



Hamilton

**COMMITTEE OF ADJUSTMENT**

City Hall, 5<sup>th</sup> floor, 71 Main Street West, Hamilton, ON L8P 4Y5  
Telephone (905) 546-2424, ext. 4221, 3935 Fax (905) 546-4202  
E-mail: [cofa@hamilton.ca](mailto:cofa@hamilton.ca)

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**NOTICE OF PUBLIC HEARING**  
**Minor Variance**

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**You are receiving this notice because you are either:**

- Assessed owner of a property located within 60 metres of the subject property
  - Applicant/agent on file, or
  - Person likely to be interested in this application
- 

**APPLICATION NO.:** HM/A-20:211

**APPLICANTS:** Ken Bekendam on behalf of the owner Adrian Pannozzo

**SUBJECT PROPERTY:** Municipal address **886 King St. E., Hamilton**

**ZONING BY-LAW:** Zoning By-law 05-200, as Amended by By-law 16-265

**ZONING:** "TOC1" (Mixed Use (TOC1) Zone

**PROPOSAL:** To permit the conversion of the existing two-storey building to a Multiple Dwelling containing 11 dwelling units, notwithstanding,

1. The finished floor elevation of the ground floor dwelling units shall be permitted to be at grade instead of providing a finished floor elevation of 0.9 metres above grade for all dwelling units; and,

2. No minimum setback to a street shall be required for residential dwelling units on the ground floor level instead of providing a minimum setback of 3.0 metres to a street line for all residential dwelling units on the ground floor level.

**NOTES:**

1. A further variance will be required if the minimum required amenity area for a Multiple Dwelling in accordance with Section 11.1.3 h) of the Zoning By-law is not provided.

2. A further variance may be required if a Visual Barrier in accordance with Section 4.19 of the Zoning By-law is not provided along the southerly lot line and a portion of the easterly lot line abutting a Residential Zone.

3. A further variance may be required if the number of parking spaces which existed on the date of the passing of the By-law (October 12, 2016) are no longer provided and maintained.

This application will be heard by the Committee as shown below:

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**DATE:** Thursday, November 5th, 2020

**TIME:** 1:40 p.m.

**PLACE:** Via video link or call in (see attached sheet for details)

To be streamed at [www.hamilton.ca/committeeofadjustment](http://www.hamilton.ca/committeeofadjustment)  
for viewing purposes only

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## **PUBLIC INPUT**

**Written:** If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

**Orally:** If you would like to speak to this item at the hearing you may do so via video link or by calling in. Please see attached page for complete instructions, including deadlines for registering to participate.

## **MORE INFORMATION**

For more information on this matter, including access to drawings illustrating this request:

- Visit [www.hamilton.ca/committeeofadjustment](http://www.hamilton.ca/committeeofadjustment)
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935
- Email Committee of Adjustment staff at [cofa@hamilton.ca](mailto:cofa@hamilton.ca)

DATED: October 20th, 2020.



Jamila Sheffield,  
Secretary-Treasurer  
Committee of Adjustment

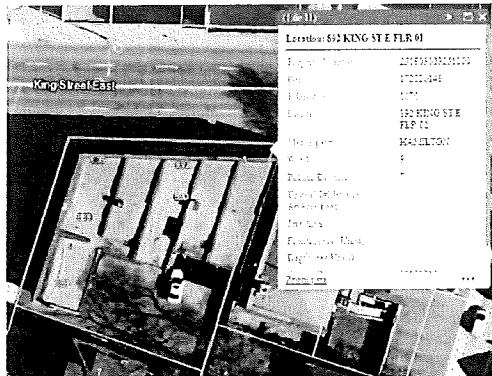
***Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public.***

# 11 UNIT CONVERSION

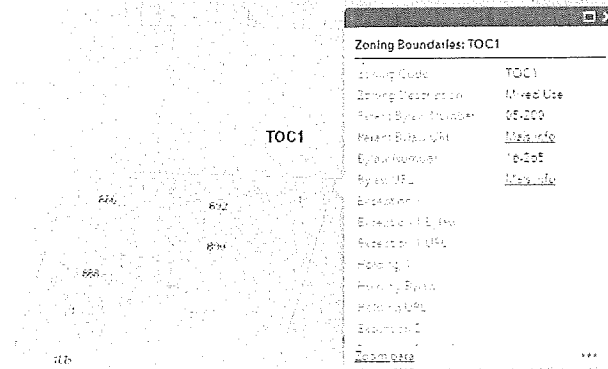
886 KING STREET EAST - HAMILTON, ON.



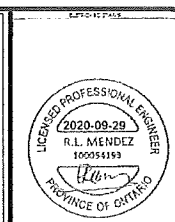
EXISTING BUILDING IMAGE



AERIAL MAP



ZONING MAP



ROOM	ROOM NAME
□	EXHAUST FAN
○	SPECK CATCH TAG
△	SMOKE ALARM
□	CARBON MONOXIDE ALARM
—	CERAMIC HEIGHT
—	STRUCTURAL BEAM OR WALL
—	FILLING/STAKE
—	WATER METER
—	FLOOR DEAN
—	STRUCTURAL COLUMN
—	FOUNDATION WALL
—	EXISTING EXTERIOR WALLS
—	NEW EXTERIOR WALLS
—	EXISTING INTERIOR WALLS
—	NEW INTERIOR WALLS
—	STRUCTURAL WALL
—	NEW STRUCTURAL BEAMS
—	WINDOWS
—	DOOR
—	DOOR SILENT CLOSURE
—	RETURN CIRCLE
—	DOOR STOP
—	PROJECTIONS

BOOK LETTER	DESCRIPTION
A	PANEL DOOR
B	FIRE DOOR w/ SELF CLOSER (45 MIN)
C	FIRE DOOR w/ SELF CLOSER (20 MIN)
D	EXTERIOR DOOR
E	INFOLD CLOSET
F	SLIDING DOOR
G	POCKET DOOR



<p><b>KING HOMES</b> DESIGN   BUILD   OPERATE</p>	<p>LEAD DESIGNER &amp; CONSULTANT kenbekercornd@gmail.com C: (905) 941-0447</p>	<p>KEN BEKERCORND kenbekercornd@gmail.com C: (905) 941-0447 (553) - KINGHMS (546-4447)</p>	<p><b>LEGAL SECOND SUITES</b></p>
	<p>LEAD ENGINEER ROBERT MENDEZ P. ENG. 100354193 robertmendez@yahoo.com C: (416) 807-1572</p>	<p>www.legalsecondsuites.com</p>	

No.	DESCRIPTION	DATE

ADDRESS:  
**886 KING STREET EAST  
HAMILTON, ON.**

**TITLE PAGE**

DATE: **SEPTEMBER 2020**

SCALE: **-**

PROJECT: **11 UNIT CONVERSION**

SHEET#: **A0.01**

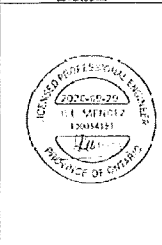
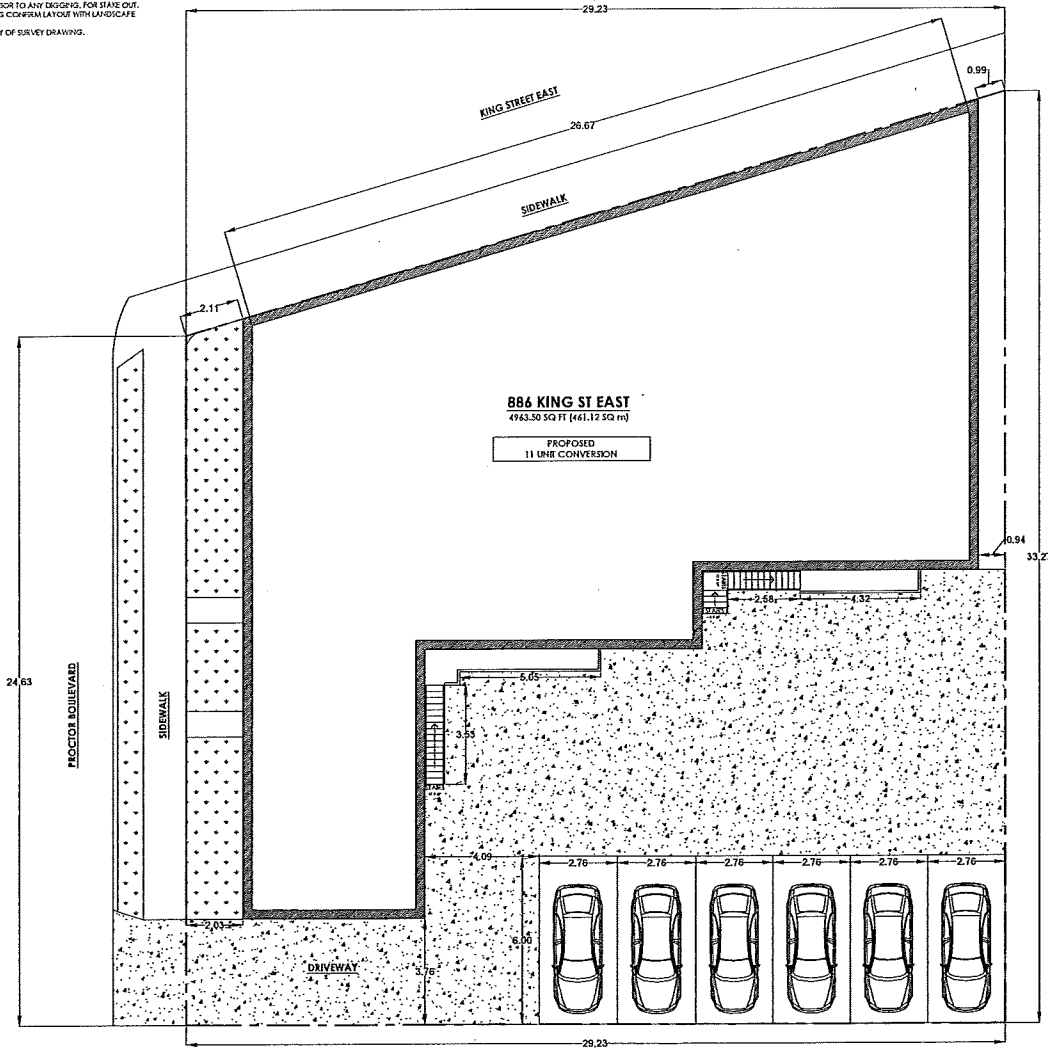
SITE INFORMATION & STATISTICS			
ADDRESS	886 KING STREET EAST - HAMILTON, ON		
PROJECT TYPE	RENOVATION		
DATE PREPARED	12/23/2020		
FLOOR AREA	ALLOWED	EXISTING	PROPOSED
BASEMENT			NO CHANGE
FIRST FLOOR			NO CHANGE
SECOND FLOOR			NO CHANGE
THIRD FLOOR			NO CHANGE
FOURTH FLOOR			NO CHANGE
FIFTH FLOOR			NO CHANGE
SIXTH FLOOR			NO CHANGE
SEVENTH FLOOR			NO CHANGE
EIGHTH FLOOR			NO CHANGE
NINTH FLOOR			NO CHANGE
TENTH FLOOR			NO CHANGE
ELEVENTH FLOOR			NO CHANGE
TWELFTH FLOOR			NO CHANGE
THIRTEENTH FLOOR			NO CHANGE
FOURTEENTH FLOOR			NO CHANGE
FIFTEENTH FLOOR			NO CHANGE
SIXTEENTH FLOOR			NO CHANGE
SEVENTEENTH FLOOR			NO CHANGE
EIGHTEENTH FLOOR			NO CHANGE
NINETEENTH FLOOR			NO CHANGE
TWENTIETH FLOOR			NO CHANGE

**GENERAL NOTE:**  
 1. ALL CONSTRUCTION TO COMPLY WITH THE REVISED ONTARIO BUILDING CODE 2012.  
 2. ALL DIMENSIONS ARE MEASURED TO ROUGH FRAMING OR TO MASONRY SURFACES UNLESS OTHERWISE NOTED.  
 3. ALL DOORS AND WINDOW OPENINGS ARE MEASURED TO ROUGH FRAMING OR MAJOR FLOOR FINISHES.  
 4. CONTRACTOR IS TO VERIFY WINDOW OPENINGS WITH WINDOW MANUFACTURER PRIOR TO COMMENCING WORK.  
 5. READ ARCHITECTURAL DRAWINGS IN CONJUNCTION WITH STRUCTURAL MECHANICAL AND ELECTRICAL DRAWINGS.  
 6. ELEVATION REFERENCES ARE BASED ON 100' ± = 131.70m GEODETIC ELEVATIONS AS NOTED ON A1 SITE PLAN.  
 7. ALL DIMENSIONS MUST BE CHECKED AGAINST THE ARCHITECTURAL DRAWINGS AND THE FIELD CONDITIONS BEFORE COMMENCING FABRICATION AND INCORPORATIONS ARE TO BE REPORTED TO THE CONSULTANT BEFORE PROCEEDING WITH THE WORK.  
 8. THE CONTRACTOR SHALL PROBABLY SUPERVISE THE WORK AND ENSURE THAT THE WORK IS INSTALLED TO THE CORRECT LINES AND LEVELS THAT THE CONTRACTOR AND DEPENDS CONFORM TO THE DRAWING DETAILS AND SHALL COORDINATE THE INTERFACING OF ALL WORK WITH ALL SUB-TRADES.  
 9. PROVIDE FORTHE FRONT YARD & SIDE TO MANAGERIAL SEWER FOR WATER RUNOFF.  
 10. CONTRACTOR TO BE RESPONSIBLE FOR VERIFYING THE LOCATIONS OF ALL EXISTING UNDERGROUND AND ABOVE UTILITIES AND SERVICES. VARIOUS UTILITIES CONCERNED TO BE GIVEN REQUISITE ADVANCED NOTICE PRIOR TO ANY BEGINNING OF WORK.  
 11. REFER TO LANDSCAPING PLAN FOR PLANTING CONCERN LAYOUT WITH LANDSCAPE CONTRACTOR.  
 12. DESIGNER NOT RESPONSIBLE FOR ACCURACY OF SURVEY DRAWING.

