



Hamilton

COMMITTEE OF ADJUSTMENT

City Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5
Telephone (905) 546-2424, ext. 4221, 3935 Fax (905) 546-4202
E-mail: cofa@hamilton.ca

NOTICE OF PUBLIC HEARING **Minor Variance**

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
 - Applicant/agent on file, or
 - Person likely to be interested in this application
-

APPLICATION NO.: HM/A-20:141

APPLICANTS: SMPL Design Studio on behalf of the owner Ruben Furtado

SUBJECT PROPERTY: Municipal address **110 Clifton Downs Rd., Hamilton**

ZONING BY-LAW: Zoning By-law 6593, as Amended by By-law 19-307

ZONING: "C" & "C/S-1788" (Urban Protected Residential and etc.) district

PROPOSAL: To recognize existing conditions to permit the legal conversion of an existing single family dwelling to a two family dwelling, notwithstanding,

1. The minimum easterly side yard shall be 1.1m instead of the required 1.2 metres.
2. The minimum floor area of a dwelling unit for a converted dwelling shall be 49 square metres and shall be permitted as a permanent use rather than for the maximum three year period of the pilot project.
3. The maximum height of a rear yard terrace which extends into the easterly side yard shall be 1.2 metres instead of the maximum permitted 1.0 metre height.

NOTES:

1. The second dwelling unit is existing within the existing single family dwelling but is not legally recognized.
2. The Site-Specific C/S-1788 District Zoning was passed under Amending By-law 19-307 as a City-Initiated Amendment to Section 19 as a pilot project to allow for the creation of second dwelling units on a temporary basis not exceeding 3 years. The minimum gross floor area requirements for dwelling units under Section 19 of 65 square metres does not apply to the C/S-1788 District during the 3 year period of the pilot project. Variance #2 is required because the applicant is requesting to legalize the second dwelling unit as a permanent use.
3. With respect to Variance #3, the terrace is an existing feature within the side and rear yards. While the terrace conforms to the encroachment requirements, it would exceed the 1.0m maximum height in the easterly side yard and requires a variance.
4. The variances are written as requested by the applicant to address existing conditions.
5. The existing parking scenario provides for two tandem spaces within the 13m deep driveway and conforms to the requirements of Section 19 of the Zoning By-law.

This application will be heard by the Committee as shown below:

DATE: Thursday, August 27th, 2020
TIME: 3:00 p.m.
PLACE: Via video link or call in (see attached sheet for details)
To be streamed at www.hamilton.ca/committeeofadjustment
for viewing purposes only

PUBLIC INPUT

Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

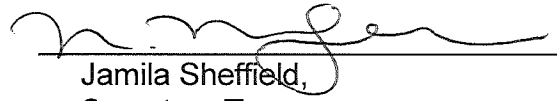
Orally: If you would like to speak to this item at the hearing you may do so via video link or by calling in. Please see attached page for complete instructions, including deadlines for registering to participate.

MORE INFORMATION

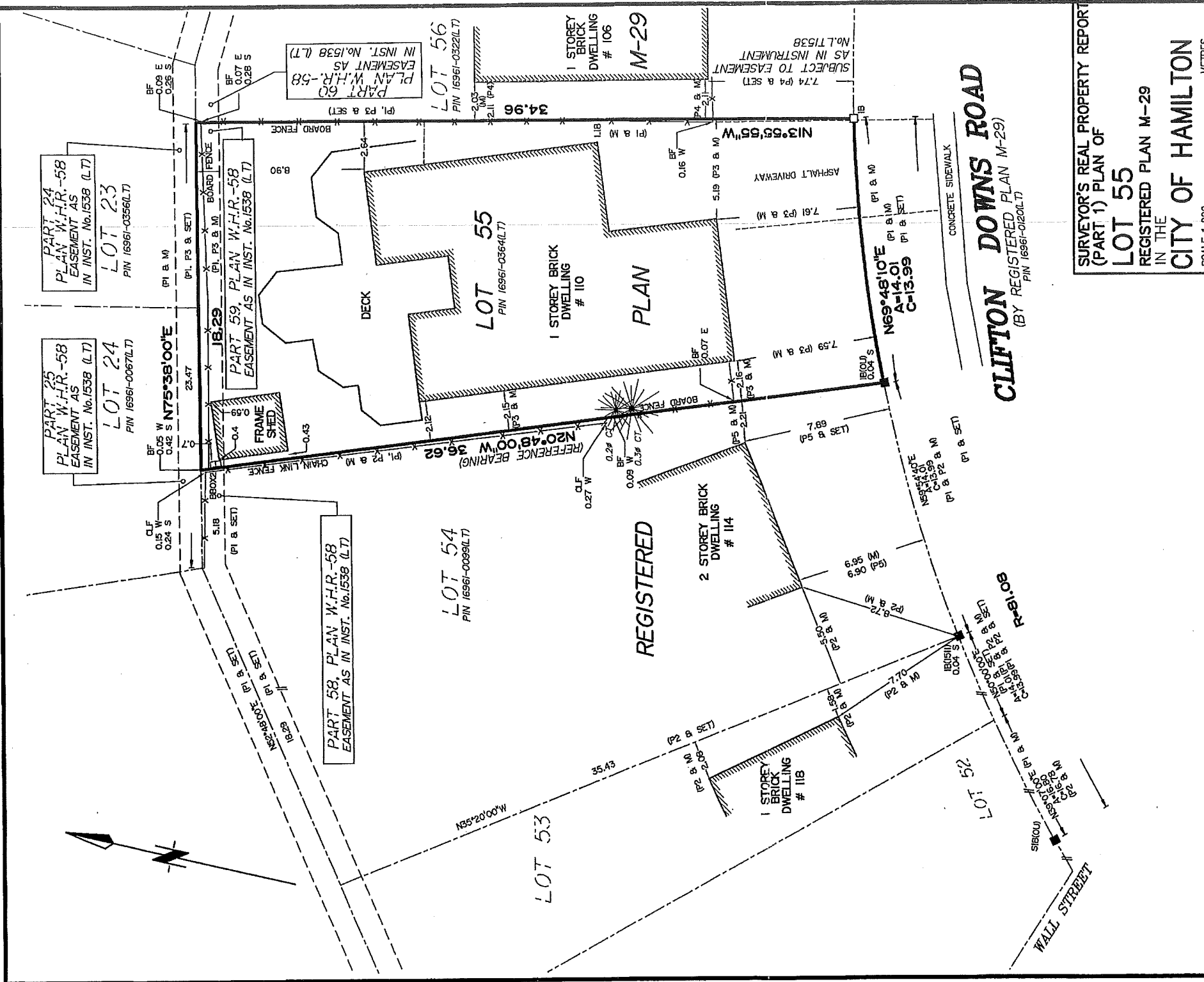
For more information on this matter, including access to drawings illustrating this request:

- Visit www.hamilton.ca/committeeofadjustment
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935
- Email Committee of Adjustment staff at cofa@hamilton.ca

DATED: August 11th, 2020.


Jamila Sheffield,
Secretary-Treasurer
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public.



SURVEYOR'S REAL PROPERTY REPORT PART 2 NOTE THE LOCATION OF THE FENCES ALONG THE NORTH, EAST AND WEST LIMITS OF PROPERTY NOTE THE LOCATION OF THE SHED IN THE REAR YARD		SURVEYOR'S REAL PROPERTY REPORT (PART 1) PLAN OF LOT 55 REGISTERED PLAN M-29 IN THE CITY OF HAMILTON SCALE 1:200 METRES 0 4 8 12	
LEGEND ■ - FOUND □ - PLANTED IB - IRON BAR SB - STANDARD IRON BAR RB - ROUND IRON BAR M - MEASURED OU - ORIGIN UNKNOWN WIT - WITNESS CLF - CHAIN LINK FENCE P1 - REGISTERED PLAN M-29 P2 - PLAN BY G. CONSOLI O.L.S. DATED NOV. 23 1987 P3 - PLAN BY A. J. CLARKE O.L.S. DATED DEC. 3 1969 P4 - PLAN BY A. J. CLARKE O.L.S. DATED NOV. 11 1969 P5 - PLAN BY A. J. CLARKE O.L.S. DATED NOV. 12 1970 1511-G. V. CONSOLI O.L.S.		REGISTERED EASEMENTS AND/OR RIGHT-OF-WAY. SUBJECT TO EASEMENT AS IN INSTRUMENT No. LT538	
ASSOCIATION OF ONTARIO LAND SURVEYORS PLAN SUBMISSION FORM 2127964 THIS PLAN IS NOT VALID UNLESS IT IS AN EMBOSSED ORIGINAL COPY ISSUED BY THE SURVEYOR in accordance with Regulation 1026, Section 29(3)		THIS REPORT WAS PREPARED FOR: RUBEN FURTADO © THIS PLAN IS PROTECTED BY COPYRIGHT BEARING NOTE: BEARINGS ARE ASTROMOMIC AND ARE REFERRED TO THE WEST LIMIT OF LOT 55, AS SHOWN ON PLAN M-29, HAVING A BEARING OF N20°48'00"W METRIC NOTE DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048 ASHENHURST NOUWENS & ASSOCIATES INC. Professional Engineers & Ontario Land Surveyors 225 KING WILLIAM STREET, SUITE 204, HAMILTON, ONTARIO L8R 1B1 (905) 529-6316 (905) 529-4314 1-800-824-6224 FAX: (905) 529-6651 e-mail: an@ashenhurstnouwens.ca	
SURVEYOR'S CERTIFICATE I CERTIFY THAT: 1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT, AND THE LAND TITLES ACT, AND THE REGULATIONS MADE UNDER THEM. 2. THE SURVEY WAS COMPLETED ON THE 1ST DAY OF JUNE, 2020. DATE <u>June 1, 2020</u> <u>Harry Kalantzakos</u> HARRY KALANTZAKOS O.L.S.		DATE MAY 28, 2020 FILE No. 20--026 SRPR	

DO NOT SCALE DRAWINGS

Note:

1) Contractor to check all dimensions, specifications, etc. and shall be responsible for reporting any discrepancy to the engineer and/or designer.

2) These plans are to remain the property of the designer and must be returned upon request. These plans must not be used in any other location without the written approval of the designer.

3) All work to be in accordance with the Ontario Building Code.

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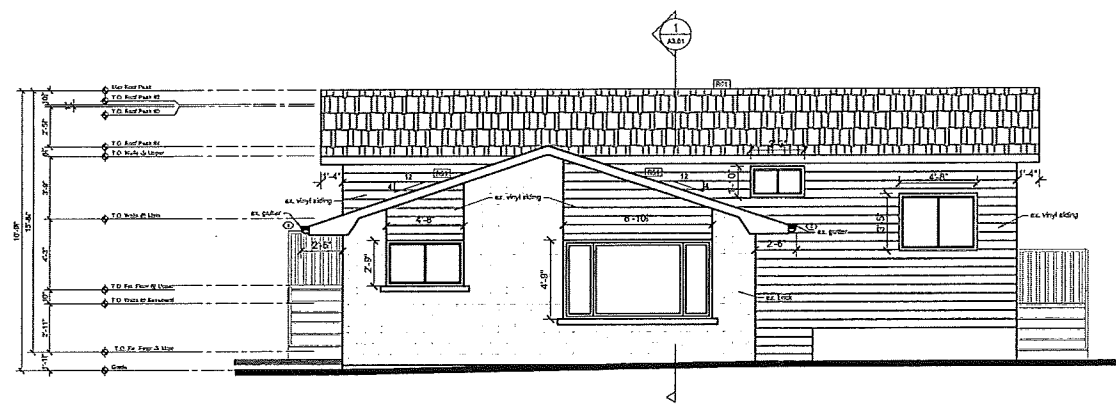
Drawing Submissions:	
Date:	Type:
May, 28, 2020	Existing

110 Clifton Downs
Hamilton, Ontario

Reviewed By	JT
Drawn By	KC
Plot Date	

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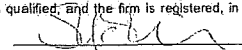
Elevations



1
A2.01

Front Elevation
Scale $\frac{3}{16}$ "=1'-0"

I review and take responsibility for the design work on behalf of a firm registered under subsection 3.2.4 of Division C, of the Building Code. I am qualified, and the firm is registered, in the appropriate classes/categories.

Individual BCIN: 19618 / Firm BCIN:31629 /  2016

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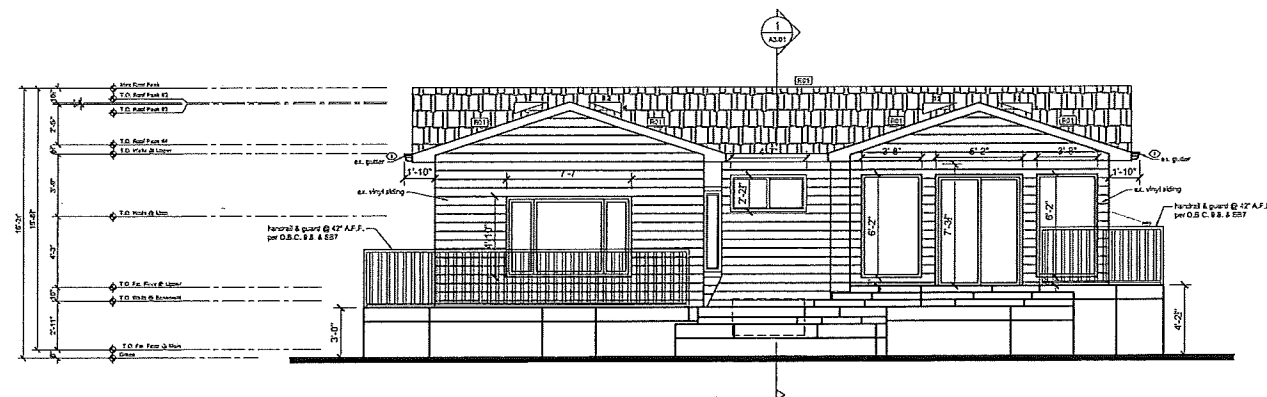
Reviewed By: JT

Drawn By: KC

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A2.02

Elevations



1
A2.02

Rear Elevation

Scale $\frac{3}{16}$ "=1'-0"

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Individual BCIN: 19818 / Firm BCIN: 31829 / *[Signature]* 2016

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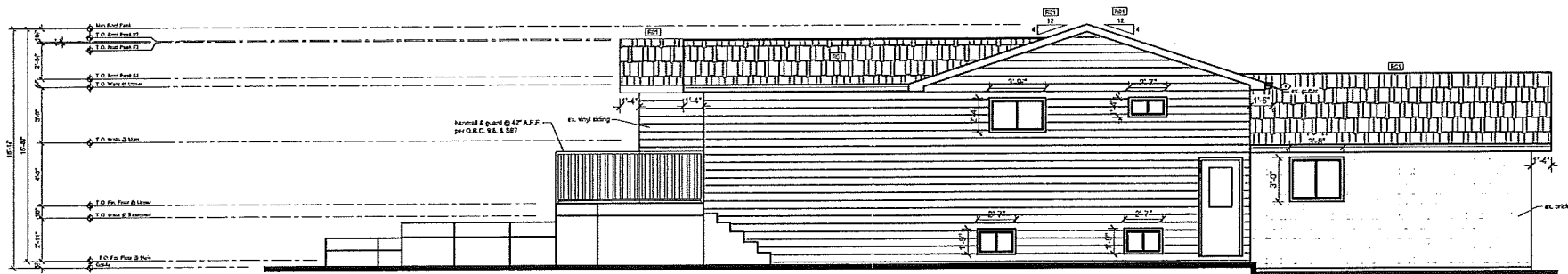
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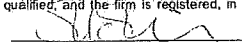
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Drawn By: KC
Plot Date:

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Elevations



1
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Side Elevation 002
Scale $\frac{3}{16}$ "=1'-0"

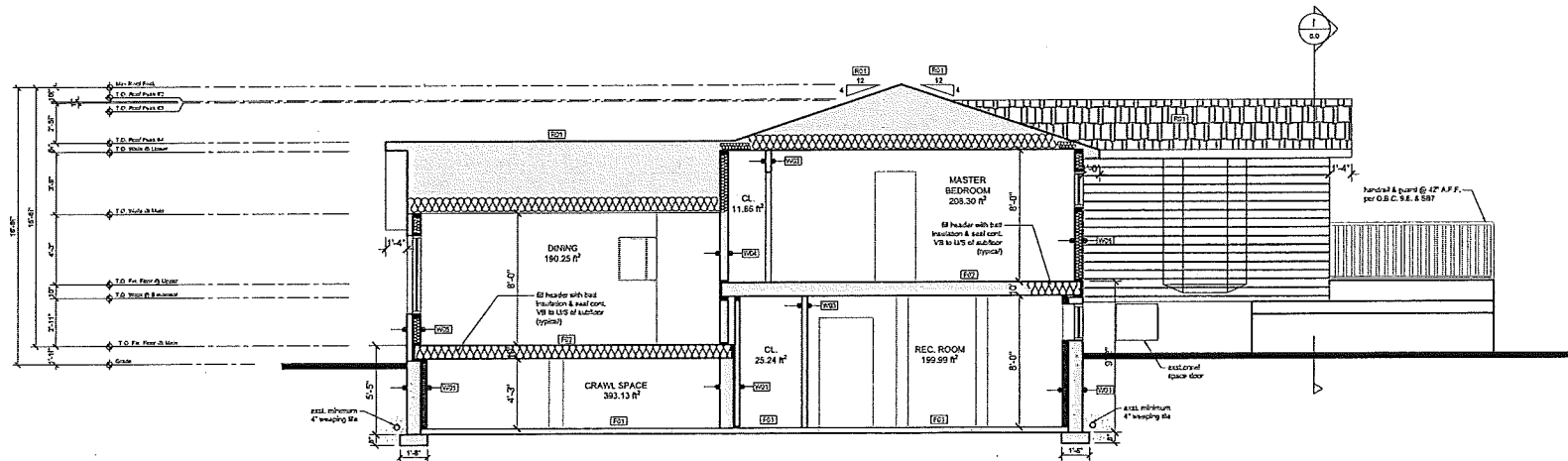
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Individual BCIN: 19618 / Firm BCIN: 31829 /  2016

8.10.2.1
Attic and roof space shall be provided by an access hatch if the space is not less than 10 sqm (108 sq ft) in area, 600mm (23") in length or width, and 600mm (23") in height over the described area or contains a fuel-fired appliance. Except where an attic or roof space contains a fuel-fired appliance the hatch required shall be not less than 500mm (20") by 500mm (20") except that where the hatch serves a single dwelling unit, the hatch may be reduced to 0.32 sqm (3.4 sq ft) in area with no dimension less than 540mm (21") or 300mm (12") by 750mm (29") by 750mm (29"). Hatches shall be fitted with doors or covers. The thermal resistance value at the location directly above an access hatch shall not be less than RSI 3.52 (R20).

9.26.5
Rave protection shall be provided on a shingle, slate or tile roof, extending from the edge of the roof a minimum distance of 850 mm (3'-11") up the roof slope to a line not less than 300 mm (1'-1") inside the inner face of the exterior wall. Rave protection not required over unshaded areas, for roof slopes 1 in 1.5 or greater or in a region with fewer than 3 500 degree-days.

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Note:
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2) These drawings are to remain the property of the engineer and must be returned upon request. These plans must not be used in any other location without the written approval of the engineer.
3) All work to be in accordance with the Ontario Building Code.



1
A3.01 Building Section 001
Scale 3/16"=1'-0"

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Building
Section

110 Clifton Downs
Hamilton, Ontario

Project Description:

- Permit for as found existing
2 unit dwelling

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Note:

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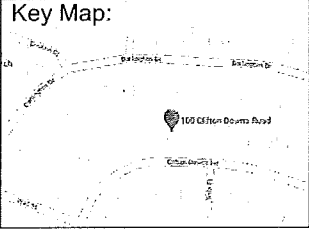
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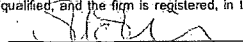
Cover Page

Square Footage:	
Basement: 1893.11 ft ²	Unit 1
Main: 500.72 ft ²	1218.76 ft ²
Mid level: 581.74 ft ²	
Upper: 819.93 ft ²	Unit 2
Deck: 755.96 ft ²	532.08 ft ²

Architectural Design Firm:	
SMPL Design Studio	
Address: 15 Colbourne St, Hamilton, Ontario	
Postal: L8R 2G2	
Phone: 905-570-2201	

HVAC Designer:	
Pedi Enterprises Inc.	
Address: 32 Church St. Unit 308, Schomberg, Ontario	
Postal: L0G 1T0	
Phone: 416-994-8041	



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NOTES

- AA attic access hatch
min. 20"x28"
- BB stairs at interior and exterior
maximum rise: 7.874"
minimum rise: 4.92"
minimum run: 8.267"
maximum run: 13.976"
minimum tread: 9.25"
maximum tread: 13.986"
maximum nosing: 0.984"
minimum width: 33.858"
minimum headroom: 76.77"
- CC guardrail
interior landings: 35.433"
exterior balcony: 42.125"
interior stairs: min. 34.055"; max. 37.99"
exterior stairs: 35.433"
max. between pickets: <3.937"
- DD interconnected smoke alarm / carbon monoxide alarm conforming to can/csa-6.19 or UL2034 see CAN/ULC-S531, "Smoke Alarms"
- EE torch-on roofing membrane
- II eavestrough
- JJ grade:min. 2% slope away from building per grading plan
- KK furnace per HVAC design plans
- LL tankless water heater
- MM clothes rod anchored to either end wall of closet + 12" deep shelf installed above rod
- NN 42" guardrail
- OO 3 way light switch - one at top of stairs, one at bottom
- PP parapet
- QQ exhaust fan capable of 50.0L/s c/w insulated duct to exterior vent or to HRV. See mech.design
- RR heating system shall be capable of min. 22 deg throughout HVAC layout per designer
- TT built in cabinetry
- UU custom shower
- VV electrical as per ESA Ontario
- XX floor drain
- YY backwater valve

Roof Schedule

- R01 30 year asphalt roofing shingle c/w eave protection metal drip edge
30lb roofing felt
1/2" plywood roof sheathing c/w h clips
roof trusses per supplier
R60 spray foam insulation
Poly Air/VB-CAN/CGSB-51.34-M-seal joints w/tremo acoustical sealant
1x furring @ 16" o.c.
1/2" gypsum/ vented metal soffit @ eaves
c/w min. $\frac{3}{8}$ " venting

Floor Schedule

* provide water resistant floors @ kitchen, bathrooms, mudroom*

- F01 Exist. fin. floor providing water resistance TBD
Exist. 4" 15 Mpa concrete slab
Exist. 2" rigid foam
Exist. Poly Air/ VB-CAN/CGSB-51.34-M-seal joints w/tremo acoustical sealant
Exist. 8" coarse granular fill
Exist. undisturbed soil
- F02 Exist. fin. floor providing water resistance TBD
Exist. $\frac{3}{4}$ " T&G OSB 0-2 subfloor
Exist. 2x10" floor joists @ 16" O.C.
Exist. $\frac{1}{2}$ " gypsum

Wall Schedule

- W01 exst. parge above grade
exst. approved drainage layer
exst. dampproofing
exst. 10" poured 20 MPa concrete foundation wall
exst. R10 continuous insulation
exst. 2x4 framing @ 16" O.C. c/w R12 batt insulation
exst. Poly Air/ VB-CAN/CGSB-51.34-M-seal joints w/tremo acoustical sealant
exst. 1/2" Gypsum
- W02 exst. purge above grade
exst. approved drainage layer
exst. dampproofing
exst. 10" poured 20 Mpa concrete foundation wall
- W03 exst. 1/2" Gypsum
exst. 2x4 framing @ 16" O.C.
exst. 1/2" Gypsum
- W04 exst. 1/2" Gypsum
exst. 2x6 framing @ 16" O.C.
exst. 1/2" Gypsum
- W05 exst. stone veneer per 9.20 O.B.C. and CSA A371 or BMEC 01-04-256 and O.B.C. 9.20. & O.B.C. 9.20.
- flashing for weepholes per 9.20.13.6
- flashing joints per 9.20.13.7
- weep holes per 9.20.13.6
- steel lintels per 9.20.5.2
exst. 1" airspace
exst. wall sheathing membrane - CAN/CGSB-51.32-M
exst. $\frac{7}{16}$ " OSB 0-2 sheathing
exst. 2x6 framing @ 16" O.C.
exst. R12 batt insulation
exst. Poly Air/VB-CAN/CGSB-51.34-M-seal joints w/tremo acoustical sealant
exst. $\frac{1}{2}$ " Gypsum
- W06 exst. (horizontal/ vertical) wood siding
exst. 1x strapping
exst. wall sheathing membrane - CAN/CGSB-51.32-M
exst. $\frac{7}{16}$ " OSB 0-2 sheathing
exst. 2x6 framing @ 16" O.C.
exst. R12 batt insulation
exst. Poly Air/VB-CAN/CGSB-51.34-M-seal joints w/tremo acoustical sealant
exst. $\frac{1}{2}$ " Gypsum
- W07 exst. $\frac{5}{8}$ " type-x gypsum board
exst. 2x4 framing @ 16" O.C.
exst. R14 roxul insulation
exst. $\frac{5}{8}$ " type-x gypsum board

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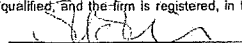
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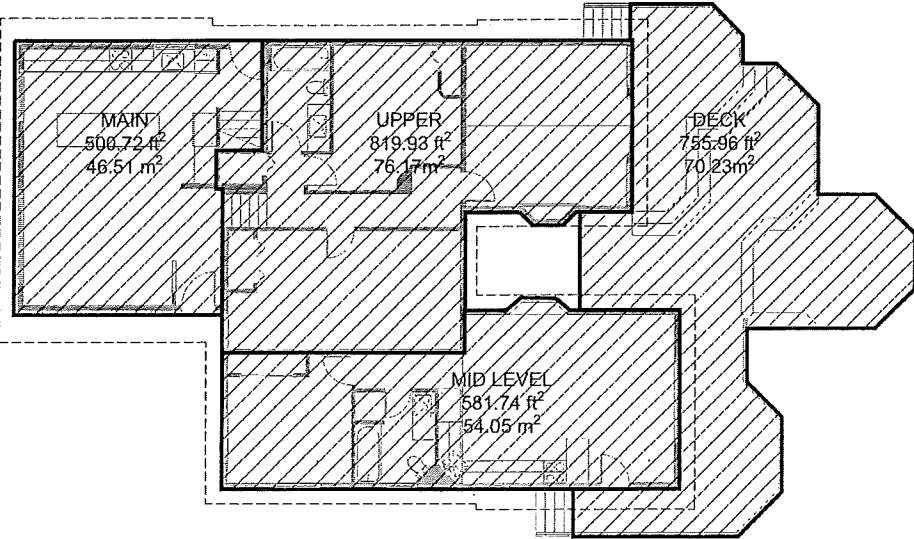
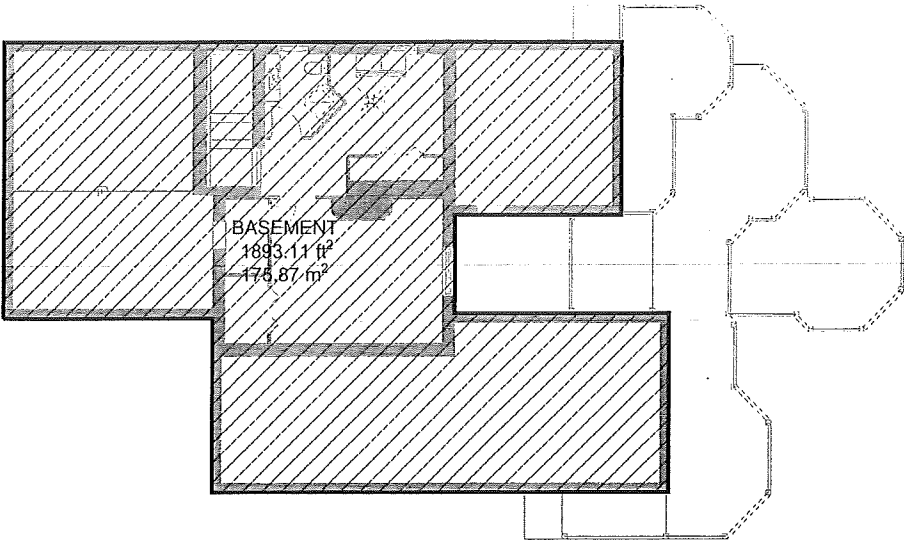
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Schedule

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Zoning

2.3.1.4 Hot Water Piping Insulation

1) Hot water pipes that are vertically associated to a hot water storage tank shall have heat traps on both inlet and outlet piping as close as practical to the tank, except where the tank, a) has an integral heat trap, or b) serves a recirculating system.

2) The first 2.5m of hot water outlet piping of a hot water storage tank serving non-recirculating system shall be insulated to provide a thermal resistance of not less than RSI 0.62.

3) The inlet pipe of a hot water storage tank between the heat trap and the tank serving recirculating system shall be insulated to provide a thermal resistance of not less than RSI 0.62.

9.5.2.3 Short Wall Reinforcement

(1) If wood wall studs or sheet steel wall studs enclose the main bathroom in a dwelling unit, reinforcement shall be installed to permit the future installation of the following:

(a) For a water closet a grab bar described in Clause 3.6.3.8 (3)(a) and a grab bar described in Clause 3.6.3.8 (3)(c).

(b) For a shower a grab bar described in Clause 3.6.3.13 (2)(i), and

(c) For a bathtub a grab bar described in Clause 3.6.3.13 (4)(c).

9.10.19 Smoke Alarms

(1) Within dwelling units sufficient smoke alarms conforming to CANULC-531 shall be installed so that:

(a) There is at least one smoke alarm on each storey, including basements, and

(b) On any storey of a dwelling unit containing sleeping rooms, a smoke alarm is installed:

(i) in each sleeping room, and

(ii) in a location between the sleeping rooms and the remainder of the storey, and if the sleeping rooms are served by a hallway, the smoke alarm shall be located in the hallway.

