

NOTICE OF PUBLIC HEARING

Minor Variance

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
 - Applicant/agent on file, or
 - Person likely to be interested in this application
-

APPLICATION NO.: HM/A-20:201

APPLICANTS: DeFilippis Design on behalf of the owner Nermin Zunic

SUBJECT PROPERTY: Municipal address **313 Osborne St., Hamilton**

ZONING BY-LAW: Zoning By-law 6593, as Amended

ZONING: "C" (Urban Protected Residential, etc.) district

PROPOSAL: To permit the construction an entire 7.98m (26'2") x 10.06m (33'0") second (2nd) storey addition, a 1.80m (5'11") x 3.35m (11'0") two (2) storey addition on the area formerly occupied by an unenclosed deck (porch) and also to construct a roofed-over unenclosed one storey front porch at the first storey onto the existing single family dwelling notwithstanding that:

1. A minimum front yard depth of 3.2m shall be permitted instead of the minimum required front yard depth of 6.0m.
2. A minimum southerly side yard width of 0.3m and a minimum northerly side yard width of 0.75m shall be permitted instead of the minimum required side yard width of 0.914m.
3. Eaves and gutters shall be permitted to project into the required 0.3m southerly side yard not more than 0.3m so that they shall be 0.0m from the southerly side lot line and eaves and gutters shall be permitted to project into the required 0.75m northerly side yard not more than 0.4m so that they shall be at least 0.35m from the northerly side lot line instead of the requirement that eaves or gutter may project not more into the required side yard (being 0.914m) not more than half of its required width (being 0.45m).
4. A minimum of 45% of the gross area of the front yard shall be used for a landscaped area instead of the requirement that not less than 50% of the gross area of the front yard shall be used for a landscaped area excluding concrete, asphalt, gravel, pavers, or other similar materials.
5. One (1) parking space shall be provided instead of the minimum required three (3) parking spaces.
6. A minimum access driveway width of 2.7m shall be provided instead of the minimum required access driveway width of 2.8m.

NOTE:

- i) Pursuant to Variance # 2 above, as this is a lot of record Section 18(3)(v) "Abatement

of Yards for a Lot of Record” of Hamilton Zoning By-law No. 6593 allows a single family dwelling to be erected upon it provided that each side yard has a width of at least ten per cent of the width of the lot, but in no case less than 0.9 metres. As such, based on a lot width of 9.144m, a minimum side yard of 0.914m is required.

This application will be heard by the Committee as shown below:

DATE: Thursday, December 3rd, 2020
TIME: 1:10 p.m.
PLACE: Via video link or call in (see attached sheet for details)
To be streamed at www.hamilton.ca/committeeofadjustment
for viewing purposes only

PUBLIC INPUT

Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

Orally: If you would like to speak to this item at the hearing you may do so via video link or by calling in. Please see attached page for complete instructions, including deadlines for registering to participate.

MORE INFORMATION

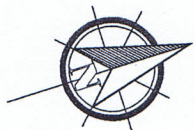
For more information on this matter, including access to drawings illustrating this request:

- Visit www.hamilton.ca/committeeofadjustment
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935
- Email Committee of Adjustment staff at cofa@hamilton.ca

