



Hamilton

COMMITTEE OF ADJUSTMENT

City Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5
Telephone (905) 546-2424, ext. 4221, 3935 Fax (905) 546-4202

E-mail: cofa@hamilton.ca

NOTICE OF PUBLIC HEARING
Minor Variance

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
 - Applicant/agent on file, or
 - Person likely to be interested in this application
-

APPLICATION NO.: HM/A-20:77

APPLICANTS: David Wilson on behalf of the owner Skyway Construction Group Inc. c/o Greg Hart

SUBJECT PROPERTY: Municipal address **125 Mount Albion Rd., City of Hamilton**

ZONING BY-LAW: Zoning By-law 6593, as Amended by By-law 73-152

ZONING: "C" (Urban Protected Residential) district

PROPOSAL: To expand the legal non-conforming use of a 6-unit Multiple Dwelling to have an increased gross floor area of 737 square metres notwithstanding that:

1. A loading space with a minimum width of 3.0 metres shall be permitted instead of the 3.7 metres minimum loading space width required.
2. No planting strip shall be provided.
3. A separate ingress and egress driveway shall be provided with a combined width of 5.5 metres instead of the minimum required separate ingress driveway and separate egress driveway, each having a width of at least 3.0 metres and each operated in a one way but opposite direction to each other.
4. The northerly parking area shall be located 1.5 metres from the common boundary between the Multiple Dwelling and the C District instead of the 3.0 metres required between the common boundary between the district in which the multiple dwelling is located and the district that does not permit such uses.
5. The southerly parking area shall be located 0.0 metres from the common boundary between the Multiple Dwelling and the C District instead of the 3.0 metres required between the common boundary between the district in which the multiple dwelling is located and the district that does not permit such uses.
6. Three (3) storeys shall be permitted instead of the maximum two and a half storeys required.

NOTES:

1. Illumination of the parking area shall be provided in accordance with Section 18A.(13); "Illumination is provided for a parking area or loading space the illumination shall be directed towards or on the lot on which the parking area is located and away from, (a) any adjacent use; (b) any highway."

2. Two visitors parking spaces are required for the Legal Non-Conforming 6-unit Multiple Dwelling. Visitor parking spaces shall be provided in accordance with Section 18A.(16); "Each required visitor parking space shall, (a) be maintained for the exclusive use of visitors; and (b) have a sign appurtenant thereto legibly marked that the parking space is for the exclusive use of visitors; and (c) be maintained readily accessible to visitors and free and clear of all obstructions."
3. Manoeuvring space shall be provided in accordance with Section 18A.(22); "All manoeuvring spaces shall be maintained free and clear of all obstructions to permit unobstructed access to and egress from required parking spaces."
4. The loading space shall be provided in accordance with Section 18A.(32); "Sufficient space additional to required loading space shall be provided and maintained on the same lot on which the loading space is located, in such a manner as to enable each and every loading space to be unobstructed and freely and readily accessible from within the lot, without moving any vehicle on the lot or encroaching on any designated parking or loading space."
5. The loading space shall be provided in accordance with Section 18A.(33); "Every loading space shall be provided and maintained to permit commercial motor vehicles to move readily and without hindrance between the loading space and an access driveway."
6. The parking area provided along the northerly side lot line shall be provided in accordance with Section 18A.(24)(b)(iii)(iv); "Markings on the surface of the parking area delineating the separate parking spaces; and bumpers or wheel barriers to prevent physical encroachment beyond the parking area except at the entrance to and exit from the parking area."

This application will be heard by the Committee as shown below:

DATE: Thursday, July 16th, 2020
TIME: 2:50p.m.
PLACE: Via video link or call in (see attached sheet for details)
To be streamed at www.hamilton.ca/committeeofadjustment
for viewing purposes only

PUBLIC INPUT

Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

Orally: If you would like to speak to this item at the hearing you may do so via video link or by calling in. Please see attached page for complete instructions, including deadlines for registering to participate.

MORE INFORMATION

For more information on this matter, including access to drawings illustrating this request:

- Visit www.hamilton.ca/committeeofadjustment
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935
- Email Committee of Adjustment staff at cofa@hamilton.ca

DATED: June 30th, 2020.

