



Hamilton

COMMITTEE OF ADJUSTMENT

City Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5
Telephone (905) 546-2424, ext. 4221, 3935 Fax (905) 546-4202
E-mail: cofa@hamilton.ca

NOTICE OF PUBLIC HEARING **Minor Variance**

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
 - Applicant/agent on file, or
 - Person likely to be interested in this application
-

APPLICATION NO.: AN/A-20:78

APPLICANTS: Owners: M. Sommers & C. Campbell

SUBJECT PROPERTY: Municipal address **2685 Jerseyville Rd. W. (Anaster) City of Hamilton**

ZONING BY-LAW: Zoning By-law 05-200, as Amended

ZONING: "S1" (Settlement Residential) district

PROPOSAL: To permit the construction of a single storey accessory building (private garage) for the existing single detached dwelling, notwithstanding that;

1. The accessory building shall be permitted to be located within the front yard and as close as 4.1m from the front lot line whereas the Zoning By-law states that no accessory building shall be permitted to be located within a front yard and that a minimum setback of 7.5m shall be maintained from the front lot line for an accessory building exceeding 18.0m² in gross floor area.
2. The accessory building shall be permitted to have an area of 112.0m² whereas the Zoning By-law states that no accessory building shall exceed 30% lot coverage of the yard in which the accessory buildings are located, including areas devoted exclusively to parking, to a maximum of 97 square metres.
3. A maximum building height of 5.7m shall be permitted instead of the maximum 5.0m building height permitted.
4. The height of 3.9m shall be permitted for the underside/overhang or lower ends of the roof joists, rafters or trusses whereas the Zoning By-law states that the maximum height of the underside of any fascia eaves, overhang or the lower ends of the roof joists, rafters or trusses shall be 3.0 metres.
5. The accessory building shall be permitted to be located as close as 0.5m from the rear lot line instead of the minimum 7.5m setback required from the rear lot line for an accessory building exceeding 18.0m² in gross floor area.

Notes: The applicant requested a variance to permit a rear yard of 5.1m from the easterly part of the accessory building to the rear lot line. However, this variance is not required as the setback is measured from the lot line to the closest part of the building. If the requested rear yard variance #5 is approved, then the location of the accessory building will conform with respect to the required rear yard.

The Zoning By-law states that where the driveway is provided in the front yard, all other portions of the front yard shall be landscaped area. Insufficient details were shown to confirm compliance.

The zoning By-law requires that parking spaces shall be designed and maintained with stable surfaces such as asphalt, concrete or other hard-surfaced material, or crushed stone or gravel. No details were provided to confirm compliance; as such, further variances may be required.

The Zoning By-law states that where crushed stone or gravel is provided in accordance with Subsection 5.2 e) iii) a), the access driveway shall be designed such that a minimum of 10.0 metres extending from the streetline shall be constructed and maintained with asphalt, concrete or other hard surfaced material and shall be maintained in a dust free condition. No details were provided to confirm compliance; as such, further variances may be required.

This application will be heard by the Committee as shown below:

DATE: Thursday, July 16th, 2020
TIME: 2:30p.m.
PLACE: Via video link or call in (see attached sheet for details)
To be streamed at www.hamilton.ca/committeeofadjustment
for viewing purposes only

PUBLIC INPUT

Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

Orally: If you would like to speak to this item at the hearing you may do so via video link or by calling in. Please see attached page for complete instructions, including deadlines for registering to participate.

MORE INFORMATION

For more information on this matter, including access to drawings illustrating this request:

- Visit www.hamilton.ca/committeeofadjustment
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935
- Email Committee of Adjustment staff at cofa@hamilton.ca

DATED: June 30th, 2020.

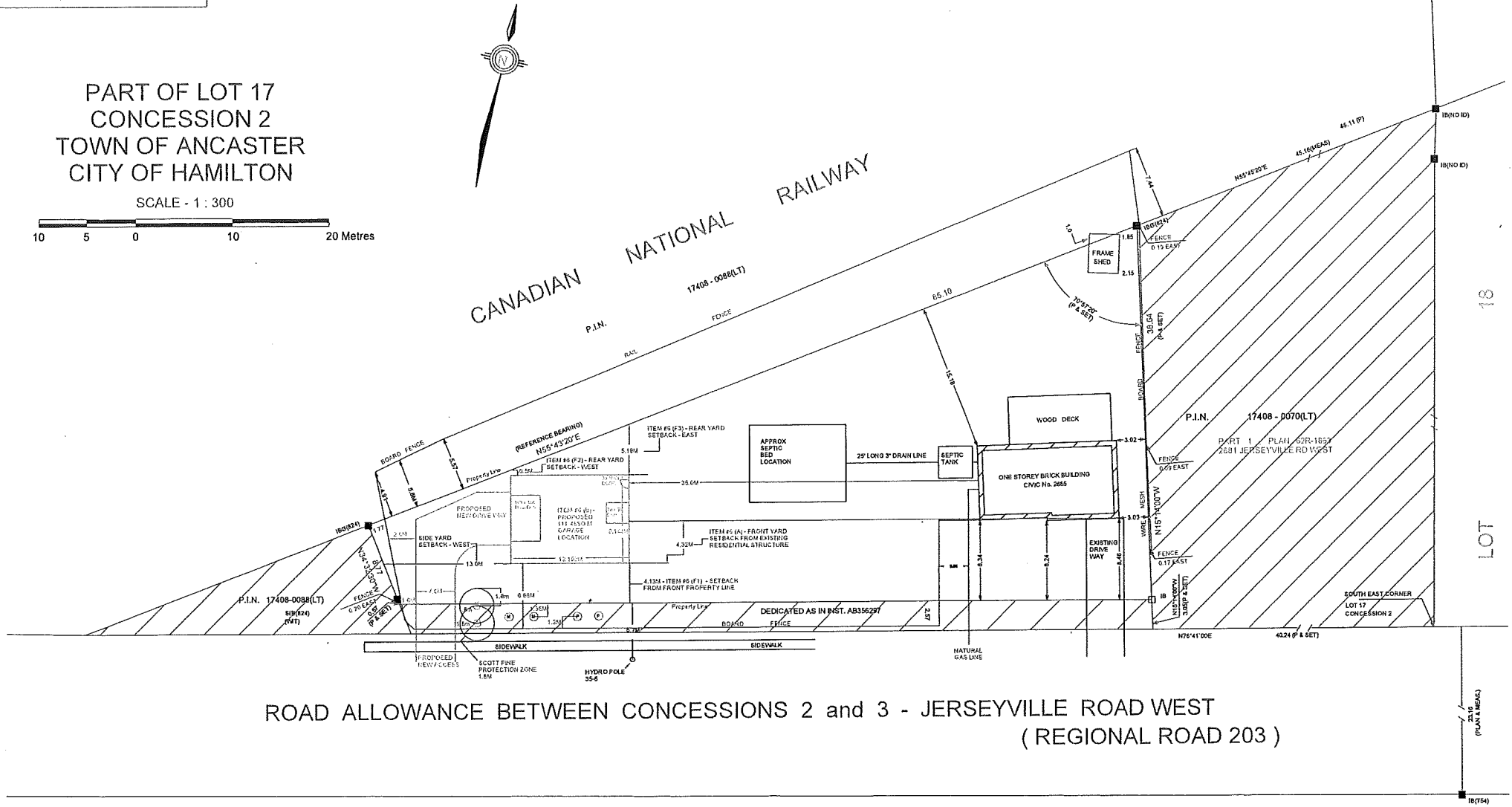
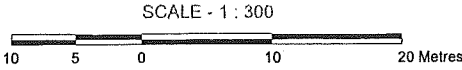
Original Signed

