

NOTICE OF PUBLIC HEARING

Minor Variance

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
 - Applicant/agent on file, or
 - Person likely to be interested in this application
-

APPLICATION NO.: AN/A-20:67

APPLICANTS: Owner: 1622189 Ontario Inc.

SUBJECT PROPERTY: Municipal address **53 Bittern St., Ancaster**

ZONING BY-LAW: Zoning By-law 05-200, as Amended

ZONING: M2 and 678 (General Business Park) district

PROPOSAL: To permit the construction of two single storey multi-tenant industrial buildings having approximately 2, 874.0 m² and 1, 599.0 m² respectively notwithstanding that;

1. A minimum parking space width of 2.6 m shall be provided instead of the minimum required parking space width of 3.0 m (new regulation); and
2. A minimum of 2 barrier free parking spaces shall be provided instead of the minimum required 3 barrier free parking spaces; and
3. A minimum barrier free parking space width of 3.5 m shall be provided instead of the minimum required 4.4 m parking space width.

Notes:

These variances are necessary to facilitate Site Plan Control application DA-20-044.

Please be advised that the proposed variance for side yard is not required as the “M2” zone only refers to a minimum yard abutting a street; therefore, the requested variance is not necessary.

In addition to the above requested variance for reduced number of parking spaces is not necessary as the required number of parking spaces were calculated under Planned Business Centre (1 space for each 50.0 m² of gross floor area). Based on the total GFA of 4,473.0 m² ÷ 50.0 m² of GFA = 89.46 = 89 spaces being required and 100 spaces have been provided; therefore, variance for reduced number of parking spaces is not required.

Variances have been written based on the information provided on the site plan.

Please note that the By-Law requires the following per Section 9.2.3 c) i) & ii):

- i) *A minimum 3.0 m wide landscaped area shall be provided and maintained abutting a street, except for points of ingress and egress. No information has been provided on the submitted site plan; therefore, further variances may be required.*
- ii) *Notwithstanding i) above, where a parking space, aisle or driveway is located in a yard abutting a street, a minimum 6.0 m wide landscaped area, which includes a 3.0 m wide planting strip, shall be required and maintained between the said parking space, aisle, or driveway and a street, except for points of ingress and egress. No information has been provided on the submitted site plan; therefore, further variances may be required.*

The By-Law requires the following per Section 9.2.3 d):

- i) *Outdoor Storage and Outdoor Assembly shall not be permitted in a Front Yard or a required Flankage Yard. No information has been provided on the submitted site plan; therefore, further variances may be required.*
- ii) *Outdoor Storage and Outdoor Assembly shall not exceed 85% of the total lot area. No information has been provided on the submitted site plan; therefore, further variances may be required.*
- iii) *Outdoor Storage and Outdoor Assembly shall be screened from view from any abutting street by a Visual Barrier in accordance with Section 4.19 of this By-law. No information has been provided on the submitted site plan; therefore, further variances may be required.*

The By-Law requires the following per Section 9.2.3 e):

- i) *Outdoor Display of goods, materials or equipment shall be permitted only as an accessory use and shall be permitted in a yard abutting a street but shall be no closer than 3.0 metres to the lot line. No information has been provided on the submitted site plan; therefore, further variances may be required.*

The By-Law requires the following per Section 9.2.3 g):

- g) *Maximum Gross Floor Area for Industrial Administrative Office or Surveying, Engineering, Planning or Design Business*
 - i) *An Industrial Administrative Office or a Surveying, Engineering, Planning or Design Business shall be limited to a gross floor area of less than 10,000 square metres on a lot. No information has been provided on the submitted site plan; therefore, further variances may be required.*

The By-Law requires the following per Section 9.2.3 h):

- h) *Maximum Gross Floor Area for an Alcohol Production Facility: 5,000 m². No information has been provided on the submitted site plan; therefore, further variances may be required.*

The By-Law requires the following per Section 9.2.3 i):

- i) *Maximum Combined Gross Floor Area for Accessory Retail, Showroom Area and Tasting Room:*
 - i) *25% of the gross floor area of the principal use or 500.0 square metres gross floor area, whichever is the lesser; and*
 - ii) *Notwithstanding i) above, retail or accessory retail associated with a motor vehicle service station shall be limited to a maximum gross floor area of 280 square metres.*

No information has been provided on the submitted site plan; therefore, further variances may be required.

The By-Law requires the following per Section 9.2.3 I):

Additional Regulations for a Cannabis Growing and Harvesting Facility in addition to Section 9.2.3, the following additional regulations shall apply:

- i) Notwithstanding Section 9.2.3 d), no outdoor storage or outdoor assembly shall be permitted.*
- ii) Notwithstanding Section 9.2.3 i), no retail sales shall be permitted.*
- iii) Notwithstanding Section 4.12 c), any building or structure used for a Cannabis Growing and Harvesting Facility shall be setback a minimum of 150 metres from:*
 - a) Any portion of a lot line abutting a Residential, Institutional or Commercial and Mixed Use Zone; and,*
 - b) Any residential dwelling unit existing at the date of passing of the by-law, any building used for farm labour residence, mobile home, educational establishment, residential care facility, place of worship, day care or park in a Rural Classification Zone.*

No information has been provided on the submitted site plan; therefore, further variances may be required.

The By-Law requires the following per Section 4.9 - Mechanical and Unitary Equipment:

Air conditioners and pumps (including heat pumps and swimming pool pumps) and other similar mechanical equipment shall be located only in accordance with the following regulations:

- a) Within a required front yard, provided such equipment shall have a minimum setback of 3.0 metres from the street line, a minimum setback of 0.6 metres from a side lot line and is screened from the street by an enclosure or landscaping; and,*
- b) Within a required side yard or required rear yard provided such equipment has a minimum setback of 0.6 metres from the side lot line or rear lot line.*

The By-Law requires the following per Section 5.1 a) v) a) & b):

Unless otherwise regulated in this By-law, parking spaces and aisles, giving direct access to abutting parking spaces, excluding driveways extending directly from the street, shall be subject to the following:

- b) Shall provide a 3.0-metre-wide planting strip being required and permanently maintained between the street line and the said parking spaces or aisle.*

No information has been provided on the submitted site plan; therefore, further variances may be required.

This application will be heard by the Committee as shown below:

DATE: Thursday, August 6th, 2020

TIME: 3:40 p.m.

PLACE: Via video link or call in (see attached sheet for details)

To be streamed at www.hamilton.ca/committeeofadjustment for viewing purposes only

PUBLIC INPUT

Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

Orally: If you would like to speak to this item at the hearing you may do so via video link or by calling in. Please see attached page for complete instructions, including deadlines for registering to participate.

MORE INFORMATION

For more information on this matter, including access to drawings illustrating this request:

- Visit www.hamilton.ca/committeeofadjustment
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935
- Email Committee of Adjustment staff at cofa@hamilton.ca

DATED: July 21st, 2020

Jamila Sheffield,
Secretary-Treasurer
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public.

SITE STATISTICS

ITEM	PROPOSAL	ZONING BYLAW REQUIREMENTS
ZONING CATEGORY	M2	M2
LOT AREA (sq. m.)	10,184.7	4,000 MIN.
LOT FRONTAGE (m)	34.42	38.00
GROUND FLOOR AREA BLDG. 'A' (sq. m.)	2871	N/A
GROUND FLOOR AREA BLDG. 'B' (sq. m.)	1568	N/A
TOTAL GROUND FLOOR AREA (sq. m.)	4439	N/A
BUILDING FLOOR AREA BLDG. 'A' (sq. m.)	2871	N/A
BUILDING FLOOR AREA BLDG. 'B' (sq. m.)	2111	N/A
TOTAL GROUND BUILDING AREA (sq. m.)	4982	N/A
LOT COVERAGE	44.28	50% MAX.
FRONT YARD (m)	12.07	8.00 MIN.
REAR YARD (m)	13.00	13.00 MIN.
SIDE YARD (m)	1.30	4.50 MIN.
EXTERIOR SIDE YARD (m)	N/A	8.00 MIN.
NUMBER OF PARKING SPACES	100	111 *
NUMBER OF PARKING FREE PARKING SPACES	2	2
NUMBER OF LOADING SPACES	2	2
PARKING STALL DIMENSIONS (m)	2.8 x 5.3	2.8 x 5.3
PARKING FREE PARKING STALL DIMENSIONS (m)	3.5 x 5.3	3.5 x 5.3
BUILDING HEIGHT BLDG. 'A' (m)	7.8	10.50 MAX.
BUILDING HEIGHT BLDG. 'B' (m)	7.8	10.50 MAX.

