



Hamilton

COMMITTEE OF ADJUSTMENT

City Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5
Telephone (905) 546-2424, ext. 4221, 3935 Fax (905) 546-4202
E-mail: cofa@hamilton.ca

NOTICE OF PUBLIC HEARING **Minor Variance**

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
 - Applicant/agent on file, or
 - Person likely to be interested in this application
-

APPLICATION NO.: AN/A-20:143

APPLICANTS: Ancaster-Rose Homes Inc. Att: Joe Laronga

SUBJECT PROPERTY: Municipal address **287-363 Raymond Rd., Ancaster**

ZONING BY-LAW: Zoning By-law 87-57, as Amended by By-law 10-303

ZONING: "RM2-616" (Residential Multiple) district

PROPOSAL: To permit the establishment of thirty-nine (39) street townhouse dwellings along a condominium window road notwithstanding that:

1. Lot 125 shall have a minimum lot frontage of 13.7 metres instead of the minimum required lot frontage of 17 metres.
2. A minimum side yard of 1.23m shall be permitted for Lots 130, 131, 136, 137, 142, 143, 149, 150, 156 and 157 for a dwelling end unit which does not abut a flanking street instead of the 2.5 metres required.
3. A maximum building height of 11.2 metres shall be provided instead of the maximum building height of 10.5 metres required.
4. No landscaping strip shall be provided instead of the minimum 3 metre wide landscaping strip to be provided in conjunction with window roads that are required along Garner Road East and Raymond Road.
5. A planting strip shall not be provided for the visitors parking area instead of the requirement that where a parking area which is required to provide for more than four parking spaces (visitors parking area) abuts a street, a permanently maintained planting strip of a minimum width of 3 metres shall be provided along the street line, and it shall be continuous except for aisles or driveways required for access to such parking area.

NOTES:

1. The owner shall ensure building height is provided as defined in Ancaster Zoning By-law 87-57. Should building height maximum exceed 11.2 metres, further variances will be required.
2. Applicant shall ensure parking is in compliance with Section 7.14 Parking and Loading, Section 9.8 Private Garages and Section 15.2 Residential Multiple Zone. A fully scaled and dimensioned site plan showing the details of the proposed street townhouses with the parking area was not provided. Therefore, a full zoning review could not be conducted. Be advised, further variances may be required at such time that a full zoning review is conducted.

3. Variances have been written exactly as requested by the applicant. Please note, that this property is subject to Site Plan Control DA-20-017; to date, a recirculation of the revised plan has not been submitted and a full zoning review has not been conducted for the new proposal. Further variances may be required at such time that a full zoning review is conducted on the new proposal.

This application will be heard by the Committee as shown below:

DATE: Thursday, August 27th, 2020
TIME: 3:10 p.m.
PLACE: Via video link or call in (see attached sheet for details)
To be streamed at www.hamilton.ca/committeeofadjustment for viewing purposes only

PUBLIC INPUT

Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.


Orally: If you would like to speak to this item at the hearing you may do so via video link or by calling in. Please see attached page for complete instructions, including deadlines for registering to participate.

MORE INFORMATION

For more information on this matter, including access to drawings illustrating this request:

- Visit www.hamilton.ca/committeeofadjustment
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935
- Email Committee of Adjustment staff at cofa@hamilton.ca

DATED: August 11th, 2020.

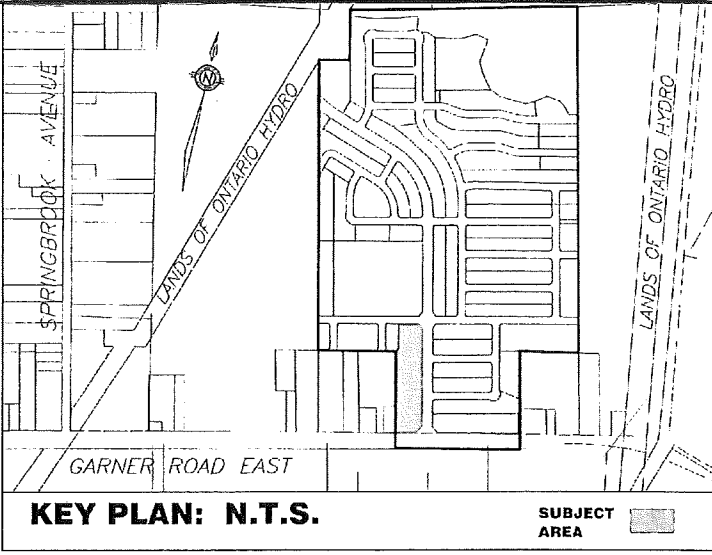

Jamila Sheffield,
Secretary-Treasurer
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public.

MUNICIPAL ADDRESS: 287 to 363 RAYMOND ROAD, ANCASTER, ONT.
TOWNHOUSE BLOCKS: 225 TO 230, RP 62M-1237
SITE PLAN APPLICATION FILE # DA-20-017

LOT (POTL) STATISTICS								
UNIT	FRONTAGE (m)	LOT AREA (m2)	BUILDING AREA (m2)	COVERAGE (%)	FRONT YARD AREA (m2)	FRONT YARD OPEN LANDSCAPED AREA (%)	BUILDING HEIGHT (m)	PARKING AREA (m2)
BLOCK 225								
125	13.78	438.99	96.30	21.9 %	79.9	71.4	10.66	38.7
126	6.00	192.52	84.53	43.9 %	40.2	41.3		38.7
127	6.00	192.53	84.42	43.8 %	37.7	42.2		39.6
128	6.00	192.54	79.00	41.0 %	40.3	40.2		40.7
129	6.00	192.56	84.53	43.9 %	40.0	41.3		38.6
130	7.19	231.31	94.46	40.8 %	43.7	48.3		38.6
BLOCK 226								
131	7.21	230.67	94.46	41.0 %	43.5	47.8	10.90	38.7
132	6.00	192.50	84.52	43.9 %	40.1	41.1		38.6
133	6.00	192.46	84.42	43.9 %	41.5	40.0		40.2
134	6.00	192.41	79.03	41.1 %	43.9	40.5		42.5
135	6.00	192.37	84.52	43.9 %	40.1	41.1		38.5
136	7.20	231.16	94.46	40.9 %	43.6	48.2		38.7
BLOCK 227								
137	7.20	230.40	94.46	41.0 %	43.5	48.0	10.71	38.7
138	6.00	192.40	84.53	43.9 %	40.1	41.4		38.6
139	6.00	192.47	84.42	43.9 %	37.7	42.1		39.5
140	6.00	192.54	79.00	41.0 %	40.3	40.2		40.7
141	6.00	192.61	84.53	43.9 %	40.0	41.3		38.6
142	7.17	230.51	94.46	41.0 %	43.4	47.9		38.6
BLOCK 228								
143	7.19	231.41	94.46	40.8 %	43.6	48.2	11.07	38.7
144	6.00	192.72	84.52	43.9 %	40.1	41.4		38.5
145	6.00	192.75	84.52	43.8 %	42.7	41.7		39.8
146	6.00	192.76	79.03	41.0 %	41.1	40.6		41.2
147	6.00	192.77	84.42	43.8 %	36.3	42.1		38.8
148	6.00	192.80	84.42	43.8 %	36.3	42.1		38.8
149	7.19	230.98	94.46	40.9 %	43.6	47.9		38.6
BLOCK 229								
150	7.20	231.23	94.46	40.9 %	43.7	48.1	10.77	38.7
151	6.00	192.82	84.42	43.8 %	36.3	42.1		38.9
152	6.00	192.82	84.42	43.8 %	36.3	42.1		38.8
153	6.00	192.83	79.00	41.0 %	41.1	40.1		41.3
154	6.00	192.84	84.53	43.8 %	41.3	41.6		39.2
155	6.00	192.85	84.53	43.8 %	41.3	41.6		39.2
156	7.19	231.07	94.46	40.9 %	43.6	47.9		38.6
BLOCK 230								
157	7.21	231.64	94.46	40.8 %	43.7	48.1	11.12	38.7
158	6.00	192.83	84.52	43.8 %	40.1	41.1		38.9
159	6.00	192.84	84.52	43.8 %	42.7	41.7		38.8
160	6.00	192.84	79.03	41.0 %	41.1	40.1		41.3
161	6.00	192.84	84.42	43.8 %	36.3	41.6		39.2
162	6.00	192.83	84.42	43.8 %	36.3	42.1		39.2
163	10.54	338.79	96.30	28.4 %	63.8	64.4		38.6

SITE STATISTICS		
ANCASTER-ROSE HOMES INC. (O/A ROSEHAVEN HOMES)		
ANCASTER-ROSE PHASE 2B (LAY-BY LANE TOWNS)		
REGISTERED PLAN NO: 62M-1237		
DRAFT PLAN NO: 25T-200601		
SITE AREA	11391.00 m2	1.14 Ha
NO. OF UNITS	39	
DENSITY	34 UPH	
BUILDING STATS		
	GFA (m2)	BUILDING AREA (m2)
BLK 225	1134.90	555.80
BLK 226	1131.00	553.20
BLK 227	1131.19	553.10
BLK 228	1311.70	642.90
BLK 229	1312.44	642.70
BLK 230	1315.40	644.80
TOTAL	7336.63	3592.50
FSI	0.64	
LOT COVERAGE	3592.50 m2	31.5 %
LANDSCAPED OPEN SPACE	4860.80 m2	42.7 %
PAVED AREA (PRIVATE ROAD)	2152.50 m2	18.9 %
PARKING STATS		
	REQUIRED	PROVIDED
RESIDENTIAL	78 (2 per unit)	78 (2 per unit)
VISITOR	NA	20

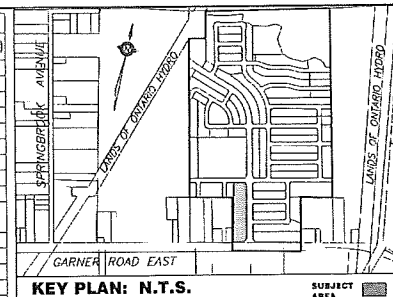


MINOR VARIANCE NATURE OF RELIEF:

- 1) Proposed Building Height of 11.20m, whereas Zoning By-law 87-57 Section RM2-616 requires a maximum building height of 10.50m.
- 2) Proposed Interior Side Yard Building Setback to lot line between buildings of 1.25 m with windows in habitable rooms, whereas Zoning By-law 87-57 Section 15.2 (f) requires 2.5 m.
- 3) Min. Lot Frontage for a corner lot adjacent to flanking street of 13.75m whereas 17m is required - at the southwest corner of Raymond Road and Garner Road East.

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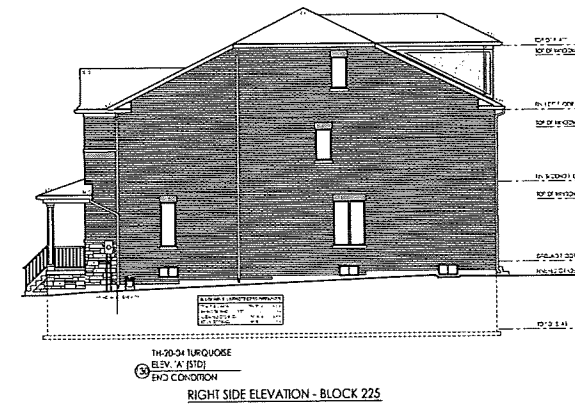
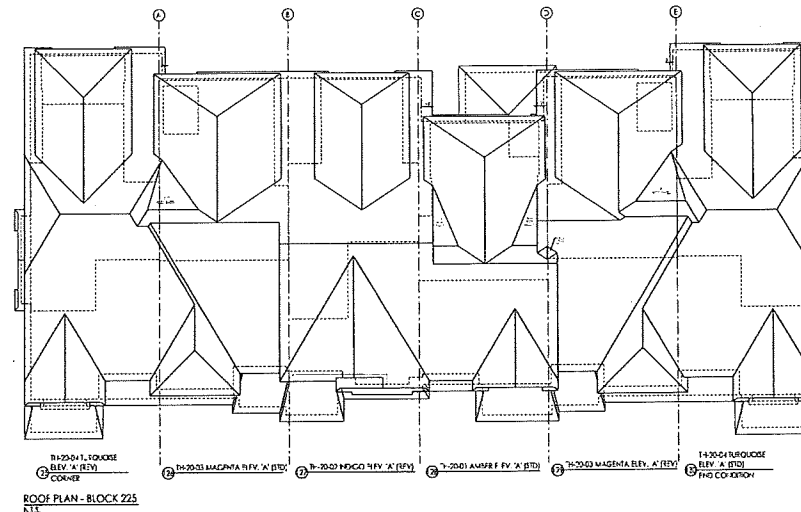
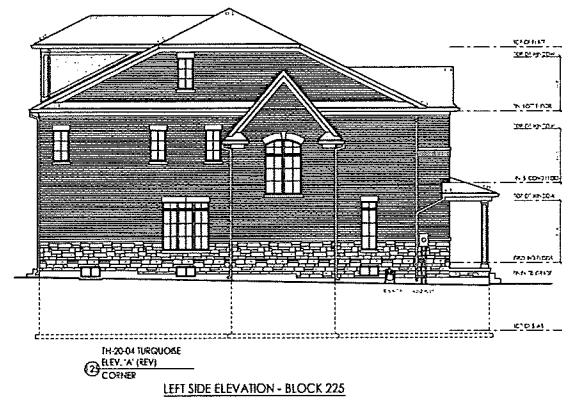
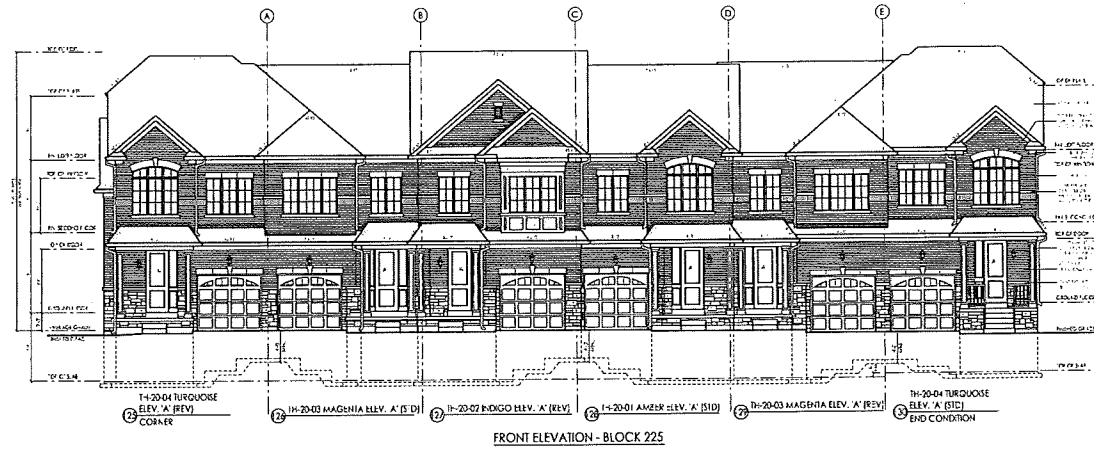


THESE DRAWINGS ARE NOT TO BE SCALED
ALL DIMENSIONS MUST BE TAKEN FROM THE DIMENSION LINES TO
CENTRELINE OF ANY ROAD. ANY DIMENSIONS MUST
BE TAKEN DIRECTLY FROM THE DIMENSION LINES.

