



Hamilton

## COMMITTEE OF ADJUSTMENT

City Hall, 5<sup>th</sup> floor, 71 Main Street West, Hamilton, ON L8P 4Y5  
Telephone (905) 546-2424, ext. 4221, 3935 Fax (905) 546-4202  
E-mail: [cofa@hamilton.ca](mailto:cofa@hamilton.ca)

# NOTICE OF PUBLIC HEARING

## Application for Consent/Land Severance

APPLICATION NUMBER: SC/B-20:34

SUBJECT PROPERTY: 860 Queenston Rd., Stoney Creek

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You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
  - Applicant/agent on file, or
  - Person likely to be interested in this application
- 

**APPLICANT(S):**

Owner: Silvercreek Business Park  
Agent: GSP Group Inc. c/o Sarah Knoll

**PURPOSE OF APPLICATION:**

To permit the conveyance of a parcel of land for residential purposes and to retain a parcel of land containing an existing commercial building.

**Severed lands:**

90 m<sup>±</sup> x 109 m<sup>±</sup> and an area of 9,753 m<sup>2</sup>±

**Retained lands:**

35m<sup>±</sup> x varies and an area of 2,672 m<sup>2</sup>±

This application will be heard by the Committee as shown below:

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**DATE:** Thursday, August 6<sup>th</sup>, 2020

**TIME:** 3:00 p.m.

**PLACE:** Via video link or call in (see attached sheet for details)

**To be streamed at** [www.hamilton.ca/committeeofadjustment](http://www.hamilton.ca/committeeofadjustment)  
**for viewing purposes only**

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### PUBLIC INPUT

**Written:** If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

**Orally:** If you would like to speak to this item at the hearing you may do so via video link or by calling in. Please see attached page for complete instructions, including deadlines for registering to participate.

## MORE INFORMATION

For more information on this matter, including access to drawings illustrating this request:

- Visit [www.hamilton.ca/committeeofadjustment](http://www.hamilton.ca/committeeofadjustment)
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935
- Email Committee of Adjustment staff at [cofa@hamilton.ca](mailto:cofa@hamilton.ca)

DATED: July 21<sup>st</sup>, 2020

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Jamila Sheffield,  
Secretary-Treasurer  
Committee of Adjustment

***Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public.***

# COMMITTEE OF ADJUSTMENT PARTICIPATION PROCEDURES

## Written Submissions

Members of the public who would like to participate in a Committee of Adjustment meeting are able to provide comments in writing or via email in advance of the meeting. Comments can be submitted by emailing [cofa@hamilton.ca](mailto:cofa@hamilton.ca) or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5<sup>th</sup> Floor, Hamilton, Ontario, L8P 4Y5. **Comments must be received by noon two days before the Hearing.**

Comments can also be placed in the drop box which is located at the back of the 1<sup>st</sup> Floor of City Hall, 71 Main Street West. All comments received by noon two business days before the meeting will be forwarded to the Committee members.

## Oral Submissions During the Virtual Meeting

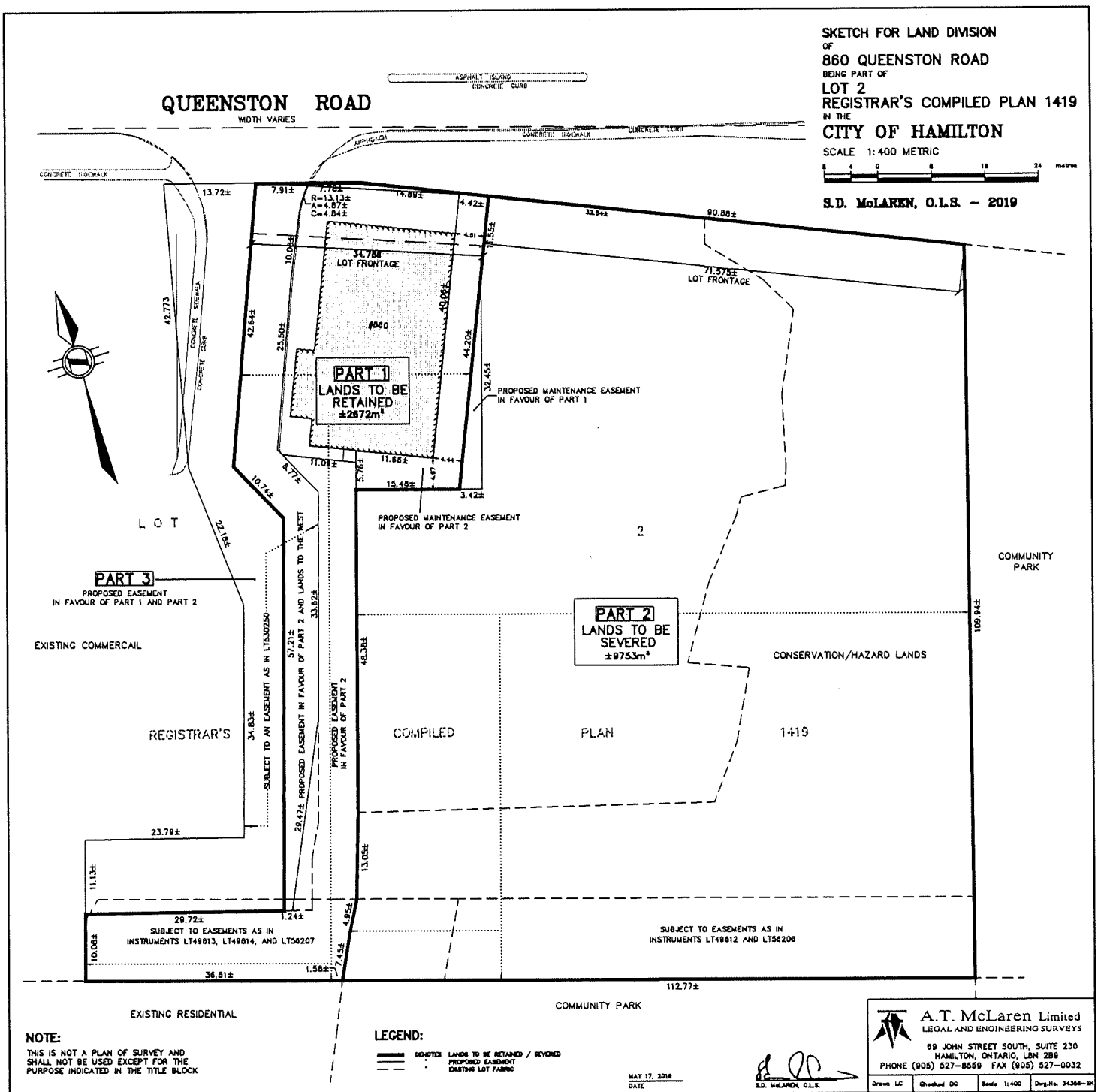
Members of the public are also able to provide oral comments regarding Committee of Adjustment Hearing items by participating through Webex via computer or phone. Participation in this format requires pre-registration in advance. Agents/owners will be sent a link to register via video, unless indicated otherwise. **Interested members of the public must register by noon the day before the hearing.**

