



COMMITTEE OF ADJUSTMENT

City Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5
Telephone (905) 546-2424, ext. 4221, 3935 Fax (905) 546-4202
E-mail: cotfa@hamilton.ca

Hamilton

NOTICE OF PUBLIC HEARING **Minor Variance**

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
- Applicant/agent on file, or
- Person likely to be interested in this application

APPLICATION NO.: AN/A-20:228

APPLICANTS: Green Park Services on behalf of the owner Daniel Zeiter

SUBJECT PROPERTY: Municipal address **489 Ontario St., Ancaster**

ZONING BY-LAW: Zoning By-law 87-57, as Amended

ZONING: "A" (Agricultural) district

PROPOSAL: To permit the construction of an accessory building (private garage) for the existing single detached dwelling, notwithstanding that;

1. The existing dwelling and uses, buildings and structures accessory to the dwelling shall be permitted on the subject property notwithstanding that it is not a lot and whereas no building or structure shall be permitted to be erected or placed except upon a lot.
2. A maximum building height of 7.9m shall be permitted for the proposed accessory building instead of the maximum 4.5m building height permitted.
3. No lot frontage shall be permitted instead of the minimum 30.0m lot frontage required.
4. A maximum lot coverage of 456.0m² shall be permitted instead of the maximum 400.0m² lot coverage permitted for a lot with an area up to 4 hectares.

Notes: This property does not appear to front on a street that has been opened and assumed for public use; as such, cannot be considered a lot as defined. Please note that the most restrictive yard requirements shall be applicable as front, rear and side lot lines cannot be determined.

The submitted elevation plans are illegible; therefore, the applicant shall ensure that the height variance requested is correct and has been measured according to building height as defined. Otherwise, additional variances will be required.

The applicant shall ensure that that minimum required 2.6m x 5.5m parking space size is maintained for parking spaces within the private garage. Otherwise, additional variances shall be required.

This application will be heard by the Committee as shown below:

DATE: Thursday, November 19th, 2020

TIME: 2:45 p.m.

PLACE: Via video link or call in (see attached sheet for details)

To be streamed at www.hamilton.ca/committeeofadjustment for viewing purposes only

PUBLIC INPUT

Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.


Orally: If you would like to speak to this item at the hearing you may do so via video link or by calling in. Please see attached page for complete instructions, including deadlines for registering to participate.

MORE INFORMATION

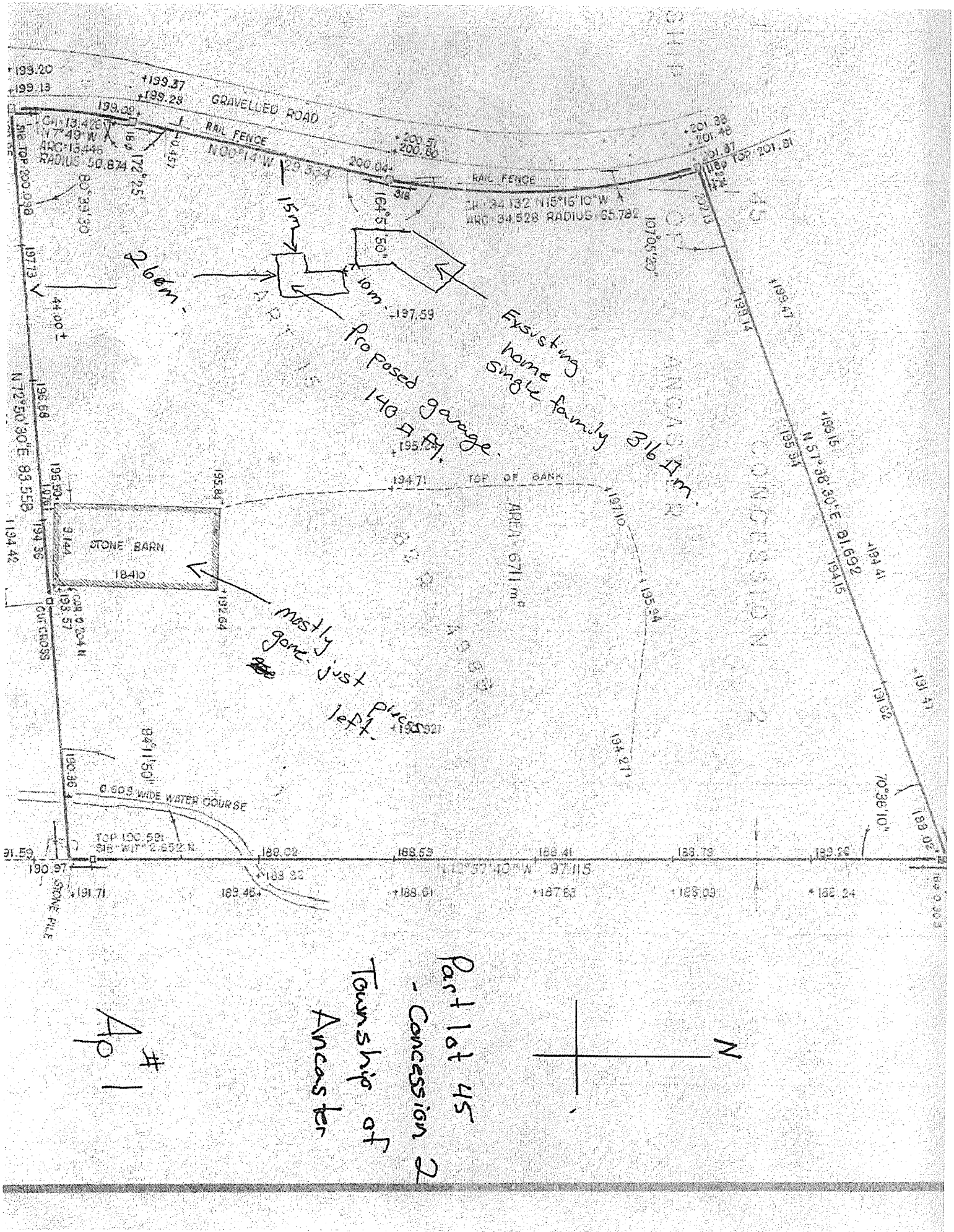
For more information on this matter, including access to drawings illustrating this request:

- Visit www.hamilton.ca/committeeofadjustment
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935
- Email Committee of Adjustment staff at cofa@hamilton.ca

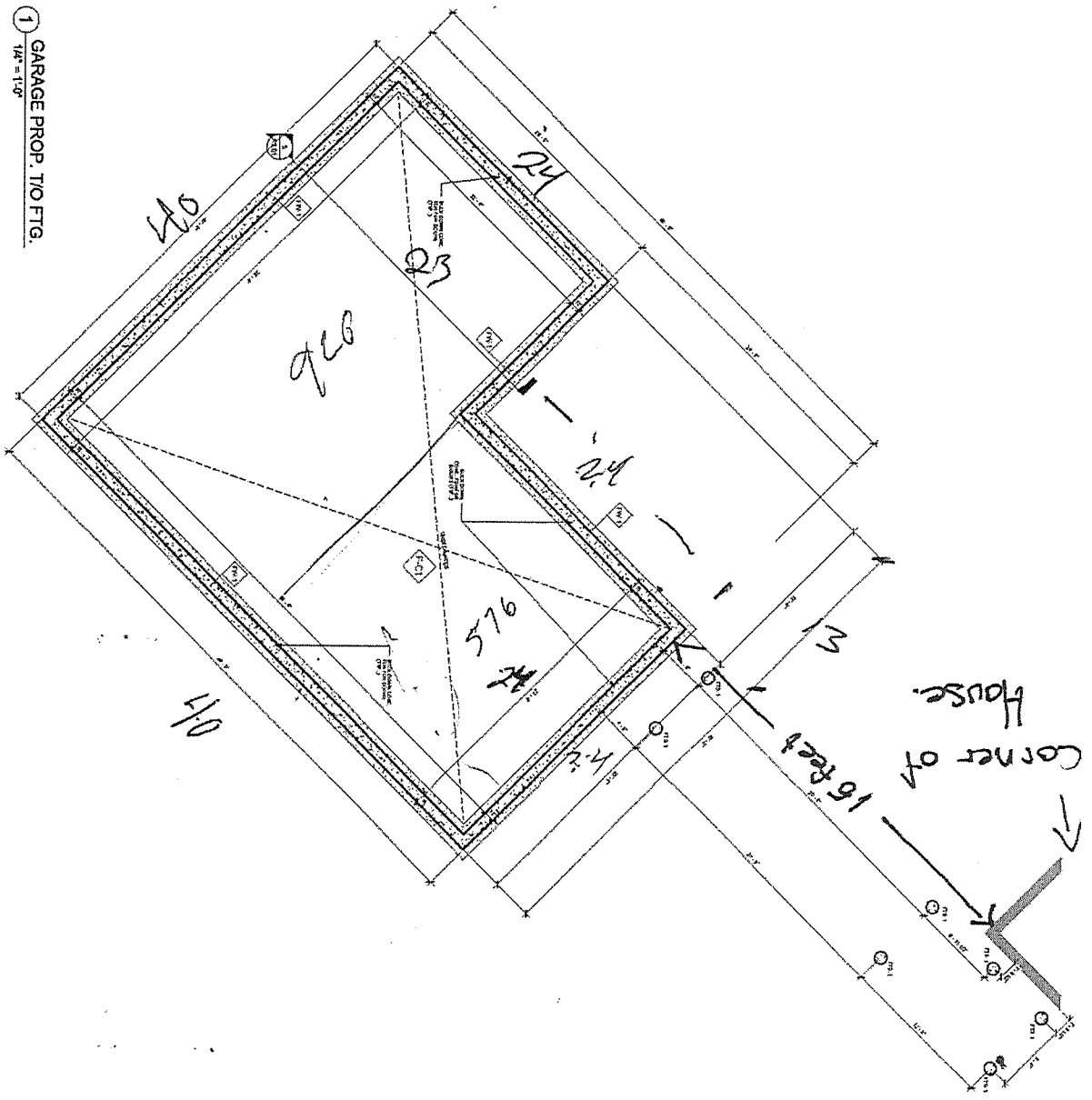
DATED: November 3rd, 2020.


Jamila Sheffield
Secretary-Treasurer
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public.