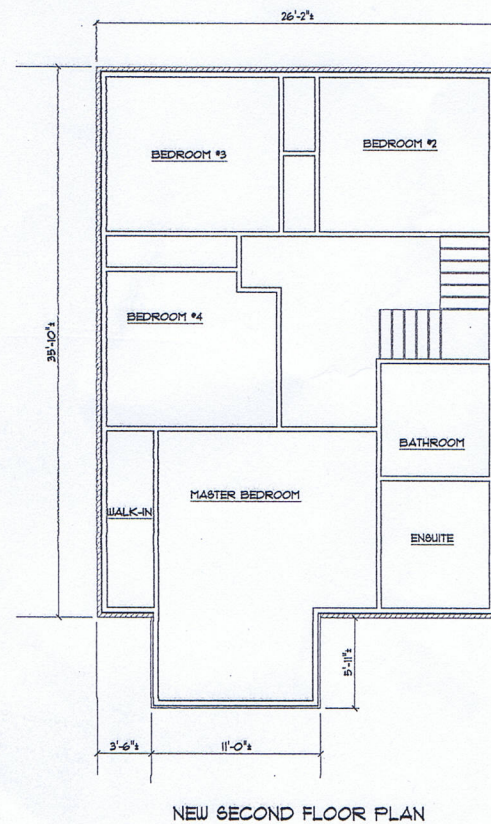
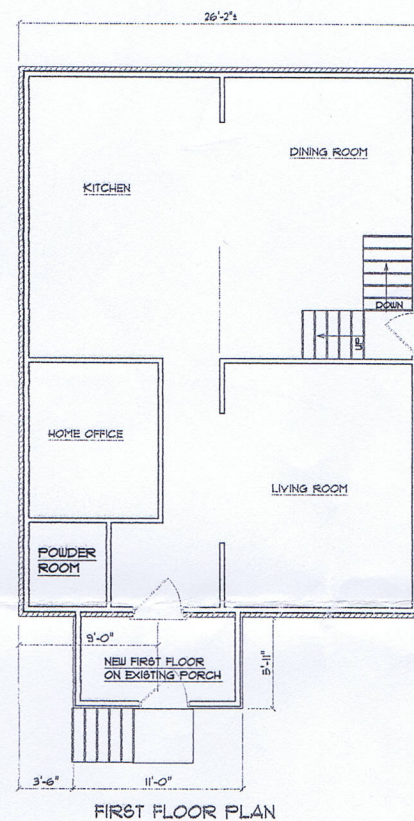