Jamila Sheffield,
Secretary-Treasurer
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public.

METRIC DISTANCES SHOWN ON THIS PLAN
ARE IN METRES AND CAN BE CONVERTED
TO FEET BY DIVIDING BY 0.3048.

PART OF LOT 17
CONCESSION 2
TOWN OF ANCASTER
CITY OF HAMILTON



ROAD ALLOWANCE BETWEEN CONCESSIONS 2 and 3 - JERSEYVILLE ROAD WEST
(REGIONAL ROAD 203)

12.192m X 9.144m STORAGE
BUILDING PROPOSAL

NOTE

THIS PLAN IS NOT FOR REGISTRATION PURPOSES.

BEARINGS ARE ASTRONOMIC AND ARE REFERRED TO THE
NORTHERLY LIMIT OF PART 1, PLAN 62R-1863, HAVING A
BEARING OF
N55°43'20\"/>

- | | | |
|------|---------|----------------------------|
| □ | DENOTES | SURVEY MONUMENT SET |
| IB | • | ROUND IRON BAR |
| IB | • | IRON BAR |
| SB | • | STANDARD IRON BAR |
| 1416 | • | WEST & RUUSKA LTD., O.L.S. |
| P | • | PLAN 62R-1863 |

PLAN FOR: CITY OF HAMILTON

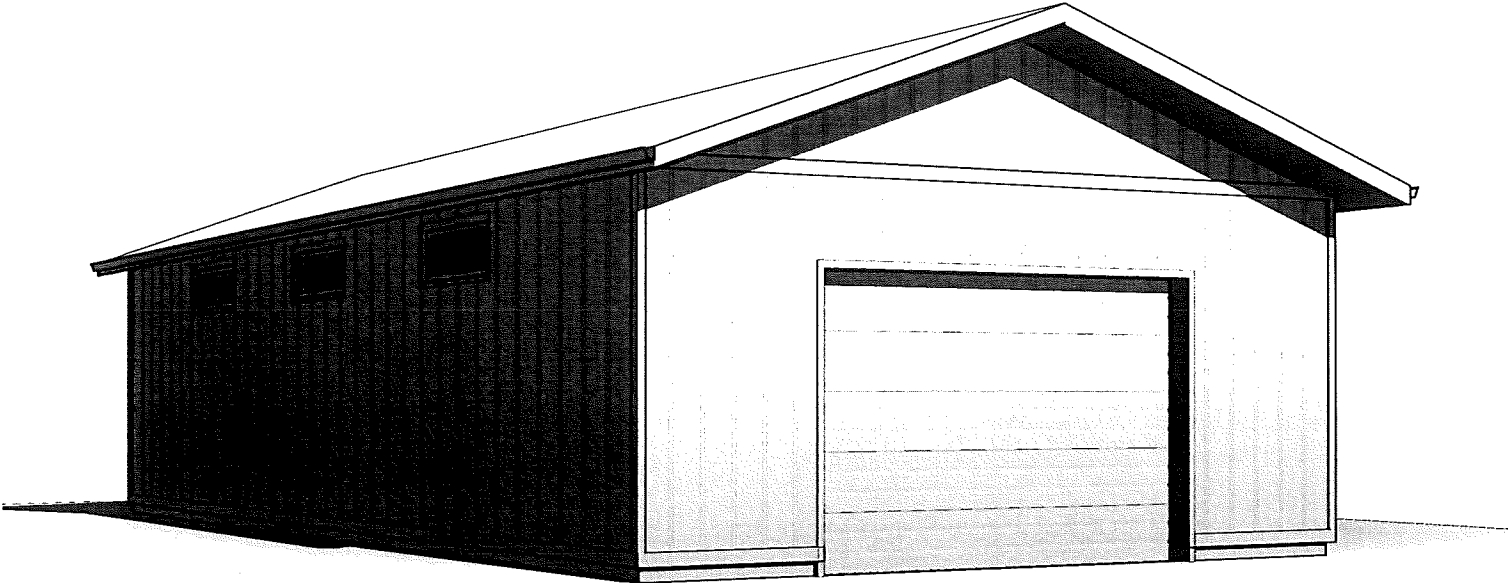
MARK SOMMERS
2665 JERSEYVILLE RD
WEST - JERSEYVILLE
ONTARIO L0R1R0

