

Hamilton

COMMITTEE OF ADJUSTMENT

City Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5
Telephone (905) 546-2424, ext. 4221, 3935 Fax (905) 546-4202
E-mail: cofa@hamilton.ca

NOTICE OF PUBLIC HEARING
Minor Variance

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
 - Applicant/agent on file, or
 - Person likely to be interested in this application
-

APPLICATION NO.: HM/A-20:134

APPLICANTS: Brent Vanderwoude on behalf of the owner Sean Dowell

SUBJECT PROPERTY: Municipal address **175 Montrose Ave., Hamilton**

ZONING BY-LAW: Zoning By-law 6593, as Amended

ZONING: "C" (Urban Protected Residential, etc.) district

PROPOSAL: To permit the construction of a westerly 2.13m (7') x 3.56m (11'8") dormer addition and to convert the existing single-family dwelling to contain two dwelling units and to recognize the location of an existing 5.48m (18'0") x 7.31m (24'0") accessory building (existing garage) notwithstanding that:

1. A minimum floor area of 56m² shall be provided for the basement dwelling unit instead of the requirement that each dwelling unit shall have a floor area of at least 65m² for a residential conversion.
2. The external appearance of the dwelling shall permitted to be altered by the dormer addition, new windows and doors and blocking of existing windows and doors instead of the requirement that the external appearance and character of the dwelling shall be preserved for a residential conversion.
3. The manoeuvring for the two (2) parking spaces in the rear yard for both dwelling units shall be located partially off-site and on the Malta Drive road allowance instead of the requirement that the manoeuvring for one parking space for one of the dwelling units may be permitted off-site for a residential conversion.
4. A minimum front yard depth of 5.9m shall be recognized instead of the minimum required front yard depth of 6.0m.
5. A minimum easterly side yard of 4.2m shall be recognized for the existing accessory building instead of the minimum required side yard of 6.0m.

NOTE:

- i) Be advised that Variance No. 4 is intended to recognize the location of the existing building which appears to be a result due to an error in construction.
- ii) Be advised that the location of basement walkout does not constitute an encroachment into a required yard provided the foundation wall does not project not more than 150 mm above the adjacent grade, with or without a guard. The plans submitted show the foundation

wall projecting 150mm above adjacent grade which conforms to a building policy. Be advised that if this wall projects more than 150mm above adjacent grade, a further variance shall be required for a non-complying westerly side yard width.

This application will be heard by the Committee as shown below:

DATE: Thursday, October 22nd, 2020
TIME: 1:45 p.m.
PLACE: Via video link or call in (see attached sheet for details)
To be streamed at www.hamilton.ca/committeeofadjustment for viewing purposes only

PUBLIC INPUT

Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.


Orally: If you would like to speak to this item at the hearing you may do so via video link or by calling in. Please see attached page for complete instructions, including deadlines for registering to participate.

MORE INFORMATION

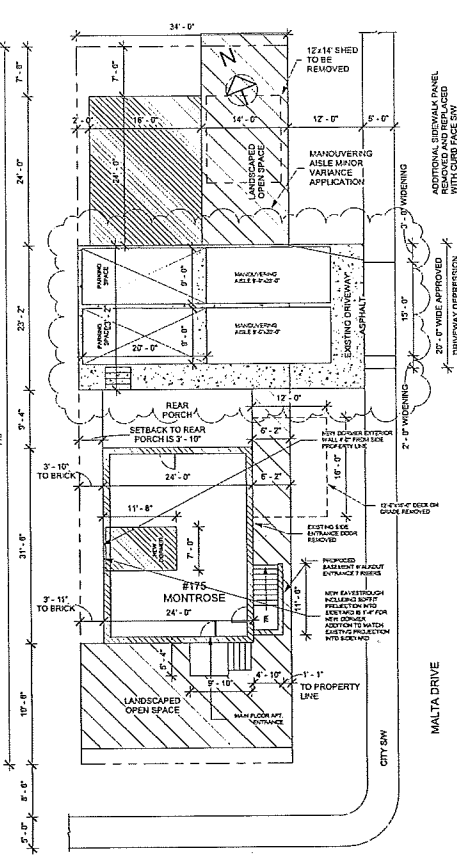
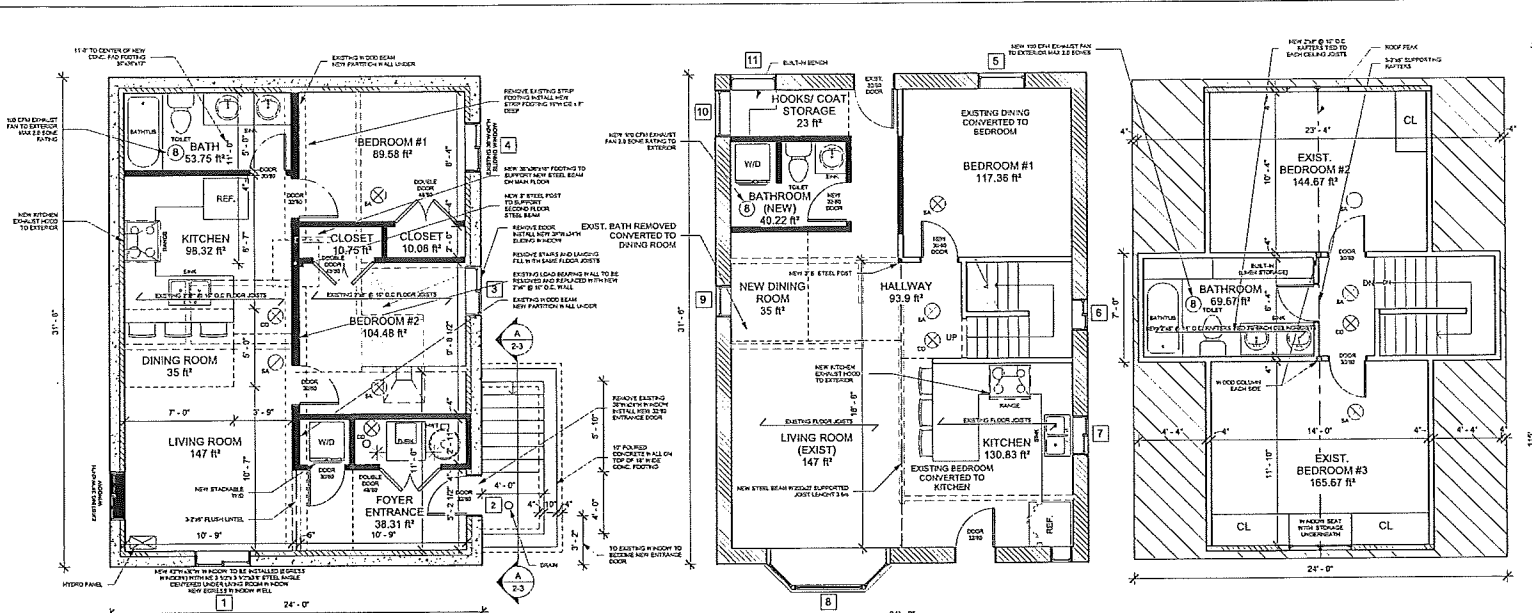
For more information on this matter, including access to drawings illustrating this request:

- Visit www.hamilton.ca/committeeofadjustment
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935
- Email Committee of Adjustment staff at cofa@hamilton.ca

DATED: October 6th, 2020.


Jamila Sheffield,
Secretary-Treasurer
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public.



- ⊗ - HARD WIRED INTERCONNECTED COMBINATION SMOKE/STROBE ALARMS MAIN FLOOR AND BASEMENT APARTMENT.
- ⊗ - HARD WIRED INTERCONNECTED CO ALARMS MAIN FLOOR AND BASEMENT APARTMENT.
- * - SPRINKLER HEAD VICTUALIX 2707/2708 PENDANT TYPE (SEE CONNECTION DETAIL AND CALCULATION)
- - NEW W44 WALL ASSEMBLY STC 50 (SOUND RATING)
- - NEW NON RATED PARTITION WALLS 2"x4" @ 16" O.C. WITH 1/2" DRYWALL EACH SIDE
- - EXISTING WALLS TO BE REMOVED
- 612 R² ACCESSORY DWELLING UNIT
- ⊗ - HARD WIRED INTERCONNECTED COMBINATION SMOKE/STROBE ALARMS MAIN FLOOR AND BASEMENT APARTMENT.
- ⊗ - HARD WIRED INTERCONNECTED CO ALARMS MAIN FLOOR AND BASEMENT APARTMENT.
- - NEW 30 MINUTE FIRE RATED WALLS W44 - WALL ASSEMBLY (SEE DETAIL)
- - EXISTING MAIN FLOOR WALLS AND CEILING ARE PLASTER CONSTRUCTION
- - EXISTING SECOND FLOOR WALLS AND CEILING ARE PLASTER CONSTRUCTION
- - EXISTING WALLS TO BE REMOVED

PROPOSED BASEMENT APARTMENT 612.0 ft²
PROPOSED MAIN FLOOR APARTMENT INCLUDING SECOND STOREY AND NEW DORMER ADDITION IS 1092 ft²

1 **Basement**
1/4" = 1'-0"

HAMILTON SNOW LOAD 1.1 KPA

2 **Main Floor**
1/4" = 1'-0"

NATURAL LIGHT 9.7.2.3. (PART II COMPLIANCE ALTERNATIVE) / NATURAL VENTILATION WINDOW SIZES / (WINDOW GLASS AREA) (F.S) (G.A)						
MAIN FLOOR REVISED WINDOW COMPLIANCE						
REQ'D % WINDOW	ROOMS FRAME SIZE (GLASS AREA)	ROOM AREAS SOFT	WINDOW SIZE *TYPE	MIN. NAT. LIGHT REQ'D	NATURAL VENT / MECHANICAL VENT IN ACCORDANCE 9.32.3	WINDOW COMPLY
5%	BEDROOM #1 FS- 36"Wx60"H (GA- 34"Wx58"H)	117.36 R ²	EXISTING DOUBLE HUNG 38"Wx60"H TO REMAIN	2.94 R ² REQ'D 13.70 R ² PROVIDED	WINDOWS 1/2 OPENABLE 6.85 R ² PROVIDED TYPE 1, 9.32.3	YES
NON	STAIRWELL FS- 24"Wx24"H	N/A	EXISTING SLIDER 24"Wx24"H TO REMAIN	NON REQ'D 4.0 R ² PROVIDED	WINDOWS 1/2 OPENABLE 2.0 R ² PROVIDED TYPE 1, 9.32.3	YES
NON	KITCHEN REDUCED SIZE TO FS- 30"Wx36"H (GA- 28"Wx34"H)	130.83 R ²	EXISTING DOUBLE HUNG 30"Wx60"H REDUCED IN SLIDER TO F.S 30"Wx36"H	NON REQ'D 7.5 R ² PROVIDED	WINDOW 1/2 OPENABLE 3.75 R ² PROVIDED TYPE 1, 9.32.3	YES
5%	LR. BAY CENTER FIXED FS- 60"Wx60"H 2 SIDE CASEMENT FS- 18"Wx60"H	147 R ²	EXISTING BAY WINDOW CENTER FIXED FS- 60"Wx60"H 2 SIDE CASEMENT FS- 18"Wx60"H	7.35 REQ'D 35.24 R ² PROVIDED	2 CASEMENT OPENABLE 12.88 R ² PROVIDED TYPE 1, 9.32.3	YES
5%	D.R. FS- 24"Wx60"H (GA- 22"Wx58"H)	35 R ²	EXISTING DOUBLE HUNG 24"Wx60"H TO REMAIN	1.75 R ² REQ'D 8.85 R ² PROVIDED	WINDOW 1/2 OPENABLE 4.43 R ² PROVIDED TYPE 1, 9.32.3	YES
NON	COAT STORAGE FS- 30"Wx60"H (GA- 28"Wx58"H)	23 R ²	EXISTING DOUBLE HUNG 30"Wx60"H TO REMAIN	NON REQ'D 12.5 R ² PROVIDED +	WINDOW 1/2 OPENABLE 6.25 R ² PROVIDED +	YES
NON	COAT STORAGE FS- 36"Wx48"H (GA- 34"Wx46"H)		EXISTING DOUBLE HUNG 36"Wx48"H TO REMAIN	12.0 R ² PROVIDED TOTAL 24.5 R ² PROVIDED	WINDOW 1/2 OPENABLE 6.0 R ² PROVIDED TOTAL 12.25 R ² PROVIDED TYPE 1, 9.32.3	YES

