



Hamilton

COMMITTEE OF ADJUSTMENT

City Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5

Telephone (905) 546-2424, ext. 4221

Fax (905) 546-4202

E-mail: morgan.evans@hamilton.ca

NOTICE OF PUBLIC HEARING
Minor Variance

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
 - Applicant/agent on file, or
 - Person likely to be interested in this application
-

APPLICATION NO.: HM-/A-20:60

APPLICANTS: Marina Fensham on behalf of the owners Charles & Jennifer Warford

SUBJECT PROPERTY: Municipal address **69 Aikman Ave., City of Hamilton**

ZONING BY-LAW: Zoning By-law 6593, as Amended

ZONING: "E" (Multiple Dwellings, Lodges, Clubs and etc.) district

PROPOSAL: To permit the conversion of the existing three (3) family dwelling under Section 19 (Residential Conversion Requirements) of the Zoning By-law to contain four (4) dwelling units, notwithstanding,

1. A minimum lot area of 360 square metres shall be provided instead of the minimum required lot area of 450 square metres;

2. No on-site parking spaces shall be provided instead of providing a minimum of five (5) parking spaces, which includes one (1) parking space required to be designated as visitor parking, which are required for a multiple dwelling containing four (4) dwelling units; and,

3. The "proposed new fire escape" (open stair and balcony) shall be permitted to encroach the entire width of the required easterly side yard instead of the maximum permitted encroachment of 1.0 metre or 1/3 the width of the required side yard, whichever is lesser.

NOTES:

1. A further variance will be required if a minimum floor area of 65 square metres is not contained within each dwelling unit.

2. The applicant shall ensure the minimum clear height as required by the Ontario Building Code is provided for the required floor area in each dwelling unit.

3. Details have not been provided to calculate the minimum required side yard width to determine the maximum encroachment permitted for the proposed open stair and balcony.

4. The requested variances for the location of the existing buildings are not required as these are existing conditions and deemed to be legally established non-complying.

This application will be heard by the Committee as shown below:

.../2

DATE: Thursday, July 9th, 2020
TIME: 3:20 p.m.
PLACE: Via video link or call in (see attached sheet for details)
To be streamed at www.hamilton.ca/committeeofadjustment
for viewing purposes only

PUBLIC INPUT

Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

Orally: If you would like to speak to this item at the hearing you may do so via video link or by calling in. Please see attached page for complete instructions, including deadlines for registering to participate.

MORE INFORMATION

For more information on this matter, including access to drawings illustrating this request:

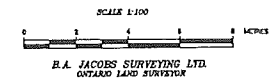
- Visit www.hamilton.ca/committeeofadjustment
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935
- Email Committee of Adjustment staff at cofa@hamilton.ca

DATED: June 23rd, 2020.

Original Signed

Jamila Sheffield,
Secretary-Treasurer
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public.



METRIC NOTE:
DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE
CONVERTED TO FEET BY DIVIDING BY 0.3048.

BEARING NOTE:
BEARINGS ARE ASTROLOGIC AND ARE REFERRED TO THE
NORTHERLY LIMIT OF ARMAN AVENUE AS SHOWN ON
REGISTERED PLAN 210, HAVING A BEARING OF N 72° 00' W.

- LEGEND:
- DENOTES SURVEY MONUMENT FOUND
 - DENOTES SURVEY MONUMENT PLACED
 - SB DENOTES STANDARD IRON BAR
 - SB DENOTES IRON BAR
 - CP DENOTES CONCRETE PIN
 - WE DENOTES WITNESS
 - (CU) DENOTES CROWN UNKNOWN
 - P1 DENOTES REGISTERED PLAN 210
 - P2 DENOTES PLAN BY A.J. CLARKE O.L.S. (FILE H-2416)
 - P3 DENOTES PLAN BY ADENMARKT MOUWENS LTD.
 - DATED: AUGUST 28, 2015
 - P4 DENOTES PLAN BY THIS OFFICE (FILE: 85-553)
 - P5 DENOTES REGISTERED PLAN 165
 - D1 DENOTES INSTRUMENT No. C053311
 - D2 DENOTES INSTRUMENT No. C045311
 - (P12) DENOTES A.J. CLARKE O.L.S.
 - (1511) DENOTES G.V. CHISHOLM O.L.S.

SURVEYOR'S REAL PROPERTY REPORT
PART 2 - REPORT SUMMARY

DESCRIPTION OF LAND
BEING PART OF LOTS 18 & 19, REGISTERED PLAN 210, KNOWN AS
PARCELS No. 18 ARMAN AVENUE, CITY OF HAMILTON

REGISTERED EASEMENTS AND/OR RIGHTS OF WAY
NO EASEMENTS LISTED ON THE PARCEL REGISTER FOUND IN THE
LAND REGISTRY OFFICE.

BOUNDARY FEATURES
NOTE LOCATION OF THE FENCES AS THEY RELATE TO THE
BOUNDARIES OF THE SUBJECT PROPERTY.
PORTION OF THE MOOSEHOLE'S DECK IS BEYOND THE EASTERLY
BOUNDARY OF THE PROPERTY.
THERE IS A UTILITY POLE PARTIALLY WITHIN THE LIMITS OF THE
PROPERTY; NO EASEMENT IS LISTED ON THE PARCEL REGISTER.
PORTION OF THE ASPHALT DRIVEWAY IS BEYOND THE WESTERLY
BOUNDARY OF THE PROPERTY.

COMPLIANCE WITH MUNICIPAL ZONING BY-LAWS
NOT CERTIFIED BY THIS REPORT



THIS REPORT WAS PREPARED FOR CHARLES & JENNIFER WATFORD

SURVEYOR'S CERTIFICATE

- I CERTIFY THAT:
- THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEY ACT, THE SURVEYORS ACT AND THE REGULATIONS MADE UNDER THEM.
 - THE SURVEY WAS COMPLETED ON DECEMBER 17, 2015.

