

NOTICE OF PUBLIC HEARING

Minor Variance

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
 - Applicant/agent on file, or
 - Person likely to be interested in this application
-

APPLICATION NO.: DN/A-20:35

APPLICANTS: Richard Parker, owner

SUBJECT PROPERTY: Municipal address **226 Park St. W., Dundas**

ZONING BY-LAW: Zoning By-law 3581-86, as Amended

ZONING: "R4" (Low Density Residential) Zone

PROPOSAL: To permit the construction of a front and rear dormer onto an existing semi-detached dwelling with one dwelling unit notwithstanding that:

1. A minimum front yard of 0.0 metres shall be permitted instead of the minimum front yard required of 6.0 metres.
2. An existing roofed-over unenclosed one-storey porch at the first storey level, including eaves and gutters, projects into a required front yard to a distance of 0.0 metres, the projecting porch is 0.0 metres from the front lot line instead of the permitted distance of not more than 3.0 metres, and every such projecting porch shall be distant at least 4.0 metres from the front lot line.
3. No landscaping is provided for the existing residential front yard.

NOTES:

1. Owner shall ensure maximum building height of the front and rear dormers does not exceed 10.5 metres. If the front and rear dormers exceed 10.5 metres in building height, further variances will be required.
2. Based on the survey provided by Barich Grenkie Surveying Ltd., dated April 6, 2020, the front and rear dormers do not appear to be encroaching onto the Park Street West road allowance. As such, if the above variances are approved, no Encroachment Agreement with Public Works will be required at this time. Please note that if the proposed front and rear dormers exceed beyond the building envelope of the existing semi-detached dwelling the owner will be required to enter into an Encroachment Agreement with The City of Hamilton.
3. Based on the survey provided by Barich Grenkie Surveying Ltd., dated April 6, 2020, the existing roof-over unenclosed porch appears to be encroaching onto the Park Street West road allowance. At this time no alterations are proposed to the existing concrete porch. Should the owner choose to alter the existing conditions in future, please note that an Encroachment Agreement will be required with The City of Hamilton.
4. The existing sided garage has not been reviewed as part of this application as no alterations are proposed at this time. Sided garage is deemed to be existing.

This application will be heard by the Committee as shown below:

DATE: Thursday, July 23rd, 2020

TIME: 1:55 p.m.

PLACE: Via video link or call in (see attached sheet for details)

To be streamed at www.hamilton.ca/committeeofadjustment
for viewing purposes only

PUBLIC INPUT

Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

Orally: If you would like to speak to this item at the hearing you may do so via video link or by calling in. Please see attached page for complete instructions, including deadlines for registering to participate.

MORE INFORMATION

For more information on this matter, including access to drawings illustrating this request:

- Visit www.hamilton.ca/committeeofadjustment
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935
- Email Committee of Adjustment staff at cofa@hamilton.ca

DATED: July 7th, 2020.

Jamila Sheffield,
Secretary-Treasurer
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public.

ALL CONTRACTORS TO VERIFY ALL DIMENSIONS ON SITE & TO REPORT ALL ERRORS AND/OR OMISSIONS TO THE DESIGNER. ALL CONTRACTORS MUST COMPLY WITH ALL CODES, BYLAWS & OTHER AUTHORITIES HAVING JURISDICTION OVER THE WORK.

ALL DIMENSIONS AND CONDITIONS TO BE VERIFIED ON SITE. FIGURED DIMENSIONS TAKE PRECEDENCE OVER SCALE. DO NOT SCALE DRAWINGS

Brian's Drafting Service

8973 Twenty Rd.
Smithville, ON, L0R 2A0

(289) 680-7480

brian.rintjema@gmail.com



The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to design the work shown on the attached documents.

Qualification Information
Brian Rintjema 106999
Name Signature BCIN
Registration Information
Brian's Drafting Service 113224
Firm BCIN

226 PARK ST. RENOVATION

226 Park St. W
Hamilton, ON

PAGE TITLE:

SECOND FLOOR & SITE PLAN

PLOT FORMAT SIZE:

11 X 17

DATE:

JANUARY 24, 2020

DRAWN BY:

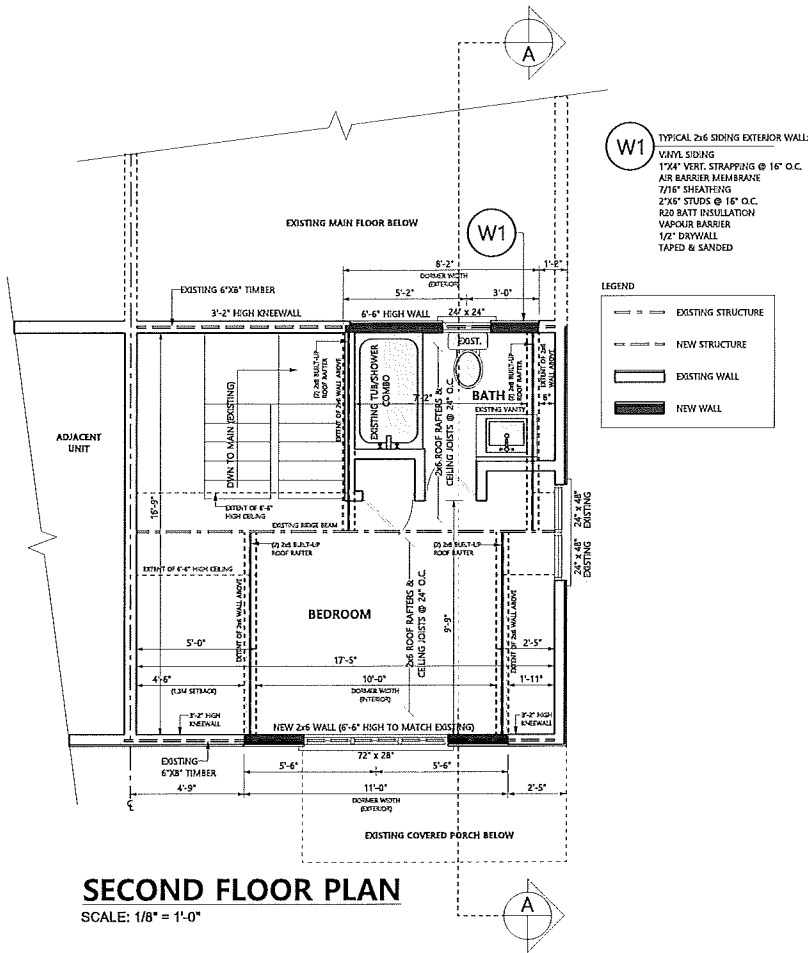
Brian Rintjema

SHEET NO.

1 OF 2

SCALE:

As Noted



SECOND FLOOR PLAN

SCALE: 1/8" = 1'-0"

WOOD FRAME CONSTRUCTION:

ALL WOOD USED TO BE SPRUCE-PINE-FIR NO. 1&2 GRADE UNLESS OTHERWISE NOTED

ALL CALCULATIONS FOR WOOD MEMBERS ARE BASED ON TABLES FROM THE CANADIAN WOOD COUNCIL SPAN BOOK

NOTCHING AND DRILLING:

TO CONFORM TO ARTICLE 9.2.3.5. OF THE O.B.C. ROOF, FLOOR, OR CEILING MEMBERS

DRILLING SIZE: (9.2.3.5.1)

Holes drilled in framing members:

MUST NOT BE LARGER THAN 1/4 THE DEPTH OF THE MEMBER

MUST NOT BE LOCATED CLOSER THAN 2" FROM THE EDGES

NOTCHING SIZE: (9.2.3.5.2)

NOTCHES IN FRAMING MEMBERS:

MUST BE LOCATED ON THE TOP OF THE MEMBER

MUST BE WITHIN HALF THE JOIST DEPTH FROM THE EDGE OF BEARING

MUST BE NOT DEEPER THAN 1/3 THE JOIST DEPTH

WALL STUDS:

NOTCHING & DRILLING SIZE: (9.2.3.5.3)

UNDAMAGED PORTION OF THE STUD IS NOT LESS THAN:

LOAD BEARING: 2/3 THE DEPTH OF THE STUD

NON-LOAD BEARING: 1 1/2" DEEP

BEAMS TO SUPPORT FLOORS:

TO CONFORM TO ARTICLE 9.2.3.6. OF THE O.B.C. BEARING: (9.2.3.6.1)

BEAMS ARE TO HAVE EVEN AND LEVEL BEARING

AND ARE TO BE PROVIDED WITH AT LEAST 3 1/2" LENGTH OF BEARING AT END SUPPORTS

FLOOR JOISTS:

TO CONFORM TO ARTICLE 9.2.3.9. OF THE O.B.C. BEARING: (9.2.3.9.1)

FLOOR JOIST ARE REQUIRED TO HAVE A MIN. OF

1 1/2" LENGTH OF END BEARING

STRAPPING & BRIDGING: (9.2.3.9.4)

