



Hamilton

## COMMITTEE OF ADJUSTMENT

City Hall, 5<sup>th</sup> floor, 71 Main Street West, Hamilton, ON L8P 4Y5  
Telephone (905) 546-2424, ext. 4221, 3935 Fax (905) 546-4202  
E-mail: [cofa@hamilton.ca](mailto:cofa@hamilton.ca)

# **NOTICE OF PUBLIC HEARING** **Minor Variance**

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**You are receiving this notice because you are either:**

- Assessed owner of a property located within 60 metres of the subject property
  - Applicant/agent on file, or
  - Person likely to be interested in this application
- 

**APPLICATION NO.:** HM/A-20:119

**APPLICANTS:** Owner: Linda Yuk Ning Chick  
Agent: Fung Ying Carol Tsang

**SUBJECT PROPERTY:** Municipal address **352 Beach Blvd., Hamilton**

**ZONING BY-LAW:** Zoning By-law 05-200, as Amended by By-law 19-062

**ZONING:** C1 district (Residential Character Commercial)

**PROPOSAL:** To permit the construction of a new single detached dwelling notwithstanding that;

1. A maximum yard of 12.0m shall be permitted from the Beach Blvd street line and maximum yard of 39.43m shall be permitted from the QEW street line instead of the maximum 3.0m yard abutting a street permitted.
2. A minimum parking space size width of 2.7m shall be permitted instead of the minimum 3.0m parking space size width required.
3. Tandem/stacked parking may be permitted for single detached dwelling for a maximum of two (2) parking spaces whereas tandem parking is not permitted for single detached dwellings.
4. The minimum required 6.0m wide manoeuvring aisle for the two (2) parking spaces located within the private garage may be obstructed by another vehicle whereas the By-law requires an unobstructed 6.0m wide manoeuvring aisle for each parking space.

**Notes:**

The lands are subject to Site Plan Control DAB-20-068; however, this application is currently under review. Please note, further variances may be required at such time that a full zoning review is conducted on the proposal.

The applicant requested a variance to Hamilton Zoning By-law 6593; however, these lands are now under Hamilton Zoning By-law 05-200 and the requested variance is no longer applicable.

The Zoning By-law requires a minimum side yard of 1.5m. The north side yard dimension has not been measured to the nearest part of the building. Therefore, further variances may be required.

Where the driveway is provided in the front yard all other portions of the front yard shall be landscaped area. Insufficient details were provided from which to determine compliance; as such, further variances may be required.

The applicant shall ensure that the parking spaces and the driveways are maintained with a stable surface such as asphalt, concrete or other hard-surfaced material, crushed stone or gravel, and shall be maintained in a dust free condition; otherwise, further variances will be required.

This application will be heard by the Committee as shown below:

**DATE:** Thursday, August 6th, 2020  
**TIME:** 3:05 p.m.  
**PLACE:** Via video link or call in (see attached sheet for details)  
**To be streamed at [www.hamilton.ca/committeeofadjustment](http://www.hamilton.ca/committeeofadjustment) for viewing purposes only**

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## PUBLIC INPUT

**Written:** If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

**Orally:** If you would like to speak to this item at the hearing you may do so via video link or by calling in. Please see attached page for complete instructions, including deadlines for registering to participate.

## MORE INFORMATION

For more information on this matter, including access to drawings illustrating this request:

- Visit [www.hamilton.ca/committeeofadjustment](http://www.hamilton.ca/committeeofadjustment)
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935
- Email Committee of Adjustment staff at [cofa@hamilton.ca](mailto:cofa@hamilton.ca)

DATED: July 21, 2020.

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Jamila Sheffield,  
Secretary-Treasurer  
Committee of Adjustment

***Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public.***

BAYSIDE AVENUE

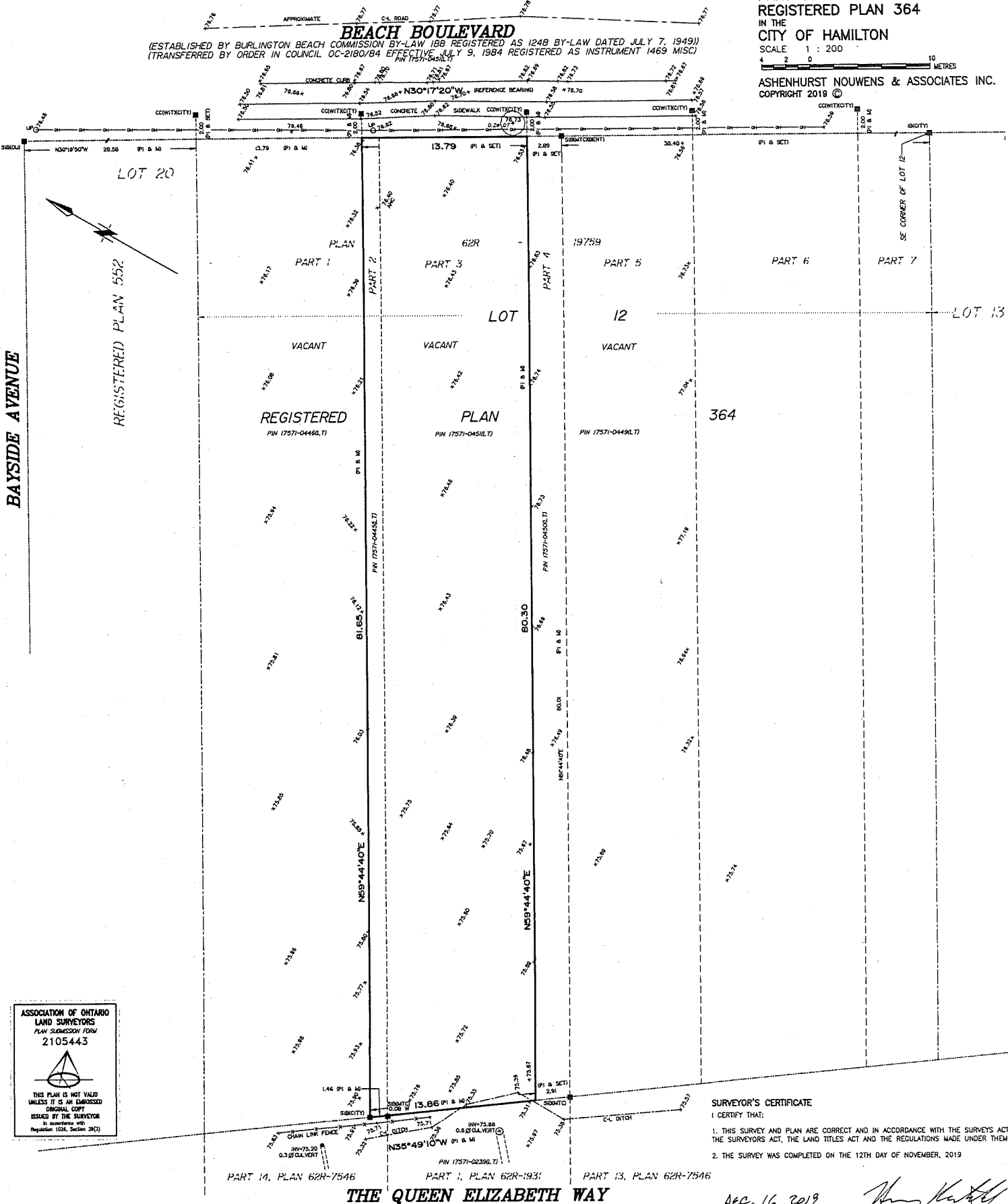
REGISTERED PLAN 552

BEACH BOULEVARD  
(ESTABLISHED BY BURLINGTON BEACH COMMISSION BY-LAW 188 REGISTERED AS 1248 BY-LAW DATED JULY 7, 1949)  
(TRANSFERRED BY ORDER IN COUNCIL OC-2180/84 EFFECTIVE JULY 9, 1984 REGISTERED AS INSTRUMENT 1469 MISC)  
PIN 17571-0458.7

TOPOGRAPHIC SURVEY OF  
PART OF LOT 12  
REGISTERED PLAN 364  
IN THE  
CITY OF HAMILTON

SCALE 1 : 200

ASHENHURST NOUWENS & ASSOCIATES INC.  
COPYRIGHT 2019 ©



ASSOCIATION OF ONTARIO  
LAND SURVEYORS  
PLAN SUBMISSION FORM  
2105443

THIS PLAN IS NOT VALID  
UNLESS IT IS AN EMBOSSED  
ORIGINAL COPY  
ISSUED BY THE SURVEYOR  
In accordance with  
Regulation 1026, Section 28(1)

- LEGEND
- DENOTES FOUND
  - DENOTES PLANTED
  - DENOTES IRON BAR
  - DENOTES STANDARD IRON BAR
  - DENOTES ROUND IRON BAR
  - DENOTES MEASURED
  - DENOTES ORIGIN UNKNOWN
  - DENOTES WITNESS
  - DENOTES PLAN 62R-19759
  - DENOTES CHAIN LINK FENCE
  - DENOTES CONIFEROUS TREE
  - DENOTES DECIDUOUS TREE
  - DENOTES METAL FENCE
  - DENOTES MANHOLE
  - DENOTES OVERHEAD UTILITY
  - DENOTES UTILITY POLE
  - DENOTES CITY OF HAMILTON
  - DENOTES MINISTRY OF TRANSPORTATION & COMMUNICATION

BEARING NOTE  
BEARINGS ARE GRID AND ARE REFERRED TO THE  
LIMIT OF WEST LIMIT OF BEACH BOULEVARD AS  
SHOWN ON PLAN 62R-19759 HAVING A BEARING  
OF N30°17'20"W

BENCHMARK  
CITY OF HAMILTON BENCHMARK No. 001199110003  
ELEVATION=76.602 (DATUM CGVD 1928:1978)

METRIC NOTE  
DISTANCES AND ELEVATIONS SHOWN ON THIS PLAN ARE IN METRES AND  
CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

REGISTERED EASEMENTS AND/OR RIGHT-OF-WAY.  
NONE

THIS SURVEY WAS PREPARED FOR CAROL TSANG AND THE UNDERSIGNED ACCEPTS  
NO RESPONSIBILITY FOR USE BY OTHER PARTIES.