* CALCULATION IS BASED ON INDUSTRIAL USE, 1 PARKING SPACE FOR EVERY 45 sq. m. OF FLOOR AREA.
 ** PER REQUIRE A VARIANCE

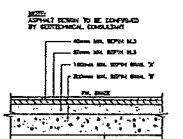
SITATION NOTES:

1. ALL EROSION AND SILTATION CONTROL DEVICES SHOULD BE AS PER THE DESIGNER'S DESIGN, INCLUDING AREA CONSTRUCTION AUTHORITY, EROSION AND SILTATION CONTROL, BUILDING FOR URBAN CONSTRUCTION.
2. SILTATION CONTROL DEVICES SHALL BE INSTALLED PRIOR TO WORKING OPERATIONS ON SITE AND SHALL BE MAINTAINED FOR THE DURATION OF CONSTRUCTION TO THE SATISFACTION OF THE OFFICER OF ENGINEERING.
3. THE SILTATION AND EROSION CONTROL MEASURES ELABORATED ON THE PLAN ARE CONSIDERED TO BE THE MINIMUM REQUIREMENTS. CONDITIONS MAY REQUIRE ADDITIONAL MEASURES WHICH WILL BE DETERMINED BY THE ENGINEER DURING CONSTRUCTION.
4. OWNER/CONTRACTOR TO MAINTAIN EROSION CONTROL MEASURES THROUGHOUT SITE DEVELOPMENT. DRAINAGE/VENTILATION COVER IS ACHIEVED.
5. EROSION AND SEDIMENTATION CONTROL DEVICES SHOULD BE INSPECTED ANNUALLY, AFTER EVERY RAINFALL AND MAINTAINED AND CLEANED AS REQUIRED.

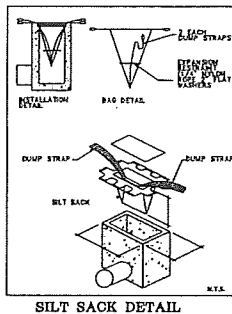
GRADING NOTES:

1. ANY CHANGES IN GRADERS AND CATERPILLARS REQUIRING THE APPROVAL OF THE CITY MANAGER OF DEVELOPMENT ENGINEERING.
2. ALL DRAINAGE FROM PROPERTY LINES FOR THE FIRST 7.5m SHALL BE WITHIN THE MANSION GRADE. THEREAFTER, ALL DRAINAGE SHALL BE WITHIN THE MANSION GRADE.
3. THE APPROVAL OF THIS PLAN DOES NOT EXEMPT THE OWNER'S BOUNDARY CONTRACTOR FROM THE REQUIREMENTS TO OBTAIN THE NECESSARY PERMITS/APPROVALS NECESSARY TO COMPLETE A CONSTRUCTION PROJECT, SUCH AS, BUT NOT LIMITED TO THE:
 - ROAD CUT PERMITS
 - EROSION APPROVAL PERMITS
 - DRAINAGE OF ADJACENT
 - SEWER PERMITS
 - LOCATION OF SERVICES
 - ENCLOSURE PERMITS
 - (IF REQUIRED)

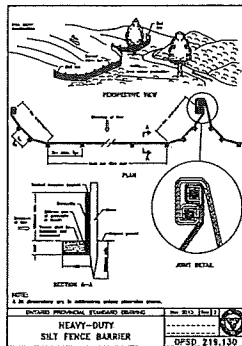
CONCRETE BARRIER CURB O.P.S.D. - 600.110 N.T.S.



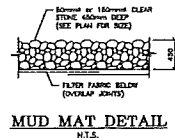
TYPICAL ASPHALT DESIGN N.T.S.



SILT SACK DETAIL N.T.S.



SILT FENCE BARRIER O.P.S.D. 215.130 N.T.S.



MUD MAT DETAIL N.T.S.



LEGEND:

- EXISTING ELEVATIONS
- PROPOSED ELEVATIONS
- PROPOSED GRADE ELEVATIONS
- PROPOSED GRADE
- GENERAL DRAINAGE
- PAINTED HANDICAPPED SYMBOL TO MEET MINIMUM REQUIREMENTS
- SITE PROPERTY LINE
- FIRE ROUTE
- PROPOSED SILTATION FENCE
- PROPOSED SILT SACK
- BOUNDARY LIMIT OF RURAL ROAD (100 YD. FROM) MAX. ROAD ELEVATION AS NOTED
- PARKING COUNT BUNDLE

NOTES:

1. ALL ELEVATIONS & DIMENSIONS SHOWN ARE METRIC.
2. ELEVATIONS MAY VARY FROM ENGINEER'S APPROVAL.
3. WHERE ONLY ONE ELEVATION IS SHOWN, EXISTING AND PROPOSED ELEVATIONS ARE THE SAME.

T.B.M. No. 1 ELEV. = 225.72m (GEO)
TOP OF FIRE HYDRANT ON THE EAST SIDE OF BITTERN STREET AS SHOWN.
T.B.M. No. 2 ELEV. = 225.27m (GEO)
TOP OF FIRE HYDRANT ON THE EAST SIDE OF BITTERN STREET AS SHOWN.
T.B.M. No. 3 ELEV. = 224.46m (GEO)
TOP S.W. CORNER OF CONC. BASE TO HYDRO VALVE IN FRONT OF SUBJECT PROPERTY AS SHOWN.
T.B.M. No. 4 ELEV. = 224.44m (GEO)
TOP OF FIRE HYDRANT ON THE EAST SIDE OF BITTERN STREET AS SHOWN.