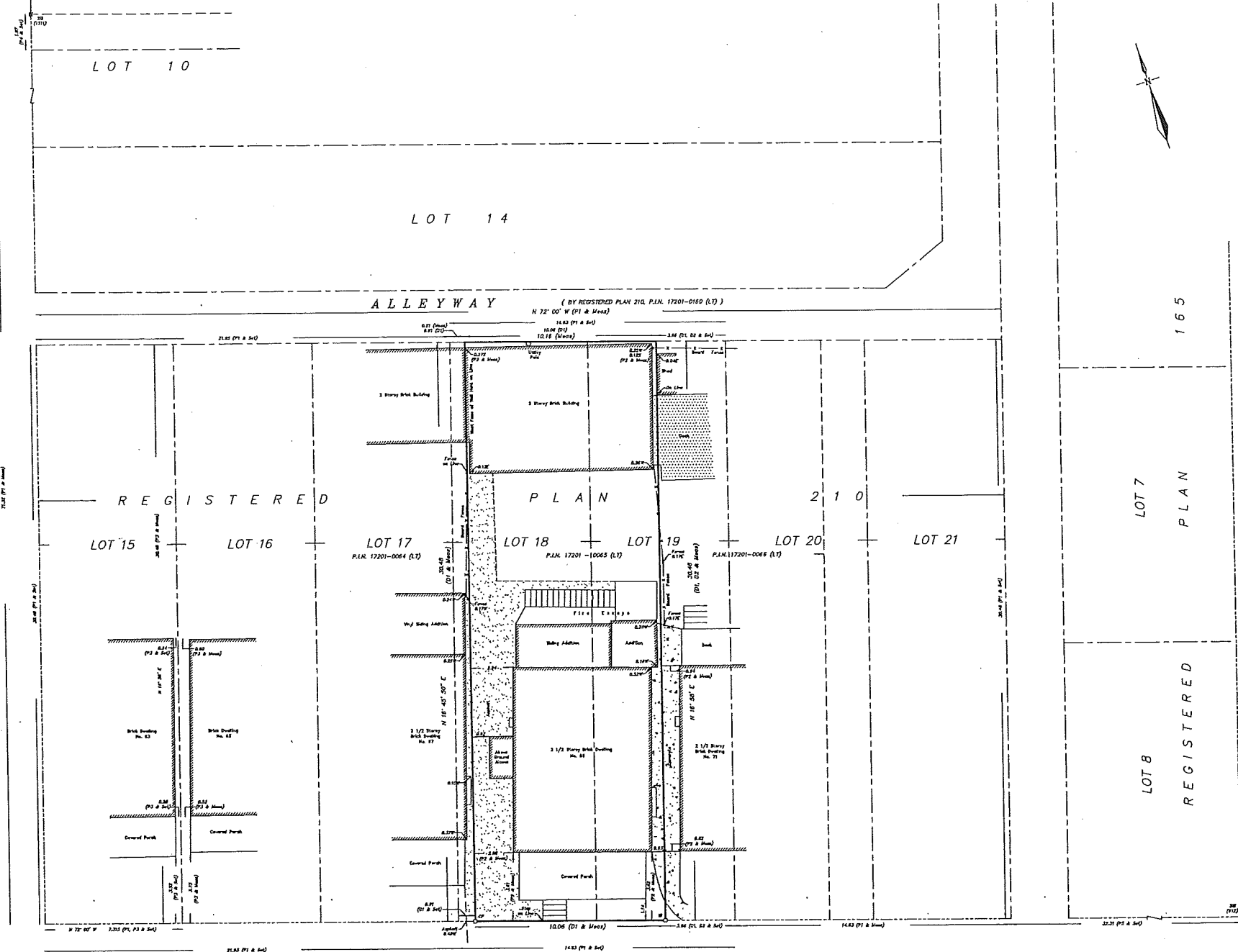
DECEMBER 17, 2015
DATE
BRYAN JACOBS
ONTARIO LAND SURVEYOR

B.A. JACOBS SURVEYING LTD.
188 JACKSON STREET EAST, SUITE 101
HAMILTON, ONTARIO (L8N 1L3)
PHONE 905-661-1635 b.jacobs@bajacobs.com