NATURAL LIGHT 9.7.2.3. (PART II COMPLIANCE ALTERNATIVE) / NATURAL VENTILATION WINDOW SIZES / (WINDOW GLASS AREA) (F.S) (G.A)						
BASEMENT APT. WINDOW COMPLIANCE						
REQ'D % WINDOW	ROOMS FRAME SIZE (GLASS AREA)	ROOM AREAS SOFT	WINDOW SIZE *TYPE	MIN. NAT. LIGHT REQ'D	NATURAL VENT / MECHANICAL VENT IN ACCORDANCE 9.32.3	WINDOW COMPLY
5% +	COMBINATION ROOM L.R.+D.R. NEW FS- 42"Wx36"H (GA- 40"Wx34"H) EXISTING FS- 38"Wx24"H (GA- 36"Wx22"H)	145 R ² + 35 R ² TOTAL 180 R ²	NEW SLIDING EGRESS WINDOW WITH NEW 3 1/2"x3 1/2"x3/8" STEEL ANGLE OVER FOR BRICK EXISTING SLIDING WINDOW TO BE REPLACED WITH NEW ENTRANCE DOOR	9.0 R ² REQ'D 9.44 R ² PROVIDED	WINDOWS 1/2 OPENABLE 4.72 R ² PROVIDED TYPE 1, 9.32.3	YES
2.5%	BEDROOM #2 NEW FS- 38"Wx24"H (GA- 36"Wx22"H)	104.48 R ²	EXISTING DOOR TO BE REMOVED. INSTALL NEW 3 1/2"x3 1/2"x3/8" STEEL ANGLE OVER FOR BRICK	2.61 R ² REQ'D 5.5 R ² PROVIDED	WINDOWS 1/2 OPENABLE 2.75 R ² PROVIDED TYPE 1, 9.32.3	YES
2.5%	BEDROOM #1 FS- 38"Wx24"H (GA- 36"Wx22"H)	89.58 R ²	EXISTING SLIDING WINDOW TO BE REPLACED WITH NEW SAME SIZE	2.24 R ² REQ'D 5.5 R ² PROVIDED	WINDOW 1/2 OPENABLE 2.75 R ² PROVIDED TYPE 1, 9.32.3	YES

CONTRACTOR MUST VERIFY AND ACCEPT RESPONSIBILITY FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND MUST REPORT ANY DISCREPANCIES TO THE DESIGNER BEFORE PROCEEDING WITH WORK. ALL CHANGES MUST BE AUTHORIZED & APPROVED BY THE DESIGNER.

J. H. Horta & Commercial Inspection Services
 175 Montrose Ave., Hamilton, ON
 905-571-1111
 www.jhhinspection.com

JOHN KEDZIERSKI HOME INSPECTION SERVICES

175 Montrose Av., Hamilton, ON

Revision Schedule		
No.	Description	Date
11	100% Review	Sept 2, 2020

FOR PERMIT BUILDING 25-Sep-20 10:30:28 AM

PROJECT NAME:
PROPOSED BASEMENT APARTMENT

SHEET TITLE:

FLOOR PLANS / WINDOW CHART

JOB: 00000
 SCALE: As Indicated
 SHEET No. 1-3

PROPOSED BASEMENT APT - 175 MONTROSE AVE., HAMILTON

- 612 ft² BASEMENT APARTMENT PROPOSED
- Current use - Single Family Dwelling
- Building approx. 50 years old.
- 1.1.2.6. Application of Part 11(1)Part 11 of Division B applies to the design and construction of existing buildings, or parts of existing buildings, that have been in existence for at least five years.
- **PROPOSED LOWEST CEILING HEIGHT IN BASEMENT TO DRYWALL UNDER DUCTWORK IS 6'-5"**

OBC REVIEW- PART 9 SFD WITH BASEMENT APARTMENT

SEPARATE ENTRANCES PROVIDED FOR MAIN FLOOR AND BASEMENT DWELLING UNIT - Totally separated, existing side door to basement removed, floor framed in, new basement window installed, new separate basement walkout to be constructed, directly to exterior from basement.

9.9.10.1.(1) EGRESS WINDOW PROVIDED FOR BASEMENT APT. - NEW Dining Room Window 42" wide x 36" high - no opening less than 15", min. open area of 3.8ft²

PROPOSED FIRE SEPARATION/ FIRE RESISTANCE RATING NOTES

Ontario Building Code Review

- **9.10.8.1 Fire Resistance Ratings for Floors** - Table 9.10.8.1 - 45 minutes required, using Part 11 Compliance Alternative - 15 Minutes Permitted
- **Propose 15 Minute Fire Resistance Rating For Horizontal Fire Separation in accordance with Part 11 Compliance Alternative C147** (page 49, Division B) Sentence (b) - In detached houses, semi-detached houses, ...containing not more than two dwelling units, 15 min horizontal fire separation is acceptable where.
 1. Smoke alarms are installed in every dwelling unit and in common areas in conformance with Subsection 9.10.19., and
 2. Smoke alarms are interconnected

FIRE SEPARATION/ FIRE RESISTANCE RATINGS AND NOTES:

1. PROPOSE TO INSTALL SMOKE ALARMS AS PER ABOVE.
- 2) **PROPOSED HORIZONTAL FIRE SEPARATION ON BASEMENT CEILING - REQ'D. TO PROVIDE MIN. 15 MINUTE FRR (FIRE RESISTANCE RATING)- STC (SOUND TRANSMISSION) OF 50**

 PROPOSING TO USE SUPPLEMENTARY STANDARD SB-3 -ASSEMBLY - F8D (PROVIDES 30 MINUTE FRR AND 50 STC RATING) - FLOOR JOIST CAVITY FILLED WITH ABSORPTIVE MATERIAL - RESILIENT METAL CHANNEL SPACED AT 24" OC - 1 LAYER 5/8" TYPE X - FIRE RATED DRYWALL. (SEE CEILING SECTION - DETAILS)
- 3) **SERVICE ROOM IS TO BE SPRINKLERED** (see sprinkler calculations)- NO FIRE SEPARATION ON CEILING. - W4A WALL ASSEMBLY PROPOSED TO SATISFY SOUND TRANSMISSION RATING OF 50, SINCE A FRR RATING ON SERVICE ROOM WALLS NOT REQUIRED WITH SPRINKLER PROTECTION CONSTRUCTED IN ACCORDANCE WITH - SUPPLEMENTARY STANDARD SB-3 - W4A WALL ASSEMBLY - PROVIDES STC50 - 2X4 STUDS AT 16" OC, STUD CAVITY FILLED WITH ABSORPTIVE MATERIAL, 2 LAYERS 5/8" TYPE X FIRE RATED DRYWALL ON RESILIENT METAL CHANNEL SIDE, ONE LAYER OF 5/8" TYPE X FIRE RATED DRYWALL ON OTHER SIDE - FROM CONCRETE TO FLOOR SHEATHING ABOVE), DOOR TO SERVICE ROOM IS NOT RATED, BUT MUST BE LOCKABLE.

 VERTICAL WALLS ADJACENT TO FOUNDATION TO BE CONSTRUCTED IN ACCORDANCE WITH WALL ASSEMBLY W1C-SB3 - PROVIDING FIRE RESISTANCE RATING OF 30 MINUTES - (SEE FOUNDATION WALL SECTION)

4) **9.10.13.1 Doors, Dampers and Other Closures In Fire Separations** - Table 9.10.13.1. Fire Protection Rating for Closures (In fire separations)

- **Non Required for a 15 minute Fire Separation - Chart requires Closures for Fire Separations requiring a FRR rating beginning with 30 minutes.**
- **9.10.13.13. Fire Dampers (Ducts Penetrating Fire Separations)** - Part 11 Compliance Alternative C167/C168 (Division B - page 50)
- **C167-**in a building containing not more than 4 dwelling units, the existing heating or air-conditioning system may be altered to serve more than one dwelling unit, provided smoke alarms are installed in each dwelling unit and provided a smoke detector is installed in the supply or return air duct system serving the entire building which would turn off the fuel supply and electrical power to the heating system upon activation of such detector.
 Proposing to install the above requirements, therefore fire dampers will not be required.

5) **9.10.18.5 - SMOKE DETECTOR REQUIRED IN RECIRCULATING AIR HANDLING SYSTEM - SMOKE DETECTOR INSTALLED IN RETURN AIR PLENUM, UPON DETECTION OF SMOKE FURNACE IS SHUT DOWN,**

6) **9.10.19. SMOKE ALARMS - SHALL BE HARD WIRED AND INTERCONNECTED** (BASEMENT AND MAIN FLOOR), INSTALLED IN EVERY SLEEPING ROOM, EVERY HALLWAY ADJACENT TO SLEEPING ROOMS, EVERY LEVEL, MUST BE AUDIBLE AND VISUAL.

7) **9.33.4. CARBON MONOXIDE ALARMS - SHALL BE HARD WIRED/ INTERCONNECTED/ INSTALLED IN EACH SUITE OF RESIDENTIAL OCCUPANCY ADJACENT TO EACH SLEEPING AREA IN SUITE, IN SERVICE ROOM WITH FUEL BURNING APPLIANCE.**

8) PROTECTION OF WOOD/ STEEL BEAMS AND COLUMNS

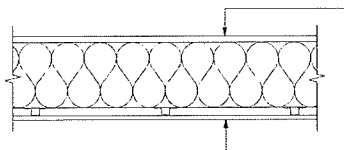
- **9.10.8.3 Fire Resistance Ratings for Walls, Columns and Arches** - (1) Except as otherwise,all loadbearing walls, steel/wood beams, columns, in the storey immediately below a floor or roof assembly shall have a fire-resistance rating of not less than that required for the supported floor or roof assembly. - **TO BE FRAMED WITH 2X4 STUDS AND CLAD WITH 5/8" TYPE X DRYWALL TO PROVIDE 15 MINUTE FRR(MINIMUM REQUIRED), USING SB-2 METHOD OF CALCULATION 2.3.4. (60 MINUTE ACTUAL FRR. ACHIEVED)**

9) **WINDOWS** (See Basement Window Chart for Window Compliance)
9.7.2.3. Minimum Window Areas - Basement Window Areas - Part 11 Compliance Alternative C107....windows may be reduced by 50%
 Proposed Combination Dining Room/Living Room- 9.5.1.4. Combination Rooms(1) Two or more areas may be considered as a combination room.....Kitchen does not require Natural Lighting

WINDOWS Main Floor (See Main Floor Window Chart for Compliance)

- Main Floor Plan is altered from existing, please see Main Floor plan and Window Chart for Compliance

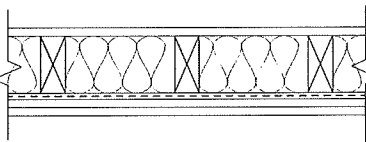
NEW CEILING ENTIRE BASEMENT NOT INCLUDING SERVICE ROOM



F8D - CEILING ASSEMBLY

- EX. PLYWOOD SHEATHING
- EXISTING FLOOR JOISTS
- ABSORPTIVE MATERIAL IN CAVITY
- 1/2" RESILIENT METAL CHANNELS @24" O.C
- 1 LAYER OF 5/8" TYPE X GYPSUM BOARD

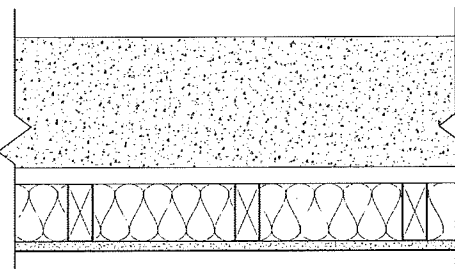
HORIZONTAL FIRE SEPARATION 15 MIN. REQ'D / STC RATING OF 50 REQ'D / 30 MINUTES PROVIDED
 1) 1 1/2" = 1'-0"



W4A - WALL ASSEMBLY:

- 2"x4" STUDS SPACED 16" O.C
- 4" THICK ABSORPTIVE MATERIAL
- 1/2" RESILIENT METAL CHANNELS ON ONE SIDE SPACED 16" O.C.
- 2 LAYERS OF 5/8" TYPE X GYPSUM BOARD ON RESILIENT METAL CHANNEL SIDE
- 1 LAYER OF 5/8" TYPE X GYPSUM BOARD ON OTHER SIDE

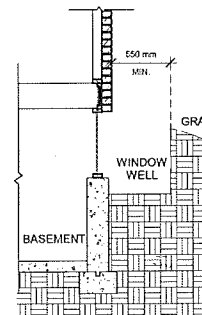
VERTICAL FIRE SEPARATION OF 30 MIN. REQ'D, STC RATING OF 50 REQ'D - 1 HOUR PROVIDED
 2) 3" = 1'-0"



W1C WALL ASSEMBLY AROUND FOUNDATION WALLS 30 MIN. FIRE RESISTANCE RATING PROVIDED

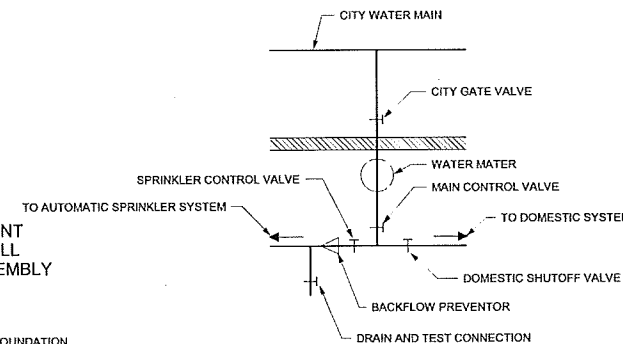
EXTERIOR BASEMENT FOUNDATION WALL DETAIL W1C
 3) 3" = 1'-0"

SECTION A-A
 1/2" = 1'-0"



- 9.9.10. Egress from Bedrooms**
9.9.10.1. Egress Windows or Doors for Bedrooms
 (1) Except where a door on the same floor level as the bedroom provides direct access to the exterior, every floor level containing a bedroom in a suite shall be provided with at least one outside window that,
 (a) is operable from the inside without the use of tools,
 (b) provides an individual, unobstructed open portion having a minimum area of 0.35 m² with no dimension less than 380 mm, and
 (c) maintains the required opening described in Clause (b) without the need for additional support.
 (2) Except for basement areas, the window required in Sentence (1) shall have a maximum sill height of 1 000 mm above the floor.
 (3) When sliding windows are used, the minimum dimension described in Sentence (1) shall apply to the openable portion of the window.
 (5) Where a window required in Sentence (1) opens into a window well, a clearance of not less than 550 mm shall be provided in front of the window.
 (6) Where the sash of a window referred to in Sentence (5) swings towards the window well, the operation of the sash shall not reduce the clearance in a manner that would restrict escape in an emergency.
 (7) Where a protective enclosure is installed over the window well referred to in Sentence (5), such enclosure shall be operable from the inside without the use of keys, tools or special knowledge of the opening mechanism.

