



Hamilton

**COMMITTEE OF ADJUSTMENT**

City Hall, 5<sup>th</sup> floor, 71 Main Street West, Hamilton, ON L8P 4Y5  
Telephone (905) 546-2424, ext. 4221, 3935 Fax (905) 546-4202  
E-mail: [cofa@hamilton.ca](mailto:cofa@hamilton.ca)

**NOTICE OF PUBLIC HEARING**  
**Minor Variance**

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**You are receiving this notice because you are either:**

- Assessed owner of a property located within 60 metres of the subject property
  - Applicant/agent on file, or
  - Person likely to be interested in this application
- 

**APPLICATION NO.:** DN/A-20:85

**APPLICANTS:** Andy Tran on behalf of the owners K. Eelhart-Dilag & K. Dilag

**SUBJECT PROPERTY:** Municipal address **8 Colmar Place (Dundas) City of Hamilton**

**ZONING BY-LAW:** Zoning By-law 3581-86, as Amended

**ZONING:** "R2" (Single Detached Residential) Zone

**PROPOSAL:** To permit the existing single detached dwelling to be converted to add one (1) accessory apartment notwithstanding that:

1. No on-site aisle width manoeuvring space shall be provided for the two (2) parking spaces in the driveway instead of the minimum required 6.0m aisle width manoeuvring space.
2. Two (2) of the required parking spaces located in the driveway shall be permitted to be located within the required front yard instead of the requirement that no required parking space shall be located in a required front yard.
3. The parking spaces in the driveway shall be permitted to obstruct the parking space in the attached garage instead of the requirement that all required parking spaces shall be designed and located such that all vehicles using such spaces can be parked and manoeuvred entirely within the bounds of the parking areas without moving any other vehicle within such parking area and that all manoeuvring space shall be maintained free and clear of all obstructions to permit unobstructed access to and egress from required parking spaces.

This application will be heard by the Committee as shown below:

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**DATE:** Thursday, July 16<sup>th</sup>, 2020  
**TIME:** 2:35p.m.  
**PLACE:** Via video link or call in (see attached sheet for details)  
**To be streamed at [www.hamilton.ca/committeeofadjustment](http://www.hamilton.ca/committeeofadjustment) for viewing purposes only**

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**PUBLIC INPUT**

**Written:** If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

**Orally:** If you would like to speak to this item at the hearing you may do so via video link or by calling in. Please see attached page for complete instructions, including deadlines for registering to participate.

## **MORE INFORMATION**

For more information on this matter, including access to drawings illustrating this request:

- Visit [www.hamilton.ca/committeeofadjustment](http://www.hamilton.ca/committeeofadjustment)
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935
- Email Committee of Adjustment staff at [cofa@hamilton.ca](mailto:cofa@hamilton.ca)

DATED: June 30<sup>th</sup>, 2020.

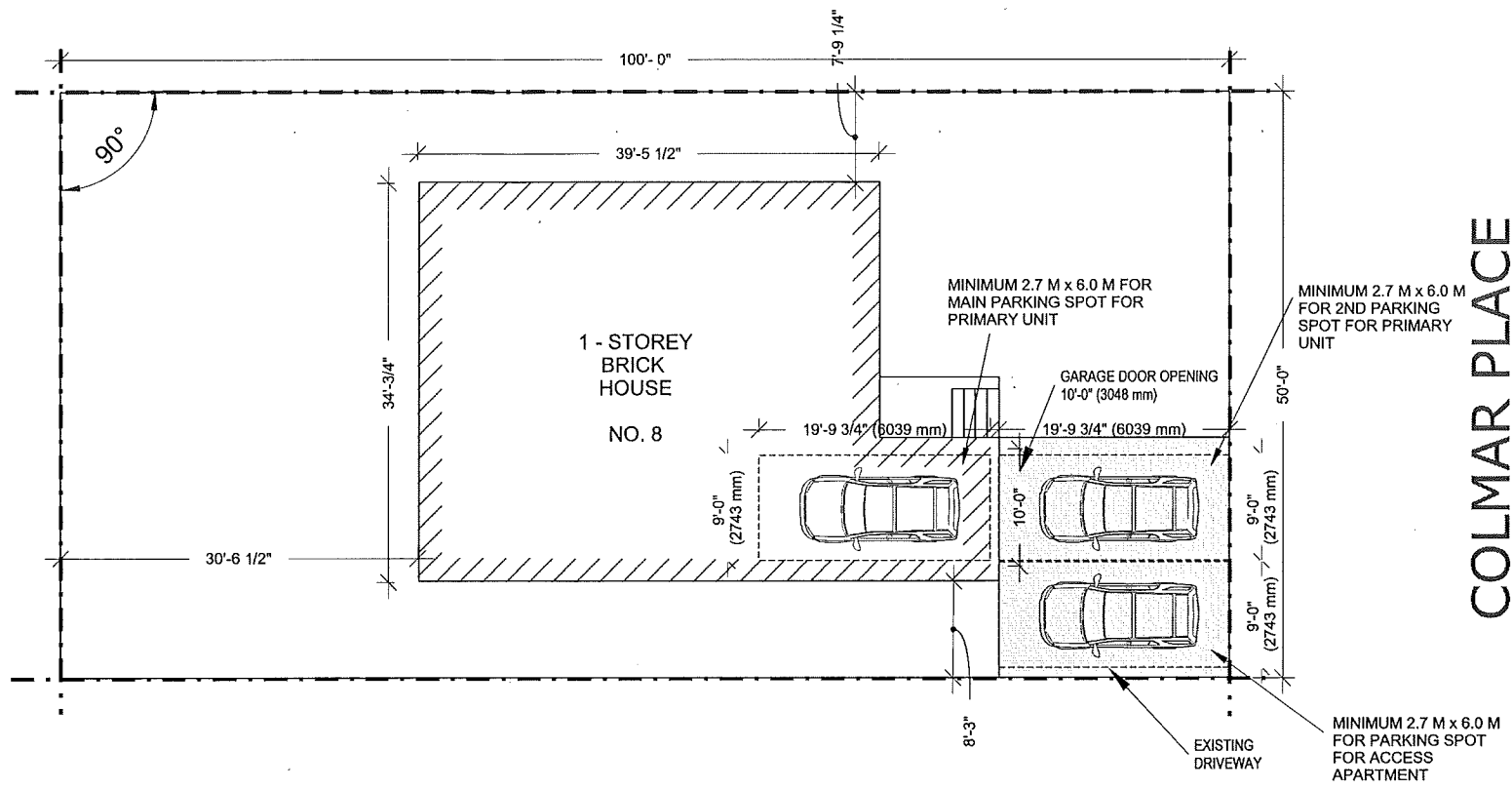
*Original Signed*

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Jamila Sheffield,  
Secretary-Treasurer  
Committee of Adjustment

***Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public.***

DNIA-20:85  
Amended.  
Sketch(1).



