



Hamilton

COMMITTEE OF ADJUSTMENT

City Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5
Telephone (905) 546-2424, ext. 4221, 3935 Fax (905) 546-4202
E-mail: cofa@hamilton.ca

NOTICE OF PUBLIC HEARING
Minor Variance

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
 - Applicant/agent on file, or
 - Person likely to be interested in this application
-

APPLICATION NO.: SC/A-20:130

APPLICANTS: Owner: Mary & Pasquale Caterini
Agent: Alfonso Alaimo

SUBJECT PROPERTY: Municipal address **381 Mud St. E., Stoney Creek**

ZONING BY-LAW: Zoning By-law 05-200, as Amended

ZONING: S1 (Settlement Residential) district

PROPOSAL: To permit the construction of a new Single Detached Dwelling and a 12.192m (40'0") x 18.288m (60'0") one (1) storey accessory building which includes a 4.572m (15'0") x 18.288m (60'0") roofed-over porch (covered patio) notwithstanding that:

1. A minimum easterly side yard of 1.2m shall be provided for the proposed single detached dwelling instead of the minimum required side yard of 3.0m.
2. A maximum parking space size shall not be required instead of the existing regulation requiring a maximum parking space size of 3.0m wide x 6.0m long.
3. A maximum accessory building lot coverage of 223m² shall be permitted for all accessory buildings instead of the maximum lot coverage of 97m² for all accessory buildings.
4. A maximum accessory building height of 7.8m shall be permitted and a maximum height of 5.5m shall be permitted to the underside of any fascia eaves, overhang or the lower ends of the roof joists, rafters or trusses for the proposed accessory building instead of the requirement that buildings accessory to a residential use shall have a maximum building height of 5.0 metres and the maximum height of the underside of any fascia eaves, overhang or the lower ends of the roof joists, rafters or trusses shall be 3.0 metres.

NOTE:

- i) Pursuant to Variance # 3 above, the roofed-over porch (covered patio) attached to the 40' x 60' accessory building is not included in the lot coverage determination.
- ii) Pursuant to Variance # 3 above, the Agent has indicated that the existing dwelling, existing detached garage and existing two sheds are intended to be demolished once the proposed single detached dwelling and 40' x 60' detached garage are constructed. If the existing detached garage and existing two sheds are not demolished, a further variance shall be required as the total lot coverage for all accessory buildings will exceed 223m².
- iii) The Agent has indicated that the existing driveway is to be removed with demolition of the existing dwelling, existing detached garage and existing two sheds. If this driveway is not removed, a further variance shall be necessary in order to allow two (2) driveways as a maximum of one (1) driveway is permitted.

- iv) The Agent has indicated that the proposed accessory building will be used for residential purposes only. The accessory building shall not be used for commercial or industrial uses or for human habitation.

This application will be heard by the Committee as shown below:

DATE: Thursday, August 6th, 2020
TIME: 1:45 p.m.
PLACE: Via video link or call in (see attached sheet for details)
To be streamed at www.hamilton.ca/committeeofadjustment
for viewing purposes only

PUBLIC INPUT

Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

Orally: If you would like to speak to this item at the hearing you may do so via video link or by calling in. Please see attached page for complete instructions, including deadlines for registering to participate.

MORE INFORMATION

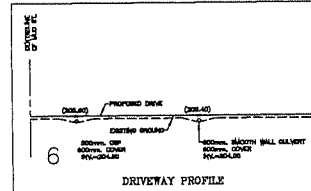
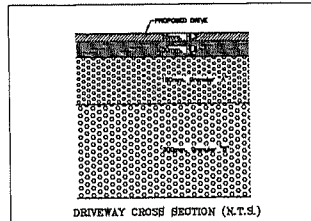
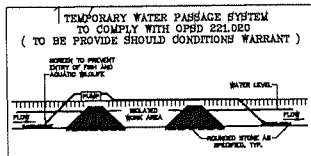
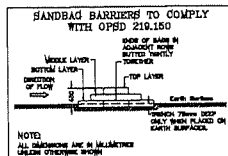
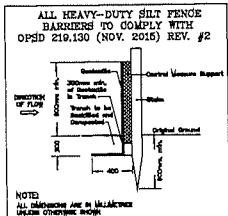
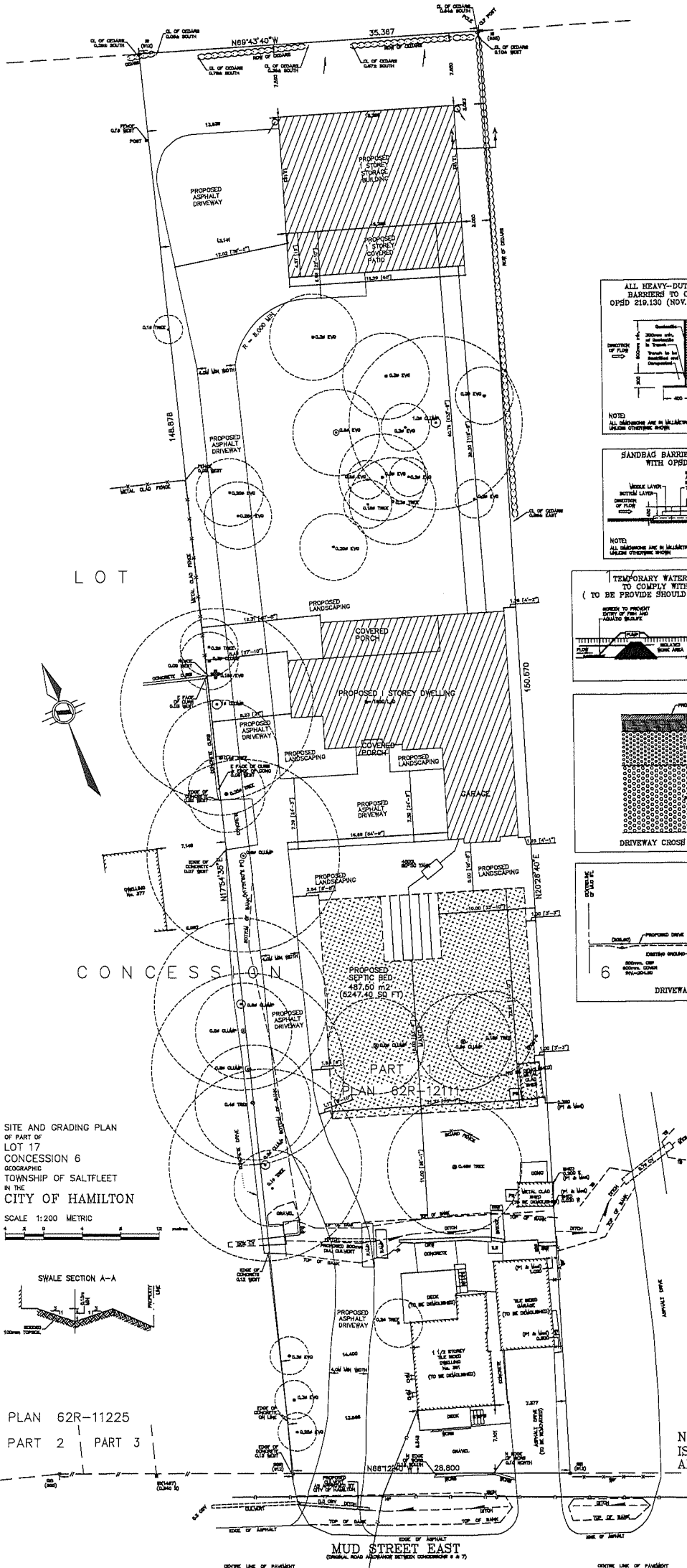
For more information on this matter, including access to drawings illustrating this request:

- Visit www.hamilton.ca/committeeofadjustment
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935
- Email Committee of Adjustment staff at cofa@hamilton.ca

DATED: July 21st, 2020

Jamila Sheffield,
Secretary-Treasurer
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public.



GENERAL GRADING NOTES:

1. ALONG ADJOINING PROPERTIES GRADE TO MEET EXISTING OR PROPOSED ELEVATIONS WITH SLOPED SLOPES (MIN. 3% TO 1%) AND/OR RETAINING WALLS AS SPECIFIED.
2. ALL RETAINING WALLS, WALKWAYS, CURBS, ETC. SHALL BE PLACED A MIN. OF 0.45 m. OFF THE PROPERTY LINE. ALL WALLS 1.0 m. OR HIGHER SHALL BE DESIGNED BY A P.E.
3. SHOULD A RETAINING WALL BE REQUIRED, THE TOP OF WALL ELEVATIONS SHALL BE SET 150 mm. ABOVE THE PROPOSED SIDE YARD SWALES.
4. RETAINING WALLS 0.6 m. IN HEIGHT OR GREATER REQUIRE CONSTRUCTION OF A FENCE OR GUARD RAIL AT THE TOP OF THE REAR OF THE WALL. GUARDS FOR RETAINING WALLS SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH THE REQUIREMENTS OF EXISTING CHARTERS AS CONTAINED IN THE ONTARIO BUILDING CODE.
5. SLOPES OF SHALES FOR BOTH "BACK TO FRONT" AND "SPLIT" DRAINAGE SHALL BE NO LESS THAN 2.0% GRADE AND NO GREATER THAN 3.0% GRADE (3:1 SLOPES).
6. WHEN WATCHING TO EXISTING PROPERTIES WHERE A 2.0% GRADE CANNOT BE ACHIEVED, A 1.0% GRADE IS PERMITTED PROVIDED A 150 mm. SUB-DRAIN IS INSTALLED BELOW THE BOTTOM OF THE SHALE AND DRAINED TO A SUITABLE OUTLET, WITH A MINIMUM 0.3 m. COVER OVER THE SUB-DRAIN, OR OTHER MITIGATION MEASURES.
7. MINIMUM GRADE FOR A WRAP-AROUND SHALE IN THE BACKYARD SHALL BE 1.0%.
8. UNLESS OTHERWISE NOTED, THE GROUND BETWEEN PROPOSED ELEVATIONS ON SIDE LOTS SHALL BE GRADED AS A STRAIGHT LINE.
9. TOP OF FOUNDATION WALLS FOR BUILDINGS SHALL BE 150 mm. (min.) ABOVE FINISHED GRADE.
10. DRIVEWAY SLOPES SHALL NOT BE LESS THAN 2% AND NOT MORE THAN 7.0% REVERSED SLOPED DRIVEWAYS IN NEW DEVELOPMENTS ARE NOT PERMITTED.
11. GARAGE FLOOR ELEVATION TO BE SET MINIMUM 0.3 m. HIGHER THAN BACK OF HAUL, UNLESS OTHERWISE SPECIFIED.
12. ALL FILL PLACED ON LOTS SHALL BE COMPACTED TO A MINIMUM 95% (UNLESS OTHERWISE RECOMMENDED BY THE GEOTECHNICAL ENGINEER). ALL MATERIAL SHALL BE PLACED IN LAYERS NOT EXCEEDING 300 mm. LIFTS.
13. FOR DELINEATION OF TREE PROTECTION ZONES, BUFFERS, REMOVALS AND PROTECTION SCHEDULING, ETC. REFER TO TREE PROTECTION PLAN.
14. LOT GRADING FOR ALL LOTS IN THE SUBDIVISION SHALL CONFORM STRICTLY WITH THIS PLAN. ANY CHANGES, UNLESS APPROVED PRIOR TO CONSTRUCTION BY THE CITY, SHALL RESULT IN NON-ACCEPTANCE OF THE SUBDIVISION BY THE CITY.
15. IF GRADING IS REQUIRED ON LANDS ADJACENT TO THE DEVELOPMENT WHICH ARE NOT OWNED BY THE DEVELOPER, THEN THE DEVELOPER MUST OBTAIN WRITTEN PERMISSION FROM THE ADJOINING PROPERTY OWNER TO ALLOW THE DEVELOPER TO GRADE ON THE ADJACENT LANDS, OTHERWISE RETAINING WALLS MUST BE USED.
16. THE WRITTEN PERMISSION REQUIRED FROM THE ADJOINING LANDOWNER SHALL BE OBTAINED PRIOR TO ENTERING THE LANDS. SHOULD PERMISSION NOT BE OBTAINED OR IS WITHDRAWN PRIOR TO COMMENCING THE WORK, THEN THE DEVELOPER SHALL LIMIT HIS ACTIVITIES TO THE LIMITS OF THE DEVELOPMENT SITE.
17. DRIVEWAY AND DRIVEWAY APPROACHES SHALL BE LOCATED SUCH THAT HYDRO VAULTS AND OTHER STREET FURNITURE ARE A MIN. OF 1.2 m. FROM THE PROJECTIONS OF THE OUTSIDE GARAGE WALLS.

BACKYARD GRADING NOTES:

- a. DEFINITION: "REQUIRED BACKYARD" SHALL MEAN THE LESSER OF THE DISTANCE REGULATED BY THE ZONING BY-LAW OR 8 METRES.
- b. THE MAXIMUM SLOPE IN THE BACKYARD ADJACENT TO THE BUILDING FOR A DISTANCE EQUAL TO THE REQUIRED BACKYARD SHALL BE 0% EXCEPT AS SET OUT IN ITEMS BELOW.
- c. THE 0% RESTRICTION SHALL NOT APPLY TO THE SIDES OF A SHALE ALONG THE SIDES OR BACK OF THE LOT, PROVIDING THE TOTAL WIDTH OF THE SHALE SHALL NOT EXCEED ONE (1) METRE ON EACH LOT.
- d. WHERE THE 0% RESTRICTION ON THE BACKYARD GRADES RESULTS IN ELEVATION DIFFERENCES BETWEEN DIFFERENT PROPERTIES, RETAINING WALLS SHALL BE CONSTRUCTED ALONG THE SIDES AND THE BACK OF THE LOT, SLOPES WITH A MAXIMUM OF THREE HORIZONTAL TO ONE VERTICAL MAY REPLACE THE WALLS WHERE THE DIFFERENCE IN ELEVATION IS LESS THAN 0.3m.
- e. GENERALLY, SLOPES SHALL BE PLACED ON THE LOWER LOT, WHEREAS RETAINING WALLS SHALL BE PLACED ON THE HIGHER LANDS.
- f. THE 0% RESTRICTION DOES NOT PRECLUDE RETAINING WALLS IN THE REQUIRED BACKYARD PROVIDING THE TERRACES ARE MAINTAINED TO THE 0% GRADE AS SET OUT IN ITEM a) ABOVE. THE INTENTION OF THIS PROVISION IS TO PROVIDE FOR FLEXIBILITY OF HOUSE CONSTRUCTION.
- g. THERE IS NO CONTROL ON THE STEEPNESS OF THE SLOPES IN SIDE YARDS, FRONT YARDS AND BACK YARDS OUTSIDE THE AREA DEFINED IN a) ABOVE, PROVIDING THE SLOPES ARE STABLE FOR THE SOILS OF THE AREA (MINIMUM 30%V).

ROOFWATER LEADERS NOTE:

ALL ROOFWATER LEADERS SHALL DISCHARGE ONTO SPLASH PADS AND THEN TO GRASSED OR LANDSCAPED AREAS A MIN. OF 0.6m. FROM THE BUILDING FACE.

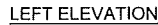
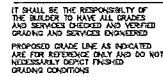
SUMP PUMPS

SUMP PUMPS WITH CHECK VALVES ARE TO BE INSTALLED IN EACH DWELLING TO PUMP THE WEEPING TILES TO THE STORM PRIVATE DRAIN. THE SUMP OUTLET SHALL EXTEND A MINIMUM OF 150 mm. ABOVE THE PROPOSED GRADE AT THE DWELLING (BASEMENT CEILING) PRIOR TO DISCHARGING TO THE STORM PRIVATE DRAIN.

NOTE: THIS IS NOT A LEGAL SURVEY THIS DRAWING IS ISSUED FOR USE DURING THE MINOR VARIANCE APPLICATION PROCESS ONLY.



The undersigned has reviewed and takes responsibility for this design, and has the authority to make the requirements set out in this Ontario Building Code to be a designer.	
QUALIFICATION INFORMATION	
Required unless design is exempt under Div. C, Article 3.2.4.1 of the Building Code	
Name	MAURO FORTUNATO
Signature	
Registration Information	
Required unless design is exempt under Div. C, Article 3.2.4.1 of the Building Code	
Firm Name	UNIQUE DESIGN INC.
	31080 BCL

[illegible]

<p>The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements out in the Ontario Building Code to be a designer.</p> <p>QUALIFICATION INFORMATION</p> <p>Required unless design is exempt under D.V.C. Article 3.2.5.1 of the Building Code</p> <p>NAME: <u>W. Fortin</u></p> <p>Name Signature</p>	
<p>REGISTRATION INFORMATION</p> <p>Required unless design is exempt under D.V.C. Article 3.2.4.1 of the Building Code</p> <p>UNIQUE DESIGNER ID: _____</p> <p>Firm Name _____</p>	

DO NOT SCALE DRAWINGS

**CATERINI
RESIDENCE**

CUSTOM
HOME

381 MUD ST.
HAMILTON, (ST. CRK) ONT.

Drawn By	
Date:	02.17.20
Job Number	013620

Scale

Date:	02.17.20
Job Number	013620

A1



6. Nature and extent of relief applied for:

- MINOR VARIANCE FOR HOUSE SIDEYARD (REDUCE EAST SIDEYARD to 1.25m SETBACK)
- MINOR VARIANCE TO INCREASE HEIGHT & SIZE OF UTILITY/STORAGE BUILDING (40'x60' BLDG ; 25' 3 1/2" HEIGHT)

7. Why it is not possible to comply with the provisions of the By-law?

- NEED TO MOVE THE HOUSE TO MAKE ROOM FOR DRIVEWAY & PRESERVE TREES
- CHANGE TO UTILITY/STORAGE BLDG. TO ALLOW FOR CARLIFTS & HOISTS & MAKE ROOM FOR COLLECTIBLE CAR, RV & EQUIPMENT STORAGE (i.e. CLASSIC CARS, ATVS, SNOWMOBILES, EQUIPMENT)

8. Legal description of subject lands (registered plan number and lot number or other legal description and where applicable, street and street number):

CON-6 PT LOT 17 SLT SC RP 62R1211 PART 1 IRREG
1.12 AC 94.50 FR 493.20 D
381 MUD ST. E. STONEY CREEK

9. PREVIOUS USE OF PROPERTY

Residential ☒ Industrial ☐ Commercial ☐

Agricultural ☐ Vacant ☐

Other

9.1 If Industrial or Commercial, specify use

9.2 Has the grading of the subject land been changed by adding earth or other material, i.e. has filling occurred?

Yes ☐ No ☒ Unknown ☐

9.3 Has a gas station been located on the subject land or adjacent lands at any time?

Yes ☐ No ☒ Unknown ☐

9.4 Has there been petroleum or other fuel stored on the subject land or adjacent lands?

Yes ☐ No ☒ Unknown ☐

9.5 Are there or have there ever been underground storage tanks or buried waste on the subject land or adjacent lands?

Yes ☐ No ☒ Unknown ☐

9.6 Have the lands or adjacent lands ever been used as an agricultural operation where cyanide products may have been used as pesticides and/or sewage sludge was applied to the lands?

Yes ☐ No ☐ Unknown ☐

9.7 Have the lands or adjacent lands ever been used as a weapon firing range?

Yes ☐ No ☒ Unknown ☐

9.8 Is the nearest boundary line of the application within 500 metres (1,640 feet) of the fill area of an operational/non-operational landfill or dump?

Yes ☐ No ☒ Unknown ☐

9.9 If there are existing or previously existing buildings, are there any building materials remaining on site which are potentially hazardous to public health (eg. asbestos, PCB's)?

Yes ☐ No ☒ Unknown ☐

9.10 Is there any reason to believe the subject land may have been contaminated by former uses on the site or adjacent sites?