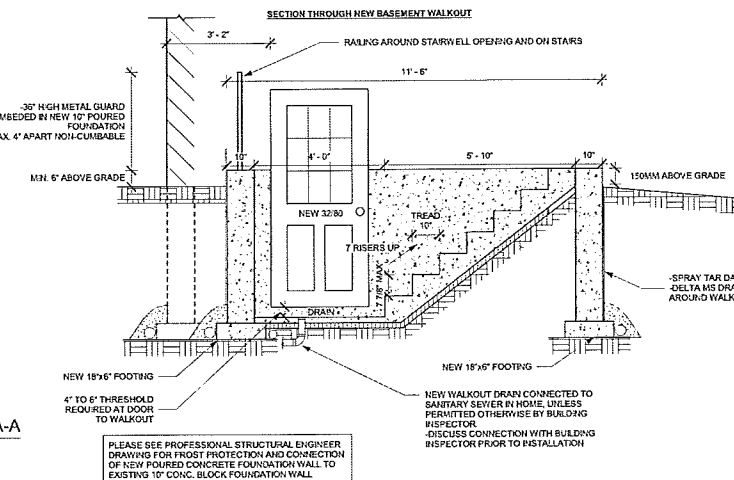
4) WINDOW EGRESS DETAIL
 1/2" = 1'-0"



TYPICAL BASEMENT FOUNDATION WALL W1C - WALL ASSEMBLY

- 8" FOUNDATION WALL
- LAYER TYVEC AGAINST FOUNDATION WALL
- 4" AIRSPACE
- 4" THICK ABSORPTIVE MATERIAL
- 6 MILL VAPOUR BARRIER
- 1/2" REGULAR GYPSUM BOARD
- 30 MIN. FIRE RESISTANCE RATING PROVIDED

5) NEW SPRINKLER CONNECTION DETAIL NFPA 13D-20



PLEASE SEE PROFESSIONAL STRUCTURAL ENGINEER DRAWING FOR FROST PROTECTION AND CONNECTION OF NEW Poured CONCRETE FOUNDATION WALL TO EXISTING 10" CONC. BLOCK FOUNDATION WALL

CONTRACTOR MUST VERIFY AND ACCEPT RESPONSIBILITY FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND MUST REPORT ANY DISCREPANCIES TO THE DESIGNER BEFORE PROCEEDING WITH WORK. ALL CHANGES MUST BE AUTHORIZED & APPROVED BY THE DESIGNER.

John Kedzierski Home Inspection Services
 877-368-5628
 905-576-1111
 416-291-1111

JOHN KEDZIERSKI HOME INSPECTION SERVICES

175 Montrose Av., Hamilton, ON

Revision Schedule		
No.	Description	Date
1	Issued For Permit	Sept. 2, 2020

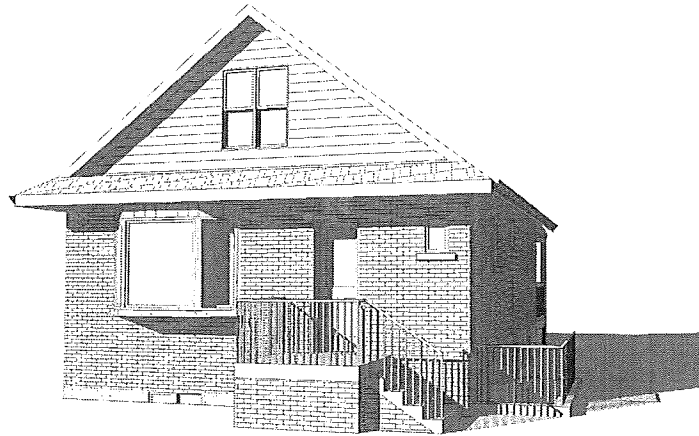
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PROJECT NAME:
PROPOSED BASEMENT APARTMENT

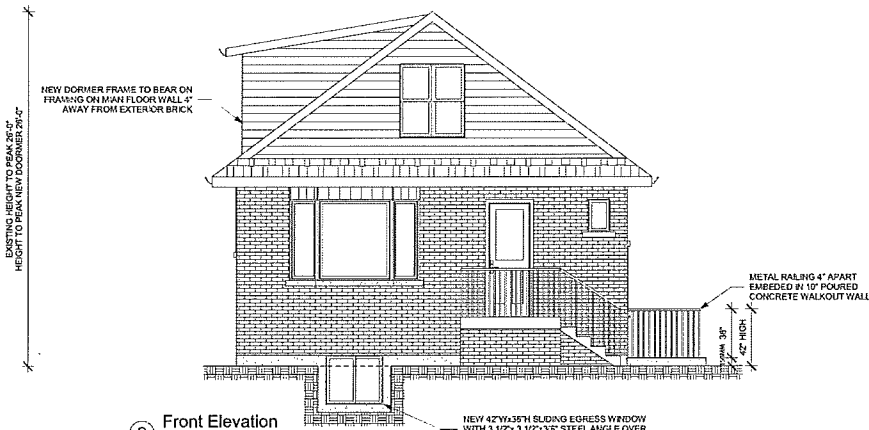
SHEET TITLE:

SECTIONS DETAILS / NOTES

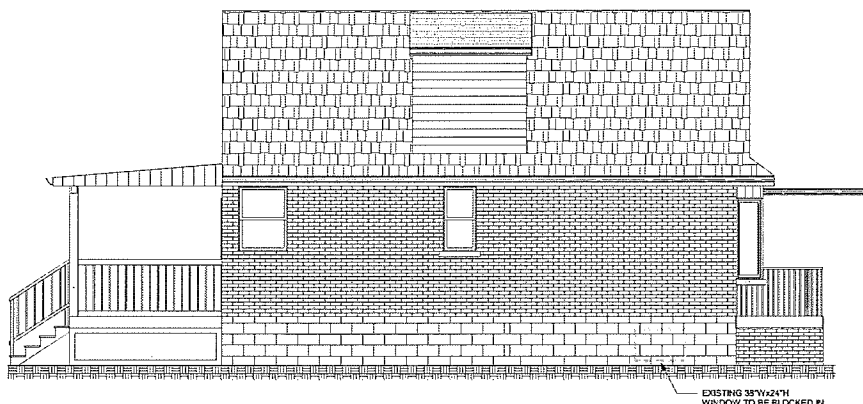
JOB:	0000
SCALE:	As Indicated
SHEET No	2-3



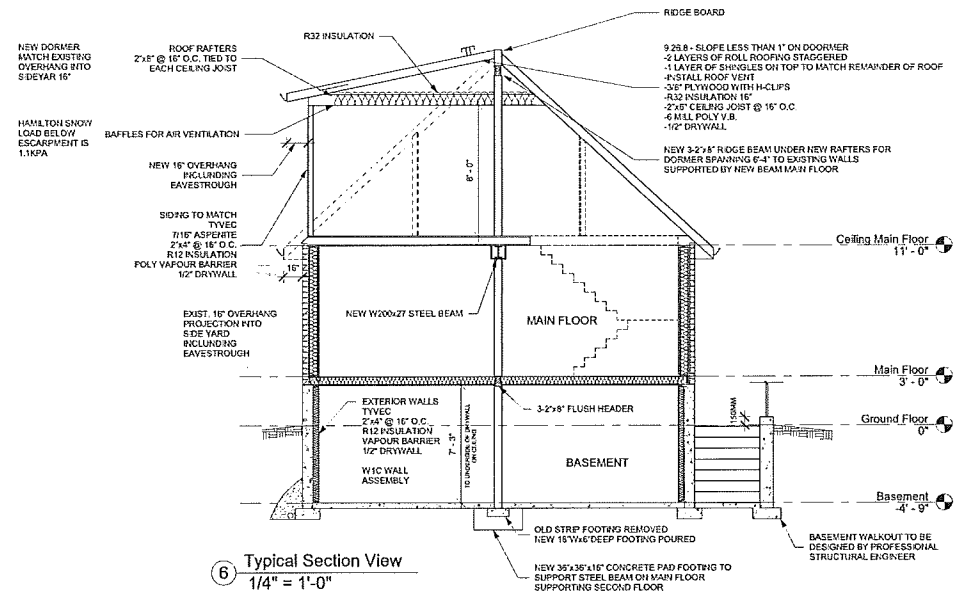
① 3D View



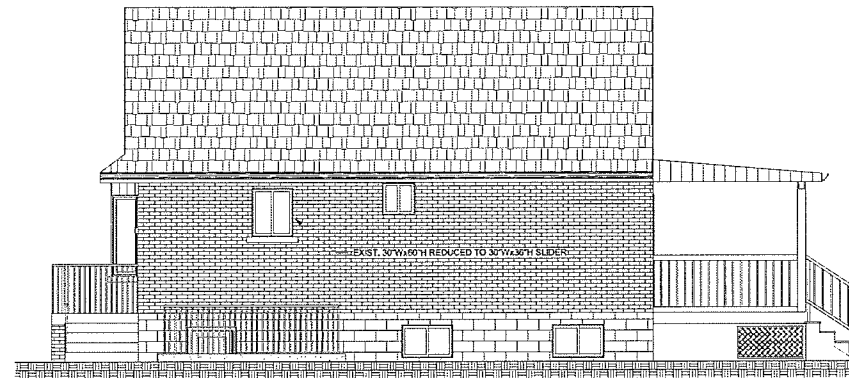
② Front Elevation
1/4" = 1'-0"



④ Left Elevation
1/4" = 1'-0"



⑥ Typical Section View
1/4" = 1'-0"



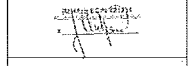
③ Right Elevation
1/4" = 1'-0"



⑤ Rear Elevation
1/4" = 1'-0"

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JK Home & Commercial Inspection Services
www.jkinspection.com
2250 Highway 10, Suite 100
Mississauga, Ontario L4X 1L3
Call: 905.881.8888
www.jkinspection.com



JOHN KEDZIERSKI HOME INSPECTION SERVICES

175 Montrose Av.,
Hamilton, ON

Revision Schedule		
No.	Description	Date
1	Issued	Sept. 2, 2020

FOR PERMIT BUILDING
25-Sep-20 10:30:43 AM

PROJECT NAME:
PROPOSED BASEMENT APARTMENT

SHEET TITLE:
SECTION AND ELEVATIONS

JOB: 00000
SCALE: As Indicated
SHEET No: 3-3

CONTRACTOR MUST VERIFY AND ACCEPT RESPONSIBILITY FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND MUST REPORT ANY DISCREPANCIES TO THE DESIGNER BEFORE PROCEEDING WITH WORK. ALL CHANGES MUST BE AUTHORIZED & APPROVED BY THE DESIGNER.

