



Hamilton

COMMITTEE OF ADJUSTMENT

City Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5

Telephone (905) 546-2424, ext. 4221

Fax (905) 546-4202

E-mail: morgan.evans@hamilton.ca

NOTICE OF PUBLIC HEARING **Minor Variance**

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
 - Applicant/agent on file, or
 - Person likely to be interested in this application
-

APPLICATION NO.: DN/A-20:52

APPLICANTS: Shane VanBarneveld on behalf of the owners Barry Dunne & Amanda Guyatt

SUBJECT PROPERTY: Municipal address **260 MacNab St., (Dundas) City of Hamilton**

ZONING BY-LAW: Zoning By-law 3581-86, as Amended

ZONING: "R2" (Single Detached Residential) district

PROPOSAL: To permit the construction of a new two-storey addition and roofed-over unenclosed deck in the rear yard of the existing single detached dwelling notwithstanding that:

1. An easterly side yard of 0.0m shall be provided instead of the minimum required 1.2m side yard setback.
2. A westerly side yard of 3.2m shall be provided instead of the minimum required 5.0m side yard setback.
3. A rear yard setback of 5.8m shall be provided instead of the minimum required 7.5m side yard setback.

NOTES:

- i. Further variances have been requested by the applicant respecting eave and gutter projections and the proposed rear unenclosed deck. However, these features will conform as shown provided that variance #1 through #3 are approved.
- ii. The current R2 zone of Dundas Zoning By-law 3581-86 requires dwellings to provide a 1.2m side yard setback except that when there is no garage or carport, one side shall be setback at least 5.0m.

This application will be heard by the Committee as shown below:

DATE: Thursday, July 9th, 2020

TIME: 2:40 p.m.

PLACE: Via video link or call in (see attached sheet for details)

To be streamed at www.hamilton.ca/committeeofadjustment for viewing purposes only

PUBLIC INPUT

Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

Orally: If you would like to speak to this item at the hearing you may do so via video link or by calling in. Please see attached page for complete instructions, including deadlines for registering to participate.

MORE INFORMATION

For more information on this matter, including access to drawings illustrating this request:

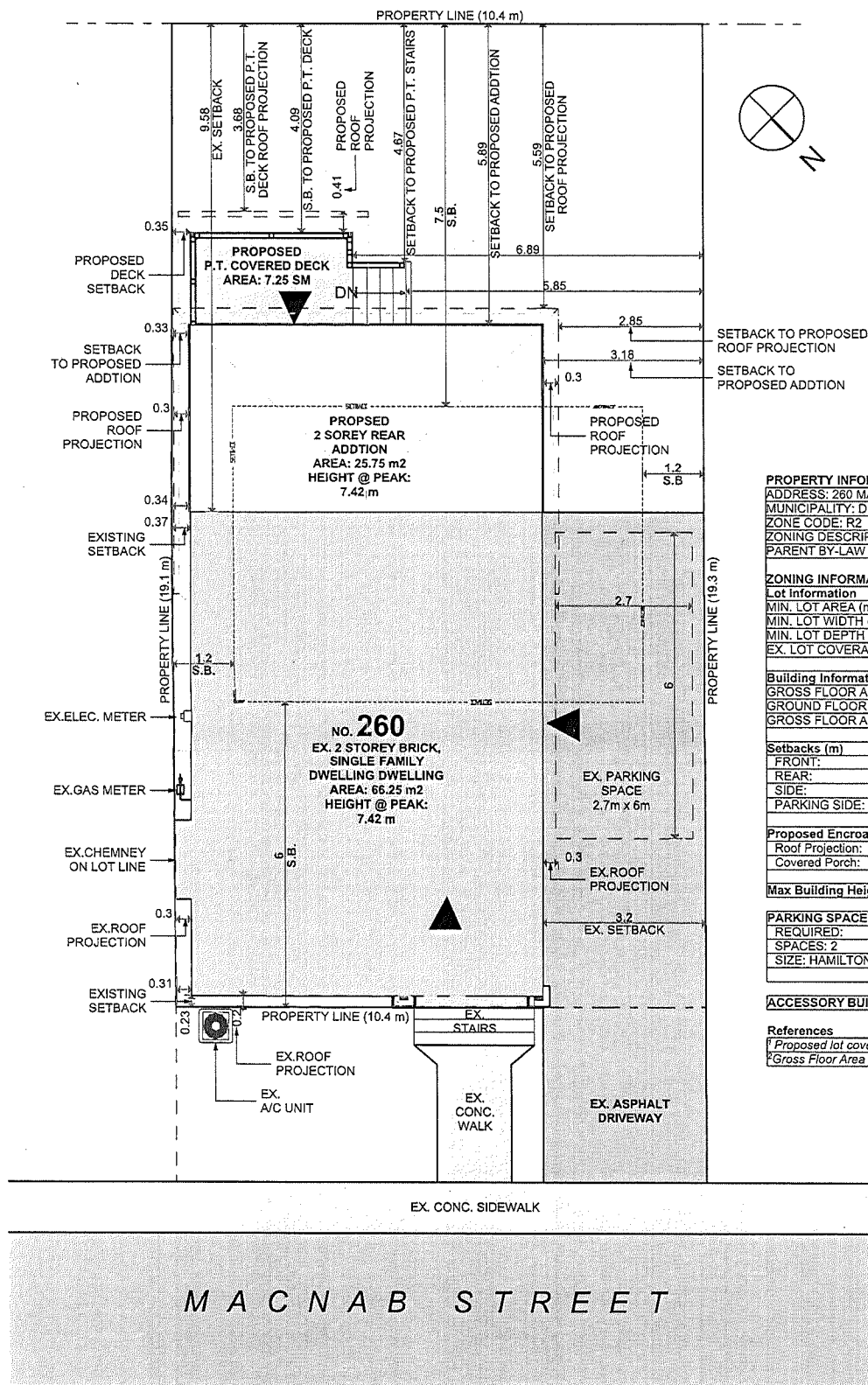
- Visit www.hamilton.ca/committeeofadjustment
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935
- Email Committee of Adjustment staff at cofa@hamilton.ca

DATED: June 23rd, 2020.

Original Signed

Jamila Sheffield
Secretary-Treasurer
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public.



| | | | |
|--|----------|-------------------------------------|---------------------------------|
| PROPERTY INFORMATION | | | |
| ADDRESS: 260 MACNAB STREET | | POSTAL CODE: L9H 2K3 | |
| MUNICIPALITY: DUNDAS | | | |
| ZONE CODE: R2 | | | |
| ZONING DESCRIPTION: SINGLE DETACHED RESIDENTIAL | | | |
| PARENT BY-LAW NUMBER: 3581-86 DUNDAS | | | |
| ZONING INFORMATION | | | |
| Lot information | | | |
| MIN. LOT AREA (m2): 450 | | LOT AREA (m2): 201.3 | |
| MIN. LOT WIDTH (m): 15 | | ACTUAL LOT WIDTH (m): 10.8 | |
| MIN. LOT DEPTH (m): N/A | | ACTUAL LOT DEPTH (m): 19.3 | |
| EX. LOT COVERAGE (%): %30.3 | | NEW COVERAGE (%) ¹ : %43 | |
| Building Information | | | |
| GROSS FLOOR AREA RATIO % ² : | | Existing | Proposed |
| | | 91% | 129% |
| GROUND FLOOR AREA: | | 60.85 m2 | 86.50 m2 |
| GROSS FLOOR AREA: | | 182.55 m2 | 259.50 m2 |
| Setbacks (m) | | | |
| | Required | Existing | Proposed |
| FRONT: | 6.00 | 0.20 | 0.20 |
| REAR: | 7.50 | 9.58 | 5.89 |
| SIDE: | 1.20 | 0.37 | 0.34 |
| PARKING SIDE: | 5.00 | 3.20 | 3.20 |
| Proposed Encroachments (m) | | | |
| Roof Projection: | | As Noted | |
| Covered Porch: | | As Noted | |
| Max Building Height (m) | | Allowed: 10.5 | Existing: 7.42 Proposed: 7.42 |
| PARKING SPACES: | | | |
| REQUIRED: | | PROVIDED: | |
| SPACES: 2 | | SPACES: 1 (EXISTING NON-CONFORMING) | |
| SIZE: HAMILTON 2.7 x 6.0m | | SIZE: HAMILTON 2.7 x 6.0m | |
| ACCESSORY BUILDINGS: | | | |
| | | N/A | |
| References | | | |
| ¹ Proposed lot coverage calculations = Proposed Footprint area / Lot Area | | | |
| ² Gross Floor Area Ratio Calculation: Total Gross Floor Area / Lot Area | | | |



SHANE RENOVATIONS
790 SHAVER RD. ANCASTER
L9G 3K9 ON | 905-304-4009

SITE PLAN
GUYATT - 2.2.pln
GUYATT RESIDENCE
260 MACNAB STREET
DUNDAS ON L9H 2K3

DN/A 20.52
sketch 1

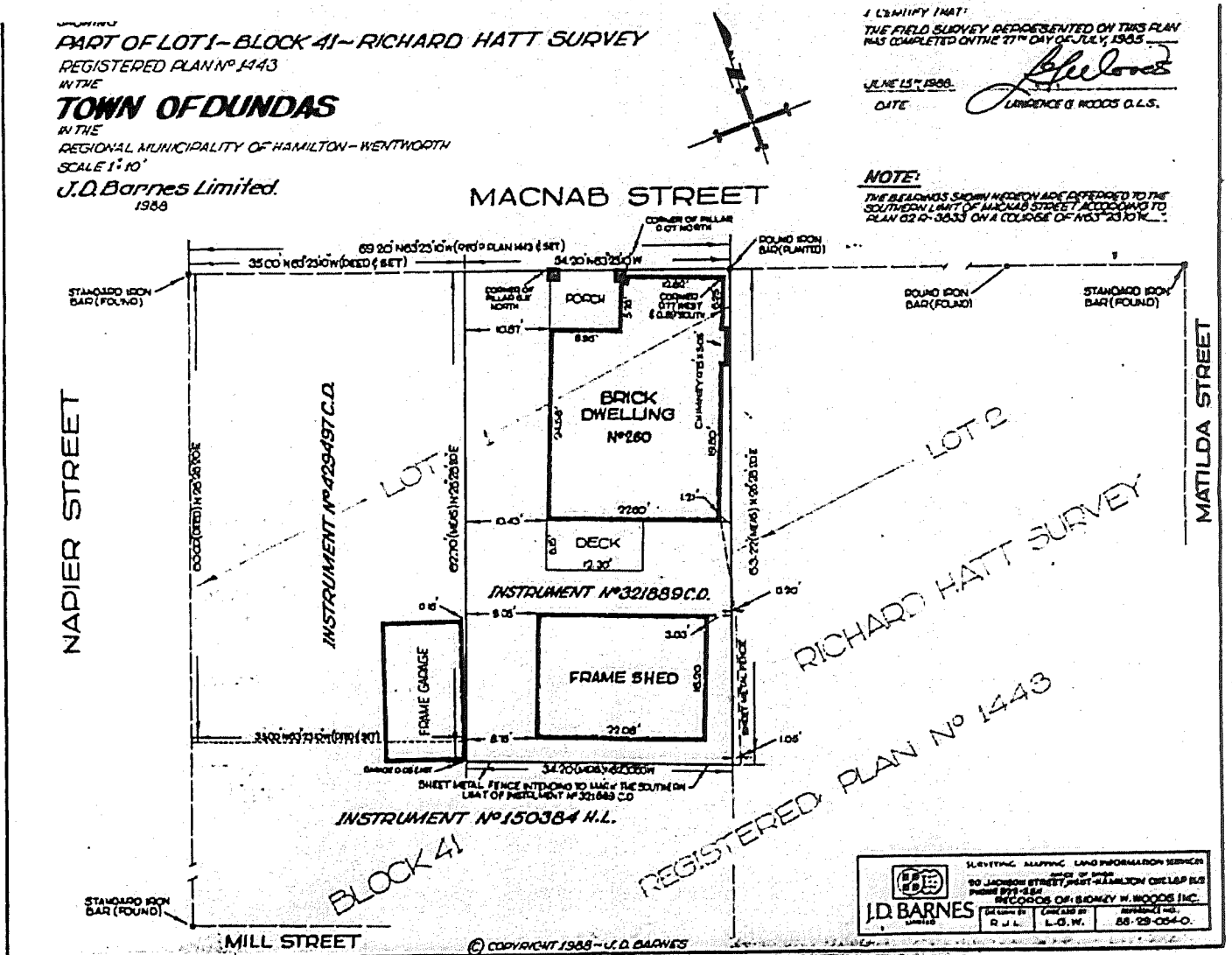
2020-02-06
1:100

S1

PART OF LOT 1 - BLOCK 41 - RICHARD HATT SURVEY
 REGISTERED PLAN NO 1443
 IN THE
TOWN OF DUNDAS
 IN THE
 REGIONAL MUNICIPALITY OF HAMILTON - WENTWORTH
 SCALE 1" = 10'
J.D. Barnes Limited.
 1988

I CERTIFY THAT
 THE FIELD SURVEY REPRESENTED ON THIS PLAN
 WAS COMPLETED ON THE 27th DAY OF JULY, 1988.
 JUNE 15th 1988
 DATE
 LINDA G. WOODS O.L.S.

