



Hamilton

COMMITTEE OF ADJUSTMENT

City Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5
Telephone (905) 546-2424, ext. 4221, 3935 Fax (905) 546-4202
E-mail: cofa@hamilton.ca

NOTICE OF PUBLIC HEARING
Minor Variance

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
 - Applicant/agent on file, or
 - Person likely to be interested in this application
-

APPLICATION NO.: AN/A-20:219

APPLICANTS: Christine Brown on behalf of the owner D. & K. Lenarduzzi

SUBJECT PROPERTY: Municipal address **372 Philip Pl. Ancaster**

ZONING BY-LAW: Zoning By-law 87-57, as Amended by By-law 18:105

ZONING: "ER" (Existing Residential) district

PROPOSAL: To a rear yard addition to the existing single detached dwelling notwithstanding that;

1. A minimum rear yard setback of 6.3 m shall be provided instead of the minimum required 25 percent of the lot depth and no less than 7.5 m (1).

Notes:

(1) A minimum of one metre within the rear yard shall be unobstructed and shall not contain structures, walkways, sidewalks, hard surfaced material, and landscaping other than sod.

Variances have been written exactly as requested by the applicant. This property is subject to Site Plan Control; to date, no formal site plan application has been submitted and a full zoning review has not been conducted for the proposed development. Further variances may be required at such time that a formal zoning review is conducted on the proposed development

This application will be heard by the Committee as shown below:

DATE: Thursday, November 19th, 2020
TIME: 2:40 p.m.
PLACE: Via video link or call in (see attached sheet for details)
To be streamed at www.hamilton.ca/committeeofadjustment for viewing purposes only

PUBLIC INPUT

Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

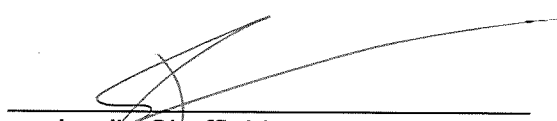
Orally: If you would like to speak to this item at the hearing you may do so via video link or by calling in. Please see attached page for complete instructions, including deadlines for registering to participate.

MORE INFORMATION

For more information on this matter, including access to drawings illustrating this request:

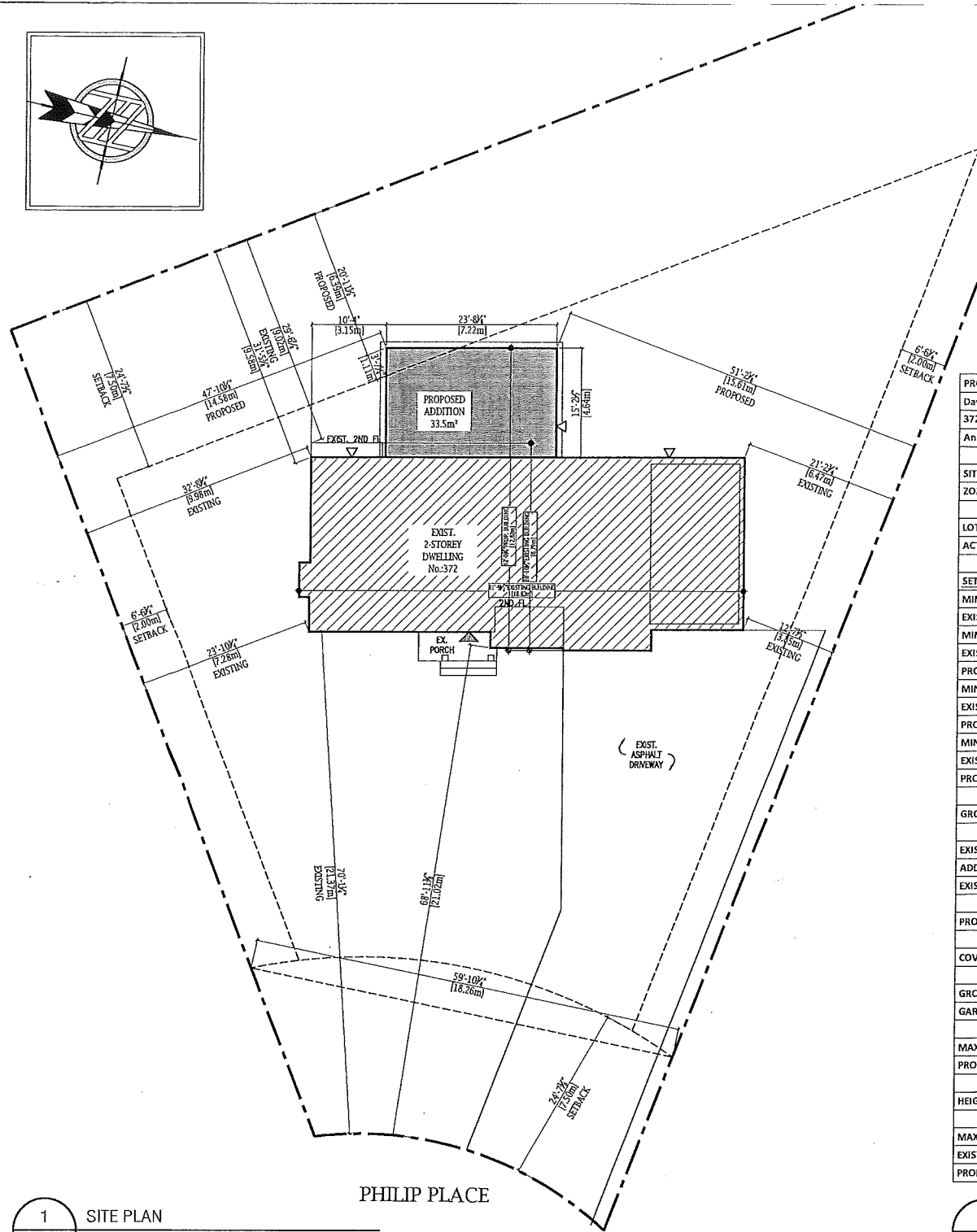
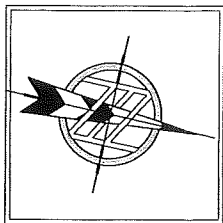
- Visit www.hamilton.ca/committeeofadjustment
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935
- Email Committee of Adjustment staff at cofa@hamilton.ca

DATED: November 3rd, 2020.



Jamila Sheffield,
Secretary-Treasurer
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public.



PROJECT ADDRESS/OWNER:	DESIGNER ADDRESS:
David & Kelli Lenarduzzi	Christine Brown, My House Designs
372 Philip Place	444 Upper Gage Avenue
Ancaster, Ontario, L9G 3G8	Hamilton, Ontario, L8V 4H9

SITE STATISTICS:	
ZONING (ANCASTER): 18-105	ER

LOT INFORMATION:	METRIC	IMPERIAL
ACTUAL LOT AREA:	1304.43	14040.73

SETBACK INFORMATION:		
MINIMUM FRONT YARD SETBACK:	7.50	24.61
EXISTING:	21.50	70.54
MINIMUM REAR YARD SETBACK:	7.50	24.61
EXISTING:	9.59	31.46
PROPOSED TO ADDITION:	*COA*	6.39
MIN. R SIDE YARD SETBACK:	2.00	6.56
EXIST. R SIDE YARD SETBACK:	3.85	12.63
PROP. R SIDE YARD SETBACK:	15.61	51.21
MIN. L SIDE YARD SETBACK:	2.00	6.56
EXIST. L SIDE YARD SETBACK:	7.28	23.88
PROP. L SIDE YARD SETBACK:	14.58	47.83