SOMMERS
S190086

AVA 00:08
Sketch 1

MARK SOMMERS
STORAGE BUILDING

2685 JERSEYVILLE RD.
JERSEYVILLE, ON
LOR 1 R0




SHEET LIST	
SHEET NUMBER	SHEET NAME
1	TITLE
2	ELEVATIONS
3	FOUNDATION PLAN
4	FLOOR PLAN
5	SECTIONS & DETAILS

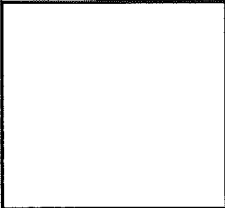


1333 HIGHWAY #3
DUNNVILLE, ONTARIO
N1A 2W7
phone: (905) 774-4307
fax: (905) 774-1168

THE DRAWINGS AND SPECIFICATIONS
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PRINTS	NO.	DATE	BY
ISSUED/REVISIONS			



MARK SOMMERS
STORAGE BUILDING
2685 JERSEYVILLE RD.
JERSEYVILLE, ON
LOR 1 R0

DRAWING

TITLE

SCALE

B7-20-35

DRAWING FILE

2685 Jerseyville Rd. LOR 1 R0 - Storage Building - 2020

DRAWN BY
MIKE DWYER

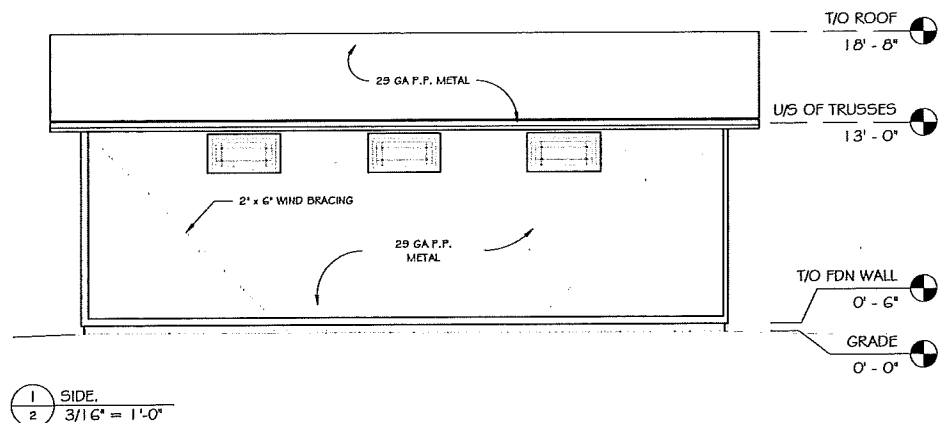
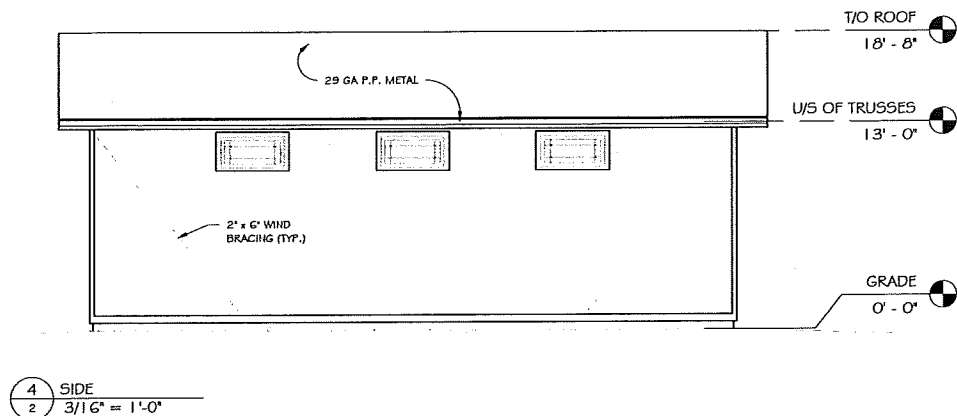
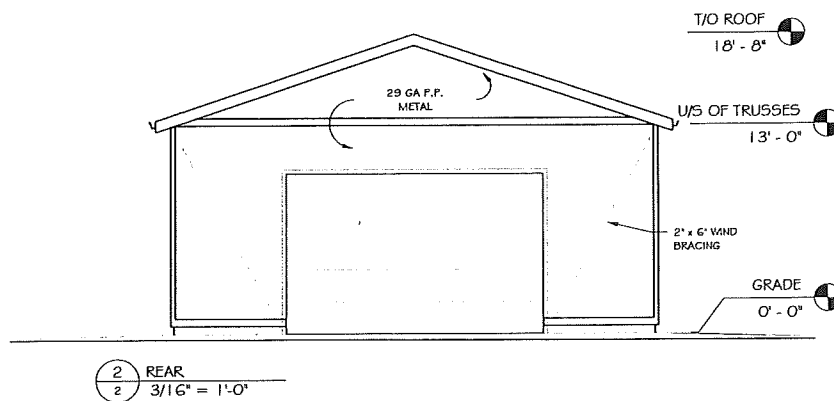
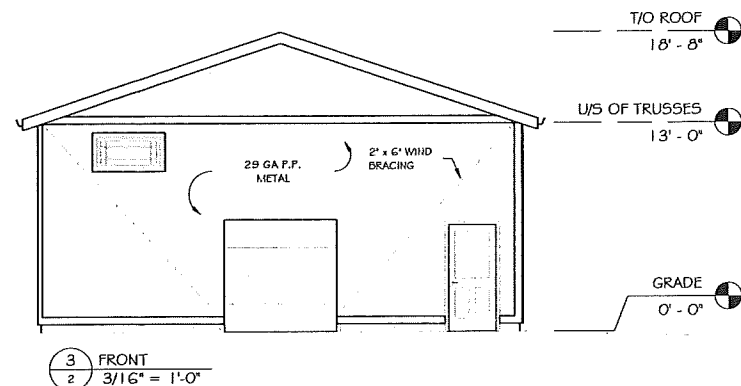
DATE
FEB 24/20

SHEET
1 OF 5

DRAWING NUMBER

S-1

AN/A 20:78
Sketch



GENERAL NOTES:

- DO NOT SCALE DRAWINGS.
- ALL DIMENSIONS TO BE VERIFIED BY CONTRACTOR.
- ANY ERRORS / OMISSIONS TO BE REPORTED TO ENGINEER PRIOR TO CONSTRUCTION.
- ALL WORK TO CONFORM TO O.B.C. 2012.
- FIRE STOP IN CONCEALED ATTIC SPACE NOT TO EXCEED 98" O.C.
- NOTIFY ENGINEER 48 HRS. IN ADVANCE FOR INSPECTION OF FOOTING EXCAVATION AND FRAMING.
- REMOVE ALL TOP SOIL AND ORGANIC MATERIAL.
- ALL FOOTINGS TO BE ON UNDISTURBED SOIL AND MIN. OF 4" BELOW LINE OF FINISHED GRADE.
- SOIL BRG. CAPACITY TO SUSTAIN A MIN. 3000 P.S.F.
- ALL LINTELS TO BE 2" x 10" UNLESS OTHERWISE SPECIFIED.