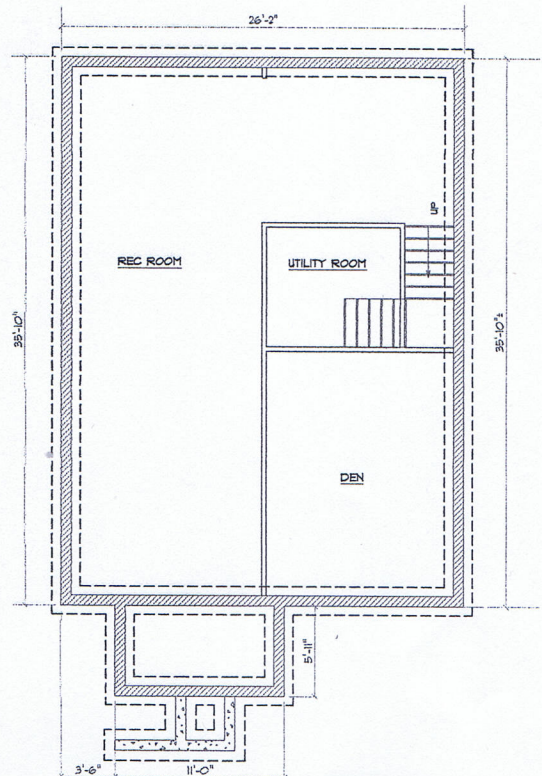
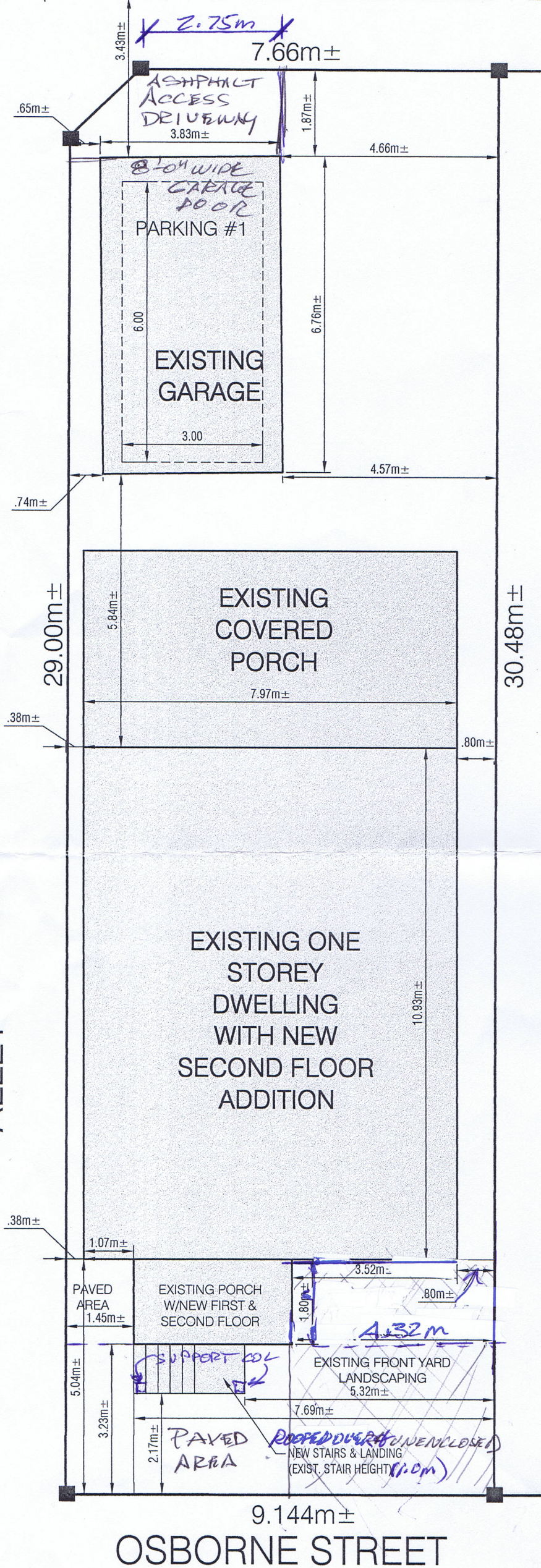
DATED: November 17th, 2020.