Yes _____ No ☒ Unknown _____

9.11 What information did you use to determine the answers to 9.1 to 9.10 above?

PROPERTY HAS BEEN USED AS PRIMARY RESIDENCE BY THE TWO
PREVIOUS OWNERS. ADJACENT LANDS - RESIDENCE TO THE WEST
CEMETARY TO THE EAST, FORMER FRUIT FARM/RESIDENCE TO THE NORTH

9.12 If previous use of property is industrial or commercial or if YES to any of 9.2 to 9.10, a previous use inventory showing all former uses of the subject land, or if appropriate, the land adjacent to the subject land, is needed.

Is the previous use inventory attached? Yes _____ No _____

ACKNOWLEDGEMENT CLAUSE

I acknowledge that the City of Hamilton is not responsible for the identification and remediation of contamination on the property which is the subject of this Application – by reason of its approval to this Application.

March 24, 2020

Date

Signature Property Owner

PASQUALE CATERINI

MARY L. CATERINI

Print Name of Owner

10. Dimensions of lands affected:

Frontage 28.8 M

Depth 150.57 M

Area 1.12 AC. (94.5 FR 443.200)

Width of street N/A

11. Particulars of all buildings and structures on or proposed for the subject lands:
(Specify ground floor area, gross floor area, number of stories, width, length, height, etc.)

Existing: EXISTING 2 STOREY HOUSE TO BE DEMOLISHED

Proposed: SINGLE RESIDENTIAL HOME 2305 sq ft BUNGALOW, SINGLE FLOOR
& DETACHED ACCESSORY BLDG. (UTILITY/STORAGE GARAGE) 2400 sq. ft

12. Location of all buildings and structures on or proposed for the subject lands;
(Specify distance from side, rear and front lot lines)

Existing: _____

Proposed: 65.641 m from frontage property line (S. side), 8.23 m from WEST property
1.85 m from EAST PROPERTY LINE, 60.581 m from N. PROPERTY LINE

13. Date of acquisition of subject lands:
OCTOBER 15, 2010
14. Date of construction of all buildings and structures on subject lands:
EXISTING HOME 60+ YEARS
15. Existing uses of the subject property: RESIDENTIAL
16. Existing uses of abutting properties: RESIDENTIAL, CEMETARY, RESIDENTIAL/AGRICULTURAL
17. Length of time the existing uses of the subject property have continued:
60 yrs est.
18. Municipal services available: (check the appropriate space or spaces)
 Water _____ Connected _____
 Sanitary Sewer _____ Connected _____
 Storm Sewers _____
19. Present Official Plan/Secondary Plan provisions applying to the land:

20. Present Restricted Area By-law (Zoning By-law) provisions applying to the land:

21. Has the owner previously applied for relief in respect of the subject property?
 Yes No
 If the answer is yes, describe briefly.

22. Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?
 Yes No
23. The applicant shall attach to each copy of this application a plan showing the dimensions of the subject lands and of all abutting lands and showing the location, size and type of all buildings and structures on the subject and abutting lands, and where required by the Committee of Adjustment such plan shall be signed by an Ontario Land Surveyor.

NOTE: It is required that two copies of this application be filed with the secretary-treasurer of the Committee of Adjustment together with the maps referred to in Section 5 and be accompanied by the appropriate fee in cash or by cheque made payable to the City of Hamilton.

Mr. Alaimo,

The minor variance application for this proposal as shown in the attached plan would not need to be circulated to our office for formal comment.

However, as you have been informed, the proposed laneway/culvert crossing and septic system installation will require a permit from our office under Ontario Regulation 161/06 as they are within our regulated area.

Please also note that the culvert size required for the crossing is **800mm** as we have specified, *not* the 300mm culvert shown on the attached plan.

Darren Kenny, B.Sc. (Hons.), CAN-CISEC

Watershed Officer, Badge # 113

Hamilton Conservation Authority

P.O. Box 81067, 838 Mineral Springs Road

Ancaster, Ontario L9G 4X1

Tel - 905-525-2181, ext. 131

darren.kenny@conservationhamilton.ca

Website - www.conservationhamilton.ca



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From: Al Alaimo [mailto:al@ateamcontracting.com]

Sent: March 18, 2020 2:21 PM

To: Kenny, Darren

Subject: 381 Mud St. East Stoney Creek Plot plan

Hi Darren,

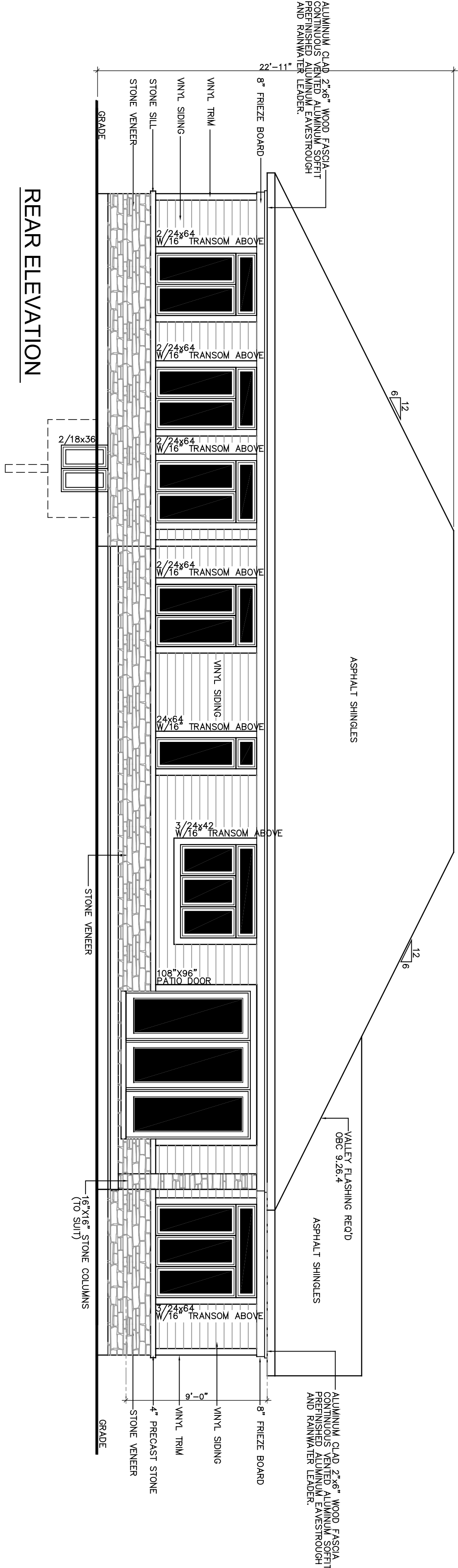
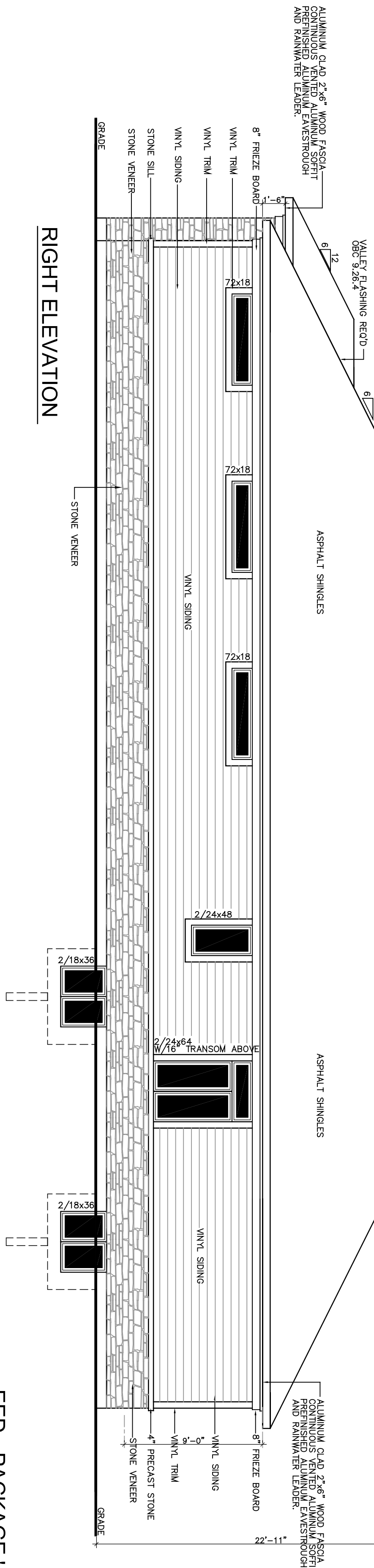
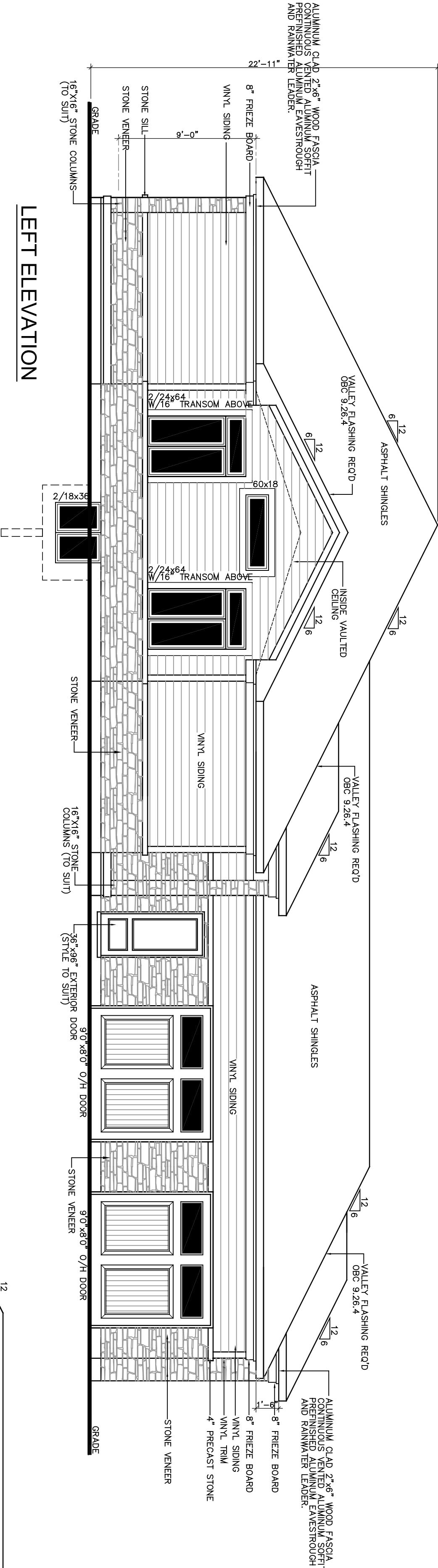
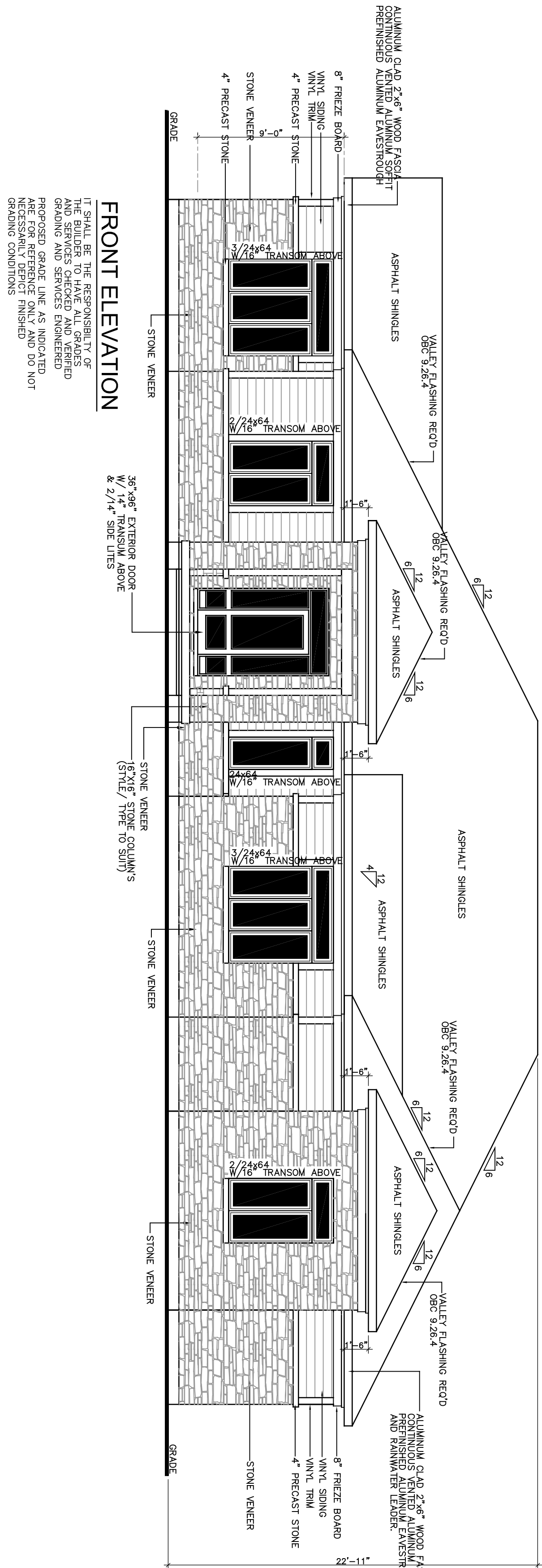
Here is the plot plan for 381 Mud St. East. Stoney Creek being submitted for minor variance. The septic bed is plotted on the drawing as requested. The minor variance application will consist of the new home to set at 1.25 meters from the east property line and a minor variance to build a 40'x60' 2400 sqft accessory building at the

