



Hamilton

COMMITTEE OF ADJUSTMENT

City Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5
Telephone (905) 546-2424, ext. 4221, 3935 Fax (905) 546-4202
E-mail: cofa@hamilton.ca

NOTICE OF PUBLIC HEARING **Minor Variance**

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
 - Applicant/agent on file, or
 - Person likely to be interested in this application
-

APPLICATION NO.: HM/A-20:177

APPLICANTS: Owner Susan Bettencourt

SUBJECT PROPERTY: Municipal address **11 Fisher Cres., Hamilton**

ZONING BY-LAW: Zoning By-law 6593, as Amended by By-law 19-307

ZONING: "C/S-1788" (Urban Protected Residential) district

PROPOSAL: To permit the conversion of the existing single-family dwelling to contain a total of two (2) dwelling units, notwithstanding that;

1. A minimum of one (1) parking space shall be permitted instead of the minimum required two (2) parking spaces.

Note: The applicant requested a variance to permit no onsite manoeuvring; however, the variance is not required as manoeuvring is permitted off-site for one (1) parking space.

This application will be heard by the Committee as shown below:

DATE: Thursday, October 22nd, 2020

TIME: 2:35 p.m.

PLACE: Via video link or call in (see attached sheet for details)

To be streamed at www.hamilton.ca/committeeofadjustment
for viewing purposes only

PUBLIC INPUT

Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

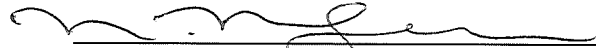
Orally: If you would like to speak to this item at the hearing you may do so via video link or by calling in. Please see attached page for complete instructions, including deadlines for registering to participate.

MORE INFORMATION

For more information on this matter, including access to drawings illustrating this request:

- Visit www.hamilton.ca/committeeofadjustment
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935
- Email Committee of Adjustment staff at cofa@hamilton.ca

DATED: October 6th, 2020



Jamila Sheffield,
Secretary-Treasurer
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public.

Firm BCIN: 29604
The undersigned has reviewed and taken responsibility for this design for categories checked. As required by OSC Div/C 3.2.4, the designer is qualified and the firm is registered in the categories checked below.
☒ Building Structural
☒ Complex Building
☒ Large Building
☒ Small Building
Signature: [Signature]
Designer: Pat Meagher
Designer BCIN: 20673
Date: April 28, 2020

120'-0" [36576 mm]

50'-9 1/2" [15489 mm]

24'-8 1/2" [7520 mm]

44'-6 1/2" [13567 mm]

15'-2" [4623 mm]

49'-0" [14935 mm]

33'-10" [10312 mm]

41'-2" [12548 mm]

6'-0" [1829 mm]

58'-8 1/2" [17897 mm]

9'-5 1/2" [2886 mm]

20'-1 1/2" [6132 mm]

5'-0" [1524 mm] 15'-1 1/2" [4608 mm]

11' FISHBONE CREEK
SINGLE FAMILY DWELLING

BASEMENT
ENTRANCE

PARKING
SPOT 1

PARKING
SPOT 2

MAIN FLOOR
ENTRANCE

GREENSPACE AREA
(EXISTING: 60%)

1 SITE PLAN
A001 SCALE: 3/32" = 1'-0"



ZONING AND SITE STATISTICS

ZONING AND SITE STATISTICS					
LOT NUMBER	251808101306550		SETBACKS (m)		PARKING
LOT AREA (m ²)	546		REQUIRED	PROPOSED	LOCATION
LOT FRONTAGE (m)	14.9		FRONT	—	(2) TANDEM
GROSS FLOOR AREA	EXISTING (m ²)	PROPOSED (m ²)	SIDE	—	DESIGN STANDARDS (m)
			REAR	—	MINIMUM WIDTH: 2.7 MINIMUM LENGTH: 6.0
BASEMENT	101	—	LANDSCAPING INFO		REMARKS:
GROUND FLOOR	138	—	FRONT YARD GROSS AREA (m ²)	91 [985 sqft]	
SECOND FLOOR	42	—	EX LANDSCAPED AREA (m ²)	53 [571 sqft]	
THIRD FLOOR	—	—	NEW LANDSCAPED AREA (m ²)	— 58 %	

SITE LEGEND

- LANDSCAPED AREA
- DRIVEWAY EXPANSION
- MANEUVERING SPACE
- LOT LINE
- PRINCIPLE ENTRANCE
- SECONDARY ENTRANCE

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370 Main St. E, Unit #301
Hamilton, ON, L8N 1J6

905-379-0792

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1	ISSUED PERMIT	200427
No.	Description:	Date:

SITE PLAN DEMO NOTES:

- ITEMS SHALL REMAIN UNLESS DESIGNATED FOR REMOVAL. REMOVE DESIGNATED ITEMS SHOWN ON THE PLAN TO THE FULL DEPTH OF THEIR CONSTRUCTION UNLESS OTHERWISE NOTED.
- VERIFY THE LOCATION AND DIMENSION OF ITEMS TO BE REMOVED PRIOR TO COMMENCEMENT OF THE WORK.
- ALL CONCRETE AND ASPHALT REMOVAL SHALL BE SAW CUT. EDGES OF MATERIAL TO REMAIN SHALL BE SHORED UP AND PROTECTED DURING CONSTRUCTION TO PRESERVE EDGE INTACT. REPAIRS TO DAMAGED EDGES TO BE DONE WITH CARE AND AT NO COST TO THE OWNER.
- ITEMS ENCOUNTERED BELOW GRADE AND NOT SHOWN ON THE DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER AND/OR LANDSCAPE ARCHITECT.
- REMOVE DEMOLISHED MATERIALS FROM SITE. DISPOSAL BY BURNING AND/OR BURYING IS PROHIBITED.
- CONTACT THE LOCAL UNDERGROUND SERVICE OFFICE FOR UTILITY LOCATION AND IDENTIFICATION PRIOR TO DEMOLITION.
- THE LOCATION OF EXISTING UTILITIES AS SHOWN ON THE PLANS MAY VARY IN RELATION TO ACTUAL EXISTING CONDITIONS. ADDITIONAL UTILITIES NOT SHOWN ON THE DRAWINGS MAY EXIST. VERIFY IN THE FIELD THE DATA SHOWN, AND CALL ANY DISCREPANCIES TO THE ATTENTION OF THE ENGINEER AND/OR LANDSCAPE ARCHITECT.
- NO WORK TO ENCROACH ONTO ADJOINING PROPERTIES

PROJECT:

ACCESSORY DWELLING UNIT

ADDRESS:

11 FISHER CRES., HAMILTON

DRAWING TITLE:

SITE PLAN & STATISTICS

DRAWN BY:

MB

CHECKED BY:

—

DATE:

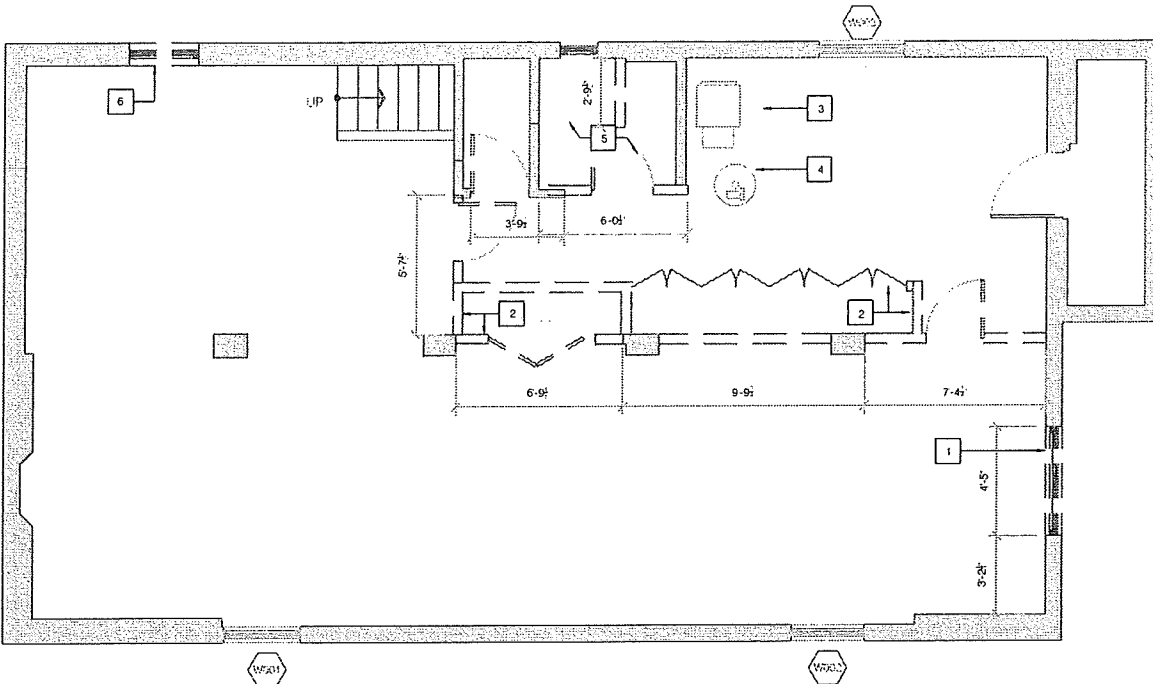
20.2.11

SCALE:

AS NOTED

DRAWING #:

A001



1 EXISTING - BASEMENT
A101 SCALE: 3/16" = 1'-0"

DEMOLITION GENERAL NOTES:

1. DEMOLITION WORK MUST BE CARRIED OUT BY A CONTRACTOR OR SUB-CONTRACTOR EXPERIENCED IN THIS KIND OF WORK. AN EXPERIENCED STAFF MEMBER SHALL SUPERVISE ALL WORK.
2. CONTRACTOR MUST EXAMINE ALL EXISTING WORK TO BE DEMOLISHED CAREFULLY. REPORT ANY DISCREPANCY, UNUSUAL OR UNEXPECTED CONDITIONS TO THE DESIGNER BEFORE PROCEEDING WITH THE DEMOLITION.
3. THE METHOD AND/OR THE PROCEDURES OF DEMOLITION, THE EXECUTION OF THE WORK AND ANY TEMPORARY SUPPORTS REQUIRED SHALL BE THE FULL RESPONSIBILITY OF THE CONTRACTOR.
4. THE BUILDING COMPONENTS TO REMAIN (STRUCTURAL AND NON-STRUCTURAL) MUST NOT BE DAMAGED BY THE DEMOLITION WORK. ANY DAMAGES CAUSED BY THIS WORK MUST BE REPAIRED TO THE SATISFACTION OF THE OWNER AND AT NO COST TO THE OWNER.
5. SHOULD ANY STRUCTURAL STEEL MEMBERS BE FOUND WITHIN THE WALL TO BE DEMOLISHED. DO NOT REMOVE SUCH MEMBER AND REPORT IMMEDIATELY TO DESIGNER OR STRUCTURAL ENGINEER FOR DIRECTION. (ANY STEEL COLUMNS ALONG ANY WALL TO BE DEMOLISHED MUST NOT BE REMOVED).
6. HANDLE AND DISPOSE OF CONTAMINATED WASTE (IF FOUND) AS REQUIRED UNDER THE ENVIRONMENTAL PROTECTION ACT, ONTARIO MINISTRY OF LABOUR AND LOCAL REQUIREMENTS. ADVISE PROPER AUTHORITIES BEFORE DISCONNECTING ANY EXISTING UTILITY SERVICES. THESE SHALL BE DISCONNECTED AND/OR CAPPED OFF IN ACCORDANCE WITH UTILITY INSTRUCTIONS AND ESTABLISHED PROCEDURES BY SKILLED TRADESMEN.
8. MAINTAIN PROPER ACCESS TO SITE. PROVIDE ADEQUATE PROTECTION TO CURBS AND SIDEWALKS MAKING GOOD ANY DAMAGE AT NO COST TO THE OWNER.




EXISTING STRUCTURE NOTE:

1. CONTRACTOR IS FULLY RESPONSIBLE FOR VERIFYING ALL EXISTING STRUCTURAL CONDITIONS PRIOR TO ANY WORK. ANY AND ALL DISCREPANCIES SHALL BE REPORTED TO NICHE FOR DESIGN INC. PRIOR TO ANY WORK. CONTRACTOR IS FULLY RESPONSIBLE FOR SHORING EXISTING STRUCTURE PRIOR TO ANY WORK.

DEMOLITION KEY NOTES:

1. NEW WINDOW OPENING. REFER TO S101 FOR STRUCTURAL SPECIFICATIONS.
2. DEMOLISH AND REMOVE EXISTING NON LOAD BEARING WALL.
3. EXISTING HVAC UNIT TO REMAIN.
4. EXISTING WATER HEATER TO REMAIN.
5. REMOVE & DISPOSE EXISTING PLUMBING FIXTURES. REFER TO 1/A201 FOR NEW PLUMBING LOCATIONS.
6. EXISTING WINDOW TO BE REMOVED. VOID IN FOUNDATION WALL TO BE IN FILLED. REFER TO A201 FOR DETAILS.

PLAN LEGEND - WALLS

-  EXISTING FOUNDATION WALLS TO REMAIN
-  EXISTING WALLS TO REMAIN
-  EXISTING WALL OR ELEMENT TO BE DEMOLISHED



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1	ISSUED PERMIT	200427
No.	Description	Date:

TACOMA
ENGINEERS

Firm BCIN: 29604

The undersigned has reviewed and taken responsibility for this design for categories checked. As required by OBC Div.C 3.2.4, the designer is qualified and the firm is registered in the categories checked below.

