

Hamilton

**COMMITTEE OF ADJUSTMENT**

City Hall, 5<sup>th</sup> floor, 71 Main Street West, Hamilton, ON L8P 4Y5  
Telephone (905) 546-2424, ext. 4221, 3935 Fax (905) 546-4202  
E-mail: [cofa@hamilton.ca](mailto:cofa@hamilton.ca)

**NOTICE OF PUBLIC HEARING**  
**Minor Variance**

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**You are receiving this notice because you are either:**

- Assessed owner of a property located within 60 metres of the subject property
  - Applicant/agent on file, or
  - Person likely to be interested in this application
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**APPLICATION NO.:** HM/A-20:81

**APPLICANTS:** Owner: Catharine Yantsis  
Agent: N-Cubed Services Inc. c/o D. Nguyen

**SUBJECT PROPERTY:** Municipal address **27 Paisley Ave. N., Hamilton**

**ZONING BY-LAW:** Zoning By-law 6593, as Amended

**ZONING:** C/S-1361 & C/S-1788 district

**PROPOSAL:** To permit the construction of a new one storey, 4.5m x 5.3m rear addition and a new 2.1m x 2.3m one storey addition in the front yard of the existing single family dwelling notwithstanding that:

1. A front yard depth of 4.6m shall be provided instead of the minimum required 6.0m front yard depth.
2. A easterly side yard width of 0.0m shall be provided instead of the minimum required 1.2m side yard width.
3. A maximum floor area ratio of 0.80 shall be permitted instead of the maximum 0.45 floor area ratio permitted.
4. No on-site manoeuvring shall be provided for the required parking spaces instead of the requirement that a 6.0m manoeuvring space abutting and accessory to each required parking space shall be provided and maintained on the lot.
5. A parking space size of 2.5m x 4.5m shall be provided instead of the minimum required parking space size of 2.7m x 6.0m.

**NOTES:**

- i. The number of required parking spaces for a single family dwelling is calculated at a rate of two (2) parking spaces for the first eight (8) habitable rooms plus an additional 0.5 spaces for each additional habitable room. Based on the drawings provided, a total of 8 habitable rooms are shown, as such a minimum of 2 parking spaces are required to be provided. Please note that additional parking spaces will be required for any future interior alterations or additions which create additional habitable rooms.
- ii. A boulevard parking agreement is required for the parking spaces located on the road allowance.

This application will be heard by the Committee as shown below:

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**DATE:** Thursday, July 16<sup>th</sup>, 2020  
**TIME:** 3:10p.m.  
**PLACE:** Via video link or call in (see attached sheet for details)  
**To be streamed at** [www.hamilton.ca/committeeofadjustment](http://www.hamilton.ca/committeeofadjustment)  
**for viewing purposes only**

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## **PUBLIC INPUT**

**Written:** If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

**Orally:** If you would like to speak to this item at the hearing you may do so via video link or by calling in. Please see attached page for complete instructions, including deadlines for registering to participate.

## **MORE INFORMATION**

For more information on this matter, including access to drawings illustrating this request:

- Visit [www.hamilton.ca/committeeofadjustment](http://www.hamilton.ca/committeeofadjustment)
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935
- Email Committee of Adjustment staff at [cofa@hamilton.ca](mailto:cofa@hamilton.ca)