WHERE STRAPPING IS SPECIFIED, IT MUST CONSIST OF:

1"x3" MIN. LUMBER NAILED TO THE UNDERSIDE OF FLOOR JOISTS

LOCATED NOT MORE THAN 6'-11" FROM EACH SUPPORT OR OTHER ROWS OF STRAPPING

FASTENED AT EACH END TO A SILL OR HEADER

WHERE BRIDGING IS SPECIFIED, IT MUST CONSIST OF:

1"x3" OR 2"x2" MIN. LUMBER

LOCATED NOT MORE THAN 6'-11" FROM EACH SUPPORT OR OTHER ROWS OF BRIDGING

ROOF & CEILING FRAMING:

TO CONFORM TO ARTICLE 9.2.3.13. OF THE O.B.C. BEARING: (9.2.3.13.3)

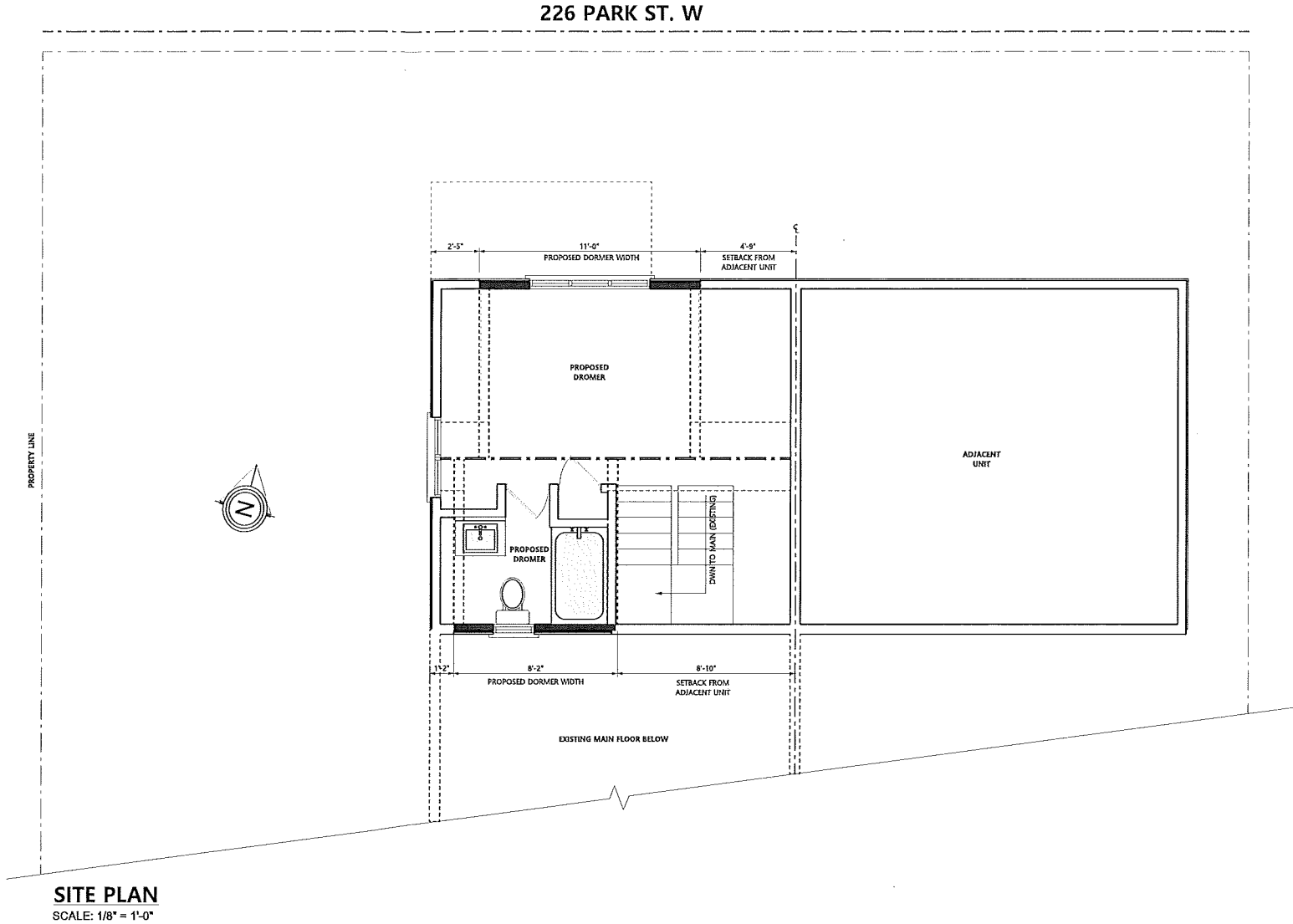
JOISTS AND RAFTERS ARE REQUIRED TO HAVE A MIN. OF 1 1/2" LENGTH OF END BEARING

TRUSSES:

TO CONFORM TO TRUSS DESIGN ATTACHED

ALL TRUSS DESIGNS TO BE SUPPLIED BY OTHERS

TRUSSES SHOULD NOT BE NOTCHED DRILLED OR TAPERED WITH



SITE PLAN

SCALE: 1/8" = 1'-0"

ALL CONTRACTORS TO VERIFY ALL DIMENSIONS ON SITE & TO REPORT ALL ERRORS AND/OR OMISSIONS TO THE DESIGNER. ALL CONTRACTORS MUST COMPLY WITH ALL CODES, BYLAWS & OTHER AUTHORITIES HAVING JURISDICTION OVER THE WORK.

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Name Signature BCIN

Registration Information
Brian's Drafting Service 113224
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226 PARK ST. RENOVATION

226 Park St. W
Hamilton, ON

PAGE TITLE:

ELEVATIONS & SECTION

PLOT FORMAT SIZE:

11 X 17

DATE:

JANUARY 24, 2020

DRAWN BY:

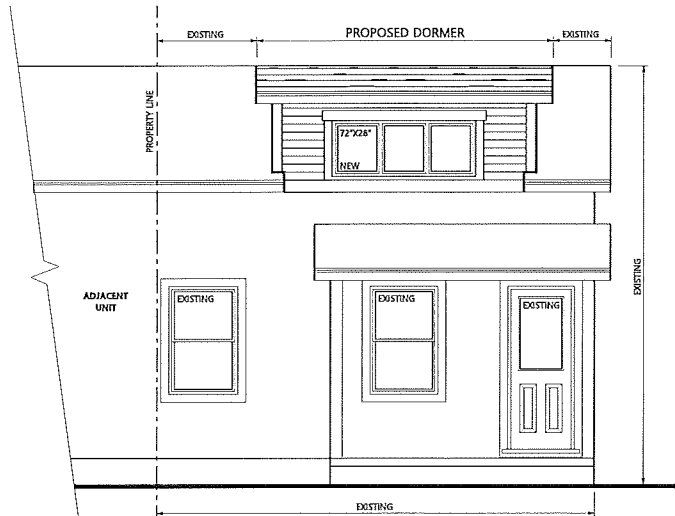
Brian Rintjema

SHEET NO.

2 OF 2

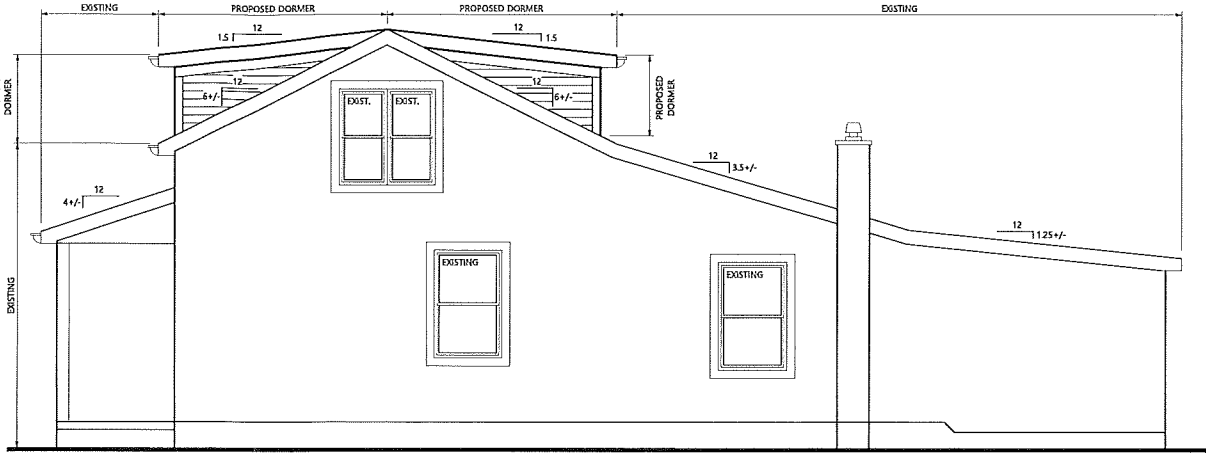
SCALE:

As Noted



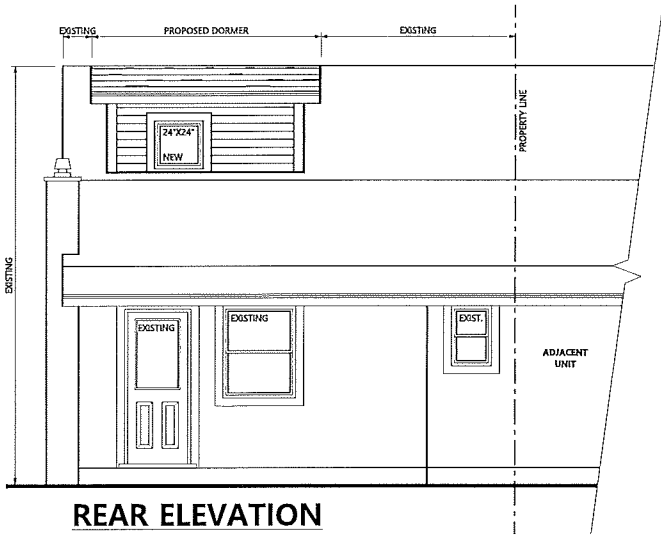
FRONT ELEVATION

SCALE: 1/8" = 1'-0"



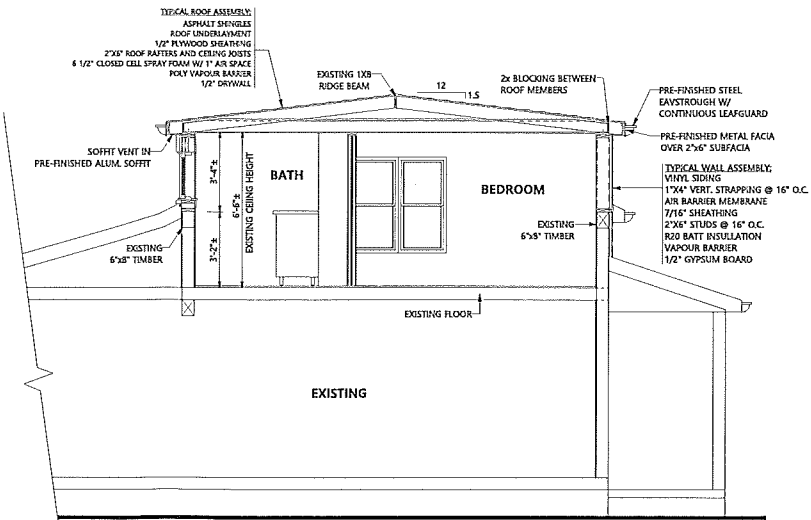
RIGHT ELEVATION

SCALE: 1/8" = 1'-0"



REAR ELEVATION

SCALE: 1/8" = 1'-0"



CROSS SECTION A

SCALE: 1/8" = 1'-0"

PARK STREET WEST

(BY REGISTERED PLAN 1443)

PIN 17483-0403 (LT)

MATILDA STREET
(BY REGISTERED PLAN 1443)

PIN 17483-0406 (LT)

76.82 (P1,P3 & Meas)

(N19°56'30"E P3)
(N20°00'00"E P1)
(N19°57'20"E (Meas))

42.67 (D1 & Meas)

PIN 17483-0147 (LT)

LOT 1

BLOCK
REGISTERED

LOT
PIN 17483-0148 (LT)

LOT 2
PIN 17483-0149 (LT)

LOT 3

15

1443

LOT 7

PIN 17483-0156 (LT)