**EXISTING STRUCTURE NOTE:**  
 OWNER AND CONTRACTOR IS FULLY RESPONSIBLE FOR VERIFYING ALL EXISTING STRUCTURAL CONDITIONS PRIOR TO ANY WORK. ANY AND ALL DISCREPANCIES SHALL BE REPORTED TO THE OWNER PRIOR TO ANY WORK. OWNER AND CONTRACTOR IS FULLY RESPONSIBLE FOR SHOWING EXISTING STRUCTURE PRIOR TO ANY WORK.

**FIRE PLAN:**  
 BASED ON HAMILTON SITE MAPS AND MEASUREMENTS ON SITE. DESIGNER ASSUMING RESPONSIBILITY FOR ACCURACY OF HAMILTON MAPS. THIS SHEET SHALL NOT BE USED FOR ANY OTHER PURPOSES. NO WORK TO BE DONE ON THIS ADDRESSING PROPERTIES.

**BUILDING CODE COMPLIANCE NOTE:**  
 THESE DRAWINGS DO NOT REPRESENT A COMPREHENSIVE AND EXHAUSTIVE GUIDE FOR COMPLIANCE WITH THE ONTARIO BUILDING CODE. IT IS ASSUMED THAT THE CONTRACTOR HAS REASONABLY SUFFICIENT KNOWLEDGE OF THE ONTARIO BUILDING CODE IN ORDER TO PERFORM ALL WORK AS PER THESE DRAWINGS IN SUCH A MANNER THAT WILL COMPLY WITH ALL ASPECTS OF THE O.B.C. AND WILL NOT CONTRAVENE ANY OTHER APPLICABLE LAWS.



PLAN LEGEND	
⊖	EXHAUST FAN
⊙	SPECIFICATION TAG
⊕	SMOKE ALARM
⊖	CUSTOM MONITORING ALARM
⊖	CLEARING HEIGHT
⊖	STRUCTURAL BEAM OR WALL
⊖	PLUMBING STACK
⊖	WATER UTILITY
⊖	FLOOR FINISH
⊖	STRUCTURAL COLUMN
⊖	FOUNDATION WALL
⊖	EXISTING EXTERIOR WALLS
⊖	NEW EXTERIOR WALLS
⊖	EXISTING INTERIOR WALLS
⊖	NEW INTERIOR WALLS
⊖	STRUCTURAL WALLS
⊖	NEW STRUCTURAL BEAMS
⊖	WINDOWS
⊖	SUPPLY REGISTER
⊖	RETURN GRILLE
⊖	ROOF FLOOR
⊖	ROOF DECK



	<b>LEAD DESIGNER &amp; CONSULTANT</b> FEN BEKENDAM kenbekendam@gmail.com C: (905) 461-0547 (BSS) - KINGHOMES (546-4467)	
	<b>LEAD ENGINEER</b> ROBERT MENDEZ P. ENG. 10005-1193 robertmenendez@chhoo.com C: (416) 807-1572 www.legalsecondsuites.com	

No.	DESCRIPTION	DATE

ADDRESS:  
**886 KING STREET EAST  
 HAMILTON, ON.**

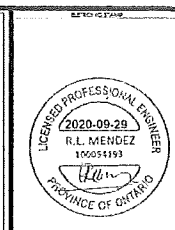
**SITE PLAN METRIC**

DATE:  
**SEPTEMBER 2020**

SCALE:  
**1" = 1'**

PROJECT:  
**11 UNIT CONVERSION**

SHEET#:  
**SP1.02**



BATH ROOM NAME	
[Symbol]	EXHAUST FAN
[Symbol]	SPECIFICATION TAG
[Symbol]	SMOKE ALARM
[Symbol]	CARBON MONOXIDE ALARM
C.L.	CEILING HEIGHT
[Symbol]	STRUCTURAL BEAM OR WALL
[Symbol]	PLUMBING STACK
[Symbol]	WATER METER
[Symbol]	FLOOR DRAIN
[Symbol]	STRUCTURAL COLUMN
[Symbol]	FOUNDATION WALL
[Symbol]	EXISTING EXTERIOR WALLS
[Symbol]	NEW EXTERIOR WALLS
[Symbol]	EXISTING INTERIOR WALLS
[Symbol]	NEW INTERIOR WALLS
[Symbol]	STRUCTURAL WALLS
[Symbol]	NON STRUCTURAL BEAMS
[Symbol]	WINDOWS
[Symbol]	SUPPLY REGISTER
[Symbol]	RETURN GRILLE
[Symbol]	EXHAUST DOOR/SLIT
[Symbol]	POCKET DOOR



<p><b>KING HOMES</b> DESIGN   BUILD   MANAGE</p>	<p>LEAD DESIGNER &amp; CONSULTANT</p> <p>LEAD ENGINEER</p>	<p>GEN. REFERENCE: kenbekeindom@gmail.com C: (905) 941-0147 (416) - 818-1145 (544-4447)</p> <p>ROBERT MENDEZ, P. ENG. 100341113 robermen@royal.ca C: (416) 807-1572</p> <p>www.legatecondo101.com</p>	<p> LEGAL SECOND SUITES</p>
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No.	DESCRIPTION	DATE

ADDRESS:  
**886 KING STREET EAST  
HAMILTON, ON.**

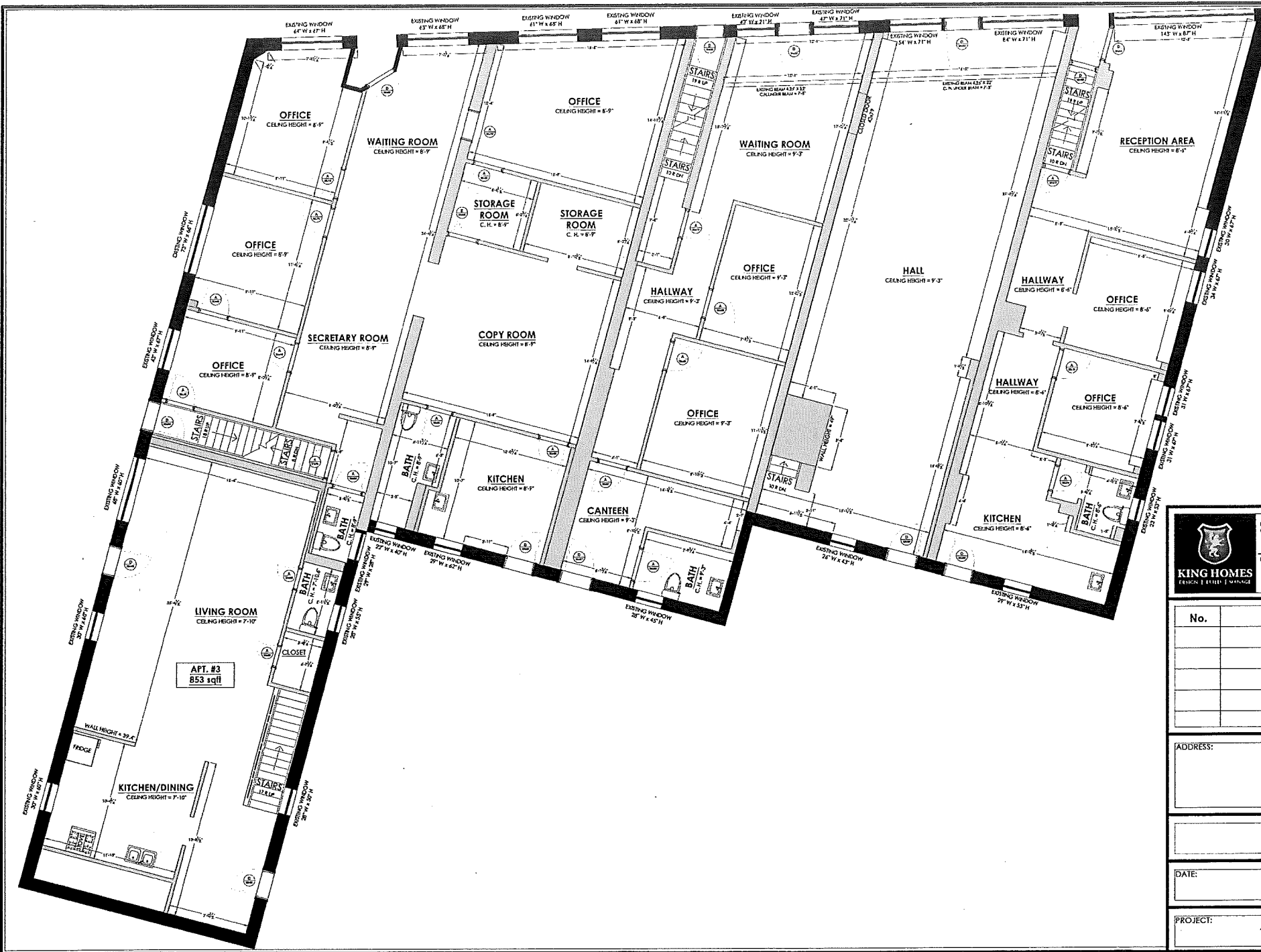
**EXISTING BASEMENT**

DATE:  
**SEPTEMBER 2020**

SCALE:  
**1/4" = 1'**

PROJECT:  
**11 UNIT CONVERSION**

SHEET#:  
**A1.01**




SYMBOL	ROOM NAME
(E)	EXISTING WINDOW
(S)	STAIRS
(A)	APARTMENT TAG
(A)	SMOKE ALARM
(A)	CARBON MONOXIDE ALARM
(C.H.)	CEILING HEIGHT
(S)	STRUCTURAL BEAM OR WALL
(S)	PLUMBING STACK
(S)	WATER METER
(S)	FLOOR DRAIN
(S)	STRUCTURAL COLUMN
(S)	FOUNDATION WALL
(S)	EXISTING EXTERIOR WALLS
(S)	NEW EXTERIOR WALLS
(S)	EXISTING INTERIOR WALLS
(S)	NEW INTERIOR WALLS
(S)	STRUCTURAL WALLS
(S)	NEW STRUCTURAL BEAMS
(S)	WINDOWS
(S)	SUPPLY REGISTER
(S)	RETURN GRILLE
(S)	FLOOR STOP
(S)	POOR TAG

SYMBOL	ROOM NAME
(A)	PANEL DOOR
(A)	FIRE DOOR W/ SELF CLOSER (AS MIN)
(A)	FIRE DOOR W/ SELF CLOSER (20 MIN)
(A)	EXTERIOR DOOR
(A)	BIFOLD DOOR
(A)	SLIDING DOOR
(A)	POCKET DOOR





**KING HOMES**  
DESIGN | BUILD | MANAGE

LEAD DESIGNER & CONSULTANT  
LEAD ENGINEER

ROBERT MENDEZ, P. ENG. 100541193  
rbermendes@yahoo.com  
C: (416) 807-1572

LEGAL SECOND SUITES

886 KING STREET EAST  
 HAMILTON, ON.

www.legalsecondsuites.com

No.	DESCRIPTION	DATE

ADDRESS:

**886 KING STREET EAST  
HAMILTON, ON.**

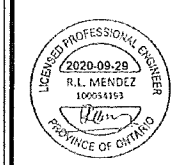
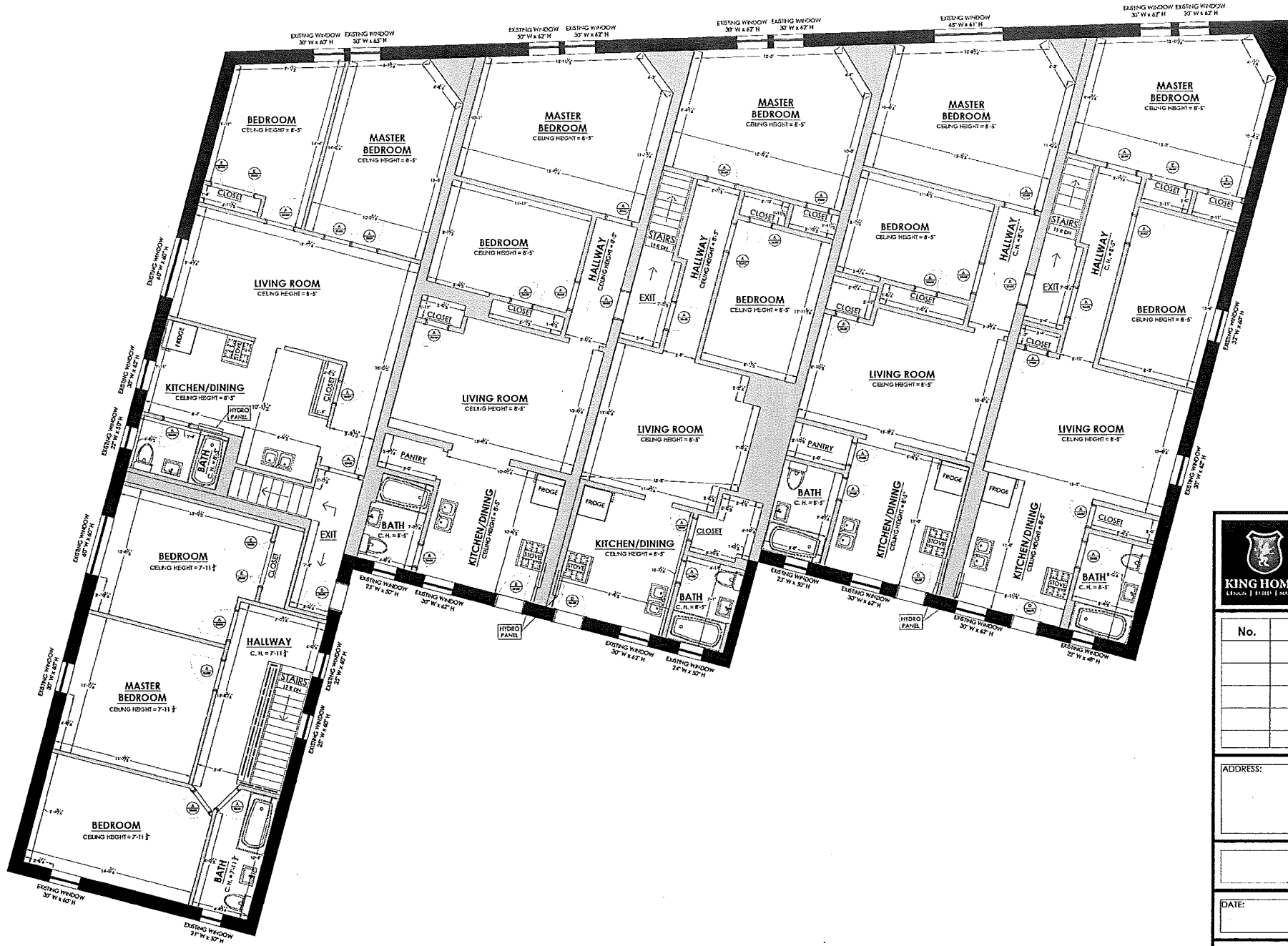
**EXISTING MAIN FLOOR**

DATE: **SEPTEMBER 2020**

SCALE: **1/4" = 1'**

PROJECT: **11 UNIT CONVERSION**

SHEET#: **A1.02**



MARKING	
BATH	ROOM NAME
EXHAUST FAN	EXHAUST FAN
SMOKE ALARM	SMOKE ALARM TAG
CARBON MONOXIDE ALARM	CARBON MONOXIDE ALARM
C.H. = 8'-10"	CEILING HEIGHT
STRUCTURAL BEAM OR WALL	STRUCTURAL BEAM OR WALL
ALUMINUM STACK	ALUMINUM STACK
WATER METER	WATER METER
FLOOR DRAIN	FLOOR DRAIN
STRUCTURAL COLUMN	STRUCTURAL COLUMN
FOUNDATION WALL	FOUNDATION WALL
EXISTING EXTERIOR WALLS	EXISTING EXTERIOR WALLS
NEW EXTERIOR WALLS	NEW EXTERIOR WALLS
EXISTING INTERIOR WALLS	EXISTING INTERIOR WALLS
NEW INTERIOR WALLS	NEW INTERIOR WALLS
STRUCTURAL WALLS	STRUCTURAL WALLS
NEW STRUCTURAL BEAMS	NEW STRUCTURAL BEAMS
WINDOWS	WINDOWS
SUPPLY REGISTER	SUPPLY REGISTER
RETURN GRILLE	RETURN GRILLE
CEILING	CEILING
FLOOR	FLOOR



**KING HOMES**  
DESIGN | BUILD | SERVICE

LEAD DESIGNER & CONSULTANT  
LEAD ENGINEER

CSN BEKENDAM  
kenbekendam@gmail.com  
C: (905) 411-0247  
(655) - FINCHWAY (546-4407)

ROBERT MENDEZ P. ENG. 100554193  
roberfmendez@yahoo.com  
C: (416) 507-1572

www.legalsecondaires.com

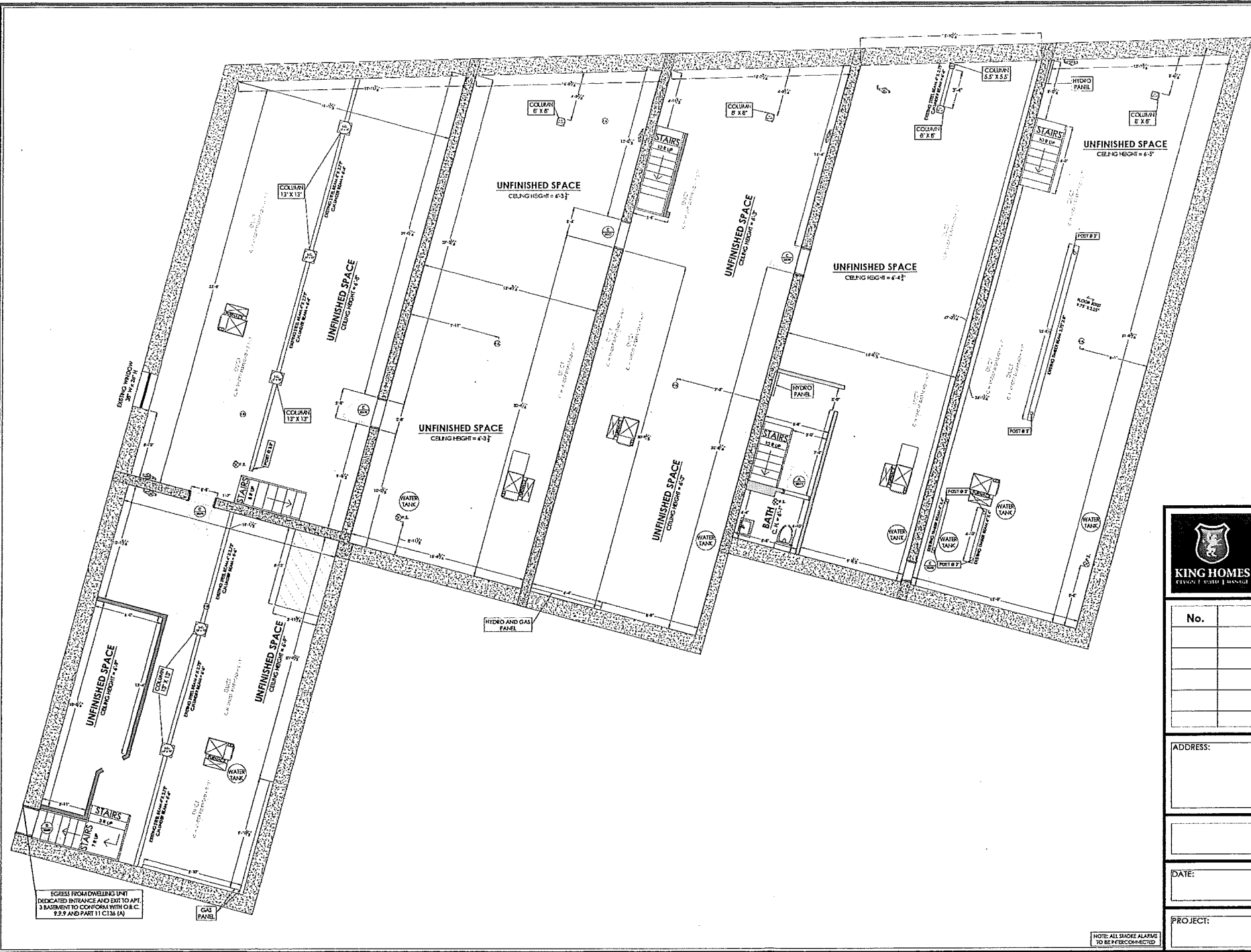
**LEGAL SECOND SUITES**

No.	DESCRIPTION	DATE

ADDRESS:  
**886 KING STREET EAST  
HAMILTON, ON.**

**EXISTING SECOND FLOOR**

DATE: <b>SEPTEMBER 2020</b>	SCALE: <b>1/4" = 1'</b>
PROJECT: <b>11 UNIT CONVERSION</b>	SHEET #: <b>A1.03</b>



**REVISIONS**

- 1. REVISIONS
- 2. REVISIONS

**FINISHES**

- 1. FINISHES
- 2. FINISHES

**DOOR LEGEND**

- A. PANEL DOOR
- B. FIRE DOOR w/ SELF-CLOSER (AS F.M.I.)
- C. FIRE DOOR w/ SELF-CLOSER (20 MIN)
- D. EXTERIOR DOOR
- E. FOLD-UP DOOR
- F. EXTERIOR DOOR
- G. FOLD-UP DOOR

BATH	ROOM NAME
[Symbol]	EXHAUST FAN
[Symbol]	SPECIFICATION TAG
[Symbol]	SMOKE ALARM
[Symbol]	CARBON MONOXIDE ALARM
[Symbol]	C.E.H. = 8'-10" CEILING HEIGHT
[Symbol]	STRUCTURAL BEAM OR WALL
[Symbol]	PLUMBING STACK
[Symbol]	WATER TANK
[Symbol]	FLOOR DRAIN
[Symbol]	FOUNDATION WALL
[Symbol]	EXISTING EXTERIOR WALLS
[Symbol]	NEW EXTERIOR WALLS
[Symbol]	EXISTING INTERIOR WALLS
[Symbol]	NEW INTERIOR WALLS
[Symbol]	EXISTING EXTERIOR WALLS
[Symbol]	NEW EXTERIOR WALLS
[Symbol]	NEW STRUCTURAL BEAMS
[Symbol]	WINDOWS
[Symbol]	SUPPLY REGISTER
[Symbol]	RETURN GRILLE
[Symbol]	FLOOR JOIST
[Symbol]	DOOR JAMB