NO.	REVISION	DATE (mm/dd/yyyy)	BY
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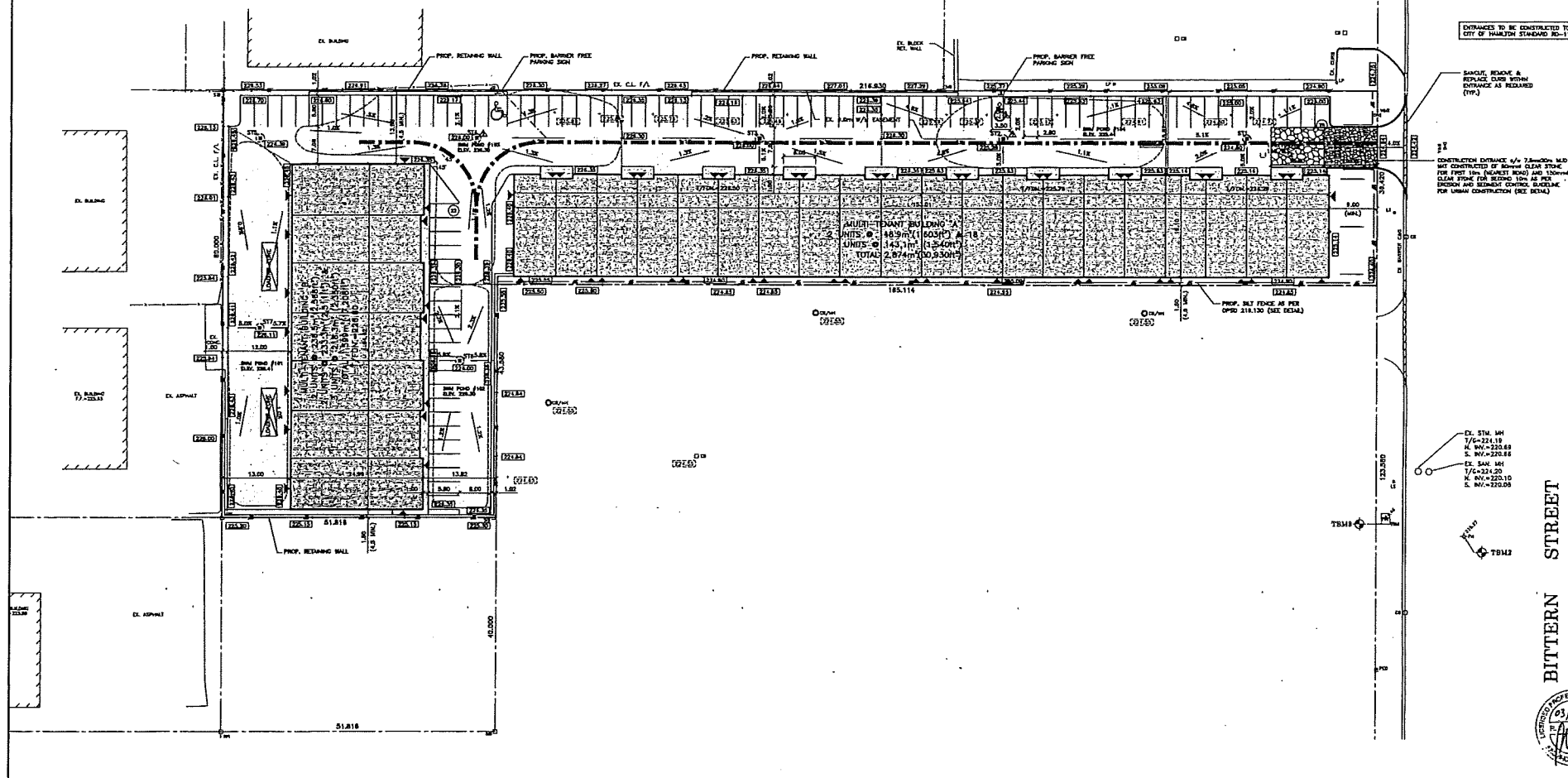
J.H. COHOON ENGINEERING LIMITED
 CONSULTING ENGINEERS
 440 HARTY ROAD, UNIT #1, BRANTFORD - ONTARIO, N0T 3A8
 TEL: (519) 753-3884 FAX: (519) 753-1343 www.jhcohoon.com

PROJECT:
PROPOSED INDUSTRIAL BUILDING
 BITTERN STREET
 CITY OF HAMILTON

CLIENT:
 ABCOTT CONSTRUCTION

SITE, EROSION CONTROL, AND GRADING PLAN

DESIGN: R.W.P.	SCALE: 1:400
DRAWN: L.A.C./K.P.B.	JOB NO: 12938
CHECKED: R.W.P.	
SHEET: 1 of 2	DATE: DEC. 2/19
DATE: DEC. 2/19	12938-1



AN/A 20.67

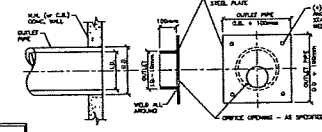
SERVICING NOTES:

- ALL WORK INVOLVED IN THE CONNECTION, RELOCATION, REPAIR OF SANITARY SERVICES FOR THE PROJECT SHALL BE TO THE SATISFACTION OF THE SENIOR ENGINEER, DESIGN MANAGEMENT, PLANNING AND ECONOMIC DEVELOPMENT DEPARTMENT.
- ALL SERVICES TO BE INSTALLED AS PER CITY OF HAMILTON CONSTRUCTION AND MAINTENANCE STANDARDS AND SPECIFICATIONS MANUAL, LATEST EDITION AND THE MINISTRY OF ENVIRONMENTAL SERVICES (LATEST EDITION).
- MINIMUM HORIZONTAL SEPARATION BETWEEN WATER SERVICES AND SANITARY SERVICES SHALL BE 1.5m MEASURED FROM THE EXISTING PIPE TO THE EXISTING PIPE. EXISTING VERTICAL SEPARATION SHALL BE 1.5m MEASURED FROM THE EXISTING WATER SERVICE TO THE EXISTING SANITARY SERVICE. EXISTING VERTICAL SEPARATION SHALL BE 1.5m MEASURED FROM THE EXISTING WATER SERVICE TO THE EXISTING SANITARY SERVICE. EXISTING VERTICAL SEPARATION SHALL BE 1.5m MEASURED FROM THE EXISTING WATER SERVICE TO THE EXISTING SANITARY SERVICE.
- PROPOSED SANITARY SERVICES SHALL BE 150mm DIA. (6") OR 200mm DIA. (8") PIPE. EXISTING SANITARY SERVICES SHALL BE 150mm DIA. (6") OR 200mm DIA. (8") PIPE. EXISTING SANITARY SERVICES SHALL BE 150mm DIA. (6") OR 200mm DIA. (8") PIPE.
- ANY CHANGES IN GRADES AND CATCHMENTS REQUIRE THE APPROVAL OF THE SENIOR ENGINEER, DESIGN MANAGEMENT, PLANNING AND ECONOMIC DEVELOPMENT DEPARTMENT.
- OUTSTANDING SHALL BE AS PER OPS 701.01 AND MUST BE NOTED WITH A DOTTED LINE AS PER OPS-DEA. ALL PROPOSED SANITARY SERVICES SHALL BE 150mm DIA. (6") OR 200mm DIA. (8") PIPE. EXISTING SANITARY SERVICES SHALL BE 150mm DIA. (6") OR 200mm DIA. (8") PIPE.
- SEWER TO BE INSTALLED WITH A MIN. COVER OF 0.50m AT THE PROPERTY LINE, BELOW THAT, ROAD GRADE OR IF SUCH HIGHER ELEVATION DRAZ AS MAY BE NECESSARY BY THE LOCATION OF THE SANITARY SERVICE, ON PRIVATE PROPERTY THE MINIMUM COVER IS TO BE NO LESS THAN 1.5m.
- PROPOSED SANITARY SERVICES SHALL BE 150mm DIA. (6") OR 200mm DIA. (8") PIPE. EXISTING SANITARY SERVICES SHALL BE 150mm DIA. (6") OR 200mm DIA. (8") PIPE.
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- SEWER REDLINE AND COVER TO BE AS PER OPS-DEA. 701.01 & 701.02.
- MINIMUM SIZE OF STORM AND SANITARY DRAINS LOCATED WITHIN THE ROAD ALLOWANCE TO BE 150mm DIA. (6") IN THE ORIGINAL CITY OF HAMILTON AND 150mm DIA. (6") IN THE OTHER AREA MANIPULATED FOR COMPRESSING THE AIR CITY.
- RESTORATION OF ROAD OVER UTILITY CUTS IN HAMILTON TO BE AS PER STANDARD SPECIFICATIONS RD-100.01 AND RD-100.02, WITH DIVALLER 'A' BEDDING.
- MAINTENANCE HOLE IS REQUIRED AT ALL CHANGES IN PIPE SIZE, CHANGES IN PIPE DIRECTION, END OF PIPE RUNS AND AT CLEANOUTS.
- ANCHOR OR THREAT BLOCKS ARE TO BE INSTALLED AT ALL WATER SERVICE ELIMINATIONS, TIE-INS, PLUGS ETC. FOR 300mm DIAMETER WATER SERVICES AND SMALLER, ANCHOR BLOCKS ARE TO BE AS PER OPS-DEA. 701.01.
- WATERMAIN BEDDING AND COVER MATERIAL TO BE INSTALLED AS PER OPS-DEA. 701.01 (CONCRETE AND WATERMAIN AND SERVICES) AND DIVALLER 'A' FOR BEDDING AND COVER. BEDDING AND COVER SHALL BE AS PER OPS-DEA. 701.01 (CONCRETE AND WATERMAIN AND SERVICES) AND DIVALLER 'A' FOR BEDDING AND COVER. BEDDING AND COVER SHALL BE AS PER OPS-DEA. 701.01 (CONCRETE AND WATERMAIN AND SERVICES) AND DIVALLER 'A' FOR BEDDING AND COVER.
- ALL EXISTING UNSEWERED WATER SERVICES TO THE SITE MUST BE REMOVED. SEWER SERVICES GREATER THAN 300mm MUST BE COMPLETELY REMOVED FROM THE ROAD ALLOWANCE WITH AN APPROPRIATE RETURN TO THE MAINLINE, UNLESS:
- CLASS STOPS (ANCHOR LESS THAN 300mm) TO BE INSTALLED WITH A BOX AS PER OPS-DEA.

