

Hamilton

**COMMITTEE OF ADJUSTMENT**

City Hall, 5<sup>th</sup> floor, 71 Main Street West, Hamilton, ON L8P 4Y5  
Telephone (905) 546-2424, ext. 4221, 3935 Fax (905) 546-4202  
E-mail: [cofa@hamilton.ca](mailto:cofa@hamilton.ca)

**NOTICE OF PUBLIC HEARING**  
**Minor Variance**

---

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
  - Applicant/agent on file, or
  - Person likely to be interested in this application
- 

**APPLICATION NO.:** HM/A-20:123

**APPLICANTS:** Owner: Inderjit Sian  
Agent: Ken Bekendam

**SUBJECT PROPERTY:** Municipal address 11 Fairleigh Ave. N., Hamilton

**ZONING BY-LAW:** Zoning By-law 6593, as Amended

**ZONING:** D (Urban Protected Residential) district

**PROPOSAL:** To permit the conversion of the existing single family dwelling to contain two dwelling units notwithstanding that:

1. A lot area of 240.0m<sup>2</sup> shall be provided instead of the minimum required lot area of 270.0m<sup>2</sup>.

**NOTES:**

- i. The applicant shall ensure that no more than two dwelling units are proposed.
- ii. Please be advised that the external appearance and character of a converted dwelling is required to be maintained and preserved. Further variances may be required if changes are proposed to the exterior of the existing building. Insufficient information has been provided to determine compliance at this time.

This application will be heard by the Committee as shown below:

---

**DATE:** Thursday, August 6<sup>th</sup>, 2020  
**TIME:** 2:25 p.m.  
**PLACE:** Via video link or call in (see attached sheet for details)  
**To be streamed at [www.hamilton.ca/committeeofadjustment](http://www.hamilton.ca/committeeofadjustment) for viewing purposes only**

---

**PUBLIC INPUT**

**Written:** If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

**Orally:** If you would like to speak to this item at the hearing you may do so via video link or by calling in. Please see attached page for complete instructions, including deadlines for registering to participate.

## MORE INFORMATION

For more information on this matter, including access to drawings illustrating this request:

- Visit [www.hamilton.ca/committeeofadjustment](http://www.hamilton.ca/committeeofadjustment)
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935
- Email Committee of Adjustment staff at [cofa@hamilton.ca](mailto:cofa@hamilton.ca)

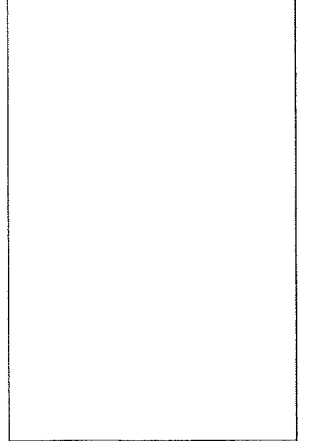
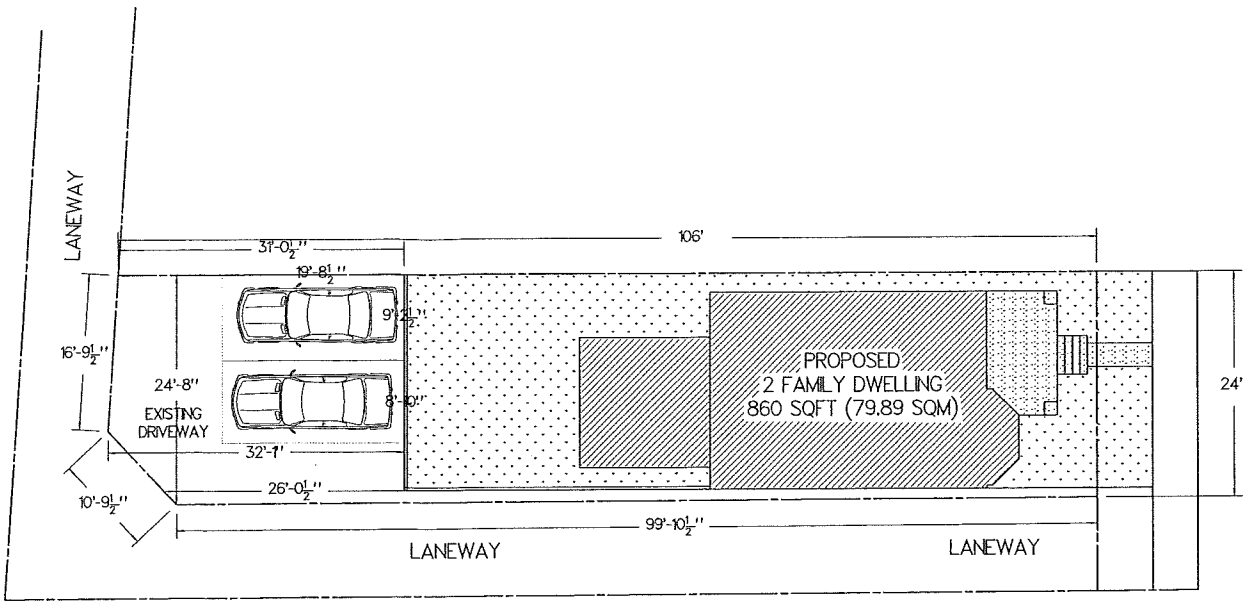
Dated: July 21, 2020

---

Jamila Sheffield,  
Secretary-Treasurer  
Committee of Adjustment

***Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public.***

SITE INFORMATION & STATISTICS			
ADDRESS	11 FAIRLEIGH AVE N		
ZONING TYPE	D - ONE AND TWO FAMILY DWELLINGS		
LOT AREA	2587 SQFT (240.34 SQM)		
LOT FRONTAGE	24' (7.31m)		
FLOOR AREAS	ALLOWED	EXISTING	PROPOSED
BASEMENT		661 SQFT	NO CHANGE
MAIN FLOOR		860 SQFT	NO CHANGE
SECOND FLOOR		661 SQFT	NO CHANGE
THIRD FLOOR		413 SQFT	NO CHANGE
SETBACKS			
FRONT			NO CHANGE
SIDE			NO CHANGE
BACK			NO CHANGE
SIDE			NO CHANGE



**SITE PLAN :**  
 BASED ON HAMILTON MAPS AND MEASUREMENTS ON SITE. DESIGNER ASSUMES NO RESPONSIBILITY FOR ACCURACY OF HAMILTON MAPS. THIS SITE PLAN SHALL NOT BE USED FOR ANY OTHER PURPOSES. NO WORK TO ENCROACH ONTO ADJOINING PROPERTIES.

**LANDSCAPED FRONT YARD**  
 LANDSCAPED AREA = 139 SQFT = 55.16%  
 HARD SURFACE AREA = 113 SQFT = 44.84%

**EXISTING STRUCTURE NOTE:**  
 OWNER AND CONTRACTOR IS FULLY RESPONSIBLE FOR VERIFYING ALL EXISTING STRUCTURAL CONDITIONS PRIOR TO ANY WORK. ANY AND ALL DISCREPANCIES SHALL BE REPORTED TO THE OWNER PRIOR TO ANY WORK. OWNER AND CONTRACTOR IS FULLY RESPONSIBLE FOR SHORING EXISTING STRUCTURE PRIOR TO ANY WORK.

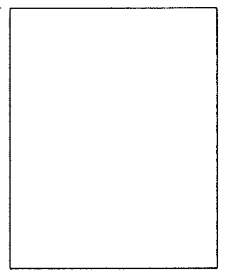
**BUILDING CODE COMPLIANCE NOTE:**  
 THESE DRAWINGS DO NOT REPRESENT A COMPREHENSIVE AND EXHAUSTIVE GUIDE FOR COMPLIANCE WITH THE ONTARIO BUILDING CODE. IT IS ASSUMED THAT THE CONTRACTOR HAS REASONABLY SUFFICIENT KNOWLEDGE OF THE ONTARIO BUILDING CODE IN ORDER TO PERFORM ALL WORK AS PER THESE DRAWINGS IN SUCH A WAY THAT WILL COMPLY WITH ALL ASPECTS OF THE OBC AND WILL NOT CONTRAVENE ANY OTHER APPLICABLE LAWS

- GENERAL NOTES:**
1. ALL CONSTRUCTION TO COMPLY WITH THE REVISED ONTARIO BUILDING CODE 2012.
  2. ALL DIMENSION ARE MEASURED TO ROUGH FRAMING OR TO MASONRY SURFACES UNLESS OTHERWISE NOTED.
  3. ALL DOORS AND WINDOW OPENINGS ARE MEASURED TO ROUGH FRAMING OR MASONRY OPENINGS.
  4. CONTRACTOR IS TO VERIFY WINDOW OPENINGS WITH WINDOW MANUFACTURER PRIOR TO COMMENCING WORK.
  5. READ ARCHITECTURAL DRAWINGS IN CONJUNCTION WITH STRUCTURAL, MECHANICAL AND ELECTRICAL DRAWINGS.
  6. ELEVATION REFERENCES ARE BASED ON 100'-0" = 15170m GEODETIC ELEVATIONS AS NOTED ON A1 SITE PLAN.
  7. ALL DIMENSION MUST BE CHECKED AGAINST THE ARCHITECTURAL DRAWINGS AND THE FIELD CONDITIONS BEFORE COMMENCING FABRICATION. ANY INCONSISTENCES ARE TO BE REPORTED TO THE CONSULTANT BEFORE PROCEEDING WITH THE WORK.
  8. THE CONTRACTOR SHALL PROPERLY SUPERVISE THE WORK AND ENSURE THAT THE WORK IS INSTALLED TO THE CORRECT LINES AND LEVELS, THAT THE CONNECTIONS AND DETAILS CONFORM TO THE DRAWING DETAILS AND SHALL COORDINATE THE INTERFACING OF ALL WORK WITH ALL SUBTRADES.
  9. PROVIDE POSITIVE FRONT YARD SLOPE TO MUNICIPAL SEWER FOR WATER RUN-OFF.
  10. CONTRACTOR TO BE RESPONSIBLE FOR VERIFYING THE LOCATIONS OF ALL EXISTING UNDERGROUND AND ABOVE UTILITIES AND SERVICES. VARIOUS UTILITIES CONCERNED TO BE GIVEN REQUIRED ADVANCED NOTICE PRIOR TO ANY DIGGING, FOR STAKE OUT.
  11. REFER TO LANDSCAPING PLAN FOR PLANTING CONFRM LAYOUT WITH LANDSCAPE CONTRACTOR.
  12. DESIGNER NOT RESPONSIBLE FOR ACCURACY OF SURVEY DRAWING.

**LEAD DESIGNER & CONSULTANT** **KEN BEKENDAM**  
 kenbekendam@gmail.com  
 C: (905)-961-0647  
 (855) - KINGHMS (546-4467)