back of the property and at a roof height of 25.3' high. Please review the drawing and if you have any questions please let me know.

Regards,

Al Alaimo

A-Team Custom Contracting Ltd.
289 775 1736



EED - PACKAGE 'A'

SECTION 2.1.1
DATE 2.11.2020
DRAWN BY: [Signature]
CHECKED BY: [Signature]
SCALE: 1/4" = 1'-0"
SHEET: 1 OF 1
PROJECT: 381 MUD ST.
HAMILTON, ONT.
UNIQUE DESIGN INC.
15084
BOB

DO NOT SCALE DRAWINGS

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Qualification Information. Required unless design is exempt under DVC, Article 3.2.5.1 of the Building Code.

MAURO FORTINATO
Signature
15084
BOB

REGISTRATION INFORMATION
Required unless design is exempt under DVC, Article 3.2.5.1 of the Building Code
UNIQUE DESIGN INC.
Firm Name
31090
BOB

**CATERINI
RESIDENCE**

381 MUD ST.
HAMILTON, (ST. CRK) ONT.



UNIQUE DESIGNS INC.

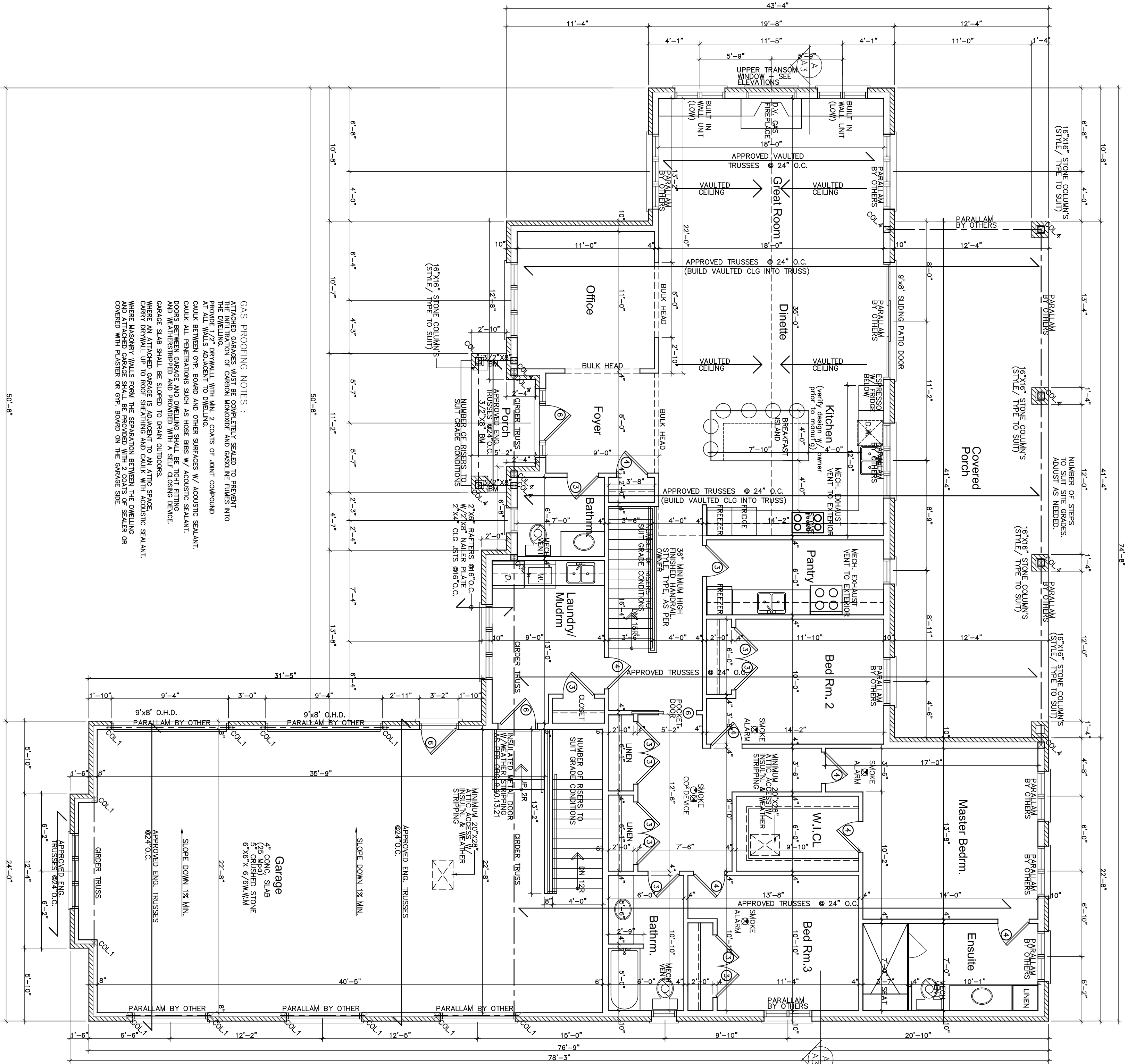
CUSTOM
HOME


ELEVATIONS

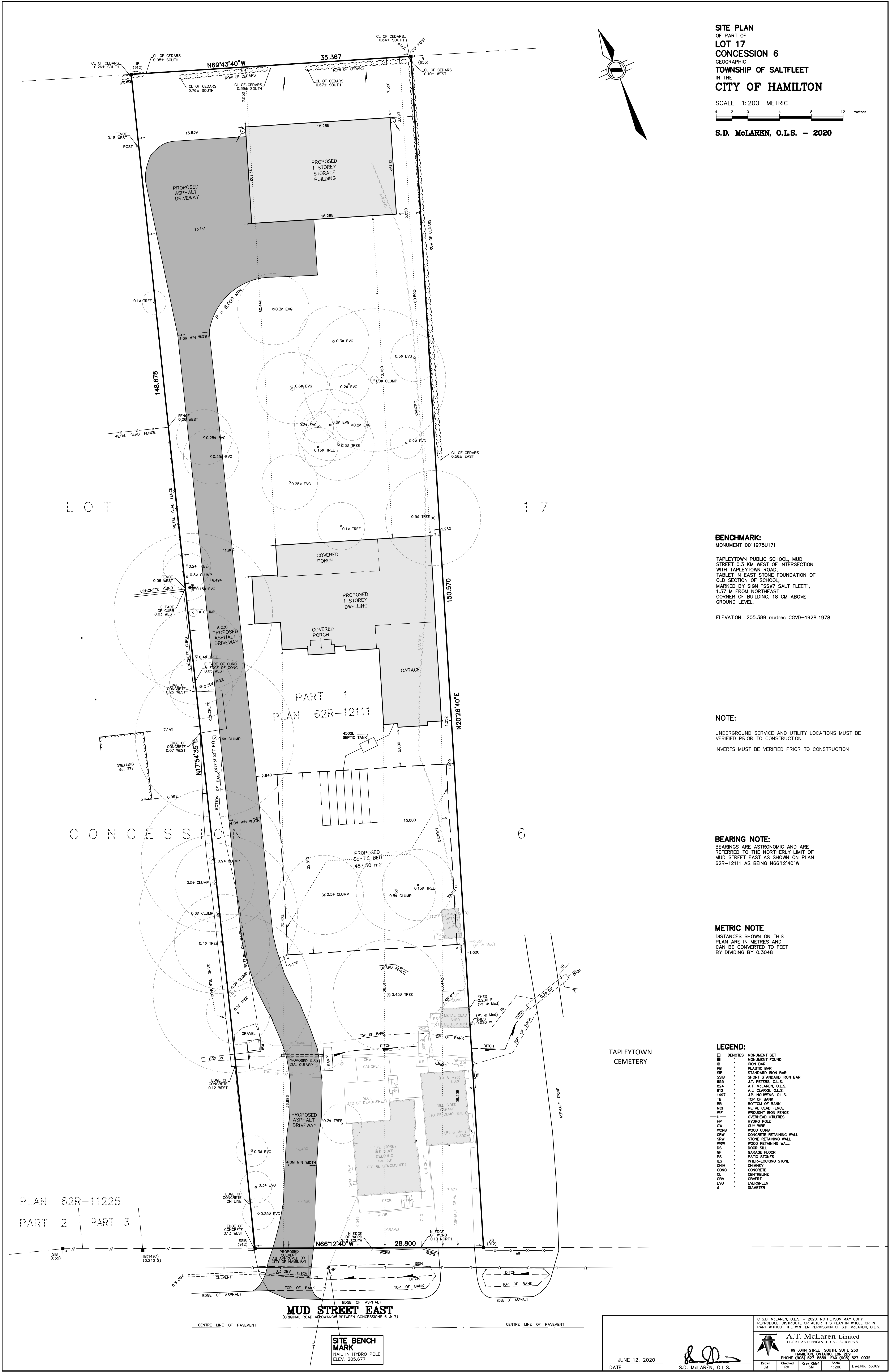
No.	DATE	DESCRIPTION
1.	02.20.20	ISSUED FOR PERMIT
2.		
3.		
4.		
5.		
6.		
7.		
8.		

THESE DRAWINGS ARE NOT TO BE SCALED. CONTRACTOR MUST CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON THE PROJECT, AND MUST REPORT ANY DISCREPANCIES TO THE DESIGNER BEFORE PROCEEDING WITH THE WORK.

THE USE OF THIS DRAWING OR PART THEREOF IS FORBIDDEN WITHOUT THE WRITTEN APPROVAL OF THE DESIGNER.



Date: 02.17.20 Job Number: 013620		Drawn By:		Scale: 3/16"=1'-0"		CATERINI RESIDENCE 381 MUD ST. HAMILTON, (ST. CRK) ONT.		 UNIQUE DESIGNS INC. <small>DRAFTING DESIGN INC.</small>		CUSTOM HOME		FOUNDATION PLAN FIRST FLOOR PLAN	
A2													



SITE PLAN
OF PART OF
LOT 17
CONCESSION 6
GEOGRAPHIC
TOWNSHIP OF SALT FLEET
IN THE