SURVEYOR'S CERTIFICATE  
I CERTIFY THAT:

1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT,  
THE SURVEYORS ACT, THE LAND TITLES ACT AND THE REGULATIONS MADE UNDER THEM.
2. THE SURVEY WAS COMPLETED ON THE 12TH DAY OF NOVEMBER, 2019

Dec. 16, 2019  
DATE

HARRY KALANTZAKOS  
ONTARIO LAND SURVEYOR

ASHENHURST NOUWENS & ASSOCIATES INC.  
PROFESSIONAL ENGINEERS & ONTARIO LAND SURVEYORS  
225 KING WILLIAM STREET, SUITE 204, HAMILTON, ONTARIO L8R 1B1  
TELEPHONE: (905) 529-6316  
(905) 529-4314  
FAX: (905) 529-6651  
e-mail: an@AshenhurstNouwens.ca

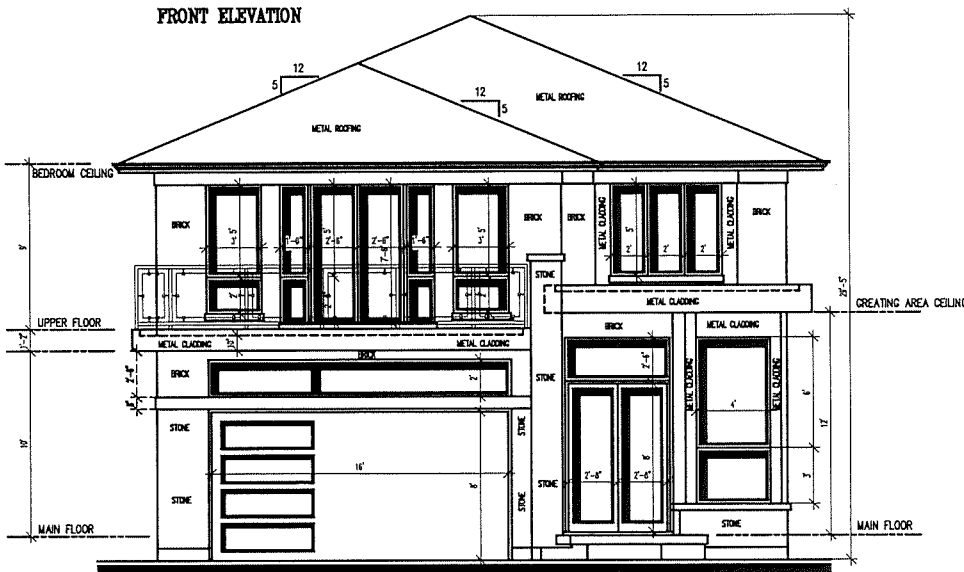
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GENERAL NOTES:

1. ALL CONSTRUCTION SHALL CONFORM TO THE O.B.C. AND LOCAL AUTHORITY HAVING JURISDICTION.
2. DO NOT SCALE DRAWINGS. CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO COMMENCING CONSTRUCTION.
3. ALL WOOD MEMBERS TO BE CONSTRUCTION SPRUCE #2, UNLESS NOTED OTHERWISE.
4. INSTALL DOUBLE JOISTS UNDER ALL PARALLEL PARTITIONS.
5. ALL CONSTRUCTION BETWEEN CHIMNEY AND CHIMNEY UNIT SHALL PROVIDE AN EFFECTIVE BARRIER FROM GAS AND EXHAUST. DOOR TO HAVE WEATHER STRIP AND SELF CLOSER.
6. HEAT TRANSFER, AIR LEAKAGE & CONDENSATION CONTROL TO CONFORM TO SECTION 9.25. OF THE O.B.C.
7. MECHANICAL VENTILATION TO CONFORM TO SECTION 9.22.1 OF THE O.B.C.
8. RESISTANCE TO FORCED ENTRY TO CONFORM TO SECTION 9.8.1 OF THE O.B.C.
9. FIREPLACE TO CONFORM TO SEC. 9.22 OF THE O.B.C. CHIMNEY TO CONFORM TO SEC. 9.21 OF THE O.B.C.
10. ANY DEVIATION FROM APPROVED PLAN MUST BE APPROVED BY LOCAL BUILDING DEPARTMENT.
11. SIZES OF ALL BEAMS AND UNITS MUST BE CONFIRMED UPON FINAL TRUSS LAY OUT.
12. STEEL : 40L21-W 300K #40L21 STEEL BEAM WITH WELDED PLATE 1'-4" x 1/2" & 3/8" THICK BRACKETS @ 24" O.C TO SUPPORT BRICK. ALL BRICK VENEER ANGEL IRON UNITS TO BE ANCHORED AT 24" O.C TO PREVENT TWISTING.
13. THERMAL DESIGN & INSULATION AS PER SB-12, TABLE 3.1.1.2A(P)-AL.
14. STAIRS, RAMPS, HANDRAILS & GUARDS AS PER SECTION 9.8.1 OF THE O. B. C. ATTACHMENT OF HANDRAILS AS PER SUPPLEMENTARY STANDARDS TO THE O. B. C. SB-7.
15. ALL WORKS SHALL BE PERFORMED BY QUALIFIED AND LICENSED CONTRACTORS.
16. ALL CONCRETE MATERIALS AND WORKMANSHIP TO SEA A23.1, 2 & 3.
17. THERMAL RESISTANCE OF WINDOWS AS PER SB-12. THERMAL RESISTANCE OF DOORS AS PER SB-12, TABLE 3.1.1.2A(P) - AL.

TO PERFORM ACTUAL CONSTRUCTION THE BUILDER SHALL USE SET OF DRAWINGS  
SEALED - THEREFORE APPROVED - BY THE LOCAL BUILDING DEPARTMENT



PROPOSED RESIDENCE  
352 BEACH BOULEVARD  
HAMILTON, Ontario

ELEVATION

DATE:	MAY 14, 2020
SCALE:	1/4"=1'-0"
DWG BY:	M.T.
FILE:	19138

DWG No.

5 OF 8

RECOGNITION INFORMATION

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

MLO TRULIA

ASHBURNHURST HOUNES & ASSOCIATES INC.

ICN: 24457

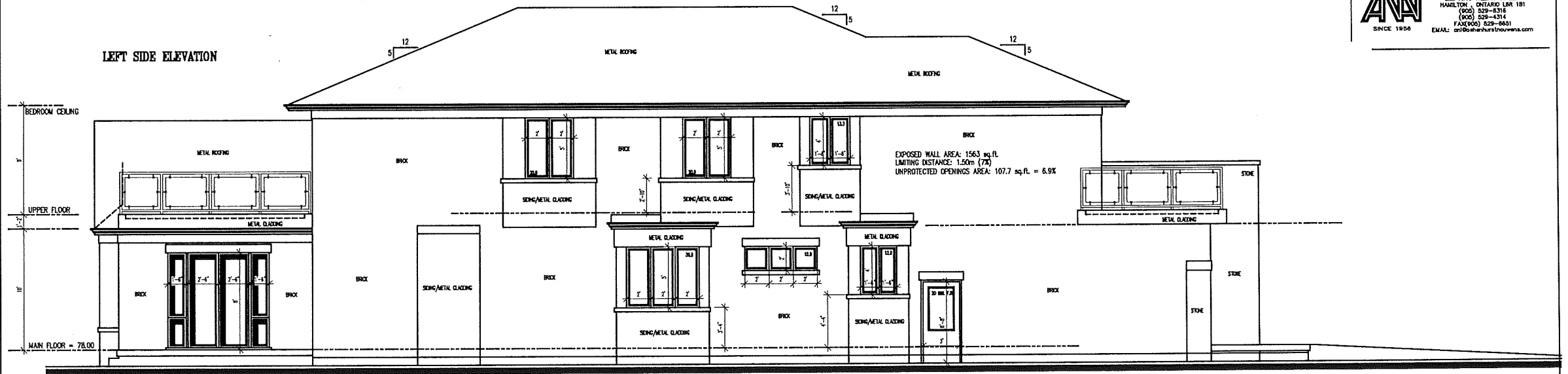
ICN: 30028

Signature



NOT ISSUED FOR CONSTRUCTION  
UNTIL SIGNED AND DATED

# LEFT SIDE ELEVATION



## GENERAL NOTES:

### GENERAL NOTES:

1. ALL CONSTRUCTION SHALL CONFORM TO THE O.B.C. AND LOCAL AUTHORITY HAVING JURISDICTION.
2. DO NOT SCALE DRAWINGS. CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO COMMENCING CONSTRUCTION.
3. ALL WOOD MEMBERS TO BE CONSTRUCTION SPRUCE No.2, UNLESS NOTED OTHERWISE.
4. INSTALL DOUBLE JOISTS UNDER ALL PARALLEL PARTITIONS.
5. ALL CONSTRUCTION BETWEEN GARAGE AND DWELLING UNIT SHALL PROVIDE AN EFFECTIVE BARRIER FROM GAS AND EXHAUST. DOOR TO HAVE WEATHER STRIPS AND SELF CLOSERS.
6. HEAT TRANSFER, AIR LEAKAGE & CONDENSATION CONTROL TO CONFORM TO SECTION 8.2.3 OF THE O.B.C.
7. MECHANICAL VENTILATION TO CONFORM TO SECTION 8.32.3 OF THE O.B.C.
8. RESISTANCE TO FORCED ENTRY TO CONFORM TO SECTION 8.3.2 OF THE O.B.C.
9. FIREPLACE TO CONFORM TO SEC. 8.22 OF THE O.B.C. CHIMNEY TO CONFORM TO SEC. 8.21 OF THE O.B.C.
10. ANY DEVIATION FROM APPROVED PLAN MUST BE APPROVED BY LOCAL BUILDING DEPARTMENT.
11. SIZES OF ALL BEAMS AND LINTELS MUST BE CONFIRMED UPON FINAL TRUSS LAY OUT.
12. STEEL : GALV-40 300K, H=0.80 STEEL BEAM WITH WELDED PLATE  $\frac{1}{2}$ " x 8" x 12" & 3/8" THICK BRACKETS @ 24" O.C. TO SUPPORT BRICK. ALL BRICK VENEER ANGEL IRON LINTELS TO BE ANCHORED AT 24" O.C. TO PREVENT TIEING.
13. THERMAL DESIGN & INSULATION AS PER SB-12, TABLE 3.1.1.2A(P)-A1.
14. STAIRS, RAMP, HANDRAILS & GUARDS AS PER SECTION 8.8 OF THE O. B. C.
15. ATTACHMENT OF HANDRAILS AS PER SUPPLEMENTARY STANDARDS TO THE O. B. C. SB-7
16. ALL WORKS SHALL BE PERFORMED BY QUALIFIED AND LICENSED CONTRACTORS
17. ALL CONCRETE MATERIALS AND WORKMANSHIP TO BEA A231, 7 & 3.
18. THERMAL RESISTANCE OF WINDOWS AS PER SB-12, TABLE 3.1.1.2A(P) - A1
19. THERMAL RESISTANCE OF DOORS AS PER SB-12, TABLE 3.1.1.2A(P) - A1

TO PERFORM ACTUAL CONSTRUCTION THE BUILDER SHALL USE SET OF DRAWINGS SEALED - THEREFORE APPROVED - BY THE LOCAL BUILDING DEPARTMENT



ASPENHURST HOMES & ASSOCIATES INC.  
PROFESSIONAL ENGINEERS & ONTARIO LAND SURVEYORS  
225 KING WILLIAM STREET  
HAMILTON, ONTARIO L8R 1B1  
(905) 528-6316  
(905) 528-4314  
FAX (905) 528-6651  
EMAIL: cen@aspenhursthomes.com

## PROPOSED RESIDENCE 352 BEACH BOULEVARD HAMILTON, Ontario ELEVATION

DATE:	MAY 14, 2020
SCALE:	1/8"=1'-0"
DWG BY:	M.T.
	19138



### DESIGNER INFORMATION

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

MLO TRUKULA  
ASPENHURST HOMES & ASSOCIATES INC.

