 215.00 m<sup>2</sup> (5.6%)  
EXISTING STORAGE (DEMOLISHED) AREA: 116.20 m<sup>2</sup> (3.04%)  
PROPOSED STORAGE BUILDING AREA: 199.30 m<sup>2</sup> (5.20%)  
EXISTING PAVED/CONC. AREA: 0.00 m<sup>2</sup> (0.0%)  
EXISTING GRAVEL AREA: 1005.00 m<sup>2</sup> (26.3%)  
PROPOSED GRAVEL AREA: 881.70 m<sup>2</sup> (23.1%)  
EXISTING LANDSCAPED AREA: 2781.00 m<sup>2</sup> (72.78%)  
PROPOSED LANDSCAPED AREA: 2441.60 m<sup>2</sup> (63.89%)

No.	DATE	REVISION
2	20/02/25	REVISED PER BUILDING PERMIT COMMENT
1	19/08/17	ISSUED FOR BUILDING PERMIT

REVISIONS



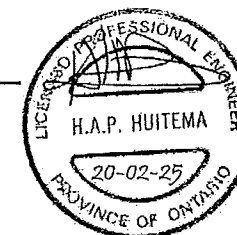
300 YORK BLVD HAMILTON, ONTARIO L8R 3K6 905-333-9119

STORAGE BUILDING

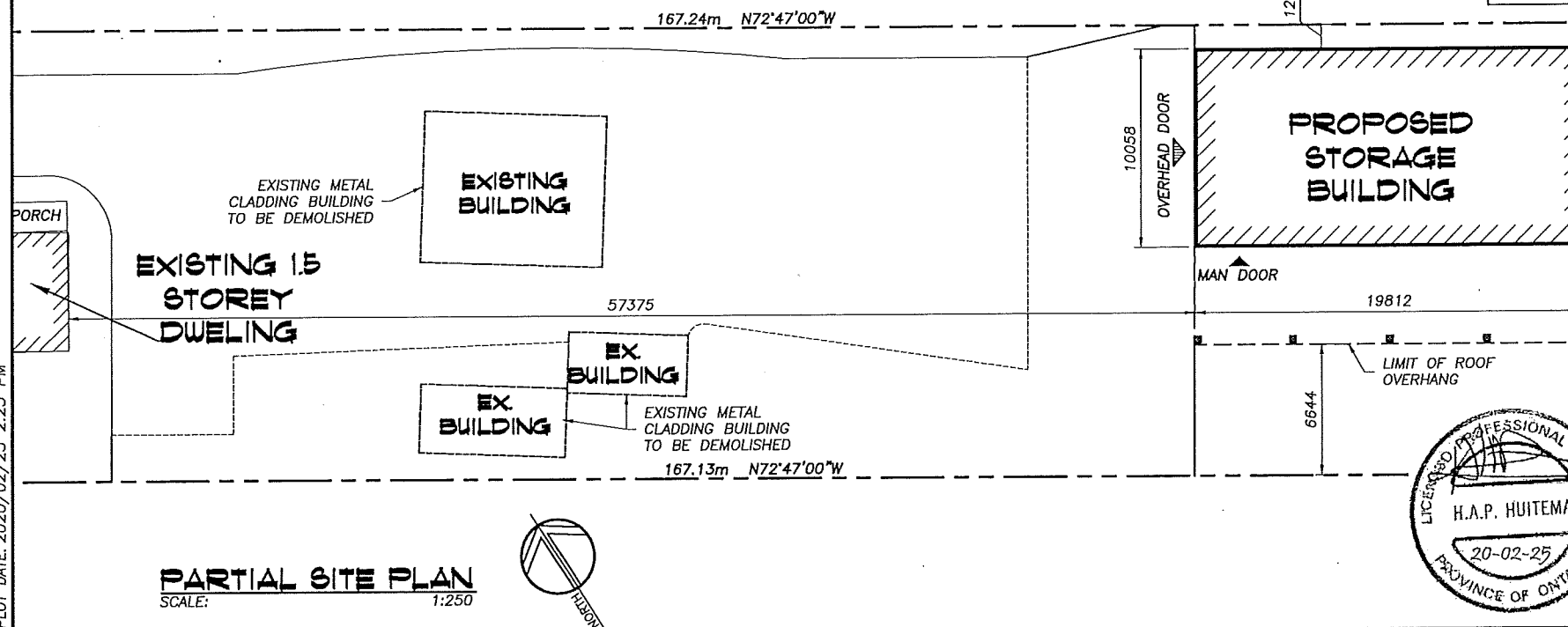
3659 UPPER JAMES ST.  
HAMILTON ONTARIO

SITE PLAN

DATE JUNE 2019	DRAWN BY SYN	DRAWING No. 1 of 11
PROJECT No. 19001	CHECKED BY HAPH	

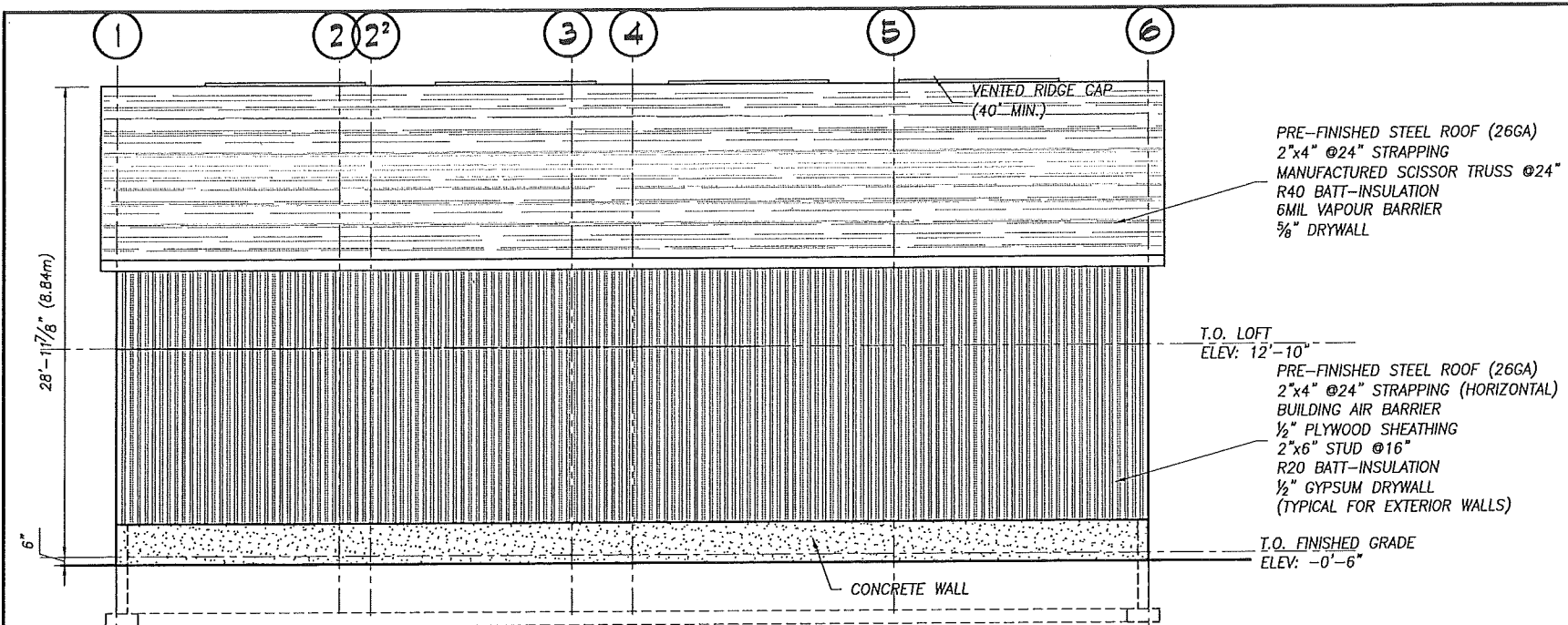


PARTIAL SITE PLAN  
SCALE: 1:250

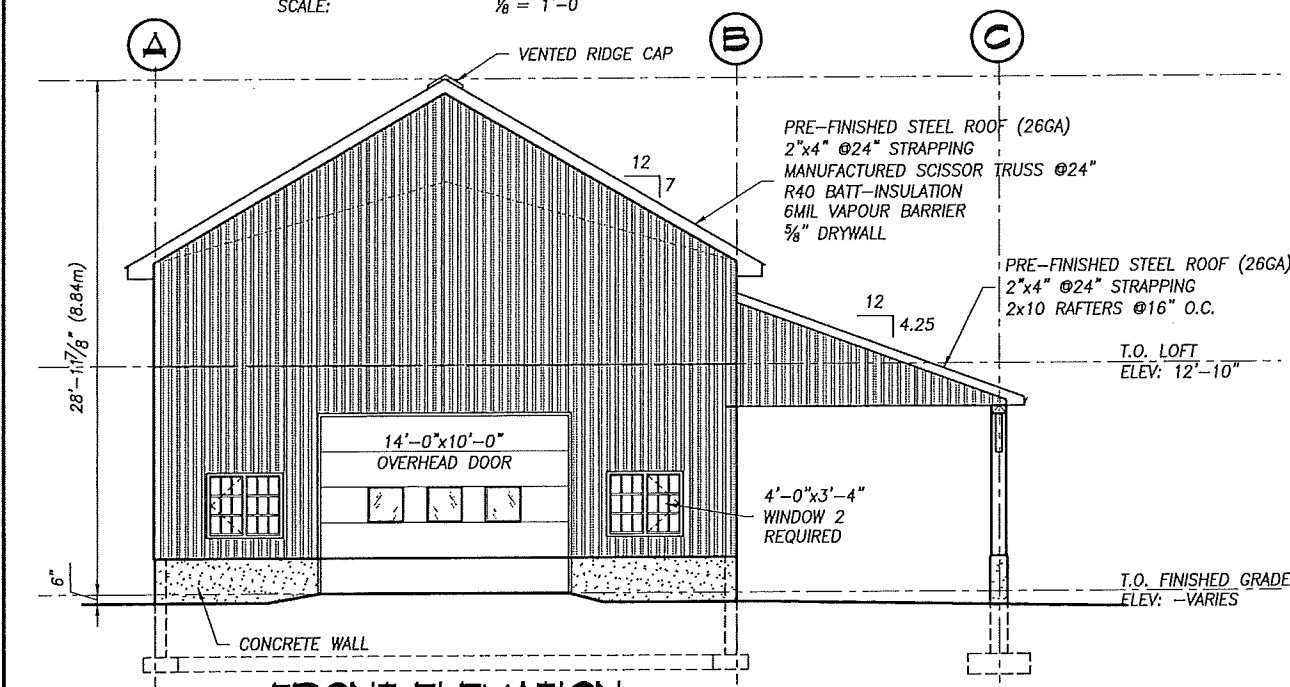


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6/1A-20.66  
Sketch(1)



**LEFT ELEVATION**  
SCALE: 1/8" = 1'-0"



**FRONT ELEVATION**  
SCALE: 1/8" = 1'-0"

No.	DATE	REVISION
2	20/02/25	REVISED PER BUILDING PERMIT COMMENT
1	19/06/17	ISSUED FOR BUILDING PERMIT

**REVISIONS**



300 YORK BLVD HAMILTON, ONTARIO L8R 3K6 905-333-9119

**STORAGE BUILDING**

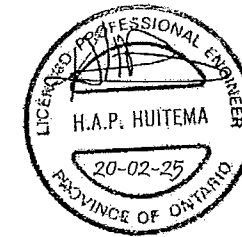
3659 UPPER JAMES ST.

HAMILTON

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**LEFT & FRONT ELEVATION**

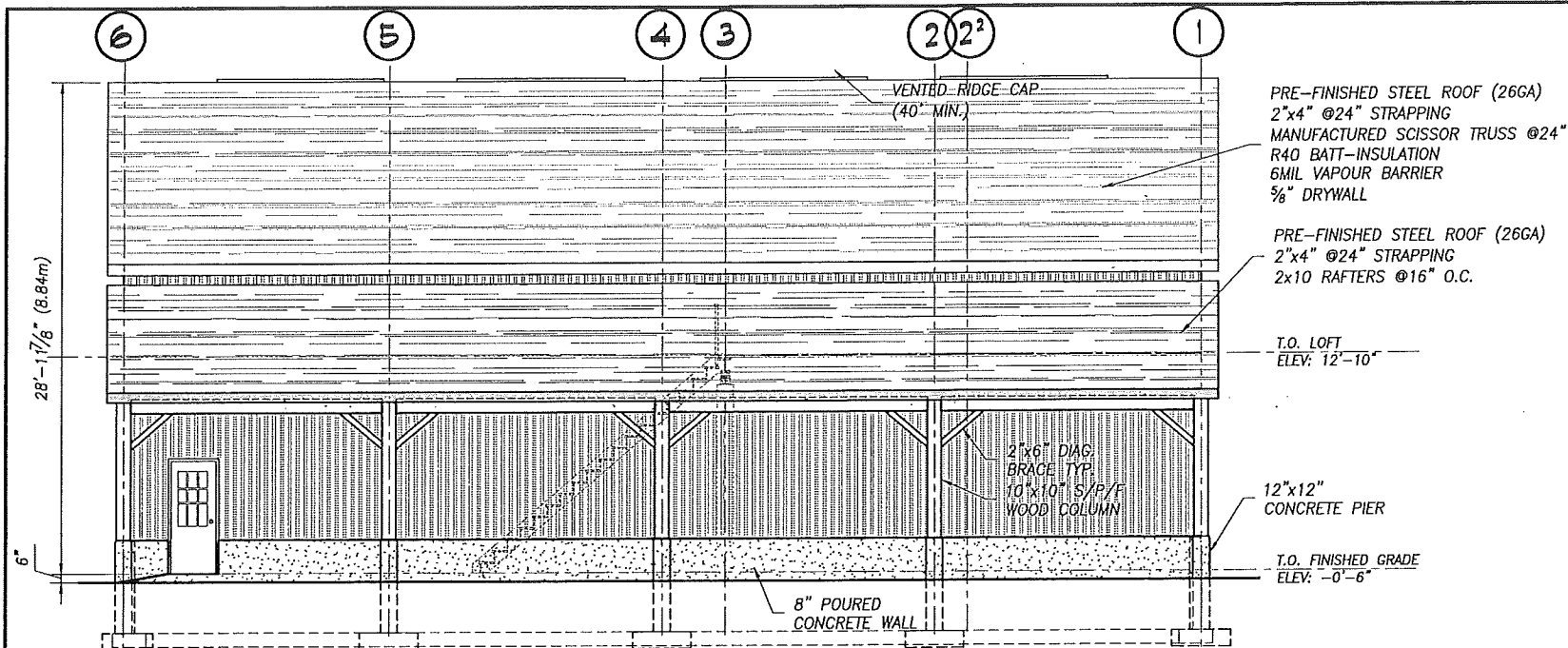
DATE JUNE 2019	DRAWN BY SYN	DRAWING No. 5 of 11
PROJECT No. 19001	CHECKED BY HAPH	



GL/A-20:66  
Sketch(2).