CITY OF HAMILTON

SCALE 1:200 METRIC
4 2 0 4 8 12 metres

S.D. McLaren, O.L.S. - 2020

BENCHMARK:
MONUMENT 0011975U171

TAPLEYTOWN PUBLIC SCHOOL, MUD
STREET 0.3 KM WEST OF INTERSECTION
WITH TAPLEYTOWN ROAD,
TABLET IN EAST STONE FOUNDATION OF
OLD SECTION OF SCHOOL,
MARKED BY SIGN "SS#7 SALT FLEET",
1.37 M FROM NORTHEAST
CORNER OF BUILDING, 18 CM ABOVE
GROUND LEVEL.

ELEVATION: 205.389 metres CGVD-1928:1978

NOTE:

UNDERGROUND SERVICE AND UTILITY LOCATIONS MUST BE
VERIFIED PRIOR TO CONSTRUCTION
INVERTS MUST BE VERIFIED PRIOR TO CONSTRUCTION

BEARING NOTE:
BEARINGS ARE ASTROMOMIC AND ARE
REFERRED TO THE NORTHERLY LIMIT OF
MUD STREET EAST AS SHOWN ON PLAN
62R-12111 AS BEING N66°12'40"W

METRIC NOTE
DISTANCES SHOWN ON THIS
PLAN ARE IN METRES AND
CAN BE CONVERTED TO FEET
BY DIVIDING BY 0.3048

LEGEND:

- | | |
|----|-------------------------|
| IB | MONUMENT SET |
| IB | MONUMENT FOUND |
| IB | IRON BAR |
| IB | PLASTIC BAR |
| IB | STANDARD IRON BAR |
| IB | SHORT STANDARD IRON BAR |
| IB | A.T. PETERS, O.L.S. |
| IB | A.T. McLaren, O.L.S. |
| IB | A.J. CLARKE, O.L.S. |
| IB | J.P. NOUWENS, O.L.S. |
| IB | TOP OF BANK |
| IB | BOTTOM OF BANK |
| IB | METAL CLAD FENCE |
| IB | WRIGHT IRON FENCE |
| IB | OVERHEAD UTILITIES |
| IB | HYDRO POLE |
| IB | GUY WIRE |
| IB | WOOD CURB |
| IB | CONCRETE RETAINING WALL |
| IB | STONE RETAINING WALL |
| IB | WOOD RETAINING WALL |
| IB | DOOR SILL |
| IB | GARAGE FLOOR |
| IB | PATIO STONES |
| IB | INTER-LOCKING STONE |
| IB | CHIMNEY |
| IB | CONCRETE |
| IB | CENTRELINE |
| IB | OBV |
| IB | EVERGREEN |
| IB | DIAMETER |

TAPLEYTOWN
CEMETERY

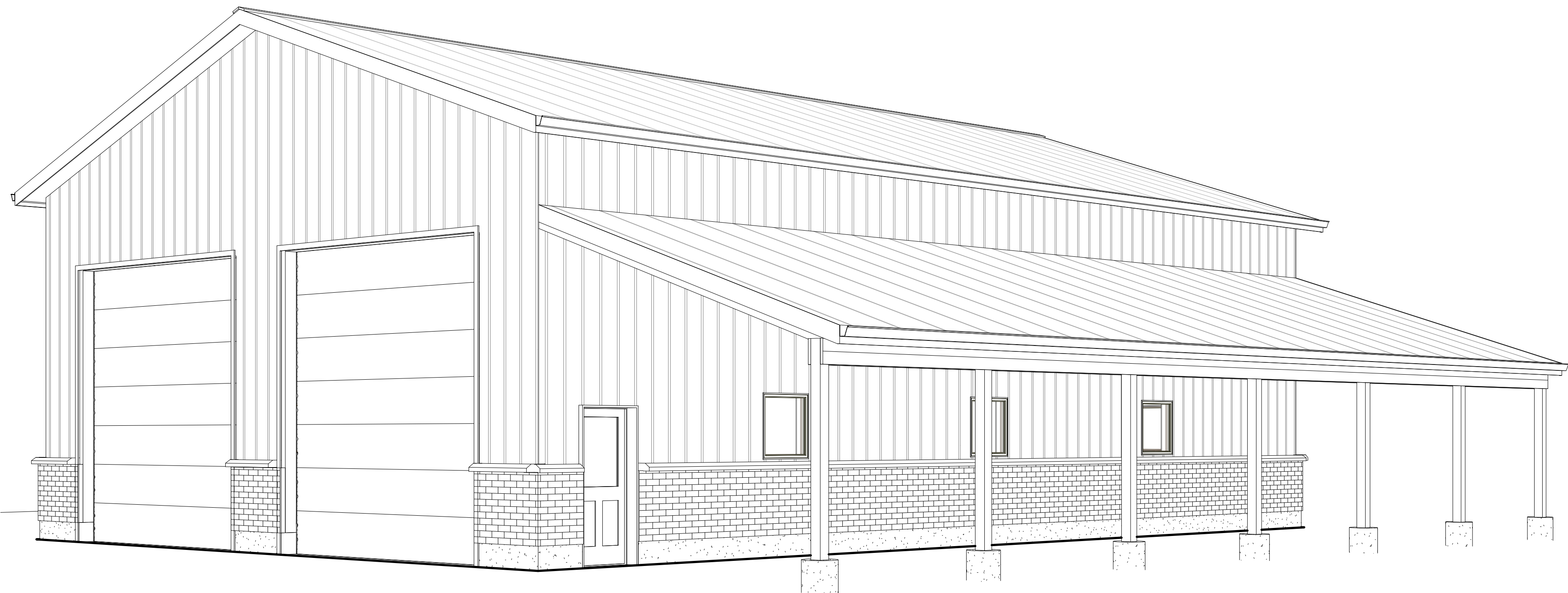
JUNE 12, 2020
DATE

S.D. McLaren, O.L.S.

