

Hamilton

COMMITTEE OF ADJUSTMENT

City Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5
Telephone (905) 546-2424, ext. 4221, 3935 Fax (905) 546-4202
E-mail: cofa@hamilton.ca

NOTICE OF PUBLIC HEARING **Minor Variance**

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
 - Applicant/agent on file, or
 - Person likely to be interested in this application
-

APPLICATION NO.: HM/A-20:122

APPLICANTS: Owner: Dan & Susan Corcorant
Agent: SMPL Design Studio c/o Lindsey Bruce

SUBJECT PROPERTY: Municipal address **69 Melburne St., Hamilton**

ZONING BY-LAW: Zoning By-law 6593, as Amended

ZONING: D/S-1787 (Urban Protected Residential - One and Two Family Dwellings, Etc.) district

PROPOSAL: To permit the construction of a two (2) storey single family dwelling and accessory structure (garage), to replace an existing one (1) storey single family dwelling, notwithstanding:

1. The minimum front yard shall be 4.12 metres instead of the required minimum 6.0 metres.
2. A minimum easterly side yard width of 0.91 metres shall be permitted, instead of a minimum required easterly side yard width of ten percent of the width of the lot (1.16 metres), but no less than 0.9 metres.
3. An accessory building shall be 8.0 metres in height, instead of the requirement that no accessory building shall exceed 4.0 metres in height.

This application will be heard by the Committee as shown below:

DATE: Thursday, August 6th, 2020

TIME: 1:55 p.m.

PLACE: Via video link or call in (see attached sheet for details)

To be streamed at www.hamilton.ca/committeeofadjustment for viewing purposes only

PUBLIC INPUT

Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

Orally: If you would like to speak to this item at the hearing you may do so via video link or by calling in. Please see attached page for complete instructions, including deadlines for registering to participate.

MORE INFORMATION

For more information on this matter, including access to drawings illustrating this request:

- Visit www.hamilton.ca/committeeofadjustment
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935
- Email Committee of Adjustment staff at cofa@hamilton.ca

DATED: July 21st, 2020

Jamila Sheffield,
Secretary-Treasurer
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public.

TOPOGRAPHIC SURVEY OF
PART OF LOTS 63 & 64
REGISTERED PLAN 253
IN THE
CITY OF HAMILTON
SCALE 1:200
ASHENHURST NOUWENS & ASSOCIATES INC.
COPYRIGHT 2019 ©

METRIC NOTE
DISTANCES AND ELEVATIONS SHOWN ON THIS PLAN ARE IN METRES AND
CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

REGISTERED EASEMENTS AND/OR RIGHT-OF-WAY.
NONE

THIS SURVEY WAS PREPARED FOR DAN CORCORAN AND THE UNDERSIGNED ACCEPTS
NO RESPONSIBILITY FOR USE BY OTHER PARTIES.

BENCHMARK
CITY OF HAMILTON BENCHMARK No. 00119650645
HOUSE No. 173 DUNDURN STREET SOUTH, AT SOUTHEAST CORNER OF INTERSECTION OF HILL
STREET, PLATE IN NORTH BRICK WALL AT WESTERLY CORNER.
ELEVATION 100.143 m.

BEARING NOTE
BEARINGS ARE ASTRONOMIC AND ARE REFERRED TO THE SOUTHERLY LIMIT OF
MELBOURNE STREET AS SHOWN ON PLAN 62R-20140 HAVING A BEARING OF
N73°24'25"W.

- LEGEND
- | | | |
|------|---------|--|
| ■ | DENOTES | FOUND |
| □ | DENOTES | PLANTED |
| ▣ | DENOTES | IRON BAR |
| ▤ | DENOTES | STANDARD IRON BAR |
| ▥ | DENOTES | ROUND IRON BAR |
| ▦ | DENOTES | MEASURED |
| ▧ | DENOTES | ORIGIN UNKNOWN |
| ▨ | DENOTES | WITNESS |
| ▩ | DENOTES | REGISTERED PLAN 253 |
| P1 | DENOTES | PLAN BY H.B. ASHENHURST O.L.S., DATED JULY, 1954 |
| P2 | DENOTES | REGISTERED PLAN 253 |
| P3 | DENOTES | PLAN BY H.B. ASHENHURST O.L.S., DATED JULY, 1954 |
| BF | DENOTES | BOARD FENCE |
| CLF | DENOTES | CHAIN LINK FENCE |
| CT | DENOTES | CONIFEROUS TREE |
| DT | DENOTES | DECIDUOUS TREE |
| FLR | DENOTES | FIRST FLOOR ELEVATION |
| MF | DENOTES | METAL FENCE |
| WH | DENOTES | WANTHOLE |
| OH | DENOTES | OVERHEAD UTILITY |
| TH | DENOTES | TOP HUT OF FIRE HYDRANT |
| WV | DENOTES | WOOD FRAME |
| WV | DENOTES | WATER VALVE |
| UP | DENOTES | UTILITY POLE |
| 124 | DENOTES | A. T. MCKEN, O.L.S. |
| 912 | DENOTES | A. J. CLARKE, O.L.S. |
| 1213 | DENOTES | J. D. PETERS, O.L.S. |



