

Hamilton

## COMMITTEE OF ADJUSTMENT

City Hall, 5<sup>th</sup> floor, 71 Main Street West, Hamilton, ON L8P 4Y5  
Telephone (905) 546-2424, ext. 4221, 3935 Fax (905) 546-4202  
E-mail: [cofa@hamilton.ca](mailto:cofa@hamilton.ca)

# **NOTICE OF PUBLIC HEARING** **Minor Variance**

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**You are receiving this notice because you are either:**

- Assessed owner of a property located within 60 metres of the subject property
  - Applicant/agent on file, or
  - Person likely to be interested in this application
- 

**APPLICATION NO.:** SC/A-20:183

**APPLICANTS:** Alexander Aquin on behalf of the owners P. & L. Aquin

**SUBJECT PROPERTY:** Municipal address **601 Green Mountain Rd. E., (Stoney Creek)**

**ZONING BY-LAW:** Zoning By-law 05-200, as Amended by By-law 15-173

**ZONING:** "A1" (Agriculture) district

**PROPOSAL:** To permit the construction of an accessory building with a gross floor area of 406 m<sup>2</sup>, located on a residential parcel of land, notwithstanding that;

1. A maximum gross floor area of 406m<sup>2</sup> shall be permitted for all buildings accessory to the single detached dwelling instead of the requirement that all buildings accessory to a Single Detached Dwelling shall not exceed a maximum gross floor area of 200m<sup>2</sup>

**NOTE:**

1. A detailed site plan or updated elevation drawings reflecting the current proposal as described in an email dated September 14th, 2020, provided by the applicant, were not included as part of this application. Further variances may be required if compliance with Hamilton Zoning By-law 05-200 is not possible.
2. Construction of the proposed accessory building is subject to the issuance of a building permit in the normal manner. Be advised that Ontario Building Code regulations may require specific setbacks and construction types.

This application will be heard by the Committee as shown below:

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**DATE:** Thursday, October 22nd, 2020

**TIME:** 1:40 p.m.

**PLACE:** Via video link or call in (see attached sheet for details)

**To be streamed at [www.hamilton.ca/committeeofadjustment](http://www.hamilton.ca/committeeofadjustment)  
for viewing purposes only**

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## **PUBLIC INPUT**

**Written:** If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

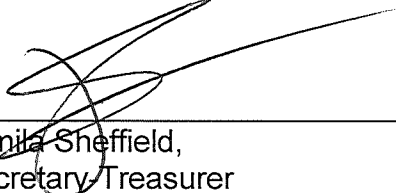
**Orally:** If you would like to speak to this item at the hearing you may do so via video link or by calling in. Please see attached page for complete instructions, including deadlines for registering to participate.

## MORE INFORMATION

For more information on this matter, including access to drawings illustrating this request:

- Visit [www.hamilton.ca/committeeofadjustment](http://www.hamilton.ca/committeeofadjustment)
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935
- Email Committee of Adjustment staff at [cofa@hamilton.ca](mailto:cofa@hamilton.ca)

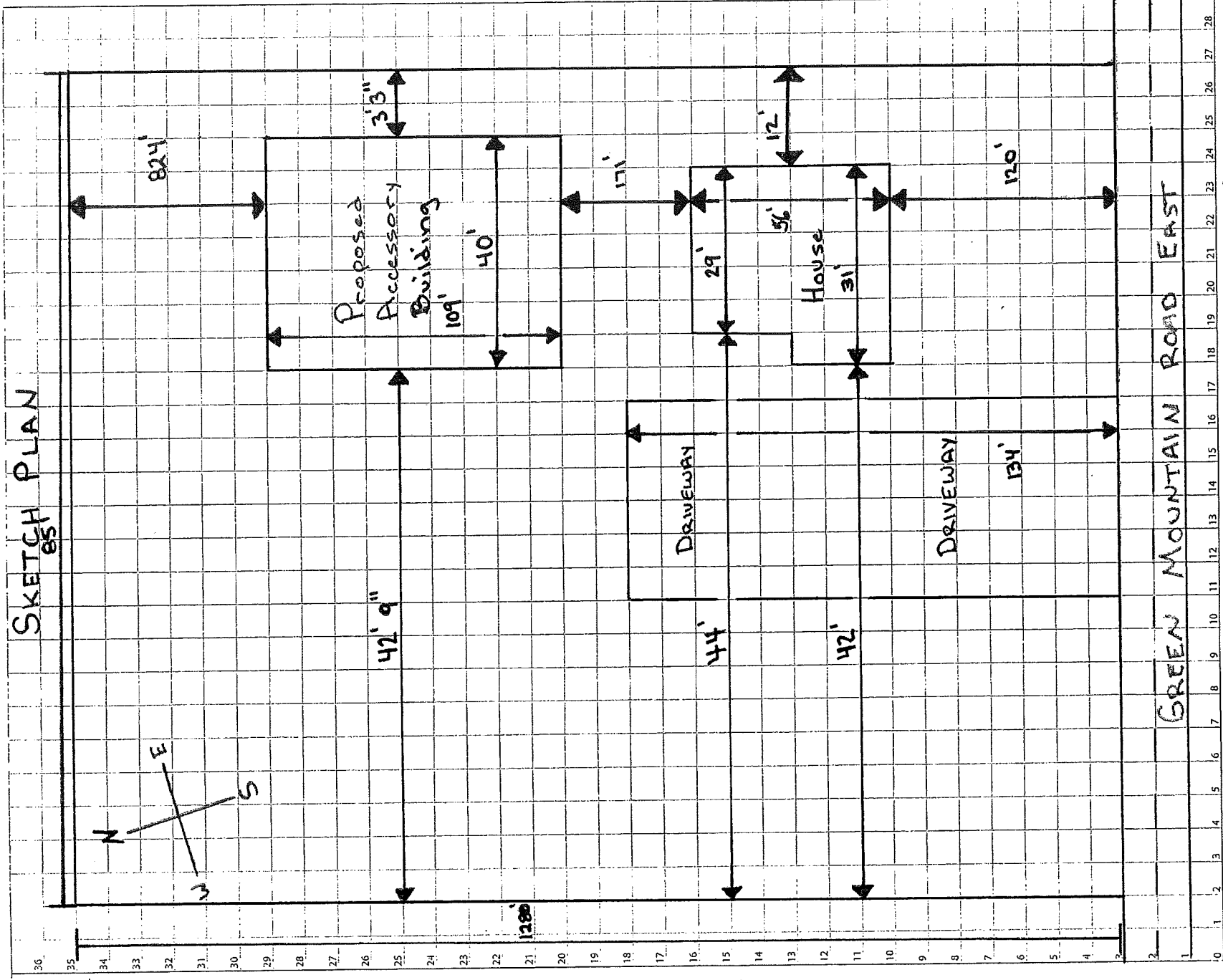
DATED: October 6th, 2020.



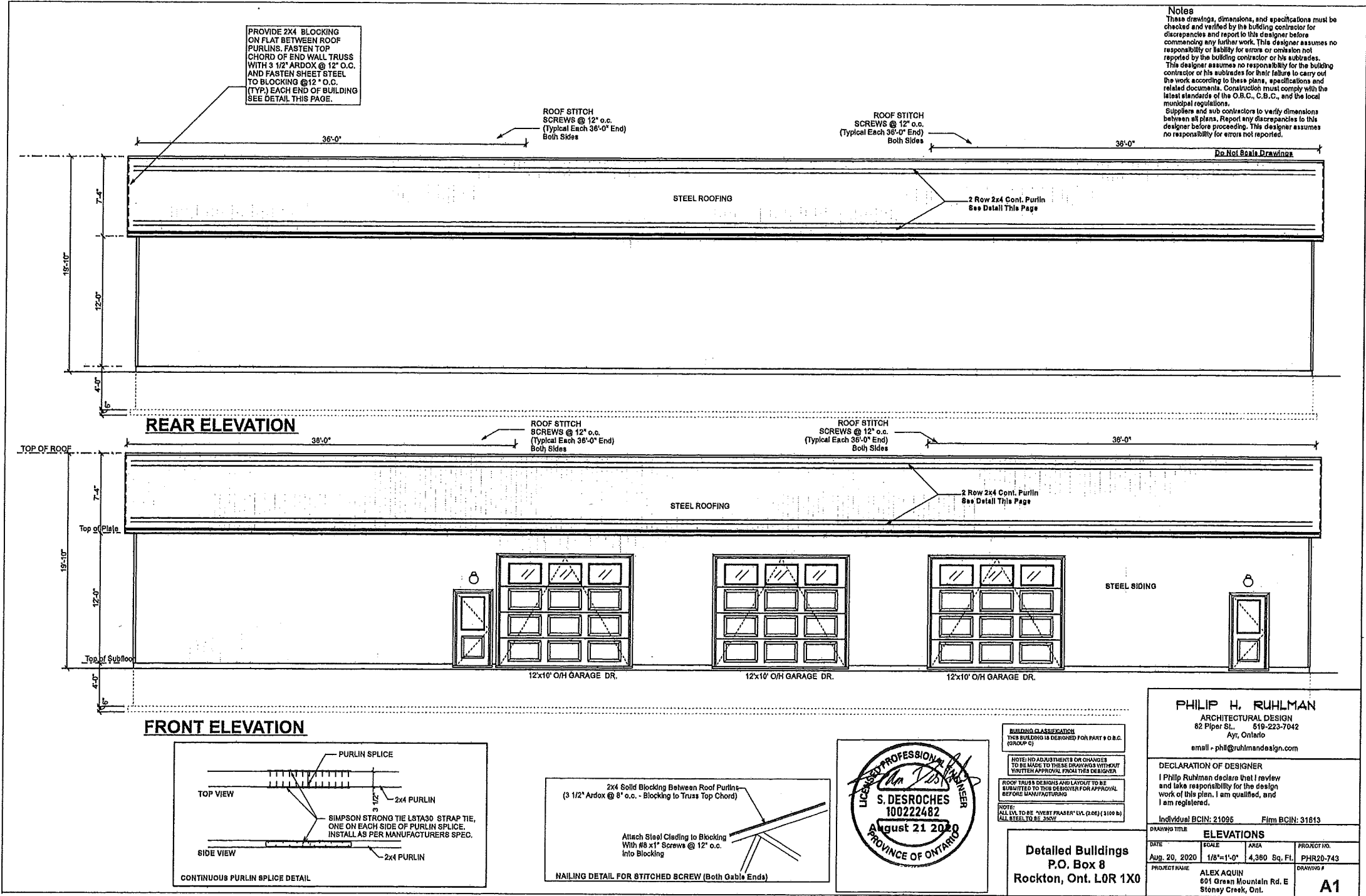
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Jamila Sheffield,  
Secretary/Treasurer  
Committee of Adjustment

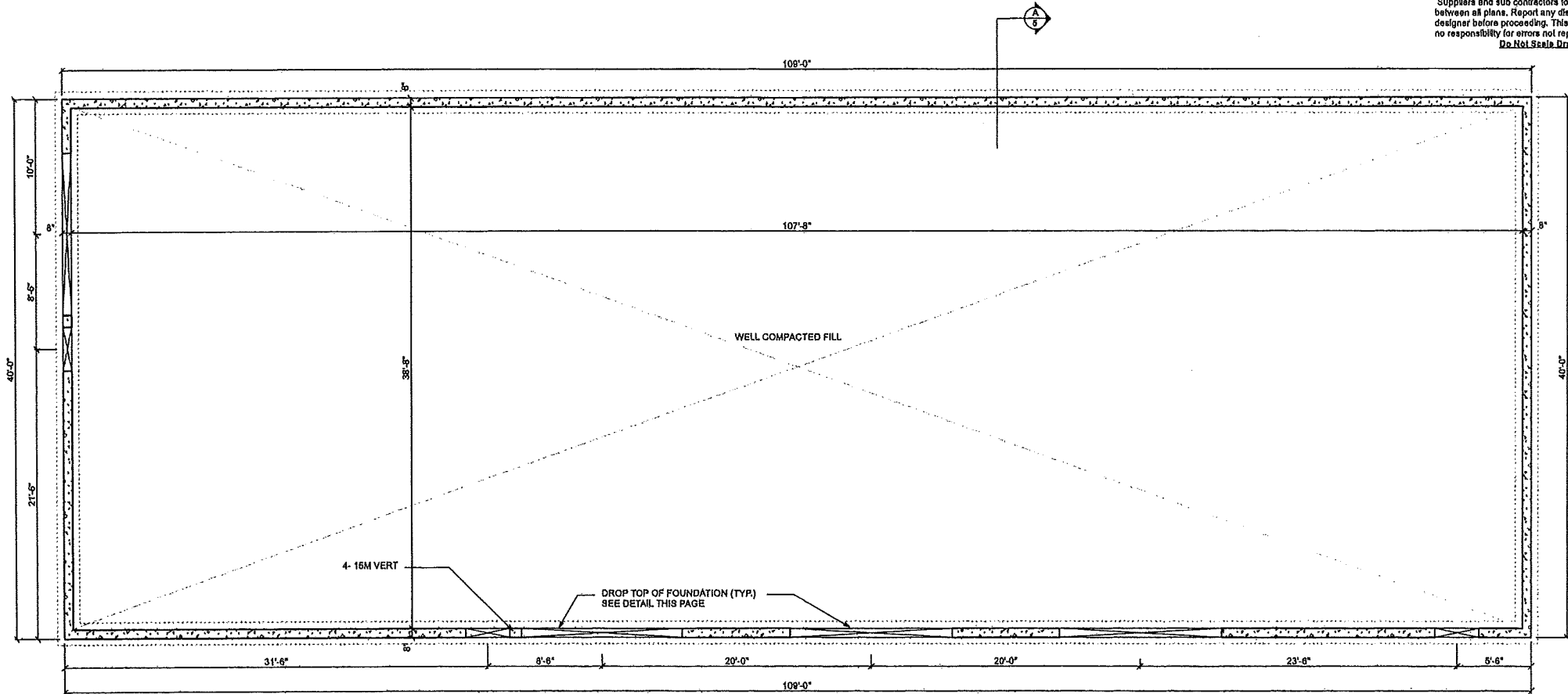
***Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public.***



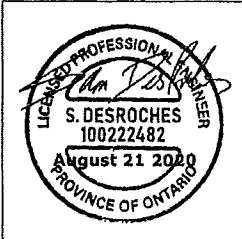
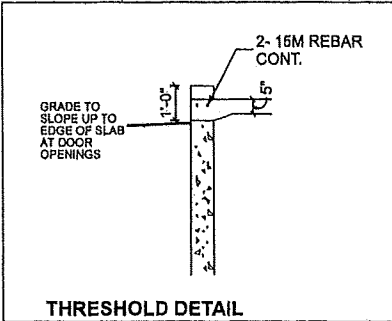
Aug 29, 2020



**Notes**  
These drawings, dimensions, and specifications must be checked and verified by the building contractor for discrepancies and report to this designer before commencing any further work. This designer assumes no responsibility or liability for errors or omission not reported by the building contractor or his subtrades. This designer assumes no responsibility for the building contractor or his subtrades for their failure to carry out the work according to these plans, specifications and related documents. Construction must comply with the latest standards of the O.B.C., C.B.C., and the local municipal regulations.  
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**Do Not Scale Drawings**