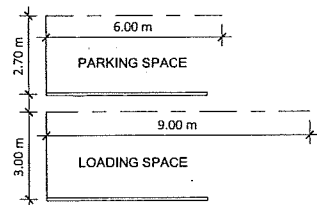
Original Signed

Jamila Sheffield,
Secretary-Treasurer
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public.

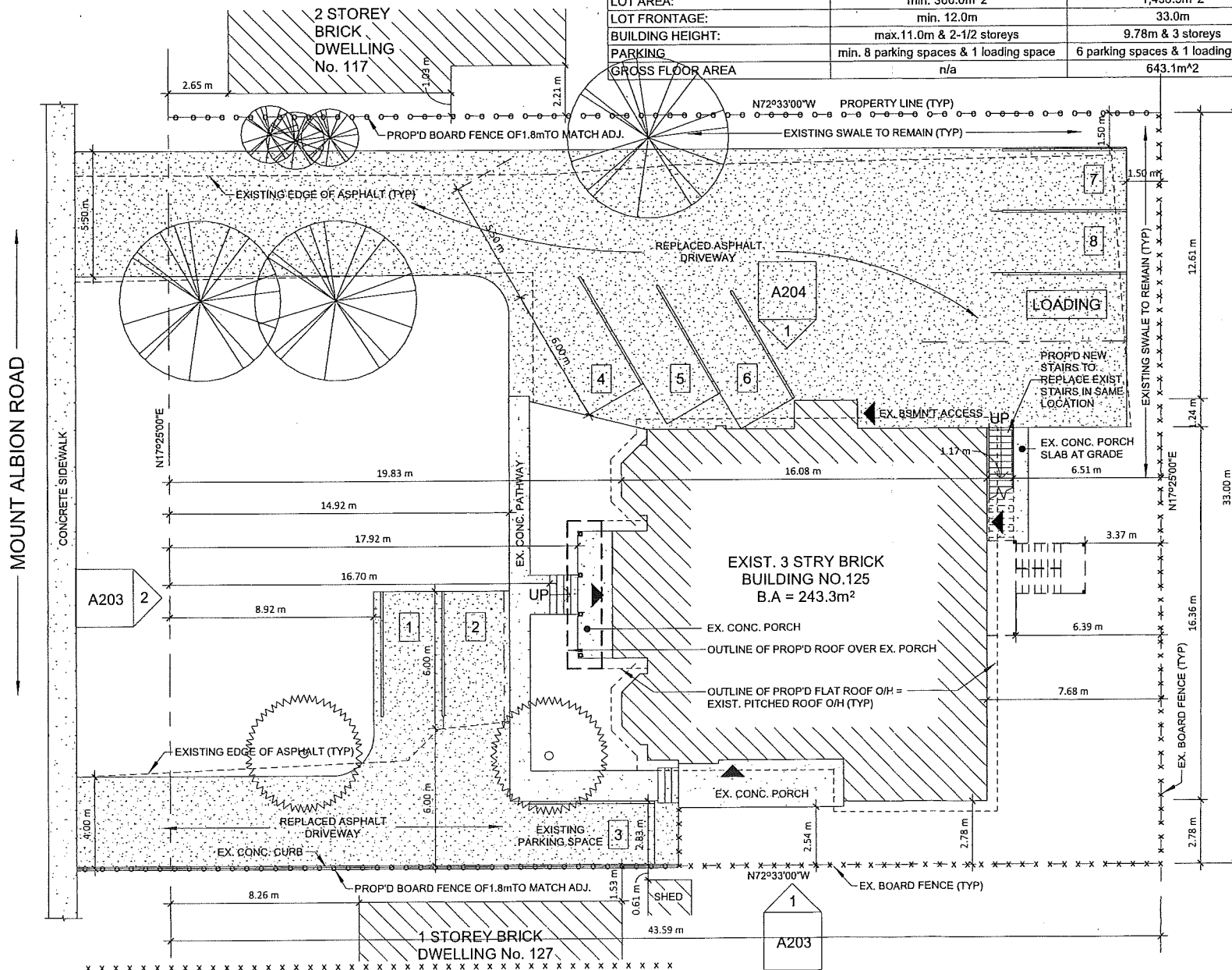
NOTES:

► DENOTES EXISTING ENTRANCE



PROJECT ZONING DATA

ADDRESS:	125 Mount Albion Rd., Hamilton, ON, L8K 5S7		
ZONING:	C - URBAN PROTECTED RESIDENTIAL		
RECOGNIZED USE:	6 Unit Multiple Dwelling as per ZV CERT No. 19-108593 00 ZE2		
PROPOSED USE	6 Unit Multiple Dwelling		
ITEM	REQUIRED	EXISTING	PROPOSED
LOT AREA:	min. 360.0m ²	1,438.5m ²	1,438.5m ²
LOT FRONTAGE:	min. 12.0m	33.0m	33.0m
BUILDING HEIGHT:	max. 11.0m & 2-1/2 storeys	9.78m & 3 storeys	9.78 & 3 storeys
PARKING	min. 8 parking spaces & 1 loading space	6 parking spaces & 1 loading space	8 parking spaces & 1 loading space
GROSS FLOOR AREA	n/a	643.1m ²	736.72m ²



SITE SKETCH BASED ON
SURVEY BY MATHEW DI
COSMO OF BARICH GRENKIE
SURVEYING LTD. OCT 22, 2019

BUILT ENVIRONMENT

design + consulting

126 Catharine St. N. :: Hamilton :: L8R 1J4
905.869.6595 info@builtdesign.ca

QUALIFICATION & REGISTRATION INFO

The undersigned has reviewed & takes responsibility for this design & has the qualifications & meets the requirements set out in the current Ontario Building Code to be a designer.

THIS SIGNATURE MUST BE IN RED TO BE VALID

D. Wilson BSc, BA(Hons), BEd, LEED GA
FIRM REGISTRATION: BCIN 46390

Contract documents, drawings and all electronic data are the copyright of the designers & consultants and shall not be used or reproduced without authorization.