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LEGEND	
1	Proposed Building Footprint
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ISSUED OR REVISION COMMENTS			
NO.	DESCRIPTION	DATE	BY/CHKD
1	ISSUED FOR PERMIT	NO. 11/2017	MA
2	REVISION 1: AS PER COMMENTS	NO. 11/2017	MA
3	REVISION 2: AS PER COMMENTS	NO. 11/2017	MA
4	REVISION 3: AS PER COMMENTS	NO. 11/2017	MA
5	REVISION 4: AS PER COMMENTS	NO. 11/2017	MA
6	REVISION 5: AS PER COMMENTS	NO. 11/2017	MA
7	REVISION 6: AS PER COMMENTS	NO. 11/2017	MA
8	REVISION 7: AS PER COMMENTS	NO. 11/2017	MA
9	REVISION 8: AS PER COMMENTS	NO. 11/2017	MA
10	REVISION 9: AS PER COMMENTS	NO. 11/2017	MA
11	REVISION 10: AS PER COMMENTS	NO. 11/2017	MA
12	REVISION 11: AS PER COMMENTS	NO. 11/2017	MA
13	REVISION 12: AS PER COMMENTS	NO. 11/2017	MA
14	REVISION 13: AS PER COMMENTS	NO. 11/2017	MA
15	REVISION 14: AS PER COMMENTS	NO. 11/2017	MA
16	REVISION 15: AS PER COMMENTS	NO. 11/2017	MA
17	REVISION 16: AS PER COMMENTS	NO. 11/2017	MA
18	REVISION 17: AS PER COMMENTS	NO. 11/2017	MA
19	REVISION 18: AS PER COMMENTS	NO. 11/2017	MA
20	REVISION 19: AS PER COMMENTS	NO. 11/2017	MA
21	REVISION 20: AS PER COMMENTS	NO. 11/2017	MA
22	REVISION 21: AS PER COMMENTS	NO. 11/2017	MA
23	REVISION 22: AS PER COMMENTS	NO. 11/2017	MA
24	REVISION 23: AS PER COMMENTS	NO. 11/2017	MA
25	REVISION 24: AS PER COMMENTS	NO. 11/2017	MA
26	REVISION 25: AS PER COMMENTS	NO. 11/2017	MA
27	REVISION 26: AS PER COMMENTS	NO. 11/2017	MA
28	REVISION 27: AS PER COMMENTS	NO. 11/2017	MA
29	REVISION 28: AS PER COMMENTS	NO. 11/2017	MA
30	REVISION 29: AS PER COMMENTS	NO. 11/2017	MA
31	REVISION 30: AS PER COMMENTS	NO. 11/2017	MA
32	REVISION 31: AS PER COMMENTS	NO. 11/2017	MA
33	REVISION 32: AS PER COMMENTS	NO. 11/2017	MA
34	REVISION 33: AS PER COMMENTS	NO. 11/2017	MA
35	REVISION 34: AS PER COMMENTS	NO. 11/2017	MA
36	REVISION 35: AS PER COMMENTS	NO. 11/2017	MA



A	NAME	BOE	ENR	DT
1	ROSEDALE NORTH	100000	100	100
2	ROSEDALE SOUTH	100000	100	100
3	ROSEDALE WEST	100000	100	100
4	ROSEDALE EAST	100000	100	100
5	ROSEDALE CENTRAL	100000	100	100
6	ROSEDALE NORTH	100000	100	100
7	ROSEDALE SOUTH	100000	100	100
8	ROSEDALE WEST	100000	100	100
9	ROSEDALE EAST	100000	100	100
10	ROSEDALE CENTRAL	100000	100	100
11	ROSEDALE NORTH	100000	100	100
12	ROSEDALE SOUTH	100000	100	100
13	ROSEDALE WEST	100000	100	100
14	ROSEDALE EAST	100000	100	100
15	ROSEDALE CENTRAL	100000	100	100
16	ROSEDALE NORTH	100000	100	100
17	ROSEDALE SOUTH	100000	100	100
18	ROSEDALE WEST	100000	100	100
19	ROSEDALE EAST	100000	100	100
20	ROSEDALE CENTRAL	100000	100	100

ANCASTER-ROSE HOMES INC.
ORGANIC CO. 1215 GAZETTE RD. QV15

80001
TIFFANY HILL (PHASE 28), LANCASTER
LAY-BY- LAKE TOWNHOUSE BLOCKS
BLOCK 225 TO 230 R.P. 624-1237

BLOCK 225
ELEVATIONS

17016

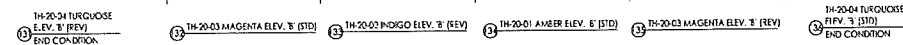
1299

609

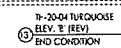
AA3

DAILY MAIL
 7/24
 34

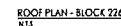
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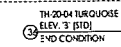
FRONT ELEVATION - BLOCK 226



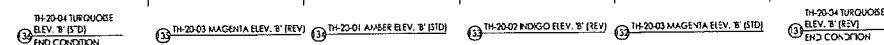
LEFT SIDE ELEVATION - BLOCK 226



ROOF PLAN - BLOCK 226
NLS



RIGHT SIDE ELEVATION - BLOCK 226



REAR ELEVATION - BLOCK 226

[illegible]

ANCASTER-ROSE HOMES INC.

TIFFANY HILL (PHASE 2); ANCASTER
LAY-BY-LANE TOWNSHIPS BLOCKS
BLOCK 225 TO 232 R.P. 6214-1237

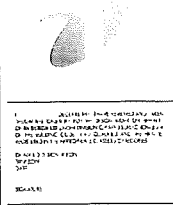
BLOCK 226
ELEVATIONS

7804 17046

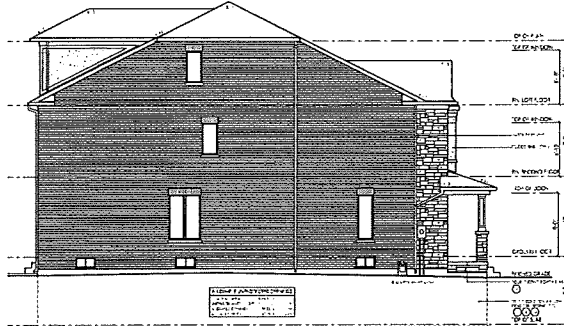
1/8" = 1'-0"

100

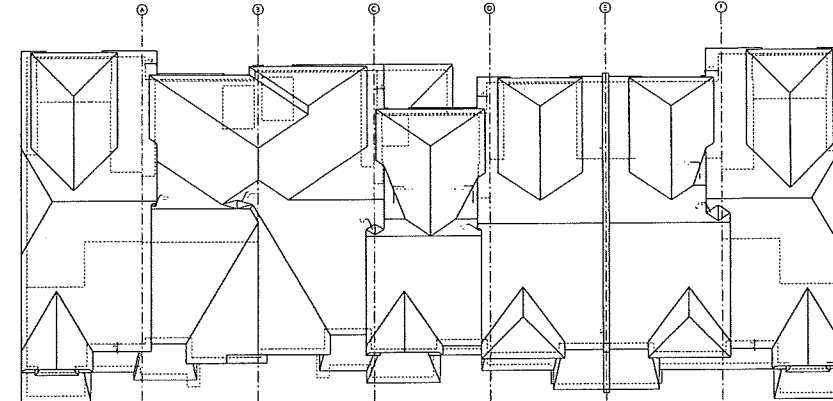
AA6



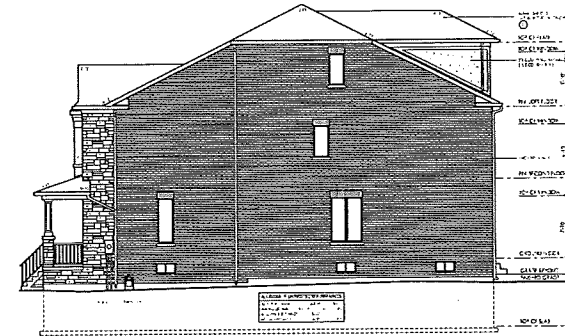
FRONT ELEVATION - BLOCK 228



LEFT SIDE ELEVATION - BLOCK 228



ROOF PLAN - BLOCK 228



RIGHT SIDE ELEVATION - BLOCK 228



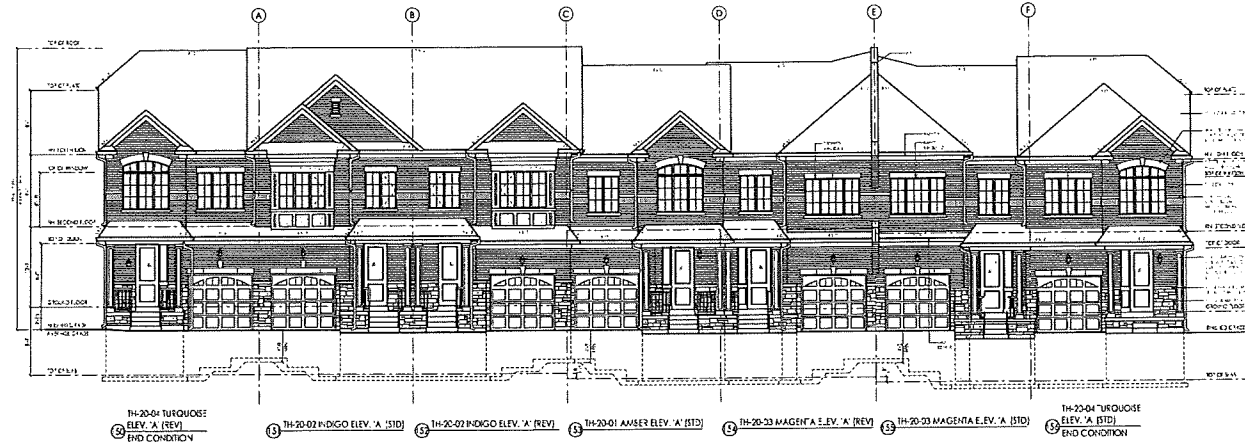
REAR ELEVATION - BLOCK 228

ROSEHAVEN™

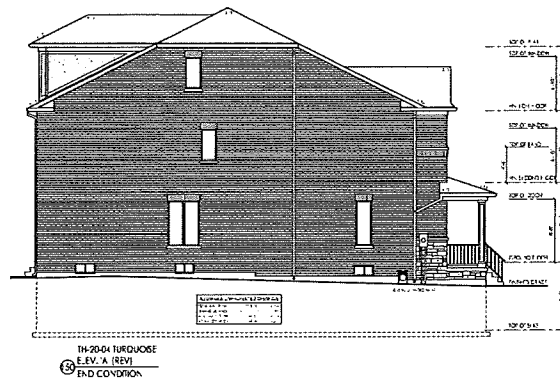
I AM HOME

#	DESCRIPTION	QTY	UNIT	EXT.
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2	2x6 SIPS	120	EA	120
3	2x8 SIPS	120	EA	120
4	2x10 SIPS	120	EA	120
5	2x12 SIPS	120	EA	120
6	2x14 SIPS	120	EA	120
7	2x16 SIPS	120	EA	120
8	2x18 SIPS	120	EA	120
9	2x20 SIPS	120	EA	120
10	2x22 SIPS	120	EA	120
11	2x24 SIPS	120	EA	120
12	2x26 SIPS	120	EA	120
13	2x28 SIPS	120	EA	120
14	2x30 SIPS	120	EA	120
15	2x32 SIPS	120	EA	120
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17	2x36 SIPS	120	EA	120
18	2x38 SIPS	120	EA	120
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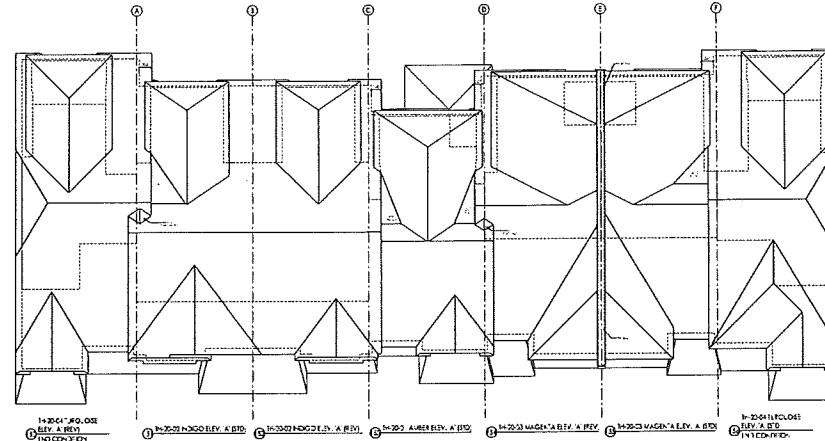
1. ROSEHAVEN PHASE 2B, ANCASTER
LA (87) LANT TOWNHOUSE BLOCKS
BLOCK 229 TO 233, R/F 4204-1237
2. THIS DRAWING IS A PART OF THE PROJECT AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF AN DESIGN.
3. THIS DRAWING IS THE PROPERTY OF AN DESIGN AND IS NOT TO BE LOANED, REPRODUCED, COPIED, OR IN ANY MANNER DISSEMINATED TO ANY OTHER PARTY WITHOUT THE WRITTEN PERMISSION OF AN DESIGN.
4. THIS DRAWING IS THE PROPERTY OF AN DESIGN AND IS NOT TO BE LOANED, REPRODUCED, COPIED, OR IN ANY MANNER DISSEMINATED TO ANY OTHER PARTY WITHOUT THE WRITTEN PERMISSION OF AN DESIGN.
5. THIS DRAWING IS THE PROPERTY OF AN DESIGN AND IS NOT TO BE LOANED, REPRODUCED, COPIED, OR IN ANY MANNER DISSEMINATED TO ANY OTHER PARTY WITHOUT THE WRITTEN PERMISSION OF AN DESIGN.



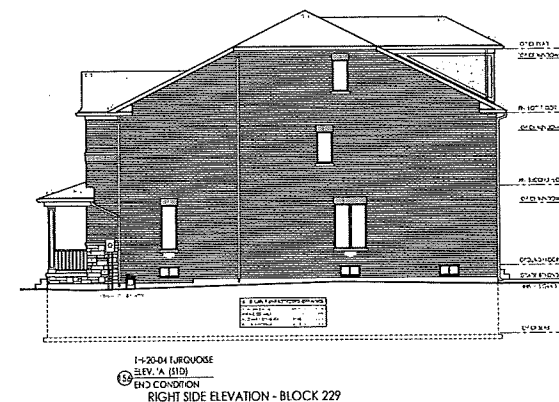
FRONT ELEVATION - BLOCK 229



LEFT SIDE ELEVATION - BLOCK 229



ROOF PLAN - BLOCK 229



RIGHT SIDE ELEVATION - BLOCK 229



REAR ELEVATION - BLOCK 229

ROSEHAVEN
I AM HOME

NO.	DESCRIPTION	QTY	UNIT	PRICE	TOTAL
1	CONCRETE FOUNDATION	1	1	1.00	1.00
2	CONCRETE FLOORING	1	1	1.00	1.00
3	CONCRETE WALLS	1	1	1.00	1.00
4	CONCRETE ROOFING	1	1	1.00	1.00
5	CONCRETE EXTERIOR FINISH	1	1	1.00	1.00
6	CONCRETE INTERIOR FINISH	1	1	1.00	1.00
7	CONCRETE PAINTING	1	1	1.00	1.00
8	CONCRETE LANDSCAPING	1	1	1.00	1.00
9	CONCRETE TOTAL	1	1	1.00	1.00
10	CONCRETE TOTAL	1	1	1.00	1.00
11	CONCRETE TOTAL	1	1	1.00	1.00
12	CONCRETE TOTAL	1	1	1.00	1.00
13	CONCRETE TOTAL	1	1	1.00	1.00
14	CONCRETE TOTAL	1	1	1.00	1.00
15	CONCRETE TOTAL	1	1	1.00	1.00
16	CONCRETE TOTAL	1	1	1.00	1.00
17	CONCRETE TOTAL	1	1	1.00	1.00
18	CONCRETE TOTAL	1	1	1.00	1.00
19	CONCRETE TOTAL	1	1	1.00	1.00
20	CONCRETE TOTAL	1	1	1.00	1.00

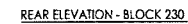
ANCASTER-ROSE HOMES INC.
PHASE 2B, ANCASTER
LA (87) LANT TOWNHOUSE BLOCKS
BLOCK 229 TO 233, R/F 4204-1237

BLOCK 229
ELEVATIONS

PROJECT
17046
DATE
1/25/14

AA15

Y2004.11





Hamilton

COMMITTEE OF ADJUSTMENT

City Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5
Telephone (905) 546-2424, ext. 4221, 3935 Fax (905) 546-4202
E-mail: cofa@hamilton.ca

NOTICE OF PUBLIC HEARING
Minor Variance

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
 - Applicant/agent on file, or
 - Person likely to be interested in this application
-

APPLICATION NO.: AN/A-20:143

APPLICANTS: Ancaster-Rose Homes Inc. Att: Joe Laronga

SUBJECT PROPERTY: Municipal address **287-363 Raymond Rd., Ancaster**

ZONING BY-LAW: Zoning By-law 87-57, as Amended by By-law 10-303

ZONING: "RM2-616" (Residential Multiple) district

PROPOSAL: To permit the establishment of thirty-nine (39) street townhouse dwellings along a condominium window road notwithstanding that:

1. Lot 125 shall have a minimum lot frontage of 13.7 metres instead of the minimum required lot frontage of 17 metres.
2. A minimum side yard of 1.23m shall be permitted for Lots 130, 131, 136, 137, 142, 143, 149, 150, 156 and 157 for a dwelling end unit which does not abut a flanking street instead of the 2.5 metres required.
3. A maximum building height of 11.2 metres shall be provided instead of the maximum building height of 10.5 metres required.
4. No landscaping strip shall be provided instead of the minimum 3 metre wide landscaping strip to be provided in conjunction with window roads that are required along Garner Road East and Raymond Road.
5. A planting strip shall not be provided for the visitors parking area instead of the requirement that where a parking area which is required to provide for more than four parking spaces (visitors parking area) abuts a street, a permanently maintained planting strip of a minimum width of 3 metres shall be provided along the street line, and it shall be continuous except for aisles or driveways required for access to such parking area.