COLMAR PLACE

**SITE PLAN :**  
 BASED ON MAP.HAMILTON.CA AND MEASUREMENTS ON SITE  
 SUITE ADDITIONS INC. ASSUMES NO RESPONSIBILITY FOR ACCURACY OF MAP.HAMILTON.CA  
 THIS SITE PLAN SHALL NOT BE USED FOR ANY OTHER PURPOSES.  
 NO WORK TO ENCROACH ONTO ADJOINING PROPERTIES

**FRONT YARD: 1016 SF**  
 LANDSCAPED AREA = 600 SF = 59%  
 HARD SURFACE AREA = 416 SF = 41%

**PARKING BY-LAW REQUIREMENTS FOR SINGLE FAMILY TO TWO FAMILY DWELLING CONVERSIONS:**

7.12.1 RESIDENTIAL USES - TOWN OF DUNDAS ZONING BY-LAW NO.3581-86

7.12.1.10 - DWELLING, CONVERTED - 3 PARKING SPACES



**SITE PLAN**  
 SCALE: 1/16"=1'  
 1  
 SP1.01

**SITE INFORMATION & STATISTICS:**

ADDRESS	8 COLMAR PLACE, DUNDAS, ON, L9H 4K9
NEIGHBOURHOOD	
LOT NUMBER	
PLAN NUMBER	
ZONING TYPE	R2
LOT AREA	5000 SQ. FT.

**GENERAL NOTES:**

1. ALL CONSTRUCTION TO COMPLY WITH THE REVISED ONTARIO BUILDING CODE 2012.
2. ALL DIMENSION ARE MEASURED TO ROUGH FRAMING OR TO MASONRY SURFACES UNLESS OTHERWISE NOTED.
3. ALL DOORS AND WINDOW OPENINGS ARE MEASURED TO ROUGH FRAMING OR MASONRY OPENINGS.
4. CONTRACTOR IS TO VERIFY WINDOW OPENINGS WITH WINDOW MANUFACTURER PRIOR TO COMMENCING WORK.
5. READ ARCHITECTURAL DRAWINGS IN CONJUNCTION WITH STRUCTURAL, MECHANICAL AND ELECTRICAL DRAWINGS.
6. ELEVATION REFERENCES ARE BASED ON 100'-0" = 131.70m GEODETIC ELEVATIONS AS NOTED ON A1

**DRAWING LIST:**

- SP1.01 - SITE PLAN, SITE STATISTIC AND DRAWING LIST
- A1.01 - EXISTING BASEMENT LEVEL PLAN
- A1.02 - EXISTING MAIN LEVEL PLAN
- A1.03 - PROPOSED BASEMENT LEVEL PLAN

PLANS LEGEND	
<b>BATH</b>	ROOM NAME
E.F.	EXHAUST FAN
2	SPECIFICATION TAG (SEE P. A6)
SA	SMOKE ALARM
CHA	CARBON MONOXIDE ALARM
S	SUPPLY REGISTER
R	RETURN GRILLE
C.H. 7'-0"	CEILING HEIGHT
SC	STRUCTURAL COLUMN
SB	STRUCTURAL BEAM OR WALL
PS	PLUMBING STACK
WM	WATER METER
FD	FLOOR DRAIN

WALL SCHEDULE	
REINFORCED CONCRETE	NEW INTERIOR BRICK
CONCRETE BLOCK	NEW INTERIOR BRICK
CONCRETE BLOCK	NEW INTERIOR BRICK
CONCRETE BLOCK	NEW INTERIOR BRICK
CONCRETE BLOCK	NEW INTERIOR BRICK
CONCRETE BLOCK	NEW INTERIOR BRICK

DOOR LEGEND (NEW DOORS ONLY)	
DOOR TYPE	DOOR HEIGHT (INCHES)
NO. OF DOORS	DOOR WIDTH (INCHES)
A. PANEL DOOR	C. FIRE DOOR W/ SELF CLOSER (20 MIN)
B. FIRE DOOR W/ SELF CLOSER (45 MIN)	D. EXTERIOR DOOR
E. BIFOLD CLOSET	F. SLIDING DOOR

**PROPOSED BASEMENT FLOOR PLAN**

SCALE: 3/16" = 1'-0"

**SEPARATION OF SERVICE ROOM:** SERVICE ROOM TO CONFORM WITH OBC SECTION 9.10.10.4

**IMPORTANT NOTE:** SERVICE ROOM NO LONGER REQUIRES FIRE SEPARATION FROM BOTH UNITS AS IT IS NOW EXEMPT UNDER 9.10.10.4 (2)(b) FOR A "HOUSE", DEFINED IN O.B.C AS "a detached house, semi-detached house or row house containing not more than two dwelling units" - SEE NOTE (6) ON A5.02

VERTICAL PARTITIONS STILL REQUIRES FIRE SEPARATION TO PROVIDE FIRE RESISTANCE RATING BETWEEN DWELLING UNITS

GYPSON BOARD INSIDE SERVICE ROOM TO EXTEND INTO JOIST CAVITY AND BUTTED TIGHTLY AGAINST FLOOR JOISTS AND SUBFLOOR ABOVE - SMALL GAPS TO BE CAULKED WITH FIRE BARRIER SEALANT IN ACCORDANCE WITH CANULC S115

IMPORTANT - ADEQUATE COMBUSTION AIR NEEDED FOR APPLIANCES

**SEPARATION BETWEEN UNITS:**  
NEW SEPARATION BETWEEN UNITS TO HAVE A FIRE RESISTANCE RATING OF 30 MINS AS PER O.B.C. 9.10.9.14, AND STCSO

SEE NOTE (9) ON A5.03 & DETAILS ON A3.01

**AT BASEMENT CEILING (THROUGHOUT SECOND SUITE):**  
USE MMAH SUPPLEMENTARY STANDARD SB-3 TABLE 2 - NO. FRD FLOOR ASSEMBLY:  
- EX. WOOD JOISTS @ 16" O.C.  
- 3" THICK ABSORPTIVE MATERIAL IN CAVITY ("SAFE 'N SOUND")  
- RESILIENT METAL CHANNELS SPACED @ 24" O.C.  
- 1 LAYER 5/8" TYPE X GYPSUM BOARD ON CEILING SIDE

SEE ADDITIONAL NOTE (18) ON A5.03 & DETAILS ON A3.01

**NEW SHARED PARTITIONS:**  
USE MMAH SUPPLEMENTARY STANDARD SB-3 TABLE 1 - NO. VWC WALL ASSEMBLY:  
- NEW 2x4 STUD WALL SPACED 16" O.C.  
- 3" THICK ABSORPTIVE MATERIAL IN CAVITY ("SAFE 'N SOUND")  
- 1 LAYER 1/2" REGULAR GYPSUM BOARD ON EACH SIDE