LOT 8

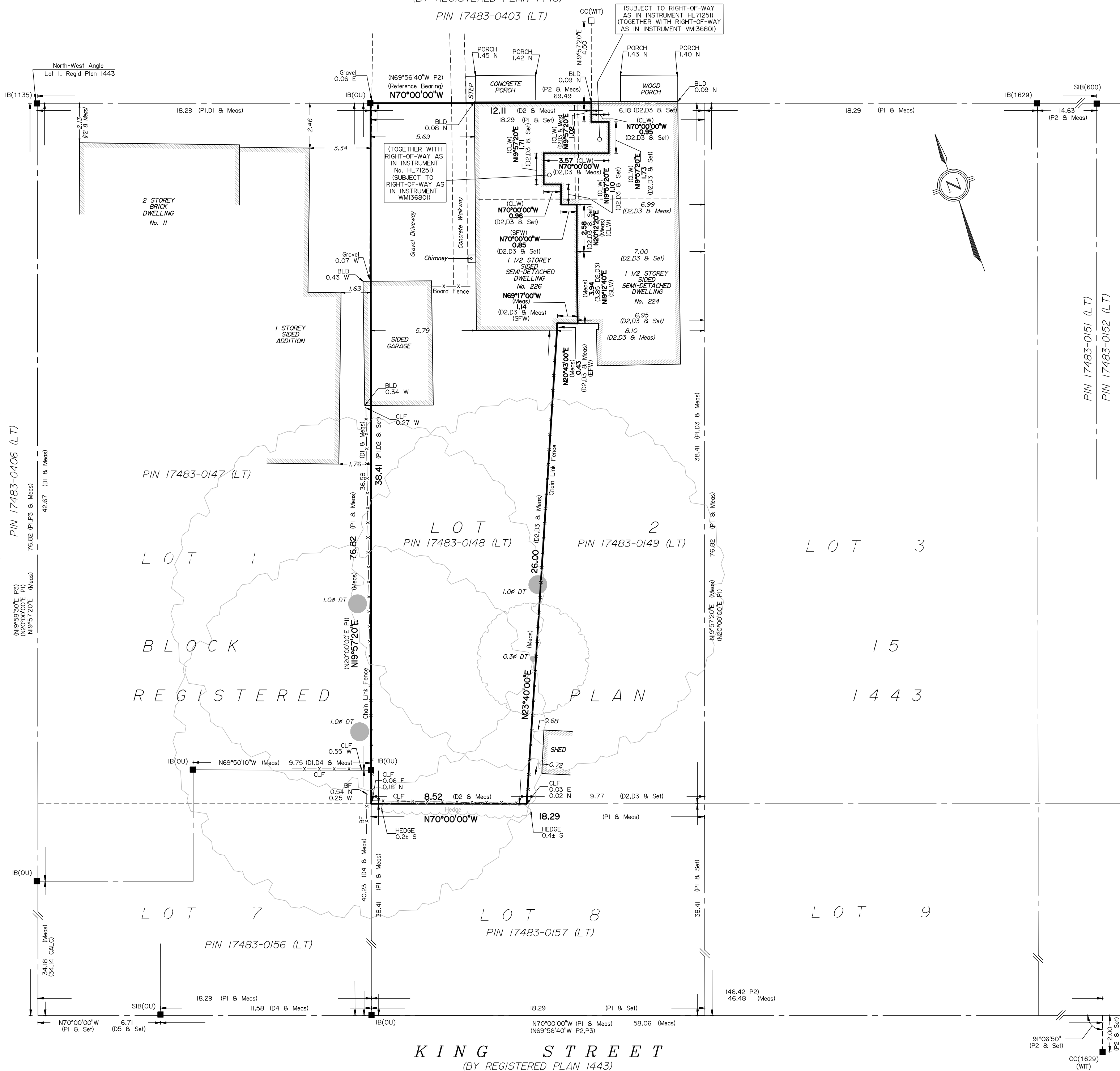
PIN 17483-0157 (LT)

LOT 9

KING STREET

(BY REGISTERED PLAN 1443)

PIN 17483-0405 (LT)



SURVEYOR'S REAL PROPERTY REPORT

PART 1

PLAN OF SURVEY OF

PART OF LOT 2, BLOCK 15 REGISTERED PLAN 1443

IN THE

CITY OF HAMILTON

SCALE & NOTES

Scale 1:150

BARICH GRENKIE SURVEYING LTD.
A DIVISION OF GEOMAPLE

© COPYRIGHT 2020

METRIC

DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

BEARING NOTE

BEARINGS ARE ASTRONOMIC AND ARE REFERRED TO THE SOUTHERLY LIMIT OF PARK STREET WEST AS SHOWN ON REGISTERED PLAN 1443 HAVING A BEARING OF N70°00'00"W.