No.	Description	Date
	M/V APPL'N	FEB 19, 2020

SKYWAY CONSTRUCTION

INTERIOR ALTERATIONS

125 MOUNT ALBION RD,
HAMILTON, ON, L8K 5S7

SITE PLAN

Project: ADDRESS
Issue Date: May 2019

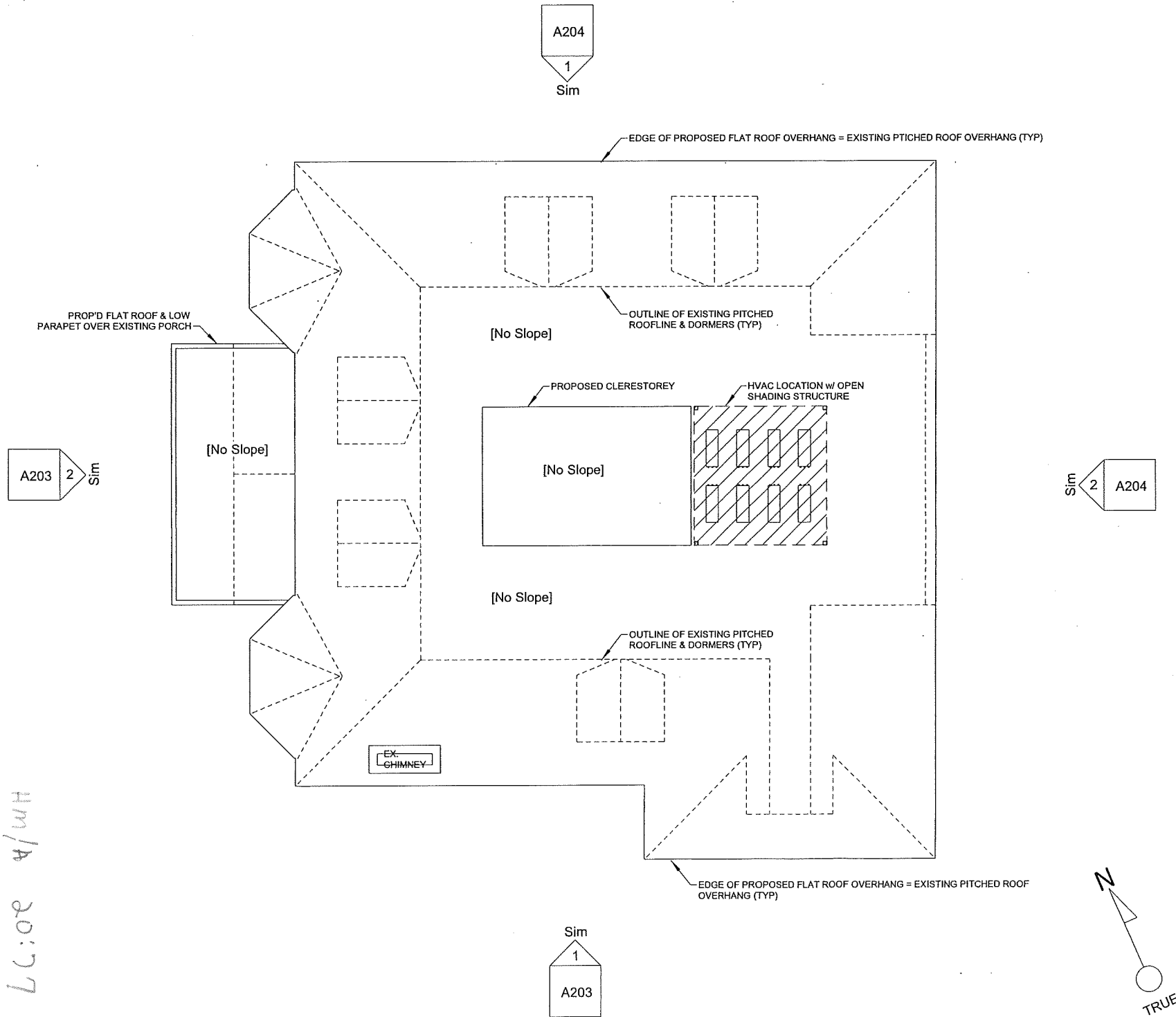


A010

① SITE
1 : 200

SKETCH
Hm/A 20:77

Handwritten notes:
Hm/A 20:77
Sidd



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	M/V APPL'N	FEB 19, 2020
No.	Description	Date

SKYWAY CONSTRUCTION

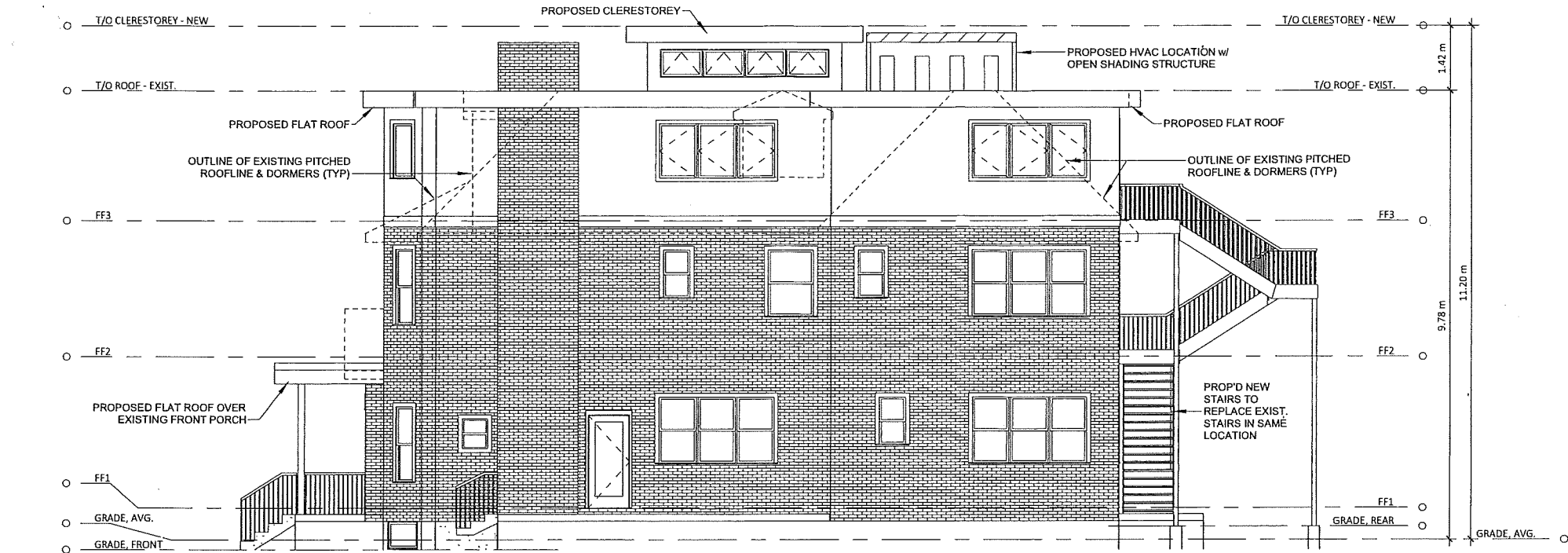
INTERIOR ALTERATIONS
125 MOUNT ALBION RD,
HAMILTON, ON, L8K 5S7