1 GARAGE PROP. T/O FTG.
1/4" = 1'-0"



300 Ft.



PROPOSED GARAGE

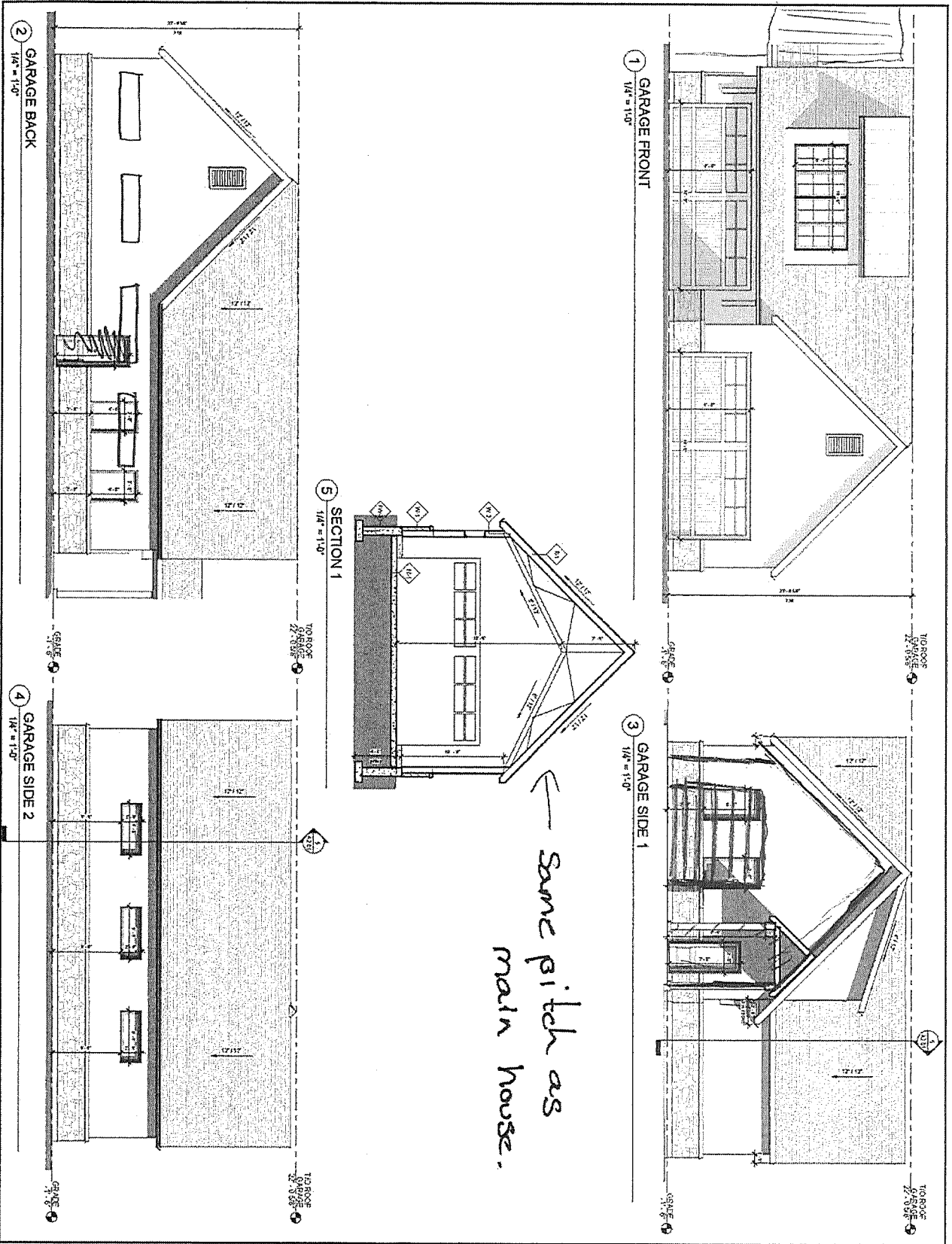
488 ORTANO ST.
ANGOSTER, OH.

ZEMER AND JOHNSON

PROP. T/O FTG.

DATE	9/23/75	SCALE	A1.02
PROJECT	3 OF 8	DATE	
DRAWN BY	AM	NO.	20035
CHECKED BY	AM		

FL/A
20:228



← Same pitch as main house.