To register to participate by Webex either via computer or phone, please contact Committee of Adjustment staff by email [cofa@hamilton.ca](mailto:cofa@hamilton.ca) or by phone at 905-546-2424 ext. 4221. The following information is required to register: Committee of Adjustment file number that you wish to speak to, name and address of the person wishing to speak, if they will be connecting via phone or video, and if applicable the phone number they will be using to call in. A separate registration for each person wishing to speak is required. Upon registering for a meeting, members of the public will be emailed a link for the Webex meeting. The link must not be shared with others as it is unique to the registrant.

All members of the public who register will be contacted by Committee Staff to confirm details of the registration prior to the Hearing and provide an overview of the public participation process.

We hope this is of assistance and if you need clarification or have any questions, please email [cofa@hamilton.ca](mailto:cofa@hamilton.ca) or by phone at 905-546-2424 ext. 4221.

Please note: Webex (video) participation requires either a compatible computer or smartphone and an application (app/program) must be downloaded by the interested party in order to participate. It is the interested party's responsibility to ensure that their device is compatible and operating correctly prior to the Hearing.





**Hamilton**

Planning and Economic Development Department  
Planning Division

20-172175

**Committee of Adjustment**  
City Hall

5th floor, 71 Main Street West  
Hamilton, Ontario L8P 4Y5

Phone (905) 546-2424, ext. 4221  
Fax (905) 546-4202

**APPLICATION FOR CONSENT TO SEVER LAND  
UNDER SECTION 53 OF THE PLANNING ACT**

Office Use Only			
Date Application Received: <u>June 17/20</u>	Date Application Deemed Complete:	Submission No.: <u>SC/B-20-34</u>	File No.:

**1 APPLICANT INFORMATION**

1.1, 1.2	NAME	ADDRESS	PHONE/FAX
Registered Owners(s)	Silvercreek Business Park Ltd. c/o	<div style="background-color: black; width: 100%; height: 100%;"></div>	
Applicant(s)*			
Agent or Solicitor	GSP Group Inc. c/o Sarah Knoll		

\* Owner's authorisation required if the applicant is not the owner.

1.3 All correspondence should be sent to ☐ Owner ☐ Applicant ☒ Agent/Solicitor

**2 LOCATION OF SUBJECT LAND** Complete the applicable lines

2.1 Area Municipality Hamilton	Lot	Concession	Former Township Stoney Creek
Registered Plan N°. 1419	Lot(s) 2	Reference Plan N°.	Part(s)
Municipal Address 860 Queenston Road			Assessment Roll N°.

2.2 Are there any easements or restrictive covenants affecting the subject land?

☒ Yes ☐ No

If YES, describe the easement or covenant and its effect:

Requirement of Site Plan approval. WE1343665 March 15, 2019. Access and servicing easements for the purposes of storm water drainage and ingress and egress of pedestrian and vehicles between 860 and 840 Queenston Rd and any successors.

**3 PURPOSE OF THE APPLICATION**

3.1 Type and purpose of proposed transaction: (check appropriate box)

a) Urban Area Transfer (do not complete Section 10):

- ☒ creation of a new lot  
☐ addition to a lot  
☐ an easement

Other: ☐ a charge  
☐ a lease  
☐ a correction of title

b) Rural Area / Rural Settlement Area Transfer (Section 10 must be completed):

- ☐ creation of a new lot  
☐ creation of a new non-farm parcel  
(i.e. a lot containing a surplus farm dwelling  
resulting from a farm consolidation)  
☐ addition to a lot
- Other: ☐ a charge  
☐ a lease  
☐ a correction of title  
☐ an easement

3.2 Name of person(s), if known, to whom land or interest in land is to be transferred, leased or charged:

Queenston Road Holdings Inc.