**KING HOMES**  
DESIGN | CONSTRUCTION

**LEAD DESIGNER & CONSULTANT:** R. L. MENDEZ  
r.l.mendez@gmail.com  
C. (905) 414-0467

**LEAD ENGINEER:** ROBERT MENDEZ P. ENG. 100544119  
robertmendez@yahoo.com  
C. (416) 607-1572

**LEGAL SECOND SITES**

www.legalsecondsites.com

No.	DESCRIPTION	DATE

ADDRESS:  
**886 KING STREET EAST  
HAMILTON, ON.**

**PROPOSED BASEMENT**

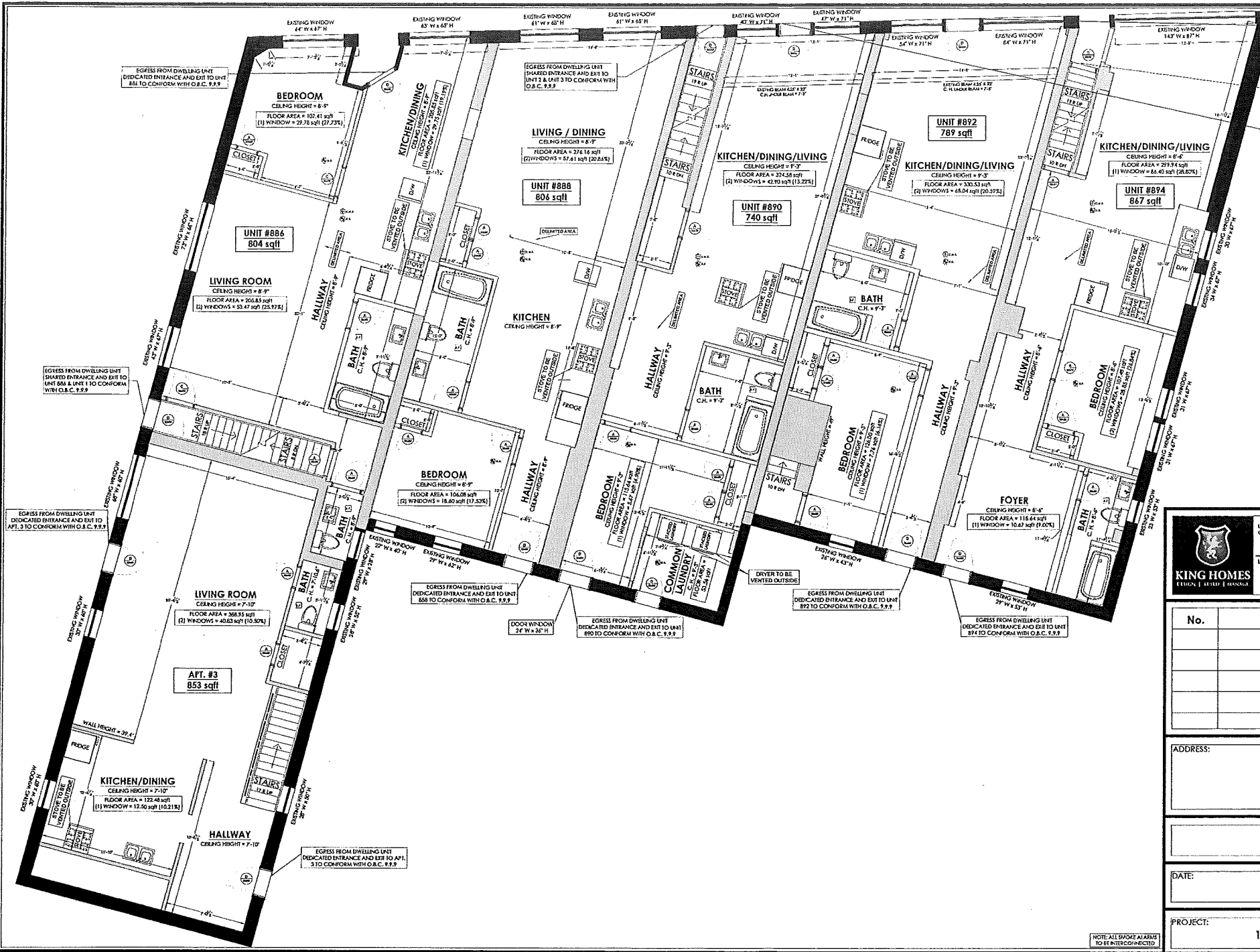
DATE: **SEPTEMBER 2020** SCALE: **1/4" = 1'**

PROJECT: **11 UNIT CONVERSION** SHEET#: **A1.04**

EGRESS FROM DWELLING UNIT  
DEDICATED ENTRANCE AND EXIT TO APPT.  
3 BASEMENT TO CONFORM WITH O.C.  
9.2.9 AND PART 11 C138 (A)

NOTE: ALL SMOKE ALARMS  
TO BE INTERCONNECTED





BATH		ROOM NAME
(E)	EXHAUST FAN	
(S)	SPECIFICATION TAG	
(A)	SMOKE ALARM	
(CA)	CARBON MONOXIDE ALARM	
(C.H.)	CEILING HEIGHT	
(S.C.W.)	STRUCTURAL BEAM OR WALL	
(P.F.)	PLUMBING STACK	
(W.A.)	WATER METER	
(F.D.)	FLOOR DRAIN	
(S.C.)	STRUCTURAL COLUMN	
(S.C.W.)	STRUCTURAL WALL	
(E.A.)	EXISTING EXTERIOR WALL	
(N.E.W.)	NEW EXTERIOR WALL	
(E.I.W.)	EXISTING INTERIOR WALL	
(N.E.I.W.)	NEW INTERIOR WALL	
(S.W.)	STRUCTURAL WALL	
(N.S.W.)	NEW STRUCTURAL WALL	
(W.)	WINDOW	
(S.R.)	SUPPLY REGISTER	
(R.G.)	RETURN GRILLE	
(C.T.)	CASE TYPE	
(T.D.)	TORQUE	

DOOR TYPES		DOOR TYPE
(A)	PANEL DOOR	
(B)	FIRE DOOR W/ SELF CLOSER (AS M.N.S.)	
(C)	FIRE DOOR W/ SELF CLOSER (DOM.M.)	
(D)	EXTERIOR DOOR	
(E)	Bifold Closet	
(F)	Sliding Door	
(G)	Jockey Door	

**NOTES:**

- ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
- ALL WORK SHALL BE IN ACCORDANCE WITH THE NATIONAL BUILDING CODE OF CANADA (NBC) AND THE LOCAL BY-LAWS OF THE CITY OF HAMILTON.
- ALL ELECTRICAL WORK SHALL BE IN ACCORDANCE WITH THE CANADIAN ELECTRICAL CODE (CEC) AND THE LOCAL BY-LAWS OF THE CITY OF HAMILTON.
- ALL MECHANICAL WORK SHALL BE IN ACCORDANCE WITH THE CANADIAN MECHANICAL CODE (CMC) AND THE LOCAL BY-LAWS OF THE CITY OF HAMILTON.
- ALL PLUMBING WORK SHALL BE IN ACCORDANCE WITH THE CANADIAN PLUMBING CODE (CPC) AND THE LOCAL BY-LAWS OF THE CITY OF HAMILTON.
- ALL WORK SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE CITY OF HAMILTON.
- ALL WORK SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE CITY OF HAMILTON.
- ALL WORK SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE CITY OF HAMILTON.

	LEAD DESIGNER & CONSULTANT kensbeke@kinghomes.com (555) - KINGHOMES (546-4467)	FENI BECKERDAM kensbeke@feni.com C. (905) 611-0047 (555) - KINGHOMES (546-4467)
	LEAD ENGINEER ROBERT MENDEZ robertmendez@yahoo.com C: (416) 807-1572	LEGAL SECOND SUITES 

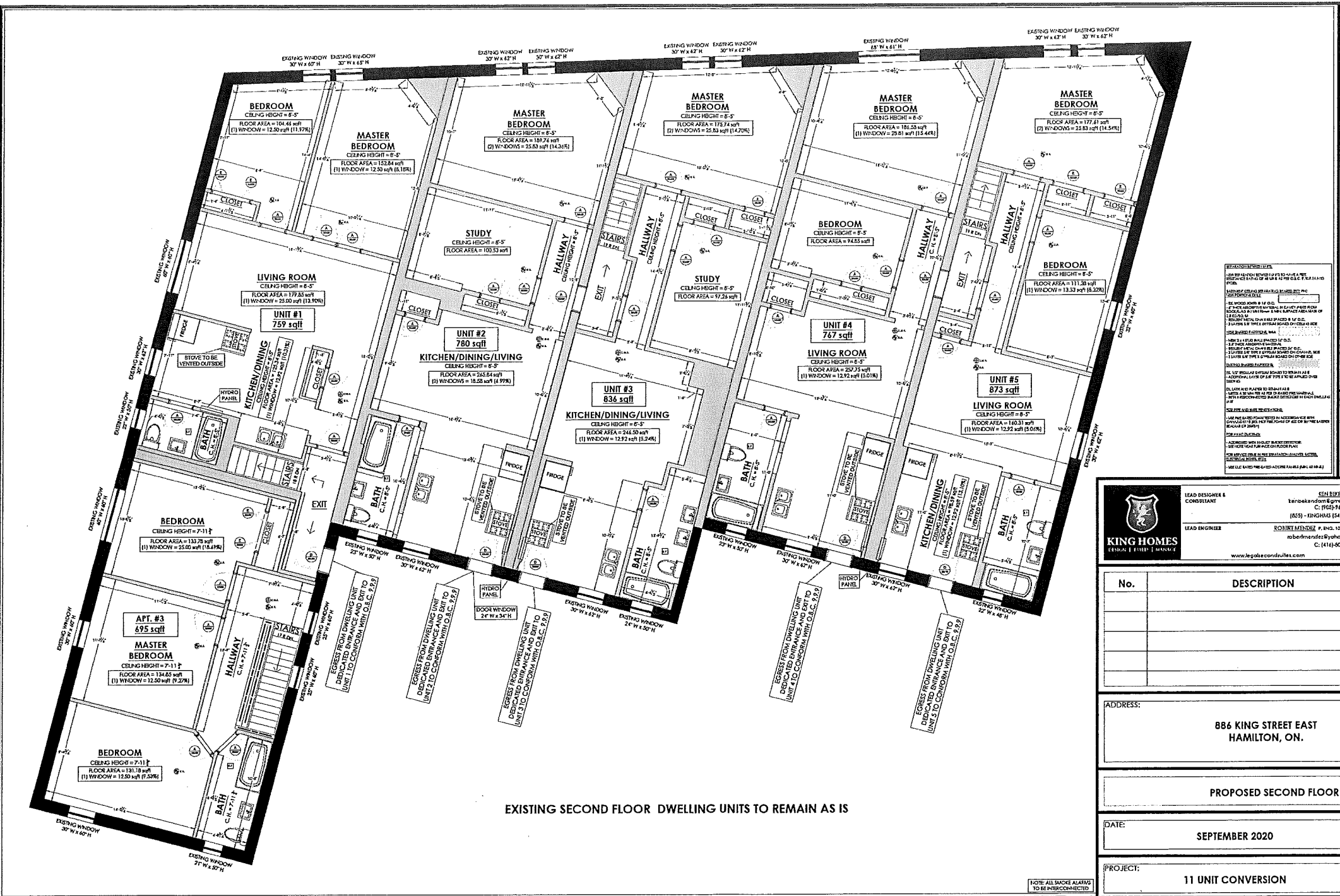
No.	DESCRIPTION	DATE

ADDRESS:  
**886 KING STREET EAST  
HAMILTON, ON.**

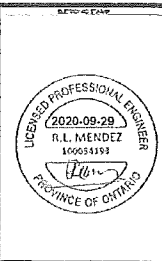
**PROPOSED MAIN FLOOR**

DATE: SEPTEMBER 2020	SCALE: 1/4" = 1'
PROJECT: 11 UNIT CONVERSION	SHEET#: A1.05

NOTE: ALL SMOKE ALARMS TO BE INTERCONNECTED



EXISTING SECOND FLOOR DWELLING UNITS TO REMAIN AS IS



BATH	ROOM NAME
1	EXHAUST FAN
2	SPECIFICATION TAG
3	SMOKE ALARM
4	CARBON MONOXIDE ALARM
5	CEILING HEIGHT
6	STRUCTURAL BEAM OR WALL
7	PLUMBING STACK
8	WATER METE
9	FLOOR OPEN
10	STRUCTURAL COLUMN
11	FOUNDATION WALL
12	EXISTING EXTERIOR WALLS
13	NEW EXTERIOR WALLS
14	EXISTING INTERIOR WALLS
15	NEW INTERIOR WALLS
16	STRUCTURAL BEAMS
17	NEW STRUCTURAL BEAMS
18	WINDOWS
19	SUPPLY REGISTER
20	RETURN GRILLE
21	DOOR SET
22	DOOR SET



**REVISIONS**

1. SEE ALL NOTES FOR REVISIONS TO THIS PLAN. ALL NOTES ARE TO BE READ IN CONJUNCTION WITH THE SPECIFICATIONS AND ALL APPLICABLE CODES.

2. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CANADIAN NATIONAL STANDARDS (CNS) AND THE CANADIAN BUILTING CODES (CBC).

3. ALL MATERIALS SHALL BE APPROVED BY THE ENGINEER AND SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.

4. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CANADIAN NATIONAL STANDARDS (CNS) AND THE CANADIAN BUILTING CODES (CBC).

5. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CANADIAN NATIONAL STANDARDS (CNS) AND THE CANADIAN BUILTING CODES (CBC).

6. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CANADIAN NATIONAL STANDARDS (CNS) AND THE CANADIAN BUILTING CODES (CBC).

7. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CANADIAN NATIONAL STANDARDS (CNS) AND THE CANADIAN BUILTING CODES (CBC).

8. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CANADIAN NATIONAL STANDARDS (CNS) AND THE CANADIAN BUILTING CODES (CBC).

9. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CANADIAN NATIONAL STANDARDS (CNS) AND THE CANADIAN BUILTING CODES (CBC).

10. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CANADIAN NATIONAL STANDARDS (CNS) AND THE CANADIAN BUILTING CODES (CBC).

**KING HOMES**  
DESIGN | BUILD | MANAGE

LEAD DESIGNER & CONSULTANT  
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LEGAL  
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No.	DESCRIPTION	DATE

ADDRESS: **886 KING STREET EAST  
HAMILTON, ON.**

**PROPOSED SECOND FLOOR**

DATE: **SEPTEMBER 2020** SCALE: **1/4" = 1'**

PROJECT: **11 UNIT CONVERSION** SHEET#: **A1.06**

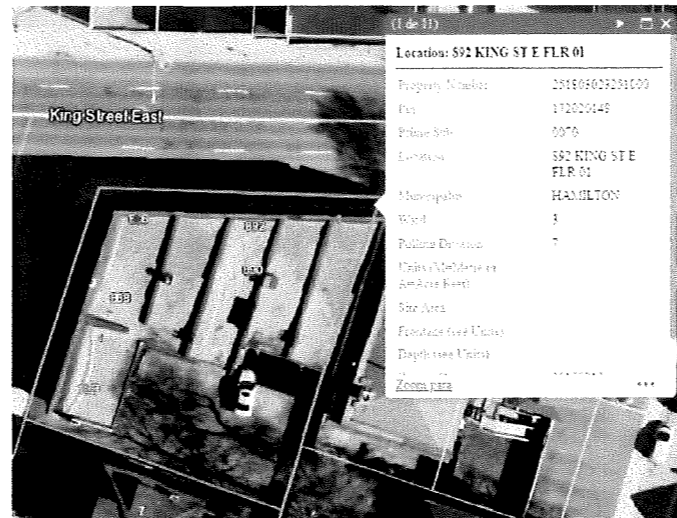
NOTE: ALL SMOKE ALARMS TO BE INTERCONNECTED

# 11 UNIT CONVERSION

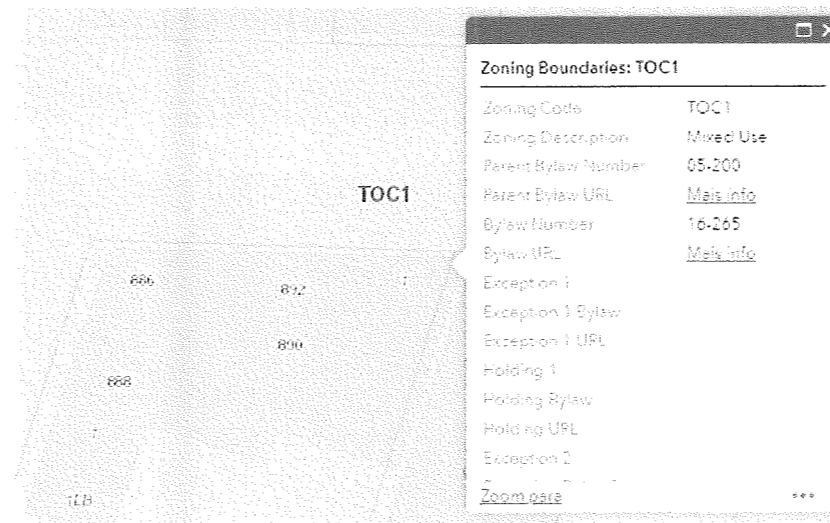
886 KING STREET EAST - HAMILTON, ON.



EXISTING BUILDING IMAGE



AERIAL MAP



ZONING MAP

**PLANS LEGEND**

	BATH
	EXHAUST FAN
	SPECIFICATION TAG
	SMOKE ALARM
	CARBON MONOXIDE ALARM
	C.E.H. = 8'-10"
	STRUCTURAL BEAM OR WALL
	FLUJING STACK
	WATER METER
	FLOOR DRAIN
	STRUCTURAL COLUMN
	FOUNDATION WALL
	EXISTING EXTERIOR WALLS
	NEW EXTERIOR WALLS
	EXISTING INTERIOR WALLS
	NEW INTERIOR WALLS
	STRUCTURAL WALLS
	NEW STRUCTURAL BEAMS
	WINDOWS
	SUPPLY REGISTER
	RETURN GRILLE
	DOOR TYPE
	POCKET SET

**DOOR LEGEND**

	A. PANEL DOOR
	B. FIRE DOOR w/ SELF CLOSER (45 MIN)
	C. FIRE DOOR w/ SELF CLOSER (20 MIN)
	D. EXTERIOR DOOR
	E. BIFOLD CLOSET
	F. SLIDING DOOR
	G. POCKET DOOR



	<b>LEAD DESIGNER &amp; CONSULTANT</b> KEN BEKENDAM kenbekendam@gmail.com C: (905) 961-0647 (BSS) - KINGHMS (546-4447)	
	<b>LEAD ENGINEER</b> ROBERT MENDEZ P. ENG. 100054193 robertmendez@yahoo.com C: (416) 807-1572 www.legalsecondsuites.com	

No.	DESCRIPTION	DATE

ADDRESS:  
**886 KING STREET EAST  
 HAMILTON, ON.**

**TITLE PAGE**

DATE: <b>SEPTEMBER 2020</b>	SCALE: -
--------------------------------	-------------

PROJECT: <b>11 UNIT CONVERSION</b>	SHEET #: <b>A0.01</b>
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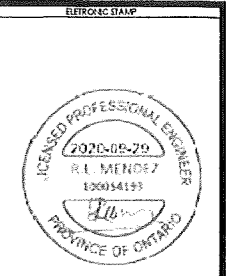
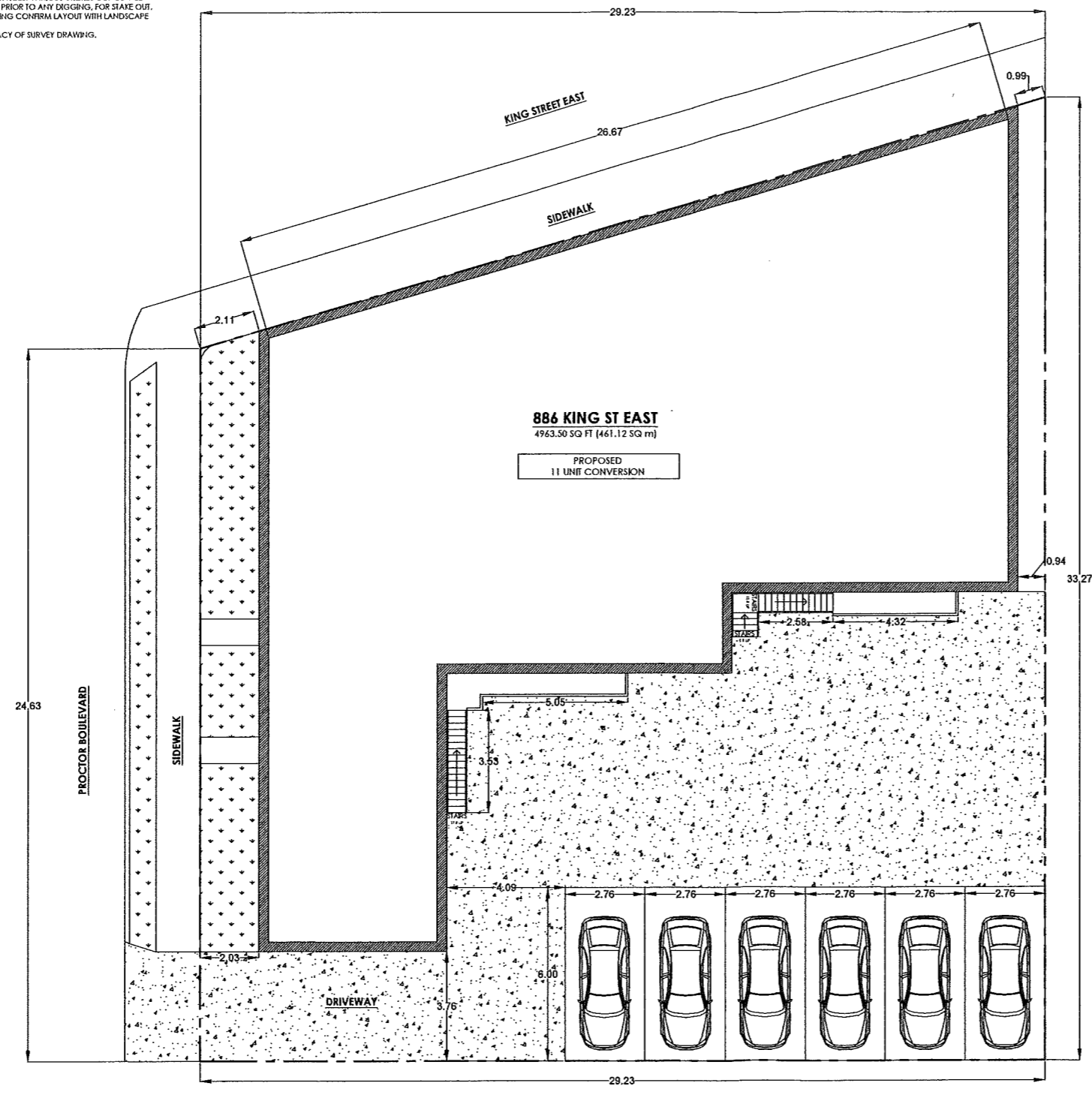
SITE INFORMATION & STATISTICS			
886 KING STREET EAST - HAMILTON - ON.			
ZONING TYPE	TOCT		
FLOOR AREAS	ALLOWED	EXISTING	PROPOSED
LOT FRONTAGE	93.75 (28.59m)		
FIRST FLOOR			NO CHANGE
SECOND FLOOR			NO CHANGE
THIRD FLOOR			NO CHANGE
			NO CHANGE
			NO CHANGE
			NO CHANGE

**GENERAL NOTES:**  
 1. ALL CONSTRUCTION TO COMPLY WITH THE REVISED ONTARIO BUILDING CODE 2012.  
 2. ALL DIMENSIONS ARE MEASURED TO ROUGH FRAMING OR TO MASONRY SURFACES UNLESS OTHERWISE NOTED.  
 3. ALL DOORS AND WINDOW OPENINGS ARE MEASURED TO ROUGH FRAMING OR MASONRY OPENINGS.  
 4. CONTRACTOR IS TO VERIFY WINDOW OPENINGS WITH WINDOW MANUFACTURER PRIOR TO COMMENCING WORK.  
 5. READ ARCHITECTURAL DRAWINGS IN CONJUNCTION WITH STRUCTURAL, MECHANICAL AND ELECTRICAL DRAWINGS.  
 6. ELEVATION REFERENCES ARE BASED ON 100'-0" = 31.70m GEODETIC ELEVATIONS AS NOTED ON A1 SITE PLAN.  
 7. ALL DIMENSIONS MUST BE CHECKED AGAINST THE ARCHITECTURAL DRAWINGS AND THE FIELD CONDITIONS BEFORE COMMENCING FABRICATION, AND INCONSISTENCIES ARE TO BE REPORTED TO THE CONSULTANT BEFORE PROCEEDING WITH THE WORK.  
 8. THE CONTRACTOR SHALL PROPERLY SUPERVISE THE WORK AND ENSURE THAT THE WORK IS INSTALLED TO THE CORRECT LINES AND LEVELS, THAT THE CONNECTIONS AND DETAILS CONFIRM TO THE DRAWING DETAILS AND SHALL COORDINATE THE INTERFACING OF ALL WORK WITH ALL SUB-TRADES.  
 9. PROVIDE POSITIVE FRONT YARD SLOPE TO MUNICIPAL SEWER FOR WATER RUN-OFF.  
 10. CONTRACTOR TO BE RESPONSIBLE FOR VERIFYING THE LOCATIONS OF ALL EXISTING UNDERGROUND AND ABOVE UTILITIES AND SERVICES. VARIOUS UTILITIES CONCERNED TO BE GIVEN REQUIRED ADVANCING NOTICE PRIOR TO ANY DIGGING, FOR STAKE OUT.  
 11. REFER TO LANDSCAPING PLAN FOR PLANTING CONFIRM LAYOUT WITH LANDSCAPE CONTRACTOR.  
 12. DESIGNER NOT RESPONSIBLE FOR ACCURACY OF SURVEY DRAWING.

**EXISTING STRUCTURE NOTE:**  
 OWNER AND CONTRACTOR IS FULLY RESPONSIBLE FOR VERIFYING ALL EXISTING STRUCTURAL CONDITIONS PRIOR TO ANY WORK, ANY AND ALL DISCREPANCIES SHALL BE REPORTED TO THE OWNER PRIOR TO ANY WORK. OWNER AND CONTRACTOR IS FULLY RESPONSIBLE FOR SHORING EXISTING STRUCTURE PRIOR TO ANY WORK.