Jamila Sheffield,
Secretary-Treasurer
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public.



ALLEY



SITE STATISTIC

LOT AREA	277.65m ²
GROUND FLOOR	87.07m ² ±
EXIST. FRONT PORCH	6.09m ² ±
EXIST. FRONT STAIR	2.53m ² ±
EXIST. GARAGE	25.92m ² ±
TOTAL COVERAGE:	121.61m ² ±
PROP. HT	10.00m
PROPOSED SEC. FLOOR	93.01m ²

FRONT YARD
FRONT YARD LANDSCAPING



13.059m
(45%)

2950 m

REV.	DATE
3	2021/11/20
2	2021/11/20
1	2021/11/20
CHKD. BY	
DRN. BY	
DATE:	AUGUST, 2020
SCALE:	1 : 100
DWG NO.	SP-1



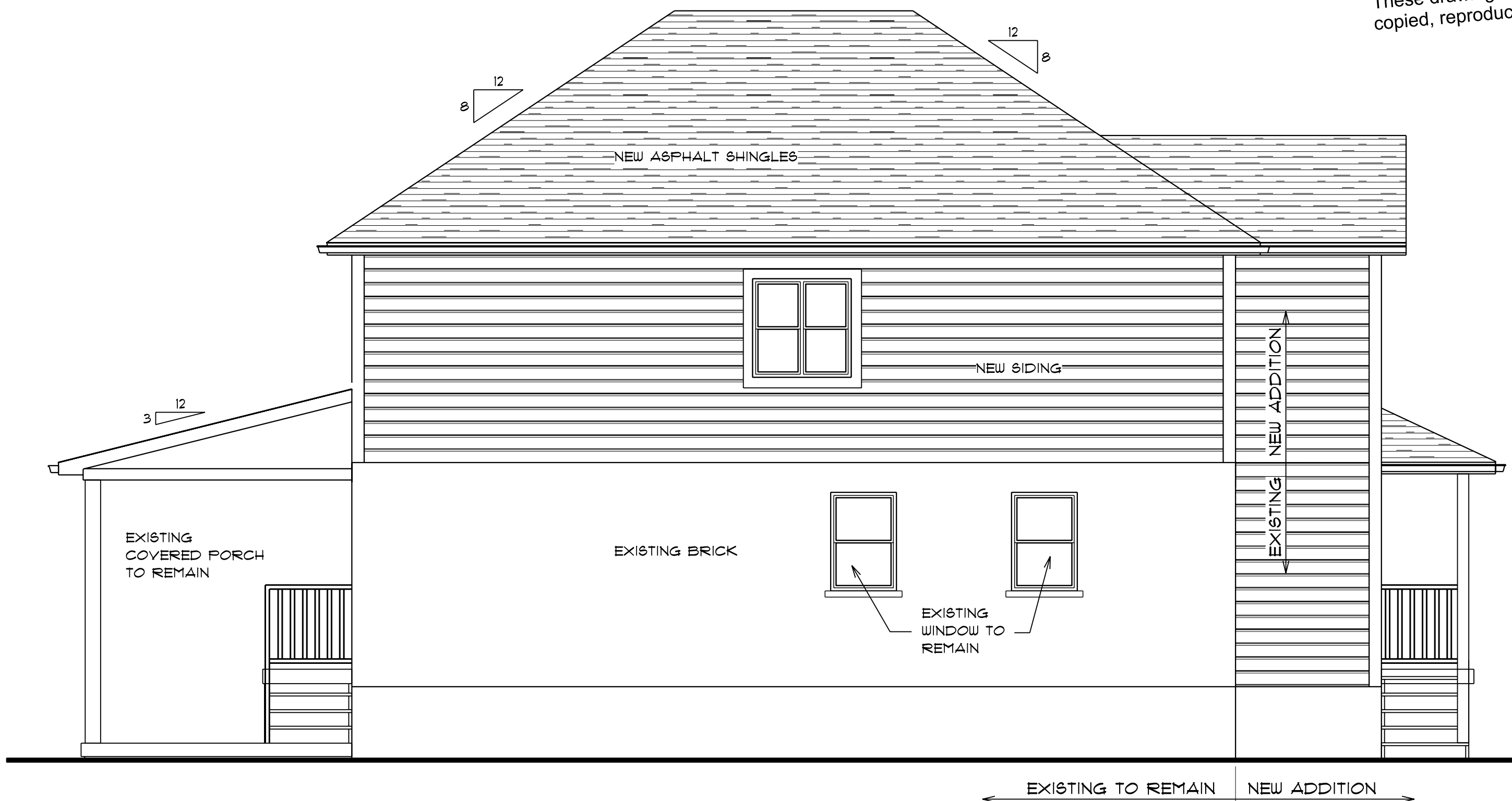
DeFILIPPIS DESIGN
687 BARTON ST., SUITE 201
STONE CREEK, ONTARIO L8E 5L6
(905) 643-2250 FAX (905) 643-1065
email: defilippisdesign@bellnet.ca