3.3 If a lot addition, identify the lands to which the parcel will be added:

**4 DESCRIPTION OF SUBJECT LAND AND SERVICING INFORMATION**

**4.1 Description of land intended to be Severed:**

Frontage (m)	Depth (m)	Area (m <sup>2</sup> or ha)
90.88m	109.94m	9,753 square meters

Existing Use of Property to be severed:

- ☐ Residential  
☐ Agriculture (includes a farm dwelling)  
☐ Other (specify) \_\_\_\_\_
- ☐ Industrial  
☐ Agricultural-Related
- ☐ Commercial  
☒ Vacant

Proposed Use of Property to be severed:

- ☐ Residential  
☐ Agriculture (includes a farm dwelling)  
☐ Other (specify) \_\_\_\_\_
- ☐ Industrial  
☐ Agricultural-Related
- ☐ Commercial  
☒ Vacant

Building(s) or Structure(s):

Existing: none

Proposed: Residential apartment building pursuant to ZAC-16-009, LPAT 170283 and DA-18-075 and UHOPA-16-01

Type of access: (check appropriate box)

- ☐ provincial highway  
☒ municipal road, seasonally maintained  
☐ municipal road, maintained all year
- ☒ right of way  
☐ other public road

Type of water supply proposed: (check appropriate box)

- ☒ publicly owned and operated piped water system  
☐ privately owned and operated individual well
- ☐ lake or other water body  
☐ other means (specify) \_\_\_\_\_

Type of sewage disposal proposed: (check appropriate box)

- ☒ publicly owned and operated sanitary sewage system  
☐ privately owned and operated individual septic system  
☐ other means (specify) \_\_\_\_\_

**4.2 Description of land intended to be Retained:**

Frontage (m)	Depth (m)	Area (m <sup>2</sup> or ha)
35m	Irregular	2,672 square meters

Existing Use of Property to be retained:

- ☐ Residential  
☐ Agriculture (includes a farm dwelling)  
☐ Other (specify) \_\_\_\_\_
- ☐ Industrial  
☐ Agricultural-Related
- ☒ Commercial  
☐ Vacant

Proposed Use of Property to be retained:

- ☐ Residential ☐ Industrial ☒ Commercial  
☐ Agriculture (includes a farm dwelling) ☐ Agricultural-Related ☐ Vacant  
☐ Other (specify) \_\_\_\_\_

Building(s) or Structure(s):

Existing: 2 storey commercial building

Proposed: none

Type of access: (check appropriate box)

- ☐ provincial highway ☐ right of way  
☒ municipal road, seasonally maintained ☐ other public road  
☐ municipal road, maintained all year

Type of water supply proposed: (check appropriate box)

- ☒ publicly owned and operated piped water system ☐ lake or other water body  
☐ privately owned and operated individual well ☐ other means (specify) \_\_\_\_\_

Type of sewage disposal proposed: (check appropriate box)

- ☒ publicly owned and operated sanitary sewage system  
☐ privately owned and operated individual septic system  
☐ other means (specify) \_\_\_\_\_

4.3 Other Services: (check if the service is available)

- ☒ electricity ☒ telephone ☒ school bussing ☒ garbage collection

## 5 CURRENT LAND USE

5.1 What is the existing official plan designation of the subject land?

Rural Hamilton Official Plan designation (if applicable): \_\_\_\_\_

Urban Hamilton Official Plan designation (if applicable) Mixed Use Med Density, High Density Res 1 and Natural Open Space

Please provide an explanation of how the application conforms with a City of Hamilton Official Plan.

See attached cover letter.

5.2 What is the existing zoning of the subject land?

If the subject land is covered by a Minister's zoning order, what is the Ontario Regulation Number? GC-32, RM5-11, P5

5.3 Are any of the following uses or features on the subject land or within 500 metres of the subject land, unless otherwise specified. Please check the appropriate boxes, if any apply.

Use or Feature	On the Subject Land	Within 500 Metres of Subject Land, unless otherwise specified (Indicate approximate distance)
An agricultural operation, including livestock facility or stockyard	<input type="checkbox"/>	

A land fill	<input type="checkbox"/>	
A sewage treatment plant or waste stabilization plant	<input type="checkbox"/>	
A provincially significant wetland	<input type="checkbox"/>	
A provincially significant wetland within 120 metres	<input type="checkbox"/>	
A flood plain	<input type="checkbox"/>	
An industrial or commercial use, and specify the use(s)	<input type="checkbox"/>	
An active railway line	<input type="checkbox"/>	
A municipal or federal airport	<input type="checkbox"/>	

**6 PREVIOUS USE OF PROPERTY**

- ☐ Residential      ☐ Industrial      ☒ Commercial RETAINED  
☐ Agriculture      ☒ Vacant SEVERED      ☐ Other (specify)

- 6.1 If Industrial or Commercial, specify use Office on RETAINED, Vacant on SEVERED
- 6.2 Has the grading of the subject land been changed by adding earth or other material, i.e., has filling occurred?  
☒ Yes      ☐ No      ☐ Unknown
- 6.3 Has a gas station been located on the subject land or adjacent lands at any time?  
☐ Yes      ☒ No      ☐ Unknown
- 6.4 Has there been petroleum or other fuel stored on the subject land or adjacent lands?  
☐ Yes      ☒ No      ☐ Unknown
- 6.5 Are there or have there ever been underground storage tanks or buried waste on the subject land or adjacent lands?  
☐ Yes      ☒ No      ☐ Unknown
- 6.6 Have the lands or adjacent lands ever been used as an agricultural operation where cyanide products may have been used as pesticides and/or biosolids was applied to the lands?  
☐ Yes      ☒ No      ☐ Unknown
- 6.7 Have the lands or adjacent lands ever been used as a weapons firing range?  
☐ Yes      ☒ No      ☐ Unknown
- 6.8 Is the nearest boundary line of the application within 500 metres (1,640 feet) of the fill area of an operational/non-operational landfill or dump?  
☐ Yes      ☒ No      ☐ Unknown
- 6.9 If there are existing or previously existing buildings, are there any building materials remaining on site which are potentially hazardous to public health (e.g., asbestos, PCB's)?  
☐ Yes      ☒ No      ☐ Unknown
- 6.10 Is there reason to believe the subject land may have been contaminated by former uses on the site or adjacent sites?  
☐ Yes      ☒ No      ☐ Unknown
- 6.11 What information did you use to determine the answers to 6.1 to 6.10 above?  
Knowledge of Landowner
- 6.12 If previous use of property is industrial or commercial or if YES to any of 6.2 to 6.10, a previous use inventory showing all former uses of the subject land, or if appropriate, the land adjacent to the subject land, is needed.  
Is the previous use inventory attached?  
☐ Yes      ☒ No      Retained land - vacant than office use. Severed land - always vacant.