(2) Smoke alarms shall have a visual signaling component conforming to the requirements in 18.5.3. of NFPA 72. The visual signaling component need not be integrated with the smoke alarm provided it is interconnected to it.

Interconnected smoke alarms to be permanently connected and have a battery backup as per OBC 9.10.19-4.

9.20.2 Waterproof Wall Finish

(1) Waterproof finish shall be provided to a height of not less than:

(a) 1.6m (5'11") above the floor in shower stalls,

(b) 1.2m (3'11") above the rim of bathtubs equipped with showers, and

(c) 0.4m (15-3/4") above the rim of bathtubs not equipped with showers.

9.20.10.4

(1) Ceramic and plastic tile installed on walls around bathtubs or showers shall be applied over moisture resistance backing.

9.20.12 Water Resistance

(1) Finished flooring in bathrooms, kitchen, public entrance halls, laundry, and general storage areas shall consist of resilient flooring, solid-surface floor covering, ceramic, terrazzo, concrete tile, masonry or other types of flooring providing similar degree of water resistance.

Section 9.6 Stairs, Handrails, Guards

All interior stairs, handrails, and guards shall conform to O.B.C. Section 9.6. Maximum rise (R) shall be maximum 190mm (7'-4 1/4") minimum tread 225mm (8'-10 1/4"). Handrail rail has 65mm (2 1/2") high and not more than 50mm (2") high above the handrail. Guards for porches, decks, landings, and balconies, serving not more than 1 dwelling unit and which are not more than 1800mm (5'11") above finished ground level are permitted to be minimum 1000mm (32-7/8") and must be minimum 1010mm (42 1/2") high for areas greater than 1000mm (3'11") above finished grade. Openings through required guards on balconies, porches, decks, stairs, landings and floor level around a balcony in a dwelling unit shall prevent passage of a 100mm (4") diameter spherical object and prevent climbing. Headroom measured vertically through a line of outer edge of railing shall be at least 1920mm (6'3 3/4") for stairs serving a single dwelling unit and 2050mm (6'8 3/4") for all other stairs. Handrails are required for interior stairs with more than 2 rises and exterior stairs with more than 3 rises. Design guard on that no member, attachment or opening is located between 140mm (5-7/8") & 800mm (26-3/8") above deck surface will facilitate climbing.

Note: adjustments or changes made to the floor layout, roof lines layout, to any, limits & point loads or required load bearing walls must be identified prior to construction and SMPL Design Studio and project engineer must be notified for further review and approval.

Note: all code requirements refer to O.B.C. 2012 Division 'B'.

9.10.22 Fire Protection for Gas, Propane and Electric Cooktops

Finishing, finishes and cabinets installed directly above the location of the cooktop shall be not less than 750mm (26-3/8") above the level of existing finish or elements. Finishing, finishes and cabinets installed directly above the location of the cooktop is permitted to be reduced to 600mm (20-1/8") above the level of the elements or burners in compliance with 9.10.22.2 (2)(a) and (b). Except as provided in 9.10.22.2 (2) and (3), combustible wall framing, finishes or cabinets within 450mm (17-3/4") of the area where the cooktop is to be located shall be protected above the level of the heating elements or burners by material providing fire resistance not less than that of a 6.5mm (1/4") thickness of gypsum board.

Note: all wood framed window openings that exceed 45° wide are to have 2x6x8 poles @ bottom of opening (B) 1313.0.

Note: structural engineer to be notified prior to pouring of concrete to inspect re-bar setup during construction engineer will not certify walls or footing/ slabs unless prior inspection is conducted. It is the responsibility of the contractor to notify the project engineer and make all arrangements.

DO NOT SCALE DRAWINGS

Note:

1) Contractor to check all dimensions, specifications, etc. on site and shall be responsible for reporting any discrepancy to an engineer and/or designer.

2) These plans are to remain the property of the engineer and must be returned upon request. These plans must not be used in any other location without the written approval of the designer.

3) All work to be in accordance with the Ontario Building Code.

Drawing Legend

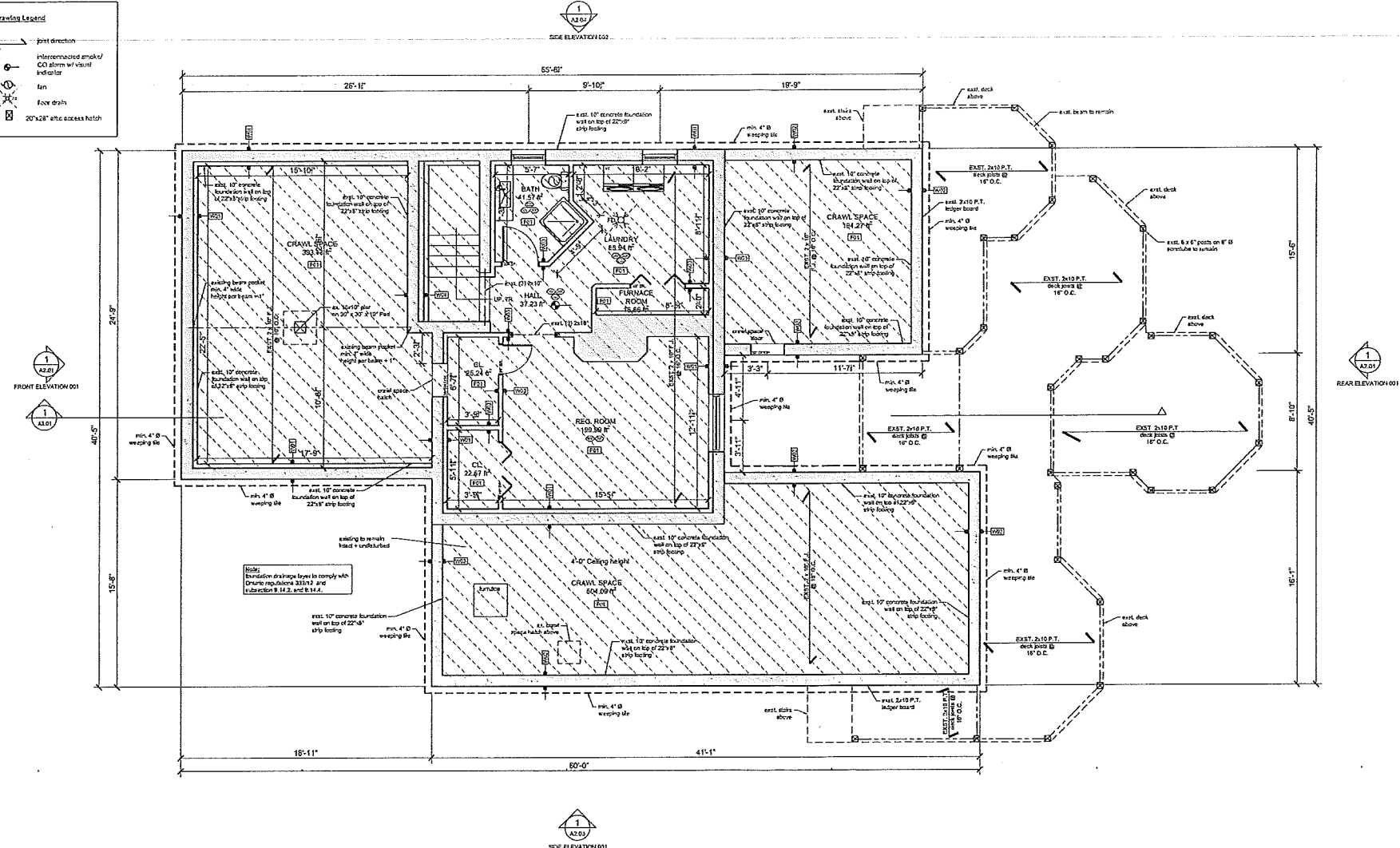
post direction

interconnected smoke/CO alarm w/ visual indicator

fan

floor drain

20"x28" attic access hatch



SMPL DESIGN STUDIO
sustainable modern architectural
Architectural Design Services
www.smpldesignstudio.com

Drawing Submissions:

Date: May, 28, 2020

Type: Existing

110 Clifton Downs
Hamilton, Ontario

Reviewed By: JT

Drawn By: KC

Plot Date:

Page
A1.01

Existing
Basement

Existing Basement Floor Plan
Scale 3/16"=1'-0"

I review and take responsibility for the design work on behalf of a firm registered under subsection 3.2.4 of Division C, of the Building Code. I am qualified, and the firm is registered, in the appropriate classes/categories.
Individual BCIN: 19618 / Firm BCIN: 31829 / 2016

2.3.1.4 Hot Water Piping Insulation

- Hot water pipes that are vertically unconnected to a hot water storage tank shall have heat traps on both hot and cold piping as close as practical to the tank, except where the tank, a) has an integral heat trap, or b) serves a recirculating system.
- The first 3.5m of hot water outlet piping of a hot water storage tank serving non-recirculating system shall be insulated to provide a thermal resistance of not less than RSI 0.62.
- The first pipe of a hot water storage tank between the heat trap and the tank serving non-recirculating system shall be insulated to provide a thermal resistance of not less than RSI 0.62.

9.5.2.3 Stair Well Reinforcement

- Reinforced wall studs or sheet steel wall studs enclose the main bathroom in a dwelling unit. Reinforcement shall be installed to permit the future installation of the following:
 - For a water closet a grab bar described in Clause 3.8.3.8 (3)(a) and a grab bar described in Clause 3.8.3.8 (3)(c)
 - For a shower a grab bar described in Clause 3.8.3.13 (3)(i), and
 - For a bathtub a grab bar described in Clause 3.8.3.13 (3)(c)

9.10.19 Smoke Alarms

- Within dwelling units, efficient smoke alarms conforming to CANULC-531 shall be installed to that:
 - There is at least one smoke alarm on each story, including basements, and
 - On any story of a dwelling unit containing sleeping rooms, a smoke alarm is installed:
 - In each sleeping room, and
 - In a location between the sleeping rooms and the remainder of the story, and if the sleeping rooms are served by a hallway, the smoke alarm shall be located in the hallway.
- Smoke alarms shall have a visual signalling component conforming to the requirements in 18.5.3.3 of NFPA 72. The visual signalling component need not be integrated with the smoke alarm provided it is interconnected to it.

Interconnected smoke alarms to be permanently connected and have a battery backup as per OBC 9.10.19.4

9.29.2 Waterproof Wall Finish

- Waterproof finish shall be provided to a height of not less than:
 - 1.8m (5'11") above the floor in shower stalls,
 - 1.2m (3'11") above the rim of bathtubs equipped with showers, and
 - 0.4m (15-3/4") above the rim of bathtubs not equipped with showers.
- 9.29.10.4
 - Ceramic and plastic tile installed on walls around bathtubs or showers shall be applied over moisture resistance backing.
- 9.29.10.2 Water Resistance
 - Finished flooring in bathrooms, adjacent public entrance halls, laundry, and general storage areas shall consist of resilient flooring, tiled synthetic-free floor coverings, concrete, terrazzo, ceramic tile, mastic or other types of flooring providing similar degrees of water resistance.

Section 9.6 Stairs, Handrails, Guards

All exterior/staircase stairs, handrails, and guards shall conform to O.B.C. Section 9.6. Maximum rise (7-3/4") minimum run 210mm (8-1/4"). Minimum handrail height 915mm (3'0"). Handrail not less than 210mm (8-1/4") high and not more than 915mm (3'0") high above line through nosing. Guards for porches, decks, landings, and balconies, serving not more than 1 dwelling unit and which are not more than 1800mm (5'11") above finished ground level are permitted to be minimum 900mm (30-3/4") and must be minimum 1070mm (42") high for areas greater than 1800mm (5'11") above finished grade. Openings through required guards on balconies, porches, decks, stairs, landings and floor level around a stairwell in a dwelling unit shall prevent passage of a 100mm (4") diameter spherical object and prevent climbing. Handrails measured vertically through a line of outer edge of nosing shall be at least 1600mm (5'3") for stairs serving a single dwelling unit and 2200mm (7'3") for all other stairs. Handrails are required for exterior stairs with more than 2 risers and exterior stairs with more than 3 risers. Design guard on that no member, attachment or opening is located between 140mm (5-1/2") and 600mm (2'-0") above deck surface will facilitate climbing.

Note: All stairs requirements refer to O.B.C. 2012 Division B.

9.10.22 Fire Protection for Gas, Propane and Electric Cooktops

Flaming, frames and cabinets installed directly above the location of the cooktop shall be not less than 750mm (28-3/4") above the level of the cooktop. Framing, finishes and cabinets installed directly above the location of the cooktop are permitted to be reduced to 600mm (23-1/2") above the level of the cooktop or frames in compliance with 9.10.22.2 (2) (a) and (b). Except as provided in 9.10.22.2 (2) (a) and (b), combustible wall framing, finishes or cabinets within 450mm (17-3/4") of the area where the cooktop is to be located shall be protected above the level of the heating elements or burners by material providing fire resistance not less than that of a 9.5mm (3/8") thickness of gypsum board.

Note: All wood framed window openings that exceed 45" wide are to have 2x4" plates @ bottom of opening (typ.) U.N.O.