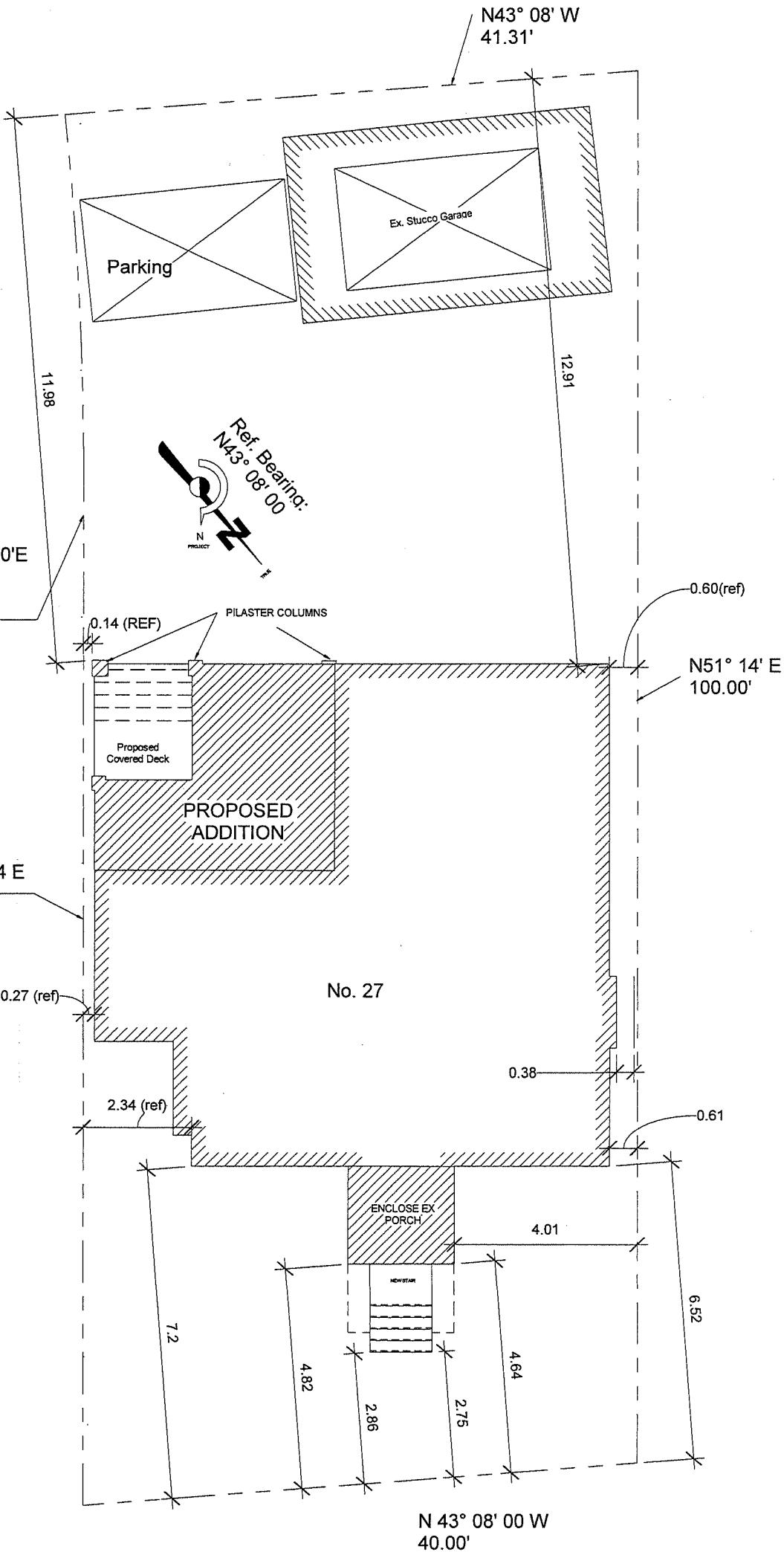
DATED: June 30<sup>th</sup>, 2020.

*Original Signed*

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Jamila Sheffield,  
Secretary-Treasurer  
Committee of Adjustment

***Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public.***



N. Oval

No. 27

Paisley Avenue N

1 Site Plan  
1/8" = 1'-0"

**N-CUBED**  
ARCHITECTURE + ENGINEERING + CONSTRUCTION  
897 King W Hamilton ON  
ncubedesigns.com  
905-865-5355  
N-Cubed Designs is a division of N-Cubed Builders Inc.