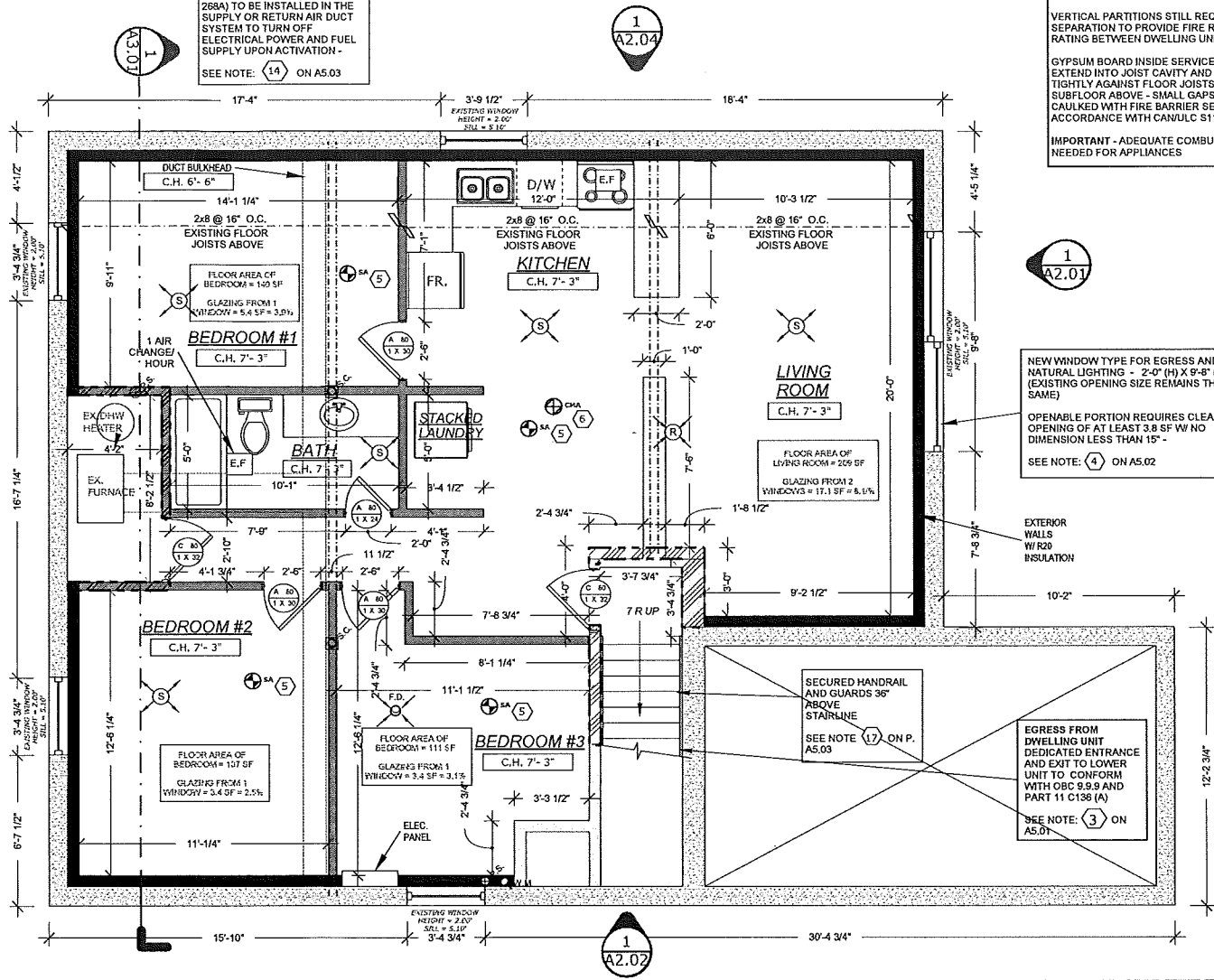
SEE ADDITIONAL NOTE (19) ON A5.03 & DETAILS ON A3.01

**EXISTING SHARED PARTITIONS:**  
EX. 1/2" REGULAR GYPSUM BOARD OR PLASTER TO REMAIN - ADDITIONAL LAYER OF 5/8" TYPE X TO BE APPLIED OVER EXISTING

**FOR PIPE AND WIRE PENETRATIONS:**  
USE FIRE RATED FOAM TESTED IN ACCORDANCE WITH CANULC S-115 (EG. HILTI FIRE FOAM CP 620 OR 3M FIRE BARRIER SEALANT CP 290WB)

**FOR HVAC DUCTING:**  
ADDRESSED WITH IN-DUCT SMOKE DETECTOR: SEE NOTE NEAR FURNACE ON FLOOR PLAN

**FOR SERVICE ITEMS IN FIRE SEPARATION (VALVES, METERS, ELECTRICAL BOXES, ETC):**  
USE ULC RATED FIRE-RATED ACCESS PANELS (MIN. 45 MINS.)



**NEW WINDOW TYPE FOR EGRESS AND NATURAL LIGHTING - 2'-0" (H) X 9'-8" (W) (EXISTING OPENING SIZE REMAINS THE SAME)**

OPENABLE PORTION REQUIRES CLEAR OPENING OF AT LEAST 3.8 SF W/ NO DIMENSION LESS THAN 15" -

SEE NOTE (4) ON A5.02

EXTERIOR WALLS W/ R20 INSULATION

SECURED HANDRAIL AND GUARDS 36" ABOVE STAIRLINE

SEE NOTE (12) ON P. A5.03

EGRESS FROM DWELLING UNIT DEDICATED ENTRANCE AND EXIT TO LOWER UNIT TO CONFORM WITH OBC 9.9.9 AND PART 11 C136 (A)

SEE NOTE (3) ON A5.01

**SUITE ADDITIONS INC.**  
3-2375 Brimley Rd, Suite 807  
Toronto, ON, M1S 3L6  
Tel: 416-525-2628  
Email:  
info@suiteadditions.com



Contractor must verify all dimensions and be responsible for reporting any discrepancies to Suite Additions Inc. before commencing with work. The drawing is an instrument of service and shall remain the property of Suite Additions Inc., the copyright of this drawing and work executed from the same being reserved. Do not scale drawings.

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer

*Andy Tran*  
Andy Tran - Signature  
Individual BCIN: 102774  
Firm: Suite Additions Inc.  
Firm BCIN: 102497

**PROJECT:**  
ACCESSORY APARTMENT

**ADDRESS:**  
8 COLMAR PLACE, DUNDAS, ON, L9H 4K9

**CLIENT:** KARRIE EELHART-DILAG AND KIEV DILAG

**DRAWN BY:** ANDY TRAN

**ISSUE DATE:** MAR 11, 2020 **RE-ISSUE DATE:**

**DESCRIPTION:**  
PROPOSED BASEMENT LEVEL FLOOR PLAN

SCALE: 3/16" = 1'-0"