JK Home & Commercial Inspection Services
 www.jkinspectionsservices.ca
 23Yrs Experience as a City Building Inspector
 BCI # 41234 (Building Code Identification Number)
John Kedzierski (Owner)
 111 Woodward St., St. Catharines ON L2H 4G4
 Call 905-325-4848 (P4477)
 jkhomeinspections@gmail.com

(MMAH BCI# 421234)
John Kedzierski

JOHN KEDZIERSKI HOME INSPECTION SERVICES

JK HOME

175 Montrose Av.,
 Hamilton, ON

Revision Schedule		
No.	Description	Date
1	Totally Revised	Sept. 2, 2020

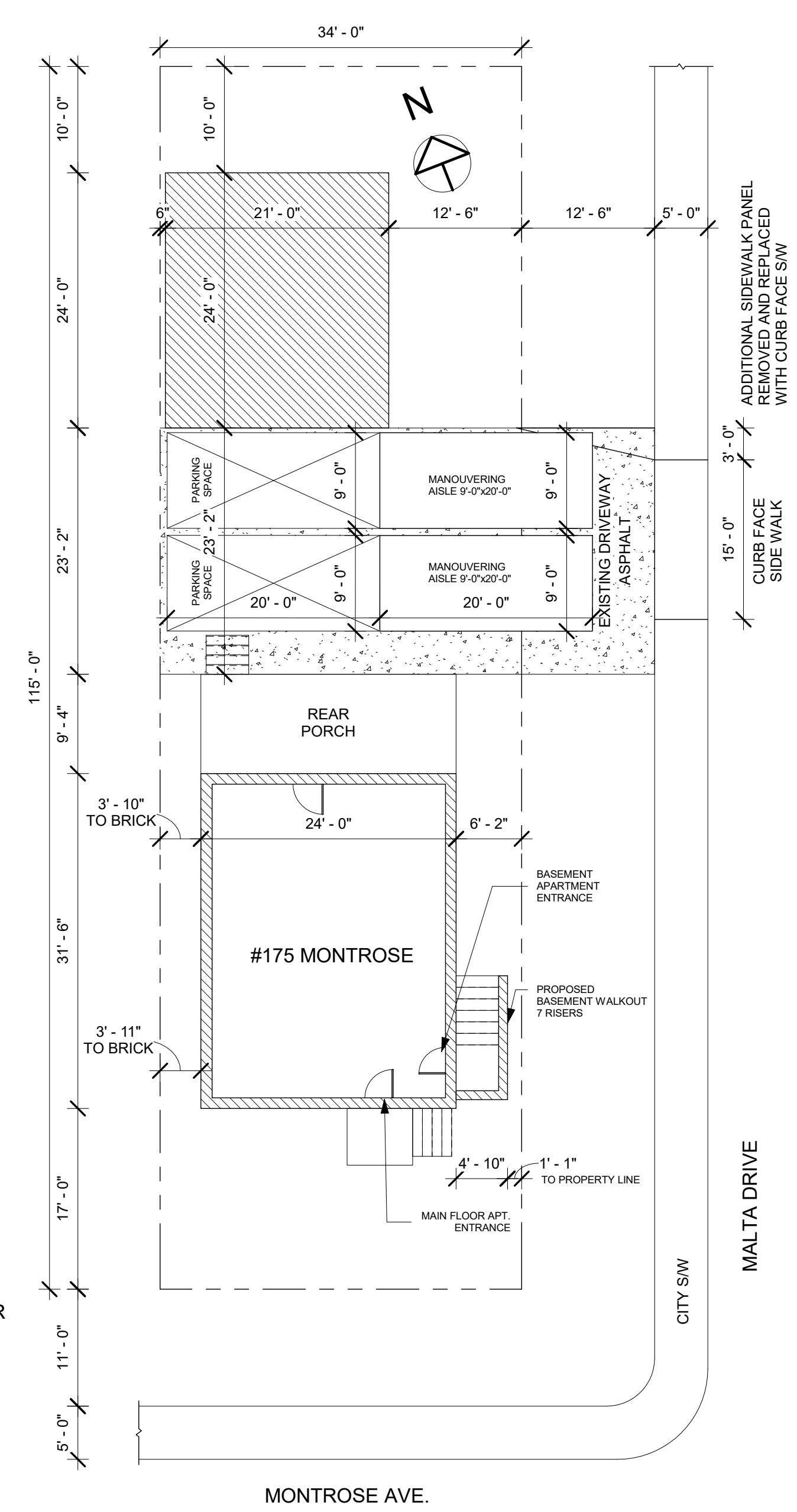
FOR PERMIT BUILDING
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PROJECT NAME:
PROPOSED BASEMENT APARTMENT

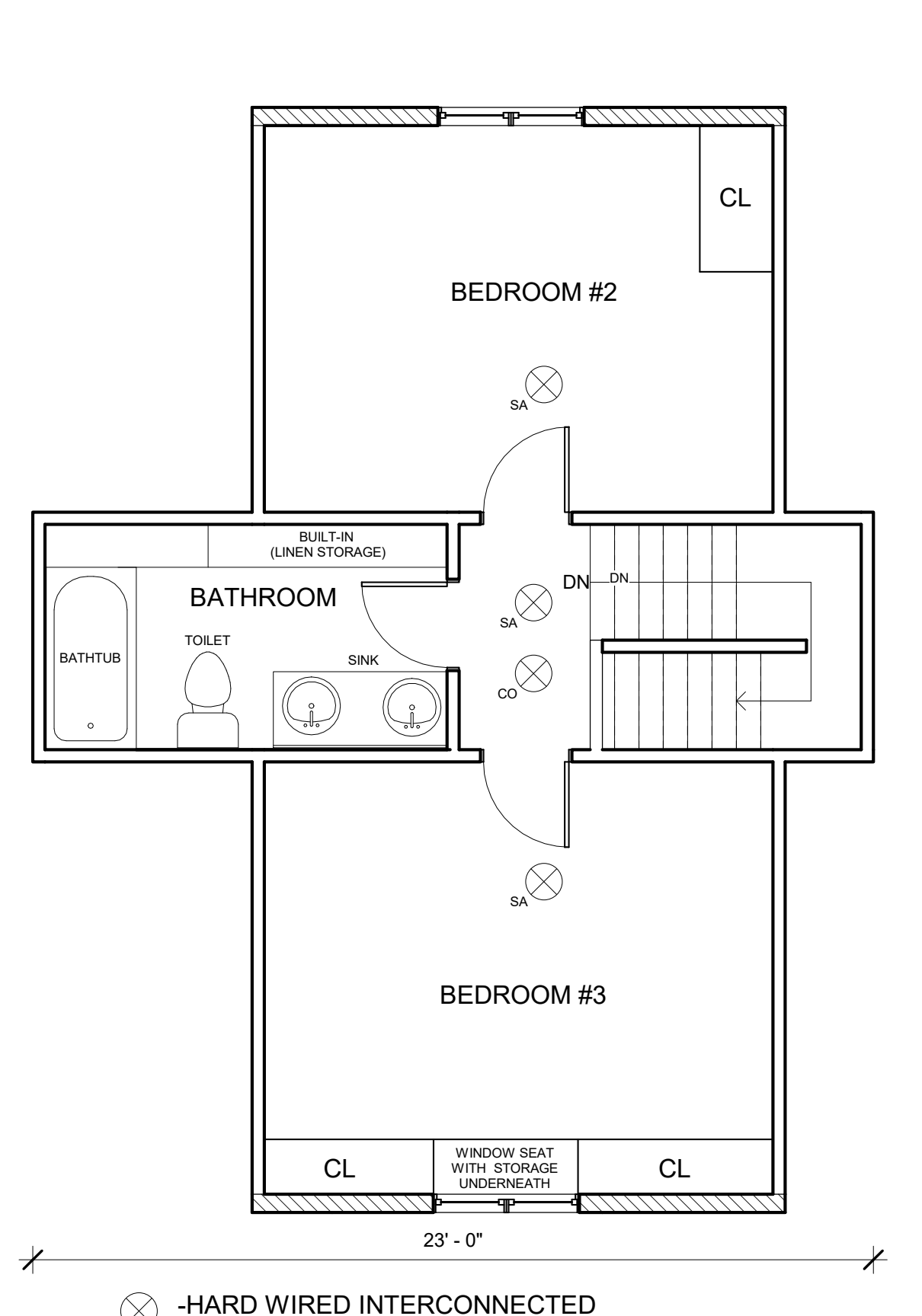
SHEET TITLE:

FLOOR PLANS / WINDOW CHART

JOB: 00000
 SCALE: As indicated
 SHEET No. 1-3



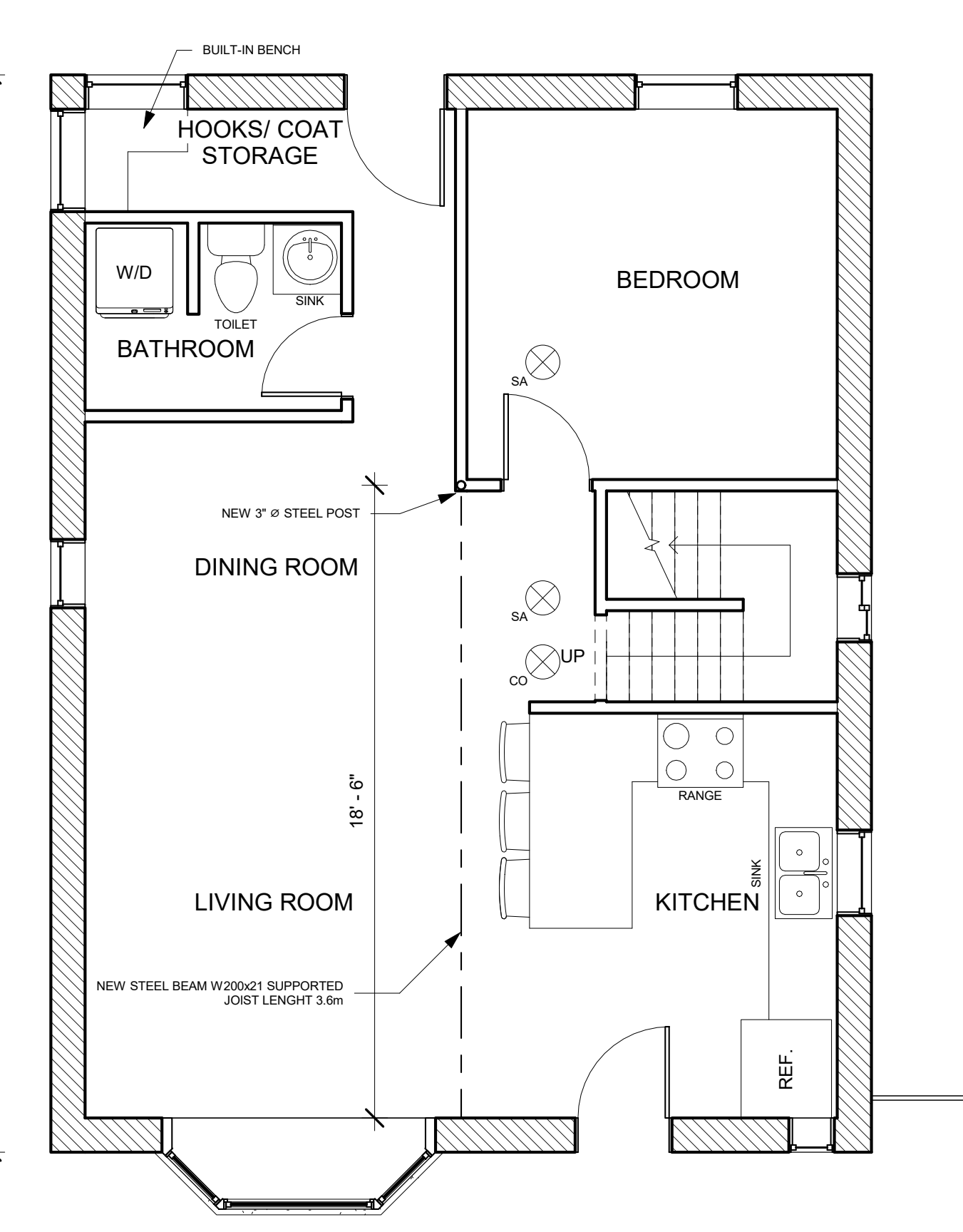
4 Plot Plan
 3/32" = 1'-0"



- SA - HARD WIRED INTERCONNECTED COMBINATION SMOKE/STROBE ALARMS MAIN FLOOR AND BASEMENT APARTMENT.
- CO - HARD WIRED INTERCONNECTED CO ALARMS MAIN FLOOR AND BASEMENT APARTMENT.