ICB: 844527  
ICB: 800028

Signature

NOT ISSUED FOR CONSTRUCTION  
UNTIL SIGNED AND DATED



Hamilton

Planning and Economic Development Department  
Planning Division

**Committee of Adjustment**

City Hall  
5<sup>th</sup> floor 71 Main Street West  
Hamilton, Ontario L8P 4Y5

Phone (905) 546-2424 ext.4221  
Fax (905) 546-4202

**PLEASE FILL OUT THE FOLLOWING PAGES AND  
RETURN TO THE CITY OF HAMILTON PLANNING  
DEPARTMENT.**

**FOR OFFICE USE ONLY.**

APPLICATION NO. \_\_\_\_\_ DATE APPLICATION RECEIVED \_\_\_\_\_

PAID \_\_\_\_\_ DATE APPLICATION DEEMED COMPLETE \_\_\_\_\_

SECRETARY'S  
SIGNATURE \_\_\_\_\_

**CITY OF HAMILTON  
COMMITTEE OF ADJUSTMENT  
HAMILTON, ONTARIO**

***The Planning Act***

**Application for Minor Variance or for Permission**

The undersigned hereby applies to the Committee of Adjustment for the City of Hamilton under Section 45 of the *Planning Act*, R.S.O. 1990, Chapter P.13 for relief, as described in this application, from the Zoning By-law.

1. Name of Owner Chick, Linda Yuk Ning Telephone No. \_\_\_\_\_

2. \_\_\_\_\_

3. Name of Agent Tsang, Fung Ying Carol Telephone No. \_\_\_\_\_

4. \_\_\_\_\_

**Note:** Unless otherwise requested all communications will be sent to the agent, if any.

5. Names and addresses of any mortgagees, holders of charges or other encumbrances: Not Available applicant

\_\_\_\_\_ Postal Code \_\_\_\_\_

\_\_\_\_\_ Postal Code \_\_\_\_\_



6. Nature and extent of relief applied for:

fourth  
Apply for the fourth parking spot

7. Why it is not possible to comply with the provisions of the By-law?

according to the zoning by-law - 6593 Jun 13, 2019 section 18A  
and the comments from the city for our building  
permit. We need C.O.A. to approve the fourth  
parking space. Attached the e-mail from the  
building permit division for ref.

8. Legal description of subject lands (registered plan number and lot number or other legal description and where applicable, street and street number):

Address - 352 Beach Blvd Hamilton L8H 6W5  
Part of Lot 12. Plan 364. part 2 and part 3  
Reference Plan No. 62R-19759

9. PREVIOUS USE OF PROPERTY

Residential ☐ Industrial ☐ Commercial ☐

Agricultural ☐ Vacant ☒

Other

9.1 If Industrial or Commercial, specify use

9.2 Has the grading of the subject land been changed by adding earth or other material, i.e. has filling occurred?

Yes ☐ No ☐ Unknown ☒

9.3 Has a gas station been located on the subject land or adjacent lands at any time?

Yes ☐ No ☐ Unknown ☒

9.4 Has there been petroleum or other fuel stored on the subject land or adjacent lands?

Yes ☐ No ☐ Unknown ☒

9.5 Are there or have there ever been underground storage tanks or buried waste on the subject land or adjacent lands?

Yes ☐ No ☐ Unknown ☒

9.6 Have the lands or adjacent lands ever been used as an agricultural operation where cyanide products may have been used as pesticides and/or sewage sludge was applied to the lands?

Yes ☐ No ☐ Unknown ☒

9.7 Have the lands or adjacent lands ever been used as a weapon firing range?

Yes ☐ No ☐ Unknown ☒

9.8 Is the nearest boundary line of the application within 500 metres (1,640 feet) of the fill area of an operational/non-operational landfill or dump?

Yes ☐ No ☐ Unknown ☒



9.9 If there are existing or previously existing buildings, are there any building materials remaining on site which are potentially hazardous to public health (eg. asbestos, PCB's)?

Yes ☐ No ☒ Unknown ☐

9.10 Is there any reason to believe the subject land may have been contaminated by former uses on the site or adjacent sites?

Yes ☐ No ☐ Unknown ☒

9.11 What information did you use to determine the answers to 9.1 to 9.10 above?

The subject property is a  
vacant land

9.12 If previous use of property is industrial or commercial or if YES to any of 9.2 to 9.10, a previous use inventory showing all former uses of the subject land, or if appropriate, the land adjacent to the subject land, is needed.

Is the previous use inventory attached? Yes ☐ No ☒

#### ACKNOWLEDGEMENT CLAUSE

I acknowledge that the City of Hamilton is not responsible for the identification and remediation of contamination on the property which is the subject of this Application – by reason of its approval to this Application.

5/23/2020  
Date

  
Signature Property Owner

Chick, Linda Yuk-Ning  
Print Name of Owner

10. Dimensions of lands affected:

Frontage 13.79m  
Depth left 80.30m. right 81.65m  
Area 1116.65 m  
Width of street

11. Particulars of all buildings and structures on or proposed for the subject lands:  
(Specify ground floor area, gross floor area, number of stories, width, length, height, etc.)

Existing: The subject land is a vacant land

Proposed: to build a two storey single  
family dwelling

12. Location of all buildings and structures on or proposed for the subject lands;  
(Specify distance from side, rear and front lot lines)

Existing: The subject land is a vacant land

Proposed: to build a two storey single family dwelling

13. Date of acquisition of subject lands:

October 11, 2019

14. Date of construction of all buildings and structures on subject lands:

Will apply building permit upon approval from C.O.A

15. Existing uses of the subject property:

Vacant land

16. Existing uses of abutting properties:

Vacant land

17. Length of time the existing uses of the subject property have continued:

unknown

18. Municipal services available: (check the appropriate space or spaces)

Water NO Connected \_\_\_\_\_  
Sanitary Sewer NO Connected \_\_\_\_\_  
Storm Sewers NO Connected \_\_\_\_\_

19. Present Official Plan/Secondary Plan provisions applying to the land:

Not available

20. Present Restricted Area By-law (Zoning By-law) provisions applying to the land:

Not available

21. Has the owner previously applied for relief in respect of the subject property?

Yes

No

If the answer is yes, describe briefly.

✓

22. Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?

Yes

No

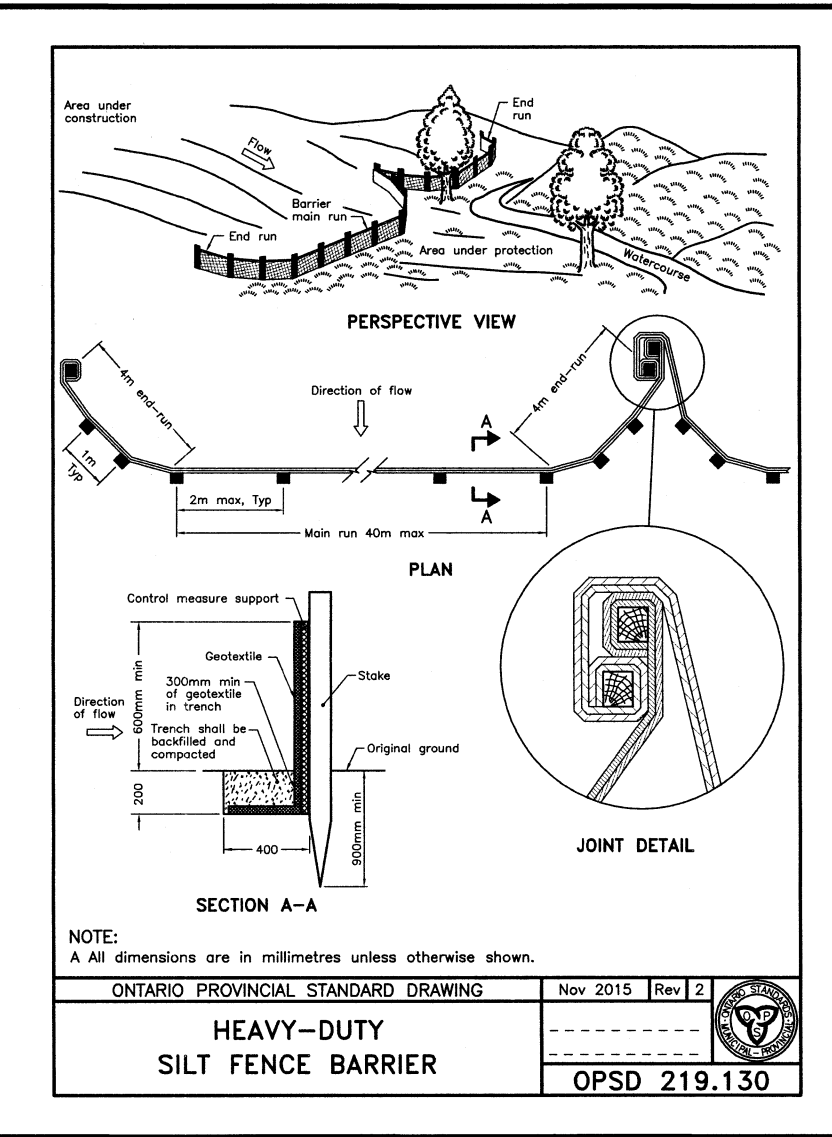
23. The applicant shall attach to each copy of this application a plan showing the dimensions of the subject lands and of all abutting lands and showing the location, size and type of all buildings and structures on the subject and abutting lands, and where required by the Committee of Adjustment such plan shall be signed by an Ontario Land Surveyor.

 **NOTE:** It is required that two copies of this application be filed with the secretary-treasurer of the Committee of Adjustment together with the maps



OWNER CAROL TSANG MUNICIPAL ADDRESS 352 BEACH BLVD. LEGAL DESCRIPTION PART OF LOT 12, REGISTERED PLAN 364 CITY OF HAMILTON ZONING C/S = 14.36		
SITE STATISTICS	BYLAW	PROPOSED
LOT FRONTAGE	12.0 m (Min.)	13.79 m
LOT AREA	360 m <sup>2</sup> (Min.)	1116.95 m <sup>2</sup>
LOT COVERAGE	25.0% (Max)	23.30%
FRONT YARD SETBACK	6.0m (Min)	12.0 m
REAR YARD SETBACK	7.50m (Min)	39.43 m
SIDE YARD SETBACK	1.70 m (Min)	1.88 m
SIDE YARD (COMMON SWALE)	1.50 m (Min)	1.55
HEIGHT/PEAK OF ROOF	9.0m (Max)	8.95 m
AREA OF FRONT YARD	N/A	180.75 m
AREA OF LANDSCAPING	50.0 ±	91.07m <sup>2</sup> (50.4%)
PARKING SPACE	4 PROVIDED (2.7mX6.0m)	
FLOOR AREA		397.50 m <sup>2</sup>

GARAGE ELE. TO C.L ROAD = 77.15-76.77=0.38m  
 AVERAGE GRADE = 77.15+77.05+76.59+77.27=76.76  
 DIMENSION OF PEAK TO AVERAGE GRADE = 85.71-76.76= 8.95m