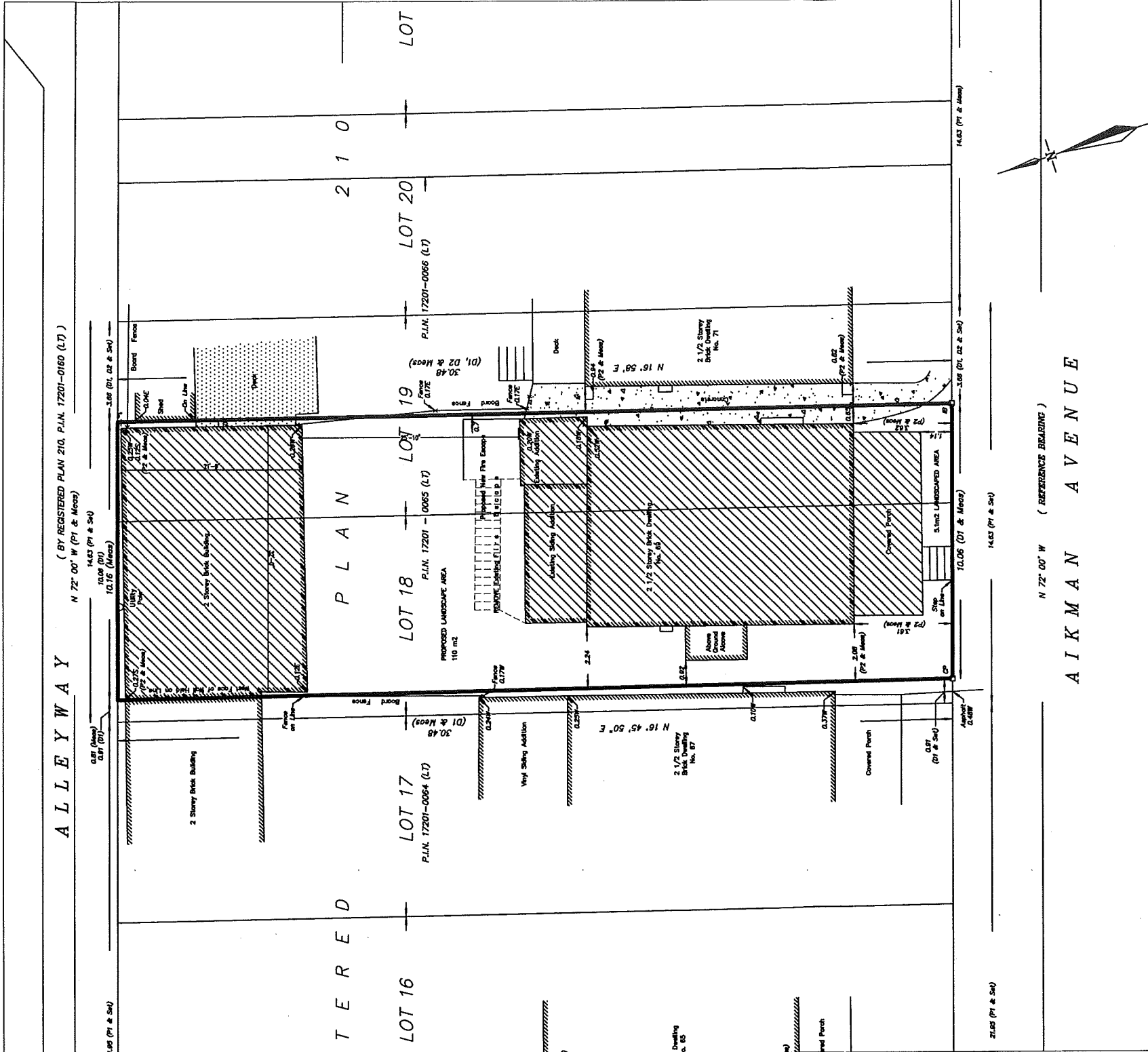
Am 1A 2010
Sketch 1

SANFORD AVENUE SOUTH

ARTHUR AVENUE

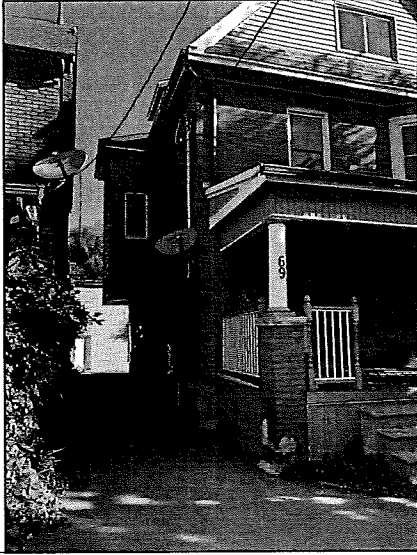


AIKMAN AVENUE
(BY REGISTERED PLAN 87, P.L.N. 17201-0181 (L1))



Zoning Code E
Zoning Description MULTIPLE DWELLINGS, LODGES, CLUBS, ETC.
Parent Bylaw Number 6593
FORMER HAMILTON

SITE STATISTICS
Lot Area: 308.6m2
Landscaped Area: 55.1m2 / 17.9%
Existing Setbacks:
Front - 1.14m
Side West: 0m Rear Building
2.08 Front Building
Side East: 0.25m Rear Building & Bicycle Storage
Rear: 0.15m



CONTRACTOR IS TO CHECK AND VERIFY ALL DIMENSIONS ON THE JOB SITE AND NOTIFY DESIGNERS OF ALL DISCREPANCIES BEFORE INITIATING WORK.
ALL DRAWINGS ARE THE PROPERTY OF THINKGIRAFFE.
DRAWINGS ARE NOT TO BE REPRODUCED WITHOUT WRITTEN PERMISSION FROM DESIGNERS.
PRINTS ARE NOT TO BE SCALED.

Marina Ferozhan, Owner thinkGiraffe Design has reviewed and taken responsibility for the design activities described in this drawing set under OSC 2.17.4.7 (1) (i)
OCIN: 21574 / 27645

4m/A 20:60
Sketch 2

February 12, 2020 ISSUE FOR VARIANCE		
REMARKS	DATE	NO.
REVISIONS		

thinkGiraffe
ENVIRONMENTAL DESIGN
16 Sulphear Springs Road,
Ancaster, ON, L9G 1L8
905 304 1496
thinkgiraffe@belsnet.ca

PROJECT
Triplex Renovation
Existing Basement Apt
Added
69 Aikman Avenue
Hamilton, On.

SHEET TITLE
SITE PLAN

FOLDER	DRAWN BY MLF
FILE	SCALE 1"=1'-0"
DATE	NUMBER

A1



Hamilton

Planning and Economic Development Department
Planning Division

Committee of Adjustment
City Hall
5th floor 71 Main Street West
Hamilton, Ontario L8P 4Y5

Phone (905) 546-2424 ext.4221
Fax (905) 546-4202

**PLEASE FILL OUT THE FOLLOWING PAGES AND
RETURN TO THE CITY OF HAMILTON PLANNING
DEPARTMENT.**

FOR OFFICE USE ONLY.

APPLICATION NO. HM/A-20-60 DATE APPLICATION RECEIVED Feb. 14/20

PAID _____ DATE APPLICATION DEEMED COMPLETE _____

SECRETARY'S
SIGNATURE _____

**CITY OF HAMILTON
COMMITTEE OF ADJUSTMENT
HAMILTON, ONTARIO**

69 Aikman The Planning Act Planner Review:
Application for Minor Variance or for Permission Jennifer Allen

The undersigned hereby applies to the Committee of Adjustment for the City of Hamilton under Section 45 of the *Planning Act*, R.S.O. 1990, Chapter P.13 for relief, as described in this application, from the Zoning By-law.

1. Name of Owner Charles and Jennifer Warford Telephone No. _____

3. Name of Agent Marina Fensham Telephone No. _____

Note: Unless otherwise requested all communications will be sent to the agent, if any.

5. Names and addresses of any mortgagees, holders of charges or other encumbrances:

Postal Code _____

Postal Code _____

- (Multiple)
42 Dwellings
- E District Section 18 (8)
6. Nature and extent of relief applied for:
- Add Basement Unit to Existing Triplex : Street Parking Reduction (No Parking)
- 3 (i) b • Front Yard (Existing) if ~~Applicable~~
- 3 (ii) b • Side Yard if ~~Applicable~~ 0m / 0.25m
- 3 (iii) b • Rear Yard (Sec Coach House) 0.15m
- 4 (iii) Lot Width and Area (6) Landscaped Area 17.9%
7. Why it is not possible to comply with the provisions of the By-law?
- Buildings are existing

8. Legal description of subject lands (registered plan number and lot number or other legal description and where applicable, street and street number):

Reg Plan 210

Part of Lots 18 and 19

69 Aikman Ave.

9. PREVIOUS USE OF PROPERTY

Residential X Industrial Commercial

Agricultural Vacant

Other

- 9.1 If Industrial or Commercial, specify use

- 9.2 Has the grading of the subject land been changed by adding earth or other material, i.e. has filling occurred?

Yes No ✓ Unknown

- 9.3 Has a gas station been located on the subject land or adjacent lands at any time?

Yes No ✓ Unknown

- 9.4 Has there been petroleum or other fuel stored on the subject land or adjacent lands?

Yes No ✓ Unknown

- 9.5 Are there or have there ever been underground storage tanks or buried waste on the subject land or adjacent lands?

Yes No ✓ Unknown

- 9.6 Have the lands or adjacent lands ever been used as an agricultural operation where cyanide products may have been used as pesticides and/or sewage sludge was applied to the lands?

Yes No ✓ Unknown

- 9.7 Have the lands or adjacent lands ever been used as a weapon firing range?

Yes No ✓ Unknown

- 9.8 Is the nearest boundary line of the application within 500 metres (1,640 feet) of the fill area of an operational/non-operational landfill or dump?