CONCRETE NOTES:

- ULTIMATE COMPRESSIVE STRENGTH @ 28 DAYS
- 32 MPa FOR SLAB ON GRADE
- 25 MPa FOR WALLS AND FOOTINGS
- SLUMP 3" ± 1"
- MAX WATER CEMENT RATIO .45 (USE WATER REDUCING AGENT TO IMPROVE WORKABILITY NO WATER TO BE ADDED ON SITE) USE VIBRATORY EQUIPMENT TO ACHIEVE UNIFORM DENSITY
- AIR ENTRAINMENT 5% - 8%
- REINFORCING STEEL TO HAVE MIN. YIELD STRENGTH OF 400 MPa WITH MIN. 3" COVER
- MINIMUM SPLICE LENGTH (10M - 1.8) (15M - 24")

LUMBER NOTES:

- ALL LUMBER TO BE GRADE #2 OR BETTER.
- LUMBER EXPOSED TO MOISTURE TO BE PRESSURE TREATED
- ALL FASTENERS IN CONTACT WITH PRESSURE TREATED MATERIAL TO BE COMPATIBLE WITH PRESSURE TREATED CHEMICALS
- ALL STEEL SIDING IN CONTACT WITH PRESSURE TREATED WOOD TO BE ISOLATED WITH A LAYER OF ICE & WATER SHIELD OR EQUAL.
- SUBMIT ENGINEERED TRUSS DRAWINGS
- TRUSS BRACING AND STRAPPING AS SPECIFIED BY ENGINEER
- TRUSS DRAWING
- TRUSS TIE DOWN TO SUSTAIN UPLIFT SHOWN ON TRUSS DESIGN AND TO BE CONTINUOUS ON FOUNDATION WALL
- ALL LINTELS TO BE 2" x 10" UNLESS OTHERWISE SPECIFIED

SPECIFIED ROOF TOP CHORD LOADS: DUNNVILLE

- SNOW LOAD = 2.0 kPa (41.8 psf)
- RAIN LOAD = 0.4 kPa (8.4 psf)
- HOURLY WIND PRESSURE (1/50) = 0.46 kPa
- DEAD LOAD = 0.20 kPa (4.2 psf)



1333 HIGHWAY #3
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PRINTS	NO.	DATE	BY
ISSUED/REVISIONS			



MARK SOMMERS
STORAGE BUILDING
2685 JERSEYVILLE RD.
JERSEYVILLE, ON
L0R 1R0

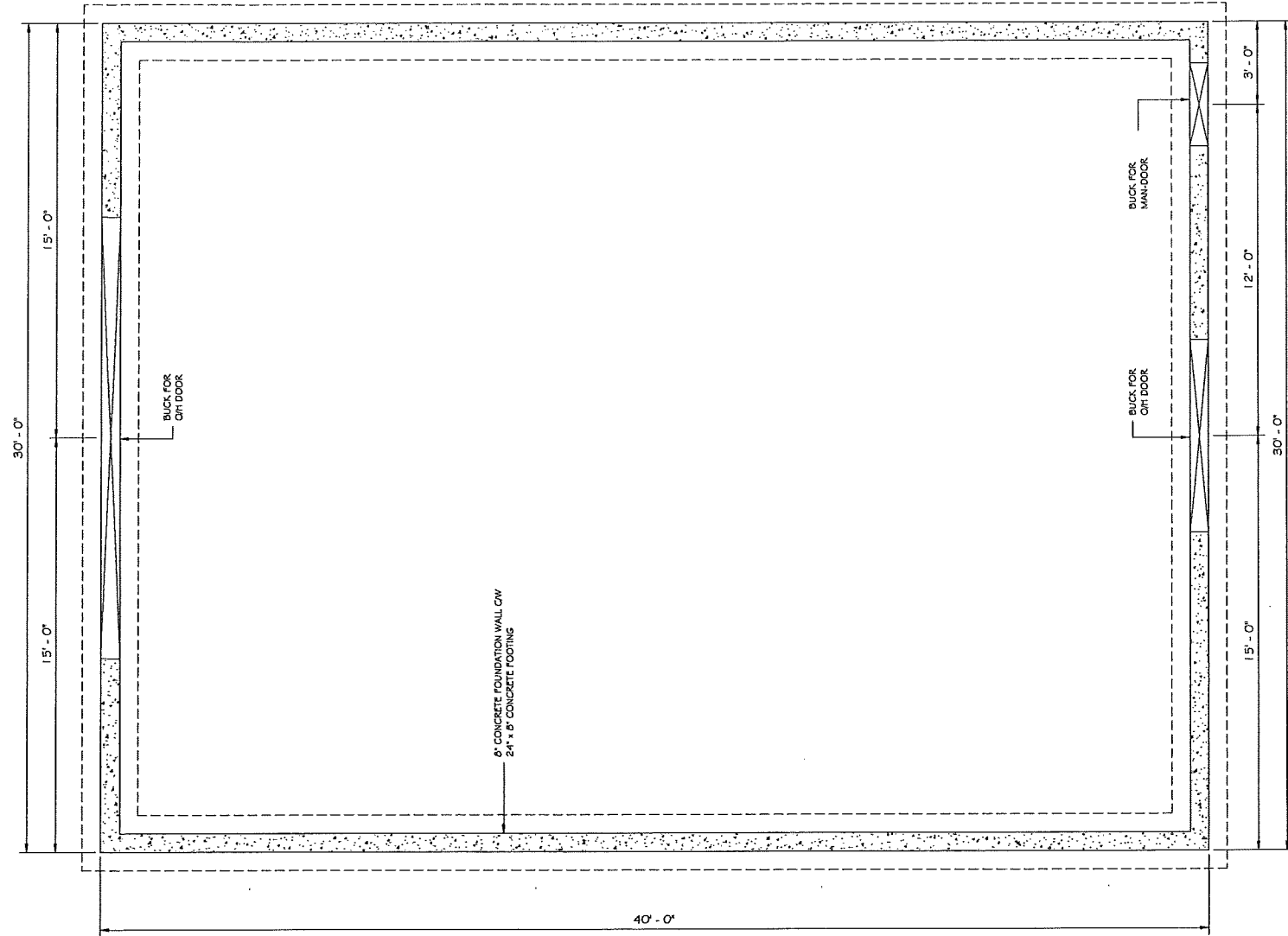
DRAWING	ELEVATIONS
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SCALE	As indicated	B7-20-35
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TRACING FILE	
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DRAWN BY MIKE DWYER	DRAWING NUMBER S-2
DATE FEB 24/20	
SHEET 2 OF 5	