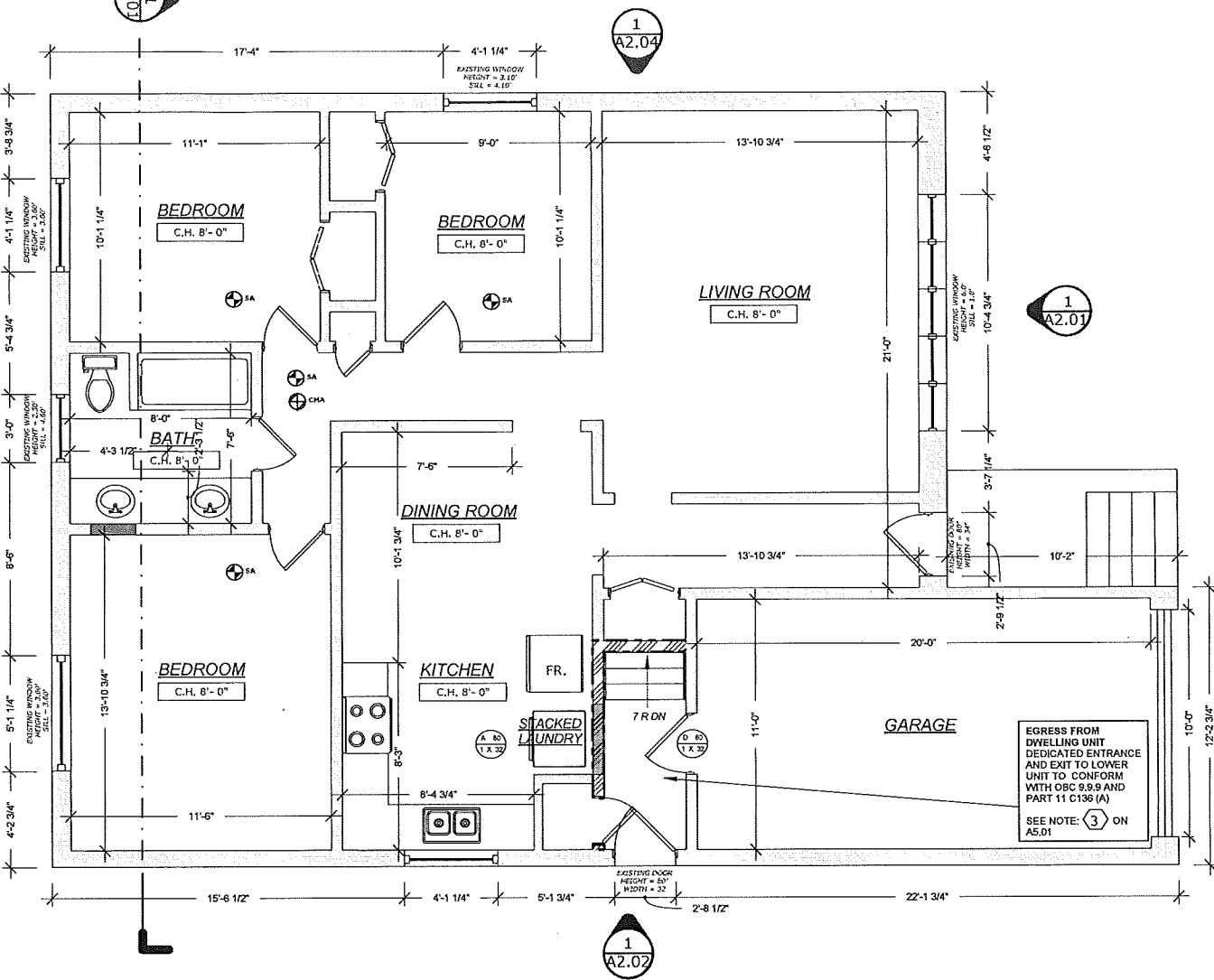
**DRAWING NO:**  
**A1.03**

DN/A-20:85  
Amended  
Sketch(2)

PLANS LEGEND	
<b>BATH</b>	ROOM NAME
[E.F.]	EXHAUST FAN
[2]	SPECIFICATION TAG (SEE P. A5)
[SA]	SMOKE ALARM
[CHA]	CARBON MONOXIDE ALARM
[S]	SUPPLY REGISTER
[R]	RETURN GRILLE
[C.H. 7'-0"]	CEILING HEIGHT
[SC]	STRUCTURAL COLUMN
[SB]	STRUCTURAL BEAM OR WALL
[PS]	PLUMBING STACK
[W.M.]	WATER METER
[F.D.]	FLOOR DRAIN

WALL SCHEDULE	
[Symbol]	EXISTING WALL
[Symbol]	NEW WALL TO BE CONSTRUCTED
[Symbol]	NEW WALL TO BE CONSTRUCTED WITH 1/2" REGULAR GYPSUM BOARD
[Symbol]	NEW WALL TO BE CONSTRUCTED WITH 5/8" TYPE X GYPSUM BOARD
[Symbol]	NEW WALL TO BE CONSTRUCTED WITH 1" TYPE X GYPSUM BOARD
[Symbol]	NEW WALL TO BE CONSTRUCTED WITH 1 1/2" TYPE X GYPSUM BOARD
[Symbol]	NEW WALL TO BE CONSTRUCTED WITH 2" TYPE X GYPSUM BOARD
[Symbol]	NEW WALL TO BE CONSTRUCTED WITH 4" TYPE X GYPSUM BOARD

DOOR LEGEND (NEW DOORS ONLY)	
[Symbol]	A. PANEL DOOR
[Symbol]	B. FIRE DOOR W/ SELF CLOSER (45 MIN)
[Symbol]	C. FIRE DOOR W/ SELF CLOSER (20 MIN)
[Symbol]	D. EXTERIOR DOOR
[Symbol]	E. BIFOLD CLOSET
[Symbol]	F. SLIDING DOOR



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Toronto, ON, M1S 3L6  
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Andy Tran - Signature  
Individual BCIN: 102774  
Firm: Suite Additions Inc.  
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**CLIENT:** KARRIE EELHART-DILAG AND KIEV DILAG

**DRAWN BY:** ANDY TRAN

**ISSUE DATE:** MAR 11, 2020  
**RE-ISSUE DATE:**

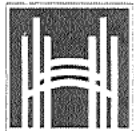
**DESCRIPTION:**  
PROPOSED MAIN LEVEL FLOOR PLAN

**SCALE:** 3/16" = 1'-0"

**DRAWING NO:**  
**A1.04**

DN/A - 20.85  
Amended  
Sketch (3)

20-156328



Hamilton

Committee of Adjustment

City Hall  
5th floor 71 Main Street West  
Hamilton, Ontario L8P 4Y5

Planning and Economic Development Department  
Planning Division

Phone (905) 546-2424 ext.4221  
Fax (905) 546-4202

PLEASE FILL OUT THE FOLLOWING PAGES AND  
RETURN TO THE CITY OF HAMILTON PLANNING  
DEPARTMENT.

FOR OFFICE USE ONLY.		RECEIVED
APPLICATION NO. <u>DN/A-20:85</u>	DATE APPLICATION RECEIVED	<u>MAR 09 2019</u>
PAID _____	DATE APPLICATION DEEMED COMPLETE	_____
SECRETARY'S SIGNATURE _____		

CITY OF HAMILTON  
COMMITTEE OF ADJUSTMENT  
HAMILTON, ONTARIO

*The Planning Act*

Application for Minor Variance or for Permission

The undersigned hereby applies to the Committee of Adjustment for the City of Hamilton under Section 45 of the *Planning Act*, R.S.O. 1990, Chapter P.13 for relief, as described in this application, from the Zoning By-law.

1. Name of Owner KARRIE EELHART-DILAG/KIEV DILAG Telephone No \_\_\_\_\_

2. \_\_\_\_\_

3. Name of Agent ANDY TRAN Telephone No \_\_\_\_\_

4. \_\_\_\_\_

Note: Unless otherwise requested all communications will be sent to the agent, if any.