**GENERAL:**

- ALL WORK INVOLVED IN THE CONSTRUCTION, RELOCATION, REPAIR OF MUNICIPAL SERVICES FOR THE PROJECT SHALL BE TO THE SATISFACTION OF THE DIRECTOR OF PLANNING AND CHIEF PLANNER, PLANNING AND ECONOMIC DEVELOPMENT DEPARTMENT.
- CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES INCLUDING GASEMANS, WATERMANS, TELEVISION CABLES, HYDRO, TELEPHONE CABLES, ETC.
- ALL SURVEY INFORMATION ON THIS PLAN IS FOR INFORMATION PURPOSES ONLY.
- THE APPROVAL OF THIS PLAN DOES NOT EXEMPT THE OWNER'S BONDED CONTRACTOR FROM THE REQUIREMENTS TO OBTAIN THE VARIOUS PERMITS/APPROVALS NORMALLY REQUIRED TO COMPLETE A CONSTRUCTION PROJECT, SUCH AS, BUT NOT LIMITED TO THE FOLLOWING:
  - BUILDING PERMIT
  - ROAD CUTS PERMITS
  - SEWER AND WATER PERMITS
  - RELOCATION OF SERVICES
  - ENFORCEMENT AGREEMENTS (IF REQ'D)
  - COMMITTEE OF ADJUSTMENT
  - APPROACH APPROVAL PERMITS
- ABANDONED ACCESSES MUST BE REMOVED AND THE CURB AND BOULEVARD RESTORED WITH SOD AT THE OWNER'S EXPENSE TO THE SATISFACTION OF THE GEOMATIC AND CORRIDOR MANAGEMENT SECTION, PUBLIC WORKS DEPARTMENT.
- PROPOSED SIGNAGE SHALL CONFORM TO THE CITY'S SIGN BY-LAW NO. 10-197
- LIGHTING MUST BE DIRECTED ON SITE AND MUST NOT SPILL OVER TO ADJACENT PROPERTIES OR STREETS.
- ALL FENCES SHALL COMPLY WITH CITY OF HAMILTON FENCE BY-LAW NO. 10-142

**ROADWORKS:**

- CURB DEPRESSIONS SHALL BE AS PER OPSD 600.040 AND OPSD 310.050 AND CITY OF HAMILTON STANDARD DRAWING RD-109.
- CONCRETE CURB SHALL BE AS PER OPSD 600.040 (BARRIER TYPE), MIN. 30Mpa. A 50mm key is REQUIRED IN ALL LOCATIONS.
- SIDEWALK REINSTATEMENT SHALL BE AS PER OPSD 310.010-125mm THICKNESS, 30Mpa CONCRETE WITH GRANULAR BASE AS REQ'D TO PROVIDE LEVELING COURSE FOR CONCRETE. AT DRIVEWAYS, CONCRETE THICKNESS TO BE MIN. 175mm.

**GRADING:**

- LOT GRADING IS TO CONFORM TO THE LATEST REVISION OF THE CITY OF HAMILTON LOT GRADING POLICY.
- ALL ELEVATIONS ALONGSIDE PROPOSED GRADING TO MATCH EXISTING ELEVATIONS AND ALL GRADING SHALL NOT ADVERSELY AFFECT SHEET FLOW FROM ADJACENT LANDS.
- ALL IMPORTED FILL TO BE CLEAN AND ENVIRONMENTALLY SAFE CLAY, COMPACTED TO SET 150mm ABOVE THE PROPOSED SIDE YARD SWALES.
- ALL CURB STOPS AND VALVES MUST BE CERTIFIED TO BE IN WORKING ORDER AT THE TIME OF ISSUANCE OF THE FINAL LOT GRADING CERTIFICATE. FINAL LOT GRADING CERTIFICATES MUST INCLUDE A STATEMENT AFFIRMING THE DATE OF INSPECTION AND THAT THE WATER BOX IS AT GRADE AND FOUND TO BE FREE FROM DAMAGE OR DEFECT.
- ALL DISTURBED AREAS WITHIN THE ROAD ALLOWANCE SHALL BE RESTORED TO EXISTING CONDITION OR BETTER.
- ALL DISTURBED BOULEVARD AREAS ARE TO BE REINVESTED WITH 150mm TOPSOIL AND NO. 1 NURSERY SOD IN ACCORDANCE WITH OPSD 803 AND TO THE SATISFACTION OF THE TRAFFIC ENGINEERING SECTION, PUBLIC WORKS DEPARTMENT.

**PRIVATE DRAINS:**

- 'S' DENOTES SINGLE SANITARY PRIVATE DRAIN CONNECTION.
- PRIVATE DRAINS ARE TO BE LOCATED 1.5m ON THE RIGHT SIDE OF CENTERLINE OF LOT OR AS DETAILED AND EXTENDED 1m BEYOND THE PROPERTY LINE.
- PIPE MATERIAL IS TO BE 150mm PVC PIPE, CSA B182.1 M-1883, SDR 28 AS PER FORM 500. STORM PIPE SHALL BE WHITE AND SANITARY SHALL BE ANY COLOUR OTHER THAN WHITE. WOOD MARKING AT END OF SANITARY PRIVATE DRAIN SHALL BE PAINTED RED.
- COVER AND BEDDING MATERIAL FOR PRIVATE DRAINS SHALL BE GRANULAR 'A' INSTALLED AS PER OPSD 802.010 OR 802.013.
- MINIMUM SLOPE FOR PRIVATE DRAINS TO BE 2.0%.
- TOP OF SANITARY PRIVATE DRAINS AT STREET LINE TO BE 2.2m (MIN) BELOW CENTERLINE ROAD ELEVATION AT THAT POINT OR AS DETAILED.
- BUILDING RAINWATER LEADERS SHALL NOT BE CONNECTED TO THE STORM PRIVATE DRAIN BUT SHALL DISCHARGE ONTO LANDSCAPED AREAS VIA SPLASH PADS A MIN. OF 0.6m FROM THE BUILDING FACE.

**WATER SERVICES:**

- 'W' DENOTES WATER SERVICE CONNECTION (25mm TYPE 'K' SOFT COPPER) AS PER WM-207.02 OR AS DETAILED.
- WATER SERVICES ARE TO BE LOCATED 1.5m TO THE LEFT SIDE OF CENTERLINE OF LOT OPPOSITE SANITARY PRIVATE DRAIN OR AS DETAILED, WITH CURB STOP ADJACENT TO THE STREET LINE.
- GRANULAR BEDDING SHALL BE GRANULAR 'D' AS PER FORM 600 AND WM-200.01.
- ALL CURB STOPS SHALL BE SET TO PROPOSED GRADES.

**COMPACTION REQUIREMENTS:**

- ALL BEDDING AND BACKFILL MATERIAL, ROAD SUBGRADES AND GENERALLY ALL MATERIAL USED FOR LOT GRADING AND FILL SECTIONS ETC. SHALL BE COMPACTED TO A MIN. 95% SPD UNLESS OTHERWISE RECOMMENDED BY A GEOTECHNICAL ENGINEER. ALL MATERIAL SHALL BE PLACED IN LAYERS NOT EXCEEDING 300mm LIFTS.
- ALL GRANULAR ROAD BASE MATERIALS SHALL BE COMPACTED TO A MIN 98% SPD.

**GENERAL GRADING NOTES:**

- ALONG ADJOINING PROPERTIES GRADE TO MEET EXISTING OR PROPOSED ELEVATION WITH SLOOED SLOPES (MIN 3H TO 1V) AND/OR RETAINING WALLS AS SPECIFIED.
- ALL RETAINING WALLS, WALKWAYS, CURBS, ETC., SHALL BE PLACED A MIN. OF 0.45m OFF THE PROPERTY LINE. ALL WALLS 1.0m OR HIGHER SHALL BE DESIGNED BY A P.E.N.G.
- SHOULD A RETAINING WALL BE REQUIRED TO BE LOCATED 1.0m OR HIGHER ABOVE THE PROPOSED SIDE YARD SWALES.
- RETAINING WALLS 0.6m IN HEIGHT OR GREATER REQUIRE CONSTRUCTION OF A FENCE OR GUARD RAIL AT THE TOP OF THE REAR OF THE WALL. GUARDS FOR RETAINING WALLS SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH THE REQUIREMENTS OF EXISTING GUARDS AS CONTAINED IN THE ONTARIO BUILDING CODE.
- SLOPE OF SWALES FOR BOTH "BACK TO FRONT" AND "SPLIT" DRAINAGE SHALL BE NO LESS THAN 2.0% GRADE AND NO GREATER THAN 33% GRADE (3:1 SLOPES).
- WHEN MATCHING TO EXISTING PROPERTIES WHERE A 2.0% GRADE CANNOT BE ACHIEVED, A 1.5% GRADE IS PERMITTED PROVIDED A 150mm SUBDRAIN IS INSTALLED BELOW THE BOTTOM OF THE SWALE AND DRAINED TO A SUITABLE OUTLET, WITH A MIN. 0.3m COVER OVER THE SUBDRAIN, OR OTHER MITIGATION MEASURES.
- MINIMUM GRADE FOR A WRAP-AROUND SWALE IN THE BACKYARD SHALL BE 1.0%.
- UNLESS OTHERWISE NOTED, THE GROUND BETWEEN PROPOSED DRIVEWAYS ON SIDE LOTS SHALL BE GRADED AS A STRAIGHT LINE.
- TOP OF FOUNDATION WALLS FOR BUILDINGS SHALL BE 150mm MIN. ABOVE FINISHED GRADE.
- DRIVEWAY SLOPES SHALL NOT BE LESS THAN 7% AND NOT MORE THAN 12% UNLESS OTHERWISE SPECIFIED.
- GARAGE FLOOR ELEVATION TO BE SET MINIMUM 0.3m HIGHER THAN BACK OF WALK, UNLESS OTHERWISE SPECIFIED.
- ALL FILL SHALL BE PLACED ON TOP OF LOTS SHALL BE COMPACTED TO A MINIMUM OF 95% SPD.
- FOR DELINEATION OF TREE PROTECTION ZONES, BUFFERS, REMOVALS AND PROTECTION SCHEMATICS, ETC. REFER TO TREE PROTECTION PLAN.
- LOT GRADING FOR ALL LOTS IN THE DEVELOPMENT SHALL CONFORM STRICTLY WITH THIS PLAN. ANY CHANGES, UNLESS APPROVED PRIOR TO CONSTRUCTION BY THE CITY, SHALL RESULT IN NON-COMPLIANCE OF THE DEVELOPMENT BY THE CITY.
- IF GRADING IS REQUIRED ON LANDS ADJACENT TO THE DEVELOPMENT WHICH ARE NOT OWNED BY THE DEVELOPER, THEN THE DEVELOPER MUST OBTAIN WRITTEN PERMISSION FROM THE ADJACENT PROPERTY OWNER TO ALLOW THE DEVELOPER TO GRADE ON THE ADJACENT LANDS. OTHERWISE RETAINING WALLS MUST BE USED.
- THE WRITTEN PERMISSION REQUIRED FROM THE ADJACENT LANDOWNER SHALL BE OBTAINED PRIOR TO ENTERING THE LANDS. SHOULD PERMISSION NOT BE OBTAINED OR IS WITHDRAWN PRIOR TO COMMENCING WORK, THEN THE DEVELOPER SHALL LIMIT HIS ACTIVITIES TO THE LIMITS OF THE DEVELOPMENT SITE.
- DRIVEWAY AND DRIVEWAY APPROACHES SHALL BE LOCATED SUCH THAT HYDRO WALLS AND OTHER STREET FURNITURE ARE A MIN OF 1.2m FROM THE PROJECTIONS OF THE OUTSIDE GARAGE WALLS.