GROSS FLOOR AREA:	METRIC	IMPERIAL
EXISTING GROUND FLOOR AREA:	111.94	1204.92
ADDITIONAL GROUND FLOOR AREA:	33.45	360.10
EXISTING SECOND FLOOR AREA:	112.14	1207.09

PROPOSED NEW FLOOR AREA:	257.54	2772.11
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COVERAGE CALCULATIONS:		
	METRIC	IMPERIAL

GROUND FLOOR AREA:	145.40	1565.02
GARAGE AREA:	29.42	316.64

MAXIMUM COVERAGE:	35.00%	456.60	4913.00
PROPOSED COVERAGE:	13.41%	174.88	1881.66

HEIGHT CALCULATIONS		
	METRIC	IMPERIAL

MAX. ALLOWABLE HEIGHT:	9.50	31.17
EXISTING HEIGHT:	8.24	27.03
PROPOSED HEIGHT:	no change	

SITE PLAN LEGEND:	
	PROPERTY LINE
	BUILDING ENVELOPE
	EXISTING TO BE REMOVED
	PROPOSED SOLID HOARDING
	PROPOSED FRAMED HOARDING
	NEW WATER LINE
	NEW SANITARY LINE
	NEW NATURAL GAS LINE
	NEW BURIED HYDRO VAULT
	NEW SUMP LINE TO GRADE
	CONSTRUCTION ACCESS
	EXISTING GRADE
	PROPOSED FINISHED GRADE
	MAIN ENTRY, FRONT DOOR
	SECONDARY ENTRANCE
	EXISTING BUILDING TO REMAIN
	PROPOSED NEW CONSTRUCTION
	PROPOSED NEW DRIVEWAY
	EXISTING TREE TO REMAIN
	EXISTING TREE TO BE REMOVED
	RAIN WATER LEADERS

Drawings must NOT be scaled. Contractor must check and verify all dimensions, specifications and drawings on site and report any discrepancies to the designer prior to proceeding with any of the work.

ANVA
20:219

3	10.15.20	ISSUED FOR COA
2	09.02.20	ISSUED FOR PRELIM DESIGNS
1	08.24.20	ISSUED FOR AS-BUILTS

REF: DATE: DESCRIPTION:

	CHRISTINE BROWN Architectural Technologist 905.602.5772 444 UPPER GAGE AVE. HAMILTON, ON L8V 4H9 cbrown@myhouseplans.com
--	---

CLIENT:
LENARDUZZI RESIDENCE

ADDRESS: 372 PHILIP PLACE
CITY: ANCASTER, ONTARIO, L9G 3G8

DRAWING TITLE:
SITE PLAN &
SITE STATS

Ministry of Municipal Affairs and Housing
QUALIFICATION INFORMATION

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONT. BUILDING CODE TO BE A DESIGNER.
REQUIRED UNLESS DESIGN IS EXEMPT UNDER DIVISION 'C' SECTION 3.2 OF THE O.B.C.

BCIN	CHRISTINE BROWN	37240
BCIN	MY HOUSE DESIGNS	113120

DRAWN: CB	SCALE: AS NOTED
DATE: Oct. 14, 20	SHEET: SP1.01 of 4
JOB NO.: 20-048	

1 SITE PLAN
SP1.01 1:200

2 SITE STATS
SP1.01 N.T.S.



EX. T/O ROOF

EX. T/O PL

EX. 2ND FL.

EX. U/S F.J.

EX. FIN. FLOOR

EX. U/S F.I.

EX. BSMNT. SLAB

27'-3 3/4"
(8.33m)

7'-8"

8'-0"

7'-4"



EXISTING

1 FRONT ELEVATION
A2.01 3/16" = 1'-0"

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AN/A
20:219

3	10.15.20	ISSUED FOR COA
2	06.02.20	ISSUED FOR PRELIM DESIGNS
1	08.24.20	ISSUED FOR AS-BUILTS

REF.	DATE	DESCRIPTION
 		
RESIDENTIAL DESIGN AND DRAFTING SERVICES CHRISTINE BROWN Architectural Technologist 905.402.5272 444 UPPER GAGE AVE. HAMILTON, ON L8V 4E9 cbrown@friendlyarchitecture.com		

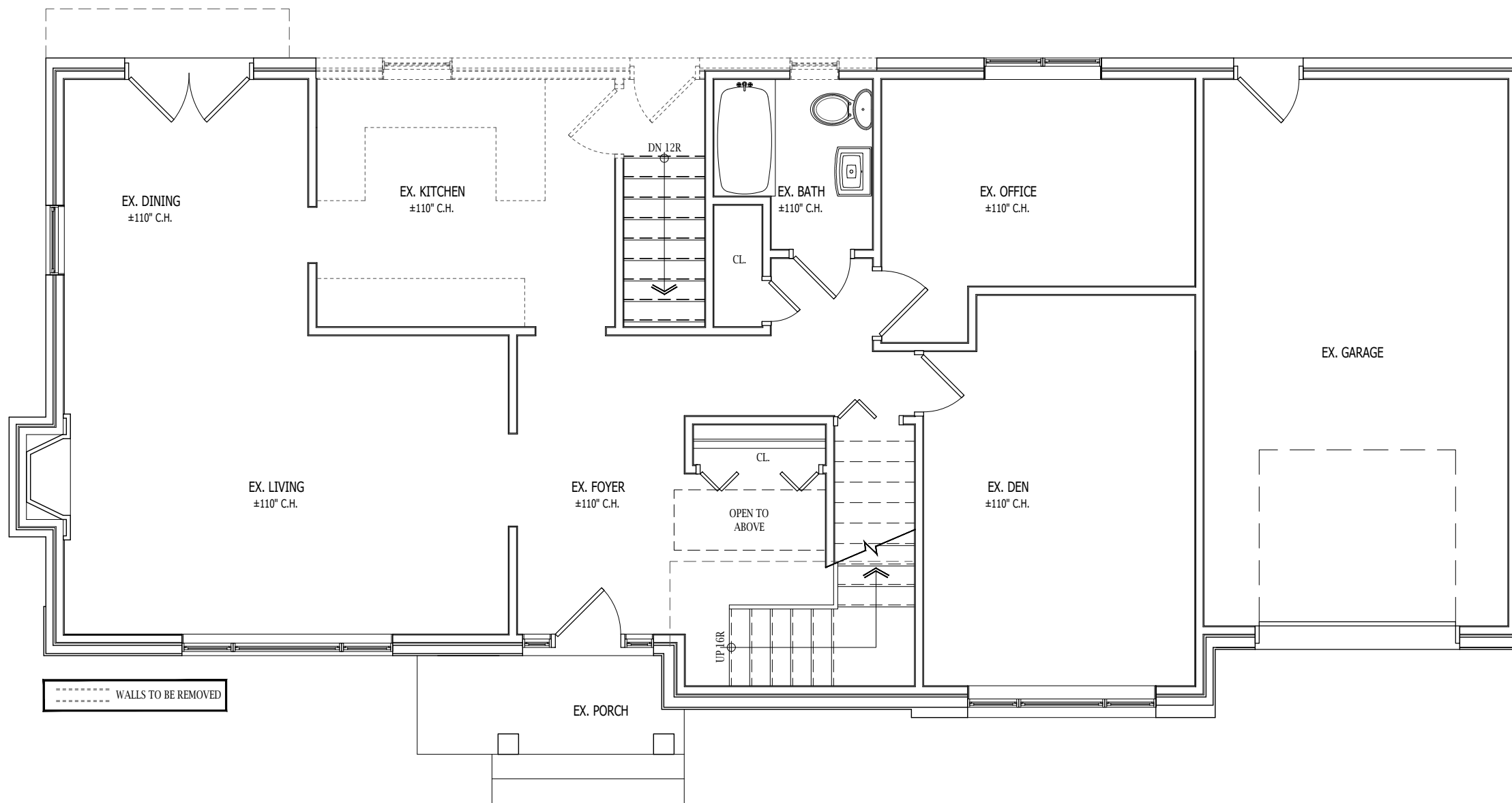
CLIENT:
LENARDUZZI RESIDENCE

ADDRESS: 372 PHILIP PLACE
CITY: ANCASTER, ONTARIO, L9G 3G8
DRAWING TITLE:
FRONT ELEVATION

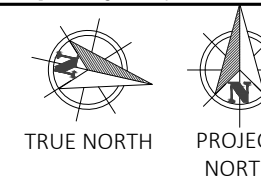
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BC# 37240
CHRISTINE BROWN
BC# 113120
MY HOUSE DESIGNS