Yes No ✓ Unknown

- 9.9 If there are existing or previously existing buildings, are there any building materials remaining on site which are potentially hazardous to public health (eg. asbestos, PCB's)?

Yes No ✓ Unknown

9.10 Is there any reason to believe the subject land may have been contaminated by former uses on the site or adjacent sites?

Yes _____ No ☒ Unknown _____

9.11 What information did you use to determine the answers to 9.1 to 9.10 above?

Existing Conditions

9.12 If previous use of property is industrial or commercial or if YES to any of 9.2 to 9.10, a previous use inventory showing all former uses of the subject land, or if appropriate, the land adjacent to the subject land, is needed.

Is the previous use inventory attached? Yes _____ No _____

ACKNOWLEDGEMENT CLAUSE

I acknowledge that the City of Hamilton is not responsible for the identification and remediation of contamination on the property which is the subject of this Application – by reason of its approval to this Application.

February 11, 2020
Date

J. Warford
Signature Property Owner

Jennifer Warford Charles Warford
Print Name of Owner

10. Dimensions of lands affected:

Frontage 10.06 m
Depth 30.48 m
Area 306.6 m²
Width of street _____

11. Particulars of all buildings and structures on or proposed for the subject lands:
(Specify ground floor area, gross floor area, number of stories, width, length, height, etc.)

Existing: Front Residence 88.3m Area / 219.7m² Gross Area
2.5 Storeys
In Rear Yard: 2 storey Coachhouse with
2 apartments (Permission pending in Future. Unoccupied)
Proposed: 21'-9" x 32'-0" = 64.56m² Area 129.1m² GFA
No Additions Proposed

12. Location of all buildings and structures on or proposed for the subject lands;
(Specify distance from side, rear and front lot lines)

Existing: See Site Plan
Two Buildings
Lot Coverage: 306.6m² - 88.3m - 64.56m
= 49.85%
Proposed: No Change

PART 24 AFFIDAVIT OR SWORN DECLARATION

This declaration to be sworn by a Commissioner of Oaths.

PART 25 OWNERS AUTHORIZATION

As of the date of this application, I (NAME) Charles and Jennifer Warford am the registered Owner of the lands described in this application, and I have examined the contents of this application and hereby certify that the information submitted with the application is correct insofar as I have knowledge of these facts, and I hereby authorize:

Marina Fensham of City of Hamilton

to act as my agent in this matter and to provide any of my personal information that will be included in this application or collected during the processing of the application.

DATE February 11, 2020

SIGNED 

PART 26 CONSENT OF THE OWNER

Complete the consent of the owner concerning personal information set out below.

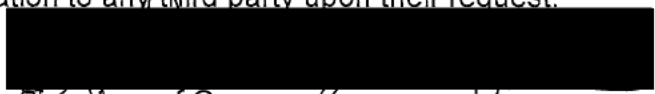
Consent of Owner to the Disclosure of Application Information and Supporting Documentation

Application information is collected under the authority of the *Planning Act*, R.S.O. 1990, c. P.13. In accordance with that Act, it is the policy of the City of Hamilton to provide public access to all *Planning Act* applications and supporting documentation submitted to the City.

I, Charles and Jennifer Warford the Owner, hereby agree and acknowledge
(Print name of Owner)

that the information contained in this application and any documentation, including reports, studies and drawings, provided in support of the application, by myself, my agents, consultants and solicitors, constitutes public information and will become part of the public record. As such, and in accordance with the provisions of the *Municipal Freedom of Information and Protection of Privacy Act*, R.S.O. 1990, c. M.56, I hereby consent to the City of Hamilton making this application and its supporting documentation available to the general public, including copying and disclosing the application and its supporting documentation to any third party upon their request.

February 11, 2020
Date


Signature of Owner

13. Date of acquisition of subject lands:
June 3 2019
14. Date of construction of all buildings and structures on subject lands:
Approx 1930
15. Existing uses of the subject property: Triplex + Duplex
Existing triplex in front. Existing 2 units
in rear building - Currently vacant.
16. Existing uses of abutting properties: Residential
SF Dwellings as far as we know
17. Length of time the existing uses of the subject property have continued:
Approx since 1970
18. Municipal services available: (check the appropriate space or spaces)
Water ✓ Connected ✓
Sanitary Sewer ✓ Connected ✓
Storm Sewers ✓
19. Present Official Plan/Secondary Plan provisions applying to the land:
Zoning
20. Present Restricted Area By-law (Zoning By-law) provisions applying to the land:
Zoning By Law 6593
21. Has the owner previously applied for relief in respect of the subject property?
Yes No
If the answer is yes, describe briefly.

22. Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?
Yes No
23. The applicant shall attach to each copy of this application a plan showing the dimensions of the subject lands and of all abutting lands and showing the location, size and type of all buildings and structures on the subject and abutting lands, and where required by the Committee of Adjustment such plan shall be signed by an Ontario Land Surveyor.

NOTE: It is required that two copies of this application be filed with the secretary-treasurer of the Committee of Adjustment together with the maps referred to in Section 5 and be accompanied by the appropriate fee in cash or by cheque made payable to the City of Hamilton.

PART 27 PERMISSION TO ENTER

Date: Feb 14, 2020


Secretary/Treasurer
Committee of Adjustment
City of Hamilton,
City Hall

Dear Secretary/Treasurer;

Re: Application to Committee of Adjustment

Location of Land: 69 Aikman Avenue Hamilton
(Municipal address)

I hereby authorize the members of the Committee of Adjustment and members of the staff of the City of Hamilton to enter on to the above-noted property for the limited purposes of evaluating the merits of this application.


Signature of Owner or Authorized agent

Marina Fensham

Please print name

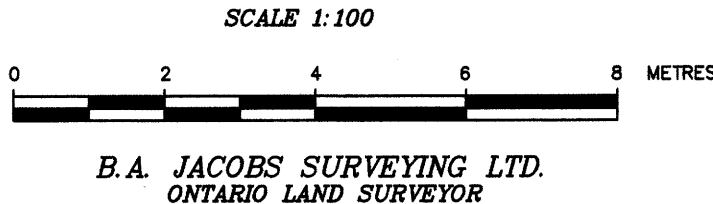
Note: The Committee of Adjustment requires that all properties be identified with the municipal address clearly visible from the street. Where there is no municipal address or the property is vacant then the property shall be identified in accordance with the Committee's policy included on the back of the Application Form. Failure to properly identify the subject property may result in the deferral of the application.