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LEGAL AND ENGINEERING SURVEYS
69 JOHN STREET SOUTH, SUITE 230
HAMILTON, ONTARIO, L8N 2B9
PHONE: (905) 527-8559 FAX: (905) 527-0032
Drawn: JM Checked: RM Drawn: SM Scale: 1:200 Drawn: 36369

PAT CATERINI
STORAGE BUILDING

381 MUD ST E.
STONEY CREEK, ON



SHEET LIST	
SHEET NUMBER	SHEET NAME
1	TITLE
2	ELEVATIONS
3	FOUNDATION PLAN
4	FLOOR PLAN
5	SECTIONS & DETAILS

KLS **ENGINEERING**
LTD.

1333 HIGHWAY #3
DUNNVILLE, ONTARIO
N1A 2W7
phone: (905) 774-4307
fax: (905) 774-1168

THE UNDERSIGNED HAS REVIEWED
AND
TAKES RESPONSIBILITY FOR THIS
DESIGN, AND HAS THE
QUALIFICATIONS
AND MEETS THE REQUIREMENTS SET
OUT IN THE ONTARIO BUILDING CODE
TO BE A DESIGNER.

DESIGNER:
DEAN GLENNEY BCIN 23200
FIRM:
KLS ENGINEERING BCIN 29750

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PAT CATERINI
STORAGE BUILDING
381 MUD ST E.
STONEY CREEK, ON

TITLE

SCALE	C18-17-314
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DRAWN BY BRIANNA M	DRAWING NUMBER
DATE AUG 28/17	51
SHEET 1 OF 5	

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PAT CATERINI

STORAGE BUILDING

381 MUD ST E.
STONEY CREEK, ON

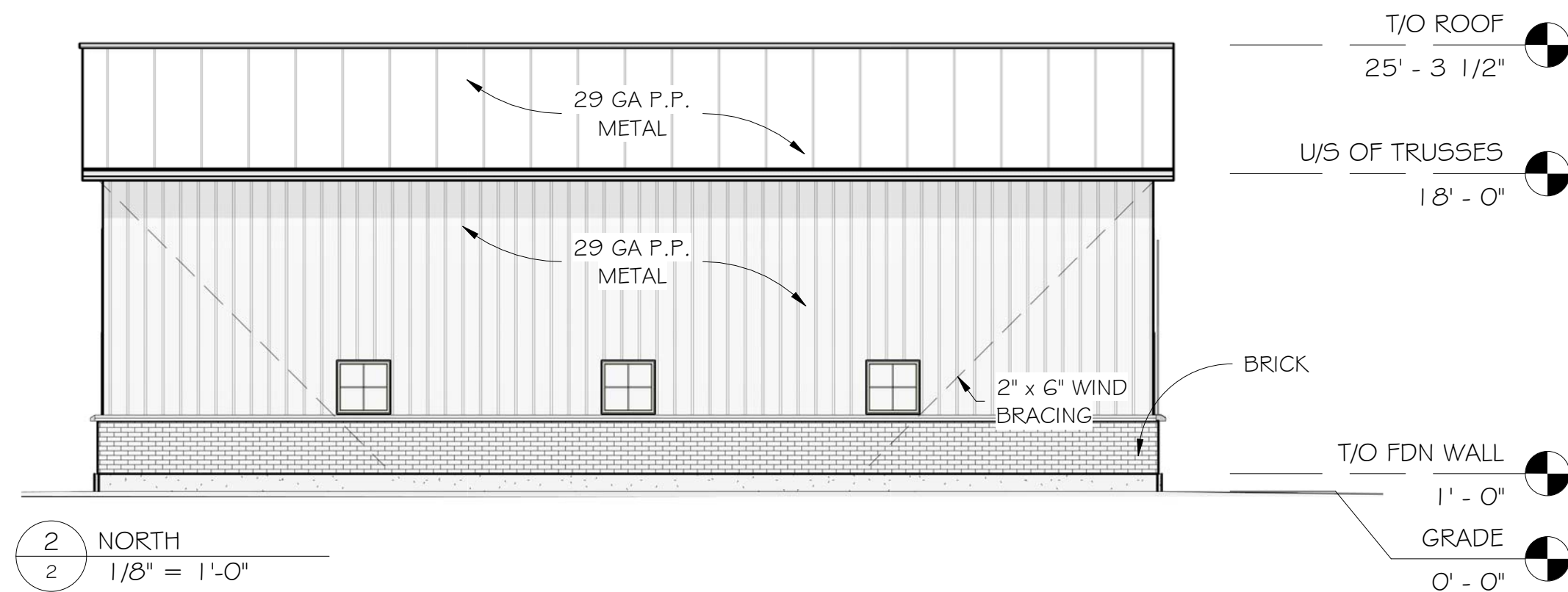
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ELEVATIONS