**BACKYARD GRADING:**

- DEFINITION: "REQUIRED BACKYARD" SHALL MEAN THE LESSER OF THE DISTANCE REGULATED BY THE ZONING BY-LAW OR 6m.
- THE MAXIMUM SLOPE IN THE BACKYARD ADJACENT TO THE BUILDING FOR A DISTANCE EQUAL TO THE REQUIRED BACKYARD SHALL BE 5%, EXCEPT AS SET OUT IN THE ITEMS BELOW.
- THE 5% RESTRICTION SHALL NOT APPLY TO THE SIDES OF A SWALE ALONG THE SIDES OR BACK OF THE LOT, PROVIDING THE TOTAL WIDTH OF THE SWALE SHALL NOT EXCEED ONE (1) METRE ON EACH LOT.
- WHERE THE 5% RESTRICTION ON THE BACKYARD GRADES RESULTS IN ELEVATION DIFFERENCES BETWEEN DIFFERENT PROPERTIES, RETAINING WALLS SHALL BE CONSTRUCTED ALONG THE SIDES AND THE BACK OF THE LOT. SLOPES WITH A MAXIMUM OF 3% HORIZONTAL TO 1 VERTICAL MAY REPLACE THE WALLS WHERE THE DIFFERENCE IN ELEVATION IS LESS THAN 0.3m.
- GENERALLY, SLOPES SHALL BE PLACED ON THE LOWER LOT, WHEREAS RETAINING WALLS SHALL BE PLACED ON THE HIGHER LANDS.
- THE 5% RESTRICTION RETAINED WALLS BE THE REQUIRED BACKYARD PROVIDED TERRACES ARE MAINTAINED TO THE 5% GRADE AS SET OUT IN ITEM 2 ABOVE, PROVIDING THE SLOPES ARE STABLE FOR THE SOILS OF THE AREA (MIN 3H:1V).
- THERE IS NO CONTROL ON THE STEEPNESS OF THE SLOPES IN SIDE YARDS, FRONT YARD AND BACK YARDS, OUTSIDE THE AREA DEFINED IN ITEM 1 ABOVE, PROVIDING THE SLOPES ARE STABLE FOR THE SOILS OF THE AREA (MIN 3H:1V).

**ROOFWATER LEADERS:**

- ALL ROOFWATER LEADERS SHALL DISCHARGE ONTO SPLASH PADS AND THEN TO GRASSED OR LANDSCAPED AREAS A MIN. OF 0.6m FROM THE BUILDING FACE.

**SILTATION AND EROSION CONTROL:**

- ALL SILT CONTROL BARRIERS SHALL BE PLACED AS DETAILED AND IN ACCORDANCE WITH HAMILTON SITE PLAN GUIDELINES.
- ALL SILT CONTROL MEASURES SHALL BE INTERPRETED AT REGULAR INTERVALS AND FOLLOWING EACH RAINFALL OR AS DIRECTED AND SHALL BE MAINTAINED TO THE SATISFACTION OF THE CITY OF HAMILTON. ADDITIONAL SILT CONTROL MEASURES MAY BE REQUIRED BY THE CITY AND SHALL BE PLACED AS DIRECTED.
- ALL EROSION AND SILTATION CONTROL DEVICES MUST BE INSTALLED PRIOR TO THE BEGINNING OF EARTH REMOVAL ACTIVITIES AND LEFT IN PLACE UNTIL FINAL COVER IS ESTABLISHED.
- ALL EROSION AND SILTATION CONTROL DEVICES SHOULD BE AS PER THE "GREATER GOLDEN HORSESHOE AREA CONSERVATION AUTHORITIES", "EROSION AND SEDIMENT CONTROL GUIDELINE FOR URBAN CONSTRUCTION".
- THE OWNER IS RESPONSIBLE FOR THE REMOVAL OF ALL MUD AND DEBRIS THAT ARE TRACKED ONTO THE ROADWAYS FROM THE VEHICLES ENTERING OR LEAVING THE CONSTRUCTION SITE. THE OWNER SHALL, UPON VERBAL AND/OR WRITTEN REQUEST BY THE CITY, IMMEDIATELY PROCEED WITH THE CLEAN-UP OPERATIONS AT THEIR EXPENSE. SHOULD THE OWNER FAIL TO MAINTAIN THE ROAD AS DIRECTED, THE CITY WILL INVE THE CLEANING CARRIED OUT, AND DRAW ON THE OWNER'S SECURITY FOR COSTS AND/OR LAY CHARGES.

UNDERGROUND SERVICES LOCATION AND INVERTS WERE DERIVED FROM DRAWING PROVIDED BY THE CITY OF HAMILTON DRAWING: 86-W-1-444A, 92-S-57-S, 92-S-57-E44B

CROSSING #2  
 W/S INV. = 75.85  
 STORM. OVERT = 75.70

CROSSING #1  
 W/S INV. = 75.52  
 SAN. OVERT = 75.38

NOTE:  
 AT CROSSINGS #1 AND #2,  
 CLEARANCE OF W/S TO SAN  
 AND STORM SEWERS TO BE  
 MIN. 0.15m INSULATION WILL  
 BE REQUIRED IF THE COVER  
 DEPTH OF W/S IS LESS THAN  
 1.60m

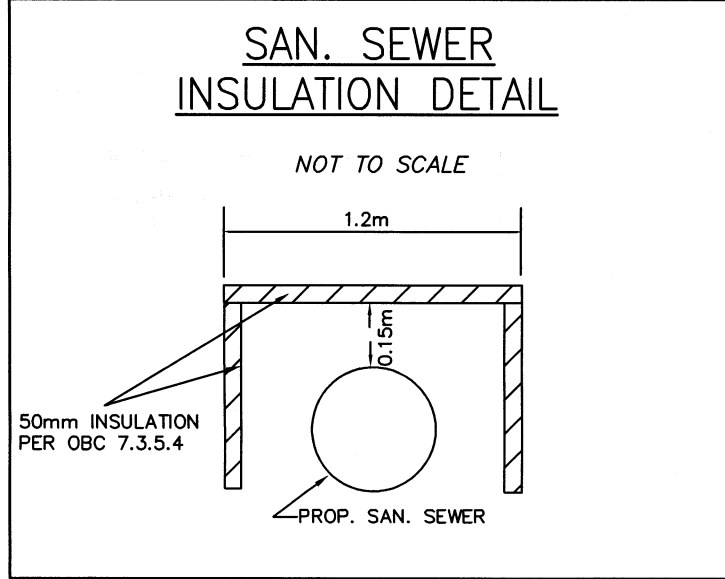
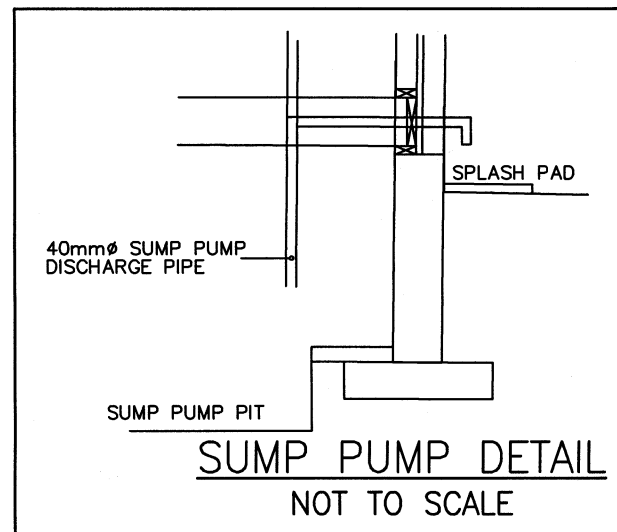
CROSSING #3  
 PROP. S/S INV. = 75.80  
 EX. STORM OVERT = 75.70

PROPOSED LOCATION OF S/S,  
 150mm PVC SDR28 @ 2.0% MIN. SLOPE  
 (PUBLIC SIDE)  
 PROVIDE INSULATION AS PER DETAIL

PROPOSED LOCATION OF S/S,  
 150mm PVC SDR28 @ 2.0% MIN. SLOPE  
 (PRIVATE SIDE)  
 PROVIDE INSULATION AS PER DETAIL

NOTE:  
 SIDEWALK WIDTH AT THE  
 ADJOINING PROPERTIES  
 SHALL BE AT LEAST 1.50m.

I HEREBY ACKNOWLEDGE THAT I HAVE  
 REVIEWED THE PROPOSED GRADING WORK  
 AND HAVE NO OBJECTION WITH GRADING  
 WORKS TO BE CARRIED OUT ON MY PROPERTY  
 AS SHOWN ON THE GRADING PLANS.  
 DATE \_\_\_\_\_  
 OWNER  
 of 358 BEACH BOULEVARD



UNDERTAKING - (04-16-13)