EXISTING SECOND FLOOR WALLS AND CEILING ARE PLASTER CONSTRUCTION -16mm PLASTER WITH 9.5mm GYPSUM LATH WITH 2"x4" FRAMING PROVIDES 60 MINUTE FIRE RESISTANCE RATING TABLE 2.3.4B-SB2

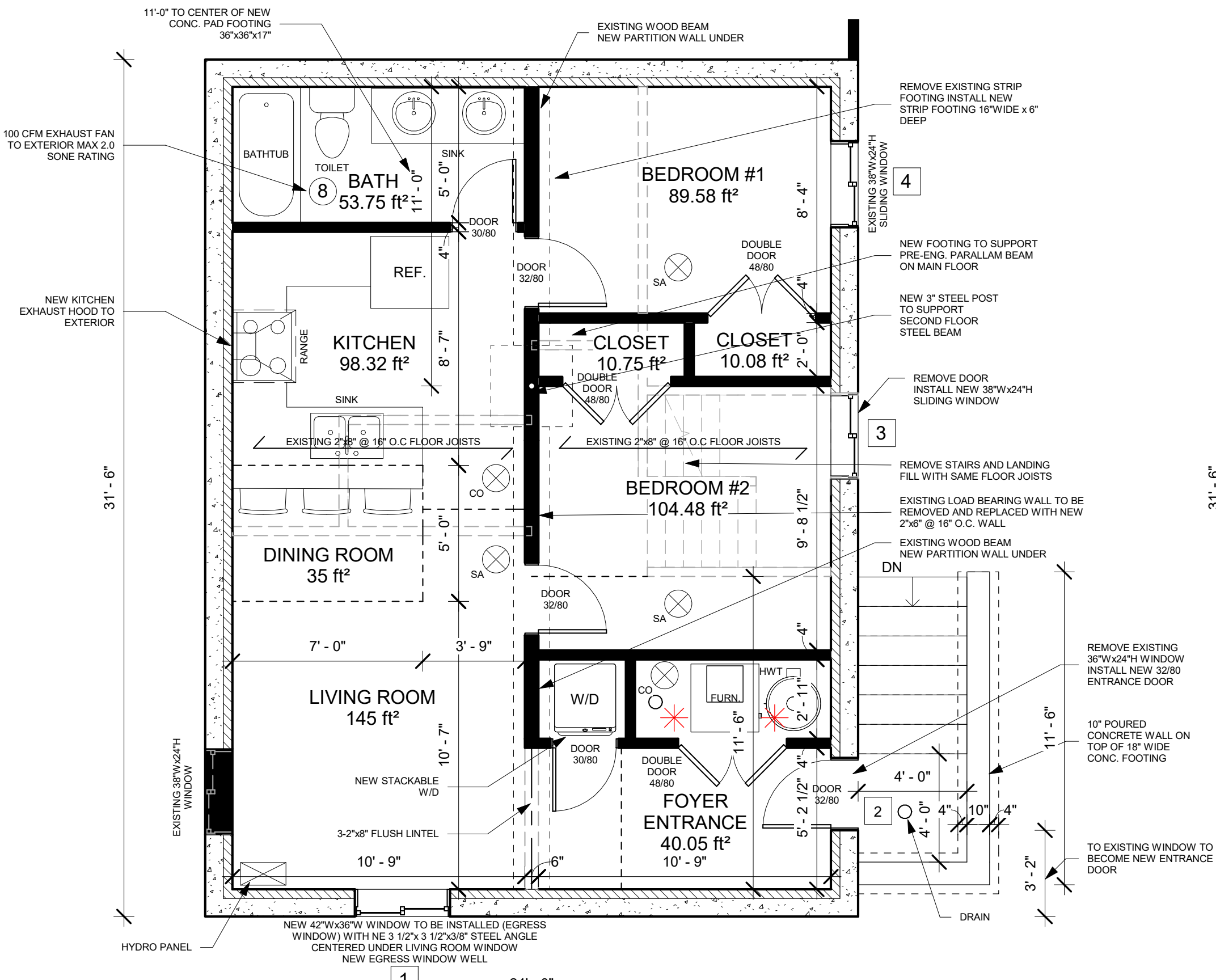
3 Second Floor
 1/4" = 1'-0"



- SA - HARD WIRED INTERCONNECTED COMBINATION SMOKE/STROBE ALARMS MAIN FLOOR AND BASEMENT APARTMENT.
- CO - HARD WIRED INTERCONNECTED CO ALARMS MAIN FLOOR AND BASEMENT APARTMENT.

EXISTING MAIN FLOOR WALLS AND CEILING ARE PLASTER CONSTRUCTION -16mm PLASTER WITH 9.5mm GYPSUM LATH WITH 2"x4" FRAMING PROVIDES 60 MINUTE FIRE RESISTANCE RATING TABLE 2.3.4B-SB2

2 Main Floor
 1/4" = 1'-0"



- SA - HARD WIRED INTERCONNECTED COMBINATION SMOKE/STROBE ALARMS MAIN FLOOR AND BASEMENT APARTMENT.
- CO - HARD WIRED INTERCONNECTED CO ALARMS MAIN FLOOR AND BASEMENT APARTMENT.
- * -SPRINKLER HEAD VICTAULIC 2707/2708 PENDANT TYPE (SEE CONNECTION DETAIL AND CALCULATION)
- NEW W4A WALL ASSEMBLY STC 50 (SOUND RATING)
- NEW NON RATED PARTITION WALLS
- EXISTING WALLS TO BE REMOVED
- 612 ft² ACCESSORY DWELLING UNIT

1 Basement
 1/4" = 1'-0"

NATURAL LIGHT 9.7.2.3. (PART II COMPLIANCE ALTERNATIVE) / NATURAL VENTILATION WINDOW SIZES / (WINDOW GLASS AREA) (F.S) (G.A)						
BASEMENT APT. WINDOW COMPLIANCE						
REQ'D % WINDOW	ROOMS FRAME SIZE (GLASS AREA)	ROOM AREAS SQFT	WINDOW SIZE *TYPE	MIN. NAT. LIGHT REQ'D	NATURAL VENT / MECHANICAL VENT IN ACCORDANCE 9.32.3	WINDOW COMPLY
5% 1 +	COMBINATION ROOM L.R./+D.R. NEW FS- 42"Wx36"H (GA- 40"Wx34"H) EXISTING FS- 38"Wx24"H (GA- 36"Wx22"H)	145 ft² + 35 ft² TOTAL 180 ft²	NEW SLIDING EGRESS WINDOW WITH NEW 3 1/2"x3 1/2"x3/8" STEEL ANGLE OVER FOR BRICK EXISTING SLIDING WINDOW TO BE REPLACED WITH NEW ENTRANCE DOOR	9.0 ft² REQ'D 9.44 ft² PROVIDED	WINDOWS 1/2 OPENABLE 4.72 ft² PROVIDED TYPE 1, 9.32.3	YES
2.5% 3	BEDROOM #2 NEW FS- 38"Wx24"H (GA- 36"Wx22"H)	104.48 ft²	EXISTING DOOR TO BE REMOVED. INSTALL NEW 38"Wx24"H SLIDING WINDOW NEW 3 1/2"x3 1/2"x3/8" STEEL ANGLE OVER FOR BRICK	2.61 ft² REQ'D 5.5 ft² PROVIDED	WINDOWS 1/2 OPENABLE 2.75 ft² PROVIDED TYPE 1, 9.32.3	YES
2.5% 4	BEDROOM #1 FS- 38"Wx24"H (GA- 36"Wx22"H)	89.58 ft²	EXISTING SLIDING WINDOW TO BE REPLACED WITH NEW SAME SIZE	2.24 ft² REQ'D 5.5 ft² PROVIDED	WINDOW 1/2 OPENABLE 2.75 ft² PROVIDED TYPE 1, 9.32.3	YES

CONTRACTOR MUST VERIFY AND ACCEPT RESPONSIBILITY FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND MUST REPORT ANY DISCREPANCIES TO THE DESIGNER BEFORE PROCEEDING WITH WORK. ALL CHANGES MUST BE AUTHORIZED & APPROVED BY THE DESIGNER.

JK Home & Commercial Inspection Services
 www.jkinspectionsservices.ca
 20+ Years Experience as a City Building Inspector
 BCIP # 1234 (Building Code Identification Number)
John Kedzierski (Owner)
 111 Woodward Dr., St. Catharines ON L2M 4G4
 Call: 905-325-4647 (477)
 jkhomeinspections@gmail.com

(MMAH) BCIN #21234



175 Montrose Av.,
Hamilton, ON

Revision Schedule		
No.	Description	Date
1	Totally Revised	Sept. 2, 2020

FOR PERMIT BUILDING
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PROJECT NAME:
PROPOSED BASEMENT APARTMENT

SHEET TITLE:

SECTIONS DETAILS / NOTES

JOB: 00000
 SCALE: As indicated
 SHEET No. 2-3

PROPOSED BASEMENT APT. - 175 MONTROSE AVE., HAMILTON

- **612 f2 BASEMENT APARTMENT PROPOSED**
- Current use - Single Family Dwelling
- Building approx. 60 years old.
- **1.1.2.6. Application of Part 11(1)**Part 11 of Division B applies to the design and construction of existing buildings, or parts of existing buildings, that have been in existence for at least five years.
- **PROPOSED LOWEST CEILING HEIGHT IN BASEMENT TO DRYWALL UNDER DUCTWORK IS 6'-5"**

OBC REVIEW- PART 9 SFD WITH BASEMENT APARTMENT

SEPARATE ENTRANCES PROVIDED FOR MAIN FLOOR AND BASEMENT DWELLING UNIT - upper and lower units separated with a 30 Minute Fire Separation (W4A Assembly - see details), at side door entrance.

9.9.10.1.(1) EGRESS WINDOW PROVIDED FOR BASEMENT APT. - NEW Dining Room Window 42" wide x 36" high - no opening less than 15", min. open area of 3.8ft2

PROPOSED FIRE SEPARATION/ FIRE RESISTANCE RATING NOTES

Ontario Building Code Review

- **9.10.8.1 Fire Resistance Ratings for Floors** - Table 9.10.8.1 - 45 minutes required, using Part 11 Compliance Alternative - 15 Minutes Permitted
- **Propose 15 Minute Fire Resistance Rating For Horizontal Fire Separation in accordance with Part 11 Compliance Alternative C147** (page 49, Division B) Sentence (b) - In detached houses, semi-detached houses....containing not more than two dwelling units, 15 min horizontal fire separation is acceptable where.
 1. Smoke alarms are installed in every dwelling unit and in common areas in conformance with Subsection 9.10.19., and
 2. Smoke alarms are interconnected

FIRE SEPARATION/ FIRE RESISTANCE RATINGS AND NOTES:

1. **PROPOSE TO INSTALL SMOKE ALARMS AS PER ABOVE.**
- 2) **PROPOSED HORIZONTAL FIRE SEPARATION ON BASEMENT CEILING - REQ'D. TO PROVIDE MIN. 15 MINUTE FRR (FIRE RESISTANCE RATING)- STC (SOUND TRANSMISSION) OF 50**

PROPOSING TO USE SUPPLEMENTARY STANDARD SB-3 -ASSEMBLY - F8D (PROVIDES 30 MINUTE FRR AND 50 STC RATING) - FLOOR JOIST CAVITY FILLED WITH ABSORPTIVE MATERIAL - RESILIENT METAL CHANNEL SPACED AT 24" OC - 1 LAYER 5/8" TYPE X - FIRE RATED DRYWALL. (SEE CEILING SECTION - DETAILS)

- 3) **VERTICAL FIRE SEPARATION OF 45 MINUTES IS REQUIRED BETWEEN SEPARATE DWELLING UNITS AS PER SECTION 9.10.9.14 AND 9.10.9.15 - PROPOSING TO USE PART 11 COMPLIANCE ALTERNATIVE C 152 - 30 MINUTE FRR (FIRE RESISTANCE RATING) IS ACCEPTABLE.**

VERTICAL FIRE SEPARATION BETWEEN BASEMENT APARTMENT AND MAIN FLOOR APARTMENT - REQUIRED TO PROVIDE 30MINUTE FRR AND STC RATING OF 50.

PROPOSING TO USE SUPPLEMENTARY STANDARD SB-3 - W4A WALL ASSEMBLY - PROVIDES 1 HOUR FRR, STC50 - 2X4 STUDS AT 16" OC, STUD CAVITY FILLED WITH ABSORPTIVE MATERIAL, 2 LAYERS 5/8" TYPE X FIRE RATED DRYWALL ON RESILIENT METAL CHANNEL SIDE, ONE LAYER OF 5/8" TYPE X FIRE RATED DRYWALL ON OTHER SIDE.

SERVICE ROOM IS TO BE SPRINKLERED (see sprinkler calculations)- NO FIRE SEPARATION ON CEILING. - W4A WALL ASSEMBLY PROPOSED TO SATISFY SOUND TRANSMISSION RATING OF 50, SINCE A FRR RATING ON SERVICE ROOM WALLS NOT REQUIRED WITH SPRINKLER PROTECTION (CONSTRUCTED IN ACCORDANCE WITH NOTE #3 ABOVE FROM CONCRETE TO FLOOR SHEATHING ABOVE). SERVICE ROOM DOOR NOT RATED.