PROPOSED SITE PLAN FOR:
ZUNIC RESIDENCE
313 OSBORNE STREET
HAMILTON, ON

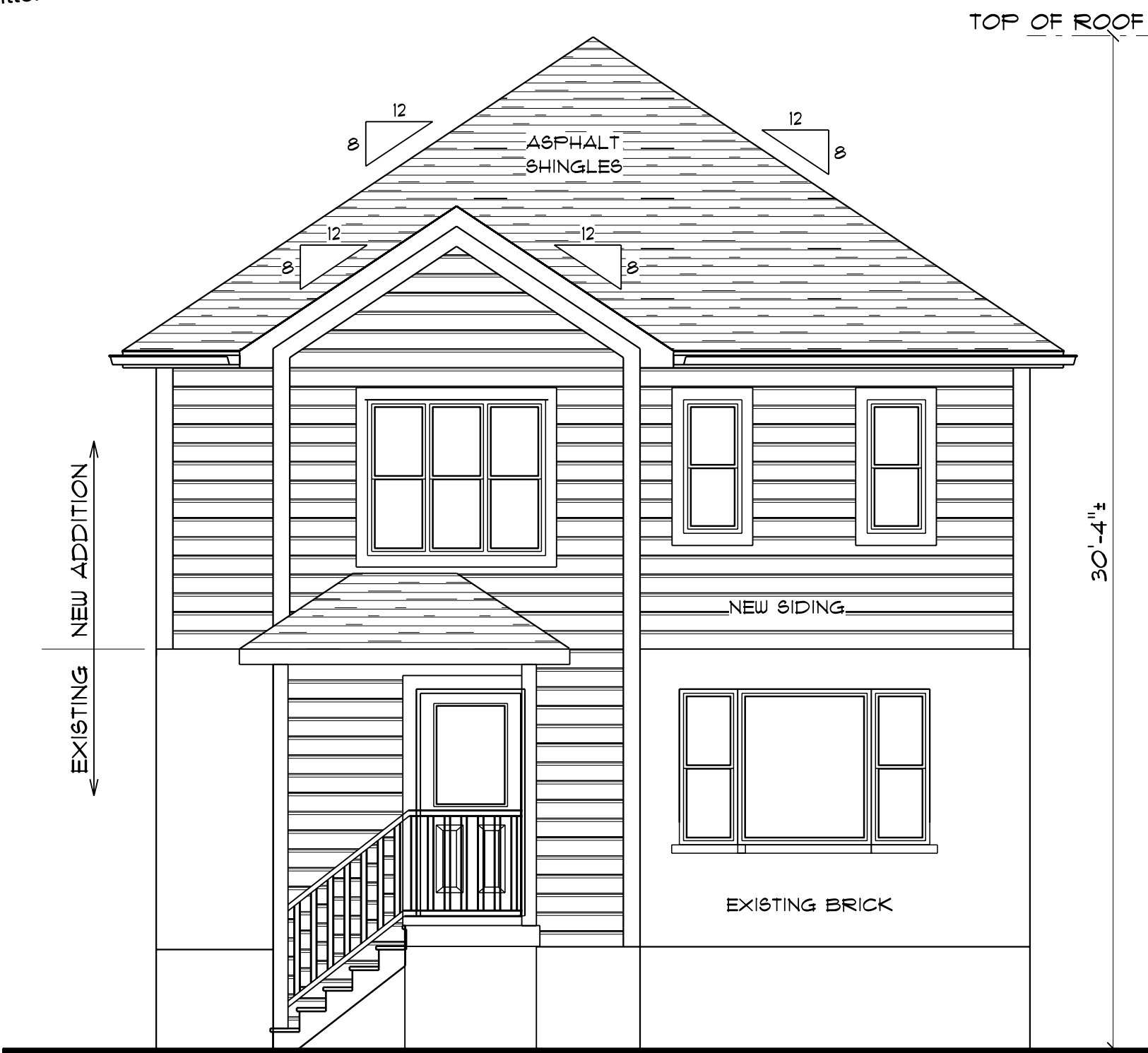
SITE PLAN

NOTES:
1. OWNER/CONTRACTOR TO VERIFY AND CHECK ALL DIMENSIONS AND SPECS PRIOR TO AND DURING CONSTRUCTION.
2. ANY DISCREPANCIES OR DEFICIENCIES OR DISCREPANCIES FROM THESE DRAWINGS AND SPECS REQUIRES WRITTEN CLARIFICATION AND/OR APPROVAL FROM THE DESIGNER PRIOR TO CONSTRUCTION.