ROOF PLAN - PROPOSED

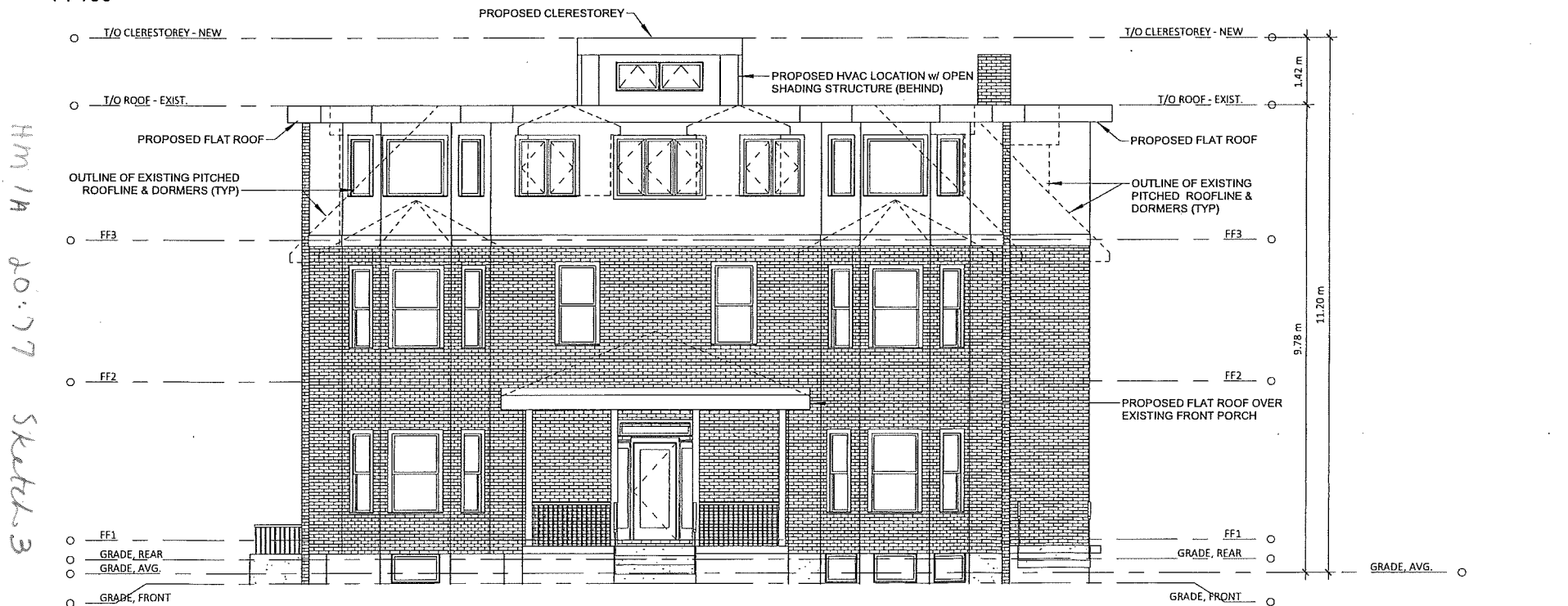
Project:	ADDRESS
Issue Date:	May 2019

PROJECT NORTH

A115



① SOUTH - PROP'D
1:100



② WEST - PROP'D
1:100

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126 Catharine St. N. :: Hamilton :: L8R 1J4
905.869.6595 info@bulldesign.ca

