



Hamilton

COMMITTEE OF ADJUSTMENT

City Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5
Telephone (905) 546-2424, ext. 4221, 3935 Fax (905) 546-4202
E-mail: cofa@hamilton.ca

NOTICE OF PUBLIC HEARING **Minor Variance**

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
 - Applicant/agent on file, or
 - Person likely to be interested in this application
-

APPLICATION NO.: AN/A-20:191

APPLICANTS: Tom Coverdale on behalf of the owner Herb Mullings

SUBJECT PROPERTY: Municipal address **205 Sunny Ridge Rd., Ancaster**

ZONING BY-LAW: Zoning By-law 05-200, as Amended by By-law15-173

ZONING: "S1" (Settlement Residential) Zone

PROPOSAL: To permit the construction of an accessory building in the rear yard of the existing single detached dwelling, notwithstanding,

1. A maximum lot coverage of 384.5 square metres shall be permitted instead of the maximum permitted lot coverage of 97 square metres for all accessory structures located within the rear yard;
2. A maximum building height of 5.5 metres shall be permitted instead of the maximum permitted building height of 5.0 metres for an accessory structure, and,
3. The maximum height to the underside of the fascia, eaves, overhang or the lower ends of the roof joists, rafters or trusses shall be permitted to exceed 3.0 metres instead of the maximum permitted height of 3.0 metres to the underside of the fascia, eaves, overhang or the lower ends of the roof joists, rafters or trusses.

NOTES:

1. The submitted building elevations do not illustrate the proposed building height in accordance with the definition of "Building Height" and "Grade" as defined within the Zoning By-law. A further variance will be required if the requested building height has not been provided in accordance with "Building Height" and "Grade" as defined within the Zoning By-law.
2. A further variance will be required if the eave and gutter project greater than 0.6 metres into the required 3.0 metre northerly side yard.
3. Details regarding the existing accessory building have not been provided. It is noted a portion of the existing accessory structure is to be demolished, however the specific area to be demolished has not been identified. Additionally, it is unclear if a portion of the existing accessory structure is to be demolished prior to the construction of the proposed accessory structure; as such, the variance is written to include lot coverage for all accessory structures as shown on the submitted site plan.

This application will be heard by the Committee as shown below:

DATE: Thursday, October 22nd, 2020
TIME: 1:30 p.m.
PLACE: Via video link or call in (see attached sheet for details)
To be streamed at www.hamilton.ca/committeeofadjustment
for viewing purposes only

PUBLIC INPUT

Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.


Orally: If you would like to speak to this item at the hearing you may do so via video link or by calling in. Please see attached page for complete instructions, including deadlines for registering to participate.

MORE INFORMATION

For more information on this matter, including access to drawings illustrating this request:

- Visit www.hamilton.ca/committeeofadjustment
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935
- Email Committee of Adjustment staff at cofa@hamilton.ca

DATED: October 6th, 2020.



Jamila Sheffield,
Secretary-Treasurer
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public.

DETAILED
Farm Buildings Ltd.

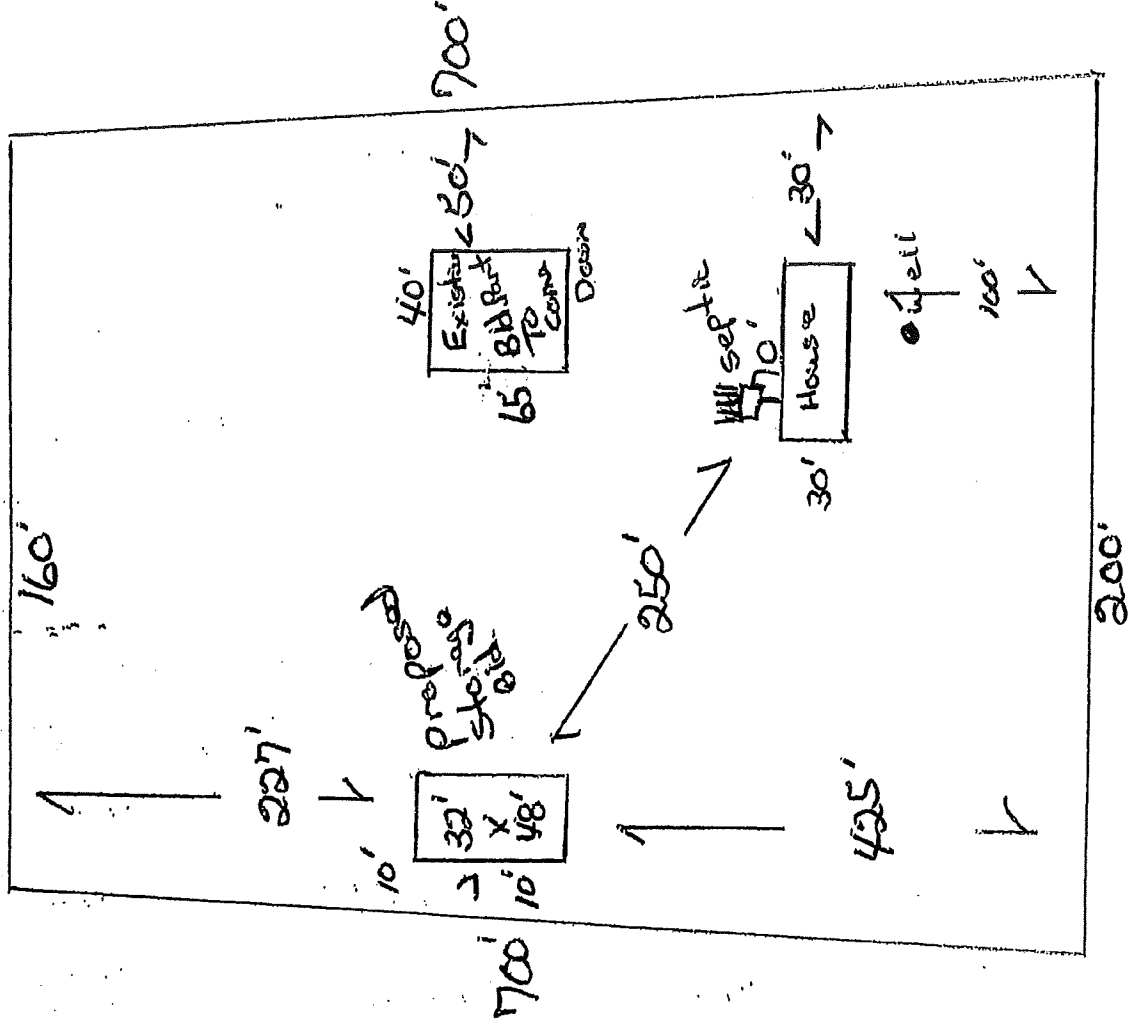


Tom Coverdale
President

tom@etailedbuildings.com
PO Box 8, Rockton Ontario L0R 1X0

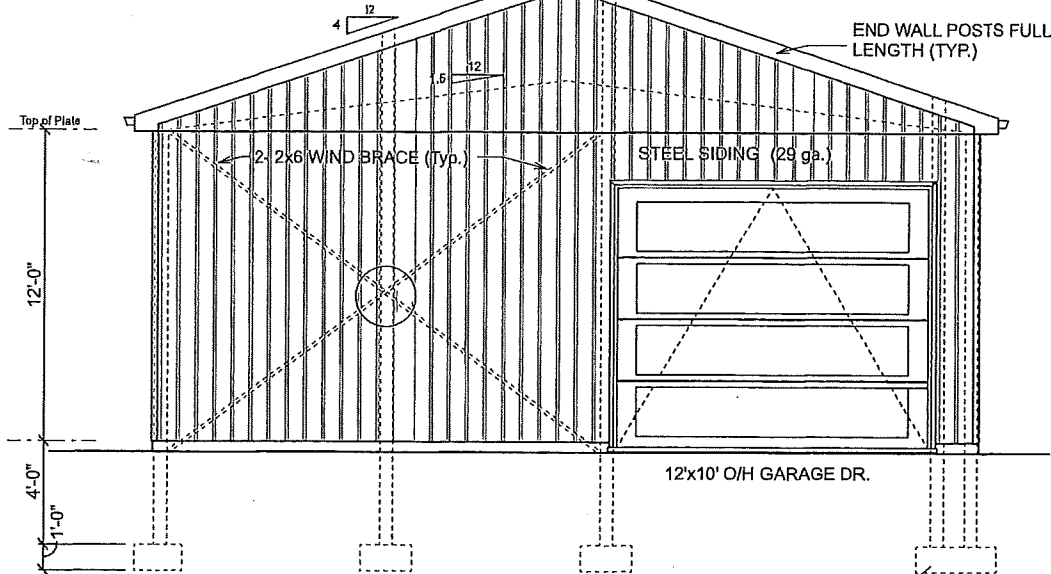
T (905) 628-8551
F (905) 628-4220
C (905) 961-5575

Site Plan
Aerbumlings



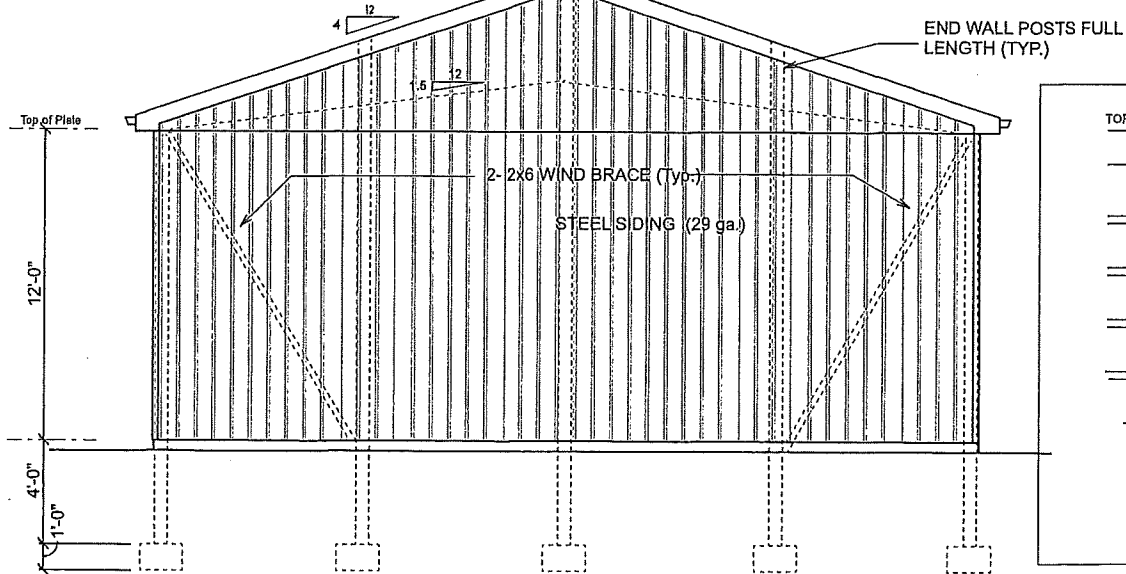
205 Sunny Ridge Road
Jerseyville

NAIL GABLE TRUSS TO END WALL
POST WITH 30 - 3 1/2" SPIRAL NAILS



FRONT ELEVATION

NAIL GABLE TRUSS TO END WALL
POST WITH 30 - 3 1/2" SPIRAL NAILS

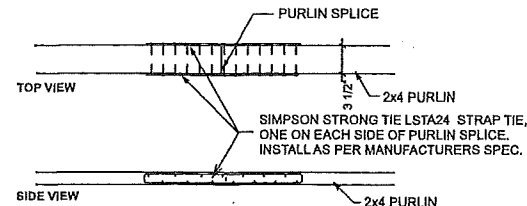
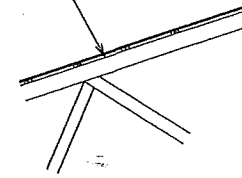


REAR ELEVATION

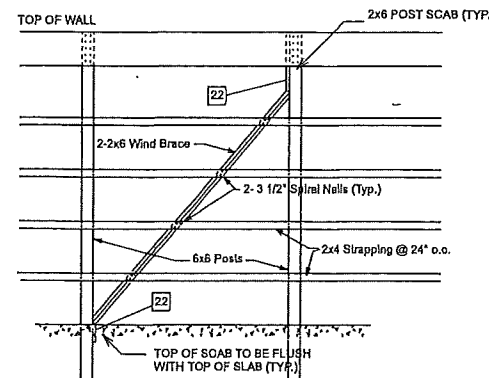
2x4 Solid Blocking Between Roof Purlins
(3 1/2" Ardox @ 8" o.c. - Blocking to Truss Top Chord)

Attach Steel Cladding to Blocking
With #8 x 1" Screws @ 12" o.c.
Into Blocking

SCREW DETAIL FOR GABLE WALL
NAILING DETAIL FOR STITCH SCREW (Both Ends)



CONTINUOUS PURLIN SPLICE DETAIL



TYPICAL WIND BRACE DETAIL (2 POST)
(2- 2x6 WIND BRACE)

Notes

These drawings, dimensions, and specifications must be checked and verified by the building contractor for discrepancies and report to this designer before commencing any further work. This designer assumes no responsibility or liability for errors or omission not reported by the building contractor or his subtrades. This designer assumes no responsibility for the building contractor or his subtrades for their failure to carry out the work according to these plans, specifications and related documents. Construction must comply with the latest standards of the O.B.C., C.B.C., and the local municipal regulations.

