



Hamilton

COMMITTEE OF ADJUSTMENT

City Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5
Telephone (905) 546-2424, ext. 4221, 3935 Fax (905) 546-4202
E-mail: cofa@hamilton.ca

NOTICE OF PUBLIC HEARING **Minor Variance**

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
 - Applicant/agent on file, or
 - Person likely to be interested in this application
-

APPLICATION NO.: HM/A-20:79

APPLICANTS: Geoffrey Orton, owner

SUBJECT PROPERTY: Municipal address **9 Roanoke Rd., City of Hamilton**

ZONING BY-LAW: Zoning By-law 6593, as Amended by By-laws 96-125 and 19-307

ZONING: "C/S1364 and C/S-19-307" (Urban Protected Residential, etc.) district

PROPOSAL: To permit the construction of a one-storey addition at the rear of the existing single family dwelling, notwithstanding,

1. A floor area ratio of 0.62 shall be applied allowing a maximum gross floor area of 200.6 square metres instead of applying the maximum permitted floor area ratio of 0.45 metres allowing a maximum gross floor area of 145.6 square metres.

NOTES:

1. A lot area of 323.7 square metres obtained from GISNet has been applied to determine the maximum permitted gross floor area.

2. It is unclear if the gross floor area deductions permitted by By-law 96-125 have been applied to determine the maximum proposed gross floor area.

3. The applicant shall ensure the area of the enclosed porch at the front of the dwelling has been included in the total proposed gross floor area.

4. A further variance will be required if a ceiling height in excess of 4.6 metres is provided for any portion of the dwelling.

5. A further variance will be required if the eave and gutter on the proposed addition encroach greater than 0.4 metres into the required easterly side yard.

6. Details regarding the number of habitable rooms proposed for the dwelling have not been provided to determine zoning compliance regarding Parking. A further variance(s) will be required if greater than eight (8) habitable rooms are proposed to be provided.

This application will be heard by the Committee as shown below:

DATE: Thursday, July 16th, 2020
TIME: 3:05p.m.
PLACE: Via video link or call in (see attached sheet for details)
To be streamed at www.hamilton.ca/committeeofadjustment
for viewing purposes only

PUBLIC INPUT

Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

Orally: If you would like to speak to this item at the hearing you may do so via video link or by calling in. Please see attached page for complete instructions, including deadlines for registering to participate.

MORE INFORMATION

For more information on this matter, including access to drawings illustrating this request:

- Visit www.hamilton.ca/committeeofadjustment
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935
- Email Committee of Adjustment staff at cofa@hamilton.ca

DATED: June 30th, 2020.

Original Signed _____

Jamila Sheffield,
Secretary-Treasurer
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public.

LOT 3500 sq ft

325 m²

x 0.45

= 146.32 m²

MAX GROSS

FLOOR AREA.