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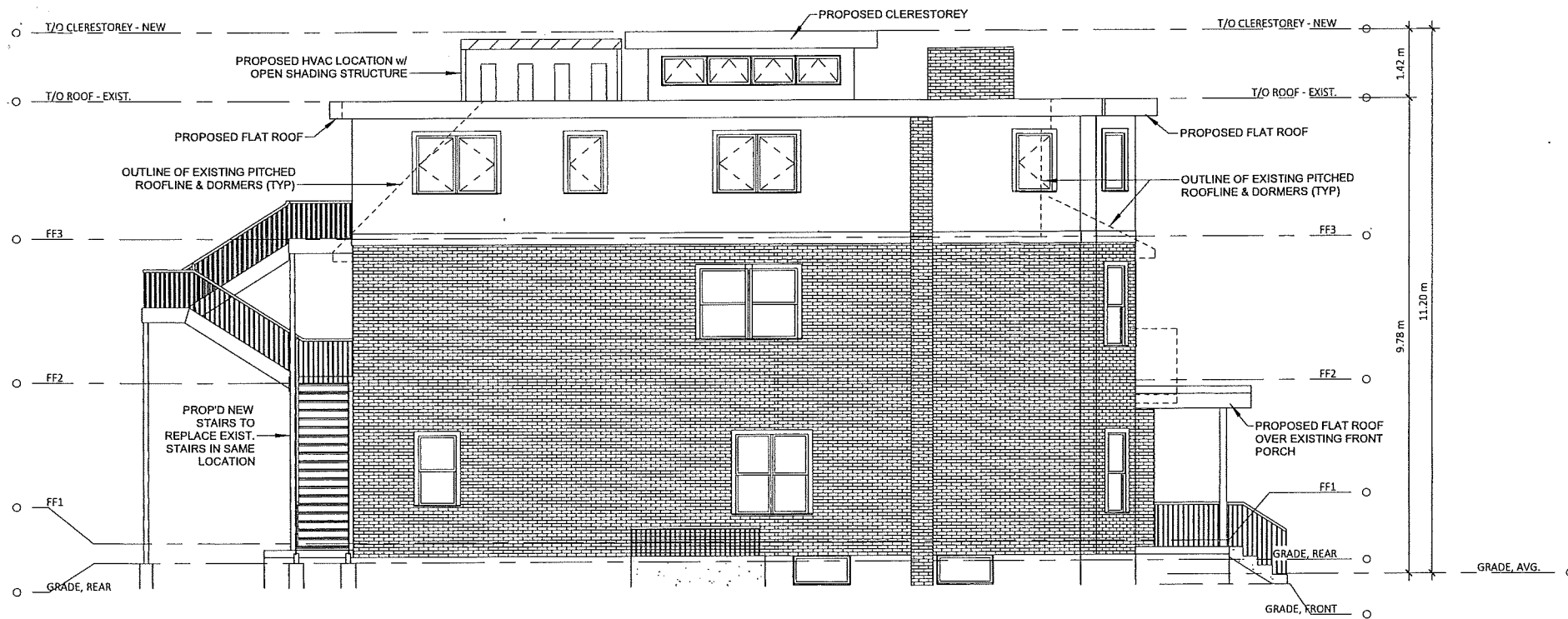
No.	Description	Date
	MV APPL'N	FEB 19, 2020