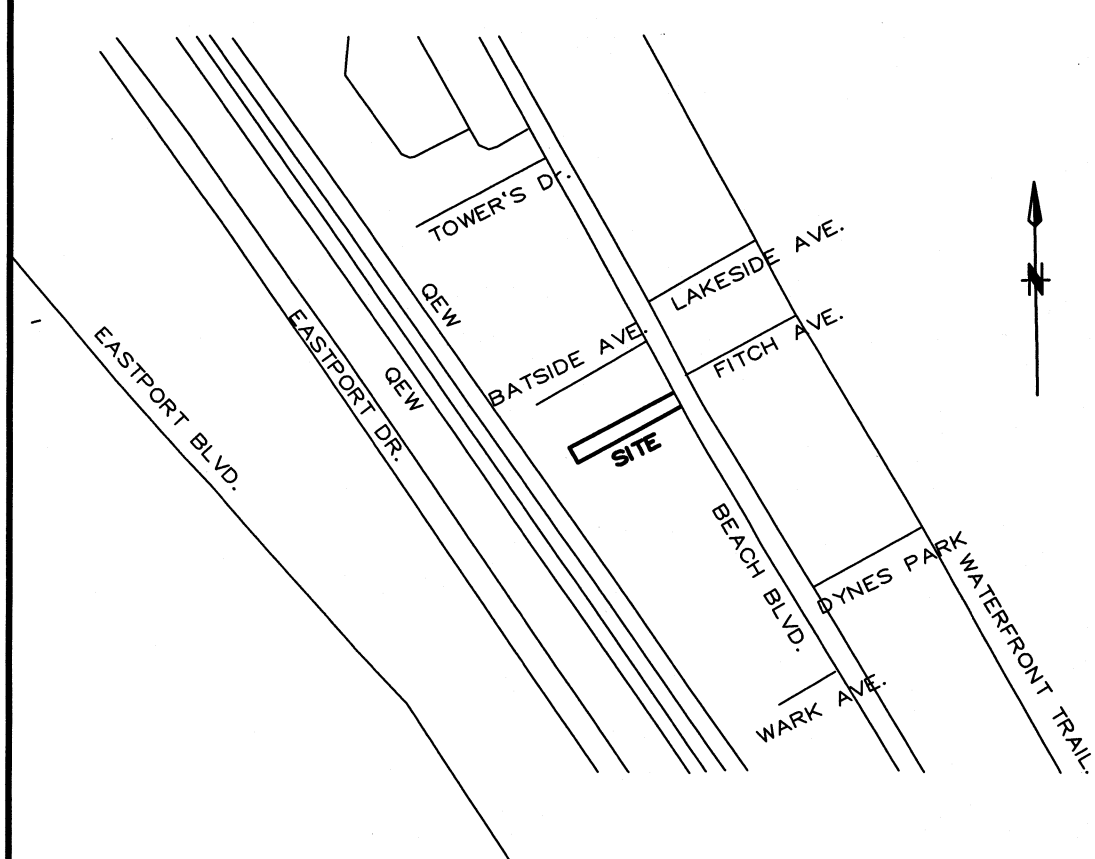
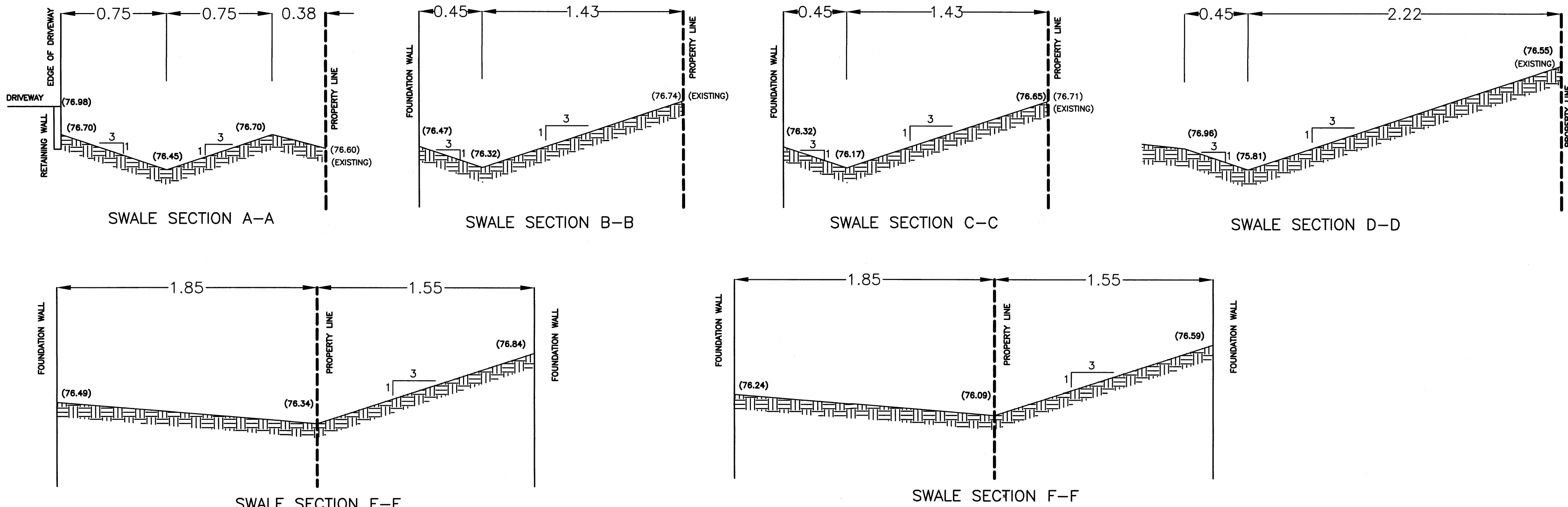
I, WE \_\_\_\_\_ THE OWNER(S) OF THE LAND, HEREBY UNDERTAKE  
 AND AGREE WITHOUT RESERVATION,  
 a) TO COMPLY WITH ALL THE CONTENT OF THIS PLAN AND DRAWING AND NOT TO VARY THEREFROM.  
 b) TO PERFORM THE FACILITIES, WORKS, OR MATTERS MENTIONED IN SECTION 41(7)(a) OF THE PLANNING ACT SHOWN ON THIS PLAN AND DRAWING(S) IN ACCORDANCE WITH THE CONDITIONS OF APPROVAL AS SET OUT IN THE LETTER OF APPROVAL DATED \_\_\_\_\_.  
 c) TO MAINTAIN TO THE SATISFACTION OF THE CITY AND AT MY (our) SOLE RISK AND EXPENSE, ALL OF THE FACILITIES, WORKS OR MATTERS MENTIONED IN SECTION 41(7)(a) OF THE SAID ACT, SHOWN ON THIS PLAN AND DRAWING, INCLUDING REMOVAL OF SNOW FROM ACCESS RAMPS AND DRIVEWAYS, PARKING AND LOADING AREAS AND WALKWAYS; AND,  
 d) IN THE EVENT THAT THE OWNER DOES NOT COMPLY WITH THE PLAN DATED \_\_\_\_\_, THE OWNER AGREES THAT THE CITY MAY ENTER THE LAND AND DO THE WORKS, AND FURTHER THE OWNER AUTHORIZES THE CITY TO USE THE SECURITY FILED TO OBTAIN COMPLIANCE WITH THIS PLAN.  
 e) THAT THE APPLICANT/OWNER SHALL INCLUDE THE FOLLOWING NOISE WARNING CLAUSE IN ALL PURCHASE FOR SALE AND/OR LEASE AGREEMENTS:  
 "PURCHASERS/TENANTS ARE ADVISED THAT SOUND LEVELS DUE TO INCREASING ROAD TRAFFIC MAY OCCASIONALLY INTERFERE WITH SOME ACTIVITIES OF THE DWELLING OCCUPANTS AS THE SOUND LEVELS MAY EXCEED THE MUNICIPALITY'S AND THE MINISTRY OF ENVIRONMENT'S NOISE CRITERIA"

DATED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_

WITNESS(signature) \_\_\_\_\_ OWNER(signature) \_\_\_\_\_

WITNESS(print) \_\_\_\_\_ OWNER(print) \_\_\_\_\_

ADDRESS OF WITNESS \_\_\_\_\_



LEGEND	
(93.75) SW	PROPOSED SWALE ELEVATION
93.44	EXISTING ELEVATION
(93.75)	PROPOSED ELEVATION
4.0%	PROPOSED SURFACE FLOW DIRECTION & GRADE
---	PROPOSED SWALE
---	SILT FENCE & LIMIT OF GRADING
○	EXISTING TREE
⊗	EXISTING TREE TO BE REMOVED
▽	PROPOSED ENTRANCE LOCATION
---	TREE PROTECTION ZONE
○→	LOCATION AND DIRECTION OF FLOW OF DOWNSPOUTS
(M)	WATER METER LOCATION
TW	TOP OF RETAINING WALL ELEVATION
BW	BOTTOM OF RETAINING WALL ELEVATION

**METRIC**  
 DISTANCES AND ELEVATIONS SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET DIVIDING BY 0.3048.

**CAUTION**  
 THIS IS NOT A PLAN OF SURVEY AND SHALL NOT BE USED, EXCEPT FOR THE PURPOSE INDICATED IN THE TITLE BLOCK.

**DRAWING NOTES:**  
 SURVEY, TOPOGRAPHICAL INFORMATION AND UTILITY LOCATIONS WERE TAKEN FROM PLAN BY ASHENHURST NOUWENS & ASSOCIATES INC. DATED DEC 16, 2019

1	MAY 25, 2019	A.N	REVISED AS PER CITY COMMENTS
0	FEB 11, 2019	A.N	ISSUED FOR REVIEW
No.	DATE	BY	DESCRIPTION

#### REVISIONS

ENGINEER'S STAMP



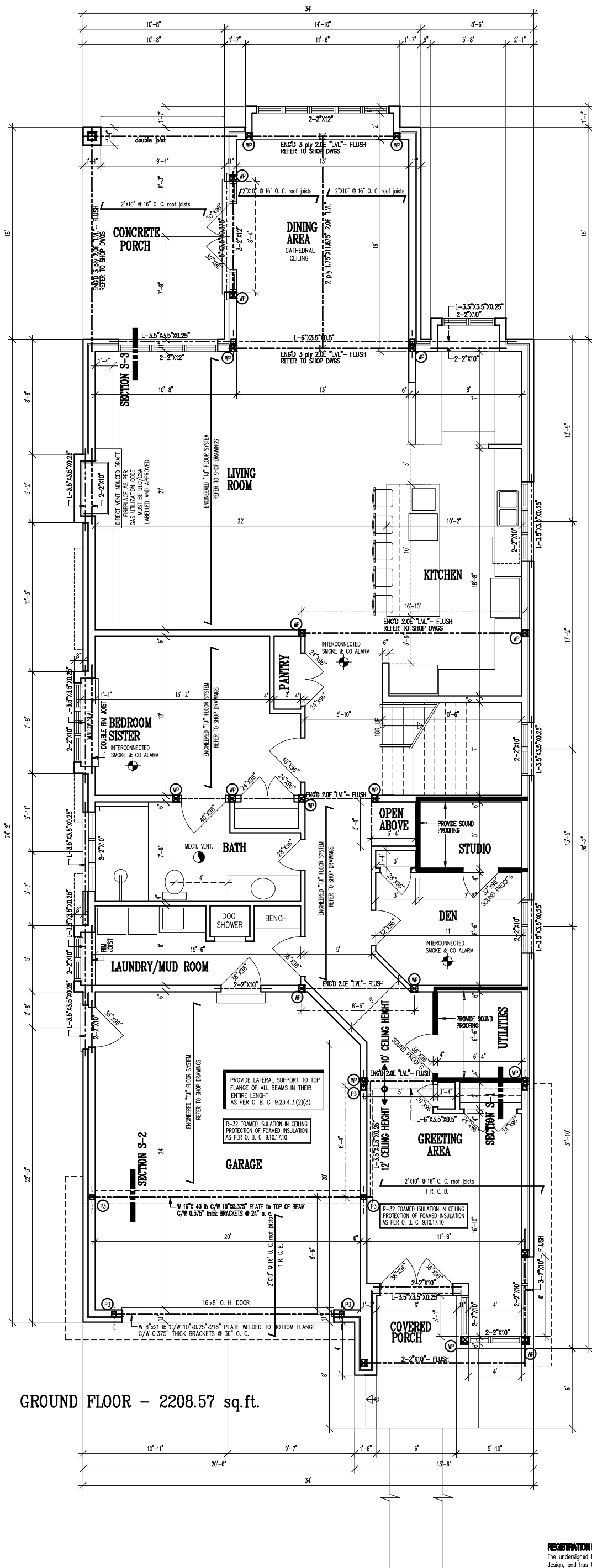
FOR REVIEW ONLY  
NOT FOR CONSTRUCTION

PLAN SHOWING  
**PROPOSED SITE, GRADING, EROSION,  
 ON  
 352 BEACH BOULEVARD**  
 BEING  
**PART OF LOT 12  
 REGISTERED PLAN 364**  
 IN THE  
**CITY OF HAMILTON**

**AN** ASHENHURST NOUWENS &  
 ASSOCIATES INC.  
 Professional Engineers & Ontario Land Surveyors  
 225 KING WILLIAM STREET, SUITE 204, HAMILTON, ONTARIO L8R 1B1  
 (905) 529-6316 (905) 529-4314 1-800-824-8224  
 FAX: (905) 529-6651 e-mail: an@ashenhurstnouwens.ca

**BENCHMARK**  
 CITY OF HAMILTON BENCHMARK No. 0011991U003  
 ELEVATION=76.602 (DATUM CGVD 1928:1978)

DWN BY: AN	CHK BY: A.N.	DWG No.
SCALE: 1 : 200		19138 SGP
DATE: FEB 03, 2020		



GROUND FLOOR - 2208.57 sq.ft.

ANN

SINCE 1956

ASHENHURST NOUMENS & ASSOCIATES INC.