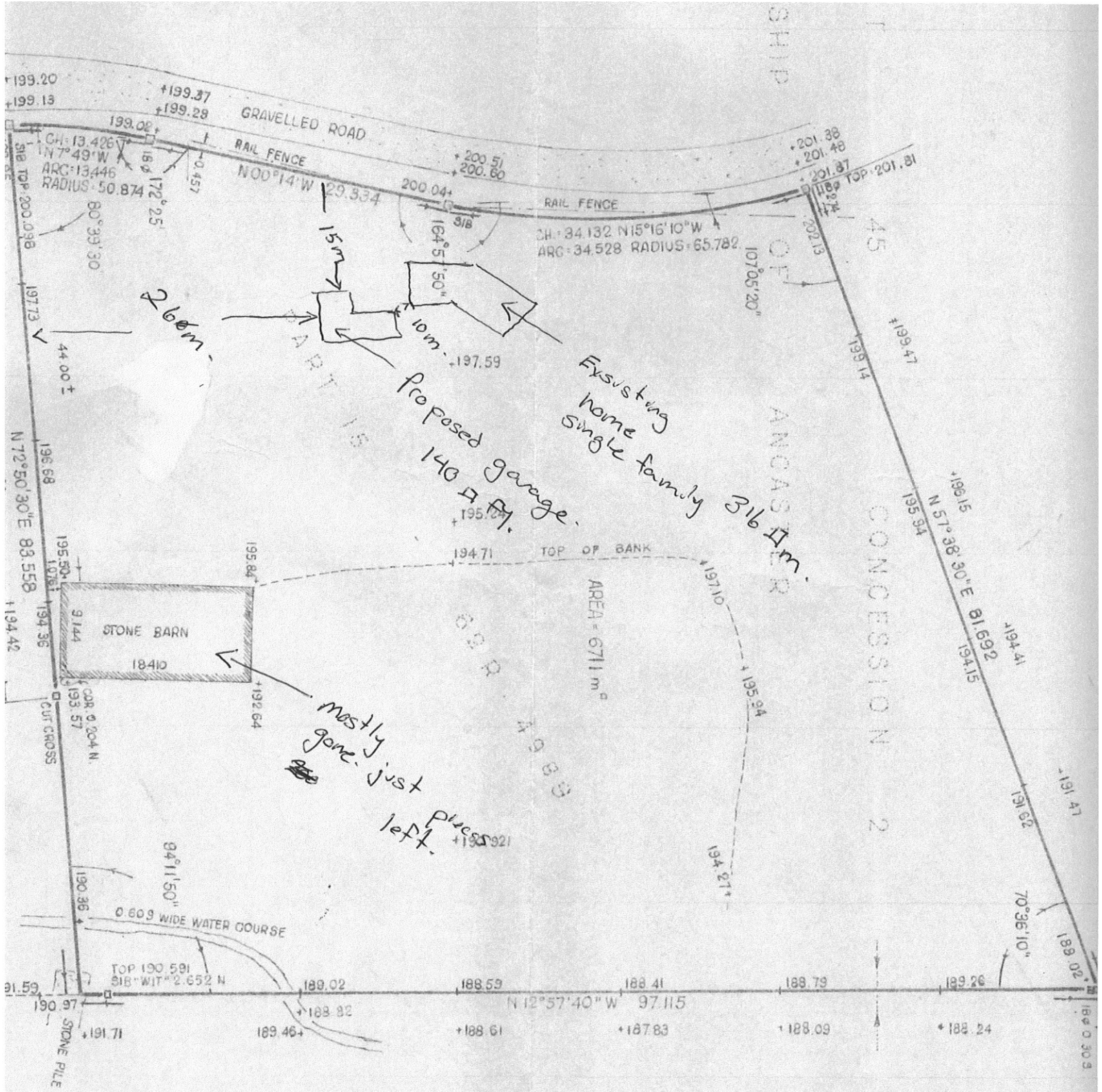
PROPOSED GARAGE
489, ONTARIO ST.
ANDUSTE, ON.

ZITTER AND JACKSON

ELEVATIONS / SECTION

Author	B.A.M.	Title	AS SHOWN
Project	B.A.M.	Proj. No.	20035
Client	B.A.M.	Draw. No.	A2.01
Date	09/01/20		