NOTE:
 THE BEARINGS SHOWN HEREON ARE REFERRED TO THE
 SOUTHERN LIMIT OF MACNAB STREET ACCORDING TO
 PLAN 024-0000 ON A COURSE OF N63°20'10"E...



SHANE RENOVATIONS
 790 SHAVER RD. ANCASTER
 L9G 3K9 ON | 905-304-4009

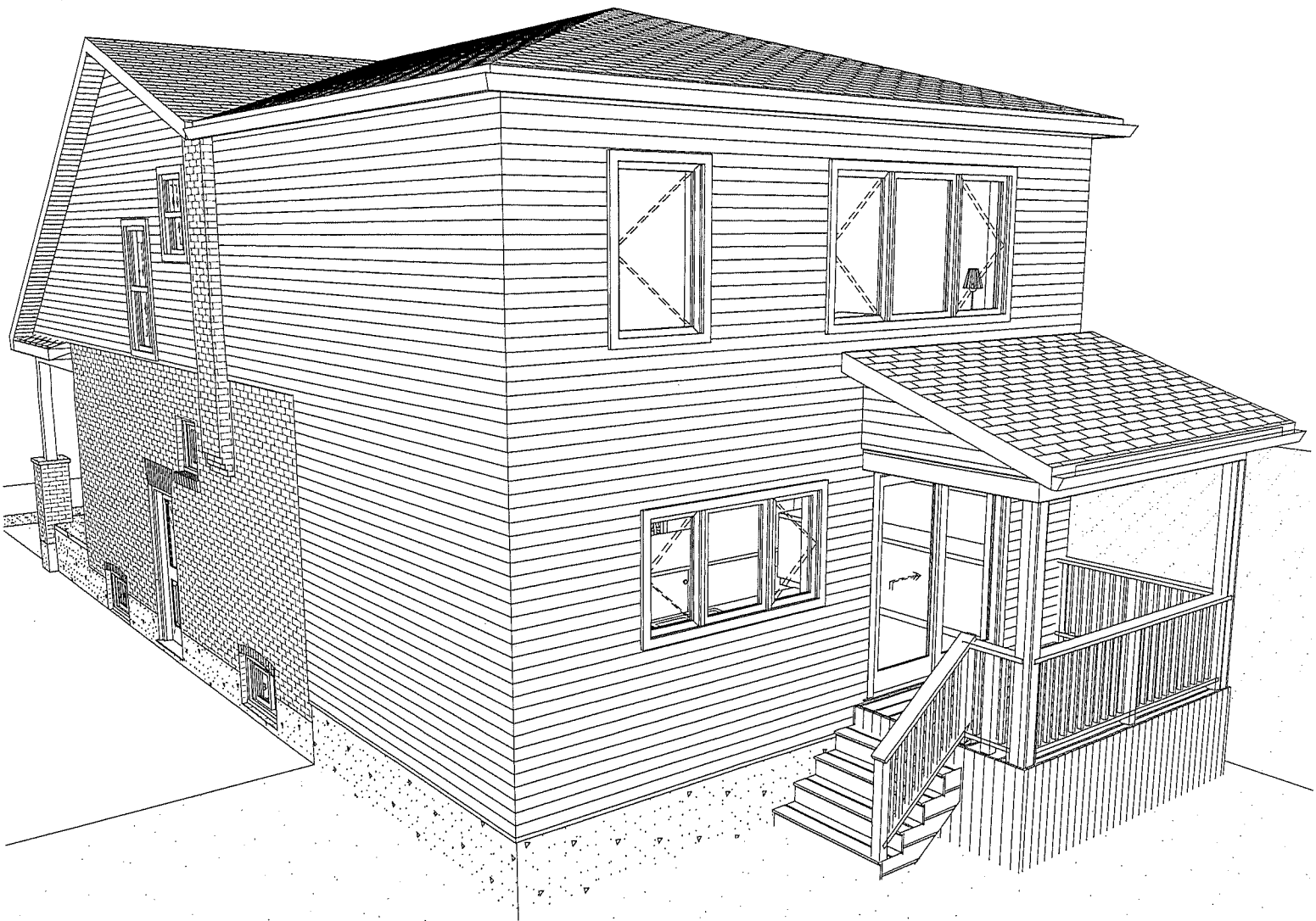
SURVEY
 GUYATT - 2.2.pln
 GUYATT RESIDENCE
 260 MACNAB STREET
 DUNDAS ON L9H 2K3

DN/A 20:52
 Sketch 2

2020-02-06
 1:200

S2

ISSUED FOR VARIANCE:
GUYATT RESIDENCE
260 MACNAB STREET DUNDAS ON L9H 2K3



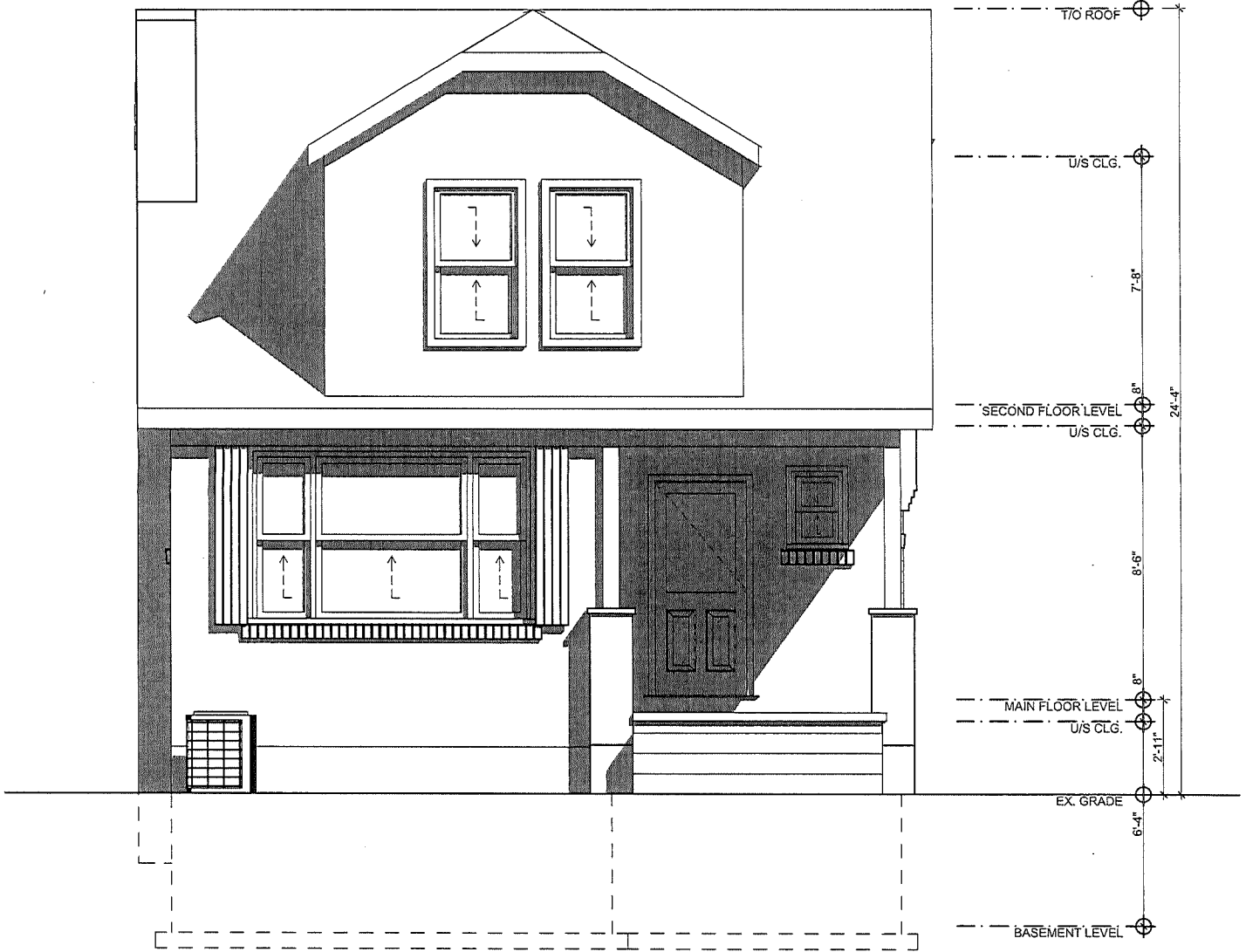
SHANE RENOVATIONS
790 SHAVER RD. ANCASTER
L9G 3K9 ON | 905-304-4009

COVER SHEET
GUYATT - 2.2.pln
GUYATT RESIDENCE
260 MACNAB STREET
DUNDAS ON L9H 2K3

DN/A 20:52
Sketch 3

2020-02-06
1/8" = 1'-0"

A1



SHANE RENOVATIONS
 790 SHAVER RD. ANCASTER
 L9G 3K9 ON | 905-304-4009

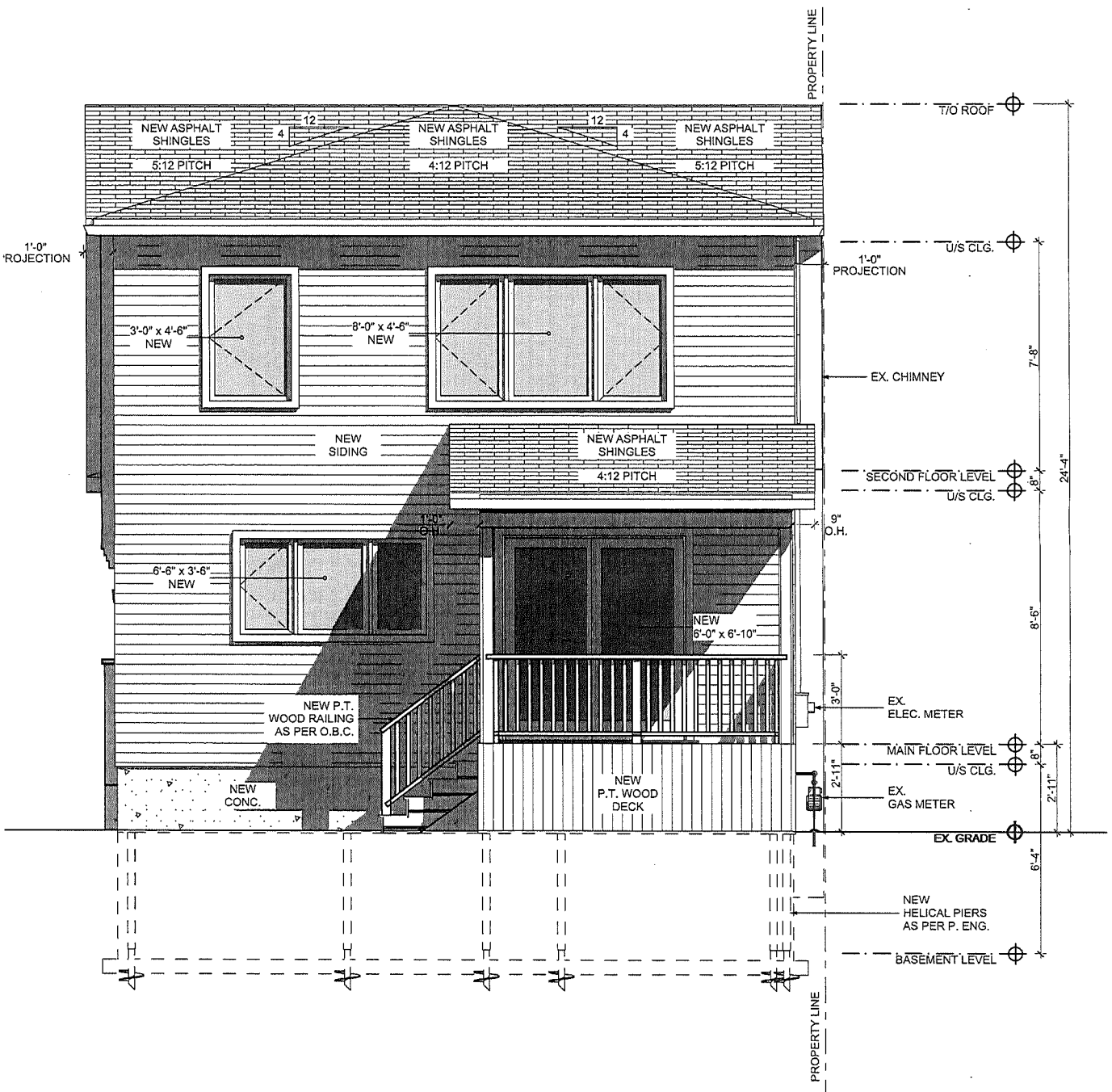
PROPOSED FRONT ELEVATION

GUYATT - 2.2.pln
 GUYATT RESIDENCE
 260 MACNAB STREET
 DUNDAS ON L9H 2K3

DN/A 20:52
 Sketch 4

2020-02-06
 1/4" = 1'-0"

A12



SHANE RENOVATIONS
790 SHAVER RD. ANCASTER
L9G 3K9 ON | 905-304-4009

PROPOSED REAR ELEVATION

GUYATT - 2.2.pln

GUYATT RESIDENCE
260 MACNAB STREET
DUNDAS ON L9H 2K3

DN/A 20:52
Sketch 5

2020-02-06
1/4" = 1'-0"

A13



Hamilton

Planning and Economic Development Department
Planning Division

Committee of Adjustment

City Hall
5th floor 71 Main Street West
Hamilton, Ontario L8P 4Y5

Phone (905) 546-2424 ext.4221
Fax (905) 546-4202

PLEASE FILL OUT THE FOLLOWING PAGES AND
RETURN TO THE CITY OF HAMILTON PLANNING
DEPARTMENT.