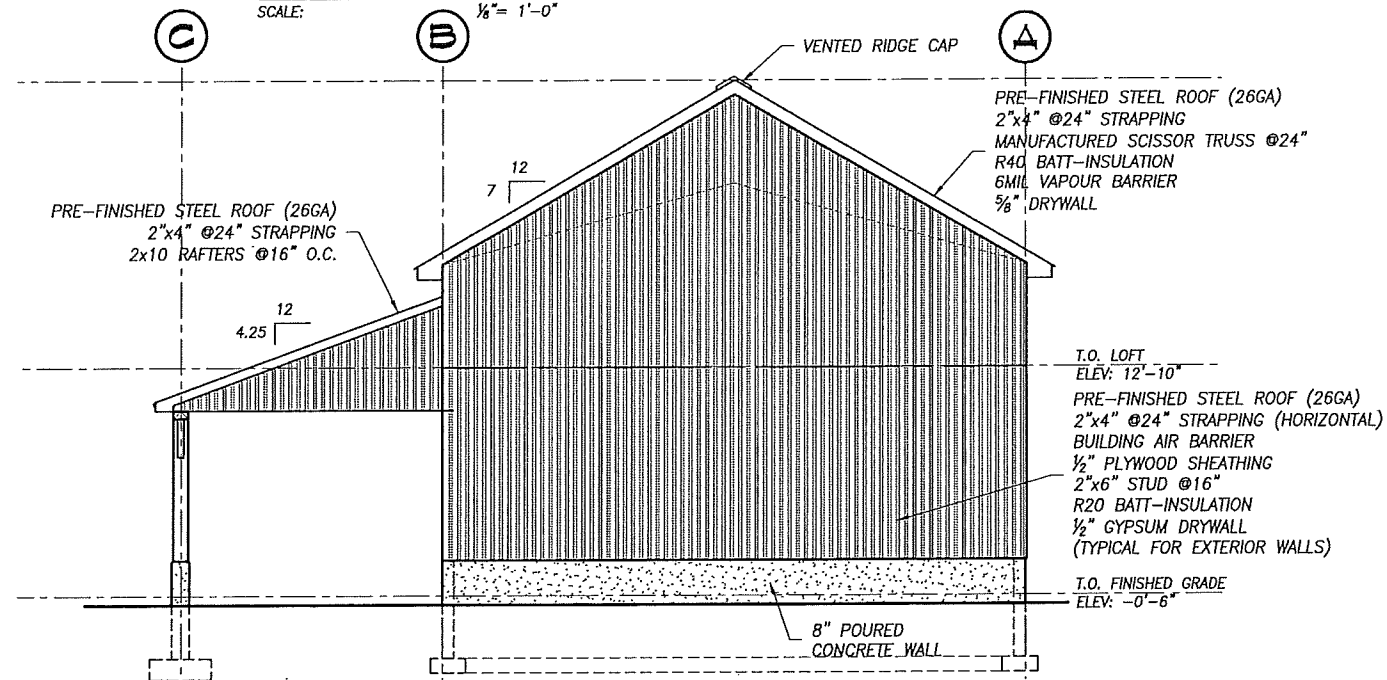
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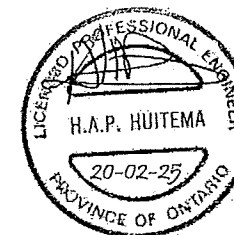
**RIGHT ELEVATION**

SCALE:  $\frac{1}{8}" = 1'-0"$



**REAR ELEVATION**

SCALE:  $\frac{1}{8}" = 1'-0"$



2	20/02/25	REVISED PER BUILDING PERMIT COMMENT
1	19/06/17	ISSUED FOR BUILDING PERMIT
No.	DATE	REVISION
REVISIONS		
<b>KE KALOS ENGINEERING</b>		
300 YORK BLVD HAMILTON, ONTARIO L8R 3K6 905-333-9119		
<b>STORAGE BUILDING</b>		
3659 UPPER JAMES ST. HAMILTON ONTARIO		
<b>RIGHT &amp; REAR ELEVATION</b>		
DATE JUNE 2019	DRAWN BY SYN	DRAWING No. 6 of 11
PROJECT No. 19001	CHECKED BY HAPH	

Coc(A-20:66  
Sketch(3)



**Hamilton**

Planning and Economic Development Department  
Planning Division

**Committee of Adjustment**  
City Hall  
5<sup>th</sup> floor 71 Main Street West  
Hamilton, Ontario L8P 4Y5

Phone (905) 546-2424 ext.4221  
Fax (905) 546-4202

**PLEASE FILL OUT THE FOLLOWING PAGES AND  
RETURN TO THE CITY OF HAMILTON PLANNING  
DEPARTMENT.**

RECEIVED

**FOR OFFICE USE ONLY.**

FEB 13 2021

APPLICATION NO. GLA-20:66 DATE APPLICATION RECEIVED COM. OF ADJUSTMENT

PAID \_\_\_\_\_ DATE APPLICATION DEEMED COMPLETE \_\_\_\_\_

SECRETARY'S  
SIGNATURE \_\_\_\_\_

**CITY OF HAMILTON  
COMMITTEE OF ADJUSTMENT  
HAMILTON, ONTARIO**

***The Planning Act***

**Application for Minor Variance or for Permission**

The undersigned hereby applies to the Committee of Adjustment for the City of Hamilton under Section 45 of the *Planning Act*, R.S.O. 1990, Chapter P.13 for relief, as described in this application, from the Zoning By-law.

1. Name of Owner Martin Raposa Telephone No. [REDACTED]

2.

3. Name of Agent Kalos Engineering Inc. Telephone No. [REDACTED] 1 [REDACTED] 01

4.

**Note:** Unless otherwise requested all communications will be sent to the agent, if any.

5. Names and addresses of any mortgagees, holders of charges or other encumbrances:

CIBC

1550 Upper James Street, Hamilton Postal Code L9B 2L6

Postal Code \_\_\_\_\_

- Page 2

- 9.10 Is there any reason to believe the subject land may have been contaminated by former uses on the site or adjacent sites?  
Yes \_\_\_\_\_ No X Unknown \_\_\_\_\_
- 9.11 What information did you use to determine the answers to 9.1 to 9.10 above?  
Personal knowledge of the property  
\_\_\_\_\_  
\_\_\_\_\_
- 9.12 If previous use of property is industrial or commercial or if YES to any of 9.2 to 9.10, a previous use inventory showing all former uses of the subject land, or if appropriate, the land adjacent to the subject land, is needed.  
  
Is the previous use inventory attached? Yes \_\_\_\_\_ No X

#### ACKNOWLEDGEMENT CLAUSE

I acknowledge that the City of Hamilton is not responsible for the identification and remediation of contamination on the property which is the subject of this Application – by reason of its approval to this Application.

February 13, 2020  
Date

  
Signature of Property Owner

Martin Raposa  
Print Name of Owner

10. Dimensions of lands affected:
- |                 |   |
|-----------------|---|
| Frontage        | <u>22.86m</u>                               |
| Depth           | <u>167.24m</u>                              |
| Area            | <u>3821.0 sm</u>                            |
| Width of street | <u>assumed 30m (former Highway 6 south)</u> |
11. Particulars of all buildings and structures on or proposed for the subject lands:  
(Specify ground floor area, gross floor area, number of stories, width, length, height, etc.)
- Existing: Single Family Dwelling - 1 storey - 82.7 sm  
Approx 11.8m x 7.46m, height approx 6m  
Other existing accessory buildings to be removed  
\_\_\_\_\_  
\_\_\_\_\_
- Proposed: Storage Shed - 1 storey with loft - 199.3 sm  
19.8m x 10.05m, 8.83m high  
\_\_\_\_\_  
\_\_\_\_\_
12. Location of all buildings and structures on or proposed for the subject lands;  
(Specify distance from side, rear and front lot lines)
- Existing: Single Family Dwelling  
- front - 22.2m  
- rear - 132.9m  
- sides - 9.76m and 5.56m  
\_\_\_\_\_  
\_\_\_\_\_
- Proposed: Storage Building  
- front - 91.3m  
- rear - 56.1m  
- sides - 1.2m and 6.64m (to lean to at side)  
\_\_\_\_\_  
\_\_\_\_\_

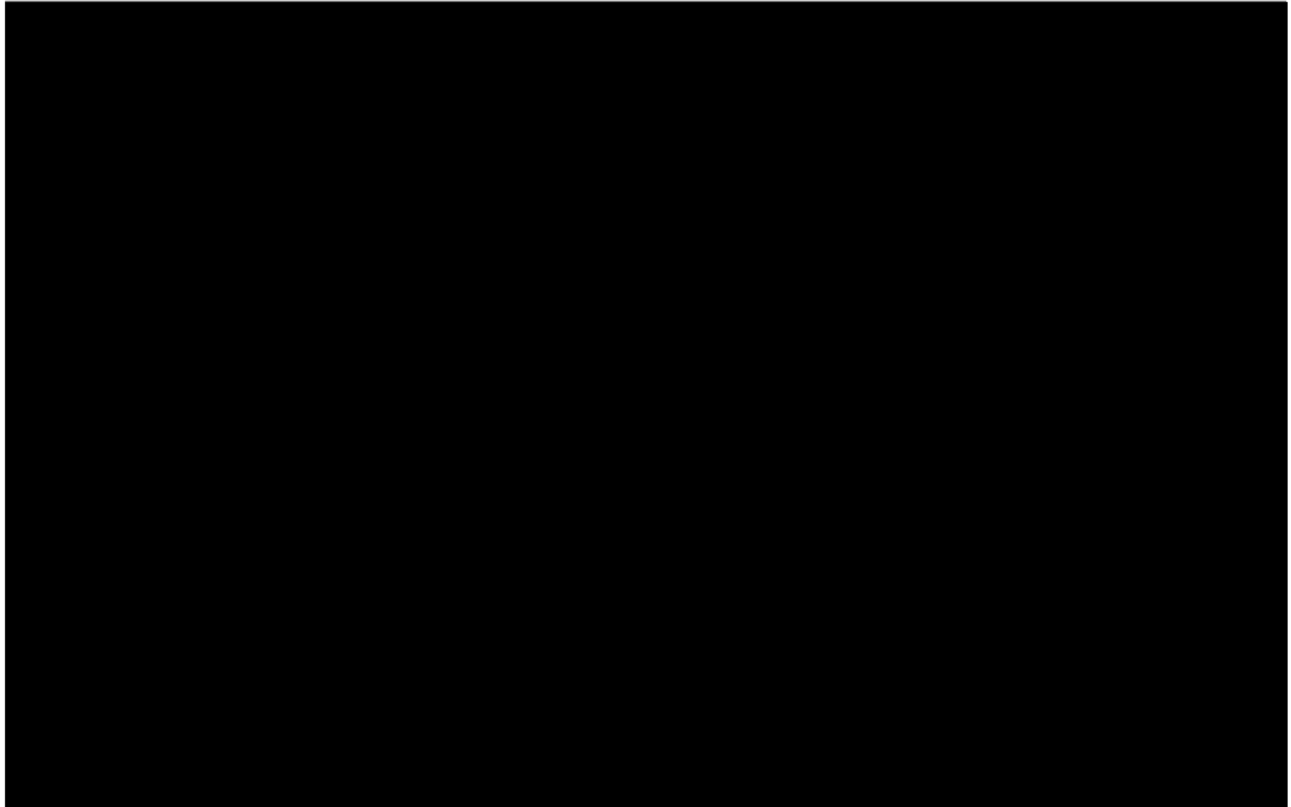


13. Date of acquisition of subject lands:  
2017
14. Date of construction of all buildings and structures on subject lands:  
circa 1970
15. Existing uses of the subject property:  
Single family dwelling
16. Existing uses of abutting properties:  
Single family dwelling
17. Length of time the existing uses of the subject property have continued:  
estimated 40 years
18. Municipal services available: (check the appropriate space or spaces)  
Water ☒ Connected ☐  
Sanitary Sewer ☐ Connected ☐  
Storm Sewers ☐
19. Present Official Plan/Secondary Plan provisions applying to the land:
20. Present Restricted Area By-law (Zoning By-law) provisions applying to the land:  
05-200 and 15-173
21. Has the owner previously applied for relief in respect of the subject property?  
Yes ☐ No ☒  
If the answer is yes, describe briefly.
22. Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?  
Yes ☐ No ☒
23. The applicant shall attach to each copy of this application a plan showing the dimensions of the subject lands and of all abutting lands and showing the location, size and type of all buildings and structures on the subject and abutting lands, and where required by the Committee of Adjustment such plan shall be signed by an Ontario Land Surveyor.

**NOTE:** It is required that two copies of this application be filed with the secretary-treasurer of the Committee of Adjustment together with the maps referred to in Section 5 and be accompanied by the appropriate fee in cash or by cheque made payable to the City of Hamilton.

**PART 24 AFFIDAVIT OR SWORN DECLARATION**

This declaration to be sworn by a Commissioner of Oaths.



**PART 25 OWNERS AUTHORIZATION**


As of the date of this application, I (NAME) Martin Raposa am the registered Owner of the lands described in this application, and I have examined the contents of this application and hereby certify that the information submitted with the application is correct insofar as I have knowledge of these facts, and I hereby authorize:

Hank Huitema of Kalos Engineering Inc.

to act as my agent in this matter and to provide any of my personal information that will be included in this application or collected during the processing of the application.