Suppliers and sub contractors to verify dimensions between all plans. Report any discrepancies to this designer before proceeding. This designer assumes no responsibility for errors not reported.

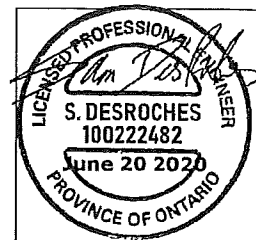
Do Not Scale Drawings

BUILDING CLASSIFICATION

THIS BUILDING IS DESIGNED FOR RESIDENTIAL
PART 9 O.B.C. (GROUP C)

Note: NO ADJUSTMENTS OR OR CHANGES SHALL
BE MADE TO THESE PLANS WITHOUT THE
WRITTEN APPROVAL THIS DESIGNER

ROOF TRUSS DESIGNS & LAYOUT TO BE SUBMITTED
TO THIS DESIGNER BEFORE MANUFACTURING



PHILIP H. RUHLMAN

ARCHITECTURAL DESIGN
82 Piper St., 519-223-7042
Ayr, Ontario
email - phil@ruhlmandesign.com

DECLARATION OF DESIGNER

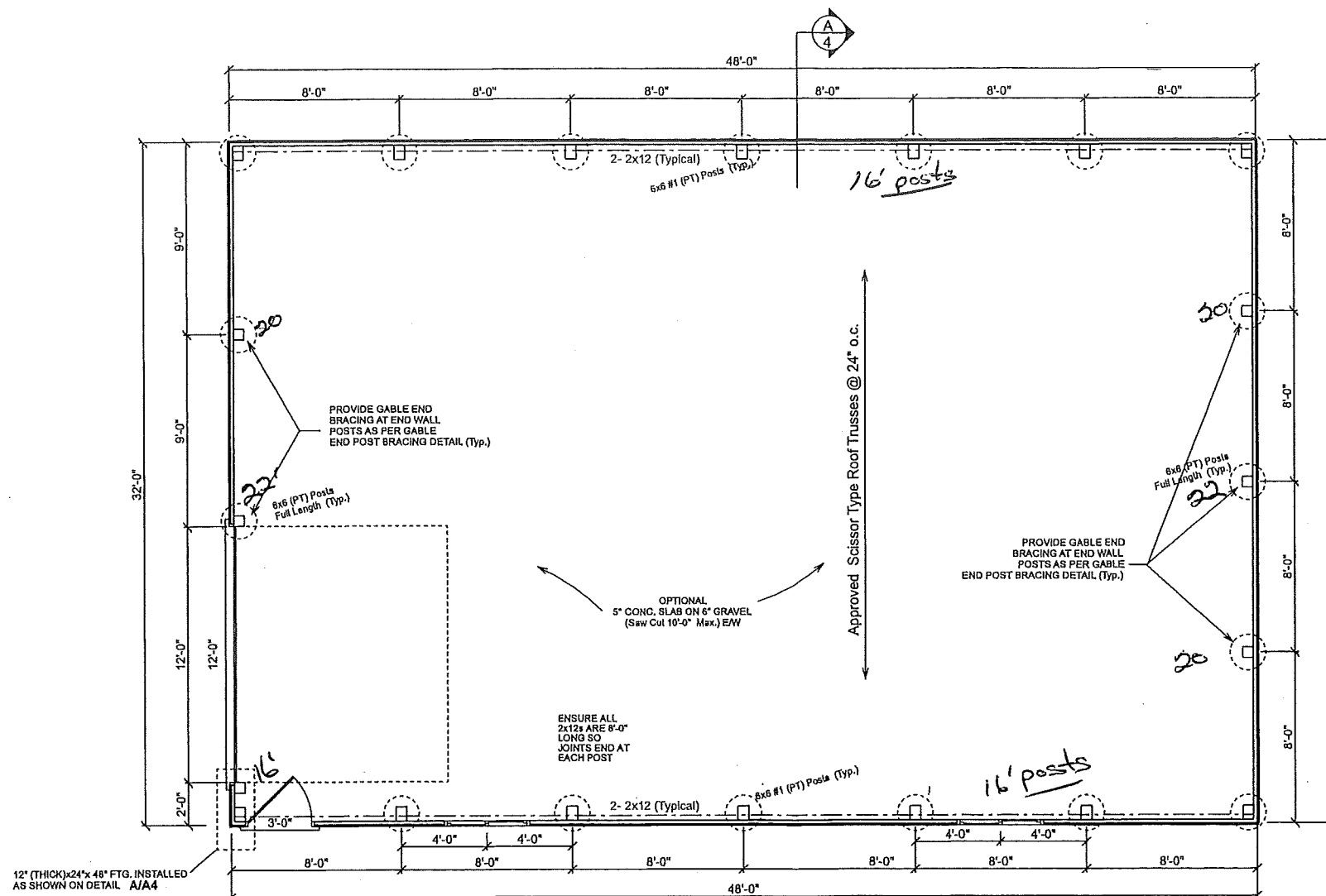
I Philip Ruhlman declare that I review
and take responsibility for the design
work of this plan. I am qualified, and
I am registered.

Individual BCIN: 21095 Firm BCIN: 31613

Detailed Buildings
P.O. Box 8
Rockton, Ont. L0R 1X0

ELEVATIONS

DATE	SCALE	AREA	PROJECT NO.
June 5, 2020	3/16"=1'-0"	1,536 Sq. Ft.	PHR20-733
PROJECT NAME			DRAWING #
HERB MULLINGS 205 Sunny Ridge Rd. Jerseyville, Ont.			A1



PLAN VIEW

PRINT 11" x 17" - 3/16" SCALE

Note:
All LVL to be "West Fraser" LVL (2.0E)
All Steel to be Grade 350W

Notes

These drawings, dimensions, and specifications must be checked and verified by the building contractor for discrepancies and report to this designer before commencing any further work. This designer assumes no responsibility or liability for errors or omission not reported by the building contractor or his subtrades. This designer assumes no responsibility for the building contractor or his subtrades for their failure to carry out the work according to these plans, specifications and related documents. Construction must comply with the latest standards of the O.B.C., C.B.C., and the local municipal regulations. Suppliers and sub contractors to verify dimensions between all plans. Report any discrepancies to this designer before proceeding. This designer assumes no responsibility for errors not reported.

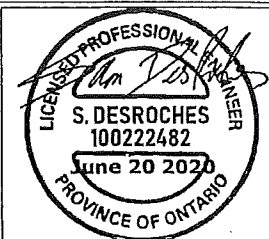
Do Not Scale Drawings

BUILDING CLASSIFICATION

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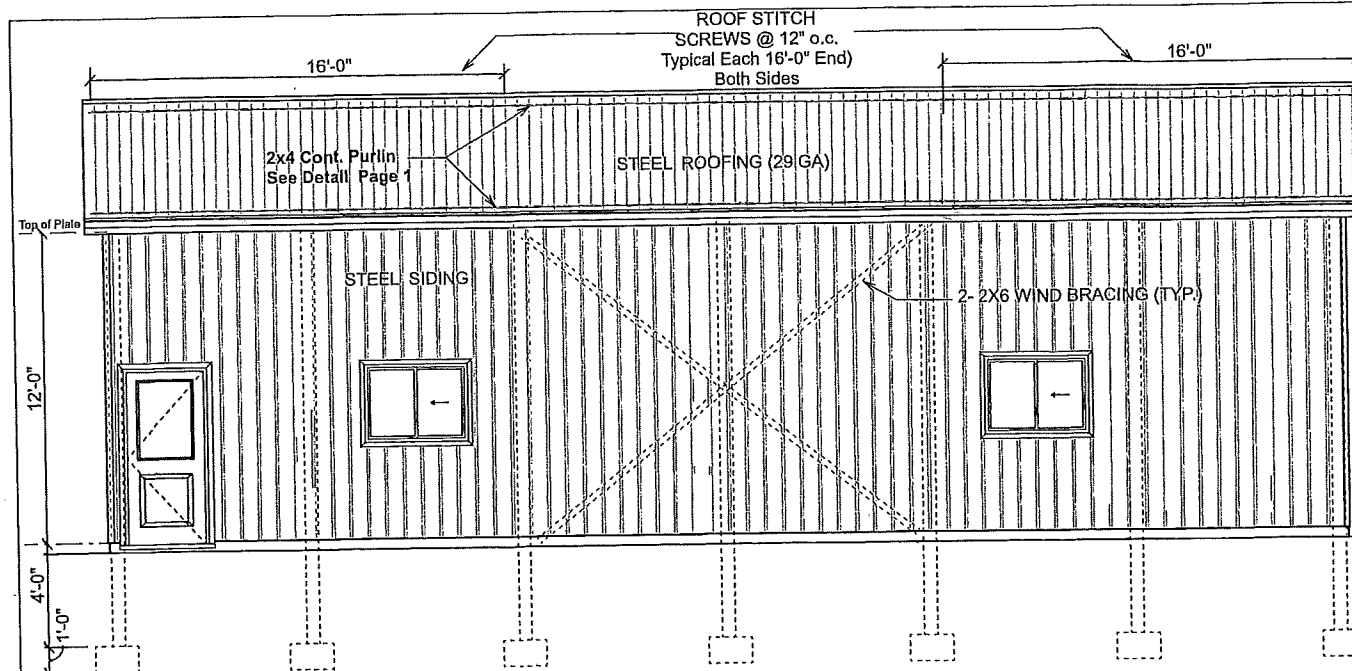
DECLARATION OF DESIGNER

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I am registered.

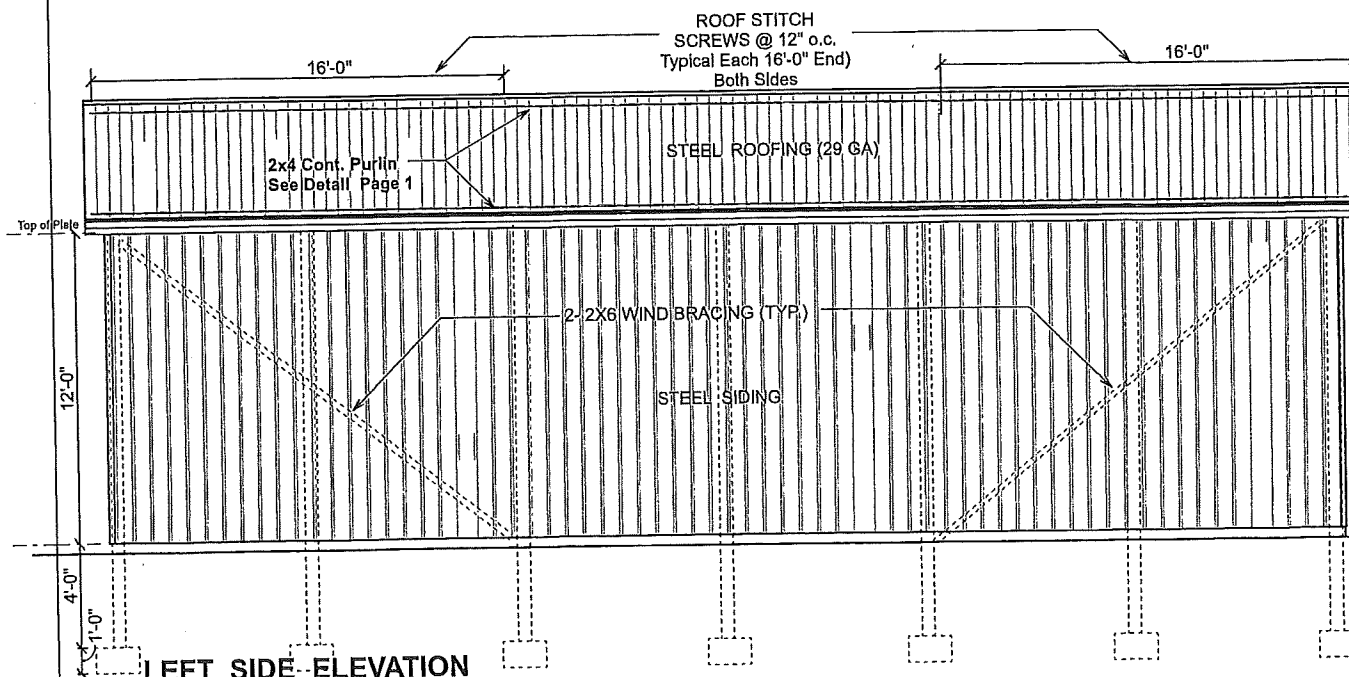
Individual BCIN: 21095 Firm BCIN: 31613

Detailed Buildings
P.O. Box 8
Rockton, Ont. L0R 1X0

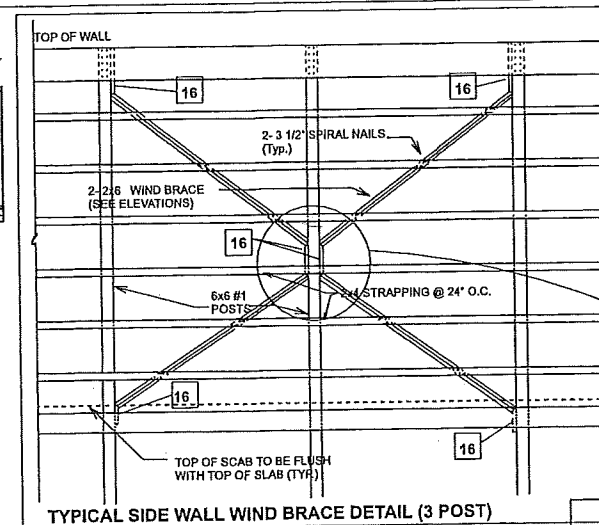
DRAWING TITLE			
PLAN VIEW			
DATE	SCALE	AREA	PROJECT NO.
June 19, 2020	3/16"=1'-0"	1,536 Sq. Ft.	PHR20-733
PROJECT NAME		DRAWING #	
HERB MULLINGS 205 Sunny Ridge Rd. Jerseyville, Ont.		A2	



