

## **NOTICE OF PUBLIC HEARING**

### **Minor Variance**

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**You are receiving this notice because you are either:**

- Assessed owner of a property located within 60 metres of the subject property
  - Applicant/agent on file, or
  - Person likely to be interested in this application
- 

**APPLICATION NO.:** HM/A-20:156

**APPLICANTS:** Christine Brown on behalf of the owner Paul C. Rennick

**SUBJECT PROPERTY:** Municipal address **27 Blake St., Hamilton**

**ZONING BY-LAW:** Zoning By-law 6593, as Amended

**ZONING:** "D" (Urban Protected Residential - One and Two Family Dwellings) district

**PROPOSAL:** To permit the construction of a 2-storey rear addition to the existing single-family dwelling notwithstanding that;

1. A minimum northerly side yard width of 0.9 m shall be provided for the proposed rear addition instead of the minimum required 1.2 m; and
2. A minimum of 4 parking spaces shall be provided (for 16 habitable rooms) for the existing single-family dwelling instead of the minimum required 6 parking spaces; and
3. Two parking spaces shall be provided in the front yard whereas the By-Law states that for the purpose of a single-family dwelling only one of the required parking spaces may be located in the front yard; and
4. To permit two parking spaces located on the driveway to be obstructed by a third one, whereas the By-Law states that sufficient space additional to required parking space shall be provided and maintained on the same lot on which the parking space is located, in such a manner as to enable each and every parking space to be unobstructed and freely and readily accessible from within the lot, without moving any vehicle on the lot or encroaching on any designated parking or loading space; and
5. No manoeuvring space shall be provided for the required parking spaces located in the front yard whereas the By-Law states that only one of the required parking spaces for a single-family dwelling may have manoeuvring off site; and
6. A minimum of 48.1 % front yard landscaped area shall be provided whereas the By-Law states that not less than 50% of the gross area of the front yard shall be used for a landscaped area.

Notes:

Variances # 2, 3, 4 & 5 for parking are required and have been included based on the total number of habitable rooms (existing and proposed) for the existing single-family dwelling.

Applicant shall ensure that eaves and gutters do not encroach beyond the property line. If so, applicant shall be required to enter into an encroachment agreement and establish the necessary maintenance easements, which must be properly registered on title with the abutting neighbor

This application will be heard by the Committee as shown below:

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**DATE:** Thursday, September 10th, 2020

**TIME:** 1:15 p.m.

**PLACE:** Via video link or call in (see attached sheet for details)

To be streamed at [www.hamilton.ca/committeeofadjustment](http://www.hamilton.ca/committeeofadjustment)  
for viewing purposes only

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## **PUBLIC INPUT**

**Written:** If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

**Orally:** If you would like to speak to this item at the hearing you may do so via video link or by calling in. Please see attached page for complete instructions, including deadlines for registering to participate.

## **MORE INFORMATION**

For more information on this matter, including access to drawings illustrating this request:

- Visit [www.hamilton.ca/committeeofadjustment](http://www.hamilton.ca/committeeofadjustment)
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935
- Email Committee of Adjustment staff at [cofa@hamilton.ca](mailto:cofa@hamilton.ca)

DATED: August 25th, 2020.

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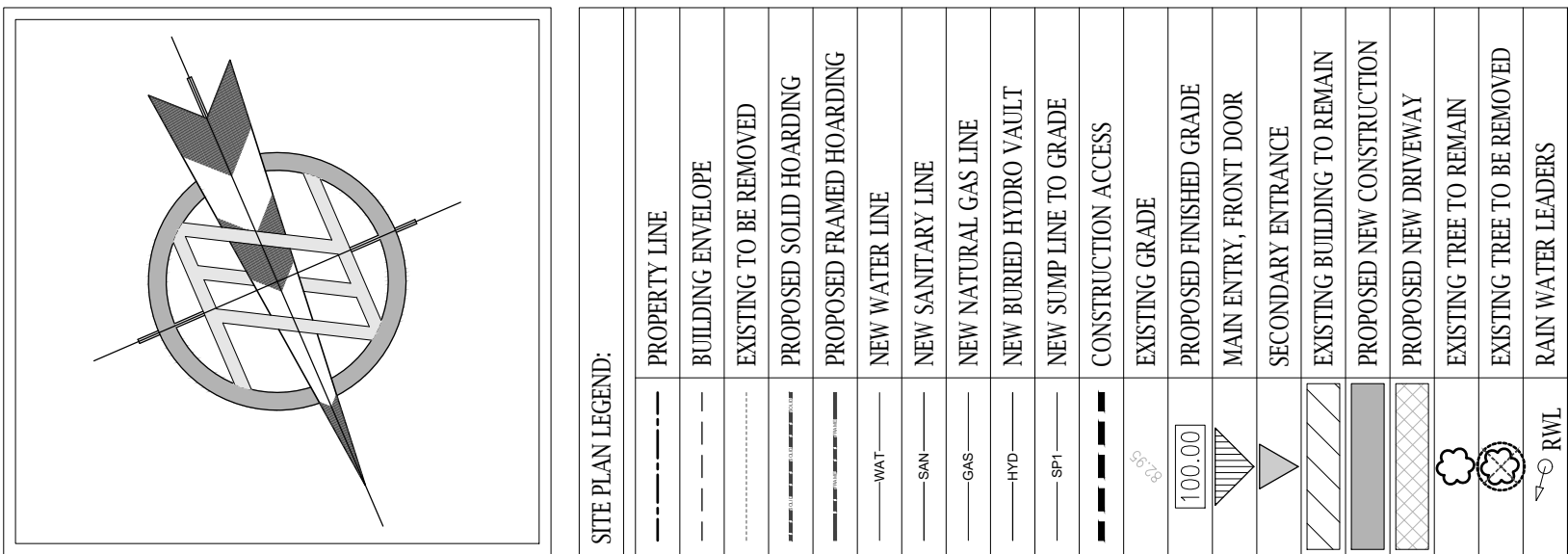
Jamila Sheffield,  
Secretary-Treasurer  
Committee of Adjustment

***Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public.***

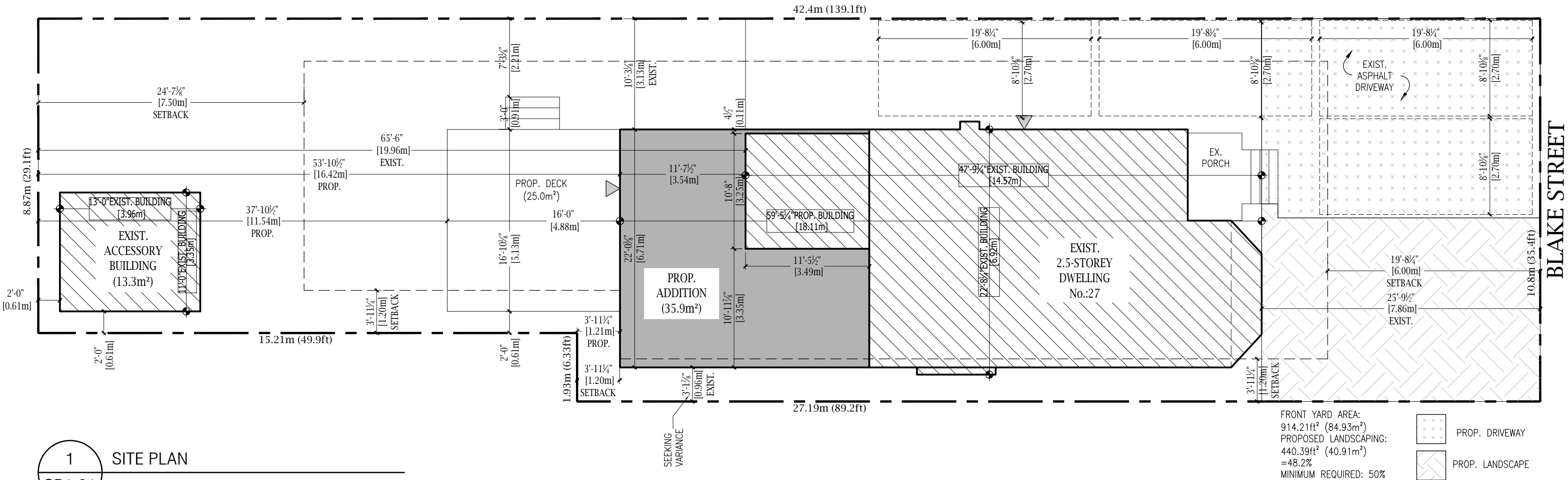
1 SITE PLAN  
SP1.01 1:100

PROPERTY OWNER/PROJECT ADDRESS	APPLICANT/DESIGNER:
Paul & Brandy Rennick 27 Blake Street Hamilton, Ontario L8M 2S4	Christine Brown, My House Designs 444 Upper Gage Avenue Hamilton, Ontario L8V 4H9
SITE STATISTICS:	
ZONING:	D
6593 Former Hamilton	
LOT INFORMATION:	%METRICIMPERIAL
MIN. LOT AREA AS PER DEFINITION:	360.003875.00
EXIST. LOT AREA:	428.584613.19
MIN. FRONTAGE AS PER DEFINITION:	12.0039.37
EXIST. LOT FRONTAGE:	10.8035.43
EXIST. LOT DEPTH:	42.40139.11
SETBACK INFORMATION:	
MINIMUM FRONT YARD SETBACK:	6.0019.69
EXISTING:	7.8625.79
MINIMUM REAR YARD SETBACK:	7.5024.61
EXISTING:	19.9665.49
PROPOSED:	16.4253.87
PROPOSED (TO DECK):	11.5437.86
MIN. L. SIDEYARD SETBACK:	1.203.94
EXISTING:	0.963.15
PROPOSED:	0.963.15
PROPOSED (TO DECK):	0.612.00
MIN. R. SIDEYARD SETBACK:	1.203.94
EXISTING:	3.1310.27
PROPOSED:	3.1310.27
PROPOSED (TO DECK):	3.1310.27
GROSS FLOOR AREA:	%METRICIMPERIAL
EXIST. BASEMENT FLOOR AREA:	56.49608.06
PROP. BASEMENT FLOOR AREA:	40.53436.26
EXIST. 1ST FLOOR AREA:	79.54856.13
PROP. ADD'L 1ST FLOOR AREA:	36.27390.41
EXIST. 2ND FLOOR AREA:	65.73707.56
PROP. ADD'L 1ST FLOOR AREA:	47.06506.60
EXIST. 3RD FLOOR AREA:	31.35337.50
EXISTING GROSS FLOOR AREA:	233.122509.25
TOTAL PROP. GROSS FLOOR AREA:	356.983842.52
COVERAGE CALCULATIONS:	%METRICIMPERIAL
EXIST. 1ST FLOOR AREA:	79.54856.13
PROP 1ST FLOOR AREA:	115.811246.54
EXIST. ACCESSORY BUILDING:	13.29143.00
EXISTING COVERAGE:	21.66%92.82999.13
PROPOSED COVERAGE:	48.68%208.632245.67
HEIGHT CALCULATIONS	%METRICIMPERIAL
MAX. ALLOWABLE HEIGHT:	14.0045.93
EXIST. HEIGHT:	8.7228.61
PROP. HEIGHT:	8.7228.61

