



NOTICE OF PUBLIC HEARING Minor Variance

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
- Applicant/agent on file, or
- Person likely to be interested in this application

APPLICATION NO.: DN/A-20:232

APPLICANTS: Justin Ells

SUBJECT PROPERTY: Municipal address **10 Central Park Ave., Dundas**

ZONING BY-LAW: Zoning By-law 3581-86, as Amended

ZONING: "R2-FP" (Single Detached Residential) district

PROPOSAL: To permit the construction of a new uncovered porch with steps for the existing single detached dwelling, notwithstanding that;

1. The uncovered porch shall be permitted to be located as close 1.8m from the nearest street line instead of the minimum 4.0m setback from the nearest street line.

Notes: The applicant shall ensure that the front yard shall have a minimum of 50.0% as landscaped area; otherwise, further variances shall be required.

This application will be heard by the Committee as shown below:

DATE: Thursday, December 3rd, 2020
TIME: 2:00 p.m.
PLACE: Via video link or call in (see attached sheet for details)
 To be streamed at www.hamilton.ca/committeeofadjustment
 for viewing purposes only

PUBLIC INPUT

Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

Orally: If you would like to speak to this item at the hearing you may do so via video link or by calling in. Please see attached page for complete instructions, including deadlines for registering to participate.

MORE INFORMATION

For more information on this matter, including access to drawings illustrating this request:

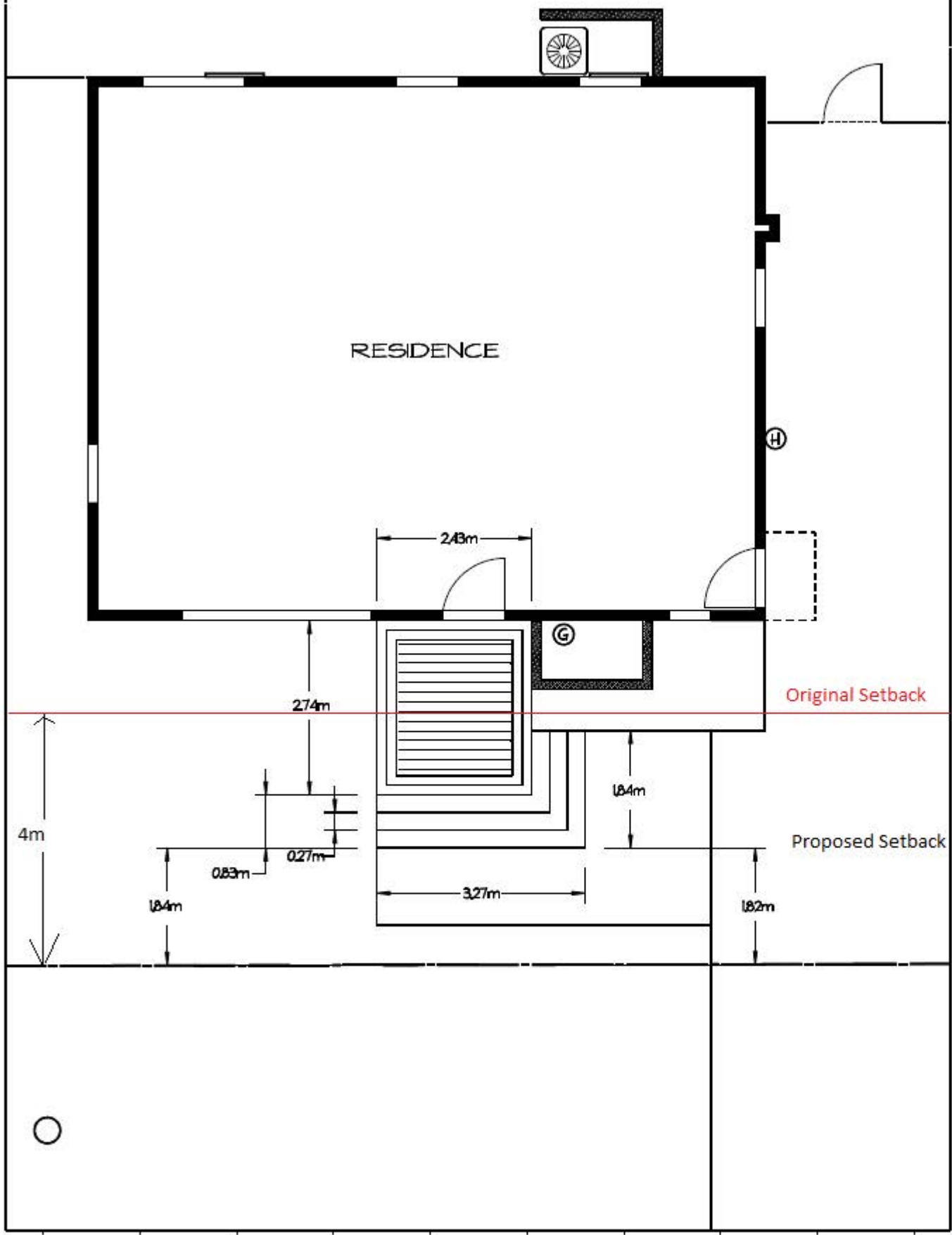
- Visit www.hamilton.ca/committeeofadjustment

- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935
- Email Committee of Adjustment staff at cofa@hamilton.ca

DATED: November 17th, 2020.

Jamila Sheffield,
Secretary-Treasurer
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public.





Hamilton

Planning and Economic Development Department
Planning Division

Committee of Adjustment
City Hall
5th floor 71 Main Street West
Hamilton, Ontario L8P 4Y5

Phone (905) 546-2424 ext.4221
Fax (905) 546-4202

PLEASE FILL OUT THE FOLLOWING PAGES AND
RETURN TO THE CITY OF HAMILTON PLANNING
DEPARTMENT.

FOR OFFICE USE ONLY.	
APPLICATION NO. _____	DATE APPLICATION RECEIVED _____
PAID _____	DATE APPLICATION DEEMED COMPLETE _____
SECRETARY'S SIGNATURE _____	

CITY OF HAMILTON
COMMITTEE OF ADJUSTMENT
HAMILTON, ONTARIO

The Planning Act

Application for Minor Variance or for Permission

The undersigned hereby applies to the Committee of Adjustment for the City of Hamilton under Section 45 of the *Planning Act*, R.S.O. 1990, Chapter P.13 for relief, as described in this application, from the Zoning By-law.

- Name of Owner Justin Ellis Telephone No. [REDACTED]
FAX NO. [REDACTED] E-mail address [REDACTED]
- Address [REDACTED]
Postal Code [REDACTED]
- Name of Agent _____ Telephone No. _____
FAX NO. _____ E-mail address. _____
- Address _____
Postal Code _____

Note: Unless otherwise requested all communications will be sent to the agent, if any.

- Names and addresses of any mortgagees, holders of charges or other encumbrances:
TD BANK
82 King W Postal Code L9H 1T9

6. Nature and extent of relief applied for:
FRONT YARD SETBACK 1.82m for Porch

7. Why it is not possible to comply with the provisions of the By-law?
Built porch is too close to property line, with steps.

8. Legal description of subject lands (registered plan number and lot number or other legal description and where applicable, street and street number):
10 CENTRAL PARK AVE

9. PREVIOUS USE OF PROPERTY
Residential Industrial _____ Commercial _____
Agricultural _____ Vacant _____
Other _____

9.1 If Industrial or Commercial, specify use

9.2 Has the grading of the subject land been changed by adding earth or other material, i.e. has filling occurred?
Yes _____ No Unknown _____

9.3 Has a gas station been located on the subject land or adjacent lands at any time?
Yes _____ No Unknown _____

9.4 Has there been petroleum or other fuel stored on the subject land or adjacent lands?
Yes _____ No Unknown _____

9.5 Are there or have there ever been underground storage tanks or buried waste on the subject land or adjacent lands?
Yes _____ No Unknown _____

9.6 Have the lands or adjacent lands ever been used as an agricultural operation where cyanide products may have been used as pesticides and/or sewage sludge was applied to the lands?
Yes _____ No Unknown _____

9.7 Have the lands or adjacent lands ever been used as a weapon firing range?
Yes _____ No Unknown _____

9.8 Is the nearest boundary line of the application within 500 metres (1,640 feet) of the fill area of an operational/non-operational landfill or dump?
Yes _____ No Unknown _____

9.9 If there are existing or previously existing buildings, are there any building materials remaining on site which are potentially hazardous to public health (eg. asbestos, PCB's)?