5. Names and addresses of any mortgagees, holders of charges or other encumbrances:

\_\_\_\_\_  
Postal Code \_\_\_\_\_

\_\_\_\_\_  
Postal Code \_\_\_\_\_

Send sign\*

6. Nature and extent of relief applied for:  
AS PER TOWN OF DUNDAS ZONING BY-LAW NO.3581-86, WE ARE REQUESTING  
A RELIEF FOR SECTION 7.1.1. TO HAVE 2 PARKING SPACES IN FRONT YARD.  
3 TOTAL PARKING SPACES ARE REQUIRED FOR CONVERTED DWELLINGS  
AS PER 7.12.1.10. (DRIVEWAY DESIGN TO REMAIN AS-IS - NO CHANGES)
7. Why it is not possible to comply with the provisions of the By-law?  
THERE IS ONLY 6.24 M BETWEEN HOUSE AND PROPERTY LINE, WHICH IS  
ADEQUATE FOR 2.7 M x 6.0 M PARKING SPACES, BUT DOES NOT PROVIDE  
REQUIRED 6.0 M REAR MANOEUVRING SPACE AS PER 7.14.1 FOR 90 DEGREE  
ANGLE OF PARKING SPACE. REQUESTING FOR 2 ADDITIONAL PARKING SPACES  
TO HAVE ON-STREET MANOEUVRING
8. Legal description of subject lands (registered plan number and lot number or other legal description and where applicable, street and street number):  
8 COLMAR PLACE, DUNDAS, ON, L9H 4K9  


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9. PREVIOUS USE OF PROPERTY
- Residential  Industrial  Commercial   
Agricultural  Vacant   
Other
- 9.1 If Industrial or Commercial, specify use  


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- 9.2 Has the grading of the subject land been changed by adding earth or other material, i.e. has filling occurred?  
Yes  No  Unknown
- 9.3 Has a gas station been located on the subject land or adjacent lands at any time?  
Yes  No  Unknown
- 9.4 Has there been petroleum or other fuel stored on the subject land or adjacent lands?  
Yes  No  Unknown
- 9.5 Are there or have there ever been underground storage tanks or buried waste on the subject land or adjacent lands?  
Yes  No  Unknown
- 9.6 Have the lands or adjacent lands ever been used as an agricultural operation where cyanide products may have been used as pesticides and/or sewage sludge was applied to the lands?  
Yes  No  Unknown
- 9.7 Have the lands or adjacent lands ever been used as a weapon firing range?  
Yes  No  Unknown
- 9.8 Is the nearest boundary line of the application within 500 metres (1,640 feet) of the fill area of an operational/non-operational landfill or dump?  
Yes  No  Unknown
- 9.9 If there are existing or previously existing buildings, are there any building materials remaining on site which are potentially hazardous to public health (eg. asbestos, PCB's)?  
Yes  No  Unknown

9.10 Is there any reason to believe the subject land may have been contaminated by former uses on the site or adjacent sites?

Yes \_\_\_\_\_ No \_\_\_\_\_ Unknown  X

9.11 What information did you use to determine the answers to 9.1 to 9.10 above?

INFORMATION PROVIDED BY HOMEOWNERS   
\_\_\_\_\_  
\_\_\_\_\_

9.12 If previous use of property is industrial or commercial or if YES to any of 9.2 to 9.10, a previous use inventory showing all former uses of the subject land, or if appropriate, the land adjacent to the subject land, is needed.

Is the previous use inventory attached? Yes \_\_\_\_\_ No  X

**ACKNOWLEDGEMENT CLAUSE**

I acknowledge that the City of Hamilton is not responsible for the identification and remediation of contamination on the property which is the subject of this Application – by reason of its approval to this Application.

March 9<sup>th</sup> 2020   
Date

  
Signature Property Owner

Karrie Belhart-Dilley   
Print Name of Owner

10. Dimensions of lands affected:

Frontage  50'-0" (15.24 m)   
Depth  100'-0" (30.48 m)   
Area  5000 SF (464.52 Sq. m)   
Width of street  UNKNOWN

11. Particulars of all buildings and structures on or proposed for the subject lands: (Specify ground floor area, gross floor area, number of stories, width, length, height, etc.)

Existing:  GROUND FLOOR AREA = 1224 SF (113.7 Sq. m)   
 GROSS FLOOR AREA = 2448 SF (227.4 Sq. m)   
 ONE STOREY; 34'-3/4 " (10.59 m) WIDE, 39'-5 1/2" (12.07 m) LONG   
 8'-0" (2.44 m) HIGH

Proposed:  SAME AS ABOVE   
 SEE ATTACHED SITE PLAN   
\_\_\_\_\_  
\_\_\_\_\_

12. Location of all buildings and structures on or proposed for the subject lands; (Specify distance from side, rear and front lot lines)

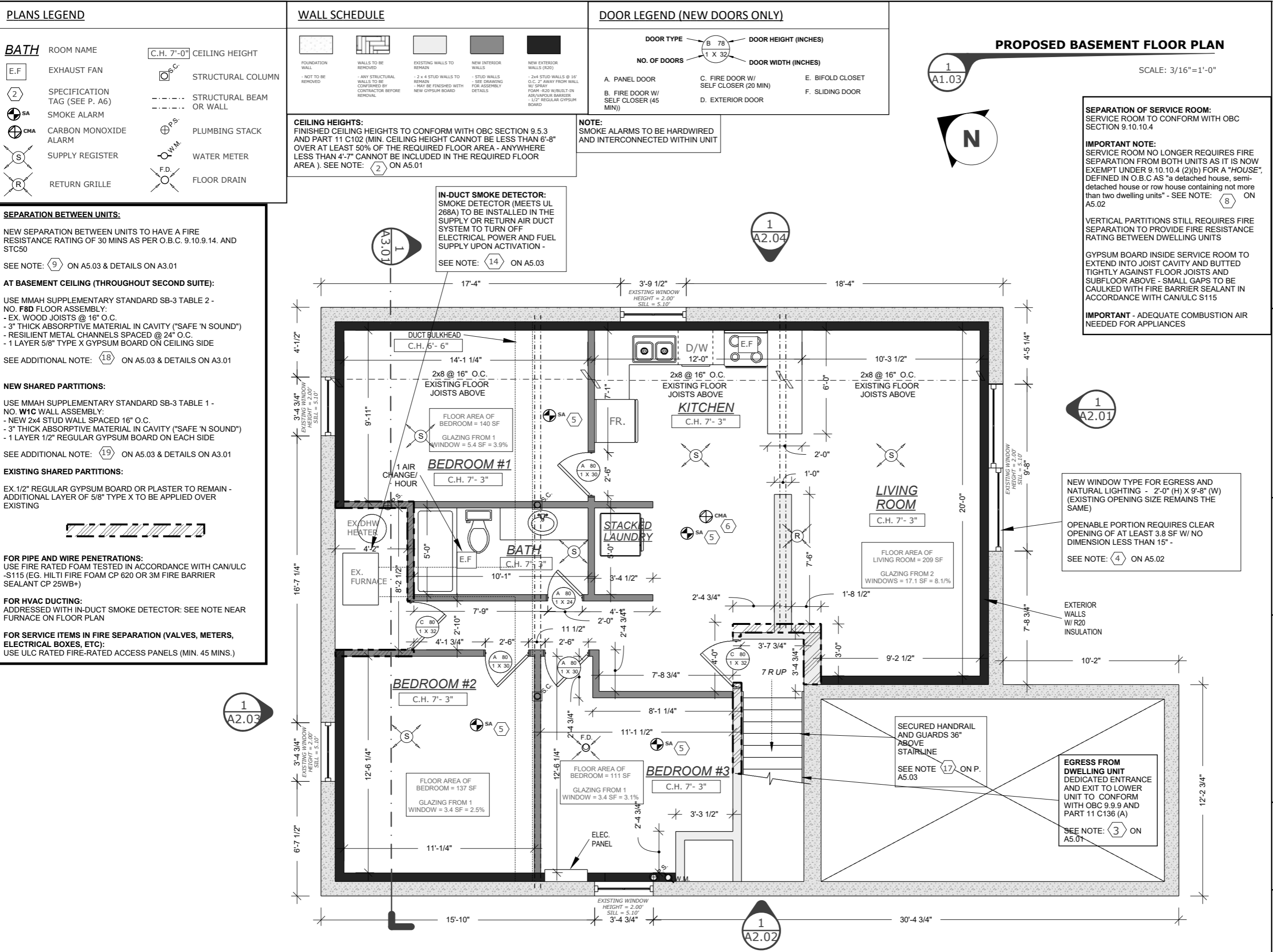
Existing:  (S) FRONT SETBACK - 19'-9 3/4" (6.04 m)   
 (W) SIDE SETBACK - 8'-3 1/4" (2.52 m)   
 (N) REAR SETBACK - 30'-5 1/2" (9.28 m)   
 (E) SIDE SETBACK - 7'- 9 1/4" (2.37 m)