NOTE: APPROVAL OF THIS DRAWING IS FOR GENERAL ACCURACY AND COMPLIANCE WITH MUNICIPAL AND TECHNICAL SPECIFICATIONS AND STANDARDS ONLY. APPROVAL AND SIGNATURE BY THE CITY OF HAMILTON DOES NOT CONSTITUTE AN ENDORSEMENT OF THE PROJECT OR A GUARANTEE OF THE ACCURACY OF THE INFORMATION PROVIDED HEREON. THE USER OF THIS DRAWING SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR OBTAINING ALL NECESSARY INFORMATION FROM THE CITY OF HAMILTON AND THE CITY OF HAMILTON ENGINEERING DEPARTMENT.

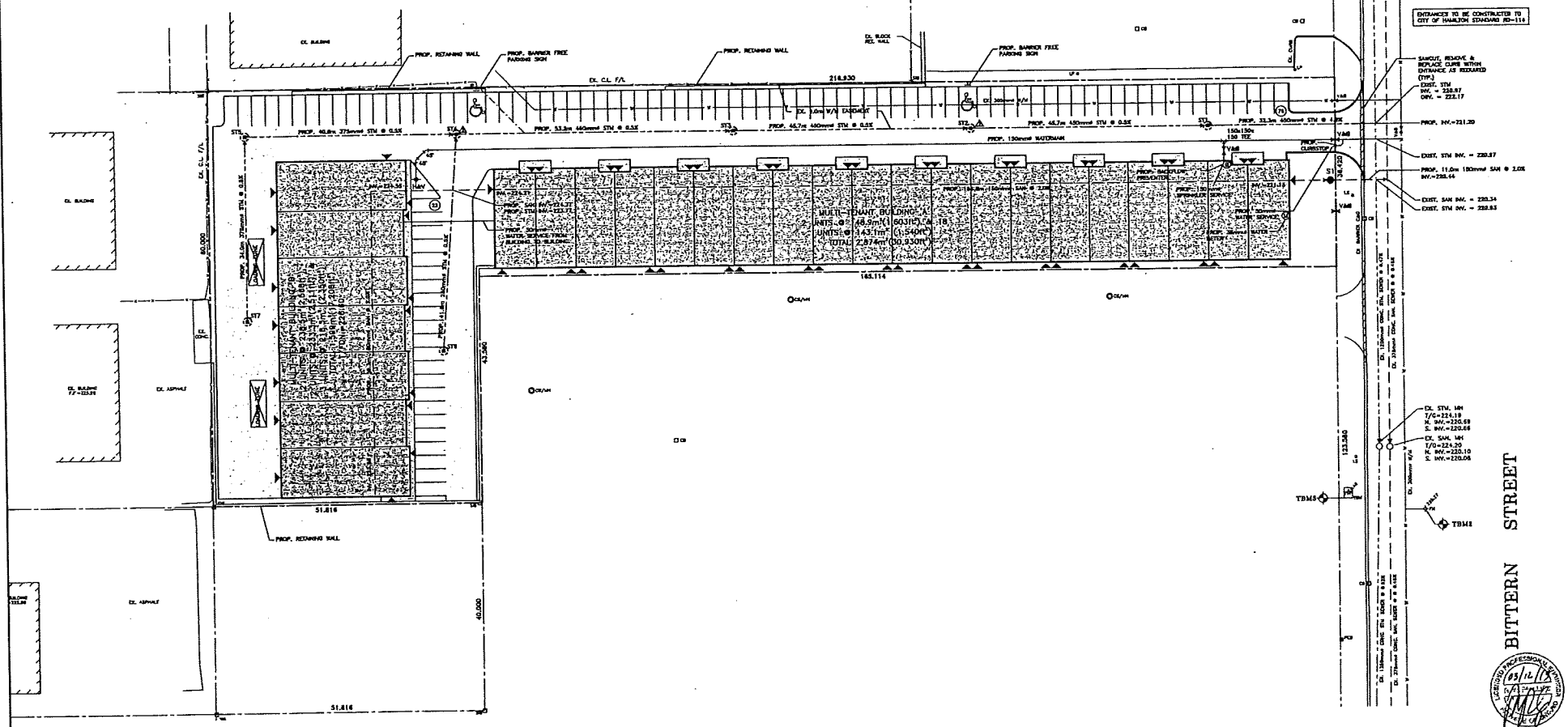
C.B. ORIFICE PLATE SIZING	
ORIFICE PLATE SIZE	DIAMETER OF ORIFICE PLATE (mm)
150mm	200mm
200mm	250mm



WATERMAIN SUMMARY - JOINT RESTRAINTS	
LOCATION / DESCRIPTION	LENGTH TO BE RESTRAINED (m)
150mm DIA. P.C. - DEAN CND	13.2m
150mm DIA. P.C. - 45° HOLE, BEND	2.4m
150mm DIA. P.C. - TEE	1.2m
300mm DIA. P.C. - TEE	1.2m

MINI. PARAMETERS:
SIL. TYP. MIN. FACTOR OF SAFETY 1.5:1, DESIGN WITH A COEFF. OF BURN 1.5, TEST PRESSURE 200 P.S.I.

FLOW CONTROL DEVICE ORIFICE PLATE



LEGEND:

- EXISTING ELEVATIONS
- PROPOSED ELEVATIONS
- PROPOSED SHALE ELEVATIONS
- PROPOSED SHALE
- GENERAL DRAINAGE
- PROP. WATER METER
- PROP. BACKFLOW PREVENTER

SANITARY SYSTEM			
ST	DESCRIPTION	P/C	INVERTS
ST	1.2m P/C 150mm	224.55	N 220.88 E 220.88

STORM SYSTEM			
ST	DESCRIPTION	P/C	INVERTS
ST1	0.9m STORM/CEMENT/CB	224.60	N 222.64 E 222.64
ST2	1.2m P/C CB/150mm	225.34	N 223.11 E 223.08
ST3	1.2m P/C CB/150mm	226.05	N 223.39 E 223.34
ST4	1.2m P/C CB/150mm	226.05	N 223.71 E 223.68
ST5	1.2m P/C CB/150mm	226.05	N 224.44 E 224.39
ST6	0.6m/0.61.52m P/C CB	226.05	N 223.82 E 223.79
ST7	0.6m/0.61.52m P/C CB	226.11	N 224.81 E 224.78

- T.B.M. No. 1 ELEV. = 225.72m (GEO)
TOP HWT OF FIRE HYDRANT ON THE EAST SIDE OF BITTERN STREET AS SHOWN.
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J.H. COHOON ENGINEERING LIMITED
CONSULTING ENGINEERS
440 HURD ROAD, UNIT #1, BRANTFORD - ONTARIO, N3T 5L6
TEL. (519) 753-1648 FAX. (519) 753-4343 www.jhcohoon.com

PROJECT:
PROPOSED INDUSTRIAL BUILDING
BITTERN STREET
CITY OF HAMILTON

CLIENT:
ABCOTT CONSTRUCTION

SERVICING PLAN

DESIGN: R.W.P.	SCALE: 1:400
DRAWN: L.A.C./C.P.B.	JOB NO. 12938
CHECKED: R.W.P.	
SHEET: 2 of 2	DWG. NO. 12938-2
DATE: DEC. 2/19	

OSPREY DRIVE
(ESTABLISHED BY BY-LAW No. 83-58. REGISTERED AS INST. No. CD245000)

PLAN OF SURVEY OF
PART OF BLOCK 1
REGISTERED PLAN 62M-1121
IN THE
CITY OF HAMILTON
SCALE 1 : 750
4 2 0 10 METRES
ASHENHURST NOUWENS & ASSOCIATES INC.