DRAWN: CB
DATE: Oct. 14, 20
JOB NO.: 20-048
SCALE: AS NOTED
SHEET: A2.01



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1	08.24.20	ISSUED FOR AS-BUILTS
REF.	DATE:	DESCRIPTION:

RESIDENTIAL DESIGN AND DRAFTING SERVICES

CHRISTINE BROWN
Architectural Technologist
905.802.5272
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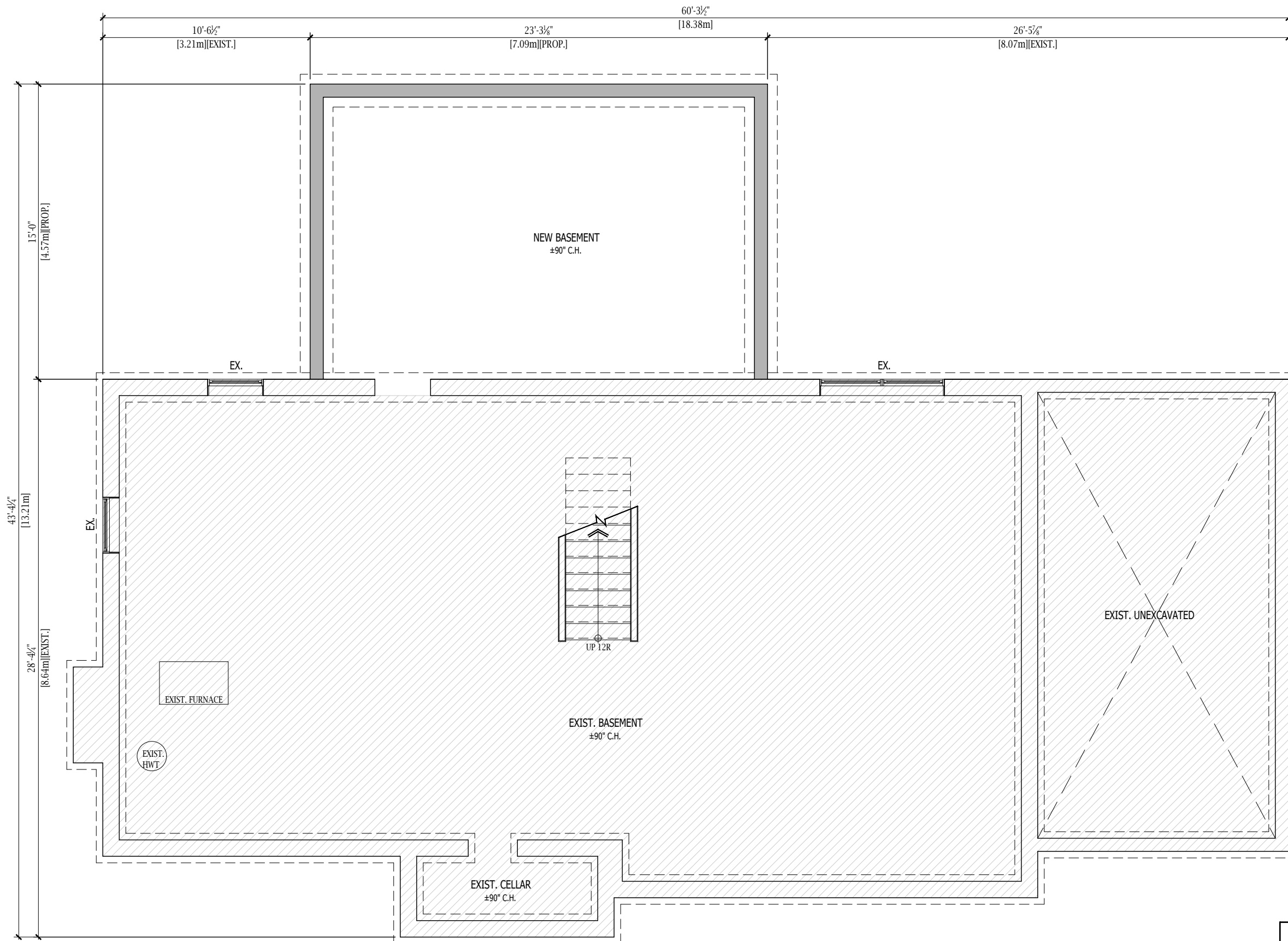
ADDRESS: 372 PHILIP PLACE
CITY: ANCASTER, ONTARIO, L9G 3G8
DRAWING TITLE:
EXIST./DEMO. MAIN FL. PLAN



BCIN 37240
CHRISTINE BROWN

BCIN 113120
MY HOUSE DESIGNS

DRAWN: CB	SCALE: AS NOTED
DATE: Sep. 27, 20	SHEET: A1.01
JOB NO.: 20-048	1 of 11

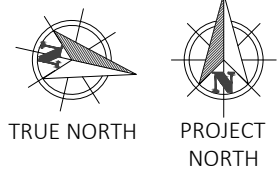
1 EXIST./DEMO MAIN FLOOR PLAN
A1.01 3/16" = 1'-0"




 PROPOSED
 EXISTING

1 PROP. BASEMENT PLAN
 A1.02 3/16" = 1'-0"


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2	09.02.20	ISSUED FOR PRELIM DESIGNS
1	08.24.20	ISSUED FOR AS-BUILTS
REF.	DATE	DESCRIPTION



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DESIGN AND
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CLIENT:
LENARDUZZI RESIDENCE