SKYWAY CONSTRUCTION

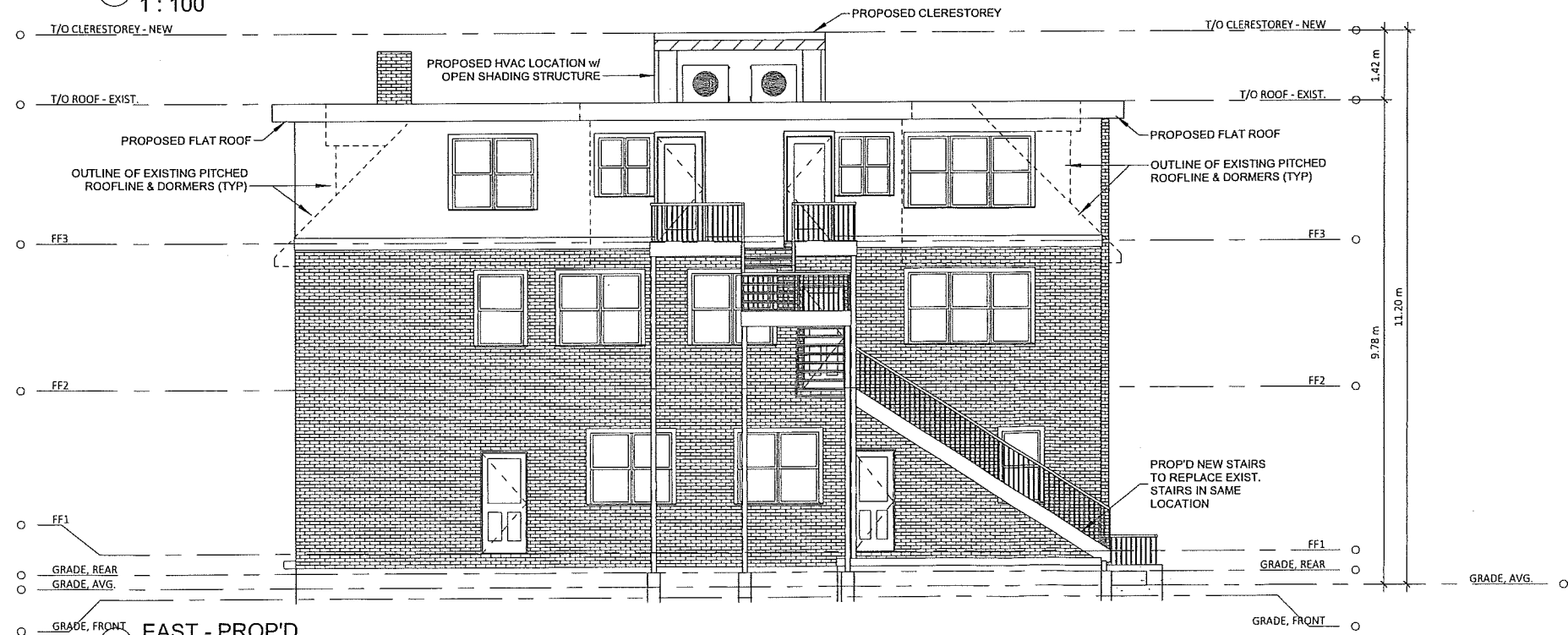
INTERIOR ALTERATIONS

125 MOUNT ALBION RD,
HAMILTON, ON, L8K 5S7

ELEVATIONS - PROPOSED	
Project:	ADDRESS
Issue Date:	May 2019
A203	



① NORTH - PROP'D
1 : 100



② EAST - PROP'D
1 : 100

Handwritten notes: Hm/1A, sketch 4, 20:27

BUILT ENVIRONMENT
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905.869.6595 info@builtdesign.ca

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	M/V APPL'N	FEB 19, 2020
No.	Description	Date

SKYWAY CONSTRUCTION

INTERIOR ALTERATIONS

125 MOUNT ALBION RD,
HAMILTON, ON, L8K 5S7

ELEVATIONS - PROPOSED

Project: ADDRESS
Issue Date: May 2019

A204

20.155273



Hamilton

Planning and Economic Development Department
Planning Division

Committee of Adjustment
City Hall
5th floor 71 Main Street West
Hamilton, Ontario L8P 4Y5

Phone (905) 546-2424 ext.4221
Fax (905) 546-4202

PLEASE FILL OUT THE FOLLOWING PAGES AND
RETURN TO THE CITY OF HAMILTON PLANNING
DEPARTMENT.

FOR OFFICE USE ONLY.

APPLICATION NO. Hm/A 20-77 DATE APPLICATION RECEIVED Mar. 4/20

PAID _____ DATE APPLICATION DEEMED COMPLETE _____

SECRETARY'S
SIGNATURE _____

CITY OF HAMILTON
COMMITTEE OF ADJUSTMENT
HAMILTON, ONTARIO

The Planning Act

Application for Minor Variance or for Permission

The undersigned hereby applies to the Committee of Adjustment for the City of Hamilton under Section 45 of the *Planning Act*, R.S.O. 1990, Chapter P.13 for relief, as described in this application, from the Zoning By-law.