**LEAD ENGINEER** **ROBERT MENDEZ P.ENG. 100054193**  
 robertmendez@yahoo.com  
 C: (416) - 807-1572

www.legalsecondsuites.com



ADDRESS: **11 FAIRLEIGH AVE N  
 HAMILTON, ON**

**SITE PLAN**

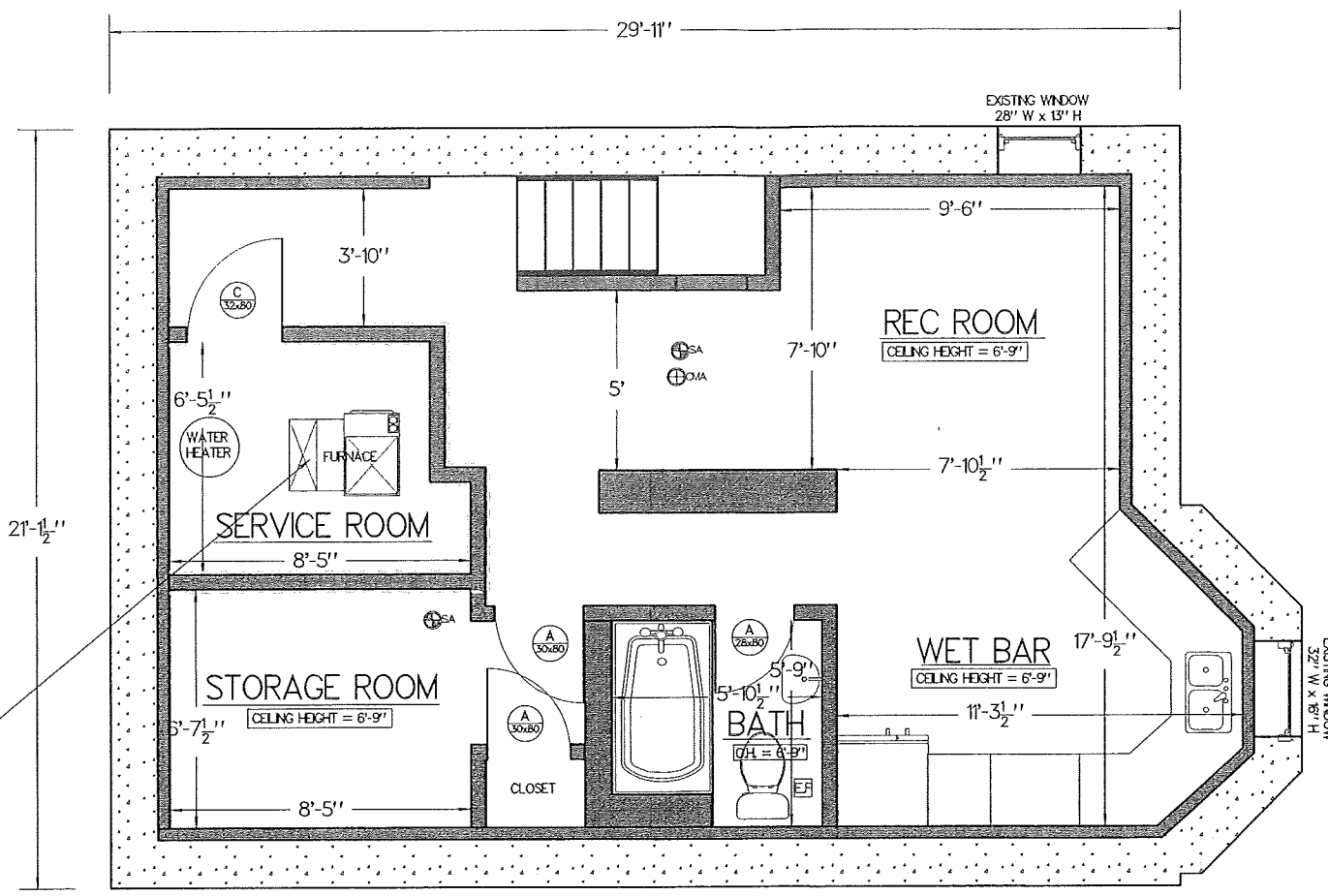
SCALE: **1/16" = 1'**

PROJECT: **2-UNIT  
 CONVERSION**

DATE: **APR 2020**

SHEET #: **SP1.01**

PLANS LEGEND	
BATH	ROOM NAME
EF	EXHAUST FAN
(2)	SPECIFICATION TAG
SA	SMOKE ALARM
COA	CARBON MONOXIDE ALARM
CHL 6'-11"	CEILING HEIGHT
---	STRUCTURAL BEAM OR WALL
PS	PLUMBING STACK
WM	WATER METER
FD	FLOOR DRAIN
SC	STRUCTURAL COLUMN
FW	FOUNDATION WALL
NEW EXTERIOR WALLS	
NEW INTERIOR WALLS	
EXISTING WALLS TO REMAIN	
SW	STRUCTURAL WALL
SR	SUPPLY REGISTER
RG	RETURN GRILLE
DOOR LEGEND	
A	DOOR TYPE
30/80	DOOR SIZE
A	PANEL DOOR
B	FIRE DOOR w/ SELF CLOSER (45 MIN)
C	FIRE DOOR w/ SELF CLOSER (20 MIN)
D	EXTERIOR DOOR
E	BIFOLD CLOSET
F	SLIDING DOOR
G	POCKET DOOR



**SEPARATION OF SERVICE ROOM:**

- SERVICE ROOM TO CONFORM WITH OBC SECTION 9.10.10.4

**IMPORTANT NOTE:**

- SERVICE ROOM NO LONGER REQUIRES FIRE SEPARATION FROM BOTH UNITS AS IT IS NOW EXEMPT UNDER 9.10.10.4 (2)(b) FOR A "HOUSE", DEFINED IN O.B.C AS "a detached house, semi-detached house or row house containing not more than two dwelling units"

**VERTICAL PARTITIONS STILL REQUIRES FIRE SEPARATION TO PROVIDE FIRE RESISTANCE RATING BETWEEN DWELLING UNITS. (W4A)**

- NEW 2x4 STUD WALL SPACED 16" O.C.
- 3/8" THICK ABSORPTIVE MATERIAL
- RESILIENT METAL CHANNELS SPACED 24" O.C.
- 2 LAYERS 5/8" TYPE X GYPSUM BOARD ON CHANNEL SIDE
- 1 LAYER 5/8" TYPE X GYPSUM BOARD ON OTHER SIDE

GYPSUM BOARD INSIDE SERVICE ROOM TO EXTEND INTO JOIST CAVITY AND BUTTED TIGHTLY AGAINST FLOOR JOISTS AND SUBFLOOR ABOVE

- SMALL GAPS TO BE CAULKED WITH FIRE BARRIER SEALANT IN ACCORDANCE WITH CAN/ULC S15

**IMPORTANT - ADEQUATE COMBUSTION AIR NEEDED FOR APPLIANCES**

**IN-DUCT SMOKE DETECTOR**

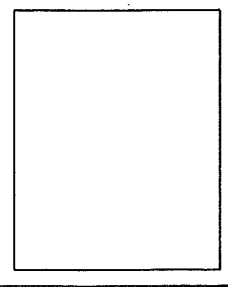
SMOKE DETECTOR TO BE INSTALLED IN THE SUPPLY OR RETURN AIR DUCT SYSTEM TO TURN OFF ELECTRICAL POWER AND FUEL SUPPLY UPON ACTIVATION

NOTE: NO CHANGES TO THIS FLOOR PLAN

UNIT #1 - GFA = 1103 SQFT  
 MAIN FLOOR = 651 SQFT  
 BASEMENT = 452 SQFT  
 SHARED EXIT = 28 SQFT

**LEAD DESIGNER & CONSULTANT** KEN BEKENDAM  
 kenbekendam@gmail.com  
 C: (905)-961-0647  
 (855) - KINGHMS (546-4467)

**LEAD ENGINEER** ROBERT MENDEZ P.ENG. 100054193  
 robertmendez@yahoo.com  
 C: (416) - 807-1572  
 www.legalsecondsuites.com



ADDRESS: 11 FAIRLEIGH AVE N  
 HAMILTON, ON

EXISTING & PROPOSED  
 BASEMENT FLOOR

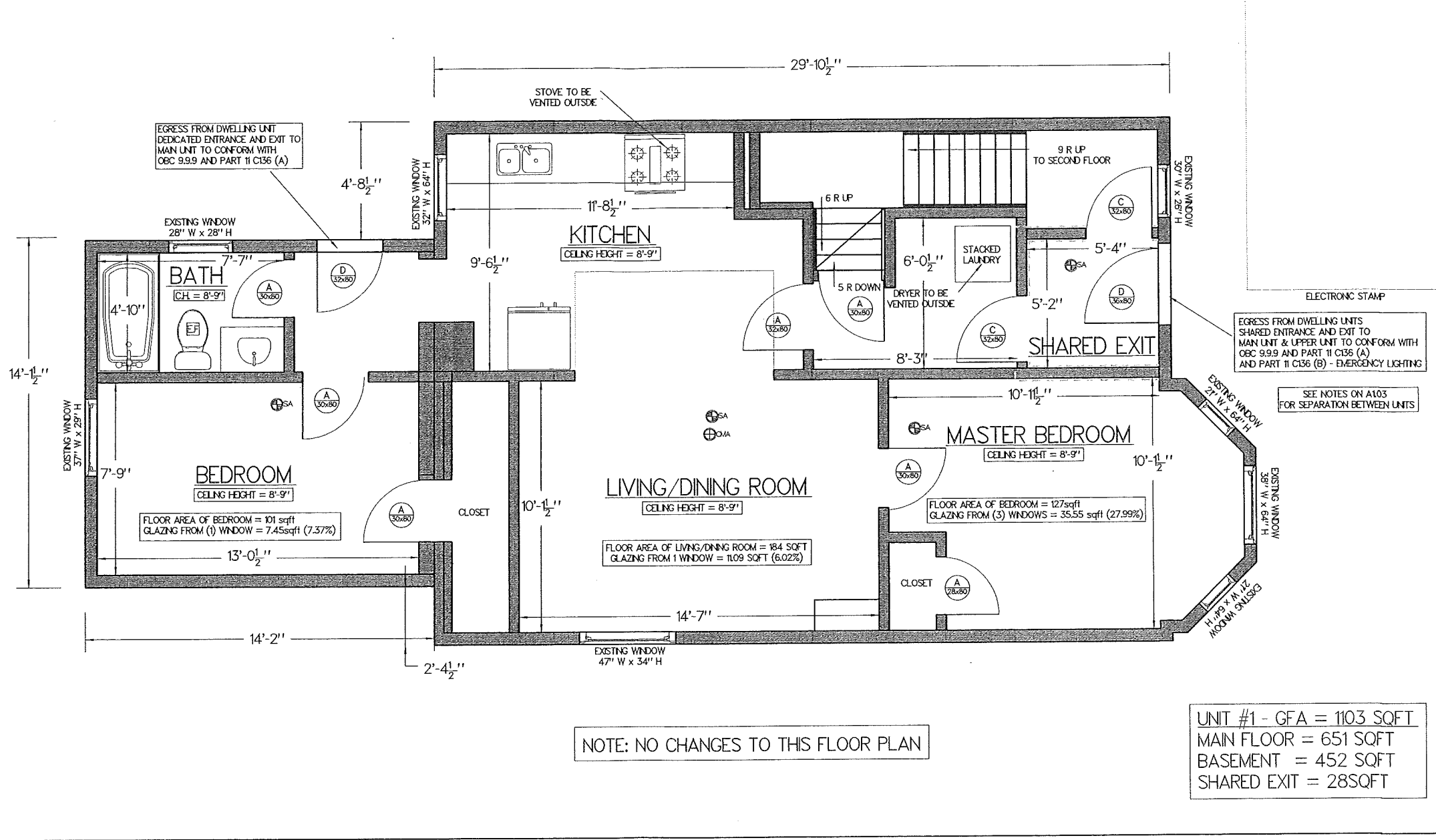
SCALE:  
 1/4" = 1'

PROJECT:  
 2-UNIT  
 CONVERSION

DATE:  
 APR 2020

SHEET #:  
 A1.01

PLANS LEGEND	
BATH	ROOM NAME
EF	EXHAUST FAN
②	SPECIFICATION TAG
SA	SMOKE ALARM
COA	CARBON MONOXIDE ALARM
CH 6'-11"	CEILING HEIGHT
---	STRUCTURAL BEAM OR WALL
PS	PLUMBING STACK
WM	WATER METER
FD	FLOOR DRAIN
SC	STRUCTURAL COLUMN
FW	FOUNDATION WALL
NEW EXTERIOR WALLS	
NEW INTERIOR WALLS	
EXISTING WALLS TO REMAIN	
STRUCTURAL WALL	
SR	SUPPLY REGISTER
RG	RETURN GRILLE
DOOR LEGEND	
A	DOOR TYPE
36x80	DOOR SIZE
A	PANEL DOOR
B	FIRE DOOR w/ SELF CLOSER (45 MIN)
C	FIRE DOOR w/ SELF CLOSER (20 MIN)
D	EXTERIOR DOOR
E	BIFOLD CLOSET
F	SLIDING DOOR
G	POCKET DOOR

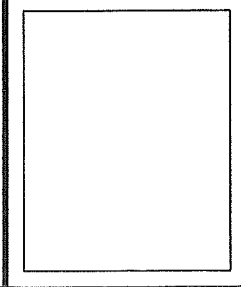




**LEAD DESIGNER & CONSULTANT**  
**KEN BEKENDAM**  
 kenbekendam@gmail.com  
 C: (905)-961-0647  
 (855) - KINGHMS (546-4467)

**LEAD ENGINEER**  
**ROBERT MENDEZ, P.ENG.** 100054193  
 robertmendez@yahoo.com  
 C: (416) - 807-1572  
 www.legalsecondsuites.com