**7 PROVINCIAL POLICY**

- 7.1 a) Is this application consistent with the Policy Statements Issued under subsection of the *Planning Act*? (Provide explanation)

☒ Yes      ☐ No

The application is consistent with the policy statements issued under the Planning Act as an underutilized lot will be severed and developed as per the approved OPA/ZBA/SPA applications to provide a range and mix of housing types and making a more efficient use of existing infrastructure.



~~See attached cover letter.~~

- b) Is this application consistent with the Provincial Policy Statement (PPS)?  
☒ Yes ☐ No (Provide explanation)

~~See attached cover letter.~~

The proposed severance is consistent with the PPS as it intensifies the area through developing a vacant underutilized parcel under approval of the OPA/ZBA and SPA applications, thereby efficiently using land and servicing. The severance complies with the PPS housing policies, by adding to the range of housing and increasing density through infill development and is transit supportive.

- c) Does this application conform to the Growth Plan for the Greater Golden Horseshoe?  
☒ Yes ☐ No (Provide explanation)

~~See attached cover letter.~~

The severance application conforms with the applicable policies of the Growth Plan as the lands are within the built up area, utilizing existing municipal water and sanitary infrastructure. The proposed severance and development, pursuant to the OPA/ZBA and SPA approvals will add to the mix of housing forms, contributing to meeting the intensification target.

- d) Are the subject lands within an area of land designated under any provincial plan or plans? (If YES, provide explanation on whether the application conforms or does not conflict with the provincial plan or plans.)  
☐ Yes ☒ No

- e) Are the subject lands subject to the Niagara Escarpment Plan?  
☐ Yes ☒ No

If yes, is the proposal in conformity with the Niagara Escarpment Plan?

☐ Yes ☐ No  
(Provide Explanation)

- f) Are the subject lands subject to the Parkway Belt West Plan?  
☐ Yes ☒ No

If yes, is the proposal in conformity with the Parkway Belt West Plan?  
☐ Yes ☐ No (Provide Explanation)

- g) Are the subject lands subject to the Greenbelt Plan?  
☐ Yes ☒ No

If yes, does this application conform with the Greenbelt Plan?  
☐ Yes ☐ No (Provide Explanation)

**8 HISTORY OF THE SUBJECT LAND**

- 8.1 Has the subject land ever been the subject of an application for approval of a plan of subdivision or a consent under sections 51 or 53 of the *Planning Act*?  
☐ Yes ☒ No ☐ Unknown

If YES, and known, indicate the appropriate application file number and the decision made on the application.

- 8.2 If this application is a re-submission of a previous consent application, describe how it has been changed from the original application.

- 8.3 Has any land been severed or subdivided from the parcel originally acquired by the owner of the subject land? ☐ Yes ☒ No

If YES, and if known, provide for each parcel severed, the date of transfer, the name of the transferee and the land use.

- 8.4 How long has the applicant owned the subject land?  
+20 years

- 8.5 Does the applicant own any other land in the City? ☐ Yes ☒ No

If YES, describe the lands in "11 - Other Information" or attach a separate page.

**9 OTHER APPLICATIONS**

- 9.1 Is the subject land currently the subject of a proposed official plan amendment that has been submitted for approval? ☐ Yes ☒ No ☐ Unknown

If YES, and if known, specify file number and status of the application.

- 9.2 Is the subject land the subject of any other application for a Minister's zoning order, zoning by-law amendment, minor variance, consent or approval of a plan of subdivision?  
☒ Yes ☐ No ☐ Unknown

If YES, and if known, specify file number and status of the application(s).

File number ZAC-16-009

Status Approved through LPAT File PL170284

**10 RURAL APPLICATIONS**

- 10.1 Rural Hamilton Official Plan Designation(s)

- ☐ Agricultural ☐ Rural ☐ Specialty Crop  
☐ Mineral Aggregate Resource Extraction ☐ Open Space ☐ Utilities  
☐ Rural Settlement Area (specify) \_\_\_\_\_

Settlement Area

Designation

If proposal is for the creation of a non-farm parcel resulting from a farm consolidation, indicate the existing land use designation of the abutting or non-abutting farm operation.

- 10.2 Type of Application (select type and complete appropriate sections)

- ☐ Agricultural Severance or Lot Addition  
☐ Agricultural Related Severance or Lot Addition  
☐ Rural Resource-based Commercial Severance or Lot Addition  
☐ Rural Institutional Severance or Lot Addition

(Complete Section 10.3)

- ☐ Rural Settlement Area Severance or Lot Addition
- ☐ Surplus Farm Dwelling Severance from an Abutting Farm Consolidation (Complete Section 10.4)
- ☐ Surplus Farm Dwelling Severance from a Non-Abutting Farm Consolidation (Complete Section 10.5)

### 10.3 Description of Lands

#### a) Lands to be Severed:

Frontage (m): (from Section 4.1)	Area (m <sup>2</sup> or ha): (from in Section 4.1)
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Existing Land Use: \_\_\_\_\_ Proposed Land Use: \_\_\_\_\_