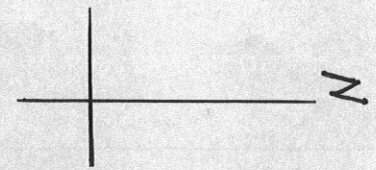
FL/A
20.228



mostly just
game just
left press

Part lot 45
- Concession 2
Township of
Ancaster

Ap 1



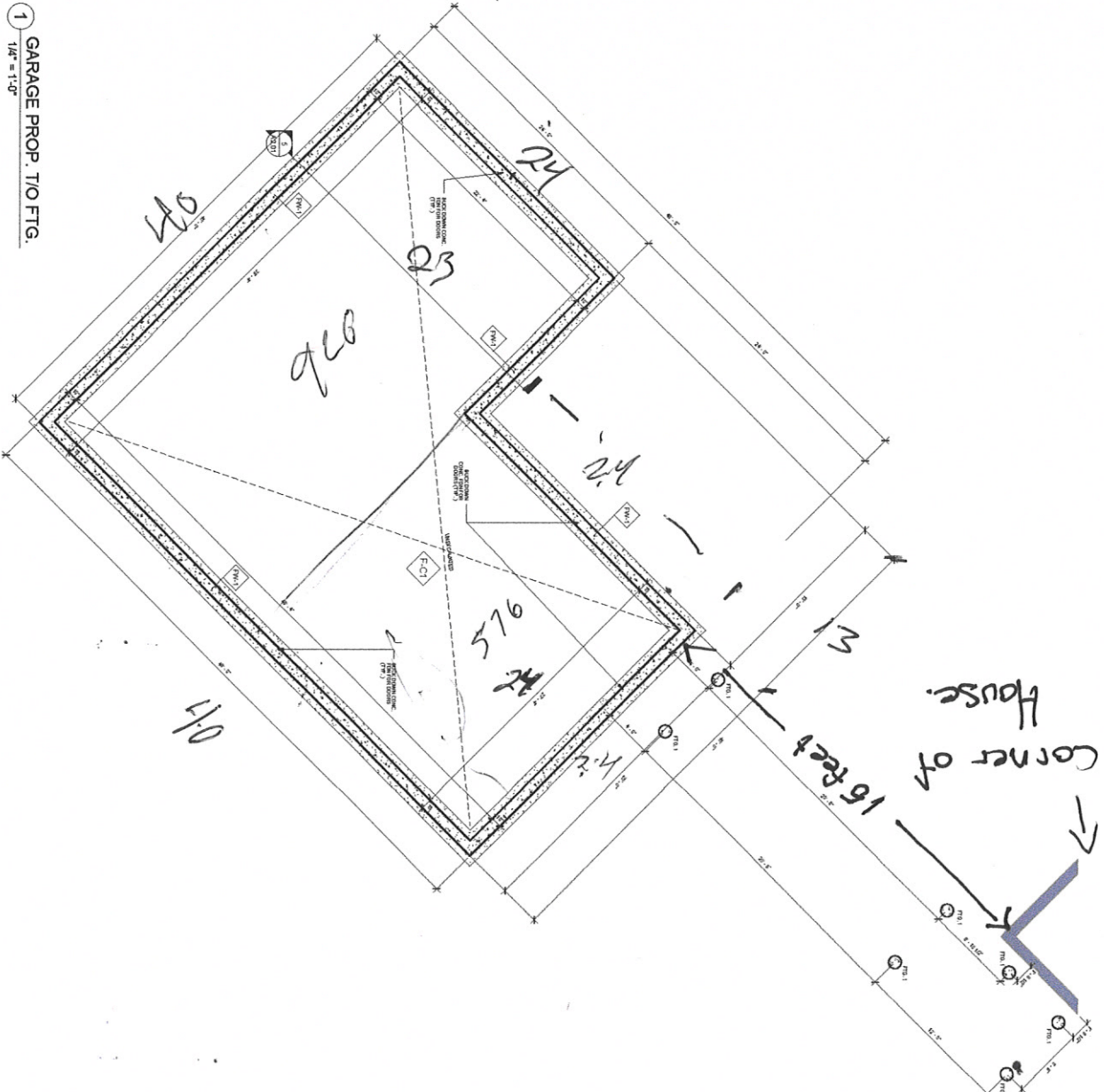
Main single family dwelling. 316 sq m.



Proposed structure garage 140 m sq

A.P. 2

1 GARAGE PROP. T/O FTG.
1/4" = 1'-0"



300 Ft.



PROPOSED GARAGE

489 ONTARIO ST.
ANDERSON, ON.

ZETTER AND JACKSON

PROP. T/O FTG.

DESIGN	E.A.M.	SCALE	AS SHOWN
CHECKED	E.A.M.	JOB NO.	20035
DATE	04/20/20	PROJ. NO.	A1.02

GENERAL NOTES

1. ALL WORK TO BE CONSTRUCTED AND FINISHES SHOWN IN THE DRAWINGS.
2. ALL WORK TO BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST EDITION OF THE CANADIAN BUILDING CODE (CBC).
3. ALL MATERIALS AND FINISHES TO BE SHOWN IN THE DRAWINGS AND SHALL NOT BE REPLACED IN KIND OR IN KIND WHICH IS SUPERIOR TO THAT SPECIFIED UNLESS THE CONTRACTOR HAS BEEN ADVISED IN WRITING BY THE ARCHITECT.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FOR CONSTRUCTION.
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9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FOR CONSTRUCTION.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FOR CONSTRUCTION.
11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FOR CONSTRUCTION.

REQUIRED SUBMITTALS

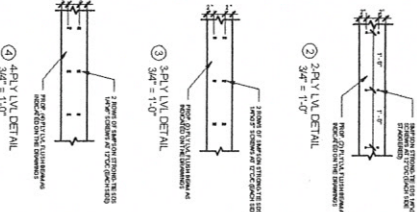
1. THE FOLLOWING SHALL BE SUBMITTED TO THE CONSULTANT FOR REVIEW PRIOR TO CONSTRUCTION:
 - a. MATERIAL SAMPLES AND FINISHES
 - b. PROPOSED CONSTRUCTION METHODS
 - c. PROPOSED FOUNDATION DETAILS
2. THE ABOVE SUBMITTALS SHALL BE IN THE FORM OF LISTED PROFESSIONAL SERVICES BY THE CONTRACTOR.