SURVEYOR'S CERTIFICATE
I CERTIFY THAT:

- THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT,
THE SURVEYORS ACT, THE LAND TITLES ACT AND THE REGULATIONS MADE UNDER THEM.
- THE SURVEY WAS COMPLETED ON THE 16TH DAY OF SEPTEMBER, 2019

OCT. 15, 2019
DATE

HARRY KALANTZAKOS
ONTARIO LAND SURVEYOR

ASHENHURST NOUWENS & ASSOCIATES INC.
PROFESSIONAL ENGINEERS & ONTARIO LAND SURVEYORS
225 KING WILLIAM STREET, SUITE 204, HAMILTON, ONTARIO L8R 1B1
TELEPHONE: (905) 529-6316
(905) 529-4314
FAX: (905) 529-6651
e-mail: onl@AshenhurstNouwens.co

DRAWN BY W.S. CALC'D BY W.S. CHK'D BY H.K. FILE No. 19108 TOTO



Hamilton

Planning and Economic Development Department
Planning Division

Committee of Adjustment
City Hall
5th floor 71 Main Street West
Hamilton, Ontario L8P 4Y5

Phone (905) 546-2424 ext.4221
Fax (905) 546-4202

PLEASE FILL OUT THE FOLLOWING PAGES AND
RETURN TO THE CITY OF HAMILTON PLANNING
DEPARTMENT.

FOR OFFICE USE ONLY.	
APPLICATION NO. <u>HM/19-20:122</u>	DATE APPLICATION RECEIVED <u>June 15/20</u>
PAID _____	DATE APPLICATION DEEMED COMPLETE _____
SECRETARY'S SIGNATURE _____	

CITY OF HAMILTON
COMMITTEE OF ADJUSTMENT
HAMILTON, ONTARIO

The Planning Act

Application for Minor Variance or for Permission

The undersigned hereby applies to the Committee of Adjustment for the City of Hamilton under Section 45 of the *Planning Act*, R.S.O. 1990, Chapter P.13 for relief, as described in this application, from the Zoning By-law.

1. Name of Owner DAN AND SUSAN CORCORAN Telephone No. _____

2. _____

3. Name of Agent SMPL DESIGN STUDIO Telephone No. _____

4. _____

Note: Unless otherwise requested all communications will be sent to the agent, if any.

5. Names and addresses of any mortgagees, holders of charges or other encumbrances:

Postal Code _____

Postal Code _____

6. Nature and extent of relief applied for:
SIDE YARD SETBACK (HOUSE) OF 0.91m WHERE 1.2m IS REQUIRED
FRONT YARD SETBACK (HOUSE) OF 4.1m WHERE 6m IS REQUIRED
HEIGHT (GARAGE) OF 8m WHERE 4m IS ALLOWED
7. Why it is not possible to comply with the provisions of the By-law?
SIZE OF EXISTING LOT AND DESIRED SIZE OF HOME
8. Legal description of subject lands (registered plan number and lot number or other legal description and where applicable, street and street number):
LOTS 63 & 64 , REGISTERED PLAN 253 - HAMILTON
69 MELBOURNE ST, HAMILTON
9. PREVIOUS USE OF PROPERTY
Residential ☒ Industrial ☐ Commercial ☐
Agricultural ☐ Vacant ☐
Other ☐
- 9.1 If Industrial or Commercial, specify use
- 9.2 Has the grading of the subject land been changed by adding earth or other material, i.e. has filling occurred?
Yes ☐ No ☒ Unknown ☐
- 9.3 Has a gas station been located on the subject land or adjacent lands at any time?
Yes ☐ No ☒ Unknown ☐
- 9.4 Has there been petroleum or other fuel stored on the subject land or adjacent lands?
Yes ☐ No ☒ Unknown ☐
- 9.5 Are there or have there ever been underground storage tanks or buried waste on the subject land or adjacent lands?
Yes ☐ No ☒ Unknown ☐
- 9.6 Have the lands or adjacent lands ever been used as an agricultural operation where cyanide products may have been used as pesticides and/or sewage sludge was applied to the lands?
Yes ☐ No ☒ Unknown ☐
- 9.7 Have the lands or adjacent lands ever been used as a weapon firing range?
Yes ☐ No ☒ Unknown ☐
- 9.8 Is the nearest boundary line of the application within 500 metres (1,640 feet) of the fill area of an operational/non-operational landfill or dump?
Yes ☐ No ☒ Unknown ☐

9.9 If there are existing or previously existing buildings, are there any building materials remaining on site which are potentially hazardous to public health (eg. asbestos, PCB's)?