**FOUNDATION PLAN**



**BUILDING CLASSIFICATION**  
THIS BUILDING IS DESIGNED FOR PART 9 O.B.C. (GROUP 2)  
**NOTE:** NO ADJUSTMENTS OR CHANGES TO BE MADE TO THESE DRAWINGS WITHOUT WRITTEN APPROVAL FROM THIS DESIGNER  
**ROOF TRUSS DESIGNS AND LAYOUT TO BE SUBMITTED TO THIS DESIGNER FOR APPROVAL BEFORE MANUFACTURING**  
**NOTE:** ALL LVL TO BE "WEST FRASER" LVL (2.0E) (3100 K)  
ALL STEEL TO BE 360W

**Detailed Buildings**  
P.O. Box 8  
Rockton, Ont. L0R 1X0

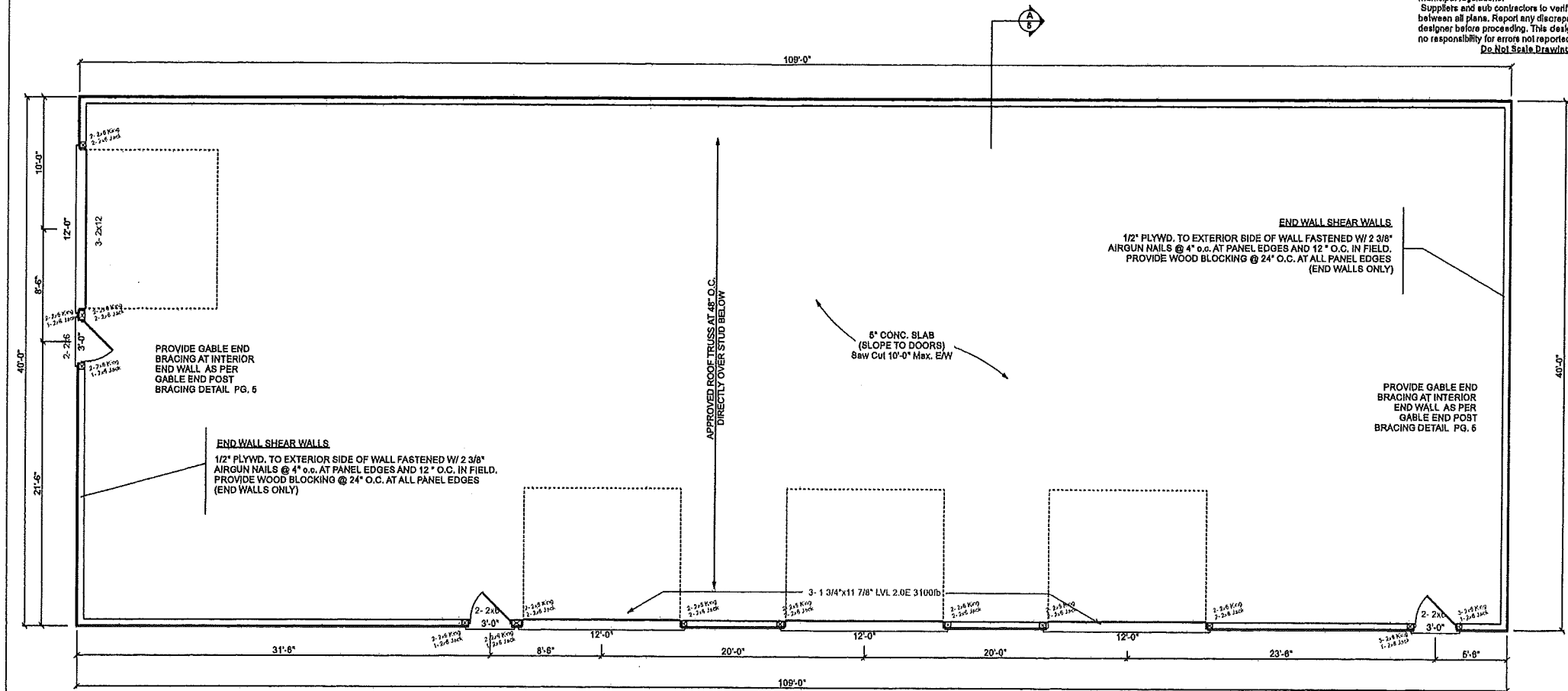
**PHILIP H. RUHLMAN**  
ARCHITECTURAL DESIGN  
82 Piper St. 619-223-7042  
Ayr, Ontario  
email - phil@ruhlmandesign.com

**DECLARATION OF DESIGNER**  
I Philip Ruhlman declare that I review and take responsibility for the design work of this plan, I am qualified, and I am registered.

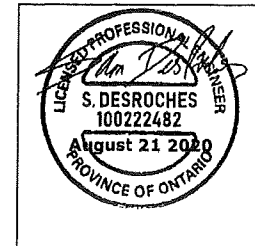
Individual BCIN: 21095      Firm BCIN: 31813

DRAWING TITLE			
FOUNDATION PLAN			
DATE	SCALE	AREA	PROJECT NO.
Aug. 20, 2020	1/8"=1'-0"	4,360 Sq. Ft.	PHR20-743
PROJECT NAME	ALEX AQUIN 601 Green Mountain Rd. E Stoney Creek, Ont.		DRAWING #
			<b>A2</b>

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PLAN VIEW

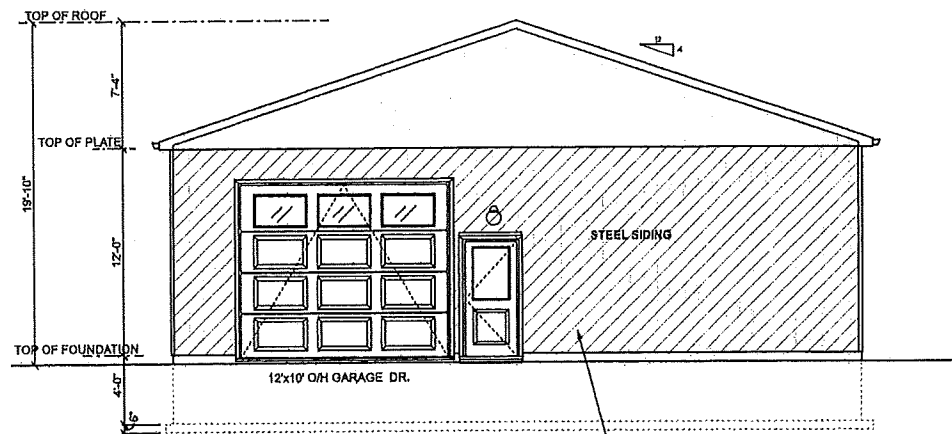


BUILDING CLASSIFICATION  
THIS BUILDING IS DESIGNED FOR PART 9 O.B.C. (GROUP C)  
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ROOF TRUSS DESIGNER AND LAYOUT TO BE SUBMITTED TO THE DESIGNER FOR APPROVAL BEFORE MANUFACTURING  
NOTE:  
ALL LVL TO BE "WEST FRASER" LVL (L208) (3100 lb)  
ALL STEEL TO BE 305V

Detailed Buildings  
P.O. Box 8  
Rockton, Ont. L0R 1X0

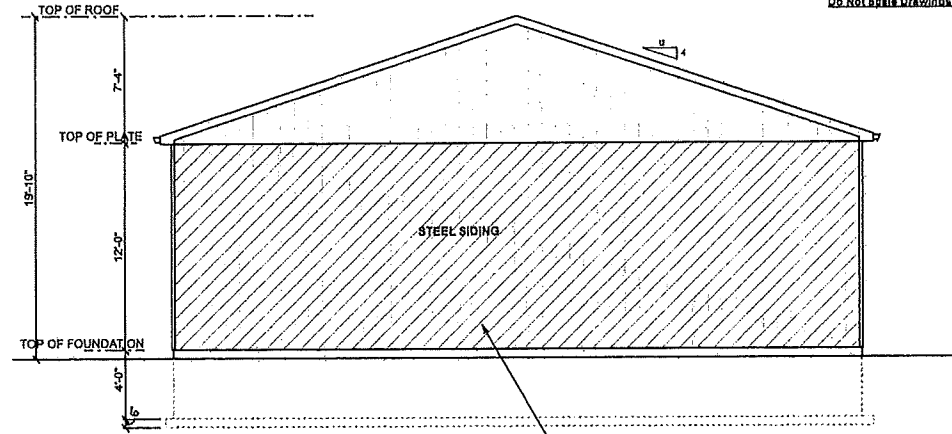
<b>PHILIP H. RUHLMAN</b> ARCHITECTURAL DESIGN 82 Piper St. 519-223-7042 Ayr, Ontario email - phil@ruihmandesign.com			
DECLARATION OF DESIGNER I Philip Ruhlman declare that I review and take responsibility for the design work of this plan. I am qualified, and I am registered.			
Individual BCIN: 21095		Firm BCIN: 31613	
DRAWING TITLE <b>MAIN FLOOR PLAN</b>			
DATE Aug. 20, 2020	SCALE 1/8"=1'-0"	AREA 4,360 Sq. Ft.	PROJECT NO. PHR20-743
PROJECT NAME ALEX AQUIN 801 Green Mountain Rd. E Stoney Creek, Ont.		DRAWING # <b>A3</b>	

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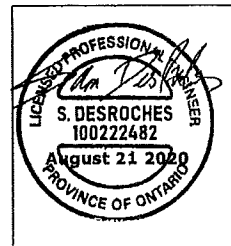
**LEFT SIDE ELEVATION**

**END WALL SHEAR WALLS**  
1/2" PLYWD. TO EXTERIOR SIDE OF WALL FASTENED W/ 2 3/8" AIRGUN NAILS @ 4" o.c. AT PANEL EDGES AND 12" o.c. IN FIELD. PROVIDE WOOD BLOCKING @ 24" o.c. AT ALL PANEL EDGES (END WALLS ONLY)



**RIGHT SIDE ELEVATION**

**END WALL SHEAR WALLS**  
1/2" PLYWD. TO EXTERIOR SIDE OF WALL FASTENED W/ 2 3/8" AIRGUN NAILS @ 4" o.c. AT PANEL EDGES AND 12" o.c. IN FIELD. PROVIDE WOOD BLOCKING @ 24" o.c. AT ALL PANEL EDGES (END WALLS ONLY)



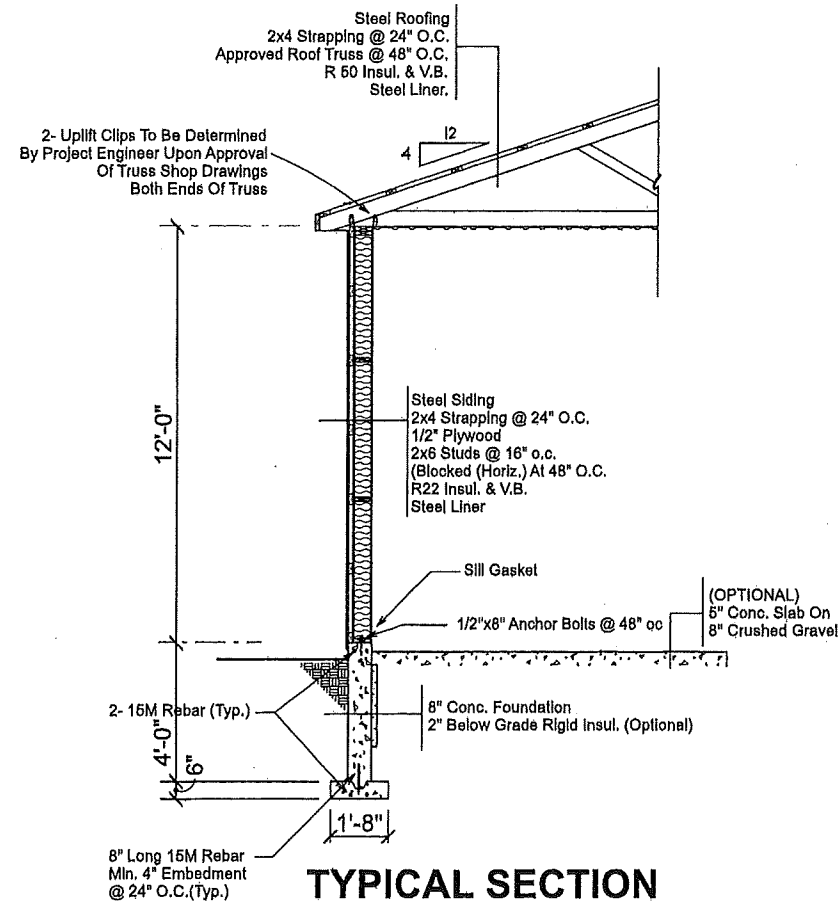
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**NOTE:** ALL LVL TO BE "WEST FRAMER" LVL (2.0E) (1100 N) ALL STEEL TO BE 350W

**PHILIP H. RUHLMAN**  
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Ayr, Ontario  
email - phil@ruhlmandesign.com

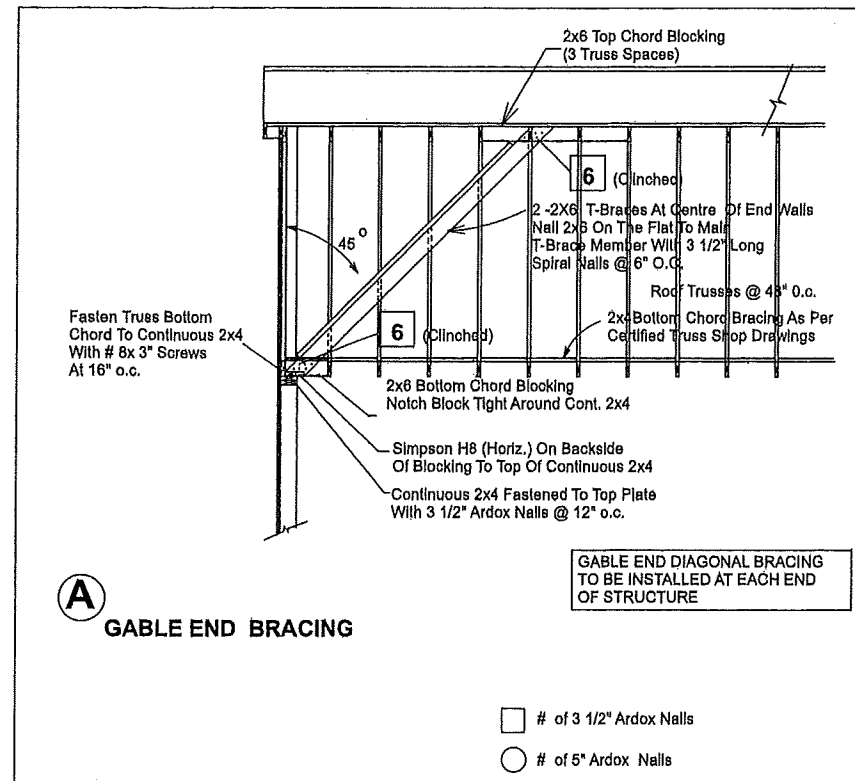
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Individual BCIN: 21095 Firm BCIN: 31613

DRAWING TITLE				ELEVATIONS		PROJECT NO.
DATE	SCALE	AREA				
Aug. 20, 2020	1/8"=1'-0"	4,360 Sq. Ft.				PHR20-743
PROJECT NAME		DRAWING #				
ALEX AQUIN 601 Green Mountain Rd. E Stoney Creek, Ont.				<b>A4</b>		