PART 28 COLLECTION OF INFORMATION

The personal information contained on this form is collected under the authority of the *Planning Act*, R.S.O. 1990, c. P.13, and will be used for the purpose of processing the application. This information will become part of the public record and will be made available to the general public. Questions about the collection of this information should be directed to the Coordinator of Business Facilitation, Planning and Economic Development Department, City of Hamilton, 1st floor, 71 Main Street West, City Hall, Hamilton, Ontario, Telephone: 905-546-2424, ext.1284.

6 Nature of Relief
E District Section 18/8 (Multiple Dwellings) Section 8
• Parking Reduction for proposed basement unit in existing triplex.
• 3(i)b Front Yard 1.14 m
• 3(ii)b Side Yard 0.2 m East Front building
0.26 m East Rear building
0.92 m West Front Building
0 m West Rear building
• 3(iii)b Rear Yard Rear building 0.15 m

SURVEYOR'S REAL PROPERTY REPORT - PART 1
PLAN OF
PART OF LOTS 18 & 19
REGISTERED PLAN 210
CITY OF HAMILTON



B.A. JACOBS SURVEYING LTD.
ONTARIO LAND SURVEYOR

METRIC NOTE:
DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE
CONVERTED TO FEET BY DIVIDING BY 0.3048.

BEARING NOTE:
BEARINGS ARE ASTROMOMIC AND ARE REFERRED TO THE
NORTHERLY LIMIT OF AIKMAN AVENUE AS SHOWN ON
REGISTERED PLAN 210, HAVING A BEARING OF N 72° 00' W.

- LEGEND:
- DENOTES SURVEY MONUMENT FOUND
 - DENOTES SURVEY MONUMENT PLANTED
 - SB DENOTES STANDARD IRON BAR
 - IB DENOTES IRON BAR
 - CP DENOTES CONCRETE PIN
 - WT. DENOTES WITNESS
 - (OU) DENOTES ORIGIN UNKNOWN
 - P1 DENOTES REGISTERED PLAN 210
 - P2 DENOTES PLAN BY A.J. CLARKE O.L.S. (FILE H-2416)
 - P3 DENOTES PLAN BY ASHENHURST NOUWENS LTD. DATED: AUGUST 28, 2015.
 - P4 DENOTES PLAN BY THIS OFFICE (FILE: 88-583)
 - P5 DENOTES REGISTERED PLAN 165
 - D1 DENOTES INSTRUMENT No. C053511
 - D2 DENOTES INSTRUMENT No. C0453111
 - (912) DENOTES A.J. CLARKE O.L.S.
 - (1511) DENOTES G.V. CONSOLI O.L.S.

SURVEYOR'S REAL PROPERTY REPORT
PART 2 - REPORT SUMMARY

DESCRIPTION OF LAND
BEING PART OF LOTS 18 & 19, REGISTERED PLAN 210, KNOWN AS
MUNICIPAL No. 69 AIKMAN AVENUE, CITY OF HAMILTON

REGISTERED EASEMENTS AND/OR RIGHTS OF WAY
NO EASEMENTS LISTED ON THE PARCEL REGISTER FOUND IN THE
LAND REGISTRY OFFICE.

BOUNDARY FEATURES
NOTE LOCATION OF THE FENCES AS THEY RELATE TO THE
BOUNDARIES OF THE SUBJECT PROPERTY.
PORTION OF THE NEIGHBOUR'S DECK IS BEYOND THE EASTERLY
BOUNDARY OF THE PROPERTY.
THERE IS A UTILITY POLE PARTIALLY WITHIN THE LIMITS OF THE
PROPERTY. NO EASEMENT IS LISTED ON THE PARCEL REGISTER.
PORTION OF THE ASPHALT DRIVEWAY IS BEYOND THE WESTERLY
BOUNDARY OF THE PROPERTY.