SCALE 1 : 750

ASHENHURST NOUWENS & ASSOCIATES INC.

BEARING NOTE
BEARINGS HEREON ARE GRID AND ARE REFERRED TO
THE NAD83 UTM CO-ORDINATE SYSTEM; ZONE 17, CENTRAL
MERIDIAN 81° W LONGITUDE AND DERIVED FROM MONUMENTS

008660015	N 4782819.193	E 378095.172
009753349	N 4782764.681	E 378277.776

METRIC NOTE
DISTANCES AND COORDINATES SHOWN ON THIS PLAN ARE IN METRES AND
CAN BE CONVERTED TO FEET BY OMINDING BY 0.3048.

LEGEND		
W	DEMOTES	FOUND
□	DEMOTES	PLANTED
18	DEMOTES	IRON BAR
SB	DEMOTES	STANDARD IRON BAR
RTB	DEMOTES	ROUND IRON BAR
M	DEMOTES	MEASURED
OU	DEMOTES	ORIGIN UNKNOWN
WT	DEMOTES	WITNESS
P1	DEMOTES	PLAIN 62R-17854
P2	DEMOTES	PLAIN 62R-14357
P3	DEMOTES	PLAIN 62R-16293
151T	DEMOTES	CUNDO V. CONSOLI
RHW	DEMOTES	CITY OF HAURILLI
WT	DEMOTES	WITNESS

SURVEYOR'S CERTIFICATE

I CERTIFY THAT:

1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT AND THE LAND TITLES ACT AND THE REGULATIONS MADE UNDER THEM

7. THIS SURVEY WAS COMPLETED ON THE 11TH, DAY OF JANUARY, 2017

DATE _____

HARRY KALANTZAKOS
ONTARIO LAND SURVEYOR

ONTARIO LAND SURVEYOR

ASHENHURST NOUWENS & ASSOCIATES INC.
PROFESSIONAL ENGINEERS & ONTARIO LAND SURVEYORS
225 KING WILLIAM STREET, SUITE 204, HAMILTON, ONTARIO L8R 1B1

AN
SINCE 1958

TELEPHONE: (905) 529-6316
(905) 529-4314
FAX: (905) 529-6651

e-mail: info@ashnouv.com

DRAWN BY A.K.W.	CALCD BY B.C.	CHKD BY H.K.	FILE No. 16199 RPLAN
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AN/A 20:67

20.15 3279



Hamilton

Planning and Economic Development Department
Planning Division

Committee of Adjustment
City Hall
5th floor 71 Main Street West
Hamilton, Ontario L8P 4Y5

Phone (905) 546-2424 ext.4221
Fax (905) 546-4202

**PLEASE FILL OUT THE FOLLOWING PAGES AND
RETURN TO THE CITY OF HAMILTON PLANNING
DEPARTMENT.**

FOR OFFICE USE ONLY.	
APPLICATION NO. <u>AN/A-20:67</u>	DATE APPLICATION RECEIVED <u>FEB 13 2020</u>
PAID _____	DATE APPLICATION DEEMED COMPLETE _____
SECRETARY'S SIGNATURE _____	

**CITY OF HAMILTON
COMMITTEE OF ADJUSTMENT
HAMILTON, ONTARIO**

The Planning Act

Application for Minor Variance or for Permission

The undersigned hereby applies to the Committee of Adjustment for the City of Hamilton under Section 45 of the *Planning Act*, R.S.O. 1990, Chapter P.13 for relief, as described in this application, from the Zoning By-law.

1. Name of Owner 1622-1890 Ontario Inc. Telephone No. _____

2. _____

3. Name of Agent Phocott Construction Telephone No. _____

4. _____

Note: Unless otherwise requested all communications will be sent to the agent, if any.

5. Names and addresses of any mortgagees, holders of charges or other encumbrances:

h/a _____ Postal Code _____

_____ Postal Code _____

6. Nature and extent of relief applied for:

Reduction of side yard setbacks from
4.5m to 1.5m
Parking space requirements of 118
reduced to 100 total.

7. Why it is not possible to comply with the provisions of the By-law?

Due to constraints of the narrow lot
width dimensions and to maintain
adequate access for fire route and
tenants, relief is required.

8. Legal description of subject lands (registered plan number and lot number or other legal description and where applicable, street and street number):

Reg. Plan 62-M-1121
Part of Block 1 53 Bittern St, Ancaster

9. PREVIOUS USE OF PROPERTY

Residential _____ Industrial _____ Commercial _____

Agricultural _____ Vacant ☒

Other _____

- 9.1 If Industrial or Commercial, specify use

Industrial

- 9.2 Has the grading of the subject land been changed by adding earth or other material, i.e. has filling occurred?

Yes _____ No ☒ Unknown _____

- 9.3 Has a gas station been located on the subject land or adjacent lands at any time?

Yes _____ No ☒ Unknown _____

- 9.4 Has there been petroleum or other fuel stored on the subject land or adjacent lands?

Yes _____ No ☒ Unknown _____

- 9.5 Are there or have there ever been underground storage tanks or buried waste on the subject land or adjacent lands?

Yes _____ No ☒ Unknown _____

- 9.6 Have the lands or adjacent lands ever been used as an agricultural operation where cyanide products may have been used as pesticides and/or sewage sludge was applied to the lands?

Yes _____ No ☒ Unknown _____

- 9.7 Have the lands or adjacent lands ever been used as a weapon firing range?

Yes _____ No ☒ Unknown _____

- 9.8 Is the nearest boundary line of the application within 500 metres (1,640 feet) of the fill area of an operational/non-operational landfill or dump?

Yes _____ No ☒ Unknown _____

- 9.9 If there are existing or previously existing buildings, are there any building materials remaining on site which are potentially hazardous to public health (eg. asbestos, PCB's)?

Yes _____ No ☒ Unknown _____

9.10 Is there any reason to believe the subject land may have been contaminated by former uses on the site or adjacent sites?

Yes _____ No ☒ Unknown _____

9.11 What information did you use to determine the answers to 9.1 to 9.10 above?

personal

9.12 If previous use of property is industrial or commercial or if YES to any of 9.2 to 9.10, a previous use inventory showing all former uses of the subject land, or if appropriate, the land adjacent to the subject land, is needed.

Is the previous use inventory attached? Yes _____ No _____

ACKNOWLEDGEMENT CLAUSE

I acknowledge that the City of Hamilton is not responsible for the identification and remediation of contamination on the property which is the subject of this Application – by reason of its approval to this Application.

Date

Feb 4/20

Signature Property Owner

Bob Putman

Print Name of Owner

10. Dimensions of lands affected:

Frontage

3/42m

Depth

Varies (246.93m)

Area

1.016 Ha

Width of street

11. Particulars of all buildings and structures on or proposed for the subject lands: (Specify ground floor area, gross floor area, number of stories, width, length, height, etc.)