Yes _____ No X Unknown _____

9.10 Is there any reason to believe the subject land may have been contaminated by former uses on the site or adjacent sites?

Yes _____ No X Unknown _____

9.11 What information did you use to determine the answers to 9.1 to 9.10 above?

HOME INSPECTION PRIOR TO PURCHASE.

9.12 If previous use of property is industrial or commercial or if YES to any of 9.2 to 9.10, a previous use inventory showing all former uses of the subject land, or if appropriate, the land adjacent to the subject land, is needed.

Is the previous use inventory attached? Yes _____ No _____

ACKNOWLEDGEMENT CLAUSE

I acknowledge that the City of Hamilton is not responsible for the identification and remediation of contamination on the property which is the subject of this Application by reason of its approval to this Application.

MAY 26 / 2020
Date

Signature Property Owner

DAN CORCORAN
Print Name of Owner

SUSAN CORCORAN
Susan Corcoran

10. Dimensions of lands affected:

Frontage 11.58m

Depth 46.17m

Area 534.56m²

Width of street _____

11. Particulars of all buildings and structures on or proposed for the subject lands:
(Specify ground floor area, gross floor area, number of stories, width, length, height, etc.)

Existing: 1 STOREY DWELLING - APPROX 110 m² TO BE DEMOLISHED

Proposed: NEW 2 STOREY DWELLING - GROUND FLOOR AREA - 150m²

HEIGHT - LESS THAN 11M

NEW DETACHED GARAGE WITH STORAGE ABOVE - FLOOR AREA - 58.63m²

HEIGHT - 8M

12. Location of all buildings and structures on or proposed for the subject lands;
(Specify distance from side, rear and front lot lines)

Existing: FRONT: 3.63m

REAR: approx 30m

SIDES: 0.91m / 1.52m

Proposed:	HOUSE	DETACHED GARAGE
	FRONT: 4.1m	FRONT: n/a
	REAR: 25m	REAR: 2.4m
	SIDES: 0.91m / 1.25m	SIDES: 1.2m / 2.2m

13. Date of acquisition of subject lands:
APRIL 2019

14. Date of construction of all buildings and structures on subject lands:
1958

15. Existing uses of the subject property: _____
RESIDENTIAL

16. Existing uses of abutting properties: _____
RESIDENTIAL

17. Length of time the existing uses of the subject property have continued:
60+ YEARS

18. Municipal services available: (check the appropriate space or spaces)
 Water YES Connected YES
 Sanitary Sewer YES Connected YES
 Storm Sewers YES

19. Present Official Plan/Secondary Plan provisions applying to the land:
NEIGHBOURHOODS

20. Present Restricted Area By-law (Zoning By-law) provisions applying to the land:
"D"

21. Has the owner previously applied for relief in respect of the subject property?
 Yes ☐ No ☒
 If the answer is yes, describe briefly.

22. Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?
 Yes ☐ No ☒

23. The applicant shall attach to each copy of this application a plan showing the dimensions of the subject lands and of all abutting lands and showing the location, size and type of all buildings and structures on the subject and abutting lands, and where required by the Committee of Adjustment such plan shall be signed by an Ontario Land Surveyor.

NOTE: It is required that two copies of this application be filed with the secretary-treasurer of the Committee of Adjustment together with the maps

LOT STATISTICS

69 Melbourne Street, Hamilton, Ontario

Zoning Designation - D
Lot Area: Minimum 360.00m²; Actual 534.56m²
Lot Frontage: Minimum 12.00m; Actual 11.58m (EXISTING)

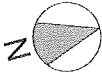
PROPOSED DWELLING:
Front Yard: Required 0.45m; Proposed 4.12m (OK)
Rear Yard: Required 7.50m; Proposed 25.99m (OK)
West Side Yard: Required 1.20m; Proposed 1.25m (OK)
East Side Yard: Required 1.20m; Proposed 0.91m (VARIANCE)