These drawings are the property of DeFILIPPIS DESIGN and are not to be copied, reproduced or used without the express written consent of the designer.



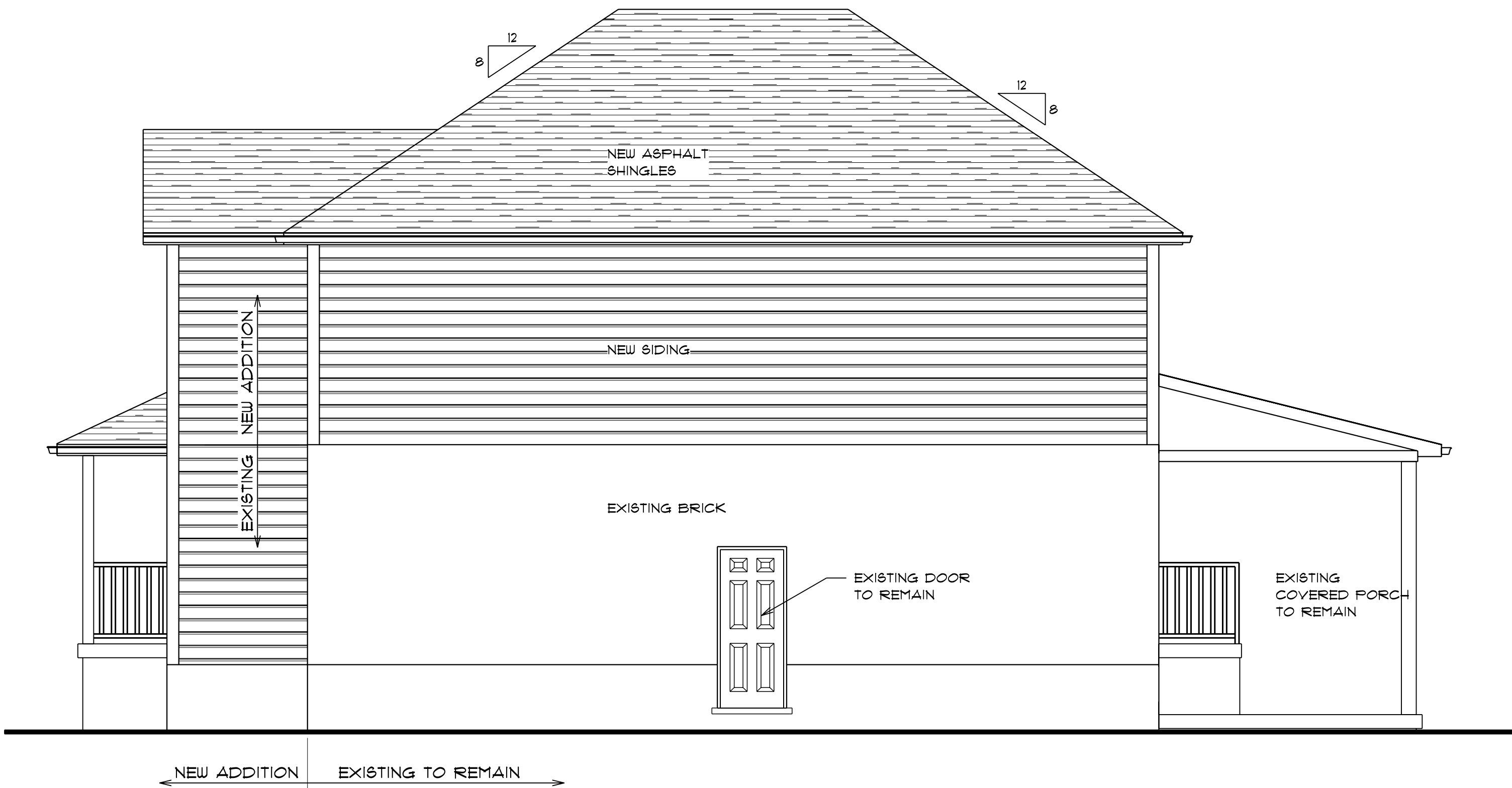
SOUTH ELEVATION



EAST ELEVATION



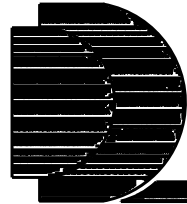
WEST ELEVATION

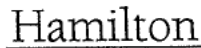


NORTH ELEVATION

DO NOT SCALE
DRAWINGS

- NOTE:
1. OWNER/CONTRACTOR TO VERIFY AND CHECK ALL DIMENSIONS AND SPECS PRIOR TO AND DURING CONSTRUCTION.
 2. ANY DEVIATIONS, DEFICIENCIES OR DISCREPANCIES FROM THESE DRAWINGS AND SPECS REQUIRES WRITTEN CLARIFICATION AND/OR APPROVAL FROM THE DESIGNER PRIOR TO CONSTRUCTION.

<div></div> <div>DeFILIPPIS DESIGN 687 BARTON STREET, SUITE 201 STONE CREEK, ONTARIO L8E 5L6 (905) 643-2250 FAX (905) 643-1095</div>		
PROPOSED ADDITION TO ZUNIC RESIDENCE		
SCALE: 1/4"=1'-0"	APPROVED BY:	DRAWN BY:
DATE: NOV, '20.	313 OSBORNE STREET, HAMILTON, ONTARIO	REVISED:
SH 1 OF 3		DRAWING NUMBER:



Phone (905) 546-2424 ext.4221
Fax (905) 546-4202

**PLEASE FILL OUT THE FOLLOWING PAGES AND
RETURN TO THE CITY OF HAMILTON PLANNING
DEPARTMENT.**

20.184013

FOR OFFICE USE ONLY.

APPLICATION NO. Hm/A.20:201 DATE APPLICATION RECEIVED Sept 17/20

PAID _____ DATE APPLICATION DEEMED COMPLETE _____

SECRETARY'S
SIGNATURE _____

**CITY OF HAMILTON
COMMITTEE OF ADJUSTMENT
HAMILTON, ONTARIO**

The *Planning Act*