ADDRESS: 11 FAIRLEIGH AVE N  
HAMILTON, ON

EXISTING & PROPOSED  
MAIN FLOOR

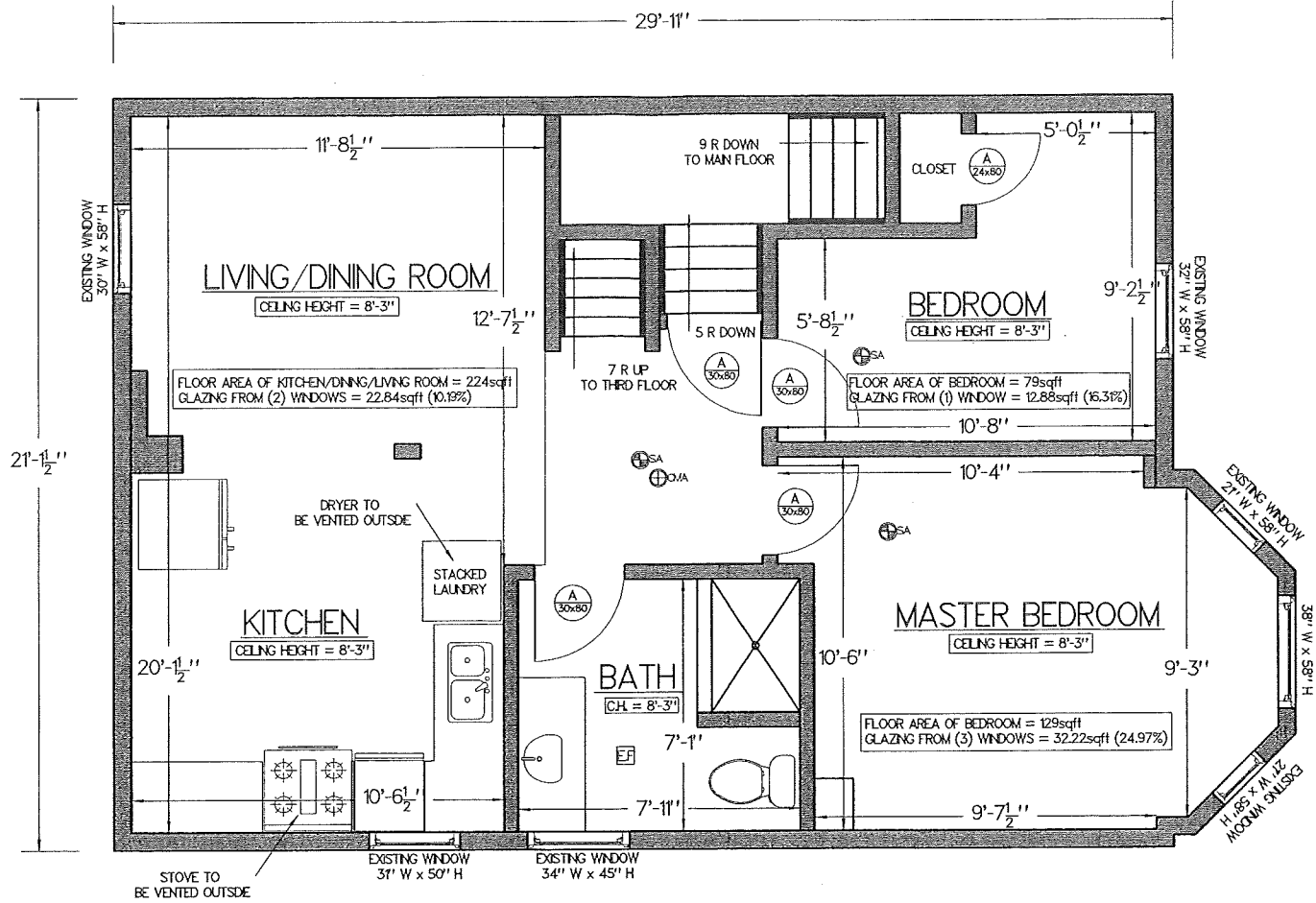
SCALE:  
1/4" = 1'

PROJECT:  
2-UNIT  
CONVERSION

DATE:  
APR 2020

SHEET #:  
A1.02

PLANS LEGEND	
BATH	ROOM NAME
EF	EXHAUST FAN
②	SPECIFICATION TAG
SA	SMOKE ALARM
COA	CARBON MONOXIDE ALARM
CH. 8'-3"	CEILING HEIGHT
---	STRUCTURAL BEAM OR WALL
PS	PLUMBING STACK
WM	WATER METER
FD	FLOOR DRAIN
SC	STRUCTURAL COLUMN
FW	FOUNDATION WALL
NEW EXTERIOR WALLS	NEW EXTERIOR WALLS
NEW INTERIOR WALLS	NEW INTERIOR WALLS
EXISTING WALLS TO REMAIN	EXISTING WALLS TO REMAIN
---	STRUCTURAL WALL
SR	SUPPLY REGISTER
RG	RETURN GRILLE
DOOR LEGEND	
A	DOOR TYPE
36x80	DOOR SIZE
A. PANEL DOOR	
B. FIRE DOOR w/ SELF CLOSER (45 MN)	
C. FIRE DOOR w/ SELF CLOSER (20 MN)	
D. EXTERIOR DOOR	
E. BIFOLD CLOSET	
F. SLIDING DOOR	
G. POCKET DOOR	



NOTE: ALL SMOKE ALARMS TO BE INTERCONNECTED

UNIT #2 - GFA = 851 SQFT  
 SECOND FLOOR = 539 SQFT  
 THIRD FLOOR = 312 SQFT

NOTE: THIS IS AN EXISTING FINISHED AREA. NO CHANGES

- ELECTRONIC STAMP
- SEPARATION BETWEEN UNITS:
- NEW SEPARATION BETWEEN UNITS TO HAVE A FIRE RESISTANCE RATING OF 30 MINS AS PER O.B.C. 9.10.9.14. AND PART 11 COMPLIANCE - C152 AND STC50
- BASEMENT CEILING (SEPARATING SECOND SUITE): (FBD) NEW PORTIONS ONLY
- EX. WOOD JOISTS @ 16" O.C.
  - 6" THICK ABSORPTIVE MATERIAL IN CAVITY (FIBRE FROM ROCK/SLAG W/ MIN. 90mm & MIN. SURFACE AREA MASS OF 2.8 KG/SQ. M)
  - RESILIENT METAL CHANNELS SPACED @ 24" O.C.
  - 1 LAYER 5/8" TYPE X GYPSUM BOARD ON CEILING SIDE
- NEW SHARED PARTITIONS: (W4A)
- NEW 2x4 STUD WALL SPACED 16" O.C.
  - 3.5" THICK ABSORPTIVE MATERIAL
  - RESILIENT METAL CHANNELS SPACED 24" O.C.
  - 2 LAYERS 5/8" TYPE X GYPSUM BOARD ON CHANNEL SIDE
  - 1 LAYER 5/8" TYPE X GYPSUM BOARD ON OTHER SIDE
- EXISTING SHARED PARTITIONS:
- EX. 1/2" REGULAR GYPSUM BOARD TO REMAIN AS IS
  - ADDITIONAL LAYER OF 5/8" TYPE X TO BE APPLIED OVER EXISTING
- EX. LATH AND PLASTER TO REMAIN AS IS
- MEETS A 30MN FRR AS PER ONTARIO FIRE MARSHALL
  - WITH INTERCONNECTED SMOKE DETECTORS IN EACH DWELLING UNIT
- EXISTING CEILING (15 MIN FRR BETWEEN DWELLING UNITS)
- EX. 1/2" REGULAR GYPSUM BOARD OR PLASTER TO REMAIN
  - AS PER PART 11 C143 L HUD REHABILITATION GUIDELINES, "GUIDELINE ON FIRE RATINGS OF ARCHAIC MATERIALS AND ASSEMBLIES"
  - WITH INTERCONNECTED SMOKE DETECTORS IN EACH DWELLING UNIT
- FOR PPE AND WRE PENETRATIONS:
- USE FIRE RATED FOAM TESTED IN ACCORDANCE WITH CAN/ULC-S15 (EG. H.L.T.I FIRE FOAM CP 620 OR 3M FIRE BARRIER SEALANT CP 25WB+)
- FOR HVAC DUCTINGS:
- ADDRESSED WITH IN-DUCT SMOKE DETECTOR
  - SEE NOTE NEAR FURNACE ON FLOOR PLAN
- FOR SERVICE ITEMS IN FIRE SEPARATION (VALVES, METERS, ELECTRICAL BOXES, ETC.):
- USE U.L.C. RATED FIRE-RATED ACCESS PANELS (MIN. 45 MINS)

**LEAD DESIGNER & CONSULTANT** **KEN BEKENDAM**  
 kenbekendam@gmail.com  
 C: (905)-961-0647  
 (855) - KINGHMS (546-4467)

**LEAD ENGINEER** **ROBERT MENDEZ P.ENG. 100054193**  
 robertmendez@yahoo.com  
 C: (416) - 807-1572  
 www.legalsecondsuites.com

ADDRESS: 11 FAIRLEIGH AVE N  
 HAMILTON, ON

SCALE: 1/4" = 1'

DATE: APR 2020

PROJECT: 2-UNIT CONVERSION

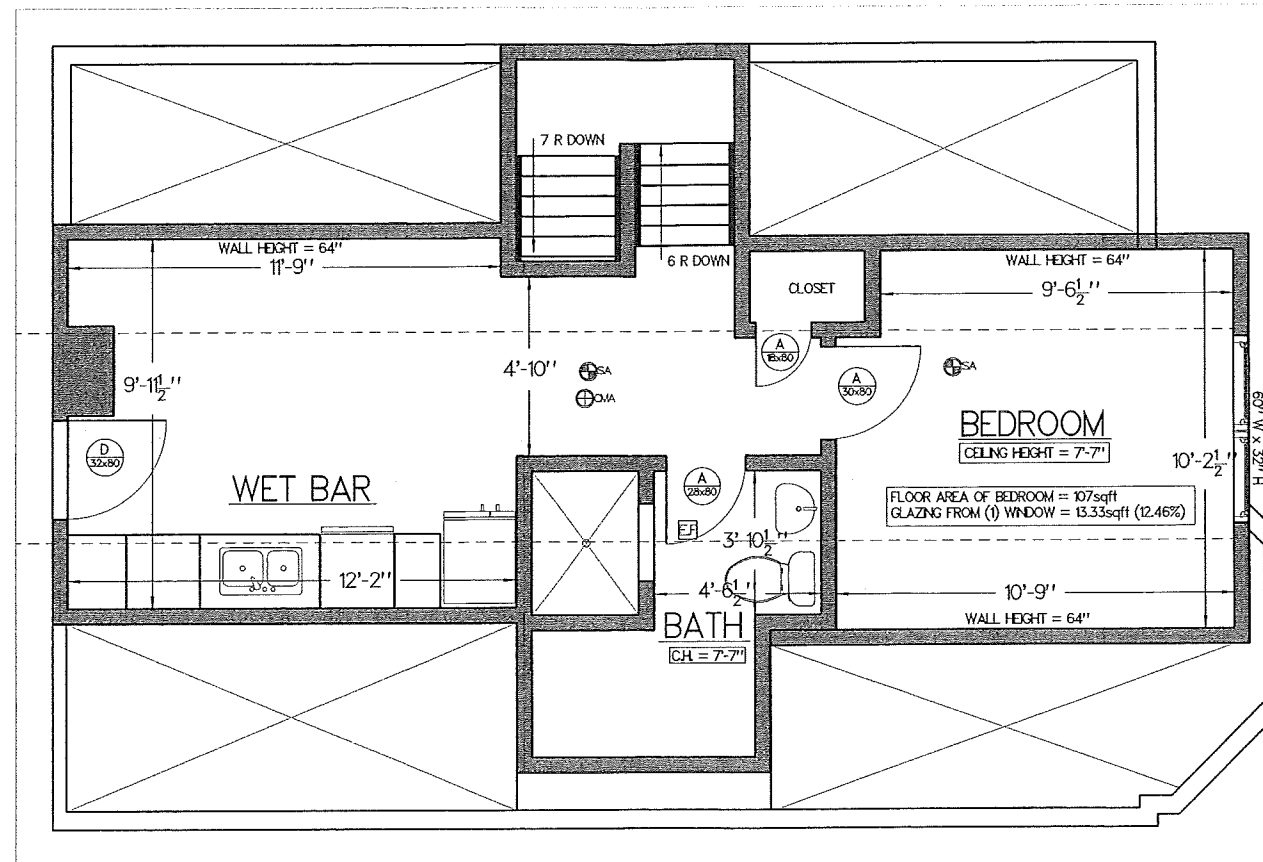
SHEET #: A1.03

EXISTING & PROPOSED SECOND FLOOR

DATE: APR 2020

SHEET #: A1.03

PLANS LEGEND	
BATH	ROOM NAME
EF	EXHAUST FAN
②	SPECIFICATION TAG
SA	SMOKE ALARM
MA	CARBON MONOXIDE ALARM
CH 6'-11"	CEILING HEIGHT
- - -	STRUCTURAL BEAM OR WALL
PS	PLUMBING STACK
WM	WATER METER
FD	FLOOR DRAIN
SC	STRUCTURAL COLUMN
FW	FOUNDATION WALL
NEW EXTERIOR WALLS	
NEW INTERIOR WALLS	
EXISTING WALLS TO REMAIN	
STRUCTURAL WALL	
SR	SUPPLY REGISTER
RG	RETURN GRILLE
DOOR LEGEND	
A 30x80	DOOR TYPE DOOR SIZE
A. PANEL DOOR B. FIRE DOOR w/ SELF CLOSER (45 MN) C. FIRE DOOR w/ SELF CLOSER (20 MN) D. EXTERIOR DOOR E. BFOLD CLOSET F. SLIDING DOOR G. POCKET DOOR	



ELECTRONIC STAMP

NOTE: ALL SMOKE ALARMS TO BE INTERCONNECTED

UNIT #2 - GFA = 851 SQFT  
 SECOND FLOOR = 539 SQFT  
 THIRD FLOOR = 312 SQFT

NOTE: THIS IS AN EXISTING FINISHED AREA. NO CHANGES



LEAD DESIGNER & CONSULTANT  
**KEN BEKENDAM**  
 kenbekendam@gmail.com  
 C: (905)-961-0647  
 (855) - KINGHMS (546-4467)

LEAD ENGINEER **ROBERT MENDEZ P.ENG. 100054193**  
 robertmendez@yahoo.com  
 C: (416) - 807-1572  
 www.legalsecondsuites.com



ADDRESS: 11 FAIRLEIGH AVE N  
 HAMILTON, ON

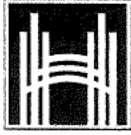
EXISTING & PROPOSED  
 THIRD FLOOR

SCALE:  
 1/4" = 1'

PROJECT:  
 2-UNIT  
 CONVERSION

DATE:  
 APR 2020

SHEET #:  
 A1.04



Hamilton

Planning and Economic Development Department  
Planning Division

20-172169  
**Committee of Adjustment**

City Hall  
5<sup>th</sup> floor 71 Main Street West  
Hamilton, Ontario L8P 4Y5

Phone (905) 546-2424 ext.4221  
Fax (905) 546-4202

**PLEASE FILL OUT THE FOLLOWING PAGES AND  
RETURN TO THE CITY OF HAMILTON PLANNING  
DEPARTMENT.**

<b>FOR OFFICE USE ONLY.</b>	
APPLICATION NO. <u>HM/A-20-123</u>	DATE APPLICATION RECEIVED <u>June 17/20</u>
PAID _____	DATE APPLICATION DEEMED COMPLETE _____
SECRETARY'S SIGNATURE _____	

**CITY OF HAMILTON  
COMMITTEE OF ADJUSTMENT  
HAMILTON, ONTARIO**

***The Planning Act***

**Application for Minor Variance or for Permission**

The undersigned hereby applies to the Committee of Adjustment for the City of Hamilton under Section 45 of the *Planning Act*, R.S.O. 1990, Chapter P.13 for relief, as described in this application, from the Zoning By-law.