ADDRESS: 372 PHILIP PLACE
CITY: ANCASTER, ONTARIO, L9G 3G8

DRAWING TITLE:
PROP. BASEMENT PLAN

 Ministry of Municipal
Affairs and Housing
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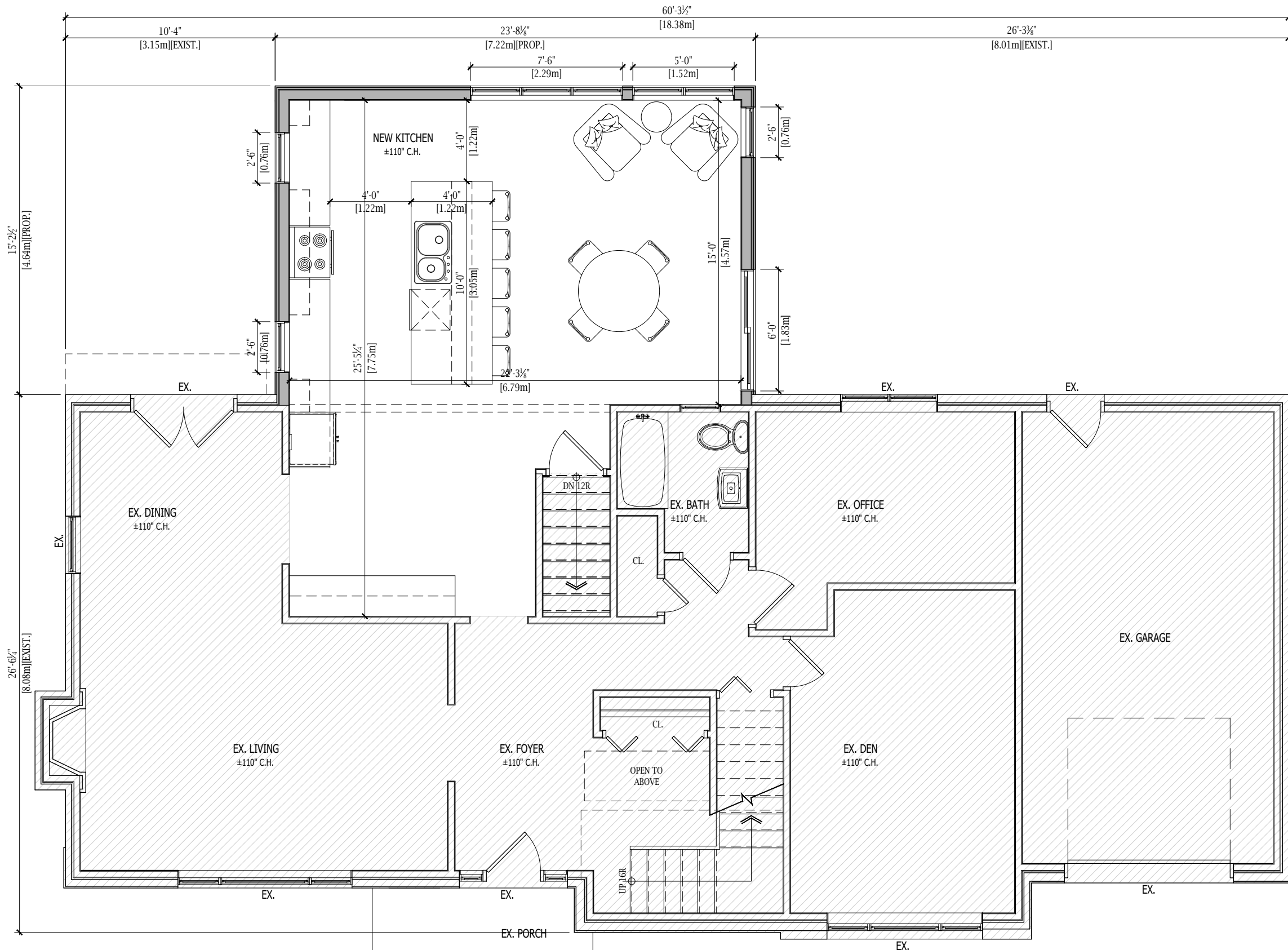
BCIN 37240
 CHRISTINE BROWN

BCIN 113120
 MY HOUSE DESIGNS

DRAWN: CB
 DATE: Sep. 27, 20
 JOB NO.:

SCALE: AS NOTED
 SHEET:

20-048
 A1.02

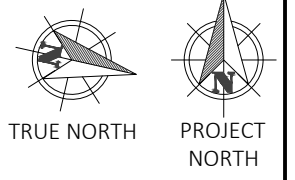


PROPOSED
 EXIST. FLOOR AREA: 1204.92ft² (111.94m²)
 PROPOSED ADDITION: 360.10ft² (33.45m²)


EXISTING
 PROPOSED TOTAL NEW MAIN FLOOR AREA: 1565.02ft² (145.39m²)

1 PROP. MAIN FLOOR PLAN
A1.03 3/16" = 1'-0"


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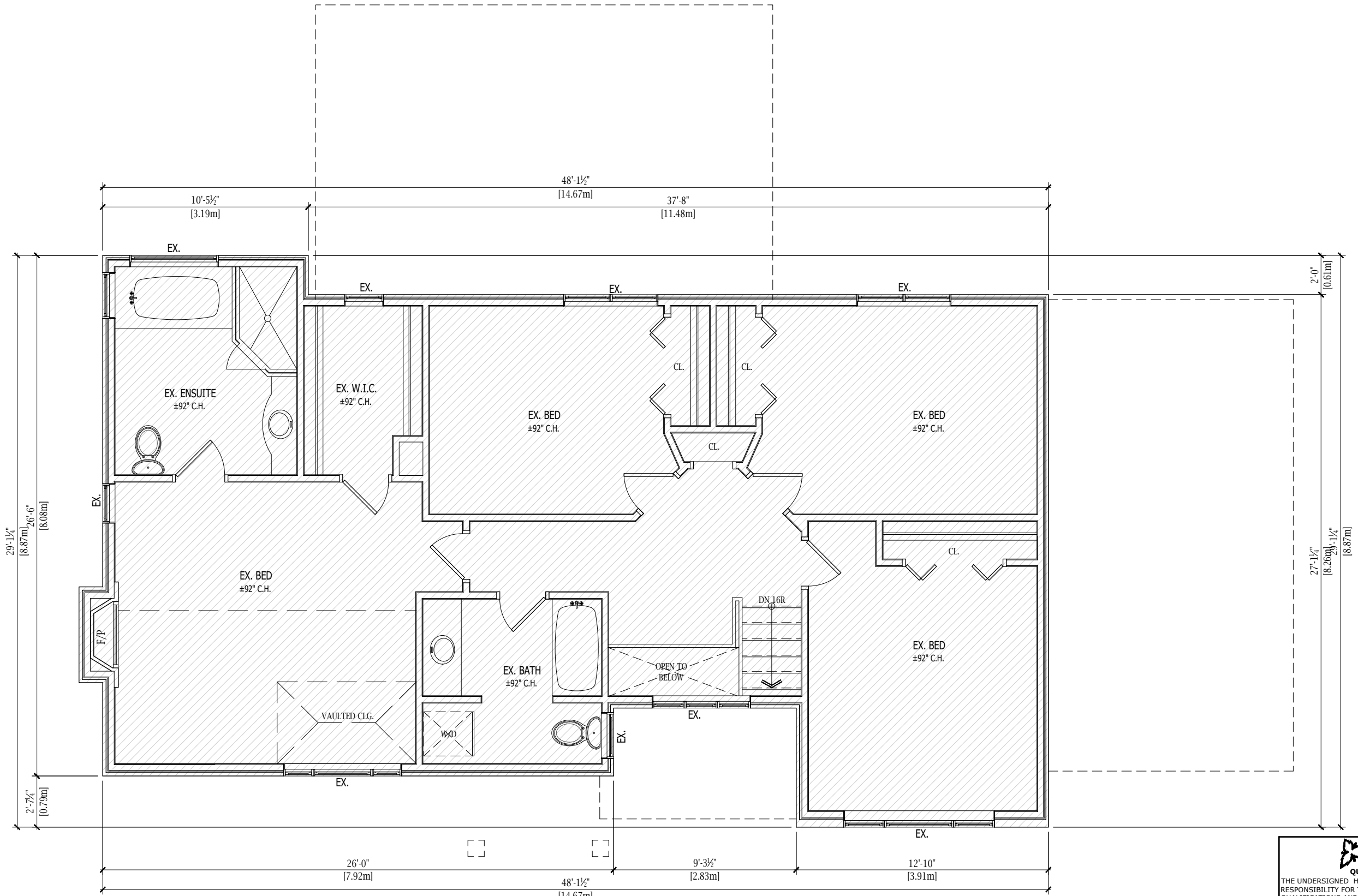

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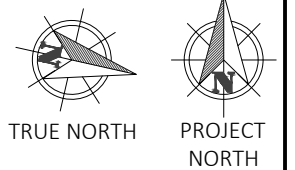
DRAWING TITLE:
PROP. MAIN FLOOR PLAN

