



Hamilton

COMMITTEE OF ADJUSTMENT

City Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5
Telephone (905) 546-2424, ext. 4221, 3935 Fax (905) 546-4202
E-mail: cofa@hamilton.ca

NOTICE OF PUBLIC HEARING
Minor Variance

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
 - Applicant/agent on file, or
 - Person likely to be interested in this application
-

APPLICATION NO.: HM/A-20:176

APPLICANTS: Owner Joseph & Rebecca Didionisio

SUBJECT PROPERTY: Municipal address **63 Sherwood Rise, Hamilton**

ZONING BY-LAW: Zoning By-law 6593, as Amended

ZONING: C (Urban Protected Residential) district

PROPOSAL: To permit a ten (10) square metre accessory structure (gazebo) for a single family dwelling, notwithstanding that,

1. The accessory structure shall be permitted in the front yard whereas the Zoning By-law permits an accessory structure to be located only in the side yard or rear yard.

NOTES:

1. The subject property is a corner lot. On corner lots there are two street lines and the Zoning By-law permits an owner to determine the front property line. Based on the issuance of the building permit in 1962 and the compliance of yard requirements, the front property line was determined to be the southerly lot line and the westerly property line is the flankage lot line.
2. The application is written as requested by the applicant to address a recently constructed, existing accessory structure.
3. The application did not include an Elevation Plan. Therefore, if the accessory structure is greater in height than 4.0 metres, an additional variance shall be required.
4. In a residential district no accessory building shall be erected on a corner lot at a distance from the street line less than the depth of front yard required for a dwelling on the adjoining lot, except where such accessory building is separated from the adjoining lot by a distance at least as great as the depth of the required rear yard, in which case it need not be further from the street line than the width of the required side yard.

Based on the sketch provided, the accessory structure would be separated from the adjoining lot by a distance greater than the required rear yard and would therefore comply to this requirement.

This application will be heard by the Committee as shown below:

DATE: Thursday, September October 1st, 2020
TIME: 3:15 p.m.
PLACE: Via video link or call in (see attached sheet for details)
To be streamed at www.hamilton.ca/committeeofadjustment
for viewing purposes only

PUBLIC INPUT

Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

Orally: If you would like to speak to this item at the hearing you may do so via video link or by calling in. Please see attached page for complete instructions, including deadlines for registering to participate.

MORE INFORMATION

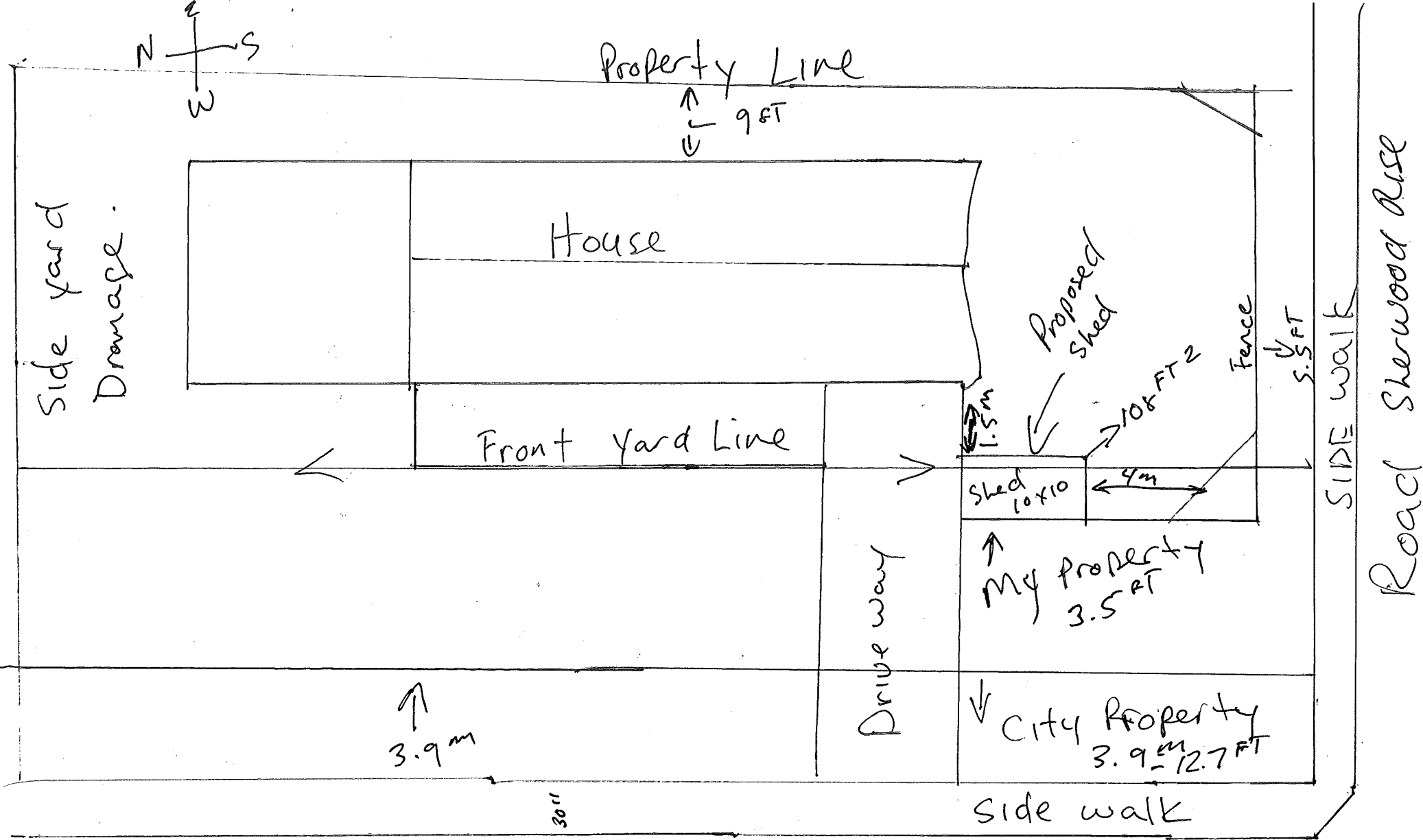
For more information on this matter, including access to drawings illustrating this request:

- Visit www.hamilton.ca/committeeofadjustment
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 4144
- Email Committee of Adjustment staff at cofa@hamilton.ca

DATED: September 14th, 2020.

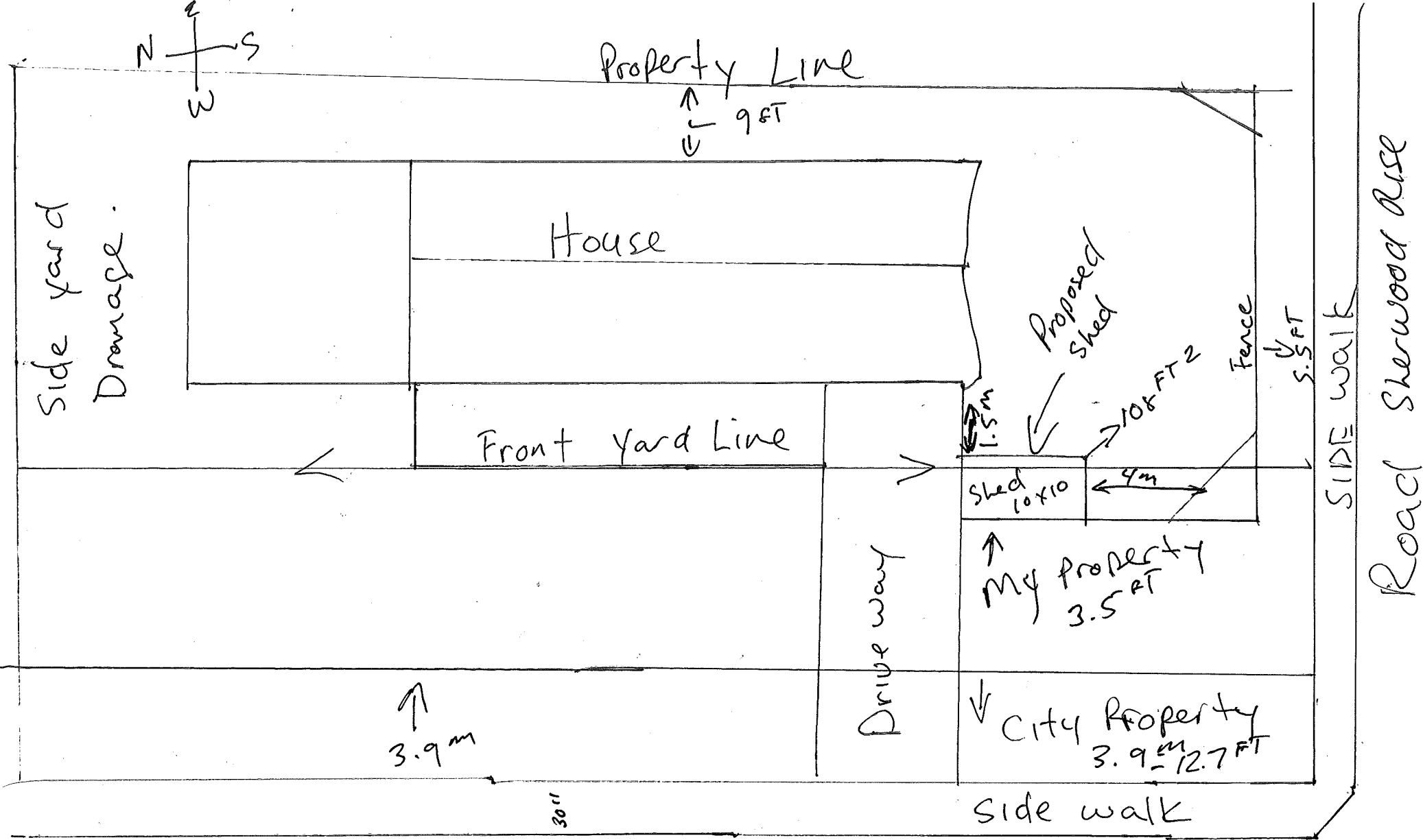
Jamila Sheffield,
Secretary-Treasurer
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public.



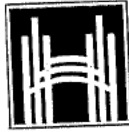
- gazebo is 5 FT off Front yard line

Road
Sherwood Rise



- gazebo is 5 FT off Front yard line

Road
Sherwood Rise



Hamilton

Planning and Economic Development Department
Planning Division

Committee of Adjustment
City Hall
5th floor 71 Main Street West
Hamilton, Ontario L8P 4Y5

Phone (905) 546-2424 ext.4221
Fax (905) 546-4202

PLEASE FILL OUT THE FOLLOWING PAGES AND
RETURN TO THE CITY OF HAMILTON PLANNING
DEPARTMENT.

20-180172

FOR OFFICE USE ONLY.

APPLICATION NO. HM/A 20:176 DATE APPLICATION RECEIVED Aug. 25/20

PAID _____ DATE APPLICATION DEEMED COMPLETE _____

SECRETARY'S
SIGNATURE _____

CITY OF HAMILTON
COMMITTEE OF ADJUSTMENT
HAMILTON, ONTARIO

The Planning Act

Application for Minor Variance or for Permission

The undersigned hereby applies to the Committee of Adjustment for the City of Hamilton under Section 45 of the *Planning Act*, R.S.O. 1990, Chapter P.13 for relief, as described in this application, from the Zoning By-law.

1. Name of Owner Joe & Rebecca

2. _____

3. Name of Agent _____ Telephone No. _____

FAX NO. _____ E-mail address. _____

4. Address _____

_____ Postal Code _____

Note: Unless otherwise requested all communications will be sent to the agent, if any.

5. Names and addresses of any mortgagees, holders of charges or other encumbrances:

_____ Postal Code _____

_____ Postal Code _____

6. Nature and extent of relief applied for:
Shed & fence in front yard
7. Why it is not possible to comply with the provisions of the By-law?
In A. corner lot and there is no other spot on my property
8. Legal description of subject lands (registered plan number and lot number or other legal description and where applicable, street and street number):
63 Sherwood Rise Hamilton Ontario
9. PREVIOUS USE OF PROPERTY
 Residential Industrial Commercial
 Agricultural Vacant
 Other _____
- 9.1 If Industrial or Commercial, specify use
N/A
- 9.2 Has the grading of the subject land been changed by adding earth or other material, i.e. has filling occurred?
 Yes No Unknown
- 9.3 Has a gas station been located on the subject land or adjacent lands at any time?
 Yes No Unknown
- 9.4 Has there been petroleum or other fuel stored on the subject land or adjacent lands?
 Yes No Unknown
- 9.5 Are there or have there ever been underground storage tanks or buried waste on the subject land or adjacent lands?
 Yes No Unknown
- 9.6 Have the lands or adjacent lands ever been used as an agricultural operation where cyanide products may have been used as pesticides and/or sewage sludge was applied to the lands?
 Yes No Unknown
- 9.7 Have the lands or adjacent lands ever been used as a weapon firing range?
 Yes No Unknown
- 9.8 Is the nearest boundary line of the application within 500 metres (1,640 feet) of the fill area of an operational/non-operational landfill or dump?
 Yes No Unknown
- 9.9 If there are existing or previously existing buildings, are there any building materials remaining on site which are potentially hazardous to public health (eg. asbestos, PCB's)?
 Yes No Unknown

9.10 Is there any reason to believe the subject land may have been contaminated by former uses on the site or adjacent sites?
Yes _____ No Unknown _____

9.11 What information did you use to determine the answers to 9.1 to 9.10 above?

N/A

9.12 If previous use of property is industrial or commercial or if YES to any of 9.2 to 9.10, a previous use inventory showing all former uses of the subject land, or if appropriate, the land adjacent to the subject land, is needed.

Is the previous use inventory attached? Yes _____ No

ACKNOWLEDGEMENT CLAUSE

I acknowledge that the City of Hamilton is not responsible for the identification and remediation of contamination on the property which is the subject of this Application – by reason of its approval to this Application.

Date

Signature Property Owner

Print Name of Owner

10. Dimensions of lands affected:

Frontage _____ 63.31 FT
Depth _____ 109.88 FT
Area _____ 10x10
Width of street _____

11. Particulars of all buildings and structures on or proposed for the subject lands:
(Specify ground floor area, gross floor area, number of stories, width, length, height, etc.)

Existing: _____

Proposed: _____ Gazebo is 108 FT²

12. Location of all buildings and structures on or proposed for the subject lands;
(Specify distance from side, rear and front lot lines)

Existing: _____ House

Proposed: _____ Gazebo 5 FT past front yard line

To whom it may concern,

I'm a community resident that does a lot of walking. One day while out on my walk I noticed a young lad building a fence, and then a beautiful gazebo. I must say, what a huge difference to walk by now and see the beautiful workmanship done to this corner house, 63 Sherwood Rise, in Hamilton. For years this property has been neglected, and since the new owners moved it, they've made huge dramatic changes to improve not only their home, but the community as well.

Kind Regards,

Sue Nikolis

To the bylaw office of Hamilton.

My wife and I are writing this letter in support of the young family that lives at 63 Sherwood Rise.

We live across the street at 60 Sherewood Rise and since Joe and Becky moved in they have made several improvements to the house, so it is no longer an eyesore in the neighbourhood. They have done a great job and spent a lot of time and money on these improvements.

Joe came to us to explain that we wants to put up a fence, so their young children will have a safe place to play, and wanted to know if we had an issue with that. We had no problem with that, and let him know that they have done a great job on their house. We were surprised that he even came to let us know, as this is his property, and we did not think he needs to explain to us what he wats to do. But as Joe said, he wants to be upfront with the neighbours and let everyone know what he is planning on doing.

He now has build a gazebo, so they can spend some quality family time. We have seen the inside of this gazebo and he has put in a lot of money, hard work and beautiful details to make it into a lovely space. They have done a fabulous job.

We ask, as neighbours, for your office to support Joe and his family in keeping his fence and gazebo for the safety and benefit of his family.

Thank you.

Please contact us if you have any questions.

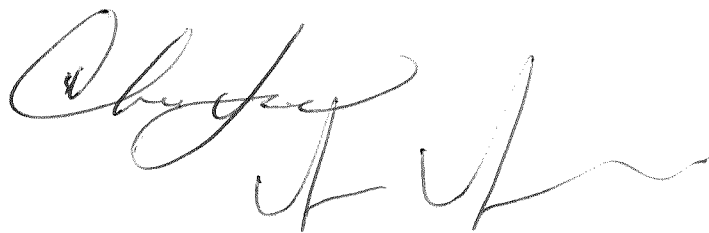
Christine and Leon Chrapala

A handwritten signature in cursive script that reads "Chris Chrapala". The signature is written in black ink and is positioned below the typed name "Christine and Leon Chrapala".

TO WHOM IT MAY CONCERN,
I AM WRITING IN REGARDS TO THE
STRUCTURE BUILT AT 63 SHERWOOD
RISE.

THE PROPERTY IS DIRECTLY ACROSS
THE STREET AND I HAVE ABSOLUTELY
NO ISSUES OR COMPLAINTS WITH
WHAT HAS BEEN BUILT. PLEASE
FEEL FREE TO CONTACT MYSELF
OR MY WIFE FOR ANY VERIFICATION
THANKS

CHRIS AND JENN JONES 905-906-8205
74 SHERWOOD RISE



August 19, 2020

To whom it may concern,

My name is Paul Allen. My wife Denise and I, along with our two children live at 93 Sherwood Rise. We are writing this letter because our good neighbours Joe and Becky (63 Sherwood Rise) have been doing some home improvements on their property and other neighbours have complained unfortunately. I just wanted to let you know that my wife and I like what they have done and we believe it makes their property look great and contributes to the neighbourhood as a whole. Home improvements increase the value of the homes around it. We are very satisfied with the job they have done.

Respectfully,

Paul Allen

August 7, 2020

Committee of Adjustment

To whom it may concern,

Please be advised that we have no objections
To the fence and structure that was recently built by the property
Owners of 63 Sherwood Rise
It might be advisable though to put "No Parking"
Signs on both sides of the road on the east end of the curve to
Ease the manoeuvring of vehicles around that curve.

Yours truly,
Brian & Gail Hotrum
64 Sherwood Rise

Gail Hotrum
Brian Hotrum

Hamilton by law office.

Aug 6 ,2020

To whom this may concern.

Paul and Donna Faucher at 59 sherwood rise would like to inform you that our next door neighbour Joes new fence and Gazebo he just built at 63 sherwood rise in Hamilton Ontario is not a problem from our standpoint. Since moving in just approximately a little over a year ago Joe has vastly improved the overall look of his home. He has improved the landscaping and his home is very well looked after. We have no issues with his new fence.

Thankyou

Paul Faucher

A handwritten signature in black ink, appearing to read "Paul Faucher". The signature is written in a cursive style with a large, looping initial "P".