Yes No Unknown

9.10 Is there any reason to believe the subject land may have been contaminated by former uses on the site or adjacent sites?

Yes No Unknown

9.11 What information did you use to determine the answers to 9.1 to 9.10 above?

Personal Knowledge


9.12 If previous use of property is industrial or commercial or if YES to any of 9.2 to 9.10, a previous use inventory showing all former uses of the subject land, or if appropriate, the land adjacent to the subject land, is needed.

Is the previous use inventory attached? Yes No

ACKNOWLEDGEMENT CLAUSE

I acknowledge that the City of Hamilton is not responsible for the identification and remediation of contamination on the property which is the subject of this Application – by reason of its approval to this Application.

October 26 2020
Date


Signature Property Owner

Justin Ellis
Print Name of Owner

10. Dimensions of lands affected:

Frontage 50'
Depth 100'
Area 471
Width of street 20.2

11. Particulars of all buildings and structures on or proposed for the subject lands: (Specify ground floor area, gross floor area, number of stories, width, length, height, etc.)

Existing: 980 ft² BUNGALOW 35' x 28'

Proposed: 129.25 ft² Porch 11' x 11'9"

12. Location of all buildings and structures on or proposed for the subject lands; (Specify distance from side, rear and front lot lines)

Existing: House 17'10" From Front, SEE DRAWINGS
STOOP 13'10" From Front, SEE DRAWINGS

Proposed: PORCH 1.82m From Front, SEE DRAWINGS

13. Date of acquisition of subject lands:
MAY 15 2015

14. Date of construction of all buildings and structures on subject lands:
HOUSE 60'S

15. Existing uses of the subject property: RESIDENTIAL

16. Existing uses of abutting properties: RESIDENTIAL

17. Length of time the existing uses of the subject property have continued:
ALL TIME

18. Municipal services available: (check the appropriate space or spaces)
Water X Connected _____
Sanitary Sewer X Connected _____
Storm Sewers X

19. Present Official Plan/Secondary Plan provisions applying to the land:

20. Present Restricted Area By-law (Zoning By-law) provisions applying to the land:
SINGLE DETACHED RESIDENTIAL "R2-FP"

21. Has the owner previously applied for relief in respect of the subject property?
Yes _____ (No)

If the answer is yes, describe briefly.

22. Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?
Yes _____ (No)

23. The applicant shall attach to each copy of this application a plan showing the dimensions of the subject lands and of all abutting lands and showing the location, size and type of all buildings and structures on the subject and abutting lands, and where required by the Committee of Adjustment such plan shall be signed by an Ontario Land Surveyor.

NOTE: It is required that two copies of this application be filed with the secretary-treasurer of the Committee of Adjustment together with the maps



Hamilton
Conservation
Authority

A Healthy Watershed for Everyone

838 Mineral Springs Road, PO Box 81067
Ancaster, Ontario L9G 4X1
Telephone: 905-648-4427 Fax: 905-648-4622

PERMIT

N^o 2019-102

ISSUED UNDER THE CONSERVATION AUTHORITIES ACT, PURSUANT TO ONTARIO REGULATION 161/06 – HAMILTON CONSERVATION AUTHORITY DEVELOPMENT, INTERFERENCE WITH WETLANDS, AND ALTERATIONS TO SHORELINES AND WATERCOURSES REGULATION.

Permission has been granted to: **Justin Ells** Phone: **416-768-6766**
Mailing Address: **10 Central Park Ave, Dundas, ON L9H 2M6**
Location: **in the Regulatory Floodplain of Ann Street Creek, in the City of Hamilton**
For the: **construction of a new front deck/stairs and completion of patio stone landscaping in the Regulatory Floodplain of Ann Street Creek at 10 Central Park Avenue, Part Lot 14, Concession 1, in the City of Hamilton (former Town of Dundas)**

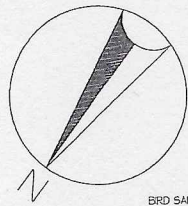
on the above property during the period of **November 14, 2019 to November 14, 2021** subject to the following conditions.