AN/A 20:78
Sketch 3



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JERSEYVILLE, ON
LOR 1R0

FOUNDATION PLAN

SCALE
3/8" = 1'-0" B7-20-35

DRAWING FILE

DRAWN BY
MIKE DWYER
DATE
FEB 24/20
SHEET
3 OF 5

DRAWING NUMBER
S-3

AN/A 20:78
Sketch 4



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STORAGE BUILDING
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JERSEYVILLE, ON
L0R 1R0

DRAWING

FLOOR PLAN

SCALE
3/8" = 1'-0"

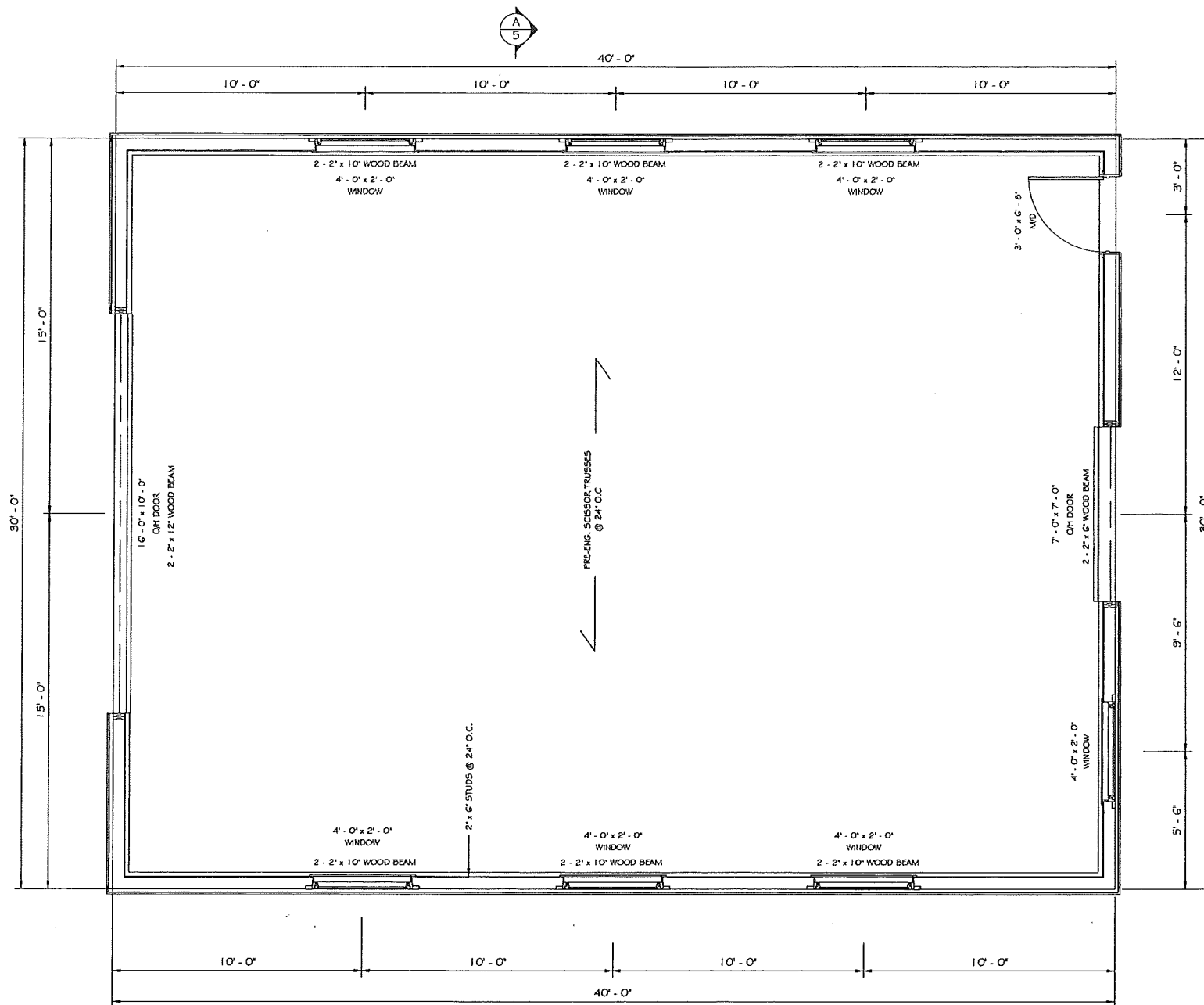
B7-20-35

DRAWING FILE
C:\Users\mike\Documents\Projects\B7-20-35\B7-20-35.dwg

DRAWN BY
MIKE DWYER
DATE
FEB 24/20
SHEET
4 OF 5

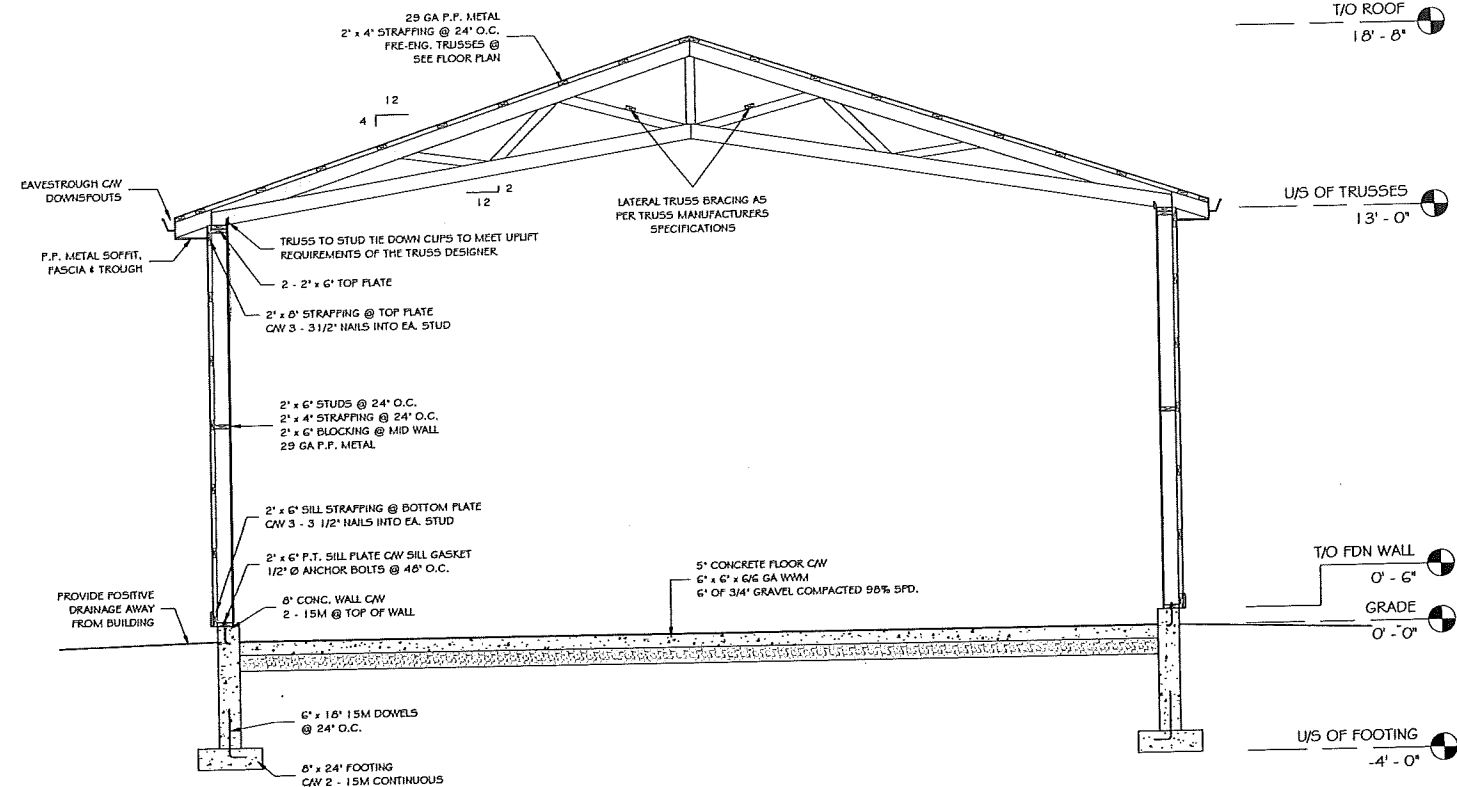
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S-4

AN/A 20:78
Sketch 5

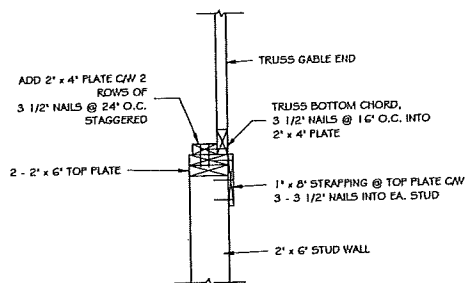


1 FIRST FLOOR
4 3/8" = 1'-0"

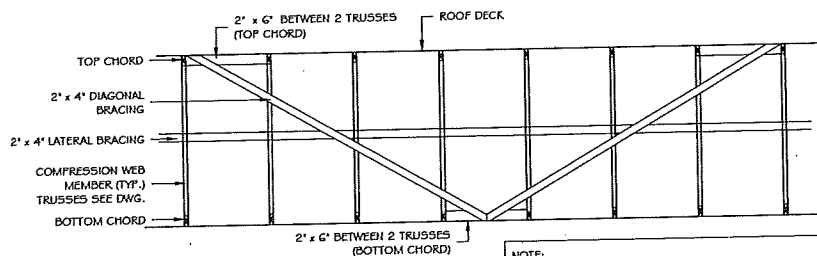




A
SECTION A - A
3/8" = 1'-0"




2
END GABLE - STUD
1" = 1'-0"



1
VEE BRACING DETAIL
1/4" = 1'-0"


NOTE:
VEE BRACES @ 50' - 0" O.C.
ON COMPRESSION MEMBERS WITH COMPRESSIVE LOADING
OVER 1800 LB (SEE TRUSS DRAWING)
TRUSS BRACING IN ADDITION TO MANUFACTURERS SPECS.




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STORAGE BUILDING
2685 JERSEYVILLE RD.
JERSEYVILLE, ON
L0R 1R0

SECTIONS & DETAILS

SCALE: As indicated	B7-20-35