**V0.1**  
Scale 1/8" = 1'-0"

**27 Paisley**  
ENTER ADDRESS HERE  
**SITE**

No.	Description	Date
1	Issue for Variance	2020/01/06

HM/A-20:81



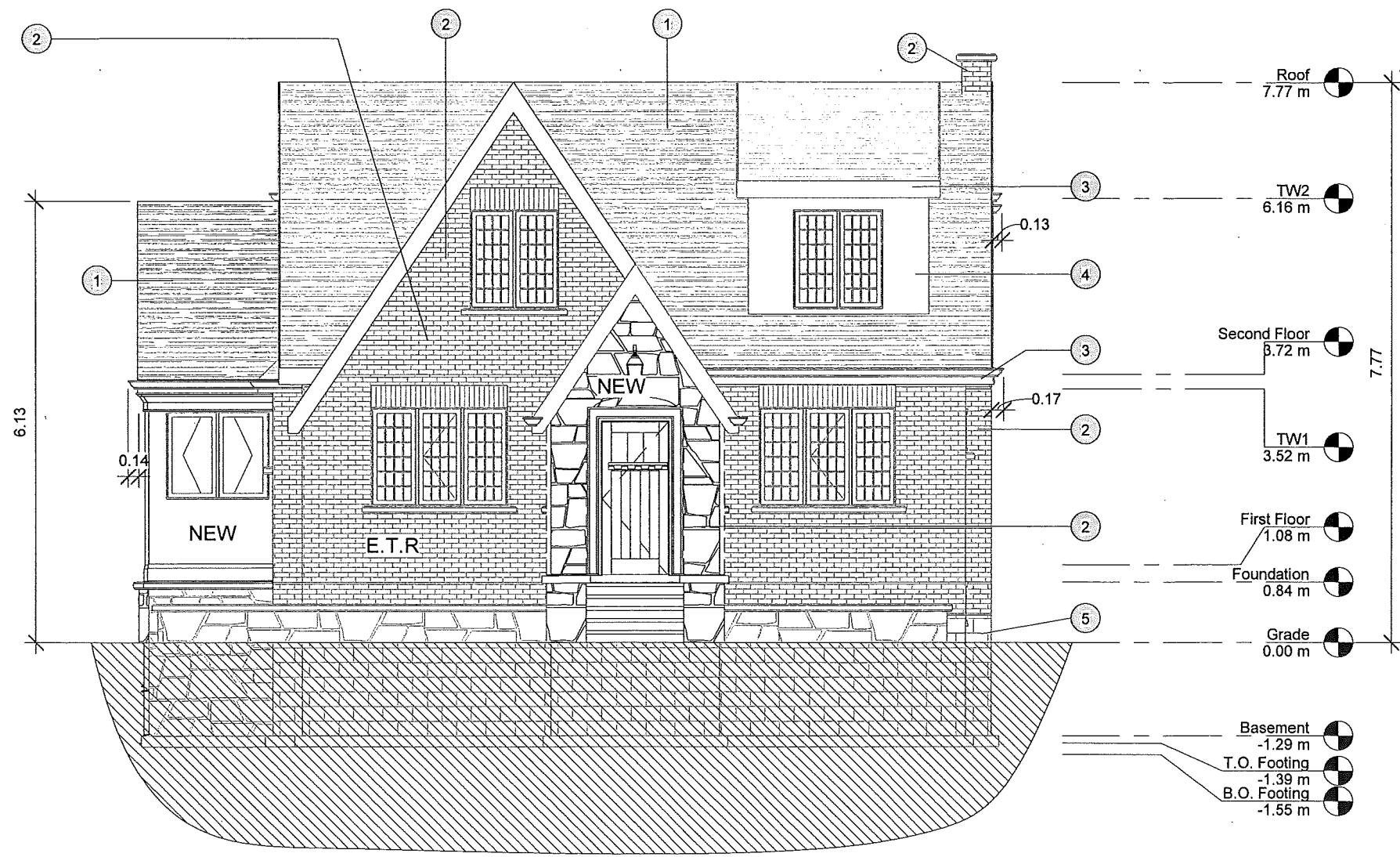
1 3D View 1

27 Paisley Ave. N, Zoning By-Law 6593 "C" S-1361							
Ref Bearing: N43° 08' 00 W							
Building Information			Area				
			Existing		Proposed		
			SF	SM	SF	SM	
Lot Area			4000.00	371.61	NC	NC	
Gross Floor Area		Basement	955.00	88.72	955.00	88.72	
		Ground	982.00	91.23	1278.00	118.73	
		Second Floor	938.00	87.14	938.00	87.14	
		GFA Subtotal	2875.00	267.10	3171.00	294.60	
Proposed Deck			NA	NA	29.00	2.69	
Proposed Porch			NA	NA	12.00	1.11	
NOTE: GFA MEASURED TO THE EXTERIOR FACE OF EXTERIOR WALLS							
Building		Allowed	Existing		Proposed		
Storeys		2	1.5		1.5		
GFA Ratio		Allowed	Existing		Proposed		
GFA		45.00%	71.88%		79.28%		
Distances		Allowed		Existing		Proposed	
		(ft)	(m)	(ft)	(m)	(ft)	(m)
Building Height		29.53	9.00	25.49	7.77	25.49	7.77
Lot Width		NA	NA	40.03	12.2	40.03	12.2
S-Rear Yard Setback		24.61	7.50	41.04	12.51	39.30	11.98
N-Front Yard Setback		19.68	6.00	21.39	6.52	9.02	2.75
E-Side Yard Setback (RQ'd: 10% lot Width)		4.00	1.22	1.97	0.6	1.97	0.6
W-Side Yard Setback (RQ'd: 10% Lot Width)		4.00	1.22	0.89	0.27	0.46	0.14
N-FY Projection of Unenclosed Porch		9.84	3	9.84	3	10.66	3.25
Parking		Required		Existing		Proposed	
Habitable Rooms		N/A		7		7	
Spaces		2		2 Ex to remain		Ex to remain	