RIGHT SIDE ELEVATION



LEFT SIDE ELEVATION

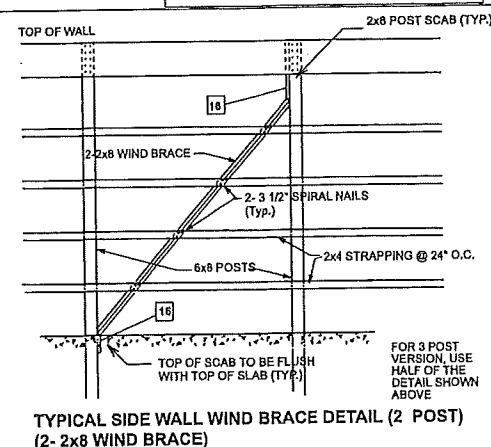


BUILDING CLASSIFICATION

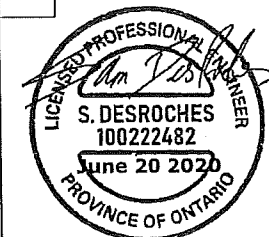
THIS BUILDING IS DESIGNED FOR RESIDENTIAL PART 9 O.B.C. (GROUP C)

Note: NO ADJUSTMENTS OR OR CHANGES SHALL BE MADE TO THESE PLANS WITHOUT THE WRITTEN APPROVAL THIS DESIGNER

ROOF TRUSS DESIGNS & LAYOUT TO BE SUBMITTED TO THIS DESIGNER BEFORE MANUFACTURING



□ # of 3 1/2" Ardox Nails Each Side of Post
○ # of 6" Ardox Nails Each Side of Post
Typical Nailing Pattern



PHILIP H. RUHLMAN

ARCHITECTURAL DESIGN
82 Piper St., 519-223-7042
Ayr, Ontario
email - phil@ruhlmandesign.com

DECLARATION OF DESIGNER

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P.O. Box 8
Rockton, Ont. L0R 1X0

ELEVATIONS

DATE	SCALE	AREA	PROJECT NO.
June 19, 2020	3/16"=1'-0"	1,536 Sq. Ft.	PHR20-733
PROJECT NAME	DRAWING #		
HERB MULLINGS 205 Sunny Ridge Rd. Jerseyville, Ont.	A3		



Committee of Adjustment
City Hall
5th floor 71 Main Street West
Hamilton, Ontario L8P 4Y5

PLEASE FILL OUT THE FOLLOWING PAGES AND
RETURN TO THE CITY OF HAMILTON PLANNING
DEPARTMENT.

20.182717

APPLICATION NO. AN/A-20:191 DATE APPLICATION RECEIVED Sept. 8/20

PAID _____ DATE APPLICATION DEEMED COMPLETE _____

SECRETARY'S
SIGNATURE _____

CITY OF HAMILTON
COMMITTEE OF ADJUSTMENT
HAMILTON, ONTARIO

The *Planning Act*

Application for Minor Variance or for Permission

The undersigned hereby applies to the Committee of Adjustment for the City of Hamilton under Section 45 of the *Planning Act*, R.S.O. 1990, Chapter P.13 for relief, as described in this application, from the Zoning By-law.

Note: Unless otherwise requested, all communications will be sent to the agent, if any.

5. Names and addresses of any mortgagees, holders of charges or other encumbrances:

Postal Code _____

Postal Code _____

6. Nature and extent of relief applied for:

Lot Coverage Allowed 35%
Bylaw
But only allowed 97m² need
175 m². And Height need 1/2 a
meter

7. Why it is not possible to comply with the provisions of the By-law?

Because of Zoning Bylaw
should be Allowed 34% by Lot Coverage
max 97m² Allowed.

8. Legal description of subject lands (registered plan number and lot number or other legal description and where applicable, street and street number):

CON 3 PT LOT 19 IRREG
205 Sunny Ridge Road
Jerseyville

9. PREVIOUS USE OF PROPERTY

Residential ☒ Industrial ☐ Commercial ☐

Agricultural ☐ Vacant ☐

Other

9.1 If Industrial or Commercial, specify use

9.2 Has the grading of the subject land been changed by adding earth or other material, i.e. has filling occurred?

Yes ☐ No ☒ Unknown ☐

9.3 Has a gas station been located on the subject land or adjacent lands at any time?

Yes ☐ No ☒ Unknown ☐

9.4 Has there been petroleum or other fuel stored on the subject land or adjacent lands?

Yes ☐ No ☒ Unknown ☐

9.5 Are there or have there ever been underground storage tanks or buried waste on the subject land or adjacent lands?

Yes ☐ No ☒ Unknown ☐

9.6 Have the lands or adjacent lands ever been used as an agricultural operation where cyanide products may have been used as pesticides and/or sewage sludge was applied to the lands?

Yes ☐ No ☒ Unknown ☐

9.7 Have the lands or adjacent lands ever been used as a weapon firing range?

Yes ☐ No ☒ Unknown ☐

9.8 Is the nearest boundary line of the application within 500 metres (1,640 feet) of the fill area of an operational/non-operational landfill or dump?

Yes ☐ No ☒ Unknown ☐

9.9 If there are existing or previously existing buildings, are there any building materials remaining on site which are potentially hazardous to public health (eg. asbestos, PCB's)?

Yes ☐ No ☒ Unknown ☐

9.10 Is there any reason to believe the subject land may have been contaminated by former uses on the site or adjacent sites?

Yes _____ No ☒ Unknown _____

9.11 What information did you use to determine the answers to 9.1 to 9.10 above?

Lived in The Area for
40 Years

9.12 If previous use of property is industrial or commercial or if YES to any of 9.2 to 9.10, a previous use inventory showing all former uses of the subject land, or if appropriate, the land adjacent to the subject land, is needed.

Is the previous use inventory attached? Yes _____ No _____

ACKNOWLEDGEMENT CLAUSE

I acknowledge that the City of Hamilton is not responsible for the identification and remediation of contamination on the property which is the subject of this Application – by reason of its approval to this Application.

10. Dimensions of lands affected:

Frontage

200'

Depth

700'

Area

Width of street

11. Particulars of all buildings and structures on or proposed for the subject lands: (Specify ground floor area, gross floor area, number of stories, width, length, height, etc.)

Existing: On Site Plan.

Proposed: 32' x 48' x 12' sidewalk

12. Location of all buildings and structures on or proposed for the subject lands: (Specify distance from side, rear and front lot lines)

Existing: On Site Plan.

Proposed:

13. Date of acquisition of subject lands:
November 2016.
14. Date of construction of all buildings and structures on subject lands:
1970.
15. Existing uses of the subject property: Residential
16. Existing uses of abutting properties: Residential
17. Length of time the existing uses of the subject property have continued:
over 30 Years
18. Municipal services available: (check the appropriate space or spaces)
Water _____ Connected _____
Sanitary Sewer _____ Connected _____
Storm Sewers _____
19. Present Official Plan/Secondary Plan provisions applying to the land:

20. Present Restricted Area By-law (Zoning By-law) provisions applying to the land:

21. Has the owner previously applied for relief in respect of the subject property?
Yes No
If the answer is yes, describe briefly.

22. Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?
Yes No
23. The applicant shall attach to each copy of this application a plan showing the dimensions of the subject lands and of all abutting lands and showing the location, size and type of all buildings and structures on the subject and abutting lands, and where required by the Committee of Adjustment such plan shall be signed by an Ontario Land Surveyor.

NOTE: It is required that two copies of this application be filed with the secretary-treasurer of the Committee of Adjustment together with the maps referred to in Section 5 and be accompanied by the appropriate fee in cash or by cheque made payable to the City of Hamilton.

PART 24 AFFIDAVIT OR SWORN DECLARATION

This declaration to be sworn by a Commissioner of Oaths.

I, _____ of the _____ of _____
_____ in the _____ of _____

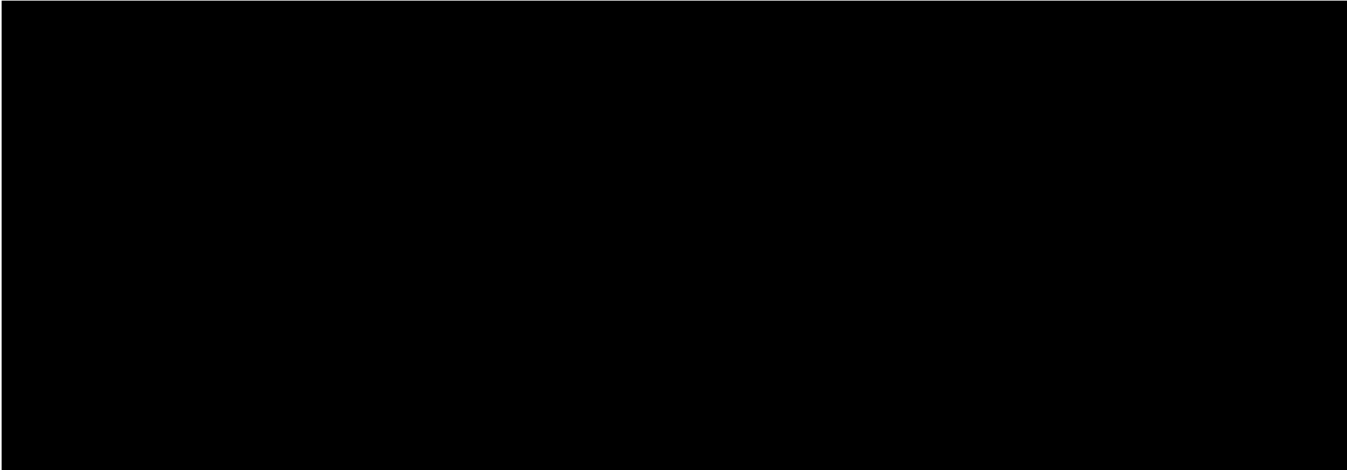
solemnly declare that:

All of the above statements are true and I make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath.

Declared before me at the _____
at the _____ of _____)
_____)
in the _____)
_____)
of _____)
_____)
this _____ day of _____ A.D. 20 _____)

Applicant

A Commissioner, etc.

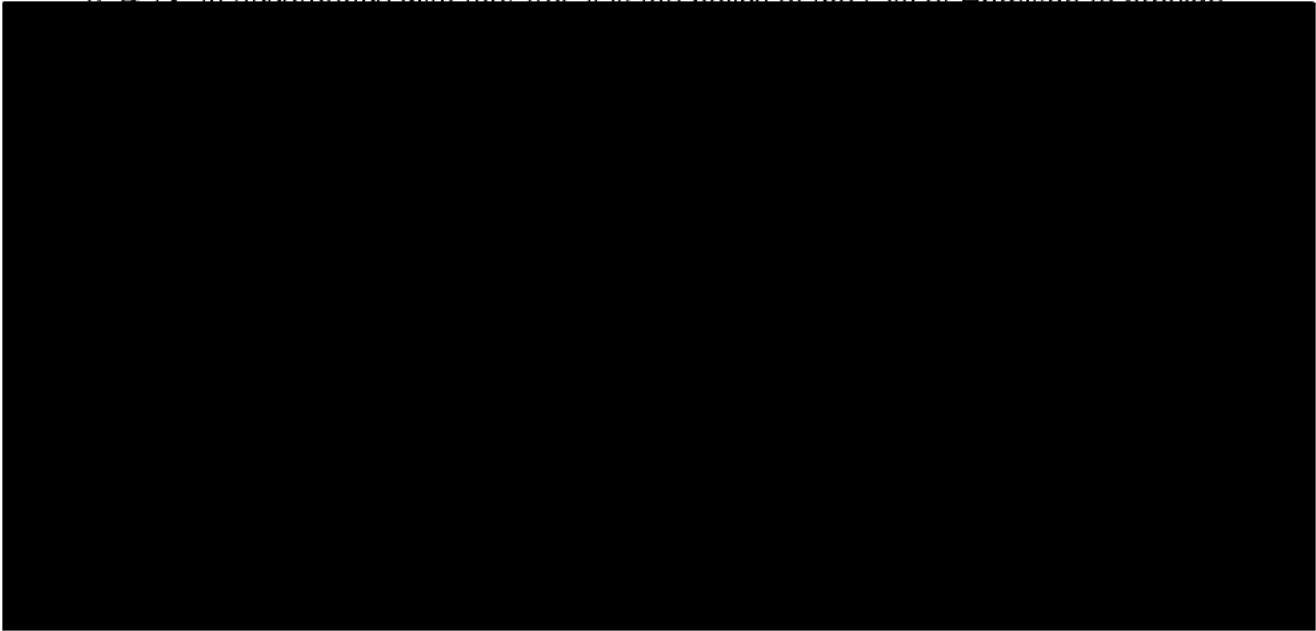


PART 26 CONSENT OF THE OWNER

Complete the consent of the owner concerning personal information set out below.