NOTES:

1. The owner shall ensure building height is provided as defined in Ancaster Zoning By-law 87-57. Should building height maximum exceed 11.2 metres, further variances will be required.
2. Applicant shall ensure parking is in compliance with Section 7.14 Parking and Loading, Section 9.8 Private Garages and Section 15.2 Residential Multiple Zone. A fully scaled and dimensioned site plan showing the details of the proposed street townhouses with the parking area was not provided. Therefore, a full zoning review could not be conducted. Be advised, further variances may be required at such time that a full zoning review is conducted.

3. Variances have been written exactly as requested by the applicant. Please note, that this property is subject to Site Plan Control DA-20-017; to date, a recirculation of the revised plan has not been submitted and a full zoning review has not been conducted for the new proposal. Further variances may be required at such time that a full zoning review is conducted on the new proposal.

This application will be heard by the Committee as shown below:

DATE: Thursday, August 27th, 2020
TIME: 3:10 p.m.
PLACE: Via video link or call in (see attached sheet for details)
To be streamed at www.hamilton.ca/committeeofadjustment
for viewing purposes only

PUBLIC INPUT

Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.


Orally: If you would like to speak to this item at the hearing you may do so via video link or by calling in. Please see attached page for complete instructions, including deadlines for registering to participate.

MORE INFORMATION

For more information on this matter, including access to drawings illustrating this request:

- Visit www.hamilton.ca/committeeofadjustment
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935
- Email Committee of Adjustment staff at cofa@hamilton.ca

DATED: August 11th, 2020.

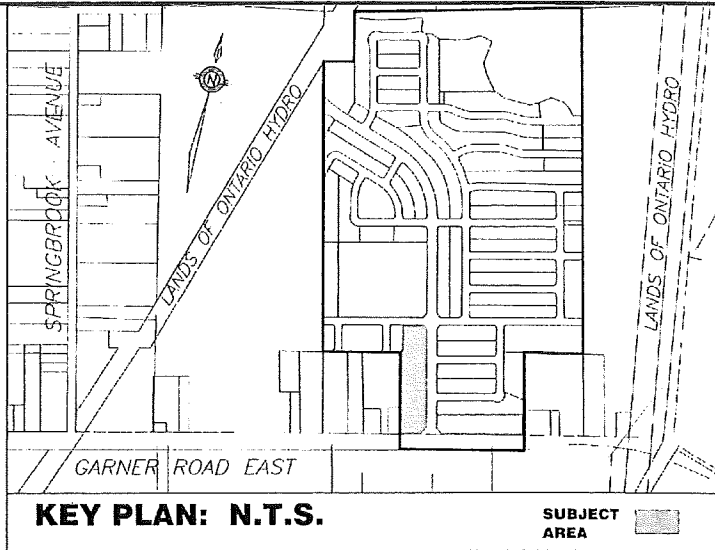

Jamila Sheffield,
Secretary-Treasurer
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public.

MUNICIPAL ADDRESS: 287 to 363 RAYMOND ROAD, ANCASTER, ONT.
TOWNHOUSE BLOCKS: 225 TO 230, RP 62M-1237
SITE PLAN APPLICATION FILE # DA-20-017

LOT (POTL) STATISTICS								
UNIT	FRONTAGE (m)	LOT AREA (m2)	BUILDING AREA (m2)	COVERAGE (%)	FRONT YARD AREA (m2)	FRONT YARD OPEN LANDSCAPED AREA (%)	BUILDING HEIGHT (m)	PARKING AREA (m2)
BLOCK 225								
125	13.78	438.99	96.30	21.9 %	79.9	71.4	10.66	38.7
126	6.00	192.52	84.53	43.9 %	40.2	41.3		38.7
127	6.00	192.53	84.42	43.8 %	37.7	42.2		39.6
128	6.00	192.54	79.00	41.0 %	40.3	40.2		40.7
129	6.00	192.56	84.53	43.9 %	40.0	41.3		38.6
130	7.19	231.31	94.46	40.8 %	43.7	48.3		38.6
BLOCK 226								
131	7.21	230.67	94.46	41.0 %	43.5	47.8	10.90	38.7
132	6.00	192.50	84.52	43.9 %	40.1	41.1		38.6
133	6.00	192.46	84.42	43.9 %	41.5	40.0		40.2
134	6.00	192.41	79.03	41.1 %	43.9	40.5		42.5
135	6.00	192.37	84.52	43.9 %	40.1	41.1		38.5
136	7.20	231.16	94.46	40.9 %	43.6	48.2		38.7
BLOCK 227								
137	7.20	230.40	94.46	41.0 %	43.5	48.0	10.71	38.7
138	6.00	192.40	84.53	43.9 %	40.1	41.4		38.6
139	6.00	192.47	84.42	43.9 %	37.7	42.1		39.5
140	6.00	192.54	79.00	41.0 %	40.3	40.2		40.7
141	6.00	192.61	84.53	43.9 %	40.0	41.3		38.6
142	7.17	230.51	94.46	41.0 %	43.4	47.9		38.6
BLOCK 228								
143	7.19	231.41	94.46	40.8 %	43.6	48.2	11.07	38.7
144	6.00	192.72	84.52	43.9 %	40.1	41.4		38.5
145	6.00	192.75	84.52	43.8 %	42.7	41.7		39.8
146	6.00	192.76	79.03	41.0 %	41.1	40.6		41.2
147	6.00	192.77	84.42	43.8 %	36.3	42.1		38.8
148	6.00	192.80	84.42	43.8 %	36.3	42.1		38.8
149	7.19	230.98	94.46	40.9 %	43.6	47.9		38.6
BLOCK 229								
150	7.20	231.23	94.46	40.9 %	43.7	48.1	10.77	38.7
151	6.00	192.82	84.42	43.8 %	36.3	42.1		38.9
152	6.00	192.82	84.42	43.8 %	36.3	42.1		38.8
153	6.00	192.83	79.00	41.0 %	41.1	40.1		41.3
154	6.00	192.84	84.53	43.8 %	41.3	41.6		39.2
155	6.00	192.85	84.53	43.8 %	41.3	41.6		39.2
156	7.19	231.07	94.46	40.9 %	43.6	47.9		38.6
BLOCK 230								
157	7.21	231.64	94.46	40.8 %	43.7	48.1	11.12	38.7
158	6.00	192.83	84.52	43.8 %	40.1	41.1		38.9
159	6.00	192.84	84.52	43.8 %	42.7	41.7		38.8
160	6.00	192.84	79.03	41.0 %	41.1	40.1		41.3
161	6.00	192.84	84.42	43.8 %	36.3	41.6		39.2
162	6.00	192.83	84.42	43.8 %	36.3	42.1		39.2
163	10.54	338.79	96.30	28.4 %	63.8	64.4		38.6

SITE STATISTICS		
ANCASTER-ROSE HOMES INC. (O/A ROSEHAVEN HOMES)		
ANCASTER-ROSE PHASE 2B (LAY-BY LANE TOWNS)		
REGISTERED PLAN NO: 62M-1237		
DRAFT PLAN NO: 25T-200601		
SITE AREA	11391.00 m2	1.14 Ha
NO. OF UNITS	39	
DENSITY	34 UPH	
BUILDING STATS		
	GFA (m2)	BUILDING AREA (m2)
BLK 225	1134.90	555.80
BLK 226	1131.00	553.20
BLK 227	1131.19	553.10
BLK 228	1311.70	642.90
BLK 229	1312.44	642.70
BLK 230	1315.40	644.80
TOTAL	7336.63	3592.50
FSI	0.64	
LOT COVERAGE	3592.50 m2	31.5 %
LANDSCAPED OPEN SPACE	4860.80 m2	42.7 %
PAVED AREA (PRIVATE ROAD)	2152.50 m2	18.9 %
PARKING STATS		
	REQUIRED	PROVIDED
RESIDENTIAL	78 (2 per unit)	78 (2 per unit)
VISITOR	NA	20

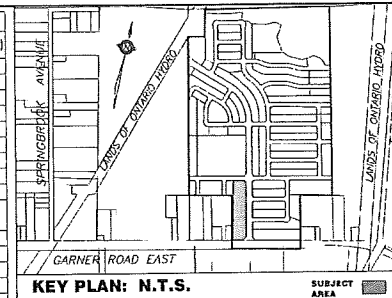


MINOR VARIANCE NATURE OF RELIEF:

- 1) Proposed Building Height of 11.20m, whereas Zoning By-law 87-57 Section RM2-616 requires a maximum building height of 10.50m.
- 2) Proposed Interior Side Yard Building Setback to lot line between buildings of 1.25 m with windows in habitable rooms, whereas Zoning By-law 87-57 Section 15.2 (f) requires 2.5 m.
- 3) Min. Lot Frontage for a corner lot adjacent to flanking street of 13.75m whereas 17m is required - at the southwest corner of Raymond Road and Garner Road East.

LOT (POT) STATISTICS									
UNIT	FRONTAGE (m)	LOT AREA (m ²)	BUILDING AREA (m ²)	COVERAGE (%)	FRONT YARD AREA (m ²)	FRONT YARD OPEN LANDSCAPED AREA (m ²)	BUILDING HEIGHT (m)	PARKING AREA (m ²)	
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132	6.00	192.50	84.52	43.9 %	40.1	41.7		38.6	
133	6.00	192.44	84.42	43.9 %	41.5	40.0		40.2	
134	6.00	192.41	79.03	41.1 %	43.9	40.5		42.5	
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146	6.00	192.74	79.03	41.0 %	41.1	40.6		41.2	
147	6.00	192.77	84.42	43.8 %	36.3	42.1		38.8	
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	REQUIRED	PROVIDED	
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VISITOR	NA	20	



THESE DRAWINGS ARE NOT TO BE SCALED
ALL DIMENSIONS SHALL BE VERIFIED BY CONFORMANCE WITH
COMPLIANCE WITH ANY WORK, ANY DISCREPANCIES MUST
BE CORRECTED BY THE DESIGNER/ENGINEER/ARCHITECT

PROJECT CO-ORDINATORS

LEGEND

1	Proposed Building Footprint	1	Proposed Building Footprint
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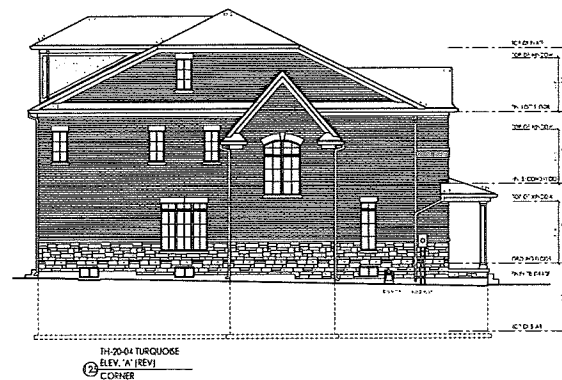


1. THESE ELEVATIONS ARE FOR INFORMATIONAL PURPOSES ONLY. THEY ARE NOT TO BE USED FOR CONSTRUCTION. THE ARCHITECT'S OFFICE SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED. THE ARCHITECT'S OFFICE SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED BY OTHERS.

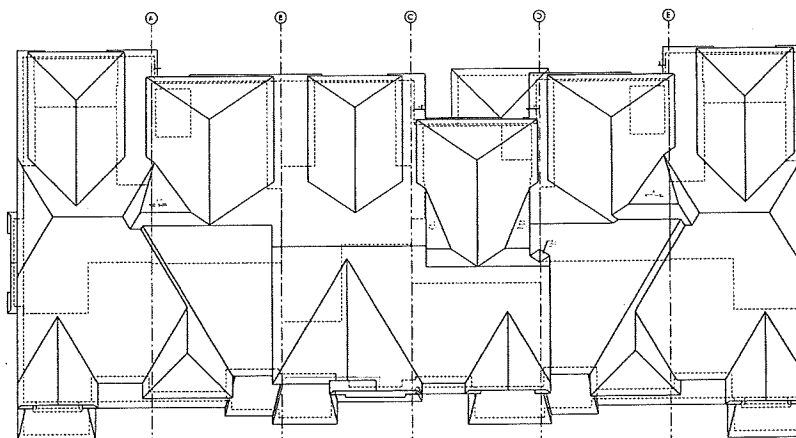
8/24/11



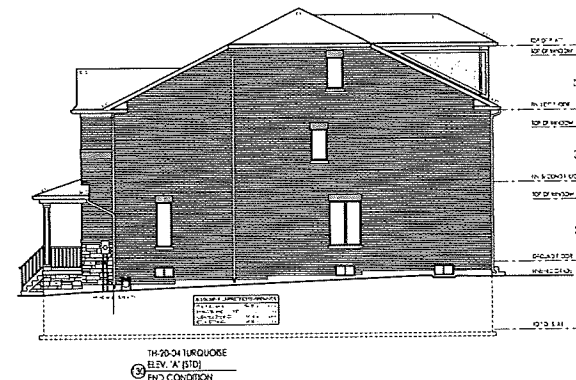
FRONT ELEVATION - BLOCK 225



LEFT SIDE ELEVATION - BLOCK 225



ROOF PLAN - BLOCK 225
N.T.S.



RIGHT SIDE ELEVATION - BLOCK 225



REAR ELEVATION - BLOCK 225



ITEM	DESCRIPTION	QTY	UNIT	PRICE
1	FOUNDATION	1	SQ. FT.	1.00
2	FOUNDATION	1	SQ. FT.	1.00
3	FOUNDATION	1	SQ. FT.	1.00
4	FOUNDATION	1	SQ. FT.	1.00
5	FOUNDATION	1	SQ. FT.	1.00
6	FOUNDATION	1	SQ. FT.	1.00
7	FOUNDATION	1	SQ. FT.	1.00
8	FOUNDATION	1	SQ. FT.	1.00
9	FOUNDATION	1	SQ. FT.	1.00
10	FOUNDATION	1	SQ. FT.	1.00

ANCASTER-ROSE HOMES INC.
DRAWING CONTROL SYSTEM

TEFANY HILL (PHASE 2B) ANCASTER
LAFAYETTE TOWNHOUSE BLOCKS
BLOCK 225 TO 235 R.F. 621A-1237

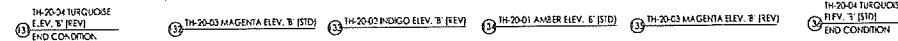
BLOCK 225
ELEVATIONS

1/2016

1/8" = 1'-0"

AA3

2044.05



REAR ELEVATION

NO DECOR NAIL

NO ST. JOINT

STONE - CON

CONCRETE

CONCRETE FOUNDATION

CONCRETE

Architectural elevation drawing of the rear of a two-story house. The drawing shows a gabled roof, a stone chimney on the left, and a small porch. A table at the bottom lists materials and quantities.