DRAWN: CB
 DATE: Sep. 27, 20
 JOB NO.:
 MY HOUSE DESIGNS

BCIN: 37240
 SCALE: AS NOTED
 SHEET:
20-048
A1.03



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1	08.24.20	ISSUED FOR AS-BUILTS
REF.	DATE	DESCRIPTION

RESIDENTIAL DESIGN AND DRAFTING SERVICES

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cbrown@friendlycadmonkey.com

CLIENT:
LENARDUZZI RESIDENCE

Ministry of Municipal Affairs and Housing

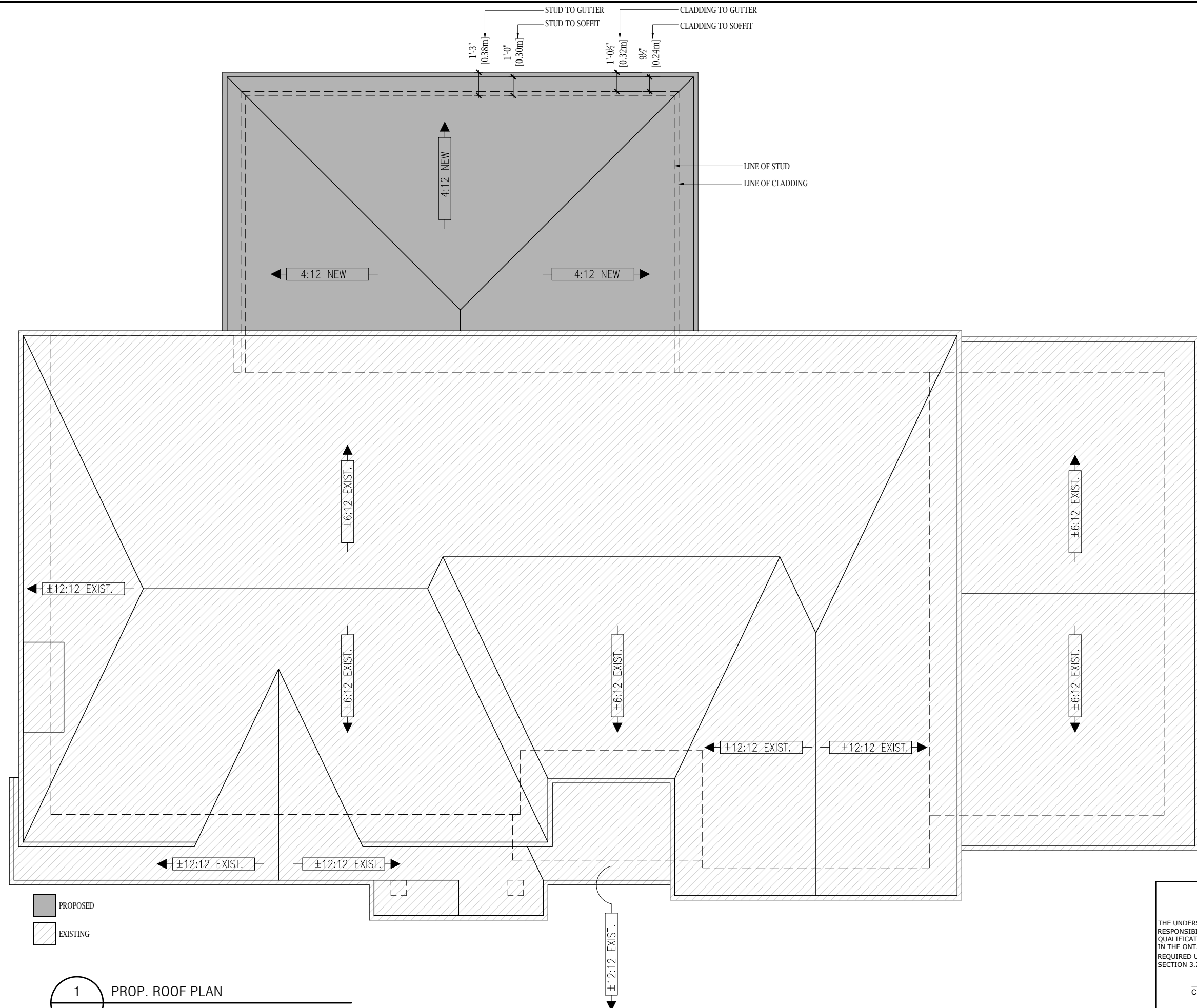
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ADDRESS: 372 PHILIP PLACE
CITY: ANCASTER, ONTARIO, L9G 3G8
DRAWING TITLE:
EXIST. 2ND FLOOR PLAN

EXISTING EXIST. 2nd AREA: 1207.09ft² (112.14m²)

1 EXIST. 2ND FLOOR PLAN
A1.04 3/16" = 1'-0"

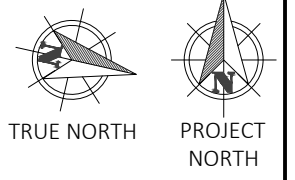
CHRISTINE BROWN BCIN 37240
DRAWN: CB SCALE: AS NOTED
DATE: Sep. 27, 20
JOB NO.: SHEET:
MY HOUSE DESIGNS BCIN 113120 **20-048** **A1.04**



PROPOSED
EXISTING

1 PROP. ROOF PLAN
A1.05 3/16" = 1'-0"

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REF.	DATE	DESCRIPTION

RESIDENTIAL DESIGN AND DRAFTING SERVICES

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ADDRESS: 372 PHILIP PLACE
CITY: ANCASTER, ONTARIO, L9G 3G8
DRAWING TITLE:
PROP. ROOF PLAN


BCIN 37240
CHRISTINE BROWN
BCIN 113120
MY HOUSE DESIGNS

DRAWN: CB
DATE: Sep. 27, 20
JOB NO.: 20-048
SCALE: AS NOTED
SHEET: A1.05 of 11




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CLIENT:
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ADDRESS: 372 PHILIP PLACE
CITY: ANCASTER, ONTARIO, L9G 3G8

DRAWING TITLE:
FRONT ELEVATION



Ministry of Municipal
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DRAWN: CB DATE: Sep. 27, 20	SCALE: AS NOTED
JOB NO.: 20-048	SHEET: A2.01



1 FRONT ELEVATION
A2.01 3/16" = 1'-0"

BCIN CHRISTINE BROWN 37240	BCIN MY HOUSE DESIGNS 113120
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1	08.24.20	ISSUED FOR AS-BUILTS
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 <p>RESIDENTIAL DESIGN AND DRAFTING SERVICES</p>	 <p>CHRISTINE BROWN Architectural Technologist 905.802.5272 444 UPPER GAGE AVE. HAMILTON, ON L8V 4H9 cbrown@friendlycadmonkey.com</p>
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CLIENT:
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ADDRESS: 372 PHILIP PLACE
CITY: ANCASTER, ONTARIO, L9G 3G8