No.	Description	Date
1	Issure for Variance	2020/01/06

HM 1A-20-81

HM/A-20:81



- 1. Asphalt SHingle
- 2. Brick
- 3. Aluminum
- 4. EIFS
- 5. Masonry
- 6. Stone Veneer

① V - South Front Yard  
3/16" = 1'-0"

**N-CUBED**  
ARCHITECTURE + ENGINEERING + CONSTRUCTION  
897 KING ST W. HAMILTON, ONTARIO  
905-865-5355  
N-Cubed Design is a Division of N-Cubed Services Inc.

27 Paisley  
**FRONT ELEVATION**

No.	Description	Date
1	Issure for Variance	2020/01/06

V2.0	
Scale	3/16" = 1'-0"
Project number	Project Number
Date	Issue Date
Drawn by:	TN
Checked by:	DN

Drawings have are approved and meet the requirements of the Ontario Building Code

Architectural cross-section drawing of a two-story house. The drawing shows the interior structure, including the roof, walls, floors, and foundation. Key features include a front porch with a railing, a central chimney, and a rear extension. The drawing is annotated with 'NEW' for new construction and 'E.T.R.' for existing brickwork. A vertical scale on the right indicates elevations in meters: Roof (7.77 m), TW2 (6.16 m), Second Floor (3.72 m), TW1 (3.52 m), First Floor (1.08 m), Foundation (0.84 m), Grade (0.00 m), Basement (-1.29 m), T.O. Footing (-1.39 m), and B.O. Footing (-1.55 m). Callouts 1, 4, and 6 are used to identify specific areas of the drawing.

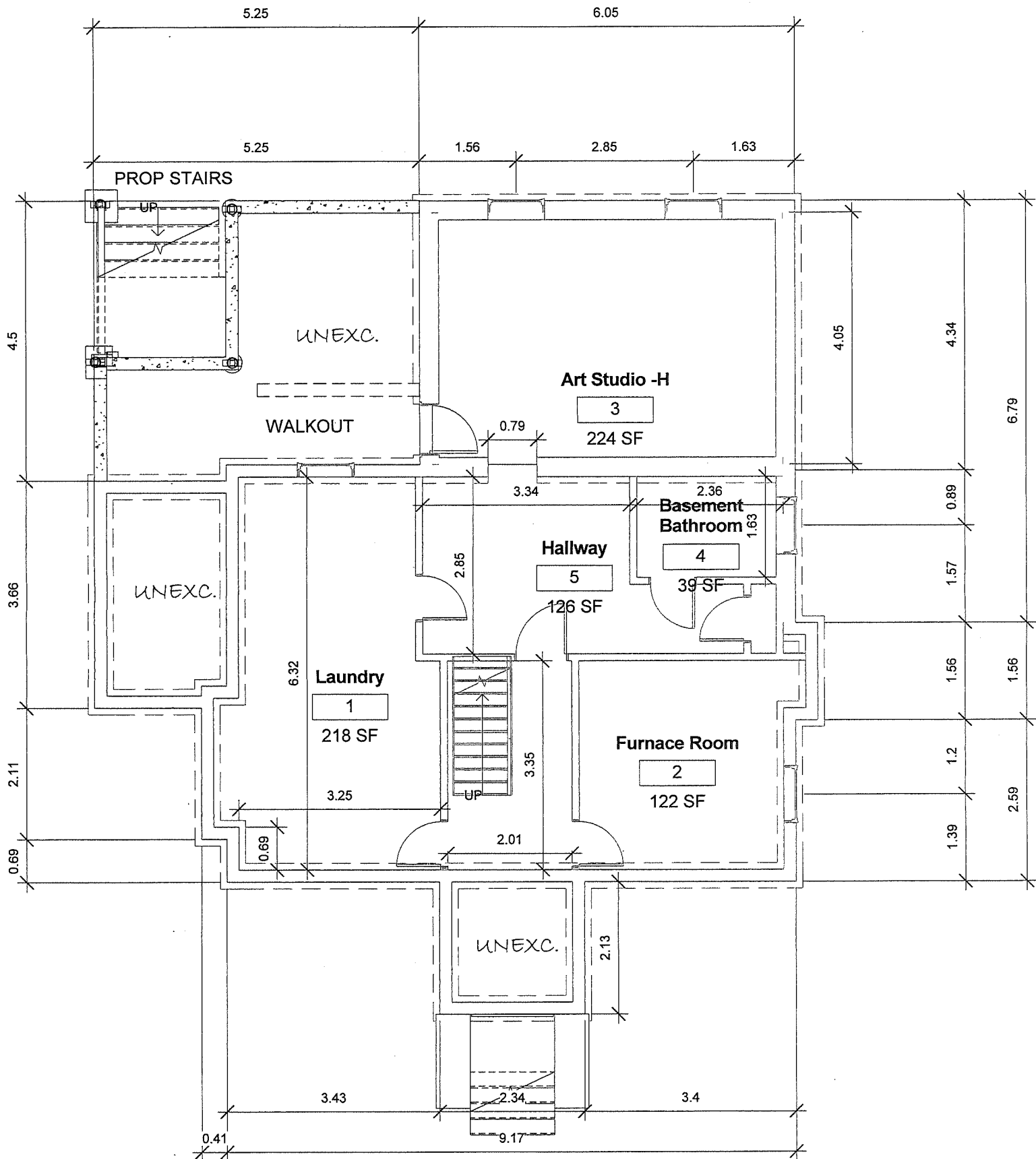
① V - West Side Yard  
3/16" = 1'-0"