Existing:

n/a

Proposed:

Two (2) multi-tenant industrial buildings
Building 'A' - 30,930 sq. ft. Building 'B' 17,700 sq. ft.
Both are single storey 25' high

12. Location of all buildings and structures on or proposed for the subject lands; (Specify distance from side, rear and front lot lines)

Existing:

n/a

Proposed:

Refer to attached site plan

13. Date of acquisition of subject lands:
December 2018
14. Date of construction of all buildings and structures on subject lands:
n/a
15. Existing uses of the subject property:
vacant
16. Existing uses of abutting properties:
Industrial - Office - Multi-tenant - Office & hub
17. Length of time the existing uses of the subject property have continued:
unknown
18. Municipal services available: (check the appropriate space or spaces)
Water X Connected _____
Sanitary Sewer X Connected _____
Storm Sewers X
19. Present Official Plan/Secondary Plan provisions applying to the land:
Employment Area Designation - Business Park
20. Present Restricted Area By-law (Zoning By-law) provisions applying to the land:
M2 - Exception 678
21. Has the owner previously applied for relief in respect of the subject property?
Yes _____ No X
If the answer is yes, describe briefly.

22. Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?
Yes _____ No X
23. The applicant shall attach to each copy of this application a plan showing the dimensions of the subject lands and of all abutting lands and showing the location, size and type of all buildings and structures on the subject and abutting lands, and where required by the Committee of Adjustment such plan shall be signed by an Ontario Land Surveyor.

NOTE: It is required that two copies of this application be filed with the secretary-treasurer of the Committee of Adjustment together with the maps referred to in Section 5 and be accompanied by the appropriate fee in cash or by cheque made payable to the City of Hamilton.

OSPREY DRIVE
(ESTABLISHED BY BY-LAW No. 83-58, REGISTERED AS INST. No. CD245000)

I REQUIRE THIS PLAN TO BE DEPOSITED
UNDER THE LAND TITLES ACT.

PLAN 62R-

RECEIVED AND DEPOSITED

DATE

DATE

HARRY KALANTZAKOS
ONTARIO LAND SURVEYOR

REPRESENTATIVE FOR:
LAND REGISTRAR FOR THE LAND TITLES
DIVISION OF WENTWORTH (62)

SCHEDULE			
PART	LOT	PLAN	PIN No.
1	PART OF BLOCK 1	REGISTERED PLAN 62M-1121	PART OF 17411-0311(L)
2			

PART 2 IS SUBJECT TO EASEMENT AS IN INST. No. WE720213
PARTS 1 AND 2 SUBJECT TO EASEMENT IN GROSS AS IN INST. WE720175

PLAN OF SURVEY OF
PART OF BLOCK 1
REGISTERED PLAN 62M-1121
IN THE
CITY OF HAMILTON
SCALE 1 : 750

ASHENHURST NOUWENS & ASSOCIATES INC.

BEARING NOTE
BEARINGS HEREON ARE GRID AND ARE REFERRED TO
THE NAD83 UTM CO-ORDINATE SYSTEM, ZONE 17, CENTRAL
MERIDIAN BY W LONGITUDE AND DERIVED FROM MONUMENTS

008860015 N 4782819.193 E 578095.172
009753349 N 4782764.681 E 578727.775

DISTANCES SHOWN ARE GROUND VALUES, TO RELATE TO GRID
VALUES MULTIPLY BY THE C.S.F. OF 0.9996468.

METRIC NOTE
DISTANCES AND COORDINATES SHOWN ON THIS PLAN ARE IN METRES AND
CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

LEGEND
DENOTES FOUND
DENOTES PLANTED
DENOTES IRON BAR
DENOTES STANDARD IRON BAR
DENOTES ROUND IRON BAR
DENOTES MEASURED
DENOTES ORIGIN UNKNOWN
DENOTES WITNESS
P1 DENOTES PLAN 62R-17854
P2 DENOTES PLAN 62R-14357
P3 DENOTES PLAN 62R-18293
P4 DENOTES GUIDO V. CONSOLE, O.L.S.
CITY OF HAMILTON
WIT DENOTES WITNESS

BLOCK
REGISTERED
PLAN

62M-1121

62R-17854

PART 1

PART 2
SUBJECT TO EASEMENT
AS IN INST. WE720213

BLOCK
PART 3, PLAN 62R-18293
PIN 17411-0311(L)

PART 24, PLAN 62R-17854

SOUTHEAST CORNER OF
BLOCK 1 REGISTERED
PLAN 62M-1121

BITTERN STREET

PART 19, PLAN 62R-17854
PIN 17411-0320(L)

DETAIL 'A'
NOT TO SCALE

PART 8, PLAN 62R-14357

PART 7, PLAN 62R-14357
PIN 17411-0311(L)

PART 18, PLAN 62R-17854

PART 1

PART 1, PLAN 62R-18293

PART 17, PLAN 62R-17854

SURVEYOR'S CERTIFICATE

I CERTIFY THAT:

1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE
SURVEYS ACT, THE SURVEYORS ACT AND THE LAND TITLES ACT AND
THE REGULATIONS MADE UNDER THEM.

2. THIS SURVEY WAS COMPLETED ON THE 11th, DAY OF JANUARY, 2017

DATE

HARRY KALANTZAKOS
ONTARIO LAND SURVEYOR

ASHENHURST NOUWENS & ASSOCIATES INC
PROFESSIONAL ENGINEERS & ONTARIO LAND SURVEYORS
225 KING WILLIAM STREET, SUITE 204, HAMILTON, ONTARIO L8R 1B1

AA
SINCE 1956

TELEPHONE: (905) 529-6316
(905) 529-4314
FAX: (905) 529-6651

e-mail: an@AshenhurstNouwens.com

DRAWN BY A.K.W. CALC'D BY B.C. C.R'D BY H.K. FILE No. 16199 RPLAN

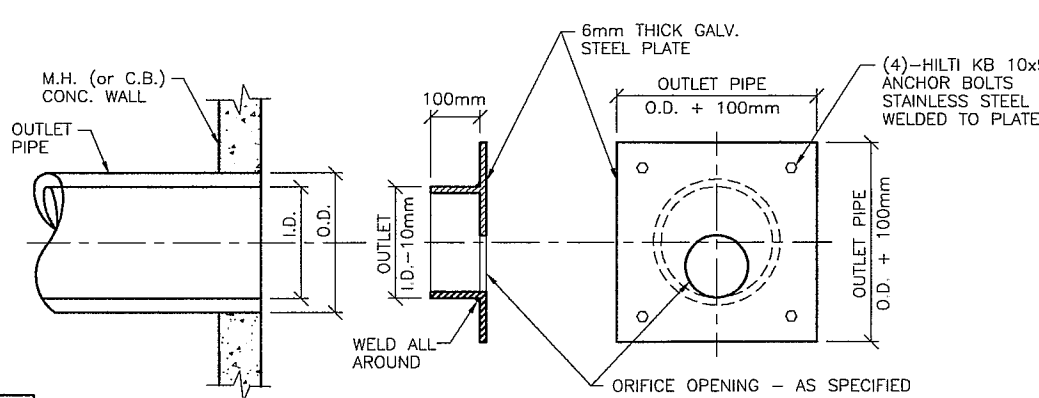
SERVICING NOTES:

- ALL WORK INVOLVED IN THE CONSTRUCTION, RELOCATION, REPAIR OF MUNICIPAL SERVICES FOR THE PROJECT SHALL BE TO THE SATISFACTION OF THE SENIOR DIRECTOR, GROWTH MANAGEMENT, PLANNING AND ECONOMIC DEVELOPMENT DEPARTMENT.
- ALL SERVICES TO BE INSTALLED AS PER CITY OF HAMILTON CONSTRUCTION AND MATERIALS STANDARDS AND SPECIFICATIONS MANUAL (LATEST EDITION) AND THE MINISTRY OF ENVIRONMENT GUIDELINES (LATEST EDITION)
- MINIMUM HORIZONTAL SEPARATION BETWEEN WATER SERVICES AND SEWER DRAINS AND/OR MUNICIPAL SEWER MAINS SHALL BE 2.5m MEASURED FROM THE CLOSEST PIPE EDGE TO CLOSEST PIPE EDGE. VERTICAL SEPARATION WHERE A WATER SERVICE PASSES OVER A SEWER DRAIN AND/OR MUNICIPAL SEWER MAINS MUST BE A MINIMUM OF 0.15m UNLESS GREATER SEPARATION IS REQUIRED TO PROVIDE FOR PROPER BEDDING AND STRUCTURAL SUPPORT. WATER SERVICES PASSING UNDER SEWER DRAINS AND/OR MUNICIPAL SEWER MAINS MUST HAVE A SEPARATION OF 0.50m BETWEEN THE INVERT OF THE SEWER DRAIN AND/OR MUNICIPAL SEWER MAIN AND THE CROWN OF WATERMAIN.
- PROPOSED STORM SEWER SHALL BE PVC SDR35 (RIBBED OR PROFILE PIPE MAY NOT BE USED FOR PRIVATE DRAIN OR CATCH BASIN INSTALLATIONS)
- ANY CHANGES IN GRADES AND CATCHBASINS REQUIRE THE APPROVAL OF THE SENIOR DIRECTOR, GROWTH MANAGEMENT, PLANNING AND ECONOMIC DEVELOPMENT DEPARTMENT.
- CATCHBASINS SHALL BE AS PER OPSD 705.010 AND MUST BE MOIFIED WITH A GROSS TRAP AS PER SEM-304. ALL PRIVATE PROPERTY CATCHBASINS ARE TO INCLUDE A SUMP. PROVIDE SILT SACK IN CATCHBASINS DURING CONSTRUCTION AND UNTIL GROUND COVER IS ESTABLISHED.
- SEWERS TO BE INSTALLED WITH A MIN. COVER OF 2.20m AT THE PROPERTY LINE BELOW FINAL ROAD GRADE OR AT SUCH HIGHER ELEVATION ONLY AS MAY BE NECESSITATED BY THE ELEVATION OF THE MAIN SEWER. ON PRIVATE PROPERTY THE MINIMUM COVER IS TO BE NO LESS THAN 1.2m.
- PROPOSED SANITARY SEWER SHALL BE PVC SDR28 FOR 150mm AND SDR35 FOR OTHER SIZES.
- PROPOSED SANITARY SEWER MANHOLE TO BE IN ACCORDANCE WITH O.P.S.D. 701.010 (NO SUMPS)
- SEWER BEDDING AND COVER TO BE AS PER O.P.S.D. 802.010 WITH GRANULAR 'A' FOR BOTH BEDDING AND COVER.
- ALL MANHOLES TO CONFORM TO OPSD 701.01 & 701.03
- MINIMUM SIZE OF STORM AND SANITARY DRAINS LOCATED WITHIN THE ROAD ALLOWANCE TO BE 150mm IN THE ORIGINAL CITY OF HAMILTON AND 125mm IN THE OTHER AREA MUNICIPALITIES NOW COMPRISING THE NEW CITY.
- RESTORATION OF ROAD OVER UTILITY CUTS IN HAMILTON TO BE AS PER STANDARD DRAWINGS RD-100.01 AND RD-100.02, WITH GRANULAR 'A' BEDDING.
- MAINTENANCE HOLES ARE REQUIRED AT ALL CHANGES IN PIPE SIZE, CHANGES IN PIPE DIRECTION, ENDS OF PIPE RUNS AND AS CLEANOUTS.
- ANCHOR OR THRUST BLOCKS ARE TO BE INSTALLED AT ALL WATER SERVICE ELBOWS, TEES, PLUGS ETC. FOR 300mm DIAMETER WATER SERVICES AND SMALLER, ANCHOR BLOCKS ARE TO BE AS PER WM-204.01
- WATERMAIN BEDDING AND COVER MATERIAL TO BE INSTALLED AS PER WM-200.01 (CONCRETE AND PVC WATERMANS AND SERVICES) AND WM-200.02 (DUCTILE IRON WATERMANS AND SERVICES) WITH GRANULAR 'A' FOR BEDDING AND COVER. BEDDING AND COVER FOR SMALL DIAMETER SERVICES (i.e. 50mm AND UNDER TO BE AS PER WM-200.01 WITH GRANULAR 'D' FOR BOTH BEDDING AND COVER. WATER SERVICES TO BE INSTALLED WITH A MINIMUM COVER OF 1.6m.
- ALL BACKFLOW PREVENTION DEVICES MUST BE SELECTED, AND MAINTAINED IN ACCORDANCE WITH THE CITY OF HAMILTON'S BACKFLOW PREVENTION BY-LAW # 10-103 THE MANUFACTURER'S SPECIFICATIONS AND THE GUIDELINES SET OUT IN THE MOST RECENT VERSIONS OF THE AWWA CANADIAN CROSS CONNECTION CONTROL MANUAL AND THE CSA B64-10/07/B64.10.1-07 STANDARDS.
- DOWNSPOUTS TO OUTLET AT GRADE LEVEL AWAY FROM BUILDINGS.

NOTE:
APPROVAL OF THIS DRAWING IS FOR MATERIAL ACCEPTABILITY AND COMPLIANCE WITH MUNICIPAL AND PROVINCIAL SPECIFICATIONS AND STANDARDS ONLY. APPROVAL AND INSPECTION BY THE CITY OF THE WORKS DOES NOT CERTIFY THE LINE AND GRADE OF THE WORKS AND IT IS THE OWNER'S RESPONSIBILITY TO HAVE THEIR ENGINEER CERTIFY THIS ACCORDINGLY.