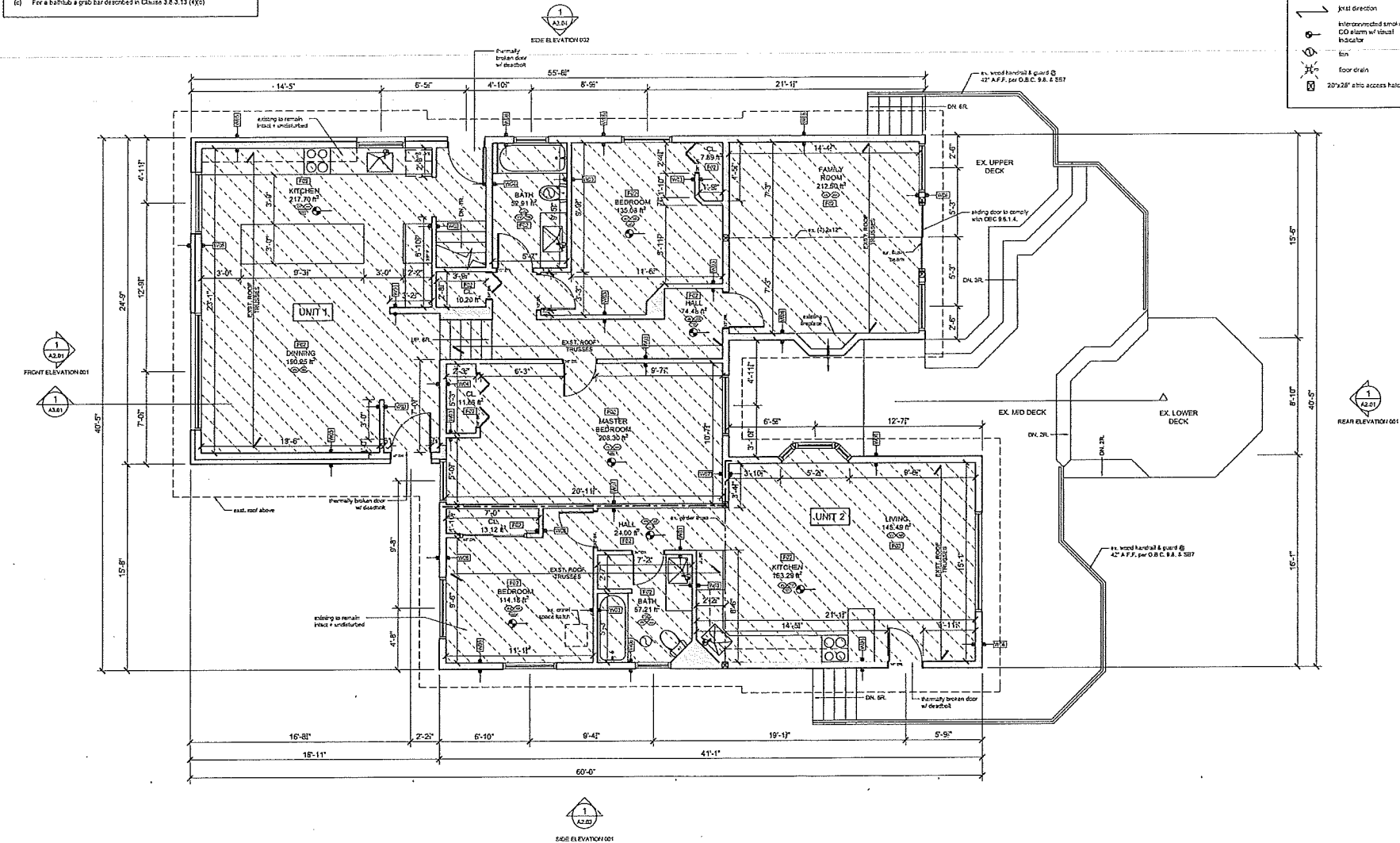
Note: Structural engineer to be notified prior to pouring of concrete to inspect rebar set-up during construction. Engineer will not certify walls or footing unless prior inspection is conducted. It is the responsibility of the contractor to notify the project engineer and make all arrangements.

Drawing Legend

- ↑ JAIL direction
- Interconnected smoke alarm w/ visual indicator
- Iron
- Floor drain
- 20"x28" entry access hatch

DO NOT SCALE DRAWINGS

- Note:
- Contractor to check all dimensions, specifications, notes and shall be responsible for reporting any discrepancy to the engineer and/or designer.
 - These plans are to remain and the property of the designer and must be returned upon request. These plans must not be used in any other location without the written approval of the designer.
 - All work to be in accordance with the Ontario Building Code.



1
A1.02

Existing Main Floor Plan
Scale 1/8" = 1'-0"

I review and take responsibility for the design work on behalf of a firm registered under subsection 3.2.4 of Division C, of the Building Code. I am qualified, and the firm is registered, in the appropriate classes/categories.
Individual BCIN: 19618 / Firm BCIN: 31829 / *[Signature]* 2016

Simple Design Studio
Architectural Design Services
www.simpledesignstudio.com

Drawing Submissions:
Date: May, 28, 2020
Type: Existing

110 Clifton Downs
Hamilton, Ontario

Reviewed By: JT
Drawn By: KC
Plot Date:

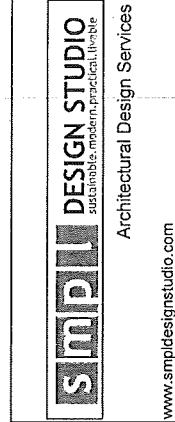
Page
A1.02

Existing
Main Floor

DO NOT SCALE DRAWINGS

Notes:

- 1) Contractor to check all dimensions, specifications, etc on the plan that they are responsible for reporting any discrepancy to the engineer and the designer.
- 2) These plans are to remain and the property of the designer and must be returned upon request. These plans must not be used in any other location without the written approval of the designer.
- 3) All works to be in accordance with the Ontario Building Code.



Drawing Submissions:	
Date:	Type:
May, 28, 2020	Existing

1110 Clifton Downs
Hamilton, Ontario

Reviewed By	JT
Drawn By	KC
Plot Date	

Page
A1.03

Existing
Roof Plan

1
A1.03

Existing Roof Plan

Scale $\frac{3}{16}'' = 1'-0''$

I review and take responsibility for the design work on behalf of a firm registered under subsection 3.2.4 of Division C, of the Building Code. I am qualified, and the firm is registered, in the appropriate classes/categories.
Individual BCIN: 19618 / Firm BCIN: 31829 / _____ 2016



Hamilton

Planning and Economic Development Department
Planning Division

Committee of Adjustment
City Hall
5th floor 71 Main Street West
Hamilton, Ontario L8P 4Y5

Phone (905) 546-2424 ext.4221
Fax (905) 546-4202

PLEASE FILL OUT THE FOLLOWING PAGES AND
RETURN TO THE CITY OF HAMILTON PLANNING
DEPARTMENT.

20-173627
RECEIVED

11/09/2020

FOR OFFICE USE ONLY.

APPLICATION NO. Hm/A-20-141 DATE APPLICATION RECEIVED _____

PAID _____ DATE APPLICATION DEEMED COMPLETE _____

SECRETARY'S
SIGNATURE _____

COM OF ADJUSTMT

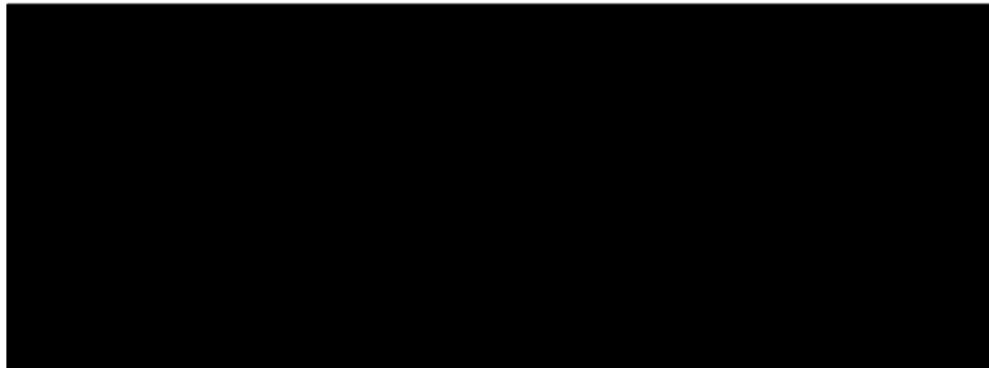
CITY OF HAMILTON
COMMITTEE OF ADJUSTMENT
HAMILTON, ONTARIO

The Planning Act

Application for Minor Variance or for Permission

The undersigned hereby applies to the Committee of Adjustment for the City of Hamilton under Section 45 of the *Planning Act*, R.S.O. 1990, Chapter P.13 for relief, as described in this application, from the Zoning By-law.

- 1.
- 2.
- 3.
- 4.



Note: Unless otherwise requested all communications will be sent to the agent, if any.

5. Names and addresses of any mortgagees, holders of charges or other encumbrances:

Postal Code _____

Postal Code _____

6. Nature and extent of relief applied for:
TO RECOGNIZE EXISTING 2 UNIT DWELLING
REDUCED INTERIOR SIDE YARD OF 1.18m WHERE 1.2m IS REQUIRED
REDUCED PARKING
Unit size of 49m² where 65m² is required
7. Why it is not possible to comply with the provisions of the By-law?
EXISTING CONDITIONS
8. Legal description of subject lands (registered plan number and lot number or other legal description and where applicable, street and street number):
LOT 55, REGISTERED PLAN M-29 HAMILTON
9. PREVIOUS USE OF PROPERTY
Residential ☒ Industrial ☐ Commercial ☐
Agricultural ☐ Vacant ☐
Other
- 9.1 If Industrial or Commercial, specify use
- 9.2 Has the grading of the subject land been changed by adding earth or other material, i.e. has filling occurred?
Yes ☐ No ☒ Unknown ☐
- 9.3 Has a gas station been located on the subject land or adjacent lands at any time?
Yes ☐ No ☒ Unknown ☐
- 9.4 Has there been petroleum or other fuel stored on the subject land or adjacent lands?
Yes ☐ No ☒ Unknown ☐
- 9.5 Are there or have there ever been underground storage tanks or buried waste on the subject land or adjacent lands?
Yes ☐ No ☒ Unknown ☐
- 9.6 Have the lands or adjacent lands ever been used as an agricultural operation where cyanide products may have been used as pesticides and/or sewage sludge was applied to the lands?
Yes ☐ No ☒ Unknown ☐
- 9.7 Have the lands or adjacent lands ever been used as a weapon firing range?
Yes ☐ No ☒ Unknown ☐
- 9.8 Is the nearest boundary line of the application within 500 metres (1,640 feet) of the fill area of an operational/non-operational landfill or dump?
Yes ☐ No ☒ Unknown ☐

9.9 If there are existing or previously existing buildings, are there any building materials remaining on site which are potentially hazardous to public health (eg. asbestos, PCB's)?

Yes _____ No X _____ Unknown _____

9.10 Is there any reason to believe the subject land may have been contaminated by former uses on the site or adjacent sites?

Yes _____ No X _____ Unknown _____

9.11 What information did you use to determine the answers to 9.1 to 9.10 above?
OWNER HISTORY AND AIR PHOTOS

9.12 If previous use of property is industrial or commercial or if YES to any of 9.2 to 9.10, a previous use inventory showing all former uses of the subject land, or if appropriate, the land adjacent to the subject land, is needed.

Is the previous use inventory attached? Yes _____ No _____

ACKNOWLEDGEMENT CLAUSE

I acknowledge that the City of Hamilton is not responsible for the identification and remediation of contamination on the property which is the subject of this Application – by reason of its approval to this Application.

06/05/2020

Date

Signature Property Owner

Print Name of Owner

10. Dimensions of lands affected:

Frontage 13.99m
Depth 34.96m
Area _____
Width of street _____

11. Particulars of all buildings and structures on or proposed for the subject lands:
(Specify ground floor area, gross floor area, number of stories, width, length, height, etc.)

Existing: 1 STOREY
GROUND/GROSS FLOOR - 1900 SQ FT

Proposed: NO CHANGES TO EXISTING BUILDING

12. Location of all buildings and structures on or proposed for the subject lands;
(Specify distance from side, rear and front lot lines)

Existing: FRONT = 7.61m
REAR = 8.9m
SIDES - 1.18m AND 2.12m

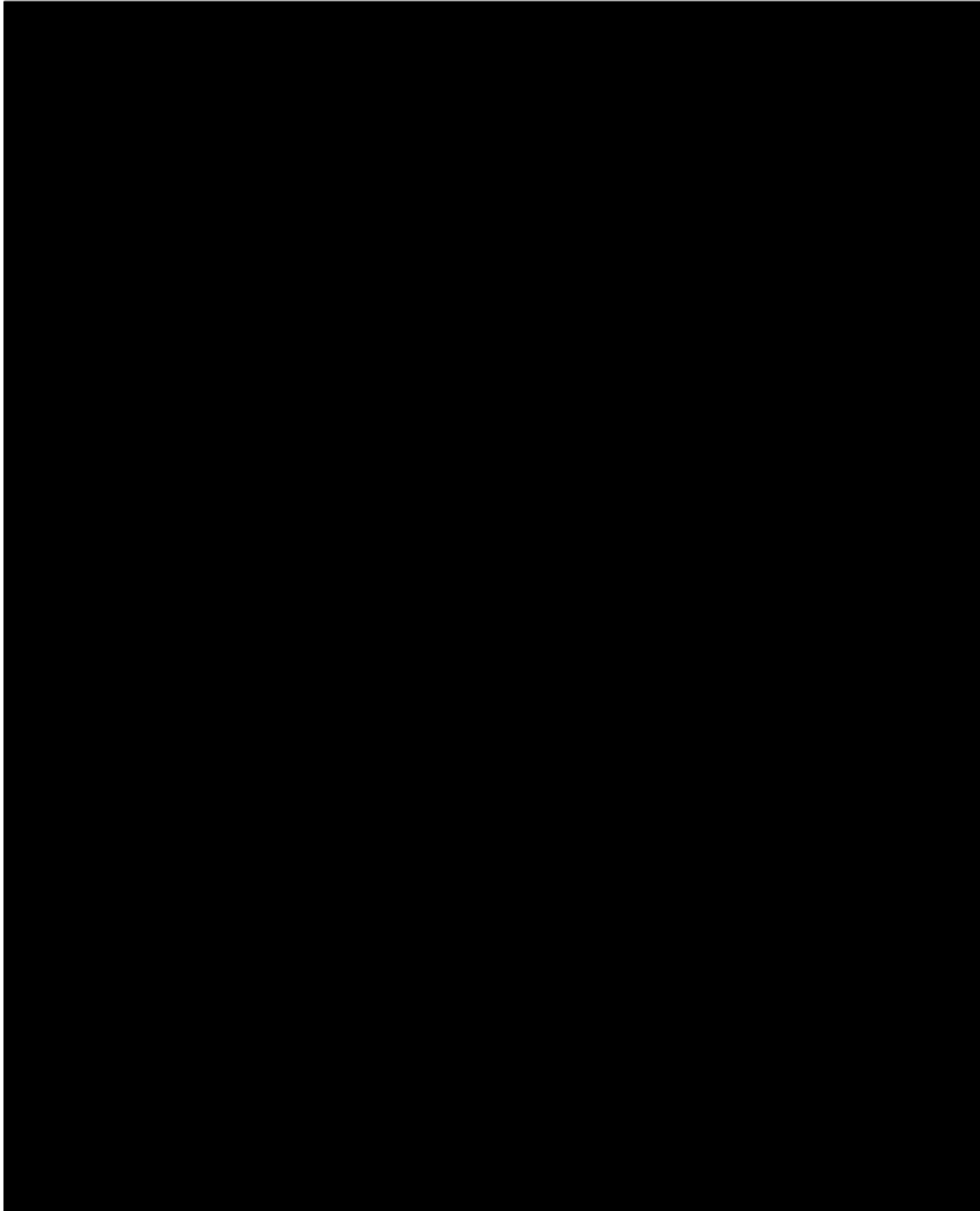
Proposed: FRONT = 7.61m
REAR = 8.9m
SIDES - 1.18m AND 2.12m

13. Date of acquisition of subject lands:
MARCH 2020
14. Date of construction of all buildings and structures on subject lands:
1960's
15. Existing uses of the subject property: RESIDENTIAL
16. Existing uses of abutting properties: RESIDENTIAL
17. Length of time the existing uses of the subject property have continued:
60+ YEARS
18. Municipal services available: (check the appropriate space or spaces)
Water YES Connected YES
Sanitary Sewer YES Connected YES
Storm Sewers YES
19. Present Official Plan/Secondary Plan provisions applying to the land:
NEIGHBOURHOODS
20. Present Restricted Area By-law (Zoning By-law) provisions applying to the land:
C/S 1788
21. Has the owner previously applied for relief in respect of the subject property?
Yes No
If the answer is yes, describe briefly.
22. Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?
Yes No
23. The applicant shall attach to each copy of this application a plan showing the dimensions of the subject lands and of all abutting lands and showing the location, size and type of all buildings and structures on the subject and abutting lands, and where required by the Committee of Adjustment such plan shall be signed by an Ontario Land Surveyor.