PROPOSED GARAGE:
Rear Yard: Required 6.0m; Proposed 2.44m (VARIANCE)
Distance From Dwelling: Required 7.50m; Proposed 16.34m (OK)
West Side Yard: Required 0.45m; Proposed 2.22m (OK)
East Side Yard: Required 0.45m; Proposed 1.20m (OK)
Height: Allowed 4.0m; Proposed 8.0m (VARIANCE)
Lot Coverage (4.1e): Allowed (50% of rear yard [301.00m²]) 150.50m²; Proposed (19.48%) 59.63m² (OK)
Lot Coverage (4.1v) Allowed (30% within the required rear yard & side yard [173.18m²]) 51.95m²; Proposed (23.75%) 41.14m² (OK)

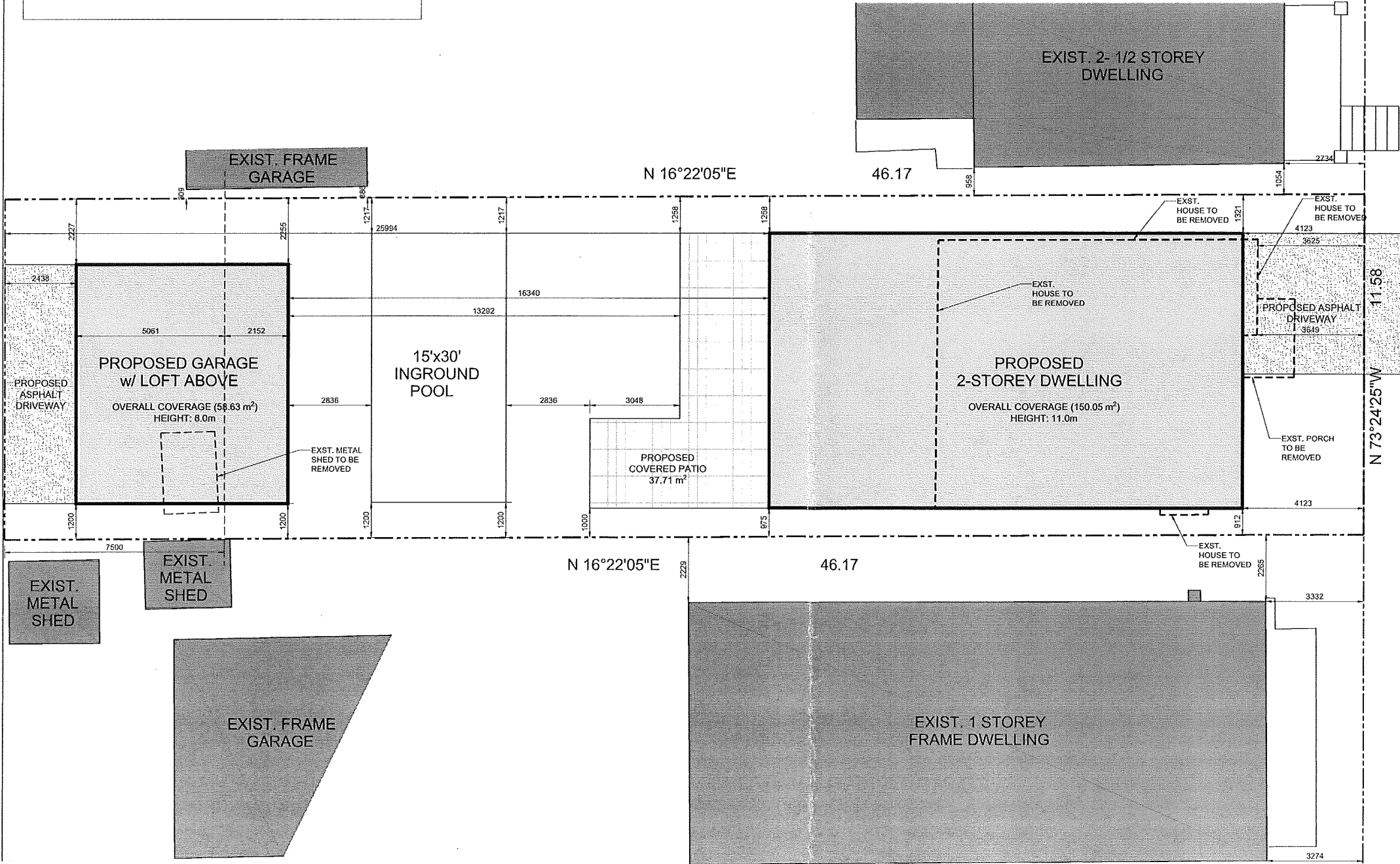
NOTE:
ALL DIMENSIONS SHOWN IN
MILLIMETERS UNLESS
NOTED OTHERWISE