DESIGN LOADS

1. DEAD LOAD	15 lb / sq ft
2. LIVE LOAD	20 lb / sq ft
3. WIND LOAD	15 psf
4. SNOW LOAD	15 psf
5. SEISMIC LOAD	15 psf
6. OTHER LOADS	15 psf

STRUCTURAL SCHEDULE

1. FLOOR SLAB	150 mm concrete on 20 mm metal deck
2. ROOF SLAB	150 mm concrete on 20 mm metal deck
3. WALL	200 mm concrete masonry
4. COLUMN	300 mm concrete masonry
5. BEAM	300 mm concrete masonry
6. JOIST	2x12 Douglas Fir
7. TRUSS	2x6 Douglas Fir
8. RAFTER	2x6 Douglas Fir
9. GIRD	12" I-beam
10. PILE	12" diameter
11. FOOTING	18" wide
12. FOUNDATION	18" wide



FOUNDATION NOTES

1. ALL FOUNDATION WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST EDITION OF THE CANADIAN BUILDING CODE (CBC).
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STRUCTURAL STEEL NOTES

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MASONRY (VENEER) NOTES

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LUMBER NOTES

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CONCRETE & REINFORCING NOTES

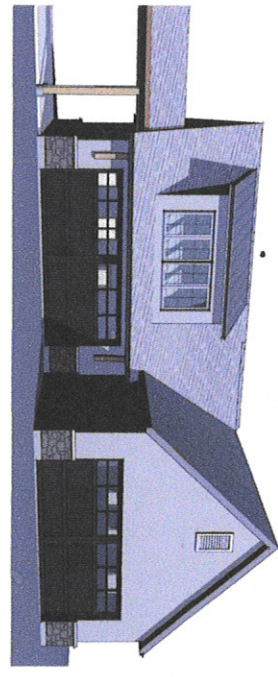
1. ALL CONCRETE WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST EDITION OF THE CANADIAN BUILDING CODE (CBC).
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CONCRETE REQUIREMENTS

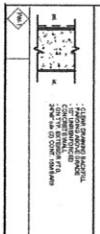
ITEM	DESCRIPTION	28 DAY COMP. STRENGTH (MPa)	W/C RATIO	MIN. SLAB THICKNESS (mm)	MIN. CURE PERIOD (days)	MIN. SLAB AREA (sq. m)	MIN. SLAB PERIMETER (m)
C-1	- EXTENSIVE SLAB (DIMENSIONS)	28	0.40	150	7	20	20
C-2	- EXTENSIVE SLAB (DIMENSIONS)	28	0.40	150	7	20	20
C-3	- EXTENSIVE SLAB (DIMENSIONS)	28	0.40	150	7	20	20
C-4	- EXTENSIVE SLAB (DIMENSIONS)	28	0.40	150	7	20	20
C-5	- EXTENSIVE SLAB (DIMENSIONS)	28	0.40	150	7	20	20
C-6	- EXTENSIVE SLAB (DIMENSIONS)	28	0.40	150	7	20	20
C-7	- EXTENSIVE SLAB (DIMENSIONS)	28	0.40	150	7	20	20
C-8	- EXTENSIVE SLAB (DIMENSIONS)	28	0.40	150	7	20	20
C-9	- EXTENSIVE SLAB (DIMENSIONS)	28	0.40	150	7	20	20
C-10	- EXTENSIVE SLAB (DIMENSIONS)	28	0.40	150	7	20	20
C-11	- EXTENSIVE SLAB (DIMENSIONS)	28	0.40	150	7	20	20
C-12	- EXTENSIVE SLAB (DIMENSIONS)	28	0.40	150	7	20	20
C-13	- EXTENSIVE SLAB (DIMENSIONS)	28	0.40	150	7	20	20
C-14	- EXTENSIVE SLAB (DIMENSIONS)	28	0.40	150	7	20	20
C-15	- EXTENSIVE SLAB (DIMENSIONS)	28	0.40	150	7	20	20
C-16	- EXTENSIVE SLAB (DIMENSIONS)	28	0.40	150	7	20	20
C-17	- EXTENSIVE SLAB (DIMENSIONS)	28	0.40	150	7	20	20
C-18	- EXTENSIVE SLAB (DIMENSIONS)	28	0.40	150	7	20	20
C-19	- EXTENSIVE SLAB (DIMENSIONS)	28	0.40	150	7	20	20
C-20	- EXTENSIVE SLAB (DIMENSIONS)	28	0.40	150	7	20	20

CONCRETE MASONRY NOTES

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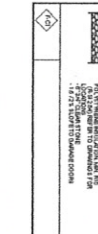
FOUNDATION WALL TYPE LEGEND



ROOF TYPE LEGEND



FLOOR TYPE LEGEND



EXTERIOR WALL TYPE LEGEND



ASSEMBLY LEGEND

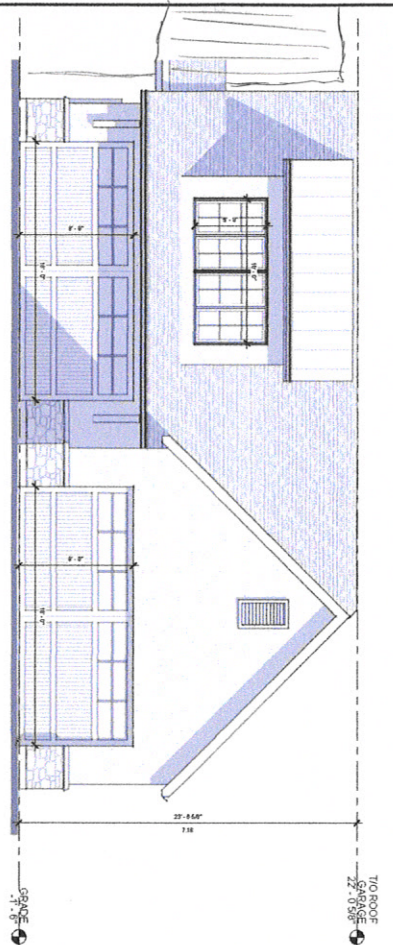
PROPOSED GARAGE
488 ONTARIO ST.
ANCASTER, ON.