NOTE: It is required that two copies of this application be filed with the secretary-treasurer of the Committee of Adjustment together with the maps

referred to in Section 5 and be accompanied by the appropriate fee in cash or by cheque made payable to the City of Hamilton.

PART 24 AFFIDAVIT OR SWORN DECLARATION



(Print Name of Owner)
that the information contained in this application and any documentation, including reports, studies and drawings, provided in support of the application, by myself, my agents, consultants and solicitors, constitutes public information and will become part of the public record. As such, and in accordance with the provisions of the *Municipal Freedom of Information and Protection of Privacy Act*, R.S.O. 1990, c. M.56, I hereby consent to the City of Hamilton making this application and its supporting documentation available to the general public, including copying and disclosing the application and its supporting documentation to any third party upon their request.

2020-06-08

Date



PART 27 PERMISSION TO ENTER

Date: 2020-06-08

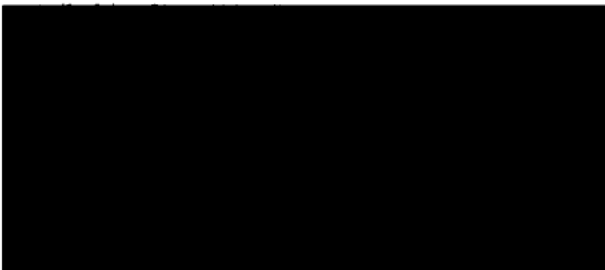
Secretary/Treasurer
Committee of Adjustment
City of Hamilton,
City Hall

Dear Secretary/Treasurer,

Re: Application to Committee of Adjustment

Location of Land: 110 CLIFTON DOWNS ROAD, HAMILTON
(Municipal address)

I hereby authorize the members of the Committee of Adjustment and members of the
[Redacted] property for the limited



Note: The Committee of Adjustment requires that all properties be identified with the municipal address clearly visible from the street. Where there is no municipal address or the property is vacant then the property shall be identified in accordance with the Committee's policy included on the back of the Application Form. Failure to properly identify the subject property may result in the deferral of the application.

PART 28 COLLECTION OF INFORMATION

The personal information contained on this form is collected under the authority of the *Planning Act*, R.S.O. 1990, c. P.13, and will be used for the purpose of processing the application. This information will become part of the public record and will be made available to the general public. Questions about the collection of this information should be directed to the Coordinator of Business Facilitation, Planning and Economic Development Department, City of Hamilton, 1st floor, 71 Main Street West, City Hall, Hamilton, Ontario, Telephone: 905-546-2424, ext.1284.

CITY OF HAMILTON
COST ACKNOWLEDGEMENT AGREEMENT

This Agreement made this 8TH day of JUNE, 2020.

BETWEEN



hereinafter referred to as the "Developer"

-and-

City of Hamilton

hereinafter referred to as the "City"

WHEREAS the Developer represents that he/she is the registered owner of the lands described in Schedule "A" attached hereto, and which lands are hereinafter referred to as the "lands";

AND WHEREAS the Developer has filed for an application for a (circle applicable) consent/rezoning/official plan amendment/subdivision approval/minor variance.

AND WHEREAS it is a policy of the City that any City costs associated with an appeal to the Local Planning Appeal Tribunal, by a party other than the Developer, of an approval of a consent, rezoning, official plan amendment, plan of subdivision, and/or minor variance, such as, but not limited to, legal counsel costs, professional consultant costs and City staff costs, shall be paid by the Developer.

NOW THEREFORE THIS AGREEMENT WITNESSETH that in consideration of the sum of two dollars (\$2.00) now paid by the City to the Developer, the receipt of which is hereby acknowledged, the parties hereto agree as follows:

1. In this Agreement:

- (a) "application" means the application(s) for a (circle applicable) consent/rezoning/official plan amendment/subdivision approval or minor variance dated _____ with respect to the lands described in Schedule "A" hereto.
- (b) "Expenses" means all expenses incurred by the City if the application is: (a) approved by the City; (b) appealed to the Local Planning Appeal Tribunal by a party other than the developer; and (c) the City appears before the Local Planning Appeal Tribunal or any other tribunal or Court in support of the application, including but not limited to: City staff time, City staff travel expenses and meals, City disbursements, legal counsel fees and disbursements and all consultant fees and disbursements including, without limiting the generality of the foregoing planning, engineering or other professional expenses

2. The City agrees to process the application and, where the application is approved by the City but appealed to the Local Planning Appeal Tribunal by a party other than the Developer, the Developer shall file an initial deposit, in the form of certified cheque or cash with the General Manager, Finance & Corporate Services within fifteen days of the date of the appeal of the application by a third party in the amount of 50% of the estimated expenses associated with the appeal as estimated by the City Solicitor in his sole discretion which shall be credited against the Expenses.

3. It is hereby acknowledged that if the deposit required pursuant to section 2 of this Agreement is not paid by the Developer the City shall have the option, at its sole discretion, of taking no further steps in supporting the Developer's application before the Local Planning Appeal Tribunal.

4. It is hereby acknowledged that all expenses shall be paid for by the Developer. The Developer shall reimburse the City for all expenses the City may be put to in respect of the application upon demand.
5. It is hereby acknowledged and agreed that all expenses shall be payable by the Developer whether or not the Developer is successful before the Local Planning Appeal Tribunal or any other tribunal or Court in obtaining approval for their application.
6. The City shall provide the Developer with copies of all invoices of external legal counsel or consultants included in the expenses claimed by the City.
7. The City shall provide the Developer with an accounting of all staff costs and City disbursements included in the expenses claimed by the City.
8. The City may, at any time, draw upon the funds deposited in accordance with sections 2 and 9 of this Agreement to satisfy expenses incurred pursuant to the appeal of the application.
9. In the event that the amount deposited pursuant to section 2 of this Agreement is reduced to less than 10% of the initial deposit, the City may halt all work in respect of the appeal of the application until the Developer deposits with the City a sum sufficient to increase the deposit to an amount which is equal to 100% of the expenses estimated pursuant to paragraph 2 of this Agreement and still to be incurred by the City.
10. Within 60 days of: (a) a decision being rendering in respect of the appeal or any legal proceedings resulting from the decision, whichever is later; or (b) the termination of all legal proceedings in respect of the application, the City shall prepare and submit a final account to the Developer. If there are any deposit funds remaining with the City they shall be applied against the account. Any amount owing in respect of the final account in excess of deposit funds shall be paid by the Developer within 30 days of the date of the final account. If any deposit funds are remaining after the final account has been paid they shall be returned to the developer within 30 days of the date of the final account.
11. This Agreement shall not be construed as acceptance of the application and nothing herein shall require or be deemed to require the City to approve the application.
12. This Agreement shall not stand in lieu of or prejudice the rights of the City to require such further and other agreements in respect of the application that the City may deem necessary.
13. Every term, covenant, obligation and condition in this Agreement ensures to the benefit of and is binding upon the parties hereto and their respective heirs, executors, administrators, successors, trustees and assigns.
14. When the context so requires or permits, the singular number is to be read as if the plural were expressed, and the masculine gender as if the feminine, as the case may be, were expressed; and,
15. This Agreement and the schedules hereto constitute the entire agreement between the parties in respect of the subject matter contained herein and is not subject to, or in addition to, any other agreements, warranties or understandings, whether written, oral or implied. This Agreement may not be modified or amended except by instrument in writing signed by the Developer and the City, and,
16. The waiver or acquiescence by the City of any default by the Developer under any obligation to comply with this Agreement shall not be deemed to be a waiver of that obligation or any subsequent or other default under this Agreement.

17. The Developer covenants and agrees to be bound by the terms and conditions of this Agreement and not to seek a release from the provisions thereof until such time as the Developer's obligations hereunder have been assumed by its successor, assignee or transferee by way of written agreement in the form set out in Schedule "B" to this Agreement.

IN WITNESS WHEREOF the parties hereto have set their corporate seals under the hands of their duly authorized officers.

DATED at _____ this _____ day of _____, 20 ____.

WITNESS

Per:
I have authority to bind the corporation.

WITNESS

Per:
I have authority to bind the corporation

DATED at Hamilton, Ontario this ____ day of _____, 20 ____.

City of Hamilton

Per: _____
Mayor

Per: _____
Clerk

Schedule "A"
Description of Lands

SCHEDULE "B"
FORM OF ASSUMPTION AGREEMENT

THIS AGREEMENT dated the _____ day of _____, 20____.

BETWEEN

(hereinafter called the "Owner")

OF THE FIRST PART

-and-

(hereinafter called the "Assignee")

-and-

OF THE SECOND PART

CITY OF HAMILTON
(hereinafter called the "Municipality")

OF THE THIRD PART

WHEREAS the owner and the Municipality entered into and executed a Cost Acknowledgement Agreement dated _____.

AND WHEREAS Assignee has indicated that it will assume all of the Owner's duties, liabilities and responsibilities as set out in the Cost Acknowledgement Agreement.

AND WHEREAS Council for the Municipality has consented to releasing the Owner from its duties, liabilities and responsibilities under said Cost Acknowledgement Agreement subject to the Assignee accepting and assuming the Owner's duties, liabilities and responsibilities and subject to the Assignee the Owner and the Municipality entering into and executing an Assumption Agreement.

NOW THEREFORE THIS AGREEMENT WITNESSETH THAT in consideration of the mutual covenants hereinafter expressed and other good and valuable consideration, the parties hereto agree as follows.

1. The Assignee covenants and agrees to accept, assume and to carry out the Owner's duties, liabilities and responsibilities under the Cost Acknowledgement Agreement and in all respects to be bound under said Cost Acknowledgement Agreement as if the Assignee had been the original party to the agreement in place of the Owner.
2. The Municipality hereby releases the Owner from all claims and demands of any nature whatsoever against the Owner in respect of the Cost Acknowledgement Agreement. The Municipality hereby accepts the Assignee as a party to the Cost Acknowledgement Agreement in substitution of the Owner, and agrees with the Assignee that the Assignee will be bound by all the terms and conditions of the Cost Acknowledgement Agreement as if the Assignee had been the original executing party in place of the Owner.
3. All of the terms, covenants, provisos and stipulations in the said Cost Acknowledgement Agreement are hereby confirmed in full force save and except

for such modifications as are necessary to make said clauses applicable to the Assignee.

IN WITNESS WHEREOF the Parties have hereunto affixed their corporate seals duly attested to by their proper signing officers in that behalf.

SIGNED, SEALED AND DELIVERED

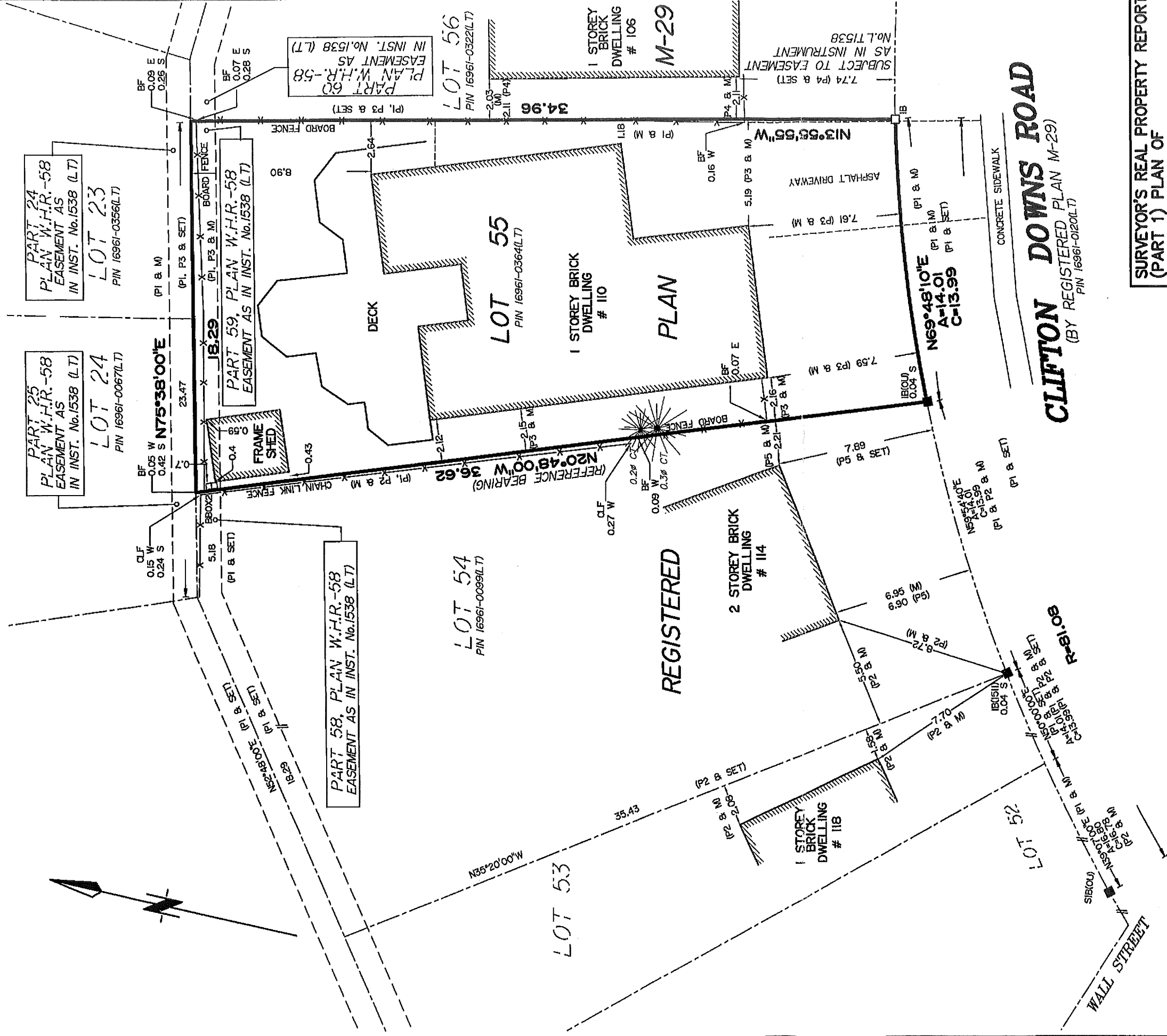
Owner: c/s
Title:
I have authority to bind the corporation

Assignee: c/s
Title:
I have authority to bind the corporation

CITY OF HAMILTON

Mayor

Clerk



SURVEYOR'S REAL PROPERTY REPORT
(PART 1) PLAN OF

LOT 55

REGISTERED PLAN M-29

IN THE

CITY OF HAMILTON

SCALE 1:200

METRES

ASHENHURST NOUWENS & ASSOCIATES INC.

SURVEYOR'S CERTIFICATE

I CERTIFY THAT:

1. THIS SURVEY AND PLAN ARE CORRECT
AND IN ACCORDANCE WITH THE SURVEYS
ACT, THE SURVEYORS ACT, AND THE
LAND TITLES ACT, AND THE REGULATIONS
MADE UNDER THEM.