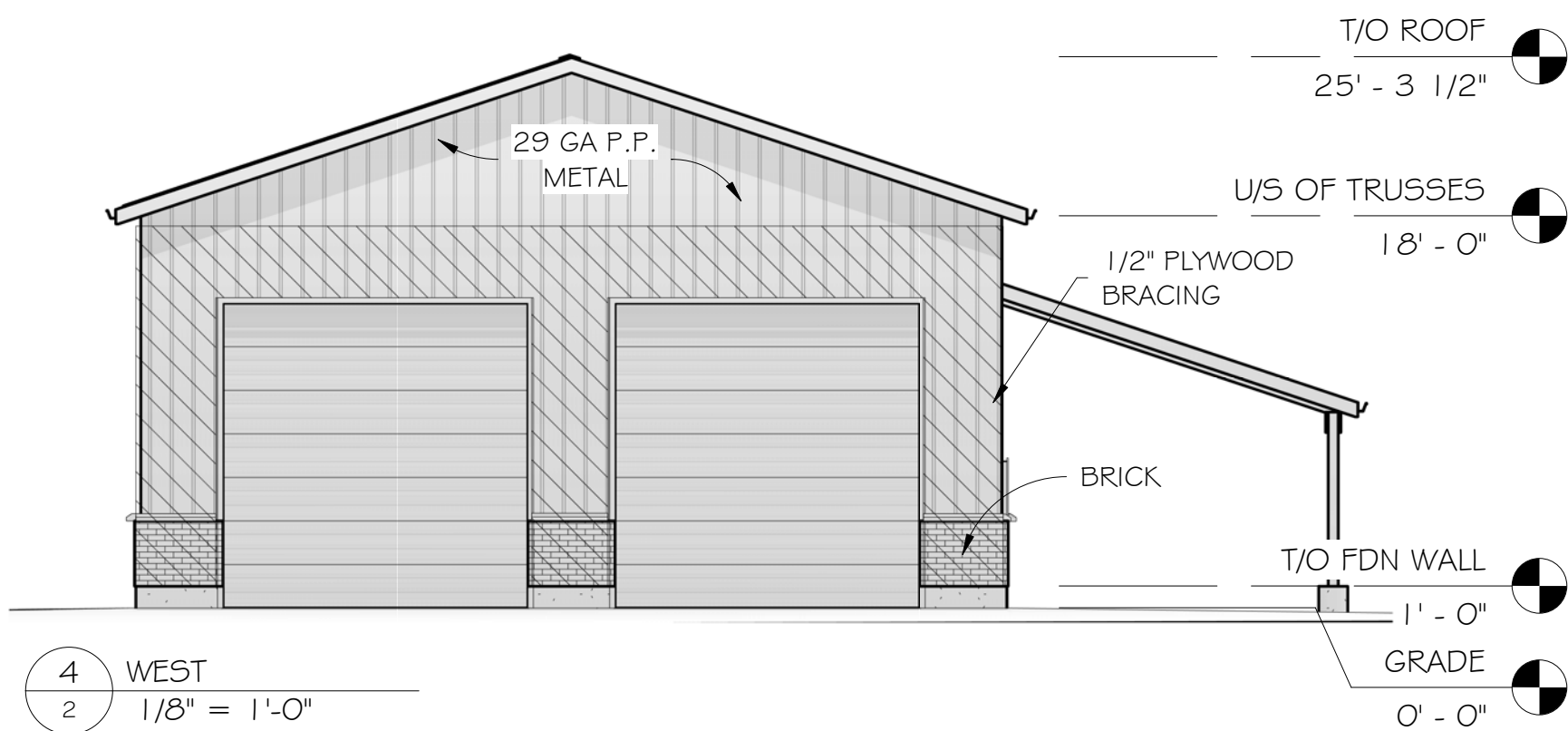
SCALE
1/8" = 1'-0" C18-17-314

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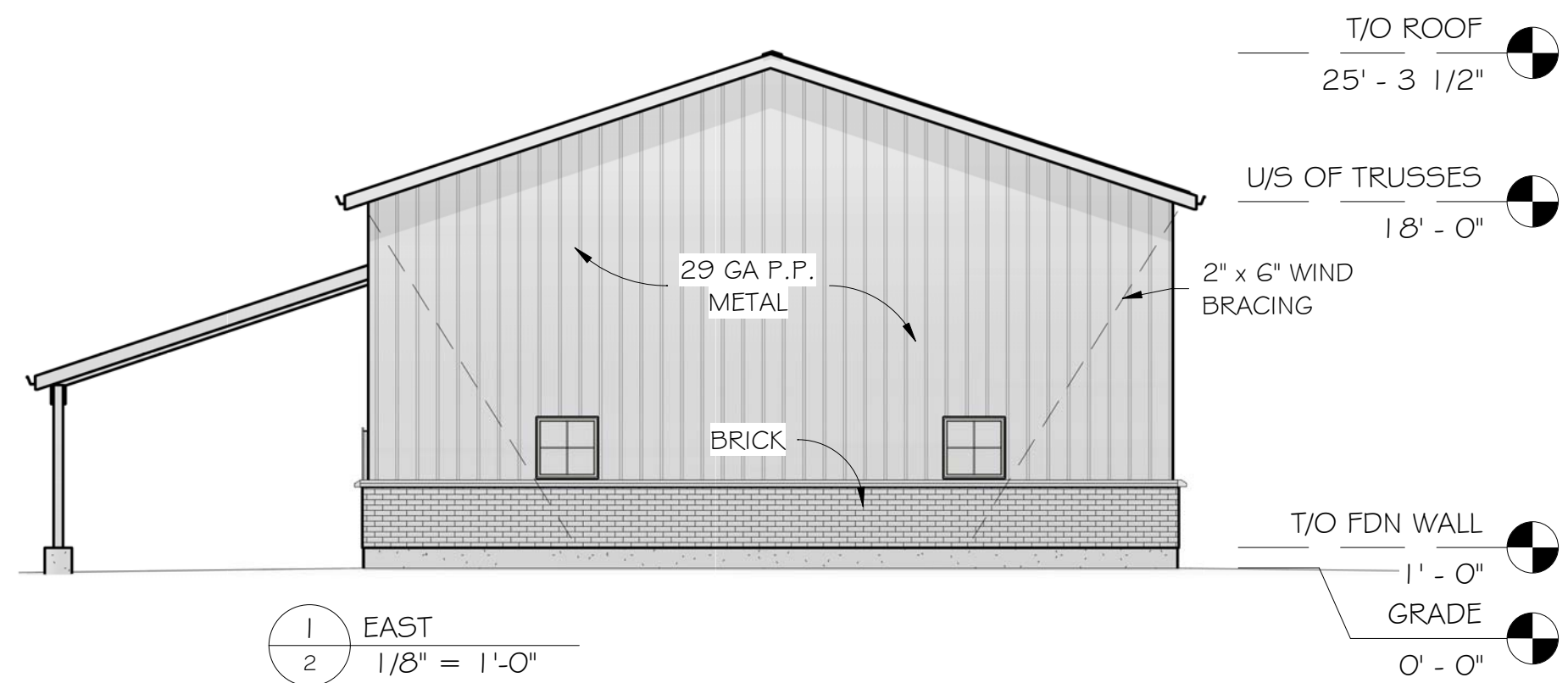
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DATE AUG 28/17	
SHEET 2 OF 5	



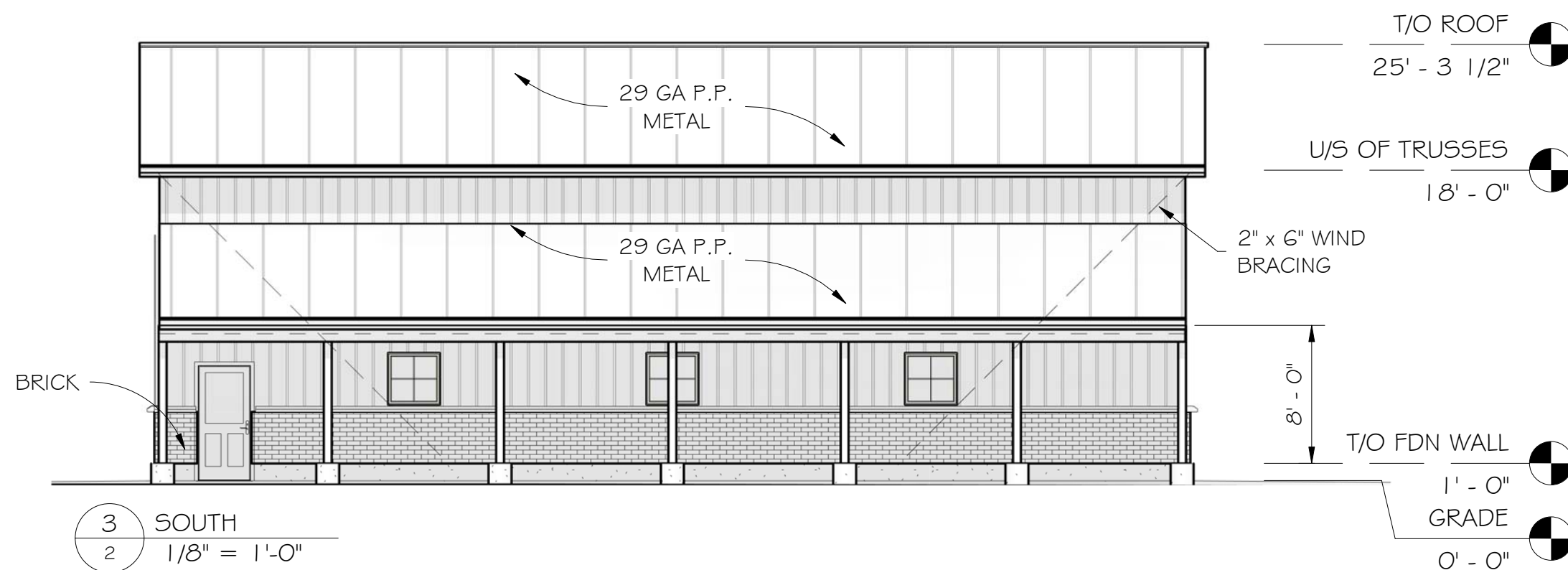
2 NORTH
1/8" = 1'-0"



4 WEST
1/8" = 1'-0"



1 EAST
1/8" = 1'-0"



3 SOUTH
1/8" = 1'-0"

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PAT CATERINI
STORAGE BUILDING

381 MUD ST E.
STONEY CREEK, ON

DRAWING
FOUNDATION PLAN

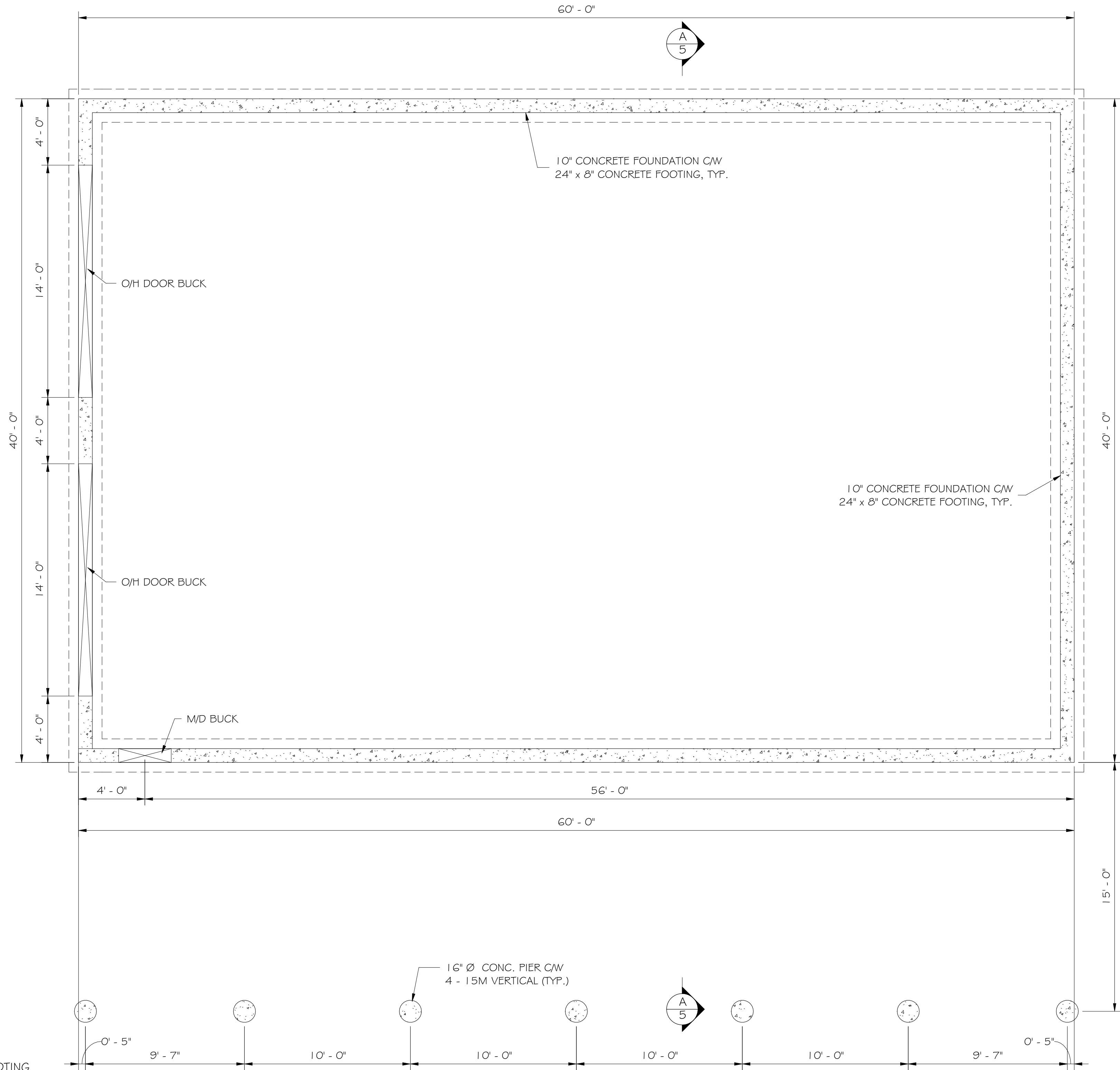
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1/4" = 1'-0"

C18-17-314

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BRIANNA M
DATE
AUG 28/17
SHEET
3 OF 5

DRAWING NUMBER
53



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FIRM:
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PAT CATERINI