ZETTER AND JACOBSON

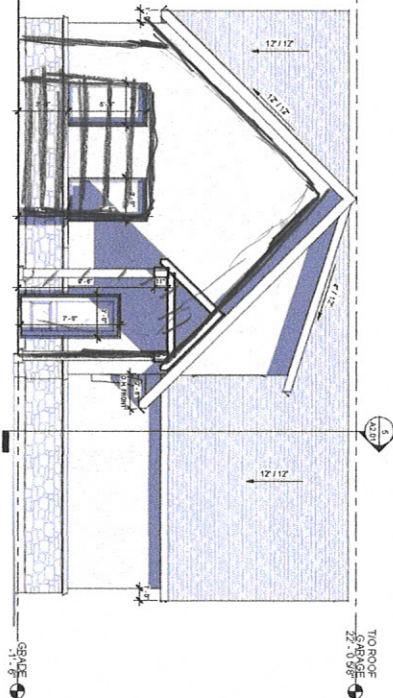
PROJECT NOTES

DATE	09/07/20
PROJECT NO.	A0.01
CLIENT	ZETTER AND JACOBSON
DESIGNER	AS SHOWN
CHECKED	20035
SCALE	1/8" = 1'-0"

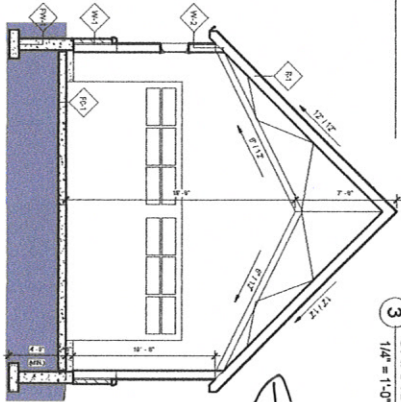
1 GARAGE FRONT
1/4" = 1'-0"



3 GARAGE SIDE 1
1/4" = 1'-0"

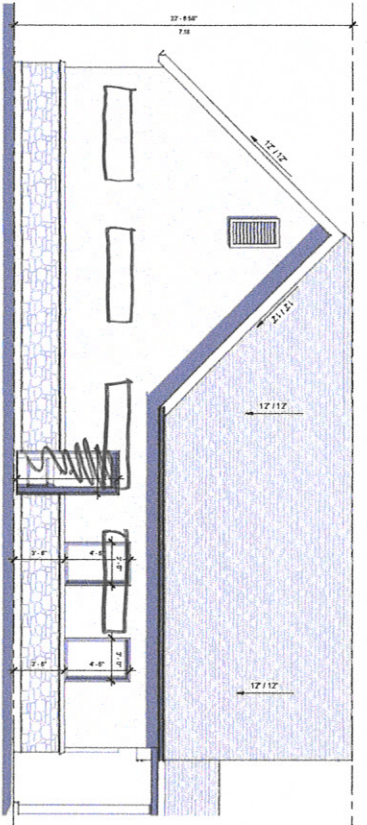


5 SECTION 1
1/4" = 1'-0"

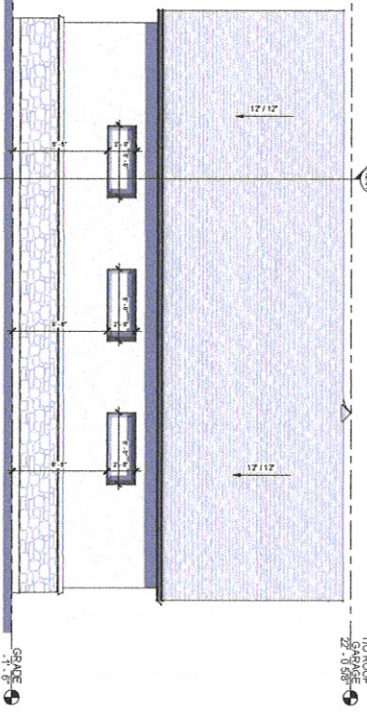


← Same pitch as main house.

2 GARAGE BACK
1/4" = 1'-0"



4 GARAGE SIDE 2
1/4" = 1'-0"



PROPOSED GARAGE
489 OUTLAND ST.
ANDOVER, OH.

ZETTER AND JACOBSON

ELEVATIONS / SECTION

DESIGN NAME	PROJECT	DATE
DATE	SCALE	PROJECT NO.
BY	APP. BY	NO.
DATE	DATE	DATE

20035
AZ.01



Hamilton

Committee of Adjustment
City Hall
5th floor 71 Main Street West
Hamilton, Ontario L8P 4Y5

Planning and Economic Development Department
Planning Division

Phone (905) 546-2424 ext.4221
Fax (905) 546-4202

**PLEASE FILL OUT THE FOLLOWING PAGES AND
RETURN TO THE CITY OF HAMILTON PLANNING
DEPARTMENT.**

FOR OFFICE USE ONLY.	
APPLICATION NO. _____	DATE APPLICATION RECEIVED _____
PAID _____	DATE APPLICATION DEEMED COMPLETE _____
SECRETARY'S SIGNATURE _____	

CITY OF HAMILTON
COMMITTEE OF ADJUSTMENT
HAMILTON, ONTARIO

The Planning Act

Application for Minor Variance or for Permission

The undersigned hereby applies to the Committee of Adjustment for the City of Hamilton under Section 45 of the *Planning Act*, R.S.O. 1990, Chapter P.13 for relief, as described in this application, from the Zoning By-law.