1. That the works are undertaken in accordance with the Ells/Houston Residence site plan prepared by Meg and Kennedy Landscape Design Firm dated December 1, 2018.

NOTE:

- 1) This permit may be withdrawn by the HCA if the works do not comply with the above noted conditions. Non-compliance with permit conditions also constitutes a violation of the regulation and may result in charges being laid.
- 2) The issuance of this permit does not abrogate the necessity of obtaining all other required permits for development and construction, i.e. permits required by the Niagara Escarpment Commission, Municipality, Ministry of Natural Resources and Forestry, Harbour Commissioners and any or all other agencies.

Enforcement Officer
T. Scott Peck, B.A., DPA, MCIP, RPP, CMMIII
Deputy Chief Administrative Officer/
Director, Watershed Planning & Engineering



1 AUTUMN BRILLIANCE SERVICEBERRY

SPRINGDALE WHITE HEATHER

NEIGHBOURING HEDGE

4 AMALOGANA FLOWERING CHERRY

BRD SANCTUARY AREA

6 BEARBERRY COTONEASTER

only completed a portion of the rear yard pavers.

8'x8' STORAGE SHED

12' ROOF OVERHANG

COVERED ROOF AREA

6'x6' POSTS

FERROGLA

STEPPING STONES TO SIDE ACCESS

1 SHASTA VEURNIUM

9 HIGH SOCIETY HOSTA

6 RUSSIAN SAGE

2 CORAL CARPET ROSE

OPTIONAL WOOD BENCH

BACKREST ON BENCH

10 RED HEAD FOUNTAIN GRASS

1 TOBOSHIO JAPANESE MAPLE

2'x4" PLATFORM FOR SEASONAL PLANTER

8'x4" WOOD FEATURE WALL

TECHO BLOC BLU 60 PAVERS

8 GREEN GEM BOXWOOD

HIGHLAND CREAM THYME

1 GINKGO BLOBA

HIGHLAND CREAM THYME

HYDRO POLE

10 GREEN GEM BOXWOOD

HIGHLAND CREAM THYME

3 RED HEAD FOUNTAIN GRASS

9 ARCTIC SUN RED TWIG DOGWOOD

VEGETABLE GARDEN PLOTS

1 BLACK LACE ELDERBERRY

3 EASY ELEGANCE SHEET FRAGRANCE ROSE

8 GREEN GEM BOXWOOD

FIRE TABLE

9 PYRAMIDAL CEDAR

TECHO BLOC BLU 60 PAVERS

COLUMNAR PRIVACY TREES

HIGHLAND CREAM THYME

2'x2' STEPPING STONES

6 FRAGRANT ANGEL CONEFLOWER

7 MARMALADE CORAL BELLS

1 VIRGINAL MOCKORANGE

WOOD DECK PLATFORM

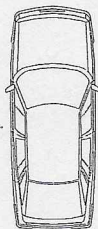
WOOD ENCLOSURE AROUND GAS METER

1 GESHA GRL FLOWERING QUINCE

8 HICKS YEA

ASPHALT DRIVEWAY

RESIDENCE



GC DUN RECEIVED
JUL 29 2019

DATE: 12/01/18
SCALE: 1/4"=1'

ELLS / HOUSTON RESIDENCE
10 CENTRAL PARK AVENUE



PAS Checklist

Print
May 2019

Permit

Address: 10 Central Park Ave
 Municipality: Dundas
 Zone: ~~SSB~~ B2B R2-FP Bylaw: 3581-81e
 Lot Type: Interior Corner Through Other
 Payee: Owner Applicant Contractor Other
 Payment type: Cash Cheque Visa MC Debit
 Intake By: _____ Date: _____
 Reviewed by: _____ Date: _____

Is there an order on this property? Y N
If Yes: Folder # 19-1882 133014
If No: what is not included

Does the permit application include all construction from the order?
 Y N
If Yes: %Surcharge

Is there a surcharge?
 Y N
Email sent to:

Did you Email the Enforcement Inspector

TYPE OF PERMIT	Location Front, Side, Rear	Lot Coverage (See Reverse for calculations)	Interior Side Yard		Exterior Side Yard		Front Yard	Rear Yard	Height A.G./Max Height	Limiting Distance	Guards	Type of Pool IN - ON - AB	Pool Equipment Location	Grading Completed
			Required	Proposed	Required	Proposed								
Porch	Front	Max Proposed	Required Proposed	Required Proposed	Required Proposed	Required Proposed	4m Proposed	1.82m Proposed	Required Proposed	Required Proposed	Required Proposed			
Deck		Max Proposed	Required Proposed	Required Proposed	Required Proposed	Required Proposed			Required Proposed	Required Proposed	Required Proposed			
Acc. Bid		Max Proposed	Required Proposed	Required Proposed	Required Proposed	Required Proposed			Required Proposed	Required Proposed	Required Proposed			
Pool		Max Proposed	Required Proposed	Required Proposed	Required Proposed	Required Proposed			Required Proposed	Required Proposed	Required Proposed			
	Int. Reno-Flr	Habitable Rooms (#) Existing Proposed	Existing Proposed	# of Parking Spaces Required Proposed	Required Proposed	Required Proposed	Ceiling Height Req. U/S status Prop. U/S status Height max/min Ceiling max/min	Required Proposed	Gross Fl. Area Sq. meters Sq. ft.	Insulation Type	Stat Dec Y / N	2nd Kitchen Letter Y / N		

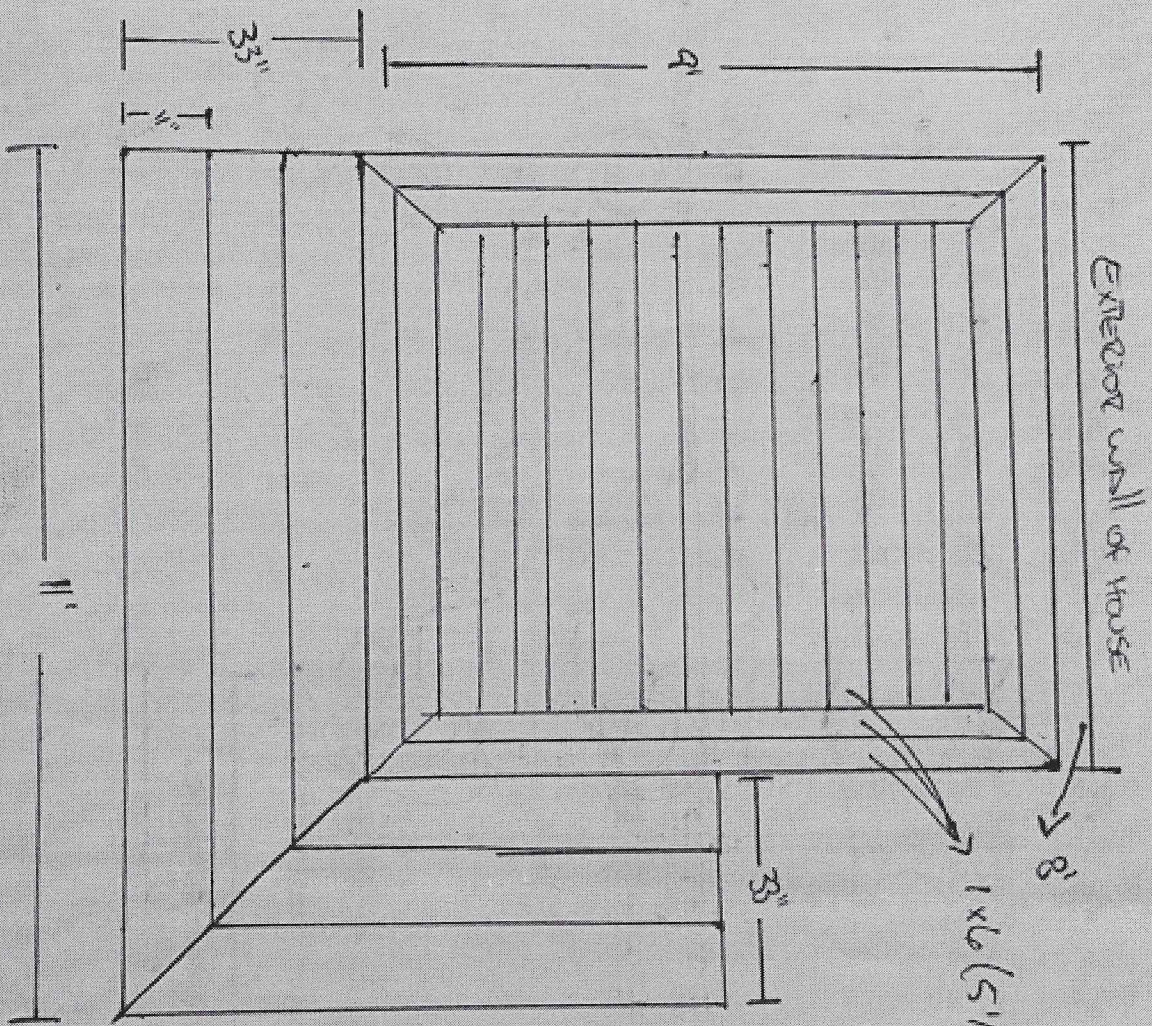
APPLICABLE LAWS:

Committee of Adjustment	Y	N	Ontario Heritage Act	Y	N	W.H.P.A (Form/Memo req.)	Y	N	Schedule 1	Y / N
Encroachment Agreements			NEC			ESA (Memo req.)			Other:	
Ministry of Transportation			Conservation Authority			Grading checklist			Other:	

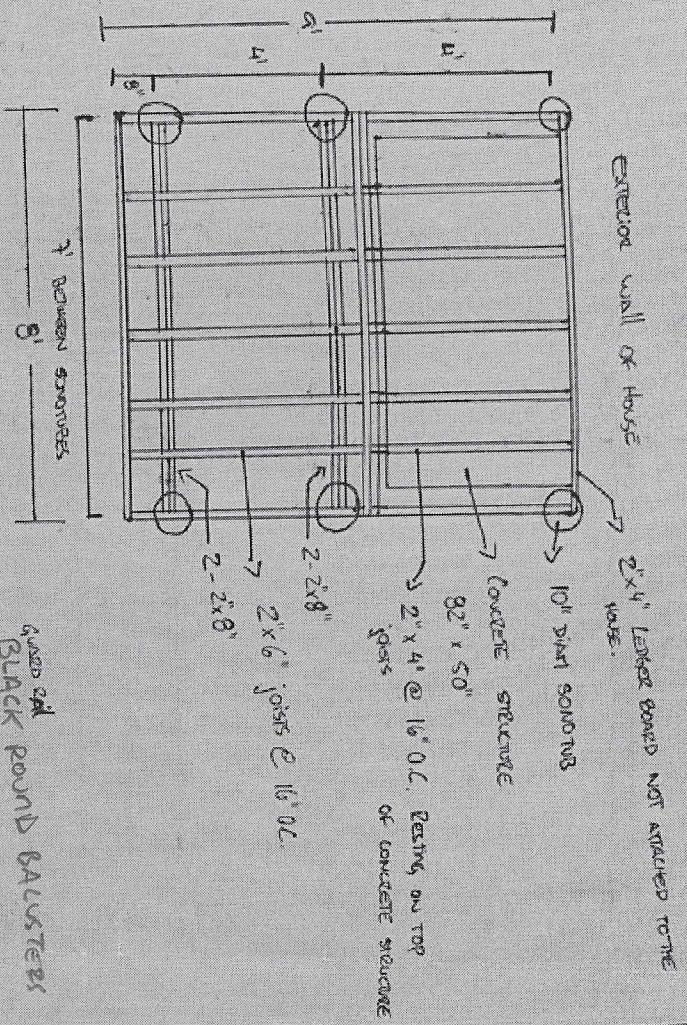
Additional Information:
 HAMILTON CONSERVATION - (905) 525-2181 ext. 131
 denny@conservationhamilton.ca
 DREEM VENNIV.

Intake by: Angela Date: July 21/19 Reviewed by: _____ Date: _____

3 STEPS AT 7" HEIGHT, 11" WIDE



10 CENTRAL PEEK - DUNDAS



GUARD RAIL
BLACK ROUND BALUSTERS