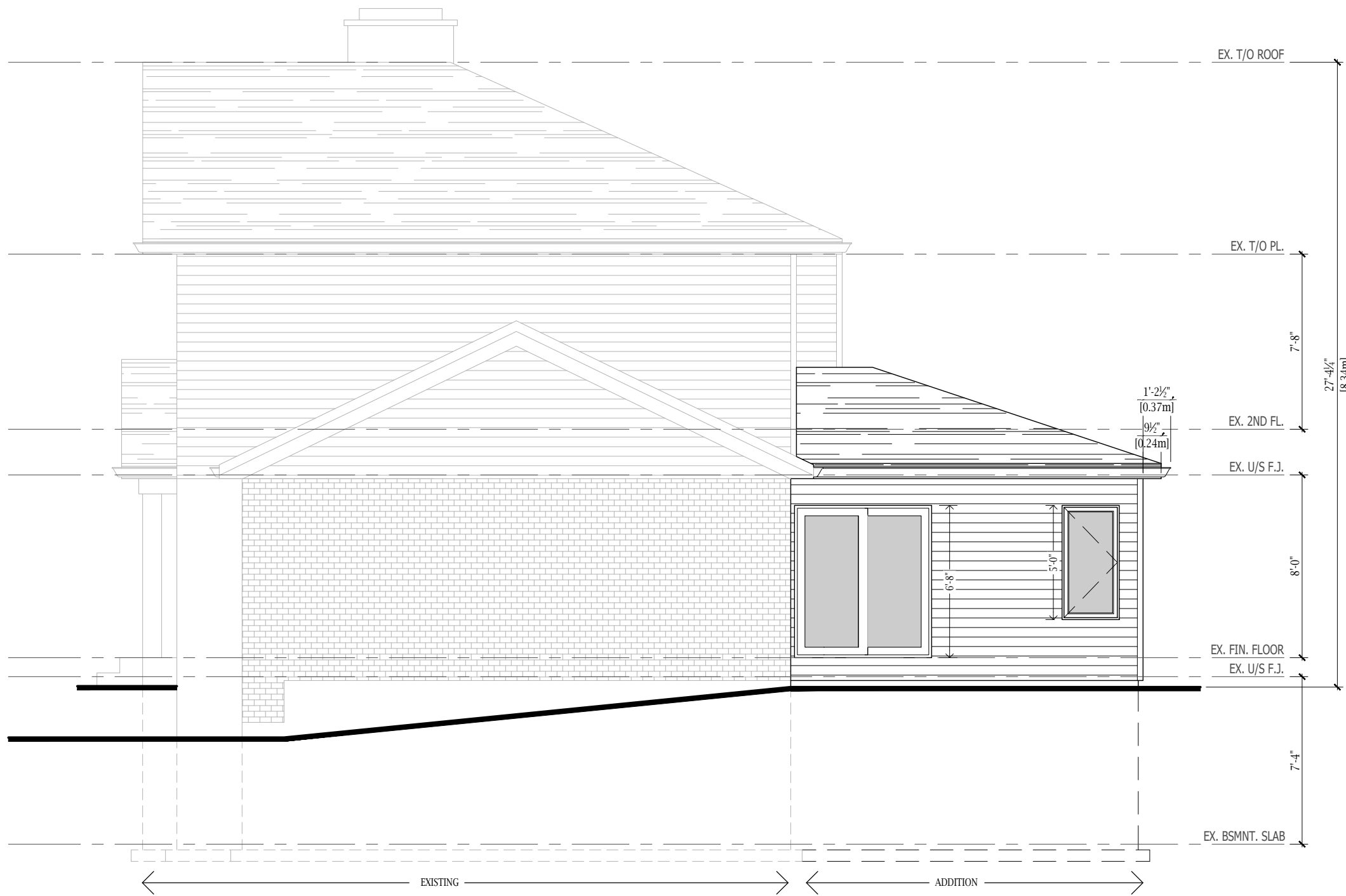
DRAWING TITLE:
REAR ELEVATION


 Ministry of Municipal Affairs and Housing
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DRAWN: CB DATE: Sep. 27, 20	SCALE: AS NOTED
JOB NO.: 20-048	SHEET: A2.02

CHRISTINE BROWN BCIN 37240
 MY HOUSE DESIGNS BCIN 113120



1 REAR ELEVATION
 A2.02 3/16" = 1'-0"



1 RIGHT ELEVATION
A2.03 3/16" = 1'-0"

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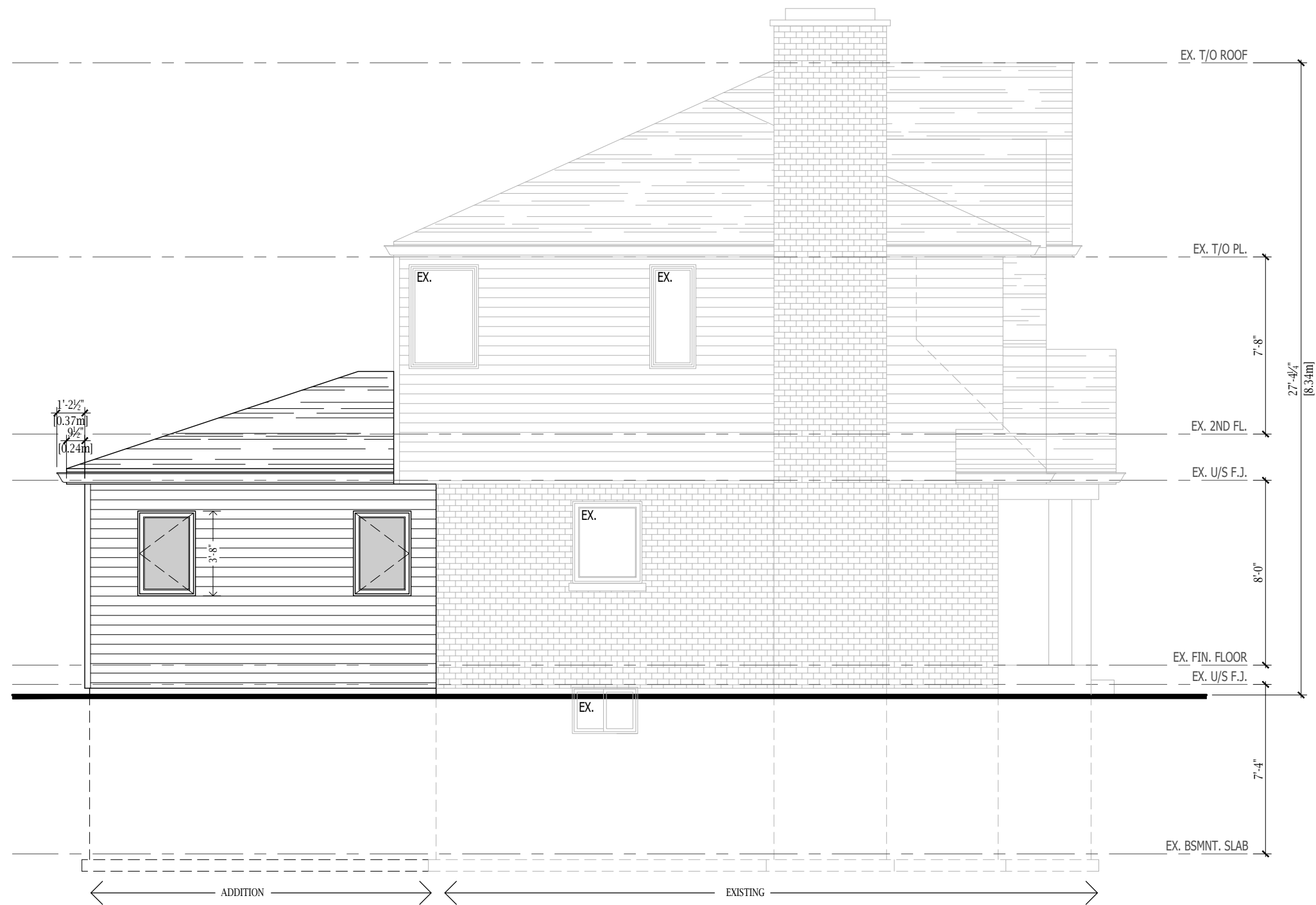
ADDRESS: 372 PHILIP PLACE
CITY: ANCASTER, ONTARIO, L9G 3G8
DRAWING TITLE:
RIGHT ELEVATION