VERTICAL WALLS ADJACENT TO FOUNDATION TO BE CONSTRUCTED IN ACCORDANCE WITH WALL ASSEMBLY W1C-SB3 - PROVIDING FIRE RESISTANCE RATING OF 30 MINUTES - (SEE FOUNDATION WALL SECTION)

- 4) **9.10.13.1 Doors, Dampers and Other Closures in Fire Separations** - Table 9.10.13.1. Fire Protection Rating for Closures (in fire separations)

Non Required for a 15 minute Fire Separation - Chart requires Closures for Fire Separations requiring a FRR rating beginning with 30 minutes.

- **9.10.13.13. Fire Dampers (Ducts Penetrating Fire Separations)** - Part 11 Compliance Alternative C167/C168 (Division B - page 50)
- **C167-**in a building containing not more than 4 dwelling units, the existing heating or air-conditioning system may be altered to serve more than one dwelling unit, **provided smoke alarms are installed in each dwelling unit and provided a smoke detector is installed in the supply or return air duct system serving the entire building which would turn off the fuel supply and electrical power to the heating system upon activation of such detector.**
Proposing to install the above requirements, therefore fire dampers will not be required.

- 5) **9.10.18.5 - SMOKE DETECTOR REQUIRED IN RECIRCULATING AIR HANDLING SYSTEM - SMOKE DETECTOR INSTALLED IN RETURN AIR PLENUM, UPON DETECTION OF SMOKE FURNACE IS SHUT DOWN.**

- 6) **9.10.19. SMOKE ALARMS - SHALL BE HARD WIRED AND INTERCONNECTED** (BASEMENT AND MAIN FLOOR), INSTALLED IN EVERY SLEEPING ROOM, EVERY HALLWAY ADJACENT TO SLEEPING ROOMS, EVERY LEVEL, MUST BE AUDIBLE AND VISUAL.

- 7) **9.33.4. CARBON MONOXIDE ALARMS - SHALL BE HARD WIRED/ INTERCONNECTED/** INSTALLED IN EACH SUITE OF RESIDENTIAL OCCUPANCY ADJACENT TO EACH SLEEPING AREA IN SUITE, IN SERVICE ROOM WITH FUEL BURNING APPLIANCE.

- 8) **PROTECTION OF WOOD/ STEEL BEAMS AND COLUMNS**

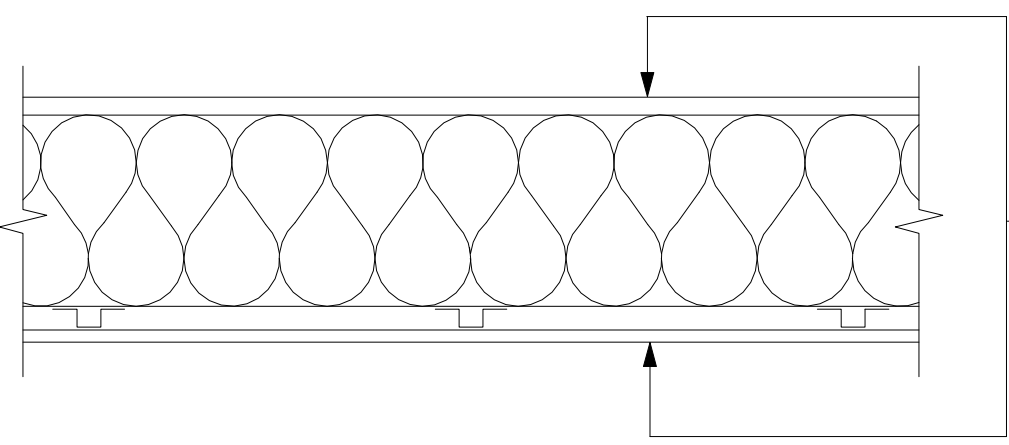
- 9.10.8.3 Fire Resistance Ratings for Walls, Columns and Arches - (1) Except as otherwise.....all loadbearing walls, steel/wood beams, columns.... in the storey immediately below a floor or roof assembly shall have a fire-resistance rating of not less than that required for the supported floor or roof assembly. - **TO BE FRAMED WITH 2X4 STUDS AND CLAD WITH 5/8" TYPE X DRYWALL TO PROVIDE 15 MINUTE FRR(MINIMUM REQUIRED), USING SB-2 METHOD OF CALCULATION 2.3.4. (60 MINUTE ACTUAL FRR. ACHIEVED)**

- 9) **WINDOWS** (See Window Chart for Window Compliance)

9.7.2.3. Minimum Window Areas - Basement Window Areas - Part 11 Compliance Alternative C107....windows may be reduced by 50%

Proposed Combination Dining Room/Living Room- 9.5.1.4. Combination Rooms(1) Two or more areas may be considered as a combination room.....Kitchen does not require Natural Lighting

NEW CEILING ENTIRE BASEMENT NOT INCLUDING SERVICE ROOM



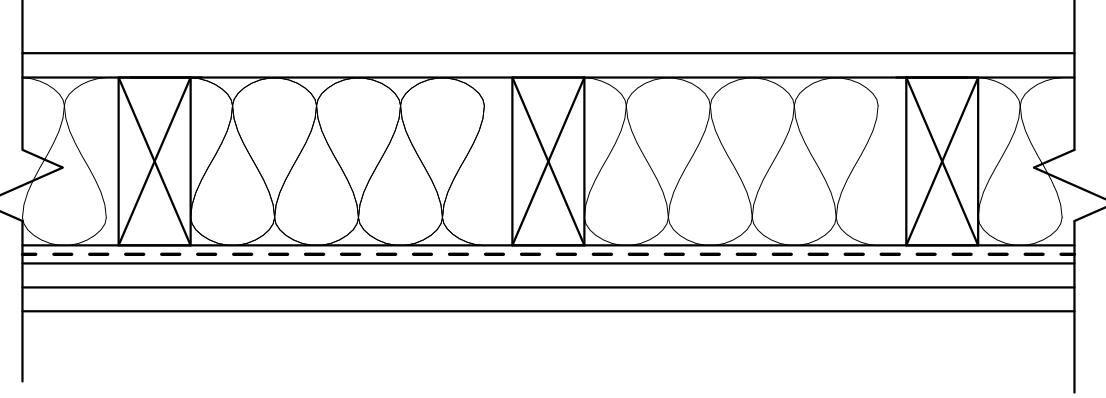
F8D - CEILING ASSEMBLY

- EX. PLYWOOD SHEATHING
- EXISTING FLOOR JOISTS
- ABSORPTIVE MATERIAL IN CAVITY
- 1/2" RESILIENT METAL CHANNELS @24" O.C
- 1 LAYER OF 5/8" TYPE X GYPSUM BOARD

HORIZONTAL FIRE SEPARATION 15 MIN. REQ'D / STC RATING OF 50 REQ'D / 30 MINUTES PROVIDED

1 1 1/2" = 1'-0"

W4A - WALL ASSEMBLY:



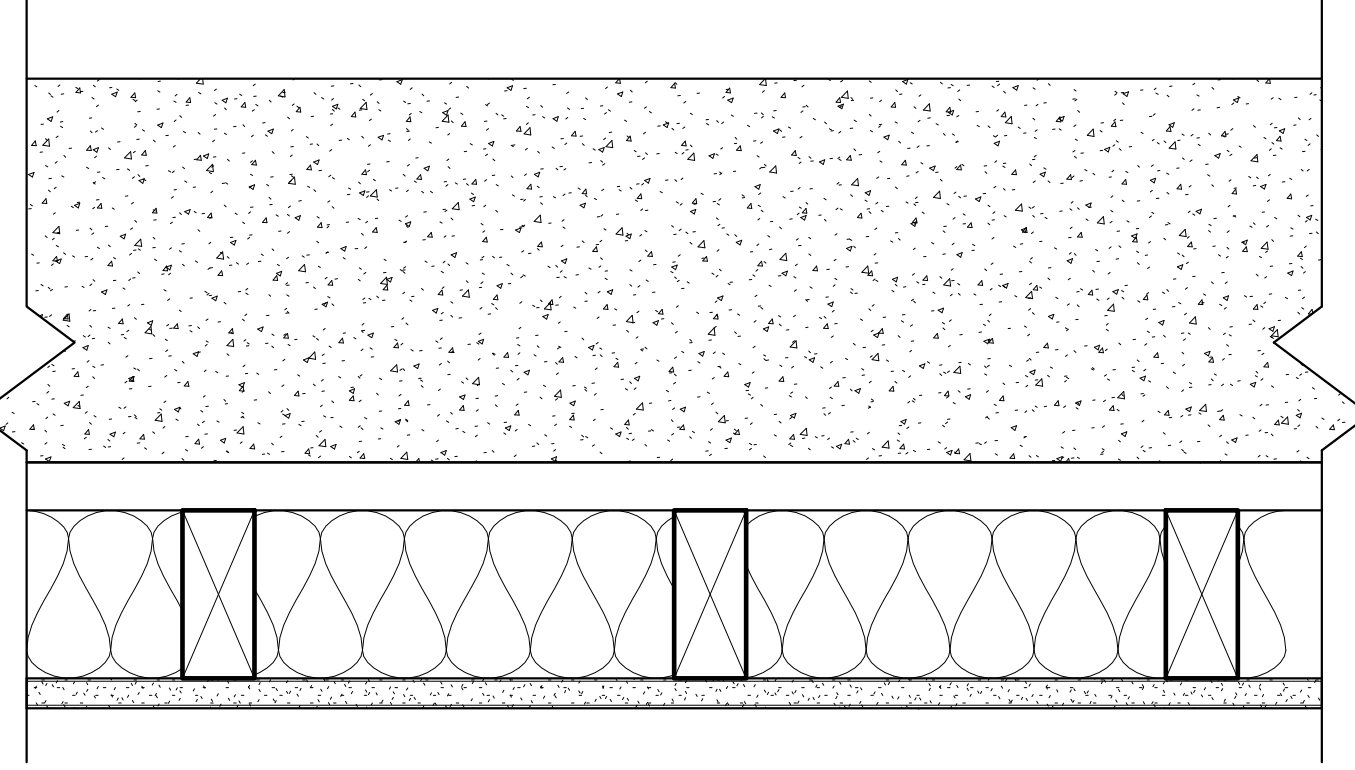
- 2"x4"STUDS SPACED 16" O.C
- 4" THICK ABSORPTIVE MATERIAL
- 1/2" RESILIENT METAL CHANNELS ON ONE SIDE SPACED 16" O.C.
- 2 LAYERS OF 5/8" TYPE X GYPSUM BOARD ON RESILIENT METAL CHANNEL SIDE
- 1 LAYER OF 5/8" TYPE X GYPSUM BOARD ON OTHER SIDE

* SERVICE ROOM - REQUIRES STC RATING OF 50 - ROOM SPRINKLERED FIRE SEPARATION NOT REQ'D

VERTICAL FIRE SEPARATION OF 30 MIN. REQ'D, STC RATING OF 50 REQ'D - 1 HOUR PROVIDED

2 3" = 1'-0"

TYPICAL BASEMENT FOUNDATION WALL W1C - WALL ASSEMBLY

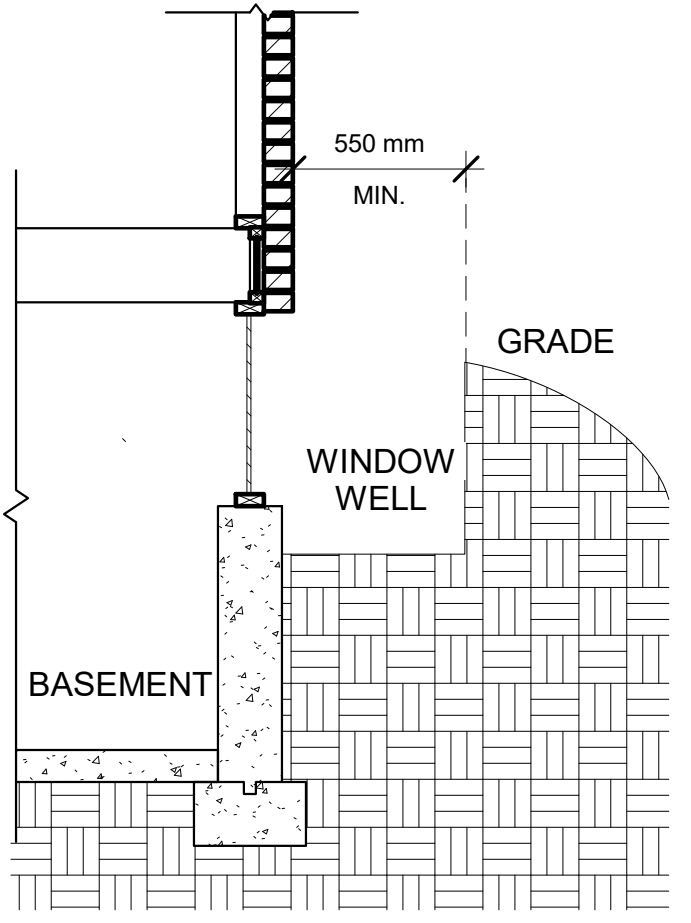


- 8" FOUNDATION WALL
 - LAYER TYVEC AGAINST FOUNDATION WALL
 - 1" AIRSPACE
 - 4" THICK ABSORPTIVE MATERIAL
 - 6 MILL VAPOUR BARRIER
 - 1/2" REGULAR GYPSUM BOARD
- 30 MIN. FIRE RESISTANCE RATING PROVIDED