DATE February 13, 2020

SIGNED

  
Signature of Owner

**PART 26 CONSENT OF THE OWNER**

Complete the consent of the owner concerning personal information set out below.

Consent of Owner to the Disclosure of Application Information and Supporting Documentation

Application information is collected under the authority of the *Planning Act*, R.S.O. 1990, c. P.13. In accordance with that Act, it is the policy of the City of Hamilton to provide public access to all *Planning Act* applications and supporting documentation submitted to the City.

I, Martin Raposa, the Owner, hereby agree and acknowledge  
(Print name of Owner)

that the information contained in this application and any documentation, including reports, studies and drawings, provided in support of the application, by myself, my agents, consultants and solicitors, constitutes public information and will become part of the public record. As such, and in accordance with the provisions of the *Municipal Freedom of Information and Protection of Privacy Act*, R.S.O. 1990, c. M.56, I hereby consent to the City of Hamilton making this application and its supporting documentation available to the general public, including copying and disclosing the application and its supporting documentation to any third party upon their request.

February 13, 2020

Date

  
Signature of Owner

## Date: February 13, 2020

Dear Secretary/Treasurer;  
Re: Application to Committee of Adjustment  
Location of Land: 3659 Upper James, Mount Hope L0R 1W0  
(Municipal address)

\_\_\_\_\_

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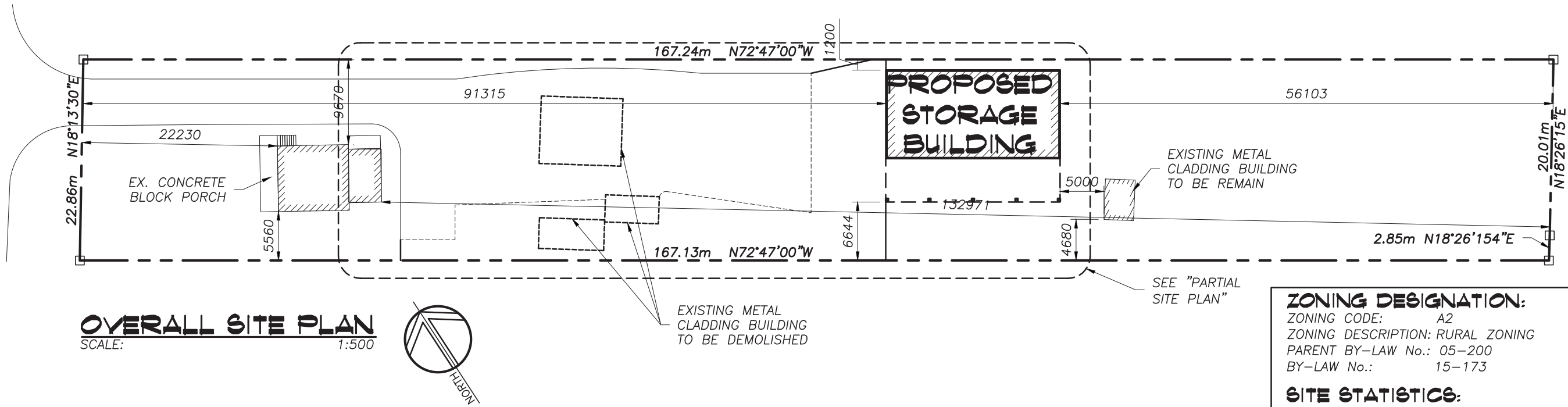
Martin Raposa

**Note: The Committee of Adjustment requires that all properties be identified with the municipal address clearly visible from the street. Where there is no municipal address or the property is vacant then the property shall be identified in accordance with the Committee's policy included on the back of the Application Form. Failure to properly identify the subject property may result in the deferral of the application.**

The personal information contained on this form is collected under the authority of the *Planning Act*, R.S.O. 1990, c. P.13, and will be used for the purpose of processing the application. This information will become part of the public record and will be made available to the general public. Questions about the collection of this information should be directed to the Coordinator of Business Facilitation, Planning and Economic Development Department, City of Hamilton, 1<sup>st</sup> floor, 71 Main Street West, City Hall, Hamilton, Ontario, Telephone: 905-546-2424, ext.1284.

PLOT DATE: 2020/02/25 2:25 PM

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OVERALL SITE PLAN  
SCALE: 1:500

ZONING DESIGNATION:

ZONING CODE: A2

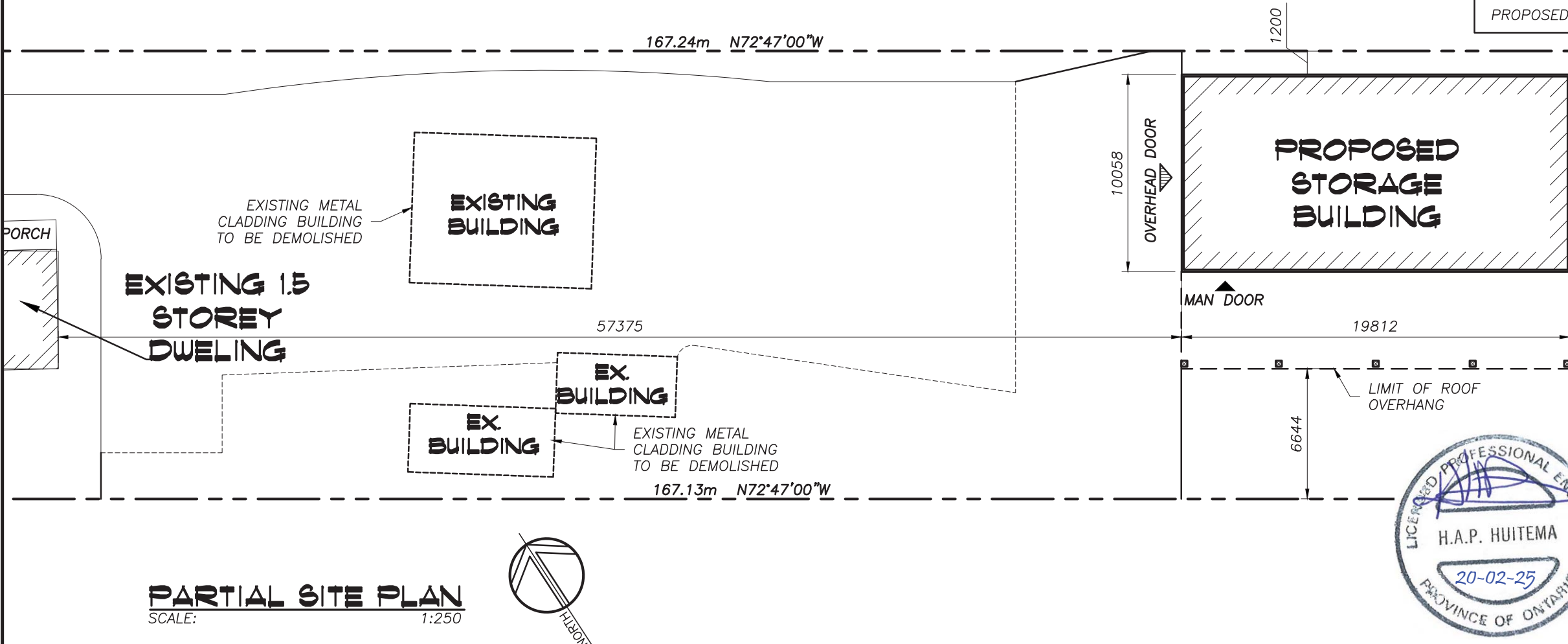
ZONING DESCRIPTION: RURAL ZONING

PARENT BY-LAW No.: 05-200

BY-LAW No.: 15-173

SITE STATISTICS:

SITE AREA:	3821.00 m <sup>2</sup>	0.944 acre
EXISTING DWELLING AREA:	215.00 m <sup>2</sup>	(5.6%)
EXISTING STORAGE (DEMOLISHED) AREA:	116.20 m <sup>2</sup>	(3.04%)
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EXISTING. PAVED/CONC. AREA:	0.00 m <sup>2</sup>	(0.0%)
EXISTING. GRAVEL AREA:	1005.00 m <sup>2</sup>	(26.3%)
PROPOSED GRAVEL AREA:	881.70 m <sup>2</sup>	(23.1%)
EXISTING LANDSCAPED AREA	2781.00 m <sup>2</sup>	(72.78%)
PROPOSED LANDSCAPED AREA	2441.60 m <sup>2</sup>	(63.89%)



PARTIAL SITE PLAN  
SCALE: 1:250

No.	DATE	REVISION
2	20/02/25	REVISED PER BUILDING PERMIT COMMENT
1	19/06/17	ISSUED FOR BUILDING PERMIT

REVISIONS



300 YORK BLVD HAMILTON, ONTARIO L8R 3K6 905-333-9119

STORAGE BUILDING

3659 UPPER JAMES ST.

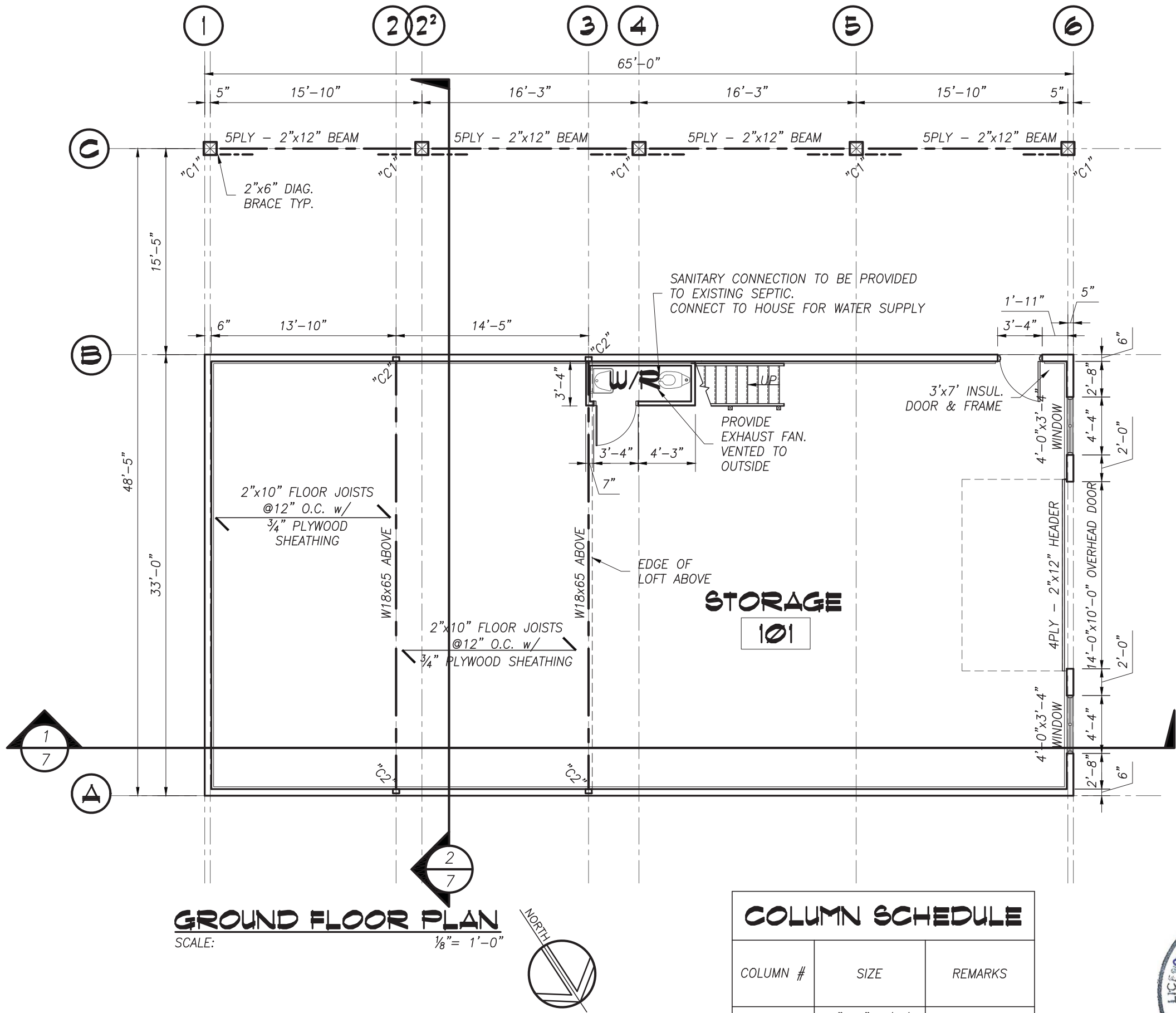
HAMILTON

ONTARIO

SITE PLAN

DATE JUNE 2019	DRAWN BY SYN	DRAWING No. <b>1</b> of 11
PROJECT No. 19001	CHECKED BY HAPH	

PLOT DATE: 2020/02/25 2:23 PM



**GROUND FLOOR PLAN**  
SCALE: 1/8" = 1'-0"

COLUMN SCHEDULE		
COLUMN #	SIZE	REMARKS
"C1"	10"x10" S/P/F TIMBER COLUMN	*
"C2"	6"x4"x0.25" HSS COLUMN	0.25" BASE PL.