Consent of Owner to the Disclosure of Application Information and Supporting Documentation

Application information is collected under the authority of the *Planning Act*, R.S.O. 1990, c. P.12. In accordance with that Act, it is the policy of the City of Hamilton to provide



CITY OF HAMILTON
COST ACKNOWLEDGEMENT AGREEMENT

This Agreement made this _____ day of _____, 20_____

BETWEEN:

Applicant's name(s)
hereinafter referred to as the "Developer"

-and-

City of Hamilton
hereinafter referred to as the "City"

WHEREAS the Developer represents that he/she is the registered owner of the lands described in Schedule "A" attached hereto, and which lands are hereinafter referred to as the "lands";

AND WHEREAS the Developer has filed for an application for a (circle applicable) consent/rezoning/official plan amendment/subdivision approval/minor variance.

AND WHEREAS it is a policy of the City that any City costs associated with an appeal to the Local Planning Appeal Tribunal, by a party other than the Developer, of an approval of a consent, rezoning, official plan amendment, plan of subdivision, and/or minor variance, such as, but not limited to, legal counsel costs, professional consultant costs and City staff costs, shall be paid by the Developer.

NOW THEREFORE THIS AGREEMENT WITNESSETH that in consideration of the sum of two dollars (\$2.00) now paid by the City to the Developer, the receipt of which is hereby acknowledged, the parties hereto agree as follows:

1. In this Agreement:
 - (a) "application" means the application(s) for a (circle applicable) consent/rezoning/official plan amendment/subdivision approval or minor variance dated _____ with respect to the lands described in Schedule "A" hereto.
 - (b) "Expenses" means all expenses incurred by the City if the application is: (a) approved by the City; (b) appealed to the Local Planning Appeal Tribunal by a party other than the developer; and (c) the City appears before the Local Planning Appeal Tribunal or any other tribunal or Court in support of the application, including but not limited to: City staff time, City staff travel expenses and meals, City disbursements, legal counsel fees and disbursements and all consultant fees and disbursements including, without limiting the generality of the foregoing planning, engineering or other professional expenses
2. The City agrees to process the application and, where the application is approved by the City but appealed to the Local Planning Appeal Tribunal by a party other than the Developer, the Developer shall file an initial deposit, in the form of certified cheque or cash with the General Manager, Finance & Corporate Services within fifteen days of the date of the appeal of the application by a third party in the amount of 50% of the estimated expenses associated with the appeal as estimated by the City Solicitor in his sole discretion which shall be credited against the Expenses.
3. It is hereby acknowledged that if the deposit required pursuant to section 2 of this Agreement is not paid by the Developer the City shall have the option, at its sole discretion, of taking no further steps in supporting the Developer's application before the Local Planning Appeal Tribunal.

4. It is hereby acknowledged that all expenses shall be paid for by the Developer. The Developer shall reimburse the City for all expenses the City may be put to in respect of the application upon demand.
5. It is hereby acknowledged and agreed that all expenses shall be payable by the Developer whether or not the Developer is successful before the Local Planning Appeal Tribunal or any other tribunal or Court in obtaining approval for their application.
6. The City shall provide the Developer with copies of all invoices of external legal counsel or consultants included in the expenses claimed by the City.
7. The City shall provide the Developer with an accounting of all staff costs and City disbursements included in the expenses claimed by the City.
8. The City may, at any time, draw upon the funds deposited in accordance with sections 2 and 9 of this Agreement to satisfy expenses incurred pursuant to the appeal of the application.
9. In the event that the amount deposited pursuant to section 2 of this Agreement is reduced to less than 10% of the initial deposit, the City may halt all work in respect of the appeal of the application until the Developer deposits with the City a sum sufficient to increase the deposit to an amount which is equal to 100% of the expenses estimated pursuant to paragraph 2 of this Agreement and still to be incurred by the City.
10. Within 60 days of: (a) a decision being rendering in respect of the appeal or any legal proceedings resulting from the decision, whichever is later; or (b) the termination of all legal proceedings in respect of the application, the City shall prepare and submit a final account to the Developer. If there are any deposit funds remaining with the City they shall be applied against the account. Any amount owing in respect of the final account in excess of deposit funds shall be paid by the Developer within 30 days of the date of the final account. If any deposit funds are remaining after the final account has been paid they shall be returned to the developer within 30 days of the date of the final account.
11. This Agreement shall not be construed as acceptance of the application and nothing herein shall require or be deemed to require the City to approve the application.
12. This Agreement shall not stand in lieu of or prejudice the rights of the City to require such further and other agreements in respect of the application that the City may deem necessary.
13. Every term, covenant, obligation and condition in this Agreement ensures to the benefit of and is binding upon the parties hereto and their respective heirs, executors, administrators, successors, trustees and assigns.
14. When the context so requires or permits, the singular number is to be read as if the plural were expressed, and the masculine gender as if the feminine, as the case may be, were expressed; and,
15. This Agreement and the schedules hereto constitute the entire agreement between the parties in respect of the subject matter contained herein and is not subject to, or in addition to, any other agreements, warranties or understandings, whether written, oral or implied. This Agreement may not be modified or amended except by instrument in writing signed by the Developer and the City, and,
16. The waiver or acquiescence by the City of any default by the Developer under any obligation to comply with this Agreement shall not be deemed to be a waiver of that obligation or any subsequent or other default under this Agreement.
17. The Developer covenants and agrees to be bound by the terms and conditions of this Agreement and not to seek a release from the provisions thereof until such time as the Developer's obligations hereunder have been assumed by its successor,

Schedule "A"
Description of Lands

SCHEDULE "B"
FORM OF ASSUMPTION AGREEMENT

THIS AGREEMENT dated the _____ day of _____ 20 ____.

BETWEEN

(hereinafter called the "Owner")

OF THE FIRST PART

-and-

(hereinafter called the "Assignee")

-and-

OF THE SECOND PART

CITY OF HAMILTON
(hereinafter called the "Municipality")

OF THE THIRD PART

WHEREAS the owner and the Municipality entered into and executed a Cost Acknowledgement Agreement dated _____.

AND WHEREAS Assignee has indicated that it will assume all of the Owner's duties, liabilities and responsibilities as set out in the Cost Acknowledgement Agreement.

AND WHEREAS Council for the Municipality has consented to releasing the Owner from its duties, liabilities and responsibilities under said Cost Acknowledgement Agreement subject to the Assignee accepting and assuming the Owner's duties, liabilities and responsibilities and subject to the Assignee the Owner and the Municipality entering into and executing an Assumption Agreement.

NOW THEREFORE THIS AGREEMENT WITNESSETH THAT in consideration of the mutual covenants hereinafter expressed and other good and valuable consideration, the parties hereto agree as follows.

1. The Assignee covenants and agrees to accept, assume and to carry out the Owner's duties, liabilities and responsibilities under the Cost Acknowledgement Agreement and in all respects to be bound under said Cost Acknowledgement Agreement as if the Assignee had been the original party to the agreement in place of the Owner.
2. The Municipality hereby releases the Owner from all claims and demands of any nature whatsoever against the Owner in respect of the Cost Acknowledgement Agreement. The Municipality hereby accepts the Assignee as a party to the Cost Acknowledge Agreement in substitution of the Owner, and agrees with the Assignee that the Assignee will be bound by all the terms and conditions of the Cost Acknowledgement Agreement as if the Assignee had been the original executing party in place of the Owner.
3. All of the terms, covenants, provisos and stipulations in the said Cost Acknowledgement Agreement are hereby confirmed in full force save and except for such modifications as are necessary to make said clauses applicable to the Assignee.

IN WITNESS WHEREOF the Parties have hereunto affixed their corporate seals duly attested to by their proper signing officers in that behalf.

SIGNED, SEALED AND DELIVERED

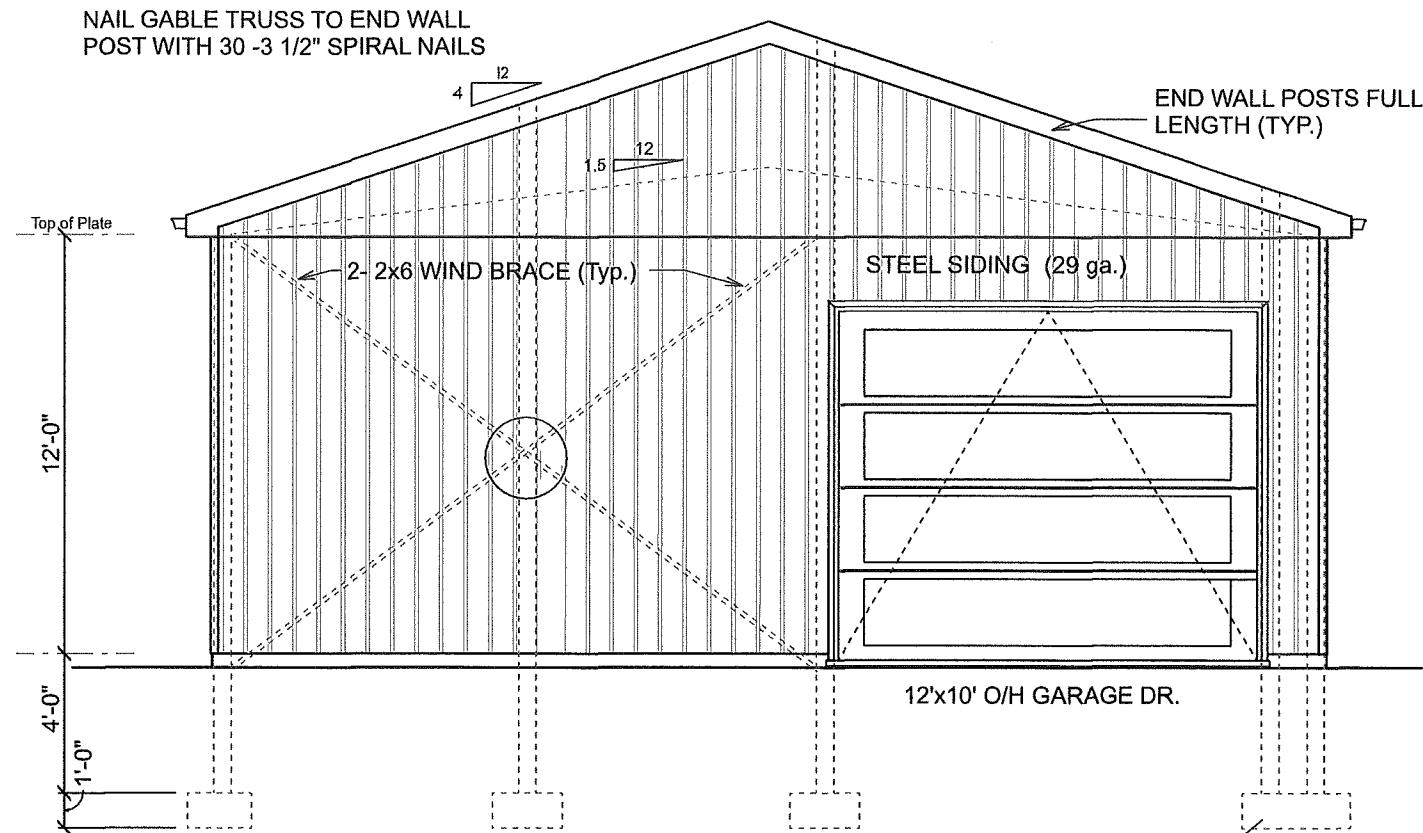
Owner: c/s
Title:
I have authority to bind the corporation