FOR OFFICE USE ONLY.

APPLICATION NO. DN/A-20-52 DATE APPLICATION RECEIVED Feb 07

PAID _____ DATE APPLICATION DEEMED COMPLETE _____

SECRETARY'S
SIGNATURE _____

CITY OF HAMILTON
COMMITTEE OF ADJUSTMENT
HAMILTON, ONTARIO

The *Planning Act*

Application for Minor Variance or for Permission

The undersigned hereby applies to the Committee of Adjustment for the City of Hamilton under Section 45 of the *Planning Act*, R.S.O. 1990, Chapter P.13 for relief, as described in this application, from the Zoning By-law.

*1. Name of Owner ~~Barry~~ AMANDA & ~~BARRY~~ Amanda DUNNE & GUYATT Telephone No. _____

3. Name of Agent SHANE VANBARNEVELD Telephone No. _____

4. _____

Note: Unless otherwise requested all communications will be sent to the agent, if any.

5. Names and addresses of any mortgagees, holders of charges or other encumbrances:

N/A

Postal Code _____

N/A

Postal Code _____

6. Nature and extent of relief applied for:

1. TO PERMIT SIDE SETBACK 3.0 m INSTEAD OF 1.2m FOR ADDITION AND COVERED DECK.
2. TO PERMIT ROOF PROJECTION 0.0m TO LOT LINE.
2. TO PERMIT PARKING SIDE SETBACK OF 3.20m INSTEAD OF 5.0m (EX. NON-CONFORMING).
3. TO PERMIT REAR SIDE SETBACK OF 5.89m INSTEAD OF 7.5m.
4. TO PERMIT 1 PARKING SPACE INSTEAD OF THE MIN. REQ. 2 PARKING SPACES.

7. Why it is not possible to comply with the provisions of the By-law?

THE PROPOSED REAR ADDITION IS MINOR IN NATURE AS IT WILL BE ATTACHED TO THE EXISTING NON-CONFORMING SINGLE FAMILY DWELLING.

8. Legal description of subject lands (registered plan number and lot number or other legal description and where applicable, street and street number):

260 MACNAB STREET, DUNDAS, L9H 2K3.

9. PREVIOUS USE OF PROPERTY

Residential X Industrial Commercial
Agricultural Vacant
Other

9.1 If Industrial or Commercial, specify use

N/A

9.2 Has the grading of the subject land been changed by adding earth or other material, i.e. has filling occurred?

Yes _____ No X Unknown _____

9.3 Has a gas station been located on the subject land or adjacent lands at any time?

Yes No **X** Unknown

9.4 Has there been petroleum or other fuel stored on the subject land or adjacent lands?

Yes No **X** Unknown

9.5 Are there or have there ever been underground storage tanks or buried waste on the subject land or adjacent lands?

Yes No **X** Unknown

9.6 Have the lands or adjacent lands ever been used as an agricultural operation where cyanide products may have been used as pesticides and/or sewage sludge was applied to the lands?

Yes No **X** Unknown

9.7 Have the lands or adjacent lands ever been used as a weapon firing range?

Yes No **X** Unknown

9.8 Is the nearest boundary line of the application within 500 metres (1,640 feet) of the fill area of an operational/non-operational landfill or dump?

Yes No **X** Unknown

9.9 If there are existing or previously existing buildings, are there any building materials remaining on site which are potentially hazardous to public health (eg. asbestos, PCB's)?

Yes No **X** Unknown

9.10 Is there any reason to believe the subject land may have been contaminated by former uses on the site or adjacent sites?

Yes _____ No X Unknown _____

9.11 What information did you use to determine the answers to 9.1 to 9.10 above?

PREVIOUS USES OF THE SUBJECTED PROPERTY.

9.12 If previous use of property is industrial or commercial or if YES to any of 9.2 to 9.10, a previous use inventory showing all former uses of the subject land, or if appropriate, the land adjacent to the subject land, is needed.

Is the previous use inventory attached? (N/A) Yes _____ No _____

ACKNOWLEDGEMENT CLAUSE

I acknowledge that the City of Hamilton is not responsible for the identification and remediation of contamination on the property which is the subject of this Application – by reason of its approval to this Application.

2020.01.23

Date


Signature Property Owner

BARRY DUNNE AMANDA GUYATT
Print Name of Owner

10. Dimensions of lands affected:

| | |
|-----------------|--|
| Frontage | <u>10.8 m</u> |
| Depth | <u>19.3 m</u> |
| Area | <u>201.3 m²</u> |
| Width of street | <u>7.2 m (TO BE CONFIRMED BY PUBLIC WORKS)</u> |

11. Particulars of all buildings and structures on or proposed for the subject lands: (Specify ground floor area, gross floor area, number of stories, width, length, height, etc.)

Existing: GROUND FLOOR AREA: 60.85 m²
GROSS FLOOR AREA: 182.55 m², GFA RATIO: 0.91
NUMBER OF STORIES: 2
WIDTH: 6.91m , LENGTH: 9.52m , HEIGHT: 7.42m

Proposed: GROUND FLOOR AREA: 86.50 m²
GROSS FLOOR AREA: 259.50 m², GFA RATIO: 1.29
NUMBER OF STORIES: 2
WIDTH: 6.91m , LENGTH: 13.16m , HEIGHT: 7.42m

12. Location of all buildings and structures on or proposed for the subject lands; (Specify distance from side, rear and front lot lines)

Existing: FRONT (NORTH) SIDE: 0.23 m
SIDE (EAST) SIDE: 0.31 m
SIDE (WEST) SIDE: 3.20 m
REAR (SOUTH) SIDE: 9.58 m

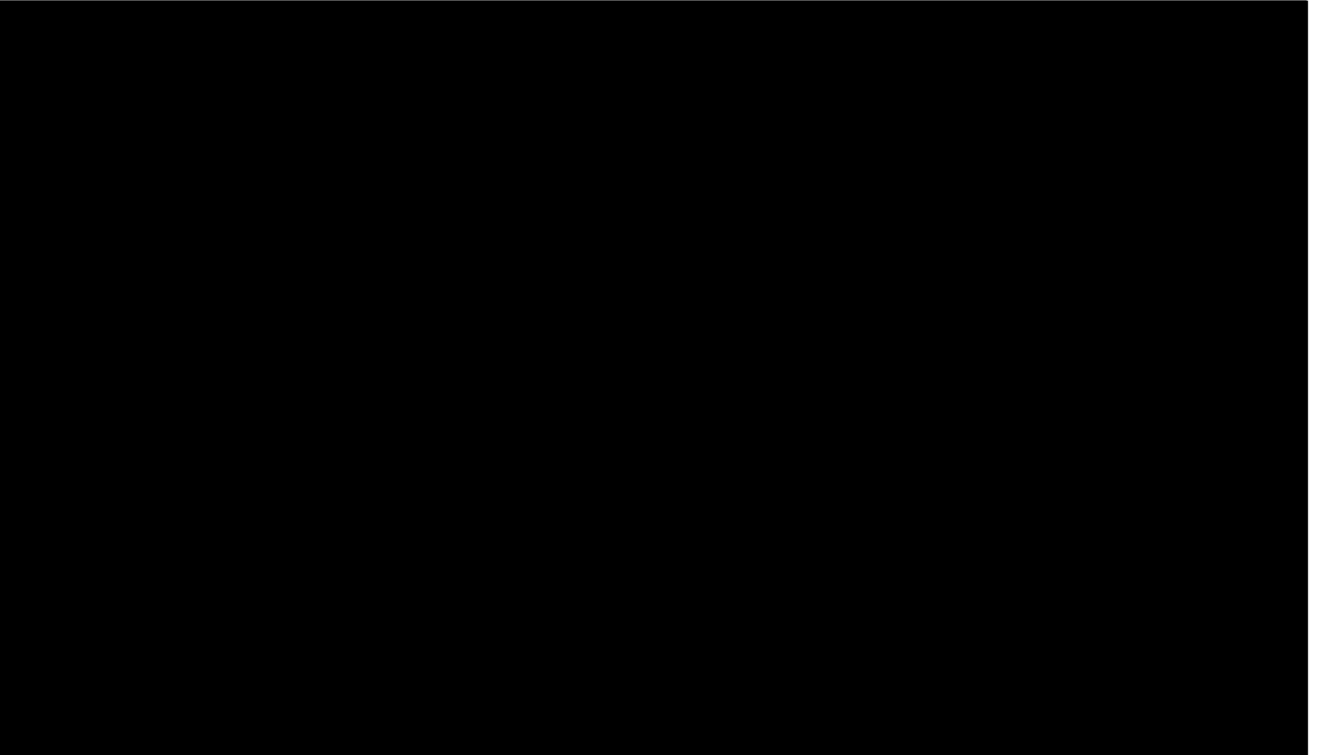
Proposed: FRONT (NORTH) SIDE: 0.23 m
SIDE (EAST) SIDE: 0.33 m
SIDE (WEST) SIDE: 3.20 m
REAR (SOUTH) SIDE: 5.89 m

13. Date of acquisition of subject lands:
JUNE 2016
14. Date of construction of all buildings and structures on subject lands:
1930's
15. Existing uses of the subject property: RESIDENTIAL single detached.
16. Existing uses of abutting properties: RESIDENTIAL single detached.
17. Length of time the existing uses of the subject property have continued:
SINCE BUILT
18. Municipal services available: (check the appropriate space or spaces)
Water YES Connected -
Sanitary Sewer YES Connected -
Storm Sewers YES
19. Present Official Plan/Secondary Plan provisions applying to the land:
N/A neighbour hood.
20. Present Restricted Area By-law (Zoning By-law) provisions applying to the land:
N/A R2 Zone.
21. Has the owner previously applied for relief in respect of the subject property?
Yes ☒ No
If the answer is yes, describe briefly.
N/A
22. Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?
Yes ☒ No
23. The applicant shall attach to each copy of this application a plan showing the dimensions of the subject lands and of all abutting lands and showing the location, size and type of all buildings and structures on the subject and abutting lands, and where required by the Committee of Adjustment such plan shall be signed by an Ontario Land Surveyor.

NOTE: It is required that two copies of this application be filed with the secretary-treasurer of the Committee of Adjustment together with the maps referred to in Section 5 and be accompanied by the appropriate fee in cash or by cheque made payable to the City of Hamilton.

PART 24 AFFIDAVIT OR SWORN DECLARATION

This declaration to be sworn by a Commissioner of Oaths.



A Commissioner, etc.

PART 25 OWNERS AUTHORIZATION

As of the date of this application, I (NAME) BARRY DUUNE & AMANDA CUYATT am the registered Owner of the lands described in this application, and I have examined the contents of this application and hereby certify that the information submitted with the application is correct insofar as I have knowledge of these facts, and I hereby authorize:

Shane Van Barneveld of Shane Renovations

to act as my agent in this matter and to provide any of my personal information that will be included in this application or collected during the processing of the application

DATE 23/01/2020

SIGNED 

PART 26 CONSENT OF THE OWNER

Complete the consent of the owner concerning personal information set out below.