**BUILDING CODE COMPLIANCE NOTE:**  
 THESE DRAWINGS DO NOT REPRESENT A COMPREHENSIVE AND EXHAUSTIVE GUIDE FOR COMPLIANCE WITH THE ONTARIO BUILDING CODE. IT IS ASSUMED THAT THE CONTRACTOR HAS REASONABLY SUFFICIENT KNOWLEDGE OF THE ONTARIO BUILDING CODE IN ORDER TO PERFORM ALL WORK AS PER THESE DRAWINGS IN SUCH A WAY THAT WILL COMPLY WITH ALL ASPECTS OF THE O.B.C. AND WILL NOT CONTRAVENE ANY OTHER APPLICABLE LAWS.

**SITE PLAN:**  
 BASED ON HAMILTON SITE MAPS AND MEASUREMENTS ON SITE. DESIGNER ASSUMES NO RESPONSIBILITY FOR ACCURACY OF HAMILTON MAPS. THIS SITE SHALL NOT BE USED FOR ANY OTHER PURPOSES. NO WORK TO ENCROACH ON TO ADJOINING PROPERTIES.



**PLANS LEGEND**

BATH	ROOM NAME
EXH	EXHAUST FAN
STAG	SPECIFICATION TAG
SA	SMOKE ALARM
CA	CARBON MONOXIDE ALARM
C.H. = 8'-10"	CEILING HEIGHT
SB	STRUCTURAL BEAM OR WALL
PS	PLUMBING STACK
WH	WATER HEATER
FD	FLOOR DRAIN
SC	STRUCTURAL COLUMN
FW	FOUNDATION WALL
EW	EXISTING EXTERIOR WALLS
NW	NEW EXTERIOR WALLS
EWI	EXISTING INTERIOR WALLS
NWI	NEW INTERIOR WALLS
SW	STRUCTURAL WALLS
NSB	NEW STRUCTURAL BEAMS
W	WINDOWS
SR	SUPPLY REGISTER
RC	RETURN GRILLE
DL	DOOR LINE
DS	DOOR SITE

**DOOR LEGEND**

A.	PANEL DOOR
B.	FIRE DOOR w/ SELF CLOSER (45 MIN)
C.	FIRE DOOR w/ SELF CLOSER (20 MIN)
D.	EXTERIOR DOOR
E.	BIFOLD CLOSET
F.	SLIDING DOOR
G.	POCKET DOOR



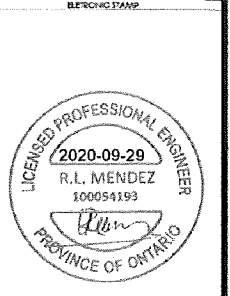
	<b>LEAD DESIGNER &amp; CONSULTANT</b> KEN BEKENDAM kenbekendam@gmail.com C: (905)-961-0647 (855) - KINGHMS (546-4467)	
	<b>LEAD ENGINEER</b> ROBERT MENDEZ P. ENG. 100054193 robertmendez@yahoo.com C: (416)-807-1572 www.legalsecondsuites.com	

No.	DESCRIPTION	DATE

ADDRESS:  
**886 KING STREET EAST  
 HAMILTON, ON.**

**SITE PLAN METRIC**

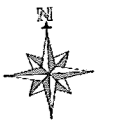
DATE:	SEPTEMBER 2020	SCALE:	1/8" = 1'
PROJECT:	11 UNIT CONVERSION	SHEET#:	SP1.02



BATH	ROOM NAME
Ⓜ	EXHAUST FAN
Ⓛ	SPECIFICATION TAG
Ⓢ	SMOKE ALARM
Ⓢ	CARBON MONOXIDE ALARM
C.H. = 8'-10"	CEILING HEIGHT
▬	STRUCTURAL BEAM OR WALL
Ⓜ	PLUMBING STACK
Ⓜ	WATER METER
Ⓜ	FLOOR DRAIN
Ⓜ	STRUCTURAL COLUMN
▬	FOUNDATION WALL
▬	EXISTING EXTERIOR WALLS
▬	NEW EXTERIOR WALLS
▬	EXISTING INTERIOR WALLS
▬	NEW INTERIOR WALLS
▬	STRUCTURAL WALLS
▬	NEW STRUCTURAL BEAMS
▬	WINDOWS
Ⓜ	SUPPLY REGISTER
Ⓜ	RETURN GRILLE
Ⓜ	POCKET DOOR
Ⓜ	DOOR SET

DOOR LEGEND	
A	PANEL DOOR
B	FIRE DOOR w/ SELF CLOSER (45 MIN)
C	FIRE DOOR w/ SELF CLOSER (20 MIN)
D	EXTERIOR DOOR
E	BIFOLD CLOSET
F	SLEEPING DOOR
G	POCKET DOOR



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	<b>LEAD ENGINEER</b> ROBERT MENDEZ P. ENG. 100054193 robertmendez@yahoo.com C: (416) 807-1572 <a href="http://www.legalsecondsuites.com">www.legalsecondsuites.com</a>	

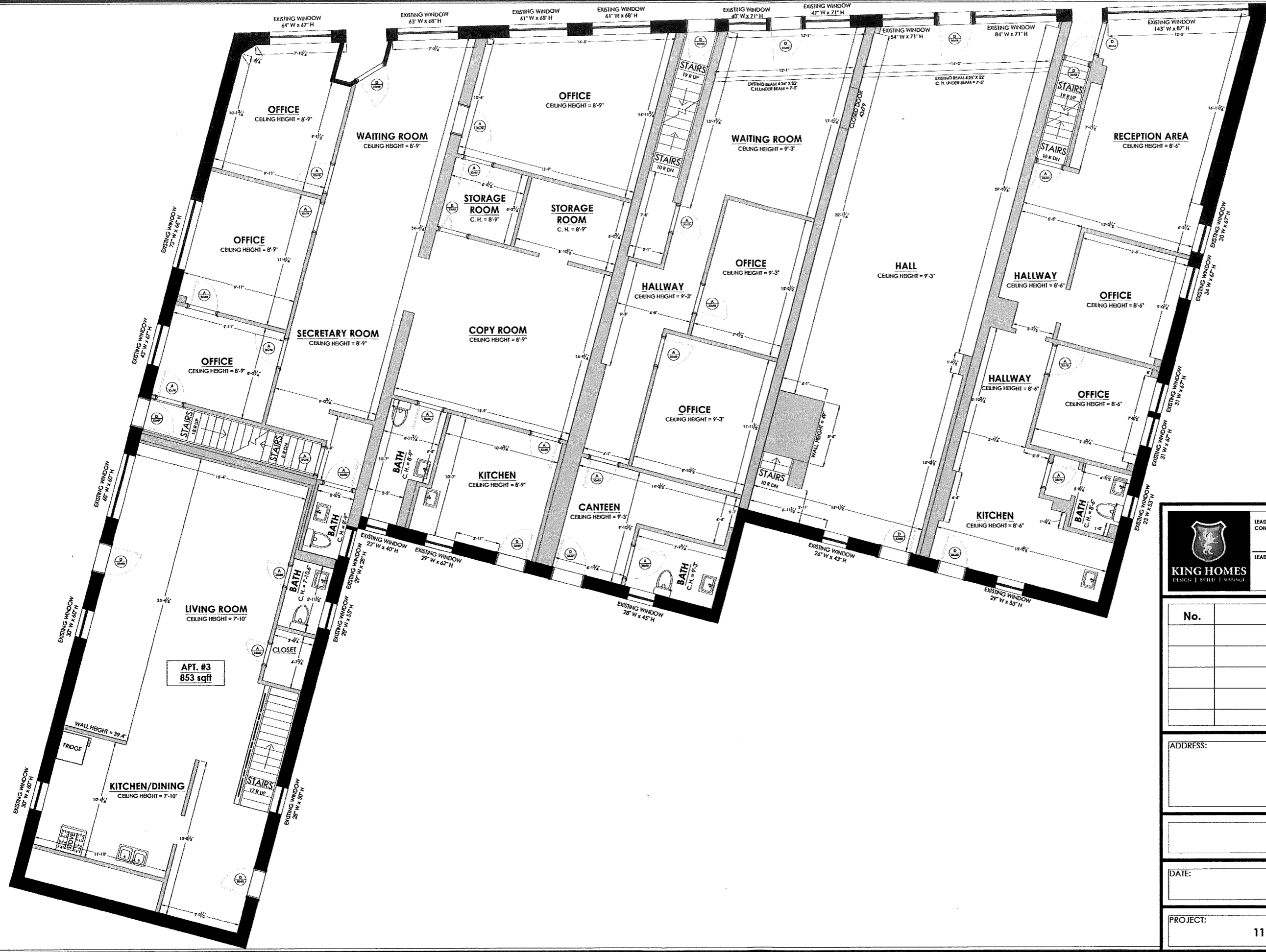
No.	DESCRIPTION	DATE

ADDRESS:  
**886 KING STREET EAST  
 HAMILTON, ON.**

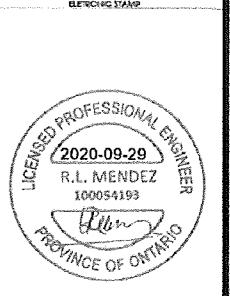
**EXISTING BASEMENT**

DATE: **SEPTEMBER 2020**      SCALE: **1/4" = 1'**

PROJECT: **11 UNIT CONVERSION**      SHEET#: **A1.01**



APT. #3  
853 sqft

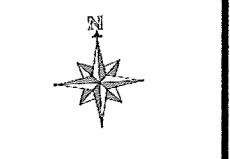


**PLANS LEGEND**

[Symbol]	BATH
[Symbol]	ROOM NAME
[Symbol]	EXHAUST FAN
[Symbol]	SPECIFICATION TAG
[Symbol]	SMOKE ALARM
[Symbol]	CARBON MONOXIDE ALARM
[Symbol]	C.E.L. = 8'-10"
[Symbol]	CEILING HEIGHT
[Symbol]	STRUCTURAL BEAM OR WALL
[Symbol]	P.F.S. PLUMBING STACK
[Symbol]	WATER METER
[Symbol]	FLOOR DRAIN
[Symbol]	STRUCTURAL COLUMN
[Symbol]	FOUNDATION WALL
[Symbol]	EXISTING EXTERIOR WALLS
[Symbol]	NEW EXTERIOR WALLS
[Symbol]	EXISTING INTERIOR WALLS
[Symbol]	NEW INTERIOR WALLS
[Symbol]	STRUCTURAL WALLS
[Symbol]	NEW STRUCTURAL BEAMS
[Symbol]	WINDOWS
[Symbol]	SUPPLY REGISTER
[Symbol]	RETURN GRILLE
[Symbol]	FLOOR TIES
[Symbol]	DOOR SIZES
[Symbol]	DOOR SIZES

**DOOR LEGEND**

A. PANEL DOOR  
 B. FIRE DOOR w/ SELF CLOSER (45 MIN)  
 C. FIRE DOOR w/ SELF CLOSER (20 MIN)  
 D. EXTERIOR DOOR  
 E. BIFOLD CLOSET  
 F. SLIDING DOOR  
 G. POCKET DOOR



<p><b>KING HOMES</b> DESIGN   BUILD   MANAGE</p>	<p>LEAD DESIGNER &amp; CONSULTANT KEN BEKENDAM kenbekendam@gmail.com C: (905) 961-0647 (855) - KINGHMS (546-4467)</p>	<p><b>LEGAL SECOND SUITES</b></p>
	<p>LEAD ENGINEER ROBERT MENDEZ P. ENG. 100054193 robertmendez@yahoo.com C: (416) 807-1572</p>	
<p>www.legalsecondsuites.com</p>		

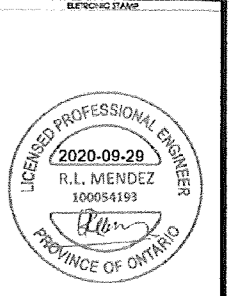
No.	DESCRIPTION	DATE

ADDRESS:  
**886 KING STREET EAST  
HAMILTON, ON.**

**EXISTING MAIN FLOOR**

DATE: **SEPTEMBER 2020** SCALE: **1/4" = 1'**

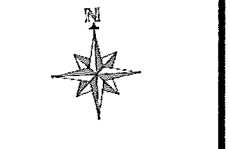
PROJECT: **11 UNIT CONVERSION** SHEET#: **A1.02**