NO.	DESCRIPTION	QTY.
1	BRICK	1000
2	STONE	500
3	CEMENT	100
4	IRON	50
5	GLASS	10
6	PAINT	5
7	ROOFING	10
8	PLASTER	10
9	CEILING	10
10	FLOORING	10
11	WALLS	10
12	DOORS	10
13	WINDOWS	10
14	CHIMNEY	10
15	STAIRS	10
16	BATH	10
17	KITCHEN	10
18	LIVING	10
19	BEDROOM	10
20	HALL	10
21	CLOSET	10
22	PORCH	10
23	SCREENED	10
24	CEILING	10
25	FLOORING	10
26	WALLS	10
27	DOORS	10
28	WINDOWS	10
29	CHIMNEY	10
30	STAIRS	10
31	BATH	10
32	KITCHEN	10
33	LIVING	10
34	BEDROOM	10
35	HALL	10
36	CLOSET	10
37	PORCH	10
38	SCREENED	10
39	CEILING	10
40	FLOORING	10
41	WALLS	10
42	DOORS	10
43	WINDOWS	10
44	CHIMNEY	10
45	STAIRS	10
46	BATH	10
47	KITCHEN	10
48	LIVING	10
49	BEDROOM	10
50	HALL	10
51	CLOSET	10
52	PORCH	10
53	SCREENED	10
54	CEILING	10
55	FLOORING	10
56	WALLS	10
57	DOORS	10
58	WINDOWS	10
59	CHIMNEY	10
60	STAIRS	10
61	BATH	10
62	KITCHEN	10
63	LIVING	10
64	BEDROOM	10
65	HALL	10
66	CLOSET	10
67	PORCH	10
68	SCREENED	10
69	CEILING	10
70	FLOORING	10
71	WALLS	10
72	DOORS	10
73	WINDOWS	10
74	CHIMNEY	10
75	STAIRS	10
76	BATH	10
77	KITCHEN	10
78	LIVING	10
79	BEDROOM	10
80	HALL	10
81	CLOSET	10
82	PORCH	10
83	SCREENED	10
84	CEILING	10
85	FLOORING	10
86	WALLS	10
87	DOORS	10
88	WINDOWS	10
89	CHIMNEY	10
90	STAIRS	10
91	BATH	10
92	KITCHEN	10
93	LIVING	10
94	BEDROOM	10
95	HALL	10
96	CLOSET	10
97	PORCH	10
98	SCREENED	10
99	CEILING	10
100	FLOORING	10

Unit	Elevation	Notes
TH-20-04 TURQUOISE	ELEV. 'B' (STD)	13
TH-20-03 MAGENTA	ELEV. 'B' (REV)	13
TH-20-01 AMBER	ELEV. 'B' (STD)	13
TH-20-02 INDIGO	ELEV. 'B' (REV)	13
TH-20-03 MAGENTA	ELEV. 'B' (STD)	13
TH-20-04 TURQUOISE	ELEV. 'B' (REV)	13

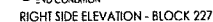
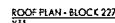
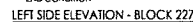


#	NAME	AGE	SEX	HT
1	JOHN J. DODGE	23	M	5' 10"
2	JOHN J. DODGE	23	M	5' 10"
3	JOHN J. DODGE	23	M	5' 10"
4	JOHN J. DODGE	23	M	5' 10"
5	JOHN J. DODGE	23	M	5' 10"
6	JOHN J. DODGE	23	M	5' 10"
7	JOHN J. DODGE	23	M	5' 10"
8	JOHN J. DODGE	23	M	5' 10"
9	JOHN J. DODGE	23	M	5' 10"
10	JOHN J. DODGE	23	M	5' 10"
11	JOHN J. DODGE	23	M	5' 10"
12	JOHN J. DODGE	23	M	5' 10"
13	JOHN J. DODGE	23	M	5' 10"
14	JOHN J. DODGE	23	M	5' 10"
15	JOHN J. DODGE	23	M	5' 10"
16	JOHN J. DODGE	23	M	5' 10"
17	JOHN J. DODGE	23	M	5' 10"
18	JOHN J. DODGE	23	M	5' 10"
19	JOHN J. DODGE	23	M	5' 10"
20	JOHN J. DODGE	23	M	5' 10"

100

AA6

المعنى



TIFFANY HILL (PHASE 28), ANCASTER
LAY-BY-LANE TOWNSHIP, SEC BLOCKS
BLOCK 225 TO 232 R.P. 4214-1237

• *Walden*

BLOCK 227

ELEVATIONS

100

1204

17C-0

title	1487-1507
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1/2 = 1/2

878

A A O

AA9

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10. *Journal of the American Medical Association*, 2000; 283: 2686-2692.

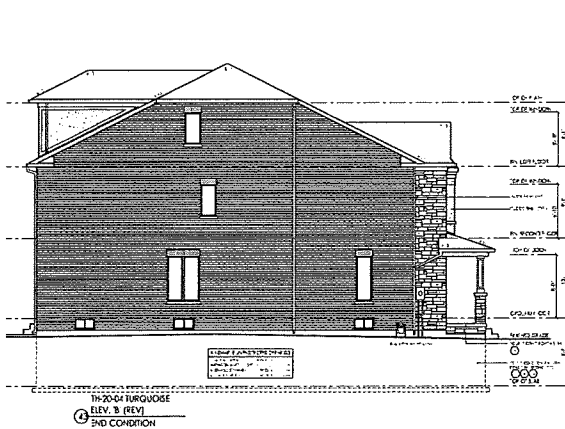


1. ALL ELEVATIONS SHALL BE CONSIDERED AS SUCH.
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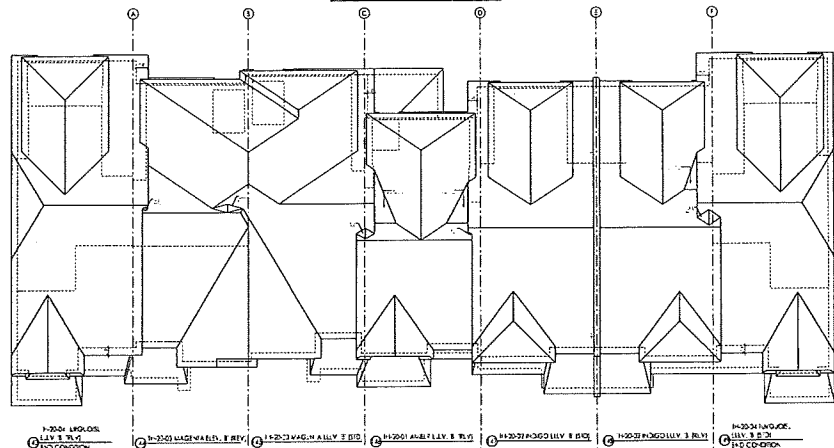
11. ALL ELEVATIONS SHALL BE CONSIDERED AS SUCH.
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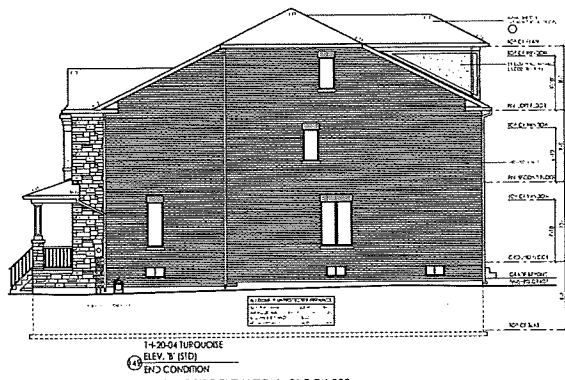
FRONT ELEVATION - BLOCK 228



LEFT SIDE ELEVATION - BLOCK 228



ROOF PLAN - BLOCK 228



RIGHT SIDE ELEVATION - BLOCK 228



REAR ELEVATION - BLOCK 228

ROSEHAVEN™ I AM HOME			
#	DESCRIPTION	QTY	UNIT
1	14-20-04 TURQUOISE	1	EA
2	14-20-03 MAGENTA	1	EA
3	14-20-03 MAGENTA	1	EA
4	14-20-01 AMBER	1	EA
5	14-20-02 INDIGO	1	EA
6	14-20-02 INDIGO	1	EA
7	14-20-04 TURQUOISE	1	EA
8	14-20-04 TURQUOISE	1	EA
9	14-20-04 TURQUOISE	1	EA
10	14-20-04 TURQUOISE	1	EA
11	14-20-04 TURQUOISE	1	EA
12	14-20-04 TURQUOISE	1	EA
13	14-20-04 TURQUOISE	1	EA
14	14-20-04 TURQUOISE	1	EA
15	14-20-04 TURQUOISE	1	EA
16	14-20-04 TURQUOISE	1	EA
17	14-20-04 TURQUOISE	1	EA
18	14-20-04 TURQUOISE	1	EA
19	14-20-04 TURQUOISE	1	EA
20	14-20-04 TURQUOISE	1	EA

ANCASTER-ROSE HOMES INC.
OFFICE: 14-20-04 TURQUOISE

TIFFANY HILL (PHASE 2): ANCASTER
14-20-04 TURQUOISE BLOCKS
BLOCK 228 TO 230 R.P. AREA 1237

BLOCK 228
ELEVATIONS

DATE: 1/24/14

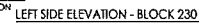
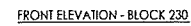
SCALE: 1/8" = 1'-0"

BY: AA12

DATE: 1/15/1978
BY: [illegible]
[illegible]

AA15

STAKE





Planning and Economic Development Department
Planning Division

Committee of Adjustment

City Hall
5th floor 71 Main Street West
Hamilton, Ontario L8P 4Y5

Phone (905) 546-2424 ext.4221
Fax (905) 546-4202

**PLEASE FILL OUT THE FOLLOWING PAGES AND
RETURN TO THE CITY OF HAMILTON PLANNING
DEPARTMENT.**

FOR OFFICE USE ONLY.

APPLICATION NO. _____ DATE APPLICATION RECEIVED _____

PAID _____ DATE APPLICATION DEEMED COMPLETE _____

SECRETARY'S
SIGNATURE _____

**CITY OF HAMILTON
COMMITTEE OF ADJUSTMENT
HAMILTON, ONTARIO**

The Planning Act

Application for Minor Variance or for Permission

Block 225 to 230, RP. 624-1237 } SPA # DA-20-017
Address 287 to 363 Raymond Rd }

The undersigned hereby applies to the Committee of Adjustment for the City of Hamilton under Section 45 of the *Planning Act*, R.S.O. 1990, Chapter P.13 for relief, as described in this application, from the Zoning By-law.

1. Name _____
FACILITY _____
2. Address _____

3. Name _____
FACILITY _____
4. Address _____

Note: Unless otherwise requested all communications will be sent to the agent, if any.

5. Names and addresses of any mortgagees, holders of charges or other encumbrances:

NOT APPLICABLE

Postal Code _____

Postal Code _____

6. Nature and extent of relief applied for:
- 1) Proposed Building Height of 11.20m, whereas Zoning By-law 87-57 Section RM2-616 requires a maximum building height of 10.50m.
 - 2) Proposed Interior Side Yard Building Setback to lot line between buildings of 1.25 m with windows in habitable rooms, whereas Zoning By-law 87-57 Section 15.2 (f) requires 2.5 m.
 - 3) Min. Lot Frontage for a corner lot adjacent to flanking street of 13.75m (unit 125) whereas 17m req'd.
7. Why it is not possible to comply with the provisions of the By-law?
- The method in which Building Height is calculated (i.e the average ground level along the perimeter of all exterior walls) does not consider that sites are not always flat . As such, if the Grade is lower than normal in the front yard (for rear to front draining lots) or in the rear yard for (Walk-out basement or Deck Lots), Building Height is exceeded. For Side Yard Setback variance, language has been omitted in the by-law for side yard setback with windows; by-law only identifies side yard without windows as 1.15m.
8. Legal description of subject lands (registered plan number and lot number or other legal description and where applicable, street and street number):
- Blocks 225 to 230 inclusive in R.P. 62m-1237
- Addressed as 287 to 363 Raymond Road, in Ancaster, Ontario
9. PREVIOUS USE OF PROPERTY
- Residential _____ Industrial _____ Commercial _____
- Agricultural _____ Vacant X
- Other _____
- 9.1 If Industrial or Commercial, specify use
Not Applicable
- 9.2 Has the grading of the subject land been changed by adding earth or other material, i.e. has filling occurred?
- Yes _____ No X Unknown _____
- 9.3 Has a gas station been located on the subject land or adjacent lands at any time?
- Yes _____ No X Unknown _____
- 9.4 Has there been petroleum or other fuel stored on the subject land or adjacent lands?
- Yes _____ No X Unknown _____
- 9.5 Are there or have there ever been underground storage tanks or buried waste on the subject land or adjacent lands?
- Yes _____ No X Unknown _____
- 9.6 Have the lands or adjacent lands ever been used as an agricultural operation where cyanide products may have been used as pesticides and/or sewage sludge was applied to the lands?
- Yes _____ No X Unknown _____
- 9.7 Have the lands or adjacent lands ever been used as a weapon firing range?
- Yes _____ No X Unknown _____
- 9.8 Is the nearest boundary line of the application within 500 metres (1,640 feet) of the fill area of an operational/non-operational landfill or dump?
- Yes _____ No X Unknown _____
- 9.9 If there are existing or previously existing buildings, are there any building materials remaining on site which are potentially hazardous to public health (eg. asbestos, PCB's)?
- Yes _____ No X Unknown _____

9.10 Is there any reason to believe the subject land may have been contaminated by former uses on the site or adjacent sites?

Yes _____ No X Unknown _____

9.11 What information did you use to determine the answers to 9.1 to 9.10 above?

Owner's Personal Knowledge.

The Townhouse House Blocks are Vacant Residential Blocks within a Registered Plan of Subdivision (i.e. R.P. 62m-1237).

9.12 If previous use of property is industrial or commercial or if YES to any of 9.2 to 9.10, a previous use inventory showing all former uses of the subject land, or if appropriate, the land adjacent to the subject land, is needed.

Is the previous use inventory attached? Yes _____ No X

ACKNOWLEDGEMENT CLAUSE

I acknowledge that the City of Hamilton is not responsible for the identification and remediation of contamination on the property which is the subject of this Application – by reason of its approval to this Application.

Date

JULY 13/20

10. Dimensions of lands affected:

Frontage (m) Blk 225= 44.97 ;Blk 226= 38.41 ;Blk 227= 38.37 ;Blk 228= 44.38 ;Blk 229= 44.39 ;Blk 230= 47.75

Depth (m) Blk 225= 32.10 ;Blk 226= 32.09 ;Blk 227= 32.05 ;Blk 228= 32.12 ;Blk 229= 32.16 ;Blk 230= 32.15

Area (m²) Blk 225=1440.45 ; Blk 226=1231.57 ;Blk 227=1230.93 ;Blk 228=1226.19 ;Blk 229=1226.46 ;Blk 230=1534.61

Width of street (m) Raymond Road = 26m ; Private Common Element Condo Road = 7.5m

11. Particulars of all buildings and structures on or proposed for the subject lands:
(Specify ground floor area, gross floor area, number of stories, width, length, height, etc.)