- ☒ Building Structural
☒ Complex Building
☒ Large Building
☒ Small Building

Signature: 

Designer: Pat Megawher

Designer BCIN: 20673

Date: April 28, 2020

TE-35900-20

PROJECT:
ACCESSORY DWELLING UNIT
ADDRESS:
11 FISHER CRES., HAMILTON

DRAWING TITLE:
EXISTING BASEMENT

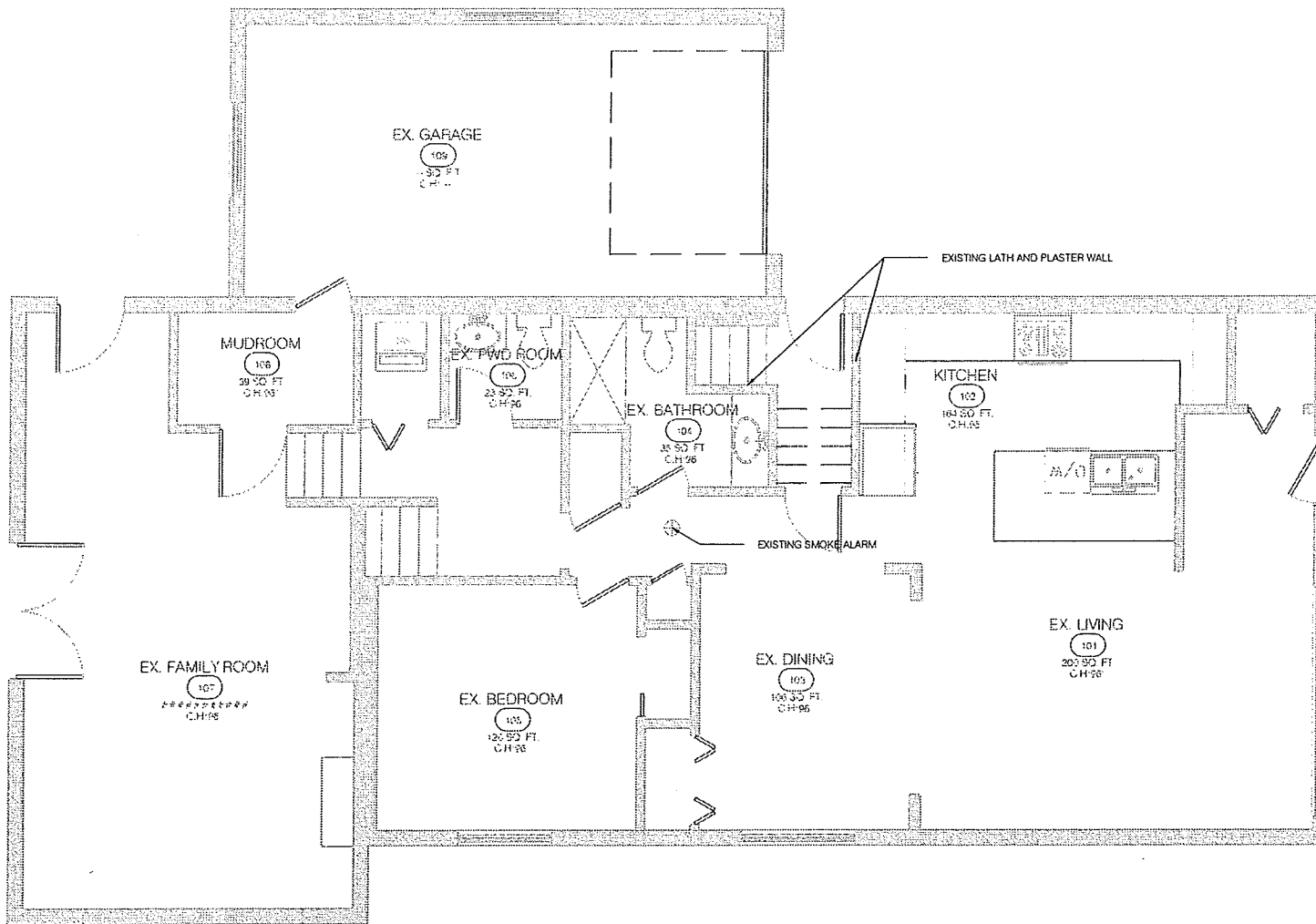
DRAWN BY:
MB

CHECKED BY:

DATE:
20.2.11




SCALE:
3/16" = 1'-0"

DRAWING #:
A101



1 EXISTING - MAIN FLOOR
A102/SCALE: 3/16" = 1'-0"

PLAN LEGEND - WALLS

-  EXISTING FOUNDATION WALLS TO REMAIN
-  EXISTING WALLS TO REMAIN
-  NEW WALL TO BE INSTALLED. REFER TO WALL DETAILS

GENERAL NOTES

1. PROVIDE MIN. 1 EGRESS WINDOW CONFORMING TO SECTION 9.9.10.1 OF OBC.
2. MIN. WINDOW AREA TO CONFORM TO SECTION 9.7.2.3 OF OBC WITH COMPLIANCE ALTERNATIVE C107 FROM PART 11 ALLOWING FOR 50% REDUCTION IN GLAZING AREA.
3. IF WINDOW OPENS INTO A WINDOW WELL, THERE NEEDS TO BE A CLEARANCE OF AT LEAST 22 INCHES IN FRONT OF THE WINDOW, AND THE WELL CAN NOT OBSTRUCT THE FULL OPENING OF THE WINDOW.
4. IF A WINDOW WELL IS USED, ANY PROTECTIVE COVER MUST BE ABLE TO BE EASILY REMOVED FROM THE INSIDE WITHOUT ANY TOOLS.
5. MIN. CEILING HEIGHT SHALL NOT BE LESS THAN 1950mm.
6. THERE IS TO BE NO CHANGE TO THE LOCATION OF EXISTING WALLS.
7. MAIN FLOOR DIMENSIONS ARE TO EXISTING.

EXISTING STRUCTURE NOTE:

1. CONTRACTOR IS FULLY RESPONSIBLE FOR VERIFYING ALL EXISTING STRUCTURAL CONDITIONS PRIOR TO ANY WORK. ANY AND ALL DISCREPANCIES SHALL BE REPORTED TO NICHE FOR DESIGN INC. PRIOR TO ANY WORK. CONTRACTOR IS FULLY RESPONSIBLE FOR SHORING EXISTING STRUCTURE PRIOR TO ANY WORK.



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Firm BCIN: 29604

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- ☒ Building Structural
- ☒ Complex Building
- ☒ Large Building
- ☒ Small Building

Signature: 

Designer: Pat Megaw

Designer BCIN: 20673

Date: April 28, 2020

TE-35900-20

PROJECT:
ACCESSORY DWELLING UNIT
ADDRESS:
11 FISHER CRES., HAMILTON

DRAWING TITLE:
EXISTING: MAIN FLOOR

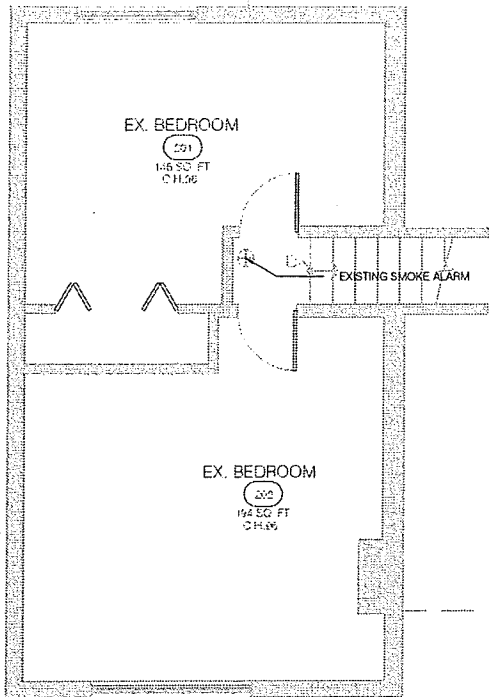
DRAWN BY:
MB

CHECKED BY:

DATE:
20.2.11

SCALE:
1/4" = 1'-0"

DRAWING #:
A102



1 EXISTING - UPPER FLOOR
A103 SCALE: 3/16" = 1'-0"

GENERAL NOTES:

1. PROVIDE MIN. 1 EGRESS WINDOW CONFORMING TO SECTION 9.9.10.1 OF OBC.
2. MIN. WINDOW AREA TO CONFORM TO SECTION 9.7.2.3 OF OBC WITH COMPLIANCE ALTERNATIVE C107 FROM PART 11 ALLOWING FOR 50% REDUCTION IN GLAZING AREA.
3. IF WINDOW OPENS INTO A WINDOW WELL, THERE NEEDS TO BE A CLEARANCE OF AT LEAST 22 INCHES IN FRONT OF THE WINDOW, AND THE WELL CAN NOT OBSTRUCT THE FULL OPENING OF THE WINDOW.
4. IF A WINDOW WELL IS USED, ANY PROTECTIVE COVER MUST BE ABLE TO BE EASILY REMOVED FROM THE INSIDE WITHOUT ANY TOOLS.
5. MIN. CEILING HEIGHT SHALL NOT BE LESS THAN 1950mm.
6. THERE IS TO BE NO CHANGE TO THE LOCATION OF EXISTING WALLS.
7. UPPER LEVEL DIMENSIONS ARE TO EXISTING WALLS AND SOLID CONCRETE/BLOCKS.

EXISTING STRUCTURE NOTE:

1. CONTRACTOR IS FULLY RESPONSIBLE FOR VERIFYING ALL EXISTING STRUCTURAL CONDITIONS PRIOR TO ANY WORK. ANY AND ALL DISCREPANCIES SHALL BE REPORTED TO NICHE FOR DESIGN INC. PRIOR TO ANY WORK. CONTRACTOR IS FULLY RESPONSIBLE FOR SHORING EXISTING STRUCTURE PRIOR TO ANY WORK.



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1	ISSUED PERMIT	200427
No.	Description:	Date:



Firm BCIN: 29604

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- ☒ Building Structural
- ☒ Complex Building
- ☒ Large Building
- ☒ Small Building

Signature:

Designer: Pal Meszner

Designer BCIN: 20673

Date: April 28, 2020

TE-35900-20

PLAN LEGEND - WALLS

- EXISTING FOUNDATION WALLS TO REMAIN
- EXISTING WALLS TO REMAIN
- NEW WALL TO BE INSTALLED. REFER TO WALL DETAILS

PROJECT:
ACCESSORY DWELLING UNIT
ADDRESS:
11 FISHER CRES., HAMILTON

DRAWING TITLE:
PROPOSE: UPPER LEVEL

DRAWN BY:
MB

CHECKED BY:

--

DATE:
20.2.11

SCALE:
1/4" = 1'-0"

DRAWING #:
A103

FORMER WINDOW TO BE INFILLED. REFER TO WALL DETAIL ON PAGE 301

FORMER WINDOW TO BE INFILLED. REFER TO WALL DETAIL ON PAGE 301

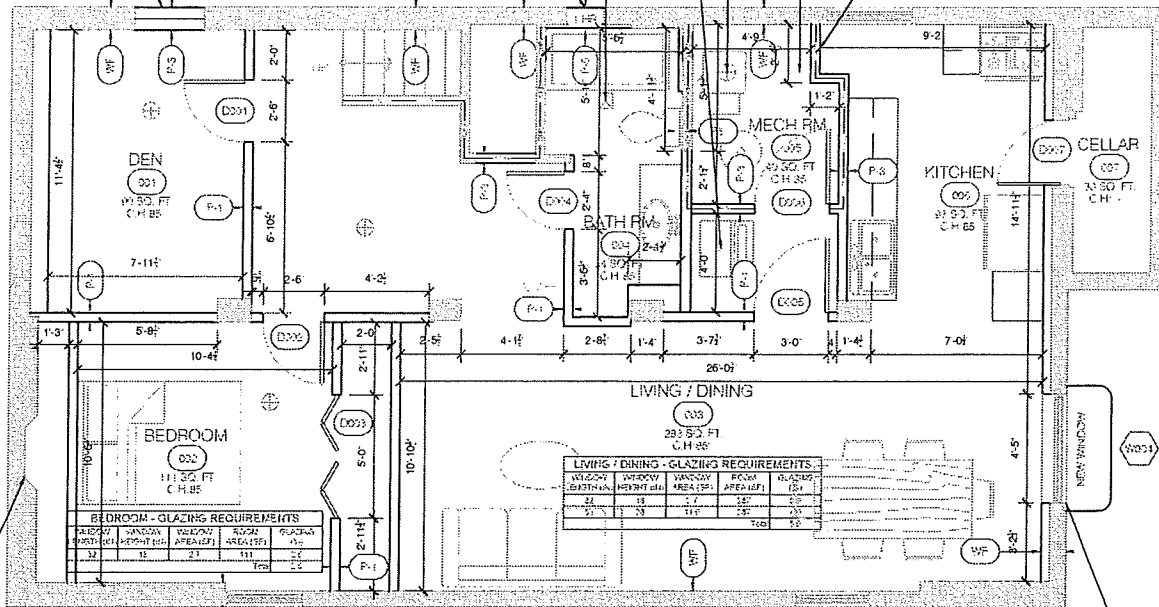
EXHAUST FAN TO EXTERIOR

PROVIDE DRYER VENT, VENTED TO EXTERIOR

PROVIDE SMOKE DETECTOR IN RETURN AIR DUCT @ FURNACE TO TURN OFF FUEL SUPPLY UPON ACTIVATION OF THE DETECTOR IN ACCORDANCE WITH C950F PART 11 OF OBC

FURNACE ROOM IS ACCESSIBLE TO MAIN FLOOR DWELLING UNIT OCCUPANTS ONLY. NO HORIZONTAL SERVICE ROOM FIRE SEPARATION REQUIRED, AS PER OBC 9.10.10.4 (2)(B). VERTICAL FIRE SEPARATIONS ARE REQUIRED TO ADJACENT COMMON LAUNDRY ROOM AND BASEMENT DWELLING UNIT.