PROFESSIONAL ENGINEERS & ONTARIO LAND SURVEYORS

225 KING WILLIAM STREET

HAMILTON, ONTARIO L8R 1B1

(905) 529-6316

(905) 529-4314

FAX(905) 529-6851

EMAIL: [an@ashenhurstnoumens.com](mailto:an@ashenhurstnoumens.com)

GENERAL NOTES:

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2. DO NOT SCALE DRAWINGS. CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO COMMENCING CONSTRUCTION.
3. ALL WOOD MEMBERS TO BE CONSTRUCTION SPRUCE No.2, UNLESS NOTED OTHERWISE.
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TO PERFORM ACTUAL CONSTRUCTION THE BUILDER SHALL USE SET OF DRAWINGS SEALED - THEREFORE APPROVED - BY THE LOCAL BUILDING DEPARTMENT

- (WP) 3-2"x6" WOOD POST ONTO 6 MIL POLY DAMP-PROOFING INTO "SIMPSON STRONG TIE" SADDLE.
- (P3) HSS-4"x4"x0.25" C/W 6"x4"x0.375 TOP PLATE & 8"x4"x0.375" BOTTOM PLATE ANCHORED INTO FOUNDATION WALL WITH 2 0.5"dia "HILTI" BOLTS

PROPOSED RESIDENCE  
352 BEACH BOULEVARD  
HAMILTON, Ontario

FLOOR PLAN

DATE:	MAY 14, 2020
SCALE:	1/8"=1'-0"
DWG BY:	M.T.
FILE:	19138

DWG No.

REGISTRATION INFORMATION

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

MLOST TRKULJA  
ASHENHURST NOUMENS & ASSOCIATES INC.

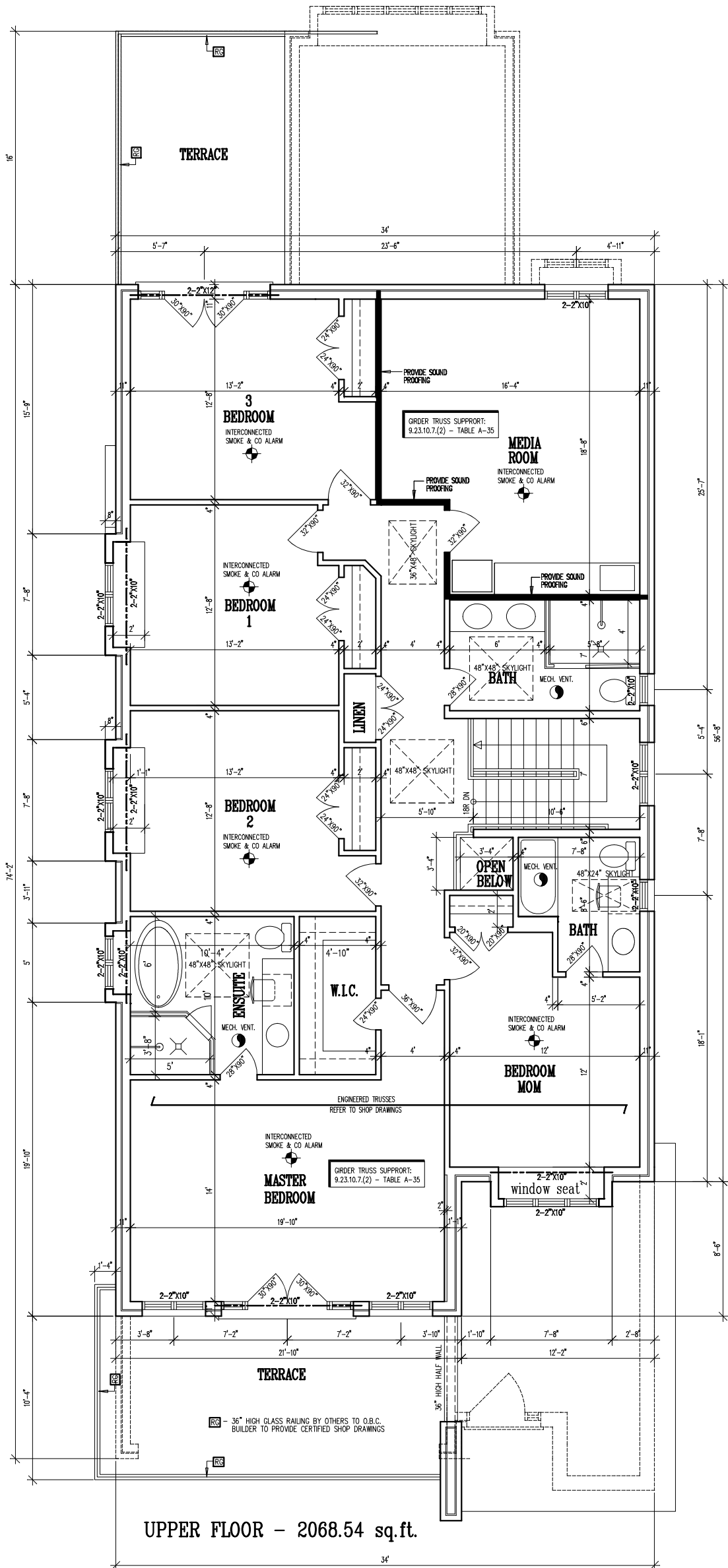
80N: 24457  
80N: 30026

Signature:



NOT ISSUED FOR CONSTRUCTION  
UNTIL SIGNED AND DATED





ASHENURST NOUMENS & ASSOCIATES INC.  
PROFESSIONAL ENGINEERS & ONTARIO LAND SURVEYORS  
225 KING WILLIAM STREET  
HAMILTON, ONTARIO L8R 1B1  
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(905) 529-4314  
FAX(905) 529-6651  
EMAIL: ann@ashenurnstnounens.com

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352 BEACH BOULEVARD  
HAMILTON, Ontario

FLOOR PLAN

DATE:	MAY 14, 2020
SCALE:	1/8"=1'-0"
DWG BY:	M.T.
FILE:	19138

DWG No.

3 OF 8

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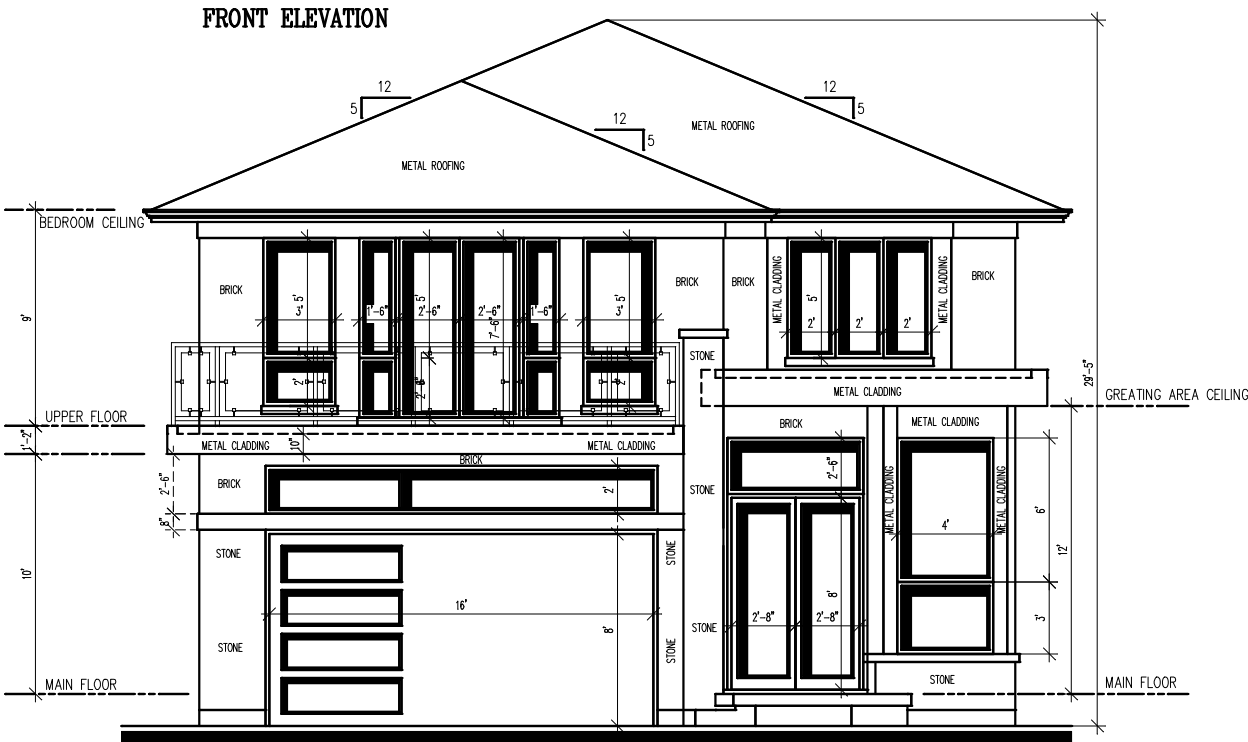


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PROPOSED RESIDENCE  
352 BEACH BOULEVARD  
HAMILTON, Ontario

ELEVATION

DATE:	MAY 14, 2020
SCALE:	1/4"=1'-0"
DWG BY:	M.T.
FILE:	19138



DWG No.

5 OF 8

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ASHENHURST NOUMENS + ASSOCIATES INC.

BON: 24457  
BON: 30026

Signature:

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9. FIREPLACE TO CONFORM TO SEC. 9.22 OF THE O.B.C. CHIMNEY TO CONFORM TO SEC. 9.21 OF THE O.B.C.
10. ANY DEVIATION FROM APPROVED PLAN MUST BE APPROVED BY LOCAL BUILDING DEPARTMENT.
11. SIZES OF ALL BEAMS AND LINTELS MUST BE CONFIRMED UPON FINAL TRUSS LAY OUT.
12. STEEL : G40.21-M 300W;  $\phi=0.90$   
STEEL BEAM WITH WELDED PLATE  $f=6"x1/2"$  & 3/8" THICK BRACKETS @ 24" O.C. TO SUPPORT BRICK.  
ALL BRICK VENEER ANGEL IRON LINTELS TO BE ANCHORED AT 24" O.C. TO PREVENT TWISTING.
13. THERMAL DESIGN & INSULATION AS PER SB-12, TABLE 3.1.1.2A(P)-A1.
14. STAIRS, RAMPS, HANDRAILS & GUARDS AS PER SECTION 9.8. OF THE O. B. C.  
ATTACHMENT OF HANDRAILS AS PER SUPPLEMENTARY STANDARDS TO THE O. B. C. SB-7
15. ALL WORKS SHALL BE PERFORMED BY QUALIFIED AND LICENCED CONTRACTORS
16. ALL CONCRETE MATERIALS AND WORKMANSHIP TO SCA A231, 2 & 3.
17. THERMAL RESISTANCE OF WINDOWS AS PER SB-12, TABLE 3.1.1.2A(P) - A1

TO PERFORM ACTUAL CONSTRUCTION THE BUILDER SHALL USE SET OF DRAWINGS SEALED - THEREFORE APPROVED - BY THE LOCAL BUILDING DEPARTMENT



PROPOSED RESIDENCE  
352 BEACH BOULEVARD  
HAMILTON, Ontario

ELEVATION

DATE:	MAY 14, 2020
SCALE:	1/4"=1'-0"
DWG BY:	M.T.
FILE:	19138



DWG No.

6 OF 8

REGISTRATION INFORMATION

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

MLOS TRKULJA  
ASHENHURST NOUMENS & ASSOCIATES INC.