BATH	ROOM NAME
[Symbol]	EXHAUST FAN
[Symbol]	SPECIFICATION TAG
[Symbol]	SMOKE ALARM
[Symbol]	CARBON MONOXIDE ALARM
[Symbol]	CEILING HEIGHT
[Symbol]	STRUCTURAL BEAM OR WALL
[Symbol]	PLUMBING STACK
[Symbol]	WATER METER
[Symbol]	FLOOR DRAIN
[Symbol]	STRUCTURAL COLUMN
[Symbol]	FOUNDATION WALL
[Symbol]	EXISTING EXTERIOR WALLS
[Symbol]	NEW EXTERIOR WALLS
[Symbol]	EXISTING INTERIOR WALLS
[Symbol]	NEW INTERIOR WALLS
[Symbol]	STRUCTURAL WALLS
[Symbol]	NEW STRUCTURAL BEAMS
[Symbol]	WINDOWS
[Symbol]	SUPPLY REGISTER
[Symbol]	RETURN GRILLE
[Symbol]	DOOR
[Symbol]	POCKET DOOR

DOOR LEGEND	ROOM NAME
[Symbol]	A. PANEL DOOR
[Symbol]	B. FIRE DOOR w/ SELF CLOSER (45 MIN)
[Symbol]	C. FIRE DOOR w/ SELF CLOSER (20 MIN)
[Symbol]	D. EXTERIOR DOOR
[Symbol]	E. BIFOLD CLOSET
[Symbol]	F. SLIDING DOOR
[Symbol]	G. POCKET DOOR






**KING HOMES**  
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**LEGAL SECOND SUITES**

No.	DESCRIPTION	DATE

ADDRESS: **886 KING STREET EAST  
HAMILTON, ON.**

**EXISTING SECOND FLOOR**

DATE: **SEPTEMBER 2020** SCALE: **1/4" = 1'**

PROJECT: **11 UNIT CONVERSION** SHEET#: **A1.03**



EGRESS FROM DWELLING UNIT DEDICATED ENTRANCE AND EXIT TO APT. 3 BASEMENT TO CONFORM WITH O.B.C. 9.9.9 AND PART 11 C136 (A)

NOTE: ALL SMOKE ALARMS TO BE INTERCONNECTED



**PLANS LEGEND**

[Symbol]	BATH	ROOM NAME
[Symbol]	[Symbol]	EXHAUST FAN
[Symbol]	[Symbol]	SPECIFICATION TAG
[Symbol]	[Symbol]	SMOKE ALARM
[Symbol]	[Symbol]	CARBON MONOXIDE ALARM
C.H. = 8'-10"	[Symbol]	CEILING HEIGHT
[Symbol]	[Symbol]	STRUCTURAL BEAM OR WALL
[Symbol]	[Symbol]	PLUMBING STACK
[Symbol]	[Symbol]	WATER TANK
[Symbol]	[Symbol]	FLOOR DRAIN
[Symbol]	[Symbol]	STRUCTURAL COLUMN
[Symbol]	[Symbol]	FOUNDATION WALL
[Symbol]	[Symbol]	EXISTING EXTERIOR WALLS
[Symbol]	[Symbol]	NEW EXTERIOR WALLS
[Symbol]	[Symbol]	EXISTING INTERIOR WALLS
[Symbol]	[Symbol]	NEW INTERIOR WALLS
[Symbol]	[Symbol]	STRUCTURAL WALLS
[Symbol]	[Symbol]	NEW STRUCTURAL BEAMS
[Symbol]	[Symbol]	WINDOWS
[Symbol]	[Symbol]	SUPPLY REGISTER
[Symbol]	[Symbol]	RETURN GRILLE
[Symbol]	[Symbol]	DOOR SIZES

**DOOR LEGEND**

[Symbol]	A. PANEL DOOR
[Symbol]	B. FIRE DOOR w/ SELF CLOSER (45 MIN)
[Symbol]	C. FIRE DOOR w/ SELF CLOSER (20 MIN)
[Symbol]	D. EXTERIOR DOOR
[Symbol]	E. BIFOLD CLOSET
[Symbol]	F. SLIDING DOOR
[Symbol]	G. POCKET DOOR

**SEPARATION REQUIREMENTS:**  
NEW SEPARATION BETWEEN UNITS TO HAVE A FIRE RESISTANCE RATING OF 45 MIN AS PER O.B.C. P.10.9.14 AND P.10.9.15.

**FIRE PROTECTION:**  
2x 16mm GYPSUM BOARD (1/2" G.C.)  
2x 16mm GYPSUM BOARD (1/2" G.C.)  
2x 16mm GYPSUM BOARD (1/2" G.C.)

**NEW EXTERIOR WALLS:**  
16mm GYPSUM BOARD (1/2" G.C.)  
2x 16mm GYPSUM BOARD (1/2" G.C.)  
2x 16mm GYPSUM BOARD (1/2" G.C.)

**EXISTING EXTERIOR WALLS:**  
2x 16mm GYPSUM BOARD (1/2" G.C.)  
2x 16mm GYPSUM BOARD (1/2" G.C.)  
2x 16mm GYPSUM BOARD (1/2" G.C.)

**NEW INTERIOR WALLS:**  
16mm GYPSUM BOARD (1/2" G.C.)  
2x 16mm GYPSUM BOARD (1/2" G.C.)  
2x 16mm GYPSUM BOARD (1/2" G.C.)

**EXISTING INTERIOR WALLS:**  
2x 16mm GYPSUM BOARD (1/2" G.C.)  
2x 16mm GYPSUM BOARD (1/2" G.C.)  
2x 16mm GYPSUM BOARD (1/2" G.C.)

**NEW STRUCTURAL BEAMS:**  
2x 16mm GYPSUM BOARD (1/2" G.C.)  
2x 16mm GYPSUM BOARD (1/2" G.C.)  
2x 16mm GYPSUM BOARD (1/2" G.C.)

**NEW STRUCTURAL WALLS:**  
2x 16mm GYPSUM BOARD (1/2" G.C.)  
2x 16mm GYPSUM BOARD (1/2" G.C.)  
2x 16mm GYPSUM BOARD (1/2" G.C.)

**NEW WINDOWS:**  
2x 16mm GYPSUM BOARD (1/2" G.C.)  
2x 16mm GYPSUM BOARD (1/2" G.C.)  
2x 16mm GYPSUM BOARD (1/2" G.C.)

**NEW SUPPLY REGISTERS:**  
2x 16mm GYPSUM BOARD (1/2" G.C.)  
2x 16mm GYPSUM BOARD (1/2" G.C.)  
2x 16mm GYPSUM BOARD (1/2" G.C.)

**NEW RETURN GRILLES:**  
2x 16mm GYPSUM BOARD (1/2" G.C.)  
2x 16mm GYPSUM BOARD (1/2" G.C.)  
2x 16mm GYPSUM BOARD (1/2" G.C.)

**NEW DOOR SIZES:**  
2x 16mm GYPSUM BOARD (1/2" G.C.)  
2x 16mm GYPSUM BOARD (1/2" G.C.)  
2x 16mm GYPSUM BOARD (1/2" G.C.)

	<b>LEAD DESIGNER &amp; CONSULTANT</b> KEN BERENDAM kenberendam@gmail.com C: (905) 961-0647 (855) - KINGHMS (546-4467)	
	<b>LEAD ENGINEER</b> ROBERT MENDEZ P. ENG. 100054193 robertmendez@yahoo.com C: (416) 607-1572	

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No.	DESCRIPTION	DATE

ADDRESS:  
**886 KING STREET EAST  
HAMILTON, ON.**

**PROPOSED BASEMENT**

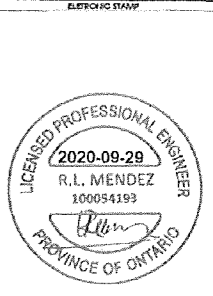
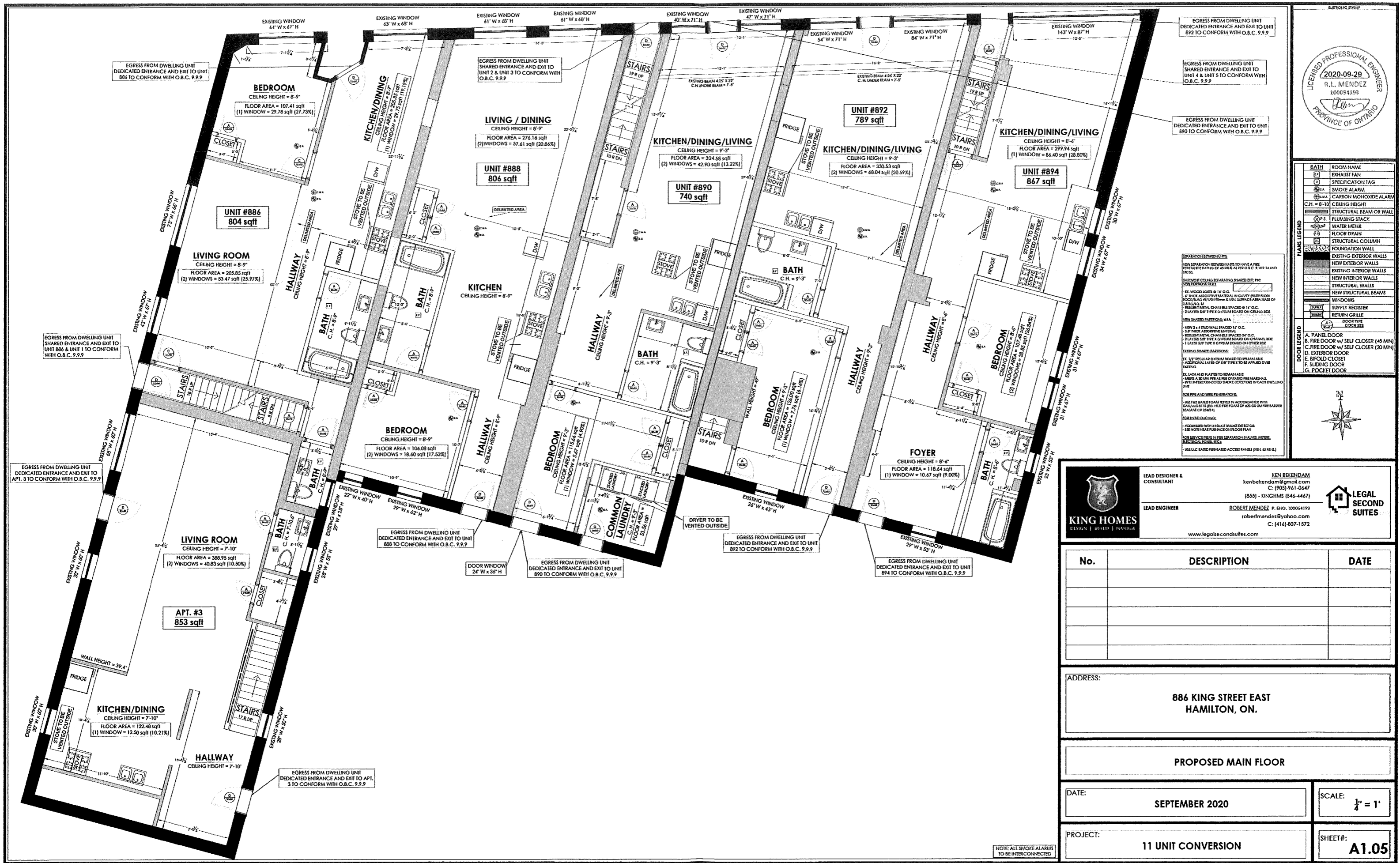
DATE: **SEPTEMBER 2020**

SCALE: **1/4" = 1'**

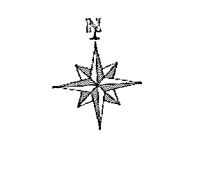
PROJECT: **11 UNIT CONVERSION**

SHEET #: **A1.04**





PLANS LEGEND	
[Symbol]	EXISTING WINDOW
[Symbol]	NEW WINDOW
[Symbol]	EXISTING EXTERIOR WALLS
[Symbol]	NEW EXTERIOR WALLS
[Symbol]	EXISTING INTERIOR WALLS
[Symbol]	NEW INTERIOR WALLS
[Symbol]	EXISTING STRUCTURAL WALLS
[Symbol]	NEW STRUCTURAL WALLS
[Symbol]	EXISTING STRUCTURAL BEAMS
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[Symbol]	EXISTING STAIRS
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[Symbol]	NEW HALLWAYS
[Symbol]	EXISTING CLOSETS
[Symbol]	NEW CLOSETS
[Symbol]	EXISTING BATHS
[Symbol]	NEW BATHS
[Symbol]	EXISTING KITCHENS
[Symbol]	NEW KITCHENS
[Symbol]	EXISTING LIVING/DINING
[Symbol]	NEW LIVING/DINING
[Symbol]	EXISTING BEDROOMS
[Symbol]	NEW BEDROOMS
[Symbol]	EXISTING FOYERS
[Symbol]	NEW FOYERS
[Symbol]	EXISTING COMMON AREAS
[Symbol]	NEW COMMON AREAS