SITE PLAN

9 ROANOKE RD.

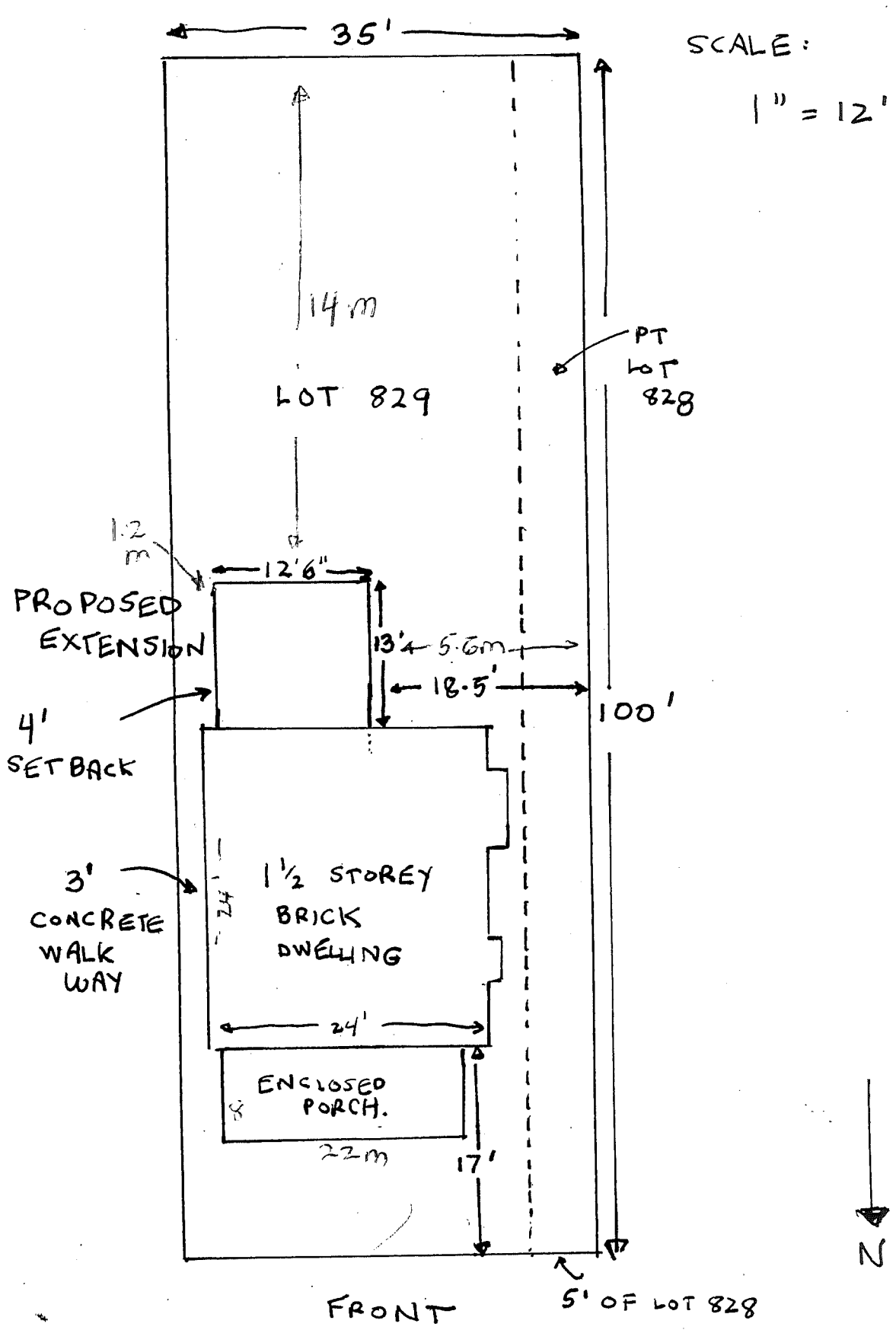
TOTAL GROSS

WIDTH

ADDITION

= 202 m²

PLAN 634. LOT 829, PT. LOT 828



Hm/A 20179
Sketch



Hamilton

Planning and Economic Development Department
Planning Division

Committee of Adjustment
City Hall
5th floor 71 Main Street West
Hamilton, Ontario L8P 4Y5

Phone (905) 546-2424 ext.4221
Fax (905) 546-4202

**PLEASE FILL OUT THE FOLLOWING PAGES AND
RETURN TO THE CITY OF HAMILTON PLANNING
DEPARTMENT.**

FOR OFFICE USE ONLY.

APPLICATION NO. Hm/A-20:79 DATE APPLICATION RECEIVED Mar 5/20

PAID _____ DATE APPLICATION DEEMED COMPLETE _____

SECRETARY'S
SIGNATURE _____

**CITY OF HAMILTON
COMMITTEE OF ADJUSTMENT
HAMILTON, ONTARIO**

The Planning Act

Application for Minor Variance or for Permission

The undersigned hereby applies to the Committee of Adjustment for the City of Hamilton under Section 45 of the *Planning Act*, R.S.O. 1990, Chapter P.13 for relief, as described in this application, from the Zoning By-law.

1. Name of Owner GEOFF ORTON Telephone No. _____

2. _____

3. Name of Agent _____ Telephone No. _____

FAX NO. _____ E-mail address. _____

4. Address _____

_____ Postal Code _____

Note: Unless otherwise requested all communications will be sent to the agent, if any.

5. Names and addresses of any mortgagees, holders of charges or other encumbrances:

TANDIA CREDIT UNION 900 UPPER WENTWORTH
HAMILTON Postal Code L9A 5E9
CIBC WESTDALE 1015 KING ST W
HAMILTON Postal Code L8S 1L3

6. Nature and extent of relief applied for:

INCREASE GROSS AREA BY 15m² ~~to~~ (58),
FROM 57 TO 62% LOT AREA.

7. Why it is not possible to comply with the provisions of the By-law?

WHEN BYLAW WAS CREATED ALL
HOUSES IN WESTDALE AS
BUILT IN 20'S EXCEEDED THE 45% RULE.