COMPLIANCE WITH MUNICIPAL ZONING BY-LAWS
NOT CERTIFIED BY THIS REPORT

ASSOCIATION OF ONTARIO
LAND SURVEYORS
PLAN SUBMISSION FORM
2106590



THIS REPORT WAS PREPARED FOR CHARLES & JENNIFER WARFORD

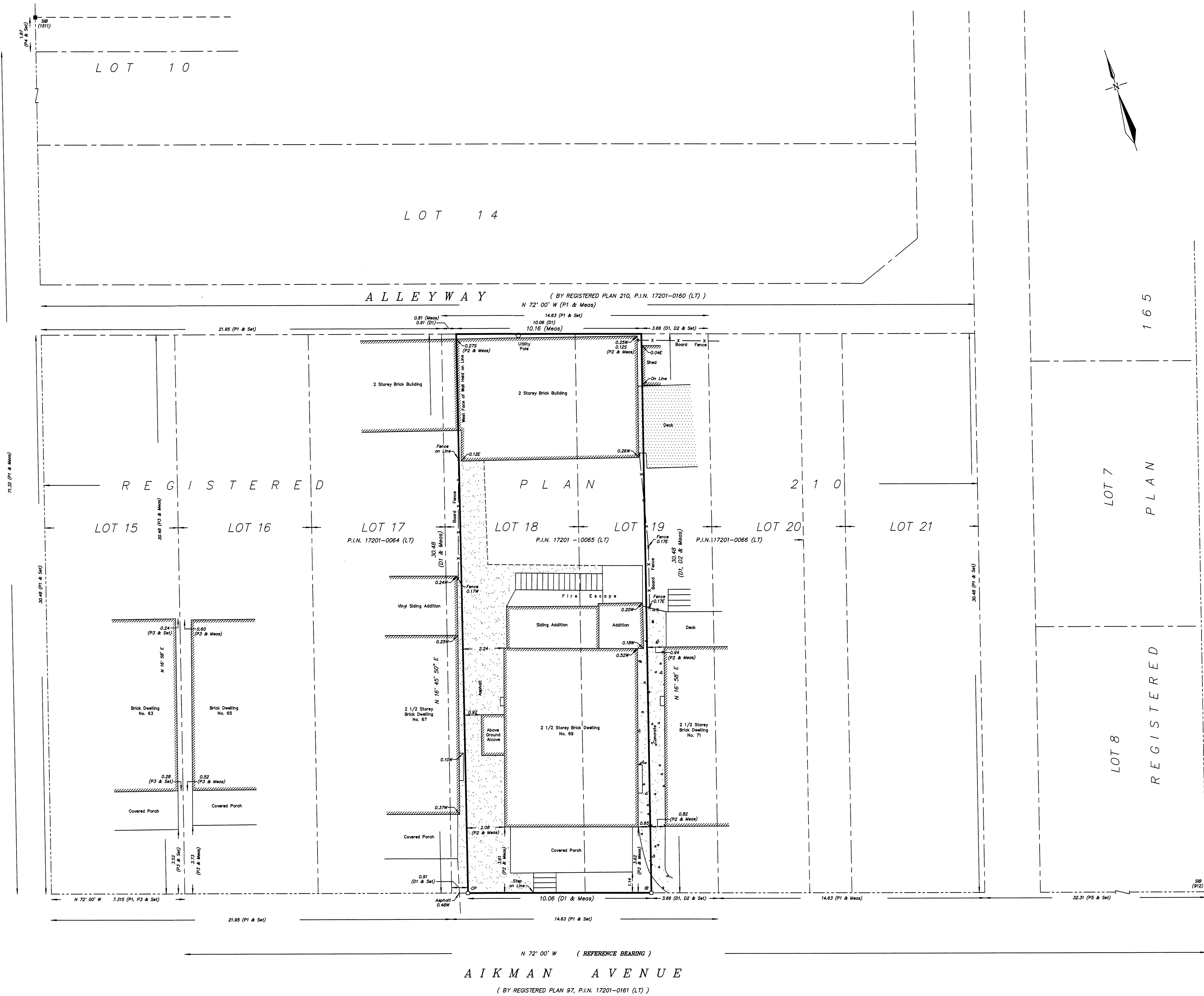
SURVEYOR'S CERTIFICATE

I CERTIFY THAT:
1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE
WITH THE SURVEY ACT, THE SURVEYORS ACT AND THE
REGULATIONS MADE UNDER THEM.
2. THE SURVEY WAS COMPLETED ON DECEMBER 17, 2019.

DATE DECEMBER 17, 2019.
BRYAN JACOBS
ONTARIO LAND SURVEYOR

B.A. JACOBS SURVEYING LTD.
152 JACKSON STREET EAST, SUITE 102
HAMILTON, ONTARIO (L8N 1L3)
PHONE 905-521-1535 bjacobs@rogers.com

© - COPYRIGHT JOB No. 19e73



AIKMAN AVENUE
(BY REGISTERED PLAN 97, P.I.N. 17201-0161 (LT))



Planning and Economic Development Department
Building Division
71 Main Street West
Hamilton, Ontario, L8P 4Y5
Phone: 905-546-2720 Fax: 905-546-2764
Email: building@hamilton.ca

**CERTIFICATE OF ZONING VERIFICATION
AND PROPERTY REPORT**

Hamilton

PROPERTY ADDRESS: 69 Aikman Ave. , Hamilton

SECTION No.:

ATTENTION OF: Kayla Medeiros

PROPOSED USE: Triplex

TELEPHONE: 905.546.2424 ext. 5867

A. ZONING VERIFICATION

AS OF THIS DATE, Building Division records indicate the property is subject to:

**ZONING DISTRICT: E (MULTIPLE DWELLINGS, LODGES, CLUBS, ETC.)
SECTION 11 OF HAMILTON ZONING BY-LAW 6593 AS AMENDED**

THE PROPOSED USE IS: SEE COMMENTS

COMMENTS:

Building Division records indicate that the recognized use is a three (3) family dwelling which is permitted.

The term "triplex" is not defined within Hamilton Zoning By-Law 6593. The recognized term is a three (3) family dwelling.

The land must have been held in separate registered title from prior to the 25th of July 1950 to be considered an existing Lot of Record.

Tenant improvements, change of use, conversions, renovations, alterations, additions or new buildings are subject to the issuance of a building permit from the Building Division.

No survey submitted showing actual conditions.

IMPORTANT:

THIS CERTIFICATE DOES NOT INDICATE THAT AN EXISTING BUILDING OR ITS USE CONFORMS TO THE REQUIREMENTS OF APPLICABLE BY-LAWS, AND REGULATIONS, NOR THAT A LICENCE WILL BE ISSUED IF REQUIRED, OR THAT THE ZONING WILL NOT BE CHANGED AFTER THE DATE OF ISSUANCE. (COPIES OF THE CITY BY-LAWS MAY BE OBTAINED FROM THE CITY CLERK)

B. PROPERTY REPORT

AS OF THIS DATE, Building Division records indicate the following:

No outstanding work orders.

NOTE:

PROPERTY REPORTS PERTAIN TO BUILDING DIVISION FILES ONLY AND RELATE TO ENFORCEMENT PROCEEDINGS COMMENCED BY THIS DIVISION. OTHER DIVISIONS/DEPARTMENTS, INCLUDING BUT NOT LIMITED TO THE PARKING AND BY-LAW ENFORCEMENT DIVISION, FIRE DEPARTMENT, PUBLIC HEALTH SERVICES DEPARTMENT AND PUBLIC WORKS DEPARTMENT MAY HAVE COMMENCED ENFORCEMENT PROCEEDINGS. TO OBTAIN INFORMATION CONCERNING ANY SUCH ENFORCEMENT PROCEEDINGS, YOU MUST CONTACT THOSE DIVISIONS/DEPARTMENTS YOURSELF. ALSO NOTE THAT THIS DOES NOT IMPLY THAT A FIELD INSPECTION HAS BEEN CARRIED OUT.

NOTE: THE PLANNING AND ECONOMIC DEVELOPMENT DEPARTMENT IS CURRENTLY DRAFTING A NEW COMPREHENSIVE ZONING BY-LAW 05-200 FOR THE ENTIRE CITY OF HAMILTON. HAMILTON ZONING BY-LAW 05-200 WILL BE INTRODUCED IN VARIOUS STAGES FOR RESIDENTIAL, COMMERCIAL, INDUSTRIAL AND RURAL ZONES. AS A RESULT, THE ZONING OF PROPERTIES THROUGHOUT THE CITY MAY BE AFFECTED.