NEW ELECTRICAL PANEL LOCATION



FULLY SEAL EXISTING FIREPLACE, ADD NEW WALL IN FRONT

INSTALL EGRESS WINDOW WELL CONFORMING TO 9.9.10.1(5) WHERE A WINDOW REQUIRED IN SENTENCE (1) OPENS INTO A WINDOW WELL, A CLEARANCE OF NOT LESS THAN 550MM SHALL BE PROVIDED IN FRONT OF THE WINDOW. EGRESS WINDOW CONFORMING TO 9.9.10.1:

- A. IS OPENABLE FROM THE INSIDE WITHOUT THE USE OF TOOLS.
B. PROVIDES AN INDIVIDUAL UNOBSTRUCTED OPEN PORTION HAVING A MINIMUM AREA OF 0.35 m² WITH NO DIMENSIONS LESS THAN 380mm. AND
C. MAINTAINS THE REQUIRED OPENING DESCRIBED IN CLAUSE (B) WITHOUT THE NEED FOR ADDITIONAL SUPPORT.

PLAN LEGEND - WALLS

- EXISTING FOUNDATION WALLS TO REMAIN
EXISTING WALLS TO REMAIN
NEW WALL TO BE INSTALLED. REFER TO WALL DETAILS
COMBINED SMOKE AND CO2 DETECTOR

1 PROPOSED - BASEMENT
A201 SCALE: 3/16" = 1'-0"

GENERAL NOTES

- PROVIDE MIN 1 EGRESS WINDOW CONFORMING TO SECTION 9.9.10.1 OF OBC.
- MIN WINDOW AREA TO CONFORM TO SECTION 9.7.2.3 OF OBC WITH COMPLIANCE ALTERNATIVE C107 FROM PART 11 ALLOWING FOR 50% REDUCTION IN GLAZING AREA.
- IF WINDOW OPENS INTO A WINDOW WELL, THERE NEEDS TO BE A CLEARANCE OF AT LEAST 22 INCHES IN FRONT OF THE WINDOW, AND THE WELL CAN NOT OBSTRUCT THE FULL OPENING OF THE WINDOW.
- IF A WINDOW WELL IS USED, ANY PROTECTIVE COVER MUST BE ABLE TO BE EASILY REMOVED FROM THE INSIDE WITHOUT ANY TOOLS.
- MIN CEILING HEIGHT SHALL NOT BE LESS THAN 1950mm.
- THERE IS TO BE NO CHANGE TO THE LOCATION OF EXISTING WALLS.
- MAIN FLOOR DIMENSIONS ARE TO EXISTING WALLS AND SOLID CONCRETE/BLOCKS.

FIRE SEPARATION NOTES:

- ALL NEW SMOKE ALARMS SHALL BE SUPPLIED AND INSTALLED AS REQUIRED PER SECTION 9.10.19 AND BE EQUIPPED WITH A VISUAL SIGNALING COMPONENT THAT MEETS NFPA 72 AND SECTION 9.2.4.22 OF THE OBC. NEW SMOKE ALARMS MUST BE INTERCONNECTED WITH EACH OTHER.
- WHEN INTERCONNECTED SMOKE ALARMS ARE PROVIDED, THE HORIZONTAL FIRE SEPARATION REQUIRED BETWEEN EACH DWELLING UNIT AS WELL AS COMMON /SHARED AREAS SHALL HAVE A MINIMUM FIRE RESISTANCE RATING OF 15 MINUTES (PER PART 11, COMPLIANCE ALTERNATIVES C147 & C152) EXISTING 1/2" DRYWALL FINISH OR EXISTING LATH/PLASTER FINISH IS DEEMED COMPLIANT IN PROVIDING 15 MINUTE FRR.
- FIRE SEPARATIONS HAVING A 30 MINUTE FRR ARE COMPLIANT BETWEEN UNITS AND COMMON SPACES, AS PER CA 147 & 152. HORIZONTAL FIRE SEPARATIONS MAY BE REDUCED TO 15 MIN BE REDUCED TO 15 MIN FRR IS SMOKE ALARMS ARE INTERCONNECTED BETWEEN UNITS.
- STRUCTURAL MEMBERS IN FLOOR ASSEMBLIES AS WELL AS ALL LOADBEARING WALLS, COLUMNS AND ARCHES SUPPORTING A RATED ASSEMBLY SHALL HAVE A MINIMUM FIRE RESISTANCE RATING OF 30 MIN. EXISTING CONCRETE OR MASONRY CONSTRUCTION IS DEEMED COMPLIANT. LOAD BEARING WOOD FRAMED WALLS, WOOD POSTS, AND STEEL POSTS MUST BE PROTECTED WITH MINIMUM 1 LAYER OF 5/8" TYPE X DRYWALL.
- ALL DOORS LOCATED IN REQUIRED FIRE SEPARATIONS WITH FIRE RESISTANCE RATINGS OF 30 OR 45 MINUTES SHALL BE EQUIPPED WITH A SELF CLOSING DEVICE AND HAVE A MINIMUM FIRE RESISTANCE RATING OF 20 MINUTES.
- EXISTING DUCT PENETRATIONS OF FLOOR ASSEMBLIES ACCEPTABLE (PER PART 11 COMPLIANCE ALTERNATIVE C168).

EXISTING STRUCTURE NOTE:

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No	Description:	Date:

TACOMA
ENGINEERS

Firm BCIN: 29804

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- ☒ Building Structural
☒ Complex Building
☒ Large Building
☒ Small Building

Signature:

Designer: Pat Meszner

Designer BCIN: 20673

Date: April 28, 2020

TE-35900-20

PROJECT:

ACCESSORY DWELLING UNIT

ADDRESS:

11 FISHER CRES., HAMILTON

DRAWING TITLE:

PROPOSE: BASEMENT

DRAWN BY:

MB

CHECKED BY:

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DATE:

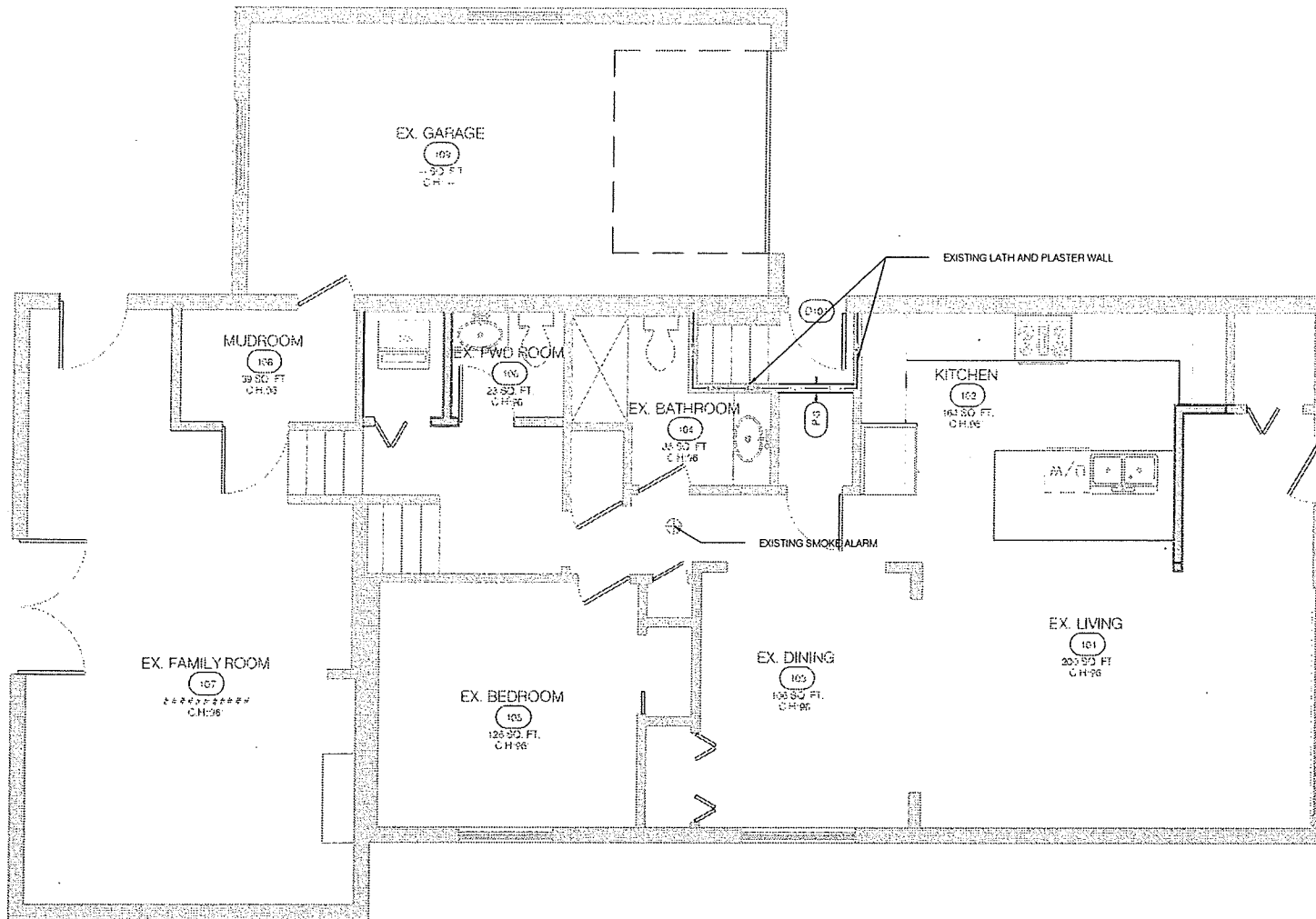
20.2.11

SCALE:

1/4" = 1'-0"

DRAWING #:

A201



- GENERAL NOTES**
1. PROVIDE MIN. 1 EGRESS WINDOW CONFORMING TO SECTION 9.9.10.1 OF OBC.
 2. MIN. WINDOW AREA TO CONFORM TO SECTION 9.7.2.3 OF OBC WITH COMPLIANCE ALTERNATIVE C107 FROM PART 11 ALLOWING FOR 50% REDUCTION IN GLAZING AREA.
 3. IF WINDOW OPENS INTO A WINDOW WELL, THERE NEEDS TO BE A CLEARANCE OF AT LEAST 22 INCHES IN FRONT OF THE WINDOW, AND THE WELL CAN NOT OBSTRUCT THE FULL OPENING OF THE WINDOW.
 4. IF A WINDOW WELL IS USED, ANY PROTECTIVE COVER MUST BE ABLE TO BE EASILY REMOVED FROM THE INSIDE WITHOUT ANY TOOLS.
 5. MIN. CEILING HEIGHT SHALL NOT BE LESS THAN 1950mm.
 6. THERE IS TO BE NO CHANGE TO THE LOCATION OF EXISTING WALLS.
 7. MAIN FLOOR DIMENSIONS ARE TO EXISTING WALLS AND SOLID CONCRETE/BLOCKS.

- EXISTING STRUCTURE NOTE:**
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TACOMA ENGINEERS

Firm BCIN: 29604

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☒ Building Structural
☒ Complex Building
☒ Large Building
☒ Small Building

Signature: *[Signature]*
Designer: **Pat Meszner**
Designer BCIN: **20673**
Date: **April 28, 2020**

TE-35900-20

- PLAN LEGEND - WALLS**
- EXISTING FOUNDATION WALLS TO REMAIN
 - EXISTING WALLS TO REMAIN
 - NEW WALL TO BE INSTALLED. REFER TO WALL DETAILS

PROJECT:
ACCESSORY DWELLING UNIT

ADDRESS:
11 FISHER CRES., HAMILTON

DRAWING TITLE:
PROPOSE: MAIN FLOOR

DRAWN BY:
MB

CHECKED BY:
--

DATE:
20.2.11

SCALE:
1/4" = 1'-0"

DRAWING #:
A102



Hamilton

Planning and Economic Development Department
Planning Division

Committee of Adjustment

City Hall
5th floor 71 Main Street West
Hamilton, Ontario L8P 4Y5

Phone (905) 546-2424 ext.4221
Fax (905) 546-4202

PLEASE FILL OUT THE FOLLOWING PAGES AND
RETURN TO THE CITY OF HAMILTON PLANNING
DEPARTMENT.