Existing: Vacant Land for Residential Townhouse Blocks

Proposed: Total Site Area (Blocks 225 to 230) = 1.14 ha ; Density = 34 UPH

Number of Units = 39 units ; Average Unit GFA = 188.11 m² ; # Storeys = 2 (with loft in roof)

Lot Coverage = 31.5% (3592.50 m²)

Unit Width = 6.0 m ; Unit Length = 15.88 m ; Building Height = 11.20 m

12. Location of all buildings and structures on or proposed for the subject lands;
(Specify distance from side, rear and front lot lines)

Existing: Vacant Land for Residential Townhouse Blocks

Proposed: Flankage Side Yard Setback = 7.39 m / 4.14 m Int. Side Yard = 1.25 m

Front Yard Setback (Townhouse) = 3.50 m

Rear Yard Setback (Garage) = 6.0 m

Rear Yard Setback = 10.10 m

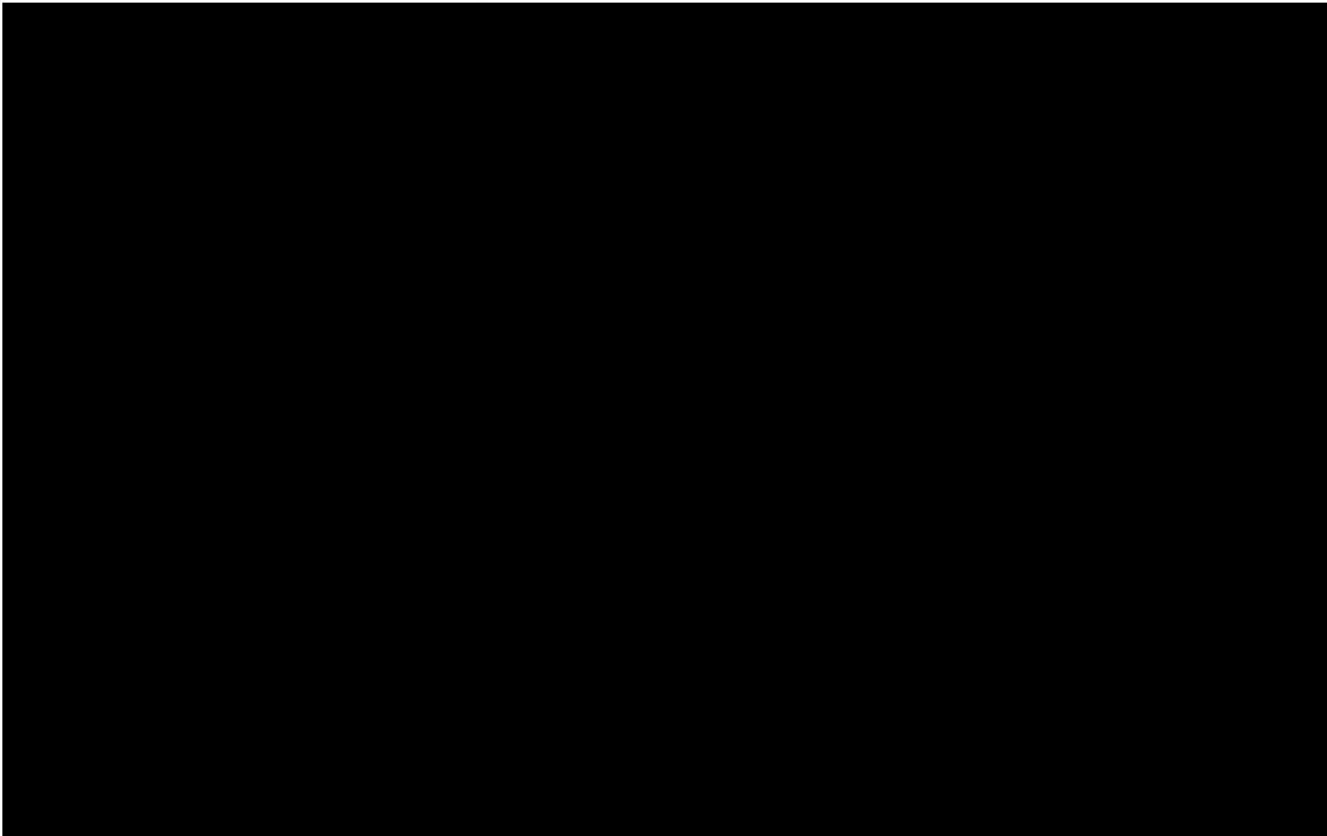
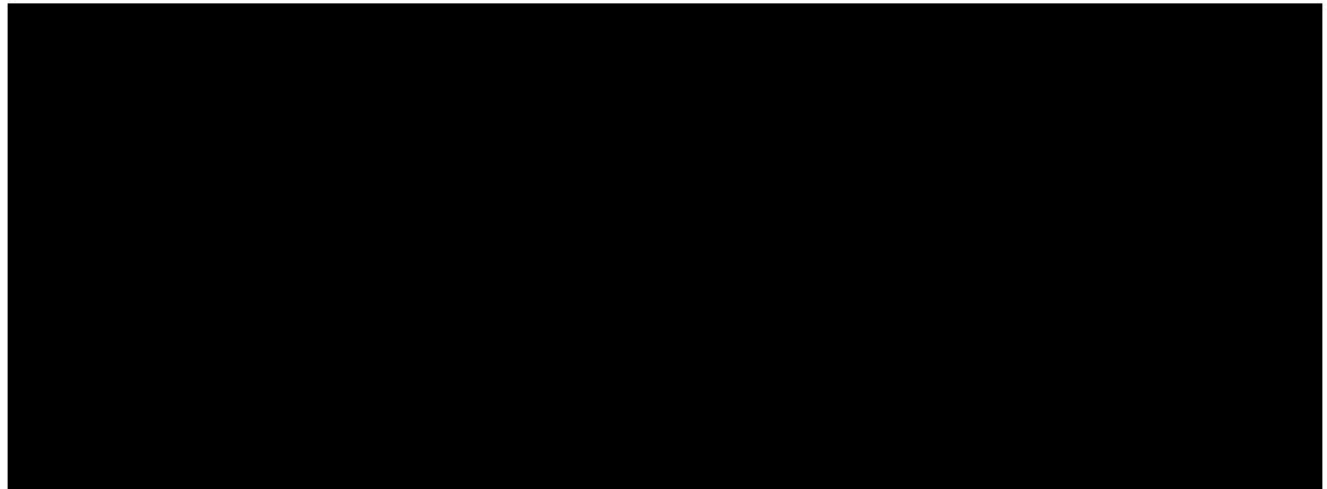
13. Date of acquisition of subject lands:
August 2019
14. Date of construction of all buildings and structures on subject lands:
Not Applicable - Vacant Land for Residential Townhouse Blocks
15. Existing uses of the subject property:
Not Applicable - Vacant Land for Residential Townhouse Blocks
16. Existing uses of abutting properties: North= Robertson Road ; South= Garner Road East
East= Raymond Road ; West= Residential Townhouse Units
17. Length of time the existing uses of the subject property have continued:
Vacant Residential Townhouse Blocks Since February 2017 (i.e. 3 Years)
18. Municipal services available: (check the appropriate space or spaces)
Water X Connected _____
Sanitary Sewer X Connected _____
Storm Sewers X
19. Present Official Plan/Secondary Plan provisions applying to the land:
Residential - Single Family
20. Present Restricted Area By-law (Zoning By-law) provisions applying to the land:
Zoning By-law 87-57, Zoning Section RM2-616 (With Special Provisions 10-303)
21. Has the owner previously applied for relief in respect of the subject property?
Yes No
If the answer is yes, describe briefly.

22. Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?
Yes NOTE: Subject Property is Subject to Site Plan Approval File # DA-20-017 No
23. The applicant shall attach to each copy of this application a plan showing the dimensions of the subject lands and of all abutting lands and showing the location, size and type of all buildings and structures on the subject and abutting lands, and where required by the Committee of Adjustment such plan shall be signed by an Ontario Land Surveyor.

NOTE: It is required that two copies of this application be filed with the secretary-treasurer of the Committee of Adjustment together with the maps referred to in Section 5 and be accompanied by the appropriate fee in cash or by cheque made payable to the City of Hamilton.

PART 24 AFFIDAVIT OR SWORN DECLARATION

This declaration to be sworn by a Commissioner of Oaths.

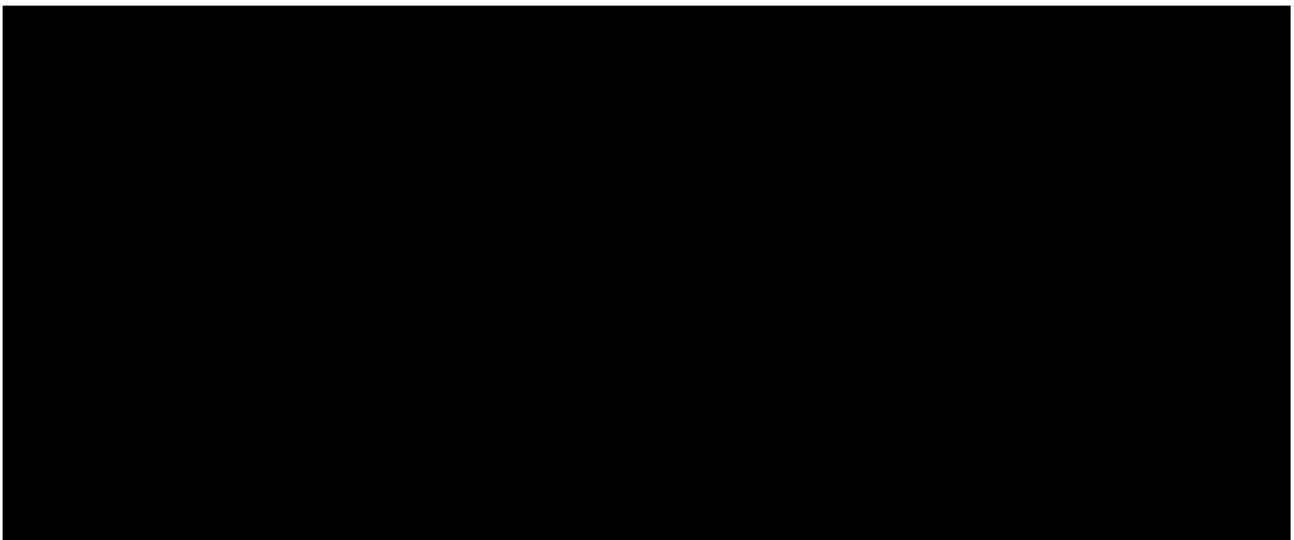
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PART 26 CONSENT OF THE OWNER

Complete the consent of the owner concerning personal information set out below.

Consent of Owner to the Disclosure of Application Information and Supporting Documentation

Application information is collected under the authority of the *Planning Act*, R.S.O. 1990, c. P.13. In accordance with that Act, it is the policy of the City of Hamilton to provide public access to all *Planning Act* applications and supporting documentation submitted to the City.

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PART 27 PERMISSION TO ENTER

Date: JULY 13/20

Secretary/Treasurer
Committee of Adjustment
City of Hamilton,
City Hall

Dear Secretary/Treasurer;

Re: Application to Committee of Adjustment (**Blocks 225 to 230, RP 62m-1237**)

Location of Land: 287 to 363 Raymond Road, Ancaster, Ont.
(Municipal address)

I hereby authorize the [redacted] of Adjustment and members of the [redacted] to [redacted] the [redacted] e-noted property for the limited

Note: The Committee of Adjustment requires that all properties be identified with the municipal address clearly visible from the street. Where there is no municipal address or the property is vacant then the property shall be identified in accordance with the Committee's policy included on the back of the Application Form. Failure to properly identify the subject property may result in the deferral of the application.

PART 28 COLLECTION OF INFORMATION

The personal information contained on this form is collected under the authority of the *Planning Act*, R.S.O. 1990, c. P.13, and will be used for the purpose of processing the application. This information will become part of the public record and will be made available to the general public. Questions about the collection of this information should be directed to the Coordinator of Business Facilitation, Planning and Economic Development Department, City of Hamilton, 1st floor, 71 Main Street West, City Hall, Hamilton, Ontario, Telephone: 905-546-2424, ext.1284.

CITY OF HAMILTON
COST ACKNOWLEDGEMENT AGREEMENT

This Agreement made this 13th day of JULY, 2020.

BETWEEN:

Joe Laronga (for Ancaster-Rose Homes Inc.)

Applicant's name(s)

hereinafter referred to as the "Developer"

-and-

City of Hamilton

hereinafter referred to as the "City"

WHEREAS the Developer represents that he/she is the registered owner of the lands described in Schedule "A" attached hereto, and which lands are hereinafter referred to as the "lands";

AND WHEREAS the Developer has filed for an application for a (circle applicable) consent/rezoning/official plan amendment/subdivision approval/minor variance.

AND WHEREAS it is a policy of the City that any City costs associated with an appeal to the Local Planning Appeal Tribunal, by a party other than the Developer, of an approval of a consent, rezoning, official plan amendment, plan of subdivision, and/or minor variance, such as, but not limited to, legal counsel costs, professional consultant costs and City staff costs, shall be paid by the Developer.

NOW THEREFORE THIS AGREEMENT WITNESSETH that in consideration of the sum of two dollars (\$2.00) now paid by the City to the Developer, the receipt of which is hereby acknowledged, the parties hereto agree as follows:

1. In this Agreement:

- (a) "application" means the application(s) for a (circle applicable) consent/rezoning/official plan amendment/subdivision approval or minor variance dated _____ with respect to the lands described in Schedule "A" hereto.
- (b) "Expenses" means all expenses incurred by the City if the application is: (a) approved by the City; (b) appealed to the Local Planning Appeal Tribunal by a party other than the developer; and (c) the City appears before the Local Planning Appeal Tribunal or any other tribunal or Court in support of the application, including but not limited to: City staff time, City staff travel expenses and meals, City disbursements, legal counsel fees and disbursements and all consultant fees and disbursements including, without limiting the generality of the foregoing planning, engineering or other professional expenses

2. The City agrees to process the application and, where the application is approved by the City but appealed to the Local Planning Appeal Tribunal by a party other than the Developer, the Developer shall file an initial deposit, in the form of certified cheque or cash with the General Manager, Finance & Corporate Services within fifteen days of the date of the appeal of the application by a third party in the amount of 50% of the estimated expenses associated with the appeal as estimated by the City Solicitor in his sole discretion which shall be credited against the Expenses.

3. It is hereby acknowledged that if the deposit required pursuant to section 2 of this Agreement is not paid by the Developer the City shall have the option, at its sole discretion, of taking no further steps in supporting the Developer's application before the Local Planning Appeal Tribunal.

4. It is hereby acknowledged that all expenses shall be paid for by the Developer. The Developer shall reimburse the City for all expenses the City may be put to in respect of the application upon demand.
5. It is hereby acknowledged and agreed that all expenses shall be payable by the Developer whether or not the Developer is successful before the Local Planning Appeal Tribunal or any other tribunal or Court in obtaining approval for their application.
6. The City shall provide the Developer with copies of all invoices of external legal counsel or consultants included in the expenses claimed by the City.
7. The City shall provide the Developer with an accounting of all staff costs and City disbursements included in the expenses claimed by the City.
8. The City may, at any time, draw upon the funds deposited in accordance with sections 2 and 9 of this Agreement to satisfy expenses incurred pursuant to the appeal of the application.
9. In the event that the amount deposited pursuant to section 2 of this Agreement is reduced to less than 10% of the initial deposit, the City may halt all work in respect of the appeal of the application until the Developer deposits with the City a sum sufficient to increase the deposit to an amount which is equal to 100% of the expenses estimated pursuant to paragraph 2 of this Agreement and still to be incurred by the City.
10. Within 60 days of: (a) a decision being rendered in respect of the appeal or any legal proceedings resulting from the decision, whichever is later; or (b) the termination of all legal proceedings in respect of the application, the City shall prepare and submit a final account to the Developer. If there are any deposit funds remaining with the City they shall be applied against the account. Any amount owing in respect of the final account in excess of deposit funds shall be paid by the Developer within 30 days of the date of the final account. If any deposit funds are remaining after the final account has been paid they shall be returned to the developer within 30 days of the date of the final account.
11. This Agreement shall not be construed as acceptance of the application and nothing herein shall require or be deemed to require the City to approve the application.
12. This Agreement shall not stand in lieu of or prejudice the rights of the City to require such further and other agreements in respect of the application that the City may deem necessary.
13. Every term, covenant, obligation and condition in this Agreement ensures to the benefit of and is binding upon the parties hereto and their respective heirs, executors, administrators, successors, trustees and assigns.
14. When the context so requires or permits, the singular number is to be read as if the plural were expressed, and the masculine gender as if the feminine, as the case may be, were expressed; and,
15. This Agreement and the schedules hereto constitute the entire agreement between the parties in respect of the subject matter contained herein and is not subject to, or in addition to, any other agreements, warranties or understandings, whether written, oral or implied. This Agreement may not be modified or amended except by instrument in writing signed by the Developer and the City, and,
16. The waiver or acquiescence by the City of any default by the Developer under any obligation to comply with this Agreement shall not be deemed to be a waiver of that obligation or any subsequent or other default under this Agreement.
17. The Developer covenants and agrees to be bound by the terms and conditions of this Agreement and not to seek a release from the provisions thereof until such time as the Developer's obligations hereunder have been assumed by its successor,

assignee or transferee by way of written agreement in the form set out in Schedule "B" to this Agreement.

IN WITNESS WHEREOF the parties hereto have set their corporate seals under the hands of their duly authorized officers.

DATED at OSAKVILLE this 13th day of JULY, 20 20

WITNESS



WITNESS

Per:

I have authority to bind the corporation

DATED at Hamilton, Ontario this ____ day of _____, 20 ____.