**Detailed Buildings**  
**P.O. Box 8**  
**Rockton, Ont. L0R 1X0**



**TYPICAL SECTION**



**GABLE END BRACING**

**BUILDING CLASSIFICATION**  
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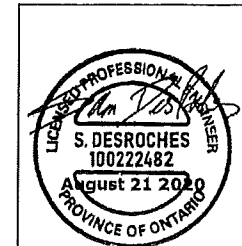
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**NOTE:**  
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ALL STEEL TO BE 350W

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**Do Not Scale Drawings**



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Firm BCIN: 31613

**Detailed Buildings**  
**P.O. Box 8**  
**Rockton, Ont. L0R 1X0**

DRAWING TITLE			
<b>SECTION</b>			
DATE	SCALE	AREA	PROJECT NO.
Aug. 20, 2020	1/4"=1'-0"	4,360 Sq. Ft.	PHR20-743
PROJECT NAME			DRAWING #
ALEX AQUIN 601 Green Mountain Rd. E Stoney Creek, Ont.			<b>A5</b>



GENERAL

1. DESIGN & CONSTRUCTION OF ALL WORK ON THIS PROJECT SHALL CONFORM TO THE LATEST EDITION OF THE FOLLOWING:
- NATIONAL BUILDING CODE
  - ONTARIO BUILDING CODE
  - LOCAL REGULATIONS
  - OHSA REGULATIONS
2. THE STRUCTURAL ENGINEERING REVIEW BY WADDELL ENGINEERING LTD (WEL) IS FOR THE STRUCTURAL ITEMS NOTED ON THE STAMPED DRAWINGS FOR WHICH THERE ARE NO ONTARIO BUILDING CODE (OBC) PART 9 PROVISIONS.
3. THE SEALED DRAWINGS ARE ONLY FOR USE BY THE PARTY WITH WHOM WEL HAS ENTERED INTO A CONTRACT (THE CLIENT), AND ARE NOT TO BE USED BY OTHERS.
4. WEL'S REVIEW IS BASED ON THE INFORMATION PROVIDED BY THE CLIENT AT THE TIME OF OUR REVIEW. WEL IS NOT RESPONSIBLE FOR ANY ERRORS OR OMISSIONS FROM THIS INFORMATION. IT IS THE CLIENT'S RESPONSIBILITY TO INFORM US OF ANY CHANGES, ADDITIONS OR CORRECTIONS REQUIRED ON OUR DRAWINGS.
5. THIS SPECIFICATION SHEET IS TO SUPPLEMENT THE STAMPED DRAWINGS AND OBC PART 9 REQUIREMENTS. PLEASE CONTACT THE LOCAL BUILDING DEPARTMENT OR WEL, IF FURTHER CLARIFICATION IS REQUIRED.
6. WEL ASSUMES THAT ALL REQUIRED INSPECTIONS WILL BE DONE BY THE LOCAL BUILDING DEPARTMENT. IF WEL IS REQUIRED TO PERFORM AN INSPECTION, CALL (519) 267-6789. ALLOW 24 HOURS NOTICE FOR ALL INSPECTIONS.
7. NO CHANGES SHALL BE MADE TO THE STAMPED DRAWINGS WITHOUT NOTIFYING WEL PRIOR TO MAKING THOSE CHANGES.
8. THE CLIENT SHALL CHECK AND VERIFY ALL SITE CONDITIONS AND MEASUREMENTS, AND REPORT ANY DISCREPANCIES TO THE ENGINEER.

WOOD-FRAME CONSTRUCTION

1. ALL WOOD-FRAME CONSTRUCTION SHALL CONFORM TO OBC 9.23 U.N.O. ON THE STAMPED DRAWINGS.
2. ALL STRUCTURAL COMPOSITE LUMBER (SCL) SHALL BE 2DE WITH Fb=2950 OR BETTER, FASTEN MULTI-PLY SCL BEAMS AS PER MANUFACTURER'S SPECIFICATIONS, PROVIDE 3" MIN. BEARING LENGTH AT ENDS, U.N.O..
3. ALL PRE-ENGINEERED SYSTEMS (I.E. ROOF TRUSSES, FLOOR JOISTS, ETC.) ARE TO BE DESIGNED AND SEALED BY A PROFESSIONAL ENGINEER OF ONTARIO, PROVIDE LAYOUTS AND STAMPED DRAWINGS TO WEL AND THE LOCAL BUILDING DIVISION.
4. ENSURE THE EXTERIOR WALLS ARE BRACED AS PER OBC 9.23.10.2 TO PROVIDE LATERAL SUPPORT FOR THE BUILDING.
5. PROVIDE SUFFICIENT LATERAL SUPPORT FOR THE TOP OF ALL DROPPED BEAMS AND LINTELS TO PREVENT LATERAL TORSIONAL BUCKLING.
- 6.1. AN EXAMPLE OF SUFFICIENT LATERAL SUPPORT IS (2) 3 1/4" NAILS PER JOIST FOR LEDGER STRIP TO WOOD BEAM CONNECTION (AS PER OBC TABLE 9.23.3.4).
6. ALL WOOD COLUMNS SHALL CONFORM TO OBC 9.17. U.N.O. PROVIDE A BUILT-UP WOOD STUD COLUMN EQUAL TO THE WIDTH OF BEAM/ORDER TRUSS UNDER ALL BEAM/GIRDER TRUSSES MIN. U.N.O. CONTINUE ALL COLUMNS DOWN TO FOUNDATION OR FULL BEARING ON BEAMS, BLOCK SOLID IN JOIST SPACES, TYPICAL (TYP.).
7. ALL LINTELS TO HAVE 1 JACK STUD, 1 KING STUD AT ENDS U.N.O.
8. ALL WOOD SHALL BE NO. 2 SPRUCE OR BETTER.
9. ALL GUARDS SHALL CONFORM TO OBC 9.8.8 AND SUPPLEMENTARY STANDARD SB-7 U.N.O.

ROOF AND CEILING FRAMING

1. ALL ROOF AND CEILING FRAMING SHALL CONFORM TO OBC 9.23.13 U.N.O. ON THE STAMPED DRAWINGS.
2. ALL ROOF RAFTERS/JOISTS AND CEILING JOISTS SHALL CONFORM TO THE SPANS SHOWN IN OBC PART 9 TABLE A-3 TO A-7.
3. WHERE REQUIRED, PROVIDE INTERMEDIATE SUPPORT FOR ROOF RAFTERS/JOISTS AS PER OBC 9.23.13.7.
- 3.1. WEL ASSUMES THAT COLLAR TIES WILL BE USED TO PROVIDE INTERMEDIATE SUPPORT INSTEAD OF STRUTS OR DWARF WALLS U.N.O. (I.E. ALL ROOF RAFTERS/JOISTS BEAR ON EXTERIOR WALLS ONLY AND INTERIOR WALLS SUPPORT CEILING JOISTS ONLY U.N.O.).
4. WHERE THE RIDGE IS UNSUPPORTED, ROOF RAFTERS/JOISTS ARE TO BE TIED TO THE CEILING JOISTS (OR SOLID BLOCKING AT 3'-11" o.c. MAX.) AT THEIR BASE AND NAILED AS PER OBC TABLE 9.23.13.8 TO PREVENT OUTWARD MOVEMENT.
5. OVER-FRAMED AREAS ARE TO BE SUPPORTED ON LOWER ROOF RAFTERS/JOISTS BY 2x4 STRUTS @ 24" EACH WAY MIN. U.N.O..
6. WOOD ROOF TRUSSES SHALL BE DESIGNED IN ACCORDANCE WITH OBC 9.23.13.11, OR PART 4 IF THEIR SPAN EXCEEDS 40'-0" (AS PER OBC 9.23.1.1).
- 6.1. IF THE TRUSSES ARE DESIGNED IN ACCORDANCE WITH OBC PART 4, THE DESIGN OF UPLIFT ANCHORS SHALL BE PROVIDED BY THE TRUSS SUPPLIER ALONG WITH LAYOUTS AND STAMPED DRAWINGS.

MATERIALS

1. MATERIALS SHALL CONFORM TO THE FOLLOWING REQUIREMENTS U.N.O. ON THE STAMPED DRAWINGS:
- |  |                        |
|--|------------------------|
| CONCRETE                                     | - OBC 9.3.1            |
| REINFORCING STEEL                            | - CSA G30              |
| LUMBER & WOOD PRODUCTS                       | - OBC 9.23             |
| STEEL BEAMS                                  | - OBC 9.23.4.3         |
| STEEL COLUMNS                                | - OBC 9.17             |
| ANCHOR BOLTS, STEEL PLATES & ROLLED SECTIONS | - CAN/CSA-G40.21       |
| STEEL HSS & W-BEAMS                          | - CAN/CSA-G40.21M-350W |
| ALL OTHER STEEL                              | - CAN/CSA-G40.21M-300W |
| STRUCTURAL BOLTS                             | - ASTM A325            |

FOOTINGS AND FOUNDATIONS

1. ALL FOOTINGS AND FOUNDATIONS SHALL CONFORM TO OBC 9.16 UNLESS NOTED OTHERWISE (U.N.O.) ON THE STAMPED DRAWINGS.
2. FOOTINGS TO BEAR ON SOUND SUB-GRADE SUITABLE FOR 76 kPa (1500 psf) ALLOWABLE SOIL BEARING CAPACITY. THE CLIENT IS TO INFORM WEL IF THE REQUIRED BEARING CAPACITY CANNOT BE ACHIEVED.
3. FOUNDATION WALLS SUPPORTING DRAINED EARTH HAVE BEEN DESIGNED FOR THE LOADS PROVIDED IN 9.4.4.8.(1)(a). ENSURE PROVISIONS ARE MADE FOR APPROPRIATE DRAINAGE OF GROUNDWATER.
4. ENSURE ALL FOUNDATION WALLS ARE Laterally SUPPORTED PRIOR TO BACKFILLING.
5. ALL REINFORCING STEEL SHALL CONFORM TO THE REQUIREMENTS OF CAN/CSA-G30. REINFORCING BARS SHALL BE DEFORMED H-BOND HARD GRADE WITH MINIMUM YIELD STRENGTH OF  $F_y = 400MPa$ .

STRUCTURAL STEEL

1. ALL WELDING SHALL BE PERFORMED BY A CANADIAN WELDING BUREAU CERTIFIED WELDER AND CONFORM TO CSA STANDARD W69.
2. PROVIDE SUFFICIENT LATERAL SUPPORT FOR STEEL BEAMS TO PREVENT LATERAL TORSIONAL BUCKLING. SUFFICIENT LATERAL SUPPORT EXAMPLES:
- 2.1. DROPPED STEEL BEAM - AS PROVIDED IN OBC 9.23.4.3.(3). OR A 2x8 TOP PLATE w/ 3/8" THRU BOLTS *clw* NUTS & WASHERS OR MILTI X-U FASTENERS @ 24" o.c., STAGGERED INTO THE TOP FLANGE & (2) 3 1/4" NAILS FROM EACH JOIST INTO THE TOP PLATE.
- 2.2. FLUSH STEEL BEAM - SOLID BLOCKING (2x LUMBER AND PLYWOOD) BOLTED TO THE BEAM WEB WITH 1/2" DIA. THRU BOLTS AT 16" o.c., STAGGERED TOP AND BOTTOM AND APPROVED FACE MOUNT HANGERS FOR THE JOIST TO BLOCKING CONNECTION.
3. WHERE A STEEL PLATE SUPPORTING MASONRY VENEER IS SPECIFIED, WELD TO THE TOP OR BOTTOM FLANGE OF THE BEAM WITH (2) ROWS OF 2" LONG FILLET WELDS @ 12" o.c. MIN., STAGGERED.
4. ALL STEEL COLUMNS ARE TO BE Laterally SUPPORTED TOP & BOTTOM (I.E. BY CONCRETE SLAB ON GRADE, (2) 3/8" Ø BOLTS OR 2" OF 1/4" FILLET WELD MIN.), CONTINUE ALL COLUMNS DOWN TO FOUNDATION OR FULL BEARING ON BEAMS, BLOCK SOLID IN JOIST SPACES, TYPICAL (TYP.).
6. ALL STRUCTURAL STEEL TO BE FINISHED AS APPROVED BY GENERAL CONTRACTOR.

LOADING

1. ROOF LOADING:
- 1.1. SNOW LOAD =  $C_b \times S_s + 0.4 kPa$ ; NOT LESS THAN 1 kPa (20.9 psf), AS PER OBC 9.4.2.2
- $C_b = 0.65 kPa$  FOR ROOF WIDTH > 4.3m
- $C_b = 0.45 kPa$  FOR ROOF WIDTH <= 4.3m
- $S_s = 1-IN-50$  GROUND SNOW LOAD in kPa
- 1.2. DEAD LOAD = 0.29 kPa (6 psf) (ROOF RAFTERS/JOISTS OR TRUSS TOP CHORDS)
2. CEILING LOADING:
- 2.1. ATTIC OR ROOF SPACE WITH LIMITED ACCESSIBILITY (CEILING JOISTS/TRUSS BOTTOM CHORDS), AS PER OBC 9.4.2.4.(1)
- TOTAL SPECIFIED LOAD = 0.35 kPa (7.3 psf)
- 2.2. ACCESSIBLE ATTIC = SEE FLOOR LOADING
3. FLOOR LOADING:
- 3.1. LIVE LOAD = 1.92 kPa (40 psf), BEDROOMS = 1.44 kPa (30 psf)
- 3.2. DEAD LOAD = 0.67 kPa (12 psf)
4. ACCESSIBLE EXTERIOR PLATFORMS, AS PER OBC 9.4.2.3:
- 4.1. LIVE LOAD = GREATER OF 1.92 kPa (40 psf) OR SNOW LOAD
5. GUARD LOADS: AS PER OBC 2012 4.1.5.14 (1)

Project Engineer

PROJECT # 20-08-085

**WADDELL**  
**ENGINEERING LTD.**  
119 PINEBUSH RD., CAMBRIDGE ON  
PH. 519-267-6789  
FAX. 1-866-388-9659  
INFO@WADDELLENG.COM

Notes

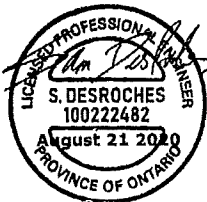
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**DESIGN CLASSIFICATION**  
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**NOTE: NO ADJUSTMENTS OR CHANGES TO BE MADE TO THESE DRAWINGS WITHOUT WRITTEN APPROVAL FROM THE DESIGNER**

**ROOF TRUSS DESIGN AND LAYOUT TO BE SUBMITTED TO THE DESIGNER FOR APPROVAL BEFORE MANUFACTURING**

**NOTE:**  
ALL LVL TO BE "WEST FRASER" LVL (240) (3100 N) ALL STEEL TO BE "A572"



PHILIP H. RUHLMAN

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email - phil@rhlmandesign.com

DECLARATION OF DESIGNER

I Philip Ruhlman declare that I review and take responsibility for the design work of this plan. I am qualified, and I am registered.