Consent of Owner to the Disclosure of Application Information and Supporting Documentation

Application information is collected under the authority of the *Planning Act*, R.S.O. 1990, c. P.13. In accordance with that Act, it is the policy of the City of Hamilton to provide public access to all *Planning Act* applications and supporting documentation submitted to the City.

I, BARRY DUUNE AMANDA CUYATT, the Owner, hereby agree and acknowledge
(Print name of Owner)

that the information contained in this application and any documentation, including reports, studies and drawings, provided in support of the application, by myself, my agents, consultants and solicitors, constitutes public information and will become part of the public record. As such, and in accordance with the provisions of the *Municipal Freedom of Information and Protection of Privacy Act*, R.S.O. 1990, c. M.56, I hereby consent to the City of Hamilton making this application and its supporting documentation available to the general public, including copying and disclosing the application and its supporting documentation to any third party upon their request.

23/01/2020
Date


Signature of Owner

PART 27 PERMISSION TO ENTER

Date: Jan. 23, 2020


Secretary/Treasurer
Committee of Adjustment
City of Hamilton,
City Hall

Dear Secretary/Treasurer;

Re: Application to Committee of Adjustment

Location of Land: 260 MacNab Street, Hamilton, L9H 2K5
(Municipal address)

I hereby authorize the members of the Committee of Adjustment and members of the staff of the City of Hamilton to enter on to the above-noted property for the limited purposes of evaluating the merits of this application.


Signature of Owner or Authorized agent

Amanda Guyatt & Barry Dunne

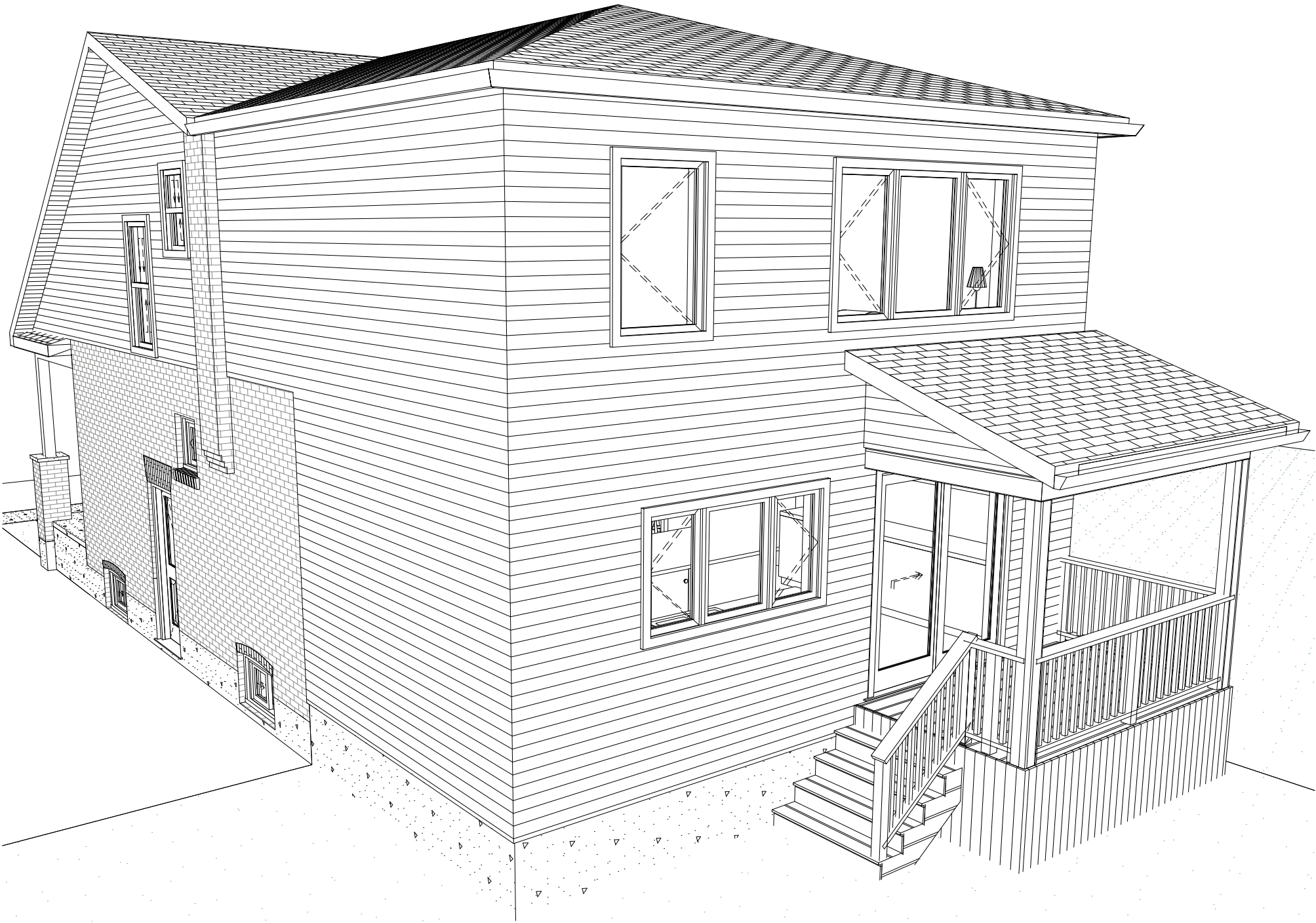
Please print name

Note: The Committee of Adjustment requires that all properties be identified with the municipal address clearly visible from the street. Where there is no municipal address or the property is vacant then the property shall be identified in accordance with the Committee's policy included on the back of the Application Form. Failure to properly identify the subject property may result in the deferral of the application.

PART 28 COLLECTION OF INFORMATION

The personal information contained on this form is collected under the authority of the *Planning Act*, R.S.O. 1990, c. P.13, and will be used for the purpose of processing the application. This information will become part of the public record and will be made available to the general public. Questions about the collection of this information should be directed to the Coordinator of Business Facilitation, Planning and Economic Development Department, City of Hamilton, 1st floor, 71 Main Street West, City Hall, Hamilton, Ontario, Telephone: 905-546-2424, ext.1284.

ISSUED FOR VARIANCE:
GUYATT RESIDENCE
260 MACNAB STREET DUNDAS ON L9H 2K3



SHANE RENOVATIONS
790 SHAVER RD. ANCASTER
L9G 3K9 ON | 905-304-4009

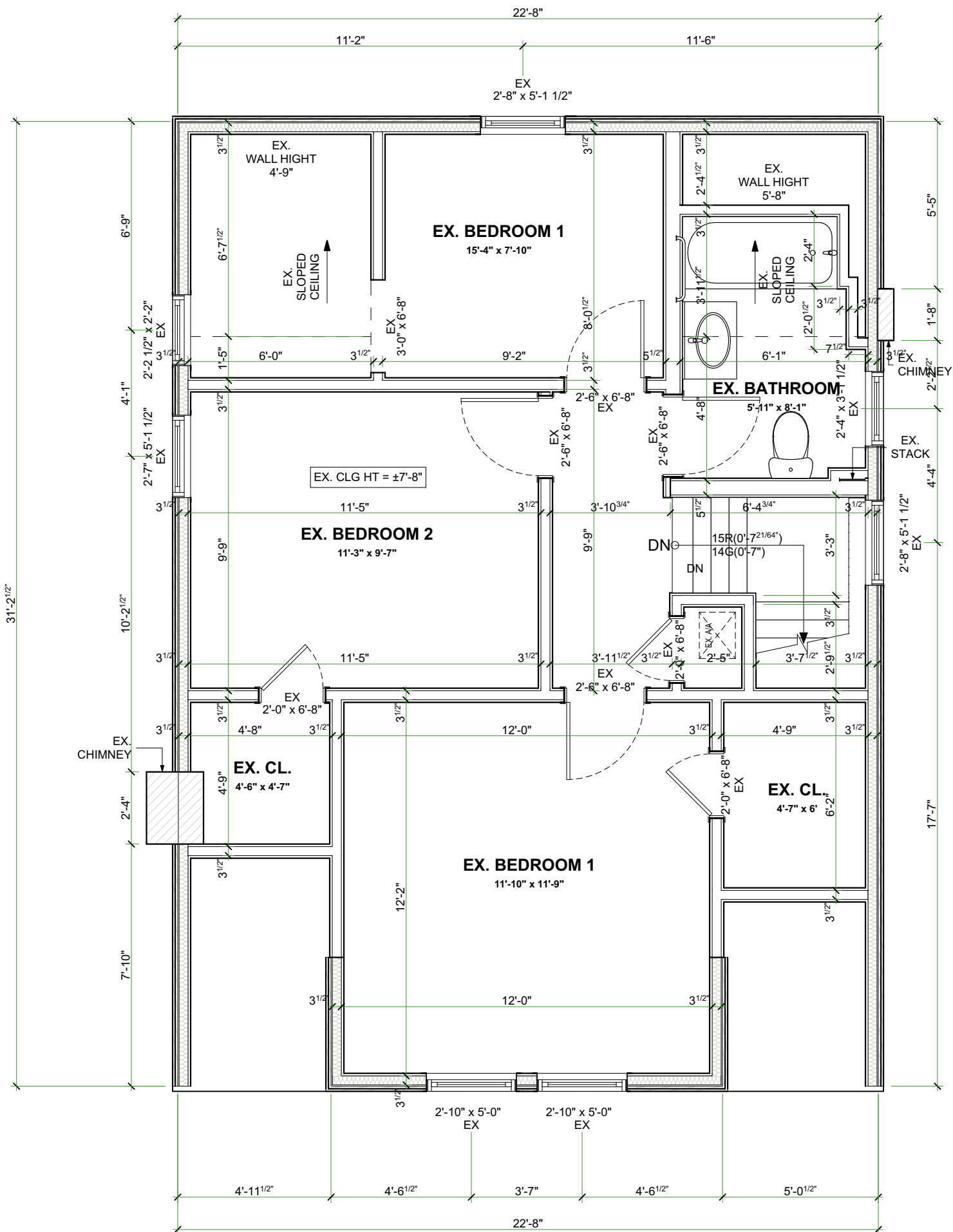
COVER SHEET
GUYATT - 2.2.pln
GUYATT RESIDENCE
260 MACNAB STREET
DUNDAS ON L9H 2K3

2020-02-06
1/8" = 1'-0"

A1



A2



SHANE RENOVATIONS
790 SHAVER RD. ANCASTER
L9G 3K9 ON | 905-304-4009

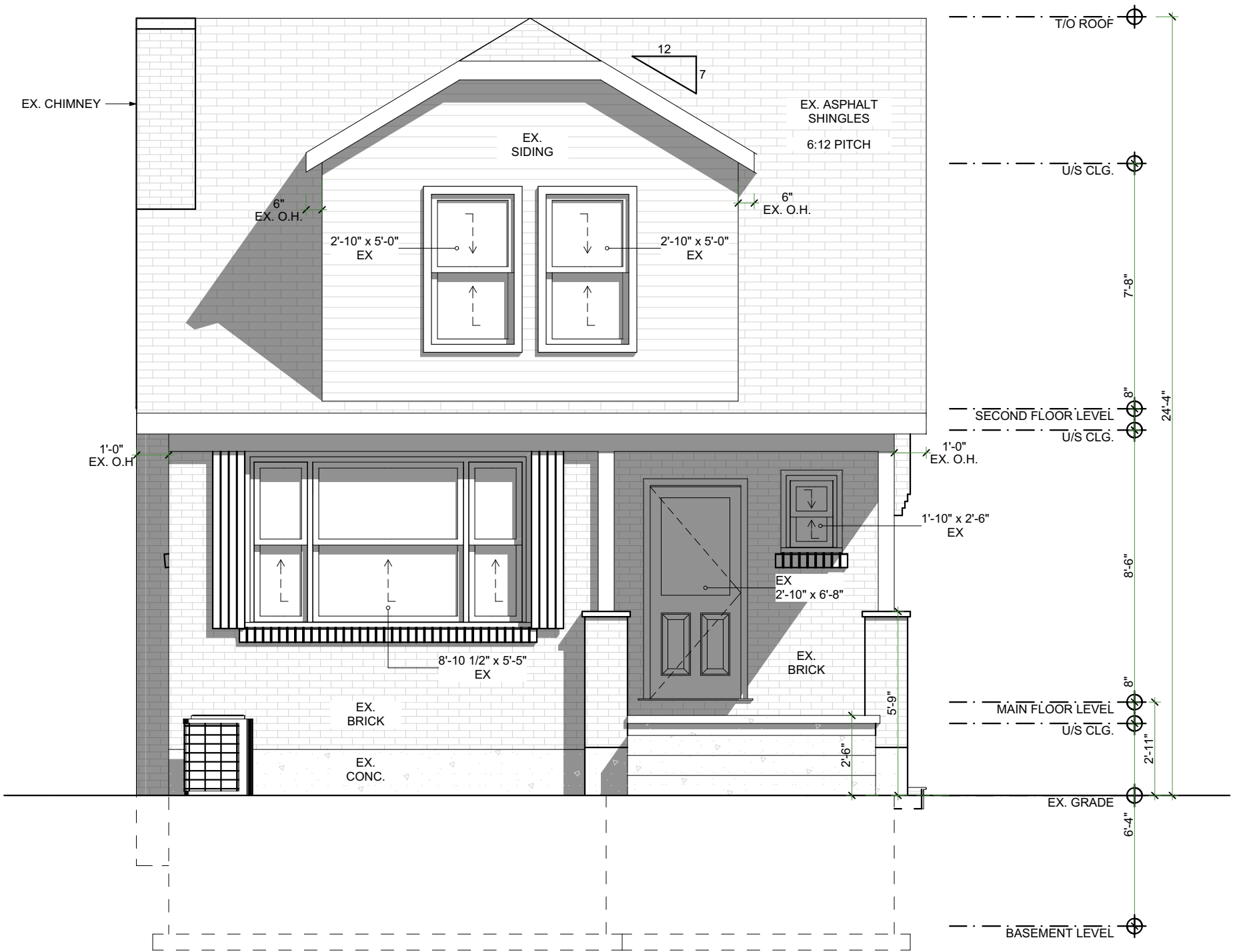
EXISTING SECOND FLOOR PLAN

GUYATT - 2.2.pln

GUYATT RESIDENCE
260 MACNAB STREET
DUNDAS ON L9H 2K3

2020-02-06
1/4" = 1'-0"