No.	Description	Date
1	Issure for Variance	2020/01/06

Checked by: DN

Drawings have are approved and meet the requirements of the Ontario Building Code.



① V - Basement  
3/16" = 1'-0"

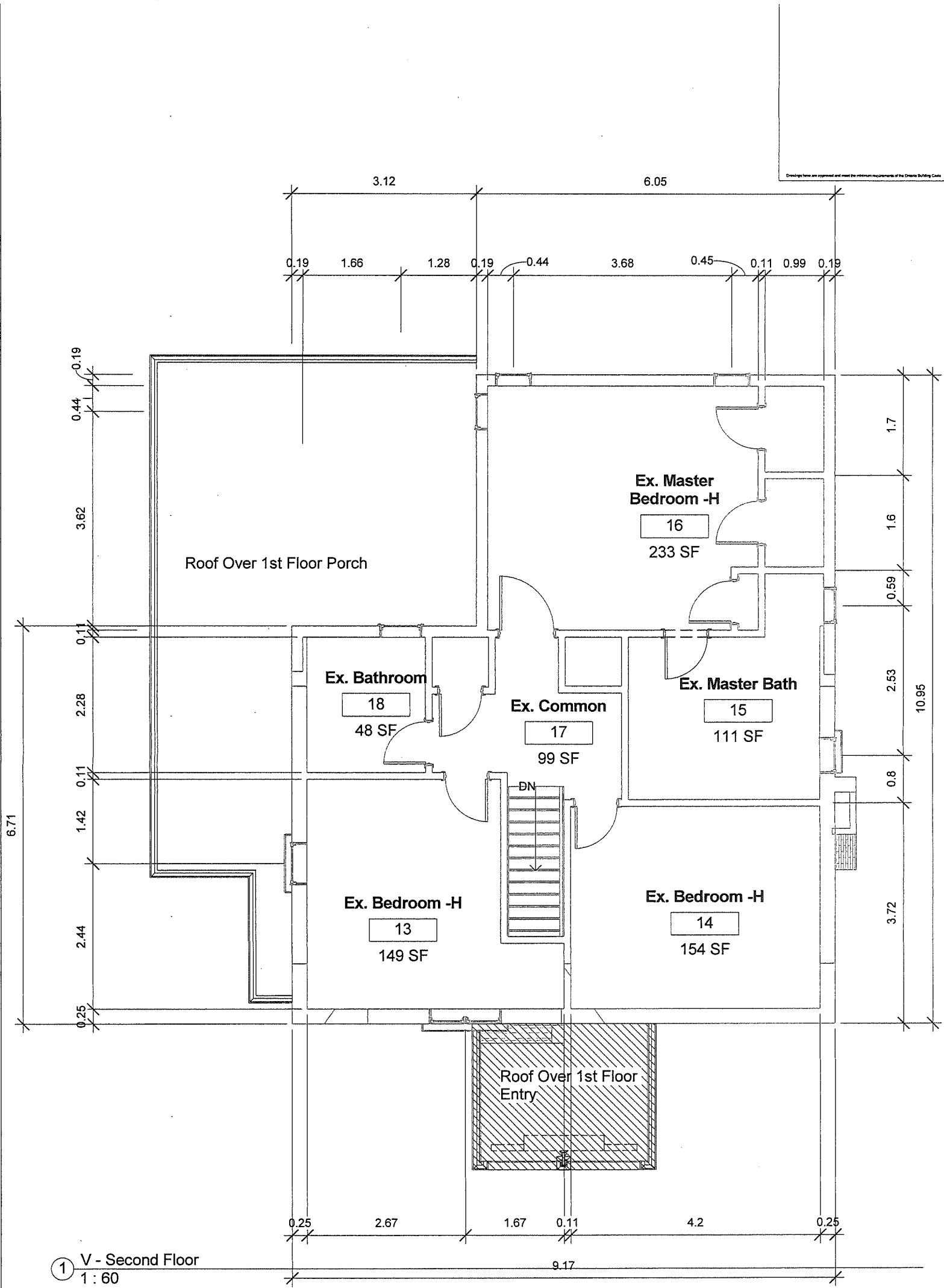
**N-CUBED**  
ARCHITECTURE + ENGINEERING + CONSTRUCTION  
897 King W Hamilton ON  
ncubeddesigns.com  
905-885-5355  
N-Cubed Designs is a division of N-Cubed Enterprises Inc.