City of Hamilton

Per: _____

Mayor

Per: _____

Clerk

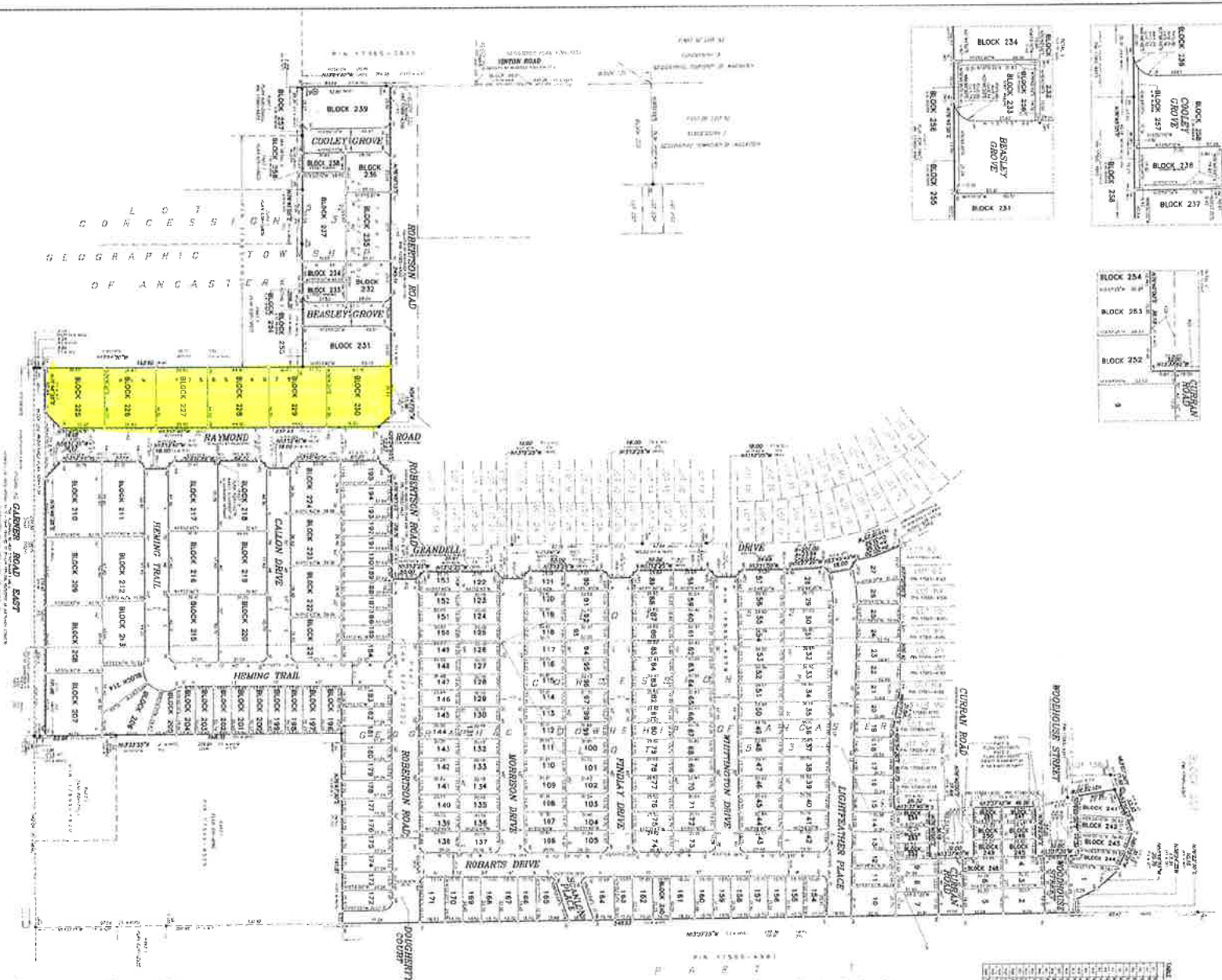
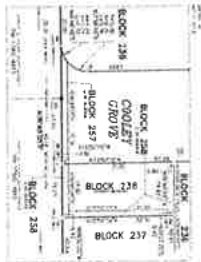
Schedule "A"
Description of Lands

MUNICIPAL ADDRESS: 287 to 363 RAYMOND ROAD, ANCASTER, ONT.
TOWNHOUSE BLOCKS: 225 TO 230 in R.P. 62M-1237
SITE PLAN APPLICATION FILE # DA-20-017
(See attached Highlighted Subdivision M-Plan)

1. NAME OF THE PROJECT: **ANCASTER MEADOWS PHASE 2B**
 2. PROJECT NUMBER: **2017-0001**
 3. DATE: **01/11/2017**
 4. DRAWN BY: **John Hancock**
 5. CHECKED BY: **John Hancock**
 6. APPROVED BY: **John Hancock**
 7. SCALE: **AS SHOWN**
 8. SHEET NUMBER: **1** OF **1**
 9. TOTAL SHEETS: **1**

INTERSECTION DATA

INTERSECTION	DATE	BY	REMARKS
CLARENCE ROAD EAST / ROBERTSON ROAD	01/11/2017	John Hancock	Initial Survey
CLARENCE ROAD EAST / GRANDVIEW DRIVE	01/11/2017	John Hancock	Initial Survey
CLARENCE ROAD EAST / ROBERTSON DRIVE	01/11/2017	John Hancock	Initial Survey
CLARENCE ROAD EAST / ROBERTSON PLACE	01/11/2017	John Hancock	Initial Survey
CLARENCE ROAD EAST / ROBERTSON COURT	01/11/2017	John Hancock	Initial Survey



PLAN 82M-1a-2-7
 1. OWNER: **ANCASTER MEADOWS PHASE 2B**
 2. PROJECT NUMBER: **2017-0001**
 3. DATE: **01/11/2017**
 4. DRAWN BY: **John Hancock**
 5. CHECKED BY: **John Hancock**
 6. APPROVED BY: **John Hancock**
 7. SCALE: **AS SHOWN**
 8. SHEET NUMBER: **1** OF **1**
 9. TOTAL SHEETS: **1**

PART OF SUBMISSION OF
 PART OF LOT 52 AND LOT 53
 CONCESSION 3
 CITY OF EMMETT

CLARENCE ROAD EAST

Block	Area (Acres)	Area (Sq. Ft.)	Area (Sq. Yds.)
225	1.00	43,560	10,000
226	1.00	43,560	10,000
227	1.00	43,560	10,000
228	1.00	43,560	10,000
229	1.00	43,560	10,000

CLARENCE ROAD EAST

Block	Area (Acres)	Area (Sq. Ft.)	Area (Sq. Yds.)
225	1.00	43,560	10,000
226	1.00	43,560	10,000
227	1.00	43,560	10,000
228	1.00	43,560	10,000
229	1.00	43,560	10,000

SUBJECT LANDS: Blocks 225 to 230, R.P. 62M-1237

ADDRESS: 287 to 363 RAYMOND ROAD
SITE PLAN APPLICATION FILE # DA-20-017



SCHEDULE "B"
FORM OF ASSUMPTION AGREEMENT

THIS AGREEMENT dated the _____ day of _____ 20 _____

BETWEEN

(hereinafter called the "Owner")

OF THE FIRST PART

-and-

(hereinafter called the "Assignee")

-and-

OF THE SECOND PART

CITY OF HAMILTON
(hereinafter called the "Municipality")

OF THE THIRD PART

WHEREAS the owner and the Municipality entered into and executed a Cost Acknowledgement Agreement dated _____

AND WHEREAS Assignee has indicated that it will assume all of the Owner's duties, liabilities and responsibilities as set out in the Cost Acknowledgement Agreement.

AND WHEREAS Council for the Municipality has consented to releasing the Owner from its duties, liabilities and responsibilities under said Cost Acknowledgement Agreement subject to the Assignee accepting and assuming the Owner's duties, liabilities and responsibilities and subject to the Assignee the Owner and the Municipality entering into and executing an Assumption Agreement.

NOW THEREFORE THIS AGREEMENT WITNESSETH THAT in consideration of the mutual covenants hereinafter expressed and other good and valuable consideration, the parties hereto agree as follows.

1. The Assignee covenants and agrees to accept, assume and to carry out the Owner's duties, liabilities and responsibilities under the Cost Acknowledgement Agreement and in all respects to be bound under said Cost Acknowledgement Agreement as if the Assignee had been the original party to the agreement in place of the Owner.
2. The Municipality hereby releases the Owner from all claims and demands of any nature whatsoever against the Owner in respect of the Cost Acknowledgement Agreement. The Municipality hereby accepts the Assignee as a party to the Cost Acknowledge Agreement in substitution of the Owner, and agrees with the Assignee that the Assignee will be bound by all the terms and conditions of the Cost Acknowledgement Agreement as if the Assignee had been the original executing party in place of the Owner.
3. All of the terms, covenants, provisos and stipulations in the said Cost Acknowledgement Agreement are hereby confirmed in full force save and except for such modifications as are necessary to make said clauses applicable to the Assignee.

IN WITNESS WHEREOF the Parties have hereunto affixed their corporate seals duly attested to by their proper signing officers in that behalf.

SIGNED, SEALED AND DELIVERED

Owner:
Title:
I have authority to bind the corporation

Assignee:
Title:
I have authority to bind the corporation

CITY OF HAMILTON

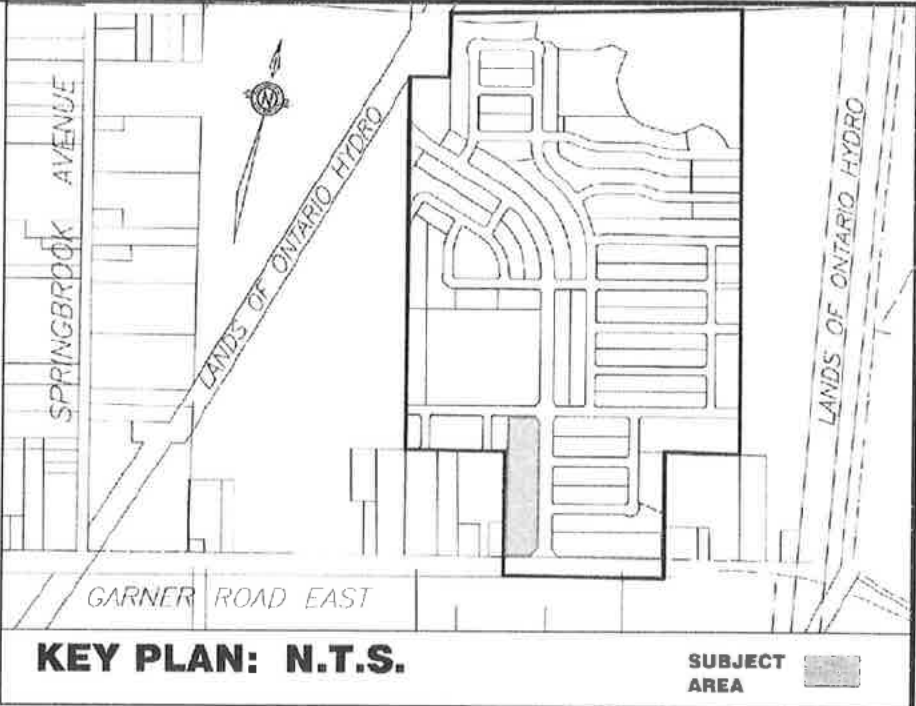
Mayor

Clerk

MUNICIPAL ADDRESS: 287 to 363 RAYMOND ROAD, ANCASTER, ONT.
TOWNHOUSE BLOCKS: 225 TO 230, RP 62M-1237
SITE PLAN APPLICATION FILE # DA-20-017

LOT (POTL) STATISTICS								
UNIT	FRONTAGE (m)	LOT AREA (m2)	BUILDING AREA (m2)	COVERAGE (%)	FRONT YARD AREA (m2)	FRONT YARD OPEN LANDSCAPED AREA (%)	BUILDING HEIGHT (m)	PARKING AREA (m2)
BLOCK 225								
125	13.78	438.99	96.30	21.9 %	79.9	71.4	10.66	38.7
126	6.00	192.52	84.53	43.9 %	40.2	41.3		38.7
127	6.00	192.53	84.42	43.8 %	37.7	42.2		39.6
128	6.00	192.54	79.00	41.0 %	40.3	40.2		40.7
129	6.00	192.56	84.53	43.9 %	40.0	41.3		38.6
130	7.19	231.31	94.46	40.8 %	43.7	48.3		38.6
BLOCK 226								
131	7.21	230.67	94.46	41.0 %	43.5	47.8	10.90	38.7
132	6.00	192.50	84.52	43.9 %	40.1	41.1		38.6
133	6.00	192.46	84.42	43.9 %	41.5	40.0		40.2
134	6.00	192.41	79.03	41.1 %	43.9	40.5		42.5
135	6.00	192.37	84.52	43.9 %	40.1	41.1		38.5
136	7.20	231.16	94.46	40.9 %	43.6	48.2		38.7
BLOCK 227								
137	7.20	230.40	94.46	41.0 %	43.5	48.0	10.71	38.7
138	6.00	192.40	84.53	43.9 %	40.1	41.4		38.6
139	6.00	192.47	84.42	43.9 %	37.7	42.1		39.5
140	6.00	192.54	79.00	41.0 %	40.3	40.2		40.7
141	6.00	192.61	84.53	43.9 %	40.0	41.3		38.6
142	7.17	230.51	94.46	41.0 %	43.4	47.9		38.6
BLOCK 228								
143	7.19	231.41	94.46	40.8 %	43.6	48.2	11.07	38.7
144	6.00	192.72	84.52	43.9 %	40.1	41.4		38.5
145	6.00	192.75	84.52	43.8 %	42.7	41.7		39.8
146	6.00	192.76	79.03	41.0 %	41.1	40.6		41.2
147	6.00	192.77	84.42	43.8 %	36.3	42.1		38.8
148	6.00	192.80	84.42	43.8 %	36.3	42.1		38.8
149	7.19	230.98	94.46	40.9 %	43.6	47.9		38.6
BLOCK 229								
150	7.20	231.23	94.46	40.9 %	43.7	48.1	10.77	38.7
151	6.00	192.82	84.42	43.8 %	36.3	42.1		38.9
152	6.00	192.82	84.42	43.8 %	36.3	42.1		38.8
153	6.00	192.83	79.00	41.0 %	41.1	40.1		41.3
154	6.00	192.84	84.53	43.8 %	41.3	41.6		39.2
155	6.00	192.85	84.53	43.8 %	41.3	41.6		39.2
156	7.19	231.07	94.46	40.9 %	43.6	47.9		38.6
BLOCK 230								
157	7.21	231.64	94.46	40.8 %	43.7	48.1	11.12	38.7
158	6.00	192.83	84.52	43.8 %	40.1	41.1		38.9
159	6.00	192.84	84.52	43.8 %	42.7	41.7		38.8
160	6.00	192.84	79.03	41.0 %	41.1	40.1		41.3
161	6.00	192.84	84.42	43.8 %	36.3	41.6		39.2
162	6.00	192.83	84.42	43.8 %	36.3	42.1		39.2
163	10.54	338.79	96.30	28.4 %	63.8	64.4		38.6

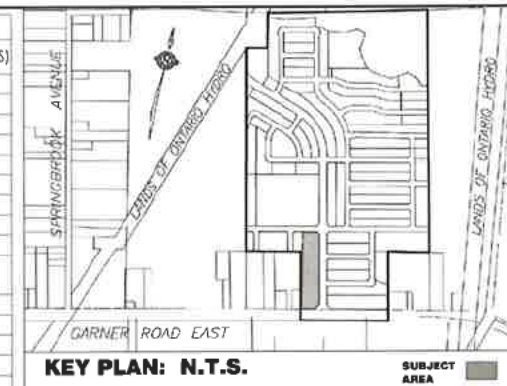
SITE STATISTICS		
ANCASTER-ROSE HOMES INC. (O/A ROSEHAVEN HOMES)		
ANCASTER-ROSE PHASE 2B (LAY-BY LANE TOWNS)		
REGISTERED PLAN NO: 62M-1237		
DRAFT PLAN NO: 25T-200601		
SITE AREA	11391.00 m2	1.14 Ha
NO. OF UNITS	39	
DENSITY	34 UPH	
BUILDING STATS		
	GFA (m2)	BUILDING AREA (m2)
BLK 225	1134.90	555.80
BLK 226	1131.00	553.20
BLK 227	1131.19	553.10
BLK 228	1311.70	642.90
BLK 229	1312.44	642.70
BLK 230	1315.40	644.80
TOTAL	7336.63	3592.50
FSI	0.64	
LOT COVERAGE	3592.50 m2	31.5 %
LANDSCAPED OPEN SPACE	4860.80 m2	42.7 %
PAVED AREA (PRIVATE ROAD)	2152.50 m2	18.9 %
PARKING STATS		
	REQUIRED	PROVIDED
RESIDENTIAL	78 (2 per unit)	78 (2 per unit)
VISITOR	NA	20



MINOR VARIANCE NATURE OF RELIEF:

- 1) Proposed Building Height of 11.20m, whereas Zoning By-law 87-57 Section RM2-616 requires a maximum building height of 10.50m.
- 2) Proposed Interior Side Yard Building Setback to lot line between buildings of 1.25 m with windows in habitable rooms, whereas Zoning By-law 87-57 Section 15.2 (f) requires 2.5 m.
- 3) Min. Lot Frontage for a corner lot adjacent to flanking street of 13.75m whereas 17m is required - at the southwest corner of Raymond Road and Garner Road East.