2. THE SURVEY WAS COMPLETED ON THE
1ST DAY OF JUNE, 2020.

DATE
June 1, 2020
HARRY KALANTZAKOS
O.L.S.

DRAWN
BY W.S.
CALC'D
BY H.K.
CHK'D
BY H.K.

DATE DWG.
MAY 28, 2020
FILE NO.
20--026 SRPR

REGISTERED EASEMENTS AND/OR RIGHT-OF-WAY.
SUBJECT TO EASEMENT AS IN INSTRUMENT No. LT1538

THIS REPORT WAS PREPARED FOR: RUBEN FURTADO

THE UNDERSIGNED ACCEPTS NO RESPONSIBILITY FOR USE BY OTHER PARTIES
© THIS PLAN IS PROTECTED BY COPYRIGHT

BEARING NOTE:
BEARINGS ARE ASTROMOMIC AND ARE REFERRED TO THE WEST LIMIT
OF LOT 55, AS SHOWN ON PLAN M-29, HAVING A BEARING OF
N20°48'00"W

METRIC NOTE DISTANCES SHOWN ON THIS PLAN ARE IN METRES
AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

ASHENHURST NOUWENS & ASSOCIATES INC.

Professional Engineers & Ontario Land Surveyors

225 KING WILLIAM STREET, SUITE 204, HAMILTON, ONTARIO L8R 1B1
(905) 529-6316 (905) 529-4314 1-800-824-6224
FAX: (905) 529-6651 e-mail: an@ashenhurstnouwens.ca

SURVEYOR'S REAL PROPERTY REPORT
PART 2 NOTE THE LOCATION OF THE FENCES
ALONG THE NORTH, EAST AND WEST LIMITS OF
PROPERTY

NOTE THE LOCATION OF THE SHED IN THE
REAR YARD

LEGEND

- FOUND
- PLANTED
- IRON BAR
- STANDARD IRON BAR
- ROUND IRON BAR
- MEASURED
- ORIGIN UNKNOWN
- WITNESS
- BOARD FENCE
- CHAIN LINK FENCE
- REGISTERED PLAN M-29
- PLAN BY G. CONSOLI
- DATED NOV. 23, 1987
- PLAN BY A. J. CLARKE
- DATED DEC. 3, 1969
- PLAN BY A. J. CLARKE
- DATED NOV. 11, 1969
- PLAN BY A. J. CLARKE
- DATED NOV. 12, 1970
- G. V. CONSOLI, O.L.S.

ASSOCIATION OF ONTARIO
LAND SURVEYORS
PLAN SUBMISSION FORM
2127964



THIS PLAN IS NOT VALID
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ORIGINAL COPY
ISSUED BY THE SURVEYOR
In accordance with
Regulation 1026, Section 29(3)

110 Clifton Downs Hamilton, Ontario

Project Description:

- Permit for as found existing
2 unit dwelling

DO NOT SCALE DRAWINGS

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SMPL

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Architectural Design Services

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Drawing Submissions:	
Date:	Type:
May, 28, 2020	Existing

110 Clifton Downs
Hamilton, Ontario

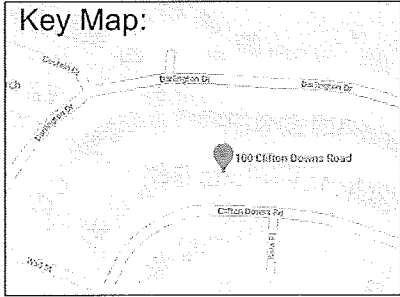
Reviewed By	JT
Drawn By	KC
Plot Date	
Page	A0.01

Cover Page

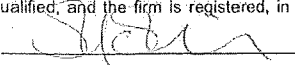
Square Footage:	
Basement: 1893.11 ft ²	<u>Unit 1</u>
Main: 500.72 ft ²	1218.76 ft ²
Mid level: 581.74 ft ²	
Upper: 819.93 ft ²	<u>Unit 2</u>
Deck: 755.96 ft ²	532.08 ft ²

Architectural Design Firm: SMPL Design Studio	
Address: 15 Colbourne St, Hamilton, Ontario	
Postal: L8R 2G2	
Phone: 905-570-2201	

HVAC Designer: Pedi Enterprises Inc.	
Address: 32 Church St. Unit 308, Schomberg, Ontario	
Postal: L0G 1T0	
Phone: 416-994-8041	



I review and take responsibility for the design work on behalf of a firm registered under subsection 3.2.4. of Division C, of the Building Code. I am qualified, and the firm is registered, in the appropriate classes/categories.

Individual BCIN: 19618 / Firm BCIN: 31829 /  2016

NOTES

- AAaltic access hatch
min. 20"x28"
- BBstairs at interior and exterior
maximum rise: 7.874"
minimum rise: 4.92"
minimum run: 8.267"
maximum run: 13.976"
minimum tread: 9.25"
maximum tread: 13.986"
maximum nosing: 0.984"
minimum width: 33.858"
minimum headroom: 76.77"
- CCguardrail
interior landings: 35.433"
exterior balcony: 42.125"
interior stairs: min. 34.055"; max. 37.99"
exterior stairs: 35.433"
max. between pickets: <3.937"
- DDinterconnected smoke alarm / carbon monoxide alarm conforming to can/csa-6.19 or UL2034 see CAN/ULC-S531, "Smoke Alarms"
- EEtorch-on roofing membrane
- IIeavestrough
- JJgrade:min. 2% slope away from building per grading plan
- KKfurnace per HVAC design plans
- LLtankless water heater
- MMclothes rod anchored to either end wall of closet + 12" deep shelf installed above rod
- NN42" guardrail
- OO3 way light switch - one at top of stairs, one at bottom
- PPparapet
- QQexhaust fan capable of 50.0L/s c/w insulated duct to exterior vent or to HRV. See mech.design
- RRheating system shall be capable of min. 22 deg throughout HVAC layout per designer
- TTbuilt in cabinetry
- UUcustom shower
- VVelectrical as per ESA Ontario
- XXfloor drain
- YYbackwater valve

Wall Schedule

- W01exst. parge above grade
exst. approved drainage layer
exst. damproofing
exst. 10" poured 20 MPa concrete foundation wall
exst. R10 continuous insulation
exst. 2x4 framing @ 16" O.C. c/w/ R12 batt insulation
exst. Poly Air/ VB-CAN/CGSB-51.34-M-seal joints w/tremo acoustical sealant
exst. 1/2" Gypsum
- W02exst. purge above grade
exst. approved drainage layer
exst. damproofing
exst. 10" poured 20 Mpa concrete foundation wall
- W03exst. 1/2" Gypsum
exst. 2x4 framing @ 16" O.C.
exst. 1/2" Gypsum
- W04exst.1/2" Gypsum
exst. 2x6 framing @ 16" O.C.
exst. 1/2" Gypsum
- W05exst. stone veneer per 9.20 O.B.C. and CSA A371 or BMEC 01-04-256 and O.B.C. 9.20. & O.B.C. 9.20.
- flashing for weepholes per 9.20.13.6
- flashing joints per 9.20.13.7
- weep holes per 9.20.13.6
- steel lintels per 9.20.5.2
exst. 1" airspace
exst. wall sheathing membrane - CAN/CGSB-51.32-M
exst. 7/16" OSB 0-2 sheathing
exst. 2x6 framing @ 16" O.C.
exst. R12 batt insulation
exst. Poly Air/VB-CAN/CGSB-51.34-M-seal joints w/tremo acoustical sealant
exst. 1/2" Gypsum
- W06exst. (horizontal/ vertical) wood siding
exst. 1x strapping
exst. wall sheathing membrane - CAN/CGSB-51.32-M
exst. 7/16" OSB 0-2 sheathing
exst. 2x6 framing @ 16" O.C.
exst. R12 batt insulation
exst. Poly Air/VB-CAN/CGSB-51.34-M-seal joints w/tremo acoustical sealant
exst. 1/2" Gypsum
- W07exst. 5/8" type-x gypsum board
exst. 2x4 framing @ 16" O.C.
exst. R14 roxul insulation
exst. 5/8" type-x gypsum board

Roof Schedule

- R0130 year asphalt roofing shingle c/w eave protection metal drip edge
30lb roofing felt
1/2" plywood roof sheathing c/w h clips
roof trusses per supplier
R60 spray foam insulation
Poly Air/VB-CAN/CGSB-51.34-M-seal joints w/tremo acoustical sealant
1x furring @ 16" o.c.
1/2" gypsum/ vented metal soffit @ eaves
c/w min. 1/300 venting

Floor Schedule

* provide water resistant floors @ kitchen, bathrooms, mudroom*

- F01Exist. fin. floor providing water resistance TBD
Exist. 4" 15 Mpa concrete slab
Exist. 2" rigid foam
Exist. Poly Air/ VB-CAN/CGSB-51.34-M-seal joints w/tremo acoustical sealant
Exist. 8" coarse granular fill
Exist. undisturbed soil
- F02Exist. fin. floor providing water resistance TBD
Exist. 3/4" T&G OSB 0-2 subfloor
Exist. 2x10" floor joists @ 16" O.C.
Exist. 1/2" gypsum

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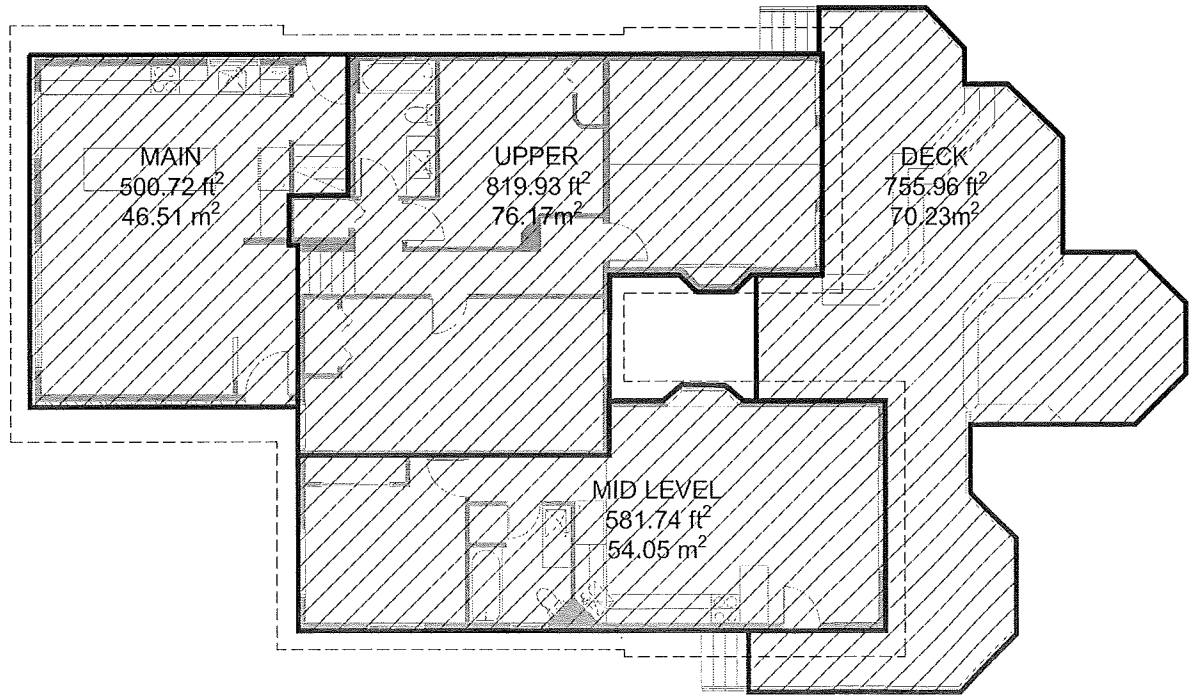
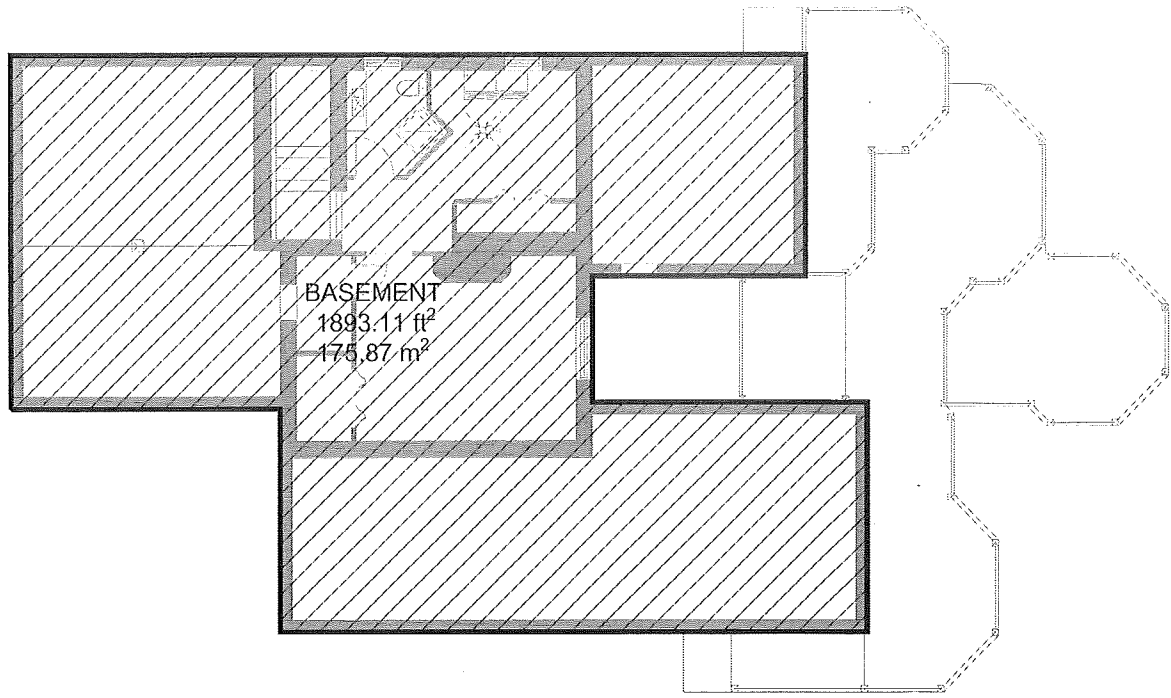
110 Clifton Downs
Hamilton, Ontario

Reviewed By	JT
Drawn By	KC
Plot Date	

Page
A0.02

Schedule

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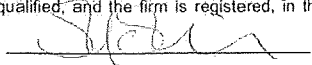
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Date:	Type:
May, 28, 2020	Existing

110 Clifton Downs
Hamilton, Ontario

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Page	Z1.01

Zoning

Overall Coverage
Scale $\frac{3}{16}"=1'-0"$

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2.3.1.4 Hot Water Piping Insulation

1) Hot water pipes that are vertically connected to a hot water storage tank shall have heat traps on both inlet and outlet piping as close as practical to the tank, except where the tank, a) has an integral heat trap, or b) serves a recirculating system.