**V1.0**  
Scale 3/16" = 1'-0"

**27 Paisley**  
ENTER ADDRESS HERE  
**BASEMENT**

No.	Description	Date
1	Issue for Variance	2020/01/06

HM/A-20:81



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905-865-5355

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V1.2

Scale 1 : 60

27 Paisley

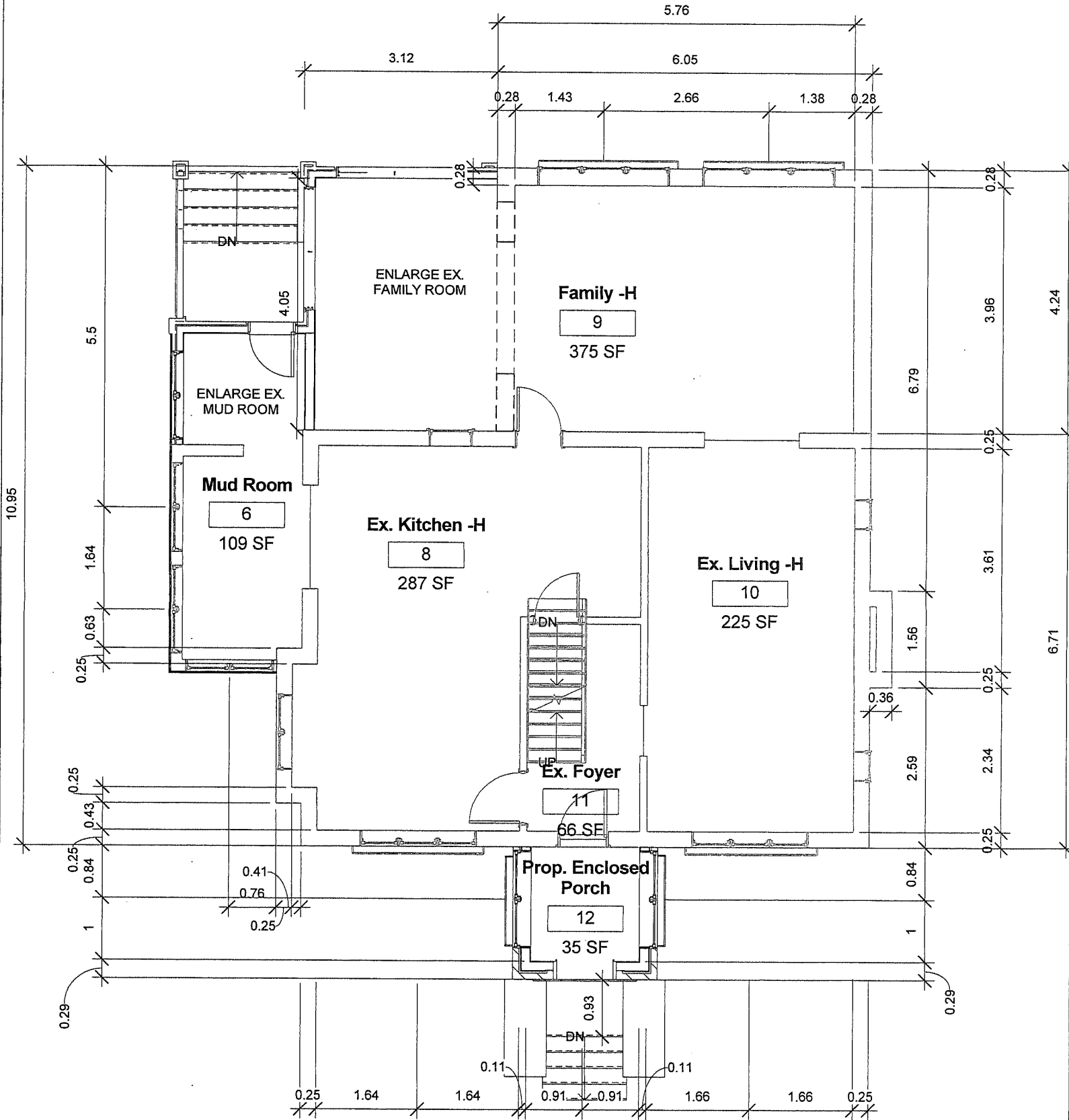
ENTER ADDRESS HERE

SECOND FLOOR

No.	Description	Date
1	Issure for Variance	2020/01/06

fm/A-20.81





① V - First Floor  
3/16" = 1'-0"

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ARCHITECTURE + ENGINEERING + CONSTRUCTION  
897 King W Hamilton ON  
ncubeddesigns.com  
905-865-5355  
NCubed Designs is a division of N-Cubed Services Inc.

**V1.1**

Scale 3/16" = 1'-0"

**27 Paisley**  
**ENTER ADDRESS HERE**  
**FIRST FLOOR**

No.	Description	Date
1	Issue for Variance	2020/01/06

HM/A-20-8

20-155940



Hamilton

**Committee of Adjustment**  
City Hall  
5<sup>th</sup> floor 71 Main Street West  
Hamilton, Ontario L8P 4Y5

Planning and Economic Development Department  
Planning Division

Phone (905) 546-2424 ext.4221  
Fax (905) 546-4202

PLEASE FILL OUT THE FOLLOWING PAGES AND  
RETURN TO THE CITY OF HAMILTON PLANNING  
DEPARTMENT.

<b>FOR OFFICE USE ONLY.</b>	
APPLICATION NO. <u>Hm/A-20-81</u>	DATE APPLICATION RECEIVED <u>MAR 05 2020</u>
PAID _____	DATE APPLICATION DEEMED COMPLETE _____
SECRETARY'S SIGNATURE _____	