#### b) Lands to be Retained:

Frontage (m): (from Section 4.2)	Area (m <sup>2</sup> or ha): (from Section 4.2)
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Existing Land Use: \_\_\_\_\_ Proposed Land Use: \_\_\_\_\_

### 10.4 Description of Lands (Abutting Farm Consolidation)

#### a) Location of abutting farm:

\_\_\_\_\_  
(Street) (Municipality) (Postal Code)

#### b) Description abutting farm:

Frontage (m):	Area (m <sup>2</sup> or ha):
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Existing Land Use(s): \_\_\_\_\_ Proposed Land Use(s): \_\_\_\_\_

#### c) Description of consolidated farm (excluding lands intended to be severed for the surplus dwelling):

Frontage (m):	Area (m <sup>2</sup> or ha):
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Existing Land Use: \_\_\_\_\_ Proposed Land Use: \_\_\_\_\_

#### d) Description of surplus dwelling lands proposed to be severed:

Frontage (m): (from Section 4.1)	Area (m <sup>2</sup> or ha): (from Section 4.1)
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Front yard set back: \_\_\_\_\_

#### e) Surplus farm dwelling date of construction:

- ☐ Prior to December 16, 2004 ☐ After December 16, 2004

#### f) Condition of surplus farm dwelling:

- ☐ Habitable ☐ Non-Habitable

#### g) Description of farm from which the surplus dwelling is intended to be severed (retained parcel):

Frontage (m): (from Section 4.2)	Area (m <sup>2</sup> or ha): (from Section 4.2)
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Existing Land Use: \_\_\_\_\_ Proposed Land Use: \_\_\_\_\_

### 10.5 Description of Lands (Non-Abutting Farm Consolidation)

#### a) Location of non-abutting farm

\_\_\_\_\_  
(Street) (Municipality) (Postal Code)

b) Description of non-abutting farm

Frontage (m):	Area (m2 or ha):
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Existing Land Use(s): \_\_\_\_\_ Proposed Land Use(s): \_\_\_\_\_

c) Description of surplus dwelling lands intended to be severed:

Frontage (m): (from Section 4.1)	Area (m2 or ha): (from Section 4.1)
----------------------------------	-------------------------------------

Front yard set back: \_\_\_\_\_

d) Surplus farm dwelling date of construction:

☐ Prior to December 16, 2004      ☐ After December 16, 2004

e) Condition of surplus farm dwelling:

☐ Habitable      ☐ Non-Habitable

f) Description of farm from which the surplus dwelling is intended to be severed (retained parcel):

Frontage (m): (from Section 4.2)	Area (m2 or ha): (from Section 4.2)
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Existing Land Use: \_\_\_\_\_ Proposed Land Use: \_\_\_\_\_

11 OTHER INFORMATION

Is there any other information that you think may be useful to the Committee of Adjustment or other agencies in reviewing this application? If so, explain below or attach on a separate page.

See attached cover letter.

Archaeological Assessment completed, acknowledged by Ministry and supported by City Staff (processed through OPA/ZBA)

Access agreement/right of way providing access to the subject site, to the satisfaction of the City Solicitor (processed through SPA)

12 SKETCH (Use the attached Sketch Sheet as a guide)

12.1 The application shall be accompanied by a sketch showing the following in metric units:

- the boundaries and dimensions of any land abutting the subject land that is owned by the owner of the subject land;
- the approximate distance between the subject land and the nearest township lot line or landmark such as a bridge or railway crossing;
- the boundaries and dimensions of the subject land, the part that is intended to be severed and the part that is intended to be retained;
- the location of all land previously severed from the parcel originally acquired by the current owner of the subject land;
- the approximate location of all natural and artificial features (for example, buildings, barns, railways, roads, watercourses, drainage ditches, banks of rivers or streams, wetlands, wooded areas, wells and septic tanks) that,
  - are located on the subject land and on land that is adjacent to it, and
  - in the applicant's opinion, may affect the application;
- the current uses of land that is adjacent to the subject land (for example, residential, agricultural or commercial);
- the location, width and name of any roads within or abutting the subject land, indicating whether it is an unopened road allowance, a public travelled road, a private



SC/B-20:34  
SHAPING GREAT COMMUNITIES

June 12, 2020

File No: 14125

Jamila Sheffield, Secretary Treasurer, Committee of Adjustment  
Planning & Economic Development Department  
City of Hamilton  
71 Main Street West, 5<sup>th</sup> Floor  
Hamilton, ON L8P 4Y5

Dear Ms. Sheffield:

**Re: 860 Queenston Road, Hamilton  
Consent to Sever Application**

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GSP Group is the planning representative for Silvercreek Business Park Ltd., the owner of the above noted lands. An Official Plan Amendment ("OPA") and Zoning By-law Amendment ("ZBA") were approved by the Local Planning Appeal Tribunal ("LPAT") on July 3, 2018 (PL170282) permitting the development of a 19-storey residential building. The City files for the OPA and ZBA are UHOPA-16-01 and ZAC-16-009, respectively. Final site plan approval has been granted, under City file number DA-18-075.

An application for consent to sever is requested in order to create a separate lot of land in which funding can be obtained to construct the affordable housing/market rental building. The intention is to have separate ownership for the new building from the existing commercial building on the site. Specifically, Silvercreek Business Park Ltd. will retain ownership of the lands containing the existing building, and Queenston Road Holdings Inc. will obtain ownership of the severed lands to construct the apartment building.