**NOTES**

1. PROVIDE TEMPORARY SUPPORT UNDER ALL BEAMS UNTIL THEY ARE LATERALLY SUPPORTED

**STAIR RAILING NOTE:**

1. THE HANDRAILS MUST BE DESIGNED TO WITHSTAND LOADING AS SPECIFIED IN O.B.C.-2012 DIV. B. ARTICLE 3.4.6.5., 3.4.6.6. & GUARD RAILS MUST BE DESIGNED TO WITHSTAND LOADING AS SPECIFIED IN ARTICLES 4.1.5.14. & 4.1.5.16. SHOP DRAWINGS ARE TO BE STAMPED BY A PROFESSIONAL ENGINEER

**DESIGN LOADING**

<b>LOFT FLOOR:</b>	
DEAD LOAD	= 12 psf
LIVE LOAD	= 100 psf
<b>ROOF LOAD:</b>	
DEAD LOAD	= 15 psf
LIVE LOAD (SNOW)	= 30.1 psf

2	20/02/25	REVISED PER BUILDING PERMIT COMMENT
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No.	DATE	REVISION

**REVISIONS**



300 YORK BLVD HAMILTON, ONTARIO L8R 3K6 905-333-9119

**STORAGE BUILDING**

3659 UPPER JAMES ST.

HAMILTON

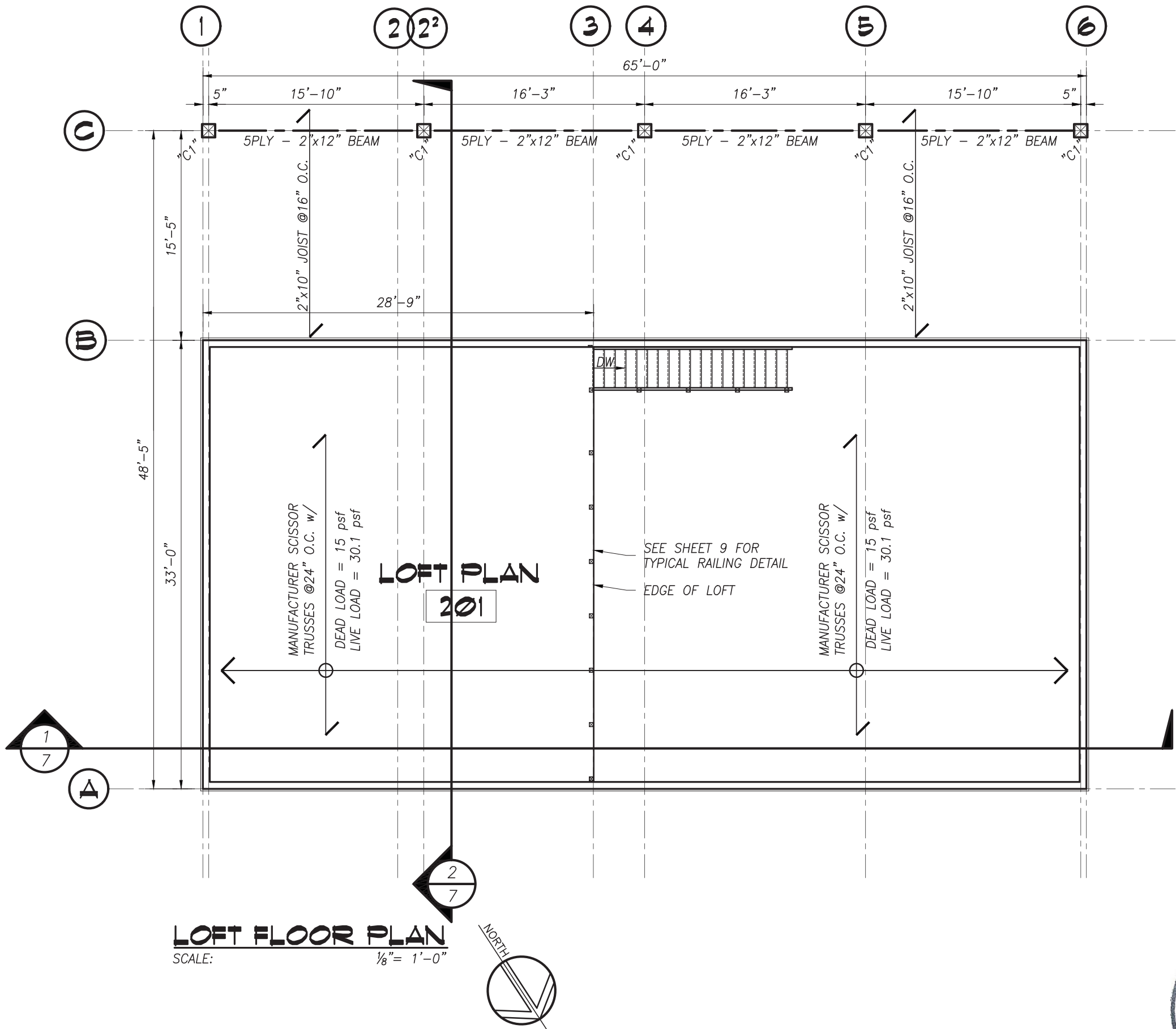
ONTARIO

**GROUND FLOOR PLAN**

DATE JUNE 2019	DRAWN BY SYN	DRAWING No. <b>2</b> of 11
PROJECT No. 19001	CHECKED BY HAPH	



PLOT DATE: 2020/02/25 2:23 PM



2	20/02/25	REVISED PER BUILDING PERMIT COMMENT
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REVISIONS



300 YORK BLVD HAMILTON, ONTARIO L8R 3K6 905-333-9119

STORAGE BUILDING

3659 UPPER JAMES ST.

HAMILTON

ONTARIO

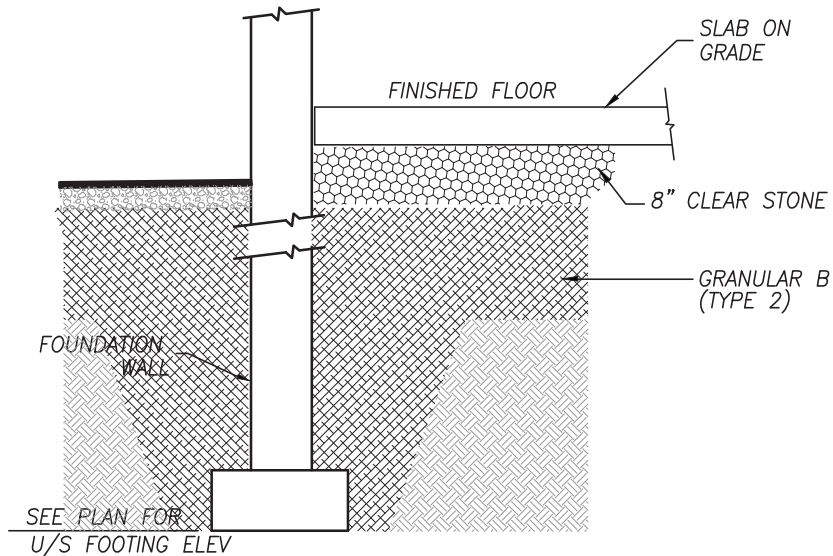
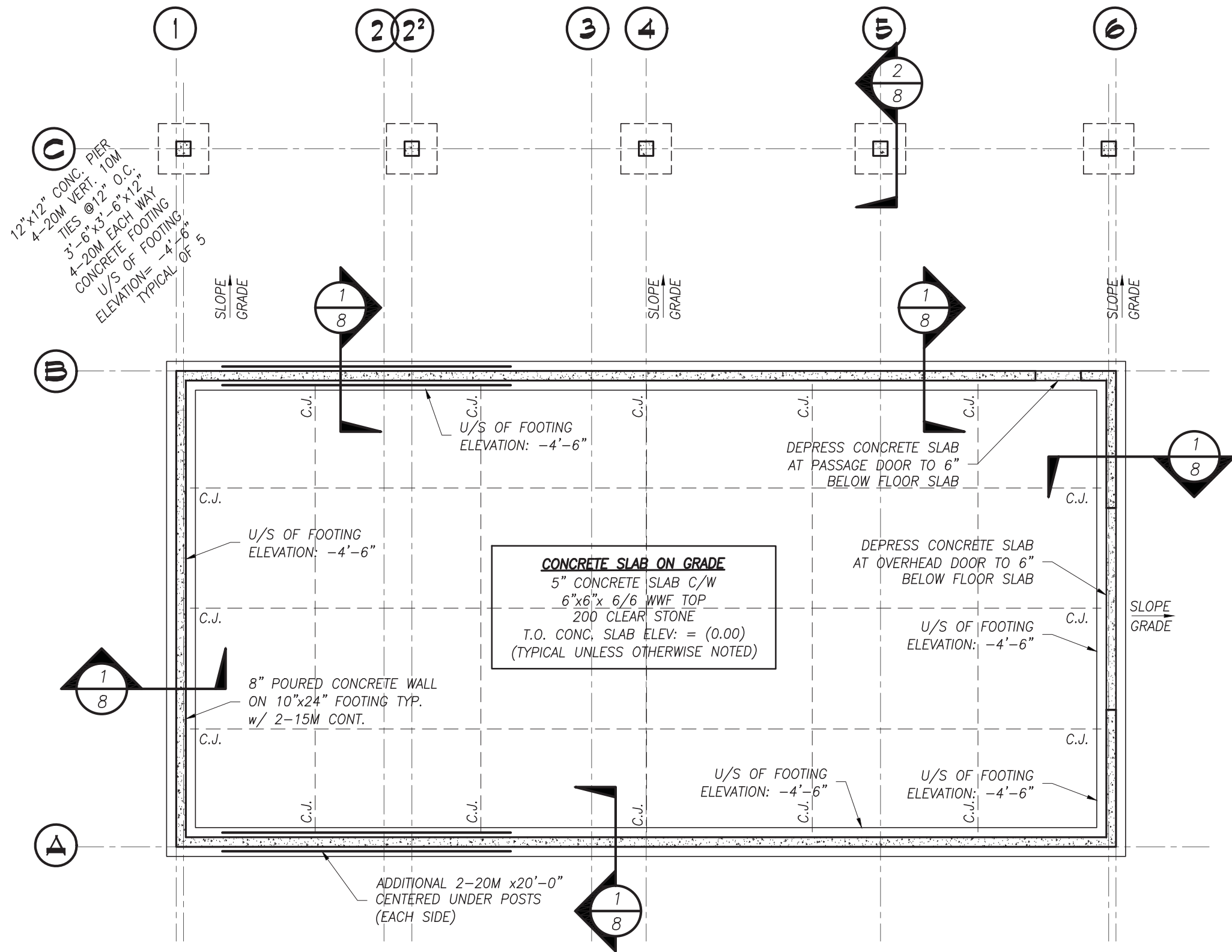
LOFT FLOOR PLAN

DATE JUNE 2019	DRAWN BY SYN	DRAWING No. 3 of 11
PROJECT No. 19001	CHECKED BY HAPH	





PLOT DATE: 2020/02/25 2:23 PM



### TYPICAL EXCAVATION AND BACKFILL AT FOUNDATION WALLS

NOT TO SCALE

(REQUIRED BOTH SIDES OF ALL INTERIOR AND EXTERIOR FOUNDATION WALLS)  
(REINFORCING NOT SHOWN FOR CLARITY)

**NOTE:** NATIVE SOIL IS UNSUITABLE FOR BACKFILL

No.	DATE	REVISION
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#### REVISIONS



300 YORK BLVD HAMILTON, ONTARIO L8R 3K6 905-333-9119

## STORAGE BUILDING

3659 UPPER JAMES ST.

HAMILTON

ONTARIO

## FOUNDATION PLAN

DATE JUNE 2019	DRAWN BY SYN	DRAWING No. 4 of 11
PROJECT No. 19001	CHECKED BY HAPH	



## FOUNDATION PLAN

SCALE: 1/8" = 1'-0"

### NOTES:

- TOP OF CONCRETE SLAB ON GRADE ELEVATION = 0.0 UNLESS NOTED OTHERWISE
- REFER TO PAGE 10 FOR TYPICAL FOUNDATION DETAILS, CONCRETE AND MASONRY NOTES
- COORDINATE PIER, ANCHOR BOLT LAYOUT WITH COLUMN BASE PLATES

SCALE:  $\frac{1}{8}" = 1'-0"$

T.O. FINISHED GRADE  
ELEV: -0'-6"

CONCRETE WALL

SCALE:  $\frac{1}{8}" = 1'-0"$

T.O. FINISHED GRADE  
ELEV: -VARIES

4'-0"x3'-4"  
- WINDOW 2  
REQUIRED

- CONCRETE WALL

SCALE:  $\frac{1}{8}'' = 1'-0''$

- VENTED RIDGE CAP

14'-0" x 10'-0"  
OVERHEAD DOOR

4'-0"x3'-4"  
- WINDOW 2  
REQUIRED

- CONCRETE WALL

SCALE:  $\frac{1}{8}'' = 1'-0''$



**KALOS**  
ENGINEERING

300 YORK BLVD HAMILTON, ONTARIO L8R 3K6 905-333-9119

## STORAGE BUILDING

3659 UPPER JAMES ST.

HAMILTON

ONTARIO

### LEFT & FRONT ELEVATION

DATE	<b>JUNE 2019</b>
PROJECT No.	<b>19001</b>

DRAWN BY  
**SYN**

CHECKED BY  
**HAPH**

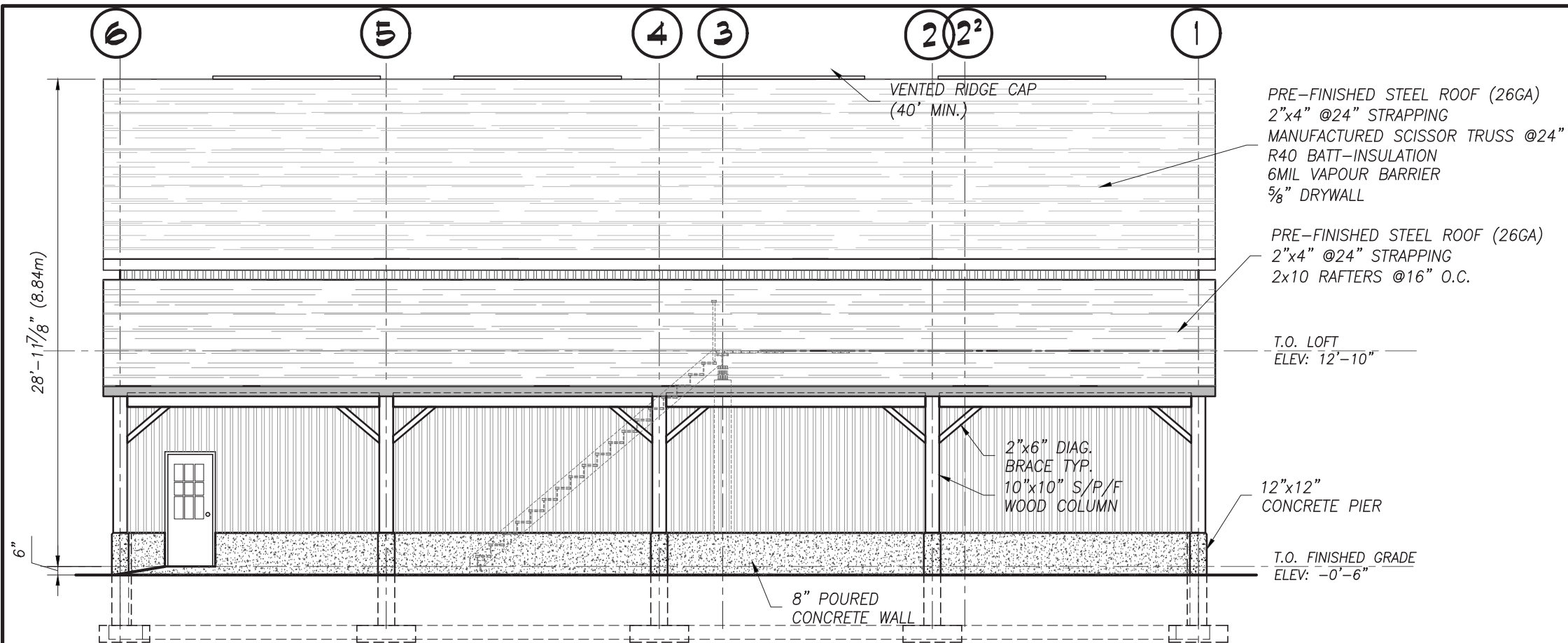
DRAWING No.

