



Hamilton

COMMITTEE OF ADJUSTMENT

City Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5
Telephone (905) 546-2424, ext. 4221, 3935 Fax (905) 546-4202
E-mail: cofa@hamilton.ca

NOTICE OF PUBLIC HEARING
Minor Variance

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
- Applicant/agent on file, or
- Person likely to be interested in this application

APPLICATION NO.: HM/A-20:171

APPLICANTS: Owner Anderson Ruysam

SUBJECT PROPERTY: Municipal address **590 Main St. E., Hamilton**

ZONING BY-LAW: Zoning By-law 6593, as Amended

ZONING: H (Community Shopping and Commercial) district

PROPOSAL: To permit the conversion of an existing multiple dwelling from four (4) to six (6) dwelling units under Section 19, notwithstanding:

1. The minimum radial separation distance shall be 33 metres instead of 180 metres between converted buildings in the H District.

NOTES:

1. The H District conversion policies in Section 19(3) allow for the conversion of the entire building to residential units without requirements for parking subject to the minimum separation distance requirements being maintained. The requested variance is required for the radial separation distance and does not apply to parking requirements.
2. The subject property is within the 180m radial separation distance of 600 Main Street East, located 33m to the east. A second converted dwelling is also located at 630 Main Street East, 115m east of the subject property.
3. The building located on the subject property was constructed in 1940 and is recognized as an existing multiple dwelling.
4. The variance has been written as requested by the applicant.

This application will be heard by the Committee as shown below:

DATE: Thursday, October 1st, 2020
TIME: 2:30 p.m.
PLACE: Via video link or call in (see attached sheet for details)
 To be streamed at www.hamilton.ca/committeeofadjustment
 for viewing purposes only

PUBLIC INPUT

Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

Orally: If you would like to speak to this item at the hearing you may do so via video link or by calling in. Please see attached page for complete instructions, including deadlines for registering to participate.

MORE INFORMATION

For more information on this matter, including access to drawings illustrating this request:

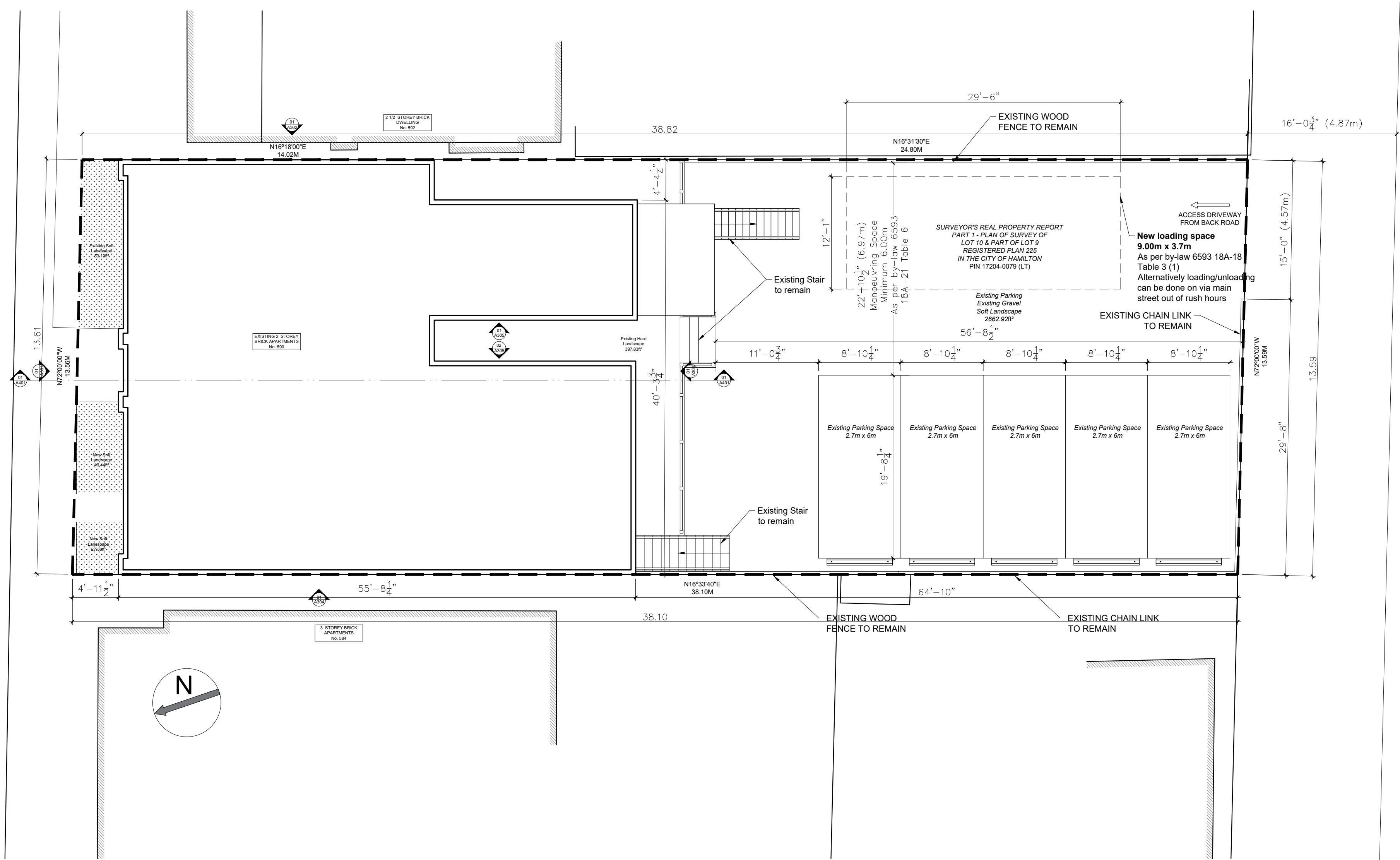
- Visit www.hamilton.ca/committeeofadjustment
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935
- Email Committee of Adjustment staff at cofa@hamilton.ca

DATED: September 14th, 2020.

Jamila Sheffield,
Secretary-Treasurer
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public.

MAIN STREET EAST
(BY REGISTERED PLAN 225)
PIN 17201-0167 (LT)



Note:
 * The Designer is not responsible for the accuracy of survey, structural, mechanical electrical, etc. engineering information shown on the drawing. Refer to the appropriate engineering drawings before proceeding with work.
 * Contractor shall check all dimensions on the work and report any discrepancy to the Designer before proceeding.
 * These plans must not be used in any other location without the written approval of the designer.
 * Construction must conform to all applicable codes and requirements of authorities having jurisdiction.

Address:
**590 Main Street E
 Hamilton - ON**

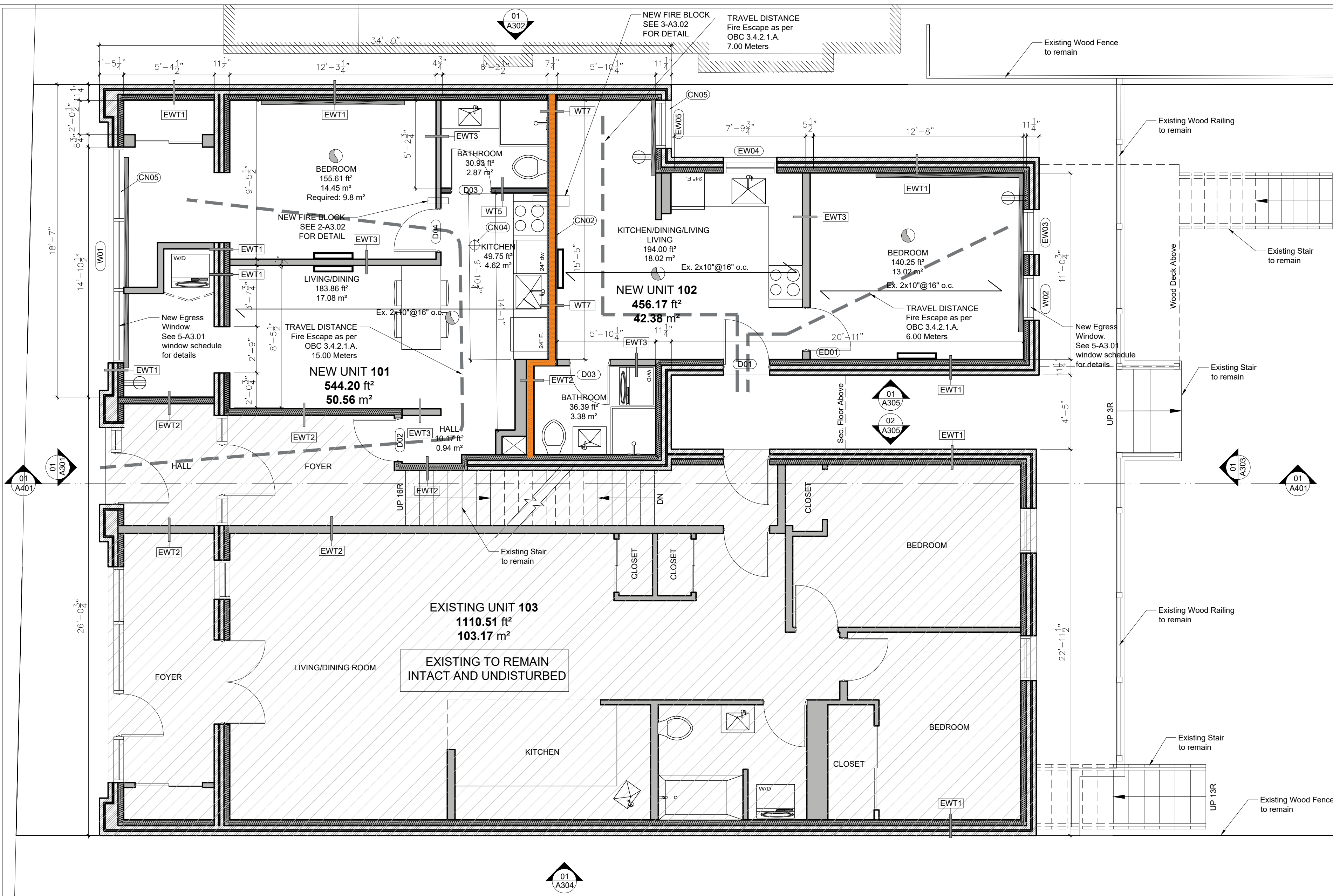
Name: **Site Plan**
 Scale: **1/8" = 1'-0"**
 Signature: *Gabriel Hoang*
 BCIN #: 104822

#	DATE	ISSUED FOR:
1	2020-06-22	Client Review
2	2020-06-29	Permit
3	2020-08-19	Permit

Page:
SP1.01



Johnson Studio



WALL TYPE	
	EWT1 - EXISTING EXTERIOR WALL 2 Hours Fire Resistance Rating - Brick Veneer - Air Space - Structural wall - 38x89mm wood stud @ 400mm o.c. - Existing Insulation - 6 Mil Ply v.b. - 15.9mm Type X Gypsum Board - Wall Thickness = 285mm
	EWT2 - EXISTING INTERIOR WALL As per OBC - SB3 - W1a 1 Hour Fire Resistance Rating - 15.9mm Type X Gypsum Board - 38x89mm wood studs at 406mm o.c. - Existing Insulation - 15.9mm Type X Gypsum Board - Wall thickness = 120.65
	EWT3 - EXISTING INTERIOR WALL - 12.7mm Gypsum Wall Board - 38x89mm Wood Stud @ 16" o.c. - 12.7mm Gypsum Wall Board - Wall thickness = 114.3mm
	EWT4 - EXISTING INTERIOR WALL As per OBC - SB3 - W1a 1 Hour Fire Resistance Rating - 15.9mm Type X Gypsum Board - 38x140mm wood studs at 406mm o.c. - Existing 89mm thick absorptive material - 15.9mm Type X Gypsum Board - Wall thickness = 171.45
	WT5 - NEW INTERIOR WALL - 12.7mm Gypsum Wall Board - 38x89mm Wood Stud @ 16" o.c. - 12.7mm Gypsum Wall Board - Wall thickness = 114.3mm
	WT6 - NEW INTERIOR WALL As per OBC - SB3 - W3b 1 Hour Fire Resistance Rating - 15.9mm Type X Gypsum Board - 38x89mm wood studs at 610mm o.c. - 89mm thick Eco Touch QuietZone Pink Fiberglass Acoustic Insulation - Resilient metal channels on one side spaced @ 610mm o.c. - 15.9mm Type X Gypsum Board - Wall thickness = 120.65
	WT7 - NEW INTERIOR WALL As per OBC - SB3 - W3b 1 Hour Fire Resistance Rating - 15.9mm Type X Gypsum Board - 38x140mm wood studs at 610mm o.c. - 89mm thick Eco Touch QuietZone Pink Fiberglass Acoustic Insulation - Resilient metal channels on one side spaced @ 610mm o.c. - 15.9mm Type X Gypsum Board - Wall thickness = 184.15

WALL LEGEND	
	Existing wall to be demolished
	Existing wall to remain
	New wall

- Construction Notes**
- CN01** Electric Panel to be moved to a new location
 - CN02** * Plumbing in fire rated walls XFR drain and fire rated water line
* All plumbing greater than 2" will need fire donuts.
* All cavities for plumbing will need fire caulking
* NON-LOAD BEARING WALL. This is a 2x6" wall for a better sound proofing wall between units.
 - CN03** Reinforce structure of existing wood deck using 2x6" joists as pergolas.
 - CN04** 2x6" wall
 - CN05** New portable 14,000 BTU's A/C units.

- Smoke and CO2 Detector, to have a visual signaling component as per OBC 9.10.19.3 (3)
- New electric AC wall outlet 240-Volt Receptacle
- New electric baseboard heater
- New baseboard water heater to be added
- Existing baseboard water heater to remain

- * Existing 400A Service
 - * Add new 60A Electric Panel in Units 101 and 201 and also separate Hydro Meter
 - * Existing water baseboard heaters to remain in all units.
 - * Existing Trinity T1200 Boiler to remain.
- For main floor ceiling, see 5-A3.02 for detail
For second floor ceiling, see 6-A3.02 for detail

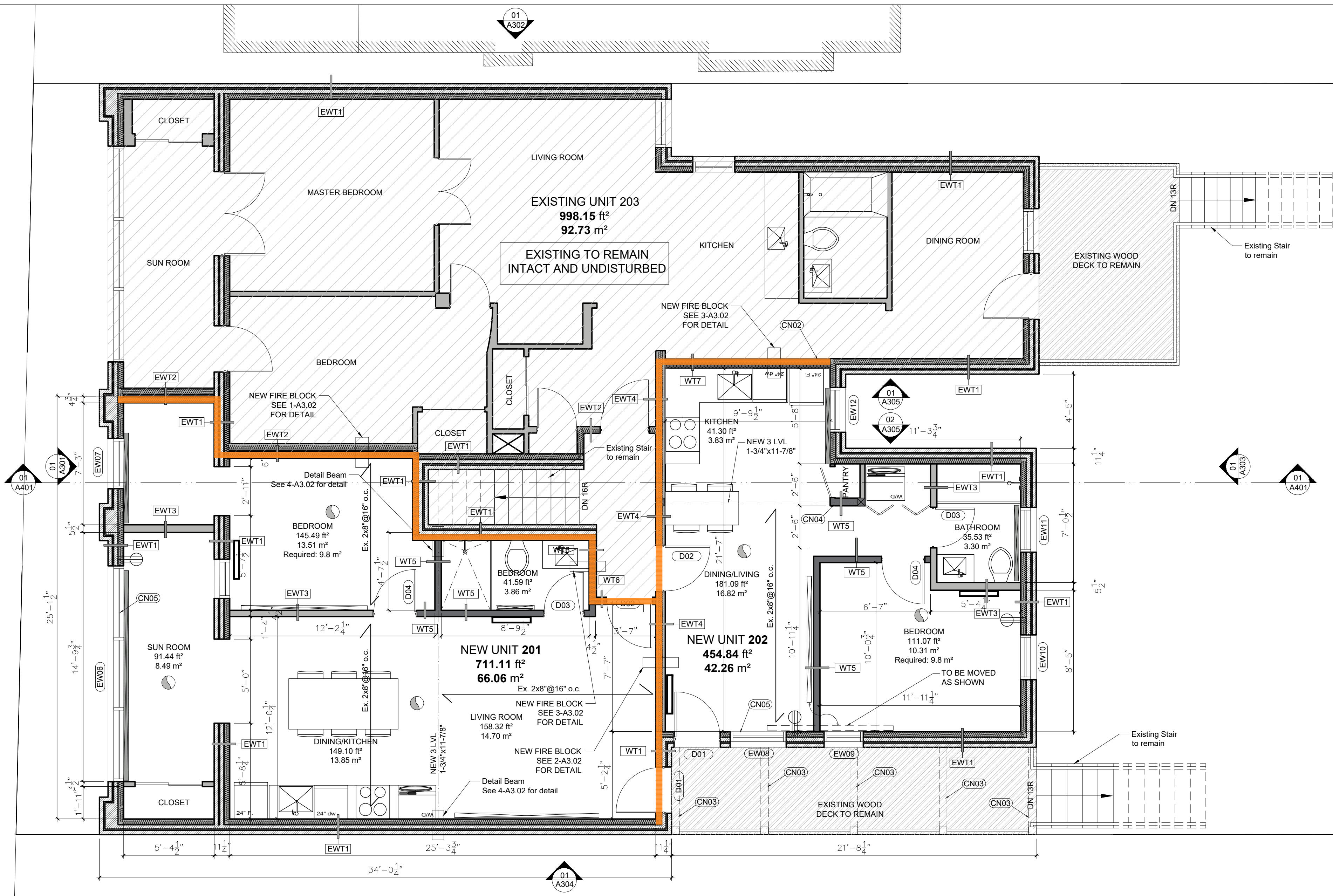
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Address:
**590 Main Street E
 Hamilton - ON**

Name: **Proposed Main Floor Plan**
 Scale: **1/4" = 1'-0"**
 Signature: *Gabriel Shantz*
 BCIN #: 104822

#	DATE	ISSUED FOR:	Page:
1	2020-06-22	Client Review	A1.03
2	2020-06-29	Permit	
3	2020-08-19	Permit	





- ### WALL TYPE
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 - Wall thickness = 114.3mm
 - WT6 - NEW INTERIOR WALL**
 As per OBC - SB3 - W3b
1 Hour Fire Resistance Rating
 - 15.9mm Type X Gypsum Board
 - 38x89mm wood studs at 610mm o.c.
 - 89mm thick Eco Touch QuietZone Pink Fiberglass Acoustic Insulation
 - Resilient metal channels on one side spaced @ 610mm o.c.
 - 15.9mm Type X Gypsum Board
 - Wall thickness = 120.65
 - WT7 - NEW INTERIOR WALL**
 As per OBC - SB3 - W3b
1 Hour Fire Resistance Rating
 - 15.9mm Type X Gypsum Board
 - 38x140mm wood studs at 610mm o.c.
 - 89mm thick Eco Touch QuietZone Pink Fiberglass Acoustic Insulation
 - Resilient metal channels on one side spaced @ 610mm o.c.
 - 15.9mm Type X Gypsum Board
 - Wall thickness = 184.15

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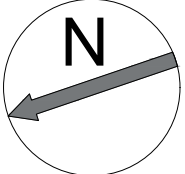
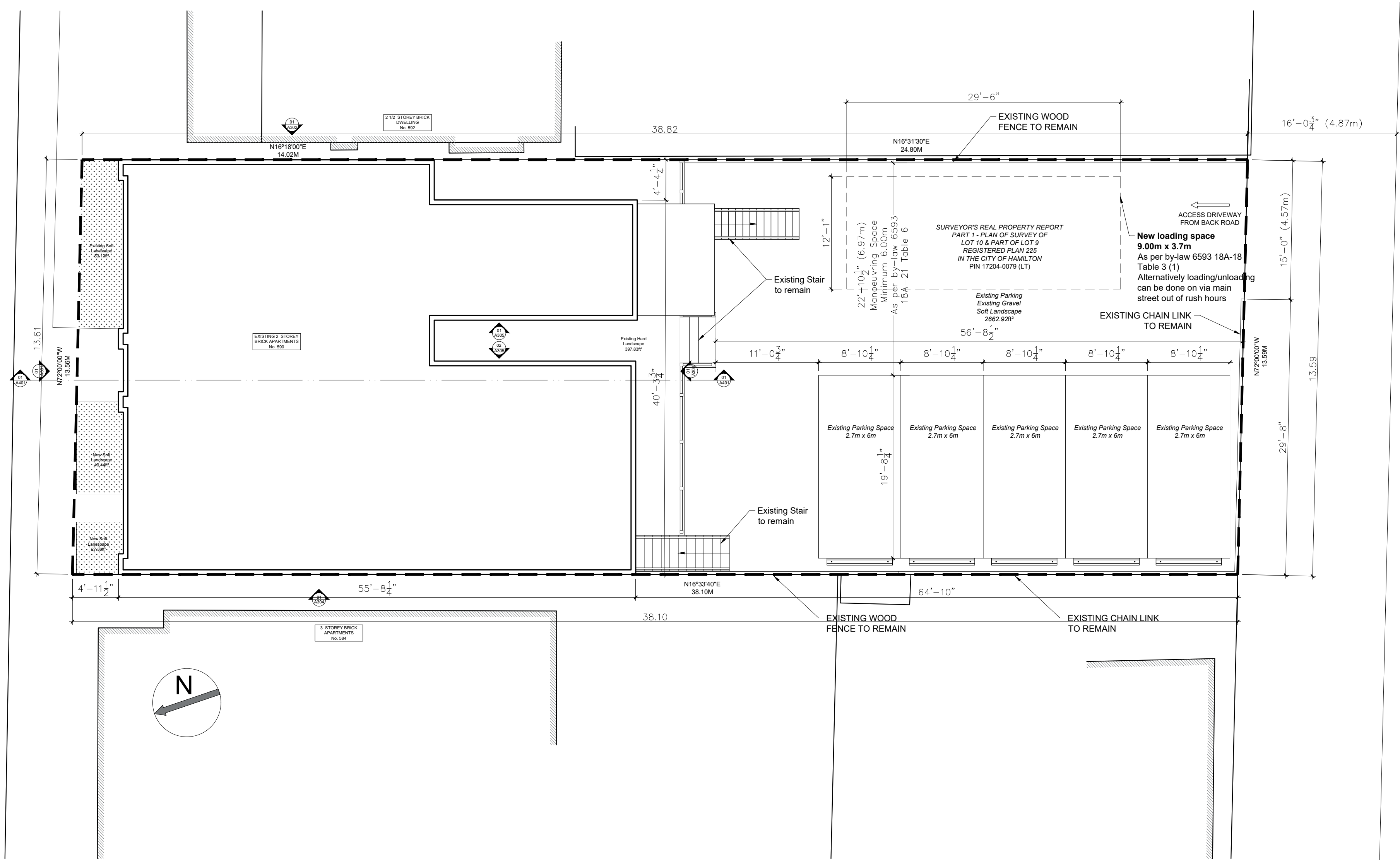
Address:
**590 Main Street E
 Hamilton - ON**

Name: **Proposed Second Floor Plan**
 Scale: **1/4" = 1'-0"**
 Signature: *Gabriel Brang*
 BCIN #: 104822

#	DATE	ISSUED FOR:	Page:
1	2020-06-22	Client Review	A1.04
2	2020-06-29	Permit	
3	2020-08-19	Permit	



MAIN STREET EAST
(BY REGISTERED PLAN 225)
PIN 17201-0167 (LT)



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Address:
590 Main Street E
Hamilton - ON

Name: **Site Plan**
 Scale: **1/8" = 1'-0"**
 Signature: *Gabriel Hoang*
 BCIN #: 104822

#	DATE	ISSUED FOR:
1	2020-06-22	Client Review
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Page:
SP1.01





Hamilton

Planning and Economic Development Department
Planning Division

Committee of Adjustment
City Hall
5th floor 71 Main Street West
Hamilton, Ontario L8P 4Y5

Phone (905) 546-2424 ext.4221
Fax (905) 546-4202

**PLEASE FILL OUT THE FOLLOWING PAGES AND
RETURN TO THE CITY OF HAMILTON PLANNING
DEPARTMENT.**

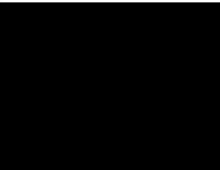
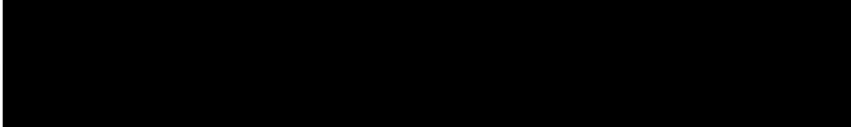
FOR OFFICE USE ONLY.	
APPLICATION NO. _____	DATE APPLICATION RECEIVED _____
PAID _____	DATE APPLICATION DEEMED COMPLETE _____
SECRETARY'S SIGNATURE _____	

**CITY OF HAMILTON
COMMITTEE OF ADJUSTMENT
HAMILTON, ONTARIO**

The Planning Act

Application for Minor Variance or for Permission

The undersigned hereby applies to the Committee of Adjustment for the City of Hamilton under Section 45 of the *Planning Act*, R.S.O. 1990, Chapter P.13 for relief, as described in this application, from the Zoning By-law.

- Name of Owner Anderson Ruysam Telephone No. 
- 
- Name of Agent _____ Telephone No. _____
FAX NO. _____ E-mail address. _____
- Address _____
Postal Code _____

Note: Unless otherwise requested all communications will be sent to the agent, if any.

- Names and addresses of any mortgagees, holders of charges or other encumbrances:
Scotia Mortgage Corporation PO Box 4083, Station A, Toronto, ON
Postal Code M5W 1H7
Postal Code _____

6. Nature and extent of relief applied for:

Per Section 19(3)(iii) every building converted shall be situated on a lot having a minimum radial separation distance of 180.0 meters from the lot line to the lot line of any other lot occupied or as may be occupied by a building converted. 600-630 Main Street East has been converted. It is not possible to comply with the distance above and parking requirements.

7. Why it is not possible to comply with the provisions of the By-law?

This is an existing building built in 1940. We are not adding or changing anything on the exterior of the building, except retrofitting the facade with non-combustible panels, which will bring immense value to the neighborhood. This is merely an interior renovation to convert 2 of the 4 units thus resulting in a total of 6 apartments. There are 5 existing parking spaces (and plenty of area for loading and maneuvering) and according to By-law there should be 7.5 + 2 spots for visitors. We are creating more affordable housing. All the 4 retrofitted units will have only ONE bedroom. Most prospective tenants don't own a car and there is a bus stop right by the front door of the building.

8. Legal description of subject lands (registered plan number and lot number or other legal description and where applicable, street and street number):

590 Main St E - Hamilton ON
PART 1 - PLAN OF SURVEY OF LOT 10 & PART OF LOT 9 REGISTERED PLAN 225
IN THE CITY OF HAMILTON - PIN 17204-0079 (LT)

9. PREVIOUS USE OF PROPERTY

Residential x Industrial Commercial
Agricultural Vacant
Other

9.1 If Industrial or Commercial, specify use

9.2 Has the grading of the subject land been changed by adding earth or other material, i.e. has filling occurred?

Yes No X Unknown

9.3 Has a gas station been located on the subject land or adjacent lands at any time?

Yes No X Unknown

9.4 Has there been petroleum or other fuel stored on the subject land or adjacent lands?

Yes No X Unknown

9.5 Are there or have there ever been underground storage tanks or buried waste on the subject land or adjacent lands?

Yes No X Unknown

9.6 Have the lands or adjacent lands ever been used as an agricultural operation where cyanide products may have been used as pesticides and/or sewage sludge was applied to the lands?

Yes No X Unknown

9.7 Have the lands or adjacent lands ever been used as a weapon firing range?

Yes No X Unknown

9.8 Is the nearest boundary line of the application within 500 metres (1,640 feet) of the fill area of an operational/non-operational landfill or dump?

Yes No X Unknown

9.9 If there are existing or previously existing buildings, are there any building materials remaining on site which are potentially hazardous to public health (eg. asbestos, PCB's)?

Yes No Unknown

9.10 Is there any reason to believe the subject land may have been contaminated by former uses on the site or adjacent sites?

Yes No Unknown

9.11 What information did you use to determine the answers to 9.1 to 9.10 above?

This building was built in 1940. According to google earth there are no
landfill of dump within 500m of the property address.

9.12 If previous use of property is industrial or commercial or if YES to any of 9.2 to 9.10, a previous use inventory showing all former uses of the subject land, or if appropriate, the land adjacent to the subject land, is needed.

Is the previous use inventory attached? Yes No

ACKNOWLEDGEMENT CLAUSE

I acknowledge that the City of Hamilton is not responsible for the identification and remediation of contamination on the property which is the subject of this Application – by reason of its approval to this Application.

Aug 10, 2020.
Date


Signature Property Owner

Anderson Ruysam
Print Name of Owner

10. Dimensions of lands affected:

Frontage 13.61m
Depth 38.82m
Area 520.48m²
Width of street 15m

11. Particulars of all buildings and structures on or proposed for the subject lands:
(Specify ground floor area, gross floor area, number of stories, width, length, height, etc.)

Existing: Ground Floor Area - 211.95m² / Second Floor Area - 211.95m²
Total gross floor Area - 423.90m² / 2 Stories / 4 residential units
Site Area = 520.48m²

Proposed: Ground Floor Area - 211.95m² / Second Floor Area - 211.95m²
Total gross floor Area - 423.90m² / 2 Stories / 6 residential units
Site Area = 520.48m²

12. Location of all buildings and structures on or proposed for the subject lands:
(Specify distance from side, rear and front lot lines)

Existing: Front = 1.5m / Rear = 19.80m
Side = 0m

Proposed: Same as above

13. Date of acquisition of subject lands:
October 2014

14. Date of construction of all buildings and structures on subject lands:
1940

15. Existing uses of the subject property: Residential

16. Existing uses of abutting properties: Residential

17. Length of time the existing uses of the subject property have continued:
Since acquisition

18. Municipal services available: (check the appropriate space or spaces)
Water yes Connected yes
Sanitary Sewer yes Connected yes
Storm Sewers yes

19. Present Official Plan/Secondary Plan provisions applying to the land:
N/A

20. Present Restricted Area By-law (Zoning By-law) provisions applying to the land:
N/A

21. Has the owner previously applied for relief in respect of the subject property?
Yes No x
If the answer is yes, describe briefly.

22. Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?
Yes No X

23. The applicant shall attach to each copy of this application a plan showing the dimensions of the subject lands and of all abutting lands and showing the location, size and type of all buildings and structures on the subject and abutting lands, and where required by the Committee of Adjustment such plan shall be signed by an Ontario Land Surveyor.

NOTE: It is required that two copies of this application be filed with the secretary-treasurer of the Committee of Adjustment together with the maps










Royal Gardens Residences

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9
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Schedule 1: Designer Information

Use one form for each individual who reviews and takes responsibility for design activities with respect to the project.

A. Project Information			
Building number, street name 590 Main Street East		Unit no.	Lot/con.
Municipality Hamilton	Postal code	Plan number/ other description	
B. Individual who reviews and takes responsibility for design activities			
Name Vince DiSante		Firm DiSante Design	
Street address 6653 Jupiter Blvd		Unit no.	Lot/con.
Municipality Niagara Falls	Postal code L2J 3X3	Province ON	E-mail vdisante@disantedesign.com
Telephone number ()	Fax number ()	Cell number (289) 929 9821	
C. Design activities undertaken by individual identified in Section B. [Building Code Table 3.5.2.1. of Division C]			
House	HVAC – House	Building Structural	
Small Buildings	Building Services	Plumbing – House	
Large Buildings	Detection, Lighting and Power	Plumbing – All Buildings	
Complex Buildings	Fire Protection	On-site Sewage Systems	
Description of designer's work -Heat loss and heat gain calculations -Heating equipment selection -Ventilation calculations			
D. Declaration of Designer			
I, Vince DiSante declare that (choose one as appropriate): (print name)			
<p>I review and take responsibility for the design work on behalf of a firm registered under subsection 3.2.4. of Division C, of the Building Code. I am qualified, and the firm is registered, in the appropriate classes/categories.</p> <p>Individual BCIN: _____</p> <p>Firm BCIN: _____</p> <p>I review and take responsibility for the design and am qualified in the appropriate category as an "other designer" under subsection 3.2.5. of Division C, of the Building Code.</p> <p>Individual BCIN: 100573</p> <p>Basis for exemption from registration: _____</p> <p>The design work is exempt from the registration and qualification requirements of the Building Code.</p> <p>Basis for exemption from registration and qualification: _____</p>			
I certify that:			
<p>1. The information contained in this schedule is true to the best of my knowledge.</p> <p>2. I have submitted this application with the knowledge and consent of the firm.</p>			
August 4th, 2020			
Date		Signature of Designer	

NOTE:

- For the purposes of this form, "individual" means the "person" referred to in Clause 3.2.4.7(1) (c) of Division C, Article 3.2.5.1. of Division C, and all other persons who are exempt from qualification under Subsections 3.2.4. and 3.2.5. of Division C.
- Schedule 1 is not required to be completed by a holder of a license, temporary license, or a certificate of practice, issued by the Ontario Association of Architects. Schedule 1 is also not required to be completed by a holder of a license to practise, a limited license to practise, or a certificate of authorization, issued by the Association of Professional Engineers of Ontario.

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to design the work shown on the attached documents.	
Qualification Information	
Required unless design is exempt under Div. C - 3.2.5.1. of the building code	
VINCE DISANTE	100573
Name	BCIN
Registration Information	
Required unless design is exempt under Div. C - 3.2.4.1. of the building code	
Firm Name	BCIN

Ventilation calculations are valid for each new unit.

RESIDENTIAL MECHANICAL VENTILATION RECORD

For Certification of Design and Performance of Residential Ventilation Systems

W2

A	ADDRESS	Municipality: _____	HRV/ERV	Central In-line Fan	Bath Fan	H		
		Civic Address: _____	Location: _____	Manufacturer: _____				
B	BUILDER	Name: _____	Model: _____	HVI Rated		I		
		Address: _____	Design Airflow:	_____				
		City: _____ Postal Code: _____	High: _____ CFM	ESP: _____ "w.c.	TVC SYSTEM			
		Ph: _____ Fax: _____	Low: _____ CFM	Sones: _____				
C	DESIGNER	Name: _____	For HRV/ERV:	_____		J		
		Address: _____	_____ % SRE @ 0 °C @ _____ CFM	_____				
		City: _____ Postal Code: _____	_____ % SRE @ -25 °C @ _____ CFM	_____				
		Ph: _____ Fax: _____	Location: _____	Manufacturer: _____				
		E-mail: _____ HRAI #: _____	Model: _____	HVI Rated				
D	HEATING SYSTEM/ COMBUSTION APPLIANCES	Forced Air	Non Forced air	Design Airflow: _____ CFM		ADDITIONAL EQUIPMENT		
		Electric	Gas	Oil	Other		TVC Exhaust Make-up Air Recirc	
		No Combustion Appliances		No Dep limit			Location: _____	
		Solid Fuel (including Fireplaces)		5 Pa Dep limit			Manufacturer: _____	
		Direct Vent (sealed combustion)		No Dep Limit			Model: _____	
		Induced Draft/Power Vent		Pa Dep limit			Design Airflow: _____ CFM	
E	CEC EQUIPMENT	Natural Draft or B-Vented	5 Pa Dep limit	ESP: _____ "w.c.		I		
		Lowest Depressurization Limit	Pa.	TVC Exhaust Make-up Air Recirc				
		Clothes Dryer(s)	(150 cfm default)	Location: _____				
F	TOTAL VENTILATION CAPACITY (TVC)	Downdraft Cook Top	(220 cfm default)	Manufacturer: _____		J		
		Other (exhaust)	(over 150 cfm)	Model: _____				
		Depressurization test required?	See W-3C worksheet	Design Airflow: _____ CFM			ESP: _____ "w.c.	
		Bsmt & Master Bedroom	@ 20 cfm _____ cfm	TVC Exhaust Make-up Air Recirc				
		Other Bedrooms	@ 10 cfm _____ cfm	Location: _____				
Bathrooms & Kitchens	@ 10 cfm _____ cfm	Manufacturer: _____						
G	EXHAUST CAPACITY	Other Hab. Rooms	@ 10 cfm _____ cfm	Model: _____		J		
		Total Ventilation Capacity (TVC)	_____ cfm	Design Airflow: _____ CFM			ESP: _____ "w.c.	
		Depressurization test required?	See W-3A or W-3B	TVC Exhaust Make-up Air Recirc				
		Continuous		Minimum Continuous Exhaust			Location: _____	
G	EXHAUST CAPACITY	Kitchen(s)	@ 60 cfm = _____ cfm	Manufacturer: _____		J		
		Bathroom(s)	@ 20 cfm = _____ cfm	Model: _____				
		Total	_____ cfm	Design Airflow: _____ CFM			ESP: _____ "w.c.	
		Intermittent		Minimum Intermittent Exhaust				Location: _____
G	EXHAUST CAPACITY	Kitchen(s)	@ 100 cfm = _____ cfm	Manufacturer: _____		J		
		Bathroom(s)	@ 50 cfm = _____ cfm	Model: _____				
		Total	_____ cfm	Design Airflow: _____ CFM			ESP: _____ "w.c.	
Intermittent		Minimum Intermittent Exhaust		Location: _____				
				I, _____ certify this ventilation system design to be in accordance with CSA F326:		DESIGNER CONSENT		
				Date: _____ Signature: <i>Vince Disante</i>				

Conversion note: 1 L/s = 2 CFM (For hard conversion, use 1 L/s = 2.118 CFM)

The undersigned has reviewed and taken responsibility for this design, and has the qualifications and training to design and install in the Ontario Building Code to design the work shown on the attached documents.

Qualification Information
 Registered under Design in Ontario under Div. C-12.2.1. of the building code.
 VINCE DISANTE _____ 100673
 Name Signature BCOC
 Registration Information
 Registered under Design in Ontario under Div. C-12.2.1. of the building code.
 Film Name BCOC



MECHANICAL DESIGN BRIEF FOR: 590 MAIN STREET EAST

After reviewing the drawing package provided and performing load calculations as per CSA F280-12, the following load calculations and proposed mechanical system are below:

1.0 Heat Loss Calculations

- **Heat loss: 111,113 Btuh**
- Assumptions: Existing basement floor wall insulation = 0, existing main floor and second floor wall insulation = R11, existing second floor unit not being renovated roof insulation = 0, existing second floor unit being renovated roof insulation = R30.

2.0 Existing HVAC Equipment

- **Boiler**
Make: NTI
Model: TX 151
Key Features: Stainless steel heat exchanger, 8:1 turndown ratio, 139,000 btuh output capacity, 94.0% AFUE

3.0 Proposed HVAC Equipment (per new unit)

- **Washroom Exhaust Fans**
Make: Delta
Model: SLM70
Key Features: 70 CFM capacity, 2.0 sones
- **Kitchen Exhaust Fan**
Make: By Owner
Model: By Owner
Key Features: Minimum 100 CFM capacity
- **Supplemental Electric baseboard heaters**
Make: Dimplex or equal
Model: PC3010W31
Key Features: 1000W capacity
- **Fire Dampers**
Make: Nailor or equal
Model: 1290F
Key Features: 1 ½ hr fire-rated (suitable for installation in 2 hr fire separations)

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to design the work shown on the attached documents.		
Qualification Information Required unless design is exempt under Div. C - 3.2.5.1. of the building code		
VINCE DISANTE		100573
Name	Signature	BCIN
Registration Information Required unless design is exempt under Div. C - 3.2.4.1. of the building code		
Firm Name	BCIN	



6653 Jupiter Blvd, Niagara Falls, Ontario, L2J 3X3
289 929 9821, www.disantedesign.com

The proposed washroom exhaust fan shall serve as the dwelling units principal exhaust fan that will provide the required mechanical ventilation in sentence 9.32.3.3.(1). This exhaust fan will also serve as the dwelling units required washroom supplemental exhaust fan as per article 9.32.3.5.

The Ontario Building Code requires that every newly constructed dwelling unit of residential construction shall have a heat recovery ventilator installed. DiSante Design is aware of this requirement and is requesting a variance from the Chief Building Official for the following reasons:

- 1) Existing Boiler AFUE is greater than the code minimum.

The owner recently replaced the buildings heating system in the past couple years and installed a system with a greater AFUE than the code requires. The new boiler has an AFUE of 94.0% and at the time of installation, the minimum boiler efficiency allowed by Ontario Regulation 509/18 was 82.0% AFUE. The owner could have easily chosen a 90-92.0% AFUE boiler and saved money, but they opted to select a more efficient boiler so they could reduce heating costs.

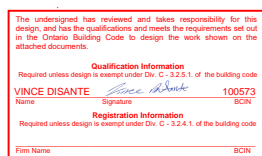
- 2) Existing roofs of Unit 201 and 202 will have spray-foam insulation installed.

The existing roof above newly proposed Units 201 and 202 currently has zero insulation. The construction drawings will soon propose that spray-foam insulation of minimum R30 will be installed. This addition of roof insulation will generate a significant reduction in the buildings heat loss. Even without heat recovery on the ventilation air for these units, the overall heat loss for the building will be reduced.

- 3) Existing units did not have heat recovery ventilators.

The existing units in the building do not have heat recovery ventilators installed. They simply have washroom exhaust fans and kitchen exhaust fans. The existing building has been successfully operating with this type of ventilation system for approximately 50-60 years.

DiSante Design believes that the only true benefit to installing heat recovery ventilators in this application is to reduce the amount of heating for the building, and therefore the amount of energy use. However, we believe that because of the reasons above, the owner should not have to expend the capital costs to do so. The owner will already have spent additional capital cost in a highly efficient boiler, and additional roof insulation.



Cert.#: 14279(RHLG, RASD)

6653 Jupiter Blvd, Niagara Falls, ON L2J 3X3 Phone: 289 929 9821 Email: vdisante@disantedesign.com Web: www.disantedesign.com License: BCIN: 100573

Project Information

For: 590 Main Street East
 Hamilton, ON

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to design the work shown on the attached documents.

Qualification Information
 Required unless design is exempt under Div. C - 3.2.5.1 of the building code

VINCE DISANTE 100573
 Name Signature BCIN

Registration Information
 Required unless design is exempt under Div. C - 3.2.4.1 of the building code

Firm Name BCIN

Design Information

	Htg	Clg		Infiltration
Outside db (°F)	1	88	Method	F280-12
Inside db (°F)	72	75	Exposure category	Heavy shielding
Design TD (°F)	71	13	Construction category	Present (1961-) (ACH=3.57)
Daily range	-	M	Number of stories	2.0
Inside humidity (%)	30	50		
Moisture difference (gr/lb)	30	33		

HEATING EQUIPMENT

COOLING EQUIPMENT

ROOM NAME	Area (ft²)	Htg load (Btuh)	Clg load (Btuh)	Htg AVF (cfm)	Clg AVF (cfm)
CLST1	22	800	425	20	19
SUN RM1	103	3676	4228	93	186
BEDRM1	133	894	448	23	20
BATH1	41	482	380	12	17
KITCH/DIN1	228	0	761	0	34
HALL	59	1032	493	26	22
BATH2	50	394	366	10	16
KITCH/DIN2	213	3056	2924	77	129
BEDRM2	169	3937	2983	100	132
EX. FOYER	97	4321	4889	109	216
EX. CLST	21	826	426	21	19
FOYER1	74	0	301	0	13
STAIRS1	64	0	301	0	13
ENTRY	31	682	413	17	18

EX. UNIT 103		925	11000	5722	279	252
EX. UNIT 203		980	37073	22647	939	999
CLST3		22	651	426	16	19
CLST2		55	1153	1170	29	52
BEDRM3		121	311	467	8	21
SUN RM2		93	3314	4327	84	191
KITCH/DIN3		345	2735	1537	69	68
BATH3		43	110	359	3	16
HALL2		87	224	420	6	19
KITCH/DIN4		240	2560	3024	65	133
BEDRM4		131	2043	1807	52	80
CLST4		13	256	359	6	16
BATH4		47	1219	1373	31	61
BASEMENT		2235	28363	871	719	38
Entire House	d	6642	111113	63846	2815	2815
Other equip loads			0	0		
Equip. @ 1.00 RSM				63846		
Latent cooling				19154		
TOTALS		6642	111113	83000	2815	2815

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to design the work shown on the attached documents.

Qualification Information
 Required unless design is exempt under Div. C - 3.2.2.1. of the building code

VINCE DISANTE *Vince Disante* 100573
 Name Signature BCN

Registration Information
 Required unless design is exempt under Div. C - 3.2.4.1. of the building code

Firm Name BCN

Cert.#: 14279(RHLG, RASD)

6653 Jupiter Blvd, Niagara Falls, ON L2J 3X3 Phone: 289 929 9821 Email: vdisante@disantedesign.com Web: www.disantedesign.com License: BCIN: 100573

Project Information

For: 590 Main Street East
Hamilton, ON

Design Conditions

Location:

Hamilton, ON, CA
Elevation: 302 ft
Latitude: 43°N

Outdoor:

Dry bulb (°F)
Daily range (°F)
Wet bulb (°F)
Wind speed (mph)

Heating

1
-
-
10.6

Cooling

88
18 (M)
73
8.1

Indoor:

Indoor temperature (°F)
Design TD (°F)
Relative humidity (%)
Moisture difference (gr/lb)

Heating

72
71
30
30.2

Cooling

75
13
50
33.3

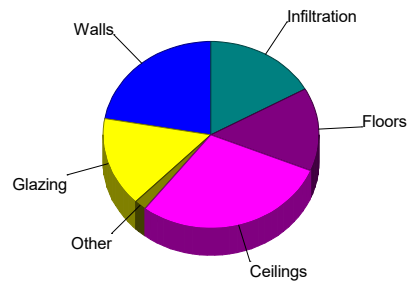
Infiltration:

Method
Exposure category
Construction category
Number of stories

F280-12
Heavy shielding
Present (1961-) (ACH=3.57)
2.0

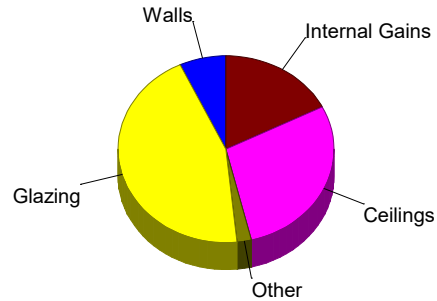
Heating

Component	Btuh/ft²	Btuh	% of load
Walls	1.7	24643	22.2
Glazing	31.8	17227	15.5
Doors	14.0	2015	1.8
Ceilings	14.1	32515	29.3
Floors	6.9	16049	14.4
Infiltration	27.2	18663	16.8
Ducts		0	0
Hydronic		0	0
Humidification		0	0
Ventilation		0	0
Adjustments		0	0
Total		111113	100.0



Cooling

Component	Btuh/ft²	Btuh	% of load
Walls	0.3	4487	7.0
Glazing	52.5	28476	44.6
Doors	2.5	361	0.6
Ceilings	7.9	18330	28.7
Floors	0.0	16	0.0
Infiltration	1.4	994	1.6
Ducts		0	0
Ventilation		0	0
Internal gains		11182	17.5
Blower		0	0
Adjustments		0	0
Total		63846	100.0



Latent Cooling Load = 19154 Btuh
Overall U-value = 0.058 Btuh/ft²-°F

Data entries checked.



Project Information

For: 590 Main Street East
 Hamilton, ON

Notes:



Design Information

Weather: Hamilton, ON, CA

Winter Design Conditions

Outside db 1 °F
 Inside db 72 °F
 Design TD 71 °F

Summer Design Conditions

Outside db 88 °F
 Inside db 75 °F
 Design TD 13 °F
 Daily range M
 Relative humidity 50 %
 Moisture difference 33 gr/lb

Heating Summary

Structure 111113 Btuh
 Ducts 0 Btuh
 Central vent (0 cfm)
 (none) 0 Btuh
 Humidification 0 Btuh
 Piping 0 Btuh
 Equipment load 111113 Btuh

Infiltration

Method F280-12
 Exposure category Heavy shielding
 Const. categ. Present (1961-) (ACH=3.57)
 Number of stories 2.0

	Heating	Cooling
Area (ft ²)	6642	6642
Volume (ft ³)	56425	56425
Air changes/hour	0.26	0.08
Equiv. AVF (cfm)	245	72

Heating Equipment Summary

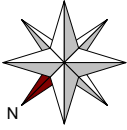
Sensible Cooling Equipment Load Sizing

Structure 63846 Btuh
 Ducts 0 Btuh
 Central vent (0 cfm)
 (none) 0 Btuh
 Blower 0 Btuh
 Use manufacturer's data y
 Rate/swing multiplier 1.00
 Equipment sensible load 63846 Btuh

Latent Cooling Equipment Load Sizing

Structure 19154 Btuh
 Ducts 0 Btuh
 Central vent (0 cfm)
 (none) 0 Btuh
 Equipment latent load 19154 Btuh
Equipment Total Load (Sen+Lat) 83000 Btuh
 Req. total capacity at 0.70 SHR 7.6 ton

Cooling Equipment Summary



GENERAL NOTES

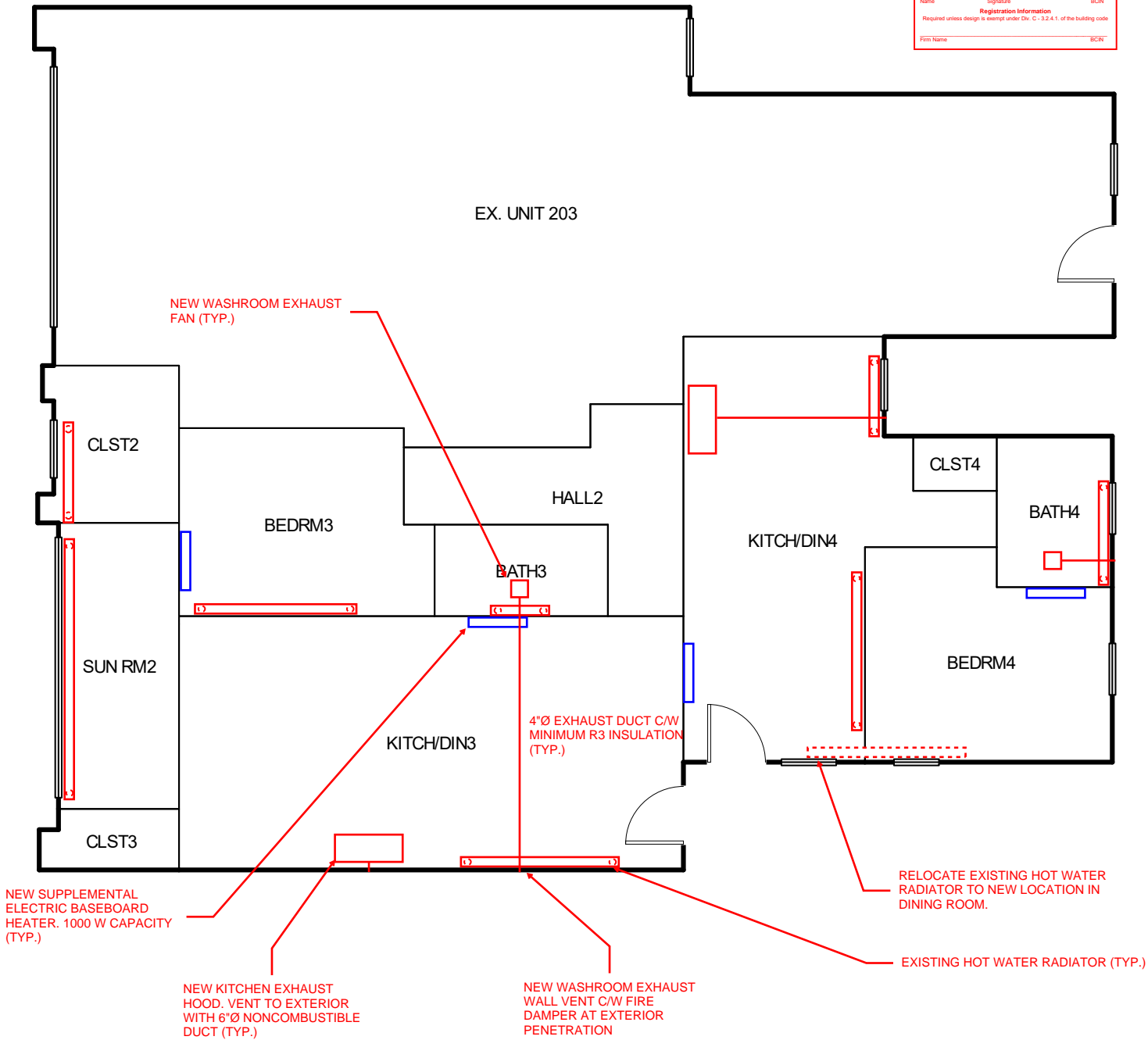
1. EXISTING HEATING SYSTEM FOR UNIT 203 SHALL REMAIN.
2. REFER TO MECHANICAL DESIGN BRIEF FOR SPECIFICATIONS OF EQUIPMENT.
3. COORDINATE LOCATION OF KITCHEN EXHAUST HOOD AND WASHROOM EXHAUST FAN WITH ARCHITECTURAL RCP

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to design the work shown on the attached documents.

Qualification Information
 Required unless design is exempt under Div. C-3.2.5.1. of the building code
VINCE DISANTE *Vince DiSante* 100573
 Name Signature BCG
Registration Information
 Required unless design is exempt under Div. C-3.2.4.1. of the building code
 Firm Name BCG

Second floor

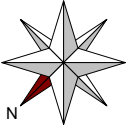
EX. UNIT 203



Job #: 590 Main Street East
Performed by Vince DiSante for:
 590 Main Street East
 Hamilton, ON

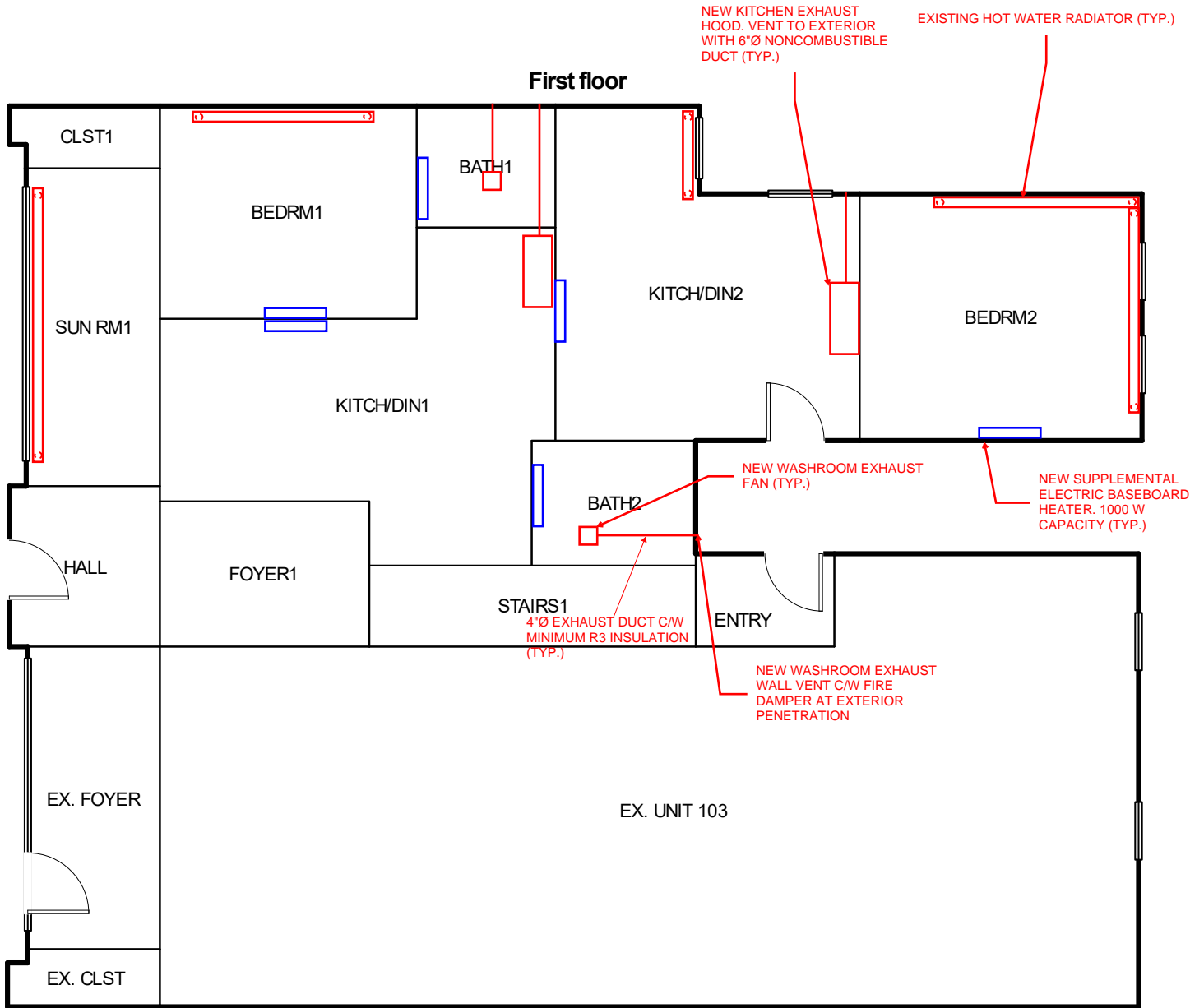
DiSante Design
 6653 Jupiter Blvd
 Niagara Falls, ON L2J 3X3
 Phone: 289 929 9821
 www.disantedesign.com vdisante@disantedesign.com

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 Page 1
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GENERAL NOTES

- 1. EXISTING HEATING SYSTEM FOR UNIT 103 SHALL REMAIN.
- 2. REFER TO MECHANICAL DESIGN BRIEF FOR SPECIFICATIONS OF EQUIPMENT.
- 3. COORDINATE LOCATION OF KITCHEN EXHAUST HOOD AND WASHROOM EXHAUST FAN WITH ARCHITECTURAL RCP



The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to design the work shown on the attached documents.

Qualification Information
 Required unless design is exempt under Div. C - 3.2.5.1 of the building code

VINCE DISANTE *Vince DiSante* 100573
 Name Signature BCIN

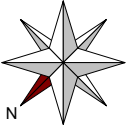
Registration Information
 Required unless design is exempt under Div. C - 3.2.4.1 of the building code

Firm Name BCIN

Job #: 590 Main Street East
Performed by Vince DiSante for:
 590 Main Street East
 Hamilton, ON

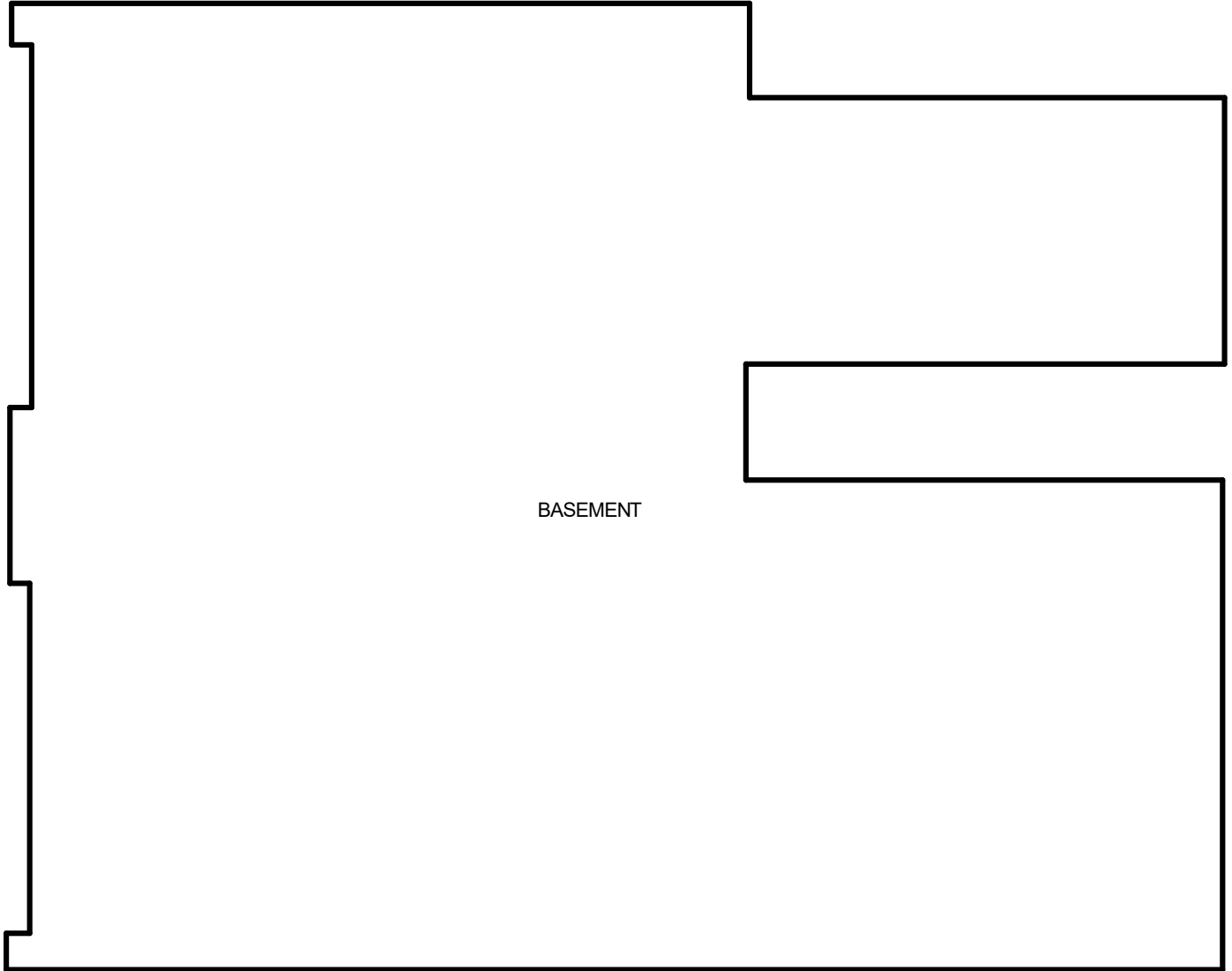
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BASEMENT PLAN IS ONLY SHOWN FOR LOAD CALCULATION PURPOSES. NO SCOPE OF WORK ON THIS FLOOR


Basement



BASEMENT

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to design the work shown on the attached documents.

Qualification Information
 Required unless design is exempt under Div. C-3.2.3.1. of the building code

VINCE DISANTE  100573
 Name Signature BCIN

Registration Information
 Required unless design is exempt under Div. C-3.2.4.1. of the building code

Firm Name BCIN

Job #: 590 Main Street East
Performed by Vince DiSante for:
590 Main Street East
Hamilton, ON

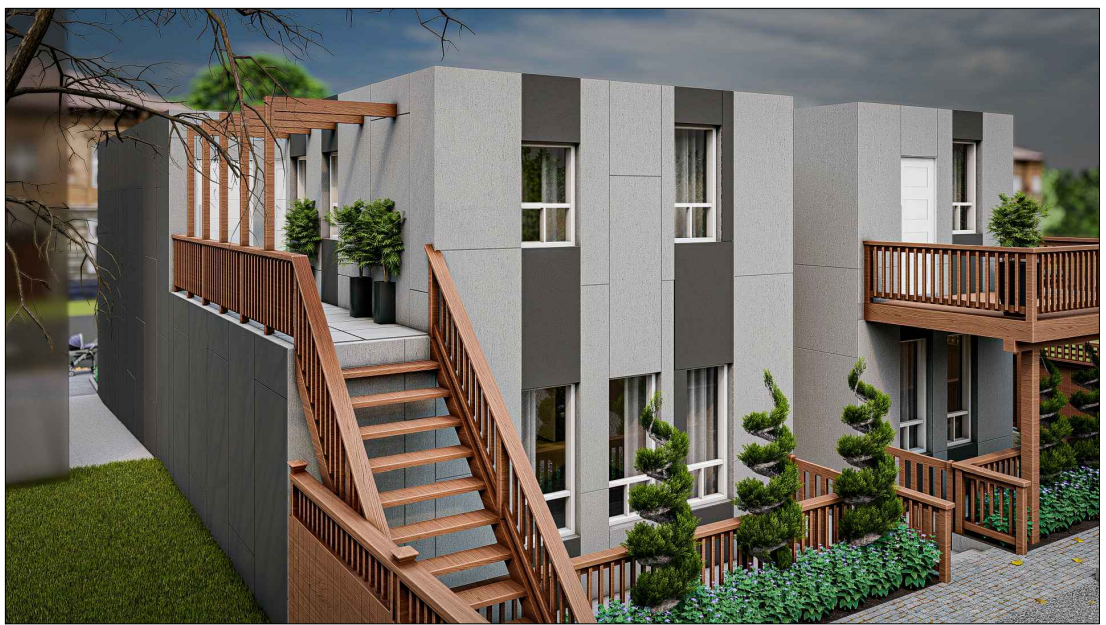
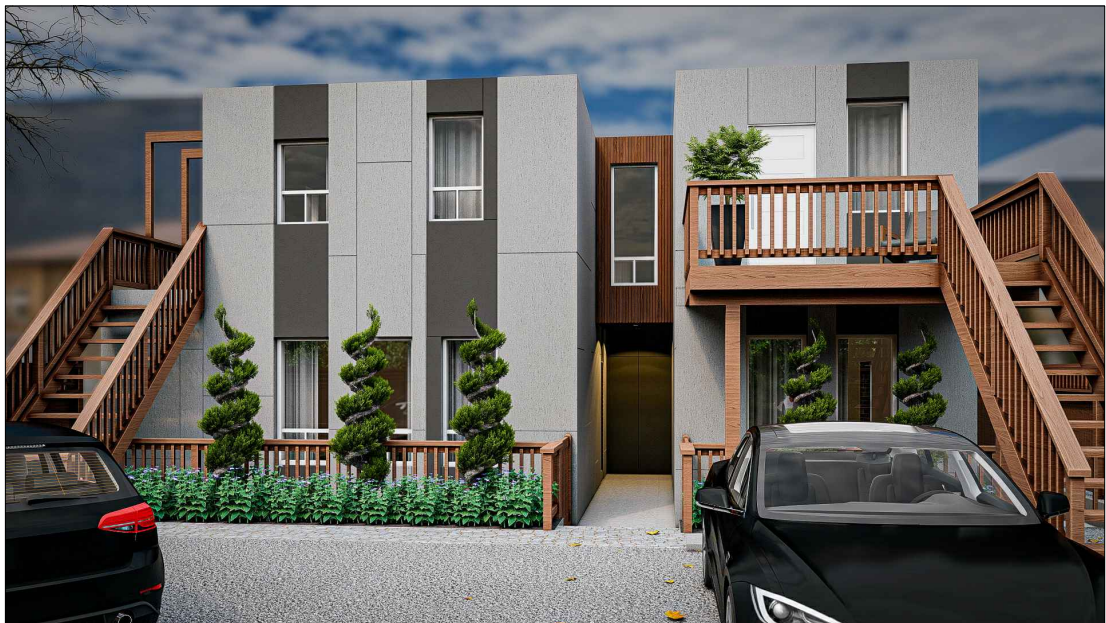
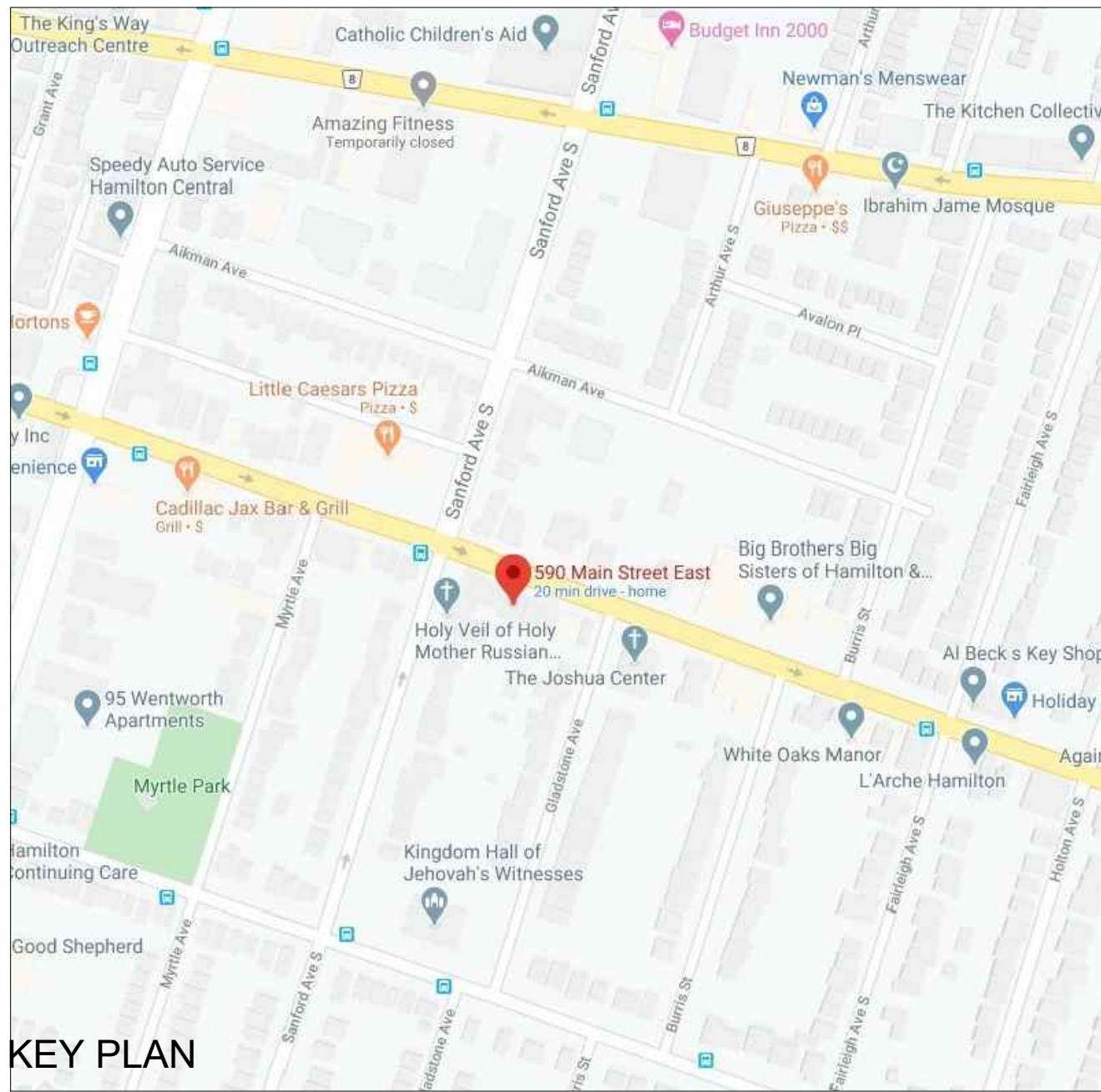
DiSante Design
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Niagara Falls, ON L2J 3X3
Phone: 289 929 9821
www.disantedesign.com vdisante@disantedesign.com

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CITY OF HAMILTON

Renovation for 590 Main Street E

590 Main Street E - Hamilton - ON L8M 1J6



	Existing		New		Total Proposed		
	ft ²	m ²	ft ²	m ²	ft ²	m ²	
Site Area	5602.44	520.48					
Ground Gross Floor Area	2281.45	211.95			2281.45	211.95	
Second Gross Floor Area	2281.45	211.95			2281.45	211.95	
TOTAL Gross Floor Area	4562.90	423.90			4562.90	423.90	
TOTAL Building Coverage	2281.45	211.95			2281.45	211.95	
Main Floor - NEW Unit - 101			544.20	50.56	2110.88	196.11	Average Area
Main Floor - NEW Unit - 102			456.17	42.38			65.37 m ²
Main Floor - EXISTING Unit - 103	1110.51	103.17					
Second Floor - NEW Unit - 201			711.11	66.06	2164.10	201.05	Average Area
Second Floor - NEW Unit - 202			454.84	42.26			67.02 m ²
Second Floor - EXISTING Unit - 203	998.15	92.73					
Regular Parking (2.7mx6m)		5 Cars		0		5 Cars	

According to "City of Hamilton Zoning By-Law 6593", 19-5 (3) "H" Districts (ii); "the average of the floor areas, of all dwelling units referred to in clause (i), shall be at least 65 square meters in area"

SITE STATISTICS

Drawing List	
DWG#	TITLE
A0	Key Plan / Images / Drawing List
SP1.01	Site Plan
A1.01	DEMO - Main Floor
A1.02	DEMO - Second Floor
A1.03	Proposed Main Floor Plan
A1.04	Proposed Second Floor Plan
A1.05	FURNITURE - Main Floor Plan
A1.06	FURNITURE - Second Floor Plan
A1.07	RCP - Main Floor Plan
A1.08	RCP - Second Floor Plan
A1.09	Windows Area - Main Floor
A1.10	Windows Area - Second Floor
A2.01	NORTH - Elevation
A2.02	EAST - Elevation
A2.03	WEST - Elevation
A2.04	SOUTH - Elevation
A2.05	REAR @ Entrance - Elevation
A3.01	Details - Door/Window Schedule
A3.02	Details
A4.01	Section

SCOPE OF WORK

WORK SUMMARY

* WORK OF THIS CONTRACT COMPRISES OF SOME INTERIOR DEMOLITION AND RENOVATION TO SUITE NEW 4 UNITS APARTMENTS. TOTAL OF 6 (2 EXISTING) APARTMENTS. TOTAL OF 6 (2 EXISTING) APARTMENTS. TOTAL OF 6 (2 EXISTING) APARTMENTS. TOTAL OF 6 (2 EXISTING) APARTMENTS.

WORK INCLUDES BUT IS NOT LIMITED TO THE FOLLOWING:

- * DEMOLITION OF DRYWALL PARTITIONS
- INSTALLATION OF INTERIOR PARTITIONS, DOORS, FRAMES AND HARDWARE; PAINTING NEW WALLS AND DOORS W/ FRAMES

THE CONSTRUCTION IS TO TAKE PLACE DURING 2 MONTHS OF 2020.

ANTICIPATED START OF THE CONSTRUCTION IS JULY 2020 AND SUBSTANTIAL COMPLETION ON SEPTEMBER 2020.

Note:
 * The Designer is not responsible for the accuracy of survey, structural, mechanical electrical, etc. engineering information shown on the drawing. Refer to the appropriate engineering drawings before proceeding with work.
 * Contractor shall check all dimensions on the work and report any discrepancy to the Designer before proceeding.
 * These plans must not be used in any other location without the written approval of the designer.
 * Construction must conform to all applicable codes and requirements of authorities having jurisdiction.

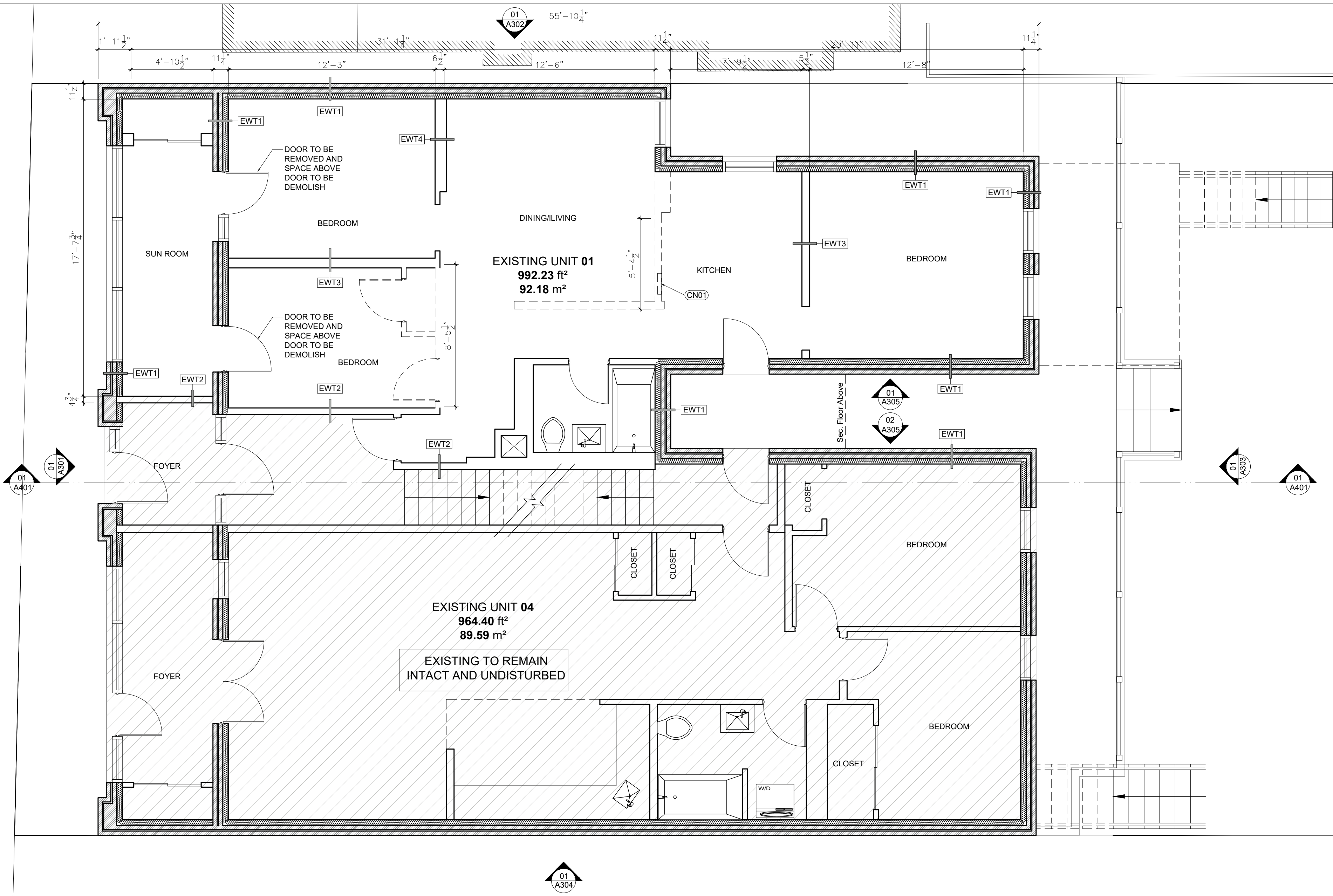
Address:
590 Main Street E
Hamilton - ON

Name: **Cover Sheet**
 Scale: **NTS**
 Signature: *Gabriel Alvarez*
 BCIN #:104822

#	DATE	ISSUED FOR:
1	2020-06-22	Client Review
2	2020-06-29	Permit
3	2020-08-19	Permit

Page:
A0.01





WALL TYPE	
	EWT1 - EXISTING EXTERIOR WALL 2 Hours Fire Resistance Rating - Brick Veneer - Air Space - Structural wall - 38x89mm wood stud @ 400mm o.c. - Existing Insulation - 6 Mil Ply v.b. - 15.9mm Type X Gypsum Board - Wall Thickness = 285mm
	EWT2 - EXISTING INTERIOR WALL As per OBC - SB3 - W1a 1 Hour Fire Resistance Rating - 15.9mm Type X Gypsum Board - 38x89mm wood studs at 406mm o.c. - Existing Insulation - 15.9mm Type X Gypsum Board - Wall thickness = 120.65
	EWT3 - EXISTING INTERIOR WALL - 12.7mm Gypsum Wall Board - 38x89mm Wood Stud @ 16" o.c. - 12.7mm Gypsum Wall Board - Wall thickness = 114.3mm
	EWT4 - EXISTING INTERIOR WALL As per OBC - SB3 - W1a 1 Hour Fire Resistance Rating - 15.9mm Type X Gypsum Board - 38x140mm wood studs at 406mm o.c. - Existing 89mm thick absorptive material - 15.9mm Type X Gypsum Board - Wall thickness = 171.45
	WT5 - NEW INTERIOR WALL - 12.7mm Gypsum Wall Board - 38x89mm Wood Stud @ 16" o.c. - 12.7mm Gypsum Wall Board - Wall thickness = 114.3mm
	WT6 - NEW INTERIOR WALL As per OBC - SB3 - W3b 1 Hour Fire Resistance Rating - 15.9mm Type X Gypsum Board - 38x89mm wood studs at 610mm o.c. - 89mm thick Eco Touch QuietZone Pink Fiberglass Acoustic Insulation - Resilient metal channels on one side spaced @ 610mm o.c. - 15.9mm Type X Gypsum Board - Wall thickness = 120.65
	WT7 - NEW INTERIOR WALL As per OBC - SB3 - W3b 1 Hour Fire Resistance Rating * 15.9mm Type X Gypsum Board * 38x140mm wood studs at 610mm o.c. * 89mm thick Eco Touch QuietZone Pink Fiberglass Acoustic Insulation * Resilient metal channels on one side spaced @ 610mm o.c. * 15.9mm Type X Gypsum Board * Wall thickness = 184.15

WALL LEGEND	
	Existing wall to be demolish
	Existing wall to remain
	New wall

- Construction Notes**
- CN01** Electric Panel to be moved to a new location
 - CN02** * Plumbing in fire rated walls XFR drain and fire rated water line
* All plumbing greater than 2" will need fire donuts.
* All cavities for plumbing will need fire caulking
* NON-LOAD BEARING WALL. This is a 2x6" wall for a better sound proofing wall between units.
 - CN03** Reinforce structure of existing wood deck using 2x6" joists as pergolas.
 - CN04** 2x6" wall
 - CN05** New portable 14,000 BTU's A/C units.

- Smoke and CO2 Detector**, to have a visual signaling component as per OBC 9.10.19.3 (3)
- New electric AC wall outlet 240-Volt Receptacle
- New electric baseboard heater
- New baseboard water heater to be added
- Existing baseboard water heater to remain

- * Existing 400A Service
 - * Add new 60A Electric Panel in Units 101 and 201 and also separate Hydro Meter
 - * Existing water baseboard heaters to remain in all units.
 - * Existing Trinity T1200 Boiler to remain.
- For main floor ceiling, see 5-A3.02 for detail
For second floor ceiling, see 6-A3.02 for detail

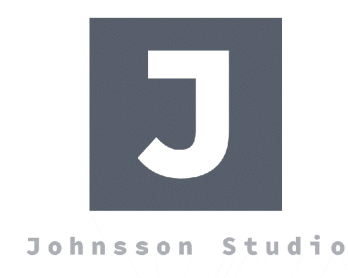
Note:
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 * Contractor shall check all dimensions on the work and report any discrepancy to the Designer before proceeding.
 * These plans must not be used in any other location without the written approval of the designer.
 * Construction must conform to all applicable codes and requirements of authorities having jurisdiction.

Address:
**590 Main Street E
 Hamilton - ON**

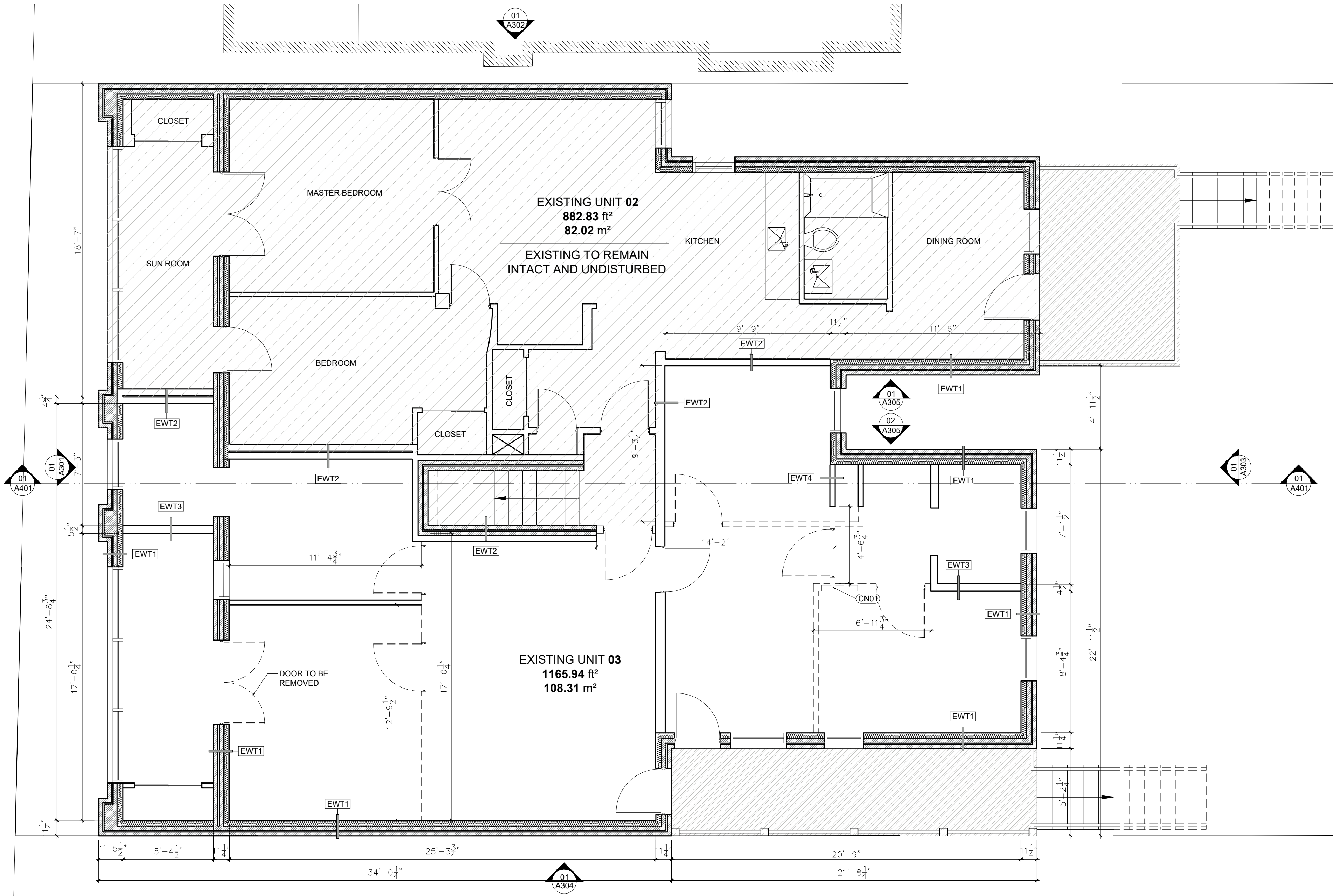
Name: **DEMO - Main Floor Plan**
 Scale: **1/4" = 1'-0"**
 Signature: *Gabriel Alvarez*
 BCIN #: 104822

#	DATE	ISSUED FOR:
1	2020-06-22	Client Review
2	2020-06-29	Permit
3	2020-08-19	Permit

Page:
A1.01



Johnsons Studio



- ### WALL TYPE
- EWT1 - EXISTING EXTERIOR WALL**
2 Hours Fire Resistance Rating
 - Brick Veneer
 - Air Space
 - Structural wall
 - 38x89mm wood stud @ 400mm o.c.
 - Existing Insulation
 - 6 Mil Ply v.b.
 - 15.9mm Type X Gypsum Board
 - Wall Thickness = 285mm
 - EWT2 - EXISTING INTERIOR WALL**
 As per OBC - SB3 - W1a
1 Hour Fire Resistance Rating
 - 15.9mm Type X Gypsum Board
 - 38x89mm wood studs at 406mm o.c.
 - Existing Insulation
 - 15.9mm Type X Gypsum Board
 - Wall thickness = 120.65
 - EWT3 - EXISTING INTERIOR WALL**
 - 12.7mm Gypsum Wall Board
 - 38x89mm Wood Stud @ 16" o.c.
 - 12.7mm Gypsum Wall Board
 - Wall thickness = 114.3mm
 - EWT4 - EXISTING INTERIOR WALL**
 As per OBC - SB3 - W1a
1 Hour Fire Resistance Rating
 - 15.9mm Type X Gypsum Board
 - 38x140mm wood studs at 406mm o.c.
 - Existing 89mm thick absorptive material
 - 15.9mm Type X Gypsum Board
 - Wall thickness = 171.45
 - WT5 - NEW INTERIOR WALL**
 - 12.7mm Gypsum Wall Board
 - 38x89mm Wood Stud @ 16" o.c.
 - 12.7mm Gypsum Wall Board
 - Wall thickness = 114.3mm
 - WT6 - NEW INTERIOR WALL**
 As per OBC - SB3 - W3b
1 Hour Fire Resistance Rating
 - 15.9mm Type X Gypsum Board
 - 38x89mm wood studs at 610mm o.c.
 - 89mm thick Eco Touch QuietZone Pink Fiberglass Acoustic Insulation
 - Resilient metal channels on one side spaced @ 610mm o.c.
 - 15.9mm Type X Gypsum Board
 - Wall thickness = 120.65
 - WT7 - NEW INTERIOR WALL**
 As per OBC - SB3 - W3b
1 Hour Fire Resistance Rating
 - 15.9mm Type X Gypsum Board
 - 38x140mm wood studs at 610mm o.c.
 - 89mm thick Eco Touch QuietZone Pink Fiberglass Acoustic Insulation
 - Resilient metal channels on one side spaced @ 610mm o.c.
 - 15.9mm Type X Gypsum Board
 - Wall thickness = 184.15

WALL LEGEND

	Existing wall to be demolished
	Existing wall to remain
	New wall

- ### Construction Notes
- CN01** Electric Panel to be moved to a new location
 - CN02** * Plumbing in fire rated walls XFR drain and fire rated water line
 * All plumbing greater than 2" will need fire donuts.
 * All cavities for plumbing will need fire caulking
 * NON-LOAD BEARING WALL. This is a 2x6" wall for a better sound proofing wall between units.

- CN03** Reinforce structure of existing wood deck using 2x6" joists as pergolas.
- CN04** 2x6" wall
- CN05** New portable 14,000 BTU's A/C units.

- Smoke and CO2 Detector**, to have a visual signaling component as per OBC 9.10.19.3 (3)
- New electric AC wall outlet 240-Volt Receptacle

- New electric baseboard heater
- New baseboard water heater to be added
- Existing baseboard water heater to remain

* Existing 400A Service
 * Add new 60A Electric Panel in Units 101 and 201 and also separate Hydro Meter
 * Existing water baseboard heaters to remain in all units.
 * Existing Trinity T1200 Boiler to remain.

For main floor ceiling, see 5-A3.02 for detail
 For second floor ceiling, see 6-A3.02 for detail

Note:
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 * Construction must conform to all applicable codes and requirements of authorities having jurisdiction.

Address:
**590 Main Street E
 Hamilton - ON**

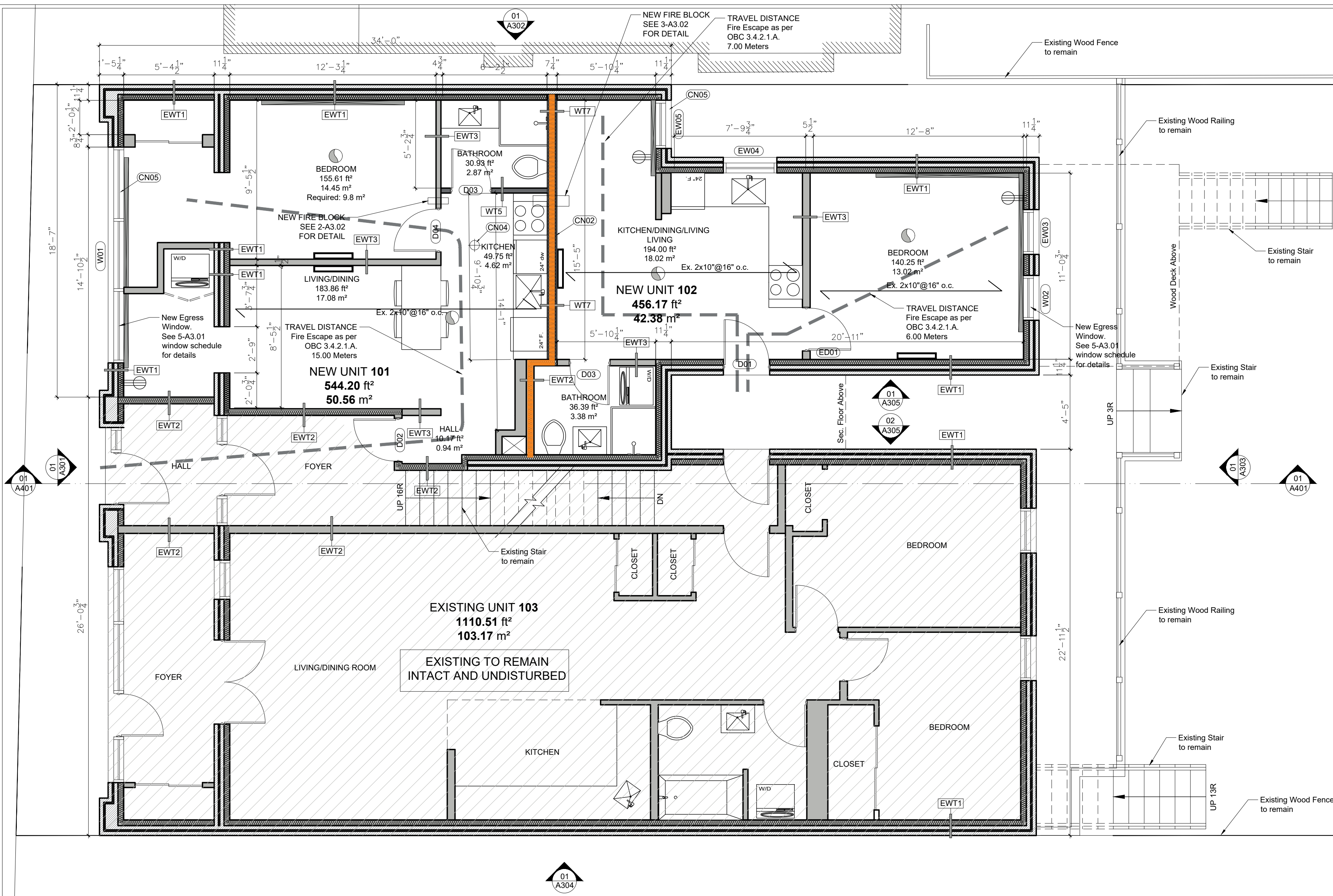
Name: **DEMO - Second Floor Plan**
 Scale: **1/4" = 1'-0"**
 Signature: *Gabriel Alvarez*
 BCIN #: 104822

#	DATE	ISSUED FOR:
1	2020-06-22	Client Review
2	2020-06-29	Permit
3	2020-08-19	Permit

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A1.02



Johnson Studio



WALL TYPE	
	EWT1 - EXISTING EXTERIOR WALL 2 Hours Fire Resistance Rating - Brick Veneer - Air Space - Structural wall - 38x89mm wood stud @ 400mm o.c. - Existing Insulation - 6 Mil Ply v.b. - 15.9mm Type X Gypsum Board - Wall Thickness = 285mm
	EWT2 - EXISTING INTERIOR WALL As per OBC - SB3 - W1a 1 Hour Fire Resistance Rating - 15.9mm Type X Gypsum Board - 38x89mm wood studs at 406mm o.c. - Existing Insulation - 15.9mm Type X Gypsum Board - Wall thickness = 120.65
	EWT3 - EXISTING INTERIOR WALL - 12.7mm Gypsum Wall Board - 38x89mm Wood Stud @ 16" o.c. - 12.7mm Gypsum Wall Board - Wall thickness = 114.3mm
	EWT4 - EXISTING INTERIOR WALL As per OBC - SB3 - W1a 1 Hour Fire Resistance Rating - 15.9mm Type X Gypsum Board - 38x140mm wood studs at 406mm o.c. - Existing 89mm thick absorptive material - 15.9mm Type X Gypsum Board - Wall thickness = 171.45
	WT5 - NEW INTERIOR WALL - 12.7mm Gypsum Wall Board - 38x89mm Wood Stud @ 16" o.c. - 12.7mm Gypsum Wall Board - Wall thickness = 114.3mm
	WT6 - NEW INTERIOR WALL As per OBC - SB3 - W3b 1 Hour Fire Resistance Rating - 15.9mm Type X Gypsum Board - 38x89mm wood studs at 610mm o.c. - 89mm thick Eco Touch QuietZone Pink Fiberglass Acoustic Insulation - Resilient metal channels on one side spaced @ 610mm o.c. - 15.9mm Type X Gypsum Board - Wall thickness = 120.65
	WT7 - NEW INTERIOR WALL As per OBC - SB3 - W3b 1 Hour Fire Resistance Rating - 15.9mm Type X Gypsum Board - 38x140mm wood studs at 610mm o.c. - 89mm thick Eco Touch QuietZone Pink Fiberglass Acoustic Insulation - Resilient metal channels on one side spaced @ 610mm o.c. - 15.9mm Type X Gypsum Board - Wall thickness = 184.15

WALL LEGEND	
	Existing wall to be demolished
	Existing wall to remain
	New wall

- Construction Notes**
- (CN01) Electric Panel to be moved to a new location
 - (CN02) * Plumbing in fire rated walls XFR drain and fire rated water line
* All plumbing greater than 2" will need fire donuts.
* All cavities for plumbing will need fire caulking
* NON-LOAD BEARING WALL. This is a 2x6" wall for a better sound proofing wall between units.
 - (CN03) Reinforce structure of existing wood deck using 2x6" joists as pergolas.
 - (CN04) 2x6" wall
 - (CN05) New portable 14,000 BTU's A/C units.

- Smoke and CO2 Detector, to have a visual signaling component as per OBC 9.10.19.3 (3)
- New electric AC wall outlet 240-Volt Receptacle
- New electric baseboard heater
- New baseboard water heater to be added
- Existing baseboard water heater to remain

- * Existing 400A Service
 - * Add new 60A Electric Panel in Units 101 and 201 and also separate Hydro Meter
 - * Existing water baseboard heaters to remain in all units.
 - * Existing Trinity T1200 Boiler to remain.
- For main floor ceiling, see 5-A3.02 for detail
For second floor ceiling, see 6-A3.02 for detail

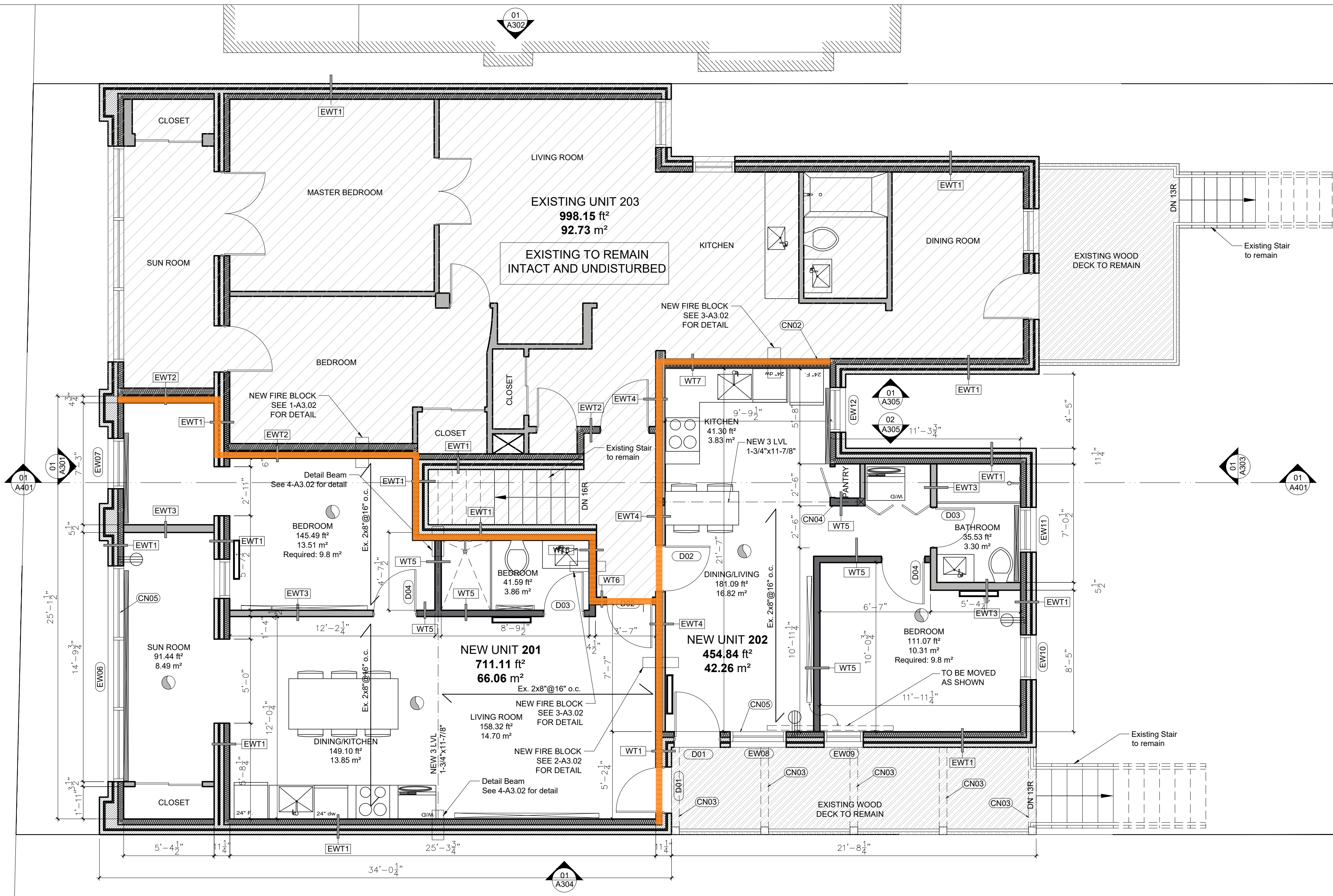
Note:
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 * Construction must conform to all applicable codes and requirements of authorities having jurisdiction.

Address:
**590 Main Street E
 Hamilton - ON**

Name: **Proposed Main Floor Plan**
 Scale: **1/4" = 1'-0"**
 Signature: *Gabriel Shantz*
 BCIN #: 104822

#	DATE	ISSUED FOR:	Page:
1	2020-06-22	Client Review	A1.03
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3	2020-08-19	Permit	





- ### WALL TYPE
- EWT1 - EXISTING EXTERIOR WALL**
2 Hours Fire Resistance Rating
 - Brick Veneer
 - Air Space
 - Structural wall
 - 38x89mm wood stud @ 400mm o.c.
 - Existing Insulation
 - 6 Mil Ply v.b.
 - 15.9mm Type X Gypsum Board
 - Wall Thickness = 285mm
 - EWT2 - EXISTING INTERIOR WALL**
 As per OBC - SB3 - W1a
1 Hour Fire Resistance Rating
 - 15.9mm Type X Gypsum Board
 - 38x89mm wood studs at 406mm o.c.
 - Existing Insulation
 - 15.9mm Type X Gypsum Board
 - Wall thickness = 120.65
 - EWT3 - EXISTING INTERIOR WALL**
 - 12.7mm Gypsum Wall Board
 - 38x89mm Wood Stud @ 16" o.c.
 - 12.7mm Gypsum Wall Board
 - Wall thickness = 114.3mm
 - EWT4 - EXISTING INTERIOR WALL**
 As per OBC - SB3 - W1a
1 Hour Fire Resistance Rating
 - 15.9mm Type X Gypsum Board
 - 38x140mm wood studs at 406mm o.c.
 - Existing 89mm thick absorptive material
 - 15.9mm Type X Gypsum Board
 - Wall thickness = 171.45
 - WT5 - NEW INTERIOR WALL**
 - 12.7mm Gypsum Wall Board
 - 38x89mm Wood Stud @ 16" o.c.
 - 12.7mm Gypsum Wall Board
 - Wall thickness = 114.3mm
 - WT6 - NEW INTERIOR WALL**
 As per OBC - SB3 - W3b
1 Hour Fire Resistance Rating
 - 15.9mm Type X Gypsum Board
 - 38x89mm wood studs at 610mm o.c.
 - 89mm thick Eco Touch QuietZone Pink Fiberglass Acoustic Insulation
 - Resilient metal channels on one side spaced @ 610mm o.c.
 - 15.9mm Type X Gypsum Board
 - Wall thickness = 120.65
 - WT7 - NEW INTERIOR WALL**
 As per OBC - SB3 - W3b
1 Hour Fire Resistance Rating
 - 15.9mm Type X Gypsum Board
 - 38x140mm wood studs at 610mm o.c.
 - 89mm thick Eco Touch QuietZone Pink Fiberglass Acoustic Insulation
 - Resilient metal channels on one side spaced @ 610mm o.c.
 - 15.9mm Type X Gypsum Board
 - Wall thickness = 184.15

- ### WALL LEGEND
- Existing wall to be demolished
 - Existing wall to remain
 - New wall

- ### Construction Notes
- CN01** Electric Panel to be moved to a new location
 - CN02** * Plumbing in fire rated walls XFR drain and fire rated water line
 * All plumbing greater than 2" will need fire donuts.
 * All cavities for plumbing will need fire caulking
 * NON-LOAD BEARING WALL. This is a 2x6" wall for a better sound proofing wall between units.
 - CN03** Reinforce structure of existing wood deck using 2x6" joists as pergolas.
 - CN04** 2x6" wall
 - CN05** New portable 14,000 BTU's A/C units.

- Smoke and CO2 Detector**, to have a visual signaling component as per OBC 9.10.19.3 (3)
- New electric AC wall outlet 240-Volt Receptacle
- New electric baseboard heater
- New baseboard water heater to be added
- Existing baseboard water heater to remain

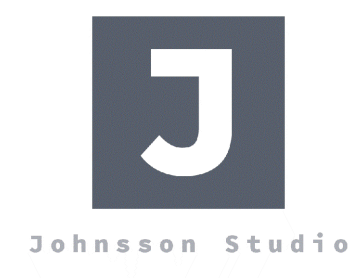
- * Existing 400A Service
 - * Add new 60A Electric Panel in Units 101 and 201 and also separate Hydro Meter
 - * Existing water baseboard heaters to remain in all units.
 - * Existing Trinity T1200 Boiler to remain.
- For main floor ceiling, see 5-A3.02 for detail
 For second floor ceiling, see 6-A3.02 for detail

Note:
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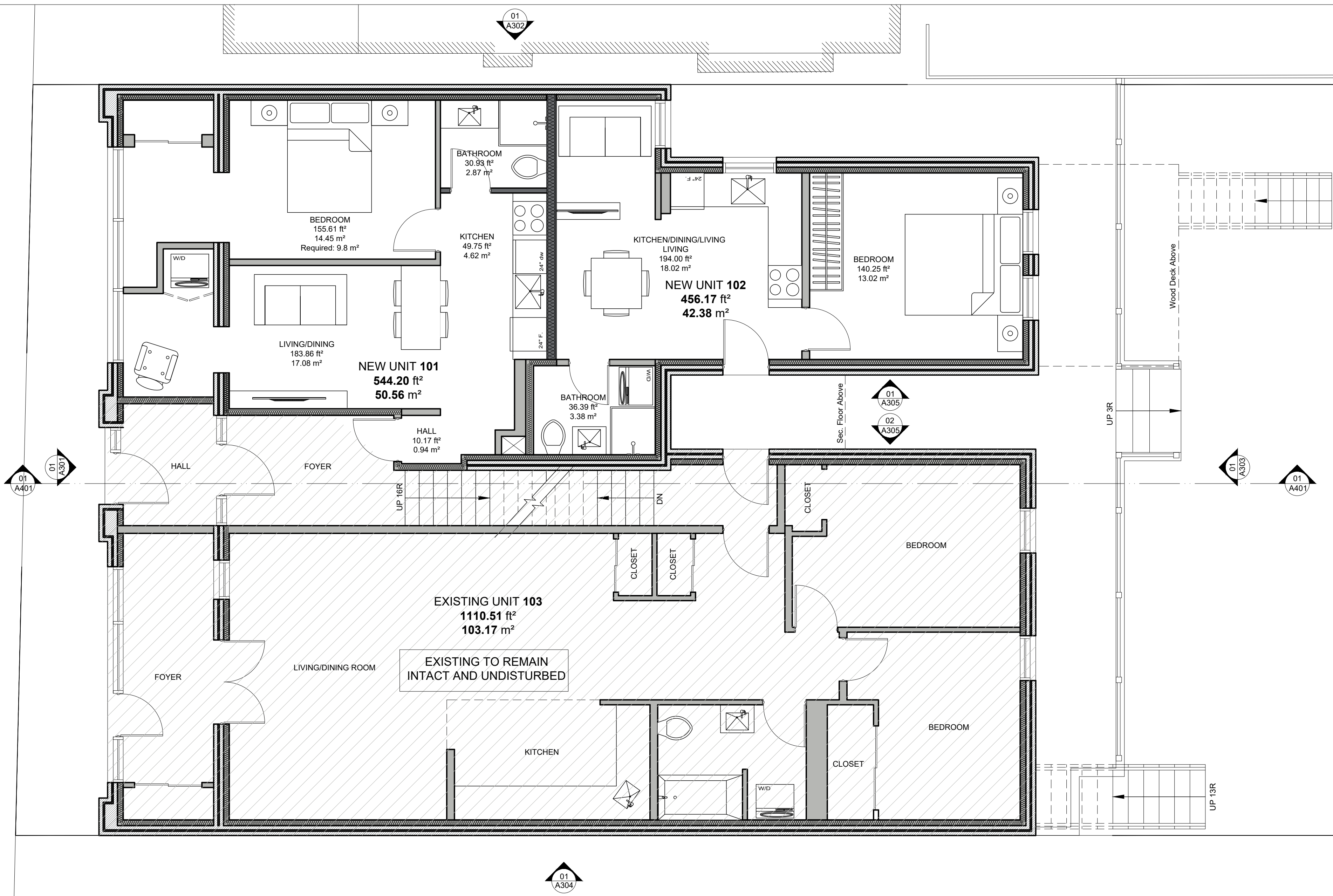
Address:
**590 Main Street E
 Hamilton - ON**

Name: **Proposed Second Floor Plan**
 Scale: **1/4" = 1'-0"**
 Signature: *Gabriel Brang*
 BCIN #: 104822

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3	2020-08-19	Permit	



Johnsson Studio



WALL TYPE	
	EWT1 - EXISTING EXTERIOR WALL 2 Hours Fire Resistance Rating - Brick Veneer - Air Space - Structural wall - 38x89mm wood stud @ 400mm o.c. - Existing Insulation - 6 Mil Ply v.b. - 15.9mm Type X Gypsum Board - Wall Thickness = 285mm
	EWT2 - EXISTING INTERIOR WALL As per OBC - SB3 - W1a 1 Hour Fire Resistance Rating - 15.9mm Type X Gypsum Board - 38x89mm wood studs at 406mm o.c. - Existing Insulation - 15.9mm Type X Gypsum Board - Wall thickness = 120.65
	EWT3 - EXISTING INTERIOR WALL - 12.7mm Gypsum Wall Board - 38x89mm Wood Stud @ 16" o.c. - 12.7mm Gypsum Wall Board - Wall thickness = 114.3mm
	EWT4 - EXISTING INTERIOR WALL As per OBC - SB3 - W1a 1 Hour Fire Resistance Rating - 15.9mm Type X Gypsum Board - 38x140mm wood studs at 406mm o.c. - Existing 89mm thick absorptive material - 15.9mm Type X Gypsum Board - Wall thickness = 171.45
	WT5 - NEW INTERIOR WALL - 12.7mm Gypsum Wall Board - 38x89mm Wood Stud @ 16" o.c. - 12.7mm Gypsum Wall Board - Wall thickness = 114.3mm
	WT6 - NEW INTERIOR WALL As per OBC - SB3 - W3b 1 Hour Fire Resistance Rating - 15.9mm Type X Gypsum Board - 38x89mm wood studs at 610mm o.c. - 89mm thick Eco Touch QuietZone Pink Fiberglass Acoustic Insulation - Resilient metal channels on one side spaced @ 610mm o.c. - 15.9mm Type X Gypsum Board - Wall thickness = 120.65
	WT7 - NEW INTERIOR WALL As per OBC - SB3 - W3b 1 Hour Fire Resistance Rating - 15.9mm Type X Gypsum Board - 38x140mm wood studs at 610mm o.c. - 89mm thick Eco Touch QuietZone Pink Fiberglass Acoustic Insulation - Resilient metal channels on one side spaced @ 610mm o.c. - 15.9mm Type X Gypsum Board - Wall thickness = 184.15

WALL LEGEND	
	Existing wall to be demolished
	Existing wall to remain
	New wall

- Construction Notes**
- (CN01) Electric Panel to be moved to a new location
 - (CN02) * Plumbing in fire rated walls XFR drain and fire rated water line
* All plumbing greater than 2" will need fire donuts.
* All cavities for plumbing will need fire caulking
* NON-LOAD BEARING WALL. This is a 2x6" wall for a better sound proofing wall between units.
 - (CN03) Reinforce structure of existing wood deck using 2x6" joists as pergolas.
 - (CN04) 2x6" wall
 - (CN05) New portable 14,000 BTU's A/C units.

- Smoke and CO2 Detector, to have a visual signaling component as per OBC 9.10.19.3 (3)
- New electric AC wall outlet 240-Volt Receptacle
- New electric baseboard heater
- New baseboard water heater to be added
- Existing baseboard water heater to remain

- * Existing 400A Service
 - * Add new 60A Electric Panel in Units 101 and 201 and also separate Hydro Meter
 - * Existing water baseboard heaters to remain in all units.
 - * Existing Trinity T1200 Boiler to remain.
- For main floor ceiling, see 5-A3.02 for detail
For second floor ceiling, see 6-A3.02 for detail

Note:
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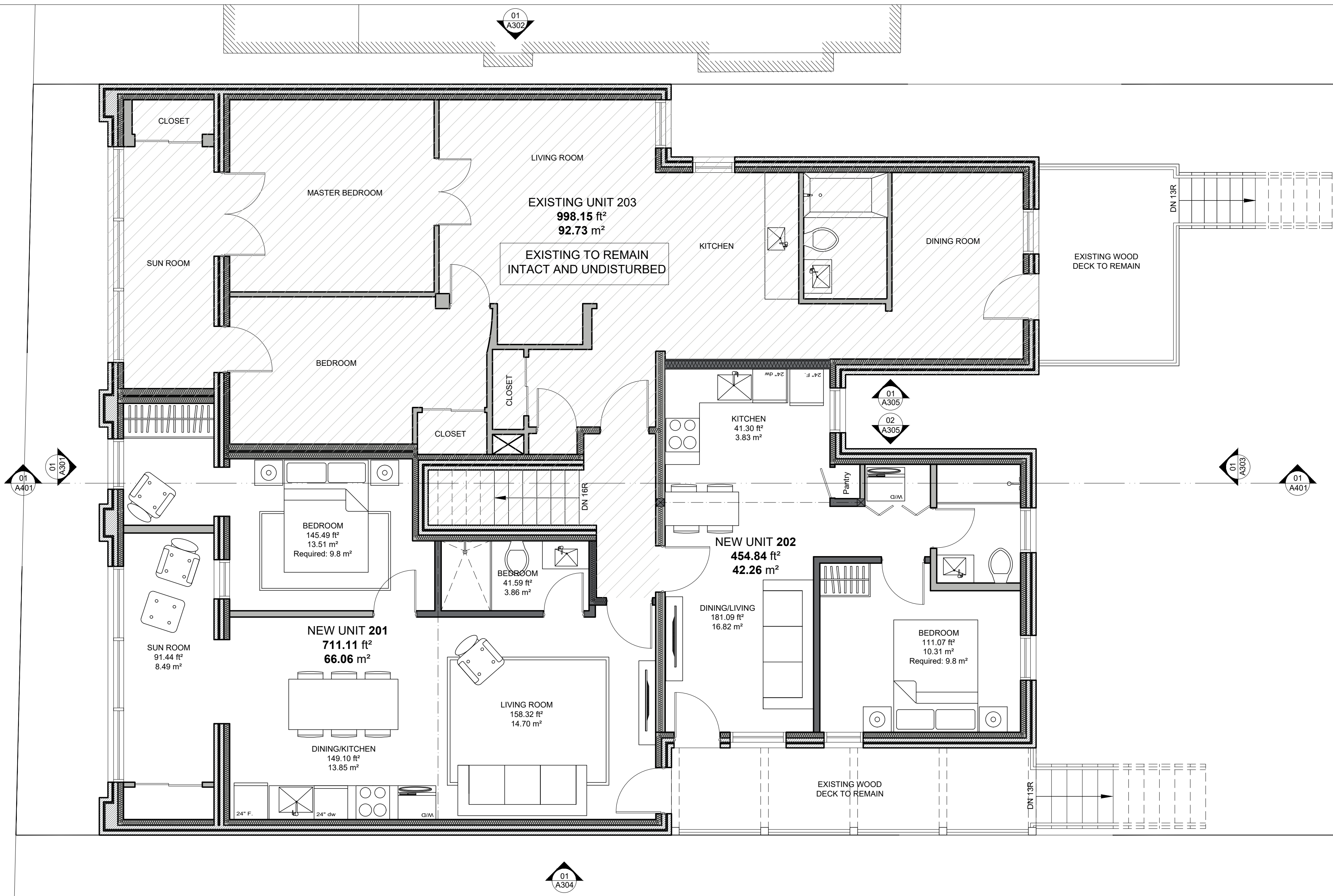
Address:
**590 Main Street E
 Hamilton - ON**

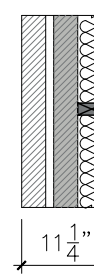
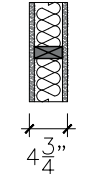
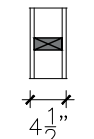
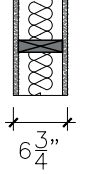
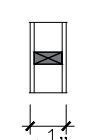
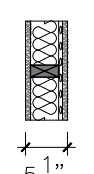
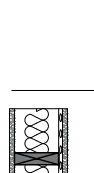
Name: **FURNITURE - Main Floor Plan**
 Scale: **1/4" = 1'-0"**
 Signature: *Gabriel Obiang*
 BCIN #: 104822




#	DATE	ISSUED FOR:
1	2020-06-22	Client Review
2	2020-06-29	Permit
3	2020-08-19	Permit

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












WALL TYPE	
	EWT1 - EXISTING EXTERIOR WALL 2 Hours Fire Resistance Rating - Brick Veneer - Air Space - Structural wall - 38x89mm wood stud @ 400mm o.c. - Existing Insulation - 6 Mil Ply v.b. - 15.9mm Type X Gypsum Board - Wall Thickness = 285mm
	EWT2 - EXISTING INTERIOR WALL As per OBC - SB3 - W1a 1 Hour Fire Resistance Rating - 15.9mm Type X Gypsum Board - 38x89mm wood studs at 406mm o.c. - Existing Insulation - 15.9mm Type X Gypsum Board - Wall thickness = 120.65
	EWT3 - EXISTING INTERIOR WALL - 12.7mm Gypsum Wall Board - 38x89mm Wood Stud @ 16" o.c. - 12.7mm Gypsum Wall Board - Wall thickness = 114.3mm
	EWT4 - EXISTING INTERIOR WALL As per OBC - SB3 - W1a 1 Hour Fire Resistance Rating - 15.9mm Type X Gypsum Board - 38x140mm wood studs at 406mm o.c. - Existing 89mm thick absorptive material - 15.9mm Type X Gypsum Board - Wall thickness = 171.45
	WT5 - NEW INTERIOR WALL - 12.7mm Gypsum Wall Board - 38x89mm Wood Stud @ 16" o.c. - 12.7mm Gypsum Wall Board - Wall thickness = 114.3mm
	WT6 - NEW INTERIOR WALL As per OBC - SB3 - W3b 1 Hour Fire Resistance Rating - 15.9mm Type X Gypsum Board - 38x89mm wood studs at 610mm o.c. - 89mm thick Eco Touch QuietZone Pink Fiberglass Acoustic Insulation - Resilient metal channels on one side spaced @ 610mm o.c. - 15.9mm Type X Gypsum Board - Wall thickness = 120.65
	WT7 - NEW INTERIOR WALL As per OBC - SB3 - W3b 1 Hour Fire Resistance Rating - 15.9mm Type X Gypsum Board - 38x140mm wood studs at 610mm o.c. - 89mm thick Eco Touch QuietZone Pink Fiberglass Acoustic Insulation - Resilient metal channels on one side spaced @ 610mm o.c. - 15.9mm Type X Gypsum Board - Wall thickness = 184.15

WALL LEGEND	
	Existing wall to be demolished
	Existing wall to remain
	New wall

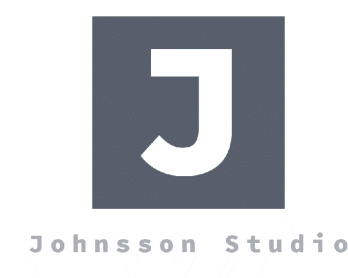
- Construction Notes**
- (CN01) Electric Panel to be moved to a new location
 - (CN02) * Plumbing in fire rated walls XFR drain and fire rated water line
* All plumbing greater than 2" will need fire donuts.
* All cavities for plumbing will need fire caulking
* NON-LOAD BEARING WALL. This is a 2x6" wall for a better sound proofing wall between units.
 - (CN03) Reinforce structure of existing wood deck using 2x6" joists as pergolas.
 - (CN04) 2x6" wall
 - (CN05) New portable 14,000 BTU's A/C units.

-  Smoke and CO2 Detector, to have a visual signaling component as per OBC 9.10.19.3 (3)
-  New electric AC wall outlet 240-Volt Receptacle
-  New electric baseboard heater
-  New baseboard water heater to be added
-  Existing baseboard water heater to remain

-  Existing 400A Service
-  Add new 60A Electric Panel in Units 101 and 201 and also separate Hydro Meter
-  Existing water baseboard heaters to remain in all units.
-  Existing Trinity T1200 Boiler to remain.

For main floor ceiling, see 5-A3.02 for detail
 For second floor ceiling, see 6-A3.02 for detail

Note:
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 * Construction must conform to all applicable codes and requirements of authorities having jurisdiction.

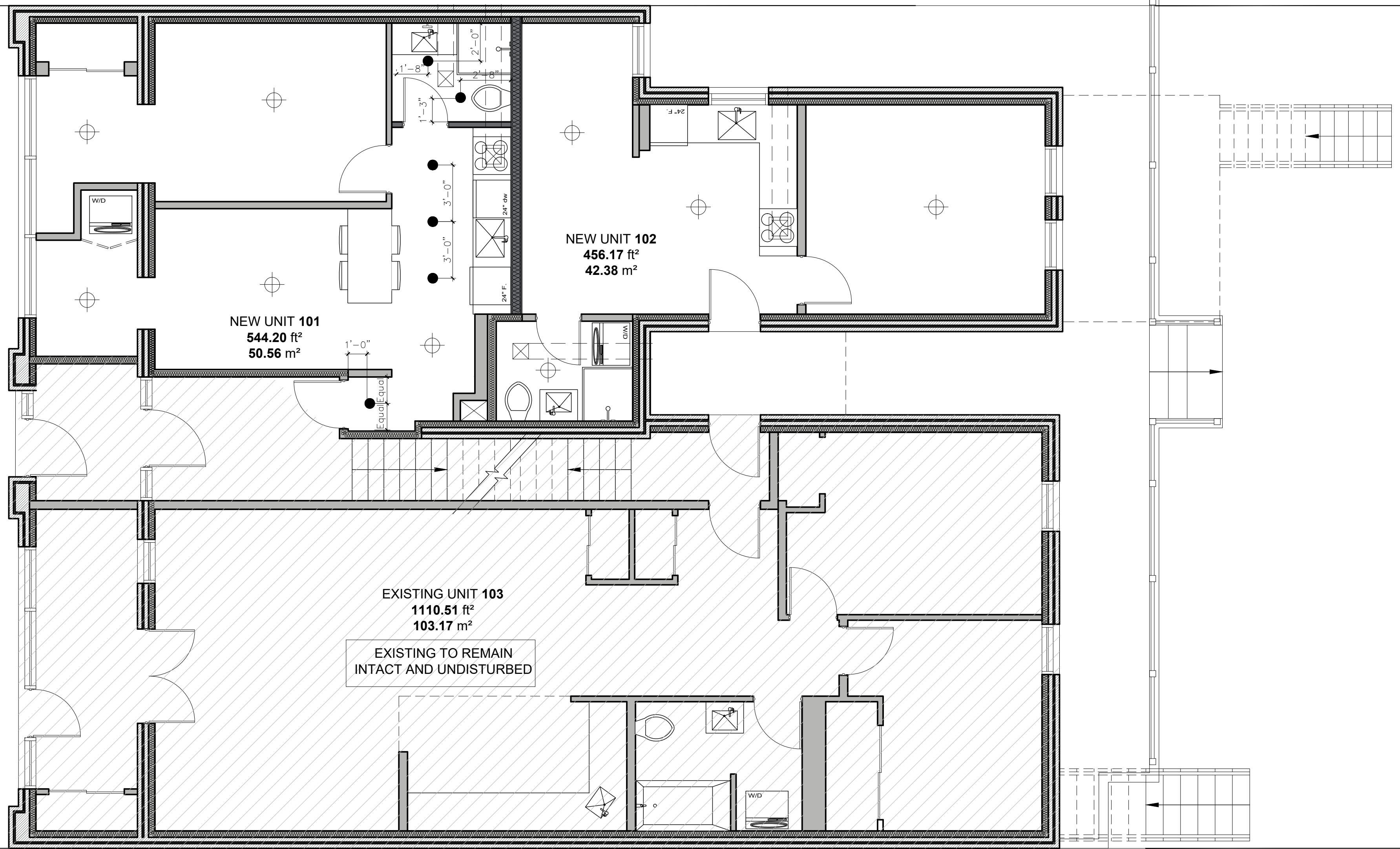


Address:
590 Main Street E
Hamilton - ON

Name: **FURNITURE - Sec. Floor Plan**
 Scale: **1/4" = 1'-0"**
 Signature: *Gabriel Obiang*
 BCIN #: 104822

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1	2020-06-22	Client Review
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LEGEND	
	EXISTING LIGHT FIXTURE TO REMAIN
	NEW LED DOWNLIGHT
	NEW WALL MOUNTED LIGHT FIXTURE
	NEW FAN EXHAUST WITH 4" INSULATED PIPE EQUIPPED WITH FIRE DAMPER
	NEW FAN EXHAUST WITH 4" INSULATED PIPE



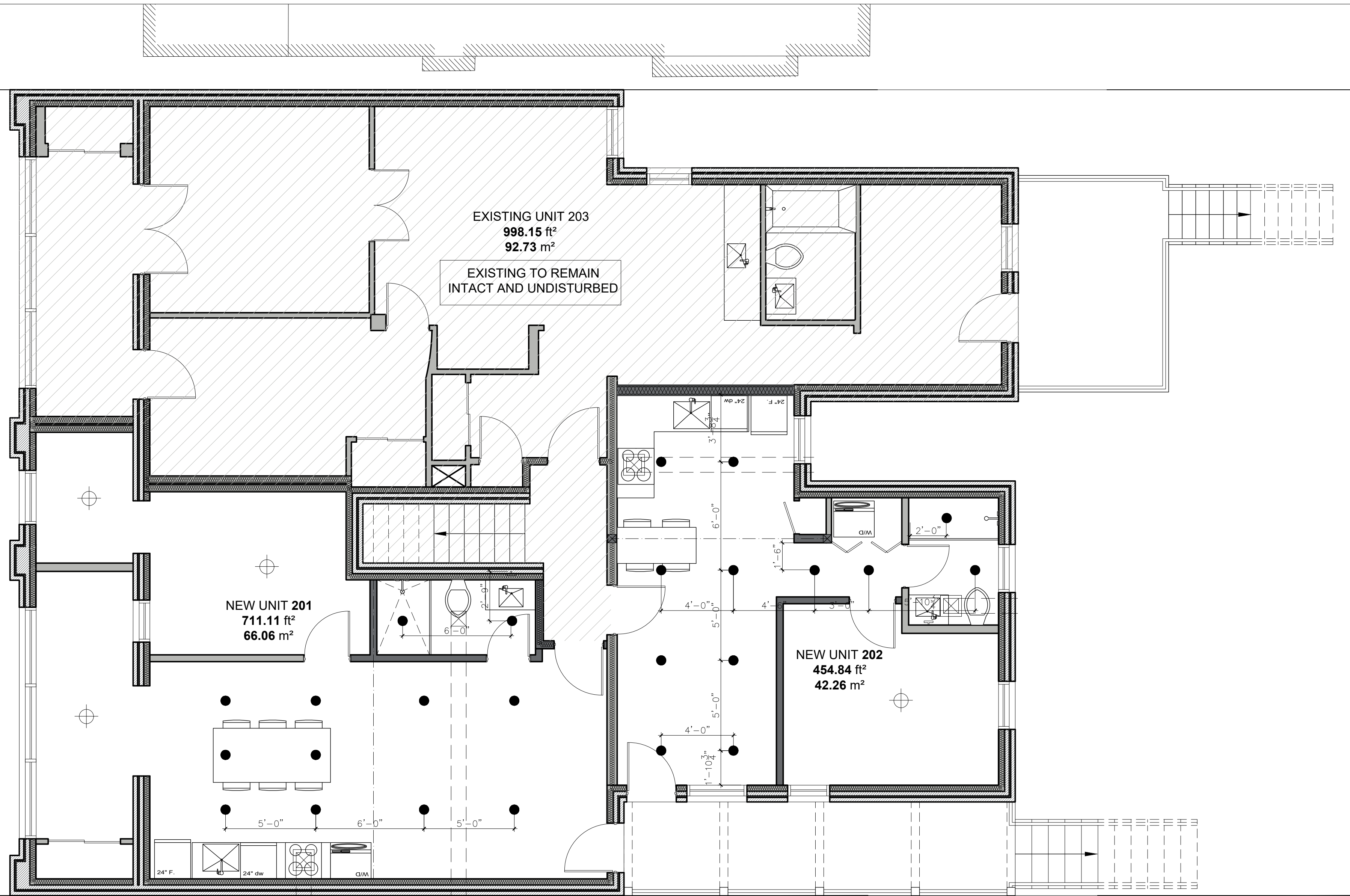
Note:
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Address:
590 Main Street E
Hamilton - ON

Name: RCP - Main Floor Plan
Scale: 1/4" = 1'-0"
Signature: *Gabriel Alvarez*
 BCIN #: 104822

#	DATE	ISSUED FOR:
1	2020-06-22	Client Review
2	2020-06-29	Permit
3	2020-08-19	Permit

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A1.07



EXISTING UNIT 203
 998.15 ft²
 92.73 m²
 EXISTING TO REMAIN
 INTACT AND UNDISTURBED

NEW UNIT 201
 711.11 ft²
 66.06 m²

NEW UNIT 202
 454.84 ft²
 42.26 m²

LEGEND	
	EXISTING LIGHT FIXTURE TO REMAIN
	NEW LED DOWNLIGHT
	NEW WALL MOUNTED LIGHT FIXTURE
	NEW FAN EXHAUST WITH 4" INSULATED PIPE EQUIPPED WITH FIRE DAMPER
	NEW FAN EXHAUST WITH 4" INSULATED PIPE



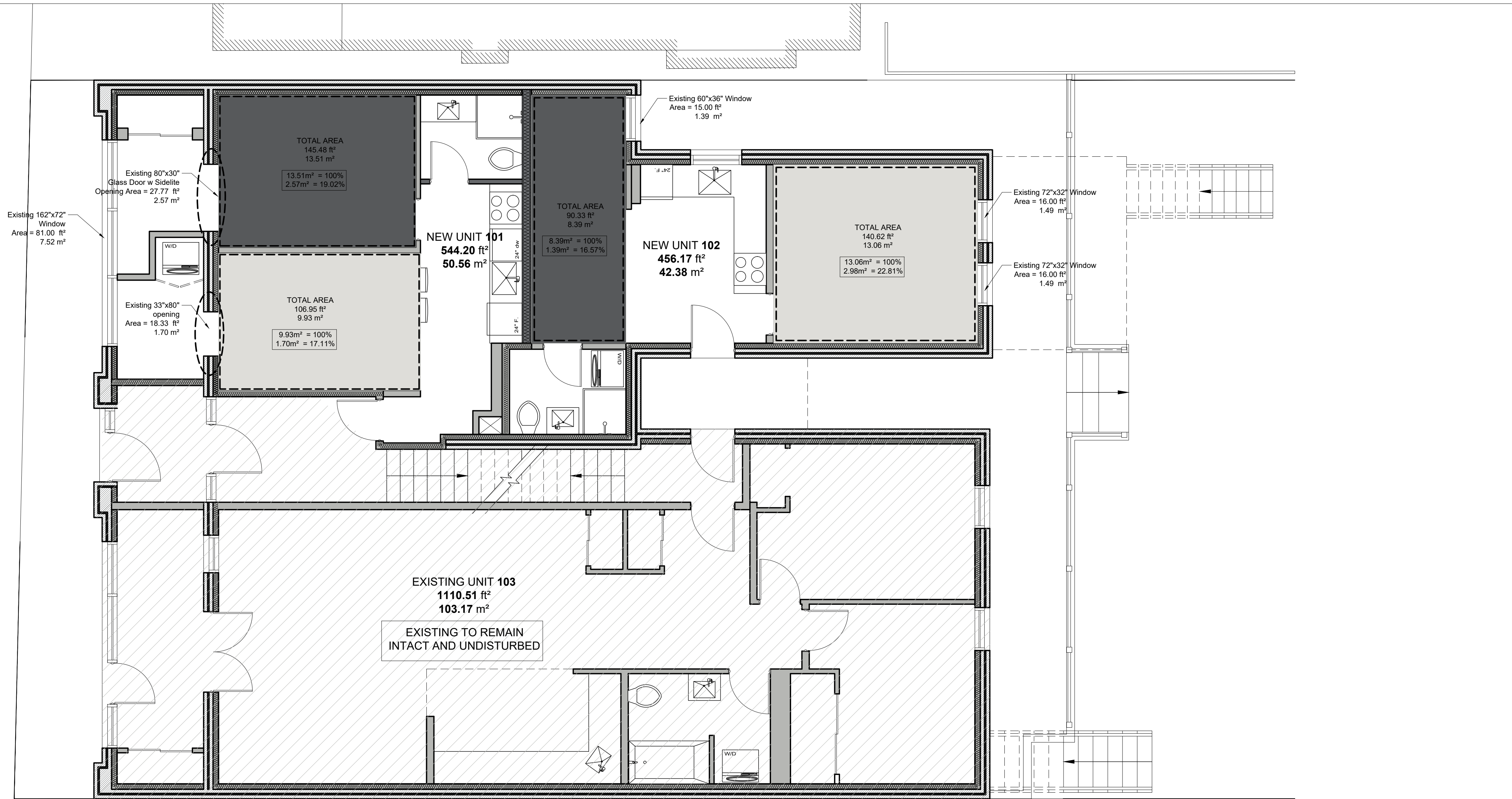
Note:
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Address:
**590 Main Street E
 Hamilton - ON**

Name: RCP - Sec. Floor Plan
 Scale: 1/4" = 1'-0"
 Signature: *Gabriel Alvarez*
 BCIN #: 104822

#	DATE	ISSUED FOR:
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3	2020-08-19	Permit

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A1.08



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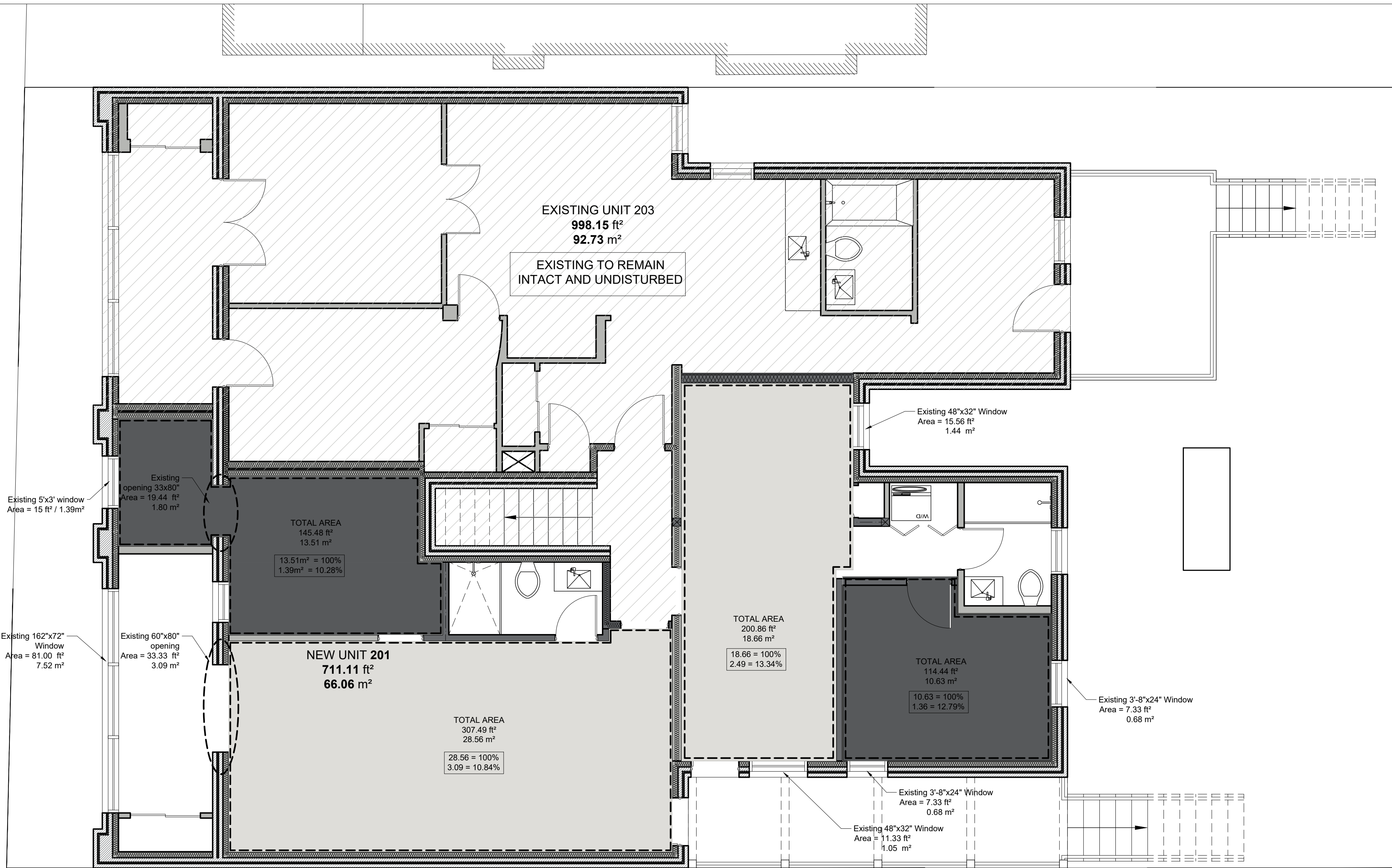
Address:
**590 Main Street E
 Hamilton - ON**

Name: **Windows Area - Main Floor**
 Scale: **1/4" = 1'-0"**
 BCIN #: 104822
Gabriel Alvarez

#	DATE	ISSUED FOR:
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3	2020-08-19	Permit



Johnson Studio

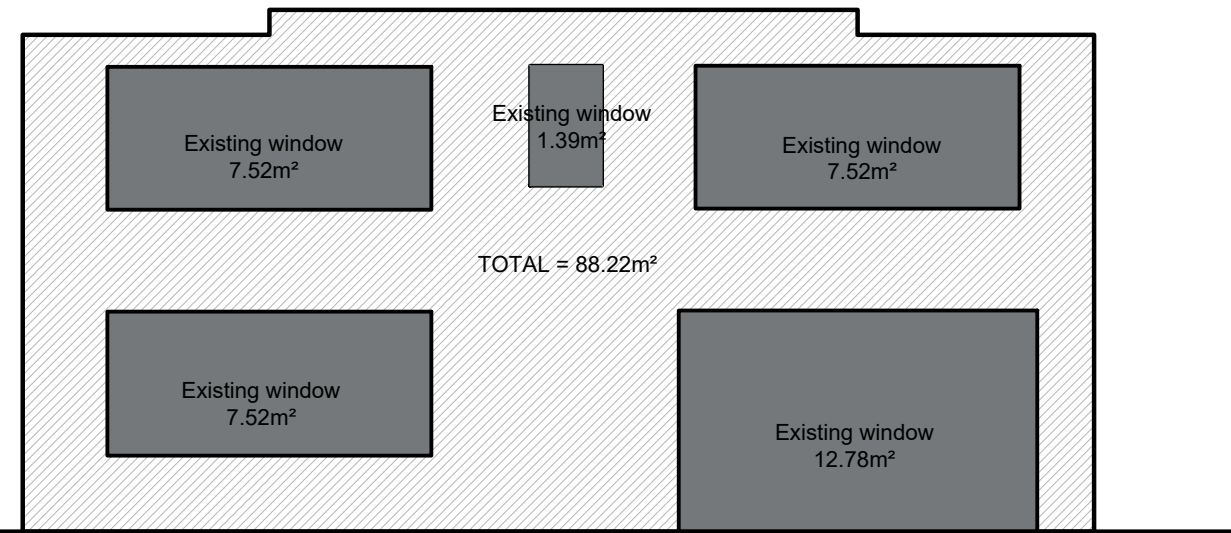


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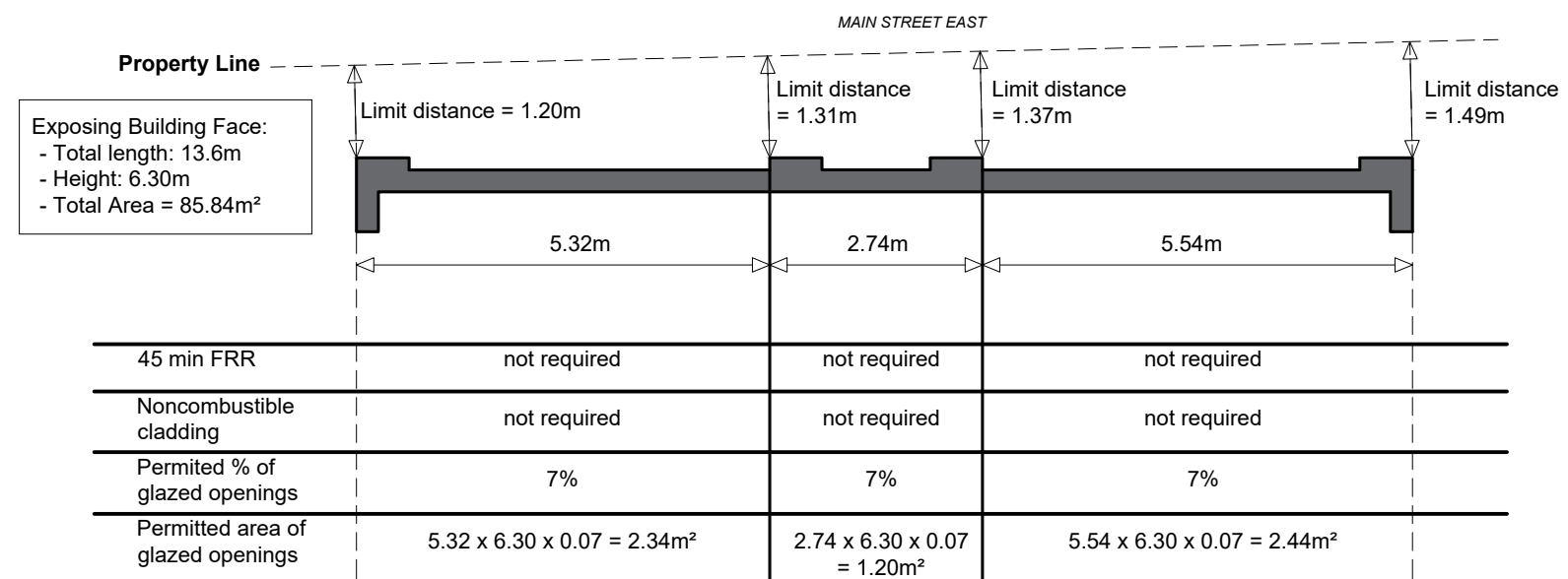
Address:
**590 Main Street E
 Hamilton - ON**

Name: **Windows Area - Second Floor**
 Scale: **1/4" = 1'-0"**
 Signature: *Gabriel Alvarez*
 BCIN #: 104822

#	DATE	ISSUED FOR:
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STREET ELEVATION
 TOTAL AREA = 88.22m² (100%)
 OPENINGS = 36.76m² (41.7%)



1 North Elevation
 A2.01 3/8" = 1'-0"

J
 Johansson Studio

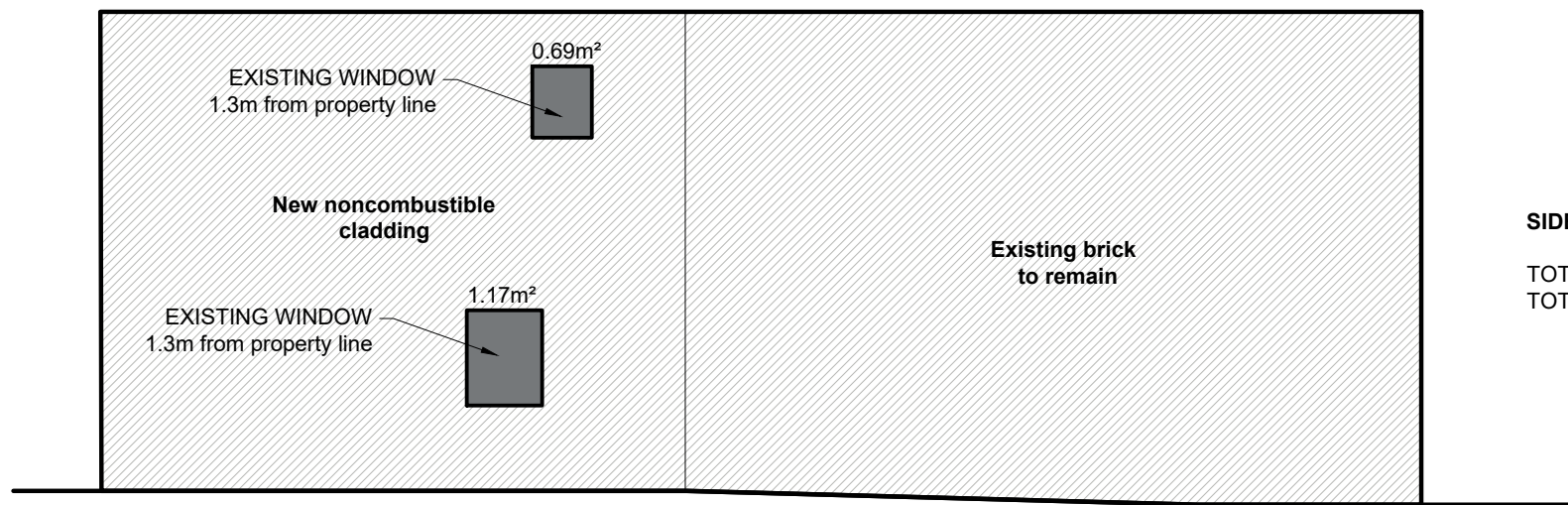
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Address:
**590 Main Street E
 Hamilton - ON**

Name: **NORTH - Elevation**
 Scale: **3/8" = 1'-0"**
 Signature: BCIN #: 104822 *Gabriel Brang*

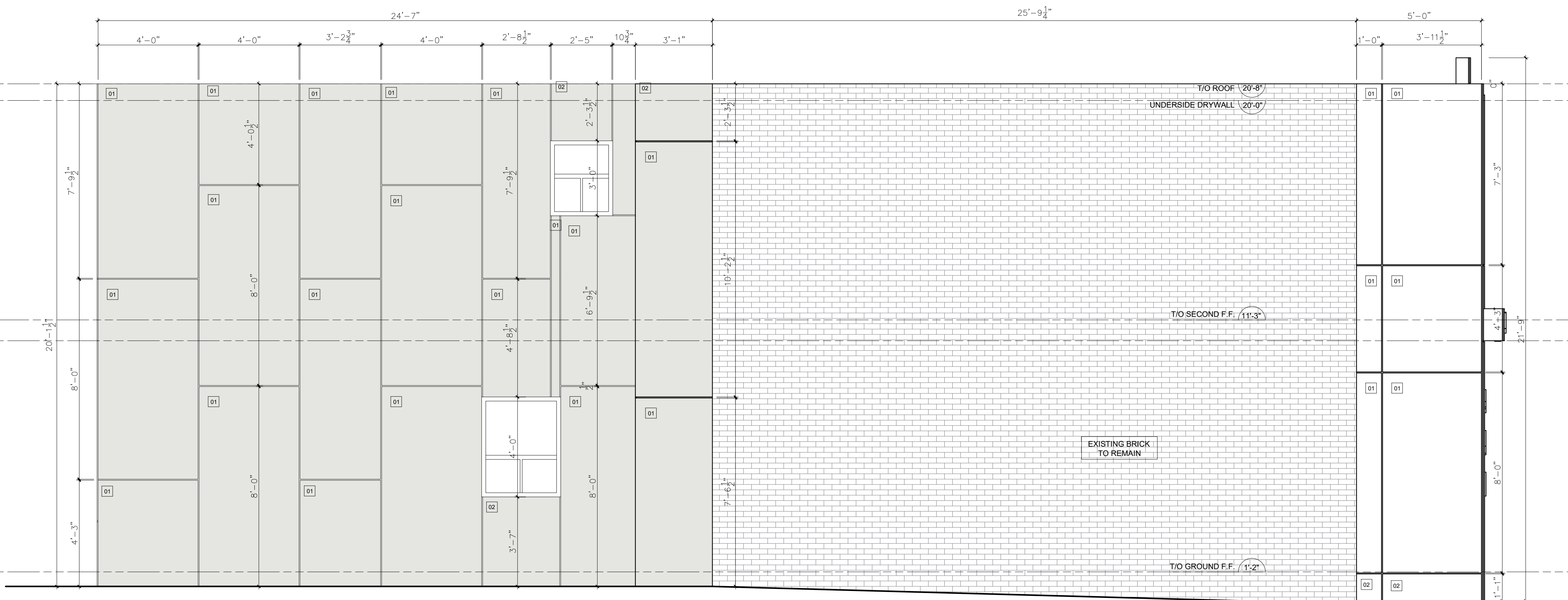
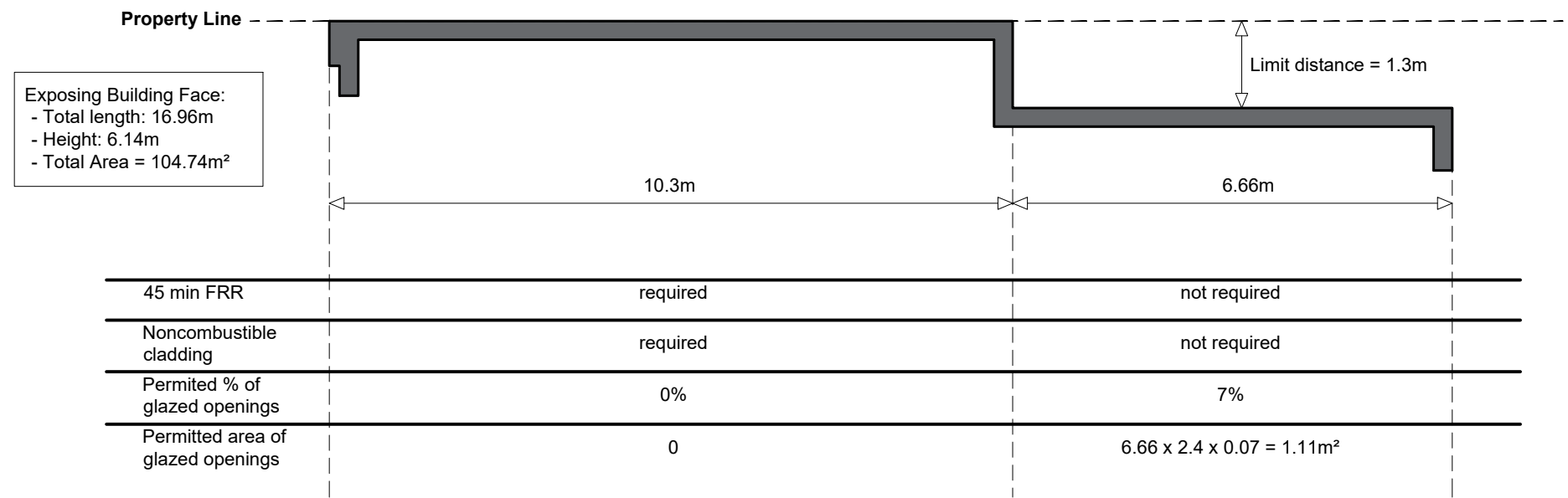
#	DATE	ISSUED FOR:
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A2.01



SIDE ELEVATION (EAST)

TOTAL AREA = 104.74m² (100%)
 TOTAL OPENINGS = 1.87m² (1.79%)



1 East Elevation
 A2.02 3/8" = 1'-0"

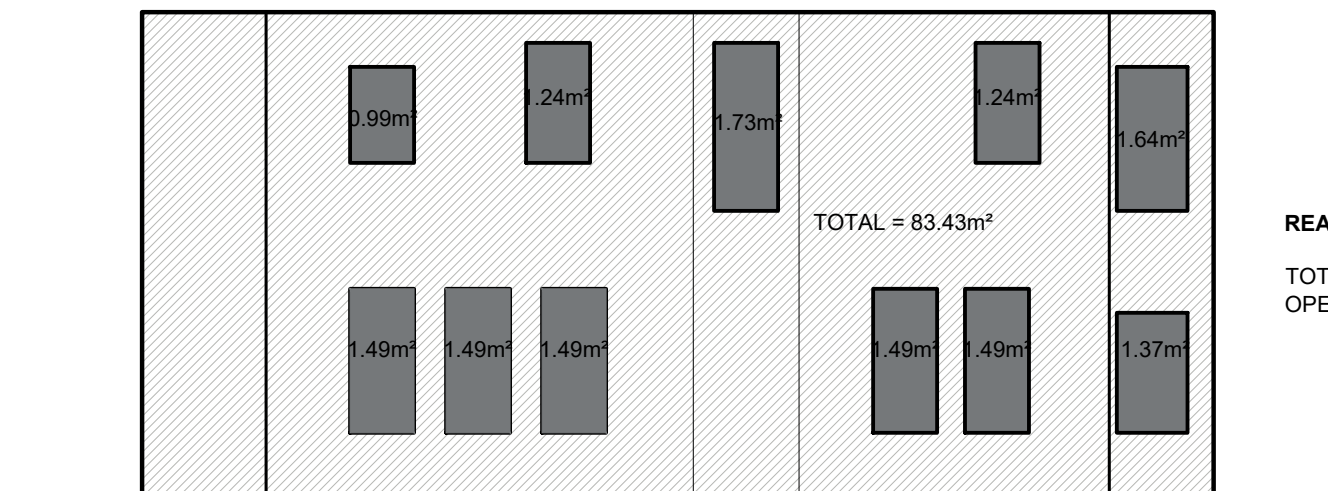
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Address:
**590 Main Street E
 Hamilton - ON**

Name: **EAST - Elevation**
 Scale: **3/8" = 1'-0"**
 Signature: *Gabriel Alvarez*
 BCIN #: 104822

#	DATE	ISSUED FOR:
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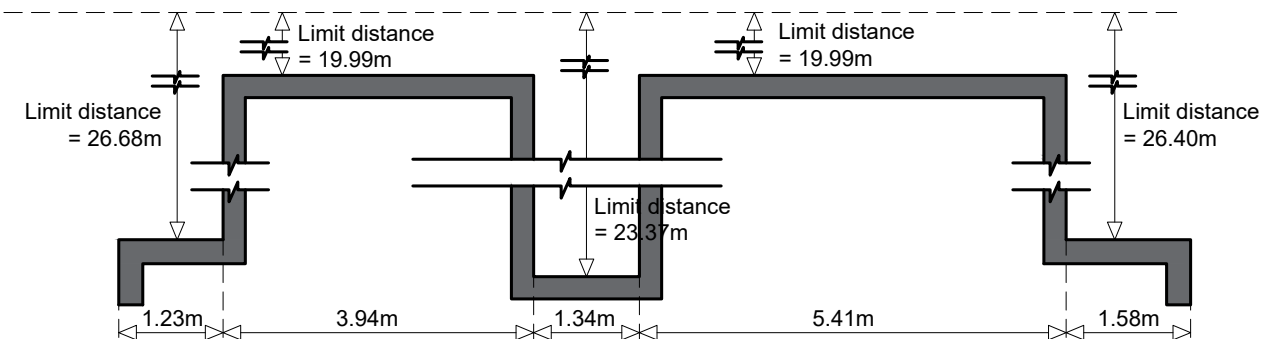




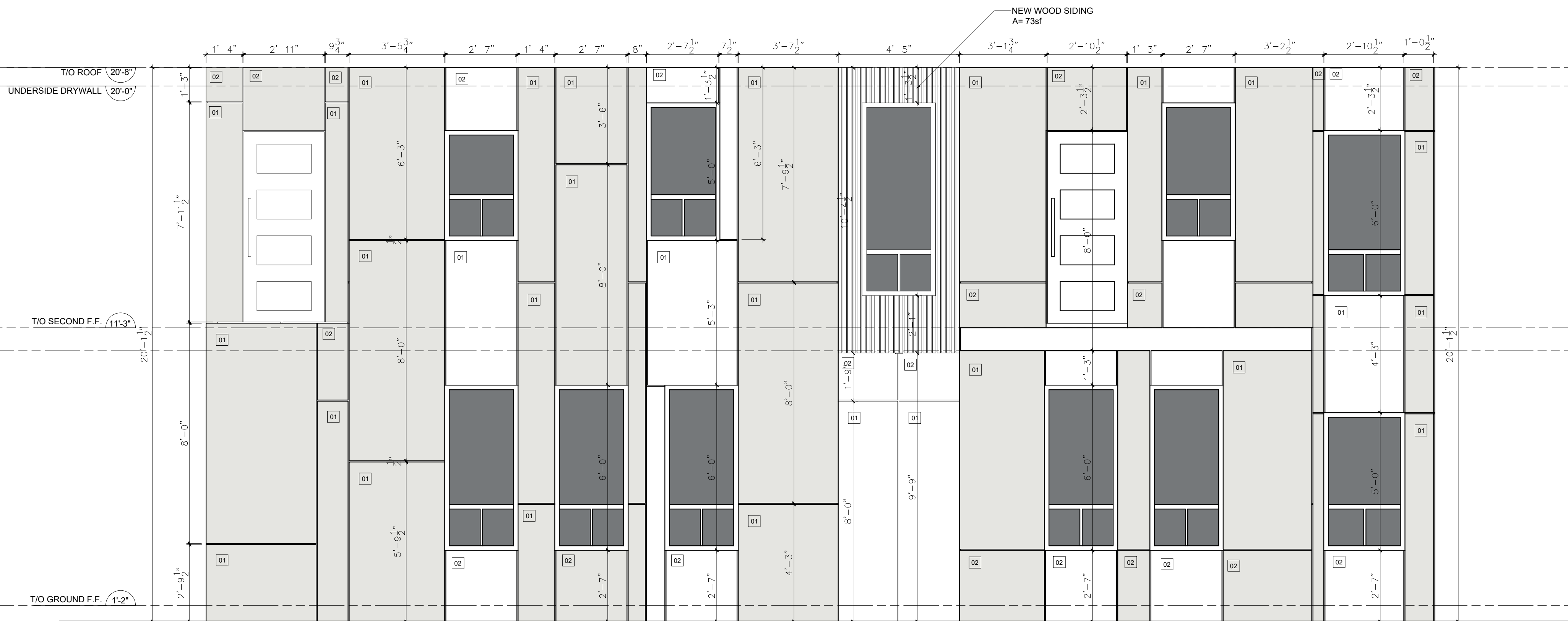
REAR ELEVATION
 TOTAL AREA = 83.43m² (100%)
 OPENINGS = 15.65m² (18.76%)

Property Line

Exposing Building Face:
 - Total length: 13.60m
 - Height: 6.14m
 - Total Area = 83.42m²



45 min FRR	not required	not required	not required	not required	not required
Noncombustible cladding	not required	not required	not required	not required	not required
Permitted % of glazed openings	-	-	-	-	-
Permitted area of glazed openings	-	-	-	-	-



1 Rear Elevation
 A2.03 3/8" = 1'-0"

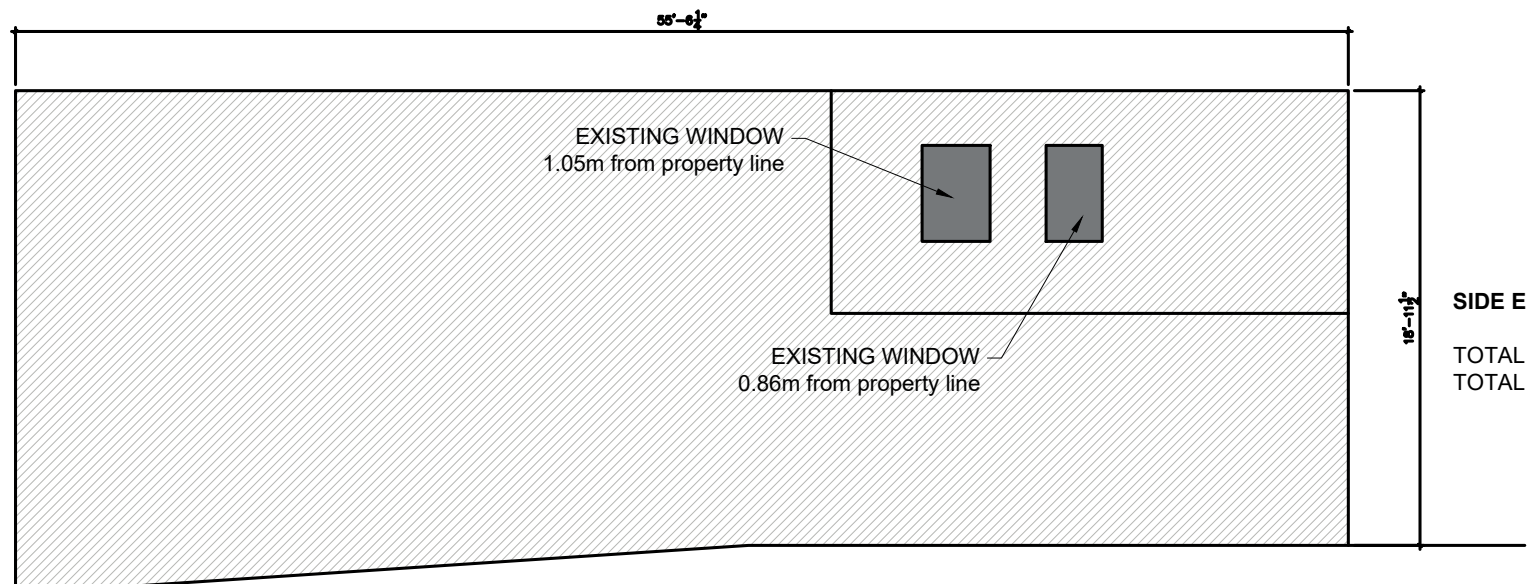
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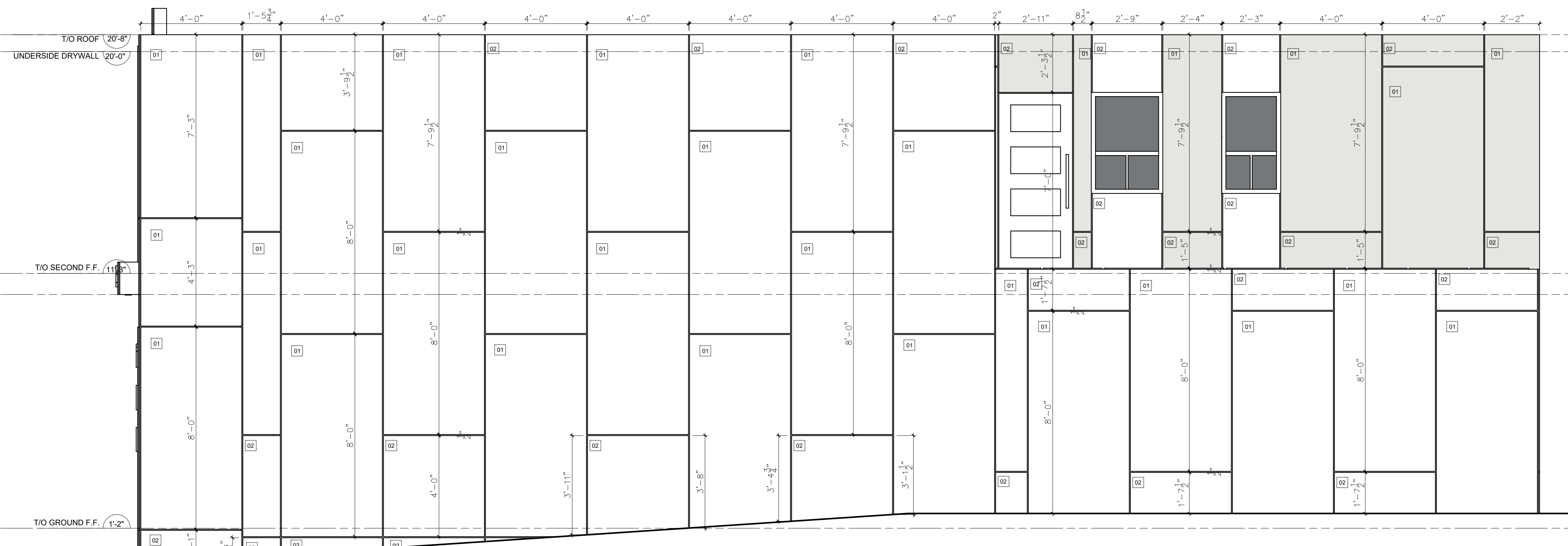
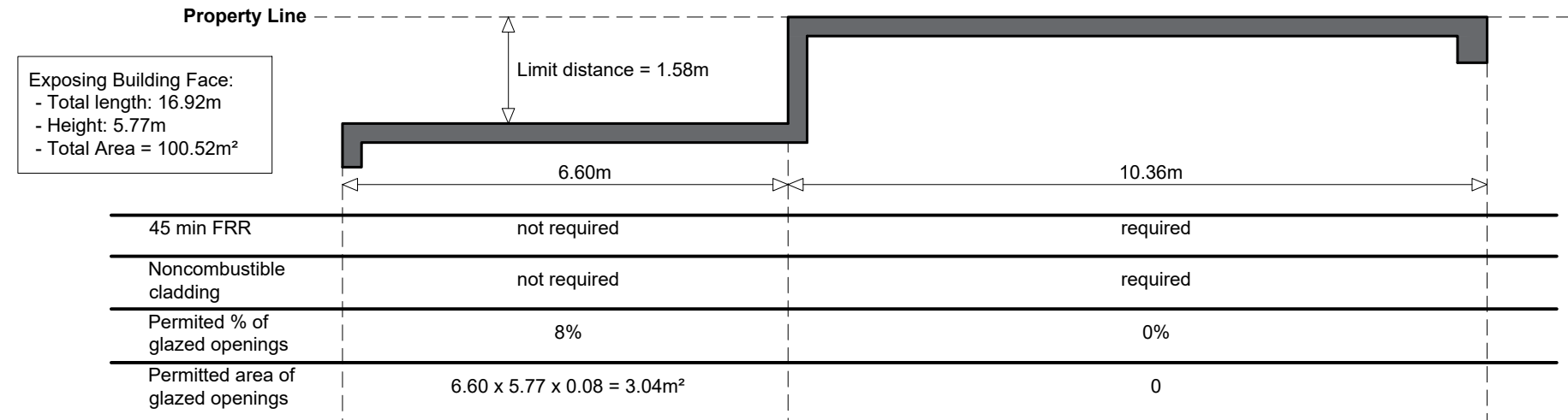
Name: WEST - Elevation
 Scale: 3/8" = 1'-0"
 Signature: BCIN #: 104822 *Gabriel Alvarez*

#	DATE	ISSUED FOR:
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SIDE ELEVATION (SOUTH)
 TOTAL AREA = 100.52m² (100%)
 TOTAL OPENINGS = 1.91m² (1.90%)



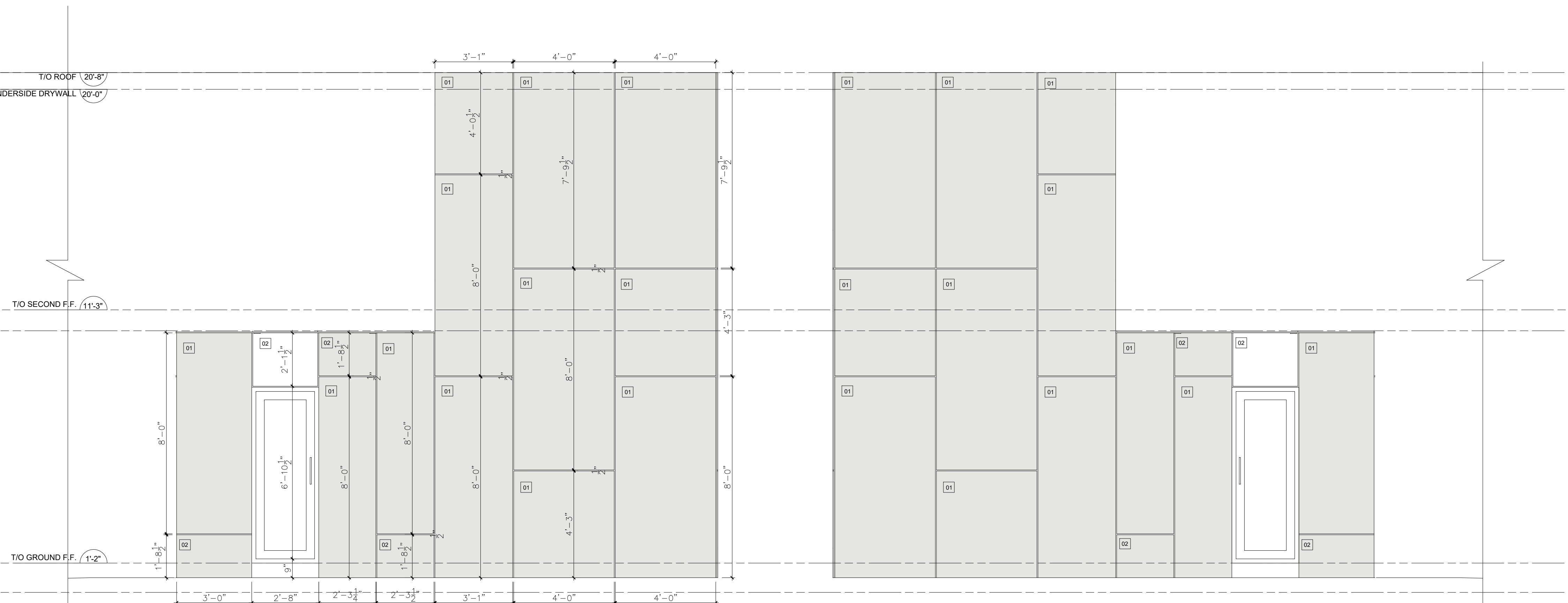
1 South Elevation
 A2.04 3/8" = 1'-0"

Note:
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Address:
**590 Main Street E
 Hamilton - ON**

Name: **SOUTH - Elevation**
 Scale: **3/8" = 1'-0"**
 BCIN #: 104822
Gabriel Shantz

#	DATE	ISSUED FOR:
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1
A2.05 Rear Elevation
3/8" = 1'-0"

2
A2.05 Rear Elevation
3/8" = 1'-0"

J
Johnsson Studio

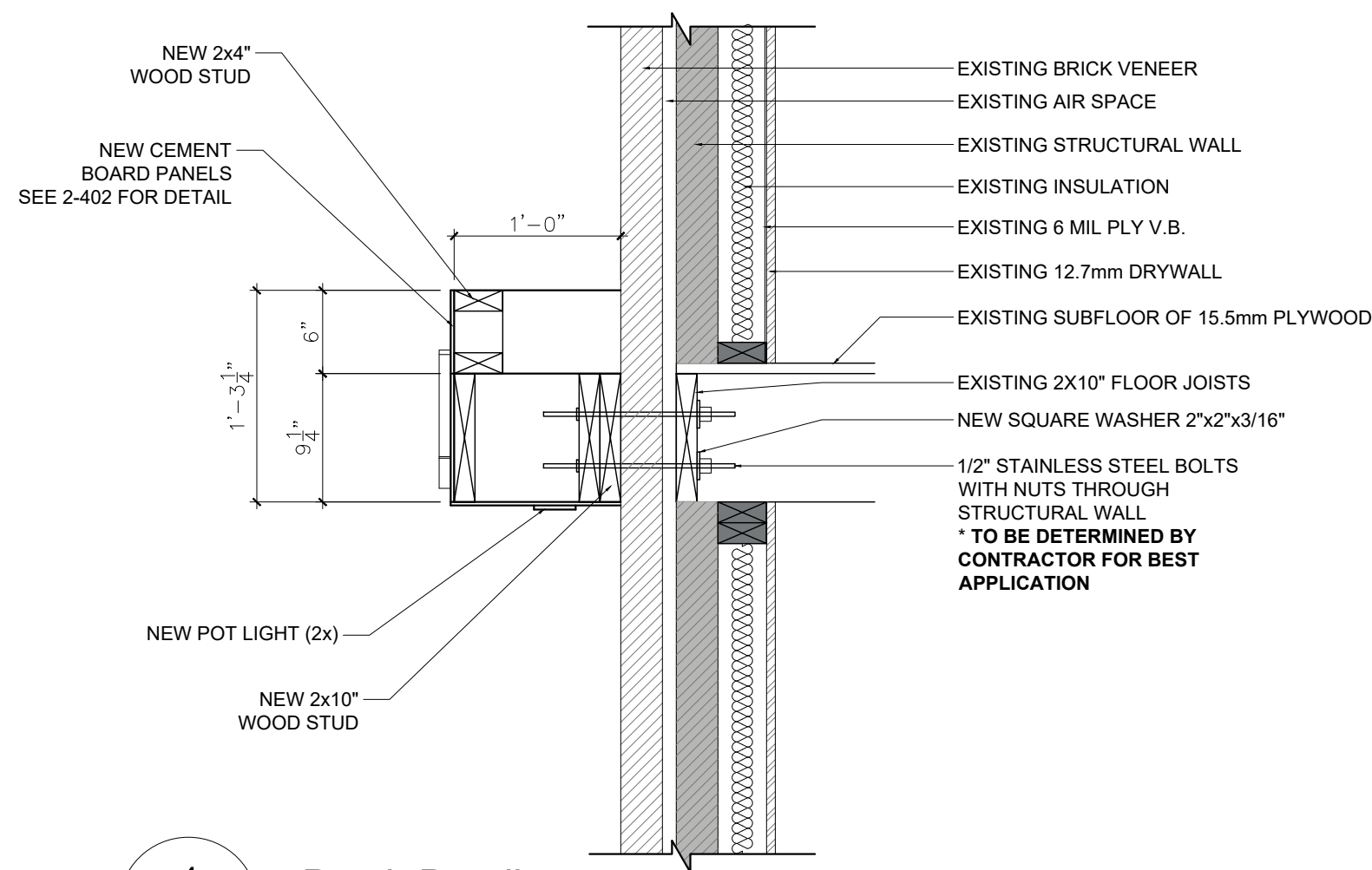
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Address:
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 Hamilton - ON**

Name: **REAR @ Entrance - Elevation**
 Scale: **3/8" = 1'-0"**
 Signature: BCIN #: 104822 *Gabriel Hoare*

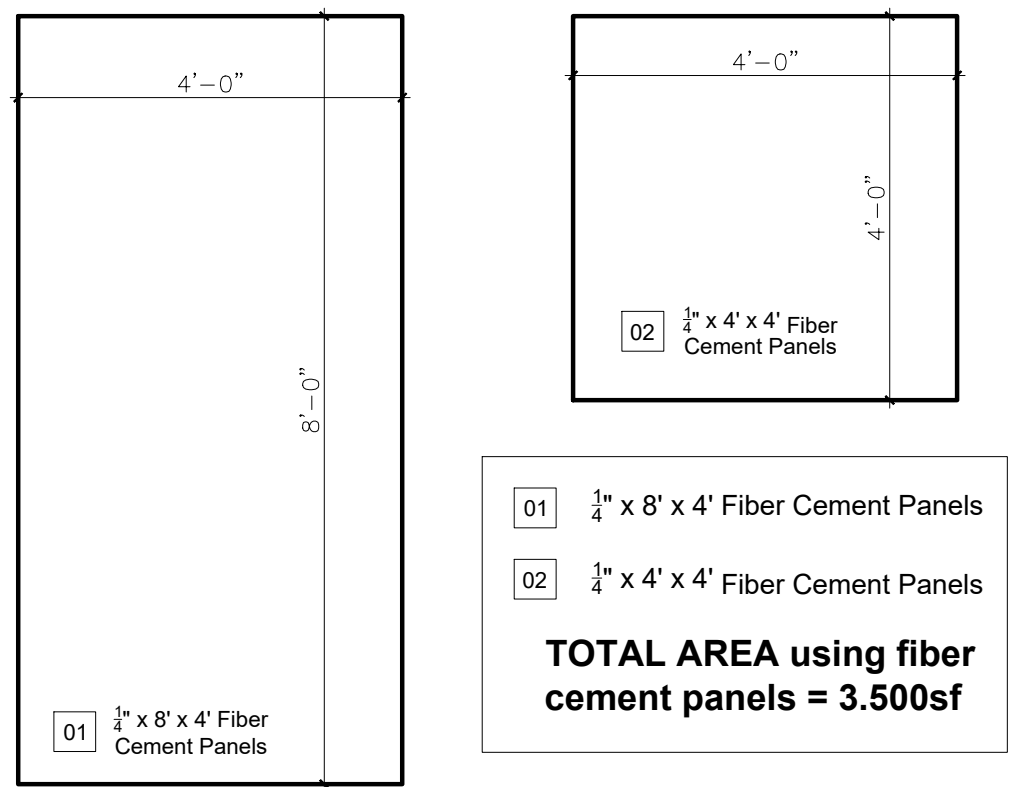
#	DATE	ISSUED FOR:
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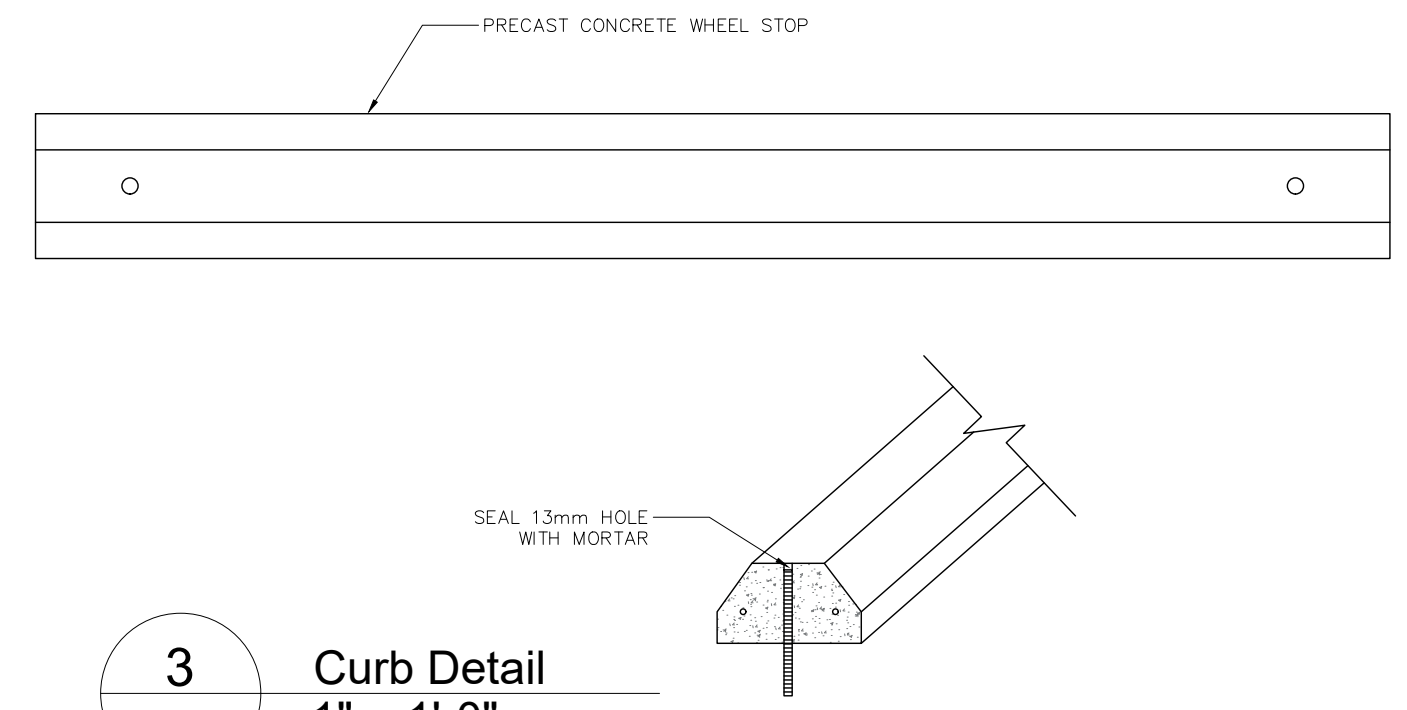


1
A3.01 **Porch Detail**
1" = 1'-0"

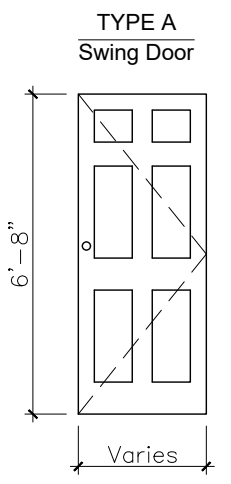
Fiber Cement Panels



2
A3.01 **Panel Details**
1/2" = 1'-0"



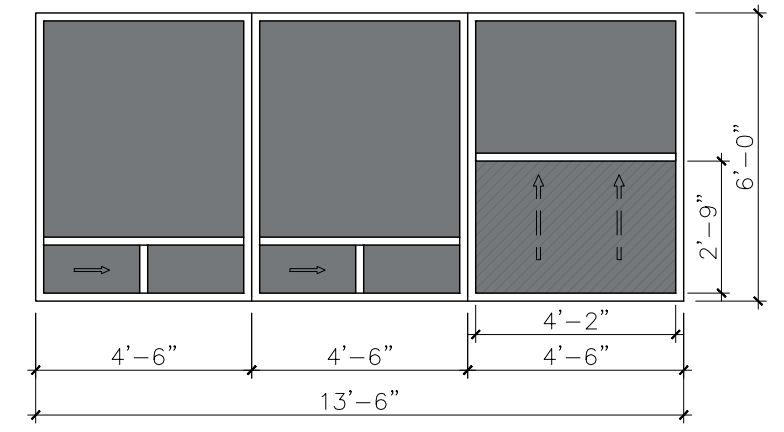
3
A3.01 **Curb Detail**
1" = 1'-0"



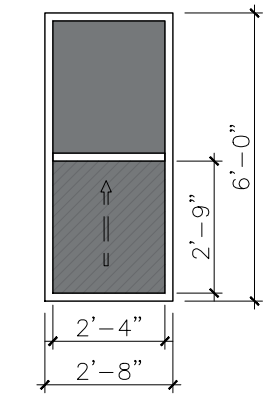
NO.	Room	Size	Area	Door			Frame		Rating	Hardware					Remarks		
				Type	Material	Finish	Material	Finish		Hinge	Entry Set	Privacy Set	Passage Set	Floor Stop		Weather Stripping	
ED01	Bedroom	80"x30"															Existing to remain
ED02	Bedroom	80"x30"															Existing to remain
D01	Entrance Door			A	Wood	Painted	Wood	Factory Finish	45	X	X				X	X	Exterior Door
D02	Entrance Door			A	Wood	Painted	Wood	Factory Finish	45	X	X				X		Interior Door
D03	Bathrooms	80"x28"		A	Wood	Painted	Wood	Factory Finish		X		X			X		
D04	Bedrooms	80"x30"		A	Wood	Painted	Wood	Factory Finish		X			X	X			

4
A3.01 **Door Schedule**
1-4" = 1'-0"

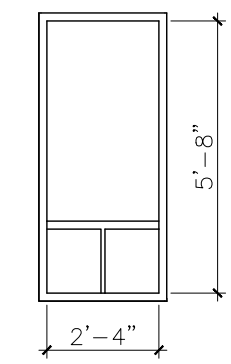
W01
Egress Window | Slide Up Window
11.46 ft² | 1.06 m²
*Minimum 0.35m² as per
OBC 9.9.9.3.(1)*



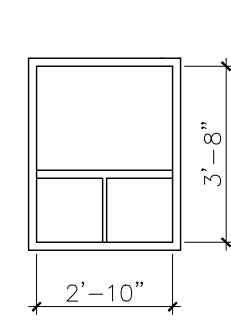
W02
Egress Window | Slide Up Window
6.41 ft² | 0.59 m²
*Minimum 0.35m² as per
OBC 9.9.9.3.(1)*



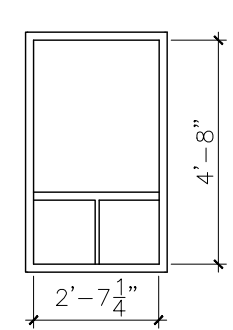
EW03
Existing Window



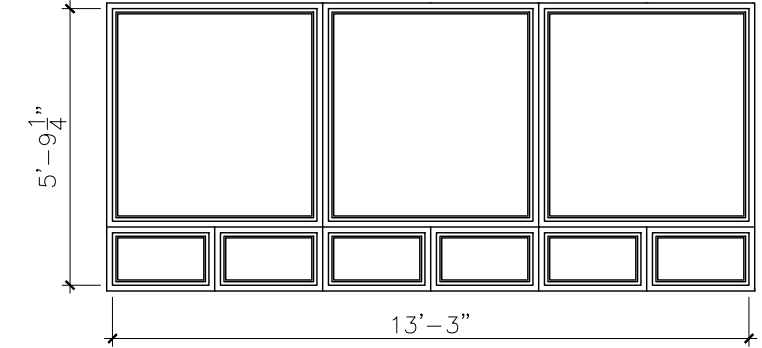
EW04
Existing Window



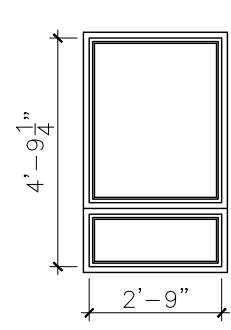
EW05
Existing Window



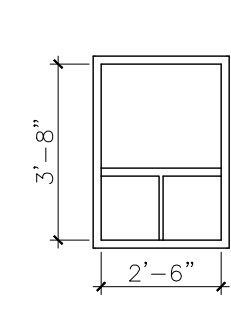
EW06
Existing Window



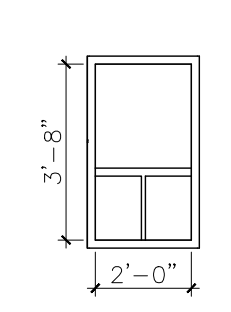
EW07
Existing Window



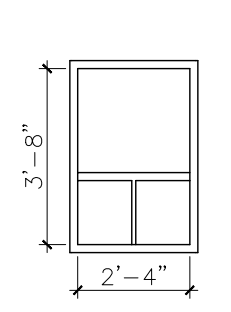
EW08
Existing Window



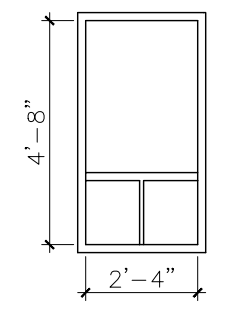
EW09
Existing Window



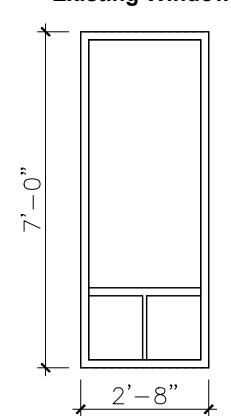
EW10
Existing Window



EW11
Existing Window



EW12
Existing Window



5
A3.01 **Window Schedule**
1-4" = 1'-0"

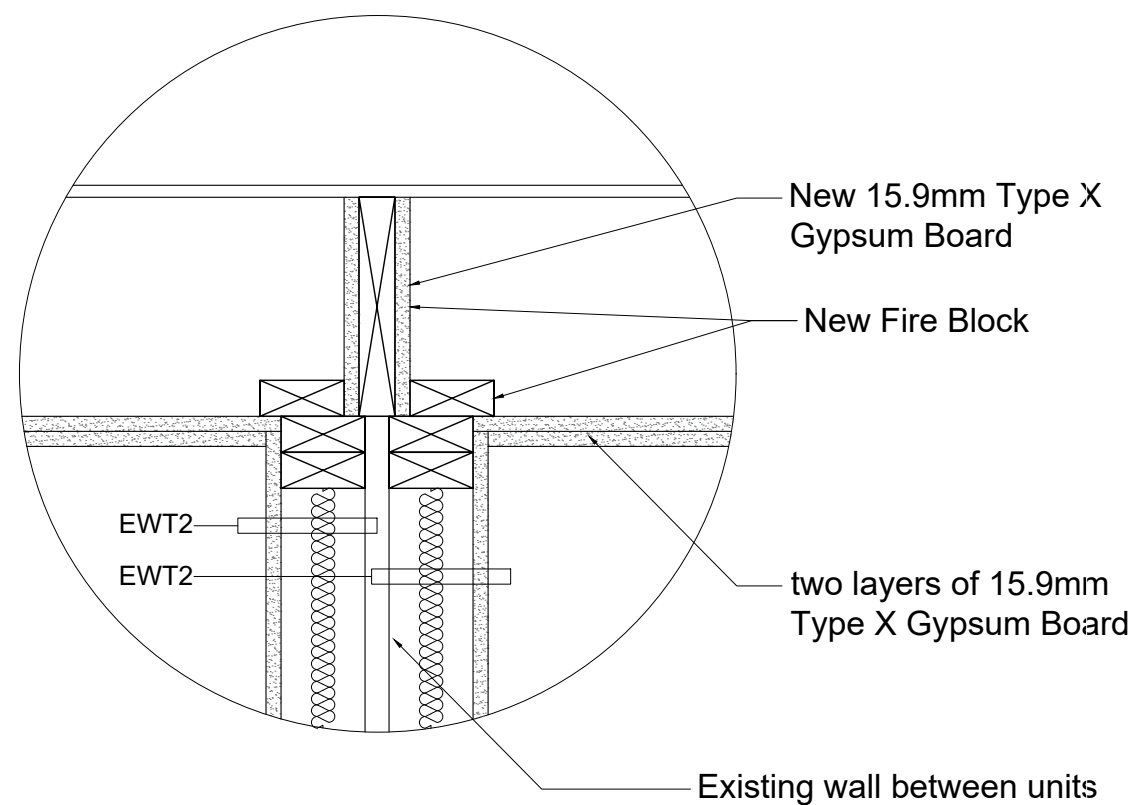
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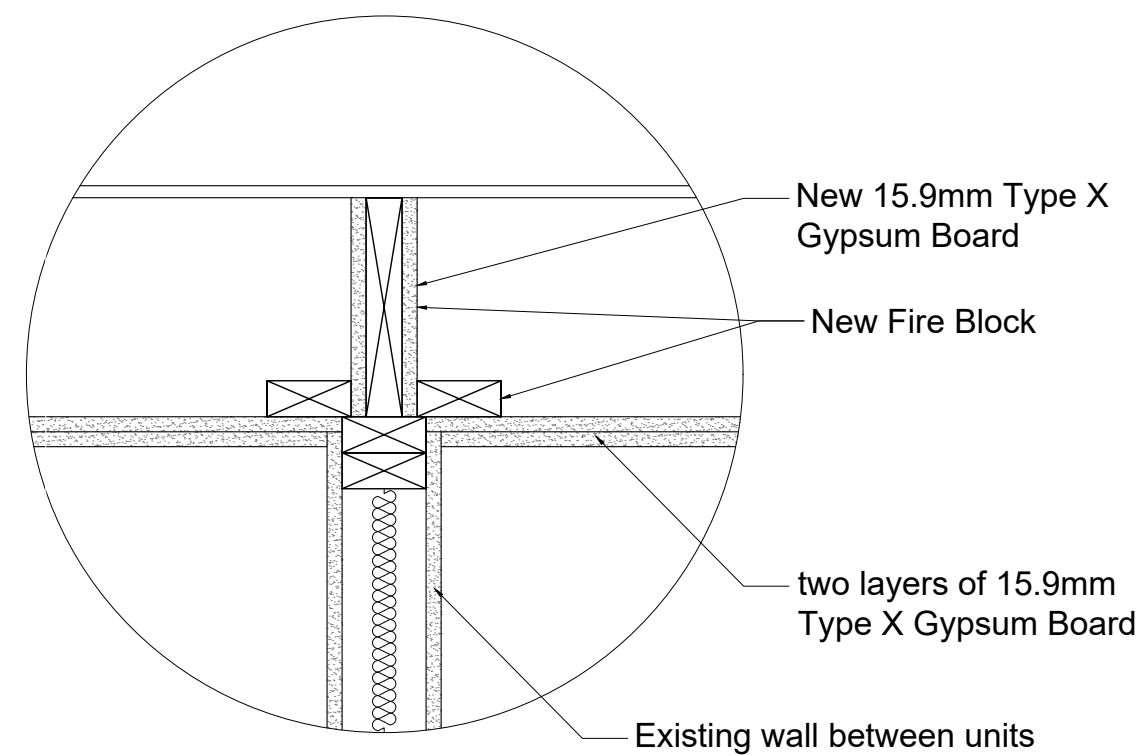
Name: **Details - Door/Window Schedule**
 Scale: **As Noted**
 Signature: *Gabriel Alvarez*
 BCIN #: 104822

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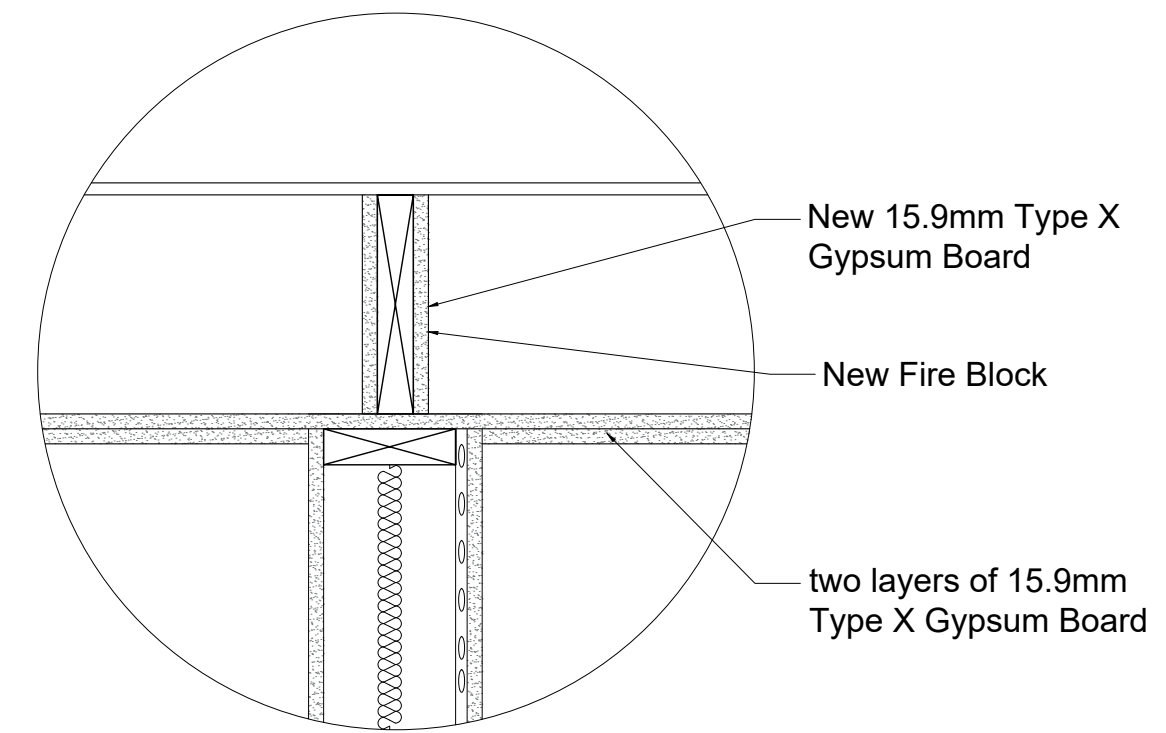




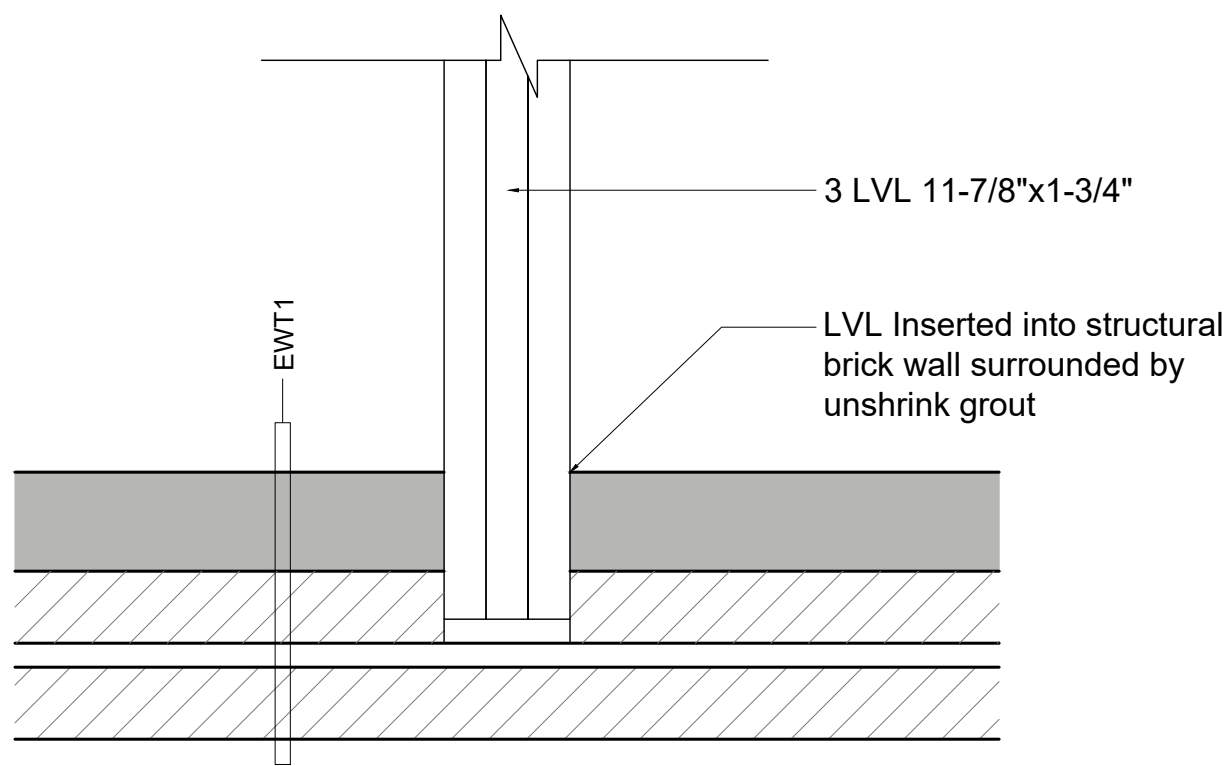
1 Fire block Detail for existing wall
A3.02 1" = 1'-0"



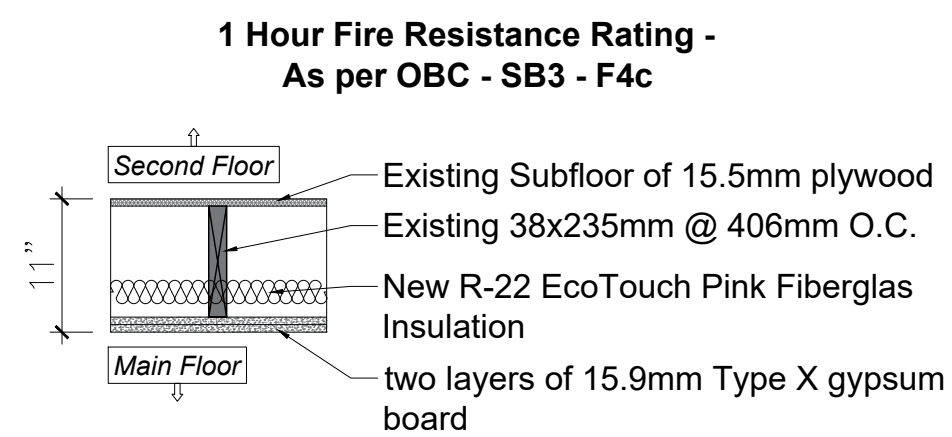
2 Fire block Detail for existing wall
A3.02 1" = 1'-0"



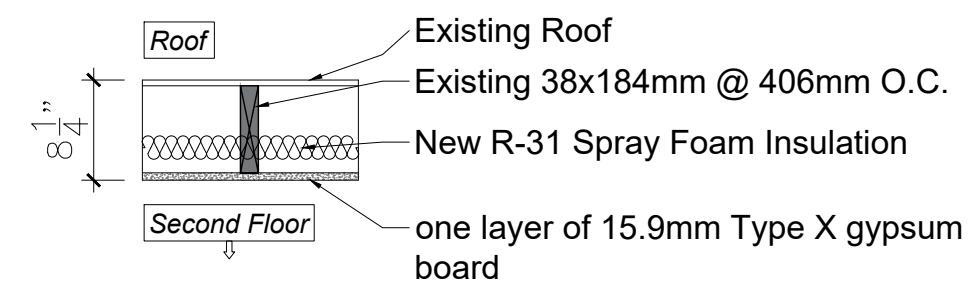
3 Fire block detail for new wall
A3.02 1" = 1'-0"



4 Plan detail @ Beam
A3.02 1" = 1'-0"



5 Section detail CEILING @ Main Floor
A3.02 3/4" = 1'-0"



6 Section detail CEILING @ Second Floor (Attic)
A3.02 3/4" = 1'-0"

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Address:

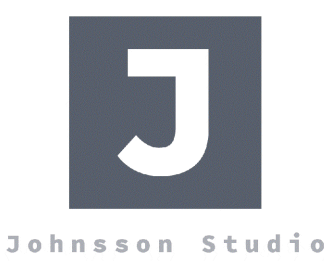
**590 Main Street E
Hamilton - ON**

Name: **Details**
 Scale: **As Noted**
 Signature: *Gabriel Aboung*
 BCIN #: 104822

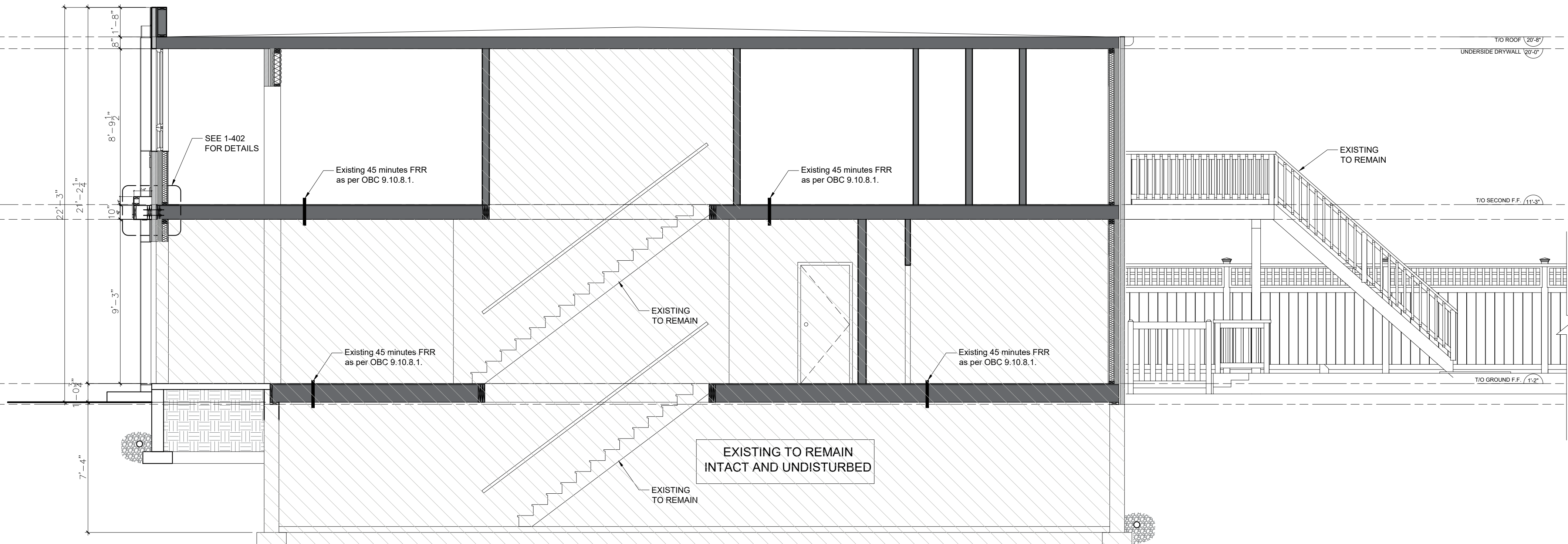
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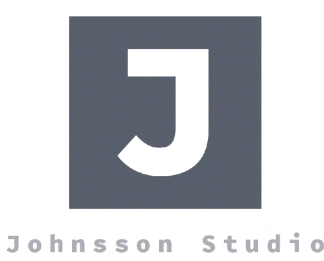
A3.02



Johnson Studio



1 SECTION
A4.01 1/4" = 1'-0"



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Address:
590 Main Street E
Hamilton - ON

Name: _____
 Section
 AS NOTED
 Signature: _____
 BCIN #: 104822

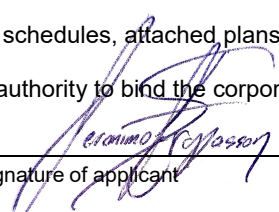
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A4.01

Application for a Permit to Construct or Demolish

This form is authorized under subsection 8(1.1) of the *Building Code Act, 1992*

For use by Principal Authority			
Application number:		Permit number (if different):	
Date received:		Roll number:	
Application submitted to: _____ (Name of municipality, upper-tier municipality, board of health or conservation authority)			
A. Project information			
Building number, street name 590 Main Street E		Unit number	Lot/con.
Municipality Hamilton	Postal code L9M 1J6	Plan number/other description	
Project value est. \$ 75,000.00		Area of work (m ²) 199.10	
B. Purpose of application			
New construction		Addition to an existing building	
		<input checked="" type="checkbox"/> Alteration/repair	
		Demolition	
		Conditional Permit	
Proposed use of building Residential		Current use of building Residential	
Description of proposed work To renovate an existing 2 story building from 4 residential units to 6 residential units. And for the exterior: Re-cladding the entire building with non combustible material			
C. Applicant			
Applicant is:		Owner or <input checked="" type="checkbox"/> Authorized agent of owner	
Last name Johnsson Strapasson		First name Jeronimo	Corporation or partnership Johnsson Studio
Street address Lormont Blvd		Unit number 238	Lot/con.
Municipality Stoney Creek	Postal code L8J0J9	Province ON	E-mail johnssonstudio@gmail.com
Telephone number ()		Fax ()	
		Cell number (647) 678-2179	
D. Owner (if different from applicant)			
Last name Ruysam		First name Anderson	Corporation or partnership
Street address Adelaide St W		Unit number 131-157	Lot/con.
Municipality Toronto	Postal code M5H 4E7	Province ON	E-mail aruysam@gmail.com
Telephone number ()		Fax ()	
		Cell number (647) 799-3779	

E. Builder (optional)				
Last name		First name	Corporation or partnership (if applicable)	
Street address			Unit number	Lot/con.
Municipality		Postal code	Province	E-mail
Telephone number ()		Fax ()	Cell number ()	
F. Tarion Warranty Corporation (Ontario New Home Warranty Program)				
i. Is proposed construction for a new home as defined in the <i>Ontario New Home Warranties Plan Act</i> ? If no, go to section G.			Yes	X No
ii. Is registration required under the <i>Ontario New Home Warranties Plan Act</i> ?			Yes	X No
iii. If yes to (ii) provide registration number(s): _____				
G. Required Schedules				
i) Attach Schedule 1 for each individual who reviews and takes responsibility for design activities.				
ii) Attach Schedule 2 where application is to construct on-site, install or repair a sewage system.				
H. Completeness and compliance with applicable law				
i) This application meets all the requirements of clauses 1.3.1.3 (5) (a) to (d) of Division C of the Building Code (the application is made in the correct form and by the owner or authorized agent, all applicable fields have been completed on the application and required schedules, and all required schedules are submitted). Payment has been made of all fees that are required, under the applicable by-law, resolution or regulation made under clause 7(1)(c) of the <i>Building Code Act, 1992</i> , to be paid when the application is made.			✓ Yes	No
ii) This application is accompanied by the plans and specifications prescribed by the applicable by-law, resolution or regulation made under clause 7(1)(b) of the <i>Building Code Act, 1992</i> .			✓ Yes	No
iii) This application is accompanied by the information and documents prescribed by the applicable by-law, resolution or regulation made under clause 7(1)(b) of the <i>Building Code Act, 1992</i> which enable the chief building official to determine whether the proposed building, construction or demolition will contravene any applicable law.			✓ Yes	No
iv) The proposed building, construction or demolition will not contravene any applicable law.			✓ Yes	No
I. Declaration of applicant				
I, <u>Jeronimo Johnsson Strapasson</u> declare that: (print name)				
<ol style="list-style-type: none"> The information contained in this application, attached schedules, attached plans and specifications, and other attached documentation is true to the best of my knowledge. If the owner is a corporation or partnership, I have the authority to bind the corporation or partnership. 				
<u>2020-06-16</u>				
Date		Signature of applicant		

Personal information contained in this form and schedules is collected under the authority of subsection 8(1.1) of the *Building Code Act, 1992*, and will be used in the administration and enforcement of the *Building Code Act, 1992*. Questions about the collection of personal information may be addressed to: a) the Chief Building Official of the municipality or upper-tier municipality to which this application is being made, or, b) the inspector having the powers and duties of a chief building official in relation to sewage systems or plumbing for an upper-tier municipality, board of health or conservation authority to whom this application is made, or, c) Director, Building and Development Branch, Ministry of Municipal Affairs and Housing 777 Bay St., 2nd Floor. Toronto, M5G 2E5 (416) 585-6666.

Schedule 1: Designer Information

Use one form for each individual who reviews and takes responsibility for design activities with respect to the project.

A. Project Information			
Building number, street name 590 Main Street E	Unit no.	Lot/con.	
Municipality HAMILTON	Postal code L9M 1J6	Plan number/ other description	
B. Individual who reviews and takes responsibility for design activities			
Name GABRIEL ALVAREZ COLMAN	Firm		
Street address 106 BURRWOOD DR.		Unit no.	Lot/con.
Municipality HAMILTON	Postal code L9C 3T2	Province ON	E-mail CRESTHOMEDSIGN1@GMAIL.COM
Telephone number () ()	Fax number () ()	Cell number () 9059120569	
C. Design activities undertaken by individual identified in Section B. [Building Code Table 3.5.2.1. of Division C]			
<input checked="" type="checkbox"/> House	HVAC – House	<input checked="" type="checkbox"/> Building Structural	
<input checked="" type="checkbox"/> Small Buildings	Building Services	Plumbing – House	
Large Buildings	Detection, Lighting and Power	Plumbing – All Buildings	
Complex Buildings	Fire Protection	On-site Sewage Systems	
Description of designer's work To renovate an existing 2 story building from 4 residential units to 6 residential units. And for the exterior: Re-cladding the entire building with non combustibile material			
D. Declaration of Designer			
I <u>GABRIEL A. ALVAREZ COLMAN</u> declare that (choose one as appropriate): <div style="text-align: center; margin-left: 100px;">(print name)</div> <p style="margin-left: 40px;">I review and take responsibility for the design work on behalf of a firm registered under subsection 3.2.4. of Division C, of the Building Code. I am qualified, and the firm is registered, in the appropriate classes/categories.</p> <p style="margin-left: 40px;">Individual BCIN: _____</p> <p style="margin-left: 40px;">Firm BCIN: _____</p> <p style="margin-left: 40px;">I review and take responsibility for the design and am qualified in the appropriate category as an "other designer" under subsection 3.2.5. of Division C, of the Building Code.</p> <p style="margin-left: 40px;">Individual BCIN: <u>104822</u></p> <p style="margin-left: 40px;">Basis for exemption from registration: _____</p> <p style="margin-left: 40px;">The design work is exempt from the registration and qualification requirements of the Building Code.</p> <p style="margin-left: 40px;">Basis for exemption from registration and qualification: _____</p> <p>I certify that:</p> <ol style="list-style-type: none"> 1. The information contained in this schedule is true to the best of my knowledge. 2. I have submitted this application with the knowledge and consent of the firm. <div style="display: flex; justify-content: space-between; margin-top: 10px;"> <div style="width: 30%;"> <p><u>2020-06-15</u> Date</p> </div> <div style="width: 60%; text-align: center;"> Signature of Designer </div> </div>			

NOTE:

1. For the purposes of this form, "individual" means the "person" referred to in Clause 3.2.4.7(1) (c) of Division C, Article 3.2.5.1. of Division C, and all other persons who are exempt from qualification under Subsections 3.2.4. and 3.2.5. of Division C.
2. Schedule 1 is not required to be completed by a holder of a license, temporary license, or a certificate of practice, issued by the Ontario Association of Architects. Schedule 1 is also not required to be completed by a holder of a license to practise, a limited license to practise, or a certificate of authorization, issued by the Association of Professional Engineers of Ontario.

Schedule 2: Sewage System Installer Information

A. Project Information			
Building number, street name		Unit number	Lot/con.
Municipality	Postal code	Plan number/ other description	
B. Sewage system installer			
Is the installer of the sewage system engaged in the business of constructing on-site, installing, repairing, servicing, cleaning or emptying sewage systems, in accordance with Building Code Article 3.3.1.1, Division C?			
Yes (Continue to Section C)		No (Continue to Section E)	
		Installer unknown at time of application (Continue to Section E)	
C. Registered installer information (where answer to B is "Yes")			
Name		BCIN	
Street address		Unit number	Lot/con.
Municipality	Postal code	Province	E-mail
Telephone number ()	Fax ()	Cell number ()	
D. Qualified supervisor information (where answer to section B is "Yes")			
Name of qualified supervisor(s)		Building Code Identification Number (BCIN)	
E. Declaration of Applicant:			
<p>I _____ declare that:</p> <p style="margin-left: 40px;">(print name)</p> <p>I am the applicant for the permit to construct the sewage system. If the installer is unknown at time of application, I shall submit a new Schedule 2 prior to construction when the installer is known;</p> <p>OR</p> <p>I am the holder of the permit to construct the sewage system, and am submitting a new Schedule 2, now that the installer is known.</p> <p>I certify that:</p> <ol style="list-style-type: none"> 1. The information contained in this schedule is true to the best of my knowledge. 2. If the owner is a corporation or partnership, I have the authority to bind the corporation or partnership. <p>_____</p> <p style="margin-left: 40px;">Date</p> <p style="margin-left: 300px;">_____</p> <p style="margin-left: 150px;">Signature of applicant</p>			

TECHNICAL DATA

DESCRIPTION:

Composite panels made with Portland cement reinforced with synthetic fibers and additives. The panels are highly durable and possess structural qualities. During the manufacturing process, layers are pressed together for greater stiffness and moisture resistance. The panels, which come in a non uniform natural cement-grey colour, are non-combustible and rot-proof, and do not require any additional protective treatment.

DIMENSIONS:

1/4" X 4' X 4' 6 mm X 1220 mm X 1220 mm – 39 lb/sheet
 1/4" X 4' X 8' 6 mm X 1220 mm X 2440 mm – 77 lb/sheet
 1/2" X 4' X 8' 12 mm X 1220 mm X 2440 mm – 145 lb/sheet
 1/2" X 4' X 10' 12 mm X 1220 mm X 3050 mm – 180 lb/sheet

PHYSICAL PROPERTIES:

Density:	+ 1,500 kg/m ³ (+ 5.4 lb/in ³)
Manufacturing tolerance:	Length and width: ± 3 mm Thickness: ± 1.5 mm Squareness: - 1 mm/m
Humidified deflection:	1/588 of span
Dimensional change (due to moisture):	0.15%
Compression resistance (Head screw):	950 N
Flexural strength:	12 mm (1/2") + 15 Mpa (2,175 psi)
Minimal fastener pull resistance:	12 mm : + 4,000N (932 lb)
Thermal resistance R Value:	6 mm 0,14 12 mm 0,29
Freeze-Thaw resistance (200 cycles):	No loss to mass
Impact resistance:	ASTM D 1037 Passed ASTM A 118.9 (height: 475 mm (19")) Passed
Air permeability:	ASTM E 283 - 0.00051 l./s./m ² @ 100 Pa
Thermal expansion:	ASTM C 531 1.2 x 10 ⁻⁵ mm/mm C (6.7 x 10 ⁻⁶ po./po. F)
Noise isolation class (NIC) / Sound transmission class (STC):	35
Surface burning resistance:	ULC-S 102.M - Flame spread 0 ULC-S 632-M91 - Heat screen certification Passed ULC-S 114 - Incombustibility Passed ULC-S 126 - Test for fire spread under roof deck Passed ULC-S 107.M - Test of roof covering Passed

MECHANICAL / PHYSICAL PROPERTIES		VALUE	TEST STANDARD
Modulus of Elasticity	Longitudinal	1125 kg/cm ²	ASTM C 120
	Transversal	915 kg/cm ²	
Modulus of Rupture (Dry Average)	Longitudinal	130 kg/cm ²	ASTM C 1185
	Transversal	90 kg/cm ²	
Coefficient of Thermal Conductivity (K)		0.258 W/m K	ASTM C 518
Ambient Density (Nominal) 25° C		1650 kg/m ³	ASTM C 1185
Moisture Content 65% RH 20° C Normal		8 - 12%	ASTM C 1185
Moisture Movement	Normal to Saturation	1.7 mm/m	ASTM D 1037
	Normal to Dry	2.5 mm/m	
Water Vapor Permeance (6 mm - 1/4")		6.69 perms	ASTM E 96
Surface Burning	Flame Spread	0	ASTM E 84
	Smoke Developed	0	
Water Absorption		< 30%	ASTM C 1185