NOTE:
ACCESSORY BUILDING
SHALL NOT BE ERECTED
PRIOR TO THE ERECTION
OF THE PRINCIPAL
BUILDING

- NEW BUILD
- EXST. STRUCTURE
- PORCH/ PATIO
- DRIVEWAY



LANE WAY
N 73°24'25"W
11.58



DO NOT SCALE DRAWINGS

Note:

- 1) Contractor to check all dimensions, specifications, etc on site and shall be responsible for reporting any discrepancy to the engineer and/or designer.
- 2) These plans are to remain and the property of the designer and must be returned upon request. These plans must not be used in any other location without the written approval of the designer.
- 3) All works to be in accordance with the Ontario Building Code.

smp | l
DESIGN STUDIO
sustainable, modern, practical, livable

Architectural Design Services

www.smpdesignstudio.com

Drawing Submissions:	
Date:	Type:
June 03, 2020	Minor Variance

69 Melbourne St.
Hamilton, Ontario

Reviewed By JT
Drawn By HD
Plot Date

Page
SP1.01

Site Plan

TOPOGRAPHIC SURVEY OF
PART OF LOTS 63 & 64
REGISTERED PLAN 253
IN THE
CITY OF HAMILTON

SCALE 1 : 200



ASHENHURST NOUWENS & ASSOCIATES INC.
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BENCHMARK

CITY OF HAMILTON BENCHMARK No. 0011965U645

HOUSE No. 173 DUNDURN STREET SOUTH, AT SOUTHEAST CORNER OF INTERSECTION OF HILL
STREET, PLATE IN NORTH BRICK WALL AT WESTERLY CORNER.

ELEVATION 100.143 m.

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MELBOURNE STREET AS SHOWN ON PLAN 62R-20140 HAVING A BEARING OF
N73°24'25"W.

LEGEND

■	DENOTES	FOUND
□	DENOTES	PLANTED
IB	DENOTES	IRON BAR
SIB	DENOTES	STANDARD IRON BAR
RIB	DENOTES	ROUND IRON BAR
M	DENOTES	MEASURED
OU	DENOTES	ORIGIN UNKNOWN
WT	DENOTES	WITNESS
P1	DENOTES	PLAN 62R-7972
P2	DENOTES	REGISTERED PLAN 253
P3	DENOTES	PLAN BY H.B. ASHENHURST O.L.S., DATED JULY, 1954
BF	DENOTES	BOARD FENCE
CLF	DENOTES	CHAIN LINK FENCE
CT	DENOTES	CONIFEROUS TREE
DT	DENOTES	DECIDUOUS TREE
FFLR	DENOTES	FIRST FLOOR ELEVATION
MF	DENOTES	METAL FENCE
MH	DENOTES	MANHOLE
OH	DENOTES	OVERHEAD UTILITY
TNPH	DENOTES	TOP NUT OF FIRE HYDRANT
WF	DENOTES	WOOD FRAME
WV	DENOTES	WATER VALVE
UP	DENOTES	UTILITY POLE
824	DENOTES	A. T. McLAREN, O.L.S.
912	DENOTES	A. J. CLARKE, O.L.S.
1213	DENOTES	J. D. PETERS, O.L.S.

ASSOCIATION OF ONTARIO
LAND SURVEYORS
PLAN SUBMISSION FORM
2105414

THIS PLAN IS NOT VALID
UNLESS IT IS AN EMBOSSED
ORIGINAL COPY
ISSUED BY THE SURVEYOR
In accordance with
Regulation 1026, Section 29(3)

SURVEYOR'S CERTIFICATE

I CERTIFY THAT:

1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT,
THE SURVEYORS ACT, THE LAND TITLES ACT AND THE REGULATIONS MADE UNDER THEM.
2. THE SURVEY WAS COMPLETED ON THE 16TH DAY OF SEPTEMBER, 2019

OCT. 15 2019
DATE

HARRY KALANTZAKOS
ONTARIO LAND SURVEYOR

ASHENHURST NOUWENS & ASSOCIATES INC.
PROFESSIONAL ENGINEERS & ONTARIO LAND SURVEYORS
225 KING WILLIAM STREET, SUITE 204, HAMILTON, ONTARIO L8R 1B1
TELEPHONE: (905) 529-6316
(905) 529-4314
FAX: (905) 529-6651
e-mail: anl@AshenhurstNouwens.ca

DRAWN BY W.S. CAL'D BY W.S. CHK'D BY H.K. FILE No. 19108 TOPO