W1C WALL ASSEMBLY AROUND FOUNDATION WALLS 30 MIN. FIRE RESISTANCE RATING PROVIDED

EXTERIOR BASEMENT FOUNDATION WALL DETAIL W1C

3 3" = 1'-0"



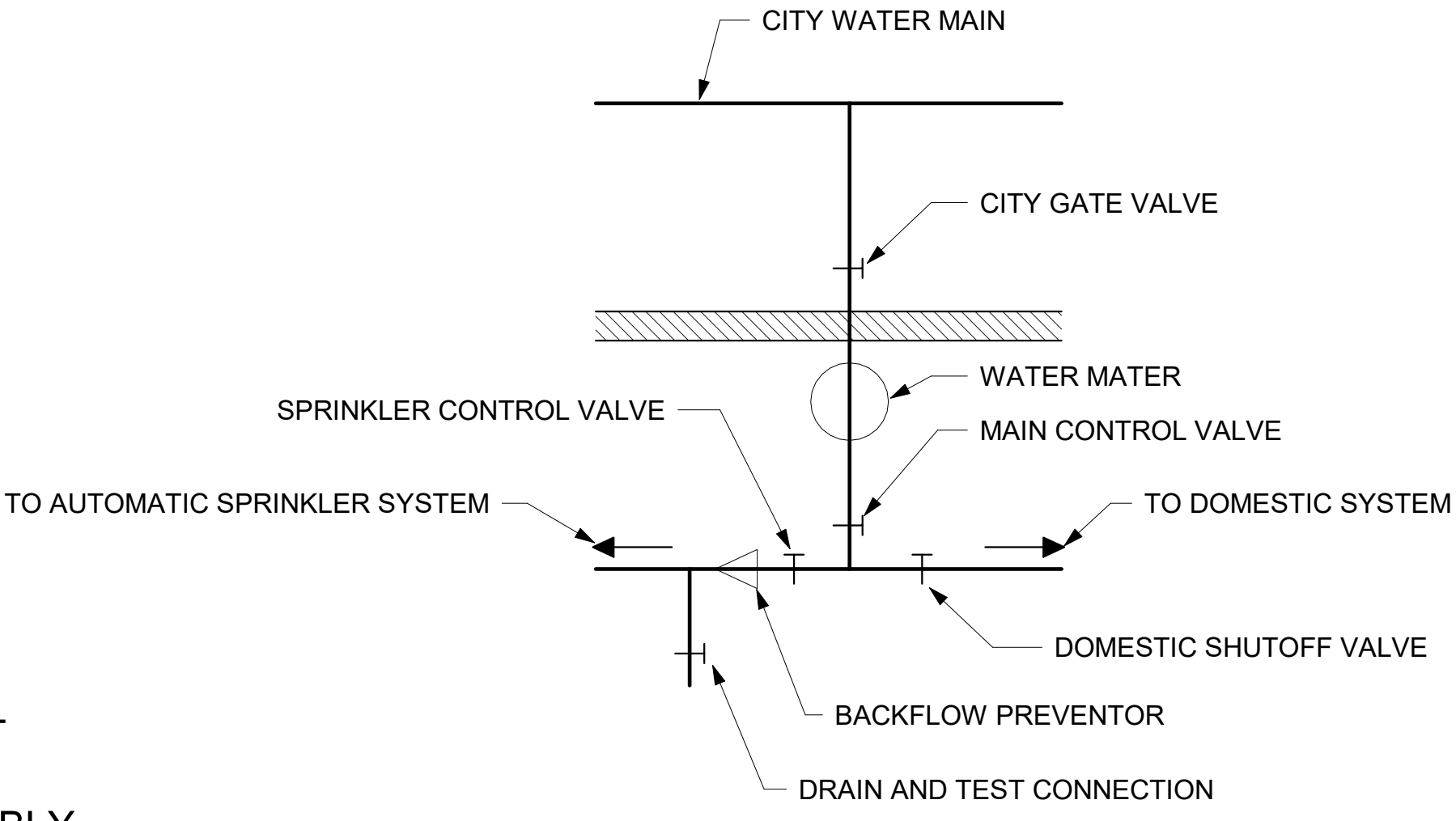
9.9.10. Egress from Bedrooms

9.9.10.1. Egress Windows or Doors for Bedrooms

- (1) Except where a door on the same floor level as the bedroom provides direct access to the exterior, every floor level containing a bedroom in a suite shall be provided with at least one outside window that,
 - (a) is operable from the inside without the use of tools,
 - (b) provides an individual, unobstructed open portion having a minimum area of 0.35 m² with no dimension less than 380 mm, and
 - (c) maintains the required opening described in Clause (b) without the need for additional support.
- (2) Except for basement areas, the window required in Sentence (1) shall have a maximum sill height of 1 000 mm above the floor.
- (3) When sliding windows are used, the minimum dimension described in Sentence (1) shall apply to the operable portion of the window.
- (5) Where a window required in Sentence (1) opens into a window well, a clearance of not less than 550 mm shall be provided in front of the window.
- (6) Where the sash of a window referred to in Sentence (5) swings towards the window well, the operation of the sash shall not reduce the clearance in a manner that would restrict escape in an emergency.
- (7) Where a protective enclosure is installed over the window well referred to in Sentence (5), such enclosure shall be operable from the inside without the use of keys, tools or special knowledge of the opening mechanism.

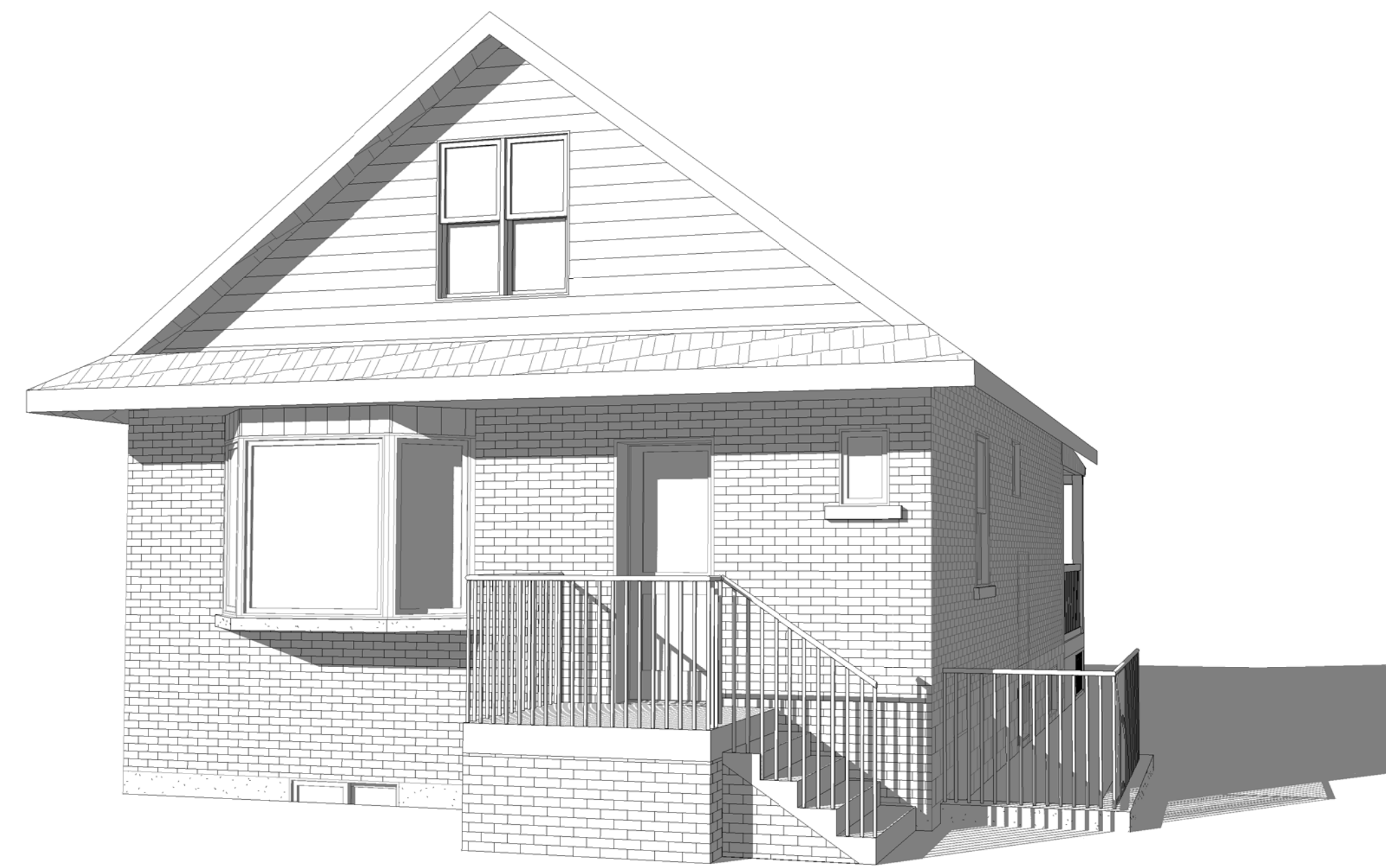
4 WINDOW EGRESS DETAIL

1/2" = 1'-0"