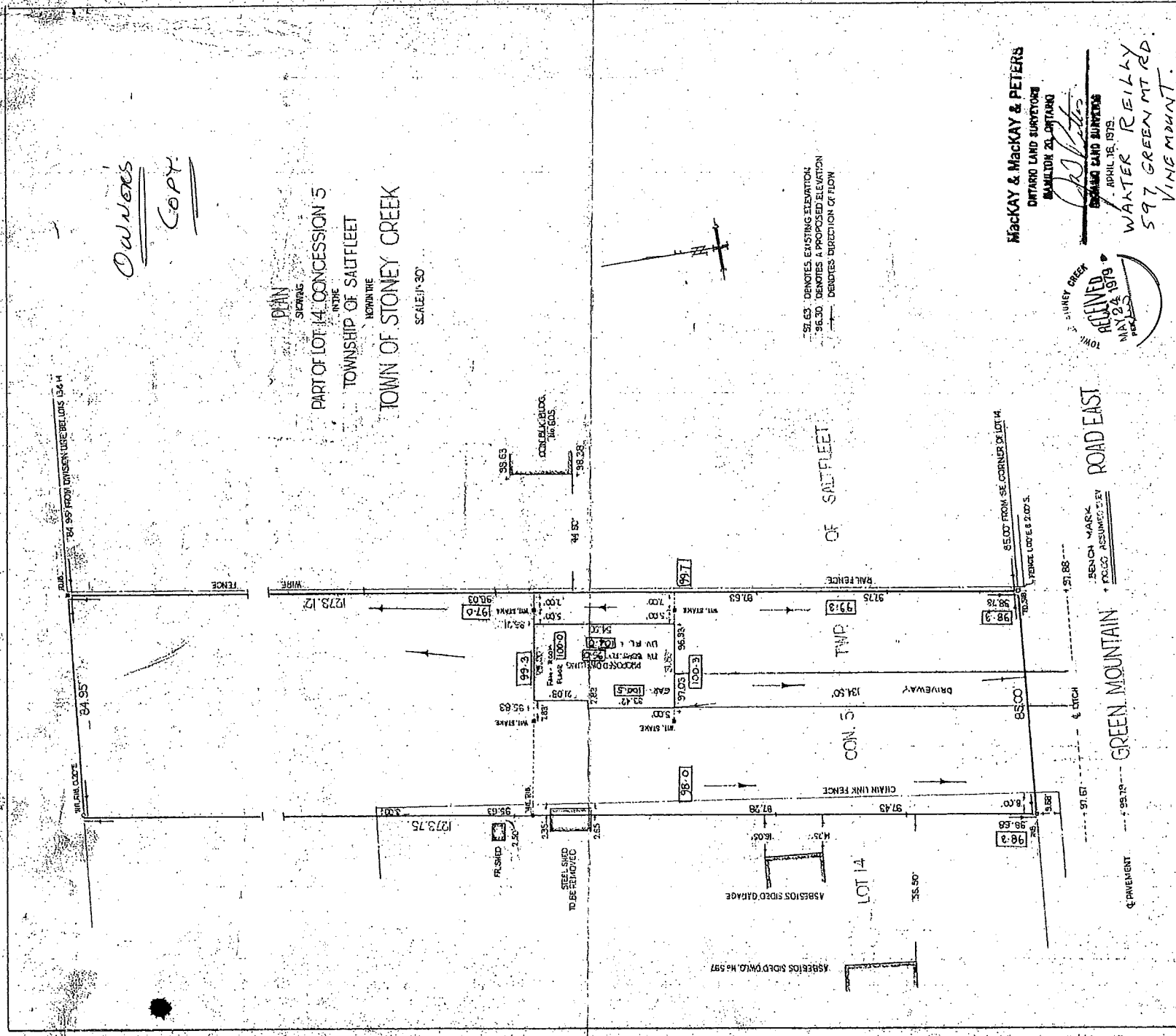
Individual BCIN: 21095 Firm BCIN: 31813

DRAWING TITLE			
STRUCTURAL			
DATE	SCALE	AREA	PROJECT NO.
Aug. 11, 2020	1/8"=1'-0"	4,360 Sq. Ft.	PHR20-743
PROJECT NAME	DRAWING #		
ALEX AQUIN 601 Green Mountain Rd. E Stoney Creek, Ont.	S1		

Detailed Buildings  
P.O. Box 8  
Rockton, Ont. L0R 1X0

Owners  
Copy

PLAN  
SHOWING  
PART OF LOT 14 CONCESSION 5  
TOWNSHIP OF SAULTFLEET  
TOWN OF STONEY CREEK  
SCALE 1" = 30'

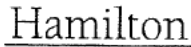


91.63 DENOTES EXISTING ELEVATION  
96.30 DENOTES A PROPOSED ELEVATION  
--- DENOTES DIRECTION OF FLOW

Mackay & Mackay & Peters  
ONTARIO LAND SURVEYORS  
HAMILTON 21, ONTARIO

RECEIVED  
MAY 24 1979  
TOWN OF STONEY CREEK

WATTER REILLY  
597 GREEN MT RD.  
VINE MOUNT.  
Y-17724



Phone (905) 546-2424 ext.4221  
Fax (905) 546-4202

6. Nature and extent of relief applied for:

I will be meeting the 5% Lot Coverage  
by-law, but by-law is only allowing  
200 Sq M.

7. Why it is not possible to comply with the provisions of the By-law?

Due to my car collection, number of  
boats, Seadoo, ATR's, and Tractors I am  
not able to comply with the 200 Sq m by-law  
but I will be meeting the 5% Lot Coverage  
by-law.

8. Legal description of subject lands (registered plan number and lot number or other legal description and where applicable, street and street number):

Part of lot 14 Concession 5 in the township  
of Saltfleet now in the town of Stoney Creek.  
601 Green Mountain Road East L8T 2Z7

9. PREVIOUS USE OF PROPERTY

Residential ☒ Industrial ☐ Commercial ☐

Agricultural ☐ Vacant ☐

Other

- 9.1 If Industrial or Commercial, specify use

- 9.2 Has the grading of the subject land been changed by adding earth or other material, i.e. has filling occurred?

Yes ☐ No ☒ Unknown ☐

- 9.3 Has a gas station been located on the subject land or adjacent lands at any time?

Yes ☐ No ☒ Unknown ☐

- 9.4 Has there been petroleum or other fuel stored on the subject land or adjacent lands?

Yes ☐ No ☒ Unknown ☐

- 9.5 Are there or have there ever been underground storage tanks or buried waste on the subject land or adjacent lands?

Yes ☐ No ☒ Unknown ☐

- 9.6 Have the lands or adjacent lands ever been used as an agricultural operation where cyanide products may have been used as pesticides and/or sewage sludge was applied to the lands?

Yes ☐ No ☒ Unknown ☐

- 9.7 Have the lands or adjacent lands ever been used as a weapon firing range?

Yes ☐ No ☒ Unknown ☐

- 9.8 Is the nearest boundary line of the application within 500 metres (1,640 feet) of the fill area of an operational/non-operational landfill or dump?

Yes ☐ No ☒ Unknown ☐

9.9 If there are existing or previously existing buildings, are there any building materials remaining on site which are potentially hazardous to public health (eg. asbestos, PCB's)?

Yes \_\_\_\_\_ No ☒ Unknown \_\_\_\_\_

9.10 Is there any reason to believe the subject land may have been contaminated by former uses on the site or adjacent sites?

Yes \_\_\_\_\_ No ☒ Unknown \_\_\_\_\_

9.11 What information did you use to determine the answers to 9.1 to 9.10 above?

Lived in area for 40 years.

9.12 If previous use of property is industrial or commercial or if YES to any of 9.2 to 9.10, a previous use inventory showing all former uses of the subject land, or if appropriate, the land adjacent to the subject land, is needed.

Is the previous use inventory attached? Yes \_\_\_\_\_ No \_\_\_\_\_

#### ACKNOWLEDGEMENT CLAUSE

I acknowledge that the City of Hamilton is not responsible for the identification and remediation of contamination on the property which is the subject of this Application – by

Frontage 85  
Depth 1280'  
Area \_\_\_\_\_  
Width of street \_\_\_\_\_

11. Particulars of all buildings and structures on or proposed for the subject lands: (Specify ground floor area, gross floor area, number of stories, width, length, height, etc.)

Existing: Please See Site Plan/Sketch Plan

Proposed: Please See Site/Sketch Plan.

12. Location of all buildings and structures on or proposed for the subject lands; (Specify distance from side, rear and front lot lines)

Existing: Please See Site/Sketch Plan.

Proposed: Please See Site/Sketch Plan

13. Date of acquisition of subject lands:  
2020

14. Date of construction of all buildings and structures on subject lands:  
1979 - 41 Years.

15. Existing uses of the subject property: Residential

16. Existing uses of abutting properties: Residential.

17. Length of time the existing uses of the subject property have continued:  
1979 - 41 Years.

18. Municipal services available: (check the appropriate space or spaces)  
Water \_\_\_\_\_ Connected \_\_\_\_\_  
Sanitary Sewer \_\_\_\_\_ Connected \_\_\_\_\_  
Storm Sewers \_\_\_\_\_

19. Present Official Plan/Secondary Plan provisions applying to the land:  
\_\_\_\_\_  
\_\_\_\_\_

20. Present Restricted Area By-law (Zoning By-law) provisions applying to the land:  
\_\_\_\_\_  
\_\_\_\_\_

21. Has the owner previously applied for relief in respect of the subject property?  
Yes ☐ No ☒  
If the answer is yes, describe briefly.  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

22. Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?  
Yes ☐ No ☒

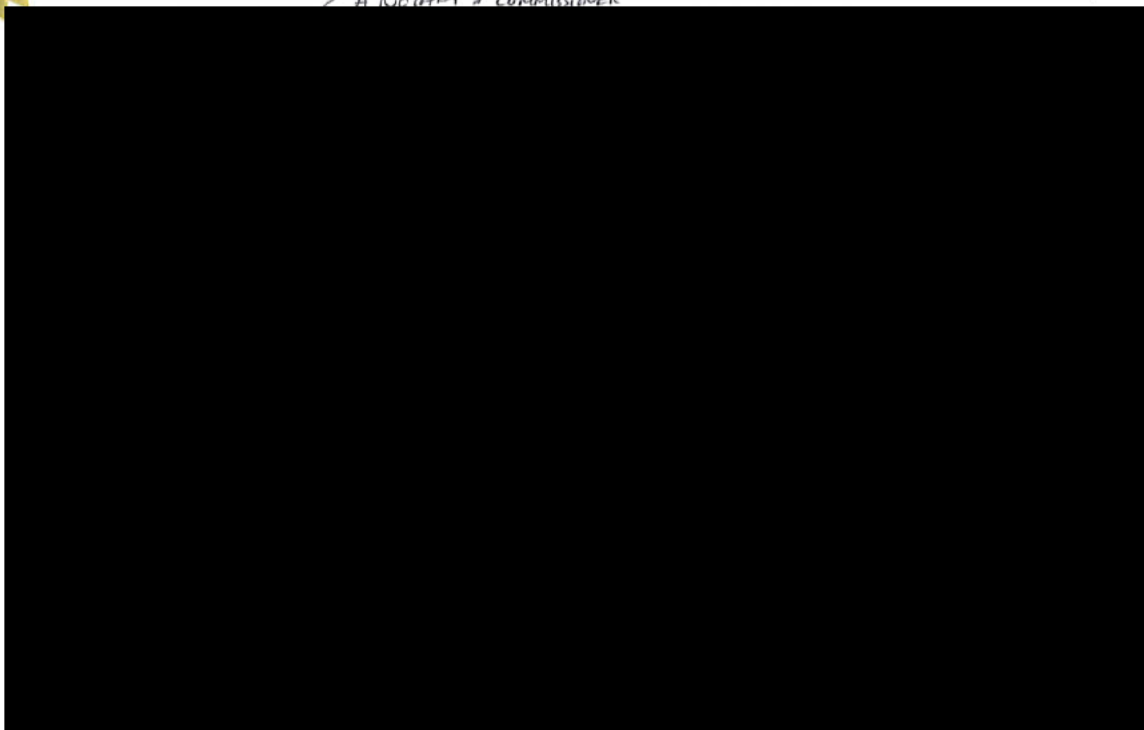
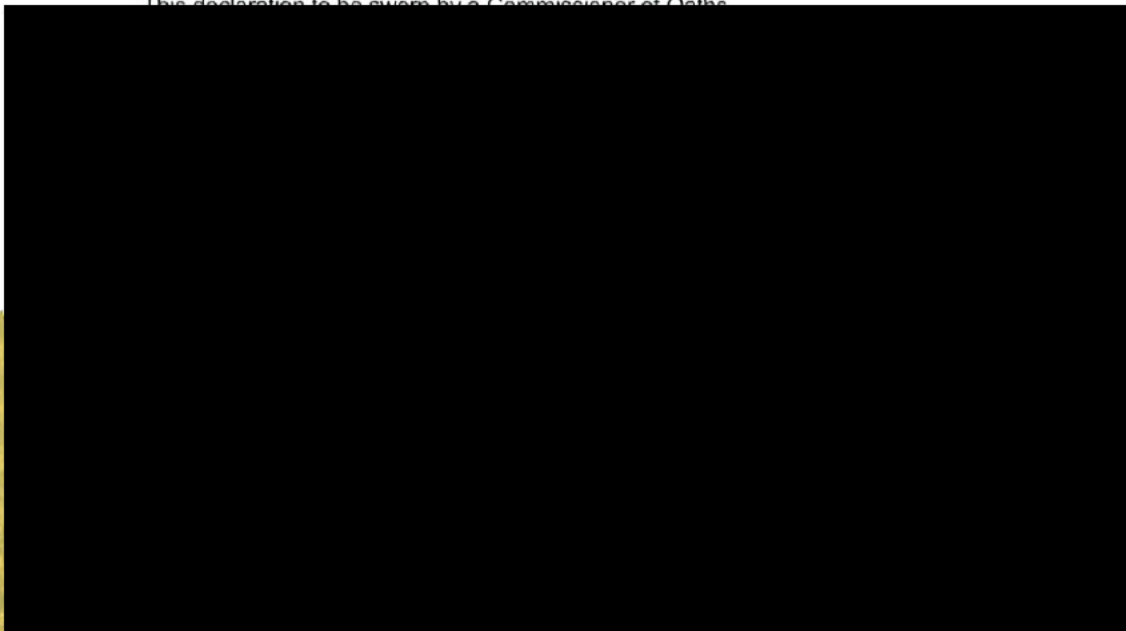
23. The applicant shall attach to each copy of this application a plan showing the dimensions of the subject lands and of all abutting lands and showing the location, size and type of all buildings and structures on the subject and abutting lands, and where required by the Committee of Adjustment such plan shall be signed by an Ontario Land Surveyor.

**NOTE:** It is required that two copies of this application be filed with the secretary-treasurer of the Committee of Adjustment together with the maps

referred to in Section 5 and be accompanied by the appropriate fee in cash or by cheque made payable to the City of Hamilton.

PART 24 AFFIDAVIT OR SWORN DECLARATION

This declaration to be sworn by a Commissioner of Oaths



reports, studies and drawings, provided in support of the application, by myself, my agents, consultants and solicitors, constitutes public information and will become part of the public record. As such, and in accordance with the provisions of the *Municipal Freedom of Information and Protection of Privacy Act*, R.S.O. 1990, c. M.56, I hereby consent to the City of Hamilton making this application and its supporting documentation available to the general public, including copying and disclosing the application and its supporting documentation to any third party upon their request.



August 29 2020  
Date

PART 27 PERMISSION TO ENTER

Date: August 29 2020

Secretary/Treasurer  
Committee of Adjustment  
City of Hamilton,  
City Hall

Dear Secretary/Treasurer;

Re: Application to Committee of Adjustment

Location of Land: 601 Green Mountain Rd E  
(Municipal address)

I hereby authorize the members of the Committee of Adjustment and members of the staff of the City of Hamilton to enter on to the above-noted property for the limited purpose of evaluating the merits of this application.