STORAGE BUILDING

381 MUD ST E.
STONE CREEK, ON

DRAWING

FLOOR PLAN

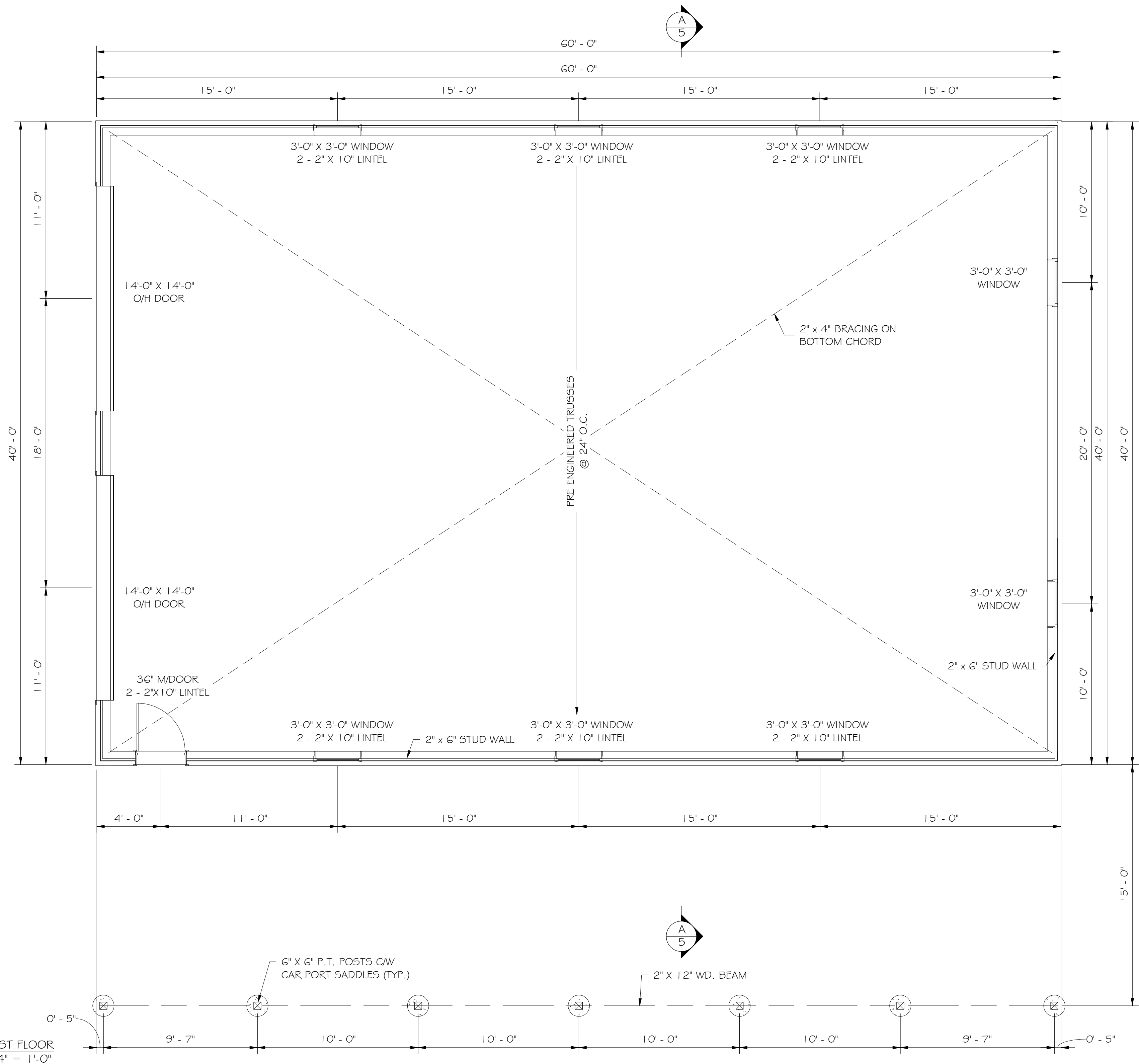
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1/4" = 1'-0"

C18-17-314

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BRIANNA M
DATE
AUG 28/17
SHEET
4 OF 5

DRAWING NUMBER
S4



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FIRM:
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PAT CATERINI

STORAGE BUILDING

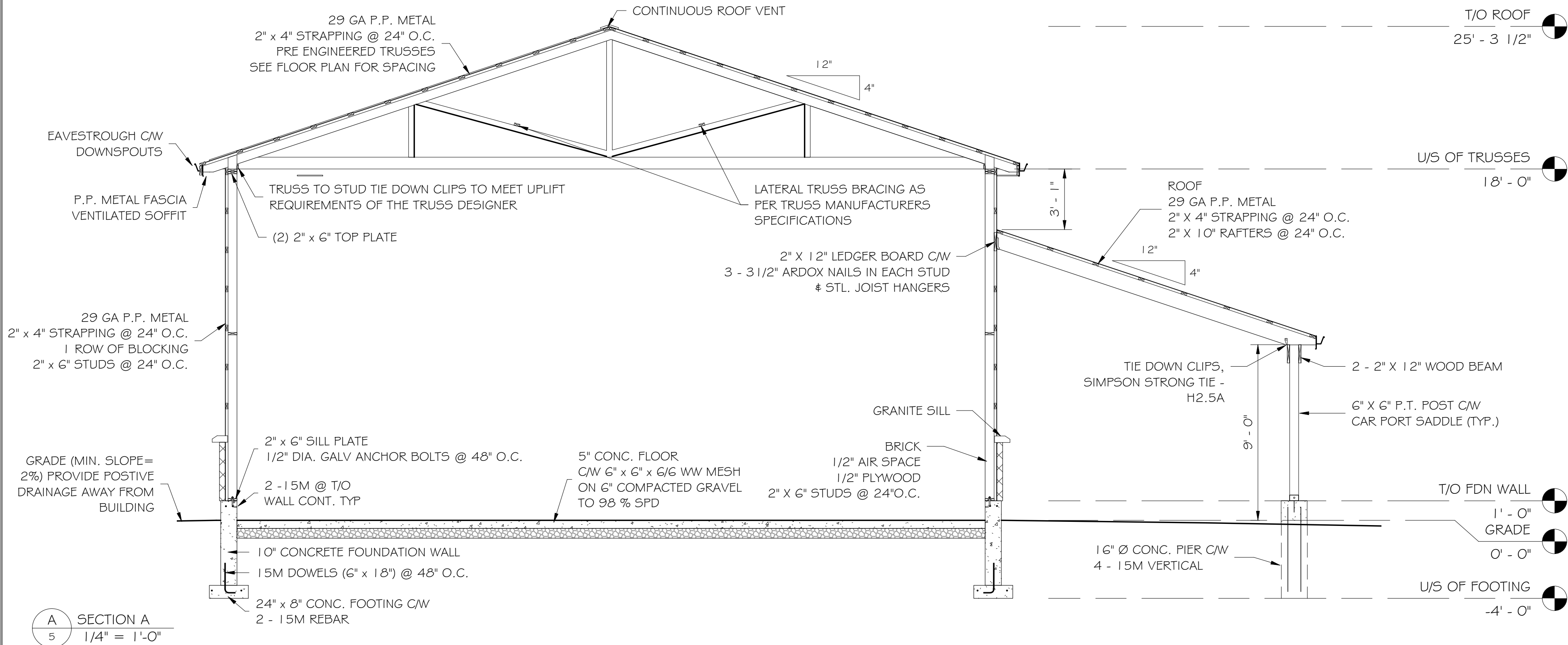
381 MUD ST E.
STONEY CREEK, ON

DRAWING
SECTIONS & DETAILS

SCALE
1/4" = 1'-0"
C18-17-314

DRAWING FILE:
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DRAWN BY BRIANNA M	DRAWING NUMBER S5
DATE AUG 28/17	
SHEET 5 OF 5	



GENERAL NOTES:

- DO NOT SCALE DRAWINGS.
- ALL DIMENSIONS TO BE VERIFIED BY CONTRACTOR
- ANY ERRORS / OMISSIONS TO BE REPORTED TO ENGINEER PRIOR TO CONSTRUCTION
- ALL WORK TO CONFORM TO O.B.C. 2012
- FIRE STOP IN CONCEALED ATTIC SPACE NOT TO EXCEED 98'-0" O.C.
- NOTIFY ENGINEER 48 HRS. IN ADVANCE FOR INSPECTION OF FOOTING EXCAVATION AND FRAMING.
- REMOVE ALL TOP-SOIL AND ORGANIC MATERIAL.
- ALL FOOTINGS TO BE ON UNDISTURBED SOIL AND MIN. OF 4'-0" BELOW LINE OF FINISHED GRADE
- SOIL BRG. CAPACITY TO SUSTAIN A MIN. 3000 P.S.F.

CONCRETE NOTES:

- ULTIMATE COMPRESSIVE STRENGTH @ 28 DAYS
- 32 MPA FOR SLAB ON GRADE
- 25 MPA FOR WALLS AND FOOTINGS
- SLUMP 3" +/- 1"
- MAX WATER CEMENT RATIO .45 (USE WATER REDUCING AGENT TO IMPROVE WORKABILITY NO WATER TO BE ADDED ON SITE) USE VIBRATORY EQUIPMENT TO ACHIEVE UNIFORM DENSITY
- AIR ENTRAINMENT 5% - 8%
- REINFORCING STEEL TO HAVE MIN. YIELD STRENGTH OF 400 MPA WITH MIN. 3" COVER
- MINIMUM SPLICE LENGTH (10M - 18") (15M - 24")

LUMBER NOTES:

- ALL LUMBER TO BE GRADE #2 OR BETTER
- LUMBER EXPOSED TO MOISTURE TO BE PRESSURE TREATED
- ALL FASTENERS IN CONTACT WITH PRESSURE TREATED MATERIAL TO BE COMPATIBLE WITH PRESSURE TREATED CHEMICALS
- ALL STEEL SIDING IN CONTACT WITH PRESSURE TREATED WOOD TO BE ISOLATED WITH A LAYER OF ICE & WATER SHIELD OR EQUAL.
- SUBMIT ENGINEERED TRUSS DRAWINGS
- TRUSS BRACING AND STRAPPING AS SPECIFIED BY ENGINEERED TRUSS DRAWING
- TRUSS TIE DOWN TO SUSTAIN UPLIFT SHOWN ON TRUSS DESIGN AND TO BE CONTINUOUS ON FOUNDATION WALL
- ALL LINTELS TO BE 2 - 2" x 10" UNLESS OTHERWISE SPECIFIED

NOTE:
VEE BRACES @ 50'-0" O.C.
ON COMPRESSION MEMBERS WITH COMPRESSIVE LOADING
OVER 1800 LB (SEE TRUSS DRAWING)
TRUSS BRACING IN ADDITION TO MANUFACTURERS SPECS