Proposed:  SAME AS ABOVE   
 SEE ATTACHED SITE PLAN   
\_\_\_\_\_  
\_\_\_\_\_



13. Date of acquisition of subject lands:  
MARCH 6, 2020
14. Date of construction of all buildings and structures on subject lands:  
1970
15. Existing uses of the subject property: RESIDENTIAL SINGLE FAMILY - DETACHED
16. Existing uses of abutting properties: RESIDENTIAL SINGLE FAMILY - DETACHED
17. Length of time the existing uses of the subject property have continued:  
SINCE TIME OF CONSTRUCTION - APPROXIMATELY 50 YEARS
18. Municipal services available: (check the appropriate space or spaces)
- |                |          |           |          |
|----------------|----------|-----------|----------|
| Water          | <u>X</u> | Connected | <u>X</u> |
| Sanitary Sewer | <u>X</u> | Connected | <u>X</u> |
| Storm Sewers   | <u>X</u> |           |          |
19. Present Official Plan/Secondary Plan provisions applying to the land:  
 \_\_\_\_\_  
 \_\_\_\_\_
20. Present Restricted Area By-law (Zoning By-law) provisions applying to the land:  
R2
21. Has the owner previously applied for relief in respect of the subject property?  
 Yes \_\_\_\_\_ No X  
 If the answer is yes, describe briefly.  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_
22. Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?  
 Yes \_\_\_\_\_ No \_\_\_\_\_
23. The applicant shall attach to each copy of this application a plan showing the dimensions of the subject lands and of all abutting lands and showing the location, size and type of all buildings and structures on the subject and abutting lands, and where required by the Committee of Adjustment such plan shall be signed by an Ontario Land Surveyor.

**NOTE:** It is required that two copies of this application be filed with the secretary-treasurer of the Committee of Adjustment together with the maps referred to in Section 5 and be accompanied by the appropriate fee in cash or by cheque made payable to the City of Hamilton.



**PLANS LEGEND**

BATH	ROOM NAME	C.H. 7'-0"	CEILING HEIGHT
[E.F.]	EXHAUST FAN	[C.S.C.]	STRUCTURAL COLUMN
[2]	SPECIFICATION TAG (SEE P. A6)	[S.B.]	STRUCTURAL BEAM OR WALL
[SA]	SMOKE ALARM	[P.S.]	PLUMBING STACK
[CMA]	CARBON MONOXIDE ALARM	[W.M.]	WATER METER
[S]	SUPPLY REGISTER	[F.D.]	FLOOR DRAIN
[R]	RETURN GRILLE		

**WALL SCHEDULE**

FOUNDATION WALL	WALLS TO BE REMOVED	EXISTING WALLS TO REMAIN	NEW INTERIOR WALLS	NEW EXTERIOR WALLS (R20)
[Pattern]	[Pattern]	[Pattern]	[Pattern]	[Pattern]
NOT TO BE REMOVED	ANY STRUCTURAL WALLS TO BE CONFIRMED BY CONTRACTOR BEFORE REMOVAL	2 x 4 STUD WALLS TO REMAIN - MAY BE FINISHED WITH NEW GYPSUM BOARD	STUD WALLS - SEE DRAWING FOR ASSEMBLY DETAILS	2x4 STUD WALLS @ 16" O.C. 2" AWAY FROM WALL W/ 5/8" FOAM - R20 W/BUILT-IN AIR/VAPOR BARRIER - 1/2" REGULAR GYPSUM BOARD

**DOOR LEGEND (NEW DOORS ONLY)**

DOOR TYPE	DOOR HEIGHT (INCHES)	DOOR WIDTH (INCHES)
A. PANEL DOOR	78"	32"
B. FIRE DOOR W/ SELF CLOSER (45 MIN)		
C. FIRE DOOR W/ SELF CLOSER (20 MIN)		
D. EXTERIOR DOOR		
E. BIFOLD CLOSET		
F. SLIDING DOOR		

**PROPOSED BASEMENT FLOOR PLAN**

SCALE: 3/16" = 1'-0"

1  
A1.03

N

**SEPARATION BETWEEN UNITS:**  
 NEW SEPARATION BETWEEN UNITS TO HAVE A FIRE RESISTANCE RATING OF 30 MINS AS PER O.B.C. 9.10.9.14. AND STC50  
 SEE NOTE: [9] ON A5.03 & DETAILS ON A3.01

**AT BASEMENT CEILING (THROUGHOUT SECOND SUITE):**  
 USE MMAH SUPPLEMENTARY STANDARD SB-3 TABLE 2 - NO. F8D FLOOR ASSEMBLY:  
 - EX. WOOD JOISTS @ 16" O.C.  
 - 3" THICK ABSORPTIVE MATERIAL IN CAVITY ("SAFE 'N SOUND")  
 - RESILIENT METAL CHANNELS SPACED @ 24" O.C.  
 - 1 LAYER 5/8" TYPE X GYPSUM BOARD ON CEILING SIDE  
 SEE ADDITIONAL NOTE: [18] ON A5.03 & DETAILS ON A3.01