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DRAWING FILE: <small>For each drawing and revision, a separate file shall be maintained.</small>	DRAWING NUMBER: <div style="font-size: 24pt; font-weight: bold; text-align: center;">S-5</div>
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DRAWN BY: MIKE DWYER DATE: FEB 24/20 SHEET: 5 OF 5	
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AN/A 20:78
 sketch 6

20-155293



Hamilton

Planning and Economic Development Department
Planning Division

Committee of Adjustment
City Hall
5th floor 71 Main Street West
Hamilton, Ontario L8P 4Y5

Phone (905) 546-2424 ext.4221
Fax (905) 546-4202

**PLEASE FILL OUT THE FOLLOWING PAGES AND
RETURN TO THE CITY OF HAMILTON PLANNING
DEPARTMENT.**

RECEIVED

MAR 05 2020

COMMITTEE OF ADJUSTMENT

FOR OFFICE USE ONLY.

APPLICATION NO. AN/A-20-78 DATE APPLICATION RECEIVED _____

PAID _____ DATE APPLICATION DEEMED COMPLETE _____

SECRETARY'S
SIGNATURE _____

**CITY OF HAMILTON
COMMITTEE OF ADJUSTMENT
HAMILTON, ONTARIO**

The Planning Act

Application for Minor Variance or for Permission

The undersigned hereby applies to the Committee of Adjustment for the City of Hamilton under Section 45 of the *Planning Act*, R.S.O. 1990, Chapter P.13 for relief, as described in this application, from the Zoning By-law.