A4



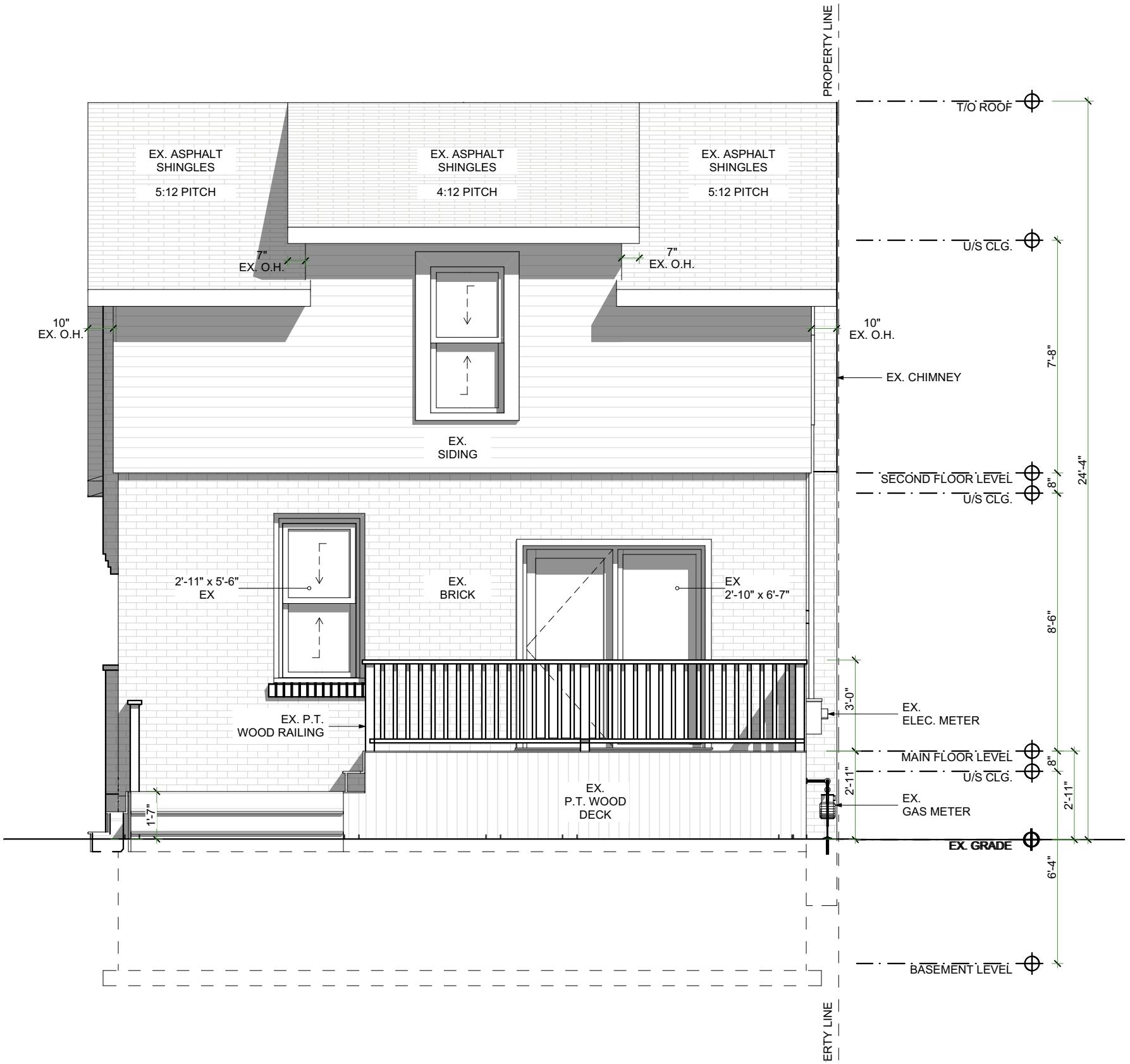
SHANE RENOVATIONS
790 SHAVER RD. ANCASTER
L9G 3K9 ON | 905-304-4009

EXISTING FRONT ELEVATION

GUYATT - 2.2.pln

GUYATT RESIDENCE
260 MACNAB STREET
DUNDAS ON L9H 2K3

2020-02-06
1/4" = 1'-0"



SHANE RENOVATIONS
790 SHAVER RD. ANCASTER
L9G 3K9 ON | 905-304-4009

EXISTING REAR ELEVATION

GUYATT - 2.2.pln

GUYATT RESIDENCE
260 MACNAB STREET
DUNDAS ON L9H 2K3

2020-02-06
1/4" = 1'-0"

A6



SHANE RENOVATIONS
790 SHAVER RD. ANCASTER
L9G 3K9 ON | 905-304-4009

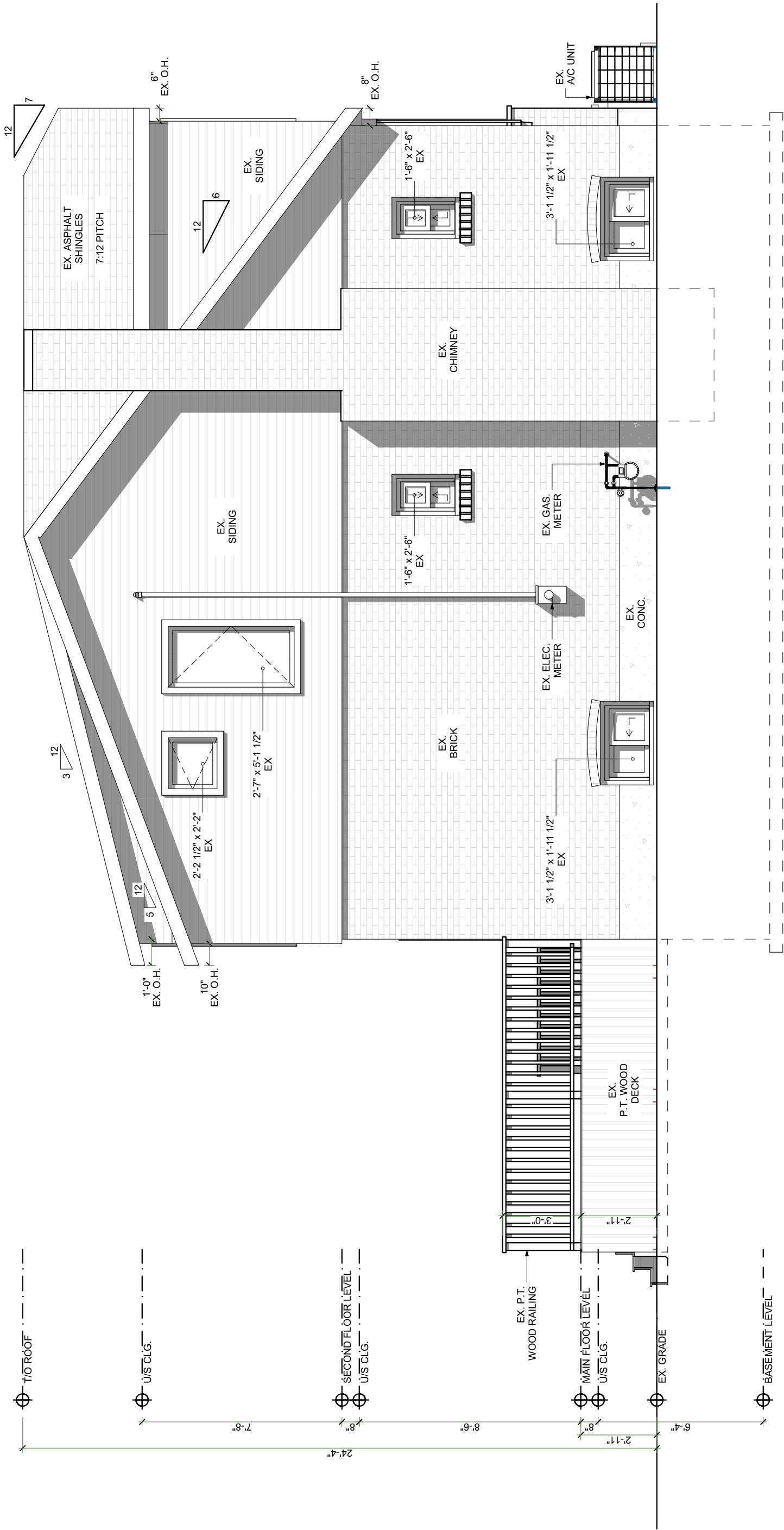
EXISTING LEFT ELEVATION

GUYATT - 2.2.pln

GUYATT RESIDENCE
260 MACNAB STREET
DUNDAS ON L9H 2K3

2020-02-06
1/4" = 1'-0"