Assignee: c/s
Title:
I have authority to bind the corporation

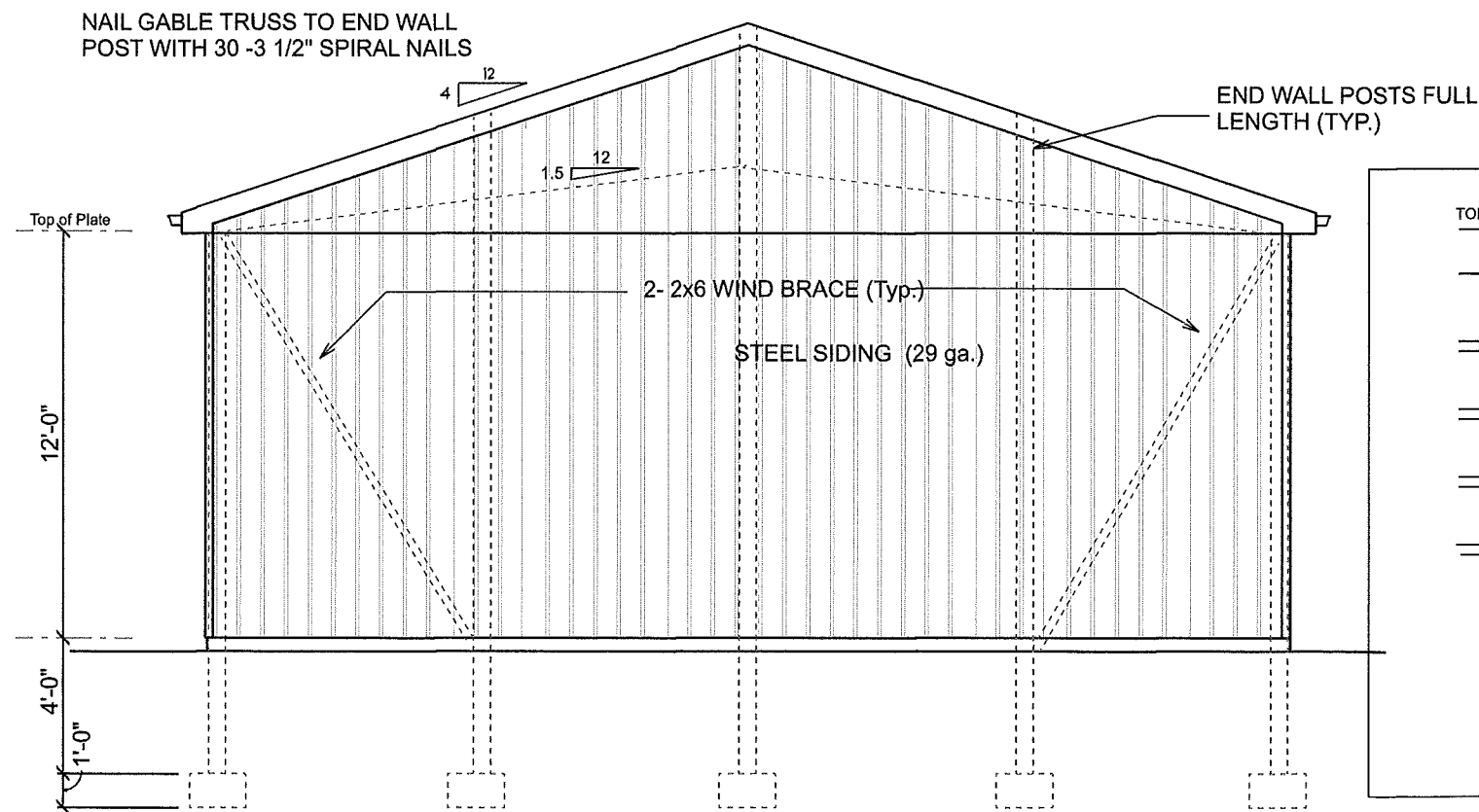
CITY OF HAMILTON

Mayor

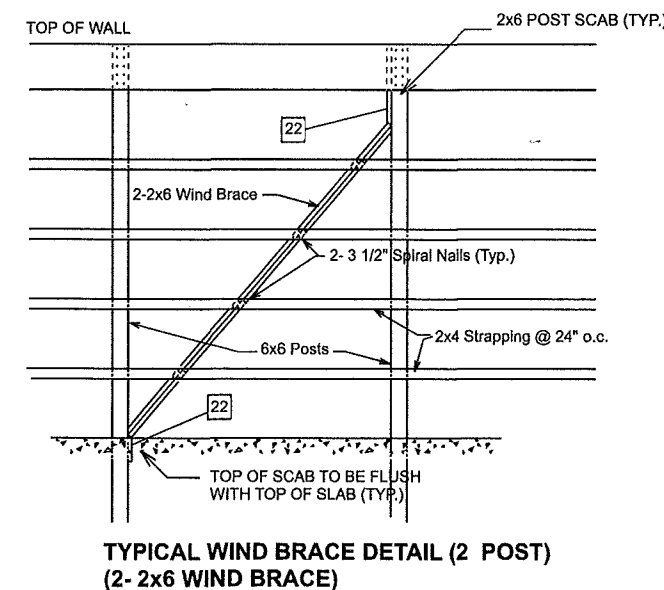
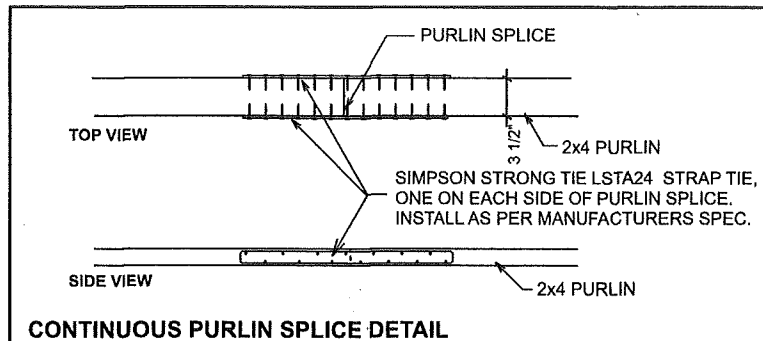
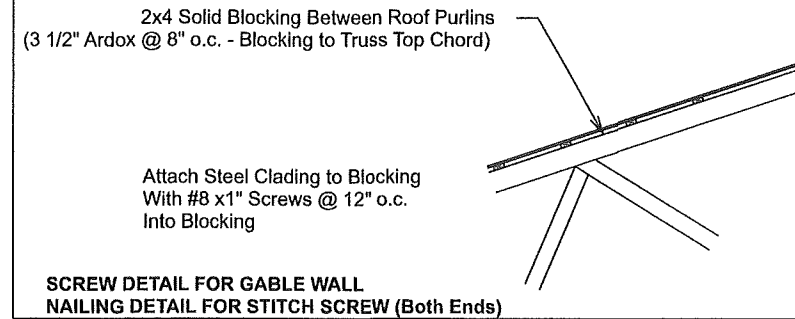
Clerk



FRONT ELEVATION



REAR ELEVATION



Notes

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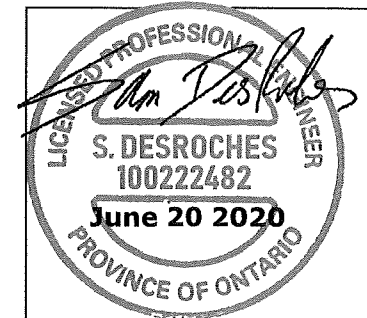
Do Not Scale Drawings

BUILDING CLASSIFICATION

THIS BUILDING IS DESIGNED FOR RESIDENTIAL PART 9 O.B.C. (GROUP C)

Note: NO ADJUSTMENTS OR OR CHANGES SHALL BE MADE TO THESE PLANS WITHOUT THE WRITTEN APPROVAL THIS DESIGNER

ROOF TRUSS DESIGNS & LAYOUT TO BE SUBMITTED TO THIS DESIGNER BEFORE MANUFACTURING



PHILIP H. RUHLMAN

ARCHITECTURAL DESIGN
82 Piper St. 519-223-7042
Ayr, Ontario
email - phil@ruhlmandesign.com

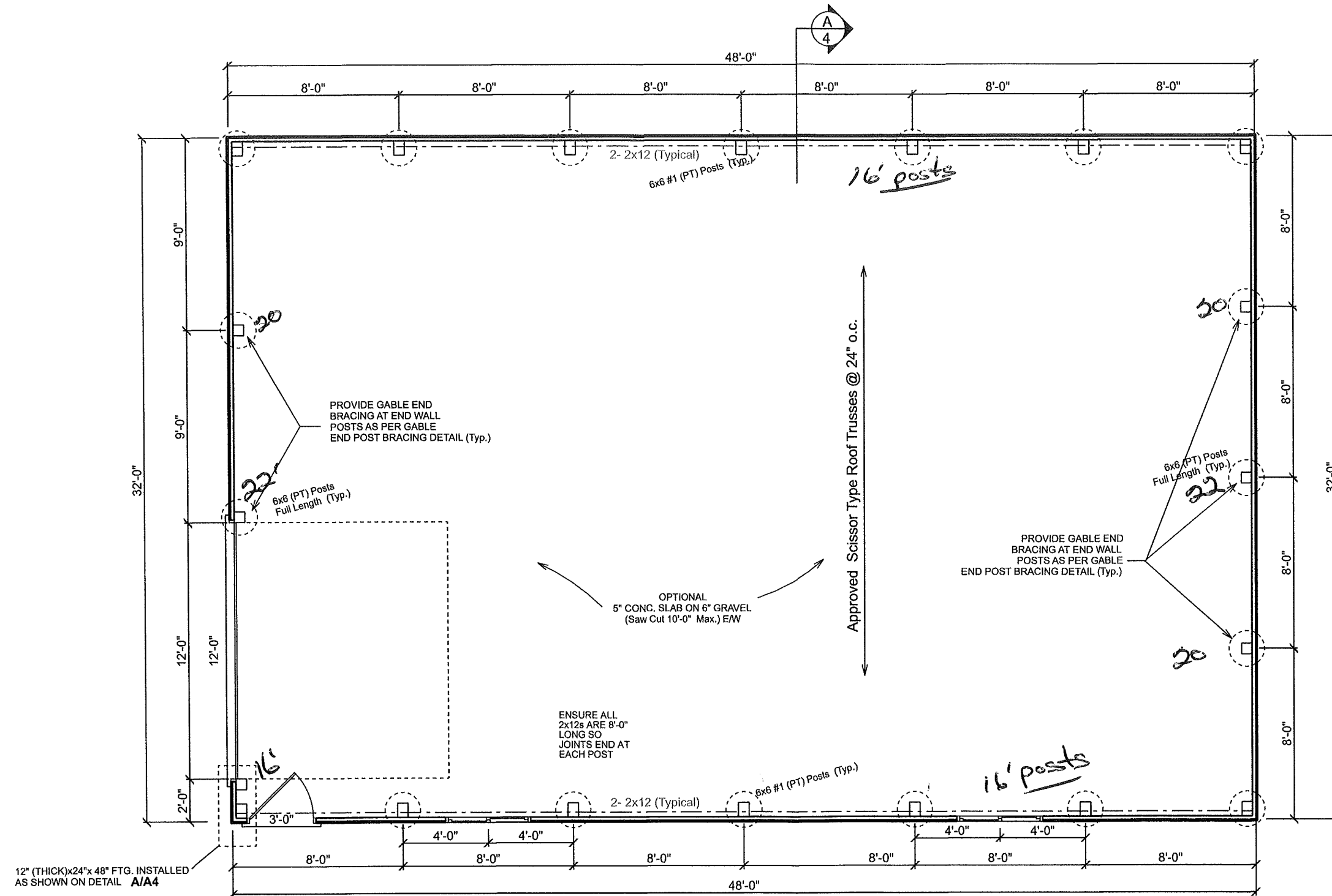
DECLARATION OF DESIGNER

I Philip Ruhlman declare that I review and take responsibility for the design work of this plan. I am qualified, and I am registered.

Individual BCIN: 21095 Firm BCIN: 31613

Detailed Buildings
P.O. Box 8
Rockton, Ont. L0R 1X0

ELEVATIONS			
DATE	SCALE	AREA	PROJECT NO.
June 5, 2020	3/16"=1'-0"	1,536 Sq. Ft.	PHR20-733
PROJECT NAME			DRAWING #
HERB MULLINGS 205 Sunny Ridge Rd. Jerseyville, Ont.			A1



PLAN VIEW

Note:
All LVL to be "West Fraser" LVL (2.0E)
All Steel to be Grade 350W

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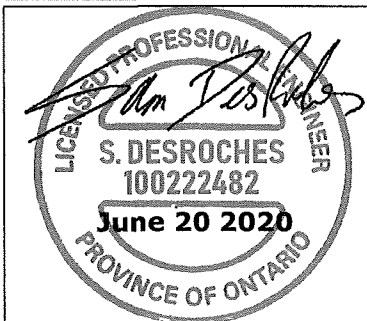
Do Not Scale Drawings