1. Name of Owner MARK SOMMERS/CAILIN CAMPBELL Telephone No. _____

2. _____

3. _____

4. _____

Note: Unless otherwise requested all communications will be sent to the agent, if any.

5. Names and addresses of any mortgagees, holders of charges or other encumbrances:

SOMMERS, MARK GORDON

2685 JERSEYVILLE RD WEST Postal Code L0R1R0

CAMPBELL, CAILIN MAURA

2685 JERSEYVILLE RD WEST Postal Code L0R1R0

6. Nature and extent of relief applied for:

Bylaw 05-200 4.8.1 (A) - Proposed new accessory building to be constructed 4.32M in front of existing residential structure

Bylaw 05-200 4.8.1 (B) - Proposed new accessory building to be 111.48Sq.M in size from maximum of 97Sq.M (9.144M x 12.192M)

Bylaw 05-200 4.8.1 (D) - Proposed new accessory building to be 5.68M from grade to peak & 3.9M from grade to eaves/truss

Bylaw 05-200 4.8.1 (F) 1 - 4.13M Distance from front property line to proposed new accessory structure

Bylaw 05-200 4.8.1 (F) 2 - 0.5M Distance from rear property line to proposed new accessory structure - Rear West

Bylaw 05-200 4.8.1 (F) 3 - 5.19M Distance from rear property line to proposed new accessory structure - Rear East

7. Why it is not possible to comply with the provisions of the By-law?

Item #6 (A) Cannot be complied with bylaw 05-200 section 4.8.1 due to irregular lot & existing septic bed location

Item #6 (B,D) Cannot be complied with bylaw 05-200 section 4.8.1 due to required size of proposed accessory building for recreational vehicle storage

Item #6 (F 1,2,3) Cannot be complied with bylaw 05-200 section 4.8.1 due to irregular lot & existing septic bed location

8. Legal description of subject lands (registered plan number and lot number or other legal description and where applicable, street and street number):

CON 2 PT LOT 17 RP 62R1863 - PART 2 - IRREG 0.46AC 254.55FR 126.79D

2685 JERSEYVILLE RD WEST

9. PREVIOUS USE OF PROPERTY

Residential ☒ Industrial ☐ Commercial ☐

Agricultural ☐ Vacant ☐

Other

9.1 If Industrial or Commercial, specify use

N/A

9.2 Has the grading of the subject land been changed by adding earth or other material, i.e. has filling occurred?

Yes ☐ No ☒ Unknown ☐

9.3 Has a gas station been located on the subject land or adjacent lands at any time?

Yes ☐ No ☒ Unknown ☐

9.4 Has there been petroleum or other fuel stored on the subject land or adjacent lands?

Yes ☐ No ☒ Unknown ☐

9.5 Are there or have there ever been underground storage tanks or buried waste on the subject land or adjacent lands?

Yes ☐ No ☒ Unknown ☐

9.6 Have the lands or adjacent lands ever been used as an agricultural operation where cyanide products may have been used as pesticides and/or sewage sludge was applied to the lands?

Yes ☐ No ☒ Unknown ☐

9.7 Have the lands or adjacent lands ever been used as a weapon firing range?

Yes ☐ No ☒ Unknown ☐

9.8 Is the nearest boundary line of the application within 500 metres (1,640 feet) of the fill area of an operational/non-operational landfill or dump?

Yes ☐ No ☒ Unknown ☐

9.9 If there are existing or previously existing buildings, are there any building materials remaining on site which are potentially hazardous to public health (eg. asbestos, PCB's)?

Yes ☐ No ☒ Unknown ☐

9.10 Is there any reason to believe the subject land may have been contaminated by former uses on the site or adjacent sites?

Yes _____ No X Unknown _____

9.11 What information did you use to determine the answers to 9.1 to 9.10 above?

PREVIOUS LAND USE TITLES

9.12 If previous use of property is industrial or commercial or if YES to any of 9.2 to 9.10, a previous use inventory showing all former uses of the subject land, or if appropriate, the land adjacent to the subject land, is needed.

Is the previous use inventory attached? Yes _____ No X

ACKNOWLEDGEMENT CLAUSE

I acknowledge that the City of Hamilton is not responsible for the identification and remediation of contamination on the property which is the subject of this Application – by reason of its approval to this Application.

~~2020-02-11~~

Date

Signature Property Owner

MARK SOMMERS/CAILIN CAMPBELL

Print Name of Owner

10. Dimensions of lands affected:

Frontage	254.55FT
Depth	126.79 FT
Area	0.46AC
Width of street	16.7M - ROAD ALLOWANCE

11. Particulars of all buildings and structures on or proposed for the subject lands:
(Specify ground floor area, gross floor area, number of stories, width, length, height, etc.)

Existing: SIDE SPLIT SINGLE FAMILY DWELLING - 14.34M X 8M (144.84Sq.m)

Proposed: SINGLE STORY GARAGE ACCESSORY BUILDING 9.144M X 12.192M (111.48Sq.m)

12. Location of all buildings and structures on or proposed for the subject lands;
(Specify distance from side, rear and front lot lines)

Existing: Single Family Detached Dwelling

Distance from Rear property line: 15.18M / Distance from Front property line: 8.24M

Distance from West property line: 63.1M / Distance from East property line: 3.0M

Proposed: 9.144M x 12.192M Proposed Garage Accessory Building

Distance from Rear property line: 0.5M / Distance from Front property line: 4.13M

Distance from West property line: 13.0M / Distance from East property line: 53.75M