BON: 24457  
BON: 30026

Signature:

NOT ISSUED FOR CONSTRUCTION  
UNTIL SIGNED AND DATED



LEFT SIDE ELEVATION



GENERAL NOTES:

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3. ALL WOOD MEMBERS TO BE CONSTRUCTION SPRUCE No.2, UNLESS NOTED OTHERWISE.
4. INSTALL DOUBLE JOISTS UNDER ALL PARALLEL PARTITIONS.
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STEEL BEAM WITH WELDED PLATE  $\phi=6 \times 1/2"$   
& 3/8" THICK BRACKETS @ 24" O.C. TO SUPPORT BRICK.  
ALL BRICK VENEER ANGEL IRON LINTELS TO BE ANCHORED AT 24" O.C. TO PREVENT TWISTING.
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THERMAL RESISTANCE OF DOORS AS PER SB-12, TABLE 3.1.1.2A(P) - A1

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PROPOSED RESIDENCE  
352 BEACH BOULEVARD  
HAMILTON, Ontario

ELEVATION

DATE:	MAY 14, 2020
SCALE:	1/8"=1'-0"
DWG BY:	M.T.
	19138

DWG No.

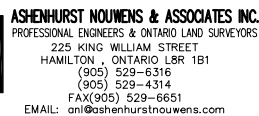
8 OF 8

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ASHENHURST NOUWENS & ASSOCIATES INC.  
PROFESSIONAL ENGINEERS & ONTARIO LAND SURVEYORS  
225 KING WILLIAM STREET  
HAMILTON, ONTARIO L8R 1B1  
(905) 529-6316  
(905) 529-4314  
FAX(905) 529-6651  
EMAIL: onl@ashenhurstnouwens.com



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13. STEEL : G40.21 M-30WU;  $e=0.90$   
STEEL BEAM WITH WELDED PLATE  $\frac{1}{4} \times 6 \times 1/2"$   
&  $3/8"$  THICK BRACKETS & E.C.O. TO SUPPORT BRK.  
ALL BRK VENER ANGLE IRON LINTELS TO BE ANCHORED AT  $24"$  O.C. TO PREVENT TWISTING.
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DATE:	MAY 14, 2020
SCALE:	1/8"=1'-0"
DWG BY:	M.T.
	19138
	DWG No.
	7 OF 8

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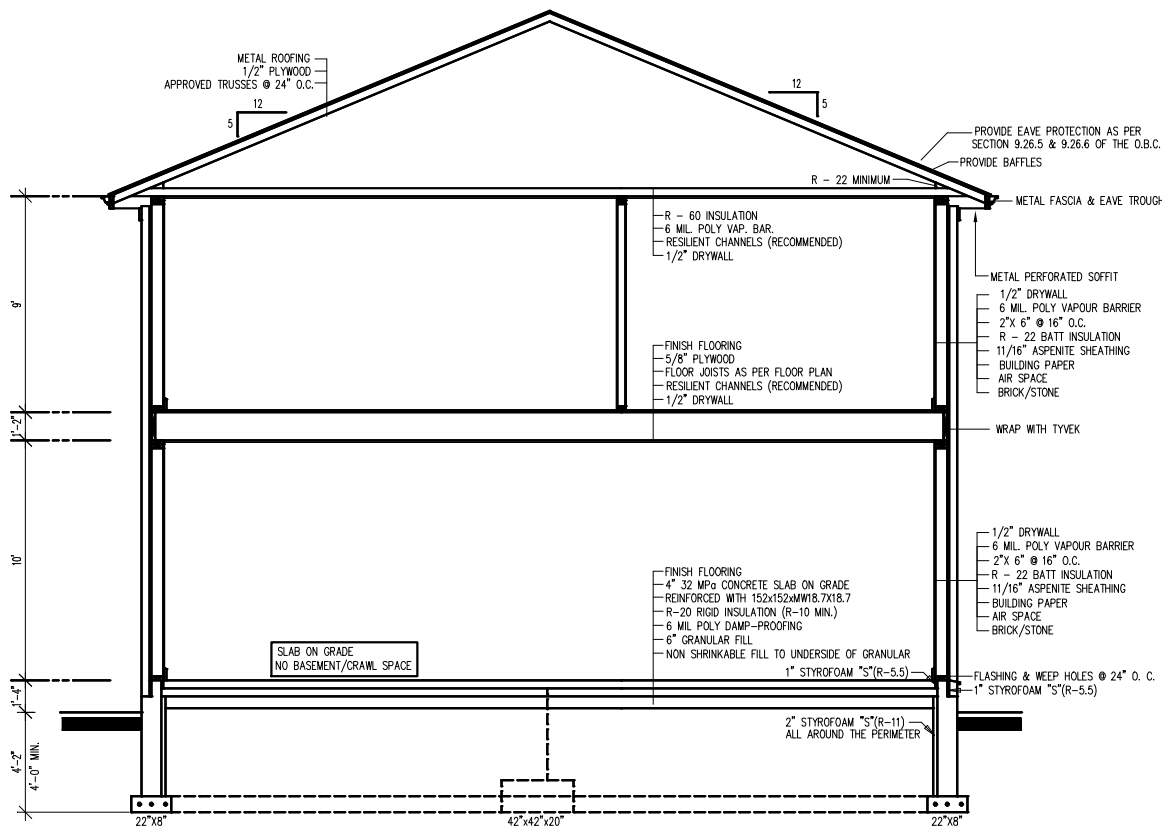
MILOŠ TRKULJA  
ASHENHURST NOUNENS + ASSOCIATES INC.

BCIN: 24457  
BCIN: 30026

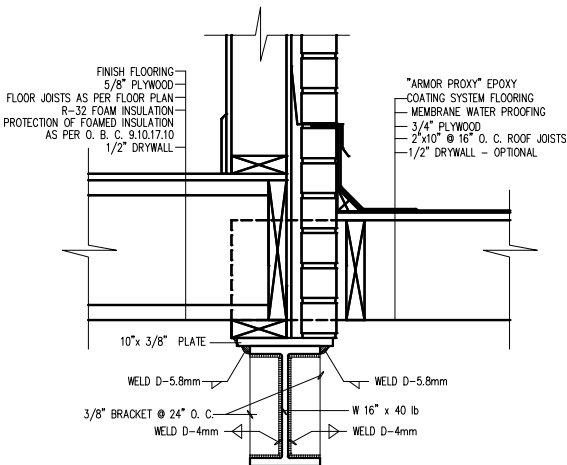
Signature \_\_\_\_\_

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TYPICAL SECTION THROUGH



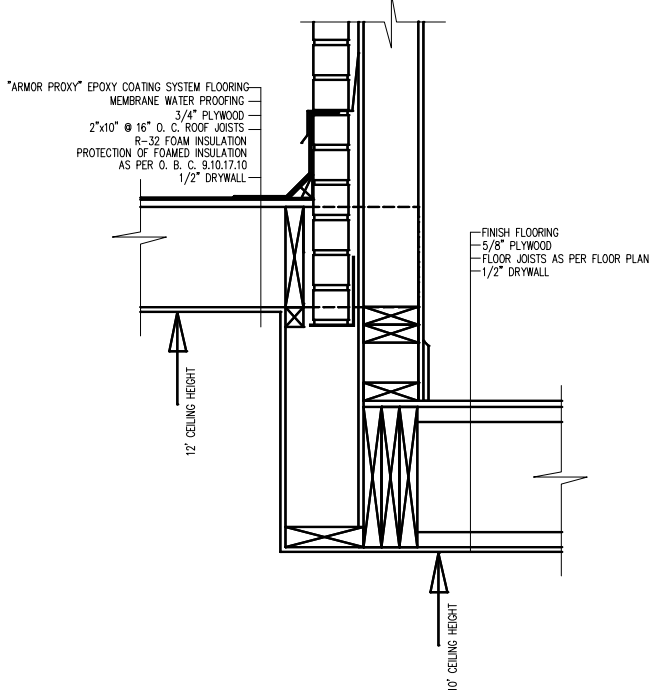
SECTION S-2  
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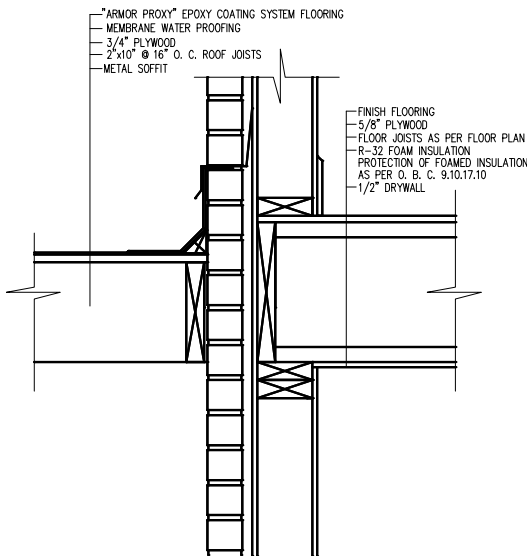
SPECIFICATIONS:

METOD OF DESIGN: CAN/CSA - S16.1-94 LIMIT STATE DESIGN OF STEEL STRUCTURES  
DEFLECTIONS AS PER O.B.C. 9.4.3.1  
BEAM: STRUCTURAL STEEL AS PER CAN/CSA G40.21  
ALL WELDS AS PER W48 , W59 BY FABRICATORS QUALIFIED TO CSA/W47.1  
WELDING ELECTRODES: E70XX  
CONNECTION TO APPROVED POSTS BY OTHERS

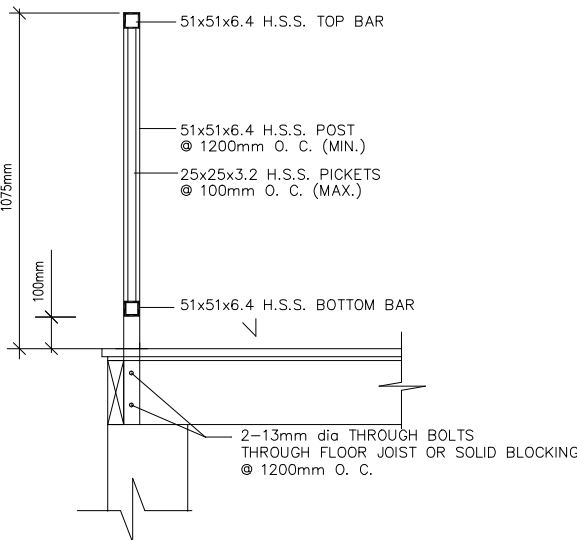
SECTION S-1  
SCALE: NOT TO SCALE



SECTION S-3  
SCALE: NOT TO SCALE



IRON RAILING DETAIL  
INTO WOOD - NOT TO SCALE



**ANN**  
SINCE 1956

**ASHENHURST NOUMENS & ASSOCIATES INC.**  
PROFESSIONAL ENGINEERS & ONTARIO LAND SURVEYORS  
225 KING WILLIAM STREET  
HAMILTON, ONTARIO L8R 1B1  
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EMAIL: [an@ashenhurstnoumens.com](mailto:an@ashenhurstnoumens.com)

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GARAGE FLOOR

- 4" CONC. SLAB
- REINFORCED WITH
- 152x152 MMW18.7MMW18.7
- 6" GRAN. FILL

WALL ASSEMBLY WITH SIDING

- 1/2" DRYWALL
- 6 MIL. POLY VAPOUR BARRIER
- 2"x 6" @ 16" O.C.
- R - 22 BATT INSULATION
- 1/2" PLYWOOD SHEATHING
- BUILDING PAPER
- SIDING/METAL CLADDING AS PER OWNER'S SELECTION

**PROPOSED RESIDENCE**  
**352 BEACH BOULEVARD**  
**HAMILTON, Ontario**

SECTION/DETAILS

DATE:	MAY 14, 2020
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