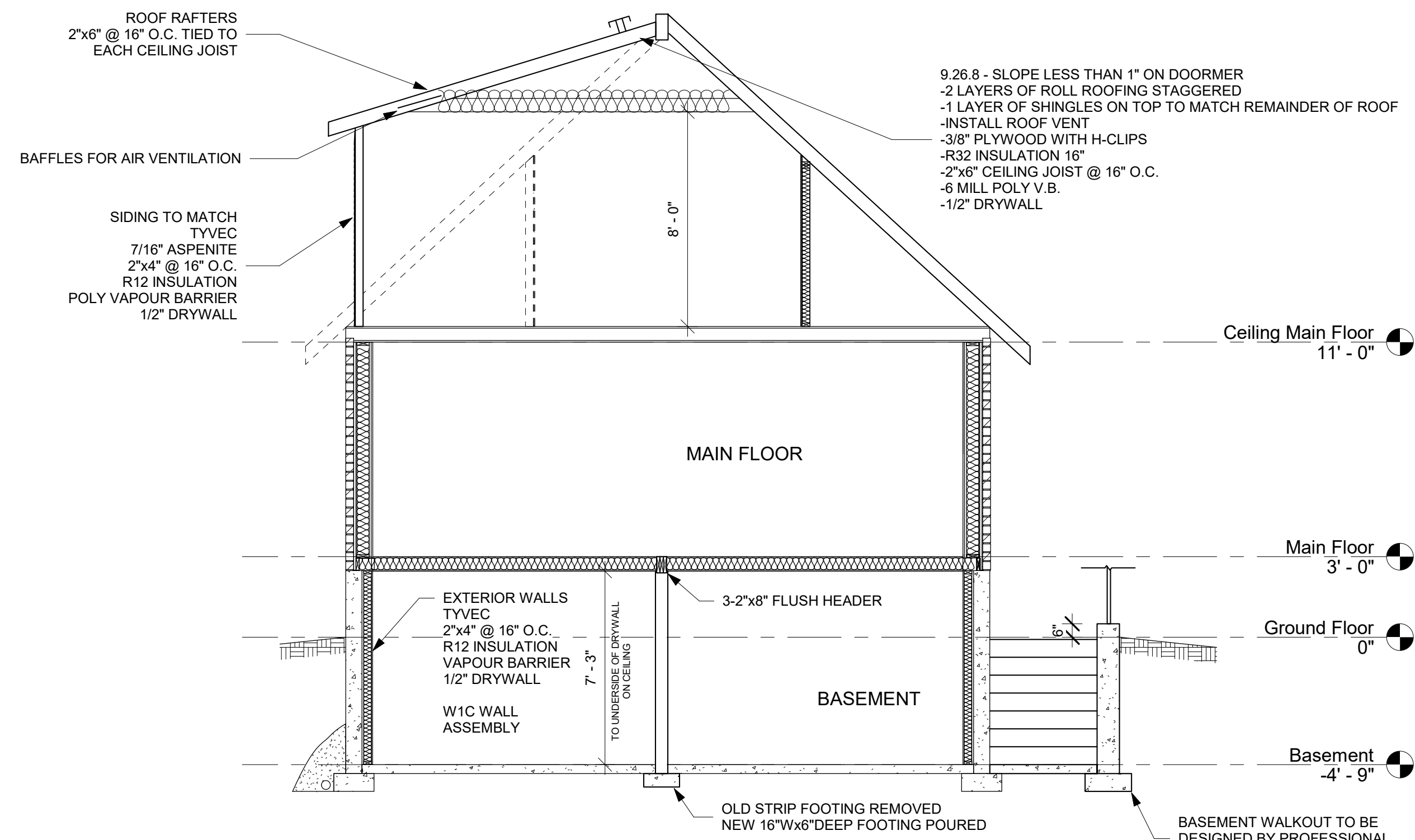


NEW SPRINKLER CONNECTION DETAIL NFPA 13D-20

5



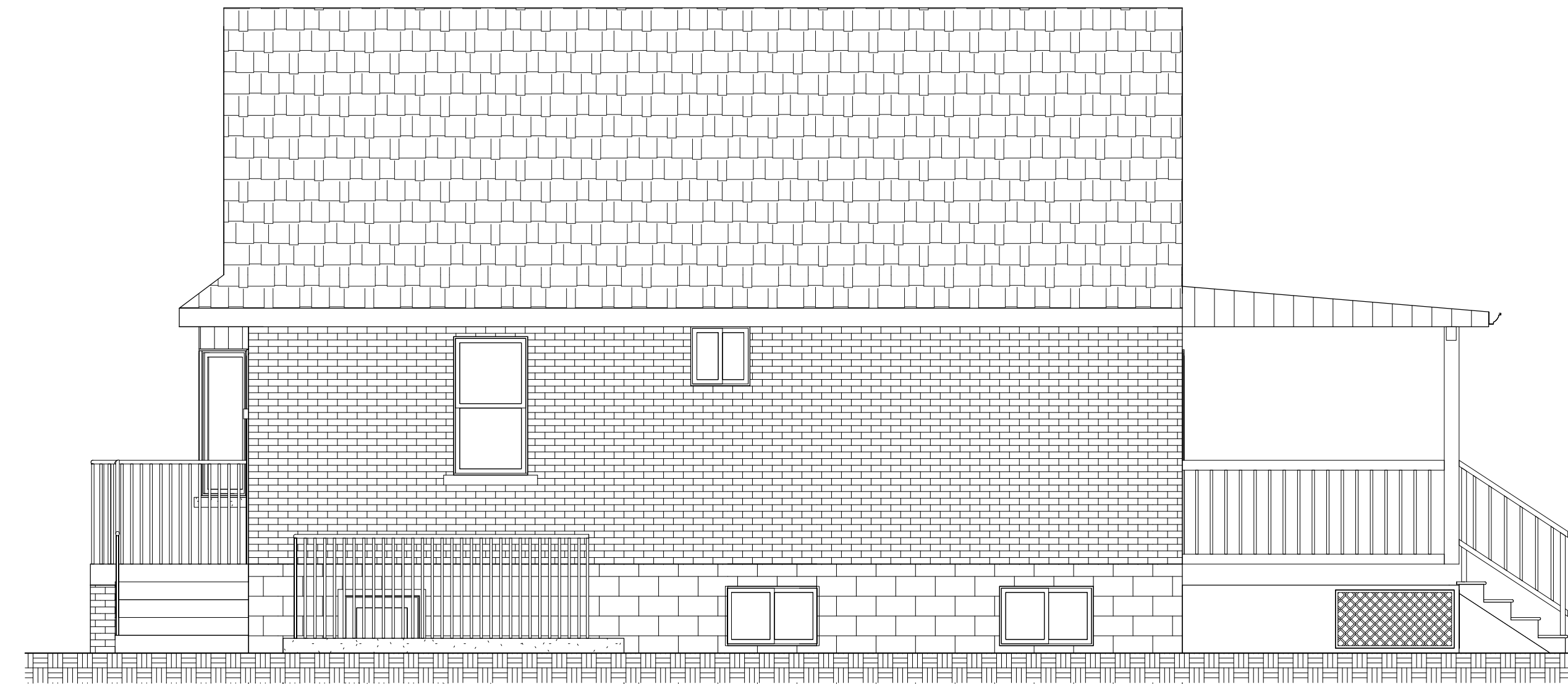
1 3D View



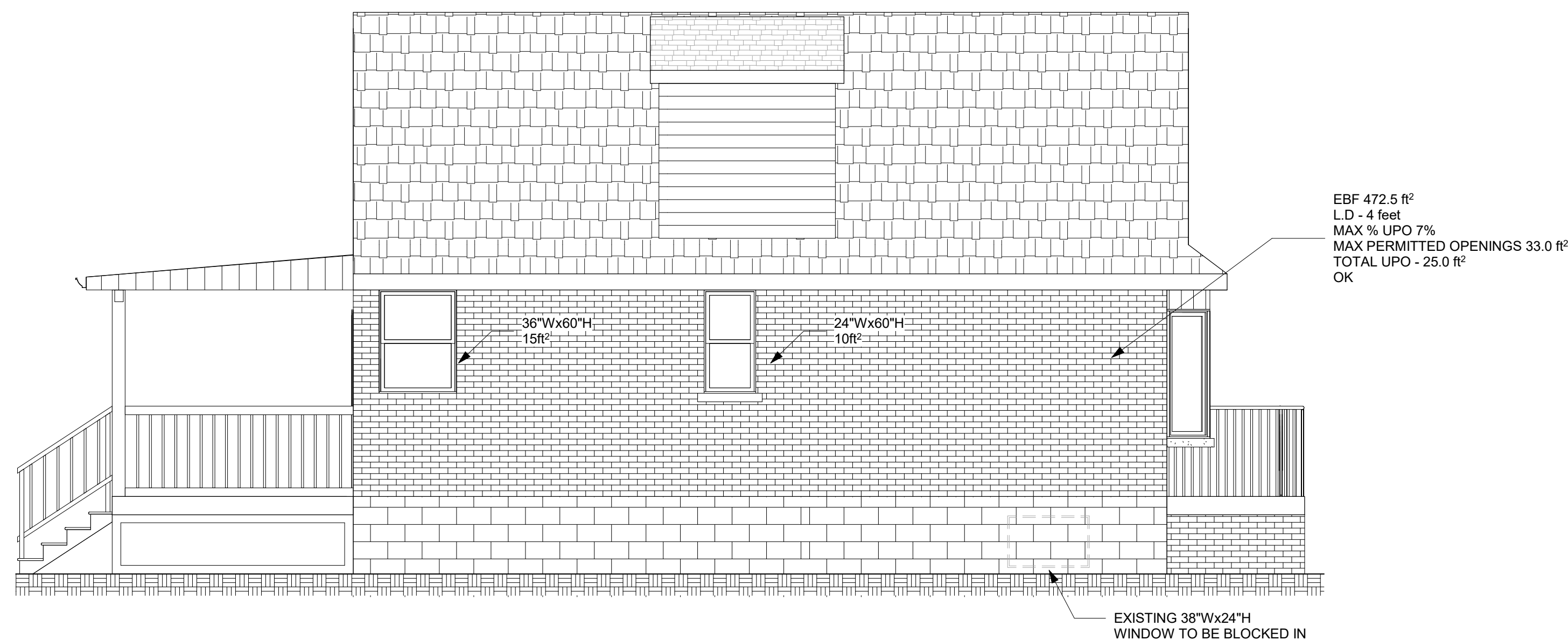
6 Typical Section View
1/4" = 1'-0"



2 Front Elevation
1/4" = 1'-0"



3 Right Elevation
1/4" = 1'-0"



4 Left Elevation
1/4" = 1'-0"



5 Rear Elevation
1/4" = 1'-0"

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JK Home & Commercial Inspection Services
www.jkinspectionsservices.ca
37th Experience as a City Building Inspector
BCIN # 1224 (Building Code Identification Number)
John Kedzierski (Owner)
113 Woodward St., St. Catharines ON L2M 4G2
Call: 905-325-4949 (4477)
jkinspectionsservices@gmail.com

(MMAH) BCIN #21234
(Building Code Identification Number)
JK

175 Montrose Av.,
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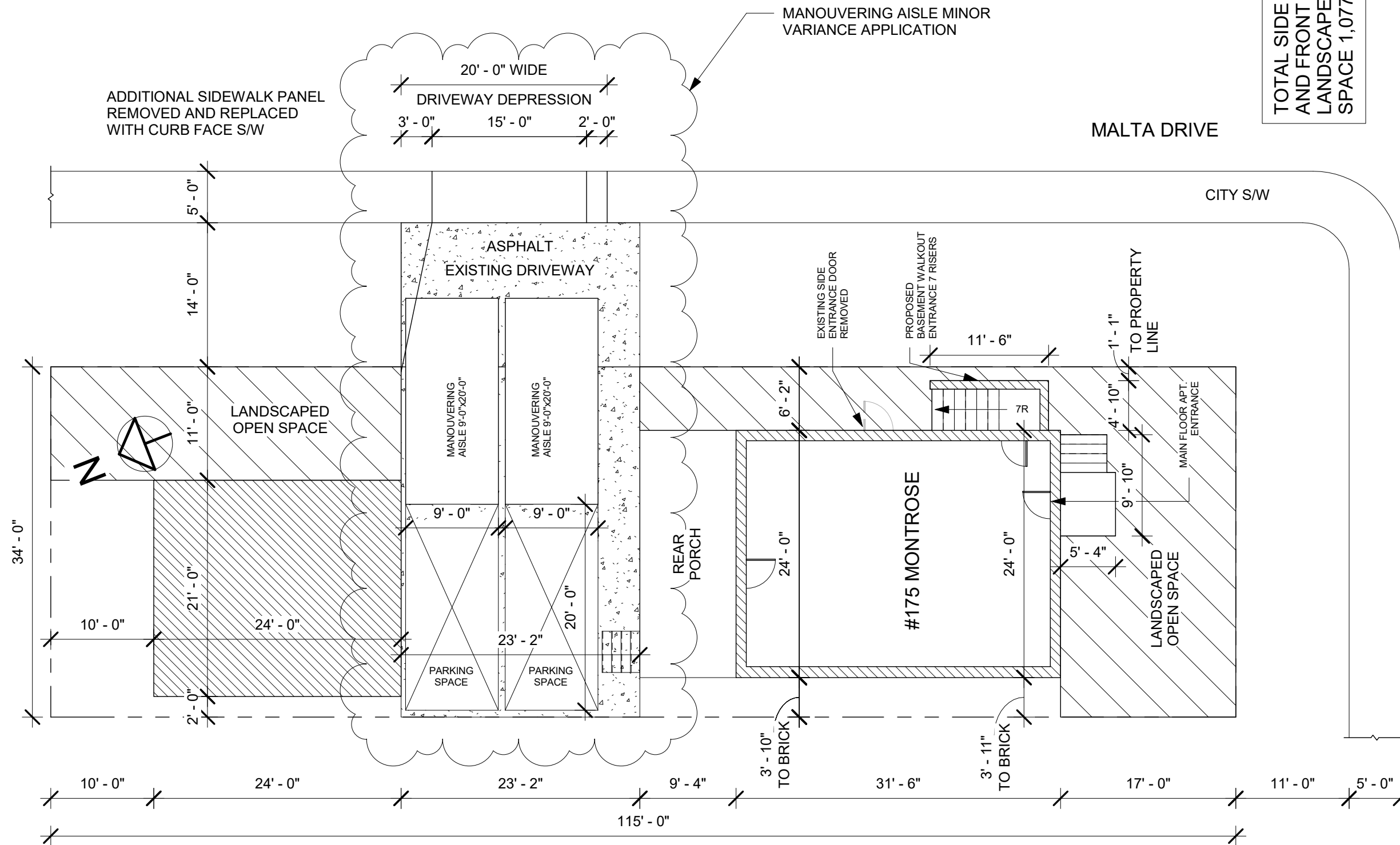
Revision Schedule		
No.	Description	Date
1	Totally Revised	Sept. 2, 2020

FOR PERMIT BUILDING
9/3/2020 12:24:22 PM

PROJECT NAME:
**PROPOSED
BASEMENT
APARTMENT**

SHEET TITLE:
**SECTION AND
ELEVATIONS**

JOB: 00000
SCALE: As indicated
SHEET No. 3-3



TOTAL SIDE YARD AND FRONT YARD LANDSCAPED OPEN SPACE 1,077.71 ft²

1 Plot Plan
3/32" = 1'-0"



Drawn by	D.C.	REV. #	DATE
Date Issue Date		1	SEPT-2, 2020

PROPOSED BASEMENT APARTMENT PLOT PLAN

A101