20-180698

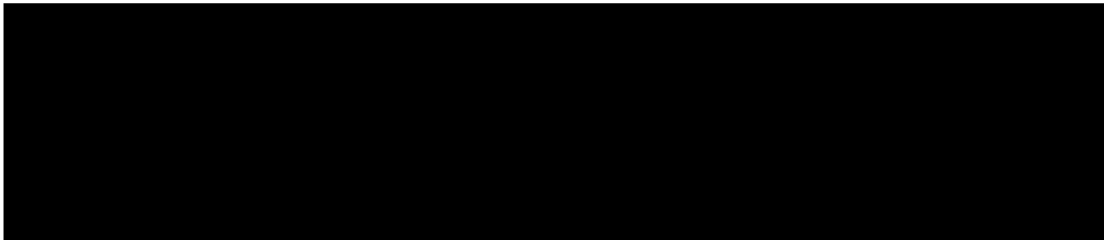
FOR OFFICE USE ONLY.	
APPLICATION NO. <u>HM/A-20:177</u>	DATE APPLICATION RECEIVED <u>AUG 26/20</u>
PAID _____	DATE APPLICATION DEEMED COMPLETE _____
SECRETARY'S SIGNATURE _____	

**CITY OF HAMILTON
COMMITTEE OF ADJUSTMENT
HAMILTON, ONTARIO**

The Planning Act

Application for Minor Variance or for Permission

The undersigned hereby applies to the Committee of Adjustment for the City of Hamilton under Section 45 of the *Planning Act*, R.S.O. 1990, Chapter P.13 for relief, as described in this application, from the Zoning By-law.



FAX NO. _____ E-mail address. _____

4. Address _____
_____ Postal Code _____

Note: Unless otherwise requested all communications will be sent to the agent, if any.

5. Names and addresses of any mortgagees, holders of charges or other encumbrances:
Royal Bank of Canada. 10 York Mills Road, 3rd Floor, Toronto, ON
_____ Postal Code _____

_____ Postal Code _____

6. Nature and extent of relief applied for:
- Relief from Section 18A (1)(a) to permit a minimum of one (1) required parking space, whereas a minimum of two (2) spaces is required for a two family home (duplex).
- Relief from Section 18A (1)(f) to permit no on-site manoeuvring for a parking space, whereas a minimum required manoeuvring space with a width of 6.0 m is required.
7. Why it is not possible to comply with the provisions of the By-law?
- The subject lot is already developed with an existing single detached dwelling with an attached garage, carport and parking on-site for +4 vehicles. Due to the driveway, location and orientation of the house, it is not feasible to meet the technical requirements of the by-law, however there is ample parking on-site and manoeuvring for vehicles.
8. Legal description of subject lands (registered plan number and lot number or other legal description and where applicable, street and street number):
- Crescent
11 Fisher ~~Street~~, Hamilton, ON
Legal Description: Lot 28, Part Lot 1155
9. PREVIOUS USE OF PROPERTY
- Residential ☒ Industrial ☐ Commercial ☐
- Agricultural ☐ Vacant ☐
- Other _____
- 9.1 If Industrial or Commercial, specify use
_____ N/A _____
- 9.2 Has the grading of the subject land been changed by adding earth or other material, i.e. has filling occurred?
Yes ☐ No ☒ Unknown ☐
- 9.3 Has a gas station been located on the subject land or adjacent lands at any time?
Yes ☐ No ☐ Unknown ☒
- 9.4 Has there been petroleum or other fuel stored on the subject land or adjacent lands?
Yes ☐ No ☐ Unknown ☒
- 9.5 Are there or have there ever been underground storage tanks or buried waste on the subject land or adjacent lands?
Yes ☐ No ☐ Unknown ☒
- 9.6 Have the lands or adjacent lands ever been used as an agricultural operation where cyanide products may have been used as pesticides and/or sewage sludge was applied to the lands?
Yes ☐ No ☐ Unknown ☒
- 9.7 Have the lands or adjacent lands ever been used as a weapon firing range?
Yes ☐ No ☐ Unknown ☒
- 9.8 Is the nearest boundary line of the application within 500 metres (1,640 feet) of the fill area of an operational/non-operational landfill or dump?
Yes ☐ No ☐ Unknown ☒

9.9 If there are existing or previously existing buildings, are there any building materials remaining on site which are potentially hazardous to public health (eg. asbestos, PCB's)?

Yes _____ No ☒ Unknown _____

9.10 Is there any reason to believe the subject land may have been contaminated by former uses on the site or adjacent sites?

Yes _____ No ☒ Unknown _____

9.11 What information did you use to determine the answers to 9.1 to 9.10 above?

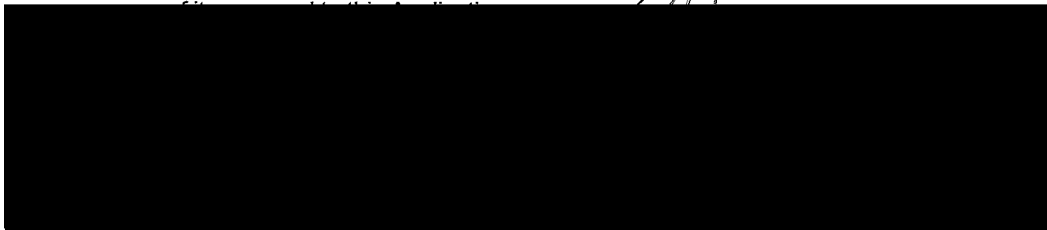
Local knowledge. Information available online.

9.12 If previous use of property is industrial or commercial or if YES to any of 9.2 to 9.10, a previous use inventory showing all former uses of the subject land, or if appropriate, the land adjacent to the subject land, is needed.

Is the previous use inventory attached? Yes _____ No _____

ACKNOWLEDGEMENT CLAUSE

I acknowledge that the City of Hamilton is not responsible for the identification and remediation of contamination on the property which is the subject of this Application – by



10. Dimensions of lands affected:

Frontage	<u>14.93 m (49 feet)</u>
Depth	<u>36.57 m (120 feet)</u>
Area	<u>545.99 m2 (5,876.98 ft2)</u>
Width of street	<u>+/- 20 m</u>

11. Particulars of all buildings and structures on or proposed for the subject lands: (Specify ground floor area, gross floor area, number of stories, width, length, height, etc.)

Existing: 2 storey single detached dwelling

Main floor and 2nd floor area = 180 m2 (1,937.50 ft2)

Basement Floor area = 101 m2 (1,087.16 ft2)

Proposed: Proposing converting the basement into a 2nd dwelling unit (two family home).

Unit 1 (main floor and 2nd floor) will contain 3 bedrooms, kitchen, bathrooms and family room

Unit 2 (basement) will contain 1 bedroom + den, a kitchen, family room and 1 bathroom.

Both units will contain their own laundry facilities.

12. Location of all buildings and structures on or proposed for the subject lands; (Specify distance from side, rear and front lot lines)

Existing: Single detached dwelling

Proposed: No additional or external changes proposed to existing dwelling. All changes will be in the interior of the building.

13. Date of acquisition of subject lands:
2020
14. Date of construction of all buildings and structures on subject lands:
Unknown
15. Existing uses of the subject property: Residential
16. Existing uses of abutting properties: Residential
17. Length of time the existing uses of the subject property have continued:
Since the building was constructed.
18. Municipal services available: (check the appropriate space or spaces)
Water X Connected X
Sanitary Sewer X Connected X
Storm Sewers X
19. Present Official Plan/Secondary Plan provisions applying to the land:
"Neighbourhoods" (Urban Land Use Designation)
20. Present Restricted Area By-law (Zoning By-law) provisions applying to the land:
"C" (Urban Protected Residential, etc.) district. Site Special Provision 1788 (C/S-1788)
21. Has the owner previously applied for relief in respect of the subject property?
Yes ☐ No ☒
If the answer is yes, describe briefly.
22. Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?
Yes ☐ No ☒
23. The applicant shall attach to each copy of this application a plan showing the dimensions of the subject lands and of all abutting lands and showing the location, size and type of all buildings and structures on the subject and abutting lands, and where required by the Committee of Adjustment such plan shall be signed by an Ontario Land Surveyor.

NOTE: It is required that two copies of this application be filed with the secretary-treasurer of the Committee of Adjustment together with the maps

referred to in Section 5 and be accompanied by the appropriate fee in cash or by cheque made payable to the City of Hamilton.

PART 24 AFFIDAVIT OR SWORN DECLARATION

This declaration to be sworn by a Commissioner of the City of Hamilton

All of the above statements are true and I make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath By zoom VIDEO CONFERENCE

Declared before me at the CITY OF HAMILTON

PART 25 SWORN AUTHORIZATION

Contents of this application and hereby certify that the information contained in this application is correct insofar as I have knowledge of these facts, and I hereby authorize

_____ of _____
to act as my agent in this matter and to provide any of my personal information that will be included in this application or collected during the processing of the application.

DATE _____ SIGNED _____

PART 26 CONSENT OF THE OWNER

Complete the consent of the owner concerning personal information set out below
Consent of Owner to the Disclosure of Application Information and Supporting Documentation

Application information is collected under the authority of the *Planning Act*, R.S.O. 1990, c. P. 13. In accordance with that Act, it is the policy of the City of Hamilton to provide public access to all *Planning Act* applications and supporting documentation submitted

(Print name of Owner)

that the information contained in this application and any documentation, including reports, studies and drawings, provided in support of the application, by myself, my agents, consultants and solicitors, constitutes public information and will become part of the public record. As such, and in accordance with the provisions of the *Municipal Freedom of Information and Protection of Privacy Act*, R.S.O. 1990, c. M.53, I hereby consent to the City of Hamilton making this application and its supporting documentation available to the general public, including copying and disclosing the application and its supporting documentation to any third party upon their request

Aug 12, 2020
Date

PART 27 PERMISSION TO ENTER

Date: _____

Secretary/Treasurer
Committee of Adjustment
City of Hamilton,
City Hall

Dear Secretary/Treasurer;

Re: Application to Committee of Adjustment

Location of Land: 11 Fisher Cres., Hamilton
(Municipal address)

I hereby authorize the members of the Committee of Adjustment and members of the _____
_____ property for the limited _____

Please print name

Note: The Committee of Adjustment requires that all properties be identified with the municipal address clearly visible from the street. Where there is no municipal address or the property is vacant then the property shall be identified in accordance with the Committee's policy included on the back of the Application Form. Failure to properly identify the subject property may result in the deferral of the application.

PART 28 COLLECTION OF INFORMATION

The personal information contained on this form is collected under the authority of the *Planning Act*, R.S.O. 1990, c. P.13, and will be used for the purpose of processing the application. This information will become part of the public record and will be made available to the general public. Questions about the collection of this information should be directed to the Coordinator of Business Facilitation, Planning and Economic Development Department, City of Hamilton, 1st floor, 71 Main Street West, City Hall, Hamilton, Ontario, Telephone: 905-546-2424, ext.1284.

CITY OF HAMILTON
COST ACKNOWLEDGEMENT AGREEMENT

This Agreement made this 12th day of August, 2020.

BETWEEN



hereinafter referred to as the "Developer"

-and-

City of Hamilton

hereinafter referred to as the "City"

WHEREAS the Developer represents that he/she is the registered owner of the lands described in Schedule "A" attached hereto, and which lands are hereinafter referred to as the "lands";

AND WHEREAS the Developer has filed for an application for a (circle applicable) consent/rezoning/official plan amendment/subdivision approval/minor variance.

AND WHEREAS it is a policy of the City that any City costs associated with an appeal to the Local Planning Appeal Tribunal, by a party other than the Developer, of an approval of a consent, rezoning, official plan amendment, plan of subdivision, and/or minor variance, such as, but not limited to, legal counsel costs, professional consultant costs and City staff costs, shall be paid by the Developer.

NOW THEREFORE THIS AGREEMENT WITNESSETH that in consideration of the sum of two dollars (\$2.00) now paid by the City to the Developer, the receipt of which is hereby acknowledged, the parties hereto agree as follows:

1. In this Agreement:

- (a) "application" means the application(s) for a (circle applicable) consent/rezoning/official plan amendment/subdivision approval or minor variance dated _____ with respect to the lands described in Schedule "A" hereto.
- (b) "Expenses" means all expenses incurred by the City if the application is: (a) approved by the City; (b) appealed to the Local Planning Appeal Tribunal by a party other than the developer; and (c) the City appears before the Local Planning Appeal Tribunal or any other tribunal or Court in support of the application, including but not limited to: City staff time, City staff travel expenses and meals, City disbursements, legal counsel fees and disbursements and all consultant fees and disbursements including, without limiting the generality of the foregoing planning, engineering or other professional expenses

2. The City agrees to process the application and, where the application is approved by the City but appealed to the Local Planning Appeal Tribunal by a party other than the Developer, the Developer shall file an initial deposit, in the form of certified cheque or cash with the General Manager, Finance & Corporate Services within fifteen days of the date of the appeal of the application by a third party in the amount of 50% of the estimated expenses associated with the appeal as estimated by the City Solicitor in his sole discretion which shall be credited against the Expenses.

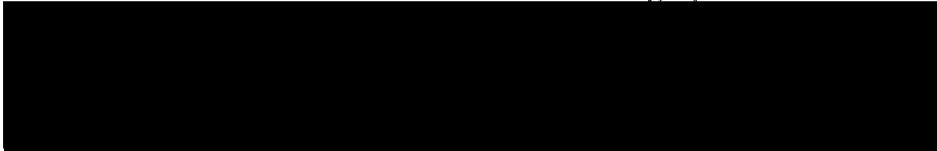
3. It is hereby acknowledged that if the deposit required pursuant to section 2 of this Agreement is not paid by the Developer the City shall have the option, at its sole discretion, of taking no further steps in supporting the Developer's application before the Local Planning Appeal Tribunal.