Please print name

Note: The Committee of Adjustment requires that all properties be identified with the municipal address clearly visible from the street. Where there is no municipal address or the property is vacant then the property shall be identified in accordance with the Committee's policy included on the back of the Application Form. Failure to properly identify the subject property may result in the deferral of the application.

PART 28 COLLECTION OF INFORMATION

The personal information contained on this form is collected under the authority of the *Planning Act*, R.S.O. 1990, c. P.13, and will be used for the purpose of processing the application. This information will become part of the public record and will be made available to the general public. Questions about the collection of this information should be directed to the Coordinator of Business Facilitation, Planning and Economic Development Department, City of Hamilton, 1<sup>st</sup> floor, 71 Main Street West, City Hall, Hamilton, Ontario, Telephone: 905-546-2424, ext.1284.

CITY OF HAMILTON  
COST ACKNOWLEDGEMENT AGREEMENT

This Agreement made this 1 day of September, 2020.

BETWEEN



Developer"

-and-

City of Hamilton

hereinafter referred to as the "City"

WHEREAS the Developer represents that he/she is the registered owner of the lands described in Schedule "A" attached hereto, and which lands are hereinafter referred to as the "lands";

AND WHEREAS the Developer has filed for an application for a (circle applicable) consent/rezoning/official plan amendment/subdivision approval/minor variance.

AND WHEREAS it is a policy of the City that any City costs associated with an appeal to the Local Planning Appeal Tribunal, by a party other than the Developer, of an approval of a consent, rezoning, official plan amendment, plan of subdivision, and/or minor variance, such as, but not limited to, legal counsel costs, professional consultant costs and City staff costs, shall be paid by the Developer.

NOW THEREFORE THIS AGREEMENT WITNESSETH that in consideration of the sum of two dollars (\$2.00) now paid by the City to the Developer, the receipt of which is hereby acknowledged, the parties hereto agree as follows:

1. In this Agreement:

- (a) "application" means the application(s) for a (circle applicable) consent/rezoning/official plan amendment/subdivision approval or minor variance dated Sept 1/20 with respect to the lands described in Schedule "A" hereto.
- (b) "Expenses" means all expenses incurred by the City if the application is: (a) approved by the City; (b) appealed to the Local Planning Appeal Tribunal by a party other than the developer; and (c) the City appears before the Local Planning Appeal Tribunal or any other tribunal or Court in support of the application, including but not limited to: City staff time, City staff travel expenses and meals, City disbursements, legal counsel fees and disbursements and all consultant fees and disbursements including, without limiting the generality of the foregoing planning, engineering or other professional expenses

2. The City agrees to process the application and, where the application is approved by the City but appealed to the Local Planning Appeal Tribunal by a party other than the Developer, the Developer shall file an initial deposit, in the form of certified cheque or cash with the General Manager, Finance & Corporate Services within fifteen days of the date of the appeal of the application by a third party in the amount of 50% of the estimated expenses associated with the appeal as estimated by the City Solicitor in his sole discretion which shall be credited against the Expenses.

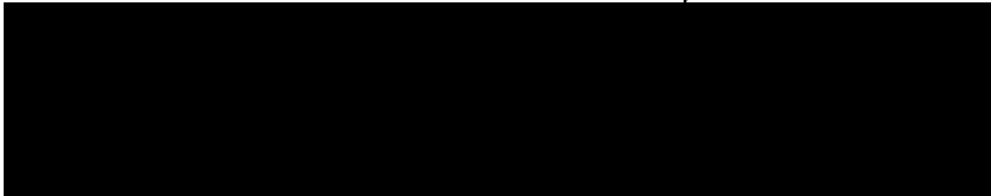
3. It is hereby acknowledged that if the deposit required pursuant to section 2 of this Agreement is not paid by the Developer the City shall have the option, at its sole discretion, of taking no further steps in supporting the Developer's application before the Local Planning Appeal Tribunal.

4. It is hereby acknowledged that all expenses shall be paid for by the Developer. The Developer shall reimburse the City for all expenses the City may be put to in respect of the application upon demand.
5. It is hereby acknowledged and agreed that all expenses shall be payable by the Developer whether or not the Developer is successful before the Local Planning Appeal Tribunal or any other tribunal or Court in obtaining approval for their application.
6. The City shall provide the Developer with copies of all invoices of external legal counsel or consultants included in the expenses claimed by the City.
7. The City shall provide the Developer with an accounting of all staff costs and City disbursements included in the expenses claimed by the City.
8. The City may, at any time, draw upon the funds deposited in accordance with sections 2 and 9 of this Agreement to satisfy expenses incurred pursuant to the appeal of the application.
9. In the event that the amount deposited pursuant to section 2 of this Agreement is reduced to less than 10% of the initial deposit, the City may halt all work in respect of the appeal of the application until the Developer deposits with the City a sum sufficient to increase the deposit to an amount which is equal to 100% of the expenses estimated pursuant to paragraph 2 of this Agreement and still to be incurred by the City.
10. Within 60 days of: (a) a decision being rendered in respect of the appeal or any legal proceedings resulting from the decision, whichever is later; or (b) the termination of all legal proceedings in respect of the application, the City shall prepare and submit a final account to the Developer. If there are any deposit funds remaining with the City they shall be applied against the account. Any amount owing in respect of the final account in excess of deposit funds shall be paid by the Developer within 30 days of the date of the final account. If any deposit funds are remaining after the final account has been paid they shall be returned to the developer within 30 days of the date of the final account.
11. This Agreement shall not be construed as acceptance of the application and nothing herein shall require or be deemed to require the City to approve the application.
12. This Agreement shall not stand in lieu of or prejudice the rights of the City to require such further and other agreements in respect of the application that the City may deem necessary.
13. Every term, covenant, obligation and condition in this Agreement ensures to the benefit of and is binding upon the parties hereto and their respective heirs, executors, administrators, successors, trustees and assigns.
14. When the context so requires or permits, the singular number is to be read as if the plural were expressed, and the masculine gender as if the feminine, as the case may be, were expressed; and,
15. This Agreement and the schedules hereto constitute the entire agreement between the parties in respect of the subject matter contained herein and is not subject to, or in addition to, any other agreements, warranties or understandings, whether written, oral or implied. This Agreement may not be modified or amended except by instrument in writing signed by the Developer and the City, and,
16. The waiver or acquiescence by the City of any default by the Developer under any obligation to comply with this Agreement shall not be deemed to be a waiver of that obligation or any subsequent or other default under this Agreement.

17. The Developer covenants and agrees to be bound by the terms and conditions of this Agreement and not to seek a release from the provisions thereof until such time as the Developer's obligations hereunder have been assumed by its successor, assignee or transferee by way of written agreement in the form set out in Schedule "B" to this Agreement.

IN WITNESS WHEREOF the parties hereto have set their corporate seals under the hands of their duly authorized officers.

DATED at Hamilton this 1 day of September, 2020.



\_\_\_\_\_  
WITNESS

\_\_\_\_\_  
Per:  
I have authority to bind the corporation

DATED at Hamilton, Ontario this \_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

City of Hamilton

Per: \_\_\_\_\_  
Mayor

Per: \_\_\_\_\_  
Clerk

Schedule "A"  
Description of Lands

**SCHEDULE "B"**  
**FORM OF ASSUMPTION AGREEMENT**

**THIS AGREEMENT** dated the \_\_\_\_\_ day of \_\_\_\_\_ 20 \_\_\_\_.

**BETWEEN**

\_\_\_\_\_  
(hereinafter called the "Owner")

OF THE FIRST PART

-and-

\_\_\_\_\_  
(hereinafter called the "Assignee")

-and-

OF THE SECOND PART

CITY OF HAMILTON  
(hereinafter called the "Municipality")

OF THE THIRD PART

**WHEREAS** the owner and the Municipality entered into and executed a Cost Acknowledgement Agreement dated \_\_\_\_\_.

**AND WHEREAS** Assignee has indicated that it will assume all of the Owner's duties, liabilities and responsibilities as set out in the Cost Acknowledgement Agreement.

**AND WHEREAS** Council for the Municipality has consented to releasing the Owner from its duties, liabilities and responsibilities under said Cost Acknowledgement Agreement subject to the Assignee accepting and assuming the Owner's duties, liabilities and responsibilities and subject to the Assignee the Owner and the Municipality entering into and executing an Assumption Agreement.

**NOW THEREFORE THIS AGREEMENT WITNESSETH THAT** in consideration of the mutual covenants hereinafter expressed and other good and valuable consideration, the parties hereto agree as follows.

1. The Assignee covenants and agrees to accept, assume and to carry out the Owner's duties, liabilities and responsibilities under the Cost Acknowledgement Agreement and in all respects to be bound under said Cost Acknowledgement Agreement as if the Assignee had been the original party to the agreement in place of the Owner.
2. The Municipality hereby releases the Owner from all claims and demands of any nature whatsoever against the Owner in respect of the Cost Acknowledgement Agreement. The Municipality hereby accepts the Assignee as a party to the Cost Acknowledgement Agreement in substitution of the Owner, and agrees with the Assignee that the Assignee will be bound by all the terms and conditions of the Cost Acknowledgement Agreement as if the Assignee had been the original executing party in place of the Owner.
3. All of the terms, covenants, provisos and stipulations in the said Cost Acknowledgement Agreement are hereby confirmed in full force save and except

for such modifications as are necessary to make said clauses applicable to the Assignee.

**IN WITNESS WHEREOF** the Parties have hereunto affixed their corporate seals duly attested to by their proper signing officers in that behalf.

**SIGNED, SEALED AND DELIVERED**

\_\_\_\_\_  
Owner: c/s  
Title:  
I have authority to bind the corporation

\_\_\_\_\_  
Assignee: c/s  
Title:  
I have authority to bind the corporation

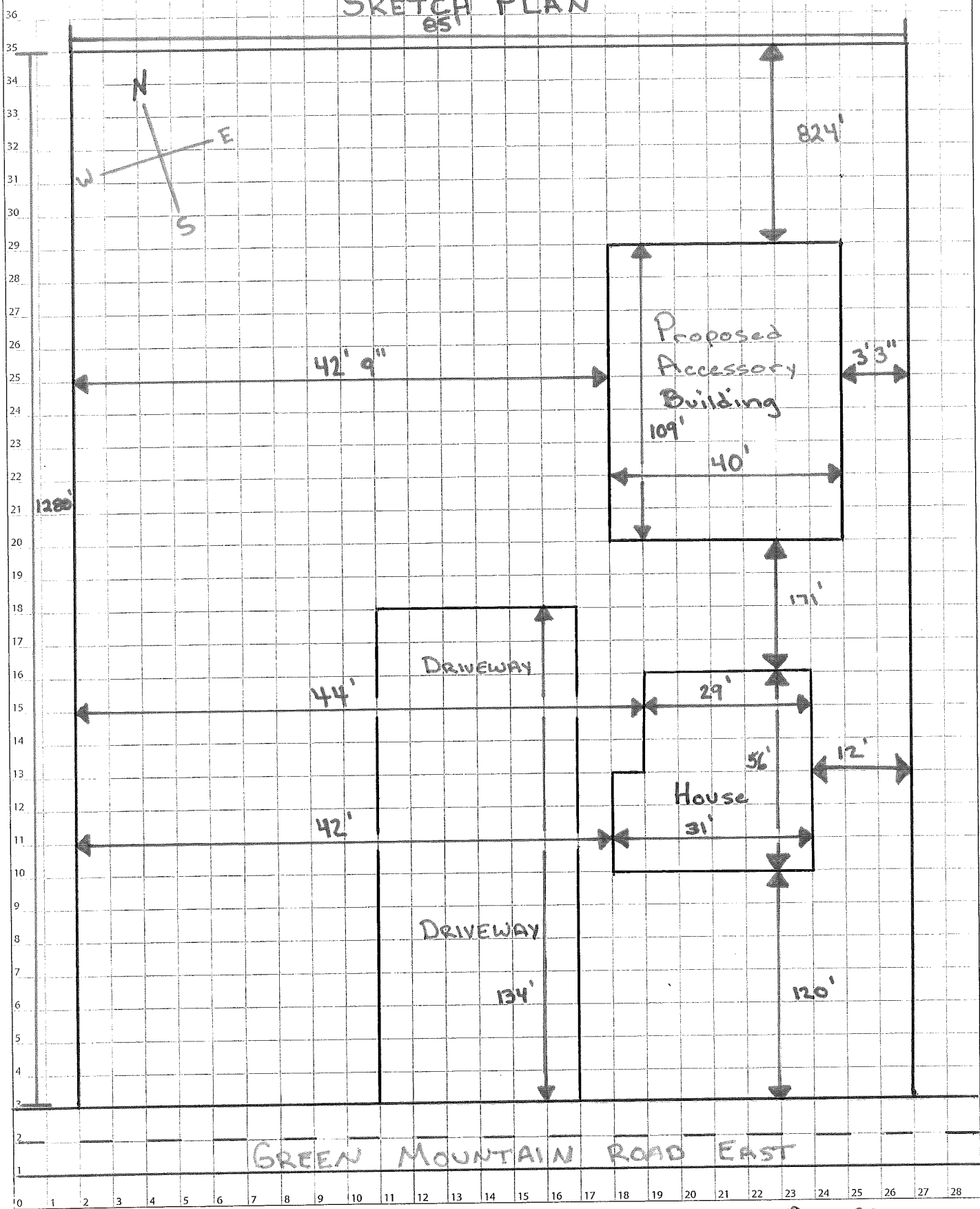
**CITY OF HAMILTON**

\_\_\_\_\_  
Mayor

\_\_\_\_\_  
Clerk

# SKETCH PLAN

85'