*** THIS CERTIFICATE IS ISSUED WITHOUT LIABILITY ON THE PART OF THE CITY OF HAMILTON OR ITS OFFICIALS ***

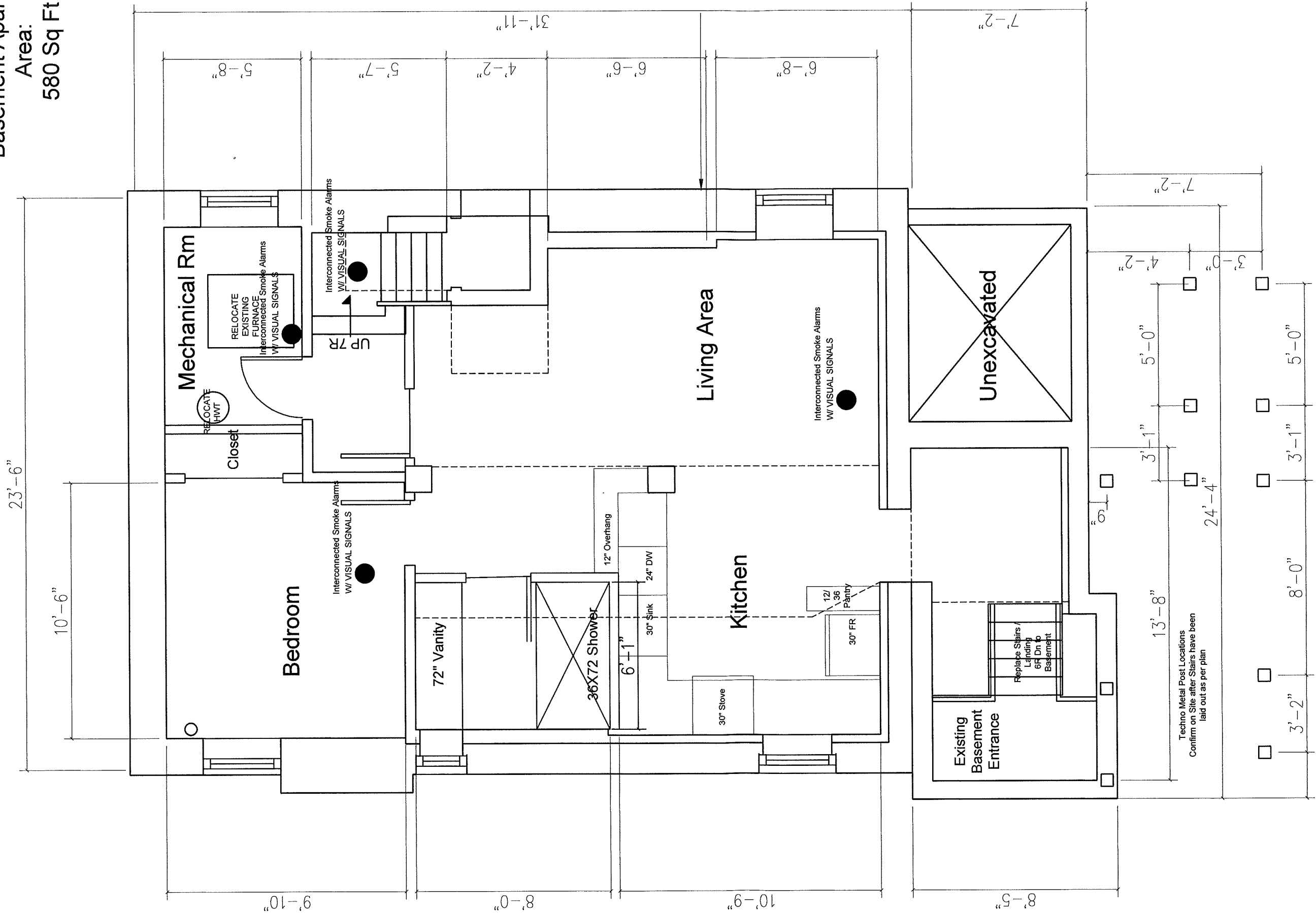
FOR DIRECTOR OF BUILDING DIVISION

CERT. NO. [19-125967 00 ZE2]

DATE ISSUED: May 31, 2019

MAIL TO: JANELLE MATTHEWS, MITCHELL BATES, 15 BOLD ST. , HAMILTON, Ontario, L8P 1T3

Basement Apartment
Area:
580 Sq Ft



CONTRACTOR IS TO CHECK AND VERIFY ALL DIMENSIONS ON THE JOB SITE AND NOTIFY DESIGNERS OF ALL DISCREPANCIES BEFORE INITIATING WORK. ALL DRAWINGS ARE THE PROPERTY OF THINKGIRAFFE. DRAWINGS ARE NOT TO BE REPRODUCED WITHOUT WRITTEN PERMISSION FROM DESIGNERS. PRINTS ARE NOT TO BE SCALED.

Marina Fensham, Owner thinkGiraffe Design has reviewed and taken responsibility for the design activities described in this drawing set under OBC 2.17.4.7 f (ii) BCIN: 21574 / 27645

February 12, 2020 ISSUE FOR VARIANCE

REMARKS	DATE	NO.
REVISIONS		

thinkGiraffe

ENVIRONMENTAL DESIGN

16 Sulphur Springs Road,
Ancaster, ON, L9G 1L8

905 304 1496

thinkgiraffe@bellnet.ca

PROJECT

Existing Triplex
- Basement Apt
Added

69 Aikman Avenue
Hamilton, On.

SHEET TITLE

Proposed Basement Unit

FOLDER	DRAWN BY MLF
FILE	SCALE 1/4" = 1'-0"
DATE	NUMBER

A2

CONTRACTOR IS TO CHECK AND VERIFY ALL DIMENSIONS ON THE JOB SITE AND NOTIFY DESIGNERS OF ALL DISCREPANCIES BEFORE INITIATING WORK. ALL DRAWINGS ARE THE PROPERTY OF THINKGIRAFFE. DRAWINGS ARE NOT TO BE REPRODUCED WITHOUT WRITTEN PERMISSION FROM DESIGNERS. PRINTS ARE NOT TO BE SCALED.

Marina Fensham, Owner thinkGiraffe Design has reviewed and taken responsibility for the design activities described in this drawing set under OBC 2.17.4.7 f (ii) BCIN: 21574 / 27845

February 12, 2020 ISSUE FOR VARIANCE

REMARKS DATE NO.

REVISIONS

thinkGiraffe

ENVIRONMENTAL DESIGN

16 Sulphur Springs Road,
Ancaster, ON, L9G 1L8

905 304 1496

thinkgiraffe@bellnet.ca

PROJECT

Existing Triplex
- Basement Apt
Added
69 Aikman Avenue
Hamilton, On.