A7





SHANE RENOVATIONS
790 SHAVER RD. ANCASTER
L9G 3K9 ON | 905-304-4009

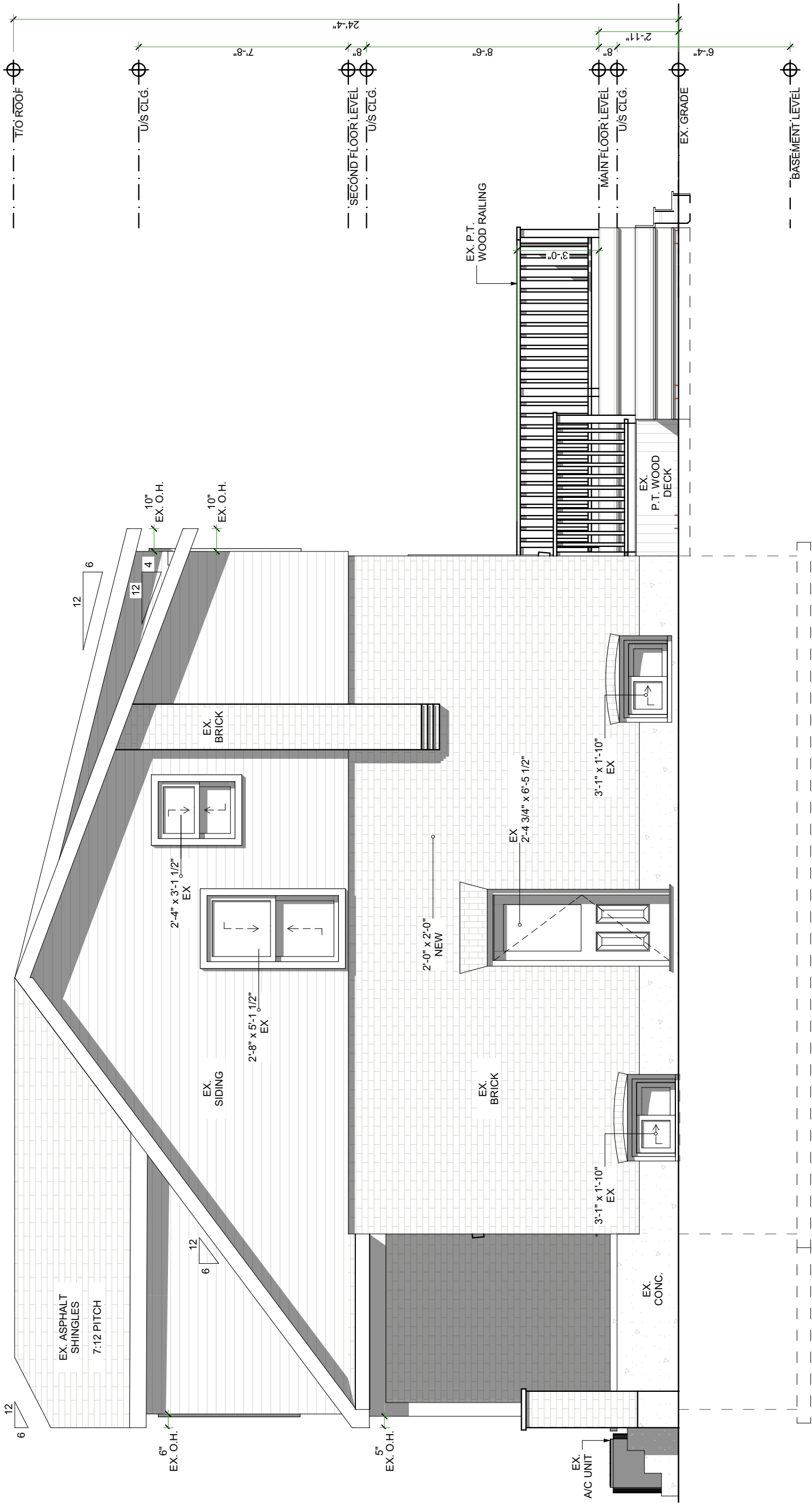
EXISTING RIGHT ELEVATION

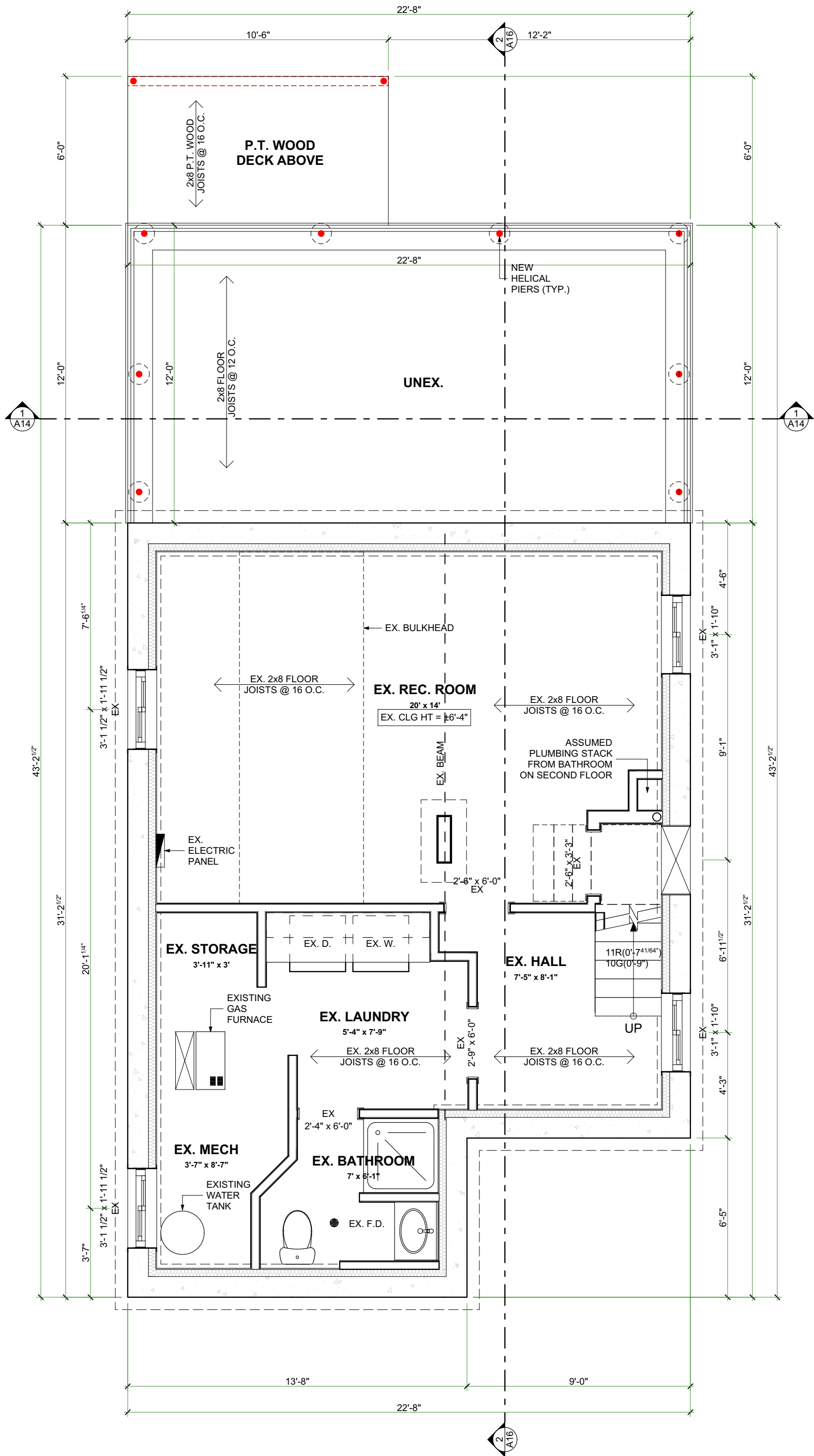
GUYATT - 2.2.pln

GUYATT RESIDENCE
260 MACNAB STREET
DUNDAS ON L9H 2K3

2020-02-06
1/4" = 1'-0"

A8





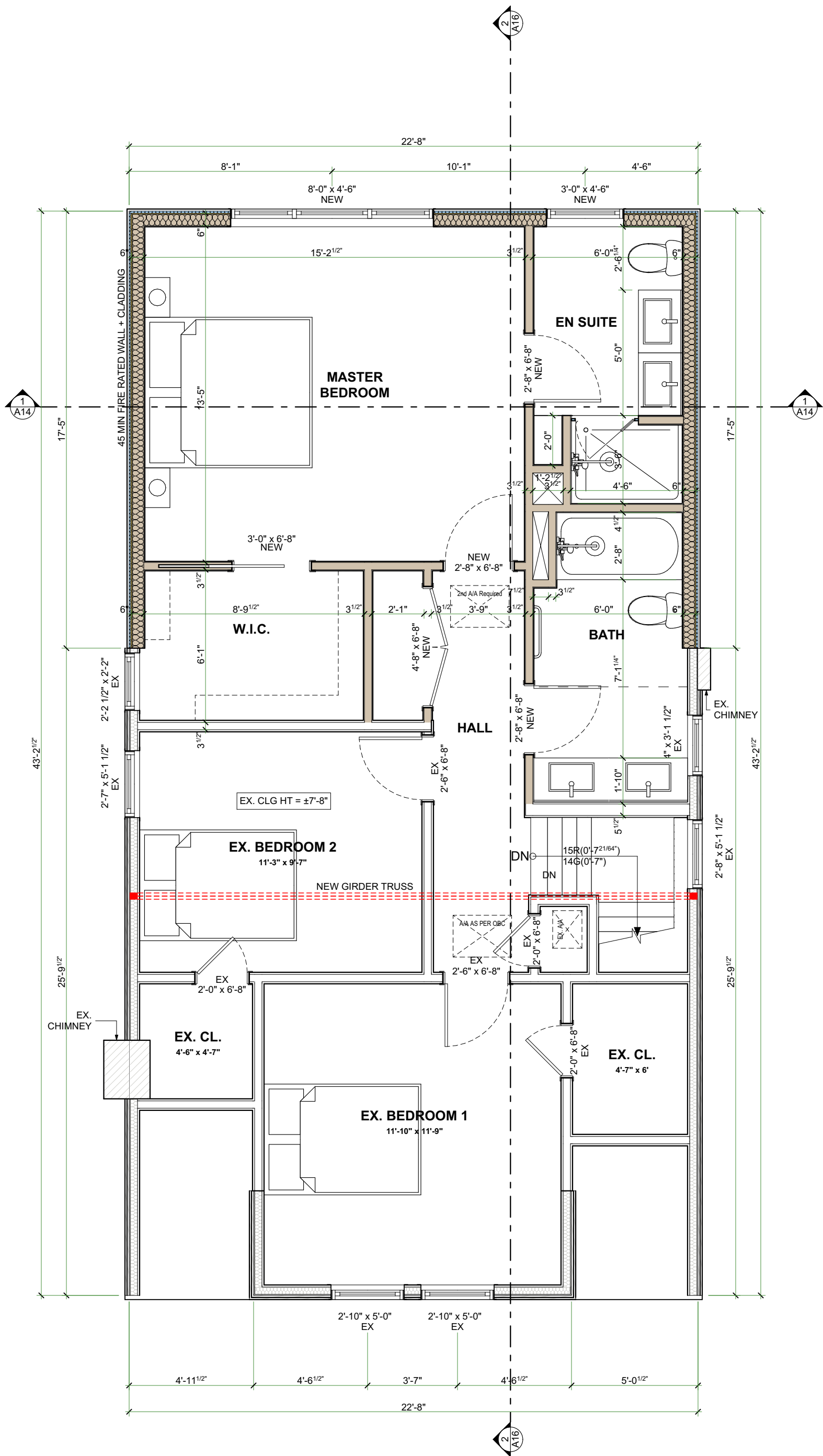
SHANE RENOVATIONS
790 SHAVER RD. ANCASTER
L9G 3K9 ON | 905-304-4009

PROPOSED BASEMENT PLAN

GUYATT - 2.2.pln

GUYATT RESIDENCE
260 MACNAB STREET
DUNDAS ON L9H 2K3

2020-02-06
1/4" = 1'-0"



SHANE RENOVATIONS
790 SHAVER RD. ANCASTER
L9G 3K9 ON | 905-304-4009

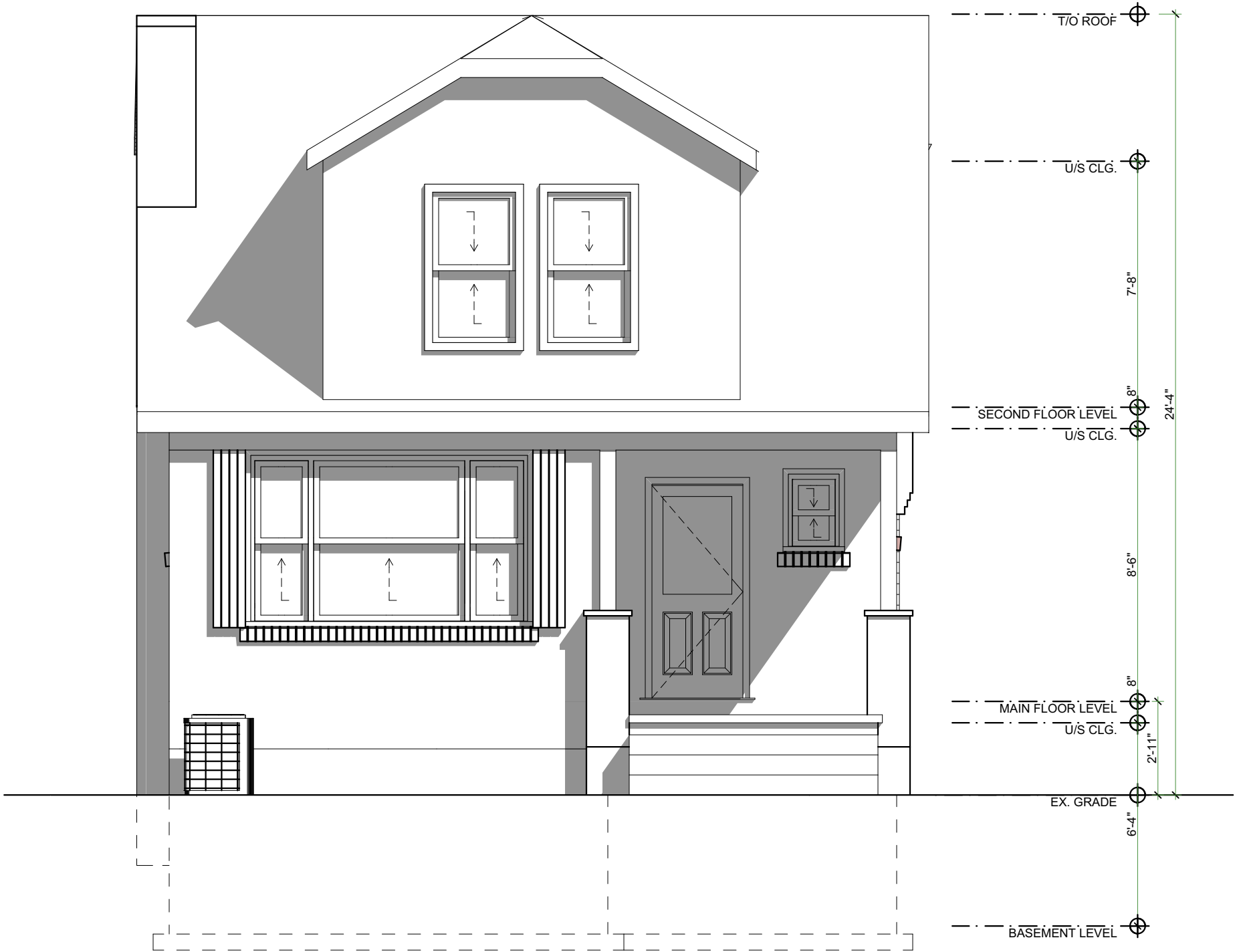
PROPOSED SECOND FLOOR PLAN

GUYATT - 2.2.pln

GUYATT RESIDENCE
260 MACNAB STREET
DUNDAS ON L9H 2K3

2020-02-06
1/4" = 1'-0"