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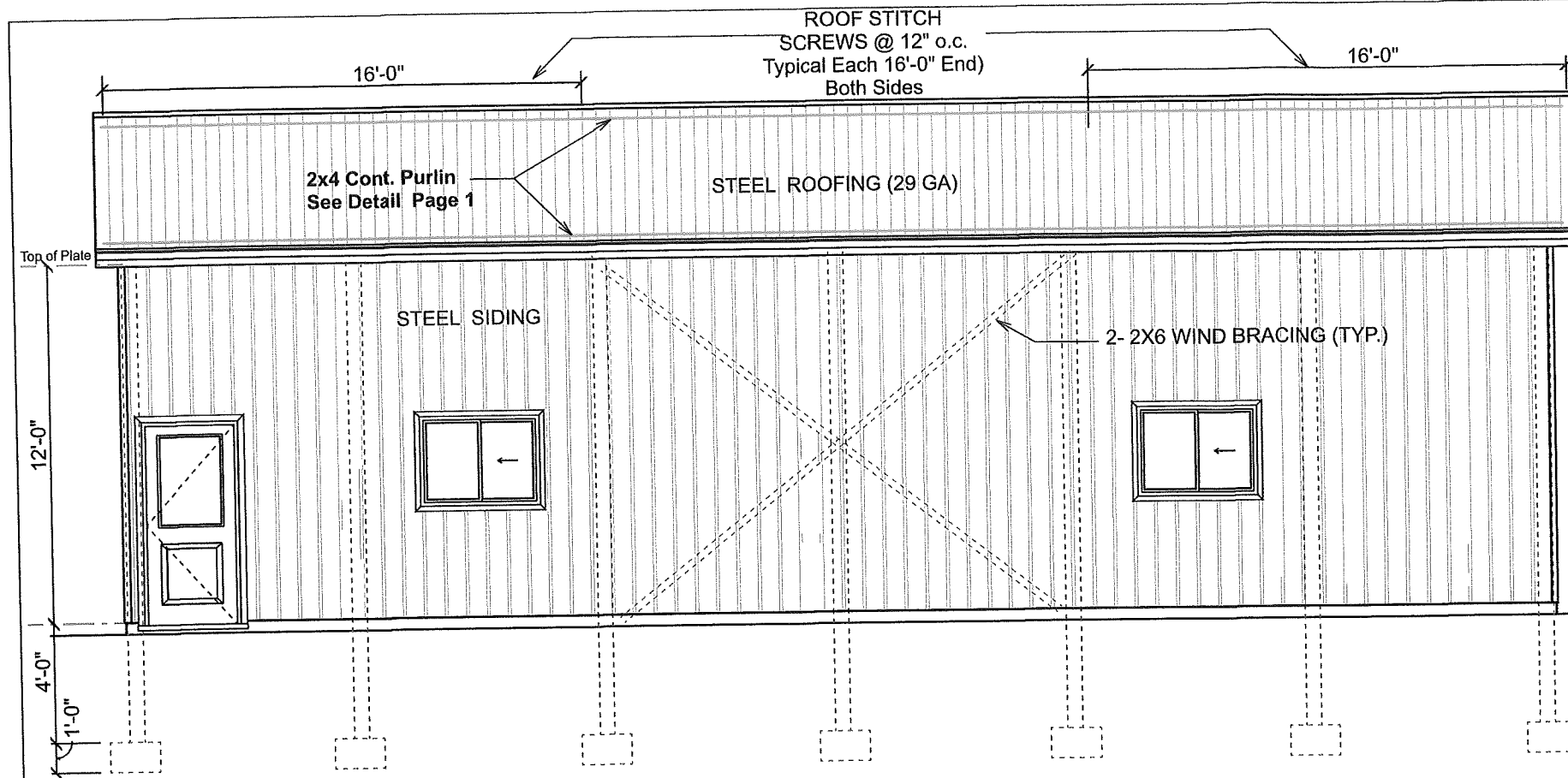
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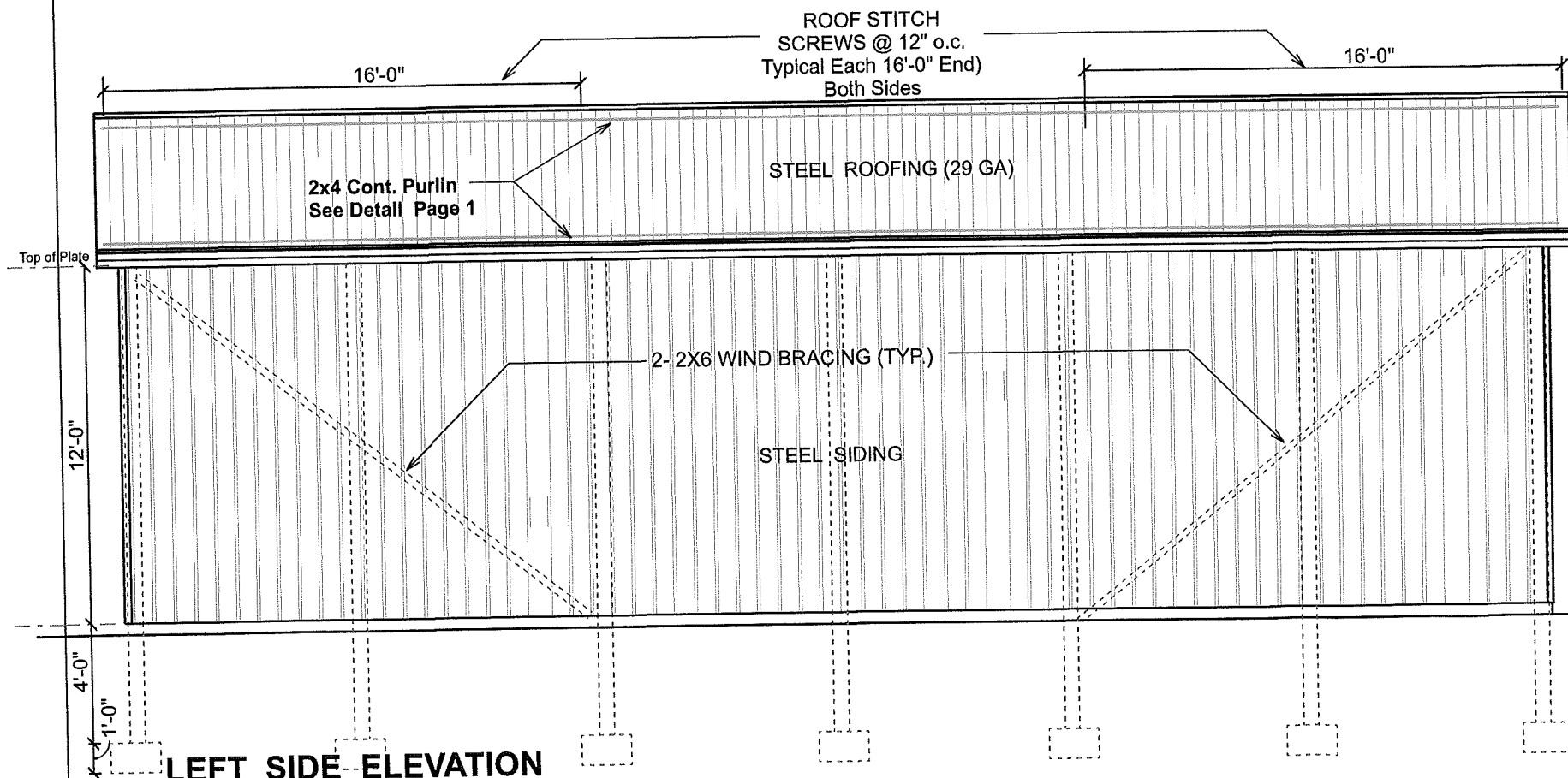
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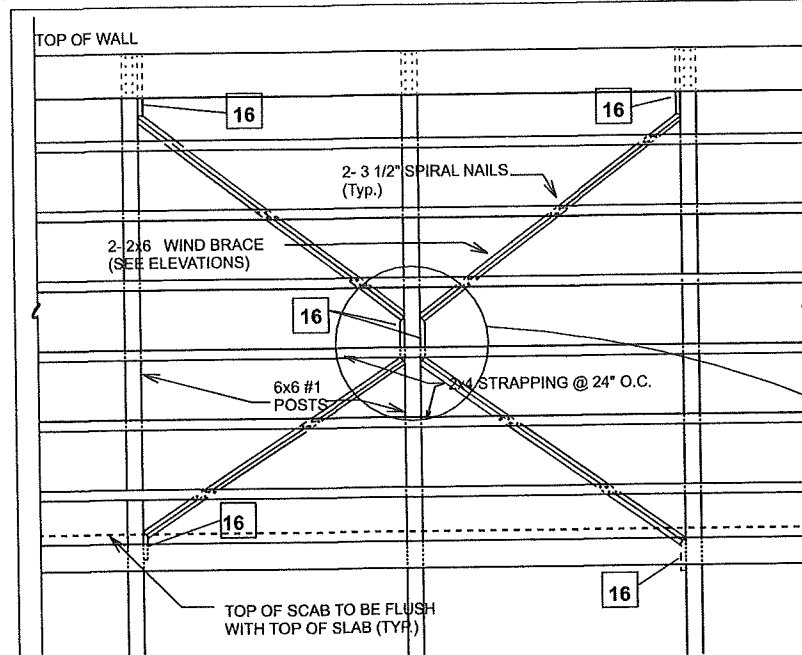
DRAWING TITLE			
PLAN VIEW			
DATE	SCALE	AREA	PROJECT NO.
June 19, 2020	3/16"=1'-0"	1,536 Sq. Ft.	PHR20-733
PROJECT NAME		DRAWING #	
HERB MULLINGS 205 Sunny Ridge Rd. Jerseyville, Ont.		A2	



RIGHT SIDE ELEVATION



LEFT SIDE ELEVATION



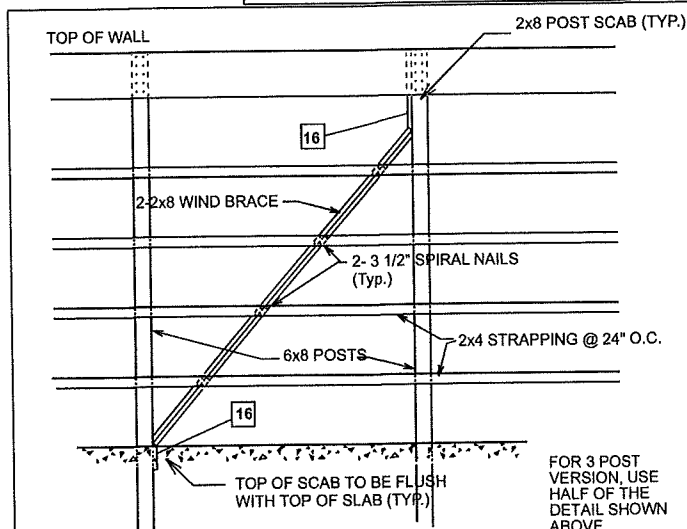
TYPICAL SIDE WALL WIND BRACE DETAIL (3 POST)

BUILDING CLASSIFICATION

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TYPICAL SIDE WALL WIND BRACE DETAIL (2 POST)
(2- 2x8 WIND BRACE)

□ # of 3 1/2" Ardox Nails Each Side of Post

○ # of 5" Ardox Nails Each Side of Post

Typical Nailing Pattern

PHILIP H. RUHLMAN

ARCHITECTURAL DESIGN

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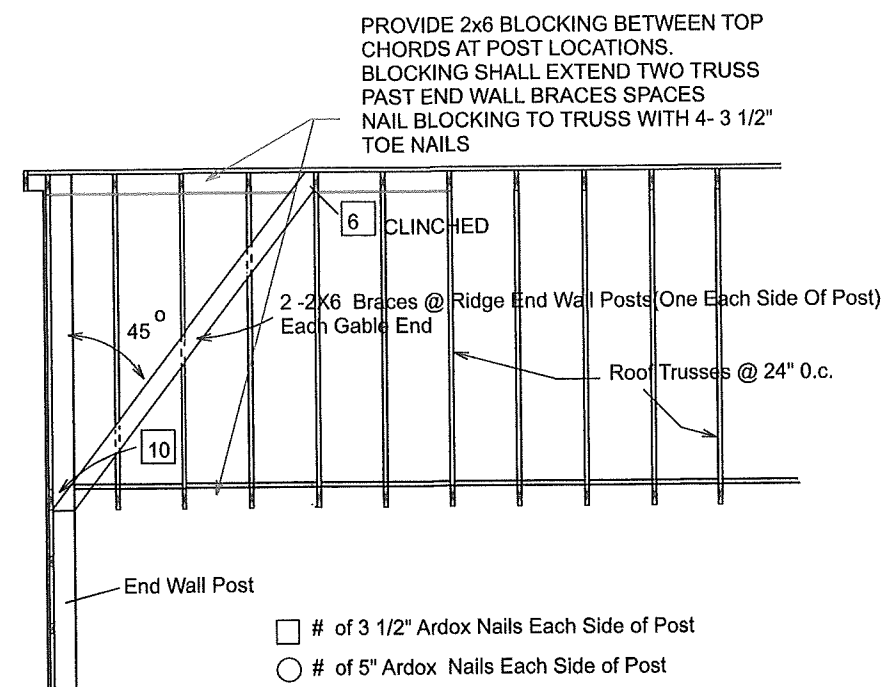
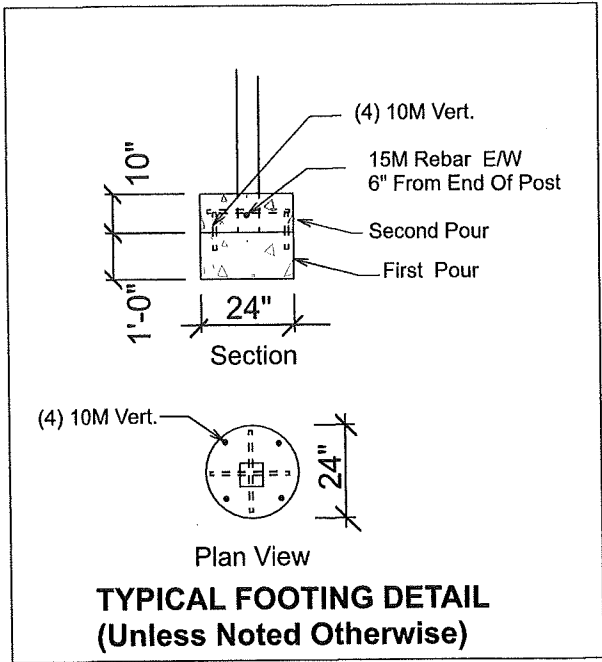
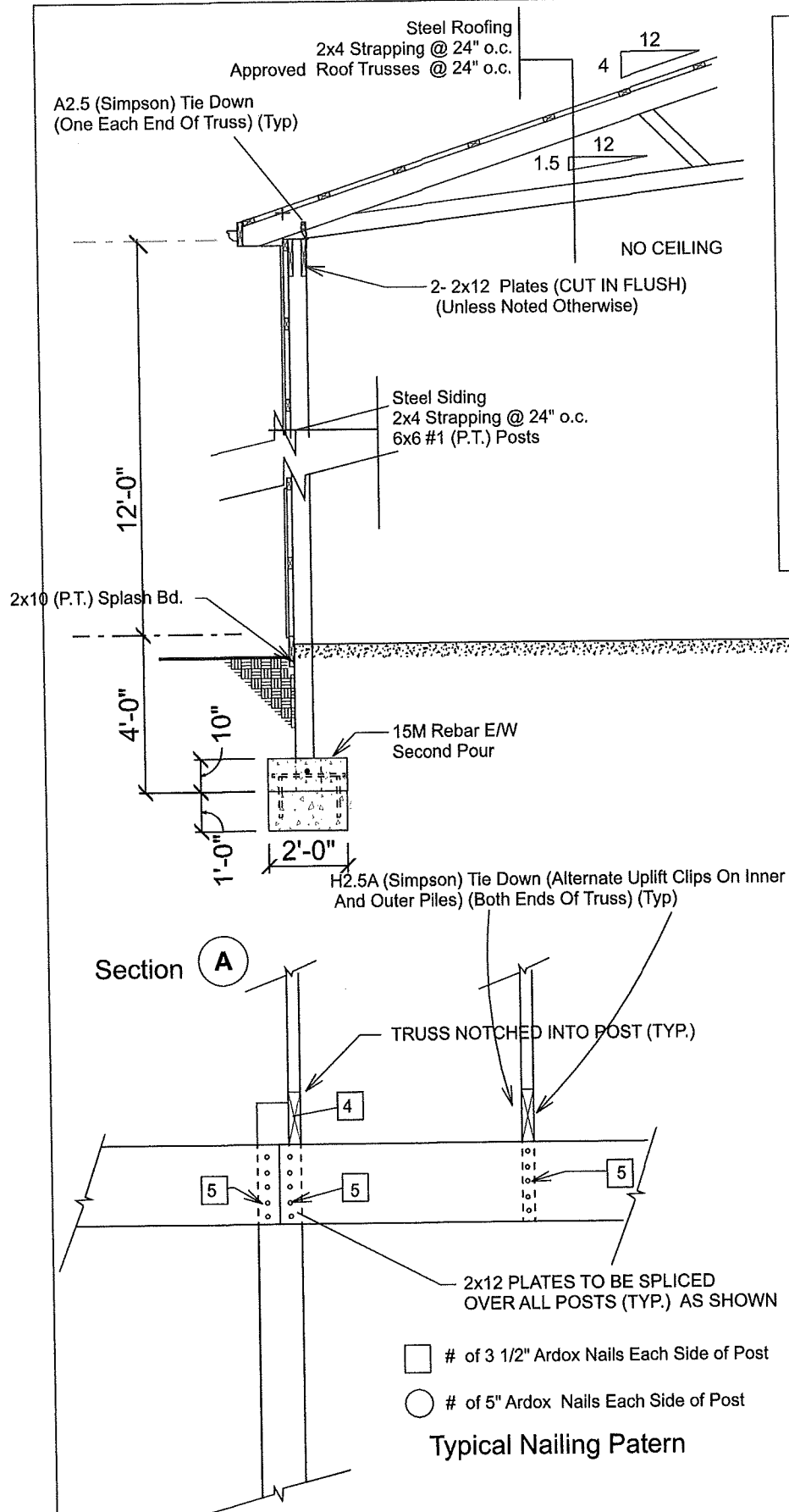
Individual BCIN: 21095 Firm BCIN: 31613