5 of 11



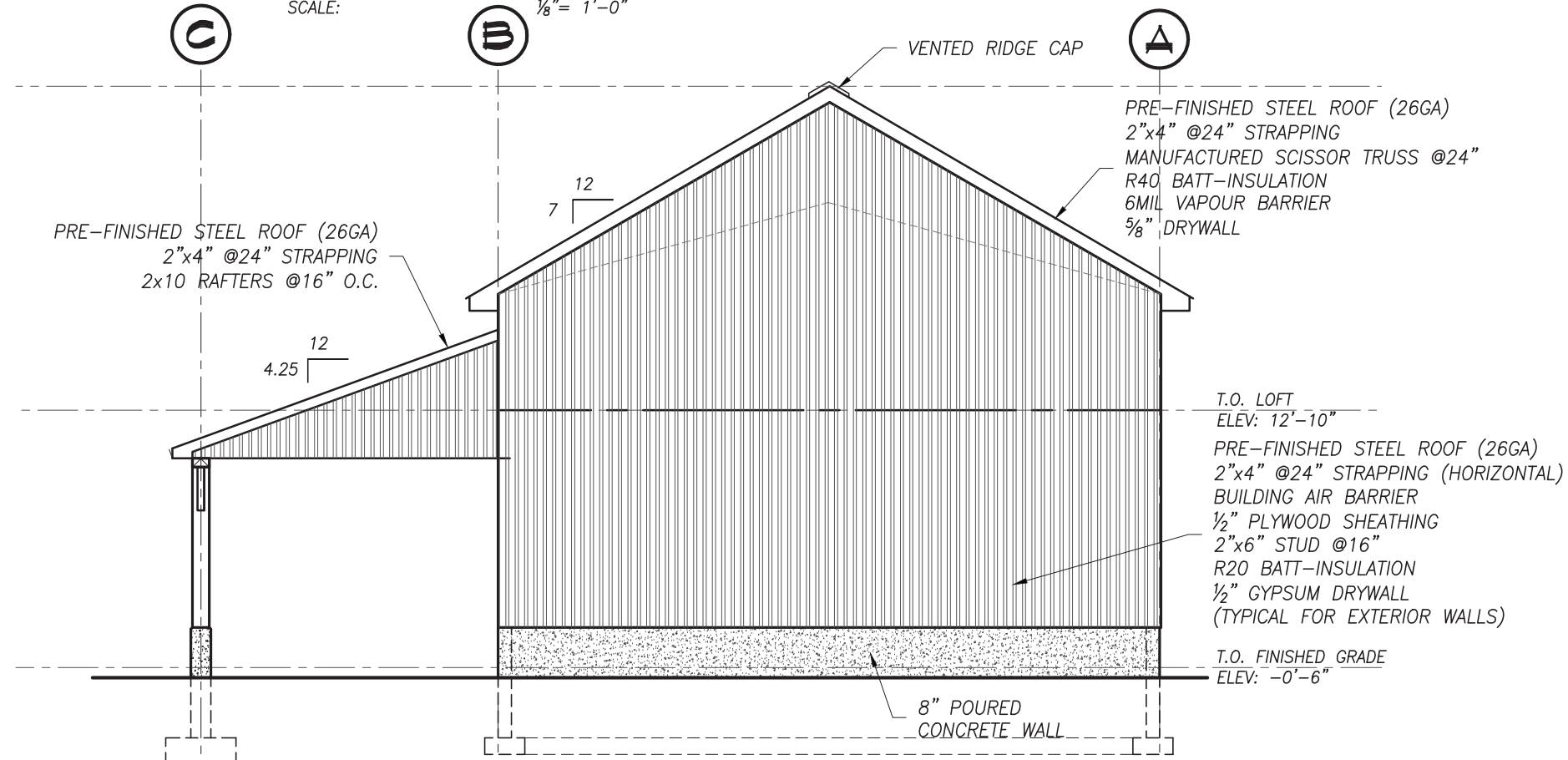


PLOT DATE: 2020/02/25 2:24 PM



## RIGHT ELEVATION

SCALE:  $\frac{1}{8}'' = 1'-0''$



## REAR ELEVATION

SCALE:  $\frac{1}{8}'' = 1'-0''$



No.	DATE	REVISION
2	20/02/25	REVISED PER BUILDING PERMIT COMMENT
1	19/06/17	ISSUED FOR BUILDING PERMIT

## REVISIONS



300 YORK BLVD HAMILTON, ONTARIO L8R 3K6 905-333-9119

## STORAGE BUILDING

3659 UPPER JAMES ST.

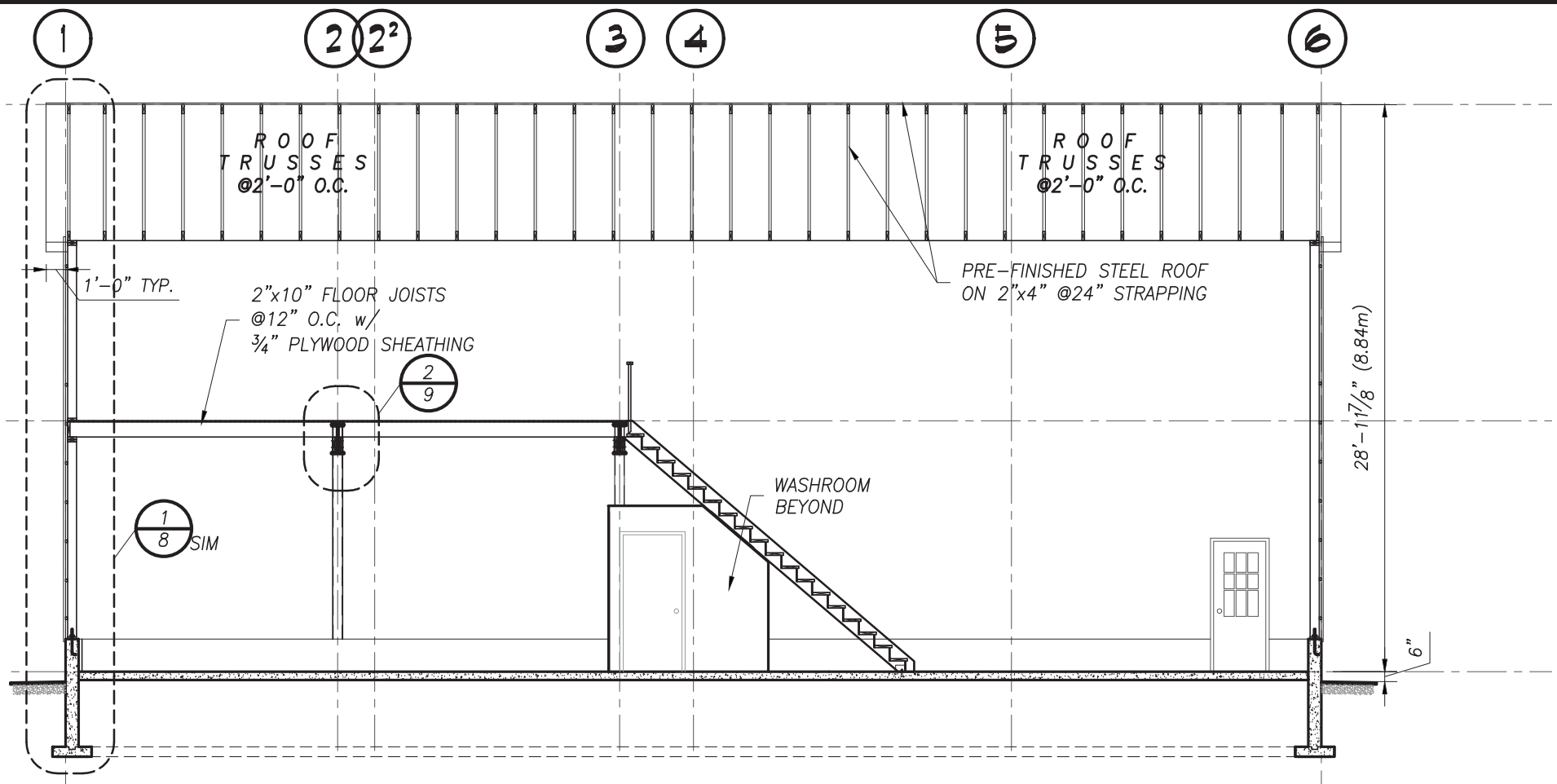
HAMILTON

ONTARIO

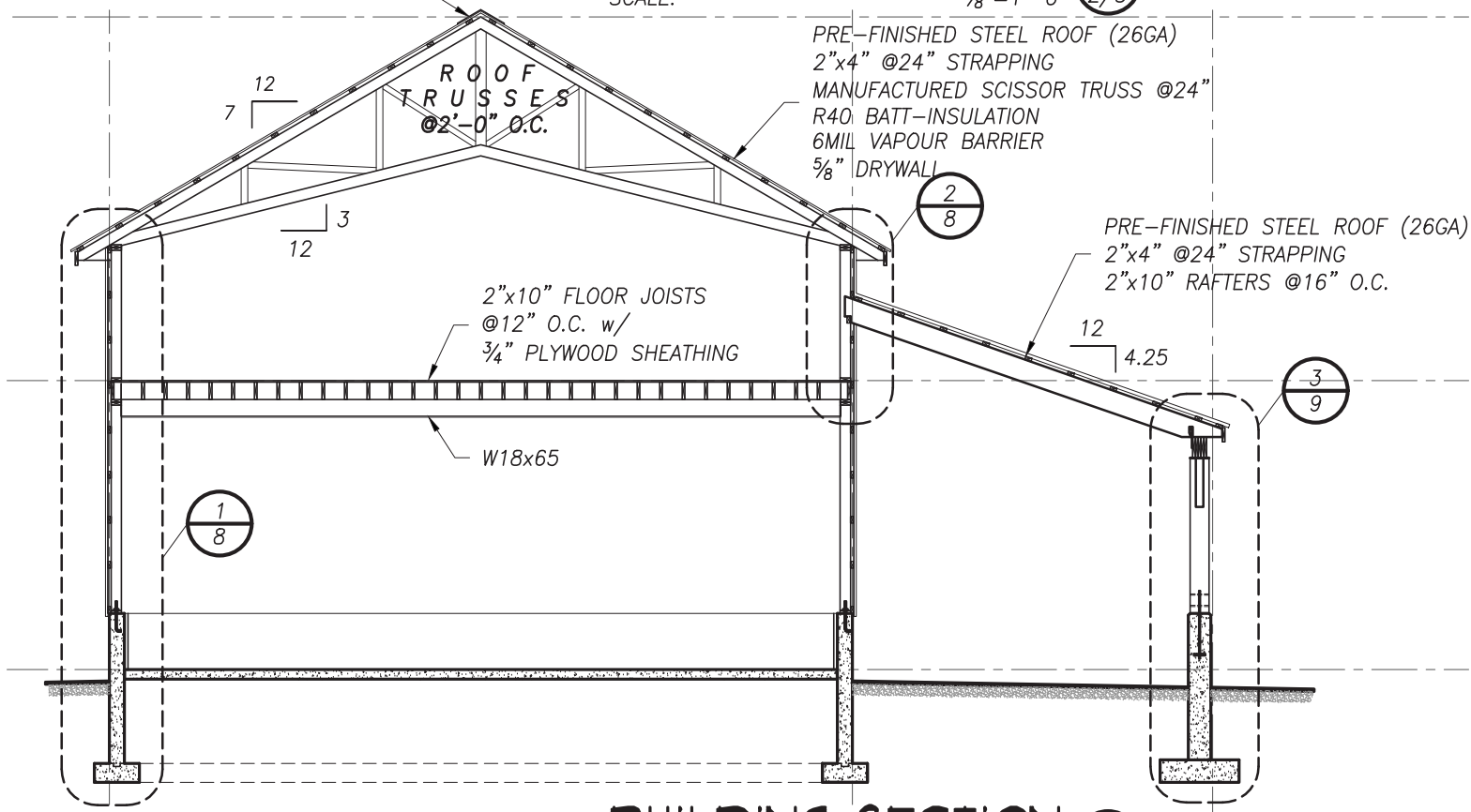
## RIGHT & REAR ELEVATION

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**BUILDING SECTION 1**  
SCALE: 1/8"=1'-0" 2/3



**BUILDING SECTION 2**  
SCALE: 1/8"=1'-0" 2/3

**GENERAL NOTES**

1. CHECK ALL DIMENSIONS ON THESE DRAWINGS WITH ALL OTHER DRAWINGS, INCLUDING BUT NOT LIMITED TO DRAWINGS PREPARED ARCHITECTURAL, MECHANICAL OR ELECTRICAL CONSULTANTS. REPORT ANY INCONSISTENCIES TO THE ENGINEER PRIOR TO COMMENCING WITH THE WORK. DO NOT SCALE THE DRAWINGS.
2. THE DESIGN LIVE LOADS ARE INDICATED ON THE DRAWINGS. CONSTRUCTION LOADS SHALL NOT EXCEED THE DESIGN LOADS.
3. THE COMPLETED STRUCTURE IS SHOWN ON THE DRAWINGS. THE CONTRACTOR SHALL PROVIDE ALL TEMPORARY BRACING, SHORING AND ANY OTHER TEMPORARY OR PERMANENT MEASURES AS REQUIRED DURING CONSTRUCTION. THE CONTRACTOR SHALL PROVIDE ALL TEMPORARY SUPPORT OF EXISTING OR ADJACENT STRUCTURES AS REQUIRED. ALL BRACING AND SHORING IS THE RESPONSIBILITY OF THE CONTRACTOR.
4. CONSTRUCTION FEATURES NOT FULLY SHOWN ARE COMPARABLE TO SIMILAR CONDITION DETAILS.
5. REFER TO OTHER CONSULTANTS DRAWINGS FOR DETAILS OF OPENINGS, PITS, CHAMFERS, DEPRESSIONS NOT INDICATED ON THE STRUCTURAL DRAWINGS.
6. ALL CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE LATEST ONTARIO BUILDING CODE, LATEST APPLICABLE REGULATIONS AND GOOD CONSTRUCTION PRACTICES.
7. THE STRUCTURAL DRAWINGS SHALL BE READ IN CONJUNCTION WITH ALL OTHER CONTRACT DRAWINGS AND SPECIFICATIONS.
8. CLARIFY ANY QUERIES WITH THE ENGINEER REGARDING THE INTERPRETATION OF THE DRAWINGS, PRIOR TO THE COMMENCEMENT OF ANY WORK.