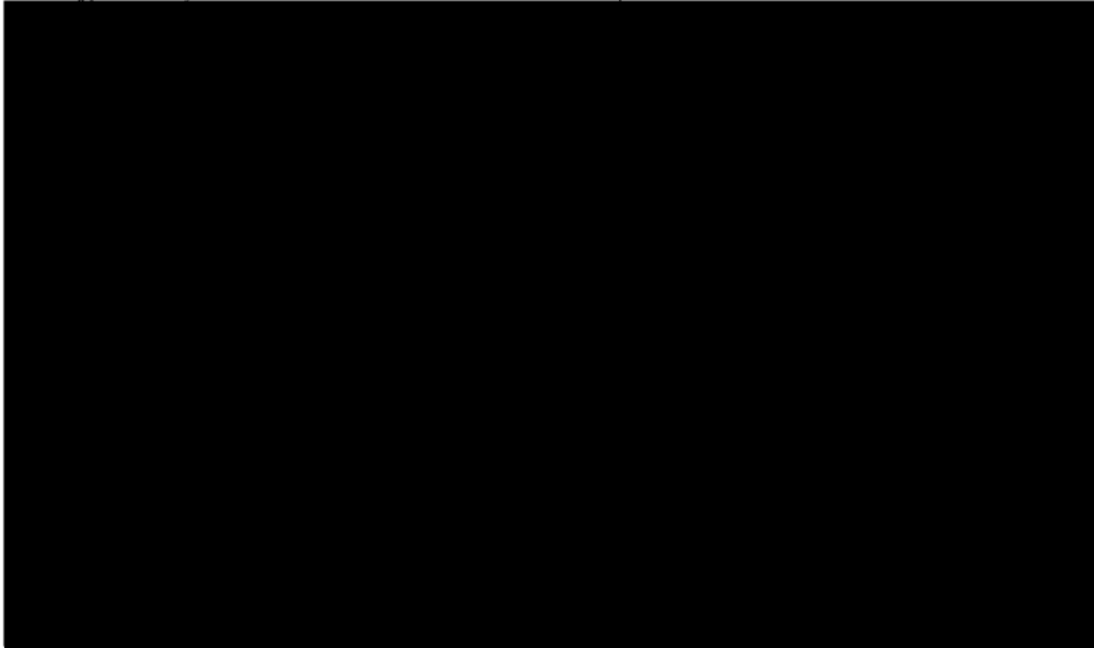
13. Date of acquisition of subject lands:
February 10th 2014
14. Date of construction of all buildings and structures on subject lands:
1977 - Existing Single Family Detached Dwelling / 2020 Proposed Garage Accessory Building
15. Existing uses of the subject property:
Residential
16. Existing uses of abutting properties:
Residential / Agricultural
17. Length of time the existing uses of the subject property have continued:
43 Years
18. Municipal services available: (check the appropriate space or spaces)
Water N/A Connected NO
Sanitary Sewer N/A Connected NO
Storm Sewers N/A
19. Present Official Plan/Secondary Plan provisions applying to the land:
JERSEYVILLE RURAL SETTLEMENT AREA
SETTLEMENT RESIDENTIAL
20. Present Restricted Area By-law (Zoning By-law) provisions applying to the land:
BY-LAW 05-200 - S1 RESIDENTIAL CURRENT ZONING
21. Has the owner previously applied for relief in respect of the subject property?
Yes No
If the answer is yes, describe briefly.

22. Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?
Yes No
23. The applicant shall attach to each copy of this application a plan showing the dimensions of the subject lands and of all abutting lands and showing the location, size and type of all buildings and structures on the subject and abutting lands, and where required by the Committee of Adjustment such plan shall be signed by an Ontario Land Surveyor.

NOTE: It is required that two copies of this application be filed with the secretary-treasurer of the Committee of Adjustment together with the maps referred to in Section 5 and be accompanied by the appropriate fee in cash or by cheque made payable to the City of Hamilton.

PART 24 AFFIDAVIT OR SWORN DECLARATION

This declaration to be sworn by a Commissioner of Oaths.



PART 25 OWNERS AUTHORIZATION

As of the date of this application, I (NAME) _____ am the registered Owner of the lands described in this application, and I have examined the contents of this application and hereby certify that the information submitted with the application is correct insofar as I have knowledge of these facts, and I hereby authorize:

_____ of _____

to act as my agent in this matter and to provide any of my personal information that will be included in this application or collected during the processing of the application.

DATE _____ SIGNED _____

PART 26 CONSENT OF THE OWNER

Complete the consent of the owner concerning personal information set out below.

Consent of Owner to the Disclosure of Application Information and Supporting Documentation

Application information is collected under the authority of the *Planning Act*, R.S.O. 1990, c. P.13. In accordance with that Act, it is the policy of the City of Hamilton to provide public access to all *Planning Act* applications and supporting documentation submitted to the City.

I, MARK SOMMERS / CAILIN CAMPBELL, the Owner, hereby agree and acknowledge
(Print name of Owner)

that the information contained in this application and any documentation, including reports, studies and drawings, provided in support of the application, by myself, my agents, consultants and solicitors, constitutes public information and will become part of the public record. As such, and in accordance with the provisions of the *Municipal Freedom of Information and Protection of Privacy Act*, R.S.O. 1990, c. M.56, I hereby consent to the City of Hamilton making this application and its supporting documentation available to the general public, including copying and disclosing the application and its supporting documentation to any third party upon their request.

Date

Signature of Owner

PART 27 PERMISSION TO ENTER


Date: _____

Secretary/Treasurer
Committee of Adjustment
City of Hamilton,
City Hall

Dear Secretary/Treasurer;
Re: Application to Committee of Adjustment

Location of Land: 2685 JERSEYVILLE RD WEST, JERSEYVILLE ONTARIO
(Municipal address)

I hereby authorize the members of the Committee of Adjustment and members of the staff of the City of Hamilton to enter on to the above-noted property for the limited purposes of evaluating the merits of this application.


Signature of Owner or Authorized agent /

MARK SOMMERS / CAILIN CAMPBELL

Please print name

Note: The Committee of Adjustment requires that all properties be identified with the municipal address clearly visible from the street. Where there is no municipal address or the property is vacant then the property shall be identified in accordance with the Committee's policy included on the back of the Application Form. Failure to properly identify the subject property may result in the deferral of the application.

PART 28 COLLECTION OF INFORMATION

The personal information contained on this form is collected under the authority of the *Planning Act*, R.S.O. 1990, c. P.13, and will be used for the purpose of processing the application. This information will become part of the public record and will be made available to the general public. Questions about the collection of this information should be directed to the Coordinator of Business Facilitation, Planning and Economic Development Department, City of Hamilton, 1st floor, 71 Main Street West, City Hall, Hamilton, Ontario, Telephone: 905-546-2424, ext.1284.