#### **COMMITTEE OF ADJUSTMENT**



City Hall, 5<sup>th</sup> floor, 71 Main Street West, Hamilton, ON L8P 4Y5 Telephone (905) 546-2424, ext. 4221, 3935 Fax (905) 546-4202

E-mail: cofa@hamilton.ca

# NOTICE OF PUBLIC HEARING Minor Variance

### You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
- Applicant/agent on file, or
- Person likely to be interested in this application

APPLICATION NO.: HM/A-20:156

**APPLICANTS:** Christine Brown on behalf of the owner Paul C. Rennick

SUBJECT PROPERTY: Municipal address 27 Blake St., Hamilton

**ZONING BY-LAW:** Zoning By-law 6593, as Amended

**ZONING:** "D" (Urban Protected Residential - One and Two Family

Dwellings) district

**PROPOSAL:** To permit the construction of a 2-storey rear addition to the existing

single-family dwelling notwithstanding that;

- 1. A minimum northerly side yard width of 0.9 m shall be provided for the proposed rear addition instead of the minimum required 1.2 m; and
- 2. A minimum of 4 parking spaces shall be provided (for 16 habitable rooms) for the existing single-family dwelling instead of the minimum required 6 parking spaces; and
- 3. Two parking spaces shall be provided in the front yard whereas the By-Law states that for the purpose of a single-family dwelling only one of the required parking spaces may be located in the front yard; and
- 4. To permit two parking spaces located on the driveway to be obstructed by a third one, whereas the By-Law states that sufficient space additional to required parking space shall be provided and maintained on the same lot on which the parking space is located, in such a manner as to enable each and every parking space to be unobstructed and freely and readily accessible from within the lot, without moving any vehicle on the lot or encroaching on any designated parking or loading space; and
- 5. No manoeuvring space shall be provided for the required parking spaces located in the front yard whereas the By-Law states that only one of the required parking spaces for a single-family dwelling may have manoeuvring off site; and
- 6. A minimum of 48.1 % front yard landscaped area shall be provided whereas the By-Law states that not less than 50% of the gross area of the front yard shall be used for a landscaped area.

### Notes:

Variances # 2, 3, 4 & 5 for parking are required and have been included based on the total number of habitable rooms (existing and proposed) for the existing single-family dwelling.

HM/A-20:156 Page 2

Applicant shall ensure that eaves and gutters do not encroach beyond the property line. If so, applicant shall be required to enter into an encroachment agreement and establish the necessary maintenance easements, which must be properly registered on title with the abutting neighbor

This application will be heard by the Committee as shown below:

DATE: Thursday, September 10th, 2020

TIME: 1:15 p.m.

PLACE: Via video link or call in (see attached sheet for details)

To be streamed at www.hamilton.ca/committeeofadjustment

for viewing purposes only

### **PUBLIC INPUT**

**Written:** If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

**Orally:** If you would like to speak to this item at the hearing you may do so via video link or by calling in. Please see attached page for complete instructions, including deadlines for registering to participate.

### **MORE INFORMATION**

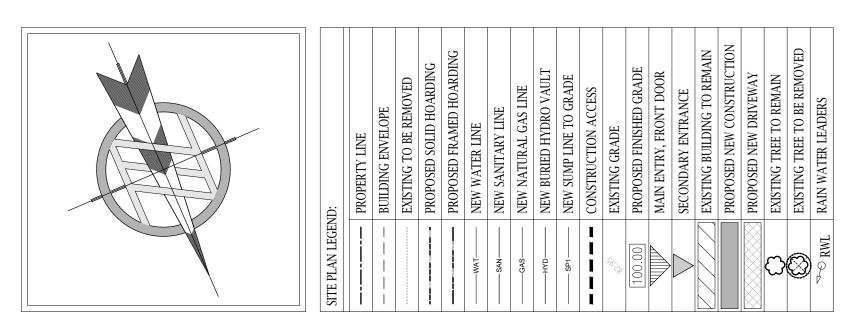
For more information on this matter, including access to drawings illustrating this request:

- Visit www.hamilton.ca/committeeofadjustment
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935
- Email Committee of Adjustment staff at cofa@hamilton.ca

DATED: August 25th, 2020.

Jamila Sheffield, Secretary-Treasurer Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public.



42.4m (139.1ft) 19'-81/4" 19'-81/4" [6.00m] [6.00m] 24'-7¾" - [7.50m] SETBACK STREET 65'-6" EX. PORCH [19.96m]-53'-10½" EXIST. 11'-7½" [3.54m] AZ'-9¾"EXIST. BUILDING ⊢ [16.42m]-[14.5Zm] PROP. DECK PROP. (25.0m<sup>2</sup>)13-0"EXIST. BUILDING BLAKE 37'-10½" [3.96m] 16'-0" 59'-514"PROP, BUILDING [11.54m]-[4.88m] [18.11m] EXIST. PROP. EXIST. ACCESSORY - 11'-5½" [3.49m] 2.5-STOREY BUILDING DWELLING  $(13.3m^2)$ SETBACK ADDITION No.:27 /25<sup>1</sup>-9½"/ [0.61m] $(35.9m^2)$ [7,86m]-3'-11¾" EXIST. 15.21m (49.9ft) PROP. [1.20m] \* SETBACK 27.19m (89.2ft) FRONT YARD AREA: 914.21ft<sup>2</sup> (84.93m<sup>2</sup>) PROP. DRIVEWAY PROPOSED LANDSCÁPING: 440.39ft<sup>2</sup> (40.91m<sup>2</sup>) SITE PLAN =48.2% PROP. LANDSCAPE MINIMUM REQUIRED: 50%

Paul & Brandy Rennick  27 Blake Street	Christine Brown, My Hor 444 Upper Gage Avenue	Christine Brown, My House Designs 444 Upper Gage Avenue	Designs
27 Blake Street	444 Upper Ga	ge Avenue	
	Hamilton. Ontario	tario	
L8M 2S4	L8V 4H9		
SITE STATISTICS: ZONING:		٥	
6593 Former Hamilton			
LOT INFORMATION:	%	METRIC	IMPERIAL
MIN. LOT AREA AS PER DEFINITION:		360.00	3875.00
EXIST. LOT AREA:		428.58	4613.19
MIN. FRONTAGE AS PER DEFINITION:		12.00	39.37
EXIST. LOT FRONTAGE:		10.80	35.43
EXIST. LOT DEPTH:		42.40	139.11
SETBACK INFORMATION:			
MINIMUM FRONT YARD SETBACK:		6.00	19.69
EXISTING:		7.86	25.79
MINIMIM BEAR VARD SETBACK:		7.50	24.61
EXISTING:		19.96	65.49
PROPOSED:		16.42	53.87
PROPOSED (TO DECK):		11.54	37.86
MIN I SIDEVARD SETBACK:		1 20	3 94
EXISTING:		20.0	, c. c.
DPODOSED:		90.0	2.15
PROPOSED (TO DECK):		0.50	3.13
MIN D SIDEVADD SETBACK:		10.0	2 00.2
WIIN. R. SIDETARD SEIBACK:		1.20	3.34
EXISTING: PROPOSED:		3.13	10.27
PROPOSED (TO DECK):		3.13	10.27
		7	72:01
GROSS FLOOR AREA:	%	METRIC	IMPERIAL
EXIST. BASEMENT FLOOR AREA:		56.49	90'809
PROP. BASEMENT FLOOR AREA:		40.53	436.26
EXIST. 1ST FLOOR AREA:		79.54	856.13
PROP. ADD'L 1ST FLOOR AREA:		36.27	390.41
EXIST. 2ND FLOOR AREA:		65.73	707.56
PROP. ADD'L 1ST FLOOR AREA:		47.06	206.60
EXIST. 3RD FLOOR AREA:		31.35	337.50
		,	,
EXISTING GROSS FLOOR AREA:		233.12	2509.25
IOIAL PROP. GROSS FLOOR AREA:		550.90	3044.32
COVERAGE CALCULATIONS:	%	METRIC	IMPERIAL
EXIST. 1ST FLOOR AREA:		79.54	856.13
PROP 1ST FLOOR AREA:		115.81	1246.54
EXIST. ACCESSORY BUILDING:		13.29	143.00
			0
EXISTING COVERAGE:	21.66%	92.82	999.13
PROPOSED COVERAGE:	48.68%	208.63	2245.67
HEIGHT CALCULATIONS	%	METRIC	IMPERIAL
	2	2	
MAX. ALLOWABLE HEIGHT:		14.00	45.93
EXIST. HEIGHT:		8.72	28.61
PROP. HEIGHT:		8.77	7000

4 07.31.20 ISSUED FOR COA 3 07.16.20 ISSUED FOR DESIGN REVIEW

Drawings must <u>NOT</u> be scaled. Contractor must check and verify all dimensions, specifications and drawings on site and report any discrepancies to the designer prior to

proceeding with any of the work.

2 07.11.20 ISSUED FOR PRELIM DESIGNS 1 06.18.20 ISSUED FOR AS-BUILTS

REF. DATE: DESCRIPTION:

MY HOUSE

RESIDENTIAL DESIGN AND DRAFTING SERVICES

CHRISTINE BROWN Architectural Technologist 905.802.5272 444 Upper Gage Avenue HAMILTON, ON L8V 4H9

CLIENT:

BCIN

37240

BCIN

113120

Ministry of Municipal Affairs and Housing

QUALIFICATION INFORMATION

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE

REQUIREMENTS SET OUT IN THE ONT. BUILDING CODE TO BE A

REQUIRED UNLESS DESIGN IS EXEMPT UNDER DIVISION 'C'

DESIGNER.

SECTION 3.2 OF THE O.B.C.

CHRISTINE BROWN

MY HOUSE DESIGNS

RENNICK RESIDENCE

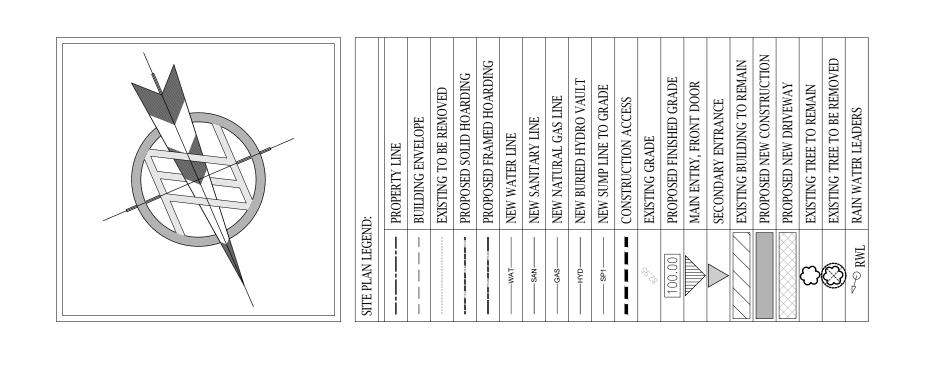
ADDRESS: 27 BLAKE STREET
CITY: HAMILTON, ONTARIO, L8M 2S4

DRAWING TITLE: SITE PLAN & SITE STATS

DRAWN: CB SCALE: DATE: 8/12/20 AS NOTED JOB NO.: SHEET: SP1.01<sub>11</sub> 20-069

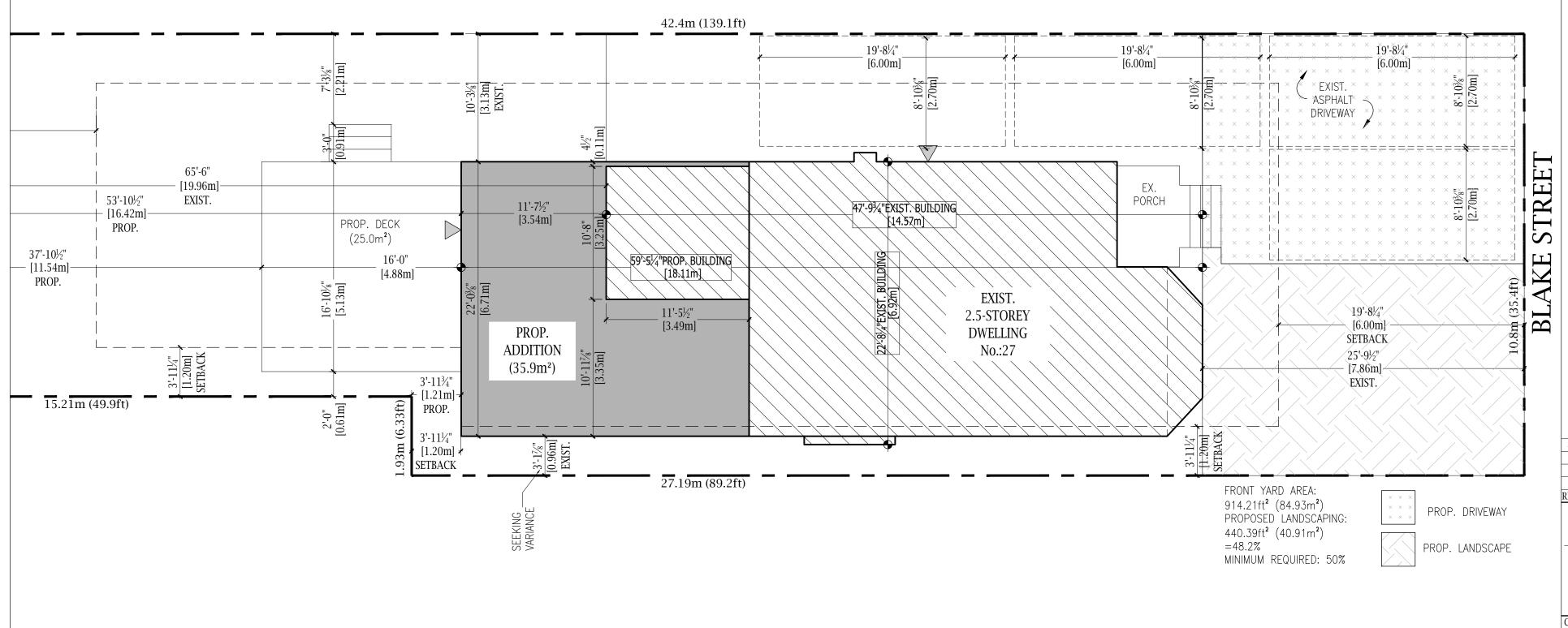
SITE STATS

1:100



SITE PLAN-BLOW-UP

Drawings must <u>NOT</u> be scaled. Contractor must check and verify all dimensions, specifications and drawings on site and report any discrepancies to the designer prior to proceeding with any of the work. 4 07.31.20 ISSUED FOR COA 3 07.16.20 ISSUED FOR DESIGN REVIEW 2 07.11.20 ISSUED FOR PRELIM DESIGNS 1 06.18.20 ISSUED FOR AS-BUILTS REF. DATE: DESCRIPTION: MY HOUSE CHRISTINE BROWN Architectural Technologist 905.802.5272 RESIDENTIAL DESIGN AND DRAFTING SERVICES 444 Upper Gage Avenue HAMILTON, ON L8V 4H9 RENNICK RESIDENCE CITY: HAMILTON, ONTARIO, L8M 2S4 SITE PLAN - BLOW UP SCALE:



CLIENT:

Ministry of Municipal Affairs and Housing

37240

BCIN

113120

REQUIREMENTS SET OUT IN THE ONT. BUILDING CODE TO BE A

REQUIRED UNLESS DESIGN IS EXEMPT UNDER DIVISION 'C' SECTION 3.2 OF THE O.B.C.

CHRISTINE BROWN

MY HOUSE DESIGNS

DESIGNER.

ADDRESS: 27 BLAKE STREET QUALIFICATION INFORMATION

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE

DRAWING TITLE:

DRAWN: CB DATE: 8/12/20 AS NOTED JOB NO.: SHEET: SP1.02<sub>12</sub> 20-069



# Committee of Adjustment

City Hall 5<sup>th</sup> floor 71 Main Street West Hamilton, Ontario L8P 4Y5

Planning and Economic Development Department Planning Division

Phone (905) 546-2424 ext.4221 Fax (905) 546-4202

PLEASE FILL OUT THE FOLLOWING PAGES AND RETURN TO THE CITY OF HAMILTON PLANNING DEPARTMENT.

20.176802

APPL	APPLICATION NO. HM/A. 20:15 () DATE APPLICATION RECEIVED AUG. 4/20						
	PAID DATE APPLICATION DEEMED COMPLETE						
	SECRETARY'S SIGNATURE						
	CITY OF H COMMITTEE OF HAMILTON	ADJUSTMENT					
	The Planning Act						
	Application for Minor \	ariance or for Permission					
under	ndersigned hereby applies to the Commit Section 45 of the <i>Planning Act</i> , R.S.O. 19 oplication, from the Zoning By-law.						
1.	Name of Owner Paul & Brandy Rennick Telephone No.						
2.							
3.	Name of AgentChristine Brown	Telephone No.					
4.							
Note:	Note: Unless otherwise requested all communications will be sent to the agent, if any.						
5.	Names and addresses of any mortgagees, holders of charges or other encumbrances: Brandy Rennick						
	27 Blake Street, Hamilton	Postal Code L8M 2S4					
	Paul Rennick						
	27 Blake Street, Hamilton	Postal Code L8M 2S4					

1.2m side yard for an interior lot
Why it is not possible to comply with the provisions of the By-law?  minimum side yard setbacks requested to be changed because the existing house
is recognized legal non-complying for this property
Legal description of subject lands (registered plan number and lot number or other legal description and where applicable, street and street number):  don't have this information
27 Blake St.
PREVIOUS USE OF PROPERTY
Residential Industrial Commercial
Agricultural Vacant
Other
If Industrial or Commercial, specify use
Has the grading of the subject land been changed by adding earth or other material, i.e. has filling occurred?
Yes No Unknown
Has a gas station been located on the subject land or adjacent lands at any time?  Yes No Unknown
Has there been petroleum or other fuel stored on the subject land or adjacent lands?
Yes No <u>V</u> Unknown
Are there or have there ever been underground storage tanks or buried waste on the subject land or adjacent lands?
Yes No Unknown
Have the lands or adjacent lands ever been used as an agricultural operation where cyanide products may have been used as pesticides and/or sewage sludge was applied to the lands?
Yes No _ <b>V</b> Unknown
Have the lands or adjacent lands ever been used as a weapon firing range?  Yes No Unknown
Is the nearest boundary line of the application within 500 metres (1,640 feet) of the fill area of an operational/non-operational landfill or dump?
Yes No Unknown

9.9	If there are existing or previously existing buildings, are there any building materials remaining on site which are potentially hazardous to public health (eg. asbestos, PCB's)?						
	Yes N	o <u> </u>	own				
9.10	Is there any reason former uses on the Yes N	site or adjacent sites		n contaminated by			
9.11	What information did you use to determine the answers to 9.1 to 9.10 above? the house is at least 100 years old, long standing residential neighbourhood						
9.12	a previous use inver	ntory showing all for	r commercial or if YE mer uses of the subje nject land, is needed.	S to any of 9.2 to 9.10, ct land, or if			
	Is the previous use	nventory attached?	Yes	No			
I acknoremed	liation of contamination of its approval to the	of Hamilton is not re on on the property w	esponsible for the ide hich is the subject of				
	0, 2020		Cierratura H.Zurasta	0			
Date			Signature Property				
			Paul Regaick Print Name of Own				
10.	Dimensions of lands	affected:					
	Frontage	10.8m					
	Depth	42.4m					
	Area	428.58s.m.					
	Width of street	8.5m					
11.	Particulars of all buildings and structures on or proposed for the subject lands: (Specify ground floor area, gross floor area, number of stories, width, length, height, etc.)						
	Existing: exist. 1st fl	. area 79.54s.m.	exist. 2.5 storeys				
	exist. 2nd f	loor area: 65.73s.m	exist. height: 8.72	2m			
	exist. 3rd floor area:	31.35s.m.	exist. basement f	loor area: 56.49s.m.			
	exist. gross floor area	a: 233.12s.m.					
	Proposed: prop. base	ement area: 97.02s.m	. height: no c	hange			
	prop. 1st floor area:	115.81s.m.	exist. 2.5 sto	oreys			
	prop 2nd floor area: 112.80s.m.						
	exist. 3rd floor area	: 31.35s.m.					
12.	Location of all buildings and structures on or proposed for the subject lands; (Specify distance from side, rear and front lot lines)  Existing: front yard: 7.86m, rear yard: 19.96m, L side: 0.96m, R side: 3.13m						

dock roor yard: 11 54	m D side: 2 12m I side: 0.61m
deck real yalu. 11.54	m, R side: 3.13m, L side: 0.61m
Date of acquisition of 2015	f subject lands:
Date of construction 1920's	of all buildings and structures on subject lands:
Existing uses of the s	subject property: single family residential
Cviation of alout	±:
Existing uses of abut & I1 - neighbourhoo	ting properties: single family residential d institutional
Length of time the ex 100+ years	isting uses of the subject property have continued:
	vailable: (check the appropriate space or spaces)
Water <u> </u>	Connected
	Connected
Storm Sewers 🗸	
Present Restricted A 6593 Former Hamiltor	rea By-law (Zoning By-law) provisions applying to the land:
Has the owner previo	ously applied for relief in respect of the subject property?
	Yes No ✓
If the answer is yes, o	describe briefly.
ls the subject propert 53 of the <i>Planning A</i> d	y the subject of a current application for consent under Sectio
	Yes No√
dimensions of the sub size and type of all bo where required by the	ttach to each copy of this application a plan showing the bject lands and of all abutting lands and showing the location, uildings and structures on the subject and abutting lands, and a Committee of Adjustment such plan shall be signed by an or.
dimensions of the sul size and type of all bu	bject lands and of all abutting lands and showing the location uildings and structures on the subject and abutting lands, a see Committee of Adjustment such plan shall be signed by ar

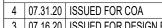
DWG. No.	DRAWING TITLE
A0.01	TITLE PAGE
A0.02	GENERAL NOTES & CONSTRUCTION SCHEDUL
A1.01	EXISTING BASEMENT & 1ST FLOOR PLAN
A1.02	EXISTING 2ND & 3RD FLOOR PLAN
A1.03	PROPOSED BASEMENT PLAN
A1.04	PROPOSED 1ST FLOOR PLAN
A1.05	PROPOSED 2ND FLOOR PLAN
A1.06	PROPOSED 3RD FLOOR PLAN
A2.01	PROPOSED FRONT & REAR ELEVATION
A2.02	PROPOSED RIGHT & LEFT ELEVATION
SP1.01	SITE PLAN & SITE STATS

720 724 730 130 132 134 136 140	Wilma's Place Alternative Education Cent 752 1L 750 756 2 760 133	M		118	115 117 121 125 801	96 90 92 94 96	8 85 87 91 93 95 815 821	114 116 120 122 124	1115
144	141	20 SI	790 t. Charles Adult ducation Centre	798/800			82	V_ 5	839
148	145	22		12	810		Main Street Eas		843 J & A REST HOM
185 191 195 199 201 207	9 11 15 23 23 52	16	35 28 39 30 34 43 36 38 39 41 43 45 47	4shford Boulevard	29 1 Adelaide Ho Elementary S		97	8 19 21 23 25 27 29 31 33	11 15 7
		LOC	ATION N	1AP (N.	T.S.)				

GEN	GENERAL NOTES				
1.	DO NOT SCALE DRAWINGS.				
2.	ALL DRAWINGS ARE THE PROPERTY OF THE ARCHITECTURAL DESIGNER AND SHALL NOT BE REPRODUCED IN WHOLE OR IN PART WITHOUT WRITTEN CONSENT FROM THE SAID DESIGNER.				
3.	CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS BEFORE COMMENCING WORK AND TO REPORT ANY DISCREPANCIES TO THE DESIGNER. FAILURE TO DO SO WILL CAUSE FORFEIT TO ANY CLAIM.				
4.	ALL CONSTRUCTION TO BE ACCORDING TO BEST COMMON PRACTICE AND TO CONFORM TO THE ONTARIO BUILDING CODE OR OTHER CODES HAVING JURISDICTION.				
5.	GENERAL CONTRACTOR SHALL GUARANTEE ALL MATERIAL AND WORKMANSHIP FOR A PERIOD OF (1)ONE YEAR FOLLOWING SUBSTANTIAL COMPLETION. ALL OTHER MANUFACTURER'S GUARANTEES TO APPLY.				
6.	GENERAL CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS EXCEPT FOR THE BUILDING PERMIT, WHICH WILL BE OBTAINED BY THE OWNER OR DESIGNER.				
7.	PROVIDE ADEQUATE TEMPORARY SHORING AS REQUIRED DURING DEMOLITION OF STRUCTURAL WALLS AND COMPONENTS. ANY AND ALL RESULTING DAMAGE SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.				

# Loading Requirements for Hamilton as per OBC 2012 SB-1 Table 1.2

Ground Snow Load (1/50) Driving Rain (1/5) Wind Load L1/50 0.4kPa 160Pa 0.46kPa Roof Live Load 21.0 psf 12.0 psf 40.0 psf Roof Dead Load Floor Live Load



<sup>3 07.16.20</sup> ISSUED FOR DESIGN REVIEW 2 07.11.20 ISSUED FOR PRELIM DESIGNS
1 06.18.20 ISSUED FOR AS-BUILTS
REF. DATE: DESCRIPTION:

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RESIDENTIAL DESIGN AND DRAFTING SERVICES

CHRISTINE BROWN Architectural Technologist 905.802.5272 444 Upper Gage Avenue HAMILTON, ON L8V 4H9

CLIENT:

RENNICK RESIDENCE

Ministry of Municipal Affairs and Housing

QUALIFICATION INFORMATION

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONT. BUILDING CODE TO BE A DESIGNER.

REQUIRED UNLESS DESIGN IS EXEMPT UNDER DIVISION 'C' SECTION 3.2 OF THE O.B.C.

BCIN CHRISTINE BROWN 37240 BCIN MY HOUSE DESIGNS 113120 ADDRESS: 27 BLAKE STREET
CITY: HAMILTON, ONTARIO, L8M 2S4
DRAWING TITLE:

TITLE PAGE

DRAWN: CB SCALE: DATE: 7/30/20 NO SCALE JOB NO.: SHEET: A0.01 20-069

### **Construction Notes**

and foundation wall.

- Bituminous Damproofing with foundation wall drainage as per O.B.C. 9.13 & 9.14 or waterproofing.
- √ Foundation Wall Poured conc. foundation (see plans) 32 Mpa (3626 psi) concrete with drainage layer, on a continuous keyed conc.ftg. Water-Cement ratio = 0.7. Backfill w/ non-frost susceptible soil. Footing in livable areas to provide moisture barrier separation between footing
- Min. 32 MPa 76mm (3") poured concrete  $^{
  ho}$  slab, Min. 100mm (4") gravel fill.
- Min. 32 MPa 76mm (6") poured concrete slab, 150x150 (9"x9") W.W.M. reinforcing. Min. 100mm (4") gravel fill, slope slab down 150mm (6") Min..
- Min. 100mm (4") diameter weeping tile, Min. 5 150mm (6") gravel cover.
- Weep-holes @ max. 600mm (2'-0") o.c. w/  $\langle 6 \rangle$  Cont. flashing extending  $\frac{3}{8}$ " beyond exterior
- Precast concrete steps
- Blanket insul., from u/s of subfloor to 200mm  $\langle 8 \rangle$  (8") above conc. slab, moisture barrier included with blanket. Provide full height blanket insul. on cold storage walls. (See SB-12 Table 2.1.1.2A)
- Masonry Veneer Construction (9) Masonry veneer, Air space, Building Paper, Air barrier, Ext. sheathing, 38x140 (2"x6") studs @ 400mm (16") o.c., Batt insul. (see SB-12 Table 2.1.1.2A) 6 Mil. Poly V.B., 12.7mm (1/2") drywall taped and sanded. Provide weep holes @ 600 (24") o.c. Bottom Course Only & Over Openings. Provide base flashing up Min. 150mm (6") behind 9.20.13.5)
- (10) Frame Wall Construction (Vinyl) Vinyl siding, Building Paper, Air barrier,  $\frac{7}{16}$ " Exterior sheathing, 38x140 (2"x6") studs @ 400 (16") o.c., Batt insulation (see SB-12 Table 2.1.1.2A), 6 Mil. Poly V.B., ½" drywall taped and sanded.
- (100) Frame Wall Construction (Stucco) **Durock System** Stucco Finish Coat, Stucco Base Primer, Fibre Mesh, PUCCS insulation board, Durock Air / moisture barrier,  $\frac{7}{16}$ " Exterior sheathing, 38x140 (2"x6") studs @ 400 (16") o.c., Batt insulation (see SB-12 Table 2.1.1.2A), 6 Mil. Poly V.B., ½" drywall taped and sanded.
- Interior Partition (Typical) 38x89 (2"x4") studs @ 400 (16") o.c. 2x top plate, single bottom plate, triple studs at corners, 2x studs at openings. Basement bearing partitions to be anchored to 100mm (4") high conc or conc block curb with Min. 12.7mm (1/2") diameter anchor bolts @ 2400mm (7'-10") o.c. Max. 6mil poly separation between conc. and wood
- Interior Partitions (Plumbing & HVAC walls)  $\langle 12 \rangle \overline{38x140}$  (2"x6") studs @ 400mm (16") o.c. 2x top plate, single bottom plate, triple studs at corners, 2x studs at openings, 12.7mm (½") drywall - 2 sides taped and sanded. 6mil poly separation between conc. and wood

- √13 All Stairs/Exterior Stairs
  - Max. Rise (7.7/8")200 Min. Run = 210 (8 1/4") = 235 (9 1/4") Min. Tread 25 Nosing =
- (6'-5")= 1950 Min. Headroom Min. Width = 860 (2'-10'')
- For Curved Stairs Min. Run = 150 (5 7/8") Min. Average Run = 200 (77/8")
- Sub Floor/Floor joists Engineered Floors
- Finished floor on 22.2mm (7/8") Tongue and groove O.S.B. sub floor on engineered floor joists. (see floor plans for size, spacing and type).
- Conventional Framing Finished floor on 22.2mm (7/8") tongue and groove O.S.B. sub floor on wood floor joists (see floor plans for size, spacing and type). Provide solid blocking @ 1200mm (3'-11") o.c. Max. below walls running parallel to joists. refer to 9.23.9.4. All subfloors to be glued and nailed.
- Guard/Handrail 9.8.7.4 All quards secured in conformance to obc standards.
- = 865mm (2'-10") Rail @ Int. Landing Rail @ Int. Stair = 865mm (2'-10") Rail @ Ext. Landing (Greater than 1800 [5'-11"] above fin. grade) = 1070mm (3'-6") = 865mm (2'-10") Rail @ Ext. Landing Rail @ Ext. Stair = 865mm (2'-10") Wood/Metal Pickets MAX. 100mm (4") between
- Note: For Guards no member, attachment or opening located between 100mm (4") & 865mm (2'-10") above surface will facilitate climbing.
- 16 Non-combustible insulation (see SB-12 Table 2.1.1.2A), 6 Mil. Poly V.B., (warm side), 12.7mm (1/2") High Density Board. Taped, sanded & primed. Min. (RSI 3.52 (R20) above inner surface of exterior walls.
- unit, the hatch may be reduced to 0.32 m<sup>2</sup> in area with no dimension less than 545 mm.  $(21\frac{1}{2})$ "). or Min dimension 500mm x 700mm. Minimum (RSI 3.52 (R20) above inner surface for insulation
- Bas-proof walls and ceiling between house and garage, 12.7mm  $(\frac{1}{2})$  Gypsum board (taped, caulked, sanded and primed), 11.1mm ( $\frac{f}{16}$ ") sheathing on habitable walls, 6 Mil poly V.B. on warm side, Batt insulation in walls (see SB-12 Table 2.1.1.2A), Foam insulation in floor (see SB-12 Table 2.1.1.2A),.
- (19) **12.7mm (½") gyp. board, taped & sanded** ceil. Use  $\frac{1}{2}$ " density board for floor joists greater than 16" o.c. spacing.
- Provide a supplement exhaust air intake in each Kitchen, Bathroom, Water Closet, and Laundry room in accordance with O.B.C. 9.32.3.5.
- $\langle 21 \rangle$  210# Asphalt Shingles on 9.5mm (3/8") plywood or 11.1mm (7/16") O.S.B., c/w "H" clips roof framing as per plan.
- $\langle 22 \rangle$  Provide Ice and Watershield eaves protection to extend 760mm (2'-6") beyond interior face of wall & 910mm (3'-0") Min. from eaves.
- Provide roof vents equally spaced on either side of the roof, equal to 1:300 of ceiling area with a Min. 50% at eaves
- ⟨24⟩ Maintain ventilation as per 9.19.1. OBC

- (25) Pre-finished Vinyl Soffit
- $\langle 26 \rangle$  38x140 (2"x6") wood fascia, Aluminum clad.
- Pre-finished alum. eaves trough and rainwater leader.
- Prefinished Metal Flashing or G.I. Metal 28 Flashing
- (29) EBF Limiting Distance
- (30) Reinforcement shall be installed to permit the future installation of a bar on a wall adiacent to
  - (a) Water closet 3.8.3.8.(1)(d) (L-shaped)
- Reinforcement shall be installed to permit the future installation of a bar on a wall adjacent to
  - (a) Water closet 3.8.3.8.(1)(d) (Angled)
- (32) Ceramic tile walls, and ceiling in shower c/w preformed shower base or Mosaic Floor. Reinforcement shall be installed to permit the future installation of a bar located on the wall opposite the entrance (b) Shower or bath 3.8.3.13.(1)(f)
- Ceramic tile walls to ceiling in tub alcoves with shower heads or 18" in height in tub alcoves without shower heads. Reinforcement shall be installed to permit the future installation of a bar located on the wall oposite the entrance (b) Shower or bath 3.8.3.13.(1)(f)
- 45 mm thick solid core wood door. 20 min Fire Rated door w/ self closure (9.10.13.2 & 9.10.13.3)
- $\langle \overline{35} \rangle$  6 panel door w/ weather stripping and self closure (9.10.13.15)
- Provide dryer vent. (9.32.1.1 (5)). Install a dryer box in any finished laundry rooms, 4" box for ext. walls and 6" type for int. walls. Boxes on ext. walls to be directly vented to outside.
- Provide chimney hood over stove & exhaust to exterior OBC 9.32.3.5
- Provide 100mm (4") dia. P.V.C. pipe vent with insect screen & louvre. (1 vent per 50 sq.ft.)
- $\langle 39 \rangle$  PVC Type panel to be painted as specified
- 559x178 (22"x7") Cont. conc. footing for Walkouts. Min. Soil bearing capacity to be 75 KPa
- 500x150 (20"x6") Continuous conc. footing. Min. Soil bearing capacity to be 75 KPa
- Brick soldier course, with or without Keystone and/or Springstones, 12.7mm (½") projection Max. (typical
- 43 Brick soldier course and Rowlock, with or without Keystone and/or Springstones, 12.7mm (½") projection Max. (typical.)
- Brick Arch with or without Keystone and/or Springers, 12.7mm (½") projection Max. (typical).
- 45 Brick Quoins, 12.7mm (1/2") projection Max.
- $\langle 46 \rangle$  Aluminum clad wood trim (size to be specif'd) refer to elevations.
- Wood trim (size to be specified) refer to elevations.
- Pre-Cast concrete sill.
- 49 Brick sill.
- (50) Poured concrete sill.

# General Notes Footings

All footings to rest on undisturbed soil, rock or compacted granular fill. Step footings: Horizontal step = 600mm (23.5/8") Min. Vertical step = 600mm

Windows (General) All windows, patio doors and basement windows are to have Low E glass

### Bedroom Windows

At least one window per floor to have an unobstructed open portion having a min. area of 0.35m2 (3.8 sq.ft.) with no dimension less than 380mm (15") and a max. sill height of 1000mm (3'-3") above floor.

## Linen closet(s)

4 shelves 350mm (1'-2") wide unless otherwise specified.

### Lumber & Framing

### All lumber to be SPF #2 unless otherwise noted

Wood framing members that are not pressure treated and are in contact with concrete that is less than 150mm (6") above ground or slab, provide 6 mil Polyethylene film or No. 50 (45lb) roll roofing dampproofing between wood and concrete.

Built up roof framing over approved truss systems to be 38x89 (2"x4") No. 2 Spr. rafters @ 600mm (24") o.c. with vertical supports at each truss intersection. Note: vertical supports longers than 1820mm (6'-0") shall be laterally braced.

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4 07.31.20 ISSUED FOR COA 3 07.16.20 ISSUED FOR DESIGN REVIEW

2 07.11.20 ISSUED FOR PRELIM DESIGNS

1 | 06.18.20 | ISSUED FOR AS-BUILTS REF. DATE: DESCRIPTION:



CHRISTINE BROWN 444 Upper Gage Avenue HAMILTON, ON L8V 4H9

CLIENT:

RENNICK RESIDENCE

Ministry of Municipal Affairs and Housing **QUALIFICATION INFORMATION** THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR

THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONT. BUILDING CODE TO BE A REQUIRED UNLESS DESIGN IS EXEMPT UNDER DIVISION 'C'

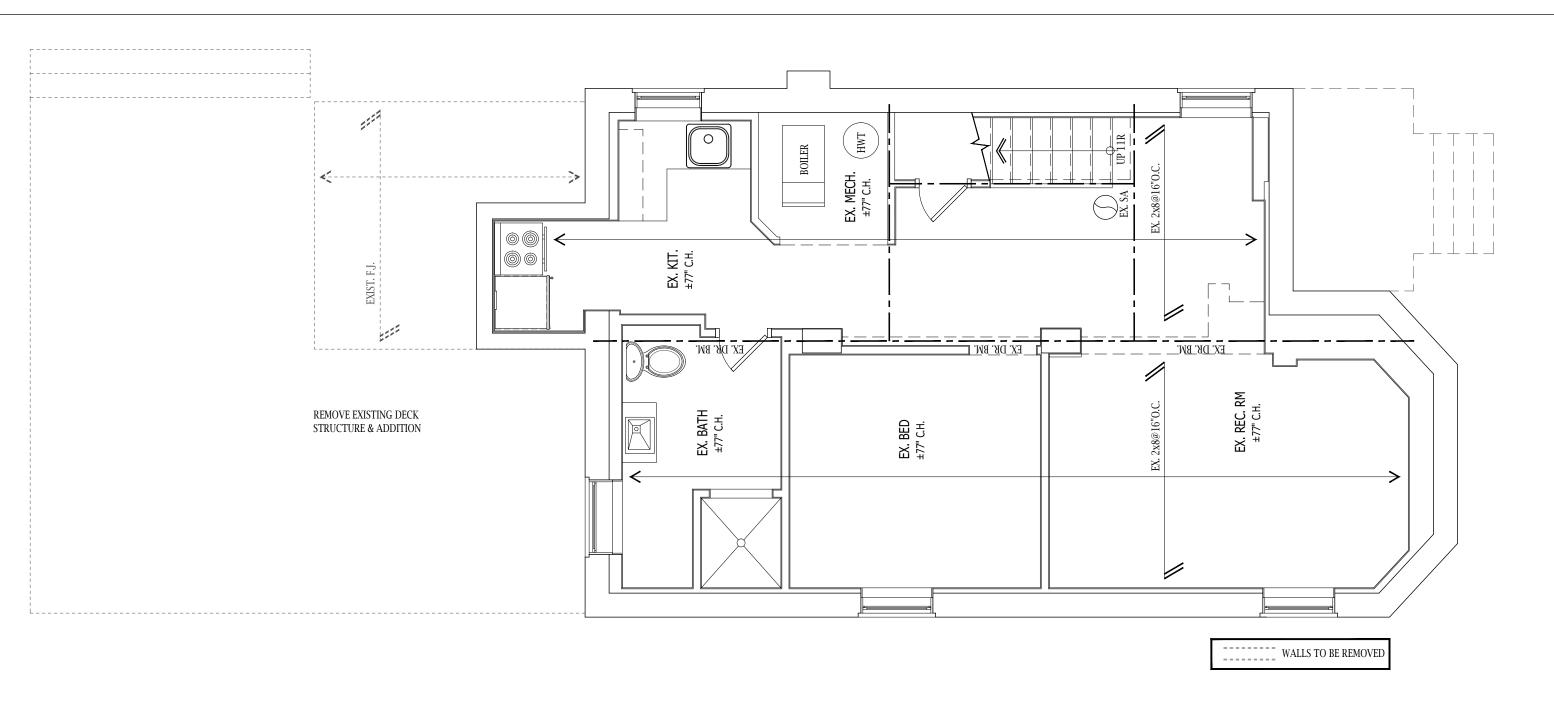
SECTION 3.2 OF THE O.B.C. CHRISTINE BROWN 37240 BCIN MY HOUSE DESIGNS 113120

ADDRESS: 27 BLAKE STREET CITY: HAMILTON, ONTARIO, L8M 2S4

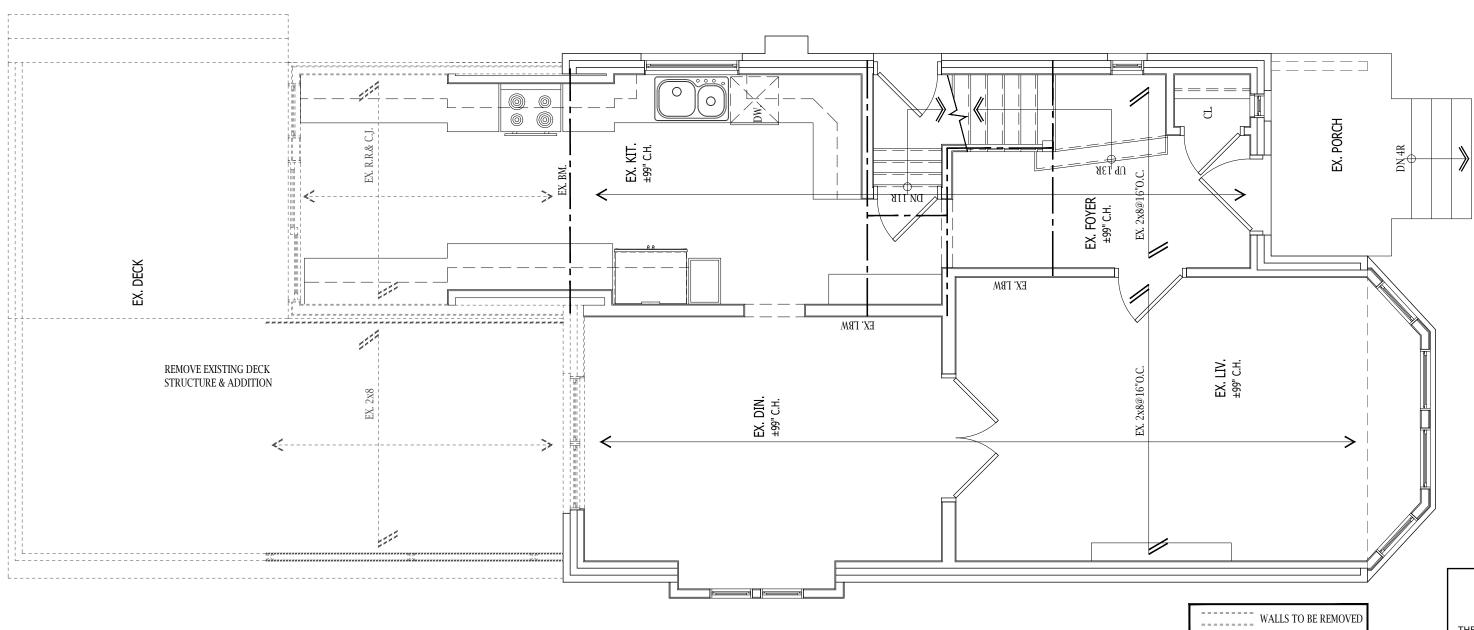
DRAWING TITLE: GENERAL NOTES

DRAWN: CB SCALE: DATE: 7/30/20 NO SCALE OB NO.: SHEET

A0.02 20-069



EXIST. BASEMENT PLAN 1/4" = 1'-0"

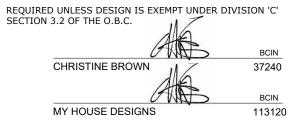


EXIST. 1ST FLOOR PLAN

Ministry of Municipal Affairs and Housing

QUALIFICATION INFORMATION

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TRUE NORTH

**PROJECT** NORTH

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1 06.18.20 ISSUED FOR AS-BUILTS

REF. DATE: DESCRIPTION:



RESIDENTIAL DESIGN AND DRAFTING SERVICES

CHRISTINE BROWN 444 Upper Gage Avenue HAMILTON, ON L8V 4H9

CLIENT:

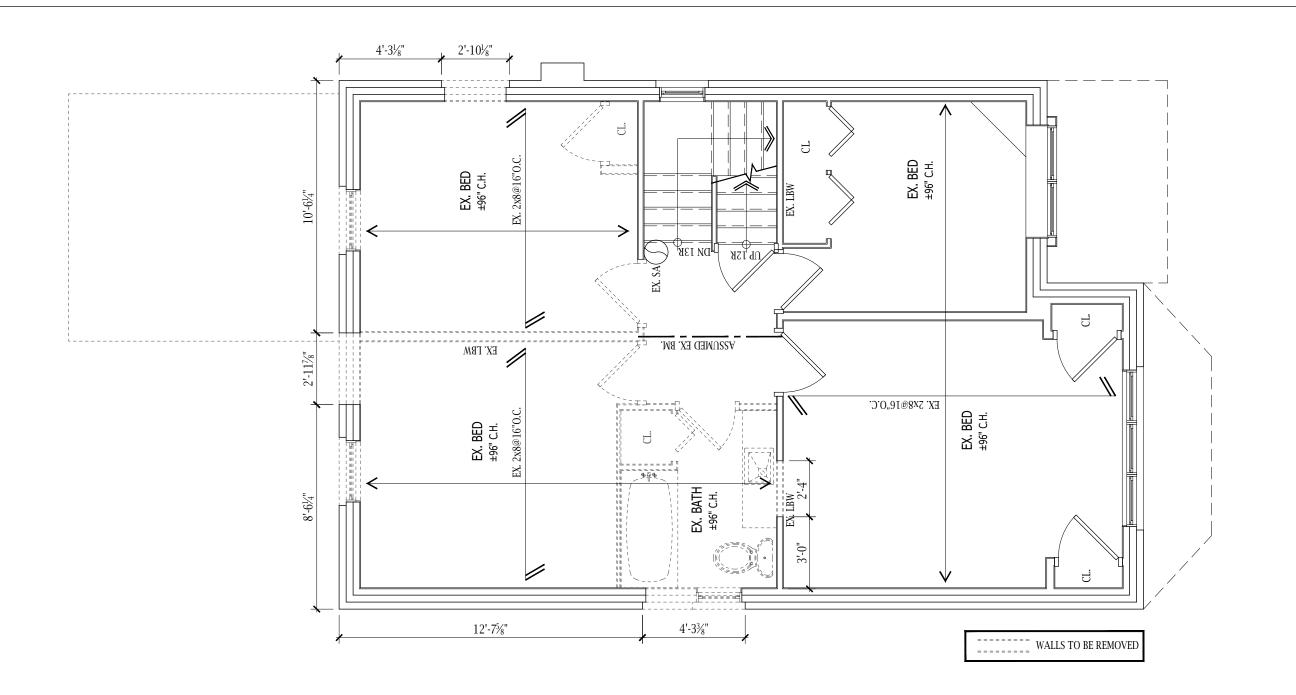
RENNICK RESIDENCE

ADDRESS: 27 BLAKE STREET
CITY: HAMILTON, ONTARIO, L8M 2S4

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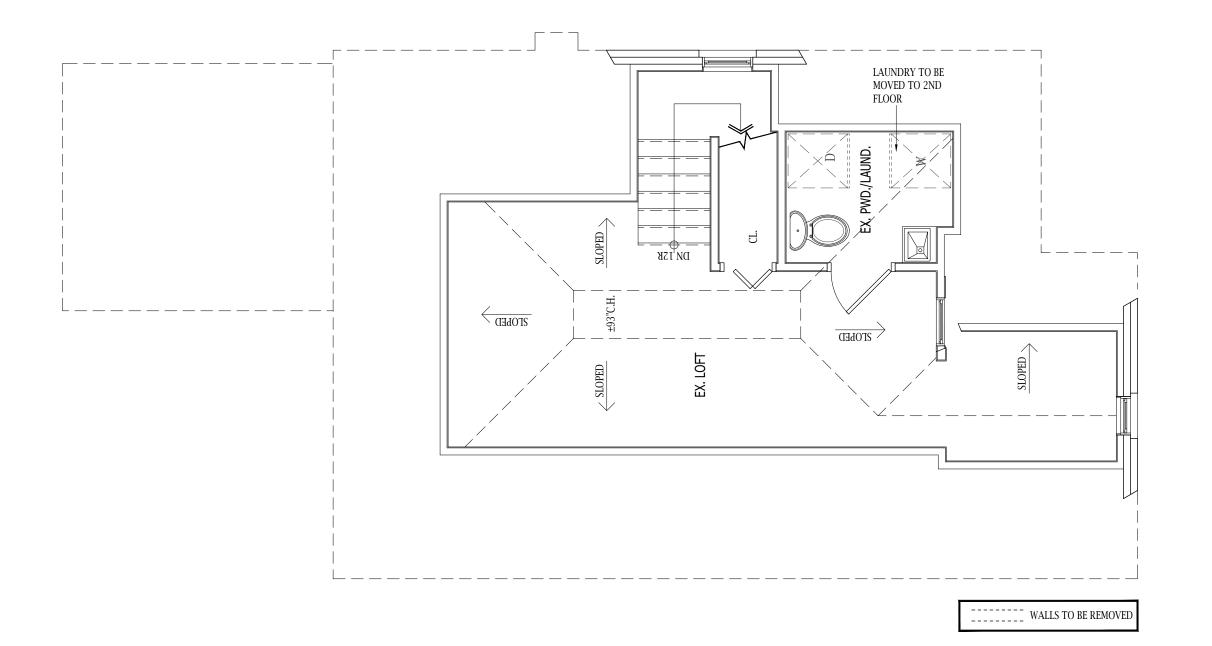
EXIST. BASEMENT & 1ST FLOOR PLAN

DRAWN: CB SCALE: DATE: 7/30/20 AS NOTED JOB NO.: SHEET: 20-069



EXIST. 2ND FLOOR PLAN

1/4" = 1'-0"



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REQUIRED UNLESS DESIGN IS EXEMPT UNDER DIVISION 'C' SECTION 3.2 OF THE O.B.C. CHRISTINE BROWN

37240 BCIN MY HOUSE DESIGNS 113120

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CHRISTINE BROWN 444 Upper Gage Avenue HAMILTON, ON L8V 4H9

CLIENT:

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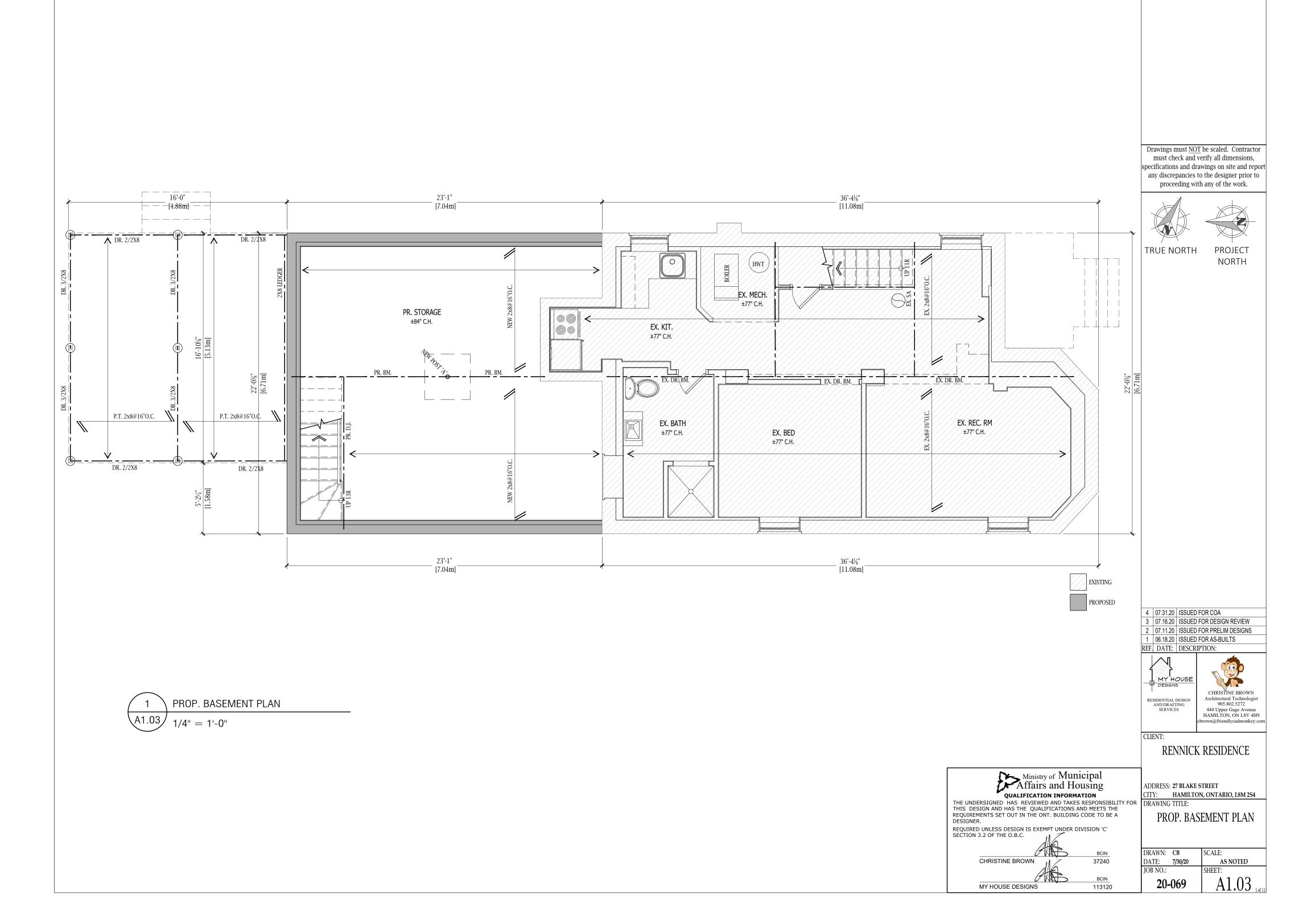
ADDRESS: 27 BLAKE STREET
CITY: HAMILTON, ONTARIO, L8M 2S4

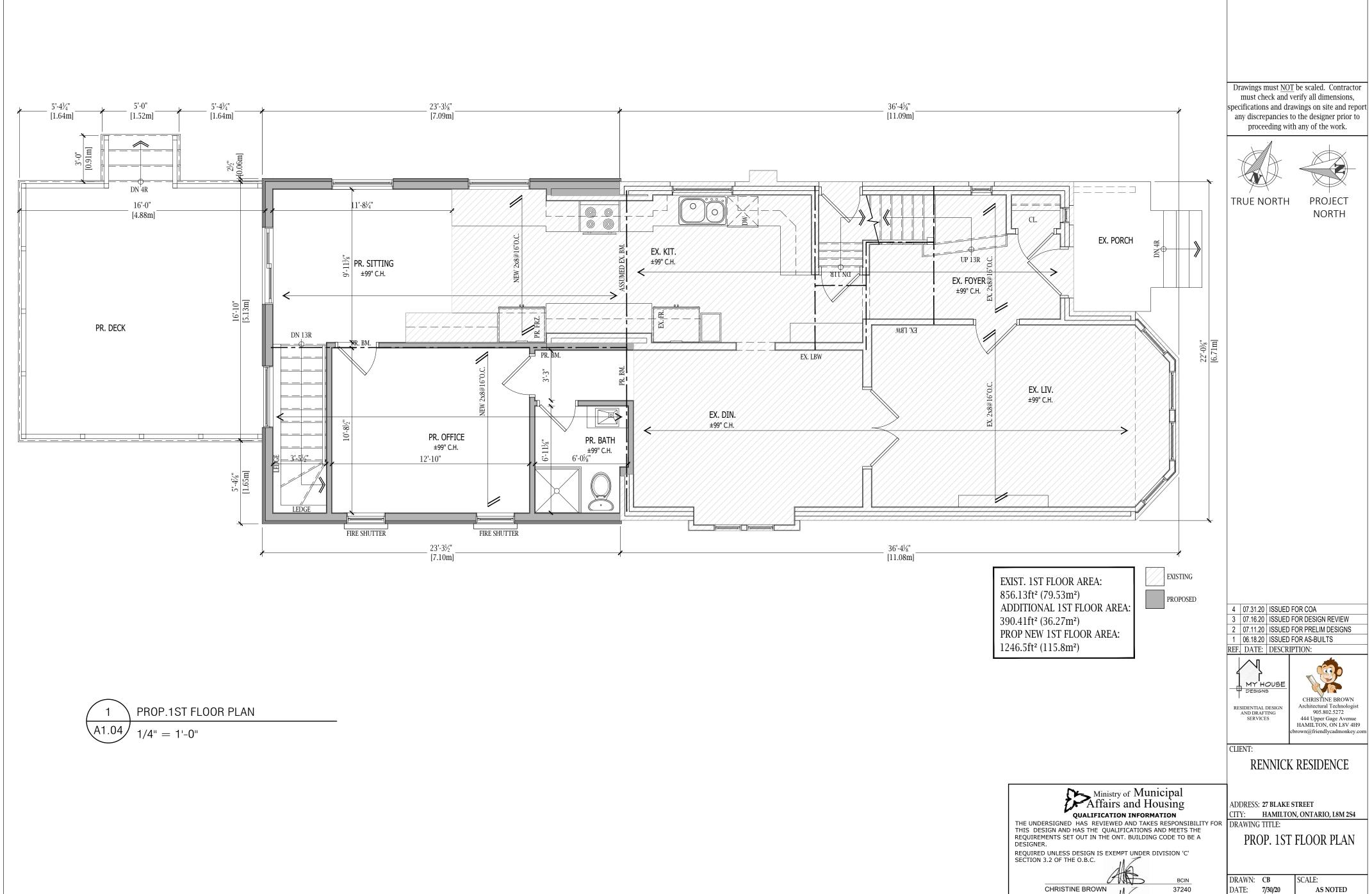
DRAWING TITLE:

EXIST. 2ND & 3RD FLOOR PLAN

DRAWN: CB SCALE: DATE: 7/30/20 AS NOTED JOB NO.: SHEET: 20-069

EXIST. 3RD FLOOR PLAN





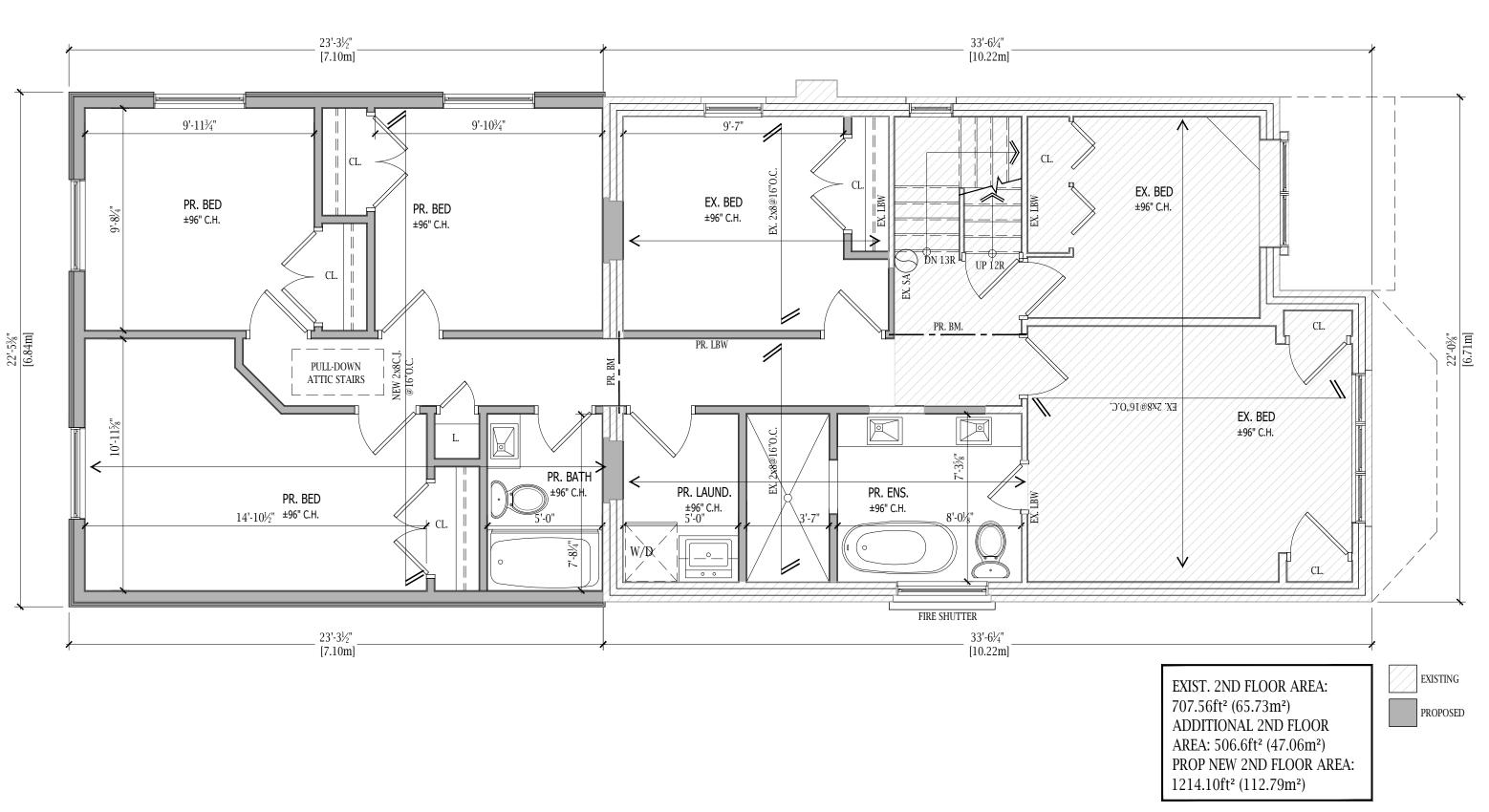
DATE: 7/30/20 AS NOTED JOB NO.: SHEET:

20-069

BCIN

113120

MY HOUSE DESIGNS



REF. DATE: DESCRIPTION: MY HOUSE DESIGNS

CHRISTINE BROWN Architectural Technologist 905.802.5272 RESIDENTIAL DESIGN AND DRAFTING SERVICES

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TRUE NORTH

PROJECT

NORTH

444 Upper Gage Avenue HAMILTON, ON L8V 4H9

CLIENT:

RENNICK RESIDENCE

ADDRESS: 27 BLAKE STREET
CITY: HAMILTON, ONTARIO, L8M 2S4 DRAWING TITLE:

PROP. 2ND FLOOR PLAN

DRAWN: CB SCALE: DATE: 7/30/20 AS NOTED JOB NO.: SHEET: 20-069

Ministry of Municipal Affairs and Housing

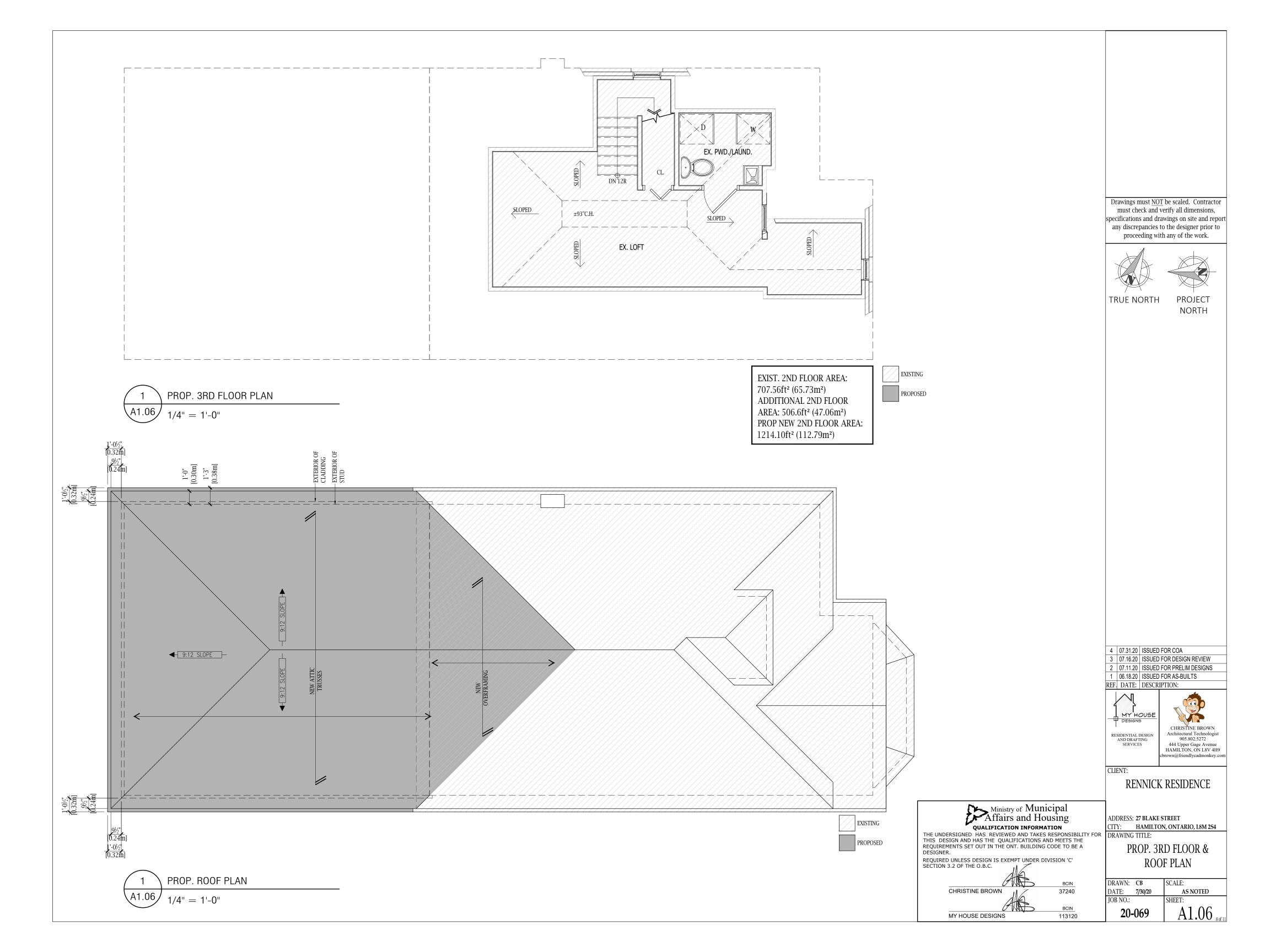
QUALIFICATION INFORMATION

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PROP. 2ND FLOOR PLAN 1/4" = 1'-0"





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MY HOUSE DESIGNS

RESIDENTIAL DESIGN AND DRAFTING SERVICES

CHRISTINE BROWN 444 Upper Gage Avenue HAMILTON, ON L8V 4H9

CLIENT:

37240

BCIN

113120

DESIGNER.

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MY HOUSE DESIGNS

RENNICK RESIDENCE

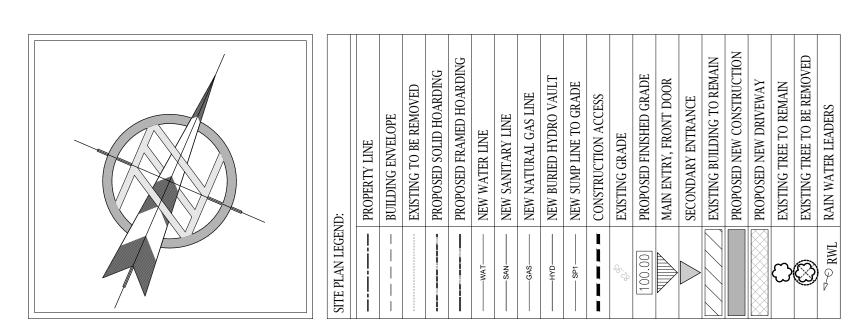
ADDRESS: 27 BLAKE STREET QUALIFICATION INFORMATION

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONT. BUILDING CODE TO BE A CITY: HAMILTON, ONTARIO, L8M 2S4

DRAWING TITLE: PROP. FRONT & REAR **ELEVATION** 

DRAWN: CB SCALE: DATE: 7/30/20 AS NOTED JOB NO.: SHEET: A2.01 20-069





42.4m (139.1ft) 19'-81/4" 19'-81/4" [6.00m][6.00m]8'-10%" [2.70m] EXIST. **ASPHALT** DRIVEWAY [7.50m] STREE SETBACK 65'-6" EX. PORCH [19.96m]-8'-10%" [2.70m] 53'-10½" EXIST. 11'-7½" [3.54m] AZ'-9¾"EXIST. BUILDING - [16.42m] [14.57m] PROP. DECK PROP. (25.0m<sup>2</sup>)13-0"EXIST. BUILDING BLAKE 37'-10½" 59-514"PROP, BUILDING [3.96m] 16'-0" [11.54m] [4.88m]<u>[18.11m]</u> PROP. EXIST. EXIST. ACCESSORY \_ 11'-5½" [3.49m] 2.5-STOREY BUILDING [6.00m] -**DWELLING**  $(13.3m^2)$ SETBACK ADDITION No.:27 25'-9½"  $(35.9m^2)$ [7.86m]-3'-11¾" EXIST. [1.21m]15.21m (49.9ft) PROP. 2'-0" [0.61m] 2'-0" [0.61m] [1.20m] SETBACK 27.19m (89.2ft) SITE PLAN

IMPERIAL IMPERIAL MPERIAL IMPERIAL 3875.00 4613.19 39.37 35.43 139.11 2509.25 3842.52 608.06 436.26 856.13 390.41 707.56 506.60 2245.67 143.00 19.69 25.79 24.61 65.49 53.87 3.94 3.15 3.00 3.94 10.27 10.27 45.93 28.61 28.61 Brown, My House Designs r Gage Avenue 360.00 428.58 12.00 10.80 42.40 233.12 356.98 92.82 56.49 40.53 79.54 36.27 65.73 47.06 6.00 7.86 7.50 19.96 16.42 11.54 11.20 0.96 0.96 0.96 3.13 3.13 79.54 13.29 8.72 8.72 APPLICANT/DESIGNER: Ω Christine E 444 Upper Hamilton, 21.66% L8V 4H9 % PROPERTY OWNER/PROJECT ADDRESS . HEIGHT:

4 07.31.20 ISSUED FOR COA 3 07.16.20 ISSUED FOR DESIGN REVIEW 2 07.11.20 ISSUED FOR PRELIM DESIGNS 1 06.18.20 ISSUED FOR AS-BUILTS REF. DATE: DESCRIPTION:

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MY HOUSE

RESIDENTIAL DESIGN AND DRAFTING SERVICES

CHRISTINE BROWN Architectural Technologist 905.802.5272 444 Upper Gage Avenue HAMILTON, ON L8V 4H9

CLIENT:

RENNICK RESIDENCE

ADDRESS: 27 BLAKE STREET CITY: HAMILTON, ONTARIO, L8M 2S4

DRAWING TITLE: PROP. RIGHT & LEFT

**ELEVATION** 

DRAWN: CB SCALE: DATE: 7/30/20 AS NOTED OB NO.: SHEET: SP1.01<sub>1</sub> 20-069

2 SITE STATS 1:100

MIN. LOT AREA AS PER DEFINITION:
EXIST. LOT AREA:
MIN. FRONTAGE AS PER DEFINITION:
EXIST. LOT FRONTAGE:
EXIST. LOT DEPTH: MINIMUM FRONT YARD SETBACK: TOTAL PROP. GROSS FLOOR AREA: MINIMUM REAR YARD SETBACK: EXIST. 1ST FLOOR AREA:
PROP. ADD'L 1ST FLOOR AREA:
EXIST. 2ND FLOOR AREA: PROP. BASEMENT FLOOR AREA PROP. ADD'L 1ST FLOOR AREA: EXIST. 3RD FLOOR AREA: PROPOSED (TO DECK):
MIN. L. SIDEYARD SETBACK:
EXISTING: **EXISTING GROSS FLOOR AREA** EXIST. ACCESSORY BUILDING: MIN. R. SIDEYARD SETBACK:
EXISTING: COVERAGE CALCULATIONS: MAX. ALLOWABLE HEIGHT: EXIST. HEIGHT: SETBACK INFORMATION: EXIST. 1ST FLOOR AREA: PROP 1ST FLOOR AREA: Paul & Brandy Rennick
27 Blake Street
Hamilton, Ontario
L8M 2S4 PROPOSED: PROPOSED (TO DECK): HEIGHT CALCULATIONS PROPOSED COVERAGE: 6593 Former Hamilton PROPOSED (TO DECK): GROSS FLOOR AREA: LOT INFORMATION: SITE STATISTICS: ZONING: EXISTING: PROPOSED:

DESIGNER.

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