1. Name of Owner Daniel Zeiter Telephone No. _____
FAX NO. _____ E-mail address. _____
Address _____ Postal Code _____
2. Address _____ Postal Code _____
3. Name of Agent greenpark Services Telephone No. _____
FAX NO. _____ E-mail address. _____
Address _____ Postal Code _____
4. Address _____ Postal Code _____

Note: Unless otherwise requested all communications will be sent to the agent, if any.

5. Names and addresses of any mortgagees, holders of charges or other encumbrances:

_____ Postal Code _____
None _____
 _____ Postal Code _____

6. Nature and extent of relief applied for:

- Hight variance to match base roof line.

- apply to increase the size to accommodate vehicles

7. Why it is not possible to comply with the provisions of the By-law?

- Pitch of roof will not allow height residue beams

- I have marked out @ 900 square feet for lot coverage.

8. Legal description of subject lands (registered plan number and lot number or other legal description and where applicable, street and street number):

Part of lot 45 - Concession 2

9. PREVIOUS USE OF PROPERTY

Residential Industrial Commercial

Agricultural Vacant

Other _____

9.1 If Industrial or Commercial, specify use _____

9.2 Has the grading of the subject land been changed by adding earth or other material, i.e. has filling occurred?

Yes No Unknown

9.3 Has a gas station been located on the subject land or adjacent lands at any time?

Yes No Unknown

9.4 Has there been petroleum or other fuel stored on the subject land or adjacent lands?

Yes No Unknown

9.5 Are there or have there ever been underground storage tanks or buried waste on the subject land or adjacent lands?

Yes No Unknown

9.6 Have the lands or adjacent lands ever been used as an agricultural operation where cyanide products may have been used as pesticides and/or sewage sludge was applied to the lands?

Yes No Unknown

9.7 Have the lands or adjacent lands ever been used as a weapon firing range?

Yes No Unknown

9.8 Is the nearest boundary line of the application within 500 metres (1,640 feet) of the fill area of an operational/non-operational landfill or dump?

Yes No Unknown

9.9 If there are existing or previously existing buildings, are there any building materials remaining on site which are potentially hazardous to public health (eg. asbestos, PCB's)?
Yes No Unknown

9.10 Is there any reason to believe the subject land may have been contaminated by former uses on the site or adjacent sites?
Yes No Unknown

9.11 What information did you use to determine the answers to 9.1 to 9.10 above?
Knowledge of the property.

9.12 If previous use of property is industrial or commercial or if YES to any of 9.2 to 9.10, a previous use inventory showing all former uses of the subject land, or if appropriate, the land adjacent to the subject land, is needed.
Is the previous use inventory attached? Yes No

ACKNOWLEDGEMENT CLAUSE

I acknowledge that the City of Hamilton is not responsible for the identification and remediation of contamination on the property which is the subject of this Application, by reason of its approval to this Application.

Date Oct 21/2020

Signature of Property Owner

Print Name of Owner

10. Dimensions of lands affected:

Frontage

75m.

Depth

75m

Area

2 acres

Width of street

6m

11.

Particulars of all buildings and structures on or proposed for the subject lands: (Specify ground floor area, gross floor area, number of stories, width, length, height, etc.)

Existing: single story, 3421 sq ft, height 9m.

45ft x 75ft.

Proposed: single story, 1800-1400 sq ft. height 7.9.

40x40 with catwalk

12.

Location of all buildings and structures on or proposed for the subject lands: (Specify distance from side, rear and front lot lines)

Existing: 15m from R Property line.

60m from S Property line.

Proposed: 15m from West lot line

26m from South lot line.

13. Date of acquisition of subject lands: 2006

14. Date of construction of all buildings and structures on subject lands: 1987 - main house.

15. Existing uses of the subject property: single family dwelling.

16. Existing uses of abutting properties: single family dwellings.

17. Length of time the existing uses of the subject property have continued: 35-50 years

18. Municipal services available: (check the appropriate space or spaces)

Water ✓ Connected ✓

Sanitary Sewer ✓ Connected ✓

Storm Sewers ✓ Connected ✓

19. Present Official Plan/Secondary Plan provisions applying to the land:

20. Present Restricted Area By-law (Zoning By-law) provisions applying to the land: None.

21. Has the owner previously applied for relief in respect of the subject property?
Yes No

If the answer is yes, describe briefly.

~~_____~~

22. Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?
Yes No

23. The applicant shall attach to each copy of this application a plan showing the dimensions of the subject lands and of all abutting lands and showing the location, size and type of all buildings and structures on the subject and abutting lands, and where required by the Committee of Adjustment such plan shall be signed by an Ontario Land Surveyor.

NOTE: It is required that two copies of this application be filed with the secretary-treasurer of the Committee of Adjustment together with the maps