LEGEND

■	DENOTES	SURVEY MONUMENT FOUND
□	DENOTES	SURVEY MONUMENT PLANTED
IB	DENOTES	IRON BAR
SIB	DENOTES	STANDARD IRON BAR
CC	DENOTES	CUT CROSS
OU	DENOTES	ORIGIN UNKNOWN
P1	DENOTES	REGISTERED PLAN 1443
P2	DENOTES	PLAN BY B. A. JACOBS SURVEYING LTD. DATED OCTOBER 2, 2019
P3	DENOTES	PLAN 62R-19248
D1	DENOTES	INSTRUMENT CD174584
D2	DENOTES	INSTRUMENT HL71251
D3	DENOTES	INSTRUMENT VM136801
D4	DENOTES	INSTRUMENT WM2464
D5	DENOTES	INSTRUMENT HL248480
1135	DENOTES	L. WOODS, O.L.S.
1629	DENOTES	B. A. JACOBS, O.L.S.
600	DENOTES	S. W. WOODS, O.L.S.
CLW	DENOTES	CENTRELINE OF WALL
EFW	DENOTES	EAST FACE OF WALL
SFW	DENOTES	SOUTH FACE OF WALL
CLF	DENOTES	CHAIN LINK FENCE
BF	DENOTES	BOARD FENCE
DT	DENOTES	DECIDUOUS TREE
BLD	DENOTES	BUILDING
WIT	DENOTES	WITNESS
Ø	DENOTES	DIAMETER
CALC	DENOTES	CALCULATION DERIVED FROM D4 & D5

ASSOCIATION OF ONTARIO

LAND SURVEYORS

PLAN SUBMISSION FORM

2100845



THIS PLAN IS NOT VALID UNLESS IT IS AN EMBOSSED ORIGINAL COPY ISSUED BY THE SURVEYOR In accordance with Regulation 1026, Section 29(3)

SURVEYOR'S REAL PROPERTY REPORT

PART 2

DESCRIPTION SUMMARY - LANDS DESCRIBED IN PIN 17483-0148 (LT).

REGISTERED EASEMENTS/RIGHTS-OF-WAY - SUBJECT TO AND TOGETHER WITH INSTRUMENT No. HL71251

ADDITIONAL REMARKS - MAKE NOTE OF THE LOCATION OF FENCES, THE SIDED GARAGE, CONCRETE PORCH AND THE PARTITION WALL AS SHOWN ON THE FACE OF THE PLAN.

THIS PLAN WAS PREPARED FOR PATRICIA & RICHARD PARKER AND THE UNDERSIGNED ASSUMES NO RESPONSIBILITY FOR USE BY OTHER PARTIES.

SURVEYOR'S CERTIFICATE

I CERTIFY THAT

1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT AND THE REGULATIONS MADE UNDER THEM.

2. THE SURVEY WAS COMPLETED ON MARCH 12, 2020.

APRIL 6, 2020

Matthew Di Cosmo

MATTHEW DI COSMO
ONTARIO LAND SURVEYOR

Barich Grenkie
Surveying Ltd.

297 HWY No. 8 (UNIT 101) - STONEY CREEK, ON
L8G 1E5 (905) 662-6767

A DIVISION OF GEOMAPLE

DWN BY: EWA

CHK BY: MD

JOB No. 20-2620



Hamilton

Planning and Economic Development Department
Planning Division

Committee of Adjustment
City Hall
5th floor 71 Main Street West
Hamilton, Ontario L8P 4Y5

Phone (905) 546-2424 ext.4221
Fax (905) 546-4202

**PLEASE FILL OUT THE FOLLOWING PAGES AND
RETURN TO THE CITY OF HAMILTON PLANNING
DEPARTMENT.**

FOR OFFICE USE ONLY.

APPLICATION NO. DN/A-20:35 DATE APPLICATION RECEIVED Jan-28/20

PAID _____ DATE APPLICATION DEEMED COMPLETE _____

SECRETARY'S
SIGNATURE _____

**CITY OF HAMILTON
COMMITTEE OF ADJUSTMENT
HAMILTON, ONTARIO**

The Planning Act

Application for Minor Variance or for Permission

The undersigned hereby applies to the Committee of Adjustment for the City of Hamilton under Section 45 of the *Planning Act*, R.S.O. 1990, Chapter P.13 for relief, as described in this application, from the Zoning By-law.

1. Name of Owner RICHARD and PATRICIA PARKER Telephone No. [REDACTED]
2. [REDACTED]
3. Name of Agent _____ Telephone No. _____
FAX NO. _____ E-mail address. _____
4. Address _____
_____ Postal Code _____

Note: Unless otherwise requested all communications will be sent to the agent, if any.

5. Names and addresses of any mortgagees, holders of charges or other encumbrances:
Scotiabank - 851 Golf Link Rd. Ancaster, ON
_____ Postal Code L9K 1L5

_____ Postal Code _____

6. Nature and extent of relief applied for:

Construct one 11' wide front Dormer and one
8'-2" wide rear dormer

7. Why it is not possible to comply with the provisions of the By-law?

Proposed dormer addition is closer than 6m
from the front property line

8. Legal description of subject lands (registered plan number and lot number or other legal description and where applicable, street and street number):

Plan 1443 Block 15 Part lot 2
226 Park St. W.