- PROVIDE A WATER BACKFLOW PREVENTOR FOR FIRE SERVICES, REQUIRED IN ACCORDANCE THE ONTARIO BUILDING CODE, SHALL BE LOCATED AT THE SERVICE POINT OF ENTRY TO EACH BUILDING.
- ALL HYDRANTS ARE TO BE INSTALLED AS PER RWS-600 and/or RWS-604, AS APPLICABLE AND ARE TO BE COMPLETE WITH SECONDARY VALVE. SECONDARY VALVES ARE TO BE CLOSE COUPLED TO THE HYDRANT IN ALL CASES, AND ARE TO OPEN LEFT. THE MAIN HYDRANT VALVE IS TO BE OPEN LEFT, WITH CLEAR MARKINGS CAST IN THE BONNET SHOWING OPEN LEFT DIRECTIONAL INDICATOR ARROW. A BLACK LETTER 'L' MUST ALSO BE STENCILED ON THE UPPER BONNET INDICATING THE VALVE OPENS LEFT. HYDRANTS ARE TO BE EQUIPPED WITH 100mm (4") STORZ PUMPER NOZZLES, BLACK IN COLOUR.
- IF A SERVICE IS TO BE RE-USED THE APPLICANT/OWNER MUST ASSURE THEMSELVES THAT THE EXISTING SERVICE IS ADEQUATE TO MEET THEIR PROPOSED USES AND ARE IN GOOD WORKING CONDITION.
- INTERNAL WATER METER INSTALLATIONS TO BE AS PER WM-210 AND THE METER IS TO BE INSTALLED AT FLOOR LEVEL.
- ALL EXISTING UNUSED WATER SERVICES TO THE SITE MUST BE ABANDONED. SERVICES GREATER THAN 50mm MUST BE COMPLETELY REMOVED FROM THE ROAD ALLOWANCE WITH AN APPROPRIATE REPAIR TO THE MUNICIPAL MAIN.
- CURB STOPS (VALVES) LESS THAN 300mm TO BE INSTALLED WITH A BOX AS PER WM-202.
- SHUTDOWN OF A CITY WATERMAIN WILL BE AT THE DISCRETION OF THE CITY AND IS SUBJECT TO THE FOLLOWING REQUIREMENTS, WHICH SHOULD BE NOTED ON THE PLAN.
"WATERMAIN SHUTDOWN"
(a) MAXIMUM 4 HOUR SHUTDOWN OF EXISTING MAIN AT A TIME CONVENIENT TO THE CITY OF HAMILTON AND ABUTTING USERS.
(b) CONTRACTOR TO GIVE 48 HOUR PRIOR NOTIFICATION USING THE "CITY OF HAMILTON NOTICE OF SHUTDOWN" FOR ALL AFFECTED AREAS.
(c) IN THE EVENT OF A SCHEDULED SHUTDOWN IS CANCELED BY THE CITY OF HAMILTON, THE CONTRACTOR SHALL HAVE NO CLAIMS AGAINST THE CITY.
- ANY CHANGES IN GRADES AND CATCH BASINS REQUIRE THE APPROVAL OF THE CITY'S MANAGER OF DEVELOPMENT ENGINEERING.
- ALL DRIVEWAYS FROM PROPERTY LINES FOR THE FIRST 7.5m SHALL BE WITHIN 5% MAXIMUM GRADE. THEREAFTER, ALL DRIVEWAYS SHALL BE WITHIN 10% MAXIMUM GRADES.
- THE APPROVAL OF PLANS DOES NOT EXEMPT THE OWNER'S BONDED CONTRACTOR FROM THE REQUIREMENTS TO OBTAIN THE VARIOUS PERMITS/ APPROVALS NORMALLY REQUIRED TO COMPLETE A CONSTRUCTION PROJECT, SUCH AS, BUT NOT LIMITED TO THE FOLLOWING:
- ROAD CUT PERMITS
- APPROACH APPROVAL PERMITS
- COMMITTEE OF ADJUSTMENT
- SEWER/WATER PERMITS
- RELOCATION OF SERVICES
- ENCROACHMENT AGREEMENTS (if required)
- ALL EXISTING UNUSED WATER SERVICES MUST BE REMOVED FROM THE ROAD ALLOWANCE WITH APPROPRIATE REPAIR TO THE AND MUNICIPAL WATERMAIN AS PER CITY OF HAMILTON STANDARD REQUIREMENTS.
- PVC WATER SERVICE/MAIN MATERIAL, CATHODIC PROTECTION, TRACER WIRE ETC. MUST BE AS PER FORM 400.

C.B. ORIFICE PLATE SIZING	
ORIFICE PLATE CONFIGURATION NUMBER	DIAMETER OF ORIFICE PLATE OPENING
1	200mm
2	200mm

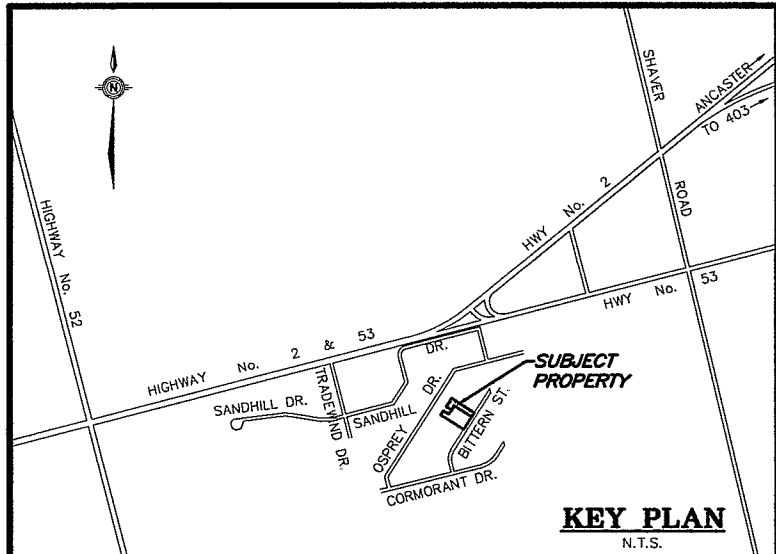


FLOW CONTROL DEVICE ORIFICE PLATE

N.T.S.

WATERMAIN SUMMARY - JOINT RESTRAINTS	
LOCATION / DESCRIPTION	LENGTH TO BE RESTRAINED (L _r)
150mm DIA. PVC - DEAD END	12.2m
150mm DIA. PVC - 45° HORZ. BEND	2.4m
150x150x150mm PVC - TEE	L _r = MAIN LINE - 3.0m L _r = BRANCH LINE - 3.0m
300x300x150mm PVC - TEE	L _r = MAIN LINE - 1.5m L _r = BRANCH LINE - 3.4m

INPUT PARAMETERS:
SOIL TYPE: MH, FACTOR OF SAFETY: 1.5:1, TRENCH TYPE: 5,
DEPTH OF BURY: 6 ft, TEST PRESSURE: 200 P.S.I.



LEGEND:

- EXISTING ELEVATIONS
- PROPOSED ELEVATIONS
- PROPOSED SWALE ELEVATIONS
- PROPOSED SWALE
- GENERAL DRAINAGE
- PROP. WATER METER
- PROP. BACKFLOW PREVENTOR

SANITARY SYSTEM

MH No.	DESCRIPTION	T/G	INVERTS
S1	1.2m P/C MH	224.55	W 220.99 E 220.66

STORM SYSTEM

MH No.	DESCRIPTION	T/G	INVERTS
ST1	EFB STORMCEPTOR/CB	224.80	W 222.83 E 222.78
ST2	1.2m P/C CB/MH	225.28	W 223.11 E 223.06
ST3	1.2m P/C CB/MH	226.00	W 223.39 E 223.34
ST4	1.2m P/C CB/MH	226.00	S 223.71 W 224.19 E 223.66
ST5	1.2m P/C CB/MH	226.39	S 224.44 E 224.39
ST6	0.6x0.6x1.52m P/C CB	226.00	N 223.92
ST7	0.6x0.6x1.52m P/C CB	226.11	N 224.61

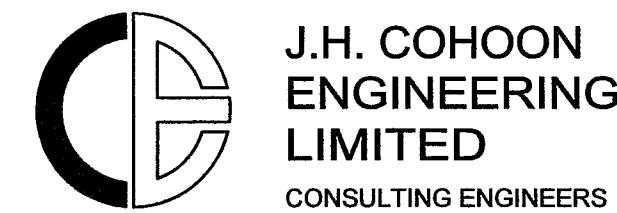
T.B.M. No. 1 ELEV. = 225.72m (GEO)
TOP NUT OF FIRE HYDRANT ON THE EAST SIDE OF BITTERN STREET AS SHOWN.

T.B.M. No. 2 ELEV. = 225.27m (GEO)
TOP NUT OF FIRE HYDRANT ON THE EAST SIDE OF BITTERN STREET AS SHOWN.

T.B.M. No. 3 ELEV. = 224.46m (GEO)
TOP S.W. CORNER OF CONC. BASE TO HYDRO VAULT IN FRONT OF SUBJECT PROPERTY AS SHOWN.

T.B.M. No. 4 ELEV. = 224.44m (GEO)
TOP NUT OF FIRE HYDRANT ON THE EAST SIDE OF BITTERN STREET AS SHOWN.

NO.	REVISION	DATE (MM/DD/YY)	BY



440 HARDY ROAD, UNIT #1, BRANTFORD - ONTARIO, N3T 5L8
TEL (519) 753-2656 FAX (519) 753-4263 www.cchooneng.com

PROJECT:

PROPOSED
INDUSTRIAL BUILDING
BITTERN STREET
CITY OF HAMILTON

CLIENT:

ABCOTT CONSTRUCTION

SERVICING PLAN

DESIGN:	R.W.P.	SCALE:	1:400
DRAWN:	I.A.C./K.P.B.	JOB No:	12938
CHECKED:	R.W.P.	DWG. No:	12938-2
SHEET:	2 of 2		
DATE:	DEC. 2/19		