4. It is hereby acknowledged that all expenses shall be paid for by the Developer. The Developer shall reimburse the City for all expenses the City may be put to in respect of the application upon demand.
5. It is hereby acknowledged and agreed that all expenses shall be payable by the Developer whether or not the Developer is successful before the Local Planning Appeal Tribunal or any other tribunal or Court in obtaining approval for their application.
6. The City shall provide the Developer with copies of all invoices of external legal counsel or consultants included in the expenses claimed by the City.
7. The City shall provide the Developer with an accounting of all staff costs and City disbursements included in the expenses claimed by the City.
8. The City may, at any time, draw upon the funds deposited in accordance with sections 2 and 9 of this Agreement to satisfy expenses incurred pursuant to the appeal of the application.
9. In the event that the amount deposited pursuant to section 2 of this Agreement is reduced to less than 10% of the initial deposit, the City may halt all work in respect of the appeal of the application until the Developer deposits with the City a sum sufficient to increase the deposit to an amount which is equal to 100% of the expenses estimated pursuant to paragraph 2 of this Agreement and still to be incurred by the City.
10. Within 60 days of: (a) a decision being rendered in respect of the appeal or any legal proceedings resulting from the decision, whichever is later; or (b) the termination of all legal proceedings in respect of the application, the City shall prepare and submit a final account to the Developer. If there are any deposit funds remaining with the City they shall be applied against the account. Any amount owing in respect of the final account in excess of deposit funds shall be paid by the Developer within 30 days of the date of the final account. If any deposit funds are remaining after the final account has been paid they shall be returned to the developer within 30 days of the date of the final account.
11. This Agreement shall not be construed as acceptance of the application and nothing herein shall require or be deemed to require the City to approve the application.
12. This Agreement shall not stand in lieu of or prejudice the rights of the City to require such further and other agreements in respect of the application that the City may deem necessary.
13. Every term, covenant, obligation and condition in this Agreement ensures to the benefit of and is binding upon the parties hereto and their respective heirs, executors, administrators, successors, trustees and assigns.
14. When the context so requires or permits, the singular number is to be read as if the plural were expressed, and the masculine gender as if the feminine, as the case may be, were expressed; and,
15. This Agreement and the schedules hereto constitute the entire agreement between the parties in respect of the subject matter contained herein and is not subject to, or in addition to, any other agreements, warranties or understandings, whether written, oral or implied. This Agreement may not be modified or amended except by instrument in writing signed by the Developer and the City, and,
16. The waiver or acquiescence by the City of any default by the Developer under any obligation to comply with this Agreement shall not be deemed to be a waiver of that obligation or any subsequent or other default under this Agreement.

17. The Developer covenants and agrees to be bound by the terms and conditions of this Agreement and not to seek a release from the provisions thereof until such time as the Developer's obligations hereunder have been assumed by its successor, assignee or transferee by way of written agreement in the form set out in Schedule "B" to this Agreement.

IN WITNESS WHEREOF the parties hereto have set their corporate seals under the hands of their duly authorized officers.

DATED at Hamilton this 12th day of August, 2020.



WITNESS

Per:

I have authority to bind the corporation

DATED at Hamilton, Ontario this ____ day of _____, 20____.

City of Hamilton

Per: _____

Mayor

Per: _____

Clerk

Schedule "A"
Description of Lands

SCHEDULE "B"
FORM OF ASSUMPTION AGREEMENT

THIS AGREEMENT dated the _____ day of _____ 20 ____.

BETWEEN

(hereinafter called the "Owner")

OF THE FIRST PART

-and-

(hereinafter called the "Assignee")

OF THE SECOND PART

-and-

CITY OF HAMILTON
(hereinafter called the "Municipality")

OF THE THIRD PART

WHEREAS the owner and the Municipality entered into and executed a Cost Acknowledgement Agreement dated _____.

AND WHEREAS Assignee has indicated that it will assume all of the Owner's duties, liabilities and responsibilities as set out in the Cost Acknowledgement Agreement.

AND WHEREAS Council for the Municipality has consented to releasing the Owner from its duties, liabilities and responsibilities under said Cost Acknowledgement Agreement subject to the Assignee accepting and assuming the Owner's duties, liabilities and responsibilities and subject to the Assignee the Owner and the Municipality entering into and executing an Assumption Agreement.

NOW THEREFORE THIS AGREEMENT WITNESSETH THAT in consideration of the mutual covenants hereinafter expressed and other good and valuable consideration, the parties hereto agree as follows.

1. The Assignee covenants and agrees to accept, assume and to carry out the Owner's duties, liabilities and responsibilities under the Cost Acknowledgement Agreement and in all respects to be bound under said Cost Acknowledgement Agreement as if the Assignee had been the original party to the agreement in place of the Owner.
2. The Municipality hereby releases the Owner from all claims and demands of any nature whatsoever against the Owner in respect of the Cost Acknowledgement Agreement. The Municipality hereby accepts the Assignee as a party to the Cost Acknowledgement Agreement in substitution of the Owner, and agrees with the Assignee that the Assignee will be bound by all the terms and conditions of the Cost Acknowledgement Agreement as if the Assignee had been the original executing party in place of the Owner.
3. All of the terms, covenants, provisos and stipulations in the said Cost Acknowledgement Agreement are hereby confirmed in full force save and except

for such modifications as are necessary to make said clauses applicable to the Assignee.

IN WITNESS WHEREOF the Parties have hereunto affixed their corporate seals duly attested to by their proper signing officers in that behalf.

SIGNED, SEALED AND DELIVERED

Owner: c/s
Title:
I have authority to bind the corporation

Assignee: c/s
Title:
I have authority to bind the corporation

CITY OF HAMILTON

Mayor

Clerk

Schedule 1: Designer Information

Use one form for each individual who reviews and takes responsibility for design activities with respect to the project.

A. Project Information

Building number, street name		11 Fisher Cres	Unit no.	Lot/con.
Municipality	Hamilton	Postal code L9C 4N1	Plan number/ other description	

B. Individual who reviews and takes responsibility for design activities

Name	Patrick Meagher		Firm	Tacoma Engineers Inc.	
Street address	176 Speedvale Ave W		Unit no.	Lot/con.	
Municipality	Guelph	Postal code N1H 1C3	Province	ON	
Telephone number (519) 763-2000 x222	Fax number ()	E-mail patm@tacomaengineers.com	Cell number ()		

C. Design activities undertaken by individual identified in Section B. [Building Code Table 3.5.2.1. of Division C]

- | | | |
|---|---|---|
| <input type="checkbox"/> House
<input checked="" type="checkbox"/> Small Buildings
<input type="checkbox"/> Large Buildings
<input type="checkbox"/> Complex Buildings | <input type="checkbox"/> HVAC – House
<input type="checkbox"/> Building Services
<input type="checkbox"/> Detection, Lighting and Power
<input type="checkbox"/> Fire Protection | <input type="checkbox"/> Building Structural
<input type="checkbox"/> Plumbing – House
<input type="checkbox"/> Plumbing – All Buildings
<input type="checkbox"/> On-site Sewage Systems |
|---|---|---|

Description of designer's work

Conversion of existing single family dwelling to duplex dwelling.

D. Declaration of Designer

I Patrick Meagher declare that (choose one as appropriate):
(print name)

☒ I review and take responsibility for the design work on behalf of a firm registered under subsection 3.2.4. of Division C, of the Building Code. I am qualified, and the firm is registered, in the appropriate classes/categories.

Individual BCIN: 20673

Firm BCIN: 29604

☐ I review and take responsibility for the design and am qualified in the appropriate category as an "other designer" under subsection 3.2.5. of Division C, of the Building Code.

Individual BCIN: _____

Basis for exemption from registration: _____

☐ The design work is exempt from the registration and qualification requirements of the Building Code.
Basis for exemption from registration and qualification: _____

I certify that:

1. The information contained in this schedule is true to the best of my knowledge.
2. I have submitted this application with the knowledge and consent of the firm.

April 28, 2020

Date  Signature of Designer

NOTE:

1. For the purposes of this form, "individual" means the "person" referred to in Clause 3.2.4.7(1) (c) of Division C, Article 3.2.5.1. of Division C, and all other persons who are exempt from qualification under Subsections 3.2.4. and 3.2.5. of Division C.
2. Schedule 1 is not required to be completed by a holder of a license, temporary license, or a certificate of practice, issued by the Ontario Association of Architects. Schedule 1 is also not required to be completed by a holder of a license to practise, a limited license to practise, or a certificate of authorization, issued by the Association of Professional Engineers of Ontario.

ACCESSORY DWELLING UNIT - *INTERIOR RENO*

11 FISHER CRESCENT,
HAMILTON, ONTARIO



www.nichefordesign.com
info@nichefordesign.com

370 Main St. E, Unit #301
Hamilton, ON, L8N 1J6

905-379-0792

6		
5		
4		
3		
2		
1	ISSUED PERMIT	200427
No.	Description	Date



Firm BCIN: 29604

The undersigned has reviewed and taken responsibility for this design for categories checked. As required by OBC Div.C 3.2.4, the designer is qualified and the firm is registered in the categories checked below.

- ☒ Building Structural
- ☒ Complex Building
- ☒ Large Building
- ☒ Small Building

Signature:

Designer: Pat Meagher

Designer BCIN: 20673

Date: April 28, 2020

TE-35900-20

DRAWING LIST

AKS: TITLEPAGE
AKS: GENERAL & STATISTICS
AKS: EXISTING - BASEMENT
AKS: EXISTING - MAIN LEVEL
AKS: EXISTING - UPPER LEVEL
AKS: PROPOSED - BASEMENT
AKS: PROPOSED - MAIN LEVEL
AKS: DETAIL & SCHEDULES
AKS: DETAIL & SCHEDULES CONT'D
SKS: BASEMENT STRUCTURE

PROJECT:
ACCESSORY DWELLING UNIT
ADDRESS:
11 FISHER CRES., HAMILTON

DRAWING TITLE:
Drawing

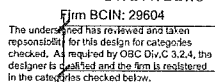
DRAWN BY:
MB

CHECKED BY:


DATE:
20.2.11

SCALE:
AS NOTED

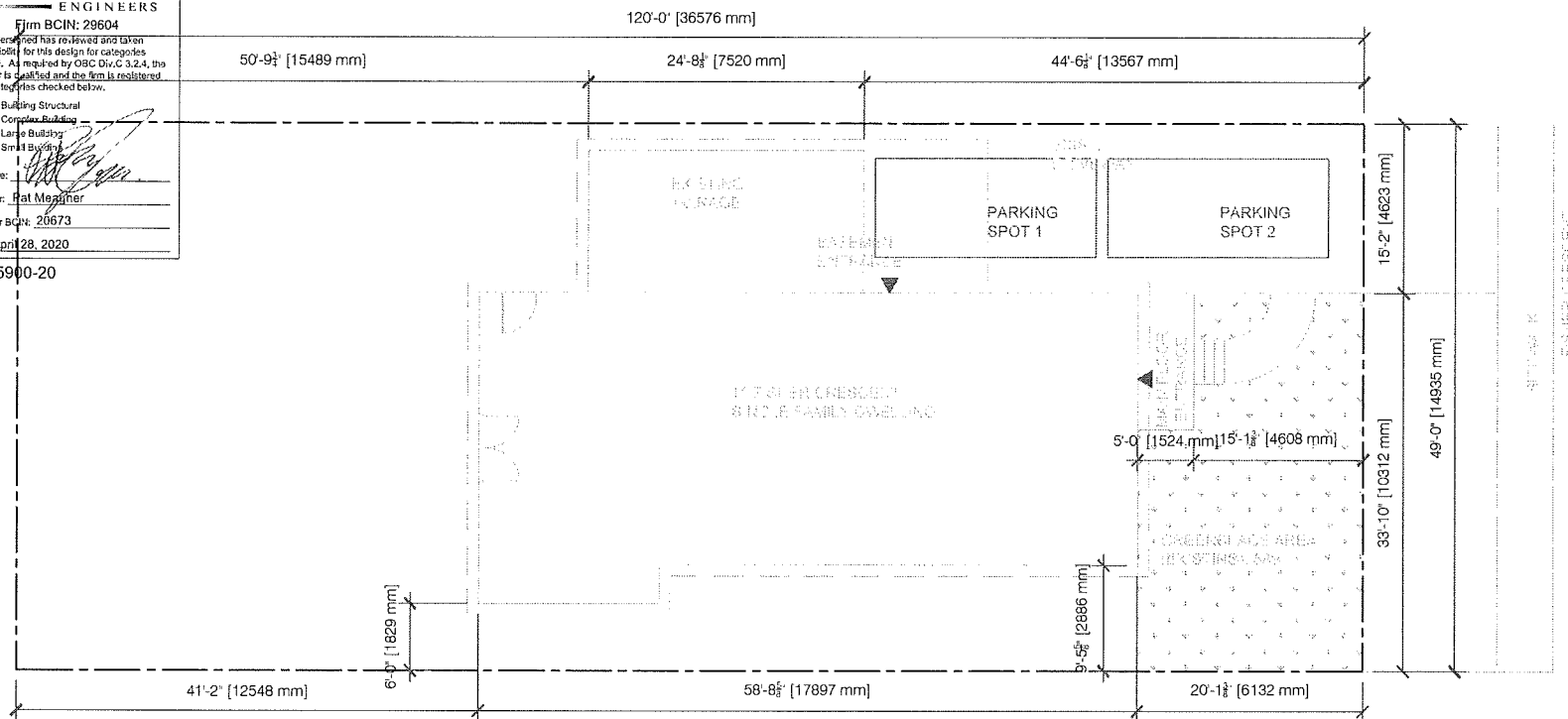
DRAWING #:
A000



☒ Building Structural
☒ Complex Building
☒ Large Building
☒ Small Building

Signature: 
 Designer: Pat Meagher
 Designer BCIN: 20673
 Date: April 28, 2020

TE-35900-20

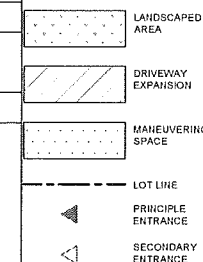


1 SITE PLAN
A001 SCALE: 3/32" = 1'-0"



ZONING AND SITE STATISTICS						
LOT NUMBER	251808101306550		SETBACKS (m)		PARKING	
LOT AREA (m ²)	546			REQUIRED	PROPOSED	LOCATION (2) TANDEM
LOT FRONTAGE (m)	14.9		FRONT	--	--	
GROSS FLOOR AREA			SIDE	--	--	DESIGN STANDARDS (m) MINIMUM WIDTH: 2.7 MINIMUM LENGTH: 6.0
	EXISTING (m ²)	PROPOSED (m ²)	REAR	--	--	REMARKS:
BASEMENT	101	--	LANDSCAPING INFO			
GROUND FLOOR	138	--	FRONT YARD GROSS AREA (m ²)	91	[985 sqft]	
SECOND FLOOR	42	--	EX LANDSCAPED AREA (m ²)	53	[571 sqft]	
THIRD FLOOR	--	--	NEW LANDSCAPED AREA (m ²)	--	58 %	