Application for Minor Variance or for Permission

The undersigned hereby applies to the Committee of Adjustment for the City of Hamilton under Section 45 of the *Planning Act*, R.S.O. 1990, Chapter P.13 for relief, as described in this application, from the Zoning By-law.

1. Name of Owner NEPHIN LUNIC Telephone No _____

2.

3. Name of Agent De Filippis Design Telephone No 414-441-1111

4.

Note: Unless otherwise requested all communications will be sent to the agent, if any.

5. Names and addresses of any mortgagees, holders of charges or other encumbrances:

Postal Code _____

Postal Code _____

6. Nature and extent of relief applied for:

SIDE YARD OF 0.30 m (SOUTH SIDE)
WITH 0.0 m SET BACK TO EAVES
SIDE YARD OF 0.75 m (NORTH SIDE) WITH 0.40 m
EAVE SETBACK, FRONT YARD SET BACK
OF 2.0 m TO STEPS, 3.2 m TO DWELLING, 1 PARKING

7. Why it is not possible to comply with the provisions of the By-law?

INSTEAD OF
DWELLING LOCATION
IS EXISTING
3 SPACES

8. Legal description of subject lands (registered plan number and lot number or other legal description and where applicable, street and street number):

313 OSBORNE ST, HAMILTON

9. PREVIOUS USE OF PROPERTY

Residential ☒ Industrial ☐ Commercial ☐

Agricultural ☐ Vacant ☐

Other

- 9.1 If Industrial or Commercial, specify use

- 9.2 Has the grading of the subject land been changed by adding earth or other material, i.e. has filling occurred?