A11



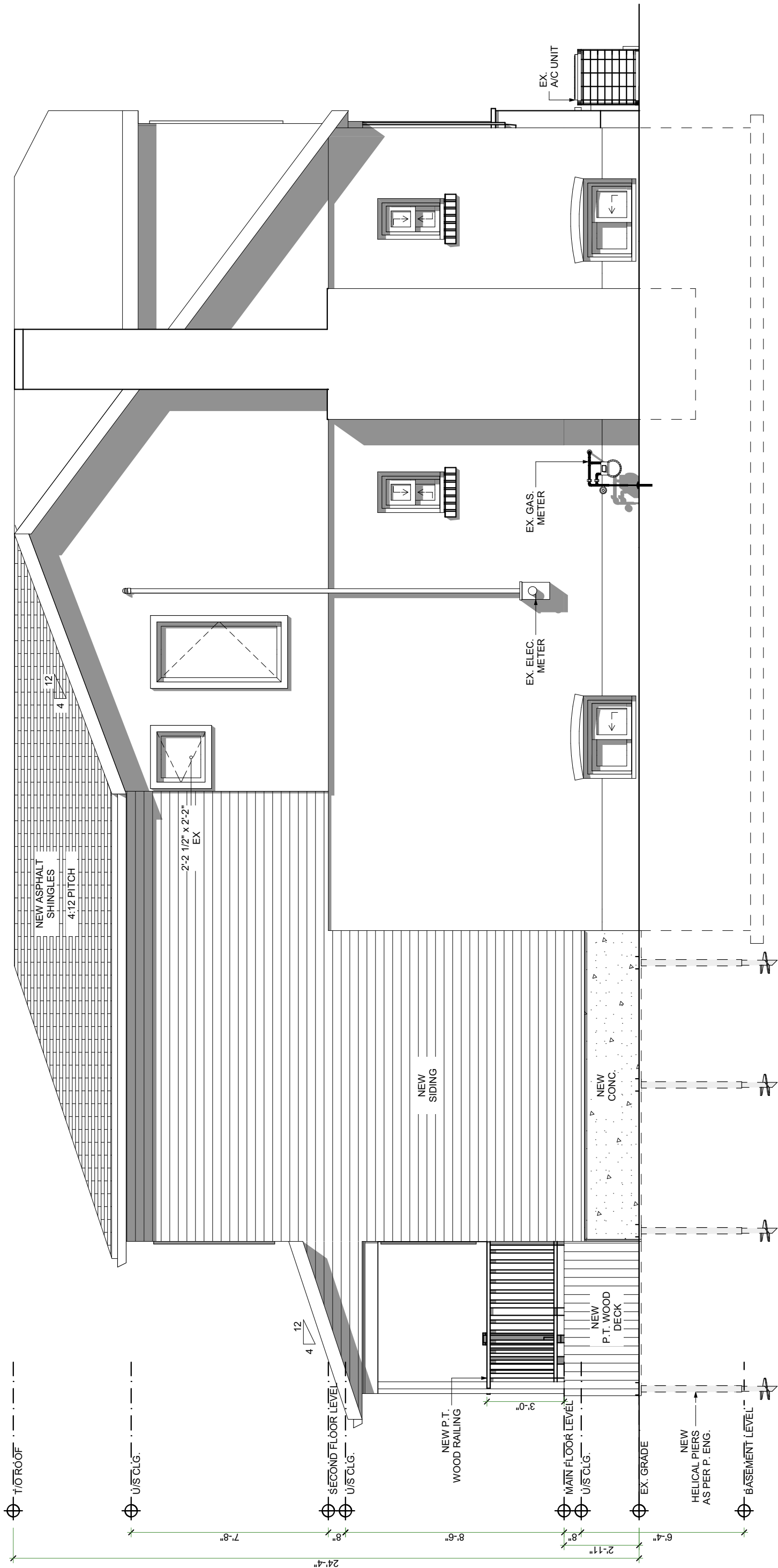
SHANE RENOVATIONS
790 SHAVER RD. ANCASTER
L9G 3K9 ON | 905-304-4009

PROPOSED FRONT ELEVATION

GUYATT - 2.2.pln

GUYATT RESIDENCE
260 MACNAB STREET
DUNDAS ON L9H 2K3

2020-02-06
1/4" = 1'-0"



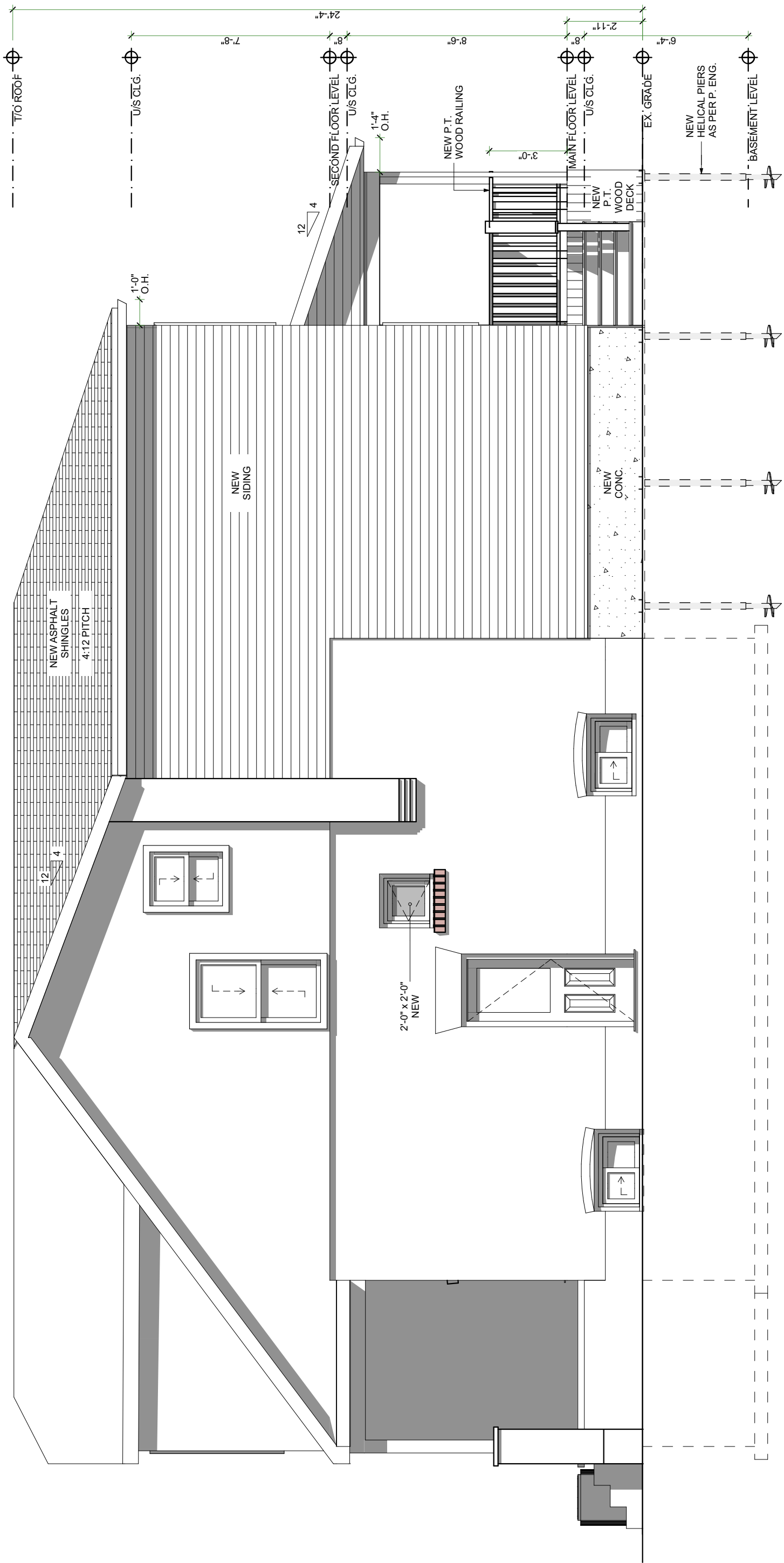
SHANE RENOVATIONS
790 SHAVER RD. ANCASTER
L9G 3K9 ON | 905-304-4009

PROPOSED LEFT ELEVATION

GUYATT - 2.2.pln

GUYATT RESIDENCE
260 MACNAB STREET
DUNDAS ON L9H 2K3

2020-02-06
1/4" = 1'-0"



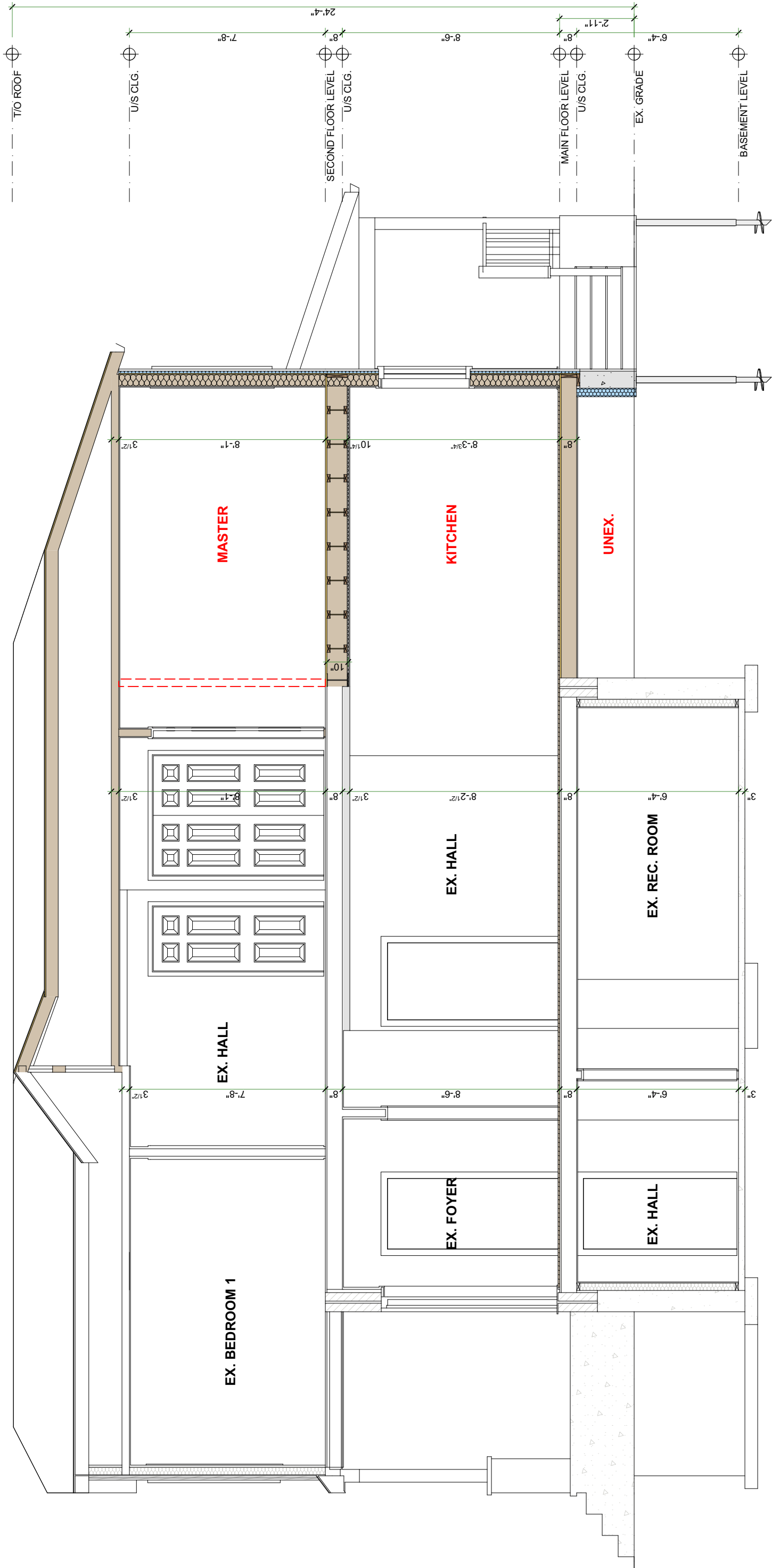
SHANE RENOVATIONS
790 SHAVER RD. ANCASTER
L9G 3K9 ON | 905-304-4009