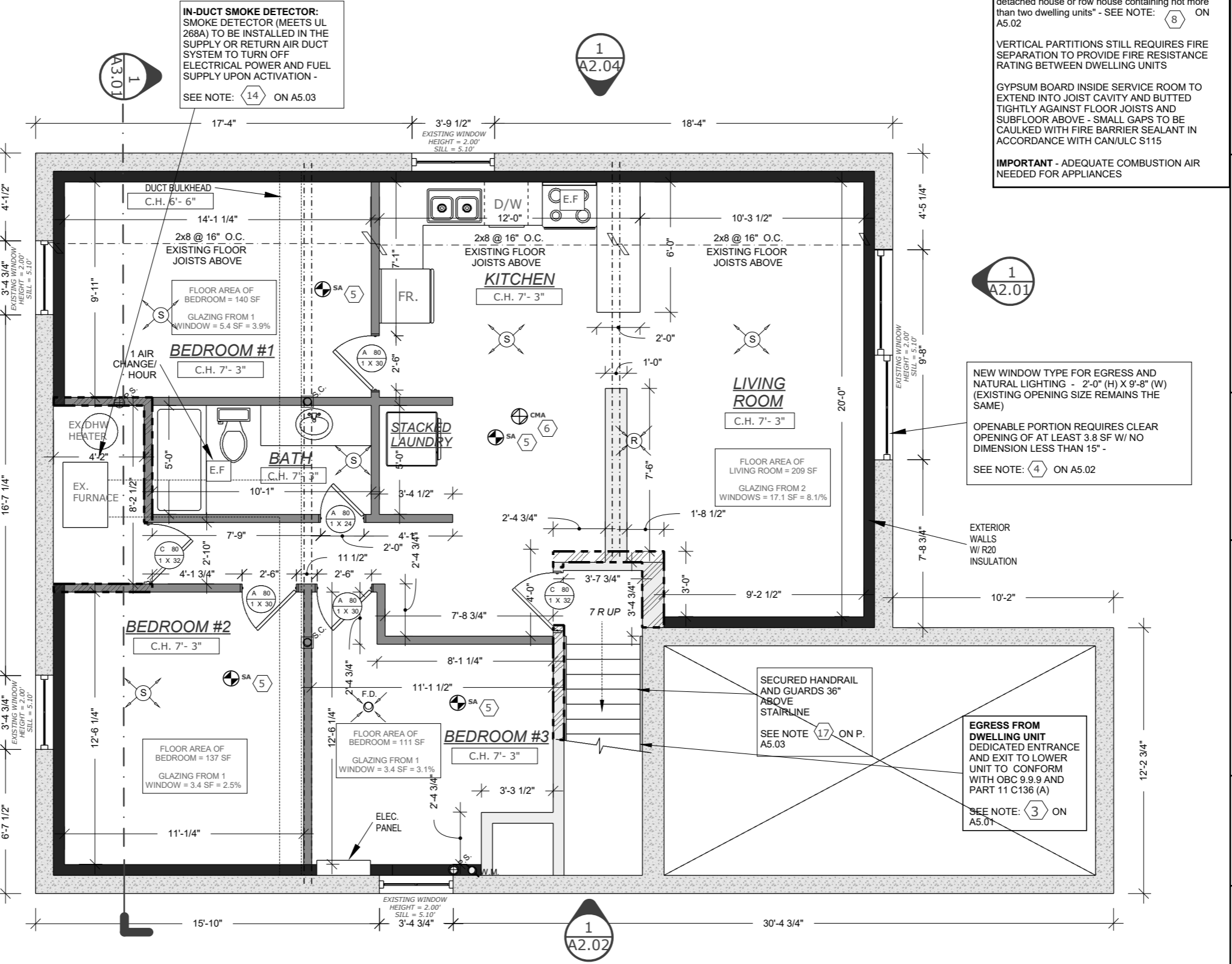
**NEW SHARED PARTITIONS:**  
 USE MMAH SUPPLEMENTARY STANDARD SB-3 TABLE 1 - NO. W1C WALL ASSEMBLY:  
 - NEW 2x4 STUD WALL SPACED 16" O.C.  
 - 3" THICK ABSORPTIVE MATERIAL IN CAVITY ("SAFE 'N SOUND")  
 - 1 LAYER 1/2" REGULAR GYPSUM BOARD ON EACH SIDE  
 SEE ADDITIONAL NOTE: [19] ON A5.03 & DETAILS ON A3.01

**EXISTING SHARED PARTITIONS:**  
 EX. 1/2" REGULAR GYPSUM BOARD OR PLASTER TO REMAIN - ADDITIONAL LAYER OF 5/8" TYPE X TO BE APPLIED OVER EXISTING

**FOR PIPE AND WIRE PENETRATIONS:**  
 USE FIRE RATED FOAM TESTED IN ACCORDANCE WITH CAN/ULC-S115 (EG. HILTI FIRE FOAM CP 620 OR 3M FIRE BARRIER SEALANT CP 25WB+)

**FOR HVAC DUCTING:**  
 ADDRESSED WITH IN-DUCT SMOKE DETECTOR: SEE NOTE NEAR FURNACE ON FLOOR PLAN

**FOR SERVICE ITEMS IN FIRE SEPARATION (VALVES, METERS, ELECTRICAL BOXES, ETC):**  
 USE ULC RATED FIRE-RATED ACCESS PANELS (MIN. 45 MINS.)



**SEPARATION OF SERVICE ROOM:**  
 SERVICE ROOM TO CONFORM WITH OBC SECTION 9.10.10.4

**IMPORTANT NOTE:**  
 SERVICE ROOM NO LONGER REQUIRES FIRE SEPARATION FROM BOTH UNITS AS IT IS NOW EXEMPT UNDER 9.10.10.4 (2)(b) FOR A "HOUSE", DEFINED IN O.B.C AS "a detached house, semi-detached house or row house containing not more than two dwelling units" - SEE NOTE: [8] ON A5.02

VERTICAL PARTITIONS STILL REQUIRES FIRE SEPARATION TO PROVIDE FIRE RESISTANCE RATING BETWEEN DWELLING UNITS

GYPSUM BOARD INSIDE SERVICE ROOM TO EXTEND INTO JOIST CAVITY AND BUTTED TIGHTLY AGAINST FLOOR JOISTS AND SUBFLOOR ABOVE - SMALL GAPS TO BE CAULKED WITH FIRE BARRIER SEALANT IN ACCORDANCE WITH CAN/ULC S115

**IMPORTANT - ADEQUATE COMBUSTION AIR NEEDED FOR APPLIANCES**

**SUITE ADDITIONS INC.**  
 3-2375 Brimley Rd, Suite 807  
 Toronto, ON, M1S 3L6  
 Tel: 416-525-2628  
 Email: info@suiteadditions.com

Contractor must verify all dimensions and be responsible for reporting any discrepancies to Suite Additions Inc. before commencing with work. The drawing is an instrument of service and shall remain the property of Suite Additions Inc., the copyright of this drawing and work executed from the same being reserved. Do not scale drawings.

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer

Andy Tran - Signature  
 Individual BCIN: 102774  
 Firm: Suite Additions Inc.  
 Firm BCIN: 102497

**PROJECT:**  
 ACCESSORY APARTMENT

**ADDRESS:**  
 8 COLMAR PLACE, DUNDAS, ON, L9H 4K9

**CLIENT:** KARRIE EELHART-DILAG AND KIEV DILAG

**DRAWN BY:** ANDY TRAN

**ISSUE DATE:** MAR 11, 2020      **RE-ISSUE DATE:**

**DESCRIPTION:**  
 PROPOSED BASEMENT LEVEL FLOOR PLAN

SCALE: 3/16" = 1'-0"

**DRAWING NO:**  
 A1.03

**PLANS LEGEND**

BATH ROOM NAME		C.H. 7'-0"	CEILING HEIGHT
E.F.	EXHAUST FAN		STRUCTURAL COLUMN
	SPECIFICATION TAG (SEE P. A6)		STRUCTURAL BEAM OR WALL
	SMOKE ALARM		PLUMBING STACK
	CARBON MONOXIDE ALARM		WATER METER
	SUPPLY REGISTER		FLOOR DRAIN
	RETURN GRILLE		