**CITY OF HAMILTON  
COMMITTEE OF ADJUSTMENT  
HAMILTON, ONTARIO**

*The Planning Act*

**Application for Minor Variance or for Permission**

The undersigned hereby applies to the Committee of Adjustment for the City of Hamilton under Section 45 of the *Planning Act*, R.S.O. 1990, Chapter P.13 for relief, as described in this application, from the Zoning By-law.

1. Name of Owner CATHARINE YANTZIS Telephone No \_\_\_\_\_

2. \_\_\_\_\_

3. Name of Agent N-Cubed Services Inc. (Duy Nguyen) Telephone No \_\_\_\_\_

4. \_\_\_\_\_

**Note:** Unless otherwise requested all communications will be sent to the agent, if any.

5. Names and addresses of any mortgagees, holders of charges or other encumbrances:

SCOTIA BANK (THE BANK OF NOVA SCOTIA)  
1005 SKYVIEW DRIVE Postal Code L7P 5B1  
SUITE 322  
BURLINGTON ONT Postal Code \_\_\_\_\_

6. Nature and extent of relief applied for:

A front yard setback of 4.64m from the property line 6m is required.

An increase in the percentage GFA to 79.28 %

from existing 71.88% and (required by-law size is 45%). W side yard setback 0.14 m where the required is 1.22m.

Front porch projection of 3.25m where 3m is required.

7. Why it is not possible to comply with the provisions of the By-law?

Front yard setback is reduced as function by enclosing existing porch which currently exists. The side yard setbacks of the property line is an existing condition which is being extended.