- Name of Owner Inderjit Sian Telephone No.
- 
- Name of Agent Ken Bekendam Telephone No.
- 

**Note:** Unless otherwise requested all communications will be sent to the agent, if any.

- Names and addresses of any mortgagees, holders of charges or other encumbrances:  
 \_\_\_\_\_ Postal Code \_\_\_\_\_  
n/a  
 \_\_\_\_\_ Postal Code \_\_\_\_\_  
 \_\_\_\_\_ Postal Code \_\_\_\_\_



6. Nature and extent of relief applied for:

lot area reduction From 270m<sup>2</sup> to 240m<sup>2</sup>

7. Why it is not possible to comply with the provisions of the By-law?

existing lot area too small

8. Legal description of subject lands (registered plan number and lot number or other legal description and where applicable, street and street number):

11 Fairleigh Ave N

9. PREVIOUS USE OF PROPERTY

Residential  Industrial  Commercial

Agricultural  Vacant

Other \_\_\_\_\_

9.1 If Industrial or Commercial, specify use

9.2 Has the grading of the subject land been changed by adding earth or other material, i.e. has filling occurred?

Yes  No  Unknown

9.3 Has a gas station been located on the subject land or adjacent lands at any time?

Yes  No  Unknown

9.4 Has there been petroleum or other fuel stored on the subject land or adjacent lands?

Yes  No  Unknown

9.5 Are there or have there ever been underground storage tanks or buried waste on the subject land or adjacent lands?

Yes  No  Unknown

9.6 Have the lands or adjacent lands ever been used as an agricultural operation where cyanide products may have been used as pesticides and/or sewage sludge was applied to the lands?

Yes  No  Unknown

9.7 Have the lands or adjacent lands ever been used as a weapon firing range?

Yes  No  Unknown

9.8 Is the nearest boundary line of the application within 500 metres (1,640 feet) of the fill area of an operational/non-operational landfill or dump?

Yes  No  Unknown

9.9 If there are existing or previously existing buildings, are there any building materials remaining on site which are potentially hazardous to public health (eg. asbestos, PCB's)?

Yes  No  Unknown

9.10 Is there any reason to believe the subject land may have been contaminated by former uses on the site or adjacent sites?

Yes \_\_\_ No  Unknown \_\_\_

9.11 What information did you use to determine the answers to 9.1 to 9.10 above?

existing residential use for over 100 years

9.12 If previous use of property is industrial or commercial or if YES to any of 9.2 to 9.10, a previous use inventory showing all former uses of the subject land, or if appropriate, the land adjacent to the subject land, is needed.

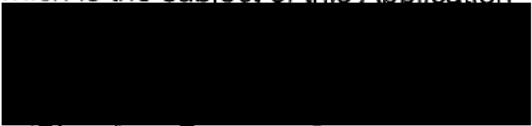
Is the previous use inventory attached? Yes \_\_\_ No \_\_\_

**ACKNOWLEDGEMENT CLAUSE**

I acknowledge that the City of Hamilton is not responsible for the identification and remediation of contamination on the property which is the subject of this Application – by reason of its approval to this Application.

5/21/2020

Date



Signature of Property Owner

Inderjit Sian

Print Name of Owner

10. Dimensions of lands affected:

Frontage 24' 7.31m  
Depth see site plan 108'  
Area 240.34 m<sup>2</sup>  
Width of street unknown

11. Particulars of all buildings and structures on or proposed for the subject lands: (Specify ground floor area, gross floor area, number of stories, width, length, height, etc.)

Existing: see site plan

Proposed: see site plan

12. Location of all buildings and structures on or proposed for the subject lands: (Specify distance from side, rear and front lot lines)

Existing: see site plan

Proposed: see site plan

13. Date of acquisition of subject lands:  
2018

14. Date of construction of all buildings and structures on subject lands:  
unknown

15. Existing uses of the subject property: residential

16. Existing uses of abutting properties: residential

17. Length of time the existing uses of the subject property have continued:  
100 years

18. Municipal services available: (check the appropriate space or spaces)  
Water ✓ Connected ✓  
Sanitary Sewer ✓ Connected ✓  
Storm Sewers ✓

19. Present Official Plan/Secondary Plan provisions applying to the land:  
unknown

20. Present Restricted Area By-law (Zoning By-law) provisions applying to the land:  
D - one and Two Family Dwellings

21. Has the owner previously applied for relief in respect of the subject property?  
Yes No  
If the answer is yes, describe briefly.  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

22. Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?  
Yes No

23. The applicant shall attach to each copy of this application a plan showing the dimensions of the subject lands and of all abutting lands and showing the location, size and type of all buildings and structures on the subject and abutting lands, and where required by the Committee of Adjustment such plan shall be signed by an Ontario Land Surveyor.

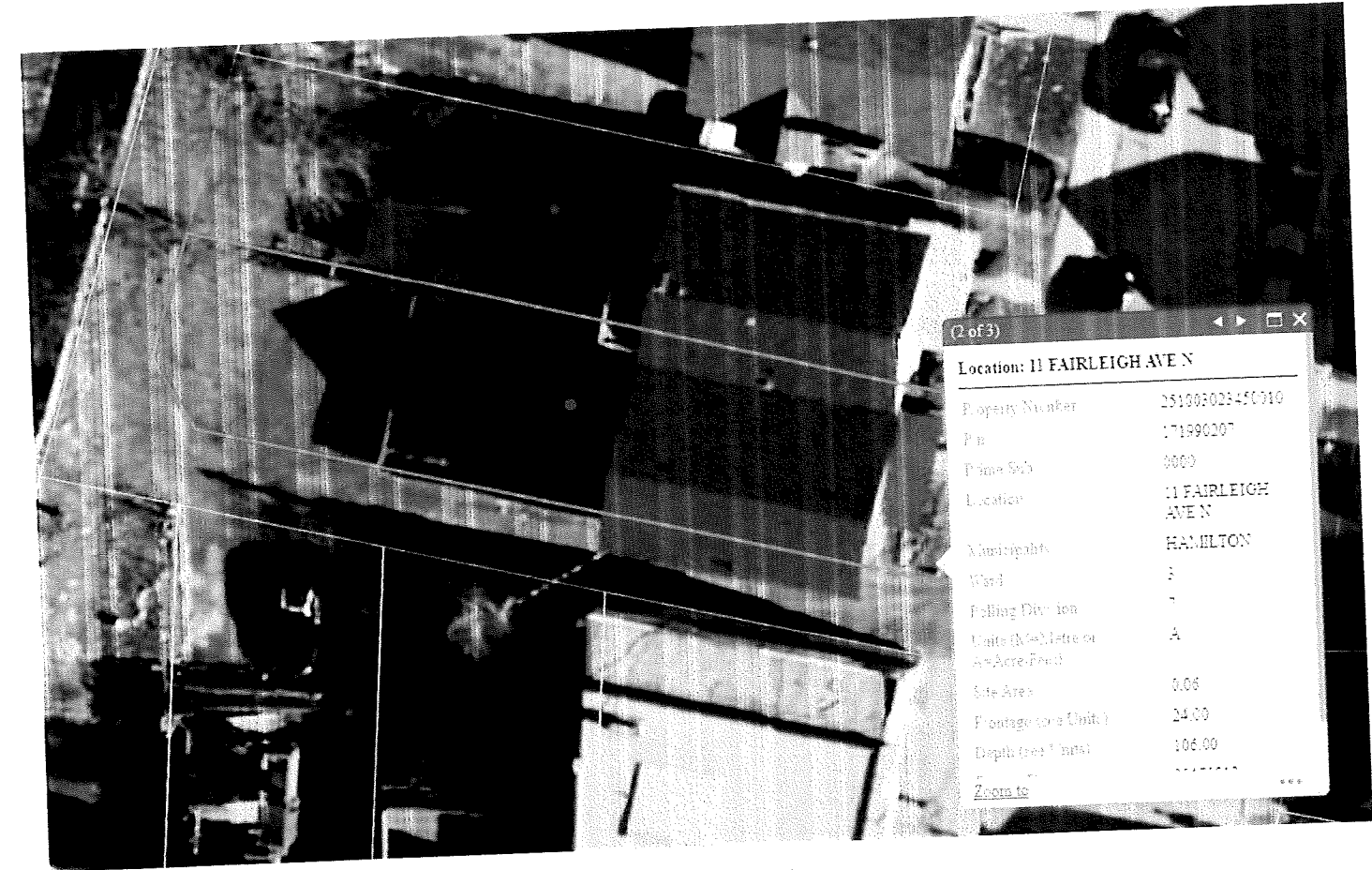
**NOTE:** It is required that two copies of this application be filed with the secretary-treasurer of the Committee of Adjustment together with the maps referred to in Section 5 and be accompanied by the appropriate fee in cash or by cheque made payable to the City of Hamilton.

# 2 UNIT CONVERSION PERMIT

## 11 FAIRLEIGH AVE N, HAMILTON, ON



EXISTING BUILDING IMAGE



AERIAL MAP

ELECTRONIC STAMP



**LEAD DESIGNER & CONSULTANT** KEN BEKENDAM  
 kenbekendam@gmail.com  
 C: (905)-961-0647  
 (855) - KINGHMS (546-4467)

---

**LEAD ENGINEER** ROBERT MENDEZ P.ENG. 100054193  
 robertmendez@yahoo.com  
 C: (416) - 807-1572

www.legalsecondsuites.com



ADDRESS: 11 FAIRLEIGH AVE N  
 HAMILTON, ON

SCALE:  
 1/4" = 1'

DATE:  
 APRIL 202

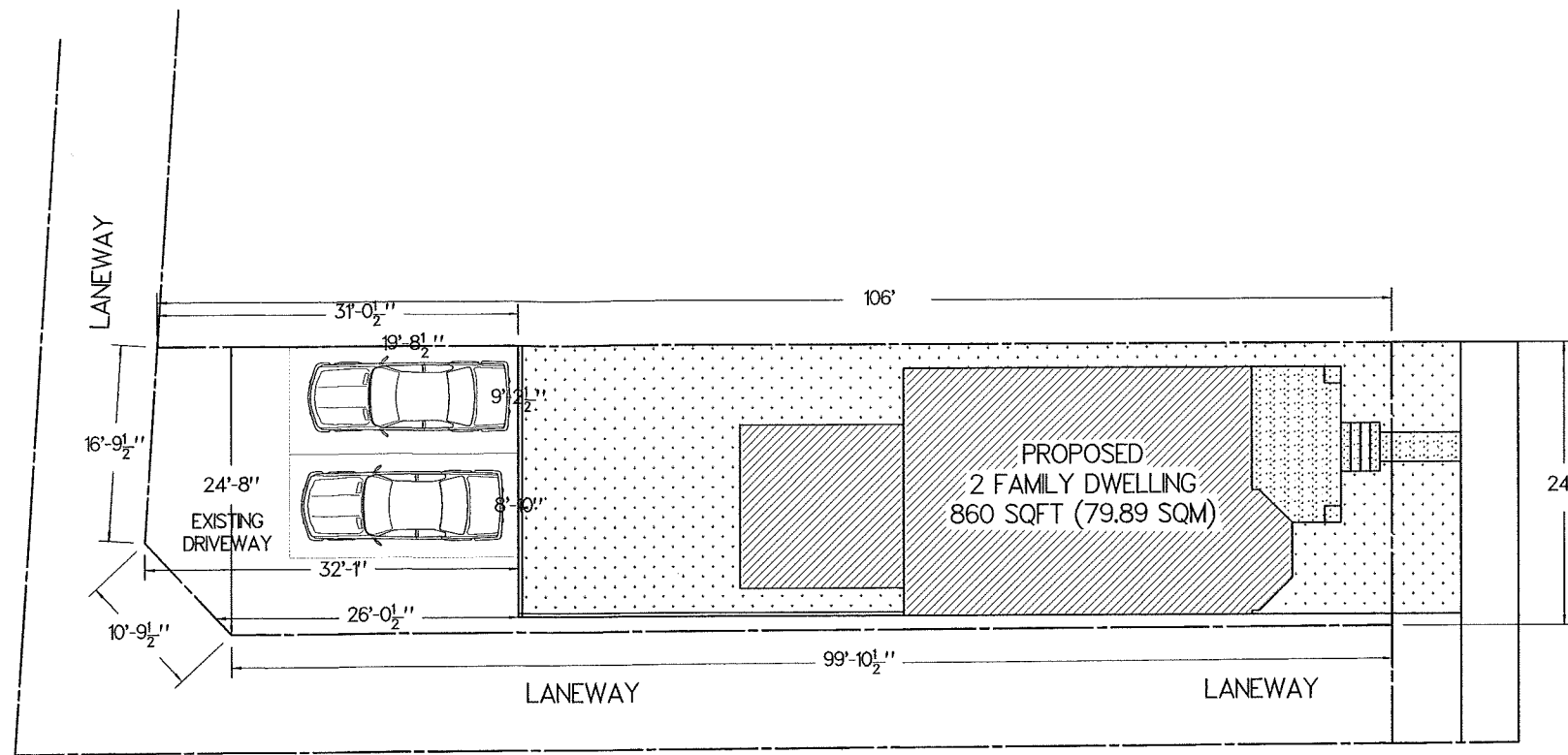
TITLE PAGE

PROJECT:  
 2-UNIT  
 CONVERSION

SHEET #:  
 A0.0

**SITE INFORMATION & STATISTICS**

ADDRESS	11 FAIRLEIGH AVE N		
ZONING TYPE	D - ONE AND TWO FAMILY DWELLINGS		
LOT AREA	2587 SQFT (240.34 SQM)		
LOT FRONTAGE	24' (7.31m)		
FLOOR AREAS	ALLOWED	EXISTING	PROPOSED
BASEMENT		661 SQFT	NO CHANGE
MAIN FLOOR		860 SQFT	NO CHANGE
SECOND FLOOR		661 SQFT	NO CHANGE
THIRD FLOOR		413 SQFT	NO CHANGE
SETBACKS			
FRONT			NO CHANGE
SIDE			NO CHANGE
BACK			NO CHANGE
SIDE			NO CHANGE



ELECTRONIC STAMP

**SITE PLAN :**

BASED ON HAMILTON MAPS AND MEASUREMENTS ON SITE  
 DESIGNER ASSUMES NO RESPONSIBILITY FOR ACCURACY OF HAMILTON MAPS  
 THIS SITE PLAN SHALL NOT BE USED FOR ANY OTHER PURPOSES.  
 NO WORK TO ENCROACH ONTO ADJOINING PROPERTIES

LANDSCAPED FRONT YARD  
 LANDSCAPED AREA = 139 SQFT = 55.16%  
 HARD SURFACE AREA = 113 SQFT = 44.84%

**EXISTING STRUCTURE NOTE:**

OWNER AND CONTRACTOR IS FULLY RESPONSIBLE FOR VERIFYING ALL EXISTING STRUCTURAL CONDITIONS PRIOR TO ANY WORK. ANY AND ALL DISCREPANCIES SHALL BE REPORTED TO THE OWNER PRIOR TO ANY WORK. OWNER AND CONTRACTOR IS FULLY RESPONSIBLE FOR SHORING EXISTING STRUCTURE PRIOR TO ANY WORK.

**BUILDING CODE COMPLIANCE NOTE:**

THESE DRAWINGS DO NOT REPRESENT A COMPREHENSIVE AND EXHAUSTIVE GUIDE FOR COMPLIANCE WITH THE ONTARIO BUILDING CODE. IT IS ASSUMED THAT THE CONTRACTOR HAS REASONABLY SUFFICIENT KNOWLEDGE OF THE ONTARIO BUILDING CODE IN ORDER TO PERFORM ALL WORK AS PER THESE DRAWINGS IN SUCH A WAY THAT WILL COMPLY WITH ALL ASPECTS OF THE OBC AND WILL NOT CONTRAVENE ANY OTHER APPLICABLE LAWS

**GENERAL NOTES:**

1. ALL CONSTRUCTION TO COMPLY WITH THE REVISED ONTARIO BUILDING CODE 2012.
2. ALL DIMENSION ARE MEASURED TO ROUGH FRAMING OR TO MASONRY SURFACES UNLESS OTHERWISE NOTED.
3. ALL DOORS AND WINDOW OPENINGS ARE MEASURED TO ROUGH FRAMING OR MASONRY OPENINGS.
4. CONTRACTOR IS TO VERIFY WINDOW OPENINGS WITH WINDOW MANUFACTURER PRIOR TO COMMENCING WORK.
5. READ ARCHITECTURAL DRAWINGS IN CONJUNCTION WITH STRUCTURAL, MECHANICAL AND ELECTRICAL DRAWINGS.
6. ELEVATION REFERENCES ARE BASED ON 100'-0" = 131.70m GEODETIC ELEVATIONS AS NOTED ON A1 SITE PLAN.
7. ALL DIMENSION MUST BE CHECKED AGAINST THE ARCHITECTURAL DRAWINGS AND THE FIELD CONDITIONS BEFORE COMMENCING FABRICATION. ANY INCONSISTENCIES ARE TO BE REPORTED TO THE CONSULTANT BEFORE PROCEEDING WITH THE WORK.
8. THE CONTRACTOR SHALL PROPERLY SUPERVISE THE WORK AND ENSURE THAT THE WORK IS INSTALLED TO THE CORRECT LINES AND LEVELS, THAT THE CONNECTIONS AND DETAILS CONFORM TO THE DRAWING DETAILS AND SHALL COORDINATE THE INTERFACING OF ALL WORK WITH ALL SUBTRAD.
9. PROVIDE POSITIVE FRONT YARD SLOPE TO MUNICIPAL SEWER FOR WATER RUN-OFF.
10. CONTRACTOR TO BE RESPONSIBLE FOR VERIFYING THE LOCATIONS OF ALL EXISTING UNDERGROUND AND ABOVE UTILITIES AND SERVICES. VARIOUS UTILITIES CONCERNED TO BE GIVEN REQUIRED ADVANCED NOTICE PRIOR TO ANY DIGGING, FOR STAKE OUT.
11. REFER TO LANDSCAPING PLAN FOR PLANTING CONFIRM LAYOUT WITH LANDSCAPE CONTRACTOR.
12. DESIGNER NOT RESPONSIBLE FOR ACCURACY OF SURVEY DRAWING.



LEAD DESIGNER & CONSULTANT **KEN BEKENDAM**  
 kenbekendam@gmail.com  
 C: (905)-961-0647  
 (855) - KINGHMS (546-4467)

LEAD ENGINEER **ROBERT MENDEZ P.ENG. 100054193**  
 robertmendez@yahoo.com  
 C: (416) - 807-1572

www.legalsecondsuites.com



**LEGAL  
 SECOND  
 SUITES**

ADDRESS: **11 FAIRLEIGH AVE N  
 HAMILTON, ON**

SCALE: **1/16" = 1'**

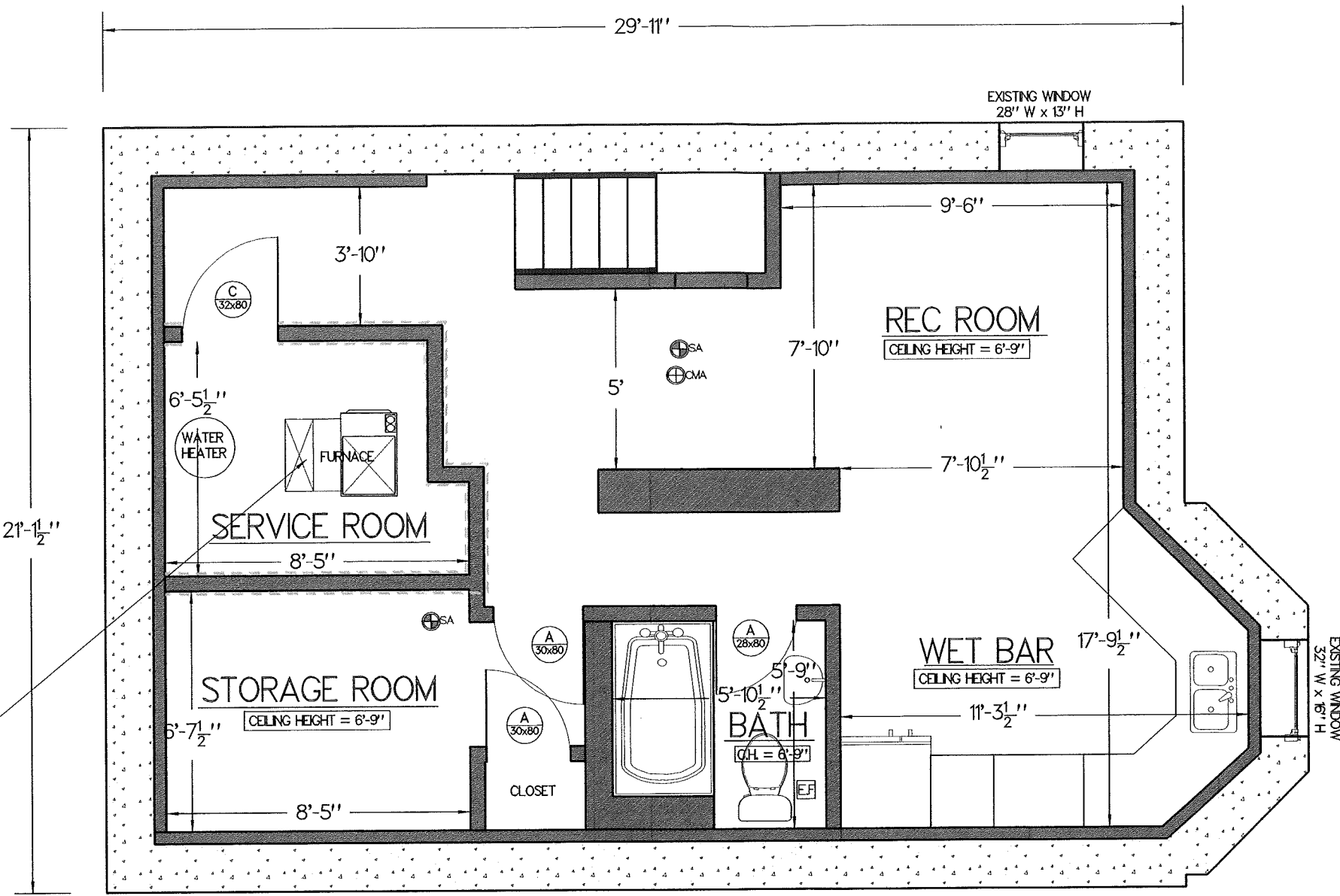
DATE: **APR 2020**

**SITE PLAN**

PROJECT: **2-UNIT  
 CONVERSION**

SHEET #: **SP1.0**

PLANS LEGEND	
BATH	ROOM NAME
EF	EXHAUST FAN
②	SPECIFICATION TAG
SA	SMOKE ALARM
COA	CARBON MONOXIDE ALARM
CH. 6'-11"	CEILING HEIGHT
---	STRUCTURAL BEAM OR WALL
PS	PLUMBING STACK
WM	WATER METER
FD	FLOOR DRAIN
SC	STRUCTURAL COLUMN
FW	FOUNDATION WALL
NEW EXTERIOR WALLS	
NEW INTERIOR WALLS	
EXISTING WALLS TO REMAIN	
STRUCTURAL WALL	
SR	SUPPLY REGISTER
RG	RETURN GRILLE
DOOR LEGEND	
A	DOOR TYPE
30x80	DOOR SIZE
A	PANEL DOOR
B	FIRE DOOR w/ SELF CLOSER (45 MIN)
C	FIRE DOOR w/ SELF CLOSER (20 MIN)
D	EXTERIOR DOOR
E	BIFOLD CLOSET
F	SLIDING DOOR
G	POCKET DOOR



**SEPARATION OF SERVICE ROOM:**

- SERVICE ROOM TO CONFORM WITH OBC SECTION 9.10.10.4

**IMPORTANT NOTE:**

- SERVICE ROOM NO LONGER REQUIRES FIRE SEPARATION FROM BOTH UNITS AS IT IS NOW EXEMPT UNDER 9.10.10.4 (2)(b) FOR A "HOUSE", DEFINED IN O.B.C AS "a detached house, semi-detached house or row house containing not more than two dwelling units"

VERTICAL PARTITIONS STILL REQUIRES FIRE SEPARATION TO PROVIDE FIRE RESISTANCE RATING BETWEEN DWELLING UNITS. [W4A]

- NEW 2x4 STUD WALL SPACED 16" O.C.
- 3.5" THICK ABSORPTIVE MATERIAL
- RESILIENT METAL CHANNELS SPACED 24" O.C.
- 2 LAYERS 5/8" TYPE X GYPSUM BOARD ON CHANNEL SIDE
- 1 LAYER 5/8" TYPE X GYPSUM BOARD ON OTHER SIDE

GYPSUM BOARD INSIDE SERVICE ROOM TO EXTEND INTO JOIST CAVITY AND BUTTED TIGHTLY AGAINST FLOOR JOISTS AND SUBFLOOR ABOVE

- SMALL GAPS TO BE CAULKED WITH FIRE BARRIER SEALANT IN ACCORDANCE WITH CAN/ULC S15

**IMPORTANT - ADEQUATE COMBUSTION AIR NEEDED FOR APPLIANCES**

**IN-DUCT SMOKE DETECTOR**

SMOKE DETECTOR TO BE INSTALLED IN THE SUPPLY OR RETURN AIR DUCT SYSTEM TO TURN OFF ELECTRICAL POWER AND FUEL SUPPLY UPON ACTIVATION

NOTE: NO CHANGES TO THIS FLOOR PLAN

UNIT #1 - GFA = 1103 SQFT  
 MAIN FLOOR = 651 SQFT  
 BASEMENT = 452 SQFT  
 SHARED EXIT = 28 SQFT

**LEAD DESIGNER & CONSULTANT** **KEN BEKENDAM**  
 kenbekendam@gmail.com  
 C: (905)-961-0647  
 (855) - KINGHMS (546-4467)

**LEAD ENGINEER** **ROBERT MENDEZ P.ENG. 100054193**  
 robertmendez@yahoo.com  
 C: (416) - 807-1572

www.legalsecondsuites.com

ADDRESS: **11 FAIRLEIGH AVE N  
 HAMILTON, ON**

SCALE: **1/4" = 1'**

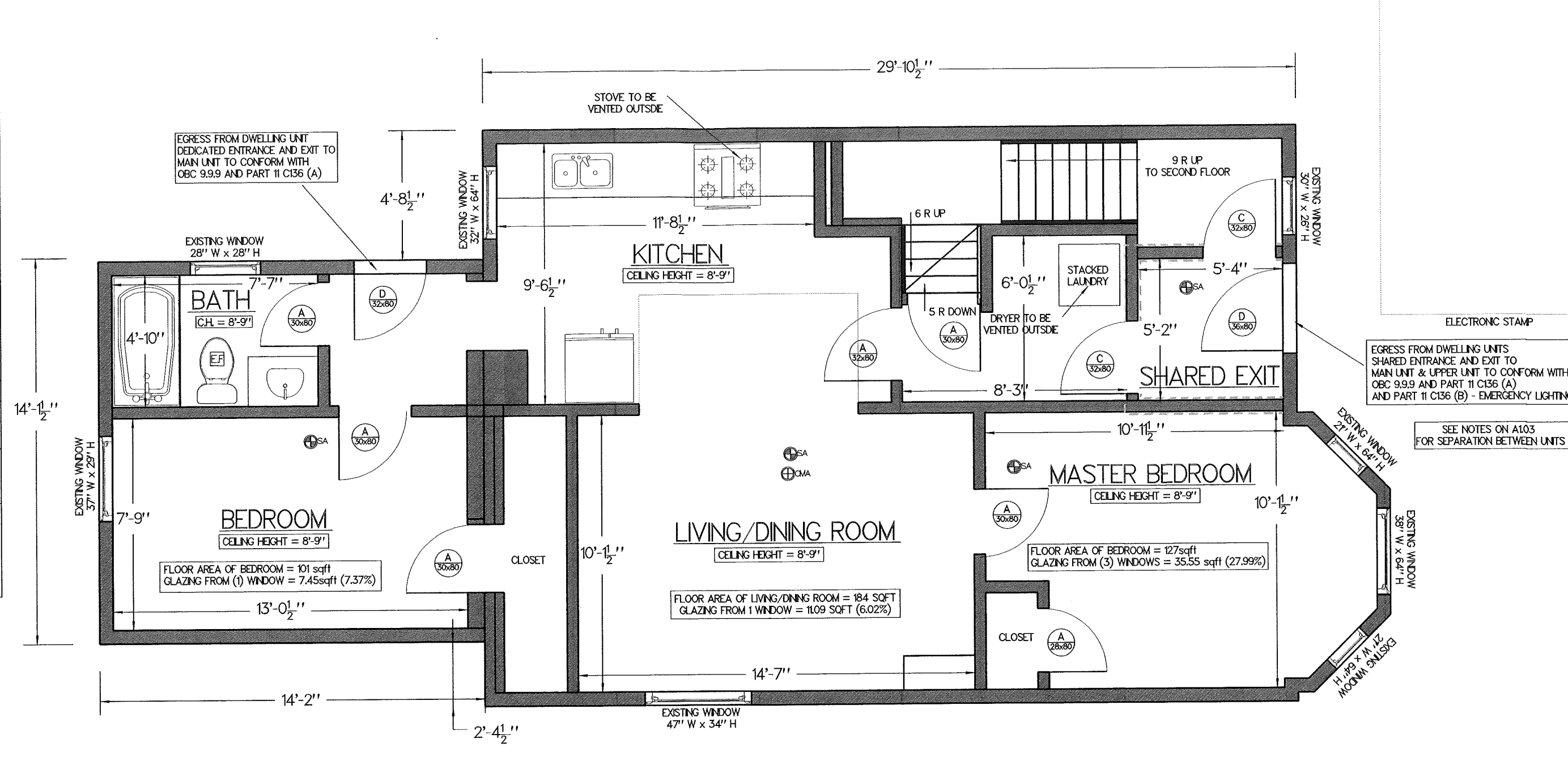
DATE: **APR 2020**

**EXISTING & PROPOSED  
 BASEMENT FLOOR**

PROJECT: **2-UNIT  
 CONVERSION**

SHEET #: **A1.0**

PLANS LEGEND	
BATH	ROOM NAME
EF	EXHAUST FAN
②	SPECIFICATION TAG
SA	SMOKE ALARM
CMA	CARBON MONOXIDE ALARM
CH. 6'-11"	CEILING HEIGHT
---	STRUCTURAL BEAM OR WALL
PS	PLUMBING STACK
WM	WATER METER
FD	FLOOR DRAIN
SC	STRUCTURAL COLUMN
FW	FOUNDATION WALL
NEW EXTERIOR WALLS	
NEW INTERIOR WALLS	
EXISTING WALLS TO REMAIN	
---	STRUCTURAL WALL
SR	SUPPLY REGISTER
RG	RETURN GRILLE
DOOR LEGEND	
A	DOOR TYPE
30x80	DOOR SIZE
A	PANEL DOOR
B	FIRE DOOR w/ SELF CLOSER (45 MIN)
C	FIRE DOOR w/ SELF CLOSER (20 MIN)
D	EXTERIOR DOOR
E	BIFOLD CLOSET
F	SLIDING DOOR
G	POCKET DOOR



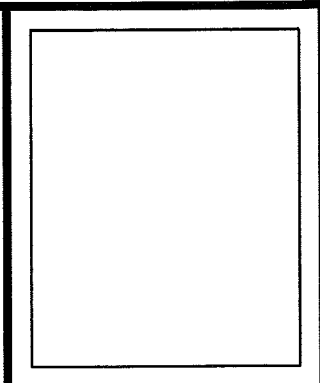
**LEAD DESIGNER & CONSULTANT** **KEN BEKENDAM**  
kenbekendam@gmail.com  
C: (905)-961-0647  
(855) - KINGHMS (546-4467)

---

**LEAD ENGINEER** **ROBERT MENDEZ P.ENG. 100054193**  
robertmendez@yahoo.com  
C: (416) - 807-1572

www.legalsecondsuites.com

**LEGAL  
SECOND  
SUITES**



ADDRESS: **11 FAIRLEIGH AVE N  
HAMILTON, ON**

**EXISTING & PROPOSED  
MAIN FLOOR**

SCALE:  
**1/4" = 1'**

PROJECT:  
**2-UNIT  
CONVERSION**

DATE:  
**APR 2020**

SHEET #:  
**A1.02**

PLANS LEGEND

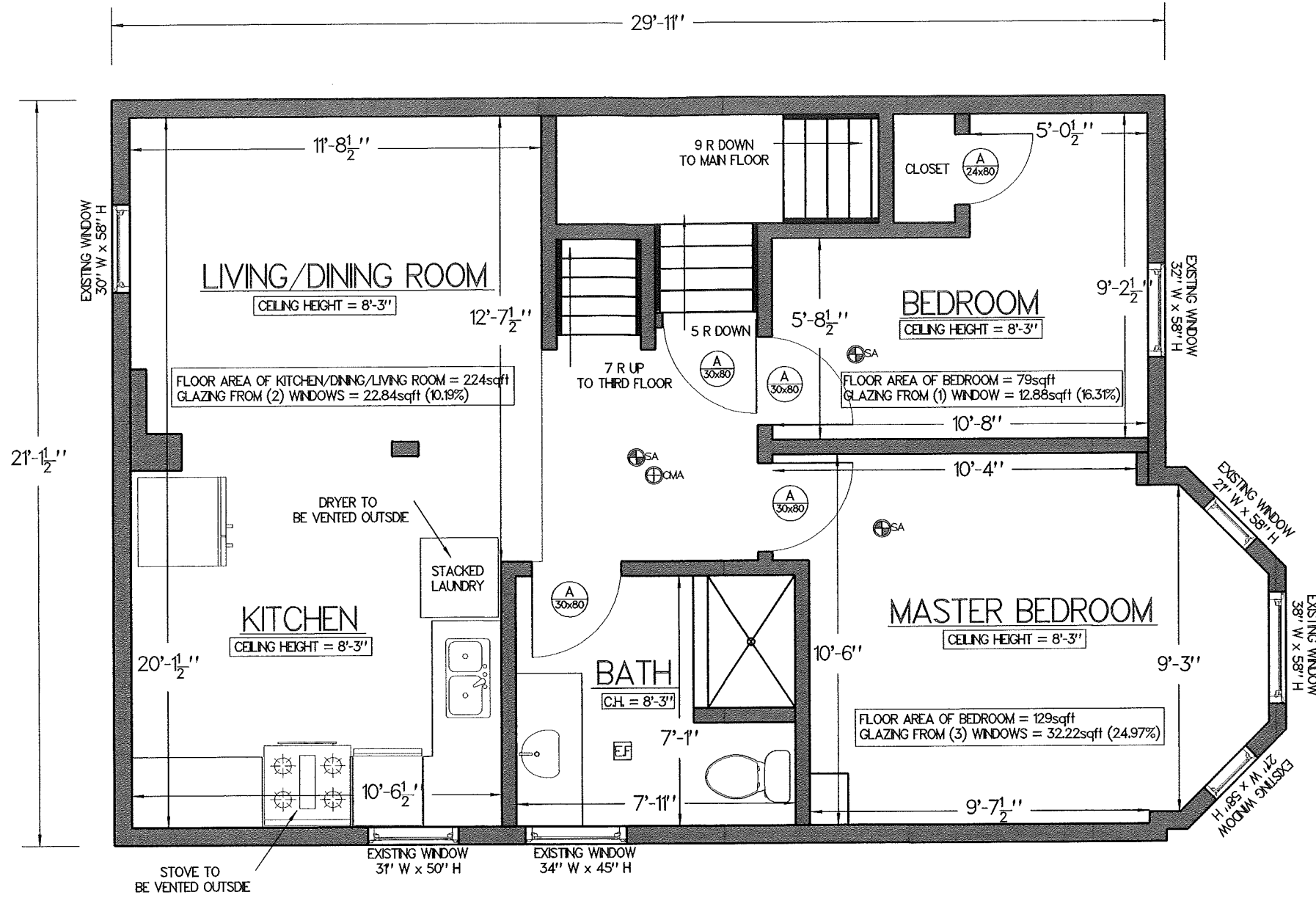
BATH	ROOM NAME
EF	EXHAUST FAN
(2)	SPECIFICATION TAG
SA	SMOKE ALARM
CMA	CARBON MONOXIDE ALARM
C.H. 6'-11"	CEILING HEIGHT
---	STRUCTURAL BEAM OR WALL
PS	PLUMBING STACK
WM	WATER METER
FD	FLOOR DRAIN
SC	STRUCTURAL COLUMN
FW	FOUNDATION WALL
NEW EXTERIOR WALLS	
NEW INTERIOR WALLS	
EXISTING WALLS TO REMAIN	
SW	STRUCTURAL WALL
SR	SUPPLY REGISTER
RG	RETURN GRILLE

DOOR LEGEND

A	DOOR TYPE
30x80	DOOR SIZE
A	PANEL DOOR
B	FIRE DOOR w/ SELF CLOSER (45 MIN)
C	FIRE DOOR w/ SELF CLOSER (20 MIN)
D	EXTERIOR DOOR
E	BIFOLD CLOSET
F	SLIDING DOOR
G	POCKET DOOR

NOTE: ALL SMOKE ALARMS TO BE INTERCONNECTED

UNIT #2 - GFA = 851 SQFT  
SECOND FLOOR = 539 SQFT  
THIRD FLOOR = 312 SQFT



NOTE: THIS IS AN EXISTING FINISHED AREA. NO CHANGES

- ELECTRONIC STAMP
- SEPARATION BETWEEN UNITS:
- NEW SEPARATION BETWEEN UNITS TO HAVE A FIRE RESISTANCE RATING OF 30 MINS AS PER O.B.C. 9.10.9.14. AND PART 11 COMPLIANCE - C152 AND STC50
- BASEMENT CEILING (SEPARATING SECOND SUITE): [F8D] NEW PORTIONS ONLY
- EX. WOOD JOISTS @ 16" O.C.
  - 6" THICK ABSORPTIVE MATERIAL IN CAVITY (FIBRE FROM ROCK/SLAG W/ MIN 90mm & MIN SURFACE AREA MASS OF 2.8 KG/SQ. M)
  - RESILIENT METAL CHANNELS SPACED @ 24" O.C.
  - 1 LAYER 5/8" TYPE X GYPSUM BOARD ON CEILING SIDE
- NEW SHARED PARTITIONS: [W4A]
- NEW 2x4 STUD WALL SPACED 16" O.C.
  - 3.5" THICK ABSORPTIVE MATERIAL
  - RESILIENT METAL CHANNELS SPACED 24" O.C.
  - 2 LAYERS 5/8" TYPE X GYPSUM BOARD ON CHANNEL SIDE
  - 1 LAYER 5/8" TYPE X GYPSUM BOARD ON OTHER SIDE
- EXISTING SHARED PARTITIONS:
- EX. 1/2" REGULAR GYPSUM BOARD TO REMAIN AS IS
  - ADDITIONAL LAYER OF 5/8" TYPE X TO BE APPLIED OVER EXISTING
- EX. LATH AND PLASTER TO REMAIN AS IS
- MEETS A 30MIN FRR AS PER ONTARIO FIRE MARSHALL
  - WITH INTERCONNECTED SMOKE DETECTORS IN EACH DWELLING UNIT
- EXISTING CEILING (15 MIN FRR BETWEEN DWELLING UNITS)
- EX. 1/2" REGULAR GYPSUM BOARD OR PLASTER TO REMAIN
  - AS PER PART 11 C143 1. HUD REHABILITATION GUIDELINES, "GUIDELINE ON FIRE RATINGS OF ARCHAIC MATERIALS AND ASSEMBLIES"
  - WITH INTERCONNECTED SMOKE DETECTORS IN EACH DWELLING UNIT
- FOR PIPE AND WIRE PENETRATIONS:
- USE FIRE RATED FOAM TESTED IN ACCORDANCE WITH CAN/ULC-S115 (EG. HILTI FIRE FOAM CP 620 OR 3M FIRE BARRIER SEALANT CP 25WBH)
- FOR HVAC DUCTING:
- ADDRESSED WITH IN-DUCT SMOKE DETECTOR
  - SEE NOTE NEAR FURNACE ON FLOOR PLAN
- FOR SERVICE ITEMS IN FIRE SEPARATION (VALVES, METERS, ELECTRICAL BOXES, ETC):
- USE ULC RATED FIRE-RATED ACCESS PANELS (MIN 45 MINS)



LEAD DESIGNER & CONSULTANT  
**KEN BEKENDAM**  
kenbekendam@gmail.com  
C: (905)-961-0647  
(855) - KINGHMS (546-4467)

LEAD ENGINEER  
**ROBERT MENDEZ P.ENG.** 100054193  
robertmendez@yahoo.com  
C: (416) - 807-1572

www.legalsecondsuites.com



ADDRESS: 11 FAIRLEIGH AVE N  
HAMILTON, ON

EXISTING & PROPOSED  
SECOND FLOOR

SCALE: 1/4" = 1'

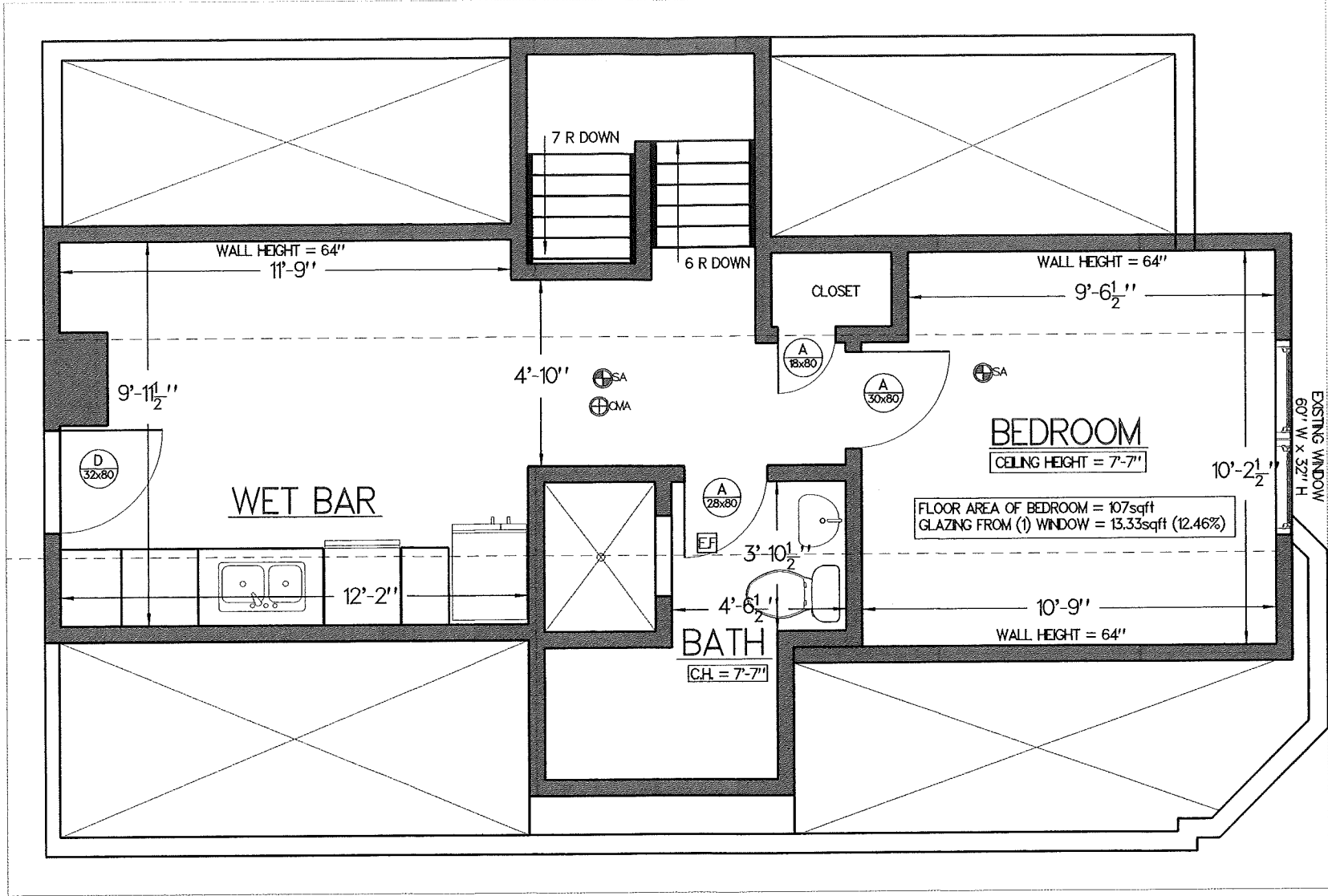
PROJECT: 2-UNIT  
CONVERSION

DATE: APR 2020

SHEET #: A1.03



PLANS LEGEND	
BATH	ROOM NAME
EF	EXHAUST FAN
(2)	SPECIFICATION TAG
SA	SMOKE ALARM
CMA	CARBON MONOXIDE ALARM
CH 6'-11"	CEILING HEIGHT
---	STRUCTURAL BEAM OR WALL
PS	PLUMBING STACK
WM	WATER METER
FD	FLOOR DRAIN
SC	STRUCTURAL COLUMN
FW	FOUNDATION WALL
NEW EXTERIOR WALLS	
NEW INTERIOR WALLS	
EXISTING WALLS TO REMAIN	
STRUCTURAL WALL	
SR	SUPPLY REGISTER
RG	RETURN GRILLE
DOOR LEGEND	
A	DOOR TYPE
30x80	DOOR SIZE
A	PANEL DOOR
B	FIRE DOOR w/ SELF CLOSER (45 MN)
C	FIRE DOOR w/ SELF CLOSER (20 MN)
D	EXTERIOR DOOR
E	BIFOLD CLOSET
F	SLIDING DOOR
G	POCKET DOOR



ELECTRONIC STAMP

NOTE: ALL SMOKE ALARMS TO BE INTERCONNECTED

UNIT #2 - GFA = 851 SQFT  
 SECOND FLOOR = 539 SQFT  
 THIRD FLOOR = 312 SQFT

NOTE: THIS IS AN EXISTING FINISHED AREA. NO CHANGES



LEAD DESIGNER & CONSULTANT  
**KEN BEKENDAM**  
 kenbekendam@gmail.com  
 C: (905)-961-0647  
 (855) - KINGHMS (546-4467)

---

LEAD ENGINEER **ROBERT MENDEZ P.ENG.** 100054193  
 robertmendez@yahoo.com  
 C: (416) - 807-1572

www.legalsecondsuites.com



ADDRESS: 11 FAIRLEIGH AVE N  
 HAMILTON, ON

EXISTING & PROPOSED  
 THIRD FLOOR

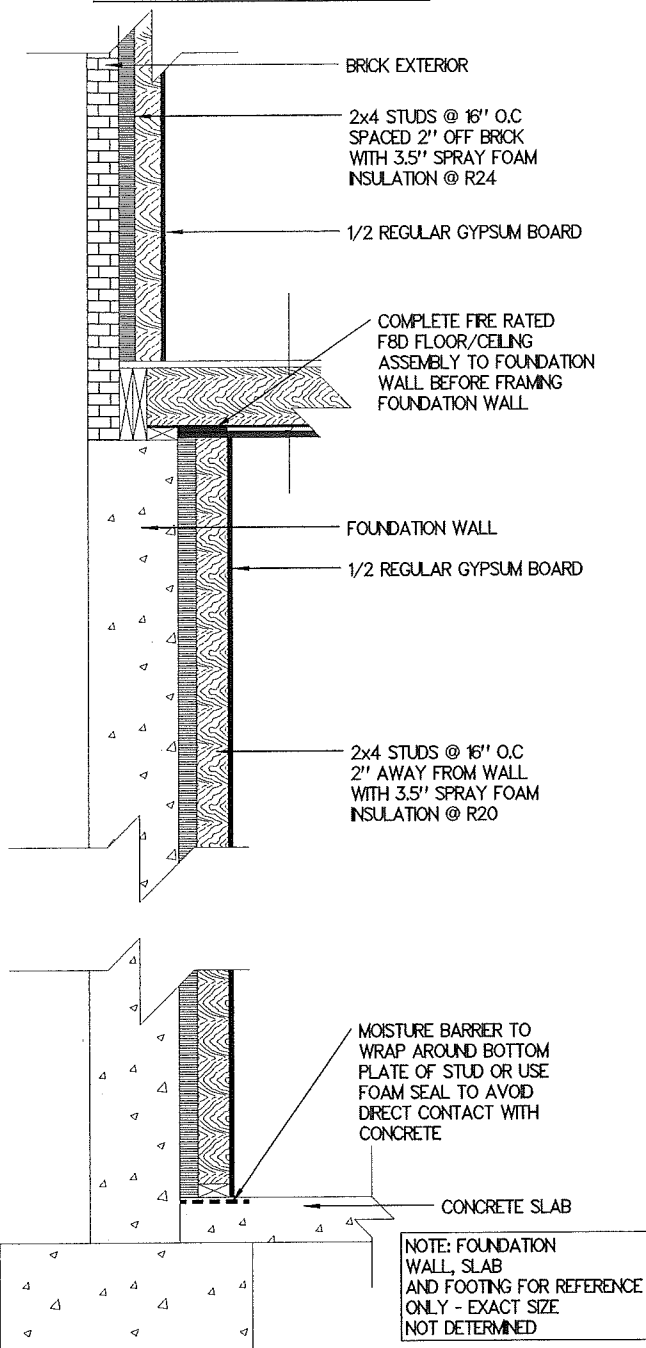
SCALE:  
 1/4" = 1'

PROJECT:  
 2-UNIT  
 CONVERSION

DATE:  
 APR 2020

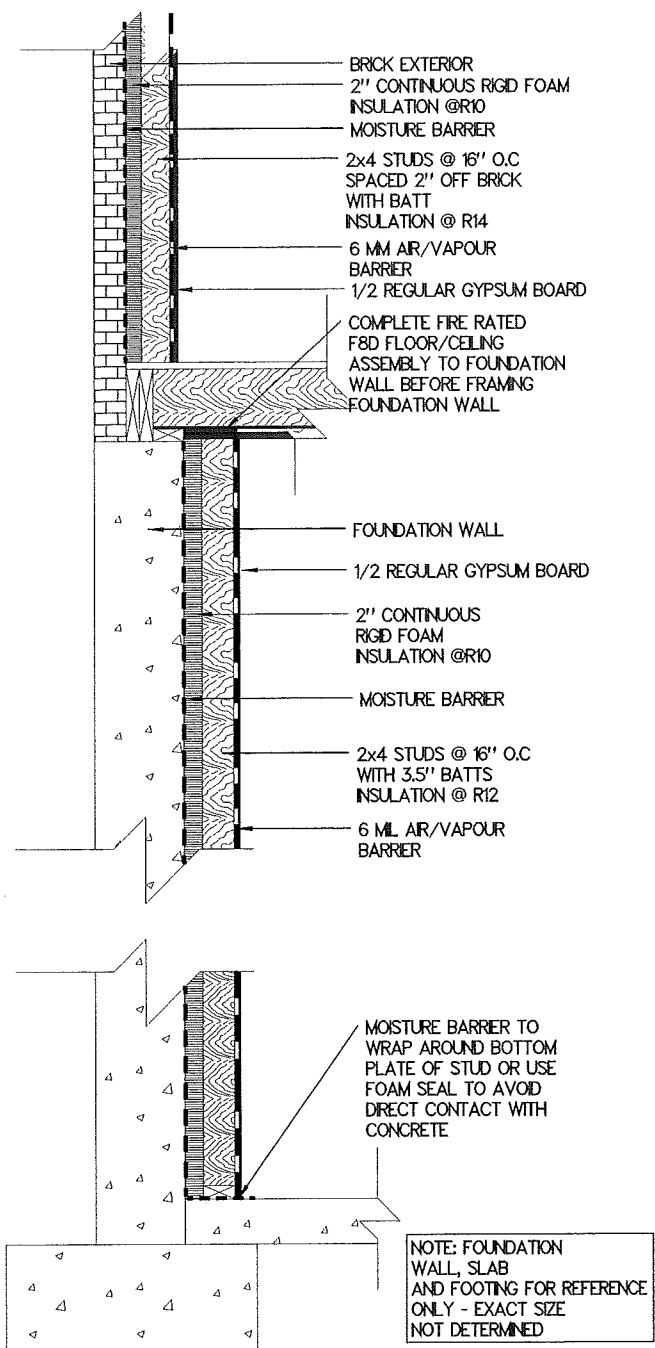
SHEET #:  
 A1.04

**SPRAY FOAM DETAIL**

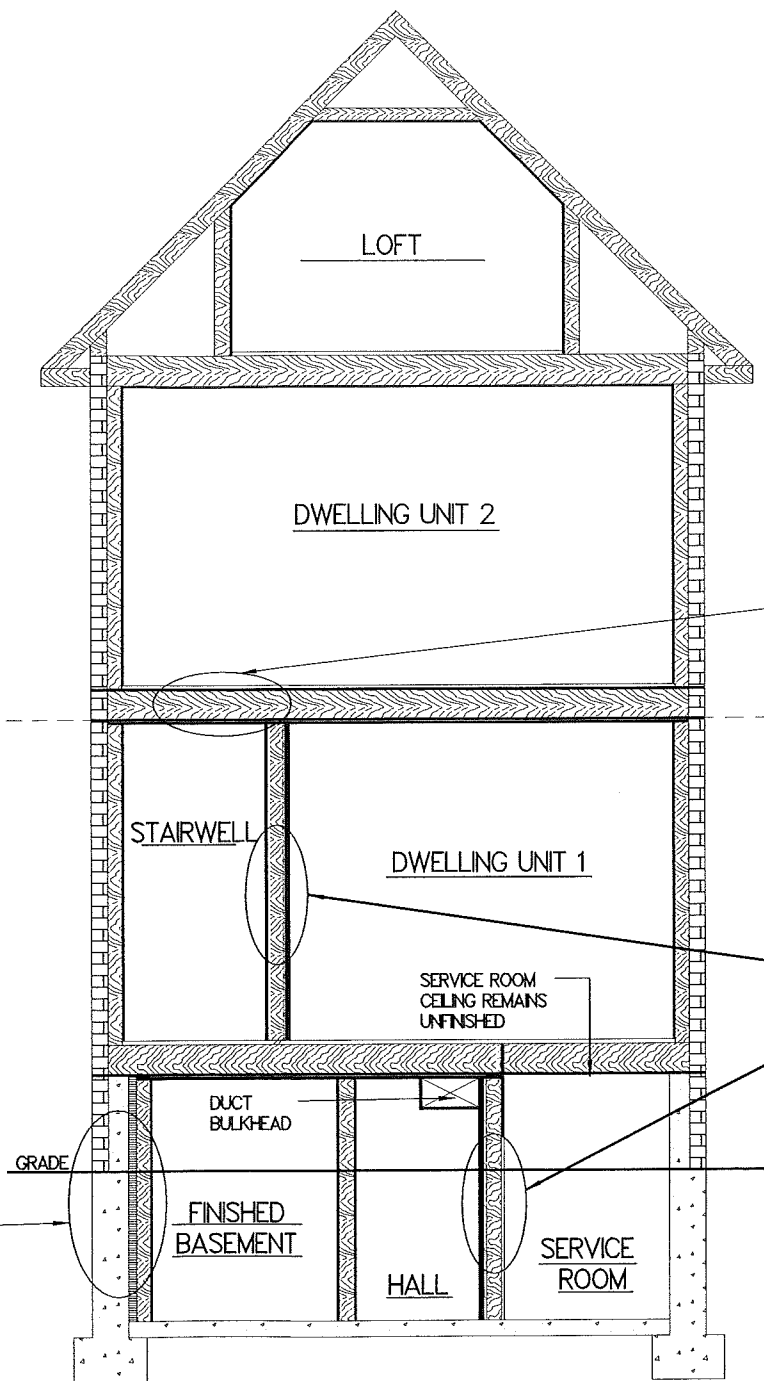


EXTERIOR FOUNDATION WALL DETAIL FOR NEW PORTIONS ONLY

**BATT INSULATION DETAIL**



EXTERIOR FOUNDATION WALL DETAIL FOR NEW PORTIONS ONLY



FLOOR ASSEMBLY (WITH METAL CHANNELS SPACED 16" O.C. TO ACHIEVE STC50): [F8D]  
 - EX. WOOD JOISTS @ 16" O.C.  
 - 6" THICK ABSORPTIVE MATERIAL IN CAVITY (FIBRE FROM ROCK/SLAG W/ MIN. 90mm & MIN. SURFACE AREA MASS OF 2.8 KG/SQ. M)  
 - RESILIENT METAL CHANNELS SPACED @ 16" O.C.  
 - 1 LAYER 5/8" TYPE X GYPSUM BOARD ON CEILING SIDE

GYPSUM BOARD INSIDE SERVICE ROOM TO EXTEND INTO JOIST CAVITY AND BUTTED TIGHTLY AGAINST FLOOR JOISTS AND SUBFLOOR ABOVE - SMALL GAPS TO BE CAULKED WITH FIRE BARRIER SEALANT IN ACCORDANCE WITH CAN/ULC S15

WALL ASSEMBLY: [W4A]  
 - NEW 2x4 STUD WALL SPACED 16" O.C.  
 - 3.5" THICK ABSORPTIVE MATERIAL  
 - RESILIENT METAL CHANNELS SPACED 16" O.C.  
 - 2 LAYERS 5/8" TYPE X GYPSUM BOARD ON CHANNEL SIDE  
 - 1 LAYER 5/8" TYPE X GYPSUM BOARD ON OTHER SIDE

FIRE RESISTANCE RATING FOR NEW PORTIONS OF CEILING (THROUGHOUT) AND SERVICE ROOM WALL



**LEAD DESIGNER & CONSULTANT** **KEN BEKENDAM**  
 kenbekendam@gmail.com  
 C: (616)-264-8788  
 (855) - KINGHMS (546-4467)

**LEAD ENGINEER** **ROBERT MENDEZ P.ENG.** 100054193  
 robertmendez@yahoo.com  
 C: (416) - 807-1572  
 www.legalsecondsuites.com



ADDRESS: **11 FAIRLEIGH AVE N  
 HAMILTON, ON**

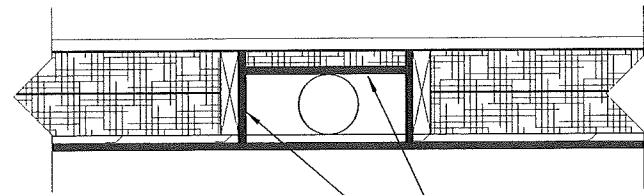
**CROSS SECTION 1 OF 2**

SCALE: **1/4" = 1'**

PROJECT: **2 UNIT  
 CONVERSION**

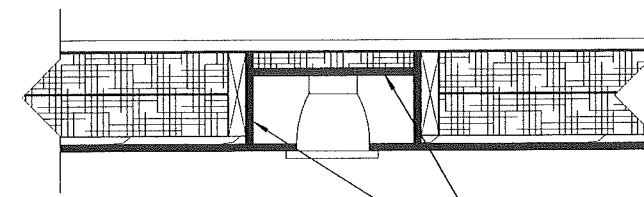
DATE: **APR 2020**

SHEET #: **A4.0**



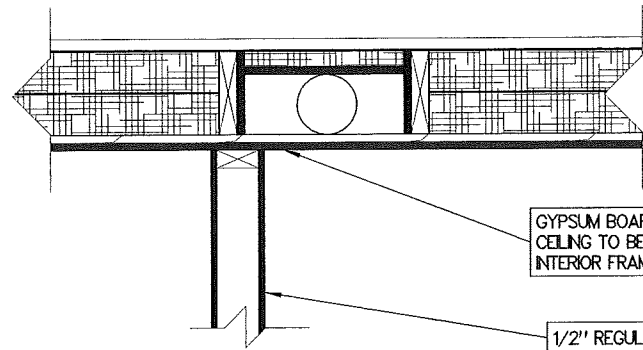
1 LAYER 5/8" TYPE X GYPSUM BOARD SURROUNDING VENT PIPE  
 NOTE: OPTION OF USING FIRE DAMPER FOR BATH FANS

FOR VENTS (BATH FANS, KITCHEN EXHAUSTS, & CLOTHES DRYERS)



1 LAYER 5/8" TYPE X GYPSUM BOARD SURROUNDING RECESSED LIGHTING (POTLIGHTS)

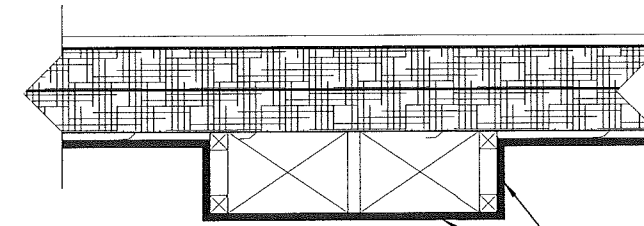
FOR RECESSED LIGHTING



GYPSUM BOARD OF FIRE RATED CEILING TO BE CONTINUOUS ABOVE INTERIOR FRAMED WALLS

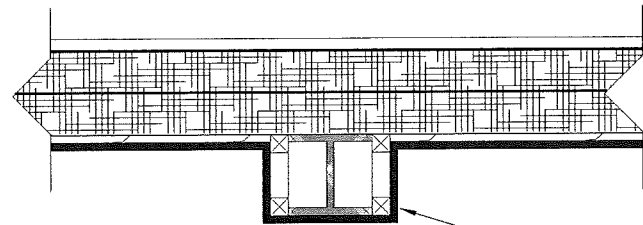
1/2" REGULAR GYPSUM BOARD

FOR INTERIOR PARTITIONS



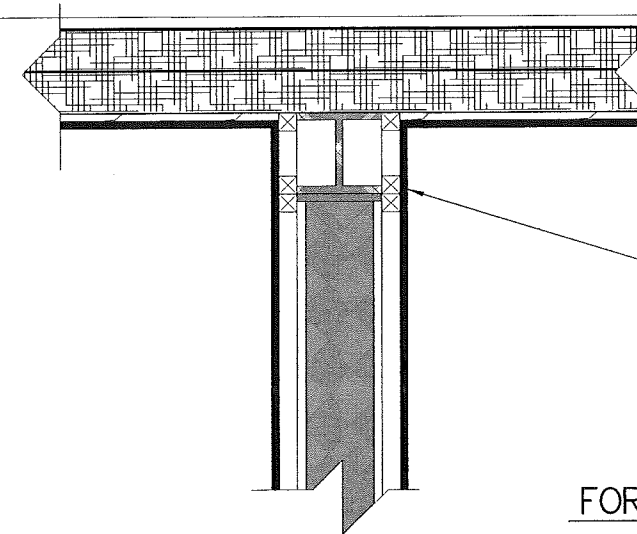
1 LAYER OF 5/8" TYPE X GYPSUM BOARD BELOW AND AROUND DUCTS

FOR DUCTS



1 LAYER OF 5/8" TYPE X GYPSUM BOARD AROUND BEAM

FOR BEAM



1 LAYER OF 5/8" TYPE X GYPSUM BOARD AROUND BEAM AND COLUMN CONNECTION

FOR STRUCTURAL BEAMS, COLUMNS & WALLS

ELECTRONIC STAMP



**KING HOMES**  
 DESIGN | BUILD | MANAGE

LEAD DESIGNER & CONSULTANT **KEN BEKENDAM**  
 kenbekendam@gmail.com  
 C: (616)-264-8788  
 (855) - KINGHMS (546-4467)

LEAD ENGINEER **ROBERT MENDEZ P.ENG. 100054193**  
 robertmendez@yahoo.com  
 C: (416) - 807-1572

www.legalsecondsuites.com



**LEGAL SECOND SUITES**

ADDRESS: 11 FAIRLEIGH AVE N  
 HAMILTON, ON

SCALE: 1/4" = 1'

DATE: APR 2020

CROSS SECTION 2 OF 2

PROJECT: 2 UNIT CONVERSION

SHEET #: A4.02