**Important notes:**

- The site specific zoning was written to allow for the division of land.
- An Archaeological Assessment was submitted to the City and the Ministry of Tourism, Culture and Sport. The Province acknowledged receipt in a letter

PLANNING | URBAN DESIGN | LANDSCAPE ARCHITECTURE

72 Victoria Street South, Suite 201, Kitchener, ON N2G 4Y9 519 569 8883  
162 Locke Street South, Suite 200, Hamilton, ON L8P 4A9 905 572 7477  
gspgroup.ca

In support of this Consent to Sever application, please find enclosed the following:

- Two (2) copies of the completed application form;
- One (1) cheque in the amount of \$2,845.00 made payable to the City of Hamilton for the Standard Application Fee;
- One (1) cheque in the amount of \$805.00 made payable to the Hamilton Conservation Authority for the plan review fee;
- Three (3) 11" x 17" copies of the consent sketch, prepared by ATM McLaren Ltd (dated May 17, 2019).
- Digital submission.

Should you have any questions or require any additional information, please do not hesitate to contact me at 905-572-7477 or via email at [sknoll@gspgroup.ca](mailto:sknoll@gspgroup.ca)

Yours truly

**GSP Group Inc.**



Sarah Knoll, BES, MCIP, RPP  
Senior Planner

cc. Quenston Road Holdings Inc.  
Silvercreek Business Park Ltd.

# QUEENSTON ROAD

WIDTH VARIES

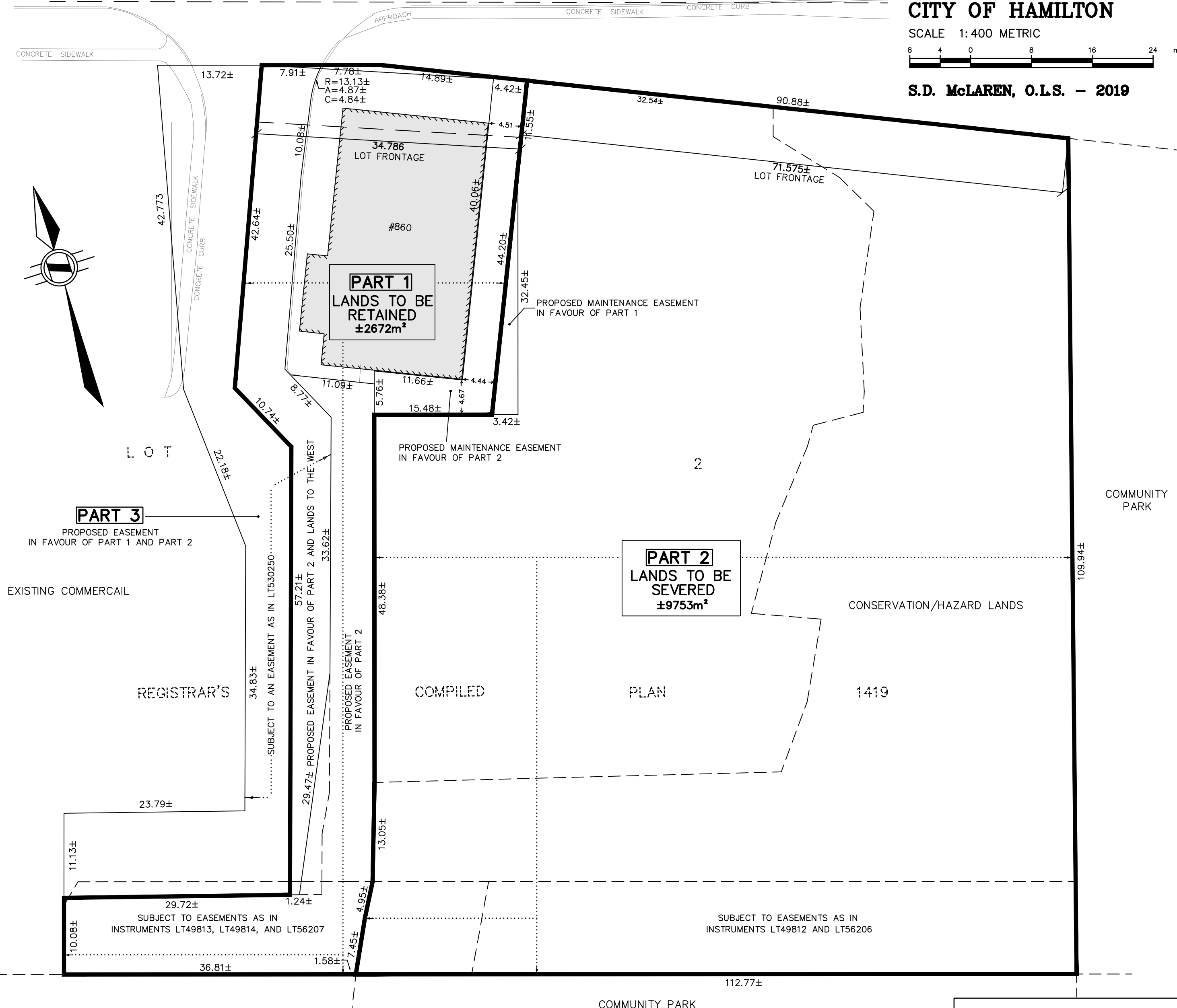
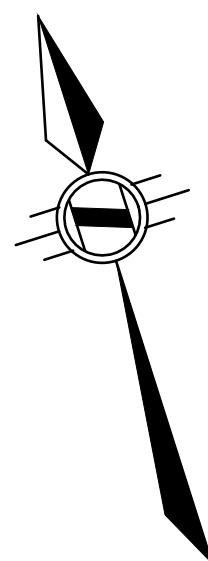
ASPHALT ISLAND  
CONCRETE CURB

SKETCH FOR LAND DIVISION  
OF  
860 QUEENSTON ROAD  
BEING PART OF  
LOT 2  
REGISTRAR'S COMPILED PLAN 1419  
IN THE  
CITY OF HAMILTON

SCALE 1:400 METRIC

8 4 0 8 16 24 metres

S.D. McLAREN, O.L.S. - 2019



**NOTE:**  
THIS IS NOT A PLAN OF SURVEY AND  
SHALL NOT BE USED EXCEPT FOR THE  
PURPOSE INDICATED IN THE TITLE BLOCK

## LEGEND:

— DENOTES LANDS TO BE RETAINED / SEVERED  
--- PROPOSED EASEMENT  
--- EXISTING LOT FABRIC

MAY 17, 2019  
DATE

*S.D. McLaren*  
S.D. McLAREN, O.L.S.