The increased gross floor area is requested in order to provide the family with more functional space

Side yard setback is currently 0.27m. 0.14m is required to create architectural pilasters. Front porch projection is required to accommodate a landing

8. Legal description of subject lands (registered plan number and lot number or other legal description and where applicable, street and street number):

27 Paisley Avenue North, Hamilton, Ontario

Registered Plan No. 652

Lot 901: Plan 652

27 Paisley Ave. N.

9. PREVIOUS USE OF PROPERTY

Residential ☒ Industrial ☐ Commercial ☐

Agricultural ☐ Vacant ☐

Other

9.1 If Industrial or Commercial, specify use

N/A

9.2 Has the grading of the subject land been changed by adding earth or other material, i.e. has filling occurred?

Yes ☐ No ☒ Unknown ☐

9.3 Has a gas station been located on the subject land or adjacent lands at any time?

Yes ☐ No ☒ Unknown ☐

9.4 Has there been petroleum or other fuel stored on the subject land or adjacent lands?

Yes ☐ No ☒ Unknown ☐

9.5 Are there or have there ever been underground storage tanks or buried waste on the subject land or adjacent lands?

Yes ☐ No ☒ Unknown ☐

9.6 Have the lands or adjacent lands ever been used as an agricultural operation where cyanide products may have been used as pesticides and/or sewage sludge was applied to the lands?

Yes ☐ No ☒ Unknown ☐

9.7 Have the lands or adjacent lands ever been used as a weapon firing range?

Yes ☐ No ☒ Unknown ☐

9.8 Is the nearest boundary line of the application within 500 metres (1,640 feet) of the fill area of an operational/non-operational landfill or dump?

Yes ☐ No ☒ Unknown ☐

9.9 If there are existing or previously existing buildings, are there any building materials remaining on site which are potentially hazardous to public health (eg. asbestos, PCB's)?

Yes \_\_\_\_\_ No X Unknown \_\_\_\_\_

9.10 Is there any reason to believe the subject land may have been contaminated by former uses on the site or adjacent sites?

Yes \_\_\_\_\_ No X Unknown \_\_\_\_\_

9.11 What information did you use to determine the answers to 9.1 to 9.10 above?  
Real estate records and site inspection.

9.12 If previous use of property is industrial or commercial or if YES to any of 9.2 to 9.10, a previous use inventory showing all former uses of the subject land, or if appropriate, the land adjacent to the subject land, is needed.

Is the previous use inventory attached? Yes \_\_\_\_\_ No X

#### ACKNOWLEDGEMENT CLAUSE

I acknowledge that the City of Hamilton is not responsible for the identification and remediation of contamination on the property which is the subject of this Application – by reason of its approval to this Application.

MAY 4/2020  
Date

  
Signature/Property Owner

CAROL YANTSIS  
Print Name of Owner

10. Dimensions of lands affected:

Frontage	<u>See site statistics on site plan</u>
Depth	<u>See site statistics on site plan</u>
Area	<u>See site statistics on site plan</u>
Width of street	<u>NA</u>

11. Particulars of all buildings and structures on or proposed for the subject lands:  
(Specify ground floor area, gross floor area, number of stories, width, length, height, etc.)

Existing: See site statistics on site plan

Proposed: See site statistics on site plan

12. Location of all buildings and structures on or proposed for the subject lands;  
(Specify distance from side, rear and front lot lines)

Existing: See site statistics on site plan

Proposed: See site statistics on site plan

13. Date of acquisition of subject lands:

XXX ~~1983~~ 1983

14. Date of construction of all buildings and structures on subject lands:  
approx.

15. Existing uses of the subject property: Single family residential.

16. Existing uses of abutting properties: Single family residential.

17. Length of time the existing uses of the subject property have continued:  
Continuous

18. Municipal services available: (check the appropriate space or spaces)

Water X

Connected X

Sanitary Sewer X

Connected X

Storm Sewers \_\_\_\_\_

19. Present Official Plan/Secondary Plan provisions applying to the land:

UOOP - Ainslie Wood Westdale Low Density Residential

20. Present Restricted Area By-law (Zoning By-law) provisions applying to the land:  
City of Hamilton Zoning By-Law No. 6593 C/S-1361

21. Has the owner previously applied for relief in respect of the subject property?

Yes ☐

No ☒

If the answer is yes, describe briefly.

22. Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?

Yes ☐

No ☒

23. The applicant shall attach to each copy of this application a plan showing the dimensions of the subject lands and of all abutting lands and showing the location, size and type of all buildings and structures on the subject and abutting lands, and where required by the Committee of Adjustment such plan shall be signed by an Ontario Land Surveyor.

**NOTE:** It is required that two copies of this application be filed with the secretary-treasurer of the Committee of Adjustment together with the maps