9. PREVIOUS USE OF PROPERTY

Residential ☒ Industrial ☐ Commercial ☐

Agricultural ☐ Vacant ☐

Other

9.1 If Industrial or Commercial, specify use

9.2 Has the grading of the subject land been changed by adding earth or other material, i.e. has filling occurred?

Yes ☐ No ☒ Unknown ☐

9.3 Has a gas station been located on the subject land or adjacent lands at any time?

Yes ☐ No ☒ Unknown ☐

9.4 Has there been petroleum or other fuel stored on the subject land or adjacent lands?

Yes ☐ No ☒ Unknown ☐

9.5 Are there or have there ever been underground storage tanks or buried waste on the subject land or adjacent lands?

Yes ☐ No ☒ Unknown ☐

9.6 Have the lands or adjacent lands ever been used as an agricultural operation where cyanide products may have been used as pesticides and/or sewage sludge was applied to the lands?

Yes ☐ No ☒ Unknown ☐

9.7 Have the lands or adjacent lands ever been used as a weapon firing range?

Yes ☐ No ☒ Unknown ☐

9.8 Is the nearest boundary line of the application within 500 metres (1,640 feet) of the fill area of an operational/non-operational landfill or dump?

Yes ☐ No ☒ Unknown ☐

9.9 If there are existing or previously existing buildings, are there any building materials remaining on site which are potentially hazardous to public health (eg. asbestos, PCB's)?

Yes ☐ No ☒ Unknown ☐

9.10 Is there any reason to believe the subject land may have been contaminated by former uses on the site or adjacent sites?

Yes _____ No X Unknown _____

9.11 What information did you use to determine the answers to 9.1 to 9.10 above?

Discussed with neighbours

9.12 If previous use of property is industrial or commercial or if YES to any of 9.2 to 9.10, a previous use inventory showing all former uses of the subject land, or if appropriate, the land adjacent to the subject land, is needed.

Is the previous use inventory attached? Yes _____ No X

ACKNOWLEDGEMENT CLAUSE

I acknowledge that the City of Hamilton is not responsible for the identification and remediation of contamination on the property which is the subject of this Application – by reason of its approval to this Application.

01/28/20
Date

Signature Property Owner

RICHARD and PATRICIA PARKER
Print Name of Owner

*10. Dimensions of lands affected:

Frontage 34.37 ft
Depth 126.00 ft
Area _____
Width of street _____

*11. Particulars of all buildings and structures on or proposed for the subject lands: (Specify ground floor area, gross floor area, number of stories, width, length, height, etc.)

Existing: Detached Garage - 12'5"W x 23'2"L x 10'H

Proposed: 11' wide Front Dormer and 8'2" wide rear dormer

12. Location of all buildings and structures on or proposed for the subject lands; (Specify distance from side, rear and front lot lines)

Existing: Detached Garage - 12'5"W x 23'2"L x 10'H

Proposed: 11' wide Front Dormer and 8'2" wide rear dormer

13. Date of acquisition of subject lands:
Aug. 22, 2019
14. Date of construction of all buildings and structures on subject lands:
1950
15. Existing uses of the subject property: Residential
16. Existing uses of abutting properties: Residential
17. Length of time the existing uses of the subject property have continued:
70 years
18. Municipal services available: (check the appropriate space or spaces)
Water ✓ Connected _____
Sanitary Sewer ✓ Connected _____
Storm Sewers ✓
19. Present Official Plan/Secondary Plan provisions applying to the land:
Neighborhoods
20. Present Restricted Area By-law (Zoning By-law) provisions applying to the land:
Low-Density Residential R4 zone
21. Has the owner previously applied for relief in respect of the subject property?
Yes _____ No (No)
If the answer is yes, describe briefly.

22. Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?
Yes _____ No (No)
23. The applicant shall attach to each copy of this application a plan showing the dimensions of the subject lands and of all abutting lands and showing the location, size and type of all buildings and structures on the subject and abutting lands, and where required by the Committee of Adjustment such plan shall be signed by an Ontario Land Surveyor.

NOTE: It is required that two copies of this application be filed with the secretary-treasurer of the Committee of Adjustment together with the maps referred to in Section 5 and be accompanied by the appropriate fee in cash or by cheque made payable to the City of Hamilton.