2 SITE STATS  
SP1.01 1:100



SITE PLAN LEGEND:
PROPERTY LINE
BUILDING ENVELOPE
EXISTING TO BE REMOVED
PROPOSED SOLID HOARDING
PROPOSED FRAMED HOARDING
NEW WATER LINE
NEW SANITARY LINE
NEW NATURAL GAS LINE
NEW BURIED HYDRO VAULT
NEW SUMP LINE TO GRADE
CONSTRUCTION ACCESS
EXISTING GRADE
PROPOSED FINISHED GRADE
MAIN ENTRY, FRONT DOOR
SECONDARY ENTRANCE
EXISTING BUILDING TO REMAIN
PROPOSED NEW CONSTRUCTION
PROPOSED NEW DRIVEWAY
EXISTING TREE TO REMAIN
EXISTING TREE TO BE REMOVED
RAIN WATER LEADERS



FRONT YARD AREA:  
914.21ft² (84.93m²)  
PROPOSED LANDSCAPING:  
440.39ft² (40.91m²)  
=48.2%  
MINIMUM REQUIRED: 50%

PROP. DRIVEWAY  
PROP. LANDSCAPE

Ministry of Municipal Affairs and Housing

**QUALIFICATION INFORMATION**

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONT. BUILDING CODE TO BE A DESIGNER.

REQUIRED UNLESS DESIGN IS EXEMPT UNDER DIVISION 'C' SECTION 3.2 OF THE O.B.C.

CHRISTINE BROWN

BCIN 37240

MY HOUSE DESIGNS

BCIN 113120

4	07.31.20	ISSUED FOR COA
3	07.16.20	ISSUED FOR DESIGN REVIEW
2	07.11.20	ISSUED FOR PRELIM DESIGNS
1	06.18.20	ISSUED FOR AS-BUILTS
REF.	DATE:	DESCRIPTION:

MY HOUSE DESIGNS

RESIDENTIAL DESIGN AND DRAFTING SERVICES

CHRISTINE BROWN

Architectural Technologist

905.802.5272

444 Upper Gage Avenue

HAMILTON, ON L8V 4H9

cbrown@friendlycadmonkey.com

CLIENT:

RENNICK RESIDENCE

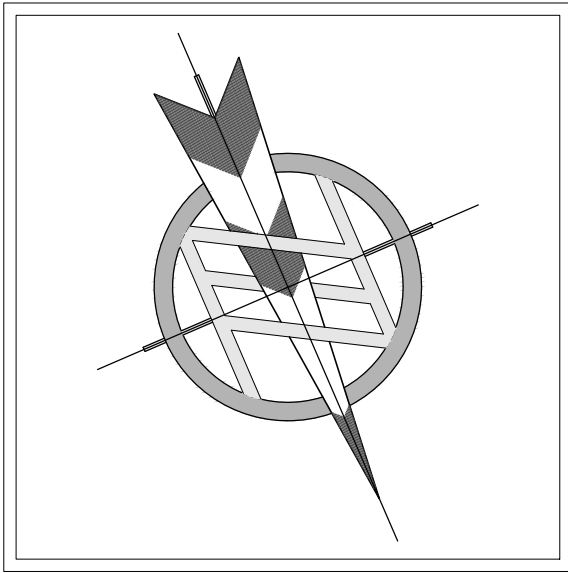
ADDRESS: 27 BLAKE STREET

CITY: HAMILTON, ONTARIO, L8M 2S4

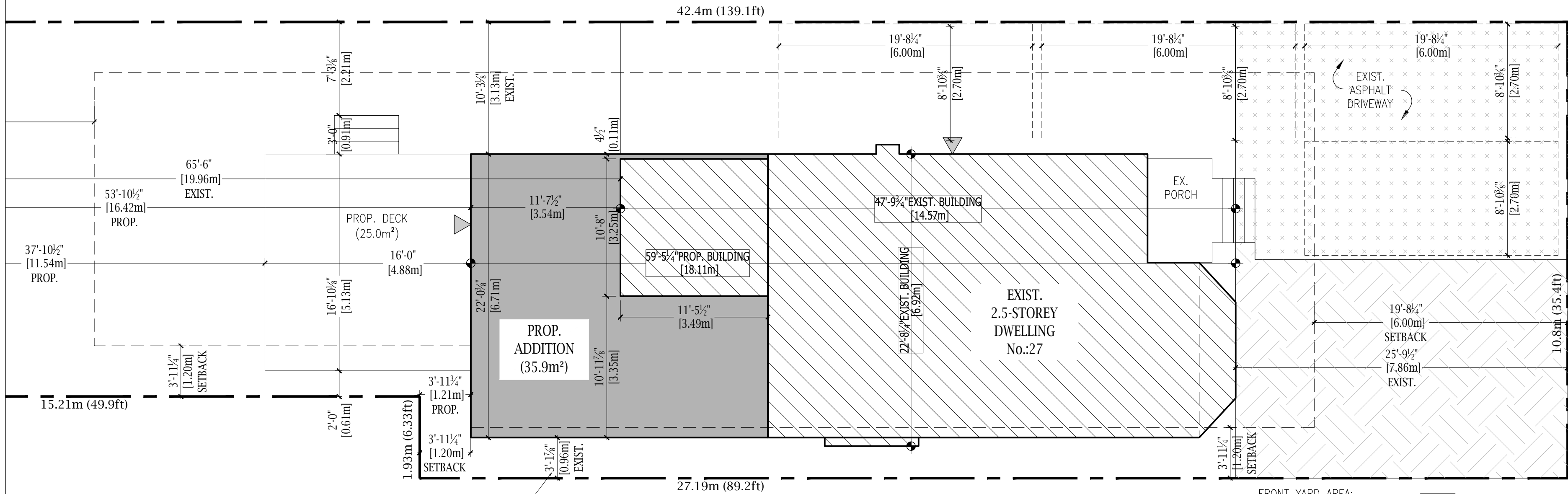
DRAWING TITLE:

SITE PLAN & SITE STATS

DRAWN: CB	SCALE:
DATE: 8/12/20	AS NOTED
JOB NO:	SHEET:
20-069	SP1.01



SITE PLAN LEGEND:	
	PROPERTY LINE
	BUILDING ENVELOPE
	EXISTING TO BE REMOVED
	PROPOSED SOLID HOARDING
	PROPOSED FRAMED HOARDING
	NEW WATER LINE
	NEW SANITARY LINE
	NEW NATURAL GAS LINE
	NEW BURIED HYDRO VAULT
	NEW SUMP LINE TO GRADE
	CONSTRUCTION ACCESS
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	MAIN ENTRY, FRONT DOOR
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	PROPOSED NEW CONSTRUCTION
	PROPOSED NEW DRIVEWAY
	EXISTING TREE TO REMAIN
	EXISTING TREE TO BE REMOVED
	RAIN WATER LEADERS



FRONT YARD AREA:  
914.21ft<sup>2</sup> (84.93m<sup>2</sup>)  
PROPOSED LANDSCAPING:  
440.39ft<sup>2</sup> (40.91m<sup>2</sup>)  
=48.2%  
MINIMUM REQUIRED: 50%

PROP. DRIVEWAY  
 PROP. LANDSCAPE

BLAKE STREET

1 SITE PLAN-BLOW-UP  
SP1.02 1:75

Ministry of Municipal Affairs and Housing

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CHRISTINE BROWN

BCIN 37240

MY HOUSE DESIGNS

BCIN 113120

DATE: 8/12/20

JOB NO.: 20-069

SCALE: AS NOTED

SHEET: SP1.02

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REF.	DATE:	DESCRIPTION:

MY HOUSE DESIGNS

RESIDENTIAL DESIGN AND DRAFTING SERVICES

CHRISTINE BROWN

Architectural Technologist

905.802.5272

444 Upper Gage Avenue

HAMILTON, ON L8V 4H9

cbrown@friendlycadmonkey.com

CLIENT: RENNICK RESIDENCE

ADDRESS: 27 BLAKE STREET  
CITY: HAMILTON, ONTARIO, L8M 2S4

DRAWING TITLE: SITE PLAN - BLOW UP

DRAWN: CB  
DATE: 8/12/20  
JOB NO.: 20-069

SCALE: AS NOTED  
SHEET: SP1.02



Hamilton

Planning and Economic Development Department  
Planning Division

Committee of Adjustment

City Hall  
5<sup>th</sup> floor 71 Main Street West  
Hamilton, Ontario L8P 4Y5

Phone (905) 546-2424 ext.4221  
Fax (905) 546-4202

PLEASE FILL OUT THE FOLLOWING PAGES AND  
RETURN TO THE CITY OF HAMILTON PLANNING  
DEPARTMENT.

20.176802

FOR OFFICE USE ONLY.

APPLICATION NO. HMPA.20.156 DATE APPLICATION RECEIVED AUG. 4/20

PAID \_\_\_\_\_ DATE APPLICATION DEEMED COMPLETE \_\_\_\_\_

SECRETARY'S  
SIGNATURE \_\_\_\_\_

CITY OF HAMILTON  
COMMITTEE OF ADJUSTMENT  
HAMILTON, ONTARIO

*The Planning Act*

Application for Minor Variance or for Permission

The undersigned hereby applies to the Committee of Adjustment for the City of Hamilton under Section 45 of the *Planning Act*, R.S.O. 1990, Chapter P.13 for relief, as described in this application, from the Zoning By-law.

1. Name of Owner Paul & Brandy Rennick Telephone No. \_\_\_\_\_

2. \_\_\_\_\_

3. Name of Agent Christine Brown Telephone No. \_\_\_\_\_

4. \_\_\_\_\_

**Note:** Unless otherwise requested all communications will be sent to the agent, if any.

5. Names and addresses of any mortgagees, holders of charges or other encumbrances:

Brandy Rennick

27 Blake Street, Hamilton

Postal Code L8M 2S4

Paul Rennick

27 Blake Street, Hamilton

Postal Code L8M 2S4



6. Nature and extent of relief applied for:  
the minimum southernly side yard shall be 0.96 instead of the required minimum  
1.2m side yard for an interior lot  
\_\_\_\_\_  
\_\_\_\_\_
7. Why it is not possible to comply with the provisions of the By-law?  
minimum side yard setbacks requested to be changed because the existing house  
is recognized legal non-complying for this property  
\_\_\_\_\_  
\_\_\_\_\_
8. Legal description of subject lands (registered plan number and lot number or other  
legal description and where applicable, street and street number):  
don't have this information  
\_\_\_\_\_  
27 Blake St.  
\_\_\_\_\_
9. PREVIOUS USE OF PROPERTY
- Residential ☒ Industrial \_\_\_\_\_ Commercial \_\_\_\_\_
- Agricultural \_\_\_\_\_ Vacant \_\_\_\_\_
- Other \_\_\_\_\_
- 9.1 If Industrial or Commercial, specify use  
\_\_\_\_\_
- 9.2 Has the grading of the subject land been changed by adding earth or other  
material, i.e. has filling occurred?  
Yes \_\_\_\_\_ No ☒ Unknown \_\_\_\_\_
- 9.3 Has a gas station been located on the subject land or adjacent lands at any time?  
Yes \_\_\_\_\_ No ☒ Unknown \_\_\_\_\_
- 9.4 Has there been petroleum or other fuel stored on the subject land or adjacent  
lands?  
Yes \_\_\_\_\_ No ☒ Unknown \_\_\_\_\_
- 9.5 Are there or have there ever been underground storage tanks or buried waste on  
the subject land or adjacent lands?  
Yes \_\_\_\_\_ No ☒ Unknown \_\_\_\_\_
- 9.6 Have the lands or adjacent lands ever been used as an agricultural operation  
where cyanide products may have been used as pesticides and/or sewage sludge  
was applied to the lands?  
Yes \_\_\_\_\_ No ☒ Unknown \_\_\_\_\_
- 9.7 Have the lands or adjacent lands ever been used as a weapon firing range?  
Yes \_\_\_\_\_ No ☒ Unknown \_\_\_\_\_
- 9.8 Is the nearest boundary line of the application within 500 metres (1,640 feet) of the  
fill area of an operational/non-operational landfill or dump?  
Yes \_\_\_\_\_ No ☒ Unknown \_\_\_\_\_

9.9 If there are existing or previously existing buildings, are there any building materials remaining on site which are potentially hazardous to public health (eg. asbestos, PCB's)?

Yes \_\_\_\_\_ No ☒ Unknown \_\_\_\_\_

9.10 Is there any reason to believe the subject land may have been contaminated by former uses on the site or adjacent sites?

Yes \_\_\_\_\_ No ☒ Unknown \_\_\_\_\_

9.11 What information did you use to determine the answers to 9.1 to 9.10 above?  
the house is at least 100 years old, long standing residential neighbourhood

9.12 If previous use of property is industrial or commercial or if YES to any of 9.2 to 9.10, a previous use inventory showing all former uses of the subject land, or if appropriate, the land adjacent to the subject land, is needed.

Is the previous use inventory attached? Yes \_\_\_\_\_ No \_\_\_\_\_

### ACKNOWLEDGEMENT CLAUSE

I acknowledge that the City of Hamilton is not responsible for the identification and remediation of contamination on the property which is the subject of this Application – by reason of its approval to this Application.

July 30, 2020

Date

Signature  Property Owner

Paul Rennie

Print Name of Owner

10. Dimensions of lands affected:

Frontage	10.8m
Depth	42.4m
Area	428.58s.m.
Width of street	8.5m

11. Particulars of all buildings and structures on or proposed for the subject lands:  
(Specify ground floor area, gross floor area, number of stories, width, length, height, etc.)

Existing: exist. 1st fl. area 79.54s.m.	exist. 2.5 storeys
exist. 2nd floor area: 65.73s.m.	exist. height: 8.72m
exist. 3rd floor area: 31.35s.m.	exist. basement floor area: 56.49s.m.
exist. gross floor area: 233.12s.m.	
Proposed: prop. basement area: 97.02s.m.	height: no change
prop. 1st floor area: 115.81s.m.	exist. 2.5 storeys
prop 2nd floor area: 112.80s.m.	
exist. 3rd floor area: 31.35s.m.	

12. Location of all buildings and structures on or proposed for the subject lands;  
(Specify distance from side, rear and front lot lines)

Existing: front yard: 7.86m, rear yard: 19.96m, L side: 0.96m, R side: 3.13m

Proposed: front yard: no change, rear yard: 16.42m, L side: no change \*COA,  
R side: no change  
deck rear yard: 11.54m, R side: 3.13m, L side: 0.61m

13. Date of acquisition of subject lands:  
2015

14. Date of construction of all buildings and structures on subject lands:  
1920's

15. Existing uses of the subject property: single family residential

16. Existing uses of abutting properties: single family residential  
& I1 - neighbourhood institutional

17. Length of time the existing uses of the subject property have continued:  
100+ years

18. Municipal services available: (check the appropriate space or spaces)

Water ☒

Connected ☒

Sanitary Sewer ☒

Connected ☒

Storm Sewers ☒

19. Present Official Plan/Secondary Plan provisions applying to the land:

20. Present Restricted Area By-law (Zoning By-law) provisions applying to the land:  
6593 Former Hamilton Zone D

21. Has the owner previously applied for relief in respect of the subject property?

Yes

No ☒

If the answer is yes, describe briefly.

22. Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?

Yes

No ☒

23. The applicant shall attach to each copy of this application a plan showing the dimensions of the subject lands and of all abutting lands and showing the location, size and type of all buildings and structures on the subject and abutting lands, and where required by the Committee of Adjustment such plan shall be signed by an Ontario Land Surveyor.

**NOTE:** It is required that two copies of this application be filed with the secretary-treasurer of the Committee of Adjustment together with the maps



DWG. No.	DRAWING TITLE
A0.01	TITLE PAGE
A0.02	GENERAL NOTES & CONSTRUCTION SCHEDULE
A1.01	EXISTING BASEMENT & 1ST FLOOR PLAN
A1.02	EXISTING 2ND & 3RD FLOOR PLAN
A1.03	PROPOSED BASEMENT PLAN
A1.04	PROPOSED 1ST FLOOR PLAN
A1.05	PROPOSED 2ND FLOOR PLAN
A1.06	PROPOSED 3RD FLOOR PLAN
A2.01	PROPOSED FRONT & REAR ELEVATION
A2.02	PROPOSED RIGHT & LEFT ELEVATION
SP1.01	SITE PLAN & SITE STATS



GENERAL NOTES

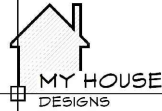
1.	DO NOT SCALE DRAWINGS.
2.	ALL DRAWINGS ARE THE PROPERTY OF THE ARCHITECTURAL DESIGNER AND SHALL NOT BE REPRODUCED IN WHOLE OR IN PART WITHOUT WRITTEN CONSENT FROM THE SAID DESIGNER.
3.	CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS BEFORE COMMENCING WORK AND TO REPORT ANY DISCREPANCIES TO THE DESIGNER. FAILURE TO DO SO WILL CAUSE FORFEIT TO ANY CLAIM.
4.	ALL CONSTRUCTION TO BE ACCORDING TO BEST COMMON PRACTICE AND TO CONFORM TO THE ONTARIO BUILDING CODE OR OTHER CODES HAVING JURISDICTION.
5.	GENERAL CONTRACTOR SHALL GUARANTEE ALL MATERIAL AND WORKMANSHIP FOR A PERIOD OF (1)ONE YEAR FOLLOWING SUBSTANTIAL COMPLETION. ALL OTHER MANUFACTURER'S GUARANTEES TO APPLY.
6.	GENERAL CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS EXCEPT FOR THE BUILDING PERMIT, WHICH WILL BE OBTAINED BY THE OWNER OR DESIGNER.
7.	PROVIDE ADEQUATE TEMPORARY SHORING AS REQUIRED DURING DEMOLITION OF STRUCTURAL WALLS AND COMPONENTS. ANY AND ALL RESULTING DAMAGE SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.

Loading Requirements for Hamilton  
as per OBC 2012 SB-1 Table 1.2

Ground Snow Load (1/50)	0.4kPa
Driving Rain (1/5)	160Pa
Wind Load L1/50	0.46kPa
Roof Live Load	21.0 psf
Roof Dead Load	12.0 psf
Floor Live Load	40.0 psf


Drawings must NOT be scaled. Contractor must check and verify all dimensions, specifications and drawings on site and report any discrepancies to the designer prior to proceeding with any of the work.

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REF.	DATE:	DESCRIPTION:



MY HOUSE  
DESIGNS

RESIDENTIAL DESIGN  
AND DRAFTING  
SERVICES



CHRISTINE BROWN  
Architectural Technologist  
905.802.5272  
444 Upper Gage Avenue  
HAMILTON, ON L8V 4H9  
cbrown@friendlycadmonkey.com

CLIENT:  
RENNICK RESIDENCE

ADDRESS: 27 BLAKE STREET  
CITY: HAMILTON, ONTARIO, L8M 2S4

DRAWING TITLE:  
TITLE PAGE

DRAWN: CB	SCALE:
DATE: 7/30/20	NO SCALE
JOB NO.: 20-069	SHEET: A0.01



Ministry of Municipal  
Affairs and Housing

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CHRISTINE BROWN

BCIN 37240

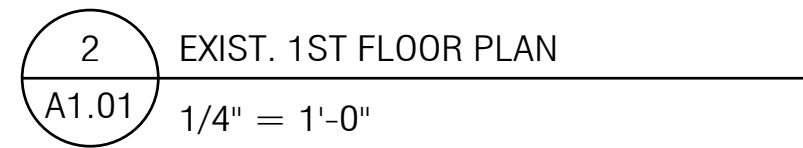
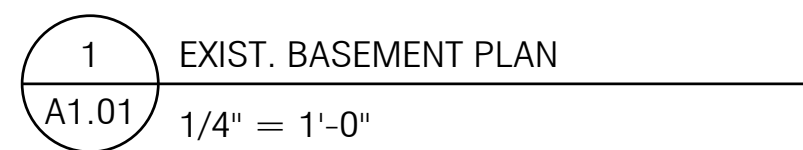


BCIN 113120

MY HOUSE DESIGNS









TRUE NORTH

PROJECT NORTH



**MY HOUSE**  
DESIGNS



**CHRISTINE BROWN**  
Architectural Technologist  
905.802.5272  
444 Upper Gage Avenue  
HAMILTON, ON L8V 4H9  
[cbrown@friendlycadmonkey.com](mailto:cbrown@friendlycadmonkey.com)

DRAWN: CB DATE: 7/30/20	SCALE: AS NOTED
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 Ministry of Municipal  
Affairs and Housing

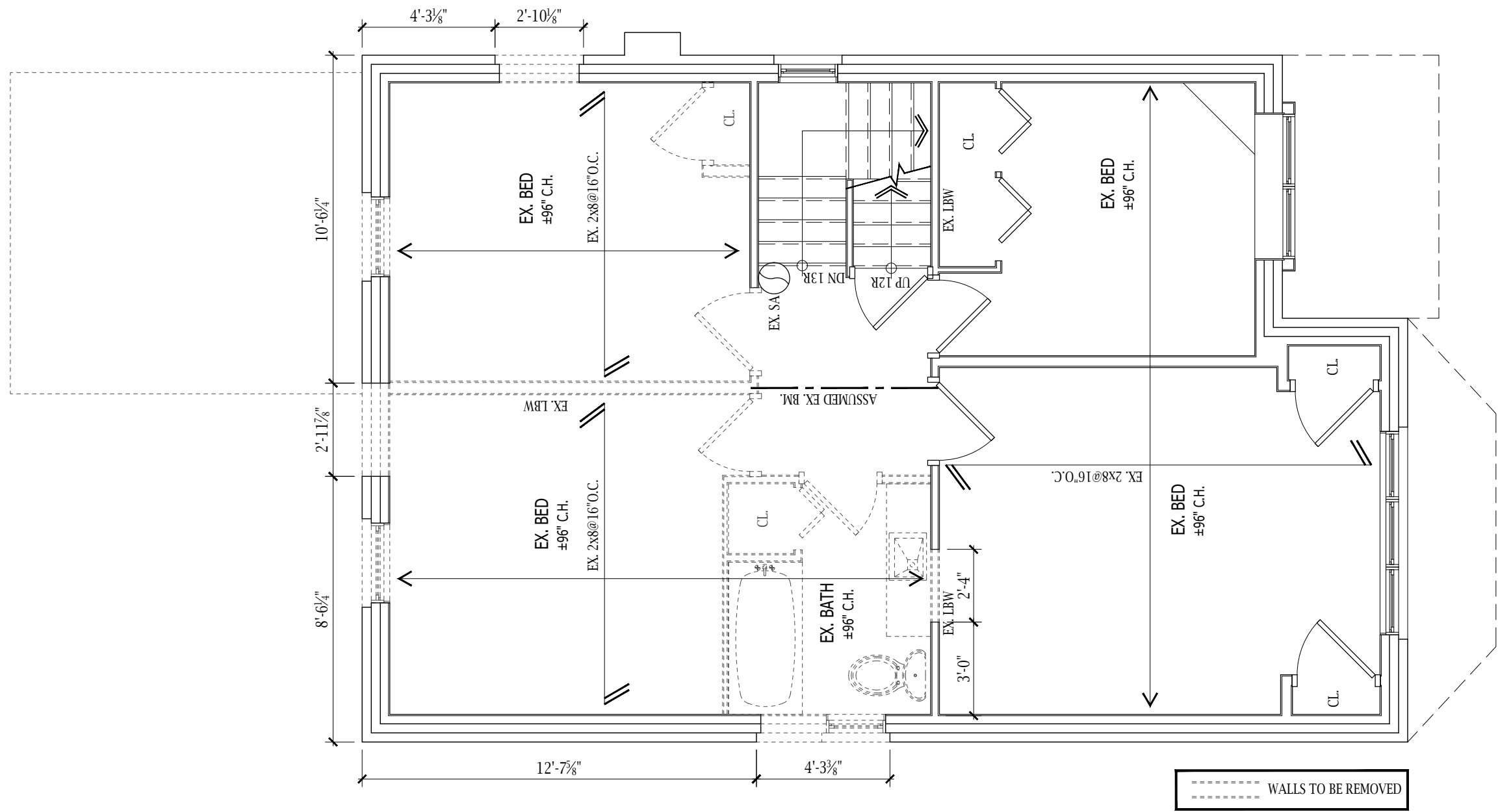
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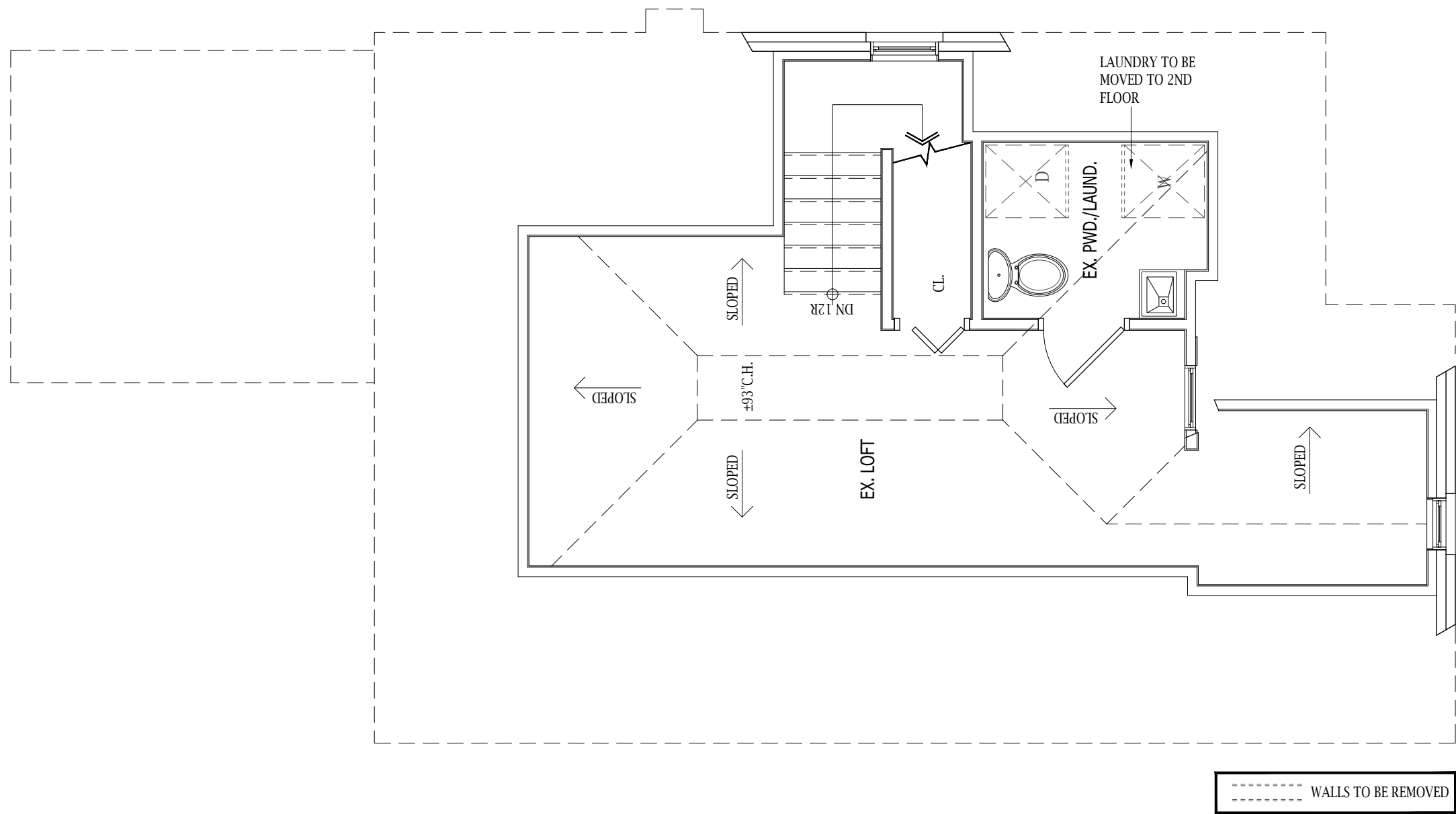
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	BCIN
CHRISTINE BROWN	37240
	BCIN
MY HOUSE DESIGNS	113120



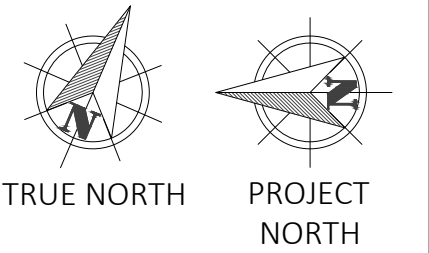


1 EXIST. 2ND FLOOR PLAN  
A1.02 1/4" = 1'-0"



2 EXIST. 3RD FLOOR PLAN  
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MY HOUSE  
DESIGNS  
RESIDENTIAL DESIGN  
AND DRAFTING  
SERVICES

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444 Upper Gage Avenue  
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CLIENT:  
RENNICK RESIDENCE

ADDRESS: 27 BLAKE STREET  
CITY: HAMILTON, ONTARIO, L8M 2S4

DRAWING TITLE:  
EXIST. 2ND & 3RD FLOOR  
PLAN

DRAWN: CB	SCALE:
DATE: 7/30/20	AS NOTED
JOB NO.:	SHEET:
20-069	A1.02

Ministry of Municipal  
Affairs and Housing  
QUALIFICATION INFORMATION

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONT. BUILDING CODE TO BE A DESIGNER.

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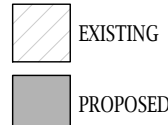
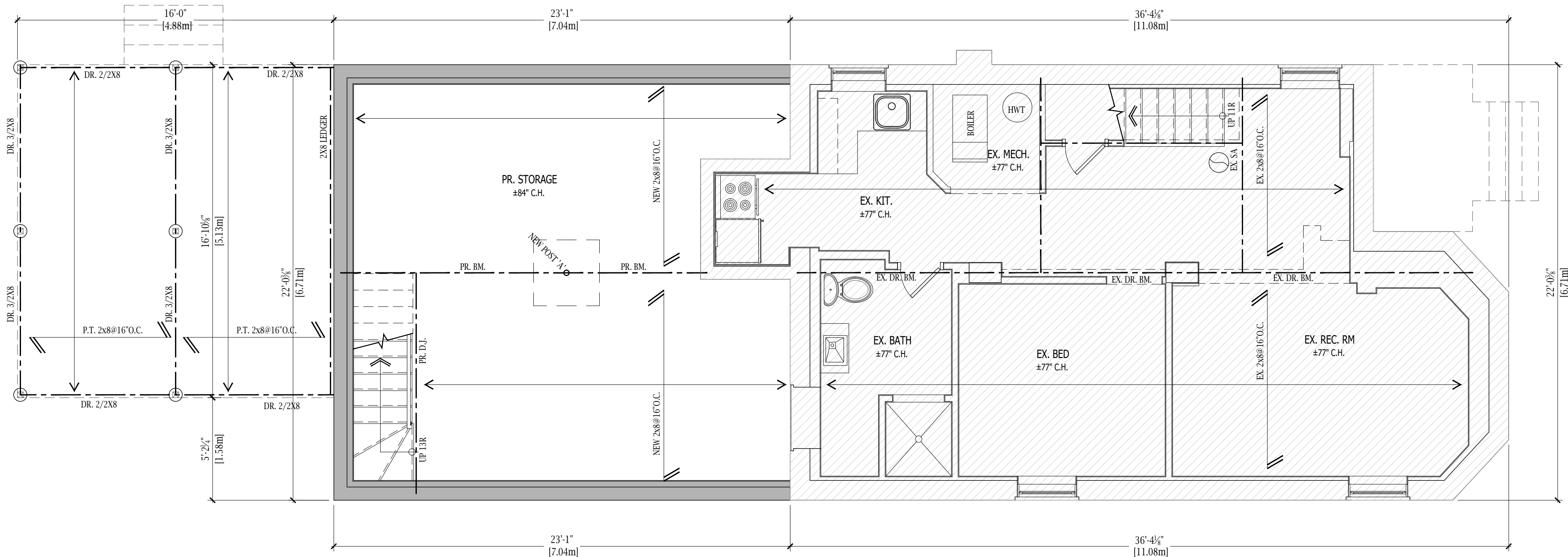
CHRISTINE BROWN

CHRISTINE BROWN

BCIN  
37240

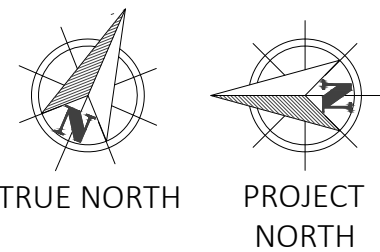
BCIN  
113120

MY HOUSE DESIGNS

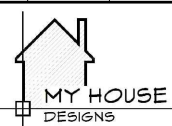


1 PROP. BASEMENT PLAN  
A1.03 1/4" = 1'-0"


Drawings must NOT be scaled. Contractor must check and verify all dimensions, specifications and drawings on site and report any discrepancies to the designer prior to proceeding with any of the work.



4	07.31.20	ISSUED FOR COA
3	07.16.20	ISSUED FOR DESIGN REVIEW
2	07.11.20	ISSUED FOR PRELIM DESIGNS
1	06.18.20	ISSUED FOR AS-BUILTS
REF.	DATE:	DESCRIPTION:



MY HOUSE  
DESIGNS  
RESIDENTIAL DESIGN  
AND DRAFTING  
SERVICES



CHRISTINE BROWN  
Architectural Technologist  
905.802.5272  
444 Upper Gage Avenue  
HAMILTON, ON L8V 4H9  
cbrown@friendlycadmonkey.com

CLIENT:  
RENNICK RESIDENCE

ADDRESS: 27 BLAKE STREET  
CITY: HAMILTON, ONTARIO, L8M 2S4

DRAWING TITLE:  
PROP. BASEMENT PLAN

DRAWN: CB  
DATE: 7/30/20  
JOB NO.:  
SCALE: AS NOTED  
SHEET:

20-069 A1.03

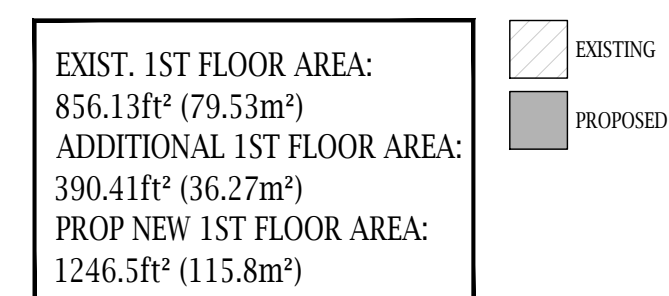


Ministry of Municipal  
Affairs and Housing  
QUALIFICATION INFORMATION

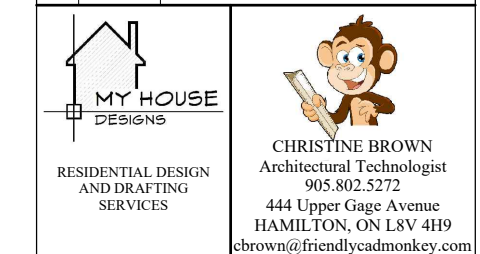
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CHRISTINE BROWN BCIN 37240

MY HOUSE DESIGNS BCIN 113120






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2	07.11.20	ISSUED FOR PRELIM DESIGNS
1	06.18.20	ISSUED FOR AS-BUILTS
REF. DATE:	DESCRIPTION:	



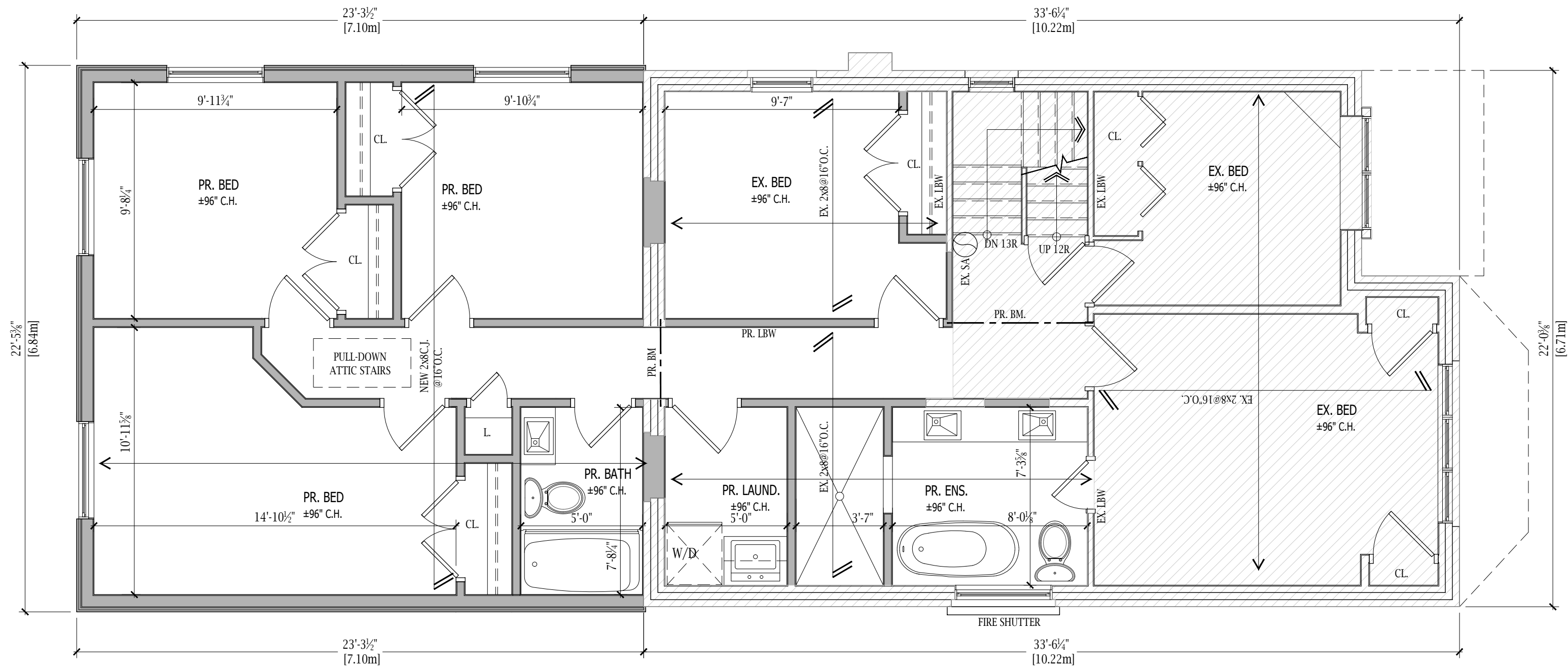
CLIENT: RENNICK RESIDENCE

ADDRESS: 27 BLAKE STREET  
CITY: HAMILTON, ONTARIO, L8M 2S4  
DRAWING TITLE:  
PROP. 1ST FLOOR PLAN

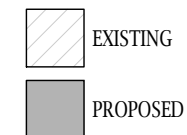
DRAWN: CB	SCALE:
DATE: 7/30/20	AS NOTED
JOB NO.: <b>20-069</b>	SHEET: <b>A1.04</b>

 <b>Ministry of Municipal Affairs and Housing</b>	
<b>QUALIFICATION INFORMATION</b>	
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 <hr/> CHRISTINE BROWN	BCIN <hr/> 37240
 <hr/> MY HOUSE DESIGNS	BCIN <hr/> 113120



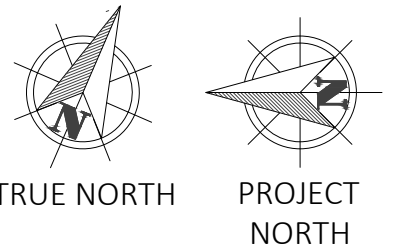


EXIST. 2ND FLOOR AREA:  
707.56ft<sup>2</sup> (65.73m<sup>2</sup>)  
ADDITIONAL 2ND FLOOR  
AREA: 506.6ft<sup>2</sup> (47.06m<sup>2</sup>)  
PROP NEW 2ND FLOOR AREA:  
1214.10ft<sup>2</sup> (112.79m<sup>2</sup>)

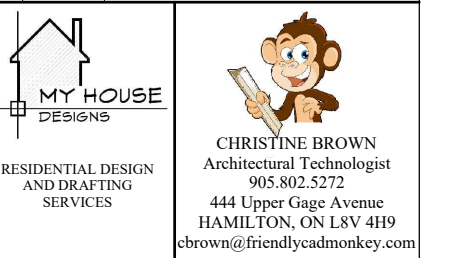


1 PROP. 2ND FLOOR PLAN  
A1.05 1/4" = 1'-0"

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1	06.18.20	ISSUED FOR AS-BUILTS
REF.	DATE:	DESCRIPTION:



CLIENT:  
**RENNICK RESIDENCE**

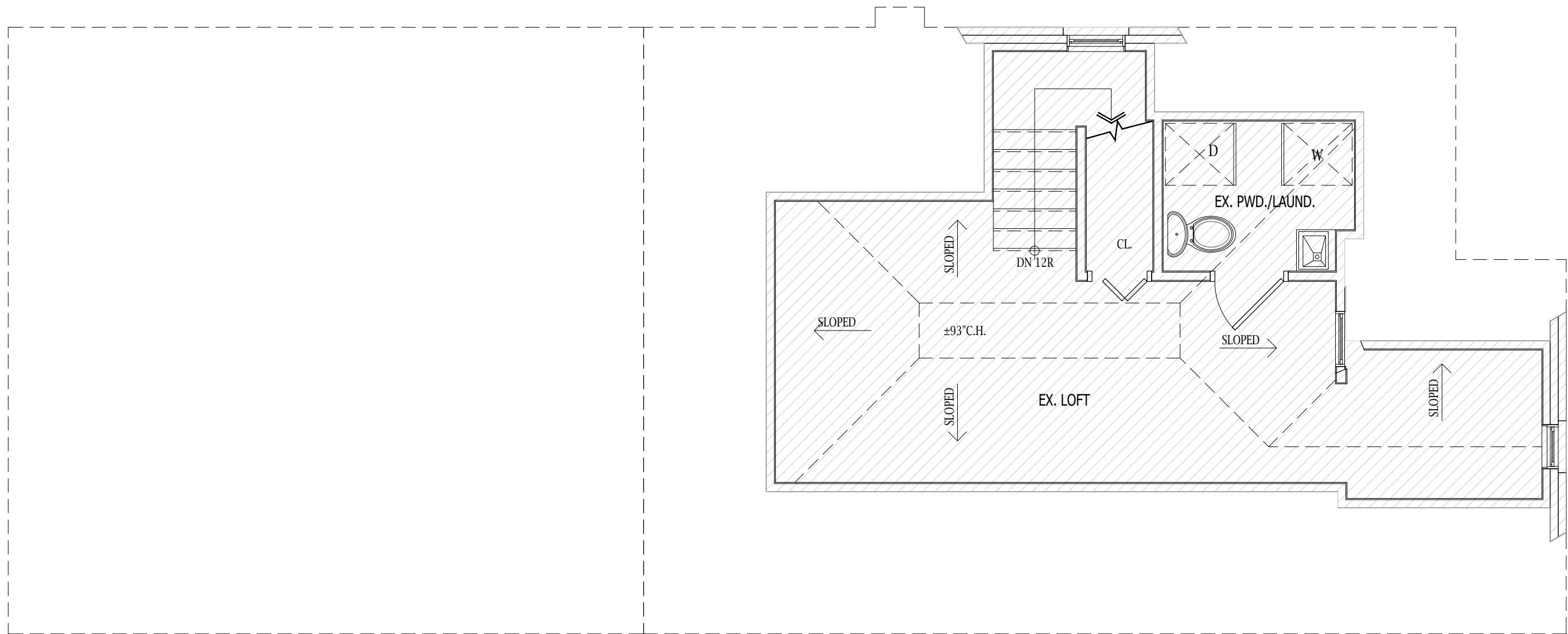
ADDRESS: 27 BLAKE STREET  
CITY: HAMILTON, ONTARIO, L8M 2S4

DRAWING TITLE:  
**PROP. 2ND FLOOR PLAN**

DRAWN: CB  
DATE: 7/30/20  
JOB NO.: 20-069  
SCALE: AS NOTED  
SHEET: A1.05

Ministry of Municipal Affairs and Housing  
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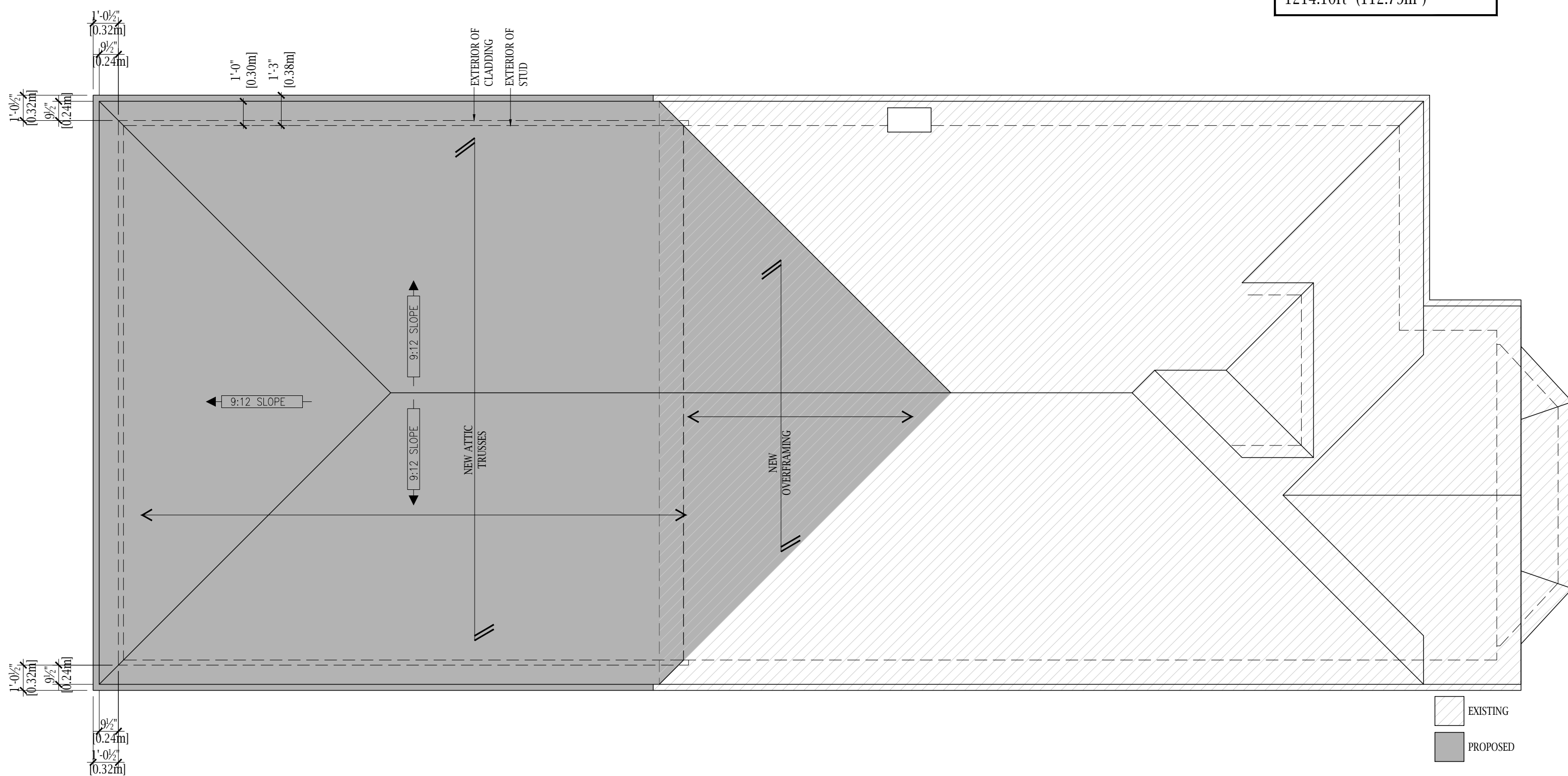
CHRISTINE BROWN BCIN 37240  
MY HOUSE DESIGNS BCIN 113120



1 PROP. 3RD FLOOR PLAN  
A1.06 1/4" = 1'-0"

EXIST. 2ND FLOOR AREA:  
707.56ft<sup>2</sup> (65.73m<sup>2</sup>)  
ADDITIONAL 2ND FLOOR  
AREA: 506.6ft<sup>2</sup> (47.06m<sup>2</sup>)  
PROP NEW 2ND FLOOR AREA:  
1214.10ft<sup>2</sup> (112.79m<sup>2</sup>)

EXISTING  
PROPOSED



1 PROP. ROOF PLAN  
A1.06 1/4" = 1'-0"

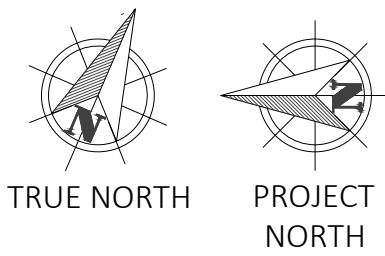
EXISTING  
PROPOSED

Ministry of Municipal  
Affairs and Housing  
QUALIFICATION INFORMATION

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CHRISTINE BROWN 37240 BCIN  
MY HOUSE DESIGNS 113120 BCIN

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REF.	DATE:	DESCRIPTION:

RESIDENTIAL DESIGN  
AND DRAFTING  
SERVICES

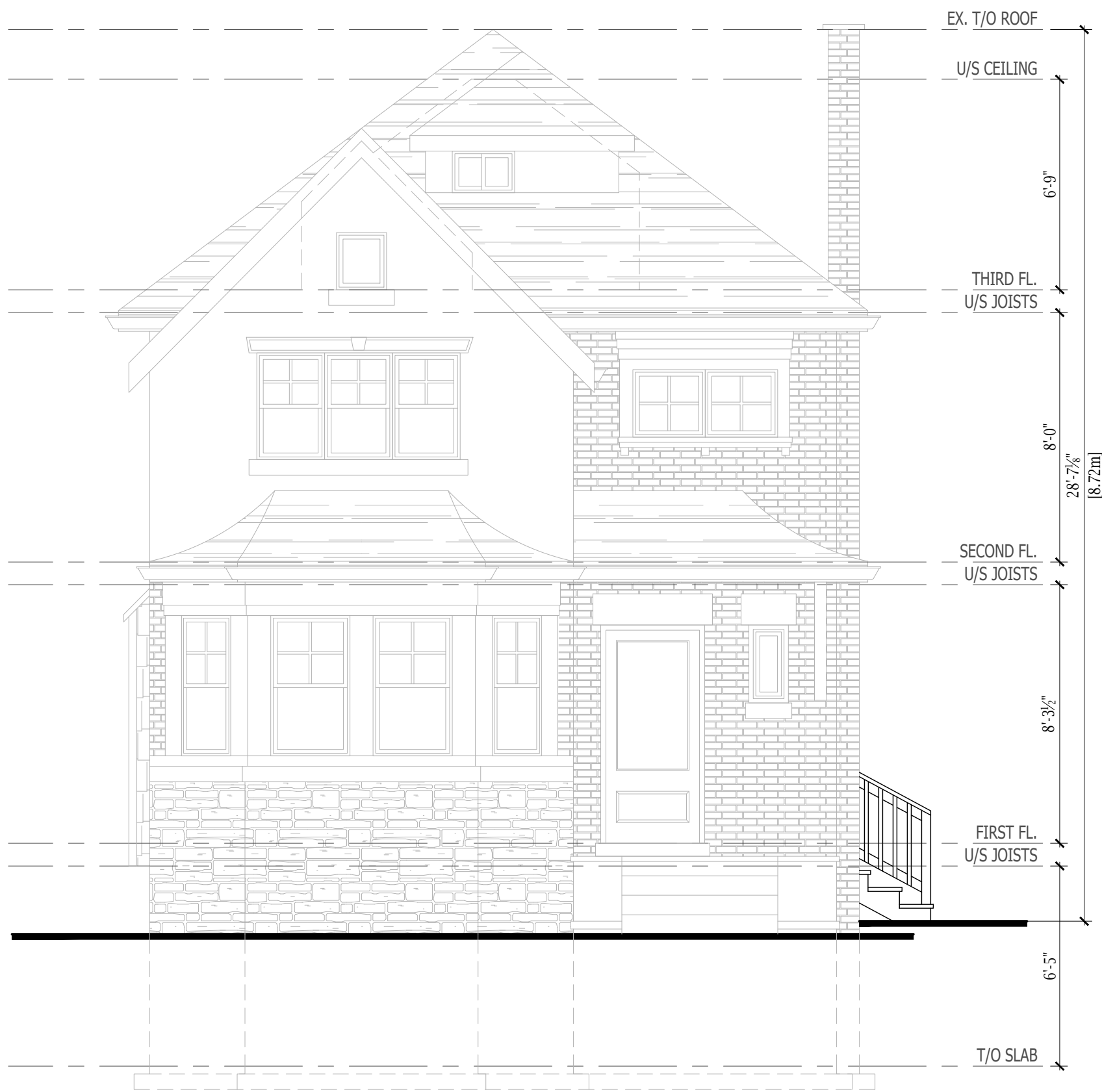
CHRISTINE BROWN  
Architectural Technologist  
905.802.5272  
444 Upper Gage Avenue  
HAMILTON, ON L8V 4H9  
cbrown@friendlycadmonkey.com

CLIENT:  
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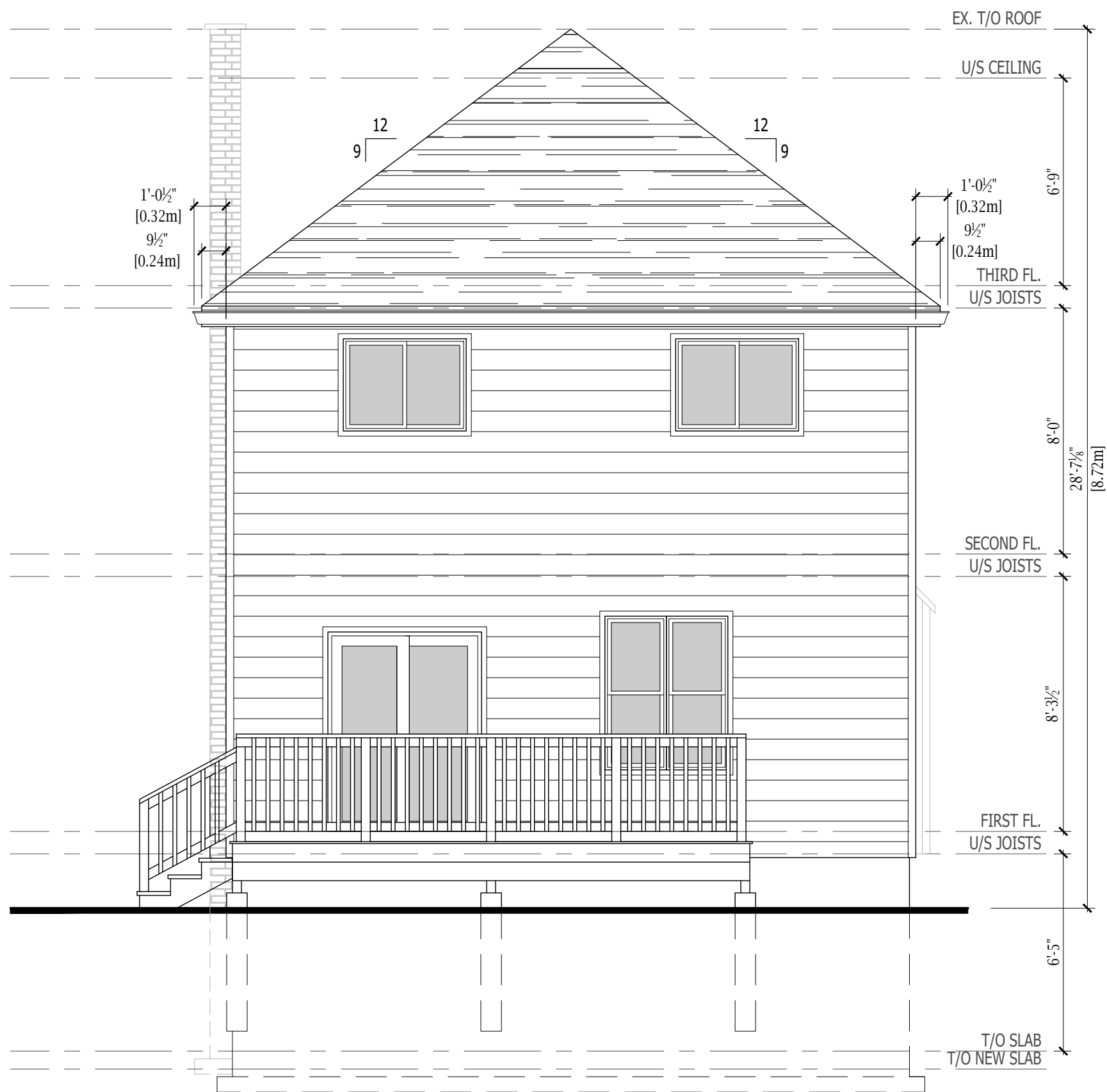
ADDRESS: 27 BLAKE STREET  
CITY: HAMILTON, ONTARIO, L8M 2S4

DRAWING TITLE:  
PROP. 3RD FLOOR &  
ROOF PLAN

DRAWN: CB  
DATE: 7/30/20  
JOB NO.: 20-069  
SCALE: AS NOTED  
SHEET: A1.06



1 FRONT ELEVATION  
A2.01 1/4" = 1'-0"



1 REAR ELEVATION  
A2.01 1/4" = 1'-0"

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CLIENT:  
RENNICK RESIDENCE

ADDRESS: 27 BLAKE STREET  
CITY: HAMILTON, ONTARIO, L8M 2S4

DRAWING TITLE:  
PROP. FRONT & REAR  
ELEVATION

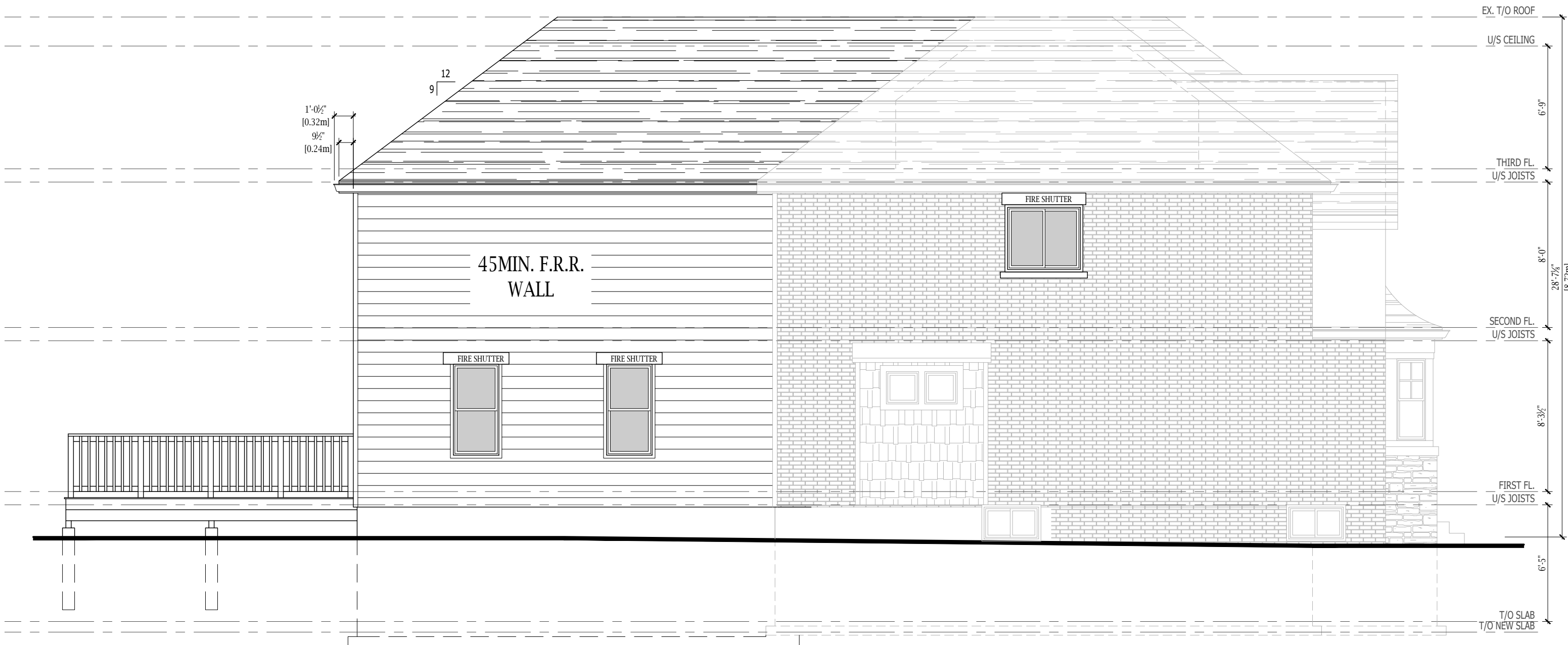
DRAWN: CB  
DATE: 7/30/20  
JOB NO.: 20-069  
SCALE: AS NOTED  
SHEET: A2.01

Ministry of Municipal Affairs and Housing  
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CHRISTINE BROWN 37240 BCIN  
MY HOUSE DESIGNS 113120 BCIN



1 RIGHT SIDE ELEVATION  
A2.02 3/16" = 1'-0"



2 LEFT SIDE ELEVATION  
A2.02 3/16" = 1'-0"

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REF.	DATE	DESCRIPTION:



CLIENT:  
RENNICK RESIDENCE

ADDRESS: 27 BLAKE STREET  
CITY: HAMILTON, ONTARIO, L8M 2S4

DRAWING TITLE:  
PROP. RIGHT & LEFT  
ELEVATION

DRAWN: CB  
DATE: 7/30/20  
JOB NO.:  
SCALE: AS NOTED  
SHEET:  
20-069  
A2.02

Ministry of Municipal Affairs and Housing  
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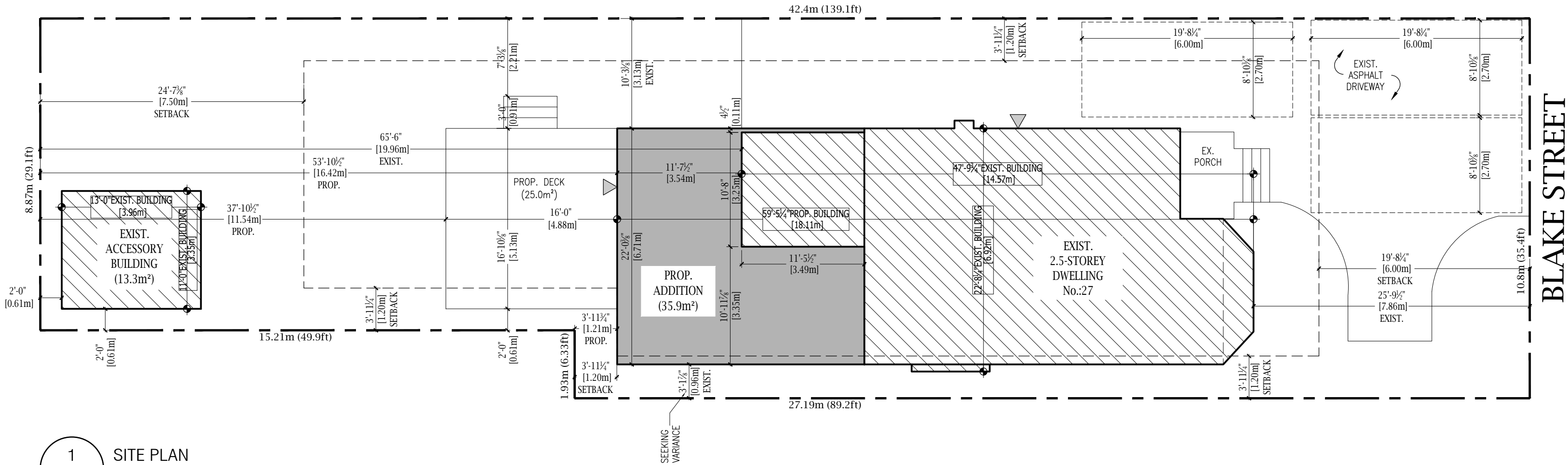
2 SITE STATS

SP1.01 1:100

PROPERTY OWNER/PROJECT ADDRESS		APPLICANT/DESIGNER:	
Paul & Brandy Rennick		Christine Brown, My House Designs	
27 Blake Street		444 Upper Gage Avenue	
Hamilton, Ontario		Hamilton, Ontario	
L8M 2S4		L8V 4H9	
SITE STATISTICS:			
ZONING:		D	
6593 Former Hamilton			
LOT INFORMATION:		%	METRIC IMPERIAL
MIN. LOT AREA AS PER DEFINITION:			360.00 3875.00
EXIST. LOT AREA:			428.58 4613.19
MIN. FRONTAGE AS PER DEFINITION:			12.00 39.37
EXIST. LOT FRONTAGE:			10.80 35.43
EXIST. LOT DEPTH:			42.40 139.11
SETBACK INFORMATION:			
MINIMUM FRONT YARD SETBACK:			6.00 19.69
EXISTING:			7.86 25.79
MINIMUM REAR YARD SETBACK:			7.50 24.61
EXISTING:			19.96 65.49
PROPOSED:			16.42 53.87
PROPOSED (TO DECK):			11.54 37.86
MIN. L. SIDEYARD SETBACK:			1.20 3.94
EXISTING:			0.96 3.15
PROPOSED:			0.96 3.15
PROPOSED (TO DECK):			0.61 2.00
MIN. R. SIDEYARD SETBACK:			1.20 3.94
EXISTING:			3.13 10.27
PROPOSED:			3.13 10.27
PROPOSED (TO DECK):			3.13 10.27
GROSS FLOOR AREA:		%	METRIC IMPERIAL
EXIST. BASEMENT FLOOR AREA:			56.49 608.06
PROP. BASEMENT FLOOR AREA:			40.53 436.26
EXIST. 1ST FLOOR AREA:			79.54 856.13
PROP. ADD'L 1ST FLOOR AREA:			36.27 390.41
EXIST. 2ND FLOOR AREA:			65.73 707.56
PROP. ADD'L 1ST FLOOR AREA:			47.06 506.60
EXIST. 3RD FLOOR AREA:			31.35 337.50
EXISTING GROSS FLOOR AREA:			233.12 2509.25
TOTAL PROP. GROSS FLOOR AREA:			356.98 3842.52
COVERAGE CALCULATIONS:		%	METRIC IMPERIAL
EXIST. 1ST FLOOR AREA:			79.54 856.13
PROP 1ST FLOOR AREA:			115.81 1246.54
EXIST. ACCESSORY BUILDING:			13.29 143.00
EXISTING COVERAGE:		21.66%	92.82 999.13
PROPOSED COVERAGE:		48.68%	208.63 2245.67
HEIGHT CALCULATIONS		%	METRIC IMPERIAL
MAX. ALLOWABLE HEIGHT:			14.00 45.93
EXIST. HEIGHT:			8.72 28.61
PROP. HEIGHT:			8.72 28.61

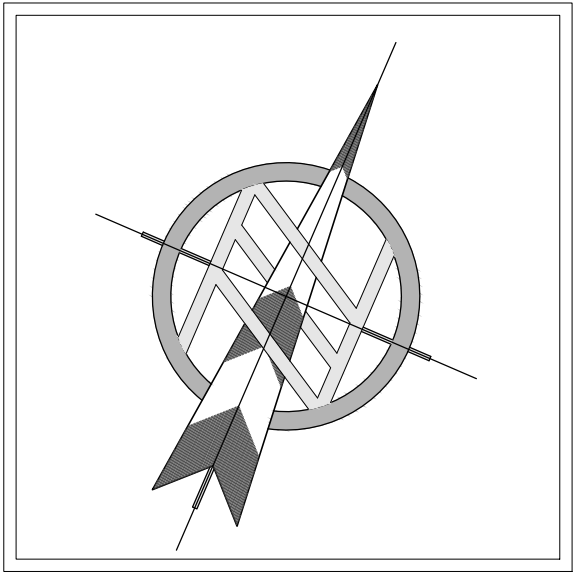
1 SITE PLAN

SP1.01 1:100



BLAKE STREET

SITE PLAN LEGEND:	
	PROPERTY LINE
	BUILDING ENVELOPE
	EXISTING TO BE REMOVED
	PROPOSED SOLID HOARDING
	PROPOSED FRAMED HOARDING
	NEW WATER LINE
	NEW SANITARY LINE
	NEW NATURAL GAS LINE
	NEW BURIED HYDRO VAULT
	NEW SUMP LINE TO GRADE
	CONSTRUCTION ACCESS
	EXISTING GRADE
	PROPOSED FINISHED GRADE
	MAIN ENTRY, FRONT DOOR
	SECONDARY ENTRANCE
	EXISTING BUILDING TO REMAIN
	PROPOSED NEW CONSTRUCTION
	PROPOSED NEW DRIVEWAY
	EXISTING TREE TO REMAIN
	EXISTING TREE TO BE REMOVED
	RAIN WATER LEADERS



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MY HOUSE  
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SERVICES

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DRAWING TITLE:  
PROP. RIGHT & LEFT  
ELEVATION

DRAWN: CB  
DATE: 7/30/20  
JOB NO.: 20-069

SCALE:  
AS NOTED  
SHEET: SP1.01

Ministry of Municipal  
Affairs and Housing  
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CHRISTINE BROWN BCIN 37240

MY HOUSE DESIGNS BCIN 113120