SITE LEGEND



NOTICE FOR DESIGN

www.nichefordesign.com
info@nichefordesign.com

370 Main St. E, Unit #301
Hamilton, ON, L8N 1J6

905-379-0792

6		
5		
4		
3		
2		
1	ISSUED PERMIT	200427
No.	Description	Date:

SITE PLAN/ DEMO NOTES

1. ITEMS SHALL REMAIN UNLESS DESIGNATED FOR REMOVAL. REMOVE DESIGNATED ITEMS SHOWN ON THE PLAN TO THE FULL DEPTH OF THEIR CONSTRUCTION UNLESS OTHERWISE NOTED.
2. VERIFY THE LOCATION AND DIMENSIONS OF ITEMS TO BE REMOVED PRIOR TO COMMENCEMENT OF THE WORK.
3. ALL CONCRETE AND ASPHALT REMOVAL SHALL BE SAW CUTTED TO A MINIMUM OF 12" DEPTH. REMOVAL SHALL BE PROTECTED FROM FURTHER CONSTRUCTION TO PREVENT EROSION IMPACT, REPAIRS TO DAMAGED EROSION TO BE DONE WITH CARE AND AT NO COST TO THE OWNER.
4. ITEMS DISCOVERED BELOW GRADE AND NOT SHOWN ON THE DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER AND/OR LANDSCAPE ARCHITECT.
5. REMOVE DISCUMBISHED MATERIALS FROM SITE. DISPOSAL BY BURIAL AND/OR BURNING IS PROHIBITED.
6. CONTACT THE LOCAL UNDERGROUND SERVICE OFFICE FOR THE LOCATION AND IDENTIFICATION PRIOR TO DEMOLITION.
7. THE LOCATION OF DISTURBANCE UTILITIES AS SHOWN ON THE PLANS MAY VARY IN RELATION TO ACTUAL EXISTING UTILITIES. ACCORDING TO THE FIELD DATA ON THE DRAWINGS MAY VARY. VERIFY IN THE FIELD THE DATA SHOWN AND CALL ANY DISCREPANCIES TO THE ATTENTION OF THE ENGINEER AND/OR LANDSCAPE ARCHITECT.
8. NO WORK TO BE DONE UNTIL ALL OPENING PRIORITIES

PROJECT:
ACCESSORY DWELLING UNIT
ADDRESS:
11 FISHER CRES., HAMILTON

DRAWING TITLE:
SITE PLAN & STATISTICS

DRAWN BY:
MB

CHECKED BY:

DATE: _____

SCALE:
AS NOTED

DRAWING #:
A001



www.nichefordesign.com
info@nichefordesign.com

370 Main St. E, Unit #301
Hamilton, ON, L8N 1J6

905-379-0792

6		
5		
4		
3		
2		
1	ISSUED PERMIT	200427
No	Description	Date

TACOMA
ENGINEERS

Firm BCIN: 29604

The undersigned has reviewed and taken responsibility for this design for categories checked. As required by OBC Div. C 3.2.4, the designer is qualified and the firm is registered in the categories checked below.

- ☒ Building Structural
☒ Complex Building
☒ Large Building
☒ Small Building

Signature:

Designer: **Pat Meagher**

Designer BCIN: **20673**

Date: **April 28, 2020**

TE-35900-20

PROJECT:
ACCESSORY DWELLING UNIT
ADDRESS:
11 FISHER CRES., HAMILTON

DRAWING TITLE:
EXISTING BASEMENT

DRAWN BY:
MB

CHECKED BY:

DATE:

20.2.11

SCALE:
3/16" = 1'-0"

DRAWING #:
A101

DEMOLITION GENERAL NOTES

- DEMOLITION WORK MUST BE CARRIED OUT BY A CONTRACTOR OR SUB-CONTRACTOR EXPERIENCED IN THIS KIND OF WORK. AN EXPERIENCED STAFF MEMBER SHALL SUPERVISE ALL WORK.
- CONTRACTOR MUST EXAMINE ALL EXISTING WORK TO BE DEMOLISHED CAREFULLY. REPORT ANY DISCREPANCY, UNUSUAL OR UNEXPECTED CONDITIONS TO THE DESIGNER BEFORE PROCEEDING WITH THE DEMOLITION.
- THE METHOD AND/OR THE PROCEDURES OF DEMOLITION, THE EXECUTION OF THE WORK AND ANY TEMPORARY SUPPORTS REQUIRED SHALL BE THE FULL RESPONSIBILITY OF THE CONTRACTOR.
- THE BUILDING COMPONENTS TO REMAIN (STRUCTURAL AND NON-STRUCTURAL) MUST NOT BE DAMAGED BY THE DEMOLITION WORK. ANY DAMAGES CAUSED BY THIS WORK MUST BE REPAIRED TO THE SATISFACTION OF THE OWNER AND AT NO COST TO THE OWNER.
- SHOULD ANY STRUCTURAL STEEL MEMBERS BE FOUND WITHIN THE WALL TO BE DEMOLISHED, DO NOT REMOVE SUCH MEMBER AND REPORT IMMEDIATELY TO DESIGNER OR STRUCTURAL ENGINEER FOR DIRECTION. (ANY STEEL COLUMNS ALONG ANY WALL TO BE DEMOLISHED MUST NOT BE REMOVED).
- HANDLE AND DISPOSE OF CONTAMINATED WASTE (IF FOUND) AS REQUIRED UNDER THE ENVIRONMENTAL PROTECTION ACT, ONTARIO MINISTRY OF LABOUR AND LOCAL REQUIREMENTS.
- ADVISE PROPER AUTHORITIES BEFORE DISCONNECTING ANY EXISTING UTILITY SERVICES. THESE SHALL BE DISCONNECTED AND/OR CAPPED OFF IN ACCORDANCE WITH UTILITY INSTRUCTIONS AND ESTABLISHED PROCEDURES BY SKILLED TRADESMEN.
- MAINTAIN PROPER ACCESS TO SITE. PROVIDE ADEQUATE PROTECTION TO CURBS AND SIDEWALKS MAKING GOOD ANY DAMAGE AT NO COST TO THE OWNER.

EXISTING STRUCTURE NOTE

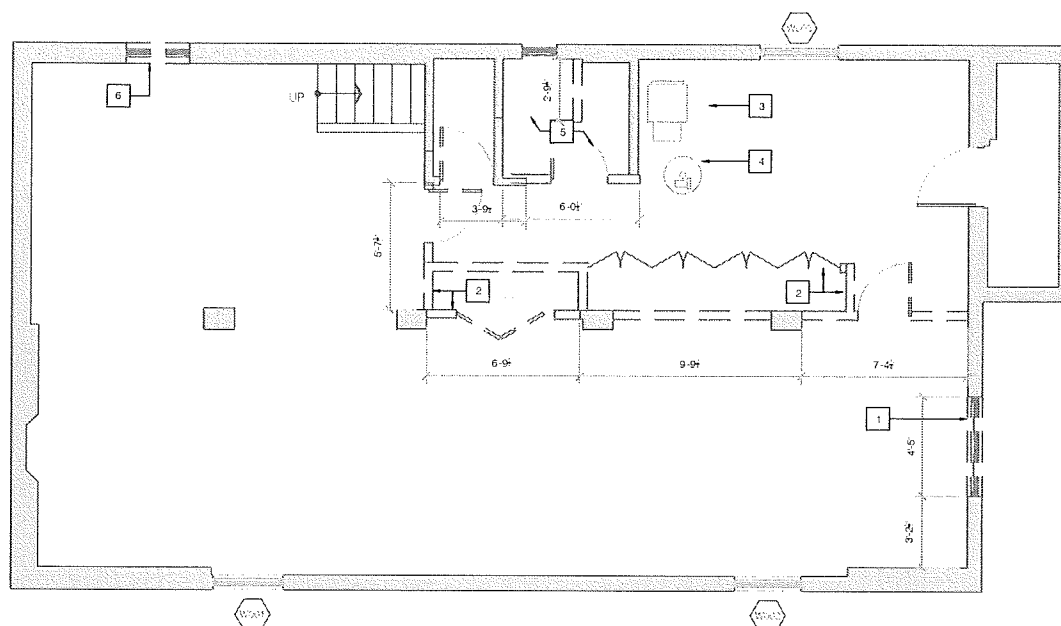
- CONTRACTOR IS FULLY RESPONSIBLE FOR VERIFYING ALL EXISTING STRUCTURAL CONDITIONS PRIOR TO ANY WORK. ANY DISCREPANCY SHALL BE REPORTED TO NICHE FOR DESIGN INC. PRIOR TO ANY WORK. CONTRACTOR IS FULLY RESPONSIBLE FOR SHORING EXISTING STRUCTURE PRIOR TO ANY WORK.

DEMOLITION KEY NOTES

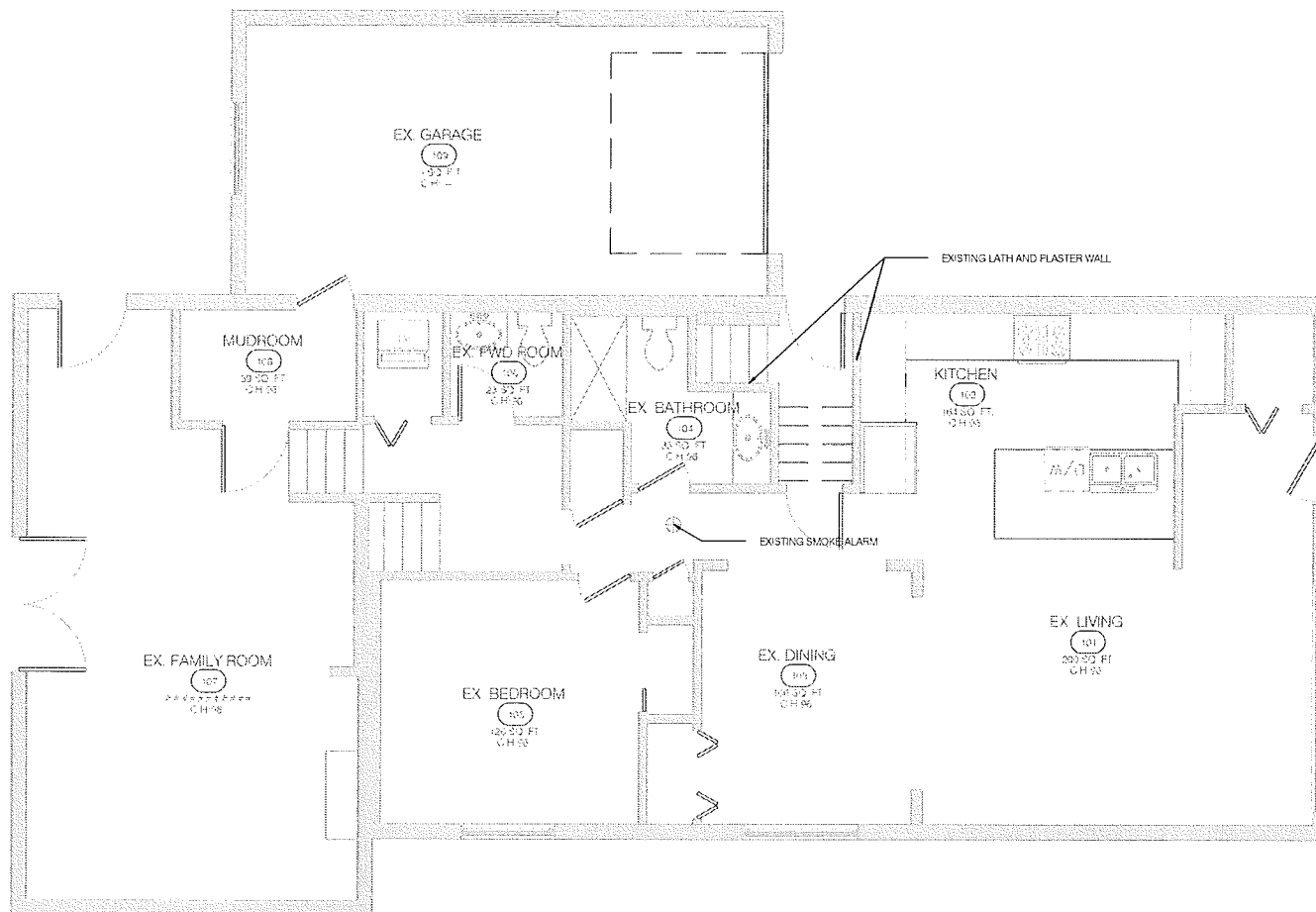
- NEW WINDOW OPENING. REFER TO S101 FOR STRUCTURAL SPECIFICATIONS.
- DEMOLISH AND REMOVE EXISTING NON LOAD BEARING WALL.
- EXISTING HVAC UNIT TO REMAIN.
- EXISTING WATER HEATER TO REMAIN.
- REMOVE & DISPOSE EXISTING PLUMBING FIXTURES. REFER TO A101 FOR NEW PLUMBING LOCATIONS.
- EXISTING WINDOW TO BE REMOVED. VOID IN FOUNDATION WALL TO BE INFILLED. REFER TO A201 FOR DETAILS.