PROPOSED RIGHT ELEVATION

GUYATT - 2.2.pln

GUYATT RESIDENCE
260 MACNAB STREET
DUNDAS ON L9H 2K3

2020-02-06
1/4" = 1'-0"



PROPOSED SECTION

GUYATT - 2.2.pln

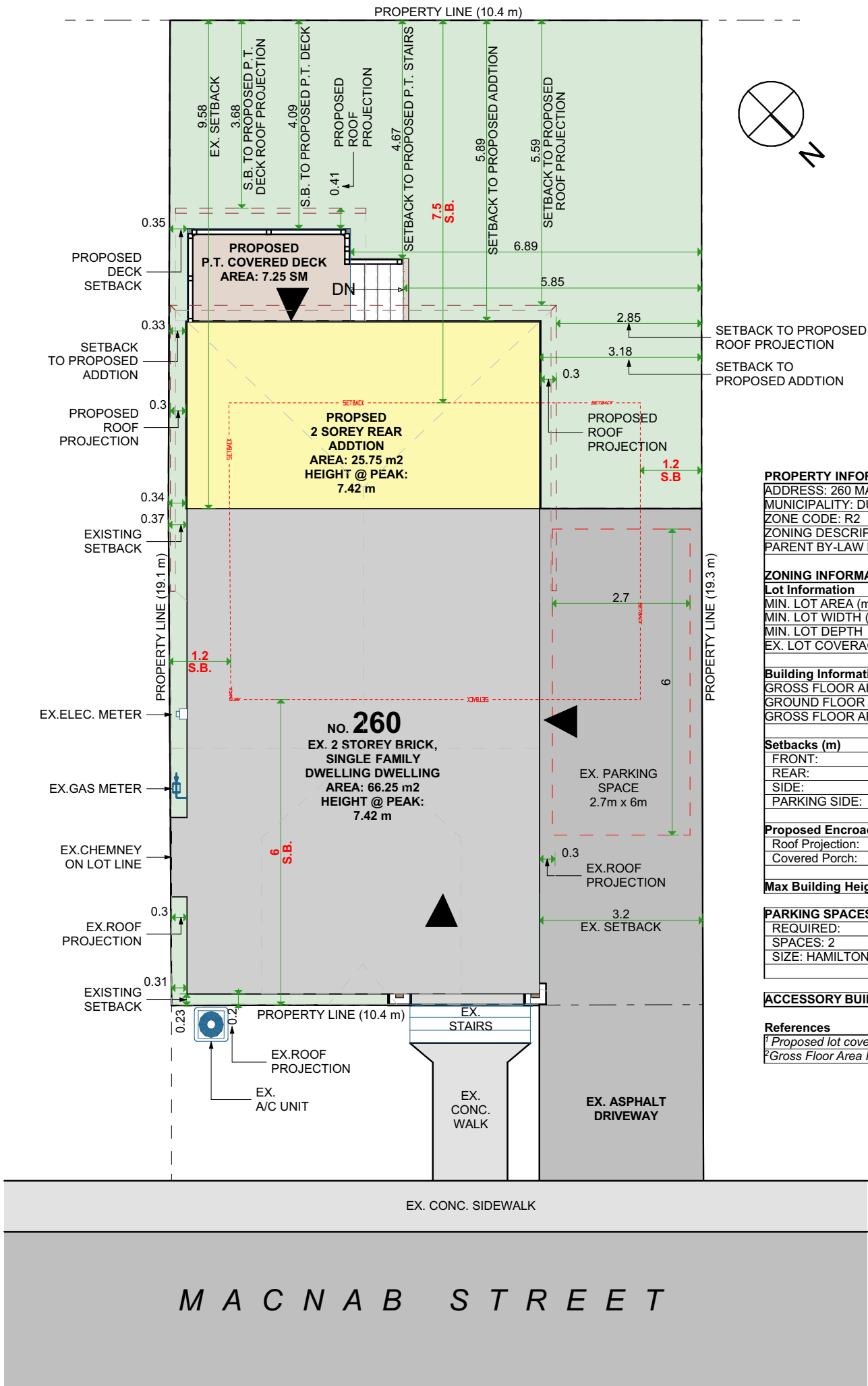
GUYATT RESIDENCE
260 MACNAB STREET
DUNDAS ON L9H 2K3

2020-02-06
1/4" = 1'-0"

A16



SHANE RENOVATIONS
790 SHAVER RD. ANCASTER
L9G 3K9 ON | 905-304-4009



| PROPERTY INFORMATION | | | |
|--|---------------|-------------------------------------|----------------|
| ADDRESS: 260 MACNAB STREET | | POSTAL CODE: L9H 2K3 | |
| MUNICIPALITY: DUNDAS | | | |
| ZONE CODE: R2 | | | |
| ZONING DESCRIPTION: SINGLE DETACHED RESIDENTIAL | | | |
| PARENT BY-LAW NUMBER: 3581-86 DUNDAS | | | |
| ZONING INFORMATION | | | |
| Lot Information | | | |
| MIN. LOT AREA (m2): 450 | | LOT AREA (m2): 201.3 | |
| MIN. LOT WIDTH (m): 15 | | ACTUAL LOT WIDTH (m): 10.8 | |
| MIN. LOT DEPTH (m): N/A | | ACTUAL LOT DEPTH (m): 19.3 | |
| EX. LOT COVERAGE (%): %30.3 | | NEW COVERAGE (%): %43 | |
| Building Information | | Existing | Proposed |
| GROSS FLOOR AREA RATIO % ² : | | 91% | 129% |
| GROUND FLOOR AREA: | | 60.85 m2 | 86.50 m2 |
| GROSS FLOOR AREA: | | 182.55 m2 | 259.50 m2 |
| Setbacks (m) | Required | Existing | Proposed |
| FRONT: | 6.00 | 0.20 | 0.20 |
| REAR: | 7.50 | 9.58 | 5.89 |
| SIDE: | 1.20 | 0.37 | 0.34 |
| PARKING SIDE: | 5.00 | 3.20 | 3.20 |
| Proposed Encroachments (m) | | | |
| Roof Projection: | | As Noted | |
| Covered Porch: | | As Noted | |
| Max Building Height (m) | Allowed: 10.5 | Existing: 7.42 | Proposed: 7.42 |
| PARKING SPACES: | | | |
| REQUIRED: | | PROVIDED: | |
| SPACES: 2 | | SPACES: 1 (EXISTING NON-CONFORMING) | |
| SIZE: HAMILTON 2.7 x 6.0m | | SIZE: HAMILTON 2.7 x 6.0m | |
| ACCESSORY BUILDINGS: | | N/A | |
| References | | | |
| ¹ Proposed lot coverage calculations = Proposed Footprint area / Lot Area | | | |
| ² Gross Floor Area Ratio Calculation: Total Gross Floor Area / Lot Area | | | |



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SITE PLAN
GUYATT - 2.2.pln
GUYATT RESIDENCE
260 MACNAB STREET
DUNDAS ON L9H 2K3

2020-02-06
1:100

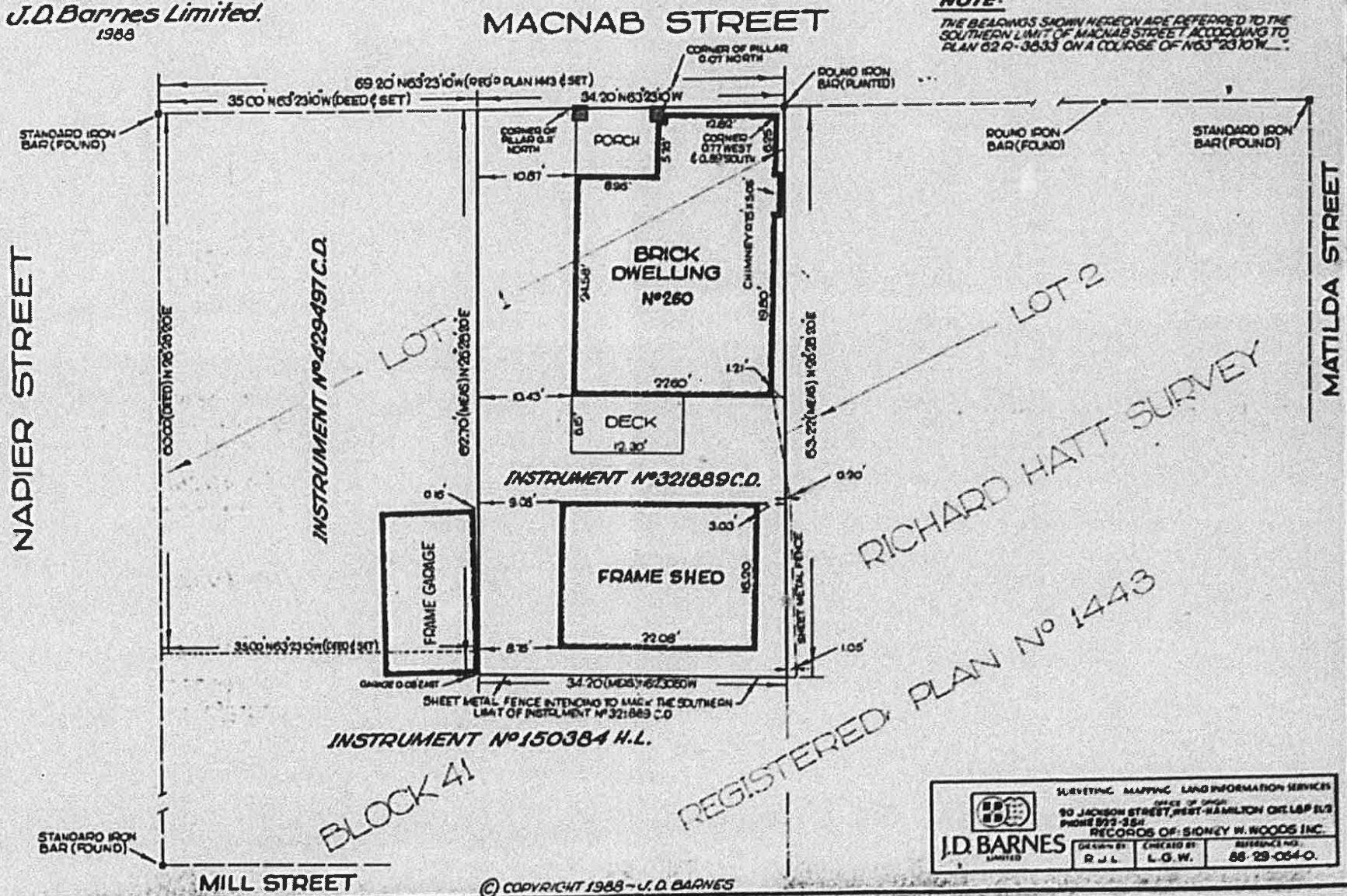
S1

PART OF LOT 1 - BLOCK 41 - RICHARD HATT SURVEY
REGISTERED PLAN NO 1443
IN THE
TOWN OF DUNDAS
IN THE
REGIONAL MUNICIPALITY OF HAMILTON - WENTWORTH
SCALE 1" = 10'
J.D. Barnes Limited.
1988

I CERTIFY THAT:
THE FIELD SURVEY REPRESENTED ON THIS PLAN
WAS COMPLETED ON THE 27TH DAY OF JULY, 1988.

JUL 15TH 1988
DATE
LAWRENCE G. WOODS O.L.S.

NOTE:
THE BEACHINGS SHOWN HEREON ARE DEFERRED TO THE
SOUTHERN LIMIT OF MACNAB STREET ACCORDING TO
PLAN 62 R-3833 ON A COURSE OF N63°23'10"W.



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SURVEY
GUYATT - 2.2.pln

GUYATT RESIDENCE
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DUNDAS ON L9H 2K3

2020-02-06
1:200

S2