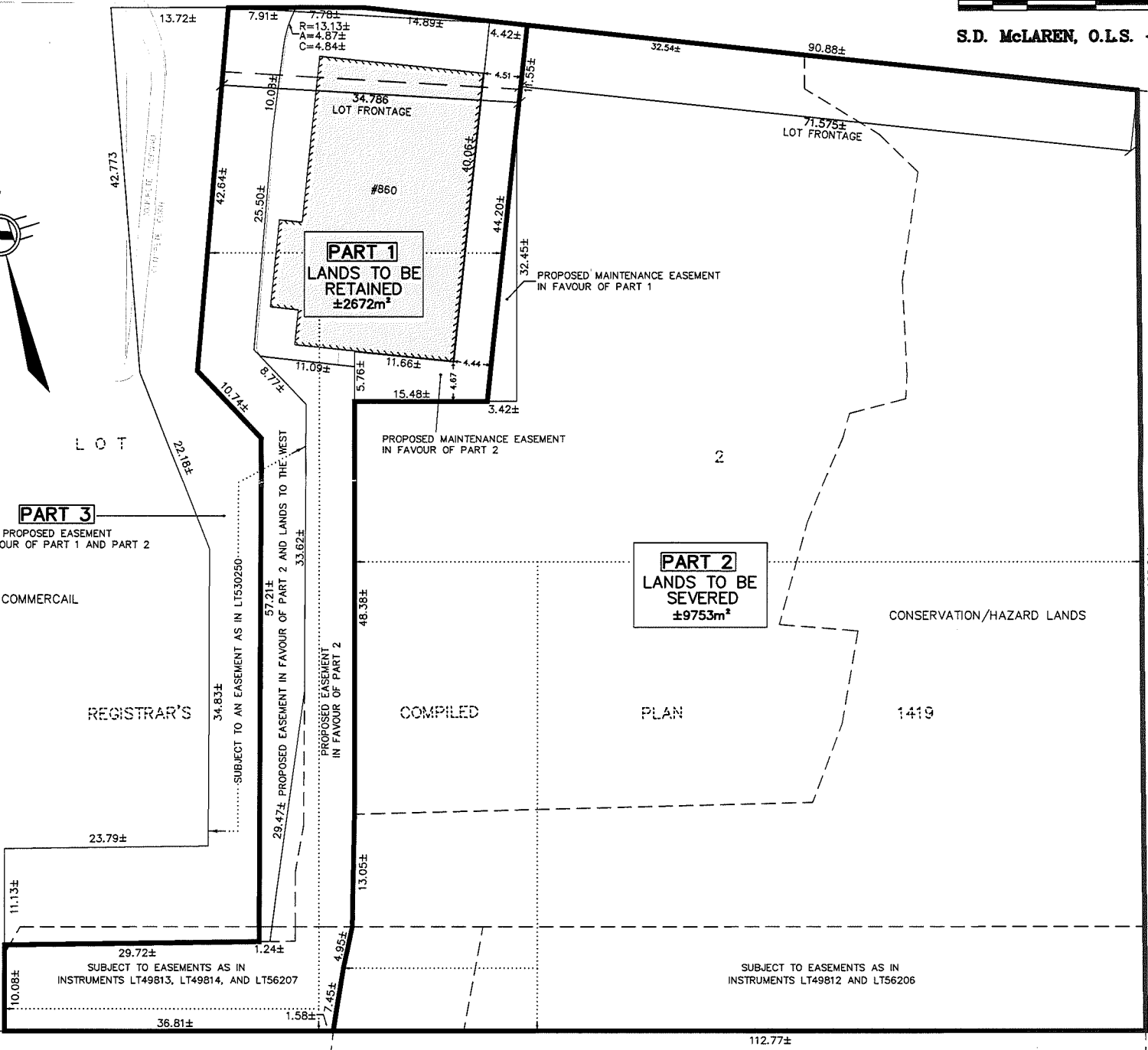
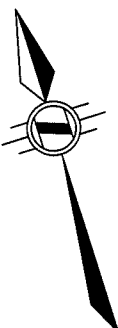
**A.T. McLaren Limited**  
LEGAL AND ENGINEERING SURVEYS

69 JOHN STREET SOUTH, SUITE 230  
HAMILTON, ONTARIO, L8N 2B9  
PHONE (905) 527-8559 FAX (905) 527-0032

Drawn LC Checked DG Scale 1:400 Dwg.No. 34356-SK

QUEENSTON ROAD  
WIDTH VARIES

SKETCH FOR LAND DIVISION  
OF  
860 QUEENSTON ROAD  
BEING PART OF  
LOT 2  
REGISTRAR'S COMPILED PLAN 1419  
IN THE  
CITY OF HAMILTON  
SCALE 1:400 METRIC  
S.D. McLAREN, O.L.S. - 2019



**PART 3**  
PROPOSED EASEMENT  
IN FAVOUR OF PART 1 AND PART 2

EXISTING COMMERCIAL

REGISTRAR'S

COMPILED

PLAN

CONSERVATION/HAZARD LANDS

**NOTE:**  
THIS IS NOT A PLAN OF SURVEY AND  
SHALL NOT BE USED EXCEPT FOR THE  
PURPOSE INDICATED IN THE TITLE BLOCK

**LEGEND:**  
— DENOTES LANDS TO BE RETAINED / SEVERED  
--- PROPOSED EASEMENT  
--- EXISTING LOT FABRIC

MAY 17, 2019  
DATE

S.D. McLAREN, O.L.S.