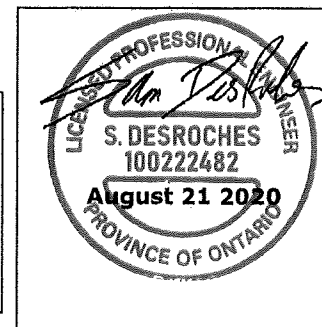
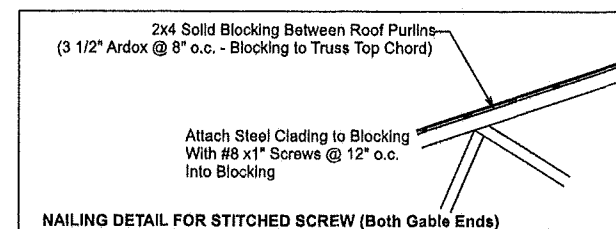
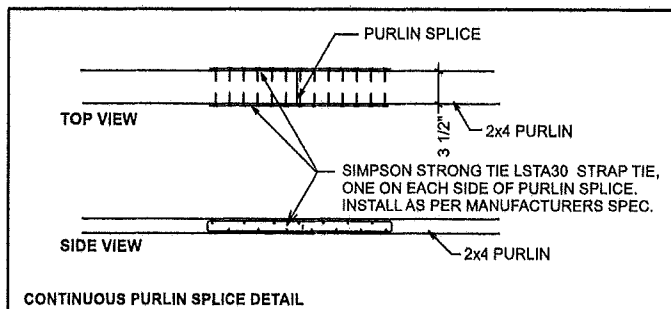
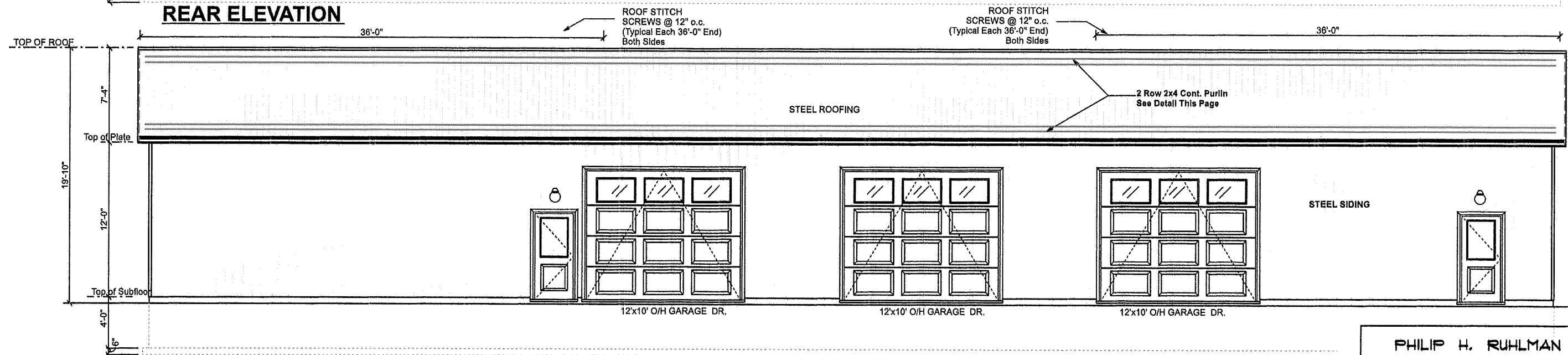
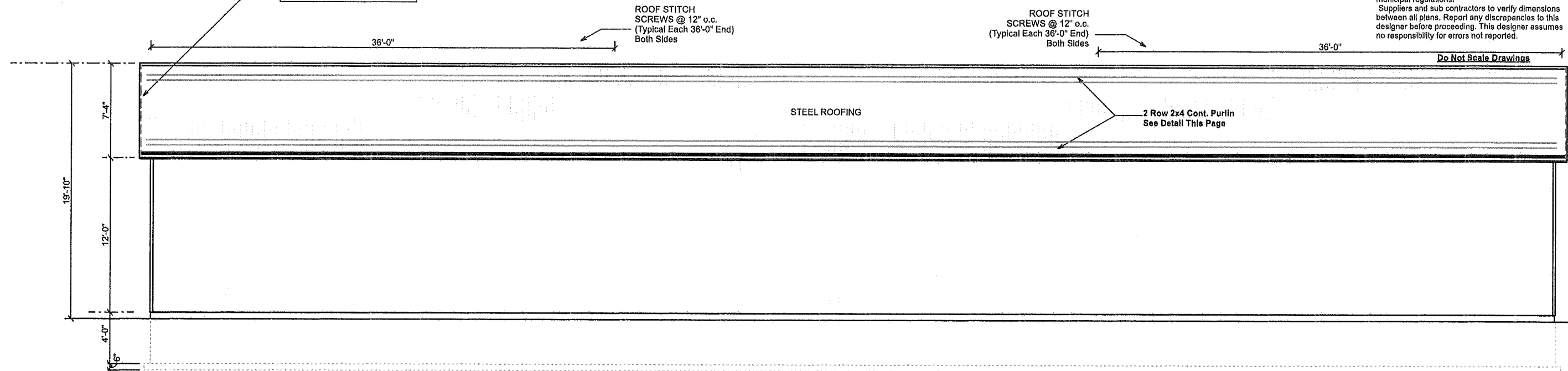


GREEN MOUNTAIN ROAD EAST

Aug 29, 2020



**Notes**  
These drawings, dimensions, and specifications must be checked and verified by the building contractor for discrepancies and report to this designer before commencing any further work. This designer assumes no responsibility or liability for errors or omission not reported by the building contractor or his subtrades. This designer assumes no responsibility for the building contractor or his subtrades for their failure to carry out the work according to these plans, specifications and related documents. Construction must comply with the latest standards of the O.B.C., C.B.C., and the local municipal regulations. Suppliers and sub contractors to verify dimensions between all plans. Report any discrepancies to this designer before proceeding. This designer assumes no responsibility for errors not reported.



**BUILDING CLASSIFICATION**  
THIS BUILDING IS DESIGNED FOR PART 9 O.B.C. (GROUP C)

**NOTE:** NO ADJUSTMENTS OR CHANGES TO BE MADE TO THESE DRAWINGS WITHOUT WRITTEN APPROVAL FROM THIS DESIGNER

**ROOF TRUSS DESIGNS AND LAYOUT TO BE SUBMITTED TO THIS DESIGNER FOR APPROVAL BEFORE MANUFACTURING**

**NOTE:** ALL LVL TO BE "WEST FRASER" LVL (2.0E) (3100 lb) ALL STEEL TO BE 350W

**Detailed Buildings**  
P.O. Box 8  
Rockton, Ont. L0R 1X0

**PHILIP H. RUHLMAN**  
ARCHITECTURAL DESIGN  
82 Piper St., 519-223-7042  
Ayr, Ontario  
email - phil@ruhlmandesign.com

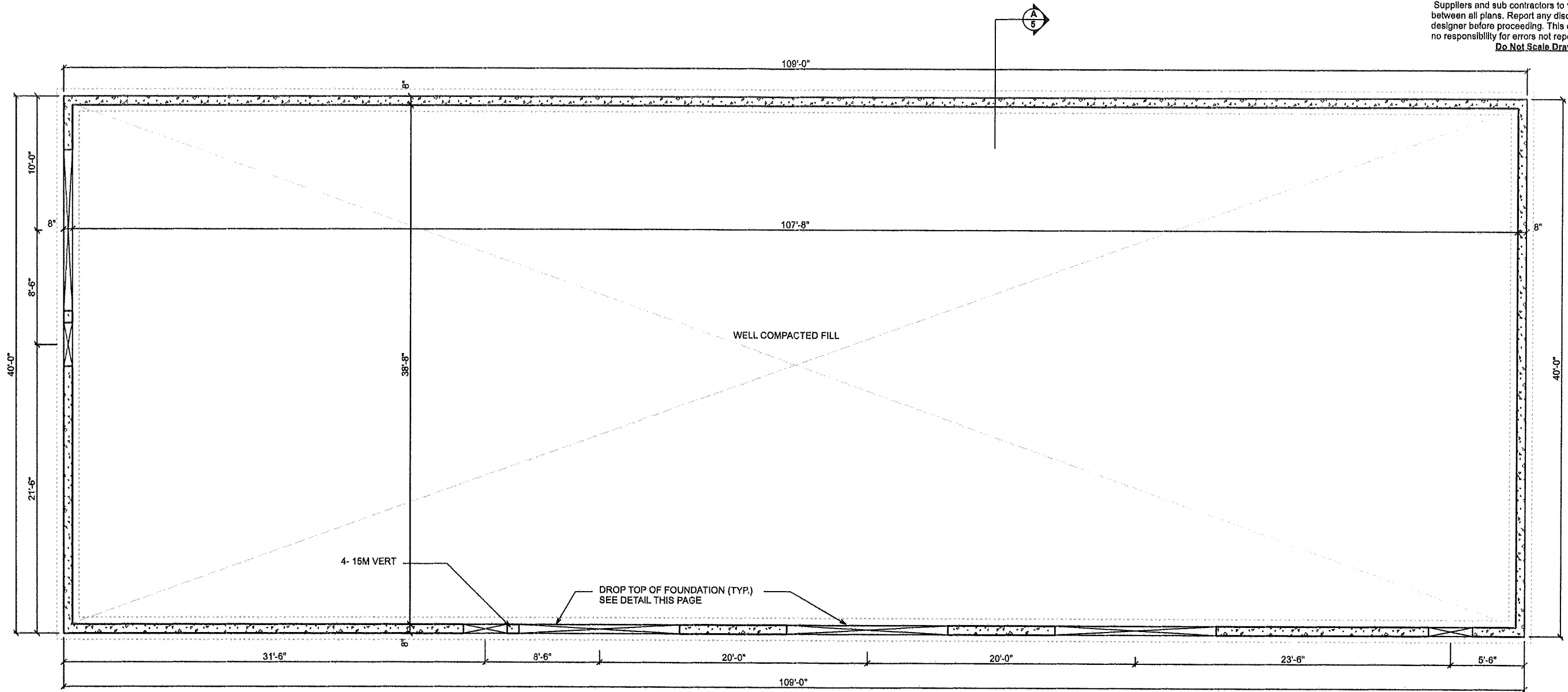
**DECLARATION OF DESIGNER**

I Philip Ruhlman declare that I review and take responsibility for the design work of this plan. I am qualified, and I am registered.

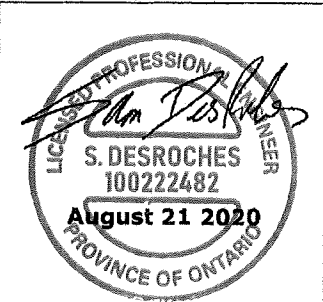
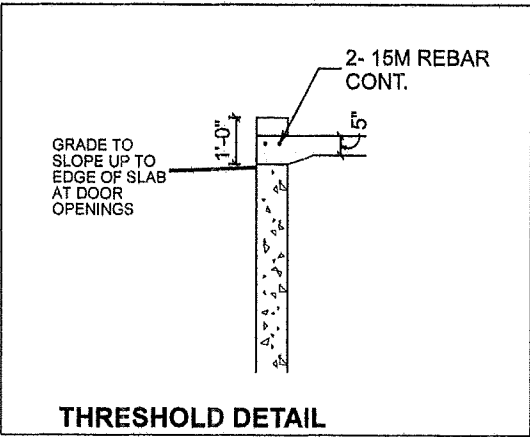
Individual BCIN: 21095 Firm BCIN: 31613

DRAWING TITLE			
ELEVATIONS			
DATE	SCALE	AREA	PROJECT NO.
Aug. 20, 2020	1/8"=1'-0"	4,360 Sq. Ft.	PHR20-743
PROJECT NAME		DRAWING #	
ALEX AQUIN 601 Green Mountain Rd. E Stoney Creek, Ont.		A1	

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**Do Not Scale Drawings**



**FOUNDATION PLAN**



**BUILDING CLASSIFICATION**  
THIS BUILDING IS DESIGNED FOR PART 9 O.B.C. (GROUP C)

**NOTE:** NO ADJUSTMENTS OR CHANGES TO BE MADE TO THESE DRAWINGS WITHOUT WRITTEN APPROVAL FROM THIS DESIGNER

**ROOF TRUSS DESIGNS AND LAYOUT TO BE SUBMITTED TO THIS DESIGNER FOR APPROVAL BEFORE MANUFACTURING**

**NOTE:**  
ALL LVL TO BE "WEST FRASER" LVL (2.0E) (3100 lb)  
ALL STEEL TO BE 350W

**Detailed Buildings**  
P.O. Box 8  
Rockton, Ont. L0R 1X0

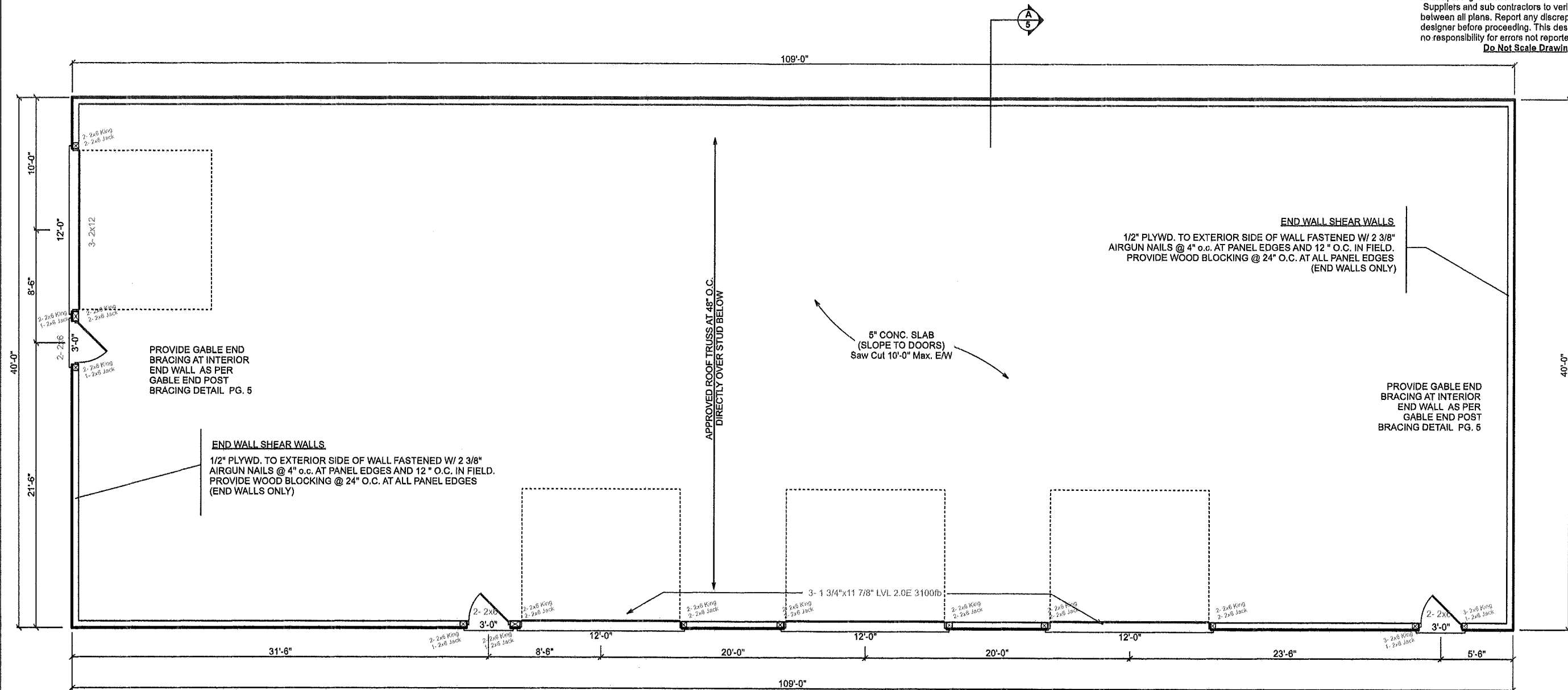
**PHILIP H. RUHLMAN**  
ARCHITECTURAL DESIGN  
82 Piper St., 519-223-7042  
Ayr, Ontario  
email - phil@ruhlmandesign.com

**DECLARATION OF DESIGNER**  
I Philip Ruhlman declare that I review and take responsibility for the design work of this plan. I am qualified, and I am registered.