8. Legal description of subject lands (registered plan number and lot number or other legal description and where applicable, street and street number):

LOT 829 PART OF LOT 828
PLAN 634
9 Roanoke Road

9. PREVIOUS USE OF PROPERTY

Residential ☒ Industrial ☐ Commercial ☐

Agricultural ☐ Vacant ☐

Other

9.1 If Industrial or Commercial, specify use

9.2 Has the grading of the subject land been changed by adding earth or other material, i.e. has filling occurred?

Yes ☐ No ☒ Unknown ☐

9.3 Has a gas station been located on the subject land or adjacent lands at any time?

Yes ☐ No ☒ Unknown ☐

9.4 Has there been petroleum or other fuel stored on the subject land or adjacent lands?

Yes ☐ No ☒ Unknown ☐

9.5 Are there or have there ever been underground storage tanks or buried waste on the subject land or adjacent lands?

Yes ☐ No ☒ Unknown ☐

9.6 Have the lands or adjacent lands ever been used as an agricultural operation where cyanide products may have been used as pesticides and/or sewage sludge was applied to the lands?

Yes ☐ No ☒ Unknown ☐

9.7 Have the lands or adjacent lands ever been used as a weapon firing range?

Yes ☐ No ☒ Unknown ☐

9.8 Is the nearest boundary line of the application within 500 metres (1,640 feet) of the fill area of an operational/non-operational landfill or dump?

Yes ☐ No ☒ Unknown ☐

9.9 If there are existing or previously existing buildings, are there any building materials remaining on site which are potentially hazardous to public health (eg. asbestos, PCB's)?

Yes ☐ No ☒ Unknown ☐

9.10 Is there any reason to believe the subject land may have been contaminated by former uses on the site or adjacent sites?

Yes _____ No ☒ Unknown _____

9.11 What information did you use to determine the answers to 9.1 to 9.10 above?

ALWAYS RESIDENTIAL

9.12 If previous use of property is industrial or commercial or if YES to any of 9.2 to 9.10, a previous use inventory showing all former uses of the subject land, or if appropriate, the land adjacent to the subject land, is needed.

Is the previous use inventory attached? Yes _____ No ☒

ACKNOWLEDGEMENT CLAUSE

I acknowledge that the City of Hamilton is not responsible for the identification and remediation of contamination on the property which is the subject of this Application – by reason of its approval to this Application.

Date

Mar. 2, 2020

Signature Property Owner

GEOFF ORTON
Print Name of Owner

10. Dimensions of lands affected:

Frontage

35

Depth

100

Area

3500

Width of street

11. Particulars of all buildings and structures on or proposed for the subject lands:
(Specify ground floor area, gross floor area, number of stories, width, length, height, etc.)

Existing:

HOUSE GROUND FLOOR ($54m^2$), GROSS
FLOOR AREA ($185m^2$) ~~1 3/4~~ 1 3/4 STORY, 24W, 32L.

SHED: $25m^2$

Proposed:

$15m^2$ ONE STORY FAMILY ROOM

12. Location of all buildings and structures on or proposed for the subject lands;
(Specify distance from side, rear and front lot lines)

Existing:

1/2 SIDE: 1m / 2.4m
FRONT 2.5m
REAR 18m

Proposed:

SIDE: $1.2m / 5.6m$
REAR: $14m$

13. Date of acquisition of subject lands:

1993

14. Date of construction of all buildings and structures on subject lands:

HOUSE: 1929 : ENCLOSE PORCH 2005

15. Existing uses of the subject property:

RESIDENTIAL

16. Existing uses of abutting properties:

RESIDENTIAL

17. Length of time the existing uses of the subject property have continued:

91 YEARS

18. Municipal services available: (check the appropriate space or spaces)

Water ☒ Connected ☒

Sanitary Sewer ☒ Connected ☒

Storm Sewers ☐

19. Present Official Plan/Secondary Plan provisions applying to the land:

RESIDENTIAL - Low Density Residential 2

20. Present Restricted Area By-law (Zoning By-law) provisions applying to the land:

6593, SECTION 45

C/S-1364 C/S-1788

21. Has the owner previously applied for relief in respect of the subject property?

Yes

No

If the answer is yes, describe briefly.

TO ENCLOSE / FRONT REBUILD FRONT
PORCH. APP: HM/A-05-294

22. Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?

Yes

No

23. The applicant shall attach to each copy of this application a plan showing the dimensions of the subject lands and of all abutting lands and showing the location, size and type of all buildings and structures on the subject and abutting lands, and where required by the Committee of Adjustment such plan shall be signed by an Ontario Land Surveyor.

NOTE: It is required that two copies of this application be filed with the secretary-treasurer of the Committee of Adjustment together with the maps referred to in Section 5 and be accompanied by the appropriate fee in cash or by cheque made payable to the City of Hamilton.