**WALL SCHEDULE**

	FOUNDATION WALL		WALLS TO BE REMOVED		EXISTING WALLS TO REMAIN		NEW INTERIOR WALLS		NEW EXTERIOR WALLS (202)
	NOT TO BE REMOVED		ANY STRUCTURAL WALLS TO BE CONFIRMED BY CONTRACTOR BEFORE REMOVAL		2x4 STUD WALLS TO REMAIN		STUD WALLS TO BE CONFIRMED BY CONTRACTOR BEFORE REMOVAL		2x4 STUD WALLS @ 16\"/>

**NOTE:**  
SMOKE ALARMS TO BE HARDWIRED AND INTERCONNECTED WITHIN UNIT

**DOOR LEGEND (NEW DOORS ONLY)**

	A. PANEL DOOR		C. FIRE DOOR W/ SELF CLOSER (20 MIN)		E. BIFOLD CLOSET
	B. FIRE DOOR W/ SELF CLOSER (45 MIN)		D. EXTERIOR DOOR		F. SLIDING DOOR

**EXISTING MAIN FLOOR PLAN**

SCALE: 3/16"=1'-0"

**SEPARATION BETWEEN UNITS:**

NEW SEPARATION BETWEEN UNITS TO HAVE A FIRE RESISTANCE RATING OF 30 MINS AS PER O.B.C. 9.10.9.14. AND STC50  
SEE NOTE: (9) ON A5.03 & DETAILS ON A3.01

**NEW SHARED PARTITIONS:**

USE MMAH SUPPLEMENTARY STANDARD SB-3 TABLE 1 - NO. W1C WALL ASSEMBLY:  
- NEW 2x4 STUD WALL SPACED 16" O.C.  
- 3" THICK ABSORPTIVE MATERIAL IN CAVITY ("SAFE 'N SOUND")  
- 1 LAYER 1/2" REGULAR GYPSUM BOARD ON EACH SIDE  
SEE ADDITIONAL NOTE: (19) ON A5.03 & DETAILS ON A3.01

**EXISTING SHARED PARTITIONS:**

EX. 1/2" REGULAR GYPSUM BOARD OR PLASTER TO REMAIN - ADDITIONAL LAYER OF 5/8" TYPE X TO BE APPLIED OVER EXISTING

**FOR PIPE AND WIRE PENETRATIONS:**

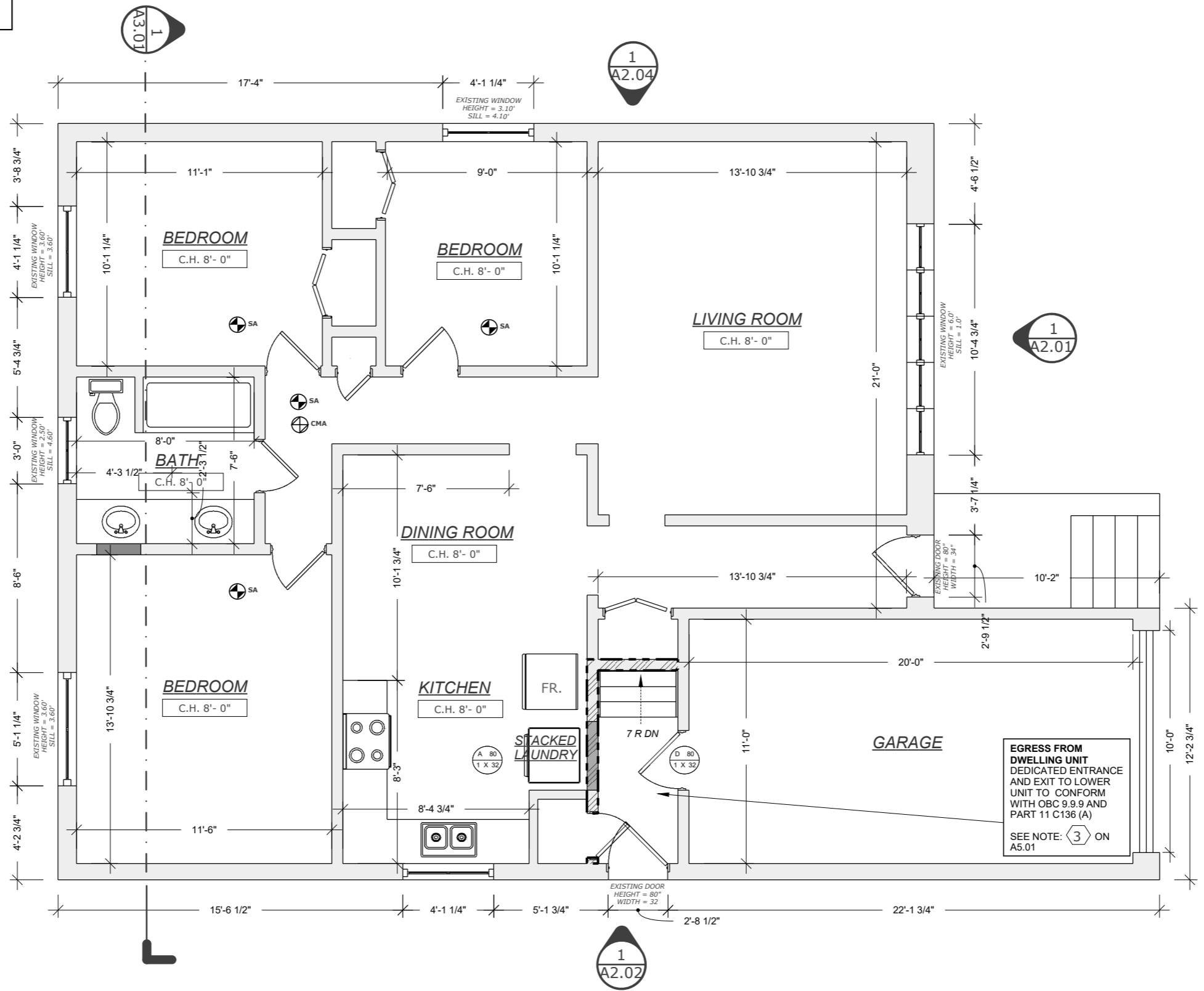
USE FIRE RATED FOAM TESTED IN ACCORDANCE WITH CAN/ULC -S115 (EG. HILTI FIRE FOAM CP 620 OR 3M FIRE BARRIER SEALANT CP 25WB+)

**FOR HVAC DUCTING:**

ADDRESSED WITH IN-DUCT SMOKE DETECTOR: SEE NOTE NEAR FURNACE ON FLOOR PLAN

**FOR SERVICE ITEMS IN FIRE SEPARATION (VALVES, METERS, ELECTRICAL BOXES, ETC):**

USE ULC RATED FIRE-RATED ACCESS PANELS (MIN. 45 MINS.)



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*Andy Tran*  
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ON, L9H 4K9

**CLIENT:** KARRIE EELHART-DILAG  
AND KIEV DILAG

**DRAWN BY:** ANDY TRAN

**ISSUE DATE:** MAR 11, 2020  
**RE-ISSUE DATE:**

**DESCRIPTION:**  
PROPOSED MAIN LEVEL  
FLOOR PLAN

**SCALE:** 3/16" = 1'-0"

**DRAWING NO:**  
**A1.04**