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**LEGAL SECOND SUITES**

No.	DESCRIPTION	DATE

ADDRESS:  
**886 KING STREET EAST  
HAMILTON, ON.**

**PROPOSED MAIN FLOOR**

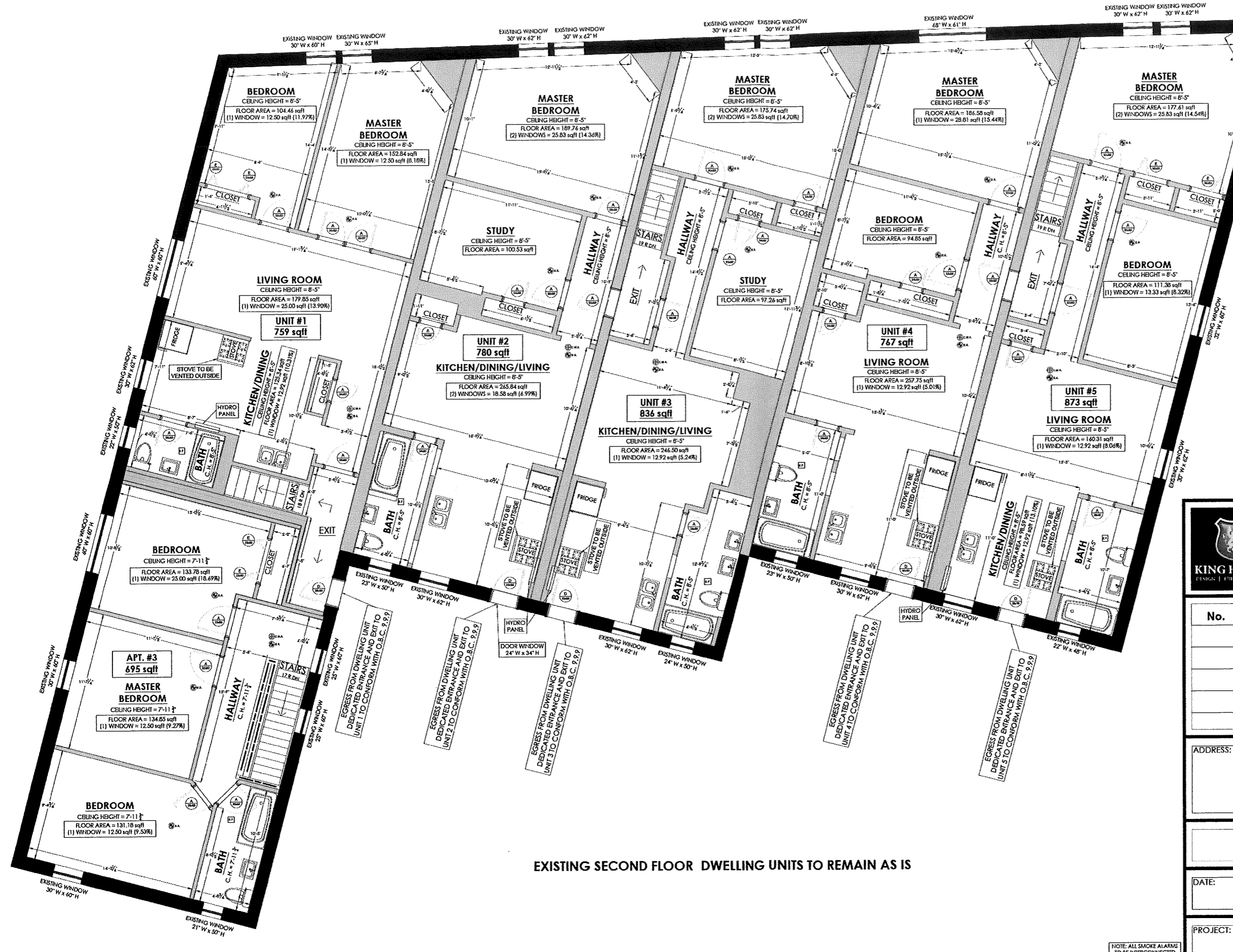
DATE: **SEPTEMBER 2020**

SCALE: **1/4" = 1'**

PROJECT: **11 UNIT CONVERSION**

SHEET#: **A1.05**

NOTE: ALL SMOKE ALARMS TO BE INTERCONNECTED



**PLANS LEGEND**

[Symbol]	ROOM NAME
[Symbol]	EXHAUST FAN
[Symbol]	SPECIFICATION TAG
[Symbol]	SMOKE ALARM
[Symbol]	CARBON MONOXIDE ALARM
[Symbol]	C.E.H. = 8'-10"
[Symbol]	C.E.H. = 8'-5"
[Symbol]	STRUCTURAL BEAM OR WALL
[Symbol]	PLUMBING STACK
[Symbol]	WATER METER
[Symbol]	FLOOR DRAIN
[Symbol]	STRUCTURAL COLUMN
[Symbol]	FOUNDATION WALL
[Symbol]	EXISTING EXTERIOR WALLS
[Symbol]	NEW EXTERIOR WALLS
[Symbol]	EXISTING INTERIOR WALLS
[Symbol]	NEW INTERIOR WALLS
[Symbol]	STRUCTURAL WALLS
[Symbol]	NEW STRUCTURAL BEAMS
[Symbol]	WINDOWS
[Symbol]	SUPPLY REGISTER
[Symbol]	RETURN GRILLE
[Symbol]	FLOOR TILE
[Symbol]	WOOD FLOOR
[Symbol]	DOOR LEGEND
A	PANEL DOOR
B	FIRE DOOR w/ SELF-CLOSER (45 MIN)
C	FIRE DOOR w/ SELF-CLOSER (20 MIN)
D	EXTERIOR DOOR
E	BIFOLD CLOSET
F	SLIDING DOOR
G	POCKET DOOR

**SEPARATION BETWEEN UNITS**  
 NEW SEPARATION BETWEEN UNITS TO HAVE A FIRE RESISTANCE RATING OF 45 MIN. AS PER O.B.C. 9.10.3.14 AND 9.10.4.

**BASEMENT CEILING SEPARATING UNITS, P.C.**  
 1. 1 1/2" MINIMUM Gypsum Board (Type X)  
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 100. 1/2" MINIMUM Gypsum Board (Type X)

**KING HOMES**  
DESIGN • BUILD • MANAGE

**LEAD DESIGNER & CONSULTANT**  
KEN BEKENDAM  
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C: (905) 961-0647  
(855) - KINGHOMES (546-4467)

**LEAD ENGINEER**  
ROBERT MENDEZ, P. ENG. 100054193  
robertmendez@yahoo.com  
C: (416) 507-1572

www.legalsecondsuites.com

No.	DESCRIPTION	DATE

ADDRESS:  
**886 KING STREET EAST  
HAMILTON, ON.**

**PROPOSED SECOND FLOOR**

DATE: **SEPTEMBER 2020** SCALE: **1/4" = 1'**

PROJECT: **11 UNIT CONVERSION** SHEET#: **A1.06**

**EXISTING SECOND FLOOR DWELLING UNITS TO REMAIN AS IS**

NOTE: ALL SMOKE ALARMS TO BE INTERCONNECTED



Hamilton

Planning and Economic Development Department  
Planning Division

**Committee of Adjustment**  
City Hall  
5<sup>th</sup> floor 71 Main Street West  
Hamilton, Ontario L8P 4Y5

Phone (905) 546-2424 ext.4221  
Fax (905) 546-4202

**PLEASE FILL OUT THE FOLLOWING PAGES AND  
RETURN TO THE CITY OF HAMILTON PLANNING  
DEPARTMENT.**

<b>FOR OFFICE USE ONLY.</b>	
APPLICATION NO. _____	DATE APPLICATION RECEIVED _____
PAID _____	DATE APPLICATION DEEMED COMPLETE _____
SECRETARY'S SIGNATURE _____	

**CITY OF HAMILTON  
COMMITTEE OF ADJUSTMENT  
HAMILTON, ONTARIO**

***The Planning Act***

**Application for Minor Variance or for Permission**

The undersigned hereby applies to the Committee of Adjustment for the City of Hamilton under Section 45 of the *Planning Act*, R.S.O. 1990, Chapter P.13 for relief, as described in this application, from the Zoning By-law.

1. Name of Owner X Adrian Pannozzo

2.

3. Name of Agent Ken Bekendam

4.

**Note: Unless otherwise requested all communications will be sent to the agent, if any.**

5. Names and addresses of any mortgagees, holders of charges or other encumbrances:

\_\_\_\_\_ n/a \_\_\_\_\_ Postal Code \_\_\_\_\_

\_\_\_\_\_ Postal Code \_\_\_\_\_

6. Nature and extent of relief applied for:

Finished floor elevation of ground floor dwelling units to be the existing floor level of the existing commercial units which is 0m above grade.

Building Setback to 0m for residential units on the ground floor facing a street

7. Why it is not possible to comply with the provisions of the By-law?

Existing site conditions

8. Legal description of subject lands (registered plan number and lot number or other legal description and where applicable, street and street number):

886-894 King St E

9. PREVIOUS USE OF PROPERTY

Residential  Industrial  Commercial

Agricultural  Vacant

Other \_\_\_\_\_

9.1 If Industrial or Commercial, specify use

9.2 Has the grading of the subject land been changed by adding earth or other material, i.e. has filling occurred?

Yes  No  Unknown

9.3 Has a gas station been located on the subject land or adjacent lands at any time?

Yes  No  Unknown

9.4 Has there been petroleum or other fuel stored on the subject land or adjacent lands?

Yes  No  Unknown

9.5 Are there or have there ever been underground storage tanks or buried waste on the subject land or adjacent lands?

Yes  No  Unknown

9.6 Have the lands or adjacent lands ever been used as an agricultural operation where cyanide products may have been used as pesticides and/or sewage sludge was applied to the lands?

Yes  No  Unknown

9.7 Have the lands or adjacent lands ever been used as a weapon firing range?

Yes  No  Unknown

9.8 Is the nearest boundary line of the application within 500 metres (1,640 feet) of the fill area of an operational/non-operational landfill or dump?

Yes  No  Unknown

9.9 If there are existing or previously existing buildings, are there any building materials remaining on site which are potentially hazardous to public health (eg. asbestos, PCB's)?

Yes  No  Unknown

9.10 Is there any reason to believe the subject land may have been contaminated by former uses on the site or adjacent sites?

Yes  No  Unknown

9.11 What information did you use to determine the answers to 9.1 to 9.10 above?

Existing residential and office use

9.12 If previous use of property is industrial or commercial or if YES to any of 9.2 to 9.10, a previous use inventory showing all former uses of the subject land, or if appropriate, the land adjacent to the subject land, is needed.

Is the previous use inventory attached? Yes  No

**ACKNOWLEDGEMENT CLAUSE**

I acknowledge that the City of Hamilton is not responsible for the identification and remediation of contamination on the property which is the subject of this Application – by reason of its approval to this Application.

Oct 4th 2020

Date

Signature Property Owner

X Adrian Pannozzo

Print Name of Owner

10. Dimensions of lands affected:

Frontage  See site plan  
Depth   
Area   
Width of street

11. Particulars of all buildings and structures on or proposed for the subject lands: (Specify ground floor area, gross floor area, number of stories, width, length, height, etc.)

Existing:  See site plan

Proposed:  See site plan

12. Location of all buildings and structures on or proposed for the subject lands: (Specify distance from side, rear and front lot lines)

Existing:  See site plan

Proposed: See site plan

13. Date of acquisition of subject lands:

2020

14. Date of construction of all buildings and structures on subject lands:

unknown

15. Existing uses of the subject property: 6 Residential units on second floor  
5 commercial units on ground floor

16. Existing uses of abutting properties: residential

17. Length of time the existing uses of the subject property have continued:

unknown

18. Municipal services available: (check the appropriate space or spaces)

Water X Connected X

Sanitary Sewer X Connected X

Storm Sewers X

19. Present Official Plan/Secondary Plan provisions applying to the land:

20. Present Restricted Area By-law (Zoning By-law) provisions applying to the land:

TOC1 - Transit Oriented Corridor Zone

21. Has the owner previously applied for relief in respect of the subject property?

Yes

No X

If the answer is yes, describe briefly.

22. Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?

Yes

No X

23. The applicant shall attach to each copy of this application a plan showing the dimensions of the subject lands and of all abutting lands and showing the location, size and type of all buildings and structures on the subject and abutting lands, and where required by the Committee of Adjustment such plan shall be signed by an Ontario Land Surveyor.

**NOTE: It is required that two copies of this application be filed with the secretary-treasurer of the Committee of Adjustment together with the maps**