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BCIN 37240
CHRISTINE BROWN

BCIN 113120
MY HOUSE DESIGNS

DRAWN: CB	SCALE: AS NOTED
DATE: Sep. 27, 20	SHEET:
JOB NO.: 20-048	A2.03





1 LEFT ELEVATION
A2.04 3/16" = 1'-0"

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REF. DATE: DESCRIPTION:

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CLIENT:
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ADDRESS: 372 PHILIP PLACE
CITY: ANCASTER, ONTARIO, L9G 3G8
DRAWING TITLE:
LEFT ELEVATION

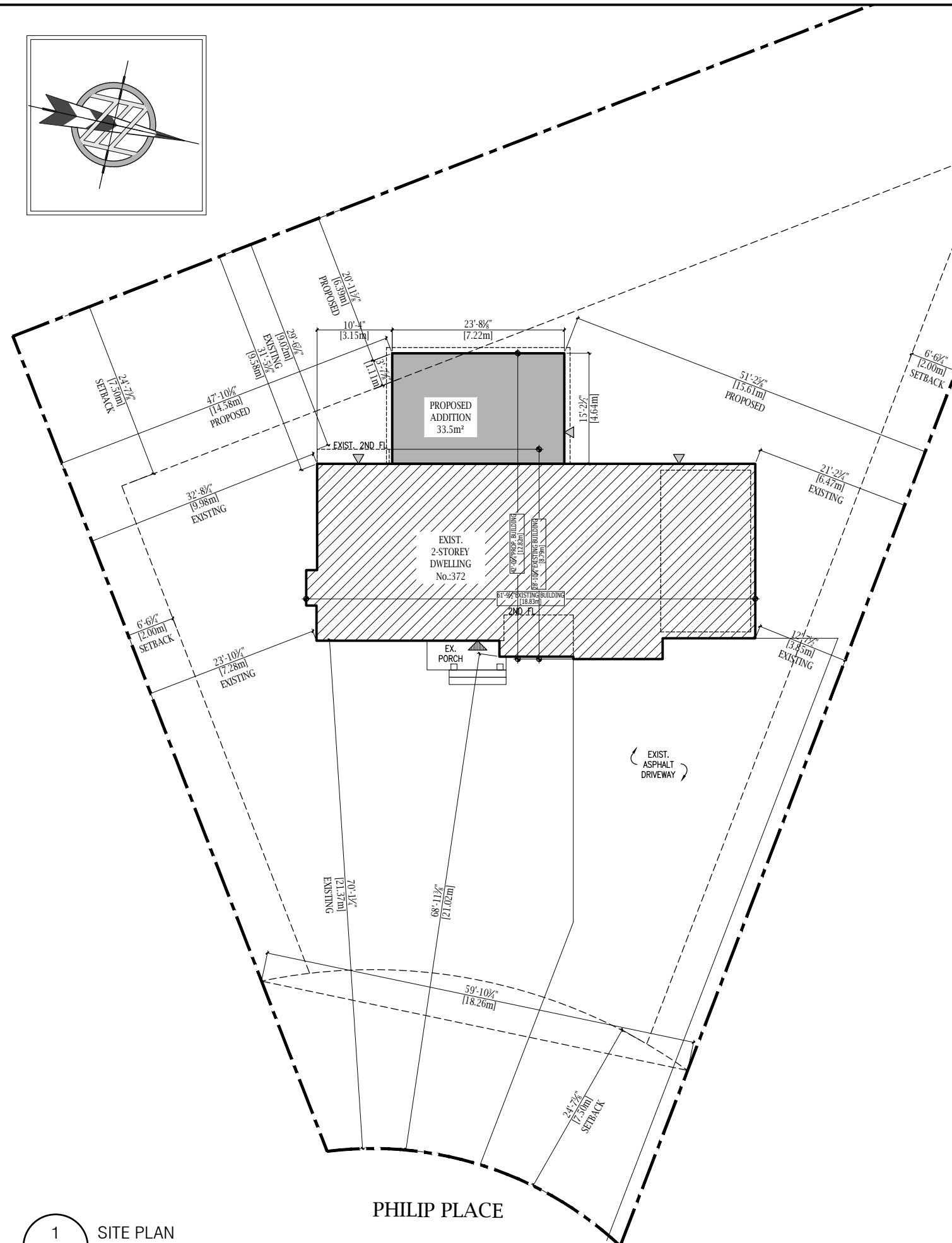
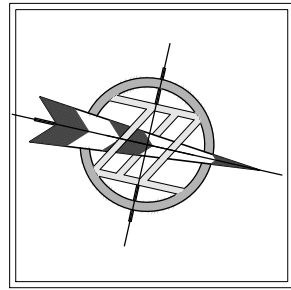
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BCIN: 113120
MY HOUSE DESIGNS

DRAWN: CB
DATE: Sep. 27, 20
JOB NO.:
SCALE: AS NOTED
SHEET:

20-048
A2.04



PROJECT ADDRESS/OWNER:	DESIGNER ADDRESS:
David & Kelli Lenarduzzi	Christine Brown, My House Designs
372 Philip Place	444 Upper Gage Avenue
Ancaster, Ontario, L9G 3G8	Hamilton, Ontario, L8V 4H9

SITE STATISTICS:	
ZONING (ANCASTER): 18-105	ER

LOT INFORMATION:	METRIC	IMPERIAL
ACTUAL LOT AREA:	1304.43	14040.73

SETBACK INFORMATION:		
MINIMUM FRONT YARD SETBACK:	7.50	24.61
EXISTING:	21.50	70.54
MINIMUM REAR YARD SETBACK:	7.50	24.61
EXISTING:	9.59	31.46
PROPOSED TO ADDITION:	*COA*	6.39
MIN. R SIDE YARD SETBACK:	2.00	6.56
EXIST. R SIDE YARD SETBACK:	3.85	12.63
PROP. R SIDE YARD SETBACK:	15.61	51.21
MIN. L SIDE YARD SETBACK:	2.00	6.56
EXIST. L SIDE YARD SETBACK:	7.28	23.88
PROP. L SIDE YARD SETBACK:	14.58	47.83

GROSS FLOOR AREA:	METRIC	IMPERIAL
EXISTING GROUND FLOOR AREA:	111.94	1204.92
ADDITIONAL GROUND FLOOR AREA:	33.45	360.10
EXISTING SECOND FLOOR AREA:	112.14	1207.09

PROPOSED NEW FLOOR AREA:	257.54	2772.11
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COVERAGE CALCULATIONS:	METRIC	IMPERIAL
GROUND FLOOR AREA:	145.40	1565.02
GARAGE AREA:	29.42	316.64

MAXIMUM COVERAGE:	35.00%	456.60	4913.00
PROPOSED COVERAGE:	13.41%	174.88	1881.66

HEIGHT CALCULATIONS	METRIC	IMPERIAL
MAX. ALLOWABLE HEIGHT	9.50	31.17
EXISTING HEIGHT:	8.24	27.03
PROPOSED HEIGHT:	no change	

SITE PLAN LEGEND:	
	PROPERTY LINE
	BUILDING ENVELOPE
	EXISTING TO BE REMOVED
	PROPOSED SOLID HOARDING
	PROPOSED FRAMED HOARDING
	NEW WATER LINE
	NEW SANITARY LINE
	NEW NATURAL GAS LINE
	NEW BURIED HYDRO VAULT
	NEW SUMP LINE TO GRADE
	CONSTRUCTION ACCESS
	EXISTING GRADE
	PROPOSED FINISHED GRADE
	MAIN ENTRY, FRONT DOOR
	SECONDARY ENTRANCE
	EXISTING BUILDING TO REMAIN
	PROPOSED NEW CONSTRUCTION
	PROPOSED NEW DRIVEWAY
	EXISTING TREE TO REMAIN
	EXISTING TREE TO BE REMOVED
	RWL RAIN WATER LEADERS

Drawings must NOT be scaled. Contractor must check and verify all dimensions, specifications and drawings on site and report any discrepancies to the designer prior to proceeding with any of the work.