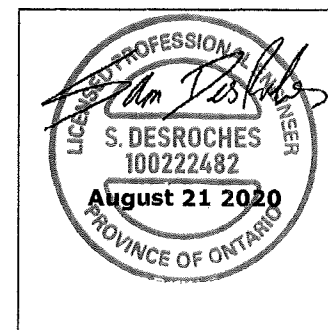
Individual BCIN: 21095 Firm BCIN: 31613

DRAWING TITLE			
FOUNDATION PLAN			
DATE	SCALE	AREA	PROJECT NO.
Aug. 20, 2020	1/8"=1'-0"	4,360 Sq. Ft.	PHR20-743
PROJECT NAME		DRAWING #	
ALEX AQUIN 601 Green Mountain Rd. E Stoney Creek, Ont.		A2	

**Notes**  
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**Do Not Scale Drawings**



**PLAN VIEW**



**BUILDING CLASSIFICATION**  
THIS BUILDING IS DESIGNED FOR PART 9 O.B.C. (GROUP C)

**NOTE:** NO ADJUSTMENTS OR CHANGES TO BE MADE TO THESE DRAWINGS WITHOUT WRITTEN APPROVAL FROM THIS DESIGNER

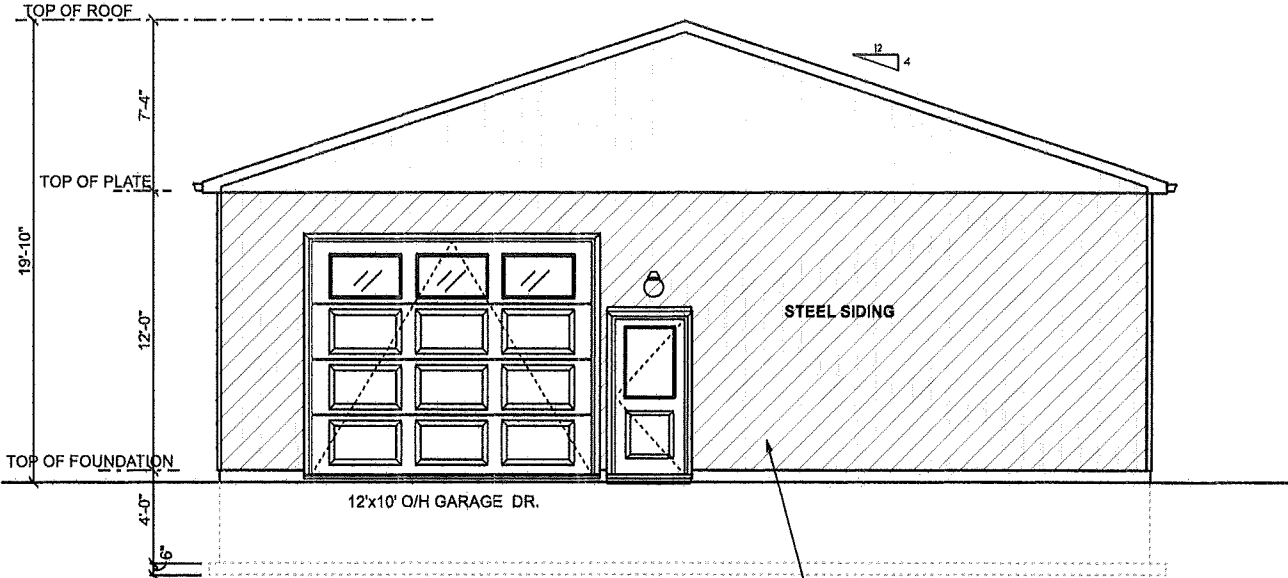
**ROOF TRUSS DESIGNS AND LAYOUT TO BE SUBMITTED TO THIS DESIGNER FOR APPROVAL BEFORE MANUFACTURING**

**NOTE:** ALL LVL TO BE "WEST FRASER" LVL (2.0E) (3100 lb) ALL STEEL TO BE 350W

**Detailed Buildings**  
**P.O. Box 8**  
**Rockton, Ont. L0R 1X0**

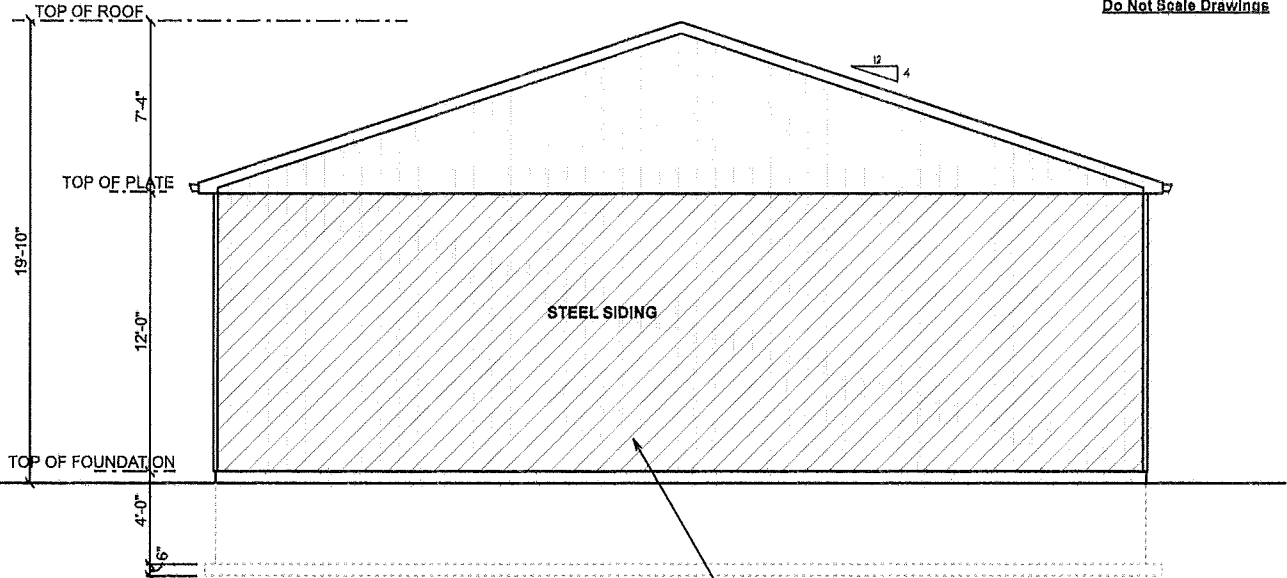
<b>PHILIP H. RUHLMAN</b> ARCHITECTURAL DESIGN 82 Piper St., 519-223-7042 Ayr, Ontario email - phil@ruhlmandesign.com			
<b>DECLARATION OF DESIGNER</b> I Philip Ruhlman declare that I review and take responsibility for the design work of this plan. I am qualified, and I am registered.			
Individual BCIN: 21095		Firm BCIN: 31613	
<b>DRAWING TITLE</b> <b>MAIN FLOOR PLAN</b>			
<b>DATE</b> Aug. 20, 2020	<b>SCALE</b> 1/8"=1'-0"	<b>AREA</b> 4,360 Sq. Ft.	<b>PROJECT NO.</b> PHR20-743
<b>PROJECT NAME</b> ALEX AQUIN 601 Green Mountain Rd. E Stoney Creek, Ont.		<b>DRAWING #</b> <b>A3</b>	

**Notes**  
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**Do Not Scale Drawings**



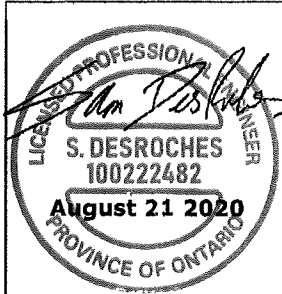
**LEFT SIDE ELEVATION**

**END WALL SHEAR WALLS**  
1/2" PLYWD. TO EXTERIOR SIDE OF WALL FASTENED W/ 2 3/8" AIRGUN NAILS @ 4" o.c. AT PANEL EDGES AND 12" O.C. IN FIELD. PROVIDE WOOD BLOCKING @ 24" O.C. AT ALL PANEL EDGES (END WALLS ONLY)



**RIGHT SIDE ELEVATION**

**END WALL SHEAR WALLS**  
1/2" PLYWD. TO EXTERIOR SIDE OF WALL FASTENED W/ 2 3/8" AIRGUN NAILS @ 4" o.c. AT PANEL EDGES AND 12" O.C. IN FIELD. PROVIDE WOOD BLOCKING @ 24" O.C. AT ALL PANEL EDGES (END WALLS ONLY)



**BUILDING CLASSIFICATION**  
THIS BUILDING IS DESIGNED FOR PART 9 O.B.C. (GROUP C)  
**NOTE:** NO ADJUSTMENTS OR CHANGES TO BE MADE TO THESE DRAWINGS WITHOUT WRITTEN APPROVAL FROM THIS DESIGNER  
**ROOF TRUSS DESIGNS AND LAYOUT TO BE SUBMITTED TO THIS DESIGNER FOR APPROVAL BEFORE MANUFACTURING**  
**NOTE:** ALL LVL TO BE "WEST FRASER" LVL (2.0E) (3100 R) ALL STEEL TO BE 350W

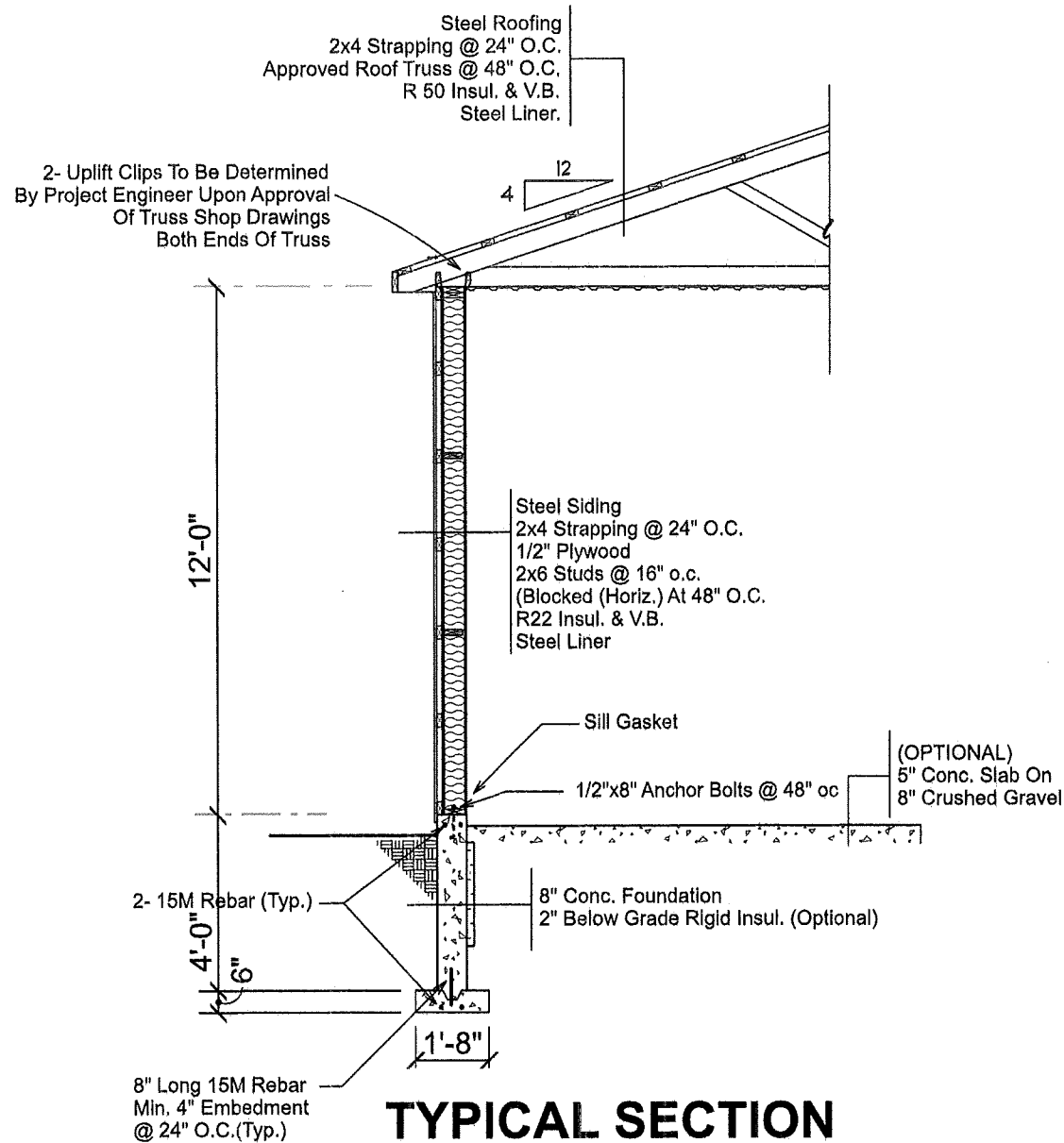
**PHILIP H. RUHLMAN**  
ARCHITECTURAL DESIGN  
82 Piper St., 519-223-7042  
Ayr, Ontario  
email - phil@ruhlmandesign.com

**DECLARATION OF DESIGNER**  
I Phillip Ruhlman declare that I review and take responsibility for the design work of this plan. I am qualified, and I am registered.

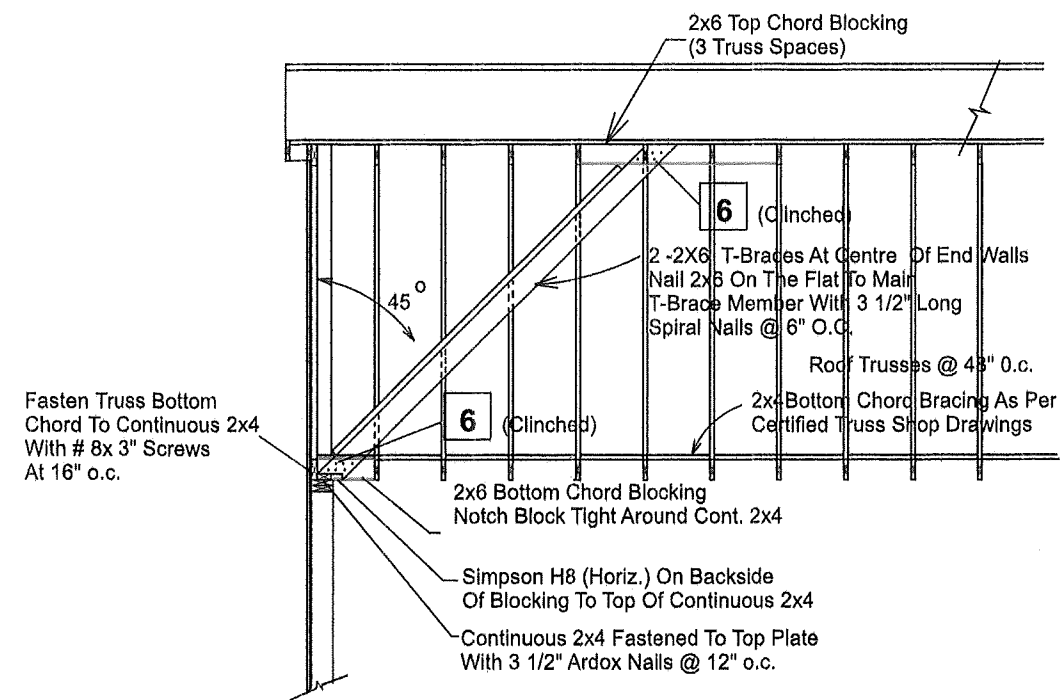
Individual BCIN: 21095 Firm BCIN: 31613

DRAWING TITLE				ELEVATIONS	
DATE	SCALE	AREA	PROJECT NO.		
Aug. 20, 2020	1/8"=1'-0"	4,360 Sq. Ft.	PHR20-743		
PROJECT NAME		DRAWING #			
ALEX AQUIN 601 Green Mountain Rd. E Stoney Creek, Ont.		A4			