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**REVISIONS**



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**STORAGE BUILDING**

3659 UPPER JAMES ST.

HAMILTON

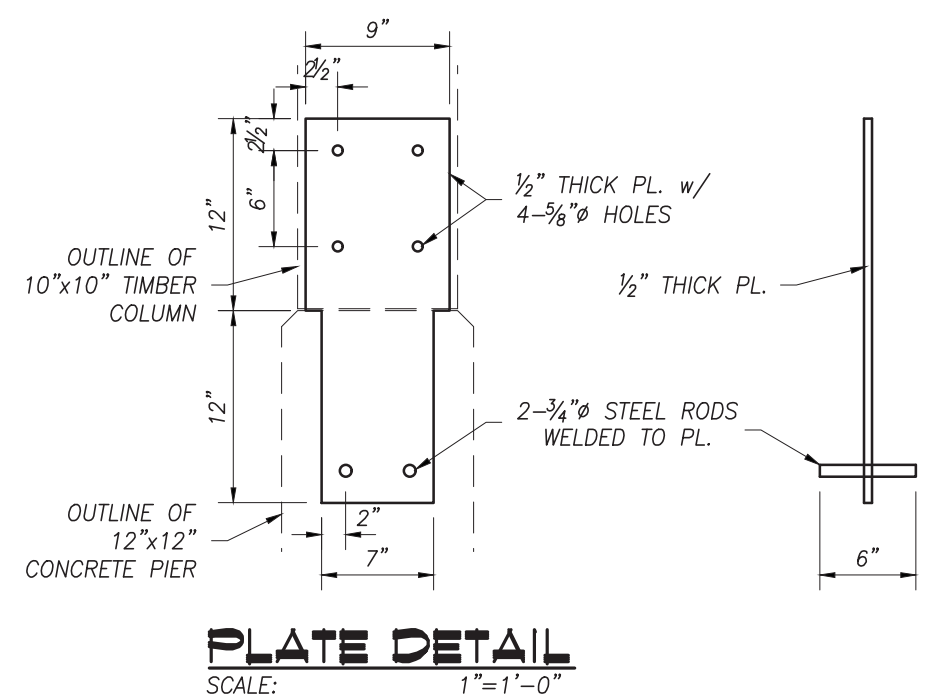
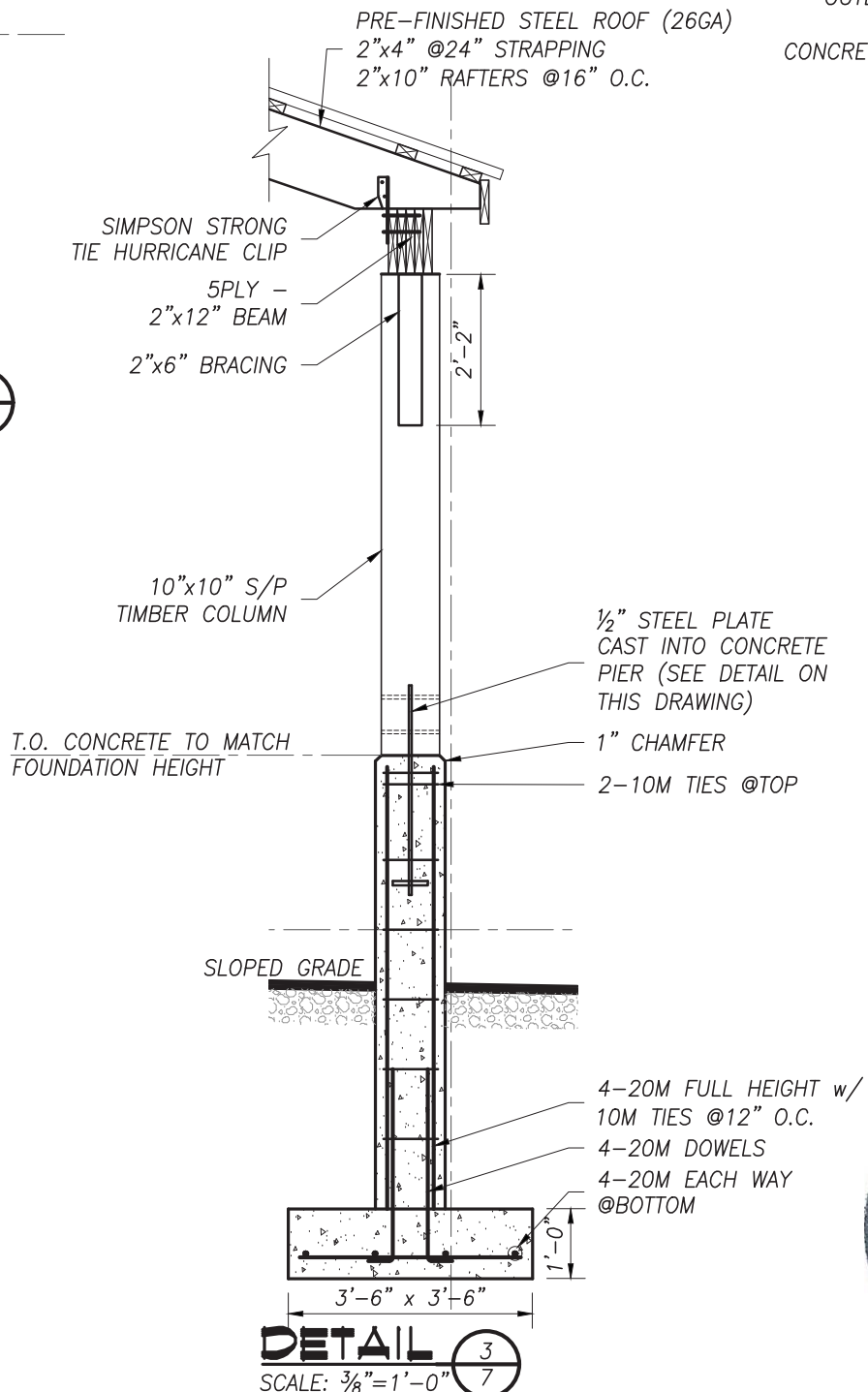
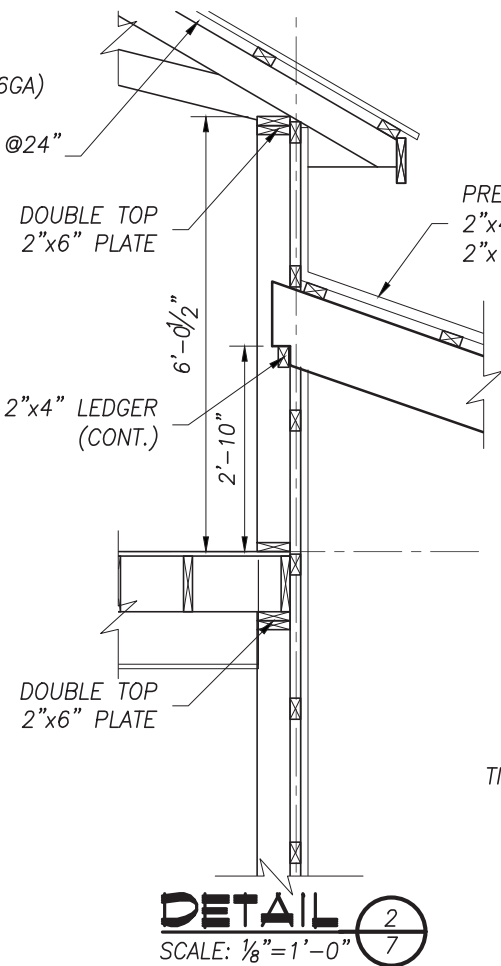
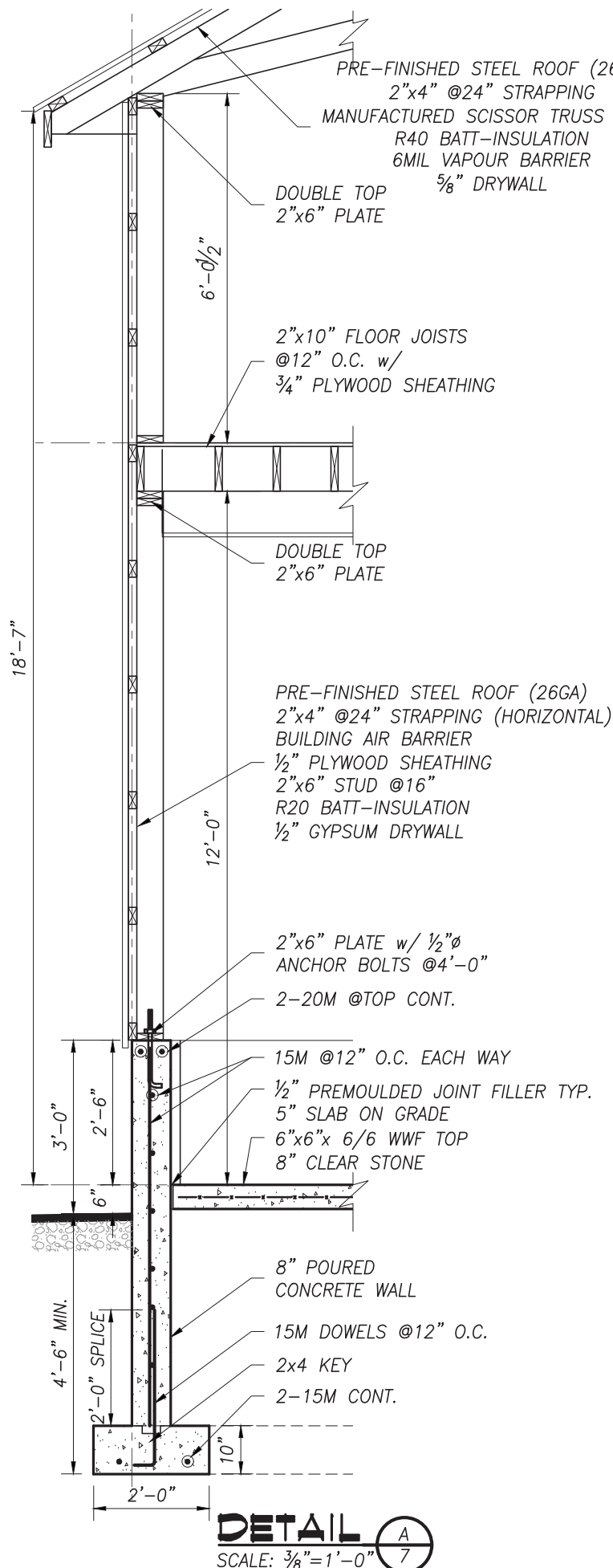
ONTARIO