2) The first 2.6m of hot water outlet piping of a hot water storage tank serving non-recirculating system shall be insulated to provide a thermal resistance of not less than RSI 0.62.

3) The inlet pipe of a hot water storage tank between the heat trap and the tank serving non-recirculating system shall be insulated to provide a thermal resistance of not less than RSI 0.62.

9.5.2.3 Stud Wall Reinforcement

(1) If wood stud walls or sheet steel wall studs enclose the main bathroom in a dwelling unit, reinforcement shall be installed to permit the future installation of the following:

(a) For a water closet a grab bar described in Clauses 3.8.3.8 (3)(a) and a grab bar described in Clause 3.8.3.8 (3)(c).

(b) For a shower a grab bar described in Clause 3.8.3.13 (2)(f), and

(c) For a bathtub a grab bar described in Clause 3.8.3.13 (4)(c).

9.10.19 Smoke Alarms

(1) Within dwelling units sufficient smoke alarms conforming to CAN/ULC-531 shall be installed so that:

(a) There is at least one smoke alarm on each storey, including basements, and

(b) On any storey of a dwelling unit containing sleeping rooms, a smoke alarm is installed:

(i) in each sleeping room, and

(ii) in a location between the sleeping rooms and the remainder of the storey, and if the sleeping rooms are served by a hallway, the smoke alarm shall be located in the hallway.

(2) Smoke alarms shall have a visual signalling component conforming to the requirements in 16.6.3. of NFPA 72. The visual signalling component need not be integrated with the smoke alarm provided it is interconnected to it.

Interconnected smoke alarms to be permanently connected and have a battery backup as per OBC 9.10.19.4.

9.29.2. Waterproof Wall Finish

(1) Waterproof finish shall be provided to a height of not less than:

(a) 1.8m (5'11") above the floor in shower stalls,

(b) 1.2m (3'11") above the rims of bathtubs equipped with showers, and

(c) 0.4m (15-3/4") above the rims of bathtubs not equipped with showers.

9.29.10.4

(1) Ceramic and plastic tile installed on walls around bathtubs or showers shall be applied over moisture resistance backing.

9.20.1.2. Water Resistance

(1) Finished flooring in bathrooms, kitchens, public entrance halls, laundry, and general storage areas shall consist of resilient flooring, felted synthetic fibre floor coverings, concrete, terrazzo, ceramic tile, mastic or other types of flooring providing similar degree of water resistance.

Section 9.8 Stairs, Handrails, Guards

All interior exterior stairs, handrails, and guards shall conform to O.B.C. Section 9.8. Maximum rise (7-1/2") minimum run 210mm (8-1/4") minimum tread 235mm (9-1/4"), handrail not less 665mm (34") high and not more than 855mm (38") high above line through nosings. Guards for porches, decks, landings, and balconies, serving not more than 1 dwelling unit and which are not more than 1800 mm (5'11") above finished ground level are permitted to be minimum 900mm (35-1/2") and must be minimum 1070mm (42") high for areas greater than 1800mm (5'11") above finished grade. Openings through required guards on balconies, porches, decks, stairs, landings and floor level around a stairwell in a dwelling unit shall prevent passage of a 100mm (4") diameter spherical object and prevent climbing. Headroom measured vertically through a line of outer edge of nosing shall be at least 1950mm (6'5") for stairs serving a single dwelling unit and 2050mm (6'9") for all other stairs. Handrails are required for interior stairs with more than 2 risers and exterior stairs with more than 3 risers. Design guard on first no member, attachment or opening is located between 140mm (5-1/2") & 800mm (35-1/2") above deck surface will facilitate climbing.

Note: adjustments or changes made to the floor layout, roof truss layout, beams, joists & point loads or required load bearing walls must be identified prior to construction and SMPL Design Studio and project engineer must be notified for further review and approval.

Note: all code requirements refer to O.B.C. 2012 Division 'B'.

9.10.22 Fire Protection for Gas, Propane and Electric Cooktops

Framing, finishes and cabinetry installed directly above the location of the cooktop shall be not less than 760mm (29-1/2") above the level of cooktop burners or elements. Framing, finishes and cabinets installed directly above the location of the cooktop is permitted to be reduced to 600mm (23-5/8") above the level of the elements or burners in compliance with 9.10.22.2 (2) (a) and (b). Except as provided in 9.10.22.2 (2) and (3), combustible wall framing, finishes or cabinets within 450mm (17-3/4") of the area where the cooktop is to be located shall be protected above the level of the heating elements or burners by material providing fire resistance not less than that of a 6.5mm (1/4") thickness of gypsum board.

Note: all wood framed window openings that exceed 48" wide are to have 2/2x4 plates @ bottom of opening (typ.) U.N.O.

Note: structural engineer to be notified prior to pouring of concrete to inspect re-bar set-up during construction-engineer will not certify walls or footing/ slabs unless prior inspection is conducted- it is the responsibility of the contractor to notify the project engineer and make all arrangements.

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Drawing Legend

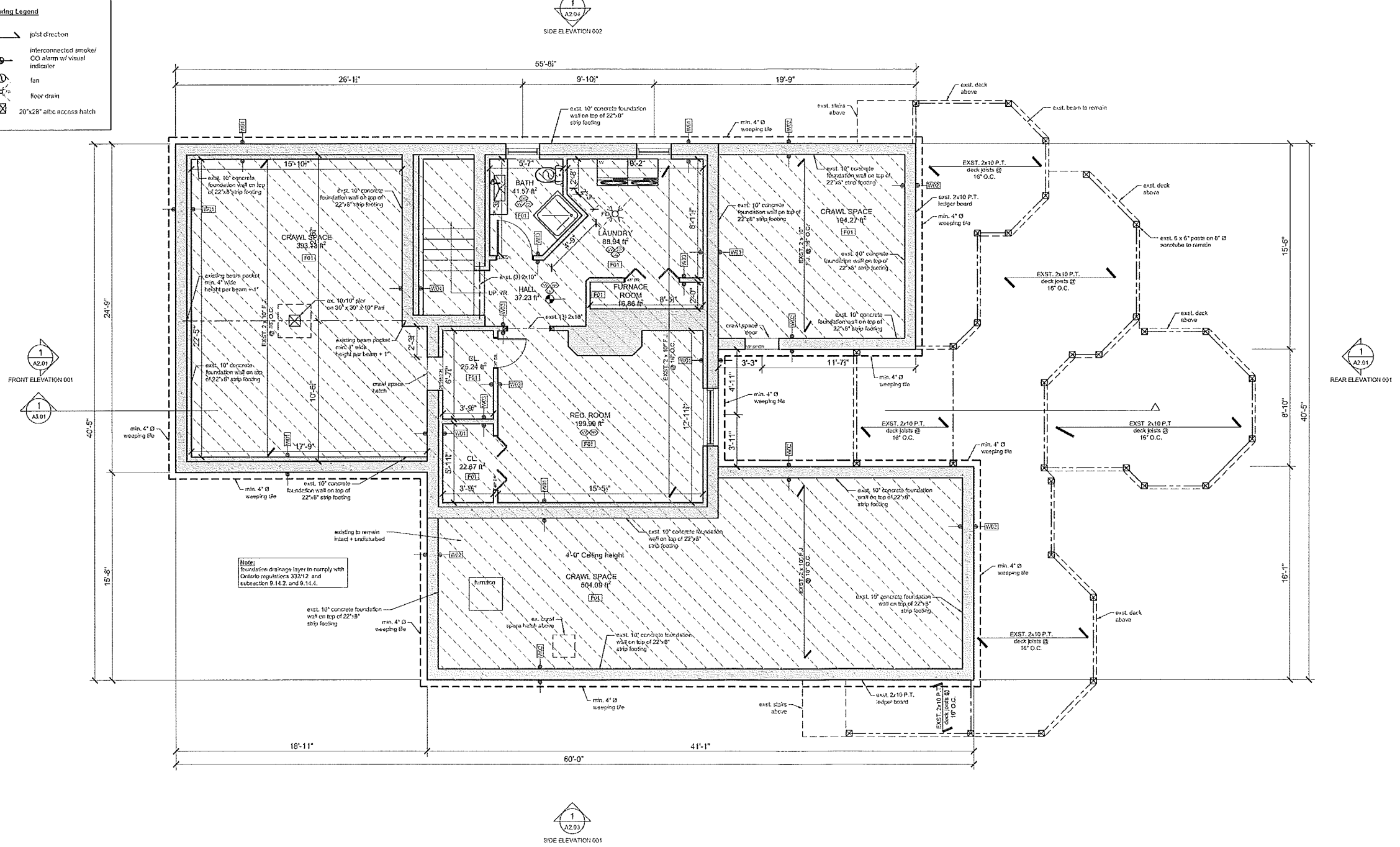
joist direction

interconnected smoke/ CO alarm w/ visual indicator

fan

floor drain

20"x28" alc access hatch



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Drawing Legend

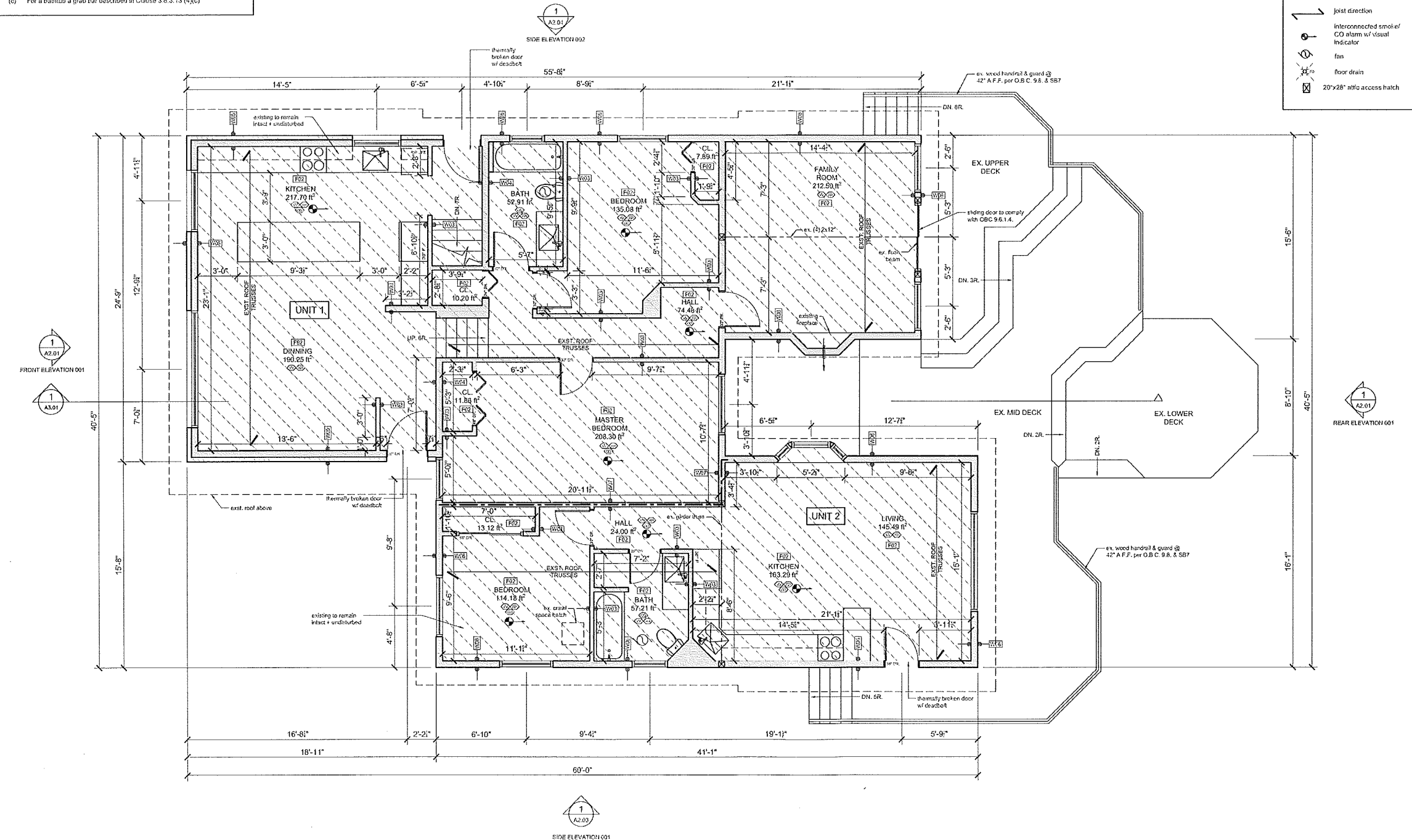
Joint direction

Interconnected smoke/ CO alarm w/ visual indicator

Fan

Floor drain

20"x28" attic access hatch



Existing Main Floor Plan
Scale 3/16" = 1'-0"

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Drawing Submissions:
Date: May, 28, 2020 Type: Existing

110 Clifton Downs
Hamilton, Ontario

Reviewed By: JT
Drawn By: KC
Plot Date:

Page
A1.02

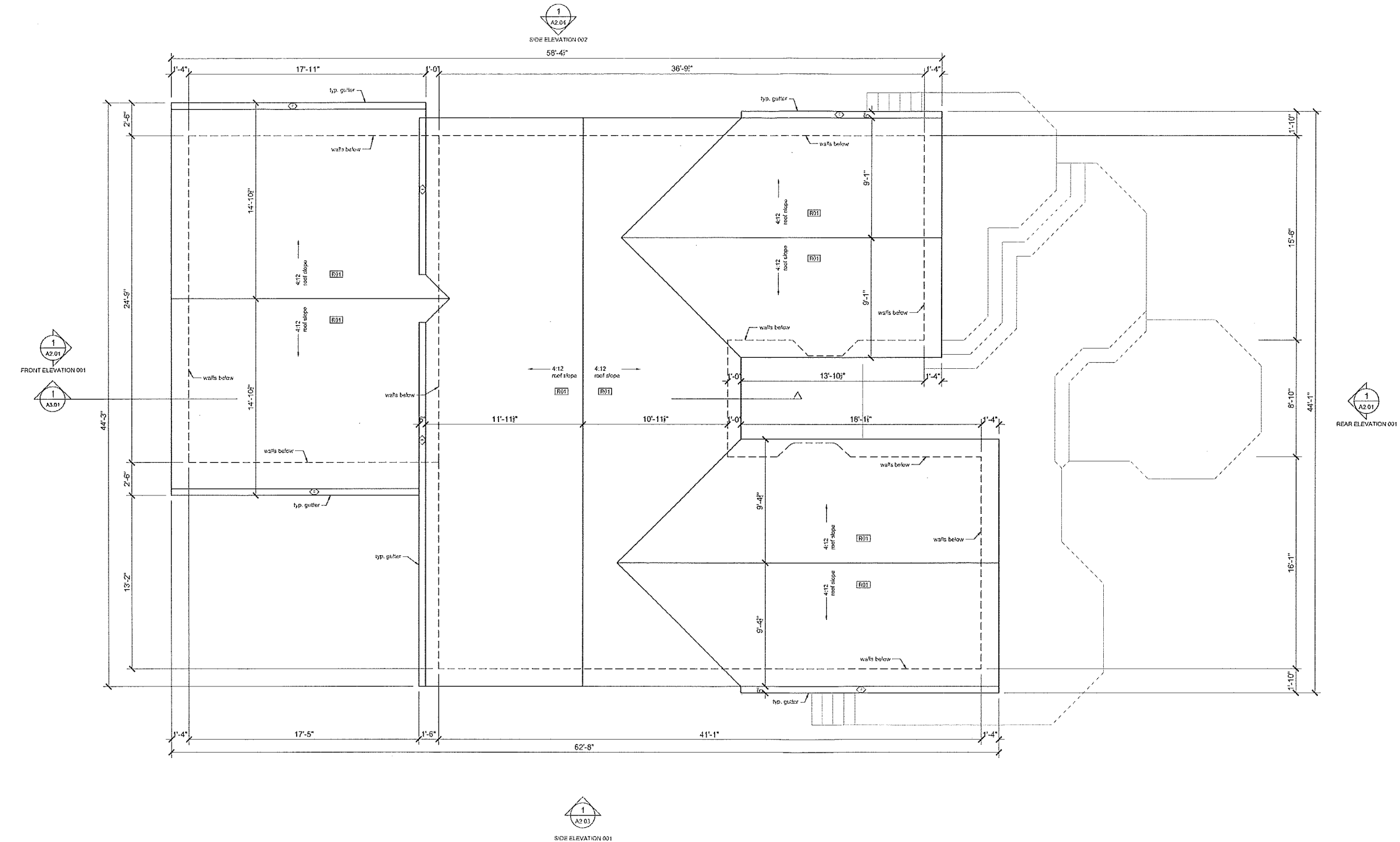
Existing
Main Floor

9.26.5
Eaves protection shall be provided on shingle, shake or tile roofs, extending from the edge of the roof a minimum distance of 900 mm (2'-11") up the roof slope to a line not less than 300 mm.
1) (11'-5") inside the inner face of the exterior wall. Eave protection not required over unheated areas, for roof slopes 1 in 1.5 or greater or in a region with fewer than 3 500 degree-days.