1. Name of Owner Skyway Construction Group Inc Telephone No. _____

2. _____

3. Name of Agent David Wilson Telephone No. _____

4. _____

Postal Code _____

Note: Unless otherwise requested all communications will be sent to the agent, if any.

5. Names and addresses of any mortgagees, holders of charges or other encumbrances:
none

Postal Code _____

Postal Code _____

- Page 2

- 9.10 Is there any reason to believe the subject land may have been contaminated by former uses on the site or adjacent sites?
Yes _____ No X Unknown _____
- 9.11 What information did you use to determine the answers to 9.1 to 9.10 above?
By inspection, the existing original home on the subject land appears to have been constructed circa 1890's. It appears to have been a farm up to severance approx. 1969 to create the surrounding residential neighbourhood.
- 9.12 If previous use of property is industrial or commercial or if YES to any of 9.2 to 9.10, a previous use inventory showing all former uses of the subject land, or if appropriate, the land adjacent to the subject land, is needed.
Is the previous use inventory attached? Yes _____ No _____

ACKNOWLEDGEMENT CLAUSE

I acknowledge that the City of Hamilton is not responsible for the identification and remediation of contamination on the property which is the subject of this Application – by reason of its approval to this Application.

Mar 3 / 2020
Date



Signature Property Owner

Greg Hart for Skyway Construction Group Inc
Print Name of Owner

10. Dimensions of lands affected:
- | | |
|-----------------|-----------------------------|
| Frontage | <u>33.0m</u> |
| Depth | <u>43.59m</u> |
| Area | <u>1,438.5m²</u> |
| Width of street | <u>~20m+/-</u> |
11. Particulars of all buildings and structures on or proposed for the subject lands: (Specify ground floor area, gross floor area, number of stories, width, length, height, etc.)
- Existing: Ground Floor Area: 243.3m²
- Gross Floor Area: 643.1m²
- No. of Storeys: 3
- Height: 9.78m grade to roof peak
- Proposed: Ground Floor Area: 243.3m²
- Gross Floor Area: 736.72m²
- No. of Storeys: 3
- Height: 9.78m grade to roof peak (+1.42m roof to t/o clerestory, providing light & ventilation, & thus is not incl. in Building Height as per By-Law)
12. Location of all buildings and structures on or proposed for the subject lands; (Specify distance from side, rear and front lot lines)
- Existing: Please see attached Site Plan
- Proposed: Please see attached Site Plan

13. Date of acquisition of subject lands:
March 2019
14. Date of construction of all buildings and structures on subject lands:
Home: circa 1890's; additions circa 1960's
15. Existing uses of the subject property: recognized 6 unit multiple dwelling as per
ZV Cert No. 19-108593 00 ZE2
16. Existing uses of abutting properties: single family dwellings
17. Length of time the existing uses of the subject property have continued:
Greater than 50 years
18. Municipal services available: (check the appropriate space or spaces)
Water X Connected X
Sanitary Sewer X Connected X
Storm Sewers X
19. Present Official Plan/Secondary Plan provisions applying to the land:
UHOP: "Neighbourhoods"
Secondary: n/a
20. Present Restricted Area By-law (Zoning By-law) provisions applying to the land:
n/a C Urban Protected Residential
21. Has the owner previously applied for relief in respect of the subject property?
Yes ☐ No ☒
If the answer is yes, describe briefly.
22. Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?
Yes ☐ No ☒
23. The applicant shall attach to each copy of this application a plan showing the dimensions of the subject lands and of all abutting lands and showing the location, size and type of all buildings and structures on the subject and abutting lands, and where required by the Committee of Adjustment such plan shall be signed by an Ontario Land Surveyor.

NOTE: It is required that two copies of this application be filed with the secretary-treasurer of the Committee of Adjustment together with the maps referred to in Section 5 and be accompanied by the appropriate fee in cash or by cheque made payable to the City of Hamilton.