SITE STATISTICS		
ANCASTER-ROSE HOMES INC. (O/A ROSEHAVEN HOMES)		
ANCASTER-ROSE PHASE 2B (LAY-BY LANE TOWNS)		
REGISTERED PLAN NO: 62M-1237		
DRAFT PLAN NO: 257-200601		
SITE AREA	11391.00 m ²	1.14 Ha
NO. OF UNITS	39	
DENSITY	34 UPH	
BUILDING STATS		
	CFA (m ²)	BUILDING AREA (m ²)
BLK 225	1134.90	555.80
BLK 226	1131.00	553.20
BLK 227	1131.19	553.10
BLK 228	1311.70	642.90
BLK 229	1312.44	642.70
BLK 230	1315.40	644.80
TOTAL	7336.63	3592.50
FSI	0.64	
LOT COVERAGE	3592.50 m ²	31.5 %
LANDSCAPED OPEN SPACE	4860.80 m ²	42.7 %
PAVED AREA (PRIVATE ROAD)	2152.50 m ²	18.9 %
PARKING STATS		
	REQUIRED	PROVIDED
RESIDENTIAL	78 (2 per unit)	78 (2 per unit)
VISITOR	NA	20

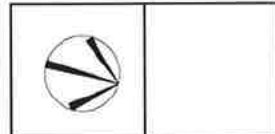


THESE DRAWINGS ARE NOT TO BE SCALED.
NO DIMENSIONS MUST BE TAKEN FROM CONSTRUCTION PROJECTS.
GOVERNMENT OF ANY WORK. ANY DISCREPANCIES MUST BE
REPORTED IMMEDIATELY TO THE ARCHITECT.

PROJECT CONSULTANT

- [illegible]

ISSUED OR REVISION COMMENTS				
NO.	DESCRIPTION	DATE	BY	CHK.
1	RE-DESIGN OF 4th F.	NOV 27 1977	BA	BA
2	ADD 23' - 11" OVERCLOSING AT 15	NOV 27 1977	BA	BA
3	REDESIGN OF 5th F.	NOV 28 1977	BA	BA
4	REDESIGN OF 5th F.	DEC 14 1977	BA	BA
5	REDESIGN OF 5th FLOOR PLAN	DEC 14 1977	BA	BA
6	REDESIGN OF 5th FLOOR PLAN	DEC 14 1977	BA	BA

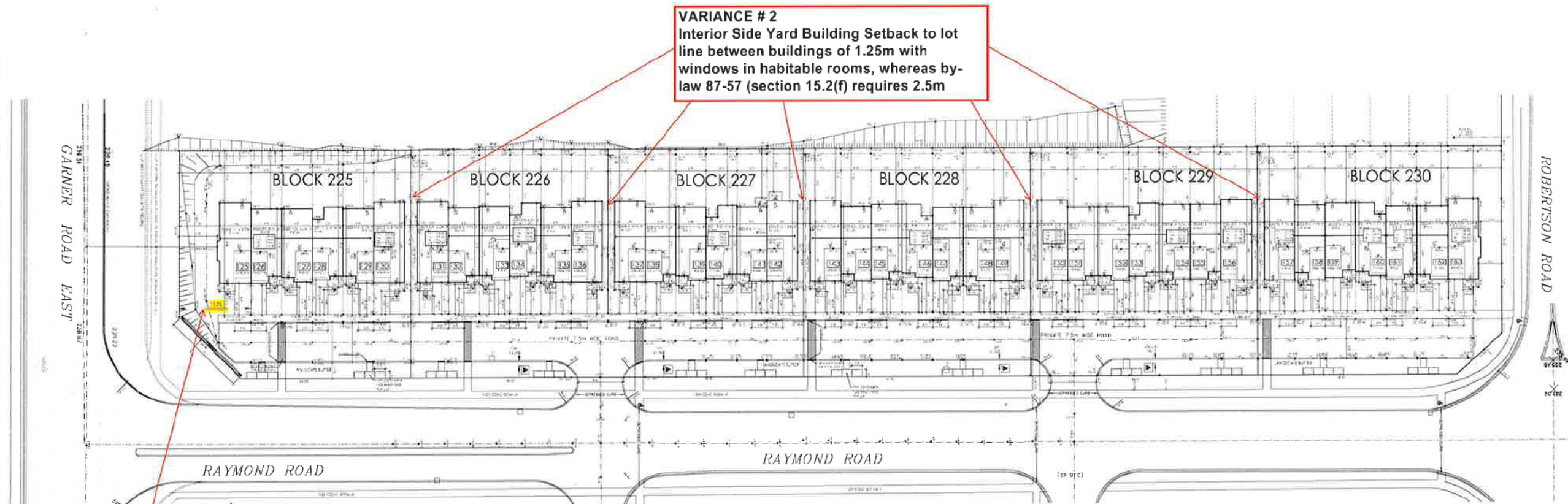


ANCASTER-ROSE HOMES INC.
OPERATING COMPANY: ROSEHAVEN HOMES

PROJECT LOCATION
TIFFANY HILL (PHASE 2B), ANCASTER
LAY-BY LANE TOWNHOUSE BLOCKS
BLOCK 225 TO 230, R.P. 62M-1237

SITE PLAN
DA-20-017

DATE AUG 11/17	SCALE 1:400
DRAWN BY MA	CHECKED BY MA
PROJECT NUMBER 17046	DRAWING NUMBER SP100



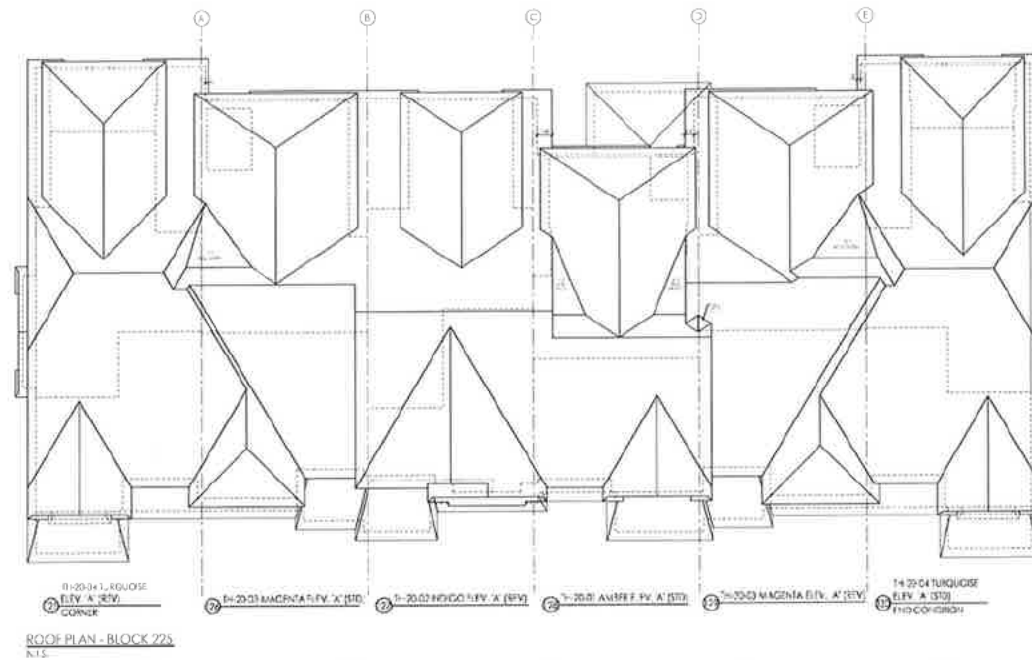
VARIANCE # 3
Min. Lot Frontage for a Corner
Lot adjacent to Flanking Street
of 13.75m, whereas 17m is
required.

VARIANCE # 1
Proposed Building Height of 11.20m, whereas Zoning By-law 87-57 Section RM2-616 requires a maximum building height of 10.50m.



1. THIS DOCUMENT IS THE PROPERTY OF RN DESIGN. IT IS TO BE USED FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. IT IS NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF RN DESIGN.

2024.01.15



#	REVISION	DATE	BY	CHK
1	ISSUED FOR PERMIT	01/15/24	JD	MP
2	REVISED PER CITY OF ANCASTER	01/15/24	JD	MP
3	REVISED PER CITY OF ANCASTER	01/15/24	JD	MP
4	REVISED PER CITY OF ANCASTER	01/15/24	JD	MP
5	REVISED PER CITY OF ANCASTER	01/15/24	JD	MP
6	REVISED PER CITY OF ANCASTER	01/15/24	JD	MP
7	REVISED PER CITY OF ANCASTER	01/15/24	JD	MP
8	REVISED PER CITY OF ANCASTER	01/15/24	JD	MP
9	REVISED PER CITY OF ANCASTER	01/15/24	JD	MP
10	REVISED PER CITY OF ANCASTER	01/15/24	JD	MP

ANCASTER-ROSE HOMES INC.
DESIGNING COMMUNITIES THAT INSPIRE

TRITON HILL PHASE 2B ANCASTER
1418Y-1420Y-1421Y-1422Y-1423Y-1424Y-1425Y-1426Y-1427Y-1428Y-1429Y-1430Y-1431Y-1432Y-1433Y-1434Y-1435Y-1436Y-1437Y-1438Y-1439Y-1440Y-1441Y-1442Y-1443Y-1444Y-1445Y-1446Y-1447Y-1448Y-1449Y-1450Y-1451Y-1452Y-1453Y-1454Y-1455Y-1456Y-1457Y-1458Y-1459Y-1460Y-1461Y-1462Y-1463Y-1464Y-1465Y-1466Y-1467Y-1468Y-1469Y-1470Y-1471Y-1472Y-1473Y-1474Y-1475Y-1476Y-1477Y-1478Y-1479Y-1480Y-1481Y-1482Y-1483Y-1484Y-1485Y-1486Y-1487Y-1488Y-1489Y-1490Y-1491Y-1492Y-1493Y-1494Y-1495Y-1496Y-1497Y-1498Y-1499Y-1500Y-1501Y-1502Y-1503Y-1504Y-1505Y-1506Y-1507Y-1508Y-1509Y-1510Y-1511Y-1512Y-1513Y-1514Y-1515Y-1516Y-1517Y-1518Y-1519Y-1520Y-1521Y-1522Y-1523Y-1524Y-1525Y-1526Y-1527Y-1528Y-1529Y-1530Y-1531Y-1532Y-1533Y-1534Y-1535Y-1536Y-1537Y-1538Y-1539Y-1540Y-1541Y-1542Y-1543Y-1544Y-1545Y-1546Y-1547Y-1548Y-1549Y-1550Y-1551Y-1552Y-1553Y-1554Y-1555Y-1556Y-1557Y-1558Y-1559Y-1560Y-1561Y-1562Y-1563Y-1564Y-1565Y-1566Y-1567Y-1568Y-1569Y-1570Y-1571Y-1572Y-1573Y-1574Y-1575Y-1576Y-1577Y-1578Y-1579Y-1580Y-1581Y-1582Y-1583Y-1584Y-1585Y-1586Y-1587Y-1588Y-1589Y-1590Y-1591Y-1592Y-1593Y-1594Y-1595Y-1596Y-1597Y-1598Y-1599Y-1600Y-1601Y-1602Y-1603Y-1604Y-1605Y-1606Y-1607Y-1608Y-1609Y-1610Y-1611Y-1612Y-1613Y-1614Y-1615Y-1616Y-1617Y-1618Y-1619Y-1620Y-1621Y-1622Y-1623Y-1624Y-1625Y-1626Y-1627Y-1628Y-1629Y-1630Y-1631Y-1632Y-1633Y-1634Y-1635Y-1636Y-1637Y-1638Y-1639Y-1640Y-1641Y-1642Y-1643Y-1644Y-1645Y-1646Y-1647Y-1648Y-1649Y-1650Y-1651Y-1652Y-1653Y-1654Y-1655Y-1656Y-1657Y-1658Y-1659Y-1660Y-1661Y-1662Y-1663Y-1664Y-1665Y-1666Y-1667Y-1668Y-1669Y-1670Y-1671Y-1672Y-1673Y-1674Y-1675Y-1676Y-1677Y-1678Y-1679Y-1680Y-1681Y-1682Y-1683Y-1684Y-1685Y-1686Y-1687Y-1688Y-1689Y-1690Y-1691Y-1692Y-1693Y-1694Y-1695Y-1696Y-1697Y-1698Y-1699Y-1700Y-1701Y-1702Y-1703Y-1704Y-1705Y-1706Y-1707Y-1708Y-1709Y-1710Y-1711Y-1712Y-1713Y-1714Y-1715Y-1716Y-1717Y-1718Y-1719Y-1720Y-1721Y-1722Y-1723Y-1724Y-1725Y-1726Y-1727Y-1728Y-1729Y-1730Y-1731Y-1732Y-1733Y-1734Y-1735Y-1736Y-1737Y-1738Y-1739Y-1740Y-1741Y-1742Y-1743Y-1744Y-1745Y-1746Y-1747Y-1748Y-1749Y-1750Y-1751Y-1752Y-1753Y-1754Y-1755Y-1756Y-1757Y-1758Y-1759Y-1760Y-1761Y-1762Y-1763Y-1764Y-1765Y-1766Y-1767Y-1768Y-1769Y-1770Y-1771Y-1772Y-1773Y-1774Y-1775Y-1776Y-1777Y-1778Y-1779Y-1780Y-1781Y-1782Y-1783Y-1784Y-1785Y-1786Y-1787Y-1788Y-1789Y-1790Y-1791Y-1792Y-1793Y-1794Y-1795Y-1796Y-1797Y-1798Y-1799Y-1800Y-1801Y-1802Y-1803Y-1804Y-1805Y-1806Y-1807Y-1808Y-1809Y-1810Y-1811Y-1812Y-1813Y-1814Y-1815Y-1816Y-1817Y-1818Y-1819Y-1820Y-1821Y-1822Y-1823Y-1824Y-1825Y-1826Y-1827Y-1828Y-1829Y-1830Y-1831Y-1832Y-1833Y-1834Y-1835Y-1836Y-1837Y-1838Y-1839Y-1840Y-1841Y-1842Y-1843Y-1844Y-1845Y-1846Y-1847Y-1848Y-1849Y-1850Y-1851Y-1852Y-1853Y-1854Y-1855Y-1856Y-1857Y-1858Y-1859Y-1860Y-1861Y-1862Y-1863Y-1864Y-1865Y-1866Y-1867Y-1868Y-1869Y-1870Y-1871Y-1872Y-1873Y-1874Y-1875Y-1876Y-1877Y-1878Y-1879Y-1880Y-1881Y-1882Y-1883Y-1884Y-1885Y-1886Y-1887Y-1888Y-1889Y-1890Y-1891Y-1892Y-1893Y-1894Y-1895Y-1896Y-1897Y-1898Y-1899Y-1900Y-1901Y-1902Y-1903Y-1904Y-1905Y-1906Y-1907Y-1908Y-1909Y-1910Y-1911Y-1912Y-1913Y-1914Y-1915Y-1916Y-1917Y-1918Y-1919Y-1920Y-1921Y-1922Y-1923Y-1924Y-1925Y-1926Y-1927Y-1928Y-1929Y-1930Y-1931Y-1932Y-1933Y-1934Y-1935Y-1936Y-1937Y-1938Y-1939Y-1940Y-1941Y-1942Y-1943Y-1944Y-1945Y-1946Y-1947Y-1948Y-1949Y-1950Y-1951Y-1952Y-1953Y-1954Y-1955Y-1956Y-1957Y-1958Y-1959Y-1960Y-1961Y-1962Y-1963Y-1964Y-1965Y-1966Y-1967Y-1968Y-1969Y-1970Y-1971Y-1972Y-1973Y-1974Y-1975Y-1976Y-1977Y-1978Y-1979Y-1980Y-1981Y-1982Y-1983Y-1984Y-1985Y-1986Y-1987Y-1988Y-1989Y-1990Y-1991Y-1992Y-1993Y-1994Y-1995Y-1996Y-1997Y-1998Y-1999Y-2000Y-2001Y-2002Y-2003Y-2004Y-2005Y-2006Y-2007Y-2008Y-2009Y-2010Y-2011Y-2012Y-2013Y-2014Y-2015Y-2016Y-2017Y-2018Y-2019Y-2020Y-2021Y-2022Y-2023Y-2024Y-2025Y-2026Y-2027Y-2028Y-2029Y-2030Y-2031Y-2032Y-2033Y-2034Y-2035Y-2036Y-2037Y-2038Y-2039Y-2040Y-2041Y-2042Y-2043Y-2044Y-2045Y-2046Y-2047Y-2048Y-2049Y-2050Y-2051Y-2052Y-2053Y-2054Y-2055Y-2056Y-2057Y-2058Y-2059Y-2060Y-2061Y-2062Y-2063Y-2064Y-2065Y-2066Y-2067Y-2068Y-2069Y-2070Y-2071Y-2072Y-2073Y-2074Y-2075Y-2076Y-2077Y-2078Y-2079Y-2080Y-2081Y-2082Y-2083Y-2084Y-2085Y-2086Y-2087Y-2088Y-2089Y-2090Y-2091Y-2092Y-2093Y-2094Y-2095Y-2096Y-2097Y-2098Y-2099Y-2100Y-2101Y-2102Y-2103Y-2104Y-2105Y-2106Y-2107Y-2108Y-2109Y-2110Y-2111Y-2112Y-2113Y-2114Y-2115Y-2116Y-2117Y-2118Y-2119Y-2120Y-2121Y-2122Y-2123Y-2124Y-2125Y-2126Y-2127Y-2128Y-2129Y-2130Y-2131Y-2132Y-2133Y-2134Y-2135Y-2136Y-2137Y-2138Y-2139Y-2140Y-2141Y-2142Y-2143Y-2144Y-2145Y-2146Y-2147Y-2148Y-2149Y-2150Y-2151Y-2152Y-2153Y-2154Y-2155Y-2156Y-2157Y-2158Y-2159Y-2160Y-2161Y-2162Y-2163Y-2164Y-2165Y-2166Y-2167Y-2168Y-2169Y-2170Y-2171Y-2172Y-2173Y-2174Y-2175Y-2176Y-2177Y-2178Y-2179Y-2180Y-2181Y-2182Y-2183Y-2184Y-2185Y-2186Y-2187Y-2188Y-2189Y-2190Y-2191Y-2192Y-2193Y-2194Y-2195Y-2196Y-2197Y-2198Y-2199Y-2200Y-2201Y-2202Y-2203Y-2204Y-2205Y-2206Y-2207Y-2208Y-2209Y-2210Y-2211Y-2212Y-2213Y-2214Y-2215Y-2216Y-2217Y-2218Y-2219Y-2220Y-2221Y-2222Y-2223Y-2224Y-2225Y-2226Y-2227Y-2228Y-2229Y-2230Y-2231Y-2232Y-2233Y-2234Y-2235Y-2236Y-2237Y-2238Y-2239Y-2240Y-2241Y-2242Y-2243Y-2244Y-2245Y-2246Y-2247Y-2248Y-2249Y-2250Y-2251Y-22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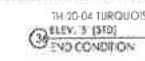
FRONT ELEVATION - BLOCK 226