Detailed Buildings

P.O. Box 8

Rockton, Ont. L0R 1X0

ELEVATIONS			
DATE	SCALE	AREA	PROJECT NO.
June 19, 2020	3/16"=1'-0"	1,536 Sq. Ft.	PHR20-733
PROJECT NAME			DRAWING #
HERB MULLINGS 205 Sunny Ridge Rd. Jerseyville, Ont.			A3



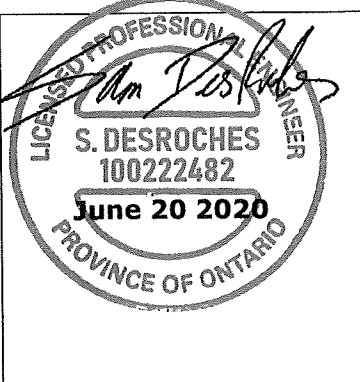
Notes

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Do Not Scale Drawings

BUILDING CLASSIFICATION

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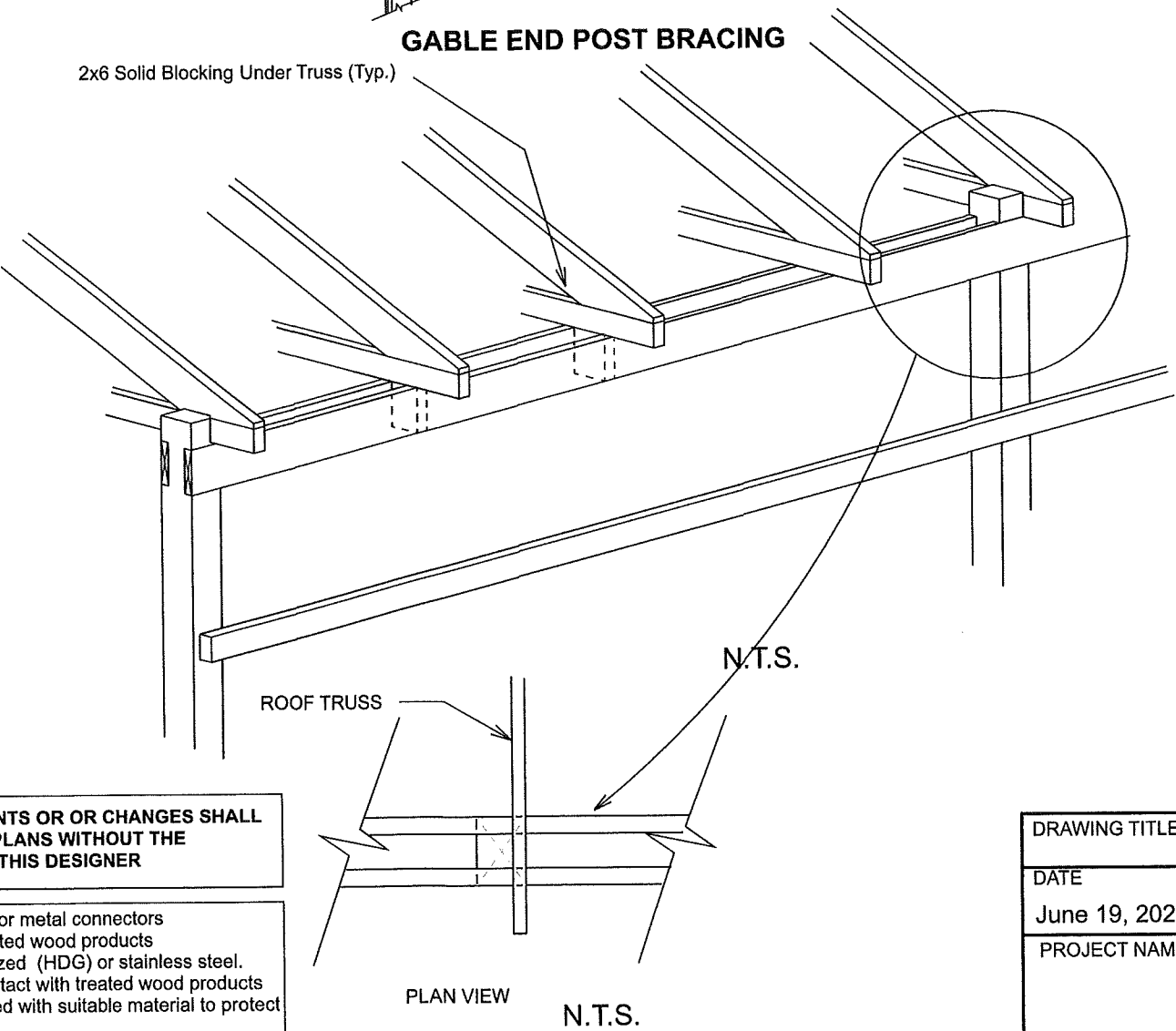
Detailed Buildings
 P.O. Box 8
 Rockton, Ont. L0R 1X0

DRAWING TITLE			
SECTIONS & DETAILS			
DATE	SCALE	AREA	PROJECT NO.
June 19, 2020	1/4"=1'-0"	1,536 Sq. Ft.	PHR20-733
PROJECT NAME	DRAWING #		
HERB MULLINGS 205 Sunny Ridge Rd. Jerseyville, Ont.	A4		

☐ # of 3 1/2" Ardox Nails Each Side of Post
☐ # of 5" Ardox Nails Each Side of Post
Typical Nailing Pattern

Note: NO ADJUSTMENTS OR OR CHANGES SHALL BE MADE TO THESE PLANS WITHOUT THE WRITTEN APPROVAL THIS DESIGNER

Note: Ensure fasteners or metal connectors in contact with treated wood products are hot dip galvanized (HDG) or stainless steel. Steel siding in contact with treated wood products should be separated with suitable material to protect steel from contact.



PRINT 11" x 17" - 1/4" SCALE

GENERAL

1. DESIGN & CONSTRUCTION OF ALL WORK ON THIS PROJECT SHALL CONFORM TO THE LATEST EDITION OF THE FOLLOWING:
- NATIONAL BUILDING CODE
 - ONTARIO BUILDING CODE
 - LOCAL REGULATIONS
 - OHSA REGULATIONS
2. THE STRUCTURAL ENGINEERING REVIEW BY WADDELL ENGINEERING LTD (WEL) IS FOR THE STRUCTURAL ITEMS NOTED ON THE STAMPED DRAWINGS FOR WHICH THERE ARE NO ONTARIO BUILDING CODE (OBC) PART 9 PROVISIONS.
3. THE SEALED DRAWINGS ARE ONLY FOR USE BY THE PARTY WITH WHOM WEL HAS ENTERED INTO A CONTRACT (THE CLIENT), AND ARE NOT TO BE USED BY OTHERS.
4. WEL'S REVIEW IS BASED ON THE INFORMATION PROVIDED BY THE CLIENT AT THE TIME OF OUR REVIEW. WEL IS NOT RESPONSIBLE FOR ANY ERRORS OR OMISSIONS FROM THIS INFORMATION. IT IS THE CLIENT'S RESPONSIBILITY TO INFORM US OF ANY CHANGES, ADDITIONS OR CORRECTIONS REQUIRED ON OUR DRAWINGS.
5. THIS SPECIFICATION SHEET IS TO SUPPLEMENT THE STAMPED DRAWINGS AND OBC PART 9 REQUIREMENTS. PLEASE CONTACT THE LOCAL BUILDING DEPARTMENT OR WEL, IF FURTHER CLARIFICATION IS REQUIRED.
6. WEL ASSUMES THAT ALL REQUIRED INSPECTIONS WILL BE DONE BY THE LOCAL BUILDING DEPARTMENT. IF WEL IS REQUIRED TO PERFORM AN INSPECTION, CALL (519) 267-6789. ALLOW 24 HOURS NOTICE FOR ALL INSPECTIONS.
7. NO CHANGES SHALL BE MADE TO THE STAMPED DRAWINGS WITHOUT NOTIFYING WEL PRIOR TO MAKING THOSE CHANGES.
8. THE CLIENT SHALL CHECK AND VERIFY ALL SITE CONDITIONS AND MEASUREMENTS, AND REPORT ANY DISCREPENCIES TO THE ENGINEER.

WOOD-FRAME CONSTRUCTION

1. ALL WOOD-FRAME CONSTRUCTION SHALL CONFORM TO OBC 9.23 U.N.O. ON THE STAMPED DRAWINGS.
2. ALL STRUCTURAL COMPOSITE LUMBER (SCL) SHALL BE 2.DE WITH Fb=2950 OR BETTER. FASTEN MULTI-PLY SCL BEAMS AS PER MANUFACTURER'S SPECIFICATIONS. PROVIDE 3" MIN. BEARING LENGTH AT ENDS, U.N.O..
3. ALL PRE-ENGINEERED SYSTEMS (I.E. ROOF TRUSSES, FLOOR JOISTS, ETC.) ARE TO BE DESIGNED AND SEALED BY A PROFESSIONAL ENGINEER OF ONTARIO. PROVIDE LAYOUTS AND STAMPED DRAWINGS TO WEL AND THE LOCAL BUILDING DIVISION.
4. ENSURE THE EXTERIOR WALLS ARE BRACED AS PER OBC 9.23.10.2 TO PROVIDE LATERAL SUPPORT FOR THE BUILDING.
5. PROVIDE SUFFICIENT LATERAL SUPPORT FOR THE TOP OF ALL DROPPED BEAMS AND LINTELS TO PREVENT LATERAL TORSIONAL BUCKLING.
- 5.1. AN EXAMPLE OF SUFFICIENT LATERAL SUPPORT IS (2) 3 1/4" NAILS PER JOIST FOR LEDGER STRIP TO WOOD BEAM CONNECTION (AS PER OBC TABLE 9.23.3.4).
6. ALL WOOD COLUMNS SHALL CONFORM TO OBC 9.17, U.N.O. PROVIDE A BUILT-UP WOOD STUD COLUMN EQUAL TO THE WIDTH OF BEAM/GIRDER TRUSS UNDER ALL BEAM/GIRDER TRUSSES MIN. U.N.O. CONTINUE ALL COLUMNS DOWN TO FOUNDATION OR FULL BEARING ON BEAMS, BLOCK SOLID IN JOIST SPACES, TYPICAL (TYP.).
7. ALL LINTELS TO HAVE 1 JACK STUD, 1 KING STUD AT ENDS U.N.O.
8. ALL WOOD SHALL BE NO. 2 SPRUCE OR BETTER.
9. ALL GUARDS SHALL CONFORM TO OBC 9.8.8 AND SUPPLEMENTARY STANDARD SB-7 U.N.O.