**BUILDING SECTION**



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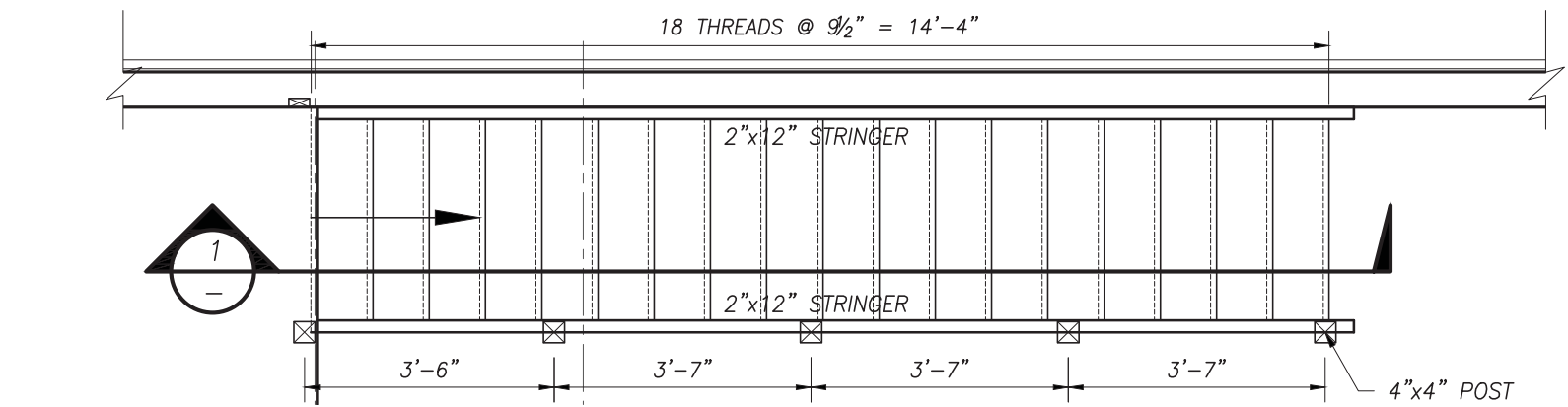
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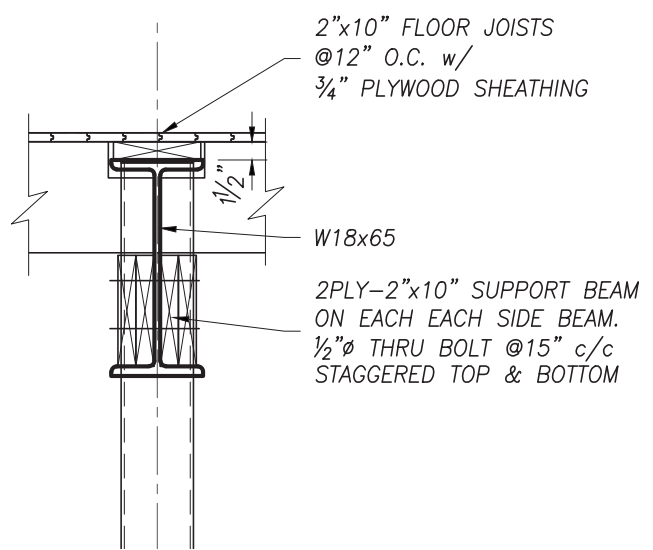
2	20/02/25	REVISED PER BUILDING PERMIT COMMENT
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No.	DATE	REVISION
REVISIONS		
300 YORK BLVD HAMILTON, ONTARIO L8R 3K6 905-333-9119		
<b>STORAGE BUILDING</b>		
3659 UPPER JAMES ST.		
HAMILTON ONTARIO		
<b>WALL DETAILS</b>		
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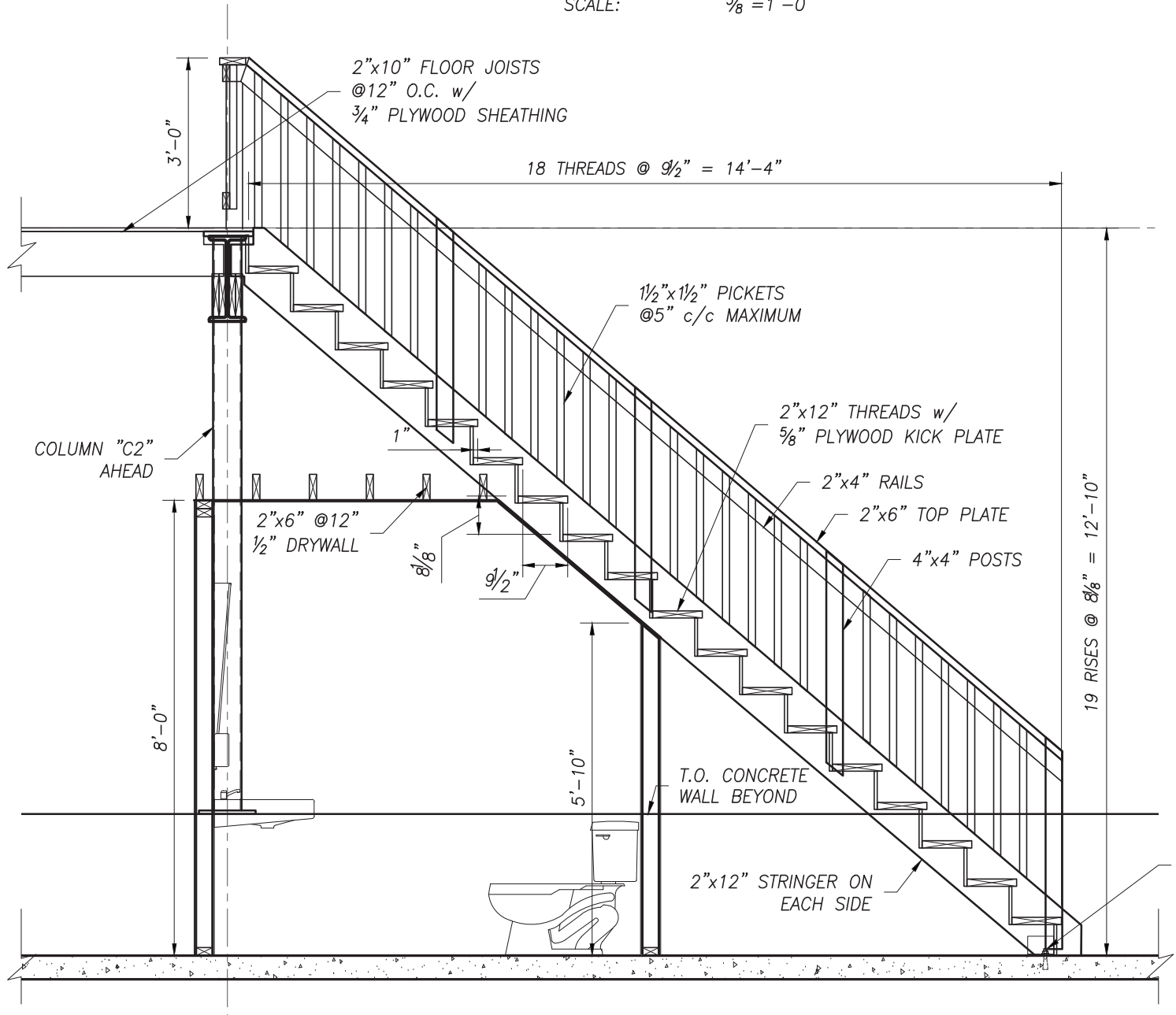
PLOT DATE: 2020/02/25 2:24 PM



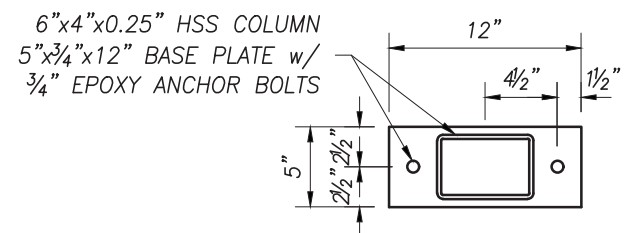
**STAIR PLAN**  
SCALE: 3/8"=1'-0"



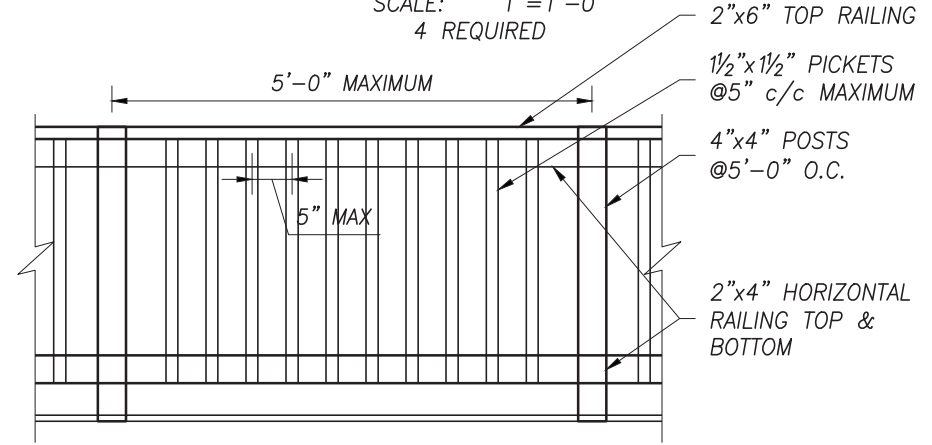
**DETAIL 2**  
SCALE: 3/4"=1'-0"



**SECTION 1**  
SCALE: 3/8"=1'-0"



**BASE PL.**  
SCALE: 1"=1'-0"  
4 REQUIRED



**TYP. RAILING**  
SCALE: 1 1/2"=1'-0"

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REVISIONS



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STORAGE BUILDING

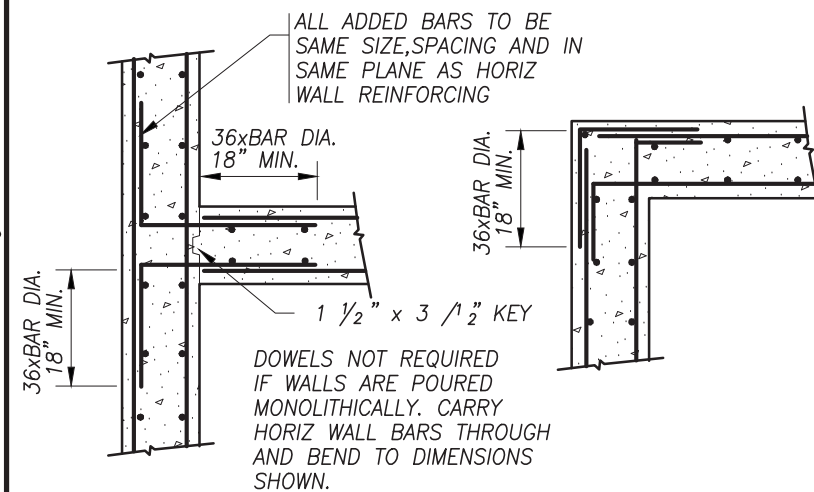
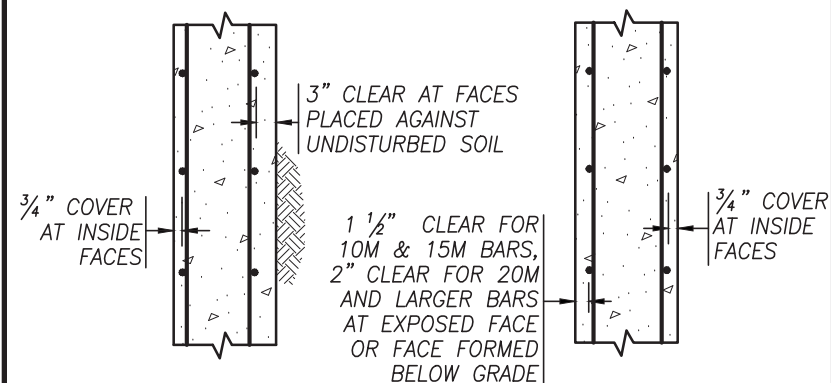
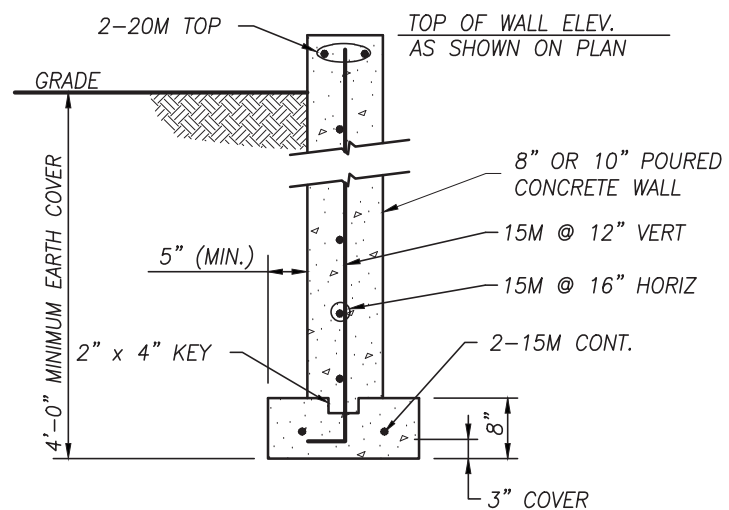
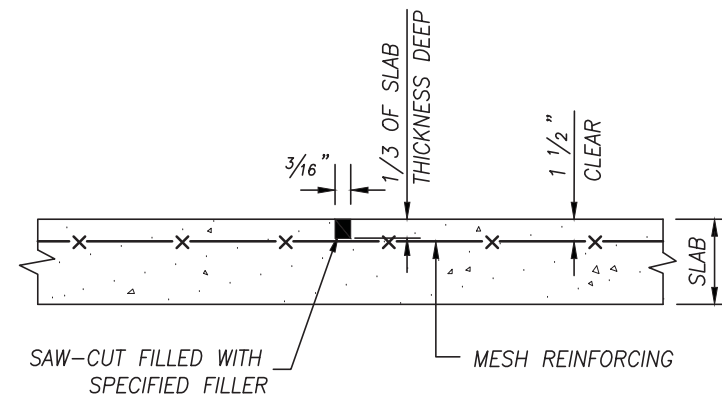
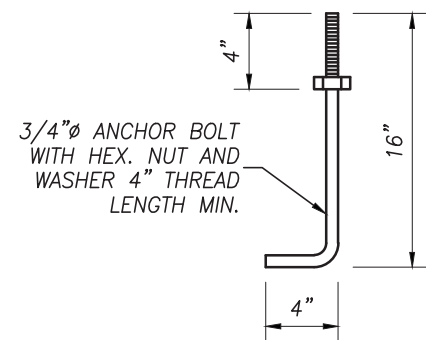
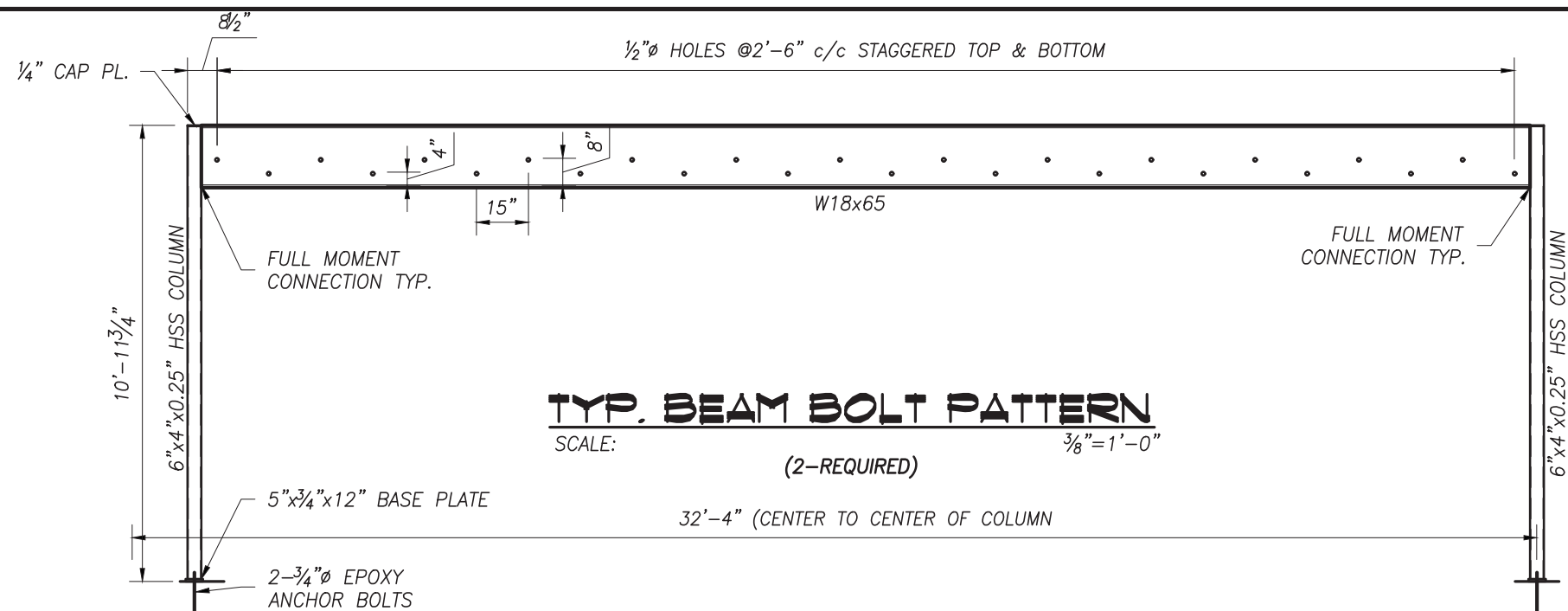
3659 UPPER JAMES ST.  
HAMILTON ONTARIO