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1
A1.03

Existing Roof Plan

Scale $\frac{3}{16}'' = 1'-0''$

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110 Clifton Downs
Hamilton, Ontario

Reviewed By JT
Drawn By KC
Plot Date

Page
A1.03

Existing
Roof Plan

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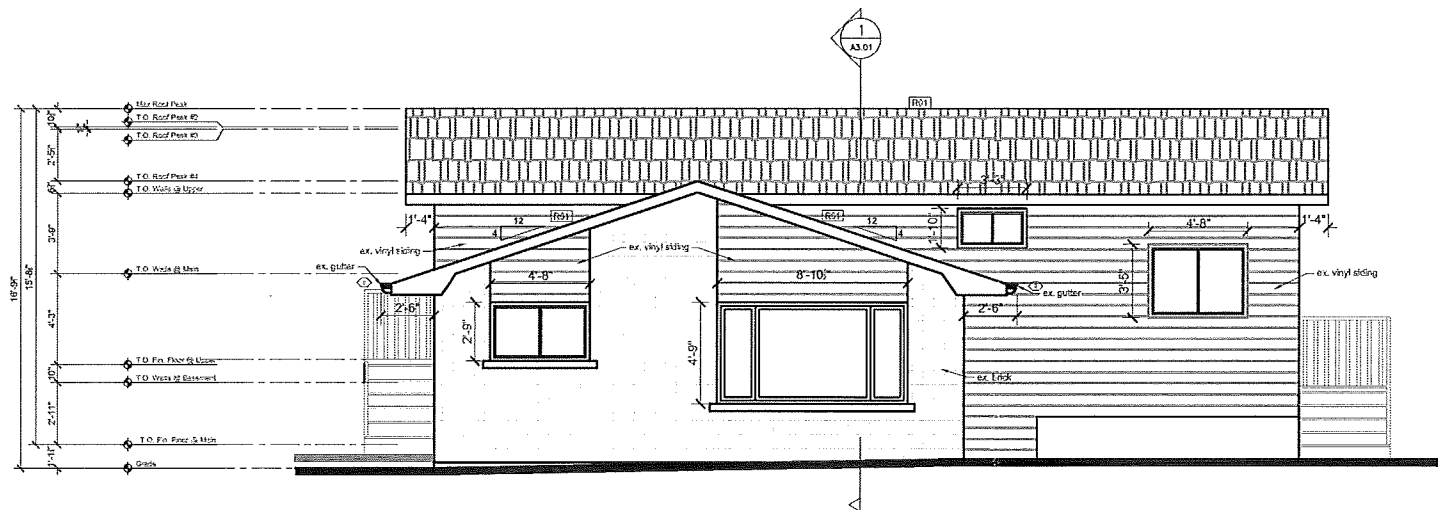
Date:	Type:
May, 28, 2020	Existing

110 Clifton Downs
Hamilton, Ontario

Reviewed By JT
Drawn By KC
Plot Date

Page
A2.01

Elevations



1
A2.01

Front Elevation
Scale $\frac{3}{16}$ "=1'-0"

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2016

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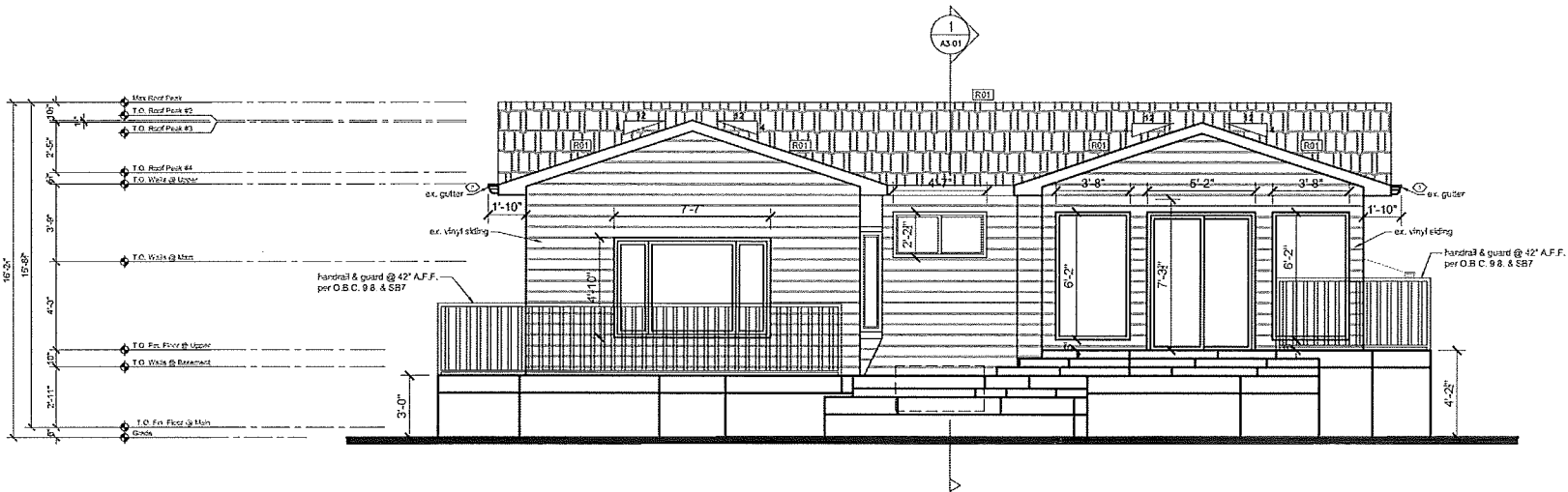
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Date:	Type:
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110 Clifton Downs
Hamilton, Ontario

Reviewed By	JT
Drawn By	KC
Plot Date	

Page
A2.02

Elevations



1
A2.02

Rear Elevation
Scale $\frac{3}{16}'' = 1'-0''$

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3) All works to be in accordance with the Ontario Building Code.

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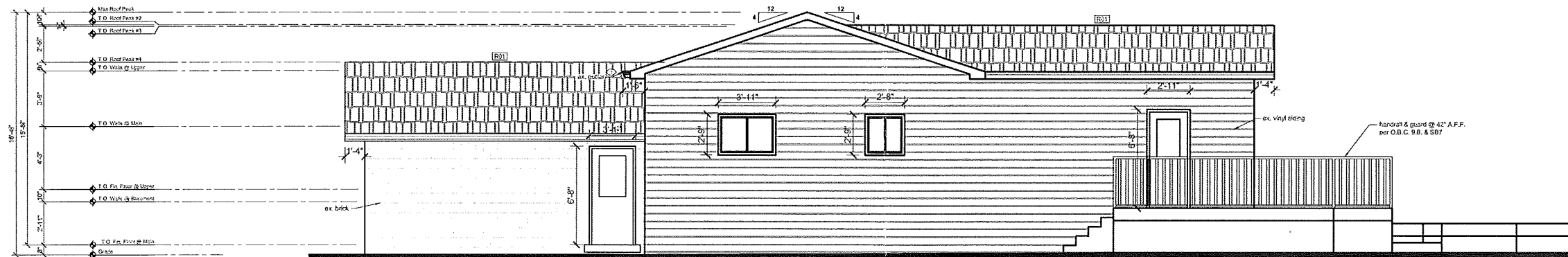
Date:	Type:
May, 28, 2020	Existing

110 Clifton Downs
Hamilton, Ontario

Reviewed By JT
Drawn By KC
Plot Date

Page
A2.03

Elevations



1
A2.03
Side Elevation 001
Scale $\frac{3}{16}'' = 1'-0''$

I review and take responsibility for the design work on behalf of a firm registered under subsection 3.2.4. of Division C, of the Building Code. I am qualified, and the firm is registered, in the appropriate classes/categories.
Individual BCIN: 19618 / Firm BCIN: 31829 / *[Signature]* 2016

DO NOT SCALE DRAWINGS

Note:

1) Contractor to check all dimensions, specifications, not on site and shall be responsible for reporting any discrepancy to the engineer and/or designer.

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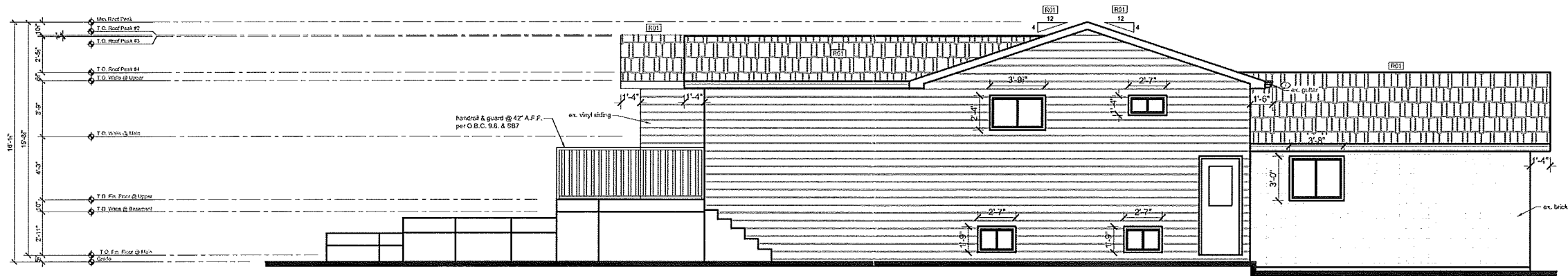
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Page	A2.04

Elevations



1
A2.04

Side Elevation 002

Scale $\frac{3}{16}$ "=1'-0"

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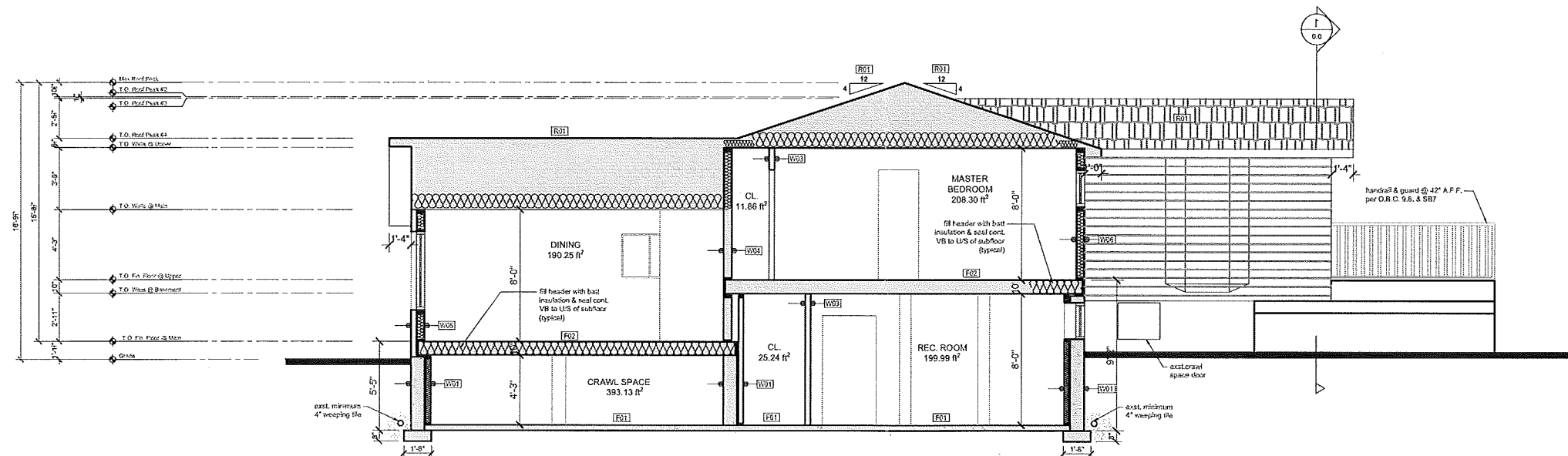
9.19.2.1
Attic and roof spaces shall be provided by an access hatch if the space is not less than 10 sq.m (108 sq.ft) in area, 1000mm (3'3") in length or width, and 600mm (23-1/2") in height over the described area or contains a fuel-fired appliance. Except where an attic or roof space contains a fuel-fired appliance the hatch required shall be not less than 500mm (2'-0") by 900mm (2'-11") except that where the hatch serves a single dwelling unit, the hatch may be reduced to 0.32 sq.m (3.4 sq.ft) in area with no dimension less than 545mm (21-1/2") or 500mm (19-1/2") by 700mm (27-3/4"). Hatchways to be fitted with doors or covers. The thermal resistance value at the location directly above an access hatch shall not be less than RSI 3.52 (R20)
1)

9.26.5
Eaves protection shall be provided on shingle, shake or tile roofs, extending from the edge of the roof a minimum distance of 900 mm (2'-11") up the roof slope to a line not less than 300 mm
1) (11-1/2") inside the inner face of the exterior wall. Eave protection not required over unheated areas, for roof slopes 1 in 1.5 or greater or in a region with fewer than 3 509 degree-days.

DO NOT SCALE DRAWINGS

Note:

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1
A3.01

Building Section 001
Scale $\frac{3}{16}'' = 1'-0''$

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Section

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