**Detailed Buildings**  
**P.O. Box 8**  
**Rockton, Ont. L0R 1X0**



**TYPICAL SECTION**



**A GABLE END BRACING**

GABLE END DIAGONAL BRACING  
TO BE INSTALLED AT EACH END  
OF STRUCTURE

- # of 3 1/2" Ardox Nails
- # of 5" Ardox Nails

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(GROUP C)

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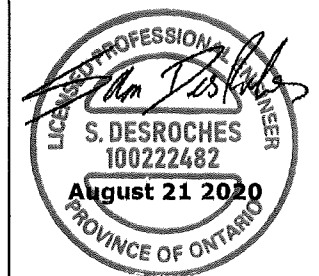
ROOF TRUSS DESIGNS AND LAYOUT TO BE  
SUBMITTED TO THIS DESIGNER FOR APPROVAL  
BEFORE MANUFACTURING

NOTE:  
ALL LVL TO BE "WEST FRASER" LVL (2.0E) ( 3100 fb)  
ALL STEEL TO BE 350W

**Notes**

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**Do Not Scale Drawings**



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**Detailed Buildings**  
**P.O. Box 8**  
**Rockton, Ont. L0R 1X0**

DRAWING TITLE			
<b>SECTION</b>			
DATE	SCALE	AREA	PROJECT NO.
Aug. 20, 2020	1/4"=1'-0"	4,360 Sq. Ft.	PHR20-743
PROJECT NAME	DRAWING #		
<b>ALEX AQUIN</b> 601 Green Mountain Rd. E Stoney Creek, Ont.	<b>A5</b>		

GENERAL

1. DESIGN & CONSTRUCTION OF ALL WORK ON THIS PROJECT SHALL CONFORM TO THE LATEST EDITION OF THE FOLLOWING;
- NATIONAL BUILDING CODE
  - ONTARIO BUILDING CODE
  - LOCAL REGULATIONS
  - OHSA REGULATIONS
2. THE STRUCTURAL ENGINEERING REVIEW BY WADDELL ENGINEERING LTD (WEL) IS FOR THE STRUCTURAL ITEMS NOTED ON THE STAMPED DRAWINGS FOR WHICH THERE ARE NO ONTARIO BUILDING CODE (OBC) PART 9 PROVISIONS.
3. THE SEALED DRAWINGS ARE ONLY FOR USE BY THE PARTY WITH WHOM WEL HAS ENTERED INTO A CONTRACT (THE CLIENT), AND ARE NOT TO BE USED BY OTHERS.
4. WEL'S REVIEW IS BASED ON THE INFORMATION PROVIDED BY THE CLIENT AT THE TIME OF OUR REVIEW. WEL IS NOT RESPONSIBLE FOR ANY ERRORS OR OMISSIONS FROM THIS INFORMATION. IT IS THE CLIENT'S RESPONSIBILITY TO INFORM US OF ANY CHANGES, ADDITIONS OR CORRECTIONS REQUIRED ON OUR DRAWINGS.
5. THIS SPECIFICATION SHEET IS TO SUPPLEMENT THE STAMPED DRAWINGS AND OBC PART 9 REQUIREMENTS. PLEASE CONTACT THE LOCAL BUILDING DEPARTMENT OR WEL, IF FURTHER CLARIFICATION IS REQUIRED.
6. WEL ASSUMES THAT ALL REQUIRED INSPECTIONS WILL BE DONE BY THE LOCAL BUILDING DEPARTMENT. IF WEL IS REQUIRED TO PERFORM AN INSPECTION, CALL (519) 267-6789. ALLOW 24 HOURS NOTICE FOR ALL INSPECTIONS.
7. NO CHANGES SHALL BE MADE TO THE STAMPED DRAWINGS WITHOUT NOTIFYING WEL PRIOR TO MAKING THOSE CHANGES.
8. THE CLIENT SHALL CHECK AND VERIFY ALL SITE CONDITIONS AND MEASUREMENTS, AND REPORT ANY DISCREPENCIES TO THE ENGINEER.

WOOD-FRAME CONSTRUCTION

1. ALL WOOD-FRAME CONSTRUCTION SHALL CONFORM TO OBC 9.23 U.N.O. ON THE STAMPED DRAWINGS.
2. ALL STRUCTURAL COMPOSITE LUMBER (SCL) SHALL BE 2.0E WITH  $F_b=2950$  OR BETTER. FASTEN MULTI-PLY SCL BEAMS AS PER MANUFACTURER'S SPECIFICATIONS. PROVIDE 3" MIN. BEARING LENGTH AT ENDS, U.N.O..
3. ALL PRE-ENGINEERED SYSTEMS (I.E. ROOF TRUSSES, FLOOR JOISTS, ETC.) ARE TO BE DESIGNED AND SEALED BY A PROFESSIONAL ENGINEER OF ONTARIO. PROVIDE LAYOUTS AND STAMPED DRAWINGS TO WEL AND THE LOCAL BUILDING DIVISION.
4. ENSURE THE EXTERIOR WALLS ARE BRACED AS PER OBC 9.23.10.2 TO PROVIDE LATERAL SUPPORT FOR THE BUILDING.
5. PROVIDE SUFFICIENT LATERAL SUPPORT FOR THE TOP OF ALL DROPPED BEAMS AND LINTELS TO PREVENT LATERAL TORSIONAL BUCKLING.
- 5.1. AN EXAMPLE OF SUFFICIENT LATERAL SUPPORT IS (2) 3 1/4" NAILS PER JOIST FOR LEDGER STRIP TO WOOD BEAM CONNECTION (AS PER OBC TABLE 9.23.3.4).
6. ALL WOOD COLUMNS SHALL CONFORM TO OBC 9.17. U.N.O. PROVIDE A BUILT-UP WOOD STUD COLUMN EQUAL TO THE WIDTH OF BEAM/GIRDER TRUSS UNDER ALL BEAM/GIRDER TRUSSES MIN. U.N.O. CONTINUE ALL COLUMNS DOWN TO FOUNDATION OR FULL BEARING ON BEAMS, BLOCK SOLID IN JOIST SPACES, TYPICAL (TYP.).
7. ALL LINTELS TO HAVE 1 JACK STUD, 1 KING STUD AT ENDS U.N.O.
8. ALL WOOD SHALL BE NO. 2 SPRUCE OR BETTER.
9. ALL GUARDS SHALL CONFORM TO OBC 9.8.8 AND SUPPLEMENTARY STANDARD SB-7 U.N.O.

ROOF AND CEILING FRAMING

1. ALL ROOF AND CEILING FRAMING SHALL CONFORM TO OBC 9.23.13 U.N.O. ON THE STAMPED DRAWINGS.
2. ALL ROOF RAFTERS/JOISTS AND CEILING JOISTS SHALL CONFORM TO THE SPANS SHOWN IN OBC PART 9 TABLES A-3 TO A-7.
3. WHERE REQUIRED, PROVIDE INTERMEDIATE SUPPORT FOR ROOF RAFTERS/JOISTS AS PER OBC 9.23.13.7.
- 3.1. WEL ASSUMES THAT COLLAR TIES WILL BE USED TO PROVIDE INTERMEDIATE SUPPORT INSTEAD OF STRUTS OR DWARF WALLS U.N.O. (I.E. ALL ROOF RAFTERS/JOISTS BEAR ON EXTERIOR WALLS ONLY AND INTERIOR WALLS SUPPORT CEILING JOISTS ONLY U.N.O.).
4. WHERE THE RIDGE IS UNSUPPORTED, ROOF RAFTERS/JOISTS ARE TO BE TIED TO THE CEILING JOISTS (OR SOLID BLOCKING AT 3'-11" o.c. MAX.) AT THEIR BASE AND NAILED AS PER OBC TABLE 9.23.13.8 TO PREVENT OUTWARD MOVEMENT.
5. OVER-FRAMED AREAS ARE TO BE SUPPORTED ON LOWER ROOF RAFTERS/JOISTS BY 2x4 STRUTS @ 24" EACH WAY MIN. U.N.O..
6. WOOD ROOF TRUSSES SHALL BE DESIGNED IN ACCORDANCE WITH OBC 9.23.13.11, OR PART 4 IF THEIR SPAN EXCEEDS 40'-0" (AS PER OBC 9.23.1.1).
- 6.1. IF THE TRUSSES ARE DESIGNED IN ACCORDANCE WITH OBC PART 4, THE DESIGN OF UPLIFT ANCHORS SHALL BE PROVIDED BY THE TRUSS SUPPLIER ALONG WITH LAYOUTS AND STAMPED DRAWINGS.

MATERIALS

1. MATERIALS SHALL CONFORM TO THE FOLLOWING REQUIREMENTS U.N.O. ON THE STAMPED DRAWINGS:
- |  |                        |
|--|------------------------|
| CONCRETE                                     | - OBC 9.3.1            |
| REINFORCING STEEL                            | - CSA G30              |
| LUMBER & WOOD PRODUCTS                       | - OBC 9.23             |
| STEEL BEAMS                                  | - OBC 9.23.4.3         |
| STEEL COLUMNS                                | - OBC 9.17             |
| ANCHOR BOLTS, STEEL PLATES & ROLLED SECTIONS | - CAN/CSA-G40.21       |
| STEEL HSS & W-BEAMS                          | - CAN/CSA-G40.21M-350W |
| ALL OTHER STEEL                              | - CAN/CSA-G40.21M-300W |
| STRUCTURAL BOLTS                             | - ASTM A325            |

FOOTINGS AND FOUNDATIONS

1. ALL FOOTINGS AND FOUNDATIONS SHALL CONFORM TO OBC 9.15 UNLESS NOTED OTHERWISE (U.N.O.) ON THE STAMPED DRAWINGS.
2. FOOTINGS TO BEAR ON SOUND SUB-GRADE SUITABLE FOR 75 kPa (1500 psf) ALLOWABLE SOIL BEARING CAPACITY. THE CLIENT IS TO INFORM WEL IF THE REQUIRED BEARING CAPACITY CANNOT BE ACHIEVED.
3. FOUNDATION WALLS SUPPORTING DRAINED EARTH HAVE BEEN DESIGNED FOR THE LOADS PROVIDED IN 9.4.4.6.(1)(a). ENSURE PROVISIONS ARE MADE FOR APPROPRIATE DRAINAGE OF GROUNDWATER.
4. ENSURE ALL FOUNDATION WALLS ARE Laterally supported prior to backfilling.
5. ALL REINFORCING STEEL SHALL CONFORM TO THE REQUIREMENTS OF CAN/CSA-G30. REINFORCING BARS SHALL BE DEFORMED HI-BOND HARD GRADE WITH MINIMUM YIELD STRENGTH OF  $F_y = 400\text{MPa}$ .

STRUCTURAL STEEL

1. ALL WELDING SHALL BE PERFORMED BY A CANADIAN WELDING BUREAU CERTIFIED WELDER AND CONFORM TO CSA STANDARD W59.
2. PROVIDE SUFFICIENT LATERAL SUPPORT FOR STEEL BEAMS TO PREVENT LATERAL TORSIONAL BUCKLING. SUFFICIENT LATERAL SUPPORT EXAMPLES:
- 2.1. DROPPED STEEL BEAM - AS PROVIDED IN OBC 9.23.4.3.(3). OR A 2x6 TOP PLATE w/ 3/8" THRU BOLTS c/w NUTS & WASHERS OR HILTI X-U FASTENERS @ 24" o.c., STAGGERED INTO THE TOP FLANGE & (2) 3 1/4" NAILS FROM EACH JOIST INTO THE TOP PLATE.
- 2.2. FLUSH STEEL BEAM - SOLID BLOCKING (2x LUMBER AND PLYWOOD) BOLTED TO THE BEAM WEB WITH 1/2" DIA. THRU BOLTS AT 18" o.c., STAGGERED TOP AND BOTTOM AND APPROVED FACE MOUNT HANGERS FOR THE JOIST TO BLOCKING CONNECTION.
3. WHERE A STEEL PLATE SUPPORTING MASONRY VENEER IS SPECIFIED, WELD TO THE TOP OR BOTTOM FLANGE OF THE BEAM WITH (2) ROWS OF 2" LONG FILLET WELDS @ 12" o.c. MIN., STAGGERED.
4. ALL STEEL COLUMNS ARE TO BE Laterally supported TOP & BOTTOM (I.E. BY CONCRETE SLAB ON GRADE, (2) 3/8"Ø BOLTS OR 2" OF 1/4" FILLET WELD MIN.). CONTINUE ALL COLUMNS DOWN TO FOUNDATION OR FULL BEARING ON BEAMS, BLOCK SOLID IN JOIST SPACES, TYPICAL (TYP.).
5. ALL STRUCTURAL STEEL TO BE FINISHED AS APPROVED BY GENERAL CONTRACTOR.

LOADING

1. ROOF LOADING:
- 1.1. SNOW LOAD =  $C_b \times S_s + 0.4\text{ kPa}$ ; NOT LESS THAN 1 kPa (20.9 psf), AS PER OBC 9.4.2.2
- $C_b = 0.55\text{ kPa}$  FOR ROOF WIDTH > 4.3m
- $C_b = 0.45\text{ kPa}$  FOR ROOF WIDTH <= 4.3m
- $S_s = 1\text{-IN-50}$  GROUND SNOW LOAD in kPa
- 1.2. DEAD LOAD = 0.29 kPa (6 psf) (ROOF RAFTERS/JOISTS OR TRUSS TOP CHORDS)
2. CEILING LOADING:
- 2.1. ATTIC OR ROOF SPACE WITH LIMITED ACCESSIBILITY (CEILING JOISTS/TRUSS BOTTOM CHORDS), AS PER OBC 9.4.2.4.(1)
- TOTAL SPECIFIED LOAD = 0.35 kPa (7.3 psf)
- 2.2. ACCESSIBLE ATTIC = SEE FLOOR LOADING
3. FLOOR LOADING:
- 3.1. LIVE LOAD = 1.92 kPa (40 psf), BEDROOMS = 1.44 kPa (30 psf)
- 3.2. DEAD LOAD = 0.57 kPa (12 psf)
4. ACCESSIBLE EXTERIOR PLATFORMS, AS PER OBC 9.4.2.3:
- 4.1. LIVE LOAD = GREATER OF 1.92 kPa (40 psf) OR SNOW LOAD
5. GUARD LOADS: AS PER OBC 2012 4.1.5.14 (1)

Project Engineer

PROJECT # 20-08-065

**WADDELL**  
**ENGINEERING LTD.**  
119 PINEBUSH RD. CAMBRIDGE ON  
PH. 519-267-6789  
FAX. 1-866-388-9659  
INFO@WADDELLENG.COM

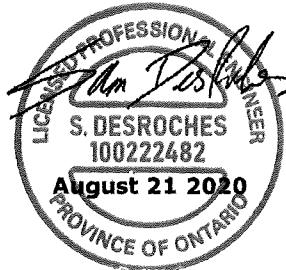
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STRUCTURAL			
DATE	SCALE	AREA	PROJECT NO.
Aug. 11, 2020	1/8"=1'-0"	4,360 Sq. Ft.	PHR20-743
PROJECT NAME	DRAWING #		
ALEX AQUIN 601 Green Mountain Rd. E Stoney Creek, Ont.	S1		

Detailed Buildings  
P.O. Box 8  
Rockton, Ont. L0R 1X0

Copy

PLAN

## SHOWS

PART OF LOT 14 CONCESSION 5

TOWNSHIP OF SALT FLEET

FROM THE

TOWN OF STONEY CREEK

SCALE: 1" = 30'