SHEET TITLE

Proposed Basement Unit
Section. Code Matrix

FOLDER

DRAWN BY
MLF

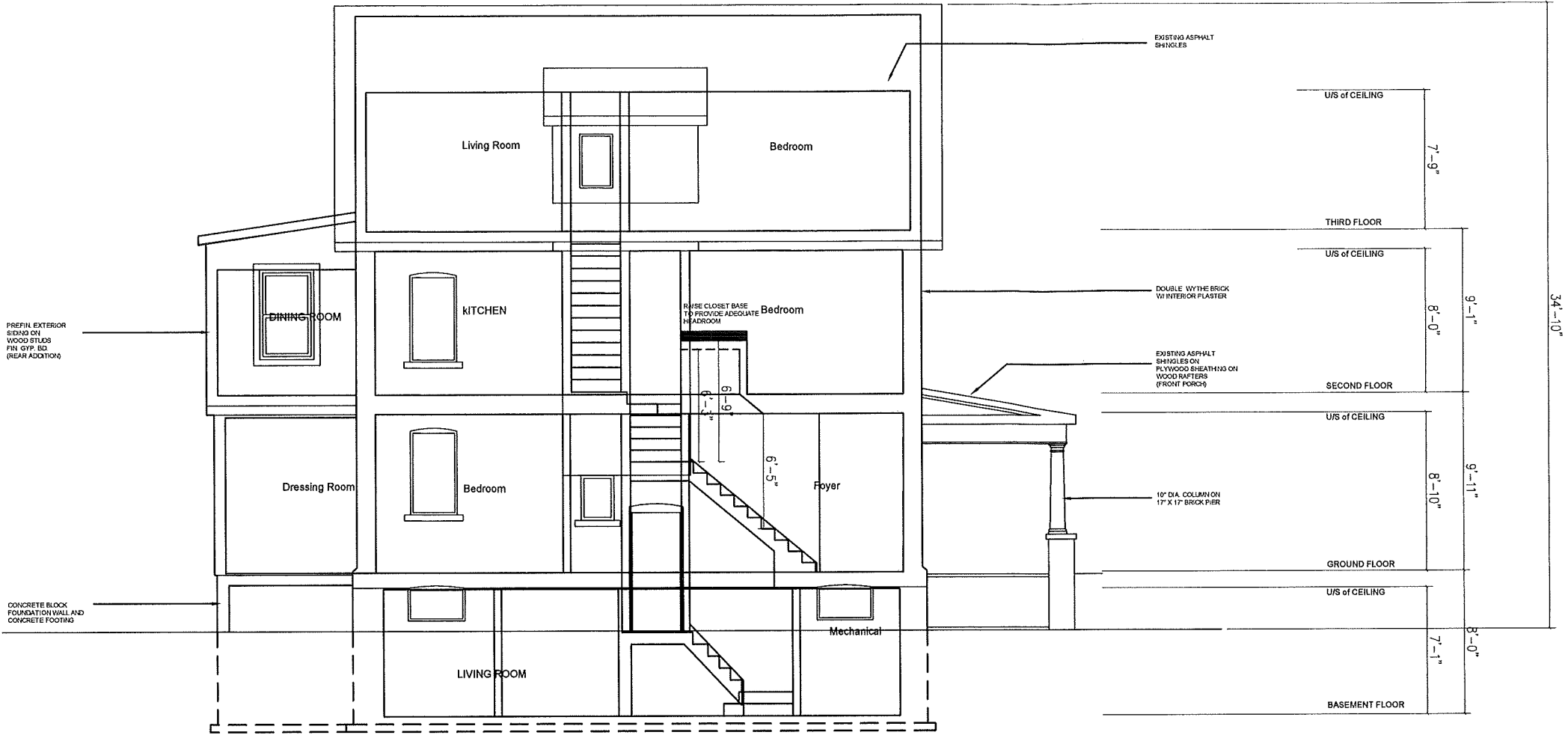
FILE

SCALE
1/8" = 1'-0"

DATE

NUMBER

A3



SIDE SECTION (West)

ONTARIO BUILDING CODE DATA MATRIX										OBC REFERENCE		
1	PROJECT DESCRIPTION: Existing Triplex. Add Basement Apt <input type="checkbox"/> NEW Ensure Code Compliance <input type="checkbox"/> ADDITION <input checked="" type="checkbox"/> ALTERATION <input type="checkbox"/> CHANGE OF USE								<input type="checkbox"/> PART 3	<input checked="" type="checkbox"/> PART 9		
	Finished Area above grade 187.9m2											
2	MAJOR OCCUPANCY(S) C – RESIDENTIAL								–	–		
3	BUILDING AREA (m2) EXISTING 88.3m² NEW 0 m² TOTAL 88.3m2 m²								–	–		
4	GROSS AREA EXISTING 219.7 m² NEW 0 m² TOTAL 219.7 m²								–	–		
5	NUMBER OF STOREYS ABOVE GRADE 2.5 BELOW GRADE BASEMENT								–	–		
6	HEIGHT OF BUILDING (m) 10.5 m²								–	–		
7	NUMBER OF STREETS/ACCESS ROUTES ONE + Alley								–	–		
8	BUILDING CLASSIFICATION								3.2.2.47.	–		
9	SPRINKLER SYSTEM PROPOSED <input type="checkbox"/> ENTIRE BUILDING <input type="checkbox"/> BASEMENT ONLY <input type="checkbox"/> IN LIEU OF ROOF RATING <input checked="" type="checkbox"/> NOT REQUIRED											
10	STANDPIPE REQUIRED <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO								–	9.10.18.2.(1)		
11	FIRE ALARM REQUIRED <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO								–	–		
12	WATER SERVICE SUPPLY IS ADEQUATE <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO								3.2.6.	–		
13	HIGH BUILDING <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO								3.2.2.47.	–		
14	CONSTRUCTION RESTRICTIONS COMBUSTIBLE OR NON-COMBUSTIBLE PERMITTED								–	–		
15	MEZZANINE(S) AREA m2 N/A								–	–		
16	TOTAL OCCUPANCY LOAD BASED ON <input type="checkbox"/> m2/PERSON <input checked="" type="checkbox"/> DESIGN OF BUILDING								9.9.1.3.(1)(o)	–		
17	BARRIER-FREE DESIGN (SEE COMMENT 2.) <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO								3.6.1.1(o)Duplex.	–		
18	HAZARDOUS SUBSTANCES <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO								–	–		
19	REQUIRED FIRE RESISTANCE RATING (FRR)	HORIZONTAL ASSEMBLIES FRR (HOURS)				LISTED DESIGN NO. OR DESCRIPTION (SG-2)						
		FLOORS 45 minutes OR N/C				See A2						
		ROOF N/A										
		MEZZANINE N/A										
		FRR OF SUPPORTING				LISTED DESIGN NO. OR DESCRIPTION (SG-2)						
		FLOORS 45 minutes OR N/C				See A2						
		ROOF N/A										
		MEZZANINE N/A										
20	SPATIAL SEPARATION – CONSTRUCTION OF EXTERIOR WALLS EXISTING								T.9.10.14.4.			
	WALL	AREA OF EBF (m2)	LD (m)	PERMITTED MAX % OF OPENINGS	PROPOSED % OF OPENINGS	FRR (HOURS)	LISTED DESIGN OR DESCRIPTION	COMB CONSTR	COMB CONSTR NON COMB CLADDING	NON COMB CONSTR		
	NORTH	No Change				–		Attic X		Brick		
	SOUTH	No Change				–		Attic X		Brick		
	EAST	No Change				–	–	–		Brick		
	WEST	No Change				–		–		Brick		
21	OTHER								OBC REFERENCE			

CODE MATRIX