Yes ☐ No ☒ Unknown ☐

- 9.3 Has a gas station been located on the subject land or adjacent lands at any time?

Yes ☐ No ☒ Unknown ☐

- 9.4 Has there been petroleum or other fuel stored on the subject land or adjacent lands?

Yes ☐ No ☐ Unknown ☒

- 9.5 Are there or have there ever been underground storage tanks or buried waste on the subject land or adjacent lands?

Yes ☐ No ☐ Unknown ☒

- 9.6 Have the lands or adjacent lands ever been used as an agricultural operation where cyanide products may have been used as pesticides and/or sewage sludge was applied to the lands?

Yes ☐ No ☒ Unknown ☐

- 9.7 Have the lands or adjacent lands ever been used as a weapon firing range?

Yes ☐ No ☒ Unknown ☐

- 9.8 Is the nearest boundary line of the application within 500 metres (1,640 feet) of the fill area of an operational/non-operational landfill or dump?

Yes ☐ No ☒ Unknown ☐

9.9 If there are existing or previously existing buildings, are there any building materials remaining on site which are potentially hazardous to public health (eg. asbestos, PCB's)?

Yes ☐ No ☒ Unknown ☐

9.10 Is there any reason to believe the subject land may have been contaminated by former uses on the site or adjacent sites?

Yes ☐ No ☒ Unknown ☐

9.11 What information did you use to determine the answers to 9.1 to 9.10 above?

SINGLE FAMILY USE IN EXCESS
OF 70 years

9.12 If previous use of property is industrial or commercial or if YES to any of 9.2 to 9.10, a previous use inventory showing all former uses of the subject land, or if appropriate, the land adjacent to the subject land, is needed.

Is the previous use inventory attached? Yes ☐ No ☒

ACKNOWLEDGEMENT CLAUSE

I acknowledge that the City of Hamilton is not responsible for the identification and remediation of contamination on the property which is the subject of this Application by reason of its approval to this Application.

Date

SEPT 1/2020

Signature Property Owner

NERMIN ZUNIC
Print Name of Owner

10. Dimensions of lands affected:

Frontage

Depth

Area

Width of street

9.1m

30.0m ±

277 sqm.

20m

11. Particulars of all buildings and structures on or proposed for the subject lands: (Specify ground floor area, gross floor area, number of stories, width, length, height, etc.)

Existing:

See Site Plan

Proposed:

NEW SECOND STOREY ADDITION
ON EXISTING FIRST FLOOR
AND FRONT PORCH

12. Location of all buildings and structures on or proposed for the subject lands; (Specify distance from side, rear and front lot lines)

Existing:

See Site Plan

Proposed: _____

SEE SITE PLAN

13. Date of acquisition of subject lands: 8 years plus
14. Date of construction of all buildings and structures on subject lands: 70 years plus
15. Existing uses of the subject property: SINGLE FAMILY
16. Existing uses of abutting properties: SINGLE FAMILY
17. Length of time the existing uses of the subject property have continued: 70 years plus
18. Municipal services available: (check the appropriate space or spaces)
Water ✓ Connected ✓
Sanitary Sewer ✓ Connected ✓
Storm Sewers ✓
19. Present Official Plan/Secondary Plan provisions applying to the land: URBAN SETTLEMENT
20. Present Restricted Area By-law (Zoning By-law) provisions applying to the land: C-6593
21. Has the owner previously applied for relief in respect of the subject property?
Yes ☐ No ☒
If the answer is yes, describe briefly.

22. Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?
Yes ☐ No ☒
23. The applicant shall attach to each copy of this application a plan showing the dimensions of the subject lands and of all abutting lands and showing the location, size and type of all buildings and structures on the subject and abutting lands, and where required by the Committee of Adjustment such plan shall be signed by an Ontario Land Surveyor.

NOTE: It is required that two copies of this application be filed with the secretary-treasurer of the Committee of Adjustment together with the maps