2	09.02.20	ISSUED FOR PRELIM DESIGNS
1	08.24.20	ISSUED FOR AS-BUILTS
REF.	DATE:	DESCRIPTION:

**MY HOUSE
DESIGNS**

RESIDENTIAL
DESIGN AND
DRAFTING SERVICES

CHRISTINE BROWN
Architectural Technologist
905.802.5272
444 UPPER GAGE AVE.
HAMILTON, ON L8V 4H9
cbrown@friendlycadmonkey.com

CLIENT:
LENARDUZZI RESIDENCE

ADDRESS: 372 PHILIP PLACE
CITY: ANCASTER, ONTARIO, L9G 3G8
DRAWING TITLE:
**SITE PLAN &
SITE STATS**

Ministry of Municipal
Affairs and Housing

QUALIFICATION INFORMATION

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONT. BUILDING CODE TO BE A DESIGNER.
REQUIRED UNLESS DESIGN IS EXEMPT UNDER DIVISION 'C' SECTION 3.2 OF THE O.B.C.

CHRISTINE BROWN	BCIN 37240
MY HOUSE DESIGNS	BCIN 113120

DRAWN: CB	SCALE: AS NOTED
DATE: Sep. 27, 20	SHEET:
JOB NO.: 20-048	SP1.01

1 SITE PLAN
SP1.01 1:200

2 SITE STATS
SP1.01 N.T.S.



Hamilton

Planning and Economic Development Department
Planning Division

Committee of Adjustment
City Hall
5th floor 71 Main Street West
Hamilton, Ontario L8P 4Y5

Phone (905) 546-2424 ext.4221
Fax (905) 546-4202

**PLEASE FILL OUT THE FOLLOWING PAGES AND
RETURN TO THE CITY OF HAMILTON PLANNING
DEPARTMENT.**

FOR OFFICE USE ONLY.	
APPLICATION NO. _____	DATE APPLICATION RECEIVED _____
PAID _____	DATE APPLICATION DEEMED COMPLETE _____
SECRETARY'S SIGNATURE _____	

**CITY OF HAMILTON
COMMITTEE OF ADJUSTMENT
HAMILTON, ONTARIO**

The Planning Act

Application for Minor Variance or for Permission

The undersigned hereby applies to the Committee of Adjustment for the City of Hamilton under Section 45 of the *Planning Act*, R.S.O. 1990, Chapter P.13 for relief, as described in this application, from the Zoning By-law.

1. Name of Owner David & Kelli Lenarduzzi Telephone _____

2. _____

3. Name of Agent Christine Brown Telephone _____

4. _____

Note: Unless otherwise requested all communications will be sent to the agent, if any.

5. Names and addresses of any mortgagees, holders of charges or other encumbrances:

Postal Code _____

Postal Code _____

6. Nature and extent of relief applied for:
to permit a rear yard setback of 6.39m instead of the minimum permitted 7.5m

7. Why it is not possible to comply with the provisions of the By-law?
due to the shape of the lot, it compromises the rear yard where the desired
kitchen addition is.

8. Legal description of subject lands (registered plan number and lot number or other legal description and where applicable, street and street number):
372 Philip Place, Ancaster, Ontario, L9H 3G8

9. PREVIOUS USE OF PROPERTY
- Residential Industrial Commercial
 Agricultural Vacant
 Other _____
- 9.1 If Industrial or Commercial, specify use

- 9.2 Has the grading of the subject land been changed by adding earth or other material, i.e. has filling occurred?
 Yes No Unknown
- 9.3 Has a gas station been located on the subject land or adjacent lands at any time?
 Yes No Unknown
- 9.4 Has there been petroleum or other fuel stored on the subject land or adjacent lands?
 Yes No Unknown
- 9.5 Are there or have there ever been underground storage tanks or buried waste on the subject land or adjacent lands?
 Yes No Unknown
- 9.6 Have the lands or adjacent lands ever been used as an agricultural operation where cyanide products may have been used as pesticides and/or sewage sludge was applied to the lands?
 Yes No Unknown
- 9.7 Have the lands or adjacent lands ever been used as a weapon firing range?
 Yes No Unknown
- 9.8 Is the nearest boundary line of the application within 500 metres (1,640 feet) of the fill area of an operational/non-operational landfill or dump?
 Yes No Unknown

- 9.9 If there are existing or previously existing buildings, are there any building materials remaining on site which are potentially hazardous to public health (eg. asbestos, PCB's)?
 Yes _____ No _____ Unknown
- 9.10 Is there any reason to believe the subject land may have been contaminated by former uses on the site or adjacent sites?
 Yes _____ No _____ Unknown
- 9.11 What information did you use to determine the answers to 9.1 to 9.10 above?
This is a long-standing residential neighbourhood. The answers are probably "no"

- 9.12 If previous use of property is industrial or commercial or if YES to any of 9.2 to 9.10, a previous use inventory showing all former uses of the subject land, or if appropriate, the land adjacent to the subject land, is needed.

Is the previous use inventory attached? Yes _____ No _____

ACKNOWLEDGEMENT CLAUSE

I acknowledge that the City of Hamilton is not responsible for the identification and remediation of contamination on the property which is the subject of this Application – by reason of its approval to this Application.

 Date


 Signature Property Owner

Dave & Kelli Lenarduzzi
 Print Name of Owner

10. Dimensions of lands affected:
- Frontage _____
 Depth _____
 Area 1300.9s.m.
 Width of street court

11. Particulars of all buildings and structures on or proposed for the subject lands: (Specify ground floor area, gross floor area, number of stories, width, length, height, etc.)
- Existing: 2-storeys length: 18.83m width: 8.79m
Ground fl area: 141.4s.m. GFA: 253.5s.m.
- Proposed: length: no change width: 12.82m
Ground fl area: 174.8s.m. GFA: 286.94s.m.
height: no change

12. Location of all buildings and structures on or proposed for the subject lands; (Specify distance from side, rear and front lot lines)
- Existing: Front: 21.02m Rear: 9.58m
L Side: 7.28m R Side: 3.85m

Proposed: Front: no change Rear: 6.39m
L Side: no change R Side: no change

13. Date of acquisition of subject lands:

14. Date of construction of all buildings and structures on subject lands:

15. Existing uses of the subject property: Single Family Residential

16. Existing uses of abutting properties: Single Family Residential

17. Length of time the existing uses of the subject property have continued:

18. Municipal services available: (check the appropriate space or spaces)

Water Connected
Sanitary Sewer Connected
Storm Sewers

19. Present Official Plan/Secondary Plan provisions applying to the land:

20. Present Restricted Area By-law (Zoning By-law) provisions applying to the land:

21. Has the owner previously applied for relief in respect of the subject property?
Yes No

If the answer is yes, describe briefly.

22. Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?

Yes No

23. The applicant shall attach to each copy of this application a plan showing the dimensions of the subject lands and of all abutting lands and showing the location, size and type of all buildings and structures on the subject and abutting lands, and where required by the Committee of Adjustment such plan shall be signed by an Ontario Land Surveyor.

NOTE: It is required that two copies of this application be filed with the secretary-treasurer of the Committee of Adjustment together with the maps