



Hamilton

**COMMITTEE OF ADJUSTMENT**

City Hall, 5<sup>th</sup> floor, 71 Main Street West, Hamilton, ON L8P 4Y5  
Telephone (905) 546-2424, ext. 4221 Fax (905) 546-4202

E-mail: [cofa@hamilton.ca](mailto:cofa@hamilton.ca)

**NOTICE OF PUBLIC HEARING**  
**Minor Variance**

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You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
- Applicant/agent on file, or
- Person likely to be interested in this application

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**APPLICATION NO.:** GL/A-19:425

**APPLICANTS:** Owner: Gino Zippilli & Laurie Pyne

**SUBJECT PROPERTY:** Municipal address **2337 Guyatt Rd., Glanbrook**

**ZONING BY-LAW:** Zoning By-law 05-200, as Amended by By-law 15-173 & 18-266

**ZONING:** A1 district (Agricultural Zone)

**PROPOSAL:** To permit the construction of an accessory building in the rear yard of an agricultural use notwithstanding that;

1. A minimum 3.0m rear yard shall be permitted instead of the minimum 15.0m rear yard required.

**NOTES:**

The applicant shall ensure that the primary use of the property is agriculture. Please note that if the primary use of the property is for other than agriculture, further variances will be required.

Human habitation is prohibited within an accessory building. The accessory building shall only be used for incidental uses associated with the principle use. Any use or storage not associated with the principle use is not permitted.

This application will be heard by the Committee as shown below:

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**DATE:** Thursday, October 1<sup>st</sup>, 2020

**TIME:** 1:25 p.m.

**PLACE:** Via video link or call in (see attached sheet for details)

To be streamed at [www.hamilton.ca/committeeofadjustment](http://www.hamilton.ca/committeeofadjustment) for viewing purposes only

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**PUBLIC INPUT**

**Written:** If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

**Orally:** If you would like to speak to this item at the hearing you may do so via video link or by calling in. Please see attached page for complete instructions, including deadlines for registering to participate.

## MORE INFORMATION

For more information on this matter, including access to drawings illustrating this request:

- Visit [www.hamilton.ca/committeeofadjustment](http://www.hamilton.ca/committeeofadjustment)
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935
- Email Committee of Adjustment staff at [cofa@hamilton.ca](mailto:cofa@hamilton.ca)

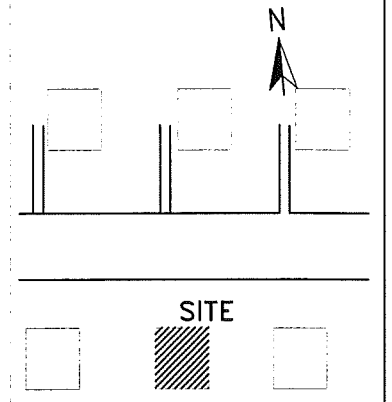
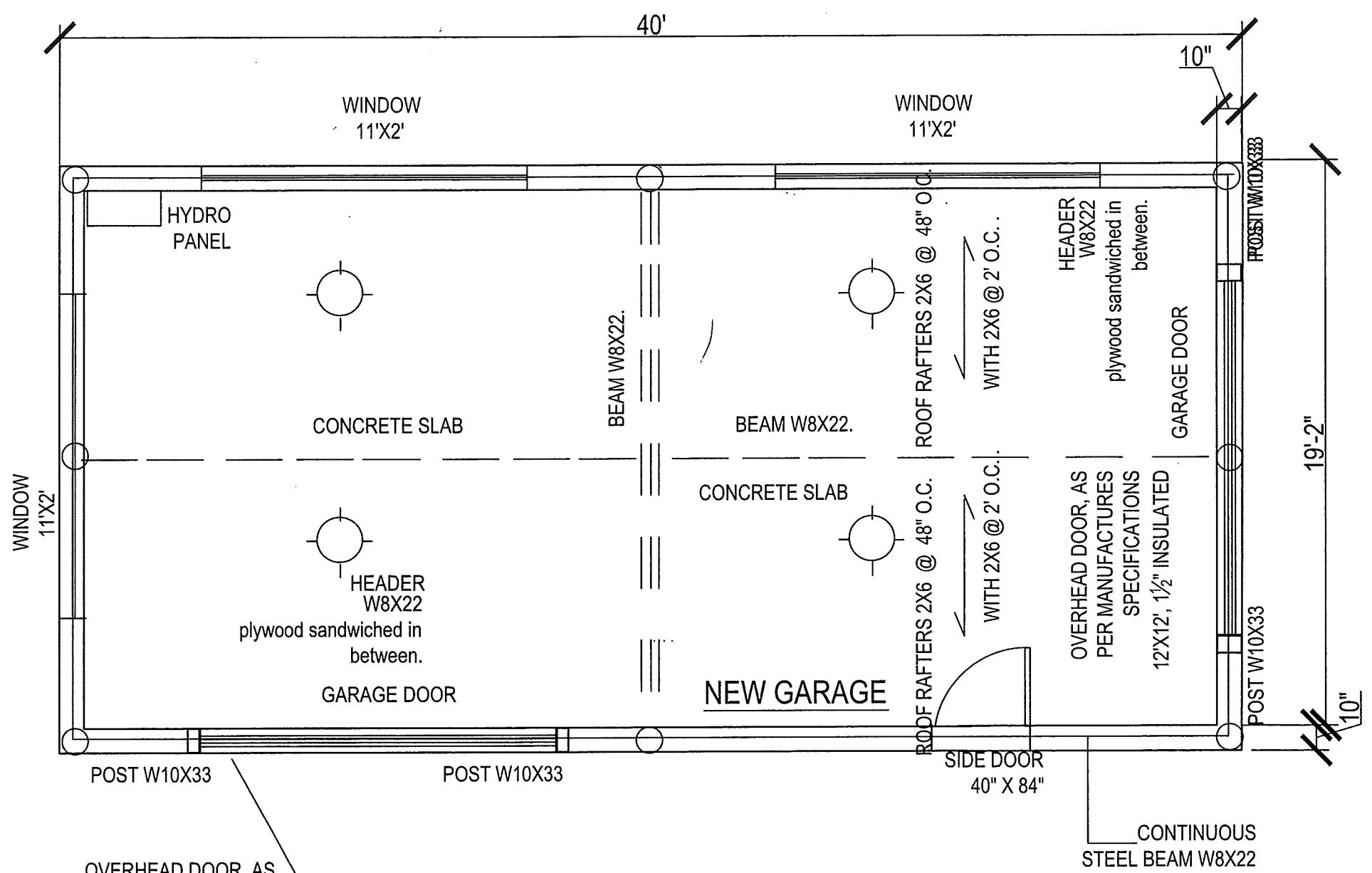
DATED: September 14<sup>th</sup>, 2020.

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Jamila Sheffield,  
Secretary-Treasurer  
Committee of Adjustment

***Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public.***

- SPECIAL CONDITIONS**
1. ALL WORK SHALL COMPLY WITH THE OBC 2012..
  2. EXCAVATIONS SHALL BE FREE OF ALL TOP SOIL AND ORGANIC MATERIAL DIV B 9.12.1.1..
  3. ENGINEERED SLAB SHALL BE CONSTRUCTED AS PER ENGINEER'S STAMPED DESIGN AND SPECIFICATIONS..
  4. MANDATORY INSPECTION OF REBAR IS REQUIRED PRIOR TO POURING CONC. SLAB
  5. CONCRETE FOR GARAGE FLOOR SLAB SHALL BE MIN. 32 MPA C/W 5-8% AIR ENTRAINMENT. REF: DIV. B, 9.3.1.6 (1), (A), (2).
  6. GARAGE SHALL BE ANCHORED TO THE FOUNDATION TO RESIST UPLIFT, DIV. B, 9.23.6.
  7. ALL WOOD FRAMING SHALL BE INSTALLED A MIN 6" ABOVE FINISHED GRADE ..



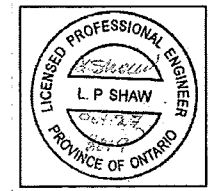
- KEY PLAN**
- NOTES A:
1. CONTRACTOR NOT TO SCALE OF THIS DRAWING
  2. CONTRACTOR TO LOCATE ALL EXTERNAL SERVICES PRIOR TO CONSTRUCTION
  3. ALL CONSTRUCTION TO PROCEED IN ACCORDANCE WITH O.B.C. AND ALL REQUIRED SAFETY PROCEDURES
  4. CONTRACTOR TO FOLLOW ALL SAFETY REGULATIONS ASSOCIATED WITH CONSTRUCTION OF THIS STRUCTURE.
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OVERHEAD DOOR, AS PER MANUFACTURES SPECIFICATIONS 12'X12', 1 1/2" INSULATED

8. A LIGHTING OUTLET FIXTURE CONTROLLED BY A WALL SWITCH NEAR DOORWAY SHALL BE PROVIDED FOR THE GARAGE
9. 2.5" OF EACH BEAM SHALL BE PLACED ON THE POST.

10. WINDOW HEADERS 3- 2-10

**GARAGE LAYOUT**



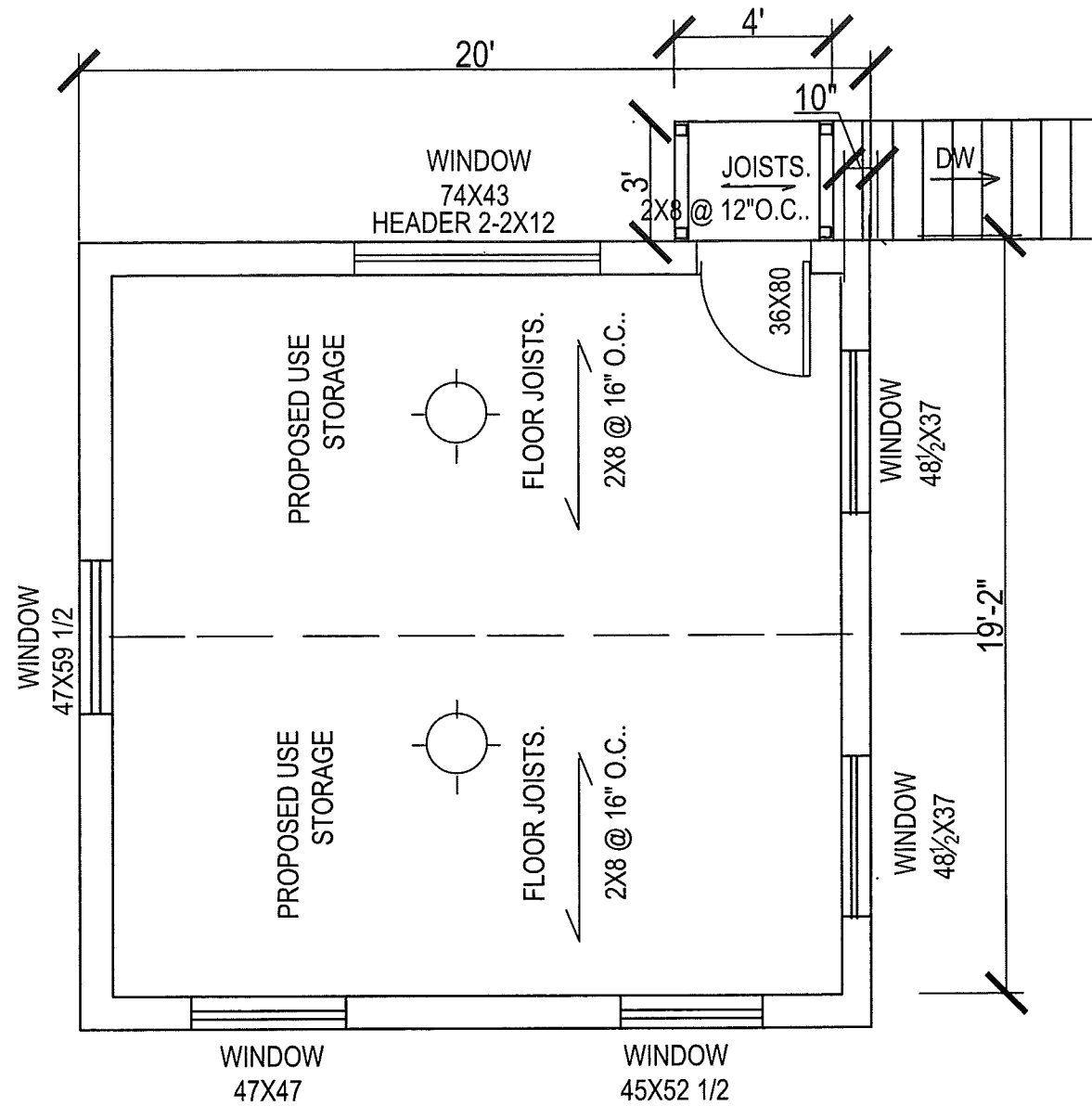
DISTANCES SHOWN ON THIS PLAN ARE "IMPERIAL" IN FEET AND CAN BE CONVERTED TO METRES BY MULTIPLYING BY 0.3048  
SCALE 1/4"=1'

REV		
LKS CONSULTING INC.		
2337 GUYATT RD. HAMILTON, ONTARIO L8N 3R7 TEL: (905) 823-7933 FAX: (905) 823-7933 WWW.LKSCON.COM	DATE: 10/28/19	SCALE: 1/4"=1'

2337 GUYATT RD.  
HAMILTON  
ONTARIO

Drawing title: 2337 GUYATT RD. Drw.No:  
GARAGE LAYOUT A2

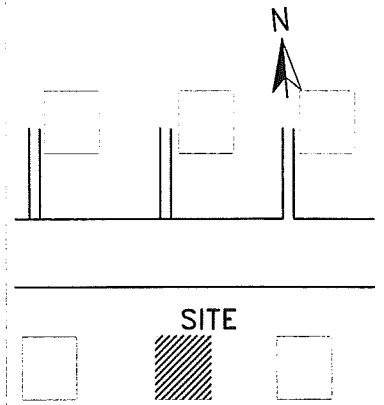
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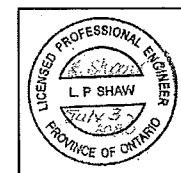
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**2ND FLOOR LAYOUT**



**KEY PLAN**

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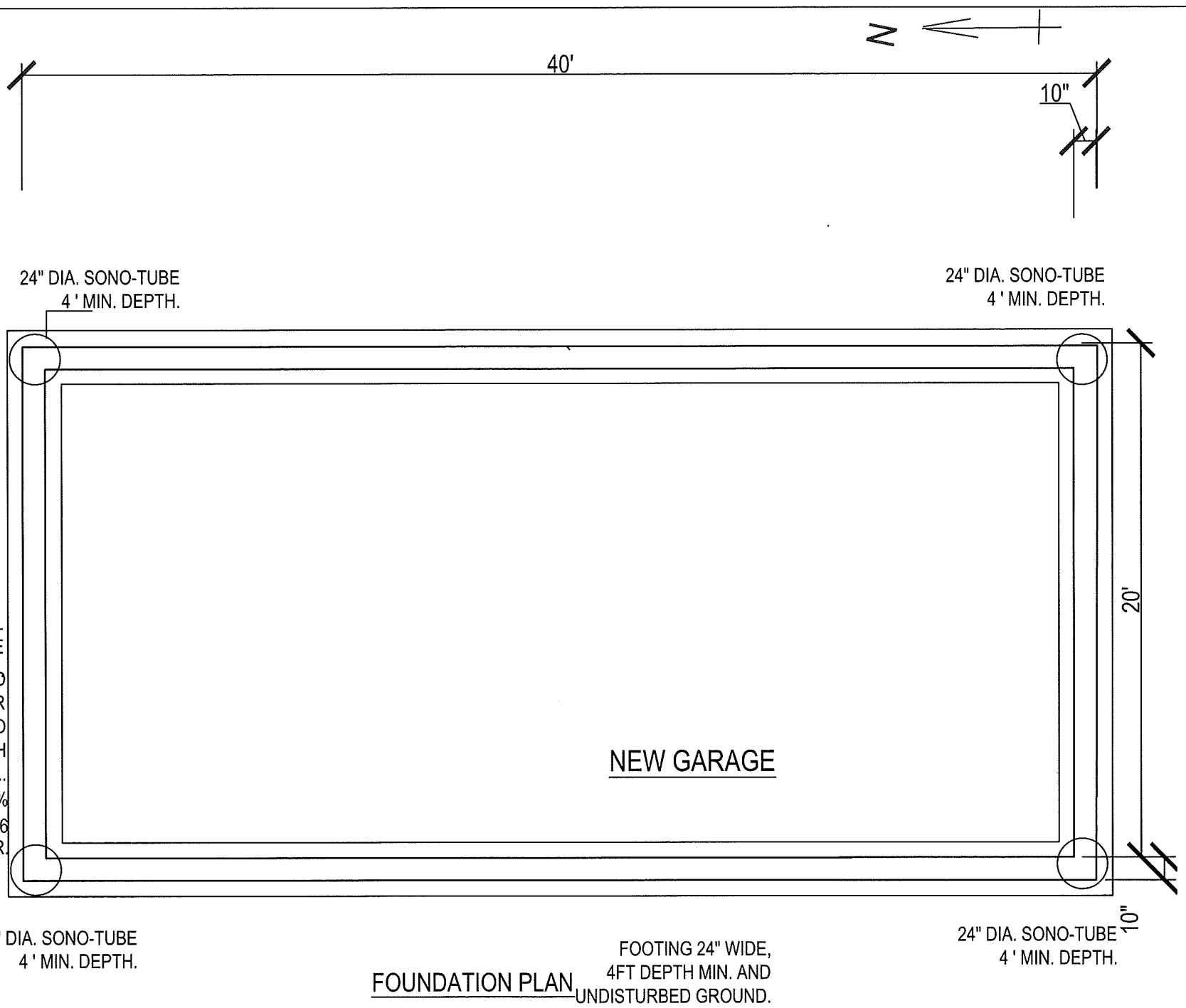
REV	DATE	BY	CHKD

**LKS CONSULTING INC.**  
 948 MAIN ST. E.  
 HAMILTON, ONTARIO  
 CALL: (905) 925-7933  
 EMAIL: INFO@LKSCONSULTING.COM

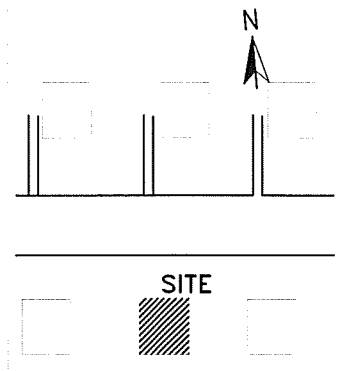
2337 GUYATT RD.  
HAMILTON  
ONTARIO

Drawing Title: 2337 GUYATT RD. Drw.No:  
2ND FLOOR LAYOUT

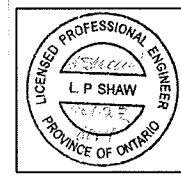
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  8. FOUNDATION: SOLID CONCRETE, 25MPA, 15MM REBAR PINNED INTO SONOTUBES, AND WIRE MESH ON TOP OF SLAB..
  9. CONCRETE SLAB: 32MPA 6% AIR, 3/4" GRAVEL BASE WITH 6X6 WIRE MESH AND 15MM REBAR.



FOUNDATION PLAN  
FOOTING 24" WIDE, 4FT DEPTH MIN. AND UNDISTURBED GROUND.



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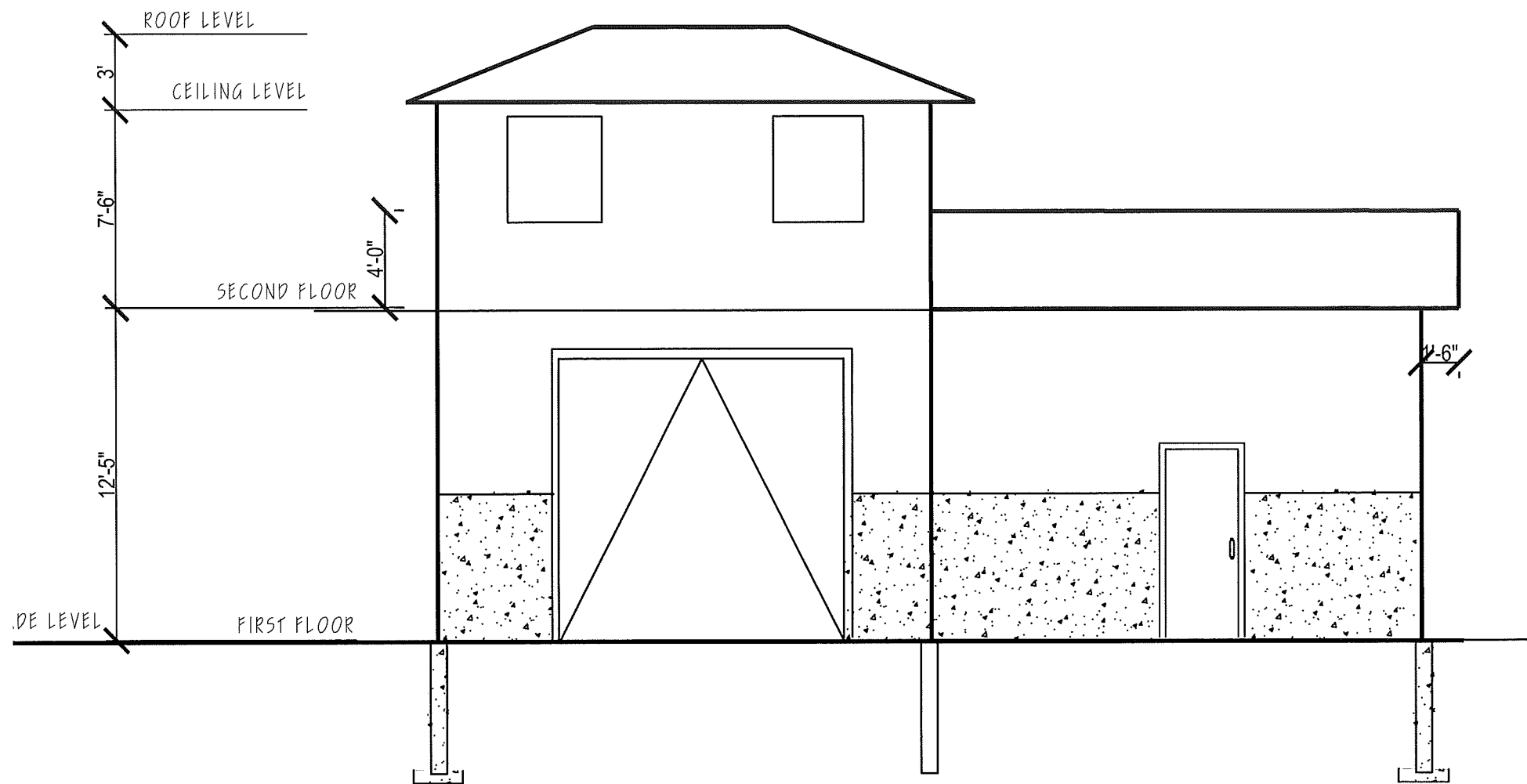


DISTANCES SHOWN ON THIS PLAN ARE "IMPERIAL" IN FEET AND CAN BE CONVERTED TO METRES BY MULTIPLYING BY 0.3048  
SCALE 1/4"=1'

REV	DATE	BY	CHKD

LKS CONSULTING INC.  
2337 GUYATT RD.  
HAMILTON ONTARIO  
L8N 3A8  
TEL: (905) 833-7983  
FAX: (905) 833-7984  
WWW.LKSCONSULTING.COM

2337 GUYATT RD.  
HAMILTON  
ONTARIO  
Drawing title: 2337 GUYATT RD. Drw.No:  
FOUNDATION PLAN A4

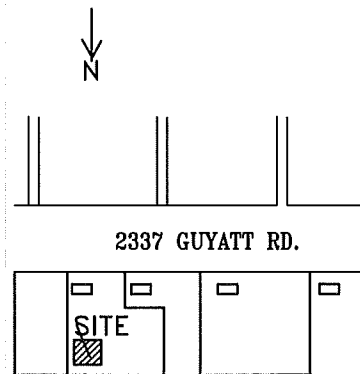


**NORTH ELEVATION**

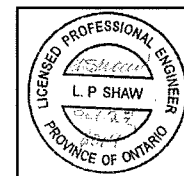
SCALE 3/16"=1'0"

PROPOSED WORK:

1. 2ND FLOOR NEW GARAGE ADDITION TO BE CONSTRUCTED IN ACCORDANCE WITH O.B.C.
2. NOT RESPONSIBLE FOR ANY ZONING BY-LAW RESTRICTION OF THE LOCAL MUNICIPALITY.
3. CONTRACTOR TO LOCATE ALL EXTERNAL SERVICES PRIOR TO CONSTRUCTION
4. ALL CONSTRUCTION TO COMPLY WITH OBC.
5. ALL WORK TO BE UNDERTAKEN BY FULLY LICENSED CONTRACTORS, I. E. PLUMBING, ELECTRICAL, GENERAL, ETC.
6. WALL DETAIL FOR GARAGE:  
2"x6" STUDS AT 16" O.C. ATTACHED TO 2"x6" PLATE LAG BOLTED TO CONC. SLAB WITH 7" LONG STEEL BOLTS @ 16" O.C.
7. CONTRACTOR NOT TO SCALE OF THIS DRAWING



KEY PLAN



"IMPERIAL" DISTANCES SHOWN ON THIS PLAN ARE IN FEET AND CAN BE CONVERTED TO METRES BY MULTIPLYING BY 0.3048

SCALE 1/4"=1'

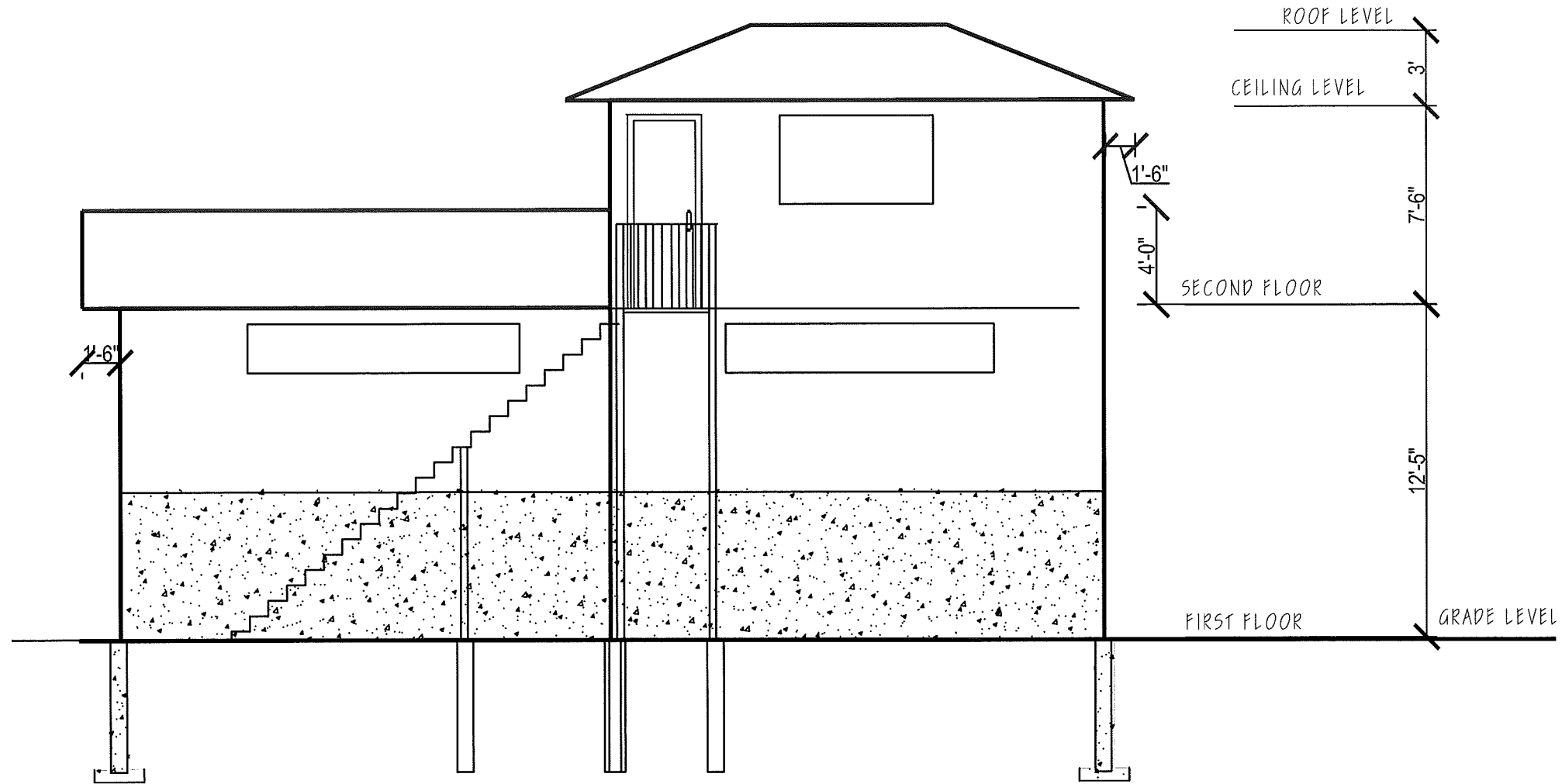
<b>LKS CONSULTING INC.</b>		DESIGNED BY	LS
HAMILTON		CHECKED BY	LS
ONTARIO, N9B 2J9		DATE	04.08.2008
CELL: (905) 923-7933		PROJECT NO.	
EMAIL: INFO@LKS.COM		102719	

2337 GUYATT RD.  
HAMILTON  
ONTARIO

Drawing Title  
NORTH ELEVATION

Drw.No:

A4

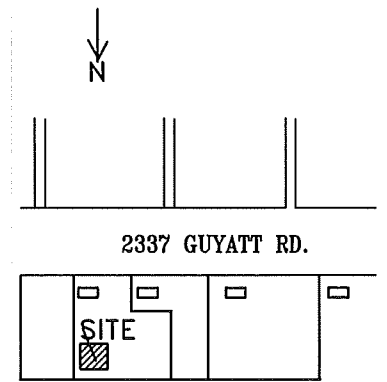


**SOUTH ELEVATION**

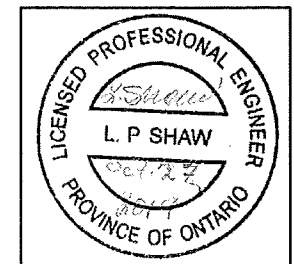
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SCALE 1/4"=1'

<b>LKS CONSULTING INC.</b>		DATE: 04/11/17	BY: L.P.S.
HAMILTON, ONTARIO, N9B 2L0	CELL: (905) 923-7933	PROJECT NO:	102719
EMAIL: INFO@LKS.COM			

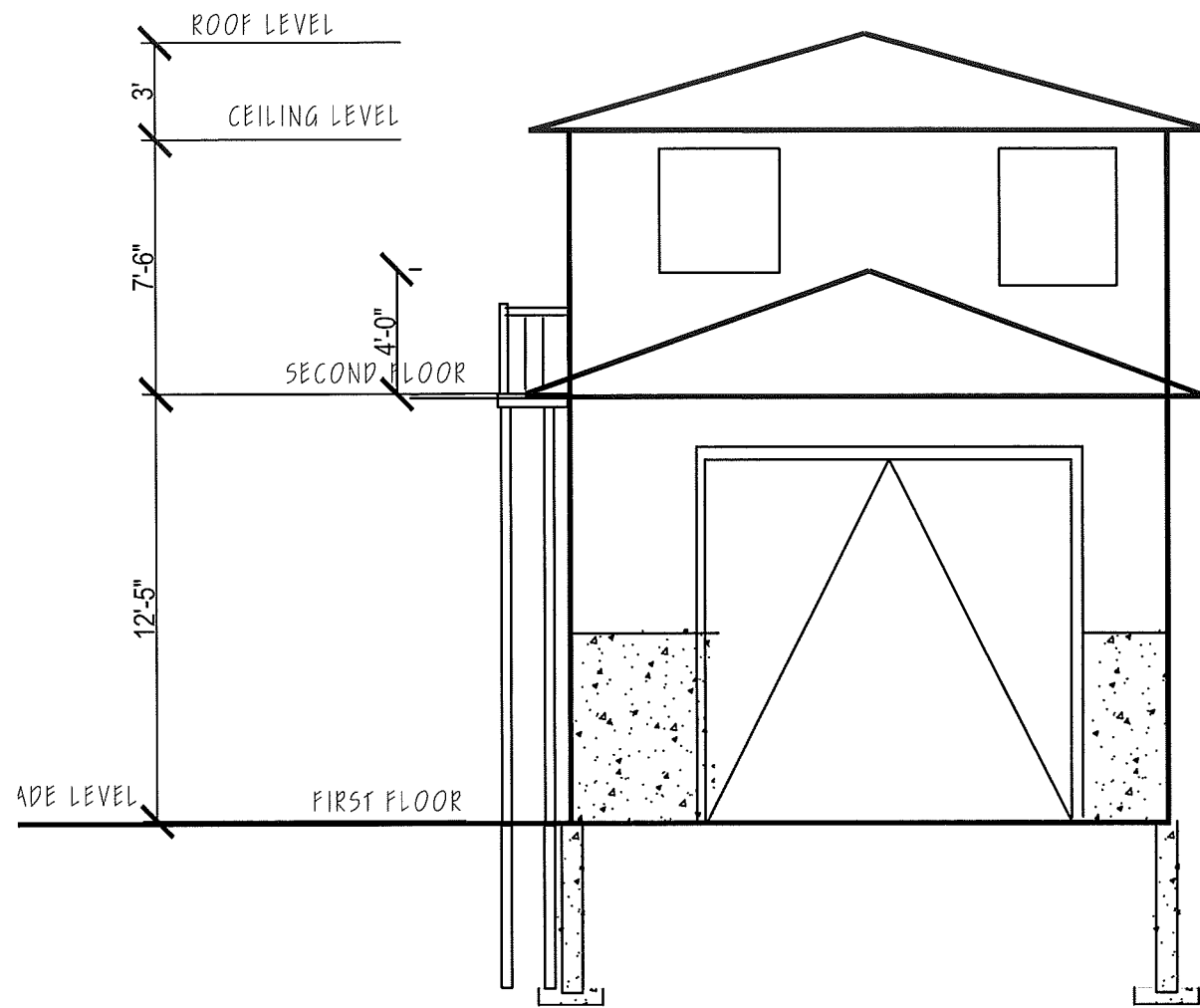
2337 GUYATT RD.  
HAMILTON  
ONTARIO

Drawing Title:

SOUTH ELEVATION

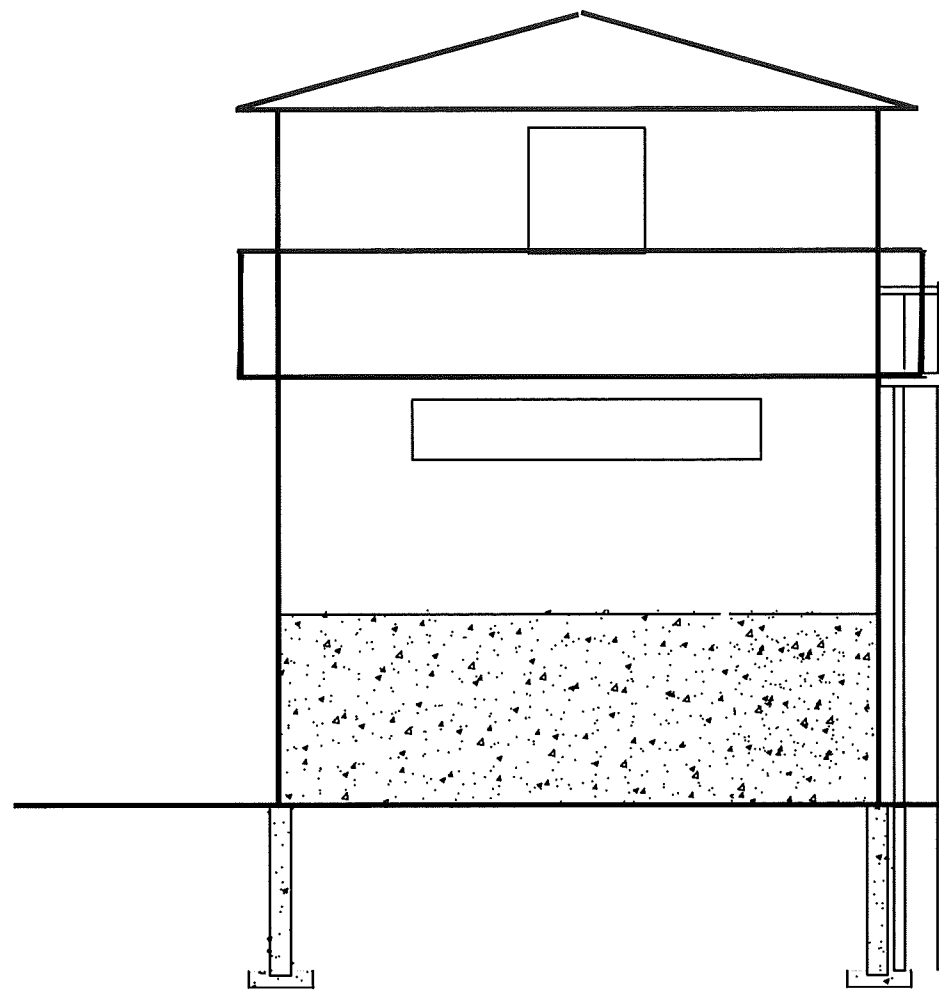
Drw.No:

A6



**WEST ELEVATION**

SCALE 3/16"=1'0"

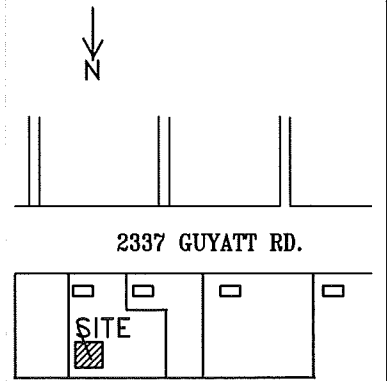


**EAST ELEVATION**

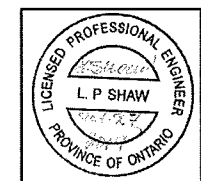
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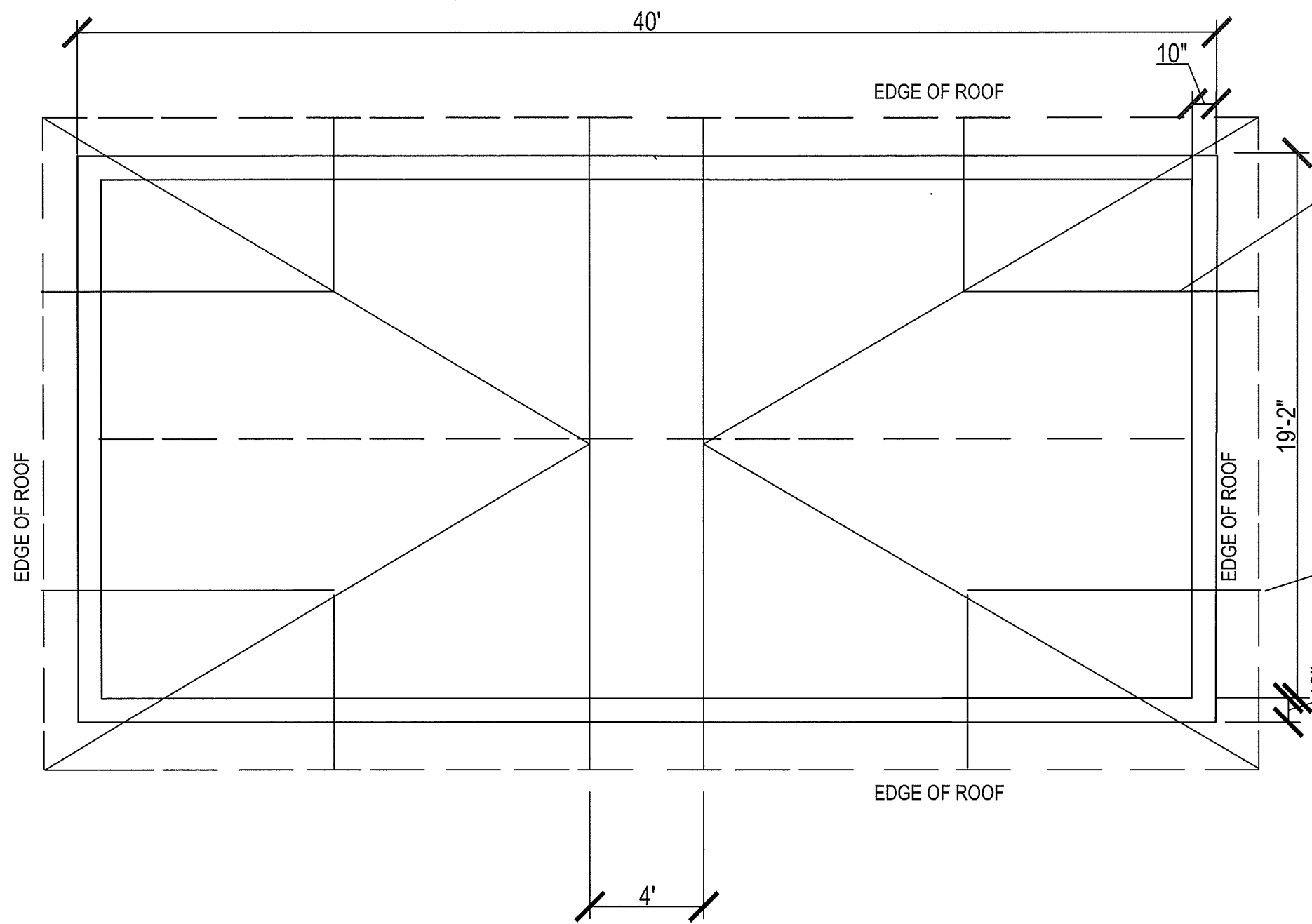
SCALE 1/4"=1'

<b>LKS CONSULTING INC.</b> HAMILTON, ONTARIO, N8B 2J0 CELL: (905) 923-7933 EMAIL: INFO@LKS.COM	OWNER: PE	DATE: 04/20/2018
	DESIGNER: PE	PROJECT NO: 102719

**2337 GUYATT RD.  
HAMILTON  
ONTARIO**

Drawing Title: **WEST & EAST ELEVATIONS** Drw.No: **A7**

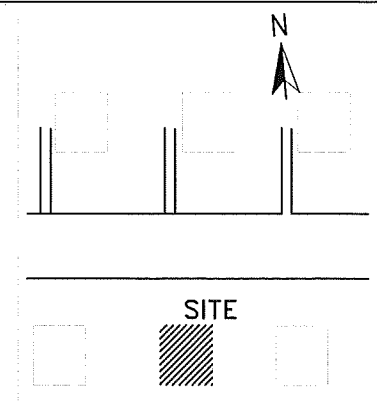




2X6 FILLERS @  
24"O.C.

NOTES FOR ROOF.  
1. ALL MAIN RAFTERS  
ARE  
3.5X14".  
2. METAL CLAD ROOF.  
3. ROOF SLOPE 12 : 2

1/2" THROUGH BOLTS  
6" LONG GRADE 5 WITH  
ANGLE IRON 3X5X3/8  
THICK  
BOLTED TO WALL AND  
ROOF RAFTERS



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SCALE 1/4"=1'

REV			
LKS CONSULTING INC.		DATE	12
848 MAIN ST. E.		DESIGNER	L.S.
HAMILTON, ONTARIO		DATE	2019.04.10
CELL: (905) 823-7832		PROJECT NO.	
EMAIL: info@lks.com			102819

2337 GUYATT RD.  
HAMILTON  
ONTARIO

Drawing Title: 2337 GUYATT RD. Drw.No:  
ROOF LAYOUT A8

ROOF LAYOUT



GUYATT RD.



SITE

KEY PLAN

Total Area- 95 acres

Impervious Area

A house (29.5x79)=  
2330.5 sq.ft

A garage1(104.6x35.8)  
=3744.7 sq.ft

A garage2=(41.5x70)  
=2919.0 sq.ft

A barn (17 x42)=  
=714 sq.ft

A garage prop(20x40)  
=800 sq.ft

A paved driveway  
23x85.6)=1969 sq.ft

A tot imp=12474.7 sq.ft  
=0.286 acre

Percent imp = 3%

THIS DRAWING IS PROPERTY OF LKS CONSULTING INC. IT CAN NOT BE REPRODUCED OR MODIFIED WITHOUT PERMISSION OF LKS.

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SCALE 1/4" = 1'

LKS CONSULTING INC.  
948 MAIN ST. E. HAMILTON  
ONTARIO L8N 2R5  
CELL: (905) 823-7822  
EMAIL: INFO@LKS.COM

DRAWN BY: LL  
CHECKED BY: LL  
DATE: OCT 27, 2019  
PROJECT NO: 190210

GUYATT RD., BINBROOK

ONTARIO

PLAT PLAN

Dwg No: 41

NOTE  
THIS IS NOT A LEGAL PLAN

⊕ PLOT PLAN



Hamilton

Planning and Economic Development Department  
Planning Division

Committee of Adjustment  
City Hall  
5<sup>th</sup> floor 71 Main Street West  
Hamilton, Ontario L8P 4Y5

Phone (905) 546-2424 ext.4221  
Fax (905) 546-4202

PLEASE FILL OUT THE FOLLOWING PAGES AND  
RETURN TO THE CITY OF HAMILTON PLANNING  
DEPARTMENT.

FOR OFFICE USE ONLY.

APPLICATION NO. CIA19425 DATE APPLICATION RECEIVED Aug 24/20

PAID \_\_\_\_\_ DATE APPLICATION DEEMED COMPLETE \_\_\_\_\_

SECRETARY'S SIGNATURE \_\_\_\_\_

CITY OF HAMILTON  
COMMITTEE OF ADJUSTMENT  
HAMILTON, ONTARIO

*The Planning Act*

Application for Minor Variance or for Permission

The undersigned hereby applies to the Committee of Adjustment for the City of Hamilton under Section 45 of the *Planning Act*, R.S.O. 1990, Chapter P.13 for relief, as described in this application, from the Zoning By-law.

- Name of Owner Gino Zippilli Telephone No. 905 518 7888  
FAX NO. \_\_\_\_\_ E-mail address. AGLCONCRETE@YAHOO.CA
- Address 2337 GUYATT RD BINBROOK  
Postal Code L0R1C0
- Name of Agent \_\_\_\_\_ Telephone No. \_\_\_\_\_  
FAX NO. \_\_\_\_\_ E-mail address. \_\_\_\_\_
- Address \_\_\_\_\_  
Postal Code \_\_\_\_\_

**Note:** Unless otherwise requested all communications will be sent to the agent, if any.

- Names and addresses of any mortgagees, holders of charges or other encumbrances:  
\_\_\_\_\_  
Postal Code \_\_\_\_\_  
\_\_\_\_\_  
Postal Code \_\_\_\_\_

6. Nature and extent of relief applied for: AMEND  
TO ALLOW AN ACCESSORY BUILDING FOR  
FARM USE TO BE LOCATED 3.35M FROM  
REAR PROPERTY LINE WHERE IS IS REQUIRED

7. Why it is not possible to comply with the provisions of the By-law?  
REBUILD OLD EXISTING STRUCTURE

8. Legal description of subject lands (registered plan number and lot number or other legal description and where applicable, street and street number):  
2337 GUYAT ROAD BUNBROOK

9. PREVIOUS USE OF PROPERTY  
Residential  Industrial  Commercial   
Agricultural  Vacant   
Other \_\_\_\_\_

9.1 If Industrial or Commercial, specify use  
\_\_\_\_\_

9.2 Has the grading of the subject land been changed by adding earth or other material, i.e. has filling occurred?  
Yes  No  Unknown

9.3 Has a gas station been located on the subject land or adjacent lands at any time?  
Yes  No  Unknown

9.4 Has there been petroleum or other fuel stored on the subject land or adjacent lands?  
Yes  No  Unknown

9.5 Are there or have there ever been underground storage tanks or buried waste on the subject land or adjacent lands?  
Yes  No  Unknown

9.6 Have the lands or adjacent lands ever been used as an agricultural operation where cyanide products may have been used as pesticides and/or sewage sludge was applied to the lands?  
Yes  No  Unknown

9.7 Have the lands or adjacent lands ever been used as a weapon firing range?  
Yes  No  Unknown

9.8 Is the nearest boundary line of the application within 500 metres (1,640 feet) of the fill area of an operational/non-operational landfill or dump?  
Yes  No  Unknown

9.9 If there are existing or previously existing buildings, are there any building materials remaining on site which are potentially hazardous to public health (eg. asbestos, PCB's)?  
Yes  No  Unknown

9.10 Is there any reason to believe the subject land may have been contaminated by former uses on the site or adjacent sites?

Yes \_\_\_ No    Unknown \_\_\_

9.11 What information did you use to determine the answers to 9.1 to 9.10 above?

BEST OF MY INFORMATION  
\_\_\_\_\_  
\_\_\_\_\_

9.12 If previous use of property is industrial or commercial or if YES to any of 9.2 to 9.10, a previous use inventory showing all former uses of the subject land, or if appropriate, the land adjacent to the subject land, is needed.

Is the previous use inventory attached? Yes \_\_\_ No   

**ACKNOWLEDGEMENT CLAUSE**

I acknowledge that the City of Hamilton is not responsible for the identification and remediation of contamination on the property which is the subject of this Application – by reason of its approval to this Application.

\_\_\_\_\_  
Date

[Signature]  
Signature Property Owner

Laura Zippilli Laurie Pyne  
Print Name of Owner

10. Dimensions of lands affected:

Frontage 70m  
Depth 20m  
Area 35,380 SM  
Width of street 20m

11. Particulars of all buildings and structures on or proposed for the subject lands: (Specify ground floor area, gross floor area, number of stories, width, length, height, etc.)

Existing: HOUSE 1725 SF 1ST BARN 3,395  
2ND BARN 4506 SF

Proposed: 20x40 800 SF STORAGE OF  
TRACTOR'S AND STORAGE OF SECOND  
LEVEL

12. Location of all buildings and structures on or proposed for the subject lands; (Specify distance from side, rear and front lot lines)

Existing: SEE SITE PLANS

Proposed: RESTRUCTURED BARN 3.35m FROM  
REAR

13. Date of acquisition of subject lands:  
2015
14. Date of construction of all buildings and structures on subject lands:  
60 TO 75 YEARS OLD
15. Existing uses of the subject property: FARMING & HOUSE
16. Existing uses of abutting properties: FARM & RESIDENCE
17. Length of time the existing uses of the subject property have continued:  
ALWAYS BEEN FARM
18. Municipal services available: (check the appropriate space or spaces)  
 Water WELL Connected NO  
 Sanitary Sewer NO Connected NO  
 Storm Sewers NO
19. Present Official Plan/Secondary Plan provisions applying to the land:  
AGRICULTURE
20. Present Restricted Area By-law (Zoning By-law) provisions applying to the land:  
AGRICULTURE A1 ZONE
21. Has the owner previously applied for relief in respect of the subject property?  
 Yes  No   
 If the answer is yes, describe briefly.  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_
22. Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?  
 Yes  No
23. The applicant shall attach to each copy of this application a plan showing the dimensions of the subject lands and of all abutting lands and showing the location, size and type of all buildings and structures on the subject and abutting lands, and where required by the Committee of Adjustment such plan shall be signed by an Ontario Land Surveyor.

**NOTE:** It is required that two copies of this application be filed with the secretary-treasurer of the Committee of Adjustment together with the maps referred to in Section 5 and be accompanied by the appropriate fee in cash or by cheque made payable to the City of Hamilton.