PLAN LEGEND - WALLS

- EXISTING FOUNDATION WALLS TO REMAIN
- EXISTING WALLS TO REMAIN
- EXISTING WALL OR ELEMENT TO BE DEMOLISHED



1 EXISTING - BASEMENT
A101 SCALE: 3/16" = 1'-0"



1 EXISTING - MAIN FLOOR
A102 SCALE: 3/16" = 1'-0"

GENERAL NOTES

1. PROVIDE M-N EGRESS WINDOW CONFORMING TO SECTION 9.9.10.1 OF OBC.
2. M-N WINDOW AREA TO CONFORM TO SECTION 9.7.2.3 OF OBC WITH COMPLIANCE ALTERNATIVE C107 FROM PART 11 ALLOWING FOR 50% REDUCTION IN GLAZING AREA.
3. IF WINDOW OPENS INTO A WINDOW WELL, THERE NEEDS TO BE A CLEARANCE OF AT LEAST 22 INCHES IN FRONT OF THE WINDOW, AND THE WELL CAN NOT OBSTRUCT THE FULL OPENING OF THE WINDOW.
4. IF A WINDOW WELL IS USED, ANY PROTECTIVE COVER MUST BE ABLE TO BE EASILY REMOVED FROM THE INSIDE WITHOUT ANY TOOLS.
5. M-N CEILING HEIGHT SHALL NOT BE LESS THAN 1950mm.
6. THERE IS TO BE NO CHANGE TO THE LOCATION OF EXISTING WALLS.
7. MAIN FLOOR DIMENSIONS ARE TO EXISTING.

EXISTING STRUCTURE NOTE

1. CONTRACTOR IS FULLY RESPONSIBLE FOR VERIFYING ALL EXISTING STRUCTURAL CONDITIONS PRIOR TO ANY WORK. ANY AND ALL DISCREPANCIES SHALL BE REPORTED TO NICHE FOR DESIGN INC. PRIOR TO ANY WORK. CONTRACTOR IS FULLY RESPONSIBLE FOR SHORING EXISTING STRUCTURE PRIOR TO ANY WORK.



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1	ISSUED PERMIT	200427
No.	Description	Date

TACOMA ENGINEERS

Firm BCIN: 29604

The undersigned has reviewed and taken responsibility for this design for categories checked. As required by OBC Div. C 3.2.4, the designer is qualified and the firm is registered in the categories checked below.

- ☒ Building Structural
☒ Complex Building
☒ Large Building
☒ Small Building

Signature: *Pat Megawer*

Designer: Pat Megawer

Designer BCIN: 20673

Date: April 28, 2020

TE-35900-20

PROJECT:
ACCESSORY DWELLING UNIT
ADDRESS:
11 FISHER CRES., HAMILTON

DRAWING TITLE:
EXISTING: MAIN FLOOR

DRAWN BY:
MB

CHECKED BY:

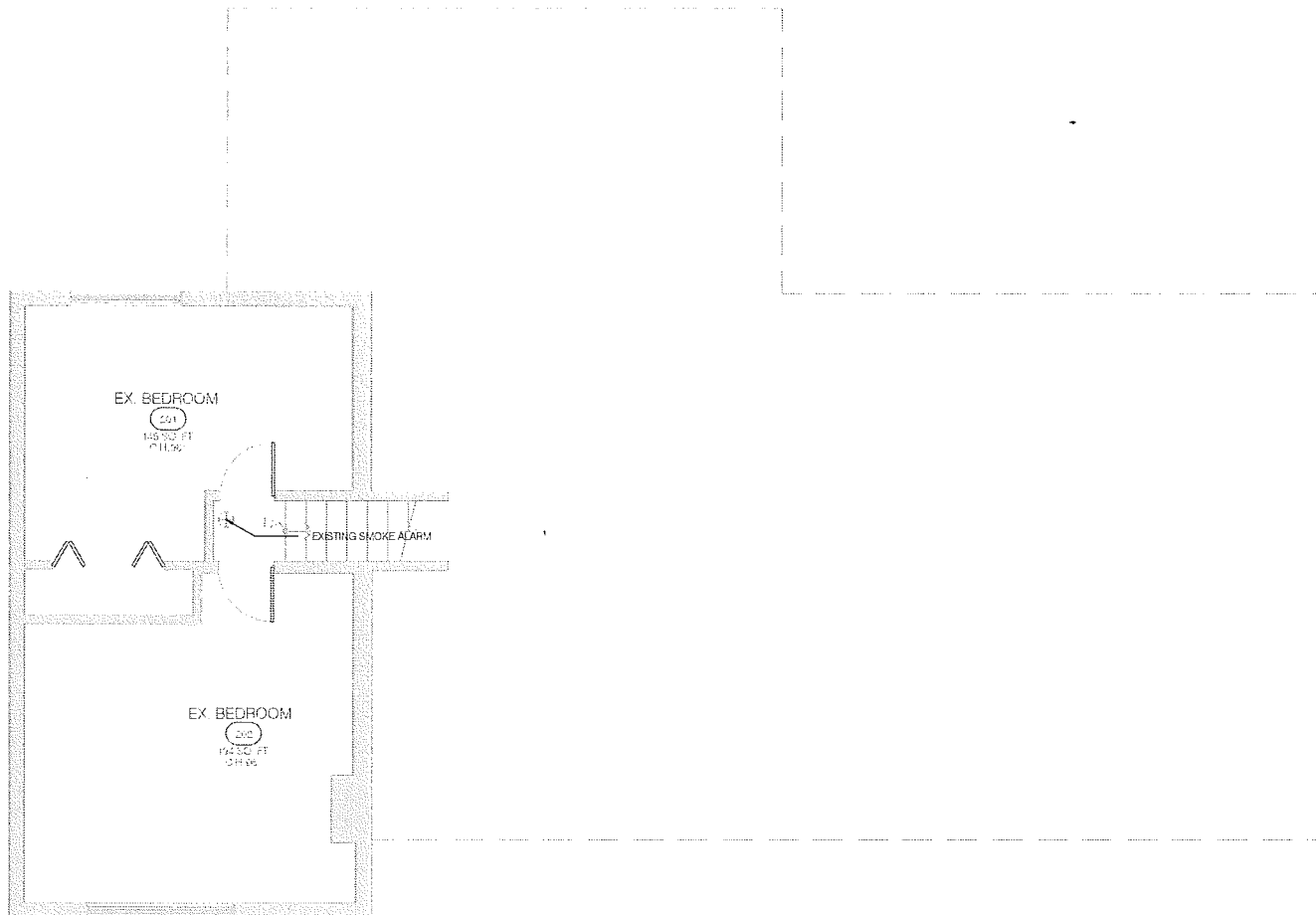
DATE:
20.2.11

SCALE:
1/4" = 1'-0"

DRAWING #:
A102

PLAN LEGEND - WALLS

- EXISTING FOUNDATION WALLS TO REMAIN
- EXISTING WALLS TO REMAIN
- NEW WALL TO BE INSTALLED. REFER TO WALL DETAILS



1 EXISTING - UPPER FLOOR
A103 SCALE: 3/16" = 1'-0"

GENERAL NOTES:

1. PROVIDE MIN. 1 EGRESS WINDOW CONFORMING TO SECTION 9.9.10.1 OF OBC.
2. M.N. WINDOW AREA TO CONFORM TO SECTION 9.7.2.3 OF OBC WITH COMPLIANCE ALTERNATIVE C107 FROM PART 11 ALLOWING FOR 50% REDUCTION IN GLAZING AREA.
3. IF WINDOW OPENS INTO A WINDOW WELL, THERE NEEDS TO BE A CLEARANCE OF AT LEAST 22 INCHES IN FRONT OF THE WINDOW, AND THE WELL CAN NOT OBSTRUCT THE FULL OPENING OF THE WINDOW.
4. IF A WINDOW WELL IS USED, ANY PROTECTIVE COVER MUST BE ABLE TO BE EASILY REMOVED FROM THE INSIDE WITHOUT ANY TOOLS.
5. M.N. CEILING HEIGHT SHALL NOT BE LESS THAN 1950mm.
6. THERE IS TO BE NO CHANGE TO THE LOCATION OF EXISTING WALLS.
7. UPPER LEVEL DIMENSIONS ARE TO EXISTING WALLS AND SOLID CONCRETE BLOCKS.

EXISTING STRUCTURE NOTE:

1. CONTRACTOR IS FULLY RESPONSIBLE FOR VERIFYING ALL EXISTING STRUCTURAL CONDITIONS PRIOR TO ANY WORK. ANY AND ALL DISCREPANCIES SHALL BE REPORTED TO NICHE FOR DESIGNING PRIOR TO ANY WORK. CONTRACTOR IS FULLY RESPONSIBLE FOR SHORING EXISTING STRUCTURE PRIOR TO ANY WORK.

PLAN LEGEND - WALLS

- EXISTING FOUNDATION WALLS TO REMAIN
- EXISTING WALLS TO REMAIN
- NEW WALL TO BE INSTALLED REFER TO WALL DETAILS



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No.	Description	Date

TACOMA
ENGINEERS
Firm BCIN: 29604

The undersigned has reviewed and taken responsibility for this design for categories checked. As required by OBC Div. C 3.2.4, the designer is qualified and the firm is registered in the categories checked below.

☒ Building Structural
☒ Complex Building
☒ Large Building
☒ Small Building

Signature:

Designer: Pat Messinger
Designer BCIN: 20673
Date: April 28, 2020

TE-35900-20

PROJECT:
ACCESSORY DWELLING UNIT
ADDRESS:
11 FISHER CRES., HAMILTON

DRAWING TITLE:
PROPOSE: UPPER LEVEL

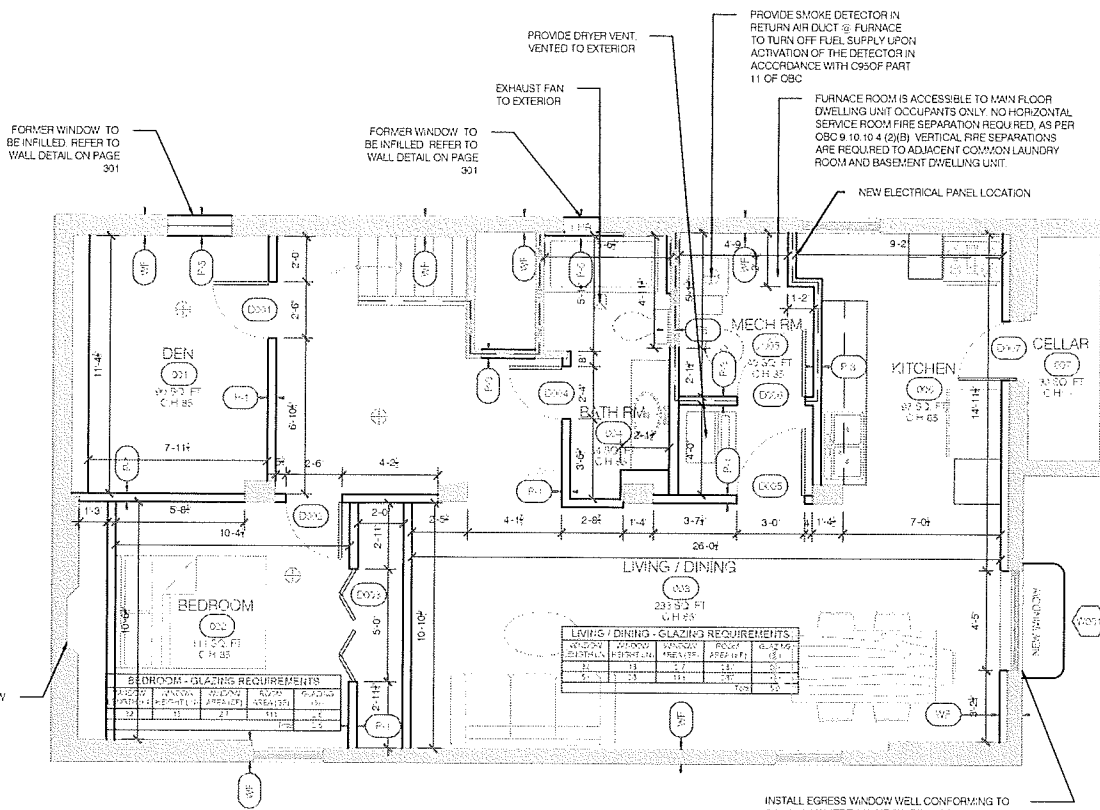
DRAWN BY:
MB

CHECKED BY:

DATE:
20.2.11

SCALE:
1/4" = 1'-0"

DRAWING #:
A103



LIVING / DINING - GLAZING REQUIREMENTS				
WINDOW	WINDOW	WINDOW	WINDOW	WINDOW
W01	W02	W03	W04	W05
11'2" x 11'3"	11'2" x 11'3"	11'2" x 11'3"	11'2" x 11'3"	11'2" x 11'3"
11'2" x 11'3"	11'2" x 11'3"	11'2" x 11'3"	11'2" x 11'3"	11'2" x 11'3"

- INSTALL EGRESS WINDOW WELL CONFORMING TO 9.9.10.1(5) WHERE A WINDOW REQUIRED IN SENTENCE (1) OPENS INTO A WINDOW WELL. A CLEARANCE OF NOT LESS THAN 550MM SHALL BE PROVIDED IN FRONT OF THE WINDOW EGRESS WINDOW CONFORMING TO 9.9.10.1.
- A. IS OPENABLE FROM THE INSIDE WITHOUT THE USE OF TOOLS.
- B. PROVIDES AN INDIVIDUAL UNOBSTRUCTED OPEN PORTION HAVING A MINIMUM AREA OF 0.35 m² WITH NO DIMENSIONS LESS THAN 350mm. AND
- C. MAINTAINS THE REQUIRED OPENING DESCRIBED IN CLAUSE (B) WITHOUT THE NEED FOR ADDITIONAL SUPPORT

PLAN LEGEND - WALLS

- EXISTING FOUNDATION WALLS TO REMAIN
- EXISTING WALLS TO REMAIN
- NEW WALL TO BE INSTALLED. REFER TO WALL DETAILS
- COMBINED SMOKE AND CO2 DETECTOR

GENERAL NOTES

- PROVIDE MIN 1 EGRESS WINDOW CONFORMING TO SECTION 9.9.10.1 OF CBC. MIN WINDOW AREA TO CONFORM TO SECTION 9.7.2.3 OF CBC WITH COMPLIANCE ALTERNATIVE C107 FROM PART 11 ALLOWING FOR 50% REDUCTION IN GLAZING AREA.
- IF WINDOW OPENS INTO A WINDOW WELL, THERE NEEDS TO BE A CLEARANCE OF AT LEAST 22 INCHES IN FRONT OF THE WINDOW, AND THE WELL CAN NOT OBSTRUCT THE FULL OPENING OF THE WINDOW.
- IF A WINDOW WELL IS USED, ANY PROTECTIVE COVER MUST BE ABLE TO BE EASILY REMOVED FROM THE INSIDE WITHOUT ANY TOOLS.
- MIN CEILING HEIGHT SHALL NOT BE LESS THAN 1950mm.
- THERE IS TO BE NO CHANGE TO THE LOCATION OF EXISTING WALLS.
- MAIN FLOOR DIMENSIONS ARE TO EXISTING WALLS AND SOLID CONCRETE/BLOCKS.

FIRE SEPARATION NOTES

- ALL NEW SMOKE ALARMS SHALL BE SUPPLIED AND INSTALLED AS REQUIRED PER SECTION 9.10.19 AND BE EQUIPPED WITH A VISUAL SIGNALING COMPONENT THAT MEETS NFPA 72 AND SECTION 3.2.4.22 OF THE CBC. NEW SMOKE ALARMS MUST BE INTERCONNECTED WITH EACH OTHER.
- WHEN INTERCONNECTED SMOKE ALARMS ARE PROVIDED, THE HORIZONTAL FIRE SEPARATION REQUIRED BETWEEN EACH DWELLING UNIT AS WELL AS COMMON SHARED AREAS SHALL HAVE A MINIMUM FIRE RESISTANCE RATING OF 15 MINUTES (PER PART 11, COMPLIANCE ALTERNATIVES C147 & C152) EXISTING 1/2" DRYWALL FINISH OR EXISTING LATH PLASTER FINISH IS DEEMED COMPLIANT (PROVIDING 15 MINUTE FRR).
- FIRE SEPARATIONS HAVING A 30 MINUTE FRR ARE COMPLIANT BETWEEN UNITS AND COMMON SPACES, AS PER CA 147 & 152. HORIZONTAL FIRE SEPARATIONS MAY BE REDUCED TO 15 MIN BE REDUCED TO 15 MIN FRR IS SMOKE ALARMS ARE INTERCONNECTED BETWEEN UNITS.
- STRUCTURAL MEMBERS IN FLOOR ASSEMBLIES AS WELL AS ALL LOADBEARING WALLS, COLUMNS AND ARCHES SUPPORTING A RATED ASSEMBLY SHALL HAVE A MINIMUM FIRE RESISTANCE RATING OF 30 MIN EXISTING CONCRETE OR MASONRY CONSTRUCTION IS DEEMED COMPLIANT. LOAD BEARING WOOD FRAMED WALLS, WOOD POSTS, AND STEEL POSTS MUST BE PROTECTED WITH MINIMUM 1 LAYER OF 2" TYPE X DRYWALL.
- ALL DOORS LOCATED IN REQUIRED FIRE SEPARATIONS WITH FIRE RESISTANCE RATINGS OF 30 OR 45 MINUTES SHALL BE EQUIPPED WITH A SELF CLOSING DEVICE AND HAVE A MINIMUM FIRE RESISTANCE RATING OF 20 MINUTES.
- EXISTING DUCT PENETRATIONS OF FLOOR ASSEMBLIES ACCEPTABLE (PER PART 11 COMPLIANCE ALTERNATIVE C169).

EXISTING STRUCTURE NOTE

- CONTRACTOR IS FULLY RESPONSIBLE FOR VERIFYING ALL EXISTING STRUCTURAL CONDITIONS PRIOR TO ANY WORK. ANY AND ALL DISCREPANCIES SHALL BE REPORTED TO NICHE FOR DESIGNING PRIOR TO ANY WORK. CONTRACTOR IS FULLY RESPONSIBLE FOR SHORING EXISTING STRUCTURE PRIOR TO ANY WORK.



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No	Description	Date



Firm BCIN: 29604

The undersigned has reviewed and taken responsibility for this design for categories checked. As required by CBC Div. 3.2.4, the designer is qualified and the firm is registered in the categories checked below.

- ☒ Building Structural
- ☒ Complex Building
- ☒ Large Building
- ☒ Small Building

Signature: *Pat Meagher*

Designer: **Pat Meagher**

Designer BCIN: **20673**

Date: **April 28, 2020**

TE-35900-20

PROJECT:
ACCESSORY DWELLING UNIT
ADDRESS:
11 FISHER CRES., HAMILTON

DRAWING TITLE:
PROPOSE: BASEMENT

DRAWN BY:
MB

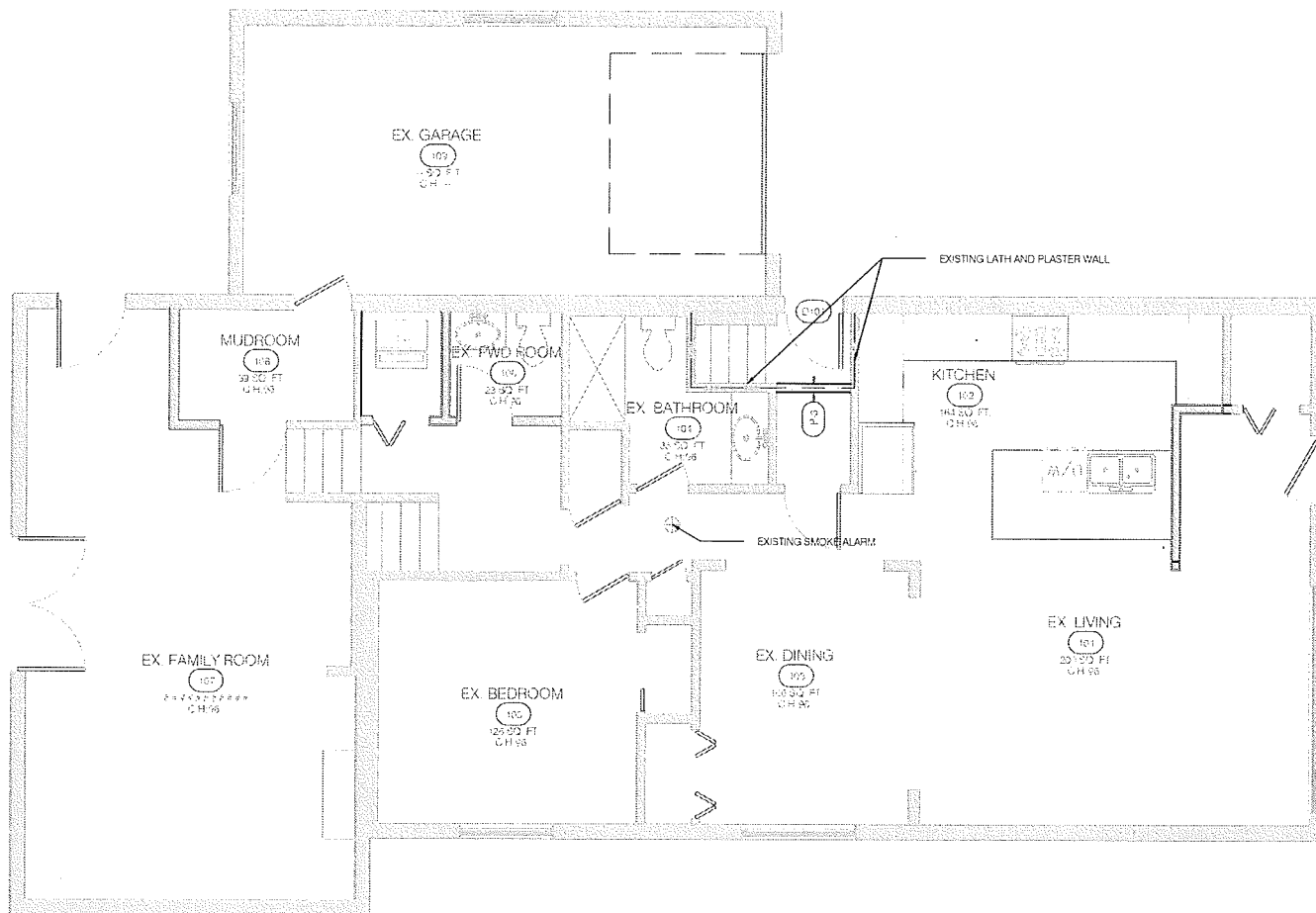
CHECKED BY:

DATE:
20.2.11

SCALE:
1/4" = 1'-0"

DRAWING #:
A201

1 PROPOSED - BASEMENT
A201 SCALE: 3/16" = 1'-0"



GENERAL NOTES

1. PROVIDE MIN. 1 EGRESS WINDOW CONFORMING TO SECTION 9.9.10.1 OF OBC.
2. MIN. WINDOW AREA TO CONFORM TO SECTION 9.7.2.3 OF OBC WITH COMPLIANCE ALTERNATIVE C107 FROM PART 11 ALLOWING FOR 50% REDUCTION IN GLAZING AREA.
3. IF WINDOW OPENS INTO A WINDOW WELL, THERE NEEDS TO BE A CLEARANCE OF AT LEAST 22 INCHES IN FRONT OF THE WINDOW, AND THE WELL CAN NOT OBSTRUCT THE FULL OPENING OF THE WINDOW.
4. IF A WINDOW WELL IS USED, ANY PROTECTIVE COVER MUST BE ABLE TO BE EASILY REMOVED FROM THE INSIDE WITHOUT ANY TOOLS.
5. MIN. CEILING HEIGHT SHALL NOT BE LESS THAN 1950mm.
6. THERE IS TO BE NO CHANGE TO THE LOCATION OF EXISTING WALLS.
7. MAIN FLOOR DIMENSIONS ARE TO EXISTING WALLS AND SOLID CONCRETE BLOCKS.

EXISTING STRUCTURE NOTE

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No	Description	Date

TACOMA ENGINEERS

Firm BCIN: 29604

The undersigned has reviewed and taken responsibility for this design for categories checked. As required by OBC Div. C-3.2.4, the designer is qualified and the firm is registered in the categories checked below.

- ☒ Building Structural
- ☒ Complex Building
- ☒ Large Building
- ☒ Small Building

Signature: *Pat Meagher*

Designer: **Pat Meagher**

Designer BCIN: **20673**

Date: **April 28, 2020**

TE-35900-20

PROJECT:
ACCESSORY DWELLING UNIT
ADDRESS:
11 FISHER CRES., HAMILTON

DRAWING TITLE:
PROPOSE: MAIN FLOOR

DRAWN BY:
MB

CHECKED BY:

DATE:
20.2.11

SCALE:
1/4" = 1'-0"

DRAWING #:
A102

PLAN LEGEND - WALLS

- EXISTING FOUNDATION WALLS TO REMAIN
- EXISTING WALLS TO REMAIN
- NEW WALL TO BE INSTALLED. REFER TO WALL DETAILS

1 EXISTING - MAIN FLOOR
A202/SCALE: 3/16" = 1'-0"