LEFT SIDE ELEVATION - BLOCK 226



ROOF PLAN - BLOCK 22



RIGHT SIDE ELEVATION - BLOCK 226



REAR ELEVATION - BLOCK 226

	Year	2000	2001
1. Total population		12,150,000	12,150,000
2. Total population aged 15 and over		9,000,000	9,000,000
3. Total population aged 15 and over, female		4,500,000	4,500,000
4. Total population aged 15 and over, male		4,500,000	4,500,000
5. Total population aged 15 and over, female, 15-24		1,500,000	1,500,000
6. Total population aged 15 and over, female, 25-64		3,000,000	3,000,000
7. Total population aged 15 and over, female, 65 and over		1,500,000	1,500,000
8. Total population aged 15 and over, male, 15-24		1,500,000	1,500,000
9. Total population aged 15 and over, male, 25-64		3,000,000	3,000,000
10. Total population aged 15 and over, male, 65 and over		1,500,000	1,500,000

ANCASTER-ROSE HOMES INC.
the art of home construction

TIFFANY HILL (PHASE 2B) ANCASTER
LAY-BY-LANE TOWNHOUSES BLOCKS
BLOCK 225 TO 233 R.P. 62H-1237

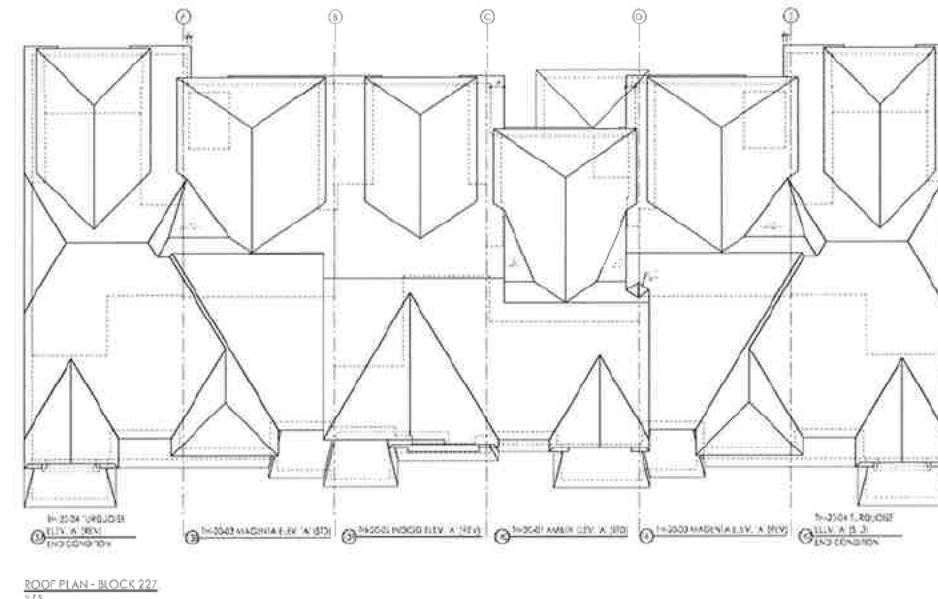
BLOCK 226
ELEVATIONS

2005/3

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22 KIMBERLY DOWNS
WYLLI
300

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[illegible]

ANCASTER-ROSE HOMES INC.

TIFFANY HILL (PHASE 20), ANCASTER
LAY-BY-LANE TOWNHOUSE BLOCK
BLOCK 225 TO 230 R/F 6214-1237

BLOCK 228
ELEVATIONS

2001

SIZE 18 1/2 x 50

7/8 = 1.0

▲ ▲ 1

AA12



1. ALL ELEVATIONS SHALL BE DRAWN TO THE FOLLOWING SCALE: 1/8" = 1'-0".
2. ALL ELEVATIONS SHALL BE DRAWN TO THE FOLLOWING SCALE: 1/8" = 1'-0".
3. ALL ELEVATIONS SHALL BE DRAWN TO THE FOLLOWING SCALE: 1/8" = 1'-0".

4. ALL ELEVATIONS SHALL BE DRAWN TO THE FOLLOWING SCALE: 1/8" = 1'-0".
5. ALL ELEVATIONS SHALL BE DRAWN TO THE FOLLOWING SCALE: 1/8" = 1'-0".

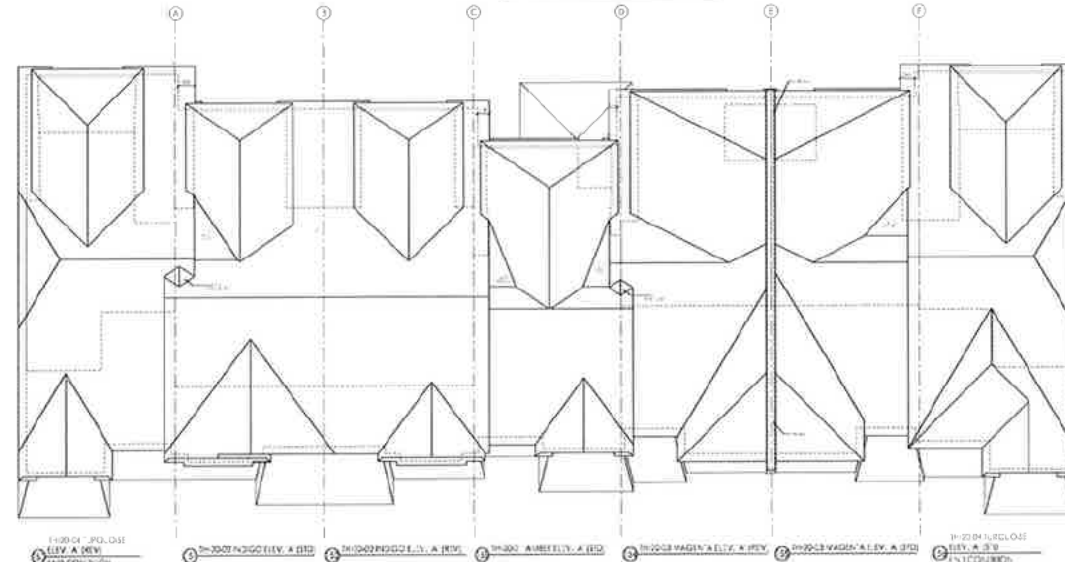
6. ALL ELEVATIONS SHALL BE DRAWN TO THE FOLLOWING SCALE: 1/8" = 1'-0".



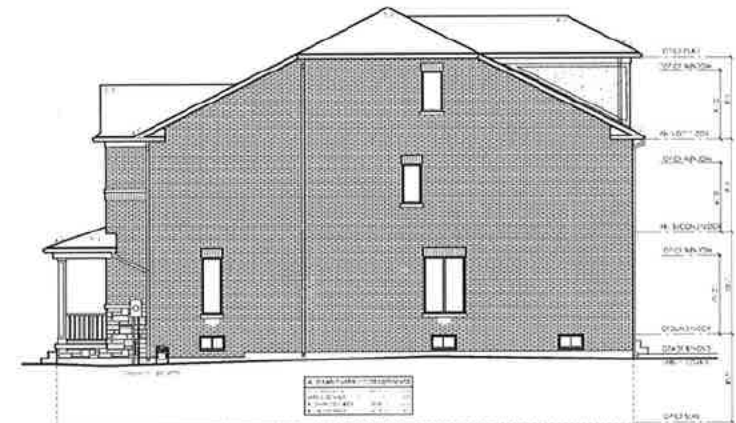
FRONT ELEVATION - BLOCK 229



LEFT SIDE ELEVATION - BLOCK 229



ROOF PLAN - BLOCK 229



RIGHT SIDE ELEVATION - BLOCK 229



REAR ELEVATION - BLOCK 229



NO.	REVISION	DATE	BY	CHK
1	ISSUED FOR PERMIT	08/07/18	W. J.	W. J.
2	REVISED PER CITY COMMENTS	09/11/18	W. J.	W. J.
3	REVISED PER CITY COMMENTS	10/11/18	W. J.	W. J.
4	REVISED PER CITY COMMENTS	11/11/18	W. J.	W. J.
5	REVISED PER CITY COMMENTS	12/11/18	W. J.	W. J.
6	REVISED PER CITY COMMENTS	01/11/19	W. J.	W. J.
7	REVISED PER CITY COMMENTS	02/11/19	W. J.	W. J.
8	REVISED PER CITY COMMENTS	03/11/19	W. J.	W. J.
9	REVISED PER CITY COMMENTS	04/11/19	W. J.	W. J.
10	REVISED PER CITY COMMENTS	05/11/19	W. J.	W. J.

ANCASTER-ROSE HOMES INC.
ON BEHALF OF ANCASTER-ROSE HOMES INC.

TRIFANY HILL (PHASE 2B) ANCASTER
LA 18Y-LAN TOWNHOUSE BLOCKS
BLOCK 225 TO 233 R.F. 628-1237

BLOCK 229
ELEVATIONS

17046
1/8" = 1'-0"

TOP

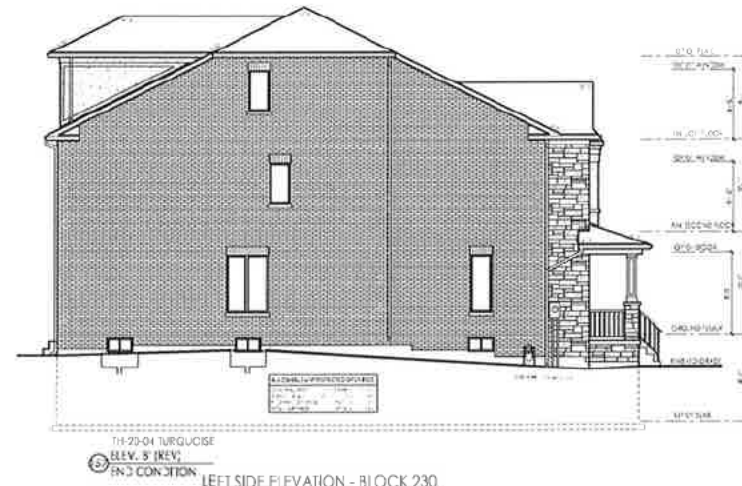
AA15



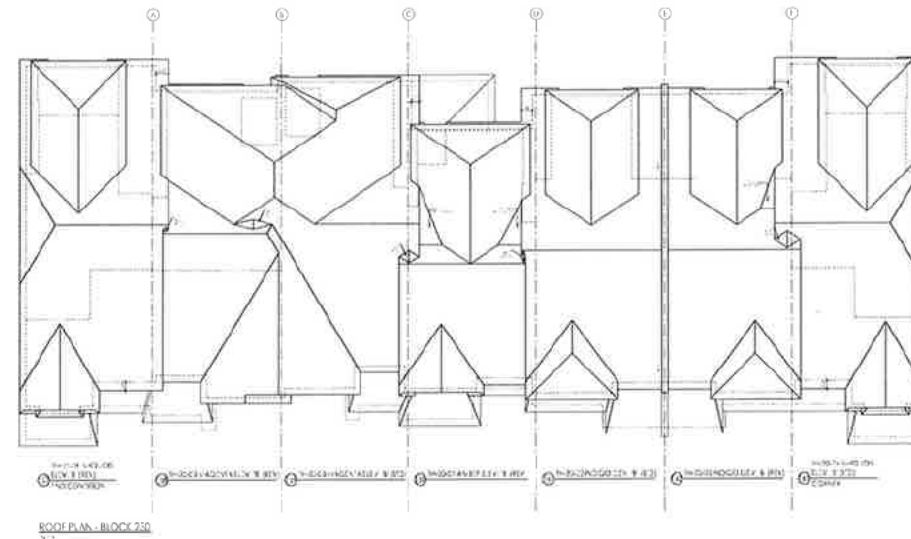
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FRONT ELEVATION - BLOCK 230



LEFT SIDE ELEVATION - BLOCK 230



ROOF PLAN - BLOCK 230



RIGHT SIDE ELEVATION - BLOCK 230



REAR ELEVATION - BLOCK 230



#	Material	Area	Unit	Qty
1	BRICK - 1/2" x 8"	2,100	SF	100
2	BRICK - 1/2" x 8"	2,100	SF	100
3	BRICK - 1/2" x 8"	2,100	SF	100
4	BRICK - 1/2" x 8"	2,100	SF	100
5	BRICK - 1/2" x 8"	2,100	SF	100
6	BRICK - 1/2" x 8"	2,100	SF	100
7	BRICK - 1/2" x 8"	2,100	SF	100
8	BRICK - 1/2" x 8"	2,100	SF	100
9	BRICK - 1/2" x 8"	2,100	SF	100
10	BRICK - 1/2" x 8"	2,100	SF	100

ANCASTER-ROSE HOMES INC.
DRAWING CODE: P&R/2014/01/02

TRIFANY HILL PHASE 2, ANCASTER
14181 LANC TOWN DRIVE, BLOCK 230
BLOCK 230 TO 233, P&R/2014/01/02

BLOCK 230
ELEVATIONS

DATE: 1/20/14
SCALE: 1/8" = 1'-0"

AA18