STAIRS & BEAM  
CONNECTION DETAILS



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300 YORK BLVD HAMILTON, ONTARIO L8R 3K6 905-333-9119

## STORAGE BUILDING

3659 UPPER JAMES ST.

HAMILTON

ONTARIO

## TYPICAL DETAILS

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CONCRETE NOTES

1.

ALL STRUCTURAL CONCRETE ELEMENTS HAVE BEEN DESIGNED IN ACCORDANCE WITH CSA STANDARD CAN/CSA A23.3. ALL CONCRETE CONSTRUCTION SHALL BE IN ACCORDANCE WITH CSA STANDARD CAN/CSA A23.1.
2.

MINIMUM CONCRETE STRENGTH AT 28 DAYS SHALL BE:

– FOOTINGS

– FOUNDATION WALLS

– SLAB ON GRADE

– PIERS

– 25 MPa TYPE N

– 25 MPa TYPE F1

– 25 MPa TYPE N

– 35 MPa TYPE C1

SLUMP SHALL BE 3” ± 1”.

AGGREGATE SHALL BE ¾” MAXIMUM.

AIR ENTRAINMENT TO BE 6% ± 1% WHEN EXPOSED TO EXTERIOR.

CONTRACTOR TO SUBMIT CONCRETE MIX DESIGN FOR REVIEW
3.

THE DEFORMED REINFORCING STEEL SHALL CONFORM TO CSA STANDARD G30.18M-09 GRADE 300R FOR STIRRUPS AND TIES AND GRADE 400R FOR ALL OTHER REINFORCING. UNLESS OTHERWISE NOTED THE REINFORCING LAP LENGTH SHALL BE 'CLASS B' IN SPLICES. ALL REINFORCING HOOKS AND BENDS SHALL BE IN ACCORDANCE WITH A23.1.
4.

WELDED WIRE FABRIC SHALL BE IN ACCORDANCE WITH CSA G30.5. ALL MESH SHALL BE CHAIRED PRIOR TO THE CONCRETE POUR. LIFTING OF THE MESH DURING THE CONCRETE POUR WILL NOT PERMITTED. ALL SPLICES SHALL BE A MINIMUM OF TWO CROSSWIRE SPACINGS PLUS 2”.
5.

THE REINFORCING COVER FOR CONCRETE SHALL BE:

– 3” FOR CONCRETE AGAINST EARTH

– 1½” FOR FORMED CONCRETE EXPOSED TO EARTH OR WEATHER WHERE THE REINFORCING BAR IS 15M OR SMALLER

– 2” FOR FORMED CONCRETE EXPOSED TO EARTH OR WEATHER WHERE THE REINFORCING BAR IS 20M OR LARGER

– 1” FOR INTERIOR CONCRETE. ALL CHAIRS, BOLSTERS, SPACERS AND BAR SUPPORTS SHALL BE IN ACCORDANCE WITH A23.1.
6.

FOOTINGS SHALL BEAR ON NATIVE UNDISTURBED SOIL OR ENGINEERED FILL WITH A MINIMUM BEARING RESISTANCE OF:

– 3000 psf (SLS)

– 4000 psf (ULS).

THE CONTRACTOR SHALL VERIFY THE CAPACITY PRIOR TO PLACEMENT OF CONCRETE.
7.

KEEP EXCAVATIONS DRY BEFORE CONCRETE IS PLACED. REMOVE ALL LOOSE MATERIAL, SOFT SOIL OR WATER PRIOR TO PLACING CONCRETE. PROVIDE A 3” MUD MAT FOR ALL FOOTINGS BELOW THE WATER TABLE.
8.

ALL FOOTINGS SHALL BE CENTERED ON THE WALL UNLESS OTHERWISE NOTED.
9.

THE FOOTING DESIGN IS BASED ON INFORMATION AVAILABLE AT THE TIME OF DESIGN. THE FOOTING DESIGN MAY BE ALTERED DURING CONSTRUCTION, IF THE SITE CONDITIONS WARRANT, BUT ONLY WITH THE EXPRESS PERMISSION OF THE ENGINEER.
10.

PROTECT ALL FOOTINGS, WALLS AND SLABS AGAINST FROST ACTION DURING CONSTRUCTION. ALL EXTERIOR FOOTINGS SHALL FOUNDED BELOW THE FROST LINE, MINIMUM 5'-0" BELOW GRADE.

TIMBER FRAMING

1.

ALL DESIGN AND CONSTRUCTION SHALL BE CARRIED OUT IN CONFORMANCE WITH CSA STANDARD 086.
2.

SAWN LUMBER SHALL BE SPRUCE/PINE/FIR GRADE NUMBER 1 AND GRADE NUMBER 2 IN THE RATIO OF 67% (MINIMUM) AND 33% (MAXIMUM) RESPECTIVELY.
3.

PROVIDE STEEL JOIST HANGERS AS SHOWN ON THE PLAN. FASTENING SHALL BE CARRIED OUT IN ACCORDANCE WITH THE MANUFACTURER’S SPECIFICATIONS. EACH HANGER SHALL BE CAPABLE OF SUPPORTING 800lbs.
4.

PROVIDE TIMBER TRUSSES AND JOISTS FOR THE SIZES, SPANS, AND LOADS INDICATED ON THE DRAWINGS. DESIGN, INCLUDING BRIDGING, SHALL BE CARRIED OUT BY A REGISTERED PROFESSIONAL ENGINEER IN ACCORDANCE WITH CSA STANDARD 086-01 (R2006). BEARING SHOES FOR ALL MEMBERS SHALL BE DESIGNED FOR A MAXIMUM BEARING PRESSURE OF 1.1Mpa ON MASONRY.
5.

ALL WOOD LINTELS OVER OPENINGS SHALL CONFORM TO THE ONTARIO BUILDING CODE, 2012 EDITION.
6.

PROVIDE RIM JOISTS AROUND THE PERIMETER OF THE BUILDING AT THE TOP OF ALL STUD WALLS AND ANY JOIST/BEAM END-BEARING LOCATIONS. RIM JOISTS TO BE INSTALLED PER MANUFACTURERS REQUIREMENTS.
7.

PROVIDE BLOCKING AT SUPPORT LOCATIONS FOR ALL JOISTS AND BEAMS AND AT THE MIDSPANS OF ALL JOISTS. BLOCKING IS TO BE PROVIDED ON TOP OF ALL LOAD-BEARING STUD WALLS SUPPORTING WALLS ABOVE. BLOCKING TO BE INSTALLED PER MANUFACTURERS REQUIREMENTS.
8.

PROVIDE SQUASH BLOCKS BENEATH ALL BUILT-UP COLUMNS AND JAMBS AND WHERE REQUIRED AT RIM JOISTS. SQUASH BLOCKS TO BE INSTALLED PER MANUFACTURERS REQUIREMENTS.
9.

DOUBLE TOP PLATES ARE TO BE PROVIDED ON ALL LOAD-BEARING STUD WALLS AND ON ANY CONCRETE OR BLOCK WALLS SUPPORTING WOOD JOISTS, BEAMS OR STUD WALLS.
10.

PROVIDE MOISTURE BARRIER AROUND ALL WOOD MEMBERS IN DIRECT CONTACT WITH CONCRETE OR BLOCK. CONTINUOUS MOISTURE BARRIER IS REQUIRED AT POINTS OF CONTACT.
11.

PROVIDE SOLID BLOCKING AND SIMPSON STRONG TIE (SST) SCW AROUND ALL STEEL COLUMNS.
12.

ALL WALLS ARE TO BE Laterally supported during construction.
13.

ALL TIMBER EXPOSED TO EXTERIOR SHALL BE PRESSURE TREATED

CLEAR SPAN	2"x4" STUD WALL	CLEAR SPAN	2"x6" STUD WALL
UP to 3'-0"	2 – 2" x 6"	UP to 5'-0"	3 – 2" x 6"
3'-0" to 5'-0"	2 – 2" x 8"	5'-0" to 6'-6"	3 – 2" x 8"
5'-0" to 6'-0"	2 – 2" x 10"	6'-6" to 7'-10"	3 – 2" x 10"
6'-0" to 7'-0"	2 – 2" x 12"	7'-10" to 9'-0"	3 – 2" x 12"

TYP. TIMBER LINTEL DETAIL

NOT TO SCALE

SUBMITTALS

1.

SUBMIT FOR REVIEW BY THE CONSULTANT, DETAILED SHOP DRAWINGS FOR ALL STRUCTURAL WORK INCLUDING, BUT NOT LIMITED TO: CONCRETE FORMWORK, REINFORCING STEEL, STRUCTURAL STEEL.
2.

THE SCALE OF THE DRAWINGS SHALL BE SUCH THAT THE DETAILS OF THE STRUCTURAL WORK ARE CLEARLY SHOWN, AND IN NO CASE SMALLER THAN ¼”=1’-0” (1:50).
3.

THE STRUCTURAL DRAWINGS SHALL NOT BE REPRODUCED, IN WHOLE OR IN PART, FOR USE AS SHOP DRAWINGS.
4.

EACH DRAWING SUBMITTED FOR CONCRETE FORMWORK, STRUCTURAL STEEL AND TEMPORARY SHORING SHALL BEAR THE SEAL AND SIGNATURE OF A QUALIFIED PROFESSIONAL ENGINEER LICENSED IN THE PROVINCE OF ONTARIO.
5.

CONTRACTOR SHALL ALLOW FOR A 5 WORKING DAY TURN AROUND TIME FOR STRUCTURAL CONSULTANT TO REVIEW THE SHOP DRAWINGS.

CALCULATIONS

1.

SUBMIT CALCULATIONS, BEARING THE SEAL AND SIGNATURE OF PROFESSIONAL ENGINEER LICENSED IN THE PROVINCE OF ONTARIO, FOR STRUCTURAL WORK, IF REQUESTED BY THE CONSULTANT.

STRUCTURAL STEEL NOTES

1.

ALL STRUCTURAL STEEL ELEMENTS, INCLUDING DESIGN OF ELEMENTS AND CONNECTIONS SHALL BE IN ACCORDANCE WITH CAN/CSA S16.
2.

ALL STRUCTURAL STEEL SHALL CONFORM TO CSA G40.21 (300W) EXCEPT W SECTIONS AND PLATES G40.21 (350W), HSS MEMBERS G40.21 (350W) CLASS C OR ASTM A500 GRADE C, ANCHOR BOLTS ASTM A307, COLD FORM SECTIONS ASTM A570M GRADE 350W. UNLESS OTHERWISE NOTED, ALL SECTIONS SHALL BE PRIME PAINTED WITH THE SURFACE PREPARATION AND PAINTING PROCEDURES IN ACCORDANCE WITH CAN/CGSB 85.10.
3.

ALL WELDING SHALL BE CARRIED OUT IN ACCORDANCE WITH CAN/CSA W59. THE STEEL FABRICATOR SHALL BE FULLY QUALIFIED UNDER THE REQUIREMENTS BY THE CANADIAN WELDING BUREAU IN CONFORMANCE WITH CAN/CSA W47.1.
4.

DESIGN ALL MOMENT AND SHEAR CONNECTIONS FOR THE FULL CAPACITY OF THE SMALLER MEMBER IN THE CONNECTION UNLESS OTHERWISE NOTED.
5.

PROVIDE MINIMUM BEARING LENGTH OF STEEL MEMBERS AS FOLLOWS:

– ON MASONRY – 6”

– ON STEEL – 4”
6.

ALL BOLTS SHALL BE TIGHTENED WITH A SUITABLE TORQUE WRENCH IN ACCORDANCE WITH CSA S16.
7.

ERECT STRUCTURAL STEEL IN ACCORDANCE WITH CSA S16 AND IN CONFORMANCE WITH THE APPROVED SHOP DRAWINGS.



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STORAGE BUILDING

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TYPICAL NOTES

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