**A.T. McLaren Limited**  
LEGAL AND ENGINEERING SURVEYS  
69 JOHN STREET SOUTH, SUITE 230  
HAMILTON, ONTARIO, L8N 2B9  
PHONE (905) 527-8559 FAX (905) 527-0032

Drawn LC Checked DG Scale 1:400 Dwg.No. 34356-SK

SC/B-20:34



# QUEENSTON ROAD

WIDTH VARIES

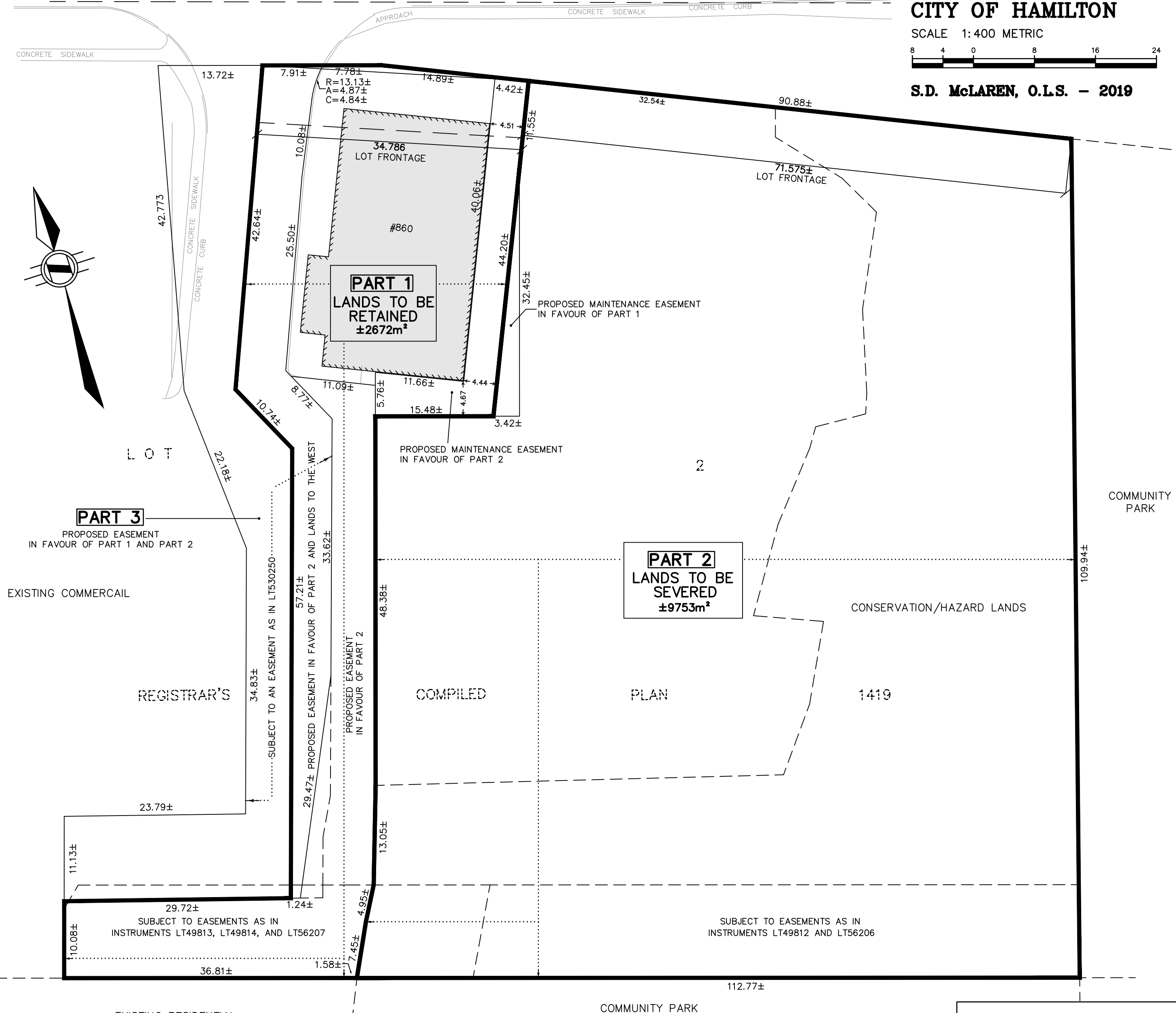
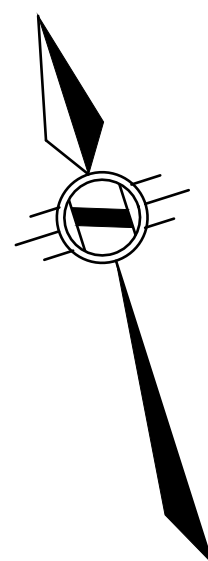
ASPHALT ISLAND  
CONCRETE CURB

SKETCH FOR LAND DIVISION  
OF  
860 QUEENSTON ROAD  
BEING PART OF  
LOT 2  
REGISTRAR'S COMPILED PLAN 1419  
IN THE  
CITY OF HAMILTON

SCALE 1:400 METRIC



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