ROOF AND CEILING FRAMING

1. ALL ROOF AND CEILING FRAMING SHALL CONFORM TO OBC 9.23.13 U.N.O. ON THE STAMPED DRAWINGS.
2. ALL ROOF RAFTERS/JOISTS AND CEILING JOISTS SHALL CONFORM TO THE SPANS SHOWN IN OBC PART 9 TABLES A-3 TO A-7.
3. WHERE REQUIRED, PROVIDE INTERMEDIATE SUPPORT FOR ROOF RAFTERS/JOISTS AS PER OBC 9.23.13.7.
- 3.1. WEL ASSUMES THAT COLLAR TIES WILL BE USED TO PROVIDE INTERMEDIATE SUPPORT INSTEAD OF STRUTS OR DWARF WALLS U.N.O. (I.E. ALL ROOF RAFTERS/JOISTS BEAR ON EXTERIOR WALLS ONLY AND INTERIOR WALLS SUPPORT CEILING JOISTS ONLY U.N.O.).
4. WHERE THE RIDGE IS UNSUPPORTED, ROOF RAFTERS/JOISTS ARE TO BE TIED TO THE CEILING JOISTS (OR SOLID BLOCKING AT 3'-11" o.c. MAX.) AT THEIR BASE AND NAILED AS PER OBC TABLE 9.23.13.8 TO PREVENT OUTWARD MOVEMENT.
5. OVER-FRAMED AREAS ARE TO BE SUPPORTED ON LOWER ROOF RAFTERS/JOISTS BY 2x4 STRUTS @ 24" EACH WAY MIN., U.N.O..
6. WOOD ROOF TRUSSES SHALL BE DESIGNED IN ACCORDANCE WITH OBC 9.23.13.11, OR PART 4 IF THEIR SPAN EXCEEDS 40'-0" (AS PER OBC 9.23.1.1).
- 6.1. IF THE TRUSSES ARE DESIGNED IN ACCORDANCE WITH OBC PART 4, THE DESIGN OF UPLIFT ANCHORS SHALL BE PROVIDED BY THE TRUSS SUPPLIER ALONG WITH LAYOUTS AND STAMPED DRAWINGS.

MATERIALS

1. MATERIALS SHALL CONFORM TO THE FOLLOWING REQUIREMENTS U.N.O. ON THE STAMPED DRAWINGS:
- | | |
|--|------------------------|
| CONCRETE | - OBC 9.3.1 |
| REINFORCING STEEL | - CSA G30 |
| LUMBER & WOOD PRODUCTS | - OBC 9.23 |
| STEEL BEAMS | - OBC 9.23.4.3 |
| STEEL COLUMNS | - OBC 9.17 |
| ANCHOR BOLTS, STEEL PLATES & ROLLED SECTIONS | - CAN/CSA-G40.21 |
| STEEL HSS & W-BEAMS | - CAN/CSA-G40.21M-350W |
| ALL OTHER STEEL | - CAN/CSA-G40.21M-300W |
| STRUCTURAL BOLTS | - ASTM A325 |

ALL BRACING NAILS TO HAVE MINIMUM 2.5" SPACING PARALLEL TO GRAIN AND 1.25" PERPENDICULAR TO GRAIN

FOOTINGS AND FOUNDATIONS

1. ALL FOOTINGS AND FOUNDATIONS SHALL CONFORM TO OBC 9.15 UNLESS NOTED OTHERWISE (U.N.O.) ON THE STAMPED DRAWINGS.
2. FOOTINGS TO BEAR ON SOUND SUB-GRADE SUITABLE FOR 75 kPa (1500 psf) ALLOWABLE SOIL BEARING CAPACITY. THE CLIENT IS TO INFORM WEL IF THE REQUIRED BEARING CAPACITY CANNOT BE ACHIEVED.
3. FOUNDATION WALLS SUPPORTING DRAINED EARTH HAVE BEEN DESIGNED FOR THE LOADS PROVIDED IN 9.4.4.6.(1)(a). ENSURE PROVISIONS ARE MADE FOR APPROPRIATE DRAINAGE OF GROUNDWATER.
4. ENSURE ALL FOUNDATION WALLS ARE Laterally supported prior to backfilling.
5. ALL REINFORCING STEEL SHALL CONFORM TO THE REQUIREMENTS OF CAN/CSA-G30. REINFORCING BARS SHALL BE DEFORMED HI-BOND HARD GRADE WITH MINIMUM YIELD STRENGTH OF Fy = 400MPa.

STRUCTURAL STEEL

1. ALL WELDING SHALL BE PERFORMED BY A CANADIAN WELDING BUREAU CERTIFIED WELDER AND CONFORM TO CSA STANDARD W59.
2. PROVIDE SUFFICIENT LATERAL SUPPORT FOR STEEL BEAMS TO PREVENT LATERAL TORSIONAL BUCKLING. SUFFICIENT LATERAL SUPPORT EXAMPLES:
- 2.1. DROPPED STEEL BEAM - AS PROVIDED IN OBC 9.23.4.3.(3). OR A 2x6 TOP PLATE w/ 3/8" THRU BOLTS c/w NUTS & WASHERS OR HILTI X-U FASTENERS @ 24" o.c., STAGGERED INTO THE TOP FLANGE & (2) 3 1/4" NAILS FROM EACH JOIST INTO THE TOP PLATE.
- 2.2. FLUSH STEEL BEAM - SOLID BLOCKING (2x LUMBER AND PLYWOOD) BOLTED TO THE BEAM WEB WITH 1/2" DIA. THRU BOLTS AT 16" o.c., STAGGERED TOP AND BOTTOM AND APPROVED FACE MOUNT HANGERS FOR THE JOIST TO BLOCKING CONNECTION.
3. WHERE A STEEL PLATE SUPPORTING MASONRY VENEER IS SPECIFIED, WELD TO THE TOP OR BOTTOM FLANGE OF THE BEAM WITH (2) ROWS OF 2" LONG FILLET WELDS @ 12" o.c. MIN., STAGGERED.
4. ALL STEEL COLUMNS ARE TO BE Laterally supported TOP & BOTTOM (I.E. BY CONCRETE SLAB ON GRADE, (2) 3/8"Ø BOLTS OR 2" OF 1/4" FILLET WELD MIN.). CONTINUE ALL COLUMNS DOWN TO FOUNDATION OR FULL BEARING ON BEAMS, BLOCK SOLID IN JOIST SPACES, TYPICAL (TYP.).
5. ALL STRUCTURAL STEEL TO BE FINISHED AS APPROVED BY GENERAL CONTRACTOR.

LOADING

1. ROOF LOADING:
- 1.1. SNOW LOAD = Cb x Ss + 0.4 kPa; NOT LESS THAN 1 kPa (20.9 psf), AS PER OBC 9.4.2.2
- Cb = 0.55 kPa FOR ROOF WIDTH > 4.3m
- Cb = 0.45 kPa FOR ROOF WIDTH <= 4.3m
- Ss = 1-IN-50 GROUND SNOW LOAD In kPa
- 1.2. DEAD LOAD = 0.29 kPa (6 psf) (ROOF RAFTERS/ JOISTS OR TRUSS TOP CHORDS)
2. CEILING LOADING:
- 2.1. ATTIC OR ROOF SPACE WITH LIMITED ACCESSIBILITY (CEILING JOISTS/TRUSS BOTTOM CHORDS), AS PER OBC 9.4.2.4.(1)
- TOTAL SPECIFIED LOAD = 0.35 kPa (7.3 psf)
- 2.2. ACCESSIBLE ATTIC = SEE FLOOR LOADING
3. FLOOR LOADING:
- 3.1. LIVE LOAD = 1.92 kPa (40 psf), BEDROOMS = 1.44 kPa (30 psf)
- 3.2. DEAD LOAD = 0.57 kPa (12 psf)
4. ACCESSIBLE EXTERIOR PLATFORMS, AS PER OBC 9.4.2.3:
- 4.1. LIVE LOAD = GREATER OF 1.92 kPa (40 psf) OR SNOW LOAD
5. GUARD LOADS: AS PER OBC 2012 4.1.5.14 (1)

Project Engineer

PROJECT # 20-06-036

WADDELL
ENGINEERING LTD.
119 PINEBUSH RD. CAMBRIDGE ON
PH. 519-267-6789
FAX. 1-866-388-9659
INFO@WADDELLENG.COM

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Do Not Scale Drawings

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DRAWING TITLE

STRUCTURAL NOTES

DATE

June 19, 2020

SCALE

3/16"=1'-0"

AREA

1,536 Sq. Ft.

PROJECT NO.

PHR20-733

PROJECT NAME

HERB MULLINGS
205 Sunny Ridge Rd.
Jerseyville, Ont.

DRAWING #

S1

Note:
All LVL to be "West Fraser" LVL (2.0E)
All Steel to be Grade 350W

DETAILED

Farm Buildings Ltd.

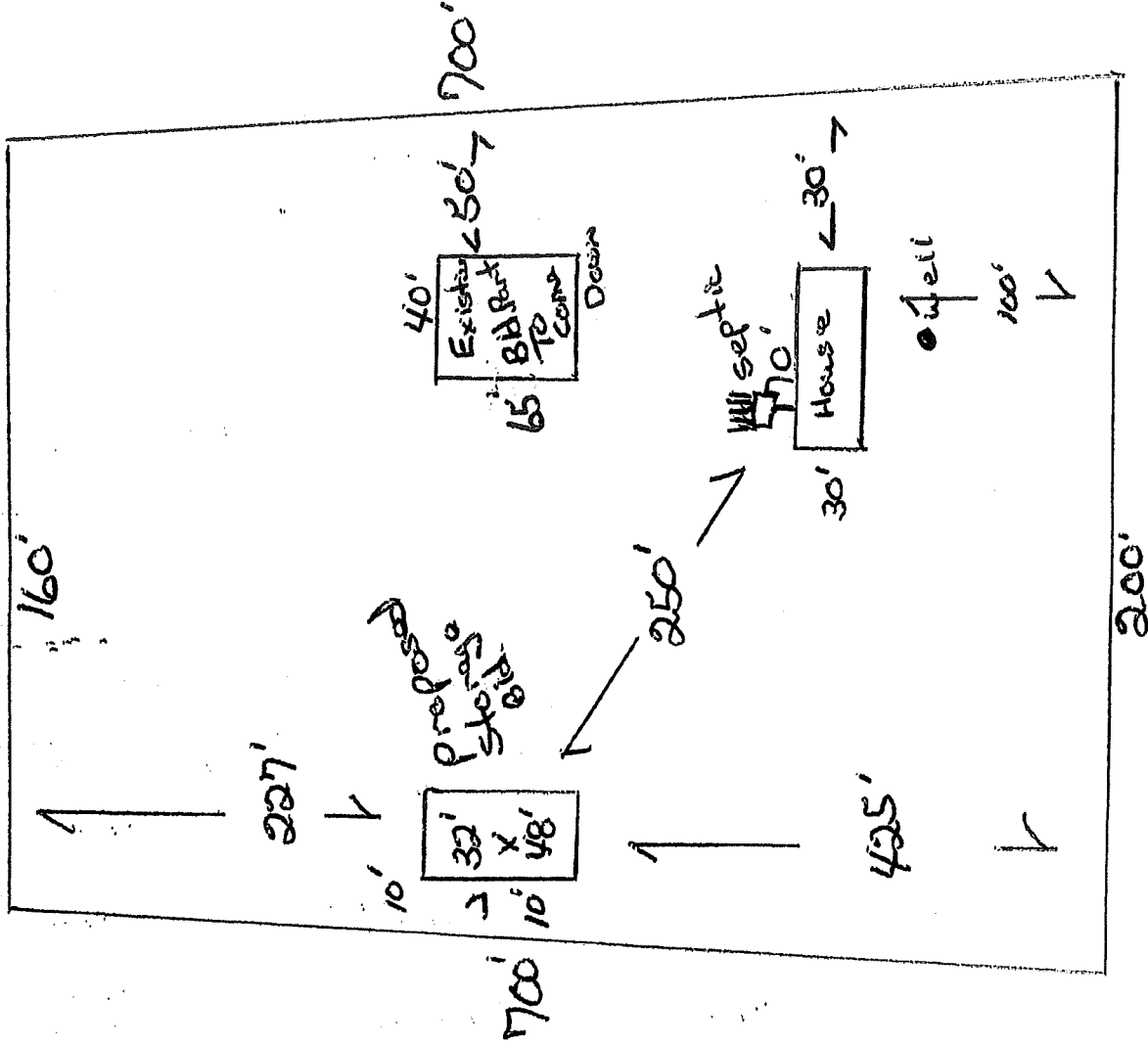


Site Plan
Aerbumlings

Tom Coverdale
President

tom@detailledbuildings.com
PO Box 8, Rockton Ontario L0R 1X0

(905) 628-8551
